



**BELLE  
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# Belle Terre Specific Plan

**Specific Plan No. 382**

*Substantial Conformance No. 1*

*Prepared for*



*Developed by*



*Prepared by*



December 2019

# **BELLE TERRE SPECIFIC PLAN NO. 382**

## **Substantial Conformance No. 1**

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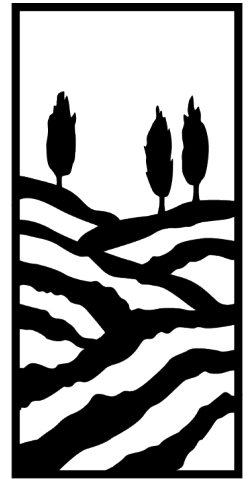
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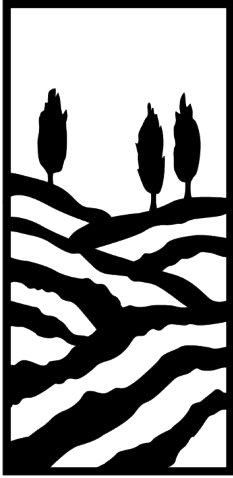
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# Table of Contents

<b>1.0</b>	<b>Introduction &amp; Overview .....</b>	<b>1.0-1</b>
1.1	Purpose and Intent .....	1.0-1
1.2	Authority and Scope .....	1.0-1
1.3	Specific Plan Organization .....	1.0-2
1.4	Project Location and Setting.....	1.0-3
	1.4.1 Regional Location .....	1.0-3
	1.4.2 Project Location .....	1.0-3
	1.4.3 Surrounding Land Uses.....	1.0-6
	1.4.4 Environmental Characteristics.....	1.0-8
1.5	Background and Planning Context.....	1.0-10
1.6	Specific Plan .....	1.0-11
1.7	Project Overview.....	1.0-12
1.8	Proposed Changes to Specific Plan.....	1.0-13
<b>2.0</b>	<b>Specific Plan Zoning Ordinance .....</b>	<b>2.0-1</b>
<b>3.0</b>	<b>Specific Plan .....</b>	<b>3.0-1</b>
<b>4.0</b>	<b>Project-Wide Development Standards.....</b>	<b>4.0-1</b>
4.1	Land Use Plan .....	4.0-2
4.2	Circulation Plan .....	4.0-13
4.3	Open Space and Recreation Plan.....	4.0-26
4.4	Drainage Plan.....	4.0-36
4.5	Grading Plan.....	4.0-41
4.6	Water and Sewer Plan.....	4.0-45
4.7	Public Facility Plan .....	4.0-50
4.8	Administration, Phasing, and Implementation Plan.....	4.0-54
4.9	Maintenance Plan.....	4.0-63
4.10	Sustainability Plan.....	4.0-65
<b>5.0</b>	<b>Planning Area Standards .....</b>	<b>5.0-1</b>
5.1	Planning Area 1 .....	5.0-2
5.2	Planning Area 2 .....	5.0-5
5.3	Planning Area 3 .....	5.0-8
5.4	Planning Area 4.....	5.0-11
5.5	Planning Area 5.....	5.0-14
5.6	Planning Area 6.....	5.0-17
5.7	Planning Area 7.....	5.0-20
5.8	Planning Area 8.....	5.0-23
5.9	Planning Area 9.....	5.0-26
5.10	Planning Area 10.....	5.0-29
5.11	Planning Area 11.....	5.0-31
5.12	Planning Area 12.....	5.0-34
5.13	Planning Area 13.....	5.0-37
5.14	Planning Area 14.....	5.0-40
5.15	Planning Area 15.....	5.0-43
5.16	Planning Area 16.....	5.0-46
5.17	Planning Area 17.....	5.0-49
5.18	Planning Area 18.....	5.0-52
5.19	Planning Area 19.....	5.0-55



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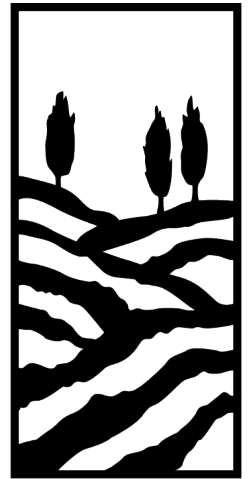
# Table of Contents

5.20	Planning Area 20.....	5.0-58
5.21	Planning Area 21.....	5.0-60
5.22	Planning Area 22.....	5.0-62
5.23	Planning Area 23.....	5.0-65
5.24	Planning Area 24.....	5.0-68
5.25	Planning Area 25.....	5.0-71
5.26	Planning Area 26.....	5.0-74
5.27	Planning Area 27.....	5.0-77
5.28	Planning Area 28.....	5.0-80
<b>6.0</b>	<b>Landscape Design Guidelines.....</b>	<b>6.0-1</b>
6.1	Purpose and Intent .....	6.0-1
6.2	General Landscape Design Guidelines.....	6.0-3
6.2.1	Belle Terre Community Theme Concept .....	6.0-3
6.2.2	Plant Palette .....	6.0-4
6.2.3	Streetscapes .....	6.0-6
6.3	Monumentation.....	6.0-7
6.3.1	Entry Monumentation .....	6.0-7
6.4	Wall and Fence Plan.....	6.0-14
6.4.1	Internal Perimeter Wall .....	6.0-17
6.4.2	Combination Wall .....	6.0-17
6.4.3	Open View Fence.....	6.0-17
6.4.4	Interior Fence .....	6.0-18
6.5	Land Use Interfaces.....	6.0-19
6.5.1	Residential to Open Space-Conservation.....	6.0-21
6.5.2	Residential to Open Space-Conservation Habitat.....	6.0-21
6.5.3	Residential to Water Quality Basin .....	6.0-21
6.5.4	Residential to Park.....	6.0-21
6.5.5	Residential to Canal .....	6.0-21
6.5.6	Residential to Off-Site Residential.....	6.0-22
6.6	Lighting .....	6.0-29
6.6.1	Street Lighting.....	6.0-29
6.6.2	Neighborhood Lighting .....	6.0-30
6.6.2	Landscape Lighting .....	6.0-31
<b>7.0</b>	<b>Architectural Design Guidelines.....</b>	<b>7.0-1</b>
7.1	Purpose and Intent .....	7.0-1
7.2	General Architectural Guidelines.....	7.0-1
7.2.1	Site Planning & Lot Layout .....	7.0-1
7.2.2	Massing & Scale .....	7.0-8
7.2.3	Doors and Windows .....	7.0-8
7.2.4	Roofing and Colors.....	7.0-9
7.2.5	Porches, Balconies, Stoops, and Decks .....	7.0-9
7.2.6	Chimneys and Other .....	7.0-9
7.2.7	Garages .....	7.0-10
7.3	Street Network.....	7.0-13

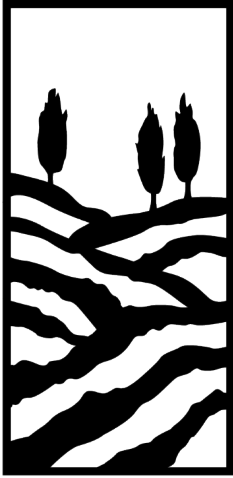


# Table of Contents

7.4	Specific Architectural Design Guidelines.....	7.0-13
7.4.1	French Country .....	7.0-14
7.4.2	Spanish California .....	7.0-16
7.4.3	California Craftsman.....	7.0-18
7.4.4	American Traditional .....	7.0-20
<b>8.0</b>	<b>Glossary of Terms.....</b>	<b>8.0-1</b>
<b>9.0</b>	<b>Acronyms.....</b>	<b>9.0-1</b>



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# Table of Contents

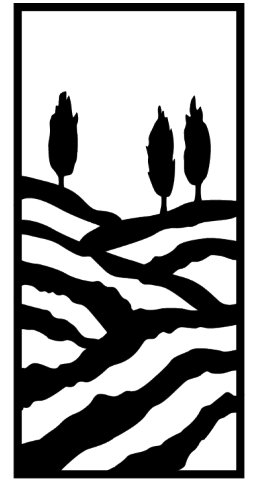
## LIST OF FIGURES

Figure 1.0-1	Regional Map .....	1.0-4
Figure 1.0-2	Project Location .....	1.0-5
Figure 1.0-3	Surrounding Developments .....	1.0-7
Figure 1.0-4	Existing Topography .....	1.0-9
Figure 1.0-5	Land Use Plan .....	1.0-17
Figure 4.1-1	Land Use Plan .....	4.0-3
Figure 4.2-1	Circulation Plan .....	4.0-14
Figure 4.2-2	Roundabout Streetscape .....	4.0-16
Figure 4.2-3	Modified Collector Streetscape 1 .....	4.0-17
Figure 4.2-4	Modified Collector Streetscape 2 .....	4.0-18
Figure 4.2-5	Collector Streetscape .....	4.0-19
Figure 4.2-6	Local Streetscape .....	4.0-20
Figure 4.2-7	Non-Vehicular Circulation Plan .....	4.0-22
Figure 4.3-1	Open Space and Recreational Plan .....	4.0-28
Figure 4.3-2	Conceptual Park PA5 .....	4.0-32
Figure 4.3-3	Conceptual Park PA12 .....	4.0-33
Figure 4.3-4	Conceptual Park PA27 .....	4.0-34
Figure 4.4-1	Conceptual Drainage Plan .....	4.0-39
Figure 4.5-1	Conceptual Grading Plan .....	4.0-42
Figure 4.6-1	Water Distribution Plan .....	4.0-46
Figure 4.6-2	Sewer Network Plan .....	4.0-48
Figure 4.7-1	Territory Transfer .....	4.0-51
Figure 4.8-1	Phasing Plan .....	4.0-59
Figure 5.1-1	Planning Area 1 .....	5.0-4
Figure 5.2-1	Planning Area 2 .....	5.0-7
Figure 5.3-1	Planning Area 3 .....	5.0-10
Figure 5.4-1	Planning Area 4 .....	5.0-13
Figure 5.5-1	Planning Area 5 .....	5.0-16
Figure 5.6-1	Planning Area 6 .....	5.0-19
Figure 5.7-1	Planning Area 7 .....	5.0-22
Figure 5.8-1	Planning Area 8 .....	5.0-25
Figure 5.9-1	Planning Area 9 .....	5.0-28
Figure 5.10-1	Planning Area 10 .....	5.0-30
Figure 5.11-1	Planning Area 11 .....	5.0-33
Figure 5.12-1	Planning Area 12 .....	5.0-36
Figure 5.13-1	Planning Area 13 .....	5.0-39
Figure 5.14-1	Planning Area 14 .....	5.0-42
Figure 5.15-1	Planning Area 15 .....	5.0-45
Figure 5.16-1	Planning Area 16 .....	5.0-48
Figure 5.17-1	Planning Area 17 .....	5.0-51
Figure 5.18-1	Planning Area 18 .....	5.0-54



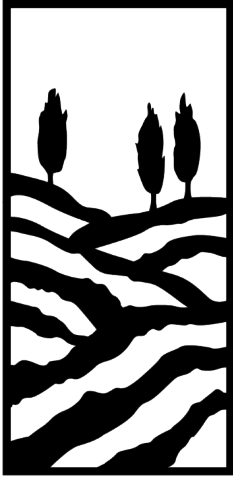
# Table of Contents

Figure 5.19-1	Planning Area 19.....	5.0-57
Figure 5.20-1	Planning Area 20.....	5.0-59
Figure 5.21-1	Planning Area 21.....	5.0-61
Figure 5.22-1	Planning Area 22.....	5.0-64
Figure 5.23-1	Planning Area 23.....	5.0-67
Figure 5.24-1	Planning Area 24.....	5.0-70
Figure 5.25-1	Planning Area 25.....	5.0-73
Figure 5.26-1	Planning Area 26.....	5.0-76
Figure 5.27-1	Planning Area 27.....	5.0-79
Figure 5.28-1	Planning Area 28.....	5.0-82
Figure 6.0-1	Landscape Theme Plan.....	6.0-2
Figure 6.0-2	Primary Entry Monument.....	6.0-9
Figure 6.0-3	Secondary Entry Monument Sign.....	6.0-11
Figure 6.0-4	Neighborhood Entry Monumentation.....	6.0-13
Figure 6.0-5	Conceptual Wall and Fence Plan.....	6.0-15
Figure 6.0-6	Wall and Fence Types.....	6.0-16
Figure 6.0-7	Edge Conditions Plan.....	6.0-20
Figure 6.0-8	Edge Condition: Residential to Open Space-Conservation.....	6.0-23
Figure 6.0-9	Edge Condition: Residential to Open Space-Habitat Conservation.....	6.0-24
Figure 6.0-10	Edge Condition: Residential to Water Quality Basin.....	6.0-25
Figure 6.0-11	Edge Condition: Residential to Park.....	6.0-26
Figure 6.0-12	Edge Condition: Residential to Canal.....	6.0-27
Figure 6.0-13	Edge Condition: Residential to Off-Site Residential.....	6.0-28
Figure 7.0-1	Front Loaded Court Cluster (Option 1).....	7.0-2
Figure 7.0-2	Front Loaded Court Cluster (Option 2).....	7.0-3
Figure 7.0-3	Rear Loaded Paseo Cluster (Option 1).....	7.0-3
Figure 7.0-4	Rear Loaded Paseo Cluster (Option 2).....	7.0-4
Figure 7.0-5	Front Loaded Tandem and Split Garage.....	7.0-4
Figure 7.0-6	Front Loaded Z-Lots.....	7.0-5
Figure 7.0-7	Front Loaded Traditional Lots.....	7.0-5
Figure 7.0-8	Swing in Garage.....	7.0-6
Figure 7.0-9	Larger Lot with Recessed Garage.....	7.0-7
Figure 7.0-10	Garage Door Treatments.....	7.0-12
Figure 7.0-11	French Country Elevation.....	7.0-14
Figure 7.0-12	Spanish California Elevation.....	7.0-16
Figure 7.0-13	California Craftsman Elevation.....	7.0-18
Figure 7.0-14	American Traditional Elevation.....	7.0-20



**BELLE  
TERRE**





**BELLE  
TERRE**

# Table of Contents

## LIST OF TABLES

Table 1.0-A	Land Use Summary Comparisons .....	1.0-15
Table 1.0-B	Detailed Land Use Comparison – By Planning Areas .....	1.0-16
Table 4.1-A	Land Use Plan Summary .....	4.0-4
Table 4.1-B	Detailed Land Use by Planning Area .....	4.0-5
Table 4.1-C	Detailed Land Use by Land Use Designations .....	4.0-6
Table 4.3-A	Open Space by Designation .....	4.0-29
Table 4.8-A	Project Phasing Plan .....	4.0-60
Table 4.8-B	Recreational Amenities Construction Timing and Responsibility .....	4.0-61
Table 6.0-A	Plant Palette .....	6.0-5
Table 7.0-A	French Country Architectural Style Elements .....	7.0-15
Table 7.0-B	Spanish California Architectural Style Elements .....	7.0-17
Table 7.0-C	California Craftsman Architectural Style Elements .....	7.0-19
Table 7.0-D	American Traditional Architectural Style Elements .....	7.0-21





# 1.0 Introduction & Overview

## 1.1 Purpose and Intent

The Belle Terre Specific Plan has been prepared for the purpose of establishing zoning requirements and landscape/architectural design guidelines that will be utilized during the construction and development of this master planned community.

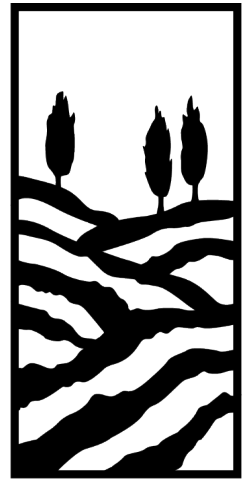
As described above, a specific plan is defined by the government code as a tool for the systematic implementation of the general plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. To an extent, the range of issues contained in a specific plan is left to the discretion of the decision-making body.

However, all specific plans, whether prepared by a general law city or county, must comply with §65450 - 65457 of the Government Code. These provisions require that a specific plan be consistent with the adopted general plan of the jurisdiction within which it is located. In turn, all subsequent subdivision and parcel maps, all development, all public works projects, and zoning ordinances within an area covered by a specific plan must be consistent with the specific plan.

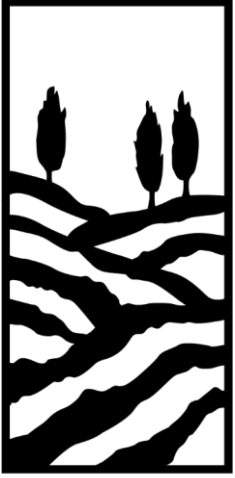
## 1.2 Authority and Scope

Government Code Section 65450, et seq. authorizes cities and counties to adopt specific plans to implement their general plans, which include text and graphics addressing the following:

- ✿ The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan;
- ✿ The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area and needed to support the land uses described in the plan;
- ✿ Any and all development and design standards, including criteria for conserving, developing, and utilizing natural resources;
- ✿ A program of implementation measures including regulations, programs, public works projects, and financing measures to implement all of the above; and
- ✿ The relationship of the specific plan to the general plan.



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In addition, a specific plan may address other subjects that, in the judgment of the planning agency, are necessary or desirable for implementation of the general plan. State law permits a specific plan to be prepared, adopted, or amended in the same manner as a general plan, except that a specific plan may be adopted by resolution or by ordinance, and may be amended as often as is deemed necessary by the legislative body and must be consistent with the jurisdiction's the general plan. It is the intent of Riverside County to adopt the Belle Terre Specific Plan by resolution as a regulatory zoning document.

## 1.3 Specific Plan Organization

- ✦ **Section 1.0 - Introduction and Overview**, provides a discussion on the overall vision of the plan area, existing conditions, context of the plan, and potential development of the area.
- ✦ **Section 2.0 - Zoning Ordinance**, provides the Specific Plan Zoning Ordinance (Ordinance No. 348.4918). The zoning provisions within Ordinance No. 348.4918 establish land use allowances and restrictions for each planning area. The zoning provisions in Ordinance No. 348 may be used in conjunction with the planning standards established in this document for individual planning areas.
- ✦ **Section 3.0 - Specific Plan**, describes the planning principles for the plan area.
- ✦ **Section 4.0 - Project-Wide Development Standards**, establishes the allowable land uses within the specific plan area and project-wide development standards that should be applied to all projects in the specific plan. This section also discusses plan administration and implementation to identify processing procedures for land use permits and other discretionary permits and how improvements may be financed. This section also includes a sustainability plan which focuses to balance strategic growth while conserving resources.
- ✦ **Section 5.0 - Planning Area Standards**, establishes development standards specific to the individual planning areas.
- ✦ **Section 6.0 - Landscape Design Guidelines**, establishes the design principles related to landscape, streetscape, monumentation, and other open space areas.
- ✦ **Section 7.0 - Architectural Design Guidelines**, the thematic and visual elements and design principals for building form that should be applied to projects in the specific plan.
- ✦ **Section 8.0 - Glossary**, provides of glossary of terms found within this document.
- ✦ **Section 9.0 - Acronyms and Abbreviations**, provides a list of acronyms and abbreviations used in this document.



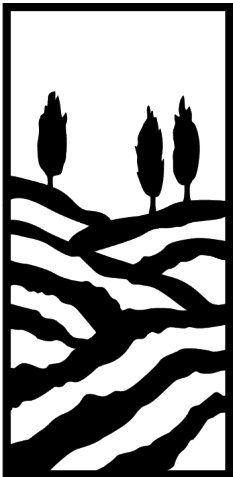
# 1.4 Project Location and Setting

## 1.4.1 Regional Location

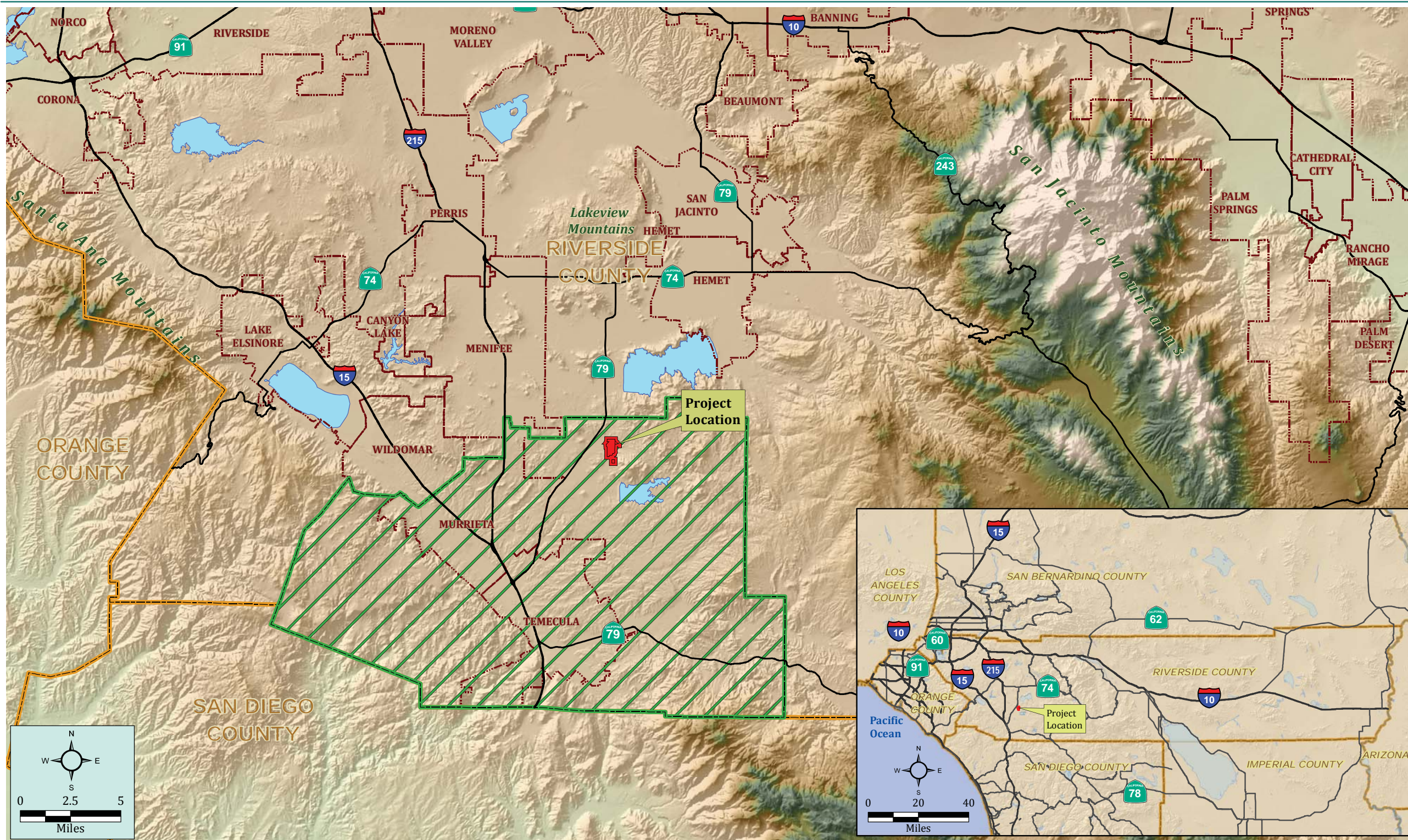
Belle Terre is located in the “French Valley” area of Riverside County within its Southwest Area Plan [SWAP] as shown in **Figure 1.0-1, Regional Map**. Rapidly urbanizing cities within the SWAP include Menifee, Temecula, Murrieta, Wildomar, Canyon Lake, and Lake Elsinore which are located to the west of Belle Terre and have distinct master planned communities. The French Valley area runs in a north-south manner and includes Warm Springs, Tocalota, and Santa Gertrudis Creeks.

## 1.4.2 Project Location

Belle Terre is situated just under a mile east of Highway 79. Major arterials surrounding Belle Terre are Washington Street to the west, Keller Road to the north, Fields Drive to the west, and Jean Nicholas to the southwest corner of the site, as illustrated in **Figure 1.0-2, Project Location**.



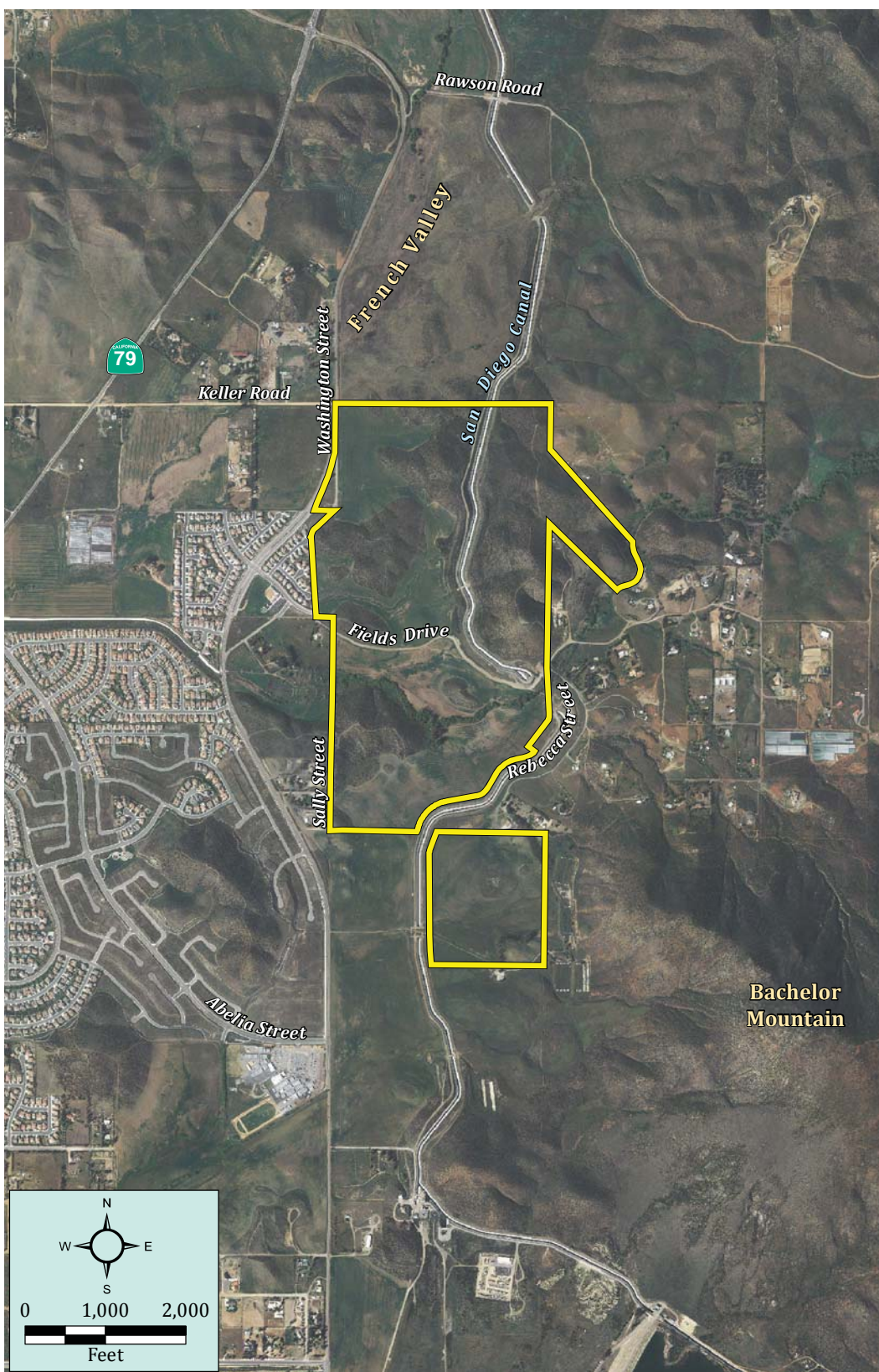
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
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- ▬ Project Boundary
- Cities
- Counties
- Southwest Area Plan

**Figure 1.0-1 Regional Map**

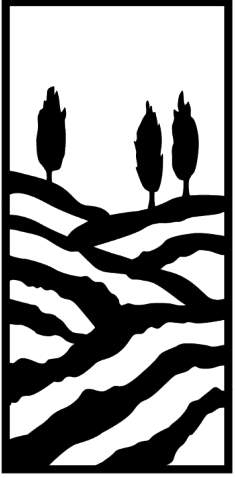


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 Project Boundary

**Figure 1.0-2 Project Location**





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### 1.4.3 Surrounding Land Uses

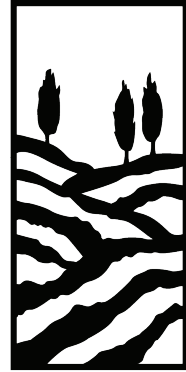
Belle Terre is surrounded by existing and planned residential developments to the north, west and southwest of the site. Domenigoni-Barton Specific Plan (SP 310) lies directly to the north and northwest of the site. The Keller Crossing Specific Plan (SP 380) is located to the northwest of Belle Terre across Highway 79. Located immediately west and southwest of Belle Terre is the master planned community of Winchester 1800 (SP 286).

Other residential developments planned west and southwest of Belle Terre are Tentative Tract Map (TTM) No. 30837 with 320 single-family residential lots (approved in 2004), and TTM No. 33423 with 132 single-family residential lots as illustrated in **Figure 1.0-3, Surrounding Developments**.

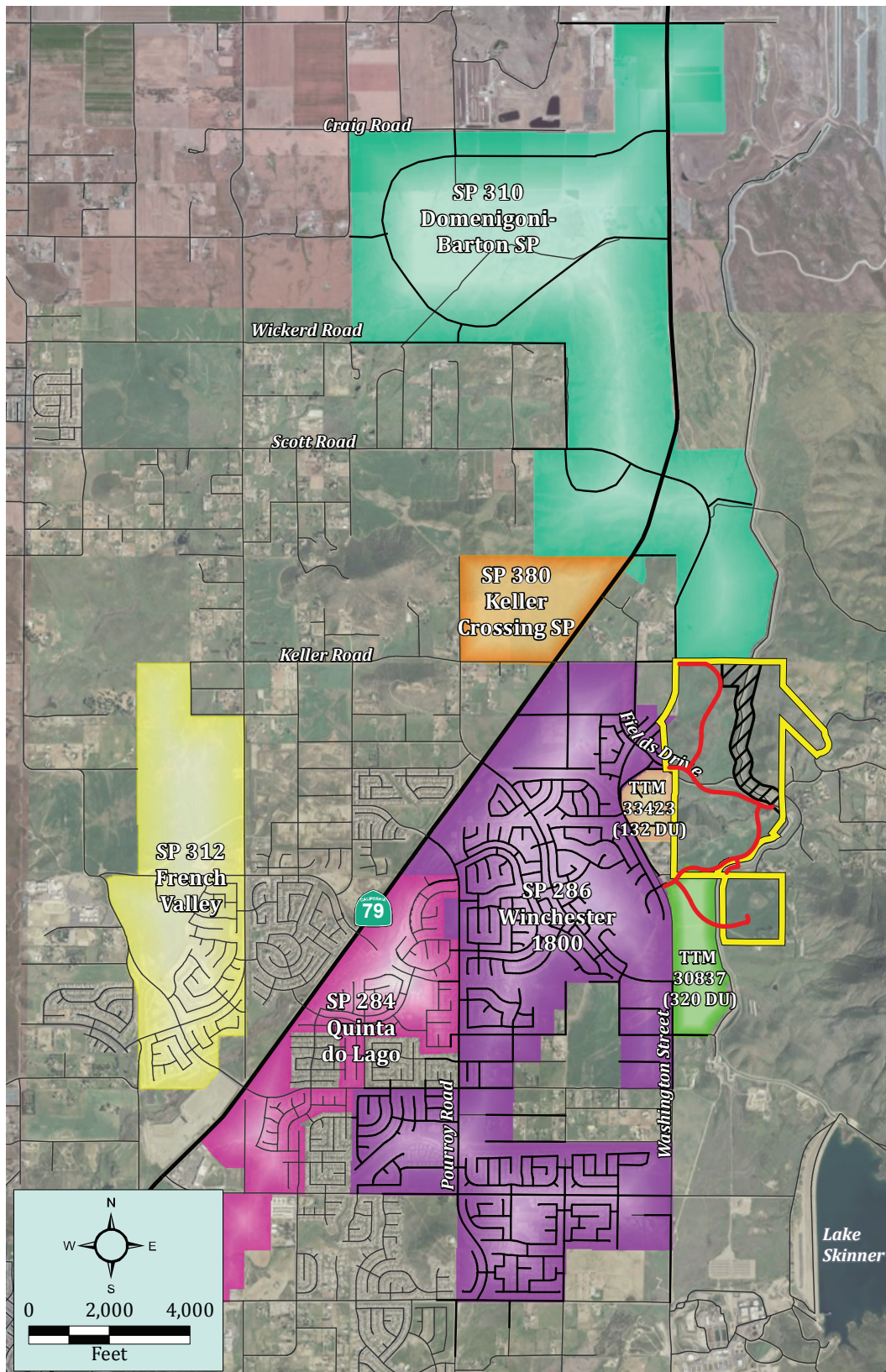
The remaining boundaries of Belle Terre adjoin existing open space, low density rural development, and agricultural lands. Scattered, large lots, rural homesteads and vacant parcels lie to the north, south and east of the site.

The area to the east of the south 55 acre portion of Belle Terre is designated by the Western Riverside County Regional Conservation Authority (RCA) as “Conserved Lands.” The RCA was created in 2004 to implement the MSHCP, and to preserve natural habitat areas. Since 2004 the RCA has conserved approximately 702 acres in the French Valley Area. Consequently, any future development to the east of the site is limited.

The San Diego Canal/Aqueduct, which runs roughly north-south, is a prominent man-made feature that traverses through the site. The Aqueduct transports water for the California State Water Project and the Colorado River and drains into Lake Skinner, a reservoir located approximately 1.5 miles south of Belle Terre. From that point, deliveries are made to Metropolitan Water District’s (MWD) member agencies in southern Riverside County and San Diego County via a system of pipelines.

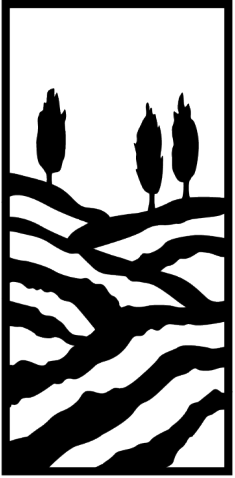


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- Project Boundary
- Not a Part
- SP 380
- SP 312
- SP 310
- SP 286
- SP 284
- TTM 30837
- TTM 33423
- Proposed Circulation
- Existing Circulation

**Figure 1.0-3 Surrounding Developments**



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#### **1.4.4 Environmental Characteristics**

The Project area has some hilly terrain; particularly the northeastern portion of the site which contains steep slopes with elevations that range from approximately 1,560 feet to 1,680 feet above mean sea level (AMSL), a difference of 120 feet. The highest elevation is located in the central portion of the site at 1,640 feet AMSL and the lowest elevation is at 1,440 feet AMSL as depicted in **Figure 1.0-4, Existing Topography**. The average slopes of the terrain are approximately two to three percent. Slopes on the southeastern portion of the site are less than 20 percent. Slopes greater than 20 percent cover less than 10 percent of the total site.

The approximately 344 acre site is presently undeveloped and is comprised of agricultural land, other previously disturbed areas, and areas with coastal sage scrub, grassland, meadows, and riparian scrub. The site is bisected east-west by an unnamed creek and north-south by the San Diego Canal.



Source: Ruben Ramirez, Cadre Environmental

**Southwest view towards Washington Street**



Source: Ruben Ramirez, Cadre Environmental



**San Diego Canal/Aqueduct**

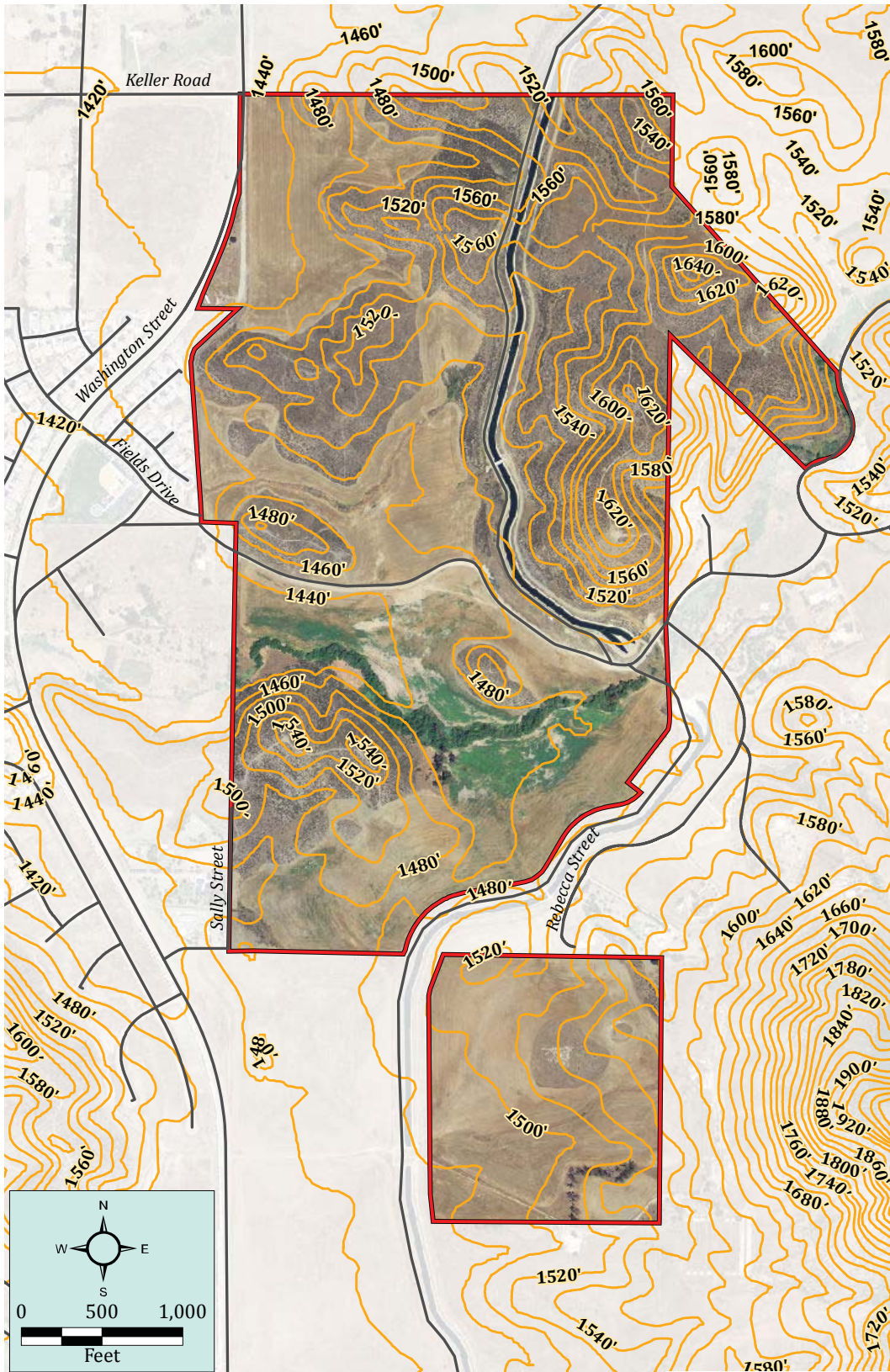






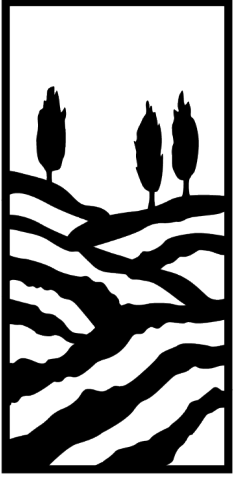
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-  Project Boundary
-  20 ft. Topographic Contours



**Figure 1.0-4 Existing Topography**





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The site is located within the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) and will be required to conform to requirements of the MSHCP including Riparian/Riverine Policies, Specific Species Policies and Surveys, Urban Wildlands Interface Guidelines (UWIG), Narrow Endemic Plan Species Policies, and Determination of Biologically Equivalent or Superior Preservation Analysis (DBESP), as applicable. The site lies within five Criteria Area Cells. Specifically, the site is located within Cell 5279 Independent-SU2 French Valley/Lower Sedco Hills, Cell 5278 S, Cell 5274 S, Cell 5373 S, and Cell 5471 S-SU4 Cactus Valley/SWRC-MSR/Johnson Ranch. As required by the MSHCP, the Project has undergone the Habitat Evaluation and Acquisition Negotiations Strategy (HANS) process and will set aside 106.85 acres of Open Space-Conservation Habitat in perpetuity identified as Planning Areas 17 through 21.

## **1.5 Background and Planning Context**

Belle Terre is located within the Southwest Area Plan (SWAP) of the Riverside County General Plan. The SWAP is bordered by San Diego County to the south, Orange and San Diego Counties to the west, Lake Elsinore to the northwest, and the vast mountain and desert area known as the Riverside Extended Mountain Area Plan (REMAP) to the east. The SWAP borders the Sun City/Menifee Valley and Harvest Valley/Winchester Area Plans. There are a number of unincorporated areas within the SWAP that have strong local identities, such as the Santa Rosa Plateau and French Valley.

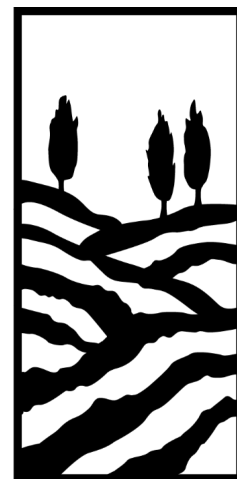
The SWAP Land Use Plan is predominantly rural in character. About 89 percent of the SWAP planning area is devoted to Open Space, Agricultural, and Rural designations. The remaining 11 percent of the land is devoted to a variety of urban uses. As per the SWAP, future growth is planned to occur northeast of the existing cities of Temecula and Murrieta in the French Valley. Most of the urban development in the cities of Temecula, and Murrieta; and within the unincorporated French Valley is planned for implementation through adoption of specific plans<sup>1</sup>.

As designated in the SWAP, few policy areas cover the site. A policy area is a portion of an area plan that contains special or unique characteristics that merit detailed attention and focused policies. The site is located within the Highway 79 Policy Area and portions of the site are located within the North Skinner Policy Area. A General Plan Amendment is proposed to remove the site from the North Skinner Policy Area. Therefore, it is anticipated that the site will no longer be considered within the North Skinner Policy Area. The Highway 79 policies are discussed further in Section 4.2 – Circulation Plan of this document.

As per the SWAP, the existing land use designations were Medium Density Residential (MDR) for the area west of the San Diego Canal and Rural Mountainous (RM) for the areas east of the San Diego Canal. The site was zoned Light Agriculture-10 Acre Minimum (A-1-10) and Light Agriculture-5 Acre Minimum (A-1-5) west of the San Diego Canal and Rural Residential (RR), and Residential Agriculture-2 ½ Acre Minimum (R-A-2 ½) east of the San Diego Canal.

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<sup>1</sup> Riverside County General Plan - Southwest Area Plan, page 15.



**BELLE  
TERRE**

## 1.6 Specific Plan

The Belle Terre Specific Plan establishes an additional residential community in the French Valley area of Riverside County. This residential community is planned to provide a wide range of home types for a broad segment of potential homebuyers which may include young professionals, first time home buyers, and active adults.

### Principles of Planning for Belle Terre

**Clustering Development:** The land use concept for the SWAP discusses concentrating urban uses on about 11 percent of the planning area, thereby helping conserve the remaining 89 percent in open space, open space-conservation, agricultural and rural uses<sup>2</sup>.

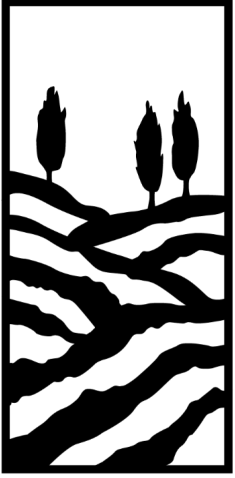
Belle Terre includes up to 856 homes which are clustered on 144 acres while retaining approximately 180 acres as open space; of that acreage, 106.85 acres will be preserved in perpetuity as Open Space-Conservation Habitat. The Belle Terre Land Use Plan shows this clustering of residential planning areas with supportive parks and access routes planned on the northwestern and southwestern portions of the site where topography and access are more suitable for development. The northeastern portion of the site and riparian areas in the northwestern portion of the site are included as part of the open space areas set aside for conservation habitat.

**Protection of Natural Resources:** Approximately 50 acres is planned as Open Space-Conservation; 106.85 acres will be preserved in perpetuity as Open Space-Conservation Habitat. The Belle Terre Land Use Plan proposes to preserve approximately 68 acres of the 73 acre northeastern site as Open Space-Conservation Habitat. This will achieve MSHCP conservation goals. In addition, an existing unnamed riparian corridor on the northwestern portion of the site is also planned to be preserved as Open Space-Conservation Habitat.

**Buffering:** The Belle Terre Land Use Plan places a special emphasis on buffering along the Project boundaries. As shown in **Figure 1.0-3, Surrounding Development**, the western boundary of the site will adjoin the planned developments for TTM No. 33423 and TTM No. 30837 and the developed community of Winchester 1800 (SP 286). The Belle Terre Land Use Plan proposes residential planning areas of similar intensity along the western boundary to provide a seamless transition with the surrounding developments. In addition, the southeast portion of Belle Terre is planned for land uses that would provide an appropriate buffer to the adjacent rural uses to the north and east of this part of the site. The southeast portion of Belle Terre is planned for medium density residential uses with larger lots to provide a buffer/transition to the adjacent rural uses along these boundaries.

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<sup>2</sup> Riverside County General Plan – Southwest Area Plan, page 15.



**BELLE  
TERRE**

## 1.7 Project Overview

“Belle Terre” is French for beautiful land. The Belle Terre Specific Plan outlines an approximately 344 acre residential community located on the north western edge of Bachelor Mountain in the French Valley area of Riverside County, an urbanizing part of French Valley.

This residential community is planned to provide a wide range of home types for a broad spectrum of potential homebuyers which may also include young professionals, first time home buyers, and active adults.

The Belle Terre Specific Plan establishes a residential community for homes in varying densities from 2.0 to 14.0 dwelling units per acre based on three principles of planning:

- ✿ Clustered Development
- ✿ Protection of Natural Resources
- ✿ Buffering along Project Boundaries

Based on these planning principles, the Belle Terre Land Use Plan can be further described as being comprised of three distinct portions, namely: (1) the northeast portion, east of the San Diego Canal; (2) the northwest portion, northwest of the San Diego Canal; and (3) the southeast portion, southeast of the San Diego Canal.

### ***Northeast Belle Terre***

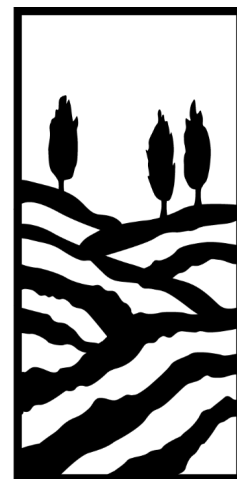
The approximately 73 acre northeast portion of Belle Terre is located east of the San Diego Canal and is planned to be part of the habitat conservation area requirements under the Multiple Species Habitat Conservation Plan (MSHCP). This area provides a permanent open space buffer to the planned community of Belle Terre. Minimal infrastructure (e.g. a water tank and access roads) may be developed on this approximately 73 acre parcel if additional storage is needed to create adequate water pressure for the Belle Terre community.

### ***Northwest Belle Terre***

The approximately 214 acre northwest portion of Belle Terre is located west of the San Diego Canal and is accessible from Washington Street/Keller Road, Fields Drive and Jean Nicholas Road. This area is planned for residential development, open space for parks and detention basins, and open space areas for habitat conservation.

### ***Southeast Belle Terre***

Southeast Belle Terre is approximately 55 acres located southeast of the San Diego Canal planned for residential development, open space for detention basin and park, and open space for conservation habitat.



**BELLE  
TERRE**

## 1.8 Proposed Changes to Specific Plan

Belle Terre was approved by the County of Riverside Board of Supervisors December 9, 2014 for up to 1,282 dwelling units of varying densities, recreational areas, open spaces, streets, and other infrastructure. The homes were clustered on approximately 170 acres ranging from low to high densities. Community parks and trails were planned on approximately 21 acres, open space for habitat conservation of 106.85 acres, and approximately 21.5 acres was planned as open space to be utilized for water quality basins and preservation of non-MSHCP<sup>3</sup> natural habitat.

The County of Riverside has since requested modification to the Belle Terre Specific Plan for consistency with Valley-Wide Recreation and Park District requirements for park programming. Thus, the land use plan had to be revised to accommodate the request and meet these standards.

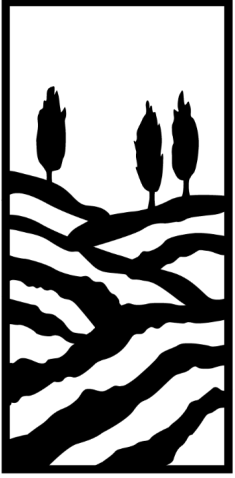
Generally, the revised plan, removes the LDR planning area; reduces the acreage and dwelling units for development within the MHDR and HDR planning areas; increases the acreage and dwelling units for development within the MDR planning areas; increases the OS-C planning areas to provide more buffering and protect cultural resources in the southern portion of the Belle Terre site and increases the OS-CH areas just slightly; all to consolidate the OS-R planning areas to allow for development of larger individual park areas compared to more smaller individual park areas as previously approved.

As a result, the revised plan has made the following changes:

- merged planning areas from the approved plan (previous PA-10, and PA-11) into one Medium High Density Residential Planning Area (new PA-28);
- removed the low density residential planning area (previously PA-14) and replaced it with a combination of Medium Density Residential (new PA-13) and a large open space area (new PA-14);
- removed a portion of the linear park and trail due to the steep grades (previously PA-8) and merged into the adjacent planning area (new PA-9 and PA-28) and changed the Planning Area number for the remaining acreage to PA-25;
- changed PA-12 from Medium High Density Residential to Open Space-Recreational (to be maintained by Valley-Wide);
- split PA-15 into two planning areas (new PA-15 and new PA-27) to provide two separate areas for a detention basin and a park;
- identifies a segment of Fields Drive (east of the intersection of Fields Drive and proposed Autumn Glenn Circle, formerly “South Street”) as a local street; adds a roundabout at Fields Drive and Belle Terre Parkway (formerly “North Street”);

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<sup>3</sup> Western Riverside County Multiple Species Habitat Conservation Plan



# BELLE TERRE

- removes Rebecca Street (east of new PA-11, PA-12, PA-16, and PA-19) as a connection between the northern and southern planning areas and instead provides connection via a canal crossing to provide a direct link to minimize secondary traffic east of the canal; However, the Specific Plan allows for Rebecca Street to remain as it was originally depicted in the Belle Terre Specific Plan No. 382, without the proposed canal crossing.changes Belle Terre Drive to a Collector; and
- includes approximately 16 acres of parks (new PA-5, PA-12, and PA-27) to be maintained by Valley-Wide as well as approximately 8 acres of Community Parks (new PA-10 and PA-25) that may include dog park/run, recreational center, community garden, farmhouse, and/or farmhouse associated uses.

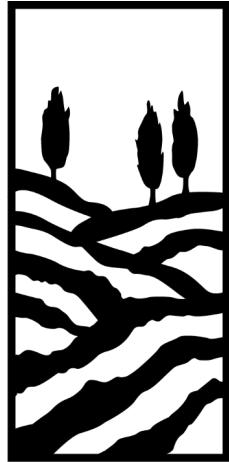
The revised plan provides for twenty eight planning areas (PA). Eight of the twenty eight planning areas are planned for residential development with planned residential density ranges for medium density (2.0-5.0 du/ac<sup>4</sup>), medium-high density (5.0-8.0 du/ac), and high density (8.0-14.0 du/ac). These eight planning areas reduce total dwelling units from 1,282 to development of 856 homes across 144 acres, five active parks on approximately 24 acres, and approximately 23 acres of open space for detention basins. The revised plan will continue to provide the required 106.85 acres of land to remain undeveloped for habitat conservations purposes.

Connectivity within Belle Terre and to its immediate surroundings will continue to be provided through a variety of vehicular and non-vehicular travel ways.

The revised plan is reflected on **Figure 1.0-5, Land Use Plan. Table 1.0-A, Land Use Summary Comparison** provides a summary of the previously approved land uses and those now proposed for Belle Terre. **Table 1.0-B, Detailed Land Use Comparison – By Planning Areas**, provides a detail of proposed land use, acreage, dwelling unit and planning area numbering changes to each planning area.

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<sup>4</sup> du/ac = dwelling units per acre



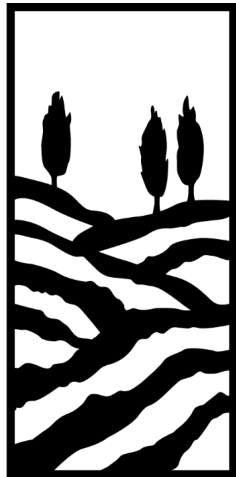
**BELLE  
TERRE**

**Table 1.0-A, Land Use Summary Comparison**

Land Use Designation		Density Range (DU/AC) <sup>1</sup>	APPROVED					PROPOSED			
			Target Density (DU/AC)	Gross Area (Acres)	Net Park (Acres)	Maximum Dwelling Units	Percent of Total Acres	Target Density (DU/AC)	Gross Area (Acres)	Maximum Dwelling Units	Percent of Total Acres
<b>Residential</b>											
Low Density Residential	LDR	0.5-2.0	2.0	19.2		34.2	5.6				
Medium Density Residential	MDR	2.0-5.0	5.0	16.6		83.0	4.8	4.4	61.4	272	18
Medium High Density Residential	MHDR	5.0-8.0	8.0	121.1		966.4	35.4	5.9	70.9	421	21
High Density Residential	HDR	8.0-14.0	14.0	14.0		196.0	4.1	13.9	11.7	163	3
<b>Subtotal</b>				<b>170.9</b>		<b>1,286.2<sup>4</sup></b>	<b>49.9</b>		<b>144.0</b>	<b>856</b>	<b>42</b>
<b>Open Space</b>											
Open Space-Recreation	OS-R			12.2	11.6	0	3.6		23.6		7
Open Space - Recreation/Basin <sup>2</sup>	OS-R/B			10.5	5.0	0	3.1				
<i>Neighborhood Parks<sup>3</sup></i>				<i>0</i>	<i>4.0</i>		<i>0.0</i>				
Open Space-Conservation	OS-C			21.5		0	6.3		48.9		14
Open Space-Conservation Habitat	OS-CH			106.6		0	31.1		106.9		31
<b>Subtotal</b>				<b>150.8</b>	<b>20.6</b>	<b>0</b>	<b>44.1</b>		<b>179.4</b>		<b>52</b>
<b>Infrastructure</b>											
Streets				20.6		0	6.0		20.4		6
<b>Sub total</b>				<b>20.6</b>		<b>0</b>	<b>6.0</b>		<b>20.4</b>		<b>6</b>
<b>Total</b>				<b>342.3</b>		<b>1,282<sup>4</sup></b>	<b>100.0</b>		<b>344</b>	<b>856</b>	<b>100</b>

Notes:

1. DU/AC = Dwelling Units per Acre
2. Open Space Recreation/Basin where 5 acres was planned as active park space in Original Specific Plan.
3. Neighborhood Parks are reflected in Figure A-3-1, Open Space and Recreation Plan of the Original Specific Plan.
4. Discrepancy appears within approved Belle Terre Specific Plan No. 303 document. Total dwelling units approved under plan is 1,282.



**BELLE  
TERRE**

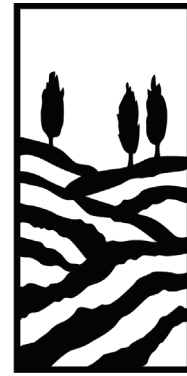
**Table 1.0-B, Detailed Land Use Comparison – By Planning Areas**

APPROVED SPECIFIC PLAN						SPECIFIC PLAN SUBSTANTIAL CONFORMANCE NO. 1					
Planning Area	Land Use Designation	Density Range (DU/AC) <sup>1</sup>	Average Density (DU/AC)	Gross Area (Acres)	Maximum Dwelling Units	NEW Planning Area Number	NEW Land Use Designation	NEW Density Range (DU/AC)	NEW Average Density (DU/AC)	NEW Gross Area (Acres)	NEW Maximum Dwelling Units
PA-1	MHDR	5.0-8.0	7.95	32.8	261	PA-1	MDR	2.0-5.0	4.4	21.8	97
PA-2	HDR	8.0-14.0	14	14.0	196	PA-2	HDR	8.0-14.0	13.9	11.7	163
PA-3	MHDR	5.0-8.0	8	14.0	112	PA-3	MDR	2.0-5.0	4.6	20.8	95
PA-4	MHDR	5.0-8.0	8	14.5	116	PA-4	MHDR	5.0-8.0	5.5	17.4	95
PA-5	OS-R	-		2.7		PA-5	OS-R			4.0	
PA-6	MHDR	5.0-8.0	8	6.3	50	PA-6	OS-C			4.9	
PA-7	MHDR	5.0-8.0	8	13.7	110	PA-7	MHDR	5.0-8.0	5.2	16.5	85
PA-8	OS-R			9.5		PA-25	OS-R			1.6	
PA-9	MHDR	5.0-8.0	8	7.7	62	PA-9	MHDR	5.0-8.0	7.2	19.6	142
PA-10	MHDR	5.0-8.0	7.95	23.4	186						
PA-11	MHDR	5.0-8.0	8	3.5	28	PA-28	MHDR	5.0-8.0	5.7	17.4	99
PA-12	MHDR	5.0-8.0	8	5.2	42	PA-12	OS-R			5.6	
PA-13	MDR	2.0-5.0	5	16.6	83	PA-13	MDR	2.0-5.0	4.3	18.8	80
PA-14	LDR	0.5-2.0	1.95	19.2	37	PA-14	OS-C			15.3	
PA-15	OS-R/B	-		10.5		PA-15	OS-C			8.9	
PA-16A	OS-C	-		2.7		PA-8	OS-C			4.8	
PA-16B	OS-C	-		5.6		PA-10	OS-R			6.0	
PA-16C	OS-C	-		1.8							
PA-16D	OS-C	-		2.4		PA-11	OS-C			2.2	
PA-16E	OS-C	-		4.8		PA-16	OS-C			4.0	
PA-16F	OS-C	-		4.2		PA-24	OS-C			4.7	
PA-17	OS-CH	-		69.0		PA-17	OS-CH			67.7	
PA-18	OS-CH	-		31.6		PA-18	OS-CH			32.5	
PA-19	OS-CH	-		1.8		PA-19	OS-CH			2.2	
PA-20	OS-CH	-		1.3		PA-20	OS-CH			1.3	
PA-21	OS-CH	-		2.9		PA-21	OS-CH			3.2	
						PA-22	OS-C			0.4	
						PA-23	OS-C			2.5	
						PA-26	OS-C			1.2	
						PA-27	OS-R			6.4	
Streets	-	-		20.6		Streets	ROW			20.4	
<b>Total</b>				<b>342.3</b>	<b>1,282</b>					<b>344</b>	<b>856</b>




Notes:

1. DU/AC = Dwelling Units per Acre
2. **FONT** = Denotes a change











# BELLE TERRE

-  Project Boundary
-  Planning Areas
-  Not a Part

## LEGEND

-  MEDIUM DENSITY RESIDENTIAL (MDR)
-  MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
-  HIGH DENSITY RESIDENTIAL (HDR)
-  OPEN SPACE-CONSERVATION-(OS-C)
-  OPEN SPACE-CONSERVATION HABITAT (OS-CH)
-  OPEN SPACE-RECREATION (OS-R)

**DWELLING UNITS**  
856 TOTAL DWELLING UNITS

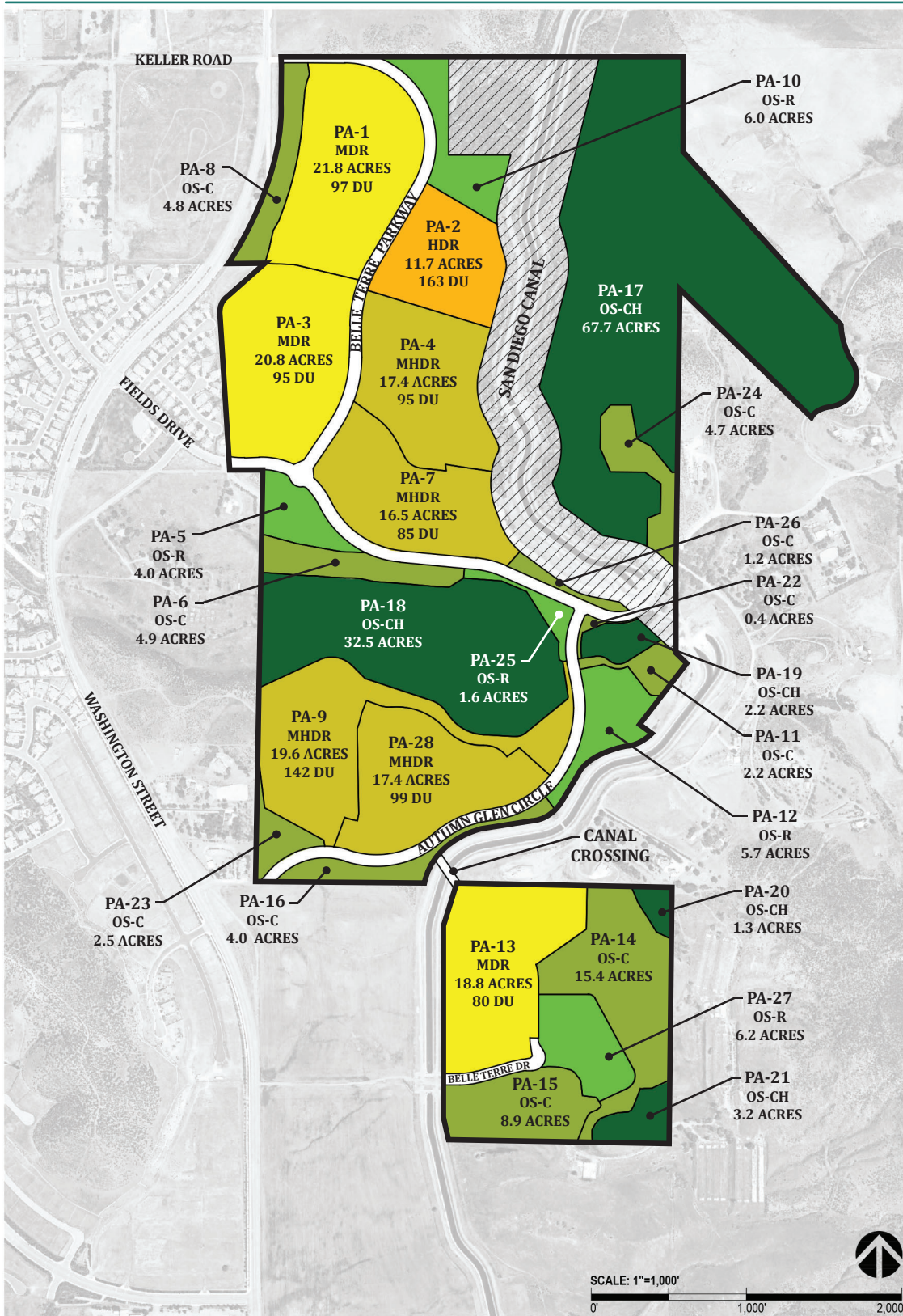
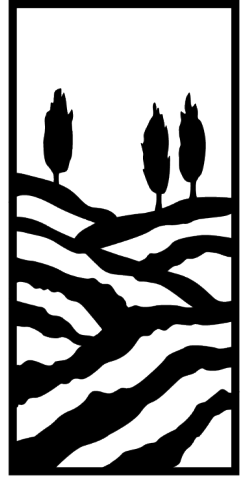


Figure 1.0-5 Land Use Plan

# 2.0 Zoning Ordinance



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TERRE**

## 3.0 Specific Plan

The Belle Terre Specific Plan establishes an additional residential community in the French Valley area of Riverside County. This residential community is planned to provide a wide range of home types for a broad segment of potential homebuyers which may include young professionals, first time home buyers, and active adults. The Belle Terre Land Use Plan will contain up to 856 homes in varying densities from 2.0 to 14.0 dwelling units an acre, with an overall gross density of up to 2.5 dwelling units an acre.

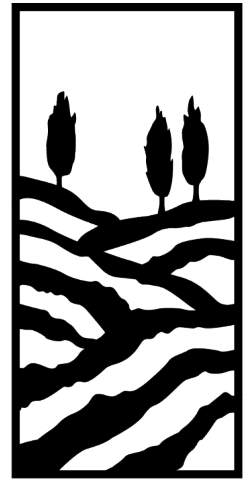
### Principles of Planning for Belle Terre

**Clustering Development:** The land use concept for the SWAP discusses concentrating urban uses on about 11 percent of the planning area, thereby helping conserve the remaining 89 percent in open space, open space-conservation, agricultural and rural uses<sup>1</sup>.

Belle Terre includes up to 856 homes which are clustered on 144 acres while retaining approximately 180 acres as open space; of that acreage, 106.85 acres will be preserved in perpetuity as Open Space-Conservation Habitat. The Belle Terre Land Use Plan shows this clustering of residential planning areas with supportive parks and access routes planned on the northwestern and southwestern portions of the site where topography and access are more suitable for development. The northeastern portion of the site and riparian areas in the northwestern portion of the site are included as part of the open space areas set aside for conservation habitat.

**Protection of Natural Resources:** Approximately 50 acres is planned as Open Space-Conservation; 106.85 acres will be preserved in perpetuity as Open Space-Conservation Habitat. The Belle Terre Land Use Plan proposes to preserve approximately 68 acres of the 73 acre northeastern site as Open Space-Conservation Habitat. This will achieve MSHCP conservation goals. In addition, an existing unnamed riparian corridor on the northwestern portion of the site is also planned to be preserved as Open Space-Conservation Habitat.

**Buffering:** The Belle Terre Land Use Plan places a special emphasis on buffering along the Project boundaries. As shown in **Figure 1.0-3, Surrounding Development**, the western boundary of the site will adjoin the planned developments for TTM No. 33423 and TTM No. 30837 and the developed community of Winchester 1800 (SP 286). The Belle Terre Land Use Plan proposes residential planning areas of similar intensity along the western boundary to provide a seamless transition with the surrounding developments. In addition, the southeast portion of Belle Terre is planned for land uses that would provide an appropriate buffer to the adjacent rural uses to the north and east of this part of the site. The southeast portion of Belle Terre is planned for medium density residential uses with larger lots to provide a buffer/transition to the adjacent rural uses along these boundaries.



**BELLE  
TERRE**

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<sup>1</sup> Riverside County General Plan – Southwest Area Plan, page 15.

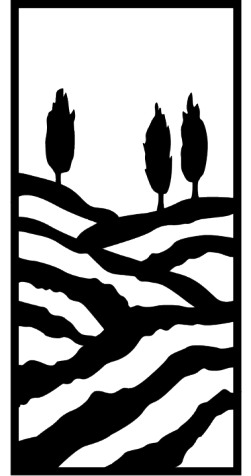
# 4.0 Development Standards

## Introduction

Section 4.0 – Development Standards, establishes project-wide development standards and zoning regulations for the overall site. This section includes project wide standards addressing the following:

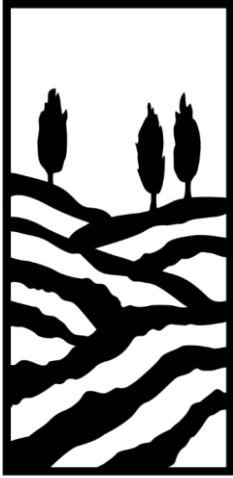
- ✿ 4.1 Land Use Plan
- ✿ 4.2 Circulation Plan
- ✿ 4.3 Open Space & Recreation Plan
- ✿ 4.4 Drainage Plan
- ✿ 4.5 Grading Plan
- ✿ 4.6 Water and Sewer Plan
- ✿ 4.7 Public Facility Plan
- ✿ 4.8 Administration/Implementation Plan
- ✿ 4.9 Maintenance Plan
- ✿ 4.10 Sustainability Plan

Section 5.0 – Planning Area Standards, includes additional development standards related to individual planning areas.



**BELLE  
TERRE**





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TERRE**

## 4.1 Land Use Plan

### 4.1.1 Plan Description

Belle Terre is planned as an approximately 344 acre residential community located on the north western edge of Bachelor Mountain in the French Valley area of Riverside County. Regional access to the site is from Highway 79, located approximately a half mile to the west. Major arterials surrounding the site are Washington Street to the west and Scott Road to the north.

As elaborated in Section 3.0 – Specific Plan, the Belle Terre Land Use Plan is defined by the use of three principles of planning:

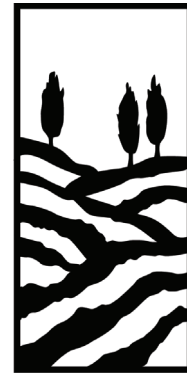
- ✿ Clustered Development
- ✿ Protection of Natural Resources
- ✿ Buffering along Project Boundaries

Based on these planning principles, the Land Use Plan can be further described as being comprised of three portions, namely: 1) the northeast portion, east of the San Diego Canal; 2) the northwest portion, northwest of the San Diego Canal; and 3) the southeast portion, southeast of the San Diego Canal.




As shown in **Figure 4.1-1, Land Use Plan**, Belle Terre is planned to provide up to 856 dwelling units of varying densities, recreational areas, streets, open space areas, and other associated infrastructure. Homes will be clustered on approximately 144 acres ranging from medium to high densities. Parks are planned across approximately 24 acres and may include uses such as: recreational center, dog run/park, community garden, sports fields, playgrounds, and picnic areas. In addition, the community has approximately 49 acres designated for Open Space-Conservation and 106.85 acres planned for Open Space-Conservation Habitat to be preserved in perpetuity as protected habitat areas. Streets provide connectivity within Belle Terre and to the immediate surroundings. To enhance this functionality of the Land Use Plan, architectural and landscape elements (streetscape, trails, entrances, features) are planned to create an overall community identity and landscape theme for Belle Terre.

**Table 4.1-A, Belle Terre Land Use Summary**, provides a summary of the proposed land uses. Specific information for each of the individual planning areas is provided in **Table 4.1-B, Detailed Land Use by Planning Area** and **Table 4.1-C, Detailed Land Use by Land Use Designation**, below.











# BELLE TERRE

-  Project Boundary
-  Planning Areas
-  Not a Part

## LEGEND

-  MEDIUM DENSITY RESIDENTIAL (MDR)
-  MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
-  HIGH DENSITY RESIDENTIAL (HDR)
-  OPEN SPACE-CONSERVATION-(OS-C)
-  OPEN SPACE-CONSERVATION HABITAT (OS-CH)
-  OPEN SPACE-RECREATION (OS-R)

**DWELLING UNITS**  
856 TOTAL DWELLING UNITS

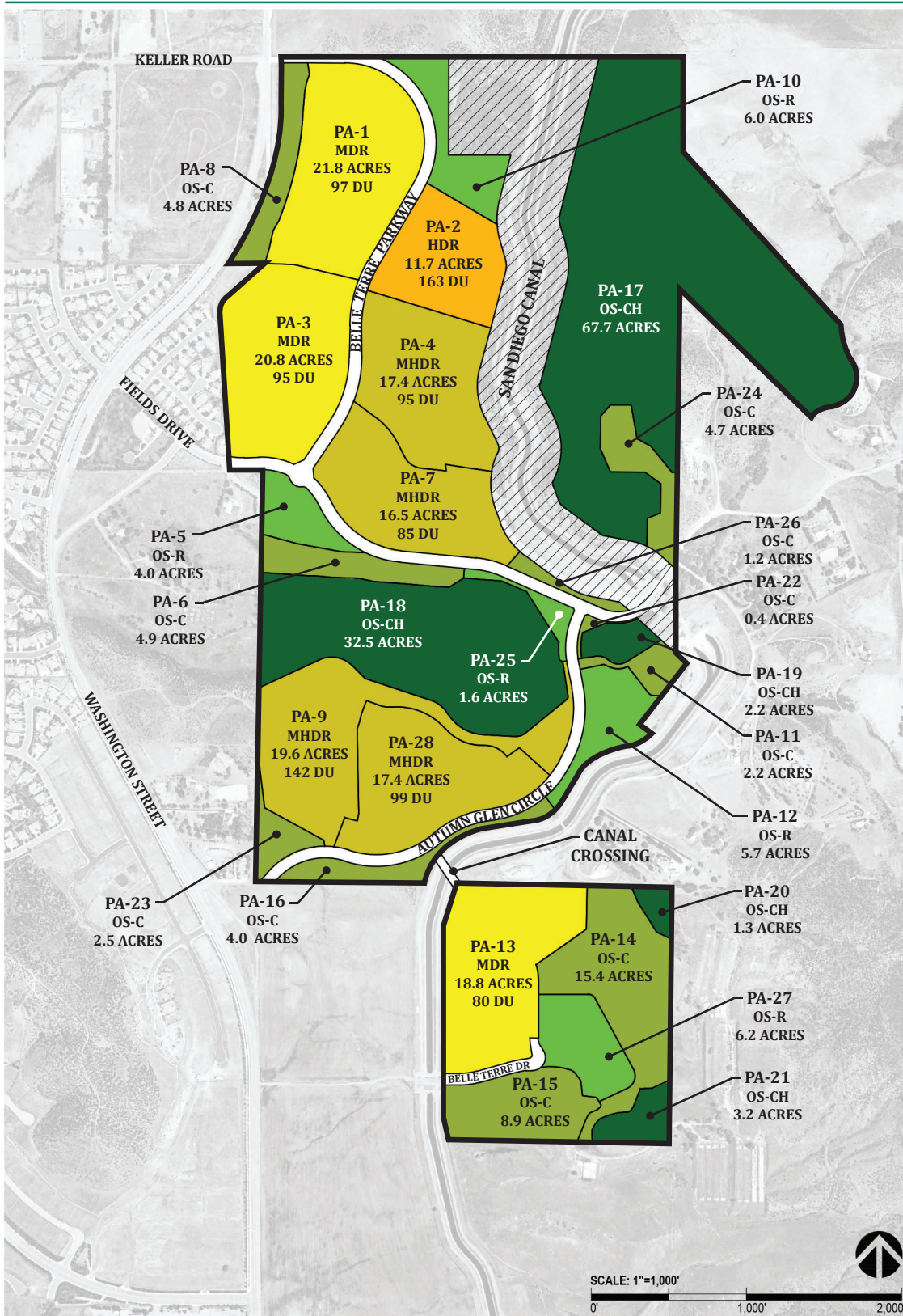
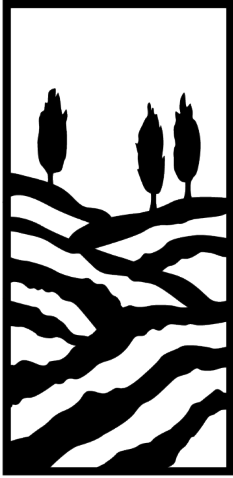


Figure 4.1-1 Land Use Plan



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**Table 4.1-A, Land Use Plan Summary**

Land Use Designation		Density Range (DU/AC) <sup>1</sup>	Target Density (DU/AC)	Gross Area (Acres)	Maximum Dwelling Units	Percent of Total Acres
<b>Residential</b>						
Medium Density Residential	MDR	2.0-5.0	5.0	61.4	272	18
Medium High Density Residential	MHDR	5.0-8.0	8.0	70.9	421	21
High Density Residential	HDR	8.0-14.0	14.0	11.7	163	3
<b>Subtotal</b>				<b>144</b>	<b>856</b>	<b>42</b>
<b>Open Space</b>						
Open Space-Recreation	OS-R			23.6		7
Open Space-Conservation	OS-C			48.9		14
Open Space-Conservation Habitat	OS-CH			106.9		31
<b>Subtotal</b>				<b>179.4</b>		<b>52</b>
<b>Infrastructure</b>						
Streets	ROW			20.4		6
<b>Sub total</b>				<b>20.4</b>		<b>6</b>
<b>Total</b>				<b>344</b>	<b>856</b>	<b>100%</b>

Notes:

1. DU/AC = Dwelling Units per Acre

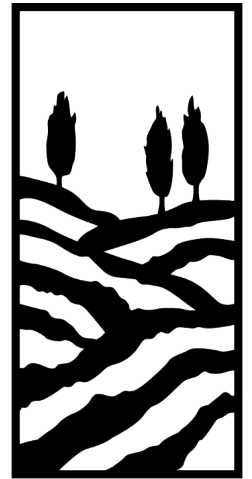


**Table 4.1-B, Detailed Land Use by Planning Area**

<b>Planning Area Number</b>	<b>Land Use Designation</b>	<b>Density Range (DU/AC)<sup>1</sup></b>	<b>Average Density (DU/AC)</b>	<b>Gross Area (Acres)</b>	<b>Maximum Dwelling Units</b>
PA-1	MDR	2.0-5.0	4.4	21.8	97
PA-2	HDR	8.0-14.0	13.9	11.7	163
PA-3	MDR	2.0-5.0	4.6	20.8	95
PA-4	MHDR	5.0-8.0	5.5	17.4	95
PA-5	OS-R			4.0	
PA-6	OS-C			4.9	
PA-7	MHDR	5.0-8.0	5.2	16.5	85
PA-8	OS-C			4.8	
PA-9	MHDR	5.0-8.0	7.2	19.6	142
PA-10	OS-R			6.0	
PA-11	OS-C			2.2	
PA-12	OS-R			5.6	
PA-13	MDR	2.0-5.0	4.3	18.8	80
PA-14	OS-C			15.3	
PA-15	OS-C			8.9	
PA-16	OS-C			4.0	
PA-17	OS-CH			67.7	
PA-18	OS-CH			32.5	
PA-19	OS-CH			2.2	
PA-20	OS-CH			1.3	
PA-21	OS-CH			3.2	
PA-22	OS-C			0.4	
PA-23	OS-C			2.5	
PA-24	OS-C			4.7	
PA-25	OS-R			1.6	
PA-26	OS-C			1.2	
PA-27	OS-R			6.4	
PA-28	MHDR	5.0-8.0	5.7	17.4	99
Streets	ROW			20.4	
<b>TOTALS</b>				<b>344</b>	<b>856</b>

Notes:

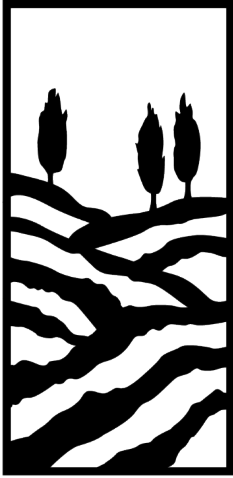
1. DU/AC = Dwelling Units per Acre



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**Table 4.1-C, Detailed Land Use by Land Use Designation**

<b>Planning Area Number</b>	<b>Land Use Designation</b>	<b>Density Range (DU/AC)<sup>1</sup></b>	<b>Average Density (DU/AC)<sup>1</sup></b>	<b>Gross Area (Acres)</b>	<b>Maximum Dwelling Units</b>
<b>Medium Density Residential</b>					
PA-1	MDR	2.0-5.0	4.4	21.8	97
PA-3	MDR	2.0-5.0	4.6	20.8	95
PA-13	MDR	2.0-5.0	4.3	18.8	80
<b>Totals</b>				<b>61.4</b>	<b>272</b>
<b>Medium High Density Residential</b>					
PA-4	MHDR	5.0-8.0	5.5	17.4	95
PA-7	MHDR	5.0-8.0	5.2	16.5	85
PA-9	MHDR	5.0-8.0	7.2	19.6	142
PA-28	MHDR	5.0-8.0	5.7	17.4	99
<b>Totals</b>				<b>70.9</b>	<b>421</b>
<b>High Density Residential</b>					
PA-2	HDR	8.0-14.0	13.9	11.7	163
<b>Totals</b>				<b>11.7</b>	<b>163</b>
<b>Open Space and Basins</b>					
PA-6	OS-C			4.9	
PA-8	OS-C			4.8	
PA-11	OS-C			2.2	
PA-14	OS-C			15.3	
PA-16	OS-C			4.0	
PA-22	OS-C			0.4	
PA-23	OS-C			2.5	
PA-24	OS-C			4.7	
PA-15	OS-C			8.9	
PA-26	OS-C			1.2	
<b>Total</b>				<b>48.9</b>	
<b>Open Space for Conservation Habitat</b>					
PA-17	OS-CH			67.7	
PA-18	OS-CH			32.5	
PA-19	OS-CH			2.2	
PA-20	OS-CH			1.3	
PA-21	OS-CH			3.2	
<b>Total</b>				<b>106.9</b>	

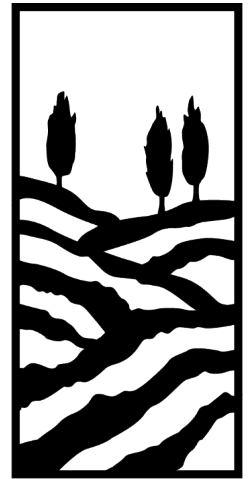


**Table 4.1-C, Detailed Land Use by Land Use Designation (cont'd.)**

<b>Planning Area Number</b>	<b>Land Use Designation</b>	<b>Density Range (DU/AC)<sup>1</sup></b>	<b>Average Density (DU/AC)<sup>1</sup></b>	<b>Gross Area (Acres)</b>	<b>Maximum Dwelling Units</b>
<b>Open Space for Parks</b>					
PA-5	OS-R			4.0	
PA-10	OS-R			6.0	
PA-12	OS-R			5.6	
PA-25	OS-R			1.6	
PA-27	OS-R			6.4	
<i>Total</i>				<b>23.6</b>	
<b>Streets/Right-of-Way</b>					
Streets	ROW			20.4	
<i>Total</i>				<b>20.4</b>	
<b>GRAND TOTAL</b>				<b>344</b>	<b>856</b>

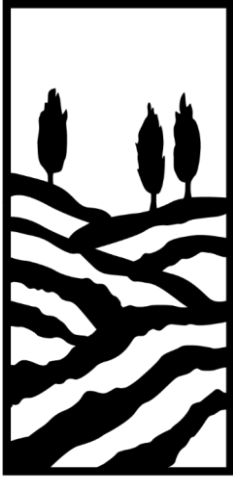
Notes:

1. DU/AC = Dwelling Units per Acre



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## 4.1.2 Belle Terre Specific Plan Land Uses

### Residential Land Uses

Belle Terre is an approximately 344 acre planned residential community with up to 856 dwelling units of varying densities from 2.0 to 14.0 dwelling units per acre, with an overall gross density for the entire Project of 2.5 dwelling units per acre.<sup>1</sup> Residential uses and development standards will be in accordance with Riverside County Ordinance No. 348 and Section 2.0 – Specific Plan Zoning (Ordinance No. 348.4918). The Specific Plan Zoning Ordinance No. 348.4918 contains standards that are typically found in a zoning code such as: allowable land uses, lot size requirements, setback requirements, height restrictions, lot dimensions, lot coverage, etc. There are three residential land use designations proposed for Belle Terre as follows:

- ✿ Medium Density Residential (MDR);
- ✿ Medium-High Density Residential (MHDR); and
- ✿ High Density Residential (HDR).

Providing a broad range of densities ensures diverse housing products that will be available to a broad range of potential home buyers which may also include young professionals, first time home buyers, and active adults.

#### ***Medium Density Residential (2.0-5.0 units per acre)***

The Medium Density Residential designation allows for single family detached residential neighborhoods on minimum lot sizes of 4,500 square feet (sq. ft.). The density within the medium designation ranges from 2.0 to 5.0 du/ac with an overall target density of 5.0 du/ac for up to 272 dwelling units across 61.4 acres. Medium Density Residential development standards can be found in their entirety in Section 2.0 – Specific Plan Zoning Ordinance.

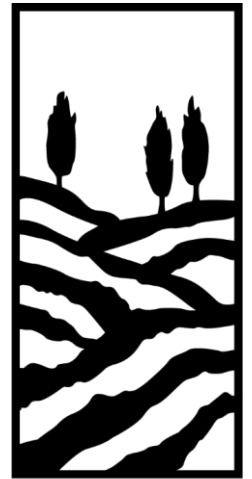
#### ***Medium-High Density Residential (5.0-8.0 units per acre)***

The Medium-High Density Residential designation allows for single family detached residential neighborhoods on lot sizes ranging from 3,500 to 6,500 sq. ft. These product types may be either conventional residential homes or clustered detached units. The density within the medium high designation ranges from 5.0 to 8.0 du/ac with an overall target density of 8.0 dwelling units per acre for up to 421 dwelling units across 70.9 acres. The Medium High Density Residential development standards can be found in their entirety in Section 2.0 – Specific Plan Zoning Ordinance.

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<sup>1</sup> The overall gross density for residential areas was determined by dividing the total number of dwelling units by total site acreage. The gross density utilizing residential land use acreage of 144 acres, is 5.9 dwelling units per acre.





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### ***High Density Residential (8.0-14.0 units per acre)***

The High Density Residential designation allows for single family detached residential neighborhoods on lot sizes from 3,000 sq. ft. These product types may be either conventional residential homes or clustered detached units to ensure diversity in product types. Clustered detached homes may come in a variety of configurations that are clustered around a common or shared green court. The front entrances to the homes may be located facing the street, the common private drive, or a paseo or open space area resulting in a variety of lotting configurations. The density within the High Density Residential designation ranges from 8.0 to 14.0 du/ac with an overall target density of 14.0 du/ac for up to 163 dwelling units across 11.7 acres. The High Density Residential development standards can be found in their entirety in Section 2.0 - Specific Plan Zoning Ordinance.

### **Open Space Land Uses**

Open Space within Belle Terre constitute a major component of the community's identity. Approximately 180 acres within Belle Terre are planned as one of three open space classifications:

- ✿ Open Space-Recreation
- ✿ Open Space-Conservation
- ✿ Open Space-Conservation Habitat

Twenty planning areas are designated for open space uses. Collectively, the open space areas are designed to offer a mix of active and passive uses with amenities such as athletic fields, play areas, walkways, tot-lots, picnic areas, open turf areas, walking/jogging trails, recreation center, community garden, and water quality basins, while at the same time protecting important biological resources and wildlife habitat.

#### ***Open Space-Recreation***

This land use designation provides for active recreational amenities.

#### ***Open Space-Conservation***

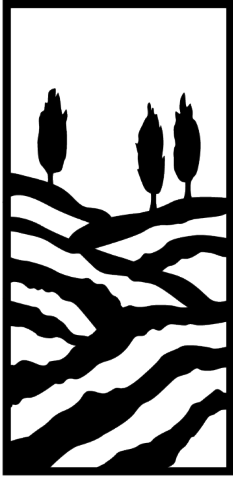
This land use allows for water quality basins and planning areas are designed for enjoyment of the natural setting.

#### ***Open Space-Conservation Habitat***

A total of 106.85 acres are reserved for Open Space-Conservation Habitat (OS-CH). Planning Area 17 in the northeastern portion of the site which will satisfy a majority of the habitat conservation requirements under the MSHCP and will provide a permanent open space buffer to the planned community of Belle Terre.

The remaining habitat conservation requirements will be fulfilled by Planning Areas 18 and 19 to preserve in perpetuity an existing drainage channel which contains riparian habitat and wetlands and Planning Areas 20 and 21 which have been set aside to serve as a natural habitat buffer between the area to the east of the site which is designated by the Western Riverside County Regional Conservation Authority (RCA) as "Conserved Lands."





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#### **4.1.3 Street Network**

Belle Terre consists of 20.4 acres of the backbone street network. Internal circulation ranges from Local Streets to Modified Collector roadways. Local streets for the most part, are not shown in the Circulation Plan as the final alignments of all tract level streets will be determined during the tract map and grading stage. The community's circulation system is discussed in more detail in Section 4.2 – Circulation Plan and Section 5.0 – Planning Area Standards.

#### **4.1.4 Potential Active Adult Neighborhood**

Consistent with the objectives of providing a wide variety of housing types, the Belle Terre Specific Plan may also be developed as an “Active Adult” community. The term “Active Adult” is a very broad, generic term that covers many varieties of housing for retirees and seniors that is especially geared for people who no longer work, or restricted to those over a certain age, usually 55 and over but who are physically active.

The Belle Terre Specific Plan allows for the development of an Active Adult community in any one planning area, or any combination of planning areas. The active adult option does not modify the proposed residential land use designations of any of the planning areas. It is also worth noting that all of the residential planning areas are currently planned at their maximum densities; therefore, they could be developed at lower densities within their specified land use designations.

#### **4.1.5 Development Standards**

In order to ensure the orderly development of the residential and recreational uses proposed for the Specific Plan, standards and mitigation procedures have been created for each planning area. These area-specific standards, discussed in detail in Section 5.0 – Planning Area Standards, will assist in accommodating the proposed development and in providing adequate transitions among the neighboring uses.

In addition to these specific descriptions, project-wide development standards have also been prepared which complement the unique conditions within each planning area. These general standards are:

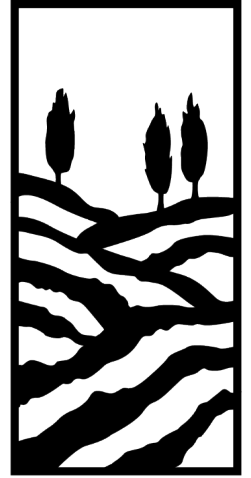
##### ***Planning Development Standards***

- 1) The total Specific Plan shall be developed with up to 856 dwelling units as illustrated on the Land Use Plan (**Figure 4.1-1**). General uses permitted will include residential, parks, recreation, open space and circulation as delineated on the Land Use Plan, and in the individual planning areas found in Section 5.0 – Planning Area Standards.
- 2) Uses and development standards will be in accordance with Riverside County Ordinance No. 348 and The Belle Terre Specific Plan Zoning Ordinance, and will be defined by Specific Plan objectives, future detailed development proposals including subdivisions, plot plans and conditional use permits as appropriate.
- 3) Standards relating to signage, landscaping, parking, and other design elements will conform to the Zoning Ordinance of the County of Riverside



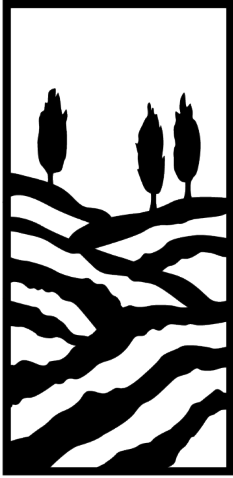
(Ordinance No. 348). When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the zoning ordinance requirements.

- 4) Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Zoning Ordinance No. 348 and Subdivision Ordinance No. 460.
- 5) Any individual planning area, or any combination of planning areas, may be developed as an Active Adult community.
- 6) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
  - a. Circulation for pedestrians, vehicles and police patrols.
  - b. Lighting of streets and walkways.
  - c. Encourage the visibility of doors and windows from the street and between buildings, where practical.
  - d. Privacy fencing meeting minimum height and material standards.
- 7) Passive solar heating techniques shall be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive solar heating techniques include:
  - a. Orienting buildings on the east-west axis, while concentrating most of the house's glazing on the south wall.
  - b. Planting deciduous (leaf-shedding) trees and other landscaping features to shade east and west windows from sunlight during the summer months while at the same time allowing sunlight to penetrate during the winter months.
  - c. Seeing that roof overhangs are adequate to provide shade for windows.
  - d. Making sure that walls are properly insulated.
  - e. Installing simple heat storage systems such as a differential thermostat that signals a fan to turn on; operable vents and dampers that allow or restrict heat flow; low-emissivity blinds; operable insulating shutters; and awnings.



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## ***Subdivision***

- 8) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application.
- 9) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan Zone applied to the property, and all other applicable County standards.

Areas designated as open space conservation habitat that will be conveyed within parcel boundaries to individual property purchases shall be deed-restricted so as to create open space easements and limit grading, construction, or other development activity in such open space conservation habitat areas, consistent with the intent of this Specific Plan.

## ***Maintenance***

- 10) Common areas identified in the Specific Plan shall be owned and maintained as follows:
  - a. A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization may be public or private. A merger with an area-wide or regional organization will satisfy this standard provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, then neighborhood associations may be established for each residential development, as needed, and such associations may assume ownership and maintenance responsibilities for neighborhood common areas.
  - b. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
  - c. The ownership and maintenance responsibility shall be specifically identified for each open space and/or recreational lot at the time the applications for tentative subdivision maps are filed.
  - d. The maintenance organization shall be established prior to or concurrent with recordation of any final subdivision map.

## ***Permitting***

- 11) Tentative Tract Maps may be processed with single-family residential lots ranging in size from 3,000 square feet or larger. Future Tentative Tract Map and Final Tract Map processing and approval will not require submittal of full site of development plans, floor plans, or elevations. However, prior to approval of precise grading plans, approval by the Planning Director of full site development plans, floor plans, and elevations will be required. These submittals may be phased.



## 4.2 Circulation Plan

### 4.2.1 Regional Circulation

Belle Terre is located in the “French Valley” area of Riverside County within the SWAP. The southwest part of Riverside County is served by major freeways connecting it to Los Angeles County and Orange County, and to central Riverside County and further with San Bernardino County.

Major north-south access routes include Interstate 15 (I-15) and Interstate 215 (I-215) connecting the site to Riverside and San Bernardino to the north and Escondido/Temecula and San Diego to the south. Major east-west access is provided via State Route 91 (SR-91) which links Riverside to the Los Angeles region. State Route 79 (SR-79), also known as Winchester Road, is a primary regional transportation connection through French Valley. Belle Terre is located 0.6 miles east of SR-79. Major arterials surrounding Belle Terre are Washington Street to the west and Scott Road to the north. Washington Street is the major north-south urban arterial for the Project. The County designates it as a 6 lane divided highway. Washington Street links SR-79 with I-15.

### 4.2.2 Project Access

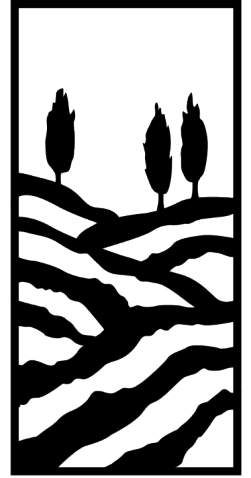
The approximately 344 acre site is bounded by Washington Street and partly by Sally Street to the west and Keller Road to the north. The eastern boundary to the site is formed by open space, partly by segments of the San Diego Canal, and partly by Rebecca Street.

Primary access to Belle Terre will be from Fields Drive off Washington Street. Secondary access to the site will be from Keller Road to the north and Jean Nicholas (named Autumn Glen Circle within the site) to the southwest. Both of these access routes also adjoin other proposed developments described further in this section.

Southeast Belle Terre will be accessed through Autumn Glen Circle via a proposed crossing over the San Diego Canal.

### 4.2.3 Vehicular Network

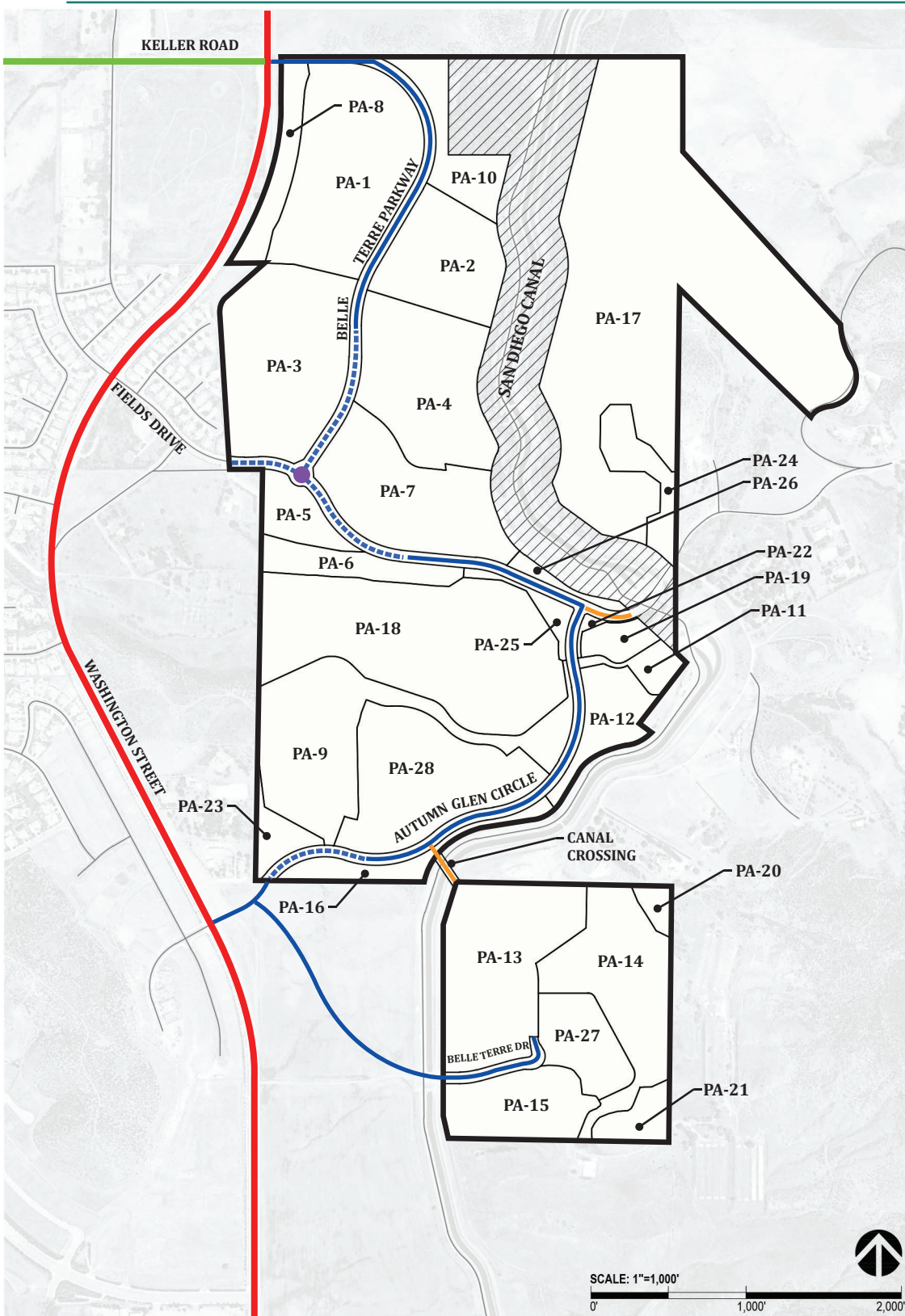
Backbone circulation within the Belle Terre community will be provided by Belle Terre Parkway, Fields Drive, Autumn Glen Circle, and Belle Terre Drive as reflected in **Figure 4.2-1, Circulation Plan**. The vehicular network system will consist of Modified Collectors, Collectors, and Local streets that will effectively and efficiently allow for vehicular movement within the community and its connection to SR-79, via Washington Street. The streets have been designed to provide efficient Project wide connectivity with sidewalks, trails, and bicycle lanes. Location of sidewalks and trail locations are discussed further in Section 4.2.5 – Non-Vehicular Circulation, below. Streets are slightly modified from County’s standards as described below.



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







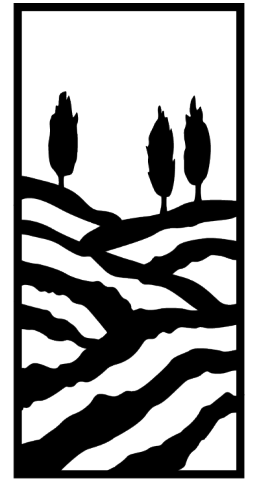
-  Project Boundary
-  Planning Areas
-  Not a Part
-  Streets
-  Urban Arterial (152' ROW)
-  Secondary (100' ROW)
-  Collector
-  Modified Collector
-  Local
-  Roundabout

Figure 4.2-1 Circulation Plan



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### ***Roundabout***

A Roundabout is a circular roadway at an intersection designed to slow and expedite the flow of traffic. A Roundabout feature will be provided at the intersection of Fields Drive and Belle Terre Parkway as depicted in **Figure 4.2-1** and **Figure 4.2-2**, **Roundabout Streetscape** allowing for a 21 foot wide travel lane and 11 foot wide buffer in each travel direction, 56 foot landscaped center median, 6 foot parkway and 8 foot sidewalk or decomposed granite (DG) trail.

### ***Modified Collector Streets***

Segments of Belle Terre Parkway, Fields Drive, and Autumn Glen Circle are planned as Modified Collector Streets as depicted in **Figure 4.2-1** and **Figure 4.2-3**, **Modified Collector Streetscape 1**, providing for an 80 foot right of way allowing for a 14 to 20 foot wide travel lane in each direction and 12 foot wide landscaped center median to provide a location for community entry monumentation to create aesthetically pleasing entries to the community and provide separation for oncoming traffic. Segments are modified to provide a 6 foot wide Class II bike lane in each travel direction to extend mobility to cyclists, 6 foot wide landscaped parkway, and 5 foot sidewalk or decomposed granite (DG) trail along with 3 feet of right of way on each side of the roadway.

The segment of Fields Drive west of the Roundabout is a planned Modified Collector as depicted in **Figure 4.2-1** and **Figure 4.2-4**, **Modified Collector Streetscape 2**, providing for an 80 foot right of way allowing for a 14 to 17 foot wide travel lane in each direction and 12 foot wide landscaped center median to provide a location for community entry monumentation to create aesthetically pleasing entries to the community and provide separation for oncoming traffic. Segments are modified to provide a 6 foot wide Class II bike lane in each travel direction to extend mobility to cyclists, 6 foot wide landscaped parkway, and 5 foot sidewalk or decomposed granite (DG) trail along with 3 feet of right of way on each side of the roadway.

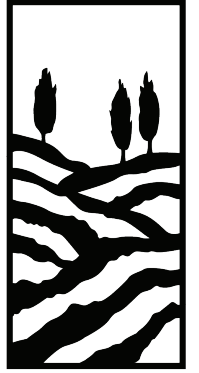
### ***Collector Streets***

Segments of Belle Terre Parkway, Fields Drive, Autumn Glen Circle, and Belle Terre Drive are planned as Collector Streets as depicted in **Figure 4.2-1** and **Figure 4.2-5**, **Collector Streetscape**, providing for a 74 foot right of way allowing for a 17 foot wide travel lane and 6 foot wide Class II bike lane in each direction, a 6 foot landscaped parkway, and 5 foot sidewalk or DG trail along with 3 feet of right of way on each side of the roadway.

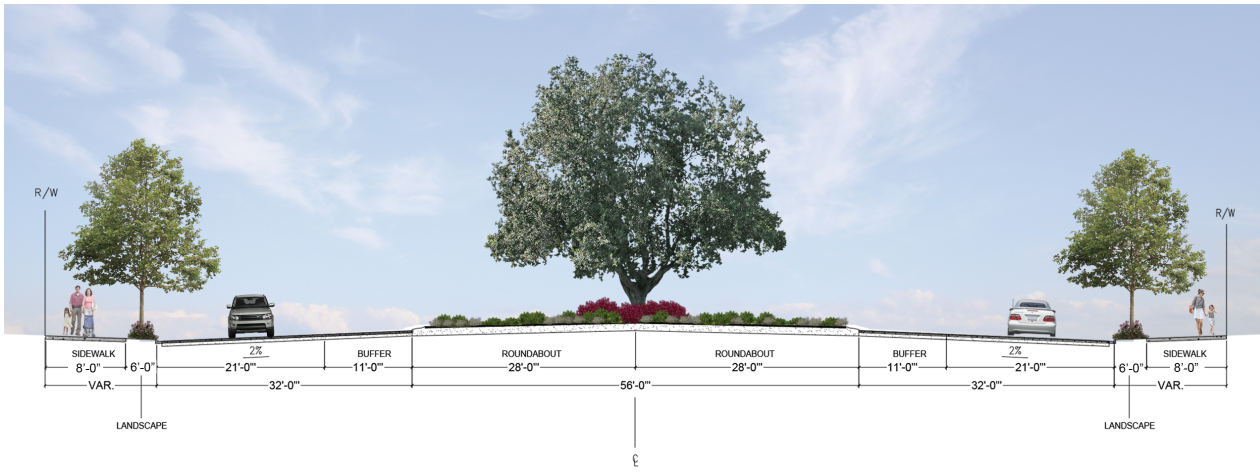
### ***Local Streets***

A segment of Fields Drive west of the intersection of Fields Drive and the crossing over the San Diego Canal are planned as Local Streets as depicted in **Figure 4.2-1**. Local streets will provide access within each planning area and to individual lots within each planning area. **Figure 4.2-6**, **Local Streetscape**, provides graphical images for each street segment allowing for a 56 foot wide right of way allowing for a 12 foot wide travel lane and 6 foot wide unstriped bike lane in each travel direction. A 5 foot sidewalk or DG trail that is right-of-way adjacent is provided on each side of the roadway along with a 5 foot wide landscaped parkway.



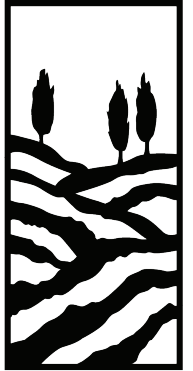


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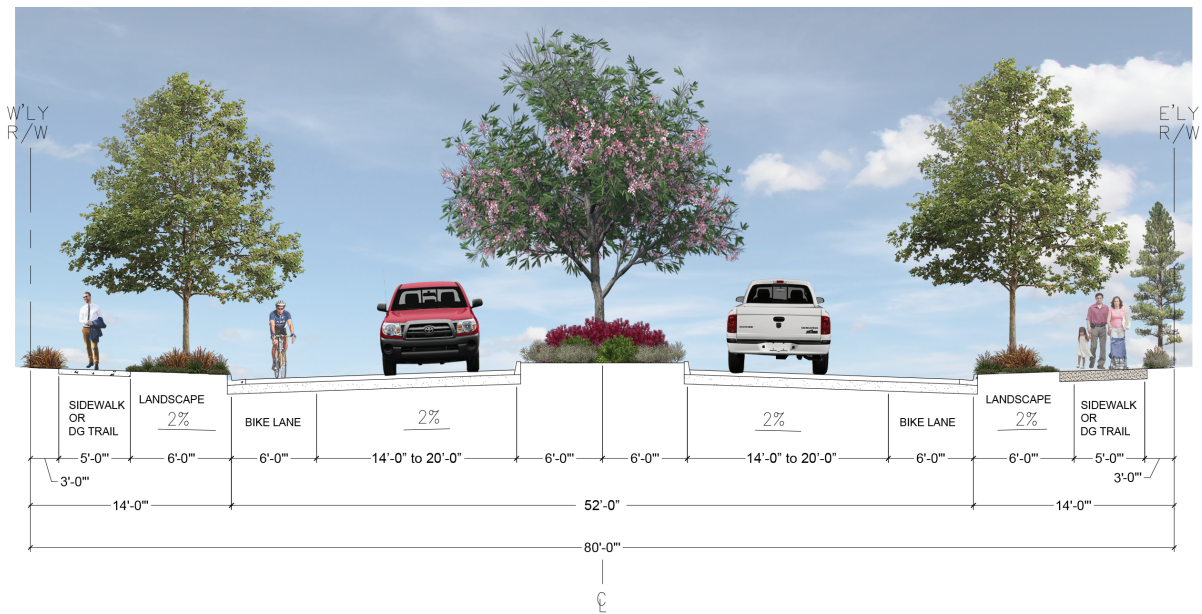
**Figure 4.2-2 Roundabout Streetscape**

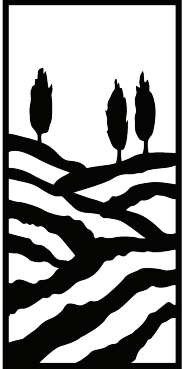




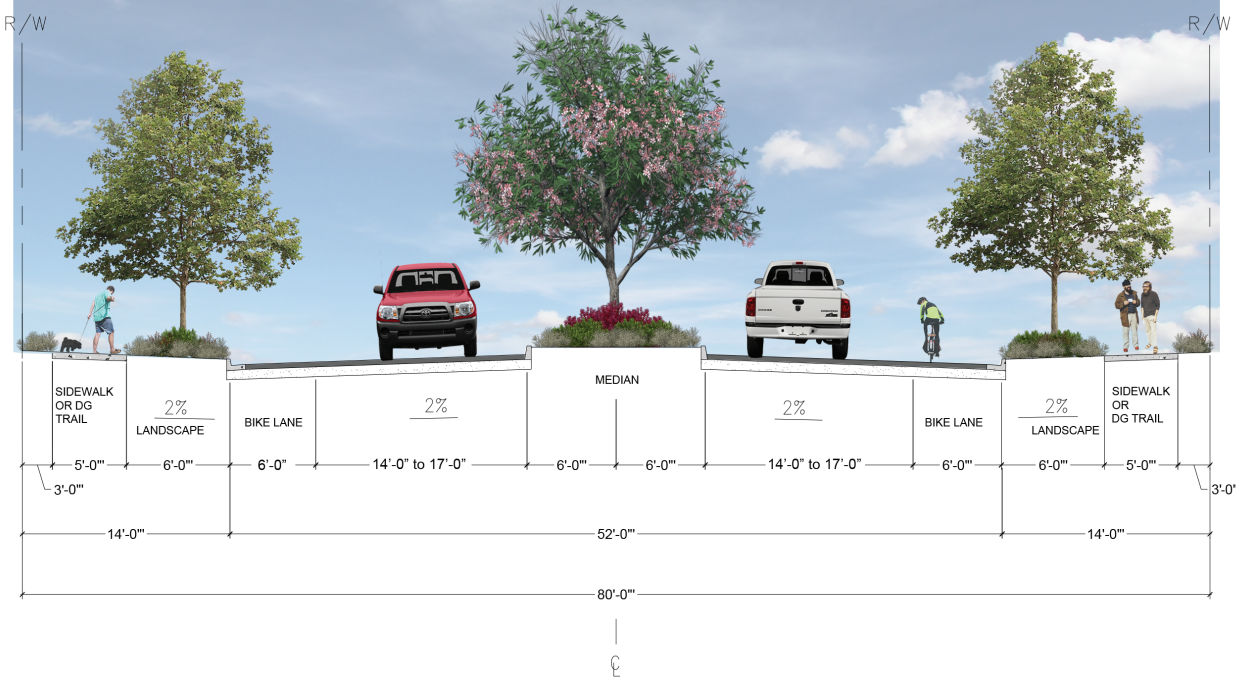
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**Figure 4.2-3 Modified Collector Streetscape 1**





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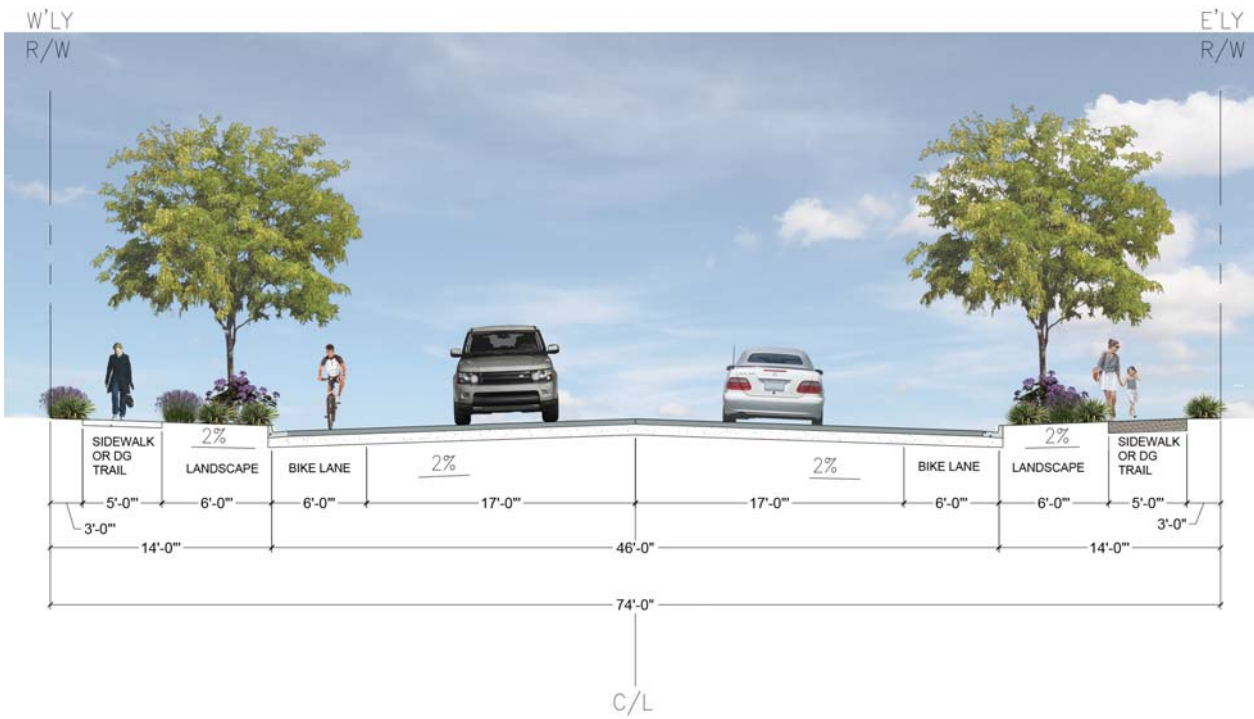


**Figure 4.2-4 Modified Collector Streetscape 2**



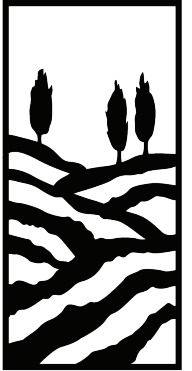


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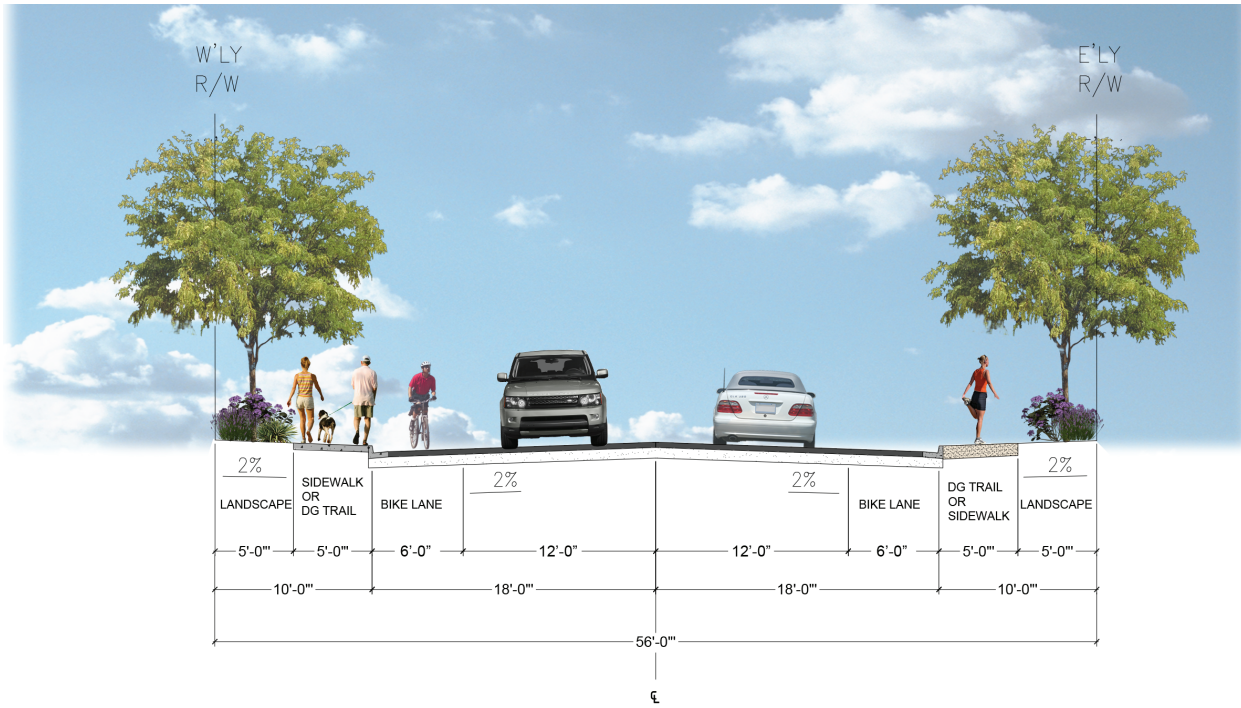


**Figure 4.2-5 Collector Streetscape**





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**Figure 4.2-6 Local Streetscape**



#### 4.2.4 Off Site Street & Common Access Improvements

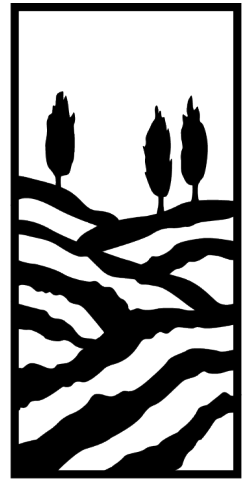
Segments of Jean Nicholas Road (named Autumn Glen Circle as it enters the site), east of Washington Street, will provide access to Belle Terre as well as the proposed TTM No. 30837 to the west of the site. It is anticipated that whichever development begins construction first (i.e. TTM No. 30837 or Belle Terre), that project will improve the segment of Jean Nicholas Road.

Keller Road is planned to provide common access to both Belle Terre as well as the Domenigoni-Barton Properties Specific Plan No. 310 (SP310) site to the north of Belle Terre. It is anticipated that whichever development begins construction first (i.e. SP310 or Belle Terre), that project will improve the segment of Keller Road and intersection consistent with the County's standards and as agreed by both the proponents.

#### 4.2.5 Non-Vehicular Network

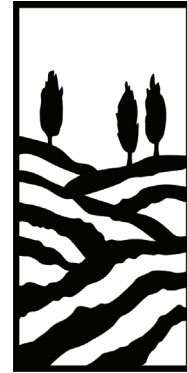
Belle Terre will contain a comprehensive sidewalk, bike lane, and trail system that will connect neighborhoods to parks, recreational areas, and off-site recreational areas including parks and regional trails. As illustrated in **Figure 4.2-7, Non-Vehicular Circulation Plan**, Belle Terre will provide for pedestrian and cyclist movement to allow connectivity through the site. The non-vehicular network ensures that residents will have opportunities to walk, bike, and jog in different settings.

There are no regional trails with the Belle Terre Community. However, a 12 foot wide regional trail is identified south of the Project site along the west side of Washington Street. The Washington Street regional trail is dedicated in the SWAP, Trails and Bikeway System Map, and is the continuation of a regional trail planned along Borel Road, south of Lake Skinner, traversing north along Washington Street and heading west to SR-79. This regional trail provides connectivity within the overall French Valley and encourages pedestrians, bicyclists and hikers to travel from urban to planned urban areas and natural areas. Even though this regional trail does not traverse the Belle Terre community, the Belle Terre Specific Plan recognizes the importance of providing trail connections and will provide a number of DG trails, sidewalks and bike lanes to provide connectivity to the regional trail along Washington Street.



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# BELLE TERRE

- Project Boundary
- Planning Areas
- Not a Part
- Class II Bike Lane
- Sidewalk
- Decomposed Granite Trail
- Regional Trail

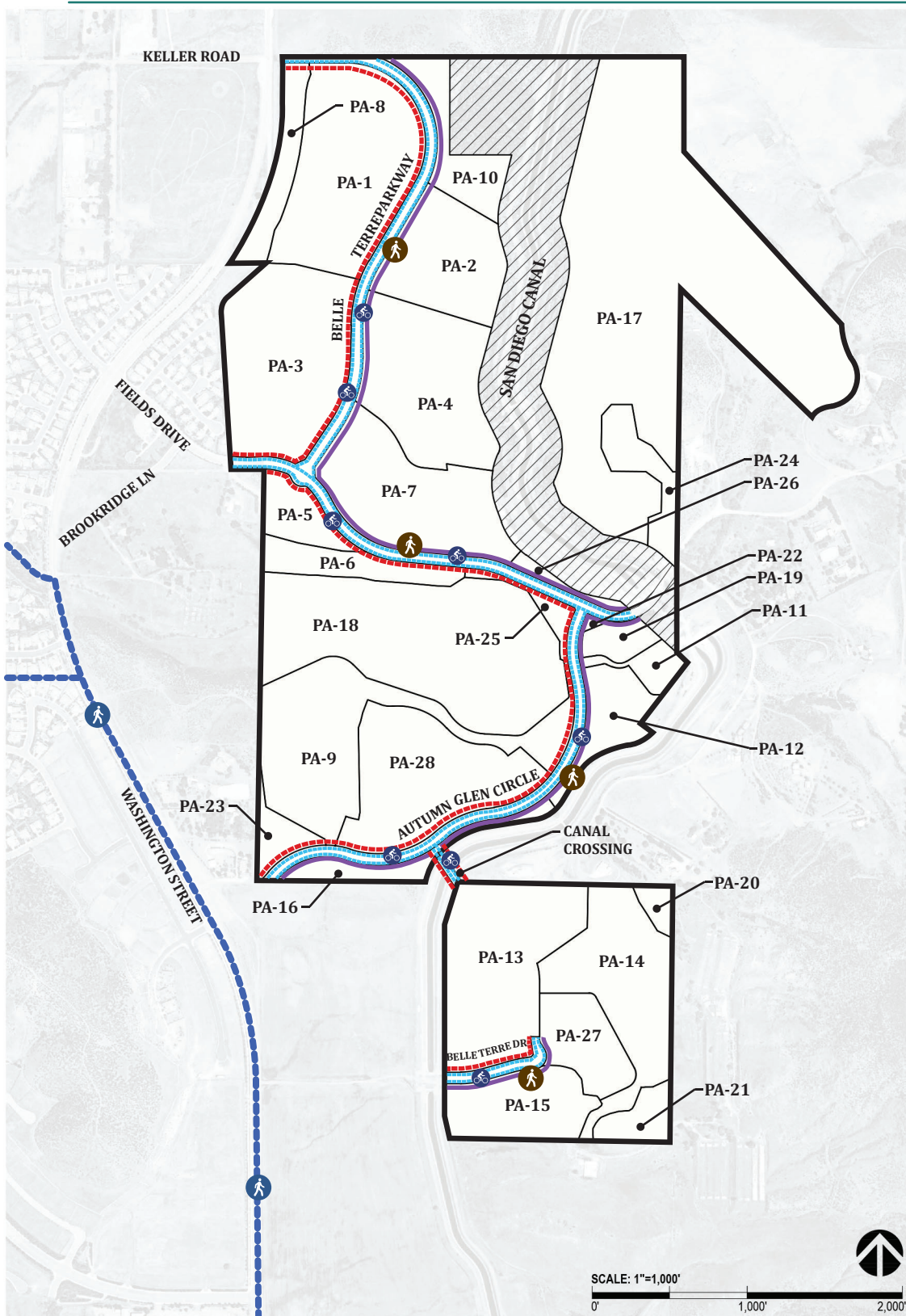
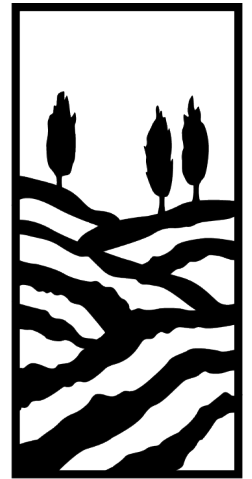


Figure 4.2-7 Non-Vehicular Circulation Plan



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### ***Bike Lanes***

As illustrated in the photo below, Class II bike lanes will be provided within the right-of-way throughout the Belle Terre community along Belle Terre Parkway, Fields Drive, Autumn Glen Circle, and Belle Terre Drive as identified in **Figure 4.2-7**. The Class II bike lane will provide a 6 foot wide striped lane for one-way bike travel in each travel direction. The Class II bike lane is designed for bike use only and helps link Belle Terre residents to a proposed 6.3 acre community park to be developed as a part of TTM No. 30837 as well as to the existing 5 acre Washington Park located at the southeast intersection of Fields Drive and Washington Street. All local streets will be designed to provide sufficient right-of-way to accommodate 6 foot wide unstriped bike lanes in each travel direction.



Source: Google Earth, November 2012

**Example of a Class II Bike Lane**

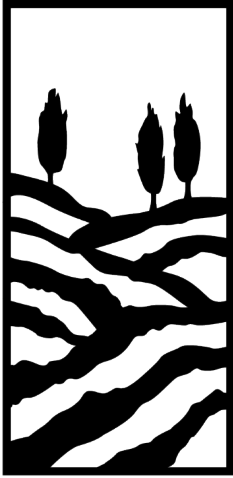
### ***Sidewalks***

Sidewalks are proposed within the street right-of-way in Belle Terre to provide pedestrian connections between the individual planning areas and individual lots within each planning area as identified in **Figure 4.2-7**. Sidewalks are intended to provide safe and efficient travel for pedestrians utilizing the larger roadways within the community and provide for a landscaped parkway separating the sidewalk from the roadway.

### ***Trails***

Decomposed granite (DG) trails are proposed within the right-of-way of the backbone circulation to provide non-vehicular connectivity throughout the Belle Terre community as identified in **Figure 4.2-7**. The DG trails are intended to provide another safe and efficient travel option along the larger roadways by providing a landscaped parkway separating the trail from the roadway.





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#### **4.2.6 Consistency with Highway 79 Policy Area**

The Belle Terre Specific Plan falls within the Southwest Area Plan as well as the Highway 79 Policy Area of the Riverside County General Plan. The stated purpose of the Highway 79 Policy Area is to "address transportation infrastructure capacity within the policy area." Specifically, the Highway 79 policies include the following:

- ✦ **SWAP 9.1** Accelerate the construction of transportation infrastructure in the Highway 79 Policy Area. The County shall require that all new development projects demonstrate adequate transportation infrastructure capacity to accommodate the added traffic growth. The County shall coordinate with cities adjacent to the policy area to accelerate the usable revenue flow of existing funding programs, thus assuring that transportation infrastructure is in place when needed.
- ✦ **SWAP 9.2** Establish a program in the Highway 79 Policy Area to ensure that overall trip generation does not exceed system capacity and that the system operation continues to meet Level of Service standards. In general, the program would establish guidelines to be incorporated into individual Traffic Impact Analysis that would monitor overall trip generation from residential development to ensure that overall within the Highway 79 Policy Area development projects produce traffic generation at a level that is 9 percent less than the trips projected from the General Plan traffic model residential land use designations. Individually, projects could exceed the General Plan traffic model trip generation level, provided it can be demonstrated that sufficient reductions have occurred on other projects in order to meet Level of Service standards.

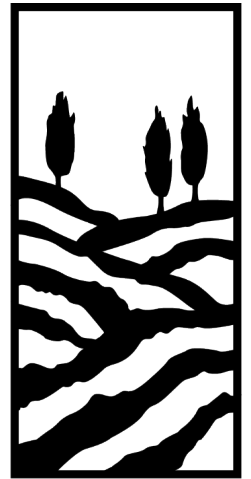
To maintain consistency with the Highway 79 Policy Area, as was previously analyzed and approved for the Belle Terre community, the number of dwelling units that may be constructed from future implementing projects cannot exceed 6,892 trips (associated with development of 724 dwelling units) unless transportation improvements are implemented. The revised plan reduces the number of units that may be developed within the entire Belle Terre community from 1,282 to 856 units. Future implementing projects that will exceed the overall trip or unit count for the Belle Terre site, shall be required to implement additional transportation improvements to meet this policy to maintain consistency with the policy.

#### **4.2.7 Development Standards**

- 1) The proposed Circulation Plan provides for an efficient traffic design that meets or exceeds the public safety and transportation needs of the Belle Terre Specific Plan. The on-site system is consistent with the Traffic Impact Analysis prepared for Belle Terre.
- 2) Roads shall be constructed initially to interim standards to provide access to Planning Areas or to install underground utilities, with ultimate construction to Transportation Department standards in accordance with Ordinance No. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan, subject to inspection and acceptance by the County of Riverside.

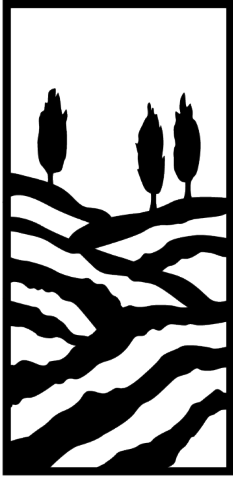


- 3) The Project proponent shall participate in the phased construction of traffic signals through payment of funds pursuant to the Traffic Signal Mitigation Fee Program for Riverside County.
- 4) Landscaping setback requirements will be in accordance with the typical roadway landscape treatments, as depicted in **Figures 4.2-2** thru **4.2-5**.
- 5) All intersection spacing and/or access openings shall be per Standard 114, Ordinance No. 461, or as approved by the Transportation Department. No textured pavement accents shall be allowed within County rights-of-way.
- 6) No driveways or access points as shown in this Specific Plan are approved. Access point locations will be determined at the tentative tract map or plot plan stage and shall be approved by the Transportation Department.
- 7) Any landscaping within public road rights-of-way will require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the Transportation Department.
- 8) All trails provided as part of the Specific Plan shall be developed pursuant to Section 7.0 – Landscape Design Guidelines.
- 9) The design and location of all pedestrian crosswalks shall be reviewed and approved by the Transportation Department. Adequate pedestrian protection may be provided by incorporating design features, including, but not limited to, painted crosswalks, raised crosswalks, speed bumps, pedestrian crossing signal and special pavement treatments.
- 10) Bicycle racks shall be provided at each park.



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## **4.3 Open Space & Recreation Plan**

### **4.3.1 Regional Setting**

Belle Terre is located in close proximity to two regional recreational facilities in the French Valley and Winchester area of Riverside County. The Metropolitan Water Districts (MWD) Diamond Valley Reservoir is located approximately 4 miles to the north of the site and provides a full range of recreational and water related uses. Diamond Valley Lake offers fishing and light boating on the lake. A recreation park, aquatic center, visitor center and the Western Science Center along with the lake marina are located on the eastern end of the lake. A viewpoint, offering views of the pumping station and intake-outlet tower, along with most of the lake is located on the western end of the lake. To the south of the lake is the Southwestern Riverside County Multi-Species Reserve, a 13,500 acres preserve between Diamond Valley Lake and Lake Skinner.

Other recreational and water related uses located in close proximity to the site include Lake Skinner which is located approximately 3 miles to the south of the site and is a popular recreation area, featuring sailing, fishing, swimming (in an off-reservoir swimming area), horseback riding, and hiking. The Lake Skinner recreational area includes 1,400 acres of surface water and 300 acres of lakeside parkland, featuring 158 RV sites and 300 developed campsites.

### **4.3.2 Surrounding Communities**

Belle Terre is located in the urbanizing area of French Valley. The site is located to the immediate south of the master planned community of the Domenigoni-Barton Specific Plan No. 310 (SP 310) which proposes approximately 463 acres of land devoted to open space, greenbelt, recreational corridors, golf, public parks, detention basin turf fields, and school/recreation areas.

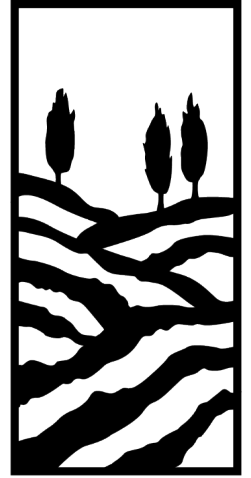
Located immediately west of Belle Terre is the master planned community of Winchester 1800 Specific Plan No. 286 (SP 286) which is fully developed and contains, among other amenities, a five acre community park (Washington Park) located at the southeast intersection of Fields Drive and Washington Street.

Other residential developments planned to the immediate west of Belle Terre include Tentative Tract Map No. 30837 (TTM 30837) approved in 2004 for 320 single-family residential lots and a 6.3 acre community park located at the southwest junction of the extension of Belle Terre Drive and the San Diego Canal.

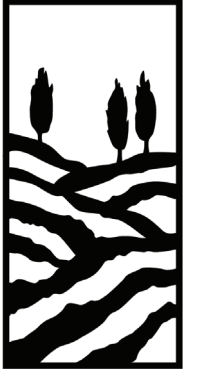


### 4.3.3 Proposed Open Space and Recreation Plan

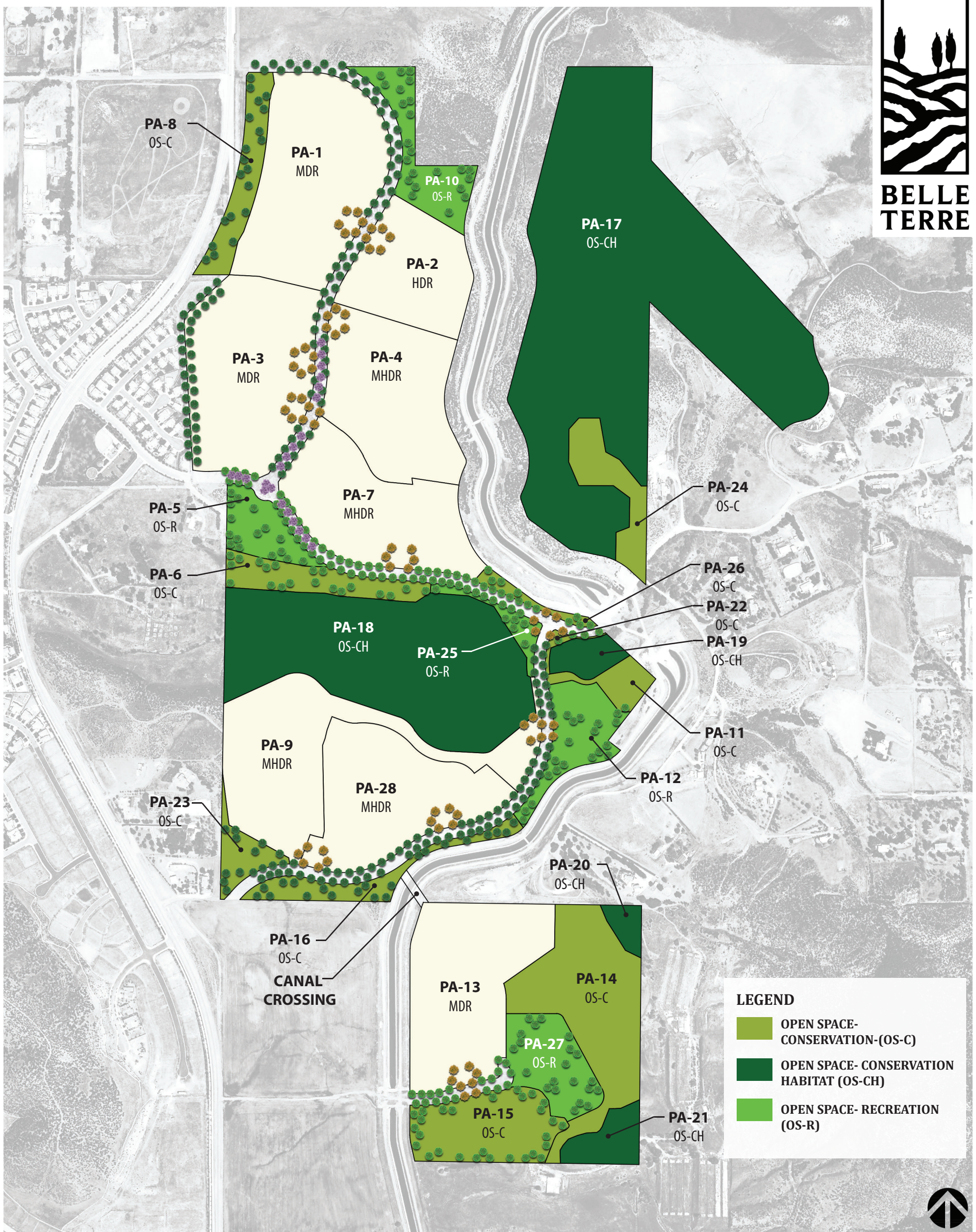
As depicted in **Figure 4.3-1, Open Space and Recreation Plan**, a distinguishing feature of the Belle Terre community is the variety of open space and recreational opportunities that will be provided to both community and surrounding residents. The Open Space and Recreation Plan establishes a community-wide system of open space land and recreational facilities which are important to the Specific Plan's goal of preserving the unique natural resources of the site and the surrounding vicinity. Belle Terre has been designed to enhance public access to the useable public open space and recreation lands and contribute to a high quality living environment for future Belle Terre residents. Approximately 180 acres is planned for one of three open space classifications: Open Space-Recreation, Open Space-Conservation, and Open Space-Conservation Habitat as detailed in **Table 4.3-A, Open Space by Designation**, below.



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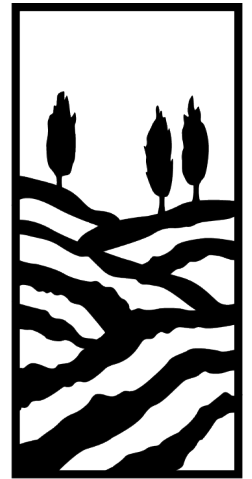


**Figure 4.3-1 Open Space and Recreation Plan**



**Table 4.3-A, Open Space by Designation**

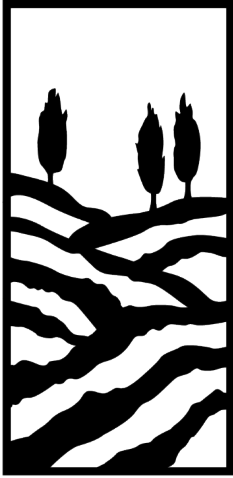
<b>Planning Area Number</b>	<b>Land Use Designation</b>	<b>Gross Area (Acres)</b>	<b>Valley-Wide Park</b>
<b>Open Space - Conservation</b>			
PA-6	OS-C	4.9	
PA-8	OS-C	4.8	
PA-11	OS-C	2.2	
PA-14	OS-C	15.3	
PA-15	OS-C	8.9	
PA-16	OS-C	4.0	
PA-22	OS-C	0.4	
PA-23	OS-C	2.5	
PA-24	OS-C	4.7	
PA-26	OS-C	1.2	
<b>Total</b>		<b>48.9</b>	
<b>Open Space - Conservation Habitat</b>			
PA-17	OS-CH	68.3	
PA-18	OS-CH	32.5	
PA-19	OS-CH	2.2	
PA-20	OS-CH	1.3	
PA-21	OS-CH	3.2	
<b>Total</b>		<b>106.9</b>	
<b>Open Space - Recreation</b>			
PA-5	OS-R	4.0	Yes
PA-10	OS-R	6.0	
PA-12	OS-R	5.6	Yes
PA-25	OS-R	1.6	
PA-27	OS-R	6.4	Yes
<b>Total</b>		<b>23.6</b>	
<b>GRAND TOTAL</b>		<b>179.4</b>	



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The Open Space and Recreation Plan includes open space, active and passive recreational elements as described in further detail below.

### **Open Space Elements**

The Open Space-Conservation and Open Space-Conservation Habitat land uses are oriented towards the preservation of slopes and protection of important resources including natural habitat, natural drainage course, vegetation, and wildlife habitat.



Source: Ruben Ramirez, Cadre Environmental

**Views of the Belle Terre Site**

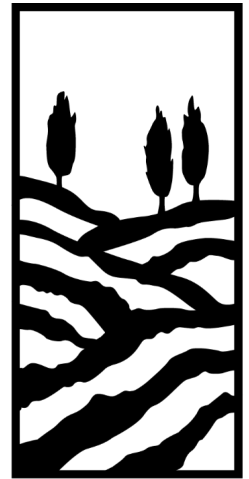


Source: Ruben Ramirez, Cadre Environmental

**Views of the Belle Terre Site**



A total of 106.85 acres are reserved for Open Space-Conservation Habitat (OS-CH). Planning Area 17 in the northeastern portion of the site which will satisfy a majority of the habitat conservation requirements under the MSHCP, will provide a permanent open space buffer to the planned community of Belle Terre. The remaining habitat conservation requirements will be fulfilled by Planning Areas 18 through 21. Planning Areas 18 and 19 will preserve in perpetuity an existing drainage channel containing riparian habitat and wetlands. Planning Areas 20 and 21 have been set aside to serve as a natural habitat buffer between the areas to the east of the site which is designated by the Western Riverside County Regional Conservation Authority (RCA) as “Conserved Lands.”



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## **Active Recreation Elements**

The Open Space-Recreation land use designation provides for active recreational amenities. These areas have been carefully planned and are designed to cater to the anticipated market segment of the Belle Terre community and comply with the intent of the Valley-Wide Recreation and Park District park standards. The Open Space and Recreation Plan will provide three parks meeting Valley-Wide Recreation and Park District requirements and three community amenity areas as described below.

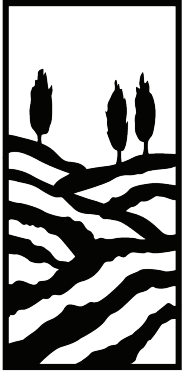
### ***Valley-Wide Park Facilities***

Planning Areas 5, 12, and 27 are planned to provide for active parkland meeting Valley-Wide Recreation and Park District requirements and acreage for recreational amenities such as athletic fields, play areas, walkways, tot lots, picnic areas, restrooms, shade tree plantings and rolling turf areas.

### ***Community Amenity Areas***

Planning Areas 10, 22, and 25 are planned as community parks offering a variety of active and passive recreational amenities which may include a recreational center, community garden, dog run/park, walkways, picnic areas, and play areas.



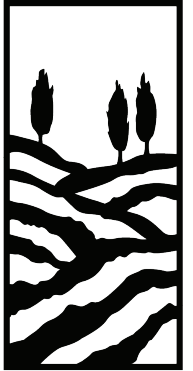


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**Figure 4.3-2 Conceptual Park PA 5**

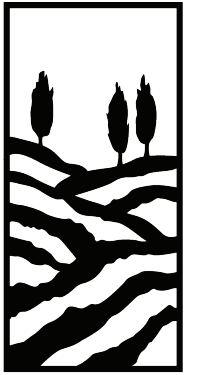
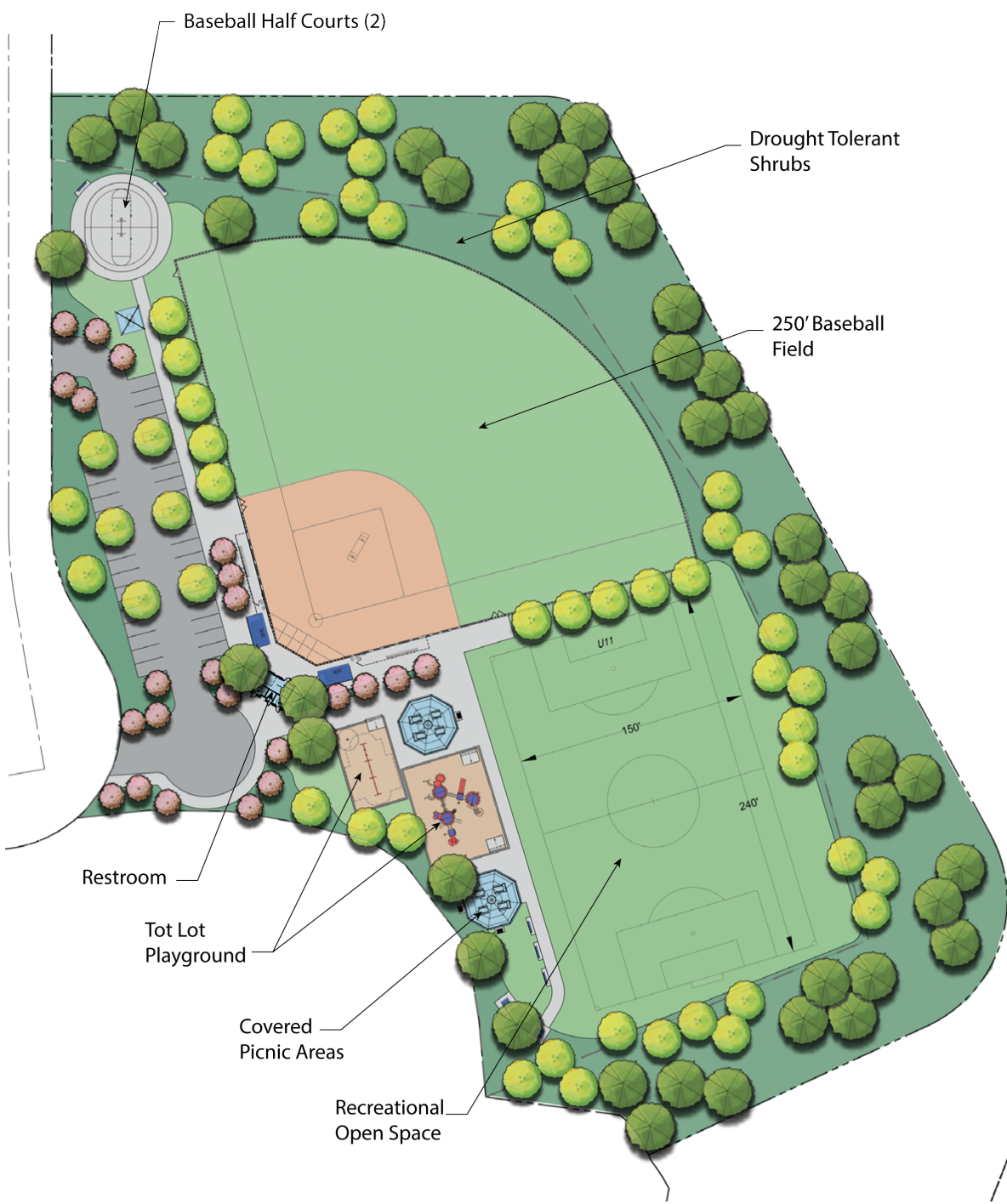




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**Figure 4.3-3 Conceptual Park PA 12**





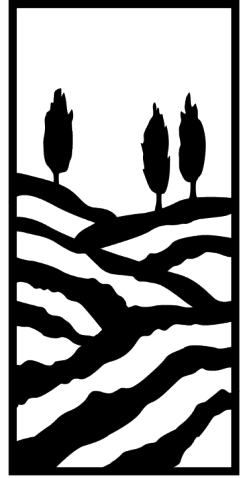
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**Figure 4.3-4 Conceptual Park PA 27**

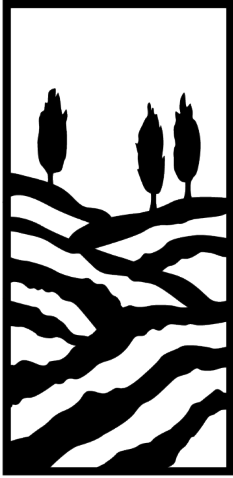


#### 4.3.4 Development Standards

- 1) A permanent master maintenance organization may be established for the Specific Plan area to assume ownership and maintenance responsibility for all common recreation, open space, circulation system and landscaped areas which have not had ownership and maintenance assumed by another agency. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such an area-wide or regional organization is legally and financially capable of assuming the responsibilities for ownership and maintenance.
- 2) Development of hardscapes and equipment within park facilities may vary and may be subject to certain restrictions placed by the County or requested by the Sheriff's Department or other public agency.
- 3) All tot lots must include mechanical shade structures over all play equipment. Parks shall be improved at the time development occurs adjacent to the park. Refer to Section 4.8 – Administration/Implementation Plan for exact timing and responsibility for development of parks.
- 4) Each park shall have pedestrian access from the street.
- 5) Landscaping of the parks and open space will be governed by Section 6.0 – Landscape Design Guidelines. No park or other recreational area will be accepted by the maintenance authority until all landscaping and other improvements have been completed.



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## **4.4 Drainage Plan**

### **4.4.1 Regional Setting**

The Belle Terre site consists of rolling hills, and the watershed areas drain to the west. The average slopes of the terrain are approximately two to three percent. There are several existing storm drain systems located downstream of the property that have been designed for the 100-year storm event.

### **4.4.2 Existing Drainage**

As part of the Project evaluation, research was conducted to identify the existing storm drain infrastructure located downstream of the site. Based on the approved documentation obtained, it was determined that the existing storm drain systems have been designed to intercept the 100-year flow rate. As a result, the Project will convey flow rates to the existing downstream facilities and the proposed design will restrict flow rates to be less than the design flow rate.

The property has a natural riparian stream (French Valley Creek) that traverses the site allowing flows to flow from the easterly limits to the westerly limits. The total tributary area to the natural channel is approximately 3,200 acres, which result in a flow rate of 2,375 cubic feet per second (cfs) for the 100-year storm event. The 2,375 cfs is based on a bulked flow rate using a bulking factor of 1.25. The natural channel eventually drains to an existing four barrel Reinforced Concrete Box (RCB) culvert that is 14 feet wide by 17 feet high, located across Washington Street that has been designed for a flow rate of 2,959 cfs.

### **4.4.3 Proposed Drainage**

The Project will implement the use of a natural stream and proposes planning areas that would encroach into the 100-year flood plain. Any manmade slopes that would encroach into the flood plain would be armored to protect against scour and lateral erosion. Moreover, a section of South Street that crosses the natural channel will require the use of a culvert to flood protect the roadway. The culvert system will be a concrete Caltrans RCB that will utilize rip-rap aprons and slope protection to protect the streambed and roadway slopes from scour and erosion. In addition to the natural French Valley Creek, the Project site is bordered by several offsite areas that would drain into the proposed planning areas. The majority of these offsite areas range in size from 12 acres to 86 acres. The planning areas that would be affected most by the offsite areas are located in the southerly limits of the Project boundary. The offsite areas that are tributary to the southern planning areas have to collect the runoff from these offsite areas and divert the runoff into a proposed detention basin. The proposed detention basin is a part of the improvements for TTM No. 30387.

The offsite areas that are tributary to Planning Area 15 will be collected by storm drain infrastructure and conveyed to the proposed basin. TTM No. 30387 is processing storm drain improvement plans that limit the basin outflow to a maximum of 24 cfs for the 100-year storm event.



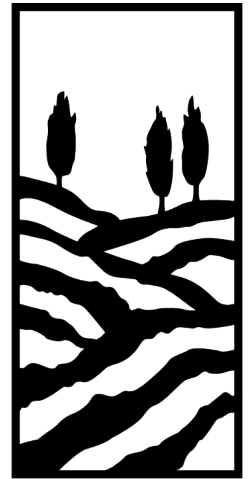
Offsite areas that are tributary to Planning Areas 4 and 7 will be collected by a storm drain system that solely services these undeveloped areas and convey the flows to existing storm drain systems that were designed for the 100-year flow rate. The Belle Terre Specific Plan incorporates subsurface storm drain systems that will comply with the RCFCWCD and RCTD design guidelines. The runoff emanating from the proposed planning areas will be collected by catch basins and directed to proposed water quality basins and detention basins to meet the criteria established as part of the San Diego Regional Water Quality Control Board and County of Riverside MS4 Permit. The final locations of the Post-Project Best Management Practices (BMPs) will be determined as part of the process to obtain Tentative Tract Map approval.

The proposed storm drain infrastructure and the following water quality measures were utilized to develop the drainage plan for Belle Terre:

- ✦ Applicable regulations associated with Ordinance 458 “Regulating Flood Hazard Areas and Implementing the NFIP”
- ✦ Memorandum of Understanding “RCTD and RCFCWCD”
- ✦ RCTD Improvement Plan Check Policies and Guidelines
- ✦ Water Quality Management Plan for the Santa Margarita Region of Riverside County
- ✦ RCFCWCD Design Handbook for Low Impact Development Best Management Practices
- ✦ California Regional Water Quality Board, San Diego Region, Waste Discharge Requirements for Discharges from the MS4s Order No. R9-2010-0016

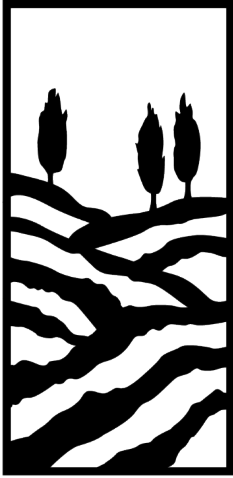
Every project has multiple options that can be implemented in order to provide drainage solutions. Other storm drain options must demonstrate that the following designs are utilized in order to have functional alignments:

- ✦ Provide flood protection to the project from the 100 year storm event.
- ✦ Collect excessive flows from offsite and onsite watershed using storm drain systems to provide an adequate level of public safety by reducing the runoff within the streets.
- ✦ Use the existing downstream storm drain systems and design flow rate to develop storm drain alignments that will collect runoff within the proposed development in a manner not to exceed the design peak flow rates.
- ✦ Drainage systems shall incorporate solutions that minimize impacts to environmentally sensitive areas.
- ✦ Storm alignments must be developed in a manner to be constructed within existing easements, proposed easements and street right-of-ways.
- ✦ When practicable and to the maximum extent possible storm drain solutions should attempt to resolve potential flooding issues that exist immediately downstream and upstream of the project site.



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## Drainage Plan

The major objective for the Drainage Plan, as reflected in **Figure 4.4-1, Conceptual Drainage Plan**, was to establish alignments that would connect to the existing downstream facilities. Based on research conducted for the Project a total of six existing storm drain systems and one proposed storm drain system have been identified that would limit the maximum flow rate the proposed development can convey to the connection point. As a result, the storm drain alignments and hydrology were prepared in a manner to balance the Project watershed areas. The balancing of the watershed would result in a drainage solution for the proposed condition flow rates to produce flow rates that were equal or less than the existing approved flow rates for the downstream systems.

Additionally, the proposed storm drain alignments identified potential locations for detention basins and Low Impact Development “Best Management Practices” (LID BMPs) that would function as part of the drainage solution. The detention basins would also be used to mitigate increased runoff to satisfy the criteria for “Hydrological Conditions of Concern” (HCOC).

The Drainage Plan requires several detention basins at the downstream end of the proposed facilities in order to satisfy the criteria for HCOCs.

It should be understood that while the Drainage Plan was evaluated, other options also exist. While the Drainage Plan can provide sufficient flood protection and meet the guidelines and criteria that are enforced by RCFCWCD and the County of Riverside, the Drainage Plan will require further analyses during the Tentative Tract Map process. After completing further analyses it may be determined that the final drainage plan is a composite of the proposed Drainage Plan. The end result of the Project drainage solution should be to provide final storm drain alignments that would meet criteria and guidelines enforced by RCFCWCD and the County of Riverside Low Impact Development (LID) Measures.

The current San Diego Regional Water Quality Board Order No. R9-2010-0016 requires projects to implement the use of LID Standards for the Project. These standards are currently being developed by RCFCWCD for the Santa Margarita Watershed. The MS4 permit requires new developments to implement the following LID techniques:

- ✿ Project sites shall be designed in accordance with LID standards to minimize impervious areas, detain runoff, and infiltrate, reuse, or evapotranspire runoff when feasible.
- ✿ Control sources of pollutants emanating from project site that are conveyed by stormwater runoff.
- ✿ Use LID to infiltrate, evapotranspire, reuse, or treat runoff from impervious areas.
- ✿ Ensure that runoff does not create hydrological conditions of concerns to downstream streams or natural channels.





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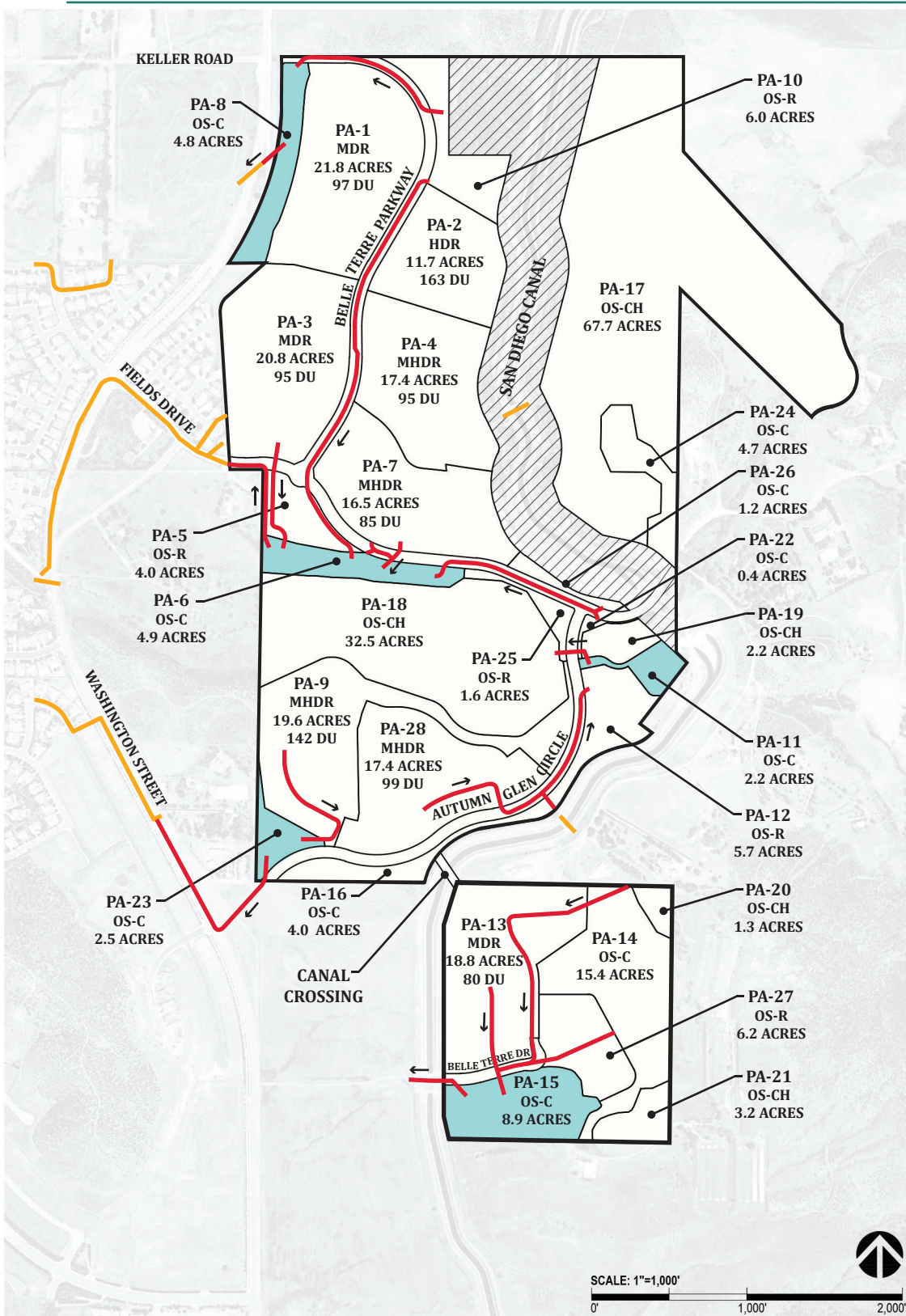
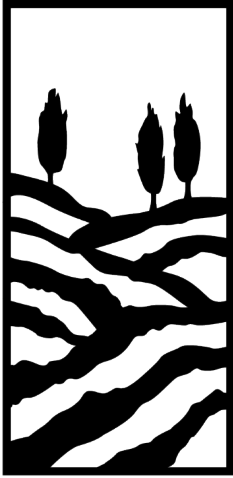
-  Project Boundary
-  Planning Areas
-  Not a Part
-  Water Quality Basins/  
Detention Basins
-  Existing Storm Drain
-  Proposed Drainage System

Figure 4.4-1 Conceptual Drainage Plan





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In order to implement the techniques discussed, projects should utilize the most current Water Quality Management Plan that is developed for the Santa Margarita Region of Riverside County. There are two primary types of LID practices that are utilized in Southern California and are discussed as follows:

- ❖ Implement LID principles that are associated with site design concepts that will minimize impervious areas to the maximum extent practicable in order to attempt to mimic the pre-development hydrologic regime.
- ❖ When LID principles cannot be used, project shall use LID BMPs to mitigate unavoidable impacts that cannot be fully addressed by LID Principles. The LID BMPs utilized for the project shall be based on County Approved BMPs that are listed in the “Design Handbook for Low Impact Development Best Management Practices that has been prepared by RCFCWCD.

#### **4.4.4 Development Standards**

- 1) All storm drain facilities will be designed in accordance with RCFCWCD design standards to provide protection from a 100-year storm event.
- 2) All drainage and storm drain facilities will be maintained by one of the following: RCFCWCD, RCTD, a community service financing mechanism such as a County Service Area (CSA) or a County Service District (CSD), or Valley-Wide Recreation and Park District.
- 3) All projects proposing construction activities including clearing, or excavation, that result in the disturbance of at least one acre total land area, or activity which is part of a larger common plan of development of one acre or greater shall obtain the appropriate National Pollution Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. This will typically require obtaining approval under the Construction General Permit, issued by the California State Water Resources Control Board, which will include preparing a SWPPP.
- 4) The Project will comply with applicable BMPs identified in the Specific Plan. During the Tentative Tract Map process the Project will locate the water quality basins/LID BMPs for the proposed planning area identified in the Specific Plan in order to mitigate the impact on the water quality for the proposed development. The types of LID BMPs that are proposed for the Project will be determined at the Tentative Tract Map stage and will demonstrate that all potential and expected pollutants of concern generated from the site will be treated. In addition, a Project Specific WQMP shall accompany each development proposal at the time the proposal is submitted to the county. Project specific mitigation measures may include, but not be limited to on-site retention, vegetated swales, monitoring programs, low impact development, etc.

## 4.5 Grading Plan

### 4.5.1 Existing Setting

Belle Terre is located adjacent to the northwest lower slopes of Bachelor Mountain. The terrain consists of rolling hills and the watershed areas drain to the west. The Bachelor Mountain and the associated hills to the northwest of the site represent the western-most extension of hills and mountains extending to Palomar Mountain in northern San Diego County.

The highest elevation is at 1,640 feet above mean sea level (AMSL) and the lowest elevation is at 1,440 feet AMSL. The northeastern portion of the site contains steep slopes with elevations that range from approximately 1,560 feet to 1,680 feet AMSL, a difference of 120 feet. The average slopes of the terrain are approximately two to three percent. Slopes on the southeastern portion of the site are less than 20 percent. Slopes greater than 20 percent cover less than 10 percent of the site.

### 4.5.2 Conceptual Grading

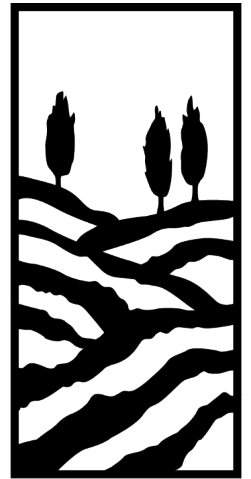
The primary purpose of grading is to construct developable building lots, provide support and banking to roads, drainage and water quality features, and to provide access to the individual planning areas. All cut and fill will be balanced on site or as approved by the County as depicted in **Figure 4.5-1, Conceptual Grading Plan**. Balance of cut and fill in each phase; and within each Planning Area is the goal, however, in some cases a limited amount of off-phase grading may occur for borrow and stock piling sites. Grading will occur in phases as development applications are processed. Specific phasing for each of the planning areas is discussed in Section 4.8 – Administration/Implementation Plan.

#### ***Grading along Open Space-Conservation Habitat***

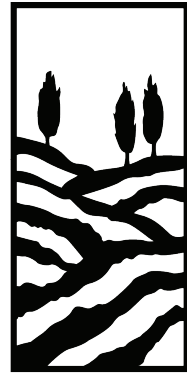
Planning Areas 18 in the central portion of the site as well as 17 in the northeast portion of the site will not have any grading, as these planning areas are dedicated entirely to Open Space-Conservation Habitat. These areas are intended to remain in a natural setting that will not require grading in order to preserve sensitive habitats or significant natural features. However, minimal infrastructure (e.g. a water tank and access roads) will be developed on Planning Area 24 if additional storage is needed to create adequate water pressure for the Belle Terre community.

#### ***Existing Drainage and Grading for Streets***

Existing drainage flows from east to west over most of the site. An existing drainage course is located in the center of the site which flows from east to west. The drainage course will be crossed by a proposed road. The road will be elevated above the 100 year floodplain elevation. The side slopes for this road crossing, as well as the northerly and southerly side slope banks of the drainage course will be designed in accordance with RCFCWCD and Building and Safety Department standards.



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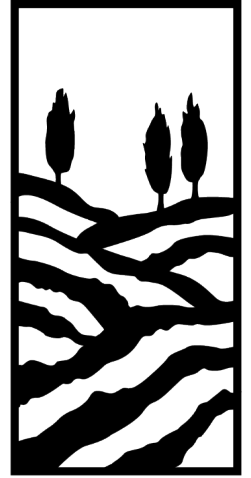
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- Project Boundary
- Grading Contour

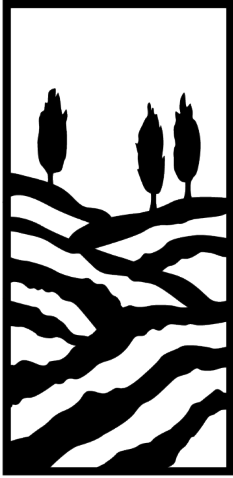
**Figure 4.5-1 Conceptual Grading Plan**

### 4.5.3 Development Standards

- 1) All grading activities shall conform to Riverside County Standards and shall meet the requirements of California Building Code, the Riverside County General Plan, and Riverside County Ordinance No. 457 and all other laws, rules and regulations governing grading in Riverside County.
- 2) All grading activities shall be in substantial conformance with the overall Conceptual Grading Plan and shall implement any grading-related mitigation measures outlined in the EIR prepared for the Project.
- 3) Grading shall conform to Riverside County regulations. If Riverside County requirements conflict with the Conceptual Grading Plan, the Riverside County regulations shall take precedence.
- 4) All required Business Registrations/WQMP BMP Registrations shall be obtained prior to obtaining precise grading approval/building permit finals.
- 5) Prior to any development within any planning area of the Specific Plan, an overall conceptual grading plan for the planning area in process shall be submitted for Riverside County Planning Department approval. The grading plan for each such planning area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area and shall include: (i) techniques employed to prevent erosion and sedimentation during and after the grading process; (ii) approximate time frames for grading; (iii) identification of areas which may be graded during higher probability rain months (January through March); and (iv) preliminary pad and roadway elevations.
- 6) Prior to initial grading activities, a current detailed soils report and geotechnical study shall be prepared which analyzes on-site soil conditions and slope stability and includes appropriate measures to control erosion and dust (see Preliminary Geotechnical Investigations in the EIR Technical Appendix).
- 7) Prior to any on-site grading for each project or group of projects, planning area or group of planning areas, a detailed grading plan shall be prepared. A grading permit shall be obtained from the County of Riverside, as required by County Ordinance No. 457, prior to grading.
- 8) Grading work on the entire site shall be balanced on site whenever possible.
- 9) The graded form shall reflect natural terrain and will comply with General Plan development standards.
- 10) Potential brow ditches, terrace drains, or other minor swales shall be lined with natural erosion control materials or concrete.
- 11) All dwelling units shall be set back from graded slopes in accordance with Riverside County Ordinance No. 457 and Uniform Building Code requirements.



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- 12) All streets shall have a gradient not to exceed 15 percent. The site is to comply with NPDES "Best Management Practices" for Erosion and sedimentation control.
- 13) The toes and tops of all slopes higher than ten feet shall be rounded with curves with radii designed in proportion to the total height of the slope where drainage and stability permits such rounding.
- 14) Where cut and fill slopes are created higher than ten feet, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to grading plan approval. The plans shall be reviewed for type and density of ground cover, shrubs, and trees.
- 15) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties.
- 16) Graded but undeveloped land shall be maintained weed-free and planted with interim landscaping. All landscaping shall comply with NPDES "Best Management Practices" for erosion control.
- 17) Soil stabilizers shall be used to control dust as required by SCAQMD Rule 403.
- 18) When grading is proposed in soil known to contain fossils, a qualified paleontologist shall attend pre-grading meeting and monitor on-site grading activities and shall be empowered to temporarily halt or redirect grading operations if fossils are uncovered during grading.
- 19) All projects proposing construction activities, including cleaning, grading, or excavation, that result in the disturbance of at least one acre total land area, or activity, which is part of a larger common plan of development of five acres or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program, including compliance with "Best Management Practices" for erosion control. Mitigation features may include, but not be limited to, on-site retention, covered storage of all outside facilities, vegetated swales, and monitoring programs.

## 4.6 Water and Sewer Plan

### 4.6.1 Regional Setting

Belle Terre is located within the Eastern Municipal Water District (EMWD) service areas. On March 20, 2013 EMWD approved a Water Supply Assessment for the Project site and will provide water and sewer services to Belle Terre. EMWD is located in western Riverside County and serves over 135,000 customers throughout an approximately 555 square mile service area that includes seven incorporated cities, in addition to the unincorporated areas of Riverside County. Since the agency was formed in 1951 EMWD has evolved to include groundwater production, desalination, water filtration, wastewater collection and treatment, and regional water recycling on the list of products and services it offers to its customers.

### 4.6.2 Plan Description

#### *Water Facilities*

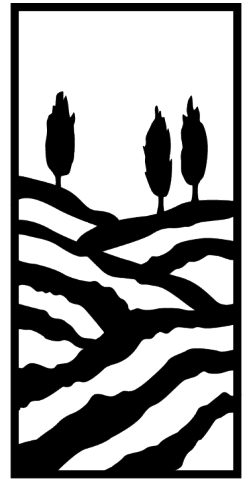
According to the EMWD Master Plan, the portion of the site north of Fields Drive lies within the 1627 high water level (HWL) pressure zone, and the portion of the site south of Fields Drive does not involve any pressure zone by EMWD. The entire site is located within the 1627 pressure zone. Storage, 1.8 million gallon (MG) storage tank, and pipeline facilities will be designed in accordance with EMWD standards. Facilities required to serve the site are shown on **Figure 4.6-1, Water Implementing Facilities**.

An 18-inch diameter pipeline along Fields Drive is proposed to connect to the existing 12-inch diameter water line located along Washington Street in order to provide the primary source of water supply to the site. A 12-inch pipeline is proposed to extend from the current end point in Washington Street to Keller Road to complete the loop. Another 18-inch main line is proposed to provide the secondary source of water supply to Fields Drive connecting to the Washington Street loop.

Almost all of the Project area is under “Marginal System Operating Condition (40 psi to 60 psi static pressure)” per EMWD’s Water System Planning & Design guideline. There will be a small number of lots that need individual pumps.

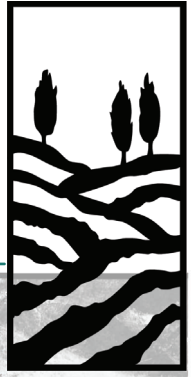
The initial construction phases of the Specific Plan will receive water from the existing main lines until the growth of the community warrants the storage and distribution system. Facilities will be located in street rights-of-way, whenever possible. Infrastructure (e.g. a water tank and access roads) may be developed on the 73.2 acre northeast portion of Belle Terre if additional storage is needed to create adequate water pressure for the Belle Terre community.

Water will be served with a blend of the California State Water Project and Colorado River waters, imported and supplied to EMWD by the MWD.

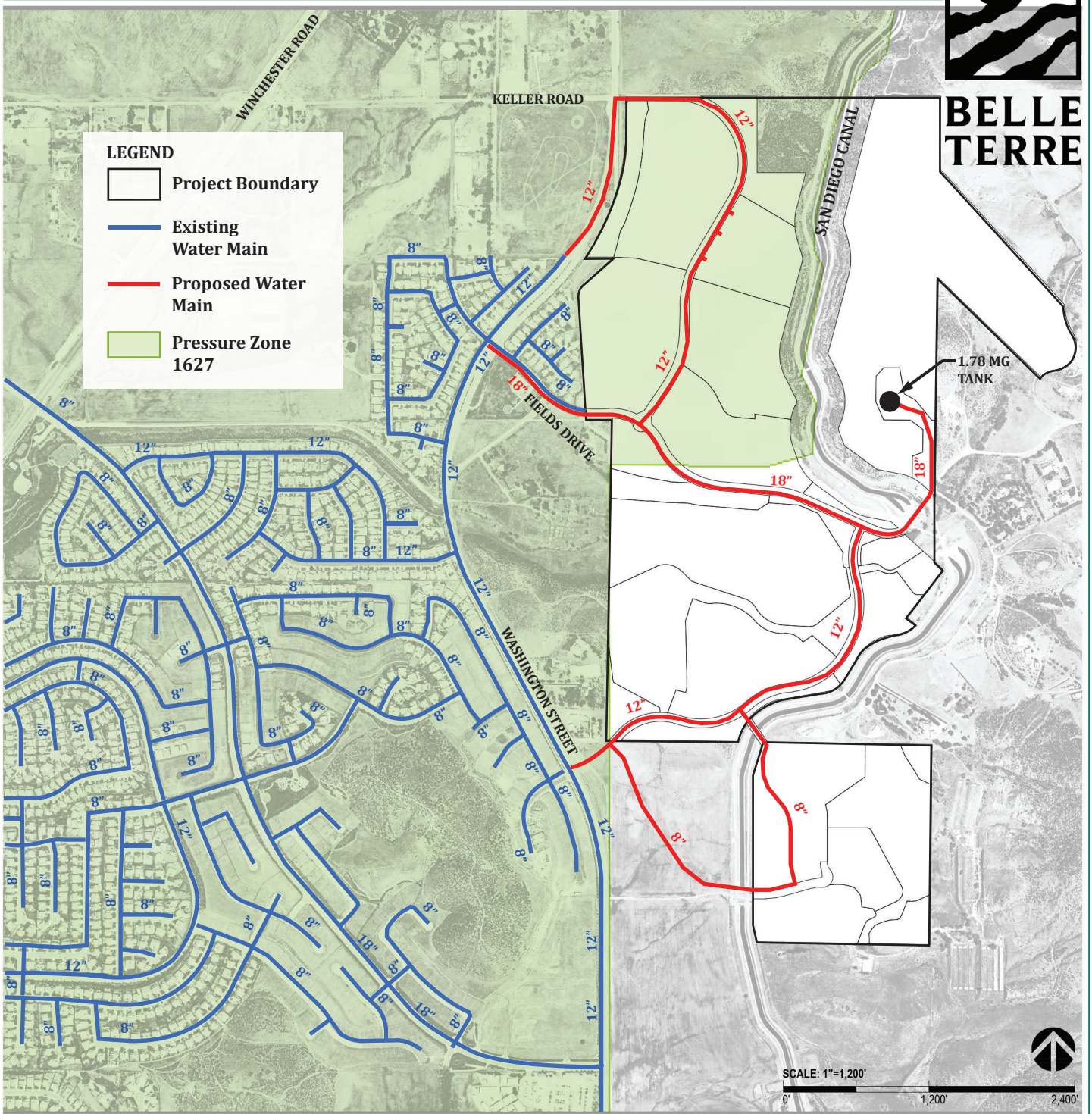


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**Figure 4.6-1 Water Distribution Plan**

Final pipeline design will insure facilities are sized to provide the maximum daily flow plus required fire flows (as determined by the Riverside County Fire Marshall) with a minimum residual pressure of 20 pounds per square inch (psi). Note that while the water estimates above consider the Project's peak water demands for the purpose of facilities planning, the EMWD evaluated the Project's annual water demand as part of a Water Supply Assessment pursuant to SB 610 and estimated that the Project will require 760 acre feet per year. These estimates are not inconsistent.

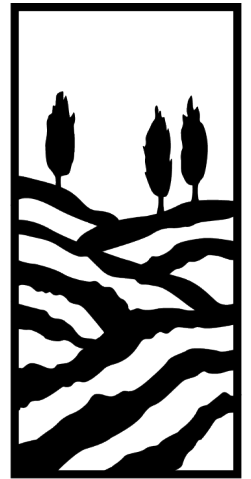
***Reclaimed Water Facilities***

The provision of reclaimed water usage, as required by new developments, is applicable to Belle Terre. Water reclamation and storage facilities for reclaimed water are not yet in place but are being planned by EMWD.

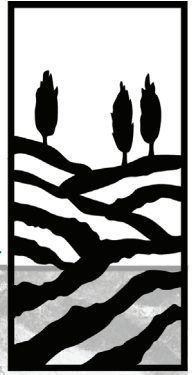
Proposed parks and common landscape areas are considered prime candidates for reclaimed water usage, as described in Title 22 of the California Administrative Code. The design and installation of such facilities will be implemented in accordance with EMWD Master Plan concepts and/or policies. The Project will be constructed with a dual pipeline system and potable facilities. As no reclaimed water facilities are available to the site, a domestic pipe will provide irrigation water to serve parks and common landscape areas.

***Sewer Facilities***

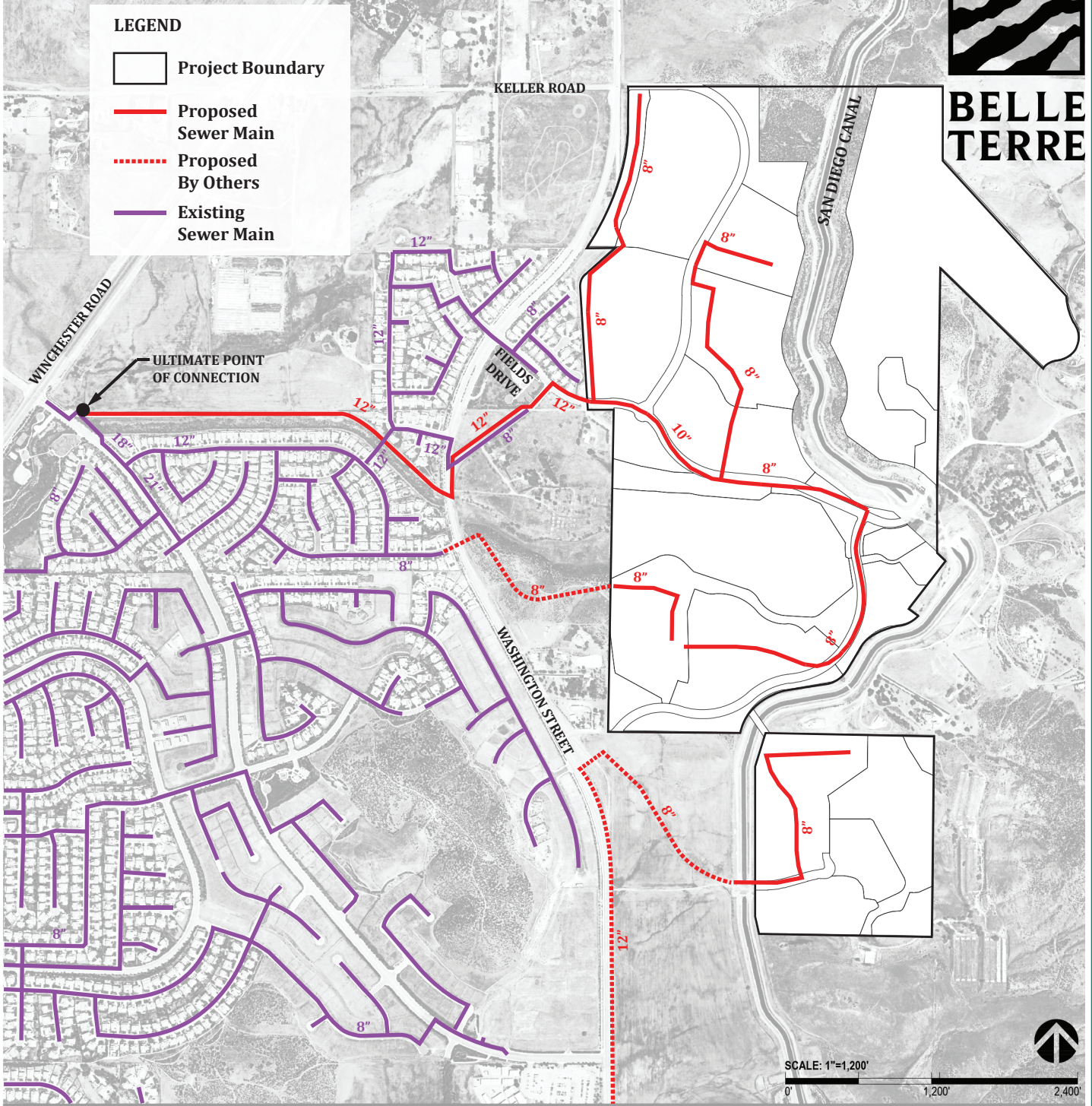
The wastewater generated by development of the Project will be treated at Temecula Valley Regional Water Reclamation Facilities (TVRWRF). A series of trunk lines enable EMWD to deliver flows to the TVRWRF. Planned regional facilities are shown on **Figure 4.6-2, Sewer Network Plan**.



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**Figure 4.6-2 Sewer Network Plan**

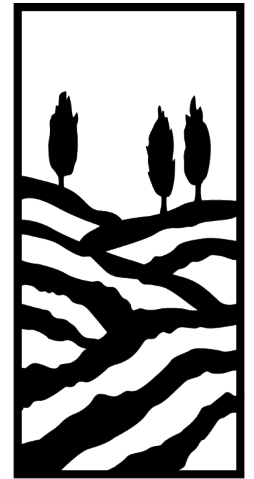


Existing EMWD Master Plan facilities include a main trunk line running north to south along the Pourroy Road alignment and east to west along Benton Road. The Project will construct facilities along Brookridge Lane and French Valley Open Channel connecting to the proposed 18-inch diameter regional trunk line located in Abelia Street. For the southeast 55 acre parcel, an 8-inch diameter sewer line is proposed to tie into the sewer line in TTM 30837, and then extend northeasterly along Washington Street. The sewer line will confluence to the proposed 12-inch diameter sewer line. Internal 8-inch to 12-inch pipelines will collect wastewater within the site and convey to the proposed sewer line at Fields Drive ranging from 8- to 12-inches.

The projected average daily wastewater flow (ADF) represented by the proposed residential development is estimated as follows:

$$\text{ADF} = (1,282 \text{ DU}) (3.5 \text{ persons/DU}) (100 \text{ gpd/person}) = 448,700 \text{ gallons}$$

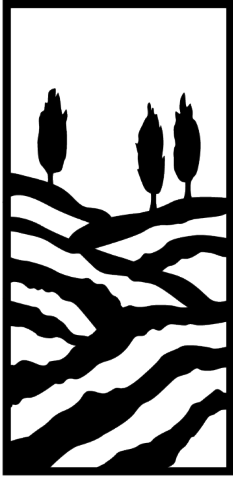
The proposed 18-inch diameter regional trunk sewer in Abelia Street has the capacity to service the Project in its entirety as it is intended to serve this and other projects in the area.



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#### **4.6.3 Development Standards**

- 1) All lines shall be designed per EMWD standards.
- 2) The location of facilities will conform to County of Riverside and EMWD standards.
- 3) Water and wastewater facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department and EMWD.
- 4) The design of regional facilities shall conform to the current EMWD Master Plan of Facilities.
- 5) All water and sewer lines shall be placed underground and inspected per the policies of the EMWD.
- 6) Any design of off-site facilities shall be coordinated with the affected property owners.
- 7) The design of all water facilities shall provide fire protection to the satisfaction of the Fire Department of the County of Riverside.
- 8) The design and installation of proposed parks and common landscape areas shall be constructed with a domestic pipeline to provide irrigation water to serve parks and common landscape areas.



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## 4.7 Public Facility Plan

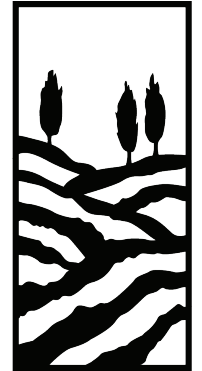
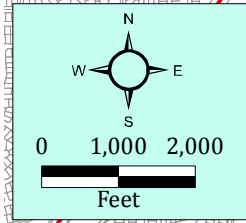
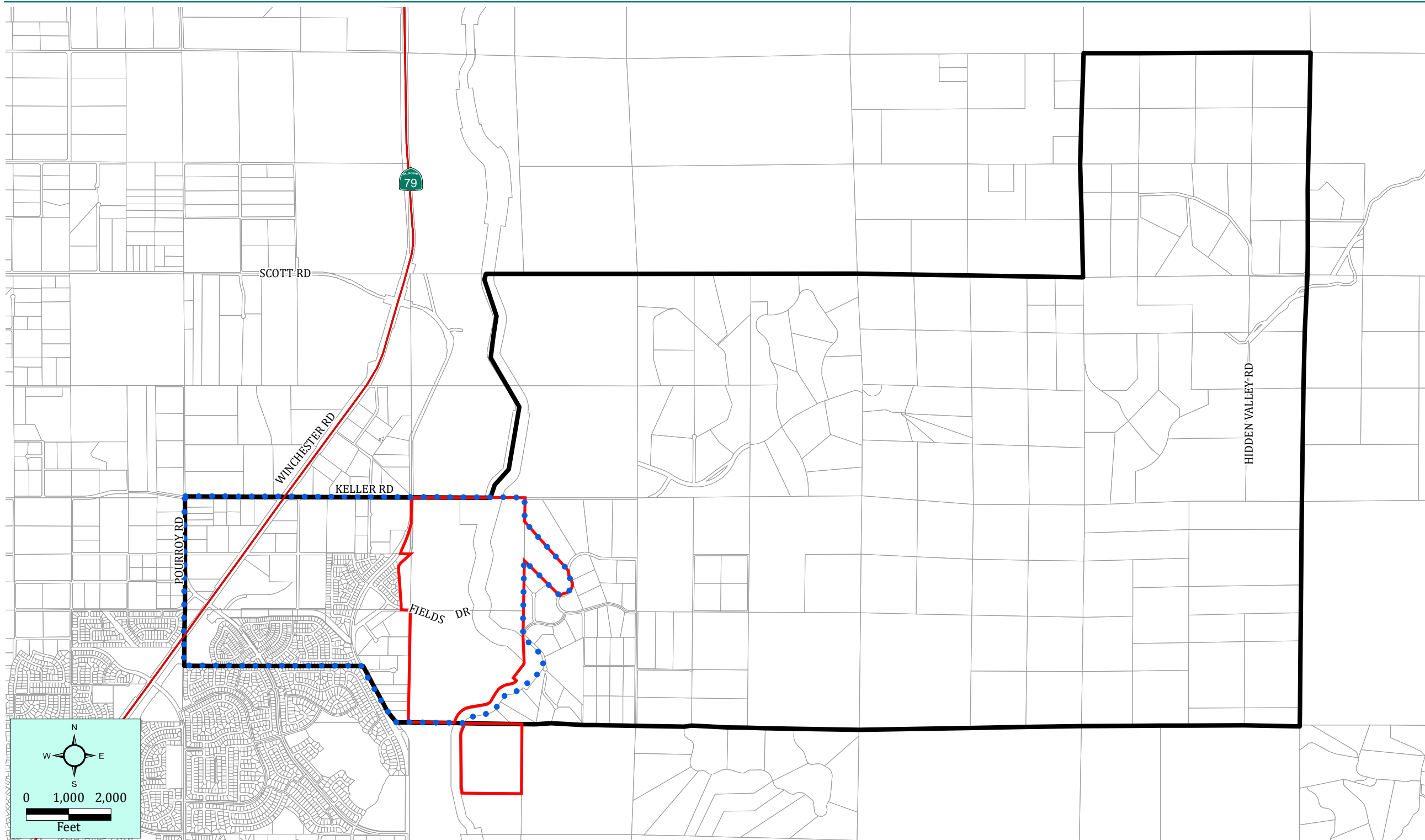
### 4.7.1 Public Facility Plan Description

This section provides information on public services and public facilities for the Belle Terre community.




### 4.7.2 Public Schools

The Belle Terre Specific Plan currently lies within the Hemet Unified School District (HUSD) and the Temecula Valley Unified School District (TVUSD). Specifically, the southeastern portion of the site is located within TVUSD and the remainder of the site is located within HUSD. A group of property owners in the French Valley area of the County of Riverside submitted a petition to the Riverside County Committee on School District Organization (“County Committee”) to transfer approximately 6,000 acres (“Reorganization Area”) from Hemet Unified School District to Temecula Valley Unified School District. The County Committee initially denied the petition due to concerns over funding for future school facilities. To resolve the County Committee’s concern, the two school districts approved a Joint Powers Agreement and formed the Temecula Valley Unified School District /Hemet Unified School District Joint School Facilities Authority (“Authority”). The Authority along with the registered voters and property owners within the Reorganization Area formed Community Facilities District No. 1 (“CFD No. 1”) around the area now developed and anticipated to be developed within the Reorganization Area. With the formation of CFD No. 1, special taxes and special tax bonds were authorized to provide a source of funding for K-12 school facilities. The boundaries of the Reorganization Area and CFD No. 1 are shown on **Figure 4.7-1, Territory Transfer**. The formation and proceedings related to the establishment of CFD No. 1 were validated by a Judgment of the Superior Court of Riverside County on June 12, 2012.

It is expected that the formation of CFD No. 1 and associated authorization of the special taxes has resolved the concerns raised by the County Committee. The staff and consultants of both school districts are now working with the County Committee as well as the property owners and residents of the Reorganization Area to submit a new petition to complete the proposed territory transfer. After approval of the territory transfer by the County Committee and California State Board of Education, the filing with the State Board of Equalization can occur. The actual effective date of the territory transfer will be July 1st following all of the required approvals and filings. The TVUSD schools that would serve the Project site are the La Vorgna Elementary School, the Bella Vista Middle School, and the Temecula Valley High School.

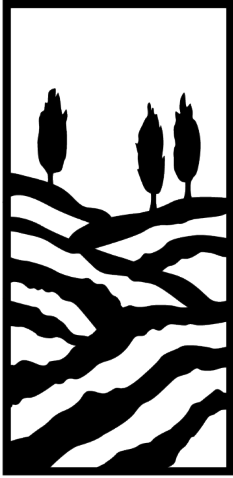


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-  St. Martin Committee Boundary
-  CFD 1
-  Project Boundary

**Figure 4.7-1 Territory Transfer**





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Existing and planned TVUSD facilities will provide for the school needs of the future Belle Terre community. Contribution in school fees as required by TVUSD and the State of California will be provided.

#### **4.7.3 Police and Fire Protection**

The Riverside County Sheriff's Department and the Riverside County Fire Department currently provide police and fire services to the Project site and will continue to do so upon build-out. The Project site is not located within a high fire hazard area and also falls within the state's fire responsibility area.

The Belle Terre Specific Plan is planned with fully improved roads that are consistent with Riverside County road standards. There are more than two ingress and egress to the community as discussed in Section 4.2 – Circulation Plan and reflected in **Figure 4.2-1**. Each planning area will also have two ingress and egress at a minimum. The General Plan identifies a goal of meeting and maintaining a level of 1.5 sworn officers per 1,000 residents. Riverside County Fire Department's service standard is 1.0 full time personnel per 1,000 populations, with a response time of five minutes for urban areas and six minutes for rural areas.

Implementation of the Belle Terre Specific Plan will incrementally increase the demand for sheriff and fire services. However, Riverside County has established a development impact fee via Ordinance No. 659 that is intended to offset any incremental increases in need for public facilities associated with police and fire protection. The proposed Project is required to pay these development impact fees prior to the issuance of building permits.

#### **4.7.4 Development Impact Fees**

Riverside County Ordinance No. 659, which is also known as the County Development Impact Fee (DIF), requires a fee payment by developers for the funding of public facilities, including fire protection facilities, sheriff services, library books and public health facilities. Proponents of Belle Terre will contribute Project-related development impact fees to the County. The DIF will ensure funds are available for capital improvements, such as land or equipment purchases, hiring of new staff and facilities construction to maintain the County's desired level of service for police and fire protection services.

#### **4.7.5 Electricity**

Belle Terre will be served by Southern California Edison (SCE) for electricity service. SCE currently services existing developments to the north, west and southwest of the site. Extensions would have to be made into the proposed Project as part of the final design plans. A backbone system may also be installed on major streets within the Project. Construction of electrical facilities will be financed as determined by SCE.

#### **4.7.6 Natural Gas**

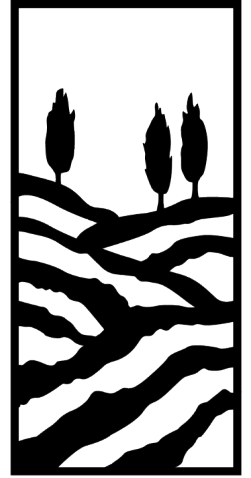
Natural Gas service will be provided by the Southern California Gas Company (Gas Company). The Gas Company currently services existing developments to the north, west and southwest of the site. Extensions would have to be made into the proposed Project as part of the final design plans. Construction of gas facilities will be financed as determined by the Gas Company.

#### **4.7.7 Solid Waste Collection**

Solid waste collection is provided by Waste Management Services to this area of French Valley. Hence, solid waste collection for the Belle Terre site can be extended through existing service agreements with Waste Management Services.

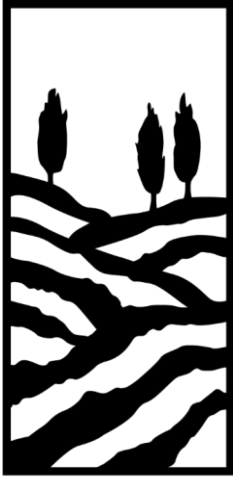
#### **4.7.8 Development Standards**

- 1) All utility lines shall be underground.
- 2) As a requirement of the California Solid Waste Reuse and Recycling Act of 1191, Belle Terre shall provide adequate areas for collection of and loading recyclable materials.



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## **4.8 Administration/Implementation Plan**

### **4.8.1 Plan Description**

Pursuant to Government Code Section 65451 all specific plans must contain a “program of implementation measures including regulations, programs, public works projects, and financing measures” necessary to implement the specific plan. This section defines the administration of the Belle Terre Specific Plan and the implementation process for approving new development, including the accompanying financing, phasing, and other necessary programs.

### **4.8.2 Administering the Belle Terre Specific Plan**

#### ***Responsibility***

The Planning Director shall be responsible for the administration and enforcement for the Belle Terre Specific Plan in accordance with the provisions of this Specific Plan, the State of California Government Code, and the Subdivision Map Act, including: processing assistance, interpretations of provisions, approval of administrative permits, issuance of permits, site development plans, approval of temporary or interim uses, specification of conditions of approval, and authorization of certificates of occupancy for new development.

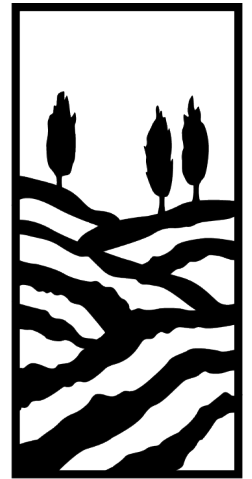
The Planning Commission or Planning Director shall be responsible for approval of any stand-alone subdivision maps and use cases (as outlined in Ordinance No. 348). The Commission will make a recommendation to the Board for any project that includes a legislative action such as a Change of Zone or Specific Plan Amendment. The Board of Supervisors shall be responsible for adopting amendments to the Specific Plan and acting on appeals of decisions by the Planning Commission.

#### ***Applicability***

All development and proposed uses in the Specific Plan shall comply with the requirements and standards set forth in the Specific Plan and Ordinance No. 348. 4918. Where conflicts exist between the standards set forth in the Specific Plan and Ordinance No. 348. 4918 and those found in the Riverside County Zoning Ordinance (Ordinance No. 348), the standards in the Specific Plan shall apply. Standards not addressed in this Specific Plan are subject to the Riverside County Zoning Ordinance (Ordinance No. 348).

#### ***Severability***

If any section, subsection, sentence, clause or phrase of this Specific Plan or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this plan. Specific Plan Modifications



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Whenever an application for an implementing project varies from, and is not in substantial conformance with, the Specific Plan, a Specific Plan Amendment application shall be submitted pursuant to the provisions of Section 2.5 of Ordinance No. 348. However, when an application for an implementing project varies from, but is in substantial conformance with the Specific Plan, an application for Request for Determination of Substantial Conformance shall be submitted pursuant to the provisions of Section 2.7 of Ordinance No. 348 prior to the approval of the implementing project.

Changes to the adopted Specific Plan shall be classified by the Planning Director as either an amendment or in substantial conformance with the Specific Plan. The applicant shall submit a detailed justification explaining why an amendment or substantial conformance determination is warranted and any exhibits deemed necessary by the Planning Director.

✦ **Amendments**

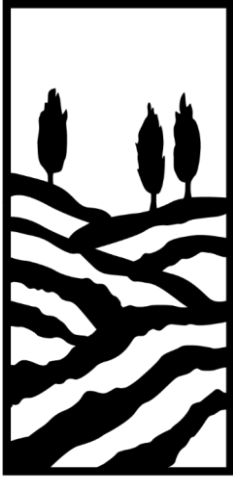
Amendments as defined in this Specific Plan, shall be processed according to Section 2.8 of the Riverside County Zoning Ordinance (Ordinance No. 348). An amendment, as defined in this Specific Plan, is any of the following:

- Changes to exhibits or text that alter the intent of the Specific Plan.
- Changes to development standards and/or design guidelines, which, if adopted, would substantially change the physical character of the Specific Plan.
- A new type of land use that is not specifically discussed in this Specific Plan and that is not of the same intensity and character.
- Any change that would trigger the preparation of a supplemental EIR.
- Changes in land use boundaries that result in an increase of more than the maximum allowable development potential, as analyzed in the certified EIR prepared for the Belle Terre Specific Plan.

✦ **Substantial Conformance**

Ordinance No. 348, Section 2.11 defines the term "Substantial Conformance," to mean "a non-substantial modification of a condition of approval, diagram, or text of the specific plan that does not change the basic design or improvements required and is consistent with the original resolution adopting the specific plan, the conditions of approval, and the specific plan text." A Substantial Conformance may include the following:

- A modification or deletion of a condition which will not substantially or adversely affect the underlying purpose for which the condition was initially required.
- Construction of an implementing project out of phase so long as all infrastructure and public facilities required for the intervening phases are provided.
- A modification of the approved land uses in a phase which does not increase the land use density or intensity in any phase or planning area.



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- A modification of the project design that improves circulation, protects topographic features, minimizes grading, improves drainage, or improves infrastructure.
- Additionally, any changes to the Specific Plan that are required to respond to permit requirements of applicable state or federal agencies with jurisdiction over the Project will be deemed in substantial conformance with the Specific Plan and will not require an amendment so long as the purpose of such changes is the protection of natural resources.

### **4.8.3 Implementation**

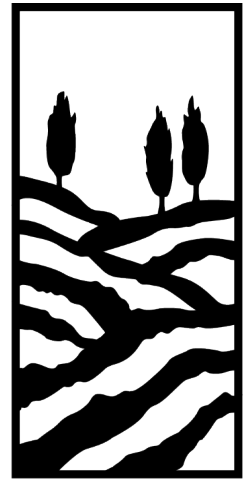
Approval of the Belle Terre Specific Plan indicates acceptance by the Riverside County Board of Supervisors of a general framework of development for the 343.3 acre Project site. Part of that framework establishes specific development standards that constitute the zoning regulations for the Belle Terre Specific Plan (Ordinance No. 348.4918). It is further anticipated that this Specific Plan will be implemented through a series of final parcel maps, plot plans and conditional use permits, which shall be reviewed and approved by the Planning Department/Planning Director and the appropriate hearing body to ensure consistency with this Specific Plan.

#### ***Subdivision Maps and Final Maps***

Subdivision maps are employed to implement a specific plan by subdividing land into smaller parcels. Riverside County Ordinance No. 460 includes a comprehensive list of required information for subdivision maps. However, this Specific Plan allows for Tentative Tract Maps to be processed with single-family residential lots in size from 3,000 square feet or larger. Future Tentative Tract Map and Final Tract Map processing and approval will not require submittal of full site of development plans, floor plans, or elevations. However, prior to approval of precise grading plans, approval by the Planning Director of full site development plans, floor plans, and elevations will be required. After a subdivision map or a plot plan receives its tentative approval, the applicant is given a period of time to provide the final improvement plans for streets, utilities, grading, landscaping, and all final conditions of approval prior to commencing construction.

#### ***Plot Plans***

Plot plans are similar to subdivision maps, in that a plot plan also implements a specific plan; however, a plot plan provides a detailed description of how each parcel will be developed. Consideration of a plot plan is a discretionary action. The Riverside County Planning Department's plot plan application and check list includes a comprehensive description of the required information for a plot plan action.



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### ***Conditional Use Permits***

Conditional use permits allow the County to consider special uses that are not allowed as a matter of right within a zoning district, therefore providing flexibility within a zoning ordinance. Consideration of a conditional use permit is a discretionary action. The Riverside County Planning Department's conditional use permit application and check list includes a comprehensive description of the required information for a conditional use permit application.

### **4.8.4 Financing Plan**

The developer shall be responsible for financing construction of the infrastructure improvements required to support the Project, such as perimeter and internal streets, water lines, sewers, and storm drains. All necessary infrastructure improvements shall be developed in conjunction with the roadway improvements. The financing of construction, operation, and maintenance of public improvement and facilities will include funding through a combination of financing mechanisms. However, the developer shall be ultimately responsible for all fair share costs associated with implementing the Project, including but not limited to the costs of providing infrastructure and complying with mitigation measures, conditions of approval, and other requirements of the Project.

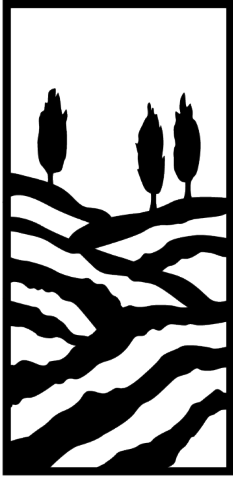
Financing may involve a combination of impact fees and exacting, special assessment districts, landscaping and lighting districts, and other mechanisms agreed to by the developer and the County of Riverside as noted below. Developer funded improvements may be subject to a reimbursement agreement or credits against fees pursuant to provisions of a development agreement or conditions of approval. The County and developer will cooperate to ensure that the public facilities are built in accordance with all requirements of the Specific Plan and EIR. A development agreement and conditions of approval may be used to facilitate this process.

### ***Developer Funding***

In many cases, certain onsite facilities are tied directly to individual projects. In these cases, it is reasonable to expect the developer (or property owner) to pay the entire cost of the facility in order to secure development rights. Onsite local streets, utility connections from main trunk lines, and drainage facilities are good examples of facilities that are normally required concurrent with development of an individual parcel funded by the developer.

### ***Special Assessment Districts***

A special assessment district is a type of benefit district that requires a vote by the property owners to encompass a defined and limited geographic area. The County or other agencies may form a special assessment district under one of several different statutory acts to construct public improvements such as streets, storm drains, sidewalks, streetlights, sewers, parks landscape, and other similar capital facilities. The special assessment district can issue bonds to finance those improvements and levy a special assessment to pay debt service on those bonds.



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A special assessment district may fund improvements within the entire Specific Plan area or smaller areas in the Specific Plan where special improvements are constructed that directly benefit only certain property owners. Special assessments districts may only be used to pay for projects that are of specific and direct benefit to the property owner being assessed. The amount of the assessment must directly relate to the amount of benefit received by the property owner.

#### ***Landscaping and Lighting Districts***

Landscaping and lighting districts (LLD) may be used for installation, maintenance, and servicing of landscaping and lighting through annual assessments on benefiting properties. LLDs may also provide for construction and maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities.

#### ***Community Facilities Districts and Mello-Roos***

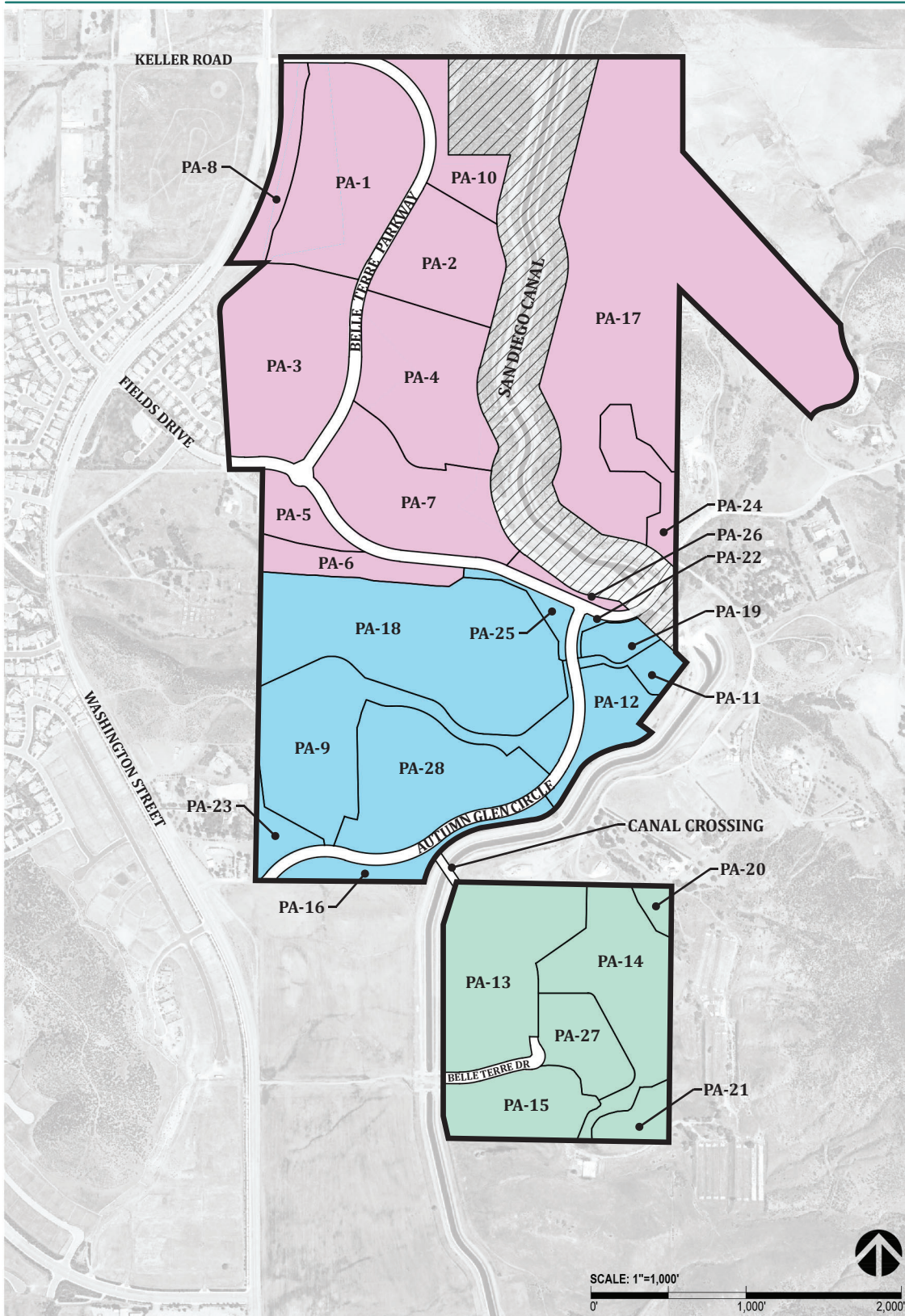
The Mello-Roos Community Facilities Act of 1982 allows the creation of special districts authorized to levy a special tax and issue tax exempt bonds to finance public facilities and services. A community facilities district may be initiated by the legislative body or by property owner petition and must be approved by a 2/3 majority of property owners or registered voters (if there are more than 12 registered voters living in the area). Because there is no requirement to show special benefit, Mello-Roos levies may be used to fund improvements of general benefit, such as fire and police facilities, libraries, and parks, as well as improvements that benefit specific properties. The provision also allows the reallocation of cost burdens to alleviate untenable burdens on specific properties.

#### ***Other Funding Sources***

Other sources may be available to finance improvement projects, such as government grants, private developer coalitions, or various types of bonds not listed above.

### **4.8.5 Phasing Plan**

Belle Terre is designed for development in three phases. The Phasing Plan has been designed to best utilize existing and planned infrastructure for an orderly and cost effective approach to build-out. Development will occur in response to market demands, and in accordance with the installation of necessary wet infrastructure and associated sites, as outlined in this section. Accordingly, because the Phasing Plan is meant to be flexible, changes to the Phasing Plan will be considered minor provided that the Planning Director determines that infrastructure is available to serve that phase and that any mitigation measures linked to that phase, location, or level of development are implemented, as noted in Section 4.8.2, above. The Belle Terre Phasing Plan follows a logical and orderly extension of roadways, public utilities, and infrastructure for developable planning areas as depicted in **Figure 4.8-1, Phasing Plan** and **Table 4.8-A, Project Phasing Plan** below.



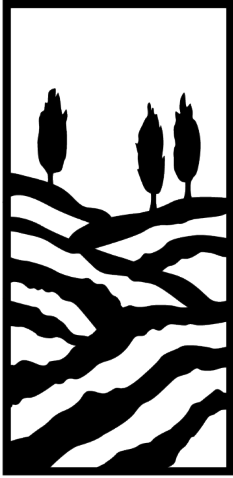
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- Project Boundary
- Planning Areas
- Not a Part

## Phasing Plan

- Phase 1
- Phase 2
- Phase 3

**Figure 4.8-1 Project Phasing**



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**Table 4.8-A, Project Phasing Plan**

<b>Planning Area</b>	<b>Land Use</b>	<b>Density Range (DU/AC)<sup>1</sup></b>	<b>Average Density (DU/AC)<sup>1</sup></b>	<b>Acreage</b>	<b>Total Dwelling Units</b>
<b>Phase 1</b>					
PA-1	MDR	2.0-5.0	4.4	21.8	97
PA-2	HDR	8.0-14.0	13.9	11.7	163
PA-3	MDR	2.0-5.0	4.6	20.8	95
PA-4	MHDR	5.0-8.0	5.5	17.4	95
PA-5	OS-R	-	-	4.0	-
PA-6	OS-C	-	-	4.9	-
PA-7	MHDR	5.0-8.0	5.2	16.5	85
PA-10	OS-R	-	-	6.0	-
<b>Phase 1 Subtotal</b>				<b>103.1</b>	<b>535</b>
<b>Phase 2</b>					
PA-9	MHDR	5.0-8.0	7.2	19.6	142
PA-11	OS-C	-	-	2.2	-
PA-12	OS-R	-	-	5.6	-
PA-23	OS-C	-	-	2.5	-
PA-25	OS-R	-	-	1.6	-
PA-28	MHDR	5.0-8.0	5.7	17.4	99
<b>Phase 2 Subtotal</b>				<b>48.9</b>	<b>241</b>
<b>Phase 3</b>					
PA-13	MDR	2.0-5.0	4.3	19	80
PA-15	OS-C	-	-	8.9	-
PA-27	OS-R	-	-	6.4	-
<b>Phase 3 Subtotal</b>				<b>34.3</b>	<b>80</b>

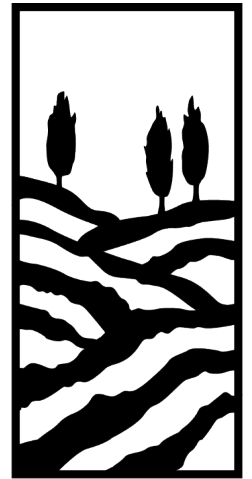
Notes:

1. DU/AC = Dwelling Units per Acre

Development of Belle Terre’s recreational amenities shall conform to **Table 4.8-B, Recreational Amenities Construction Timing and Responsibility** which identifies the triggers for development of and parties responsible for construction of recreational amenities. Maintenance entities are identified in Section 9.0 – Maintenance Plan.

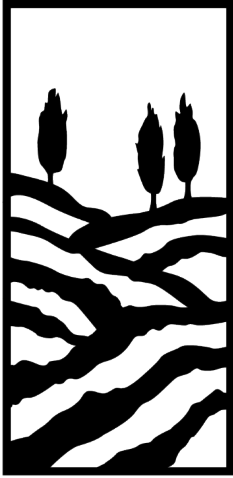
**Table 4.8-B, Recreational Amenities Construction Timing and Responsibility**

Facility	Construction Timing	Responsible Party for Construction
Public park in Planning Area 5	The public park in Planning Area 5 shall be fully constructed, accepted, and open for operation prior to the issuance of the final building permit Planning Areas 1, 3, 4, or 7.	The Developer that is responsible for the development within Planning Areas 1, 3, 4, and/or 7.
Public park in Planning Area 12	The public park in Planning Area 12 shall be fully constructed, accepted, and open for operation prior to the issuance of the final building permit in Planning Areas 9 or 28.	The Developer that is responsible for the development within Planning Area 9 and/or 28.
Public park in Planning Area 27	The public park in Planning Area 27 shall be fully constructed, accepted, and open for operation prior to the issuance of the final building permit in Planning Area 13.	The Developer that is responsible for the development within Planning Area 13.



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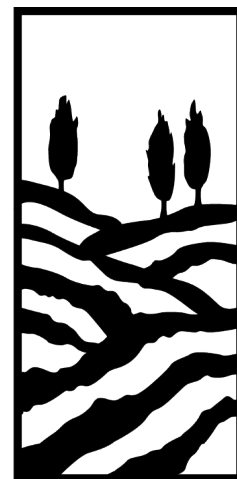


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#### **4.8.6 Development Standards**

- 1) Where determined by the County or other applicable public agencies to be necessary, roadways, infrastructure, and open space may be coordinated by and paid for through an Assessment District or Community Facilities District or other financial mechanism, to facilitate construction, maintenance, and management.
- 2) Prior to the issuance of building permits, improvement plans for the development of the common open space area, including planting and irrigation plans, shall be submitted for planning development approval for the stage of development in question. These landscape improvement plans shall be prepared by and reviewed for substantial conformance by a licensed landscape architect.
- 3) Development of each Planning Area shall include development of adjacent comment open space areas.
- 4) The phasing sequence described herein is conceptual. Therefore, at the time of development, if it is determined that the market demand warrants certain planning areas to be developed out of the expected sequence, it will be permissible provided that the required infrastructure and services are available at the time of development.

Prior to issuance of a building permit, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions have been satisfied for the phase of development in question.



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## **4.9 Maintenance Plan**

### **4.9.1 Plan Description**

Maintenance of open space areas, recreational facilities, and major roadway landscaping, among other areas, is of utmost importance to the performance and appearance of Belle Terre. Therefore, a comprehensive maintenance plan has been established for standards as well as guidance for the upkeep and governance of public common areas within the Specific Plan.

#### ***Apportionment of Costs for Maintenance of Common Areas***

In order to ensure timely commencement and sufficient funding for maintenance of public facilities and common areas, the Specific Plan will annex into an existing maintenance organization, or into an active management organization such as Valley-Wide Recreation and Parks District or a community-wide maintenance district. This maintenance district will be empowered to apportion costs for shared public facilities and common area maintenance within the Specific Plan and/or respective phase of the Specific Plan. Further, prior to tentative map approval or use permit, the developer will provide a master maintenance authority with enumerated responsibilities.

#### ***Master Area Maintenance***

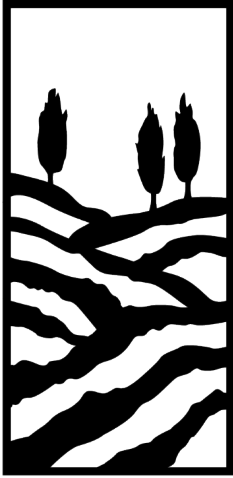
Common areas such as all recreation, open spaces, parks, slopes, and landscaped areas are identified in the Specific Plan as being available for the benefit of all residents of the Specific Plan area. Such common areas shall be maintained either by a County Service Area or similar public/private entity such as Valley-Wide Recreation and Parks Districts, or by a landscaping and lighting district, or by an association which includes as its participating owners all property within the Specific Plan, and the responsible agency shall assume maintenance responsibility for such area. The Specific Plan developer shall set in place the public/private entity/district prior to the recordation of the Final Map or the issuance of a grading permit, whichever occurs first. This shall insure that participation, fees and other shared concerns will be applicable to all development within the Specific Plan.

#### ***Specific Facilities Maintenance***

In residential areas of the project, smaller associations may be formed to assume ownership and maintenance responsibility for common areas and facilities that benefit only the residents in those areas. Private open space areas and private roadways are examples of facilities that could come under the jurisdiction of neighborhood home owners associations (HOAs).

#### ***Project Roadways and Roadway Landscaping***

All public project roadways will be designed and constructed to standards stated in this Specific Plan and will, therefore, be entered into the County system of roads for operation and maintenance as approved by the Board of Supervisors. Any private roads or accesses will be maintained by an association or other public/private entity, as described above.

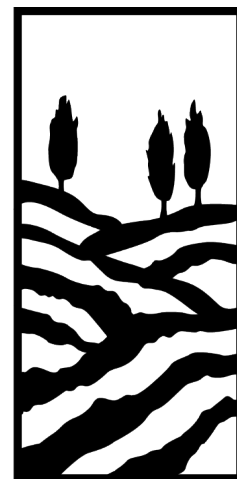


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Roadway landscaping within the right-of-way (such as the enhanced parkways), landscaping within the raised medians, and any hardscaping outside of any roadway right-of-way, shall be maintained by a public/private entity or other master association.

#### **4.9.2 Development Standards**

- 1) A permanent master maintenance organization may be established for the Specific Plan area to assume ownership and maintenance responsibility for all common recreation, open space, circulation system and landscaped areas which have not had ownership and maintenance assumed by another agency. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such an area-wide or regional organization is legally and financially capable of assuming the responsibilities for ownership and maintenance.
- 2) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
- 3) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division or issuance of any building permits for any approved development permit (use permit, plot plan, etc.)
- 4) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, general irrigation system specifications, structures, and circulation (vehicular and pedestrian).
- 5) If necessary, roadways, infrastructure, and open space may be coordinated by and paid for through an assessment or community services district (or area) to facilitate construction, maintenance and management.
- 6) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchases shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
- 7) It is anticipated that maintenance associations, if formed, will be established as follows: A master association shall be charged with the unqualified right to assess its individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained, as well the one-time purchase of facility-specific sites such as parks. A property owners association may be responsible for private roads, parking, open space areas, signing, landscaping, irrigation, common areas and other responsibilities as necessary.



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## **4.10 Sustainability Plan**

### **4.10.1 Project-Wide Principles**

As described earlier, Belle Terre is based upon three principles of planning: clustering, protection of natural resources, and buffering land uses along Project boundaries. While implementing policies enumerated in the SWAP, these principles also lend to sustainable planning practice.

The Sustainability Plan, together with the other elements of the Belle Terre Specific Plan, includes policies and development standards that balance strategic growth with sustainability. The Sustainability Plan in particular summarizes a broad collection of practices, standards, measures, methods, procedures, techniques, and approaches that were briefly discussed in Section 4.0 – Project Wide Development Standards. The Sustainability Plan is organized below into four categories that include: land use planning, green infrastructure, landscaping, and building level sustainability.

### **4.10.2 Land Use Planning**

The Belle Terre Land Use Plan has been designed with planning techniques that conserve natural resources, while at the same time, efficiently using the remaining land for strategic growth. The sustainability benefits of the Belle Terre Land Use Plan are highlighted below:

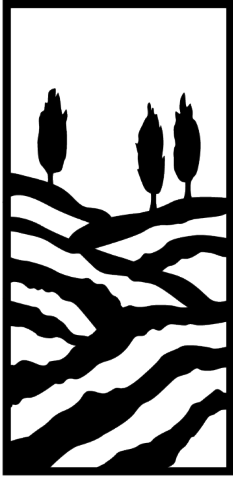
#### ***Land Use Plan***

- ✦ Belle Terre's reduced development footprint enables significant contributions to conservation efforts through the MSHCP. The Land Use Plan is based on the principle of clustering which in turn reduces the building footprint. Belle Terre includes 856 homes which are clustered on 144 acres while retaining approximately 180 acres as open space.
- ✦ Passive solar heating techniques shall be employed whenever possible. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated, and installing simple heat storage systems (Development Standard No. 7 in Section 4.1 – Land Use Plan).

#### ***Non-Vehicular Circulation Plan***

- ✦ The Land Use Plan contains a comprehensive sidewalk and trail system, which connects neighborhoods to parks, recreational areas, and off-site recreational areas including parks and regional trails to provide pedestrian and cyclist connectivity to ensure residents will have opportunities to walk, bike, and jog in different settings. To enhance this connectivity, it is recommended that: Bicycle racks are provided within the open space and park system (Development Standard No. 11 in Section 4.2 – Circulation Plan).





# BELLE TERRE

## ***Open Space and Recreation***

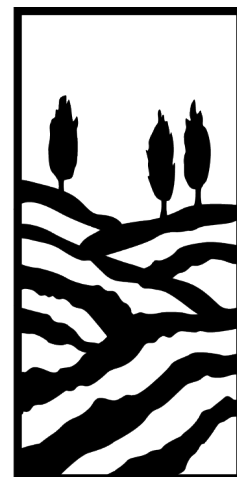
- ✦ 180 acres of Belle Terre is dedicated to open space, which includes but is not limited to, conservation areas, parks, trails, landscaped setbacks, and terraced slopes.
  - Approximately 49 acres of the land uses proposed for Belle Terre consist of OS-C. The OS-C areas have been designed as natural open space and are designed for passive recreational use and enjoyment of the natural setting.
  - Approximately 106.85 acres are reserved for OS-CH for the protection of important natural resources including natural habitat, natural drainage course, vegetation, and wildlife habitat.
  - Diverse recreational uses planned include a park, linear park for jogging/dog-run, active sports park, and smaller neighborhood parks for younger children in close proximity to homes.

### **4.10.3 Green Infrastructure**

Green infrastructure integrates natural systems thereby using land and resources more efficiently. Implementing green infrastructure and related methods for watershed management improves water quality, conserves water, and reduces runoff volumes as well as peak flows and durations. In addition to these direct benefits to the watershed, implementing these methods also benefits the quality and availability of biological habitat, provides energy conservation by reducing the heat trapping and impervious areas of typical land development, and will be aesthetically pleasing.

#### ***Drainage Plan***

- ✦ The Belle Terre Specific Plan utilizes natural treatment systems and engineered drainage controls to enhance the quality of storm water runoff.
- ✦ Several detention basins are planned in a manner so that they may be jointly used for park purposes providing efficient use of land resources.
- ✦ The following LID Standards for the Project include:
  - Project sites shall minimize impervious areas, detain runoff, and infiltrate, reuse, or evapotranspirate runoff when feasible.
  - Control sources of pollutants that are conveyed by stormwater runoff.
  - Use LID to infiltrate, evapotranspirate, reuse, or treat runoff from impervious areas.
  - Ensure that runoff does not create hydrological conditions of concern to downstream streams or natural channels (Development Standard No. 4 in Section 4.0 - Drainage Plan).



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Below are some of the drainage practices that are encouraged for Belle Terre:

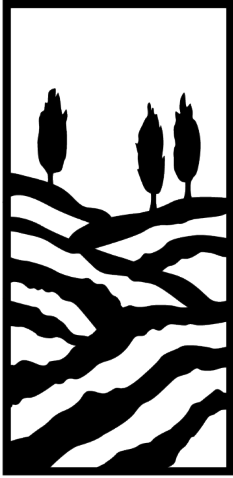
- ✦ Collect rainwater on site through the use of stormwater management practices such as the incorporation of infiltration basins and bioswales. Where applicable, create curb cuts to allow stormwater flows to drain to permeable or landscaped areas.
- ✦ Where possible, use pervious or open grid paving for driveways, walkways, plazas, and parking-areas. Implement small-scale design features throughout the development, such as "Hollywood" or dual-track driveways for single-family homes.
- ✦ Use pervious paving materials wherever possible to reduce the negative effects of stormwater runoff and to facilitate groundwater recharge.
- ✦ Utilize bioswales, particularly with native or drought-tolerant grasses, to collect and filter water runoff.

### ***Grading Plan***

- ✦ All cut and fill will be balanced on site or as approved by the County (Development Standard No. 8 in Section 4.5 – Grading Plan).
- ✦ Standard grading techniques shall be included as required and subject to approval by the Building and Safety, Transportation, and RCFCWCD. In all cases, however, manufactured slopes and other areas will be controlled by maintaining slope standards, soil stabilization techniques, and properly engineered drainage systems, in conformance with the recommendations of the required geotechnical and soils analyses (Development Standard No. 7 in Section 5.0 - Grading Plan).

### ***Water and Sewer Plan***

- ✦ The project will be constructed with a dual pipeline system and potable facilities. As no reclaimed water facilities are available to the site, a domestic pipe will provide irrigation to serve parks and common landscape areas (Development Standard No. 1 in Section 4.6 – Water and Sewer Plan).
- ✦ To reduce water consumption and associated energy-usage on the aggregate, Belle Terre should be designed to comply with the mandatory 20 percent reduction in indoor water usage contained in the current CalGreen Code.
- ✦ Belle Terre will comply with the reduction in outdoor water usage contained in the County's water efficient landscape ordinance No. 859.



# BELLE TERRE

Below are some of the water conservation practices that are encouraged for Belle Terre:

- ✿ Install only low water consumption, EnergyStar compliant appliances and fixtures.
- ✿ Install dual flush or other toilets using less than 1.6 gallons per flush (GPF) Install faucets and showerheads using 2.5 gallons per minute (GPM) or less.
- ✿ Use water-saving landscaping techniques, such as drip irrigation systems and drought tolerant plant species. (For a more detailed list of water-saving techniques and practices see the Landscaping section of this chapter).
- ✿ All development shall comply with the County's water conservation and reclamation regulations. Water conservation requirements will include the use of ultra-low flush toilets, reducing valves for showers and faucets, and insulated hot water lines.

## ***Public Facility Plan***

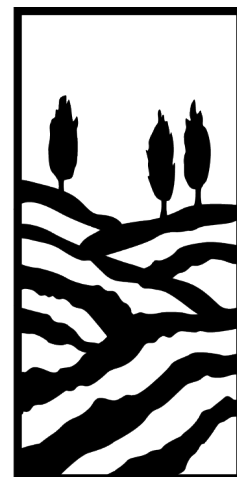
### **Electricity and Natural Gas**

- ✿ Belle Terre will be designed to exceed the current 2008 Title 24 standards by 10 percent on the aggregate.
- ✿ To reduce electric power demand and consumption, building standards outlined in Title 24 of the California Administrative Code will be implemented in all new development.

Some of the sustainable practices encouraged for Belle Terre are:

- ✿ Install only energy-efficient windows, such as spectrally selective low-e glass with wood, vinyl, or fiberglass frames.
- ✿ Incorporate building materials that take advantage of heat storage or thermal mass to reduce energy needed for heating and cooling interiors. Materials such as concrete, masonry, and wallboard store heat absorbed during the day and slowly release it throughout the evening thereby moderating indoor temperatures over a 24 hour period.
- ✿ Encourage participation in energy efficiency rebate programs offered by utility providers and government agencies.
- ✿ Specific measures can be implemented to reduce natural gas consumption including:
  - Use of an automatic flue gas damper when using a gas heating system;
  - Use of electrically-lighted pilot lights for all gas systems; and
  - Insulation of all gas-heated hot water tanks.





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- ✦ All development should incorporate energy-saving devices where feasible. These devices may include:
  - The use of time-controlled interior and exterior public lighting limited to that necessary for the safety of persons and property
- ✦ To reduce energy consumption Belle Terre should use:
  - EnergyStar rated appliances; and
  - High Efficiency lighting in common areas.

#### **Solid Waste**

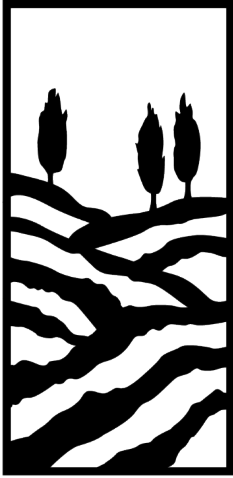
- ✦ The certified waste hauler contracted by the developer(s) will implement a curbside recycling program within the proposed project. The contract shall also include provisions for separating lawn trimmings and other green waste for recycling. Once a homeowner's association is established, the responsibility for the waste hauler contract will be transferred from the developer to the association.

#### **4.10.4 Landscaping**

Sustainable landscaping practices and techniques help promote water conservation and reduce water demand as well as help to control water and irrigation costs. Efficient irrigation techniques help reduce water demand while sustainable landscape design can lead to the reduction of the heat-island effect (the absorption of solar heat in paved surfaces), improved environmental habitat, and reduced overall maintenance and replacement cost.

- ✦ Belle Terre complies with Riverside County Ordinance No. 859 regarding water efficient landscaping. This ordinance imposes requirements for planting plans, irrigation design plans, soil management plans, and grading design plans. The ordinance also requires submittal of irrigation and maintenance schedules. Prior to issuance of a building permit and certificate of occupancy, the County will review the aforementioned plans to ensure compliance.
- ✦ Plant materials chosen for Belle Terre were selected from the County of Riverside California Friendly Plant List based on their suitability to the area (i.e., they tolerate a wide temperature range, have low water consumption requirements, withstand local wind conditions).
- ✦ Belle Terre will utilize native drought tolerant plant species.
- ✦ Belle Terre shall utilize high efficiency xeriscape irrigation systems to reduce the amount of water devoted to landscaped areas, such as drip and bubbler irrigation and low-angle, low-flow nozzles on spray heads.
- ✦ Belle Terre will utilize automated irrigation systems to reduce water use.
- ✦ Trees and low water use landscape materials such as flowering shrubs, native grasses, and groundcovers are incorporated into the park design for Belle Terre to reduce the use of large turf areas.





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Below are some of the landscape practices that are encouraged for Belle Terre:

- ✿ Install properly programmed EvapoTranspiration (ET) based controllers on homeowner's properties, which are weather based controllers with greater efficiency.
- ✿ Install moisture sensors and other similar irrigation technology to ensure that landscaping is watered only as needed.
- ✿ Trails should be constructed of pervious materials such as decomposed granite or existing earth. Mulch planting beds and apply compost and environmentally friendly fertilizers to promote healthy topsoil, maximize plant growth, and reduce plant replacement. This will also reduce the need for longer or more frequent irrigation run times.
- ✿ Where available, recycled water should be used in residential front and back yards (and private common areas), as well as in adjacent public street parkways. Where recycled water is not used, turf should be limited to 33 percent of the landscaped area of a conventional single family development lot.
- ✿ Irrigation systems provided for parking lot landscaping should consist of systems that minimize runoff and evaporation and maximize water availability to plant roots.
- ✿ Shade structures and tree cover should be provided in parking lots to reduce the amount of heat absorbed by paved parking areas where feasible. Palm trees are strongly discouraged in parking lots except for accent at key locations such as building entrances or other landmarks.

#### **4.10.5 Building-Level Sustainability**

There are many sustainable building practices and techniques that help create safe and healthy living environments. Below are materials and actions that are encouraged for Belle Terre to improve indoor air quality as well as reduce the impacts of light pollution.

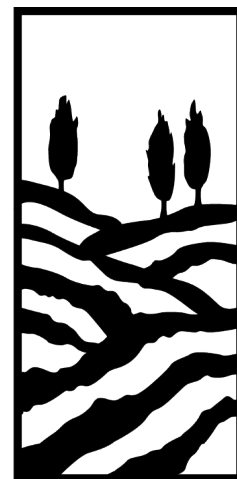
##### ***Building Materials***

- ✿ On the aggregate, encourage the installation of insulation with at least 75 percent recycled content, such as cellulose, newspaper, or recycled cotton.

##### ***Indoor/Outdoor Air Quality***

- ✿ Use only flooring and insulation products that are low emitters of volatile organic compounds (VOC) and formaldehyde.
- ✿ Use only low- and zero-VOC paints, finishes, adhesives, caulks, and other substances to improve indoor air quality and reduce the harmful health effects of off-gassing.
- ✿ All homes should only use gas fireplaces which create less smoke and pollutants than wood burning fireplaces (e.g. CO, NO, and VOC's).
- ✿ To reduce construction-related air quality impacts, construction equipment should be properly maintained and, serviced to minimize exhaust emissions.





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#### **4.10.6 Lighting**

- ✦ Utilize shielded fixtures, avoiding overhead lighting of areas such as walkways.
- ✦ Provide low-contrast lighting, and use low-voltage fixtures and energy-efficient bulbs, such as compact fluorescent (CFL) and light emitting diode (LEO) bulbs.
- ✦ Install only energy efficient street lighting.

#### **4.10.7 Building Envelope**

- ✦ Install radiant barriers to reduce summer heat gain and winter heat loss. Radiant barriers consist of a highly reflective material, such as aluminum, that prevents radiant heat from being absorbed by the interior of the home.
- ✦ Where possible, building articulation and form should be expressive of and driven by environmental and site conditions such as solar orientation, views, noise, prevailing winds, and local climate. Particular emphasis should be placed on shading devices when east-west orientation is appropriate (Development Standard No. 7 in Section 4.1 – Land Use Plan).
- ✦ Floor plans that employ features such as courtyards, plazas, and patios are encouraged to provide shading and air circulation.
- ✦ Use natural ventilation techniques, such as operable windows, to take advantage of airflow for cooling residential interiors, reducing the amount of energy needed for cooling.
- ✦ Install water and energy saving fixtures and appliances, such as showerheads, toilets, washing machines, clothes dryers, refrigerators, and dishwashers certified as EnergyStar compliant.
- ✦ Install re-circulating hot water systems to reduce the need to heat water, or tankless water heaters that heat water as needed instead of storing hot water in tanks, thus reducing standby energy use.
- ✦ Utilize a minimum insulation value of R30 in ceilings.
- ✦ Install programmable thermostats in all units.

# 5.0 Planning Area Standards

## Introduction

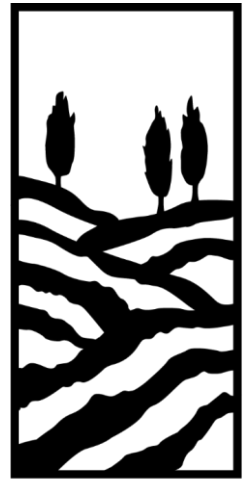
Section 5.0 – Planning Area Standards, addresses development standards for each individual planning area, such as, but not limited to, minimum lot sizes, acceptable housing product types, and primary and secondary vehicular access points. The development standards for each individual planning area also provide reference to applicable graphics contained throughout this Specific Plan. Each individual planning area is assigned with a land use designation, density, and primary vehicular access. This section also describes various community elements such as entry monuments, edge conditions, and walls and fences that are applicable to the individual planning area.

The Planning Area graphics for this section are illustrative and conceptual in nature. Various lot layouts are discussed in Section 7.0 – Architectural Design Guidelines.

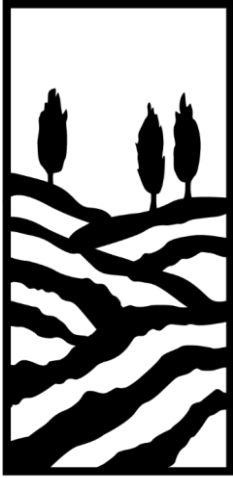
It is important to note the difference between standards and guidelines included herein. Section 4.0 – Project-Wide Planning Standards and Section 5.0 – Planning Area Standards, establish a required level of quality or attainment. In contrast, Section 6.0 – Landscape Design Guidelines and Section 7.0 – Architectural Design Guidelines provide general guidelines.

All standards and limitations which apply Project-wide from Section 4.0 – Project-Wide Development Standards, are applicable to each Planning Areas. For additional reference, see the following sections:

- 4.1 Land Use Plan
- 4.2 Circulation Plan
- 4.3 Open Space & Recreation Plan
- 4.4 Drainage Plan
- 4.5 Grading Plan
- 4.6 Water and Sewer Plan
- 4.7 Public Facility Plan
- 4.8 Administration/Implementation Plan
- 4.9 Maintenance Plan
- 4.10 Sustainability Plan



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## 5.1 Planning Area 1

### Medium Density Residential

#### 5.1.1 Description

Planning Area 1 is located in the northwest portion of Belle Terre and depicted in **Figure 5.1, Planning Area 1**, below. This Planning Area is planned for development of 97 dwelling units on approximately 21.8 acres with a density range of 2.0 to 5.0 dwelling units per acre (du/ac). This Planning Area has an average density of 4.4 du/ac. Single family detached homes with minimum lot sizes of 4,500 square feet will provide for varying products for a range of potential home buyers.

#### 5.1.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.1.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.1-1** consisting primarily of single family detached homes.

##### *Vehicular Access*

- ✿ Belle Terre Parkway will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

##### *Roadway Classifications/Streetscapes*

- ✿ Belle Terre Parkway shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Collector Streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide sidewalk in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Local Streets within this Planning Area shall be developed to allow for a 6 foot wide unstriped bike lane and 5 foot wide sidewalk on each side of the street in accordance with **Figure 4.2-6, Local Streetscape**.



- ✦ Pedestrian access openings from internal streets and cul-de-sacs are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

### ***Monumentation***

- ✦ Primary entry monument shall be provided and developed in accordance with **Figure 5.1-1** and **Figure 6.0-2, Primary Entry Monumentation.**
- ✦ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.1-1** and **Figure 6.0-4, Neighborhood Entry Monumentation.**

### ***Design Guidelines***

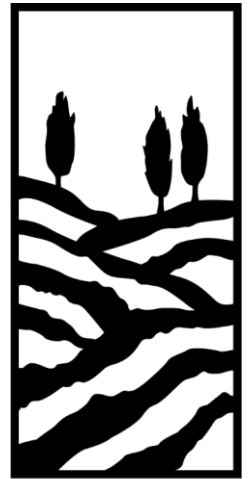
- ✦ This Planning Area is located in the Chardonnay Landscape District and shall be developed in accordance with Section 6.0 – Landscape Design Guidelines.
- ✦ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for home architecture.

### ***Land Use Transitions***

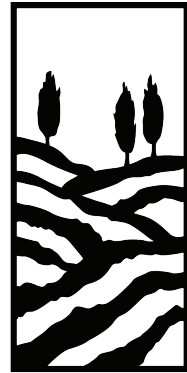
- ✦ This Planning Area shall provide a land use transition along the west side of the Planning Area and be developed in accordance with **Figure 6.0-10, Edge Condition: Residential to Water Quality Basin.**

### ***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.



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# BELLE TERRE

## LEGEND

- MEDIUM DENSITY RESIDENTIAL (MDR)
- NEIGHBORHOOD ENTRY
- PRIMARY ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- SECONDARY (100' ROW)
- URBAN ARTERIAL (152' ROW)

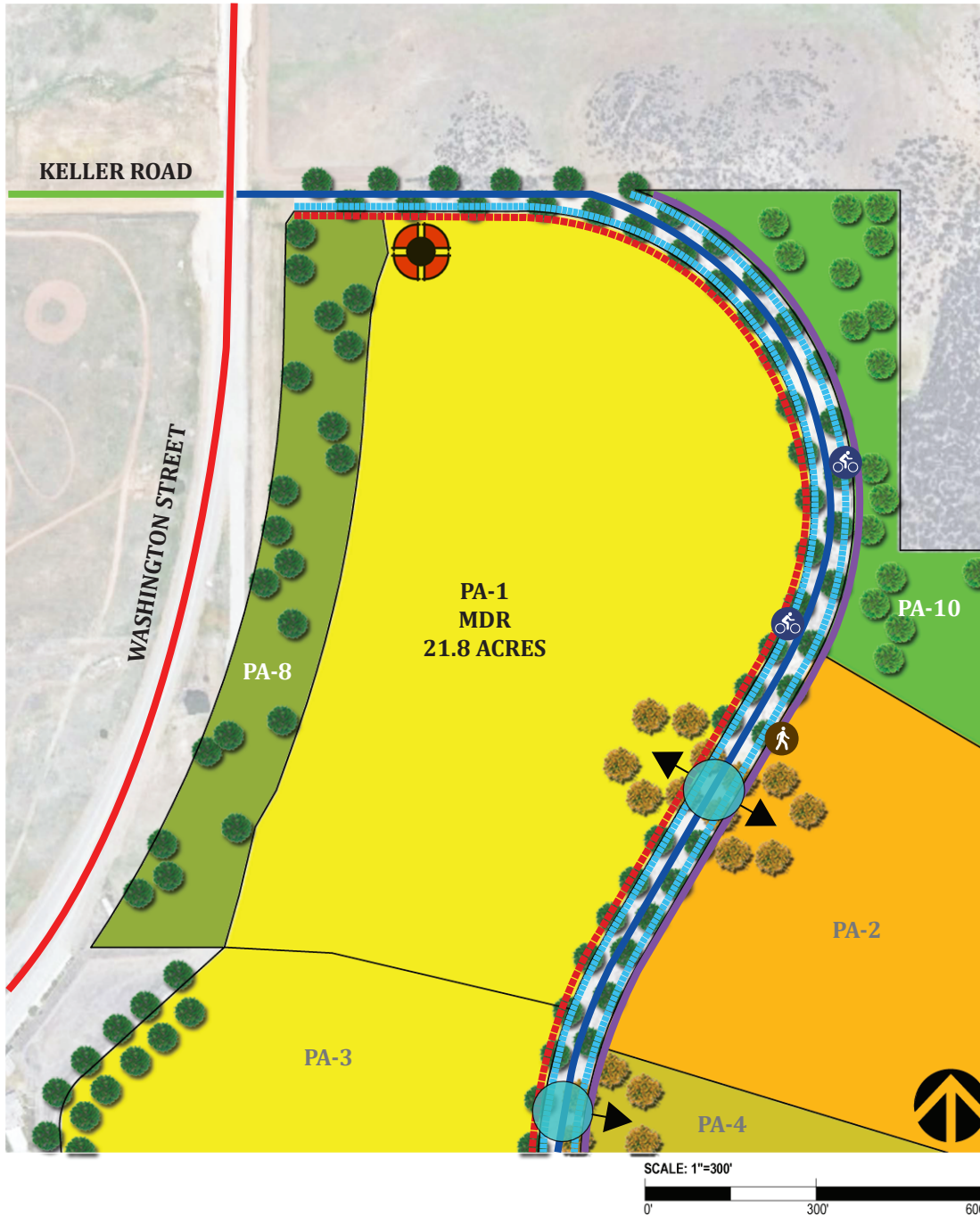
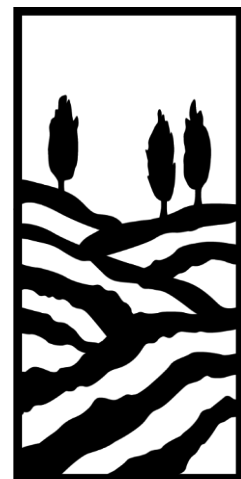


Figure 5.1-1 Planning Area 1



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## 5.2 Planning Area 2

### High Density Residential

#### 5.2.1 Description

Planning Area 2 is located in the northwestern portion of Belle Terre and depicted in **Figure 5.2-1, Planning Area 2**, below. This Planning Area is planned for development of 163 dwelling units on approximately 11.7 acres with a density range of 8.0 to 14.0 du/ac. This Planning Area has an average density of 14.0 du/ac.

#### 5.2.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.2.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.2-1** consisting primarily of single family detached homes.

##### *Vehicular Access*

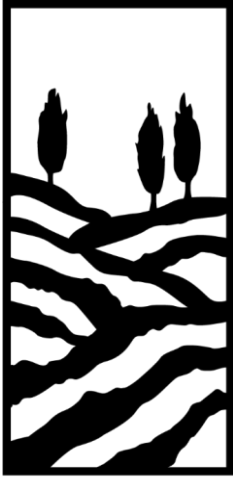
- ✿ Belle Terre Parkway will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

##### *Roadway Classifications/Streetscapes*

- ✿ Belle Terre Parkway shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Collector Streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide Decomposed Granite Trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Local Streets within this Planning Area shall be developed to allow for a 6 foot wide unstriped bike lane and 5 foot sidewalk on each side of the street in accordance with **Figure 4.2-6, Local Streetscape**.
- ✿ Pedestrian access openings from internal streets and cul-de-sacs in this Planning Area are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.



# BELLE TERRE

## *Entry Monumentation*

- ✿ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.2-1** and **Figure 6.0-4, Neighborhood Entry Monuments.**

## *Design Guidelines*

- ✿ This Planning Area is located in the Chardonay Landscape District and shall be developed in accordance with Section 6.0 – Landscape Design Guidelines.
- ✿ Section 7.0 – Architectural Design Guidelines provides general and specific guidelines for home architecture.

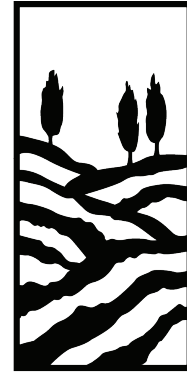
## *Land Use Transitions*

- ✿ This Planning Area shall provide a land use transition along the east side of the Planning Area and be developed in accordance with **Figure 6.0-11, Edge Condition: Residential to Park.**
- ✿ This Planning Area shall provide a land use transition along the north side of the Planning Area and be developed in accordance with **Figure 6.0-12, Edge Condition: Residential to Canal.**

## *Deed Transfer*





- ✿ No deed transfer is planned for this Planning Area.

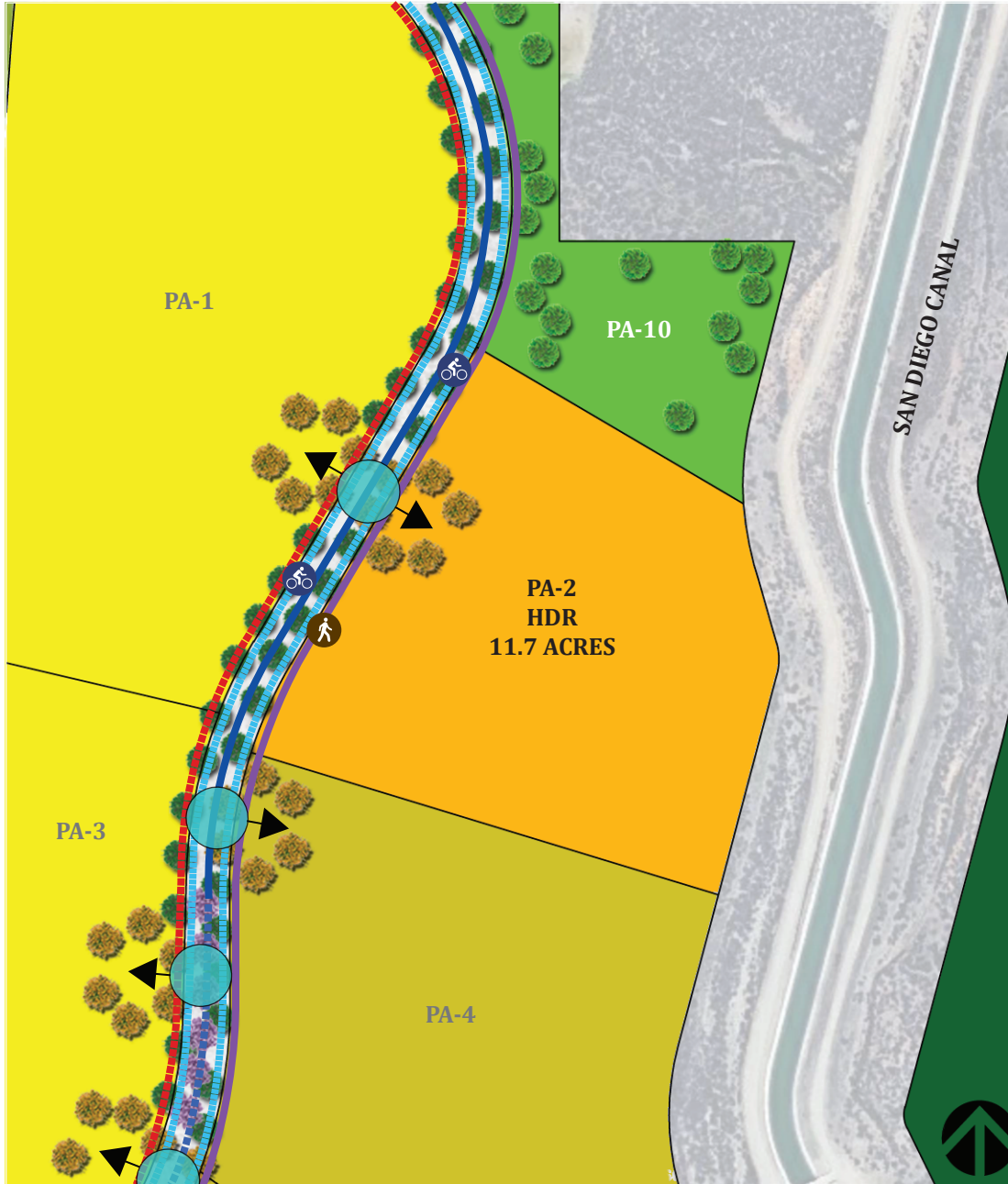




# BELLE TERRE

## LEGEND

-  HIGH DENSITY RESIDENTIAL (HDR)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  COLLECTOR
-  MODIFIED COLLECTOR



SCALE: 1"=300'

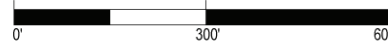
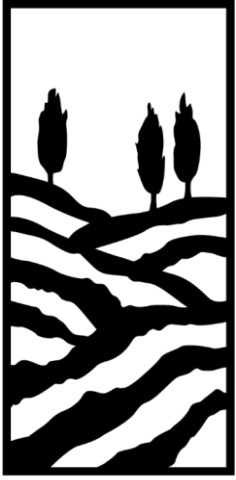


Figure 5.2-1 Planning Area 2





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## 5.3 Planning Area 3

### Medium Density Residential

#### 5.3.1 Description

Planning Area 3 is located in the northwest portion of Belle Terre at a strategic location north of the main entrance at Fields Drive and depicted in **Figure 5.3-1, Planning Area**, below. This Planning Area is planned for development of 95 dwelling units on approximately 20.8 acres with a density range is 2.0 to 5.0 du/ac. The Planning Area has an average density of 4.6 du/ac. Single family detached homes with minimum lot sizes of 4,500 square feet will provide for varying products for a range of potential home buyers.

#### 5.3.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.3.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.3-1** consisting primarily of single family detached homes.

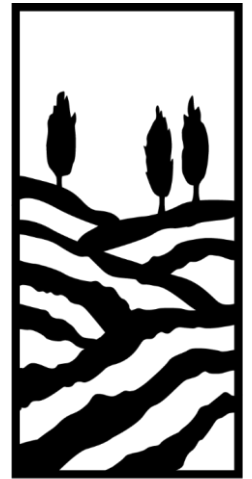
##### *Vehicular Access*

- ✿ Fields Drive and Belle Terre Parkway will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

##### *Roadway Classifications/Streetscapes*

- ✿ Intersection of Fields Drive and Belle Terre Parkway shall be developed in accordance with **Figure 4.2-2, Roundabout Streetscape**.
- ✿ Fields Drive shall be developed in accordance with **Figure 4.2-4, Modified Collector Streetscape 2**.
- ✿ A segment of Belle Terre Parkway shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ A segment of Belle Terre Parkway shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with Figure 4.2-6, Local Streetscape.





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### ***Bike Lanes, Sidewalks, and Trails***

- ✦ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide sidewalk in accordance with **4.2-3, Modified Collector Streetscape 1** and **4.2-4, Modified Collector Streetscape 2**.
- ✦ Collector Streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide sidewalk in accordance with **4.2-5, Collector Streetscape**.
- ✦ Local Streets within this Planning Area shall be developed to allow for a 6 foot wide unstriped bike lane and 5 foot sidewalk on each side of the street in accordance with **4.2-6, Local Streetscape**.
- ✦ Pedestrian access openings from internal streets and cul-de-sacs in this Planning Area are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

### ***Entry Monumentation***

- ✦ Primary entry monumentation is located at the entrance of this community at Fields Drive. It is conceptually designed to occur within the median of the Modified Collector Street. Primary entry monuments shall be provided and developed in accordance with **Figure 5.3-1** and **Figure 6.0-2, Primary Entry Monument**.
- ✦ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.3-1** and **Figure 6.0-4, Neighborhood Entry Monument**.

### ***Design Guidelines***

- ✦ This Planning Area is located in the Chardonay Landscaping District and shall be developed as described in Section 6.0 – Landscape Design Guidelines.
- ✦ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for home architecture.

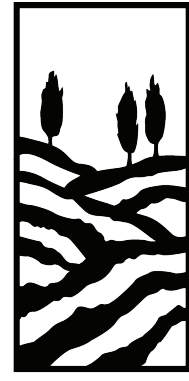
### ***Land Use Transitions***

- ✦ This Planning Area shall provide a land use transition along the west side of Planning Area and be developed in accordance with **Figure 6.0-13, Edge Condition: Residential to Off-Site Residential**.

### ***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.



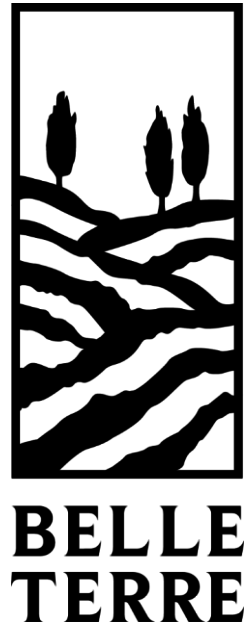


# BELLE TERRE

## LEGEND

- MEDIUM DENSITY RESIDENTIAL (MDR)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- PRIMARY ENTRY
- URBAN ARTERIAL (152' ROW)
- COLLECTOR
- MODIFIED COLLECTOR
- ROUNDABOUT

Figure 5.3-1 Planning Area 3



## 5.4 Planning Area 4

### Medium High Density Residential

#### 5.4.1 Description

Planning Area 4 is located in the northwestern portion of Belle Terre and depicted in **Figure 5.4-1, Planning Area 4**, below. This Planning Area is planned for development of 95 dwelling units on approximately 17.4 acres with a density range of 5.0 to 8.0 du/ac. This Planning Area has an average density of 5.5 du/ac. Single family detached homes with minimum lot sizes of 3,500 square feet will provide for varying products and clustered residential development for a range of potential home buyers.

#### 5.4.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.4.3 Planning Standards

##### *Land Use*

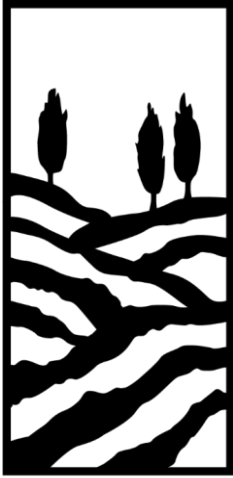
- ✿ This Planning Area shall be developed in accordance with **Figure 5.4-1** consisting primarily of single family detached homes.

##### *Vehicular Access*

- ✿ Belle Terre Parkway will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

##### *Roadway Classifications/Streetscapes*

- ✿ A segment of Belle Terre Parkway adjacent to this Planning Area shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ A segment of Belle Terre Parkway adjacent to this Planning Area shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.



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### ***Bike Lanes, Sidewalks, and Trails***

- ✦ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide DG trail in accordance with **Figure 4.2-3, Modified Collector Streetscape 1.**
- ✦ Collector Streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide DG trail in accordance with **Figure 4.2-5, Collector Streetscape.**
- ✦ Local Streets within this Planning Area shall be developed to allow for a 6 foot wide unstriped bike lane and 5 foot sidewalk on each side of the street in accordance with in accordance with **Figure 4.2-6, Local Streetscape.**
- ✦ Pedestrian access openings from internal streets and cul-de-sacs in this Planning Area are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

### ***Entry Monumentation***

- ✦ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.4-1** and **Figure 6.0-4, Neighborhood Entry Monuments.**

### ***Design Guidelines***

- ✦ This Planning Area is located in the Chardonnay Landscape District and shall be developed as described in Section 6.0 – Landscape Design Guidelines.
- ✦ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for home architectures.

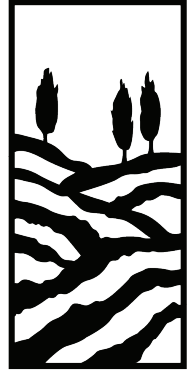
### ***Land Use Transitions***

- ✦ This Planning Area shall provide a land use transition along the east side of the Planning Area and be developed in accordance with **Figure 6.0-12, Edge Condition: Residential to Canal.**

### ***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.

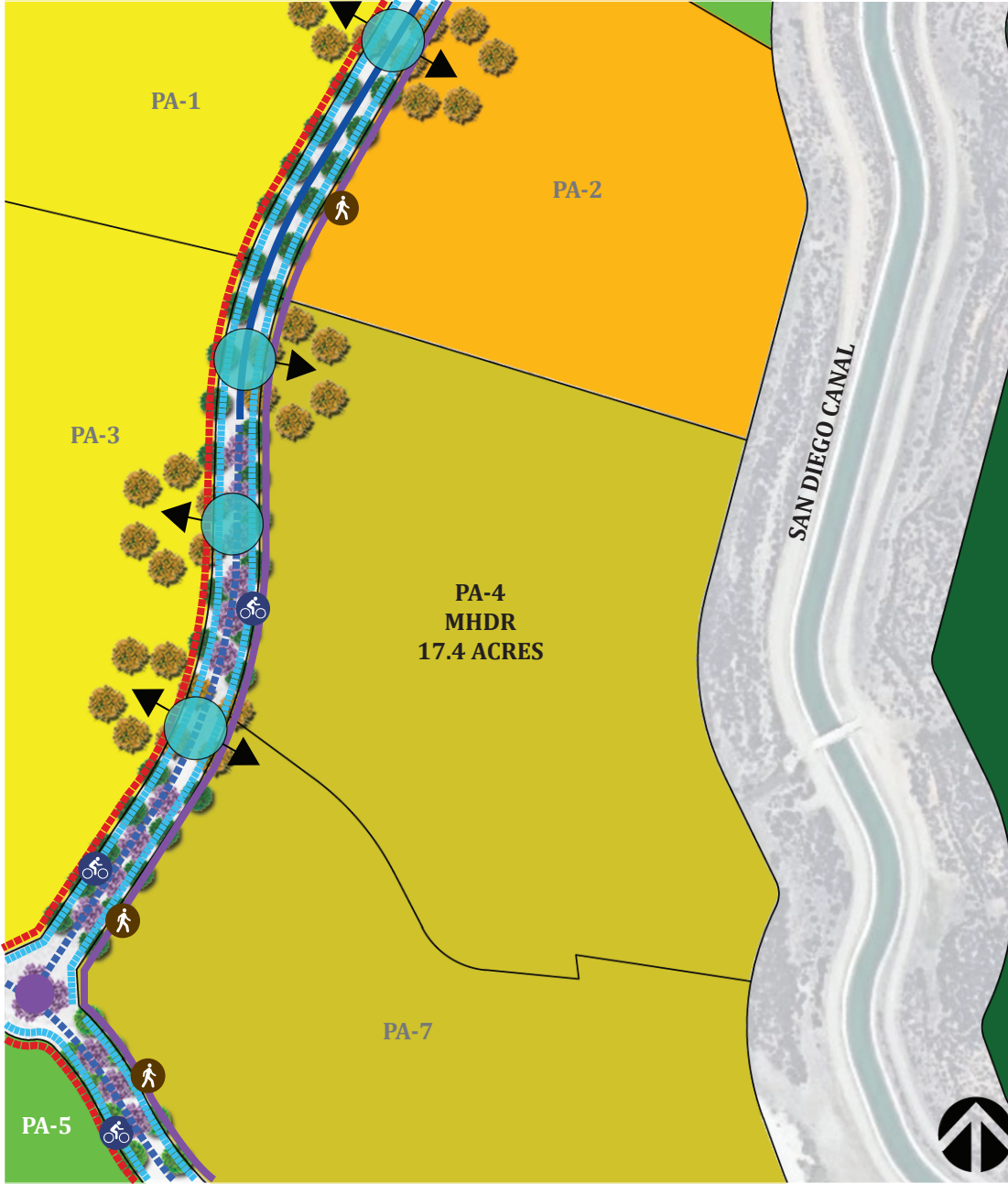




# BELLE TERRE

## LEGEND

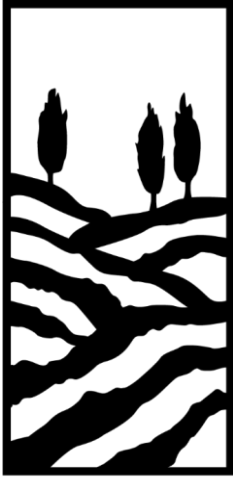
- MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- MODIFIED COLLECTOR
- ROUNDABOUT



SCALE: 1"=300'  
0' 300' 600'

Figure 5.4-1 Planning Area 4





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## 5.5 Planning Area 5

### Open Space-Recreation

#### 5.5.1 Description

Planning Area 5 is conveniently located at the intersection of Belle Terre Parkway and Fields Drive and depicted in **Figure 5.5-1, Planning Area 5**. This Planning Area provides for approximately 4.0 acres of Open Space-Recreation land uses. Active recreational elements for this Planning Area may include softball and soccer fields, half-court basketball, and tot lot play areas. Passive recreational elements may include walking paths, seating areas, open turf areas, and shaded picnic areas. Support facilities for the park and community clubhouse include a parking lot, a restroom, drinking fountains, security lighting, and fencing.

#### 5.5.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.5.3 Planning Standards

##### *Land Use*

- ✦ This Planning Area shall be developed in accordance with **Figure 5.5-1** consisting primarily of active recreation uses in accordance with Valley-Wide Recreation and Park District requirements for recreational amenities.

##### *Vehicular Access*

- ✦ Fields Drive and Belle Terre Parkway will provide primary access.

##### *Roadway Classifications/Streetscapes*

- ✦ Intersection of Fields Drive and Belle Terre Parkway shall be developed in accordance with **Figure 4.2-2, Roundabout Streetscape**.
- ✦ Fields Drive shall be developed in accordance with **Figure 4.2-4, Modified Collector Streetscape 2**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✦ Modified Collector streets adjacent to this planning area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide sidewalk for pedestrians in accordance with **Figure 4.2-4, Modified Collector Streetscape 2**.



***Entry Monumentation***

- ✦ No entry monumentation is planned for this Planning Area.

***Design Guidelines***

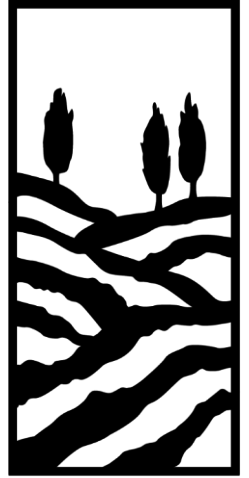
- ✦ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.

***Land Use Transitions***

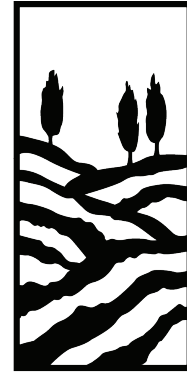
- ✦ No land use transitions are planned for this Planning Area.

***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.













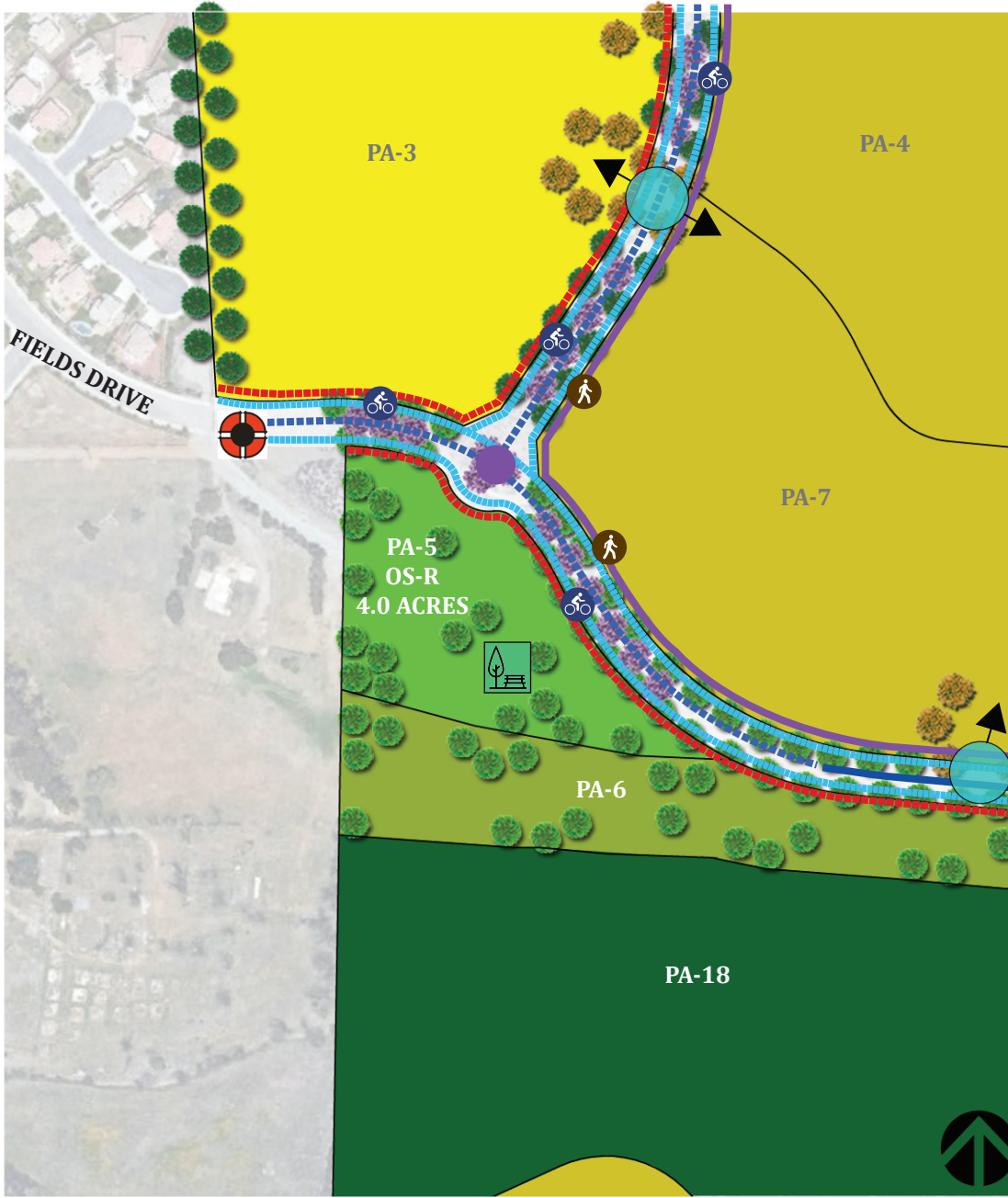
**BELLE  
TERRE**



# BELLE TERRE

## LEGEND

-  OPEN SPACE-RECREATION (OS-R)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  PRIMARY ENTRY
-  MODIFIED COLLECTOR
-  COLLECTOR
-  ROUNDABOUT
-  COMMUNITY PARK



SCALE: 1"=300'

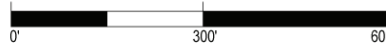
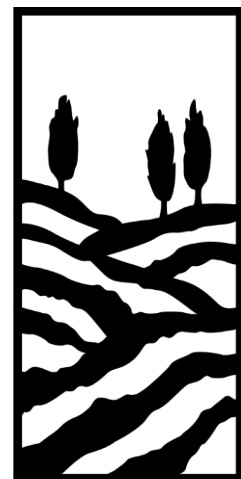


Figure 5.5-1 Planning Area 5



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## 5.6 Planning Area 6

### Open Space-Conservation

#### 5.6.1 Description

Planning Area 6 is located in the central portion of Belle Terre, south of Fields Drive and depicted in **Figure 5.6-1, Planning Area 6**. This Planning Area is planned for development of water quality systems on approximately 4.9 acres.

#### 5.6.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.6.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.6-1** consisting primarily of water quality systems/open space.

##### *Vehicular Access*

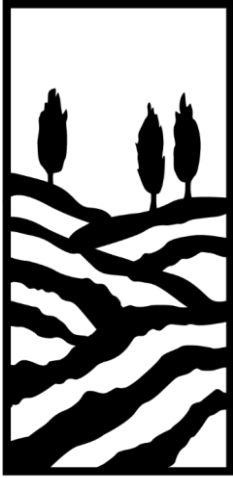
- ✿ Fields Drive will provide access to this Planning Area. However, vehicular access to this Planning Area will be limited to emergency vehicles, utility vehicles, and service personnel, as required.

##### *Roadway Classification/Streetscape*

- ✿ A segment of Fields Drive shall be developed in accordance with **Figure 4.2-4, Modified Collector Streetscape 2**.
- ✿ A segment of Fields Drive shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ No internal roadways are planned for this Planning Area.
- ✿ Maintenance roads shall be developed in accordance with Riverside County Water Conservation and Flood Control District standards.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane and a 5 foot sidewalk in accordance with **Figure 4.2-4, Modified Collector Streetscape 2**.
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide sidewalk in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ No bike lanes, sidewalks, or trails are planned within this Planning Area.



**BELLE  
TERRE**

***Entry Monumentation***

- ✿ No entry monumentation is planned for this Planning Area.

***Design Guidelines***

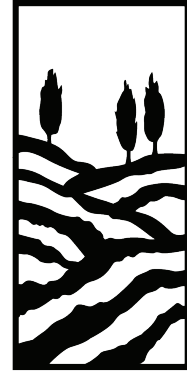
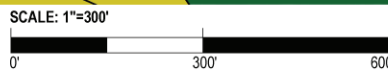
- ✿ Landscape shall be provided in accordance with Section 4.4 – Drainage Plan, Section 4.10.3 – Green Infrastructure, and Section 6.0 – Landscape Plan.

***Land Use Transitions***

- ✿ This Planning Area shall provide a land use transition along the southern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

***Deed Transfer***

- ✿ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owner/developer.

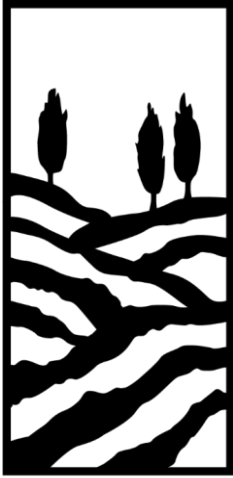


# BELLE TERRE

## LEGEND

- OPEN SPACE- CONSERVATION-(OS-C)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- PRIMARY ENTRY
- MODIFIED COLLECTOR
- COLLECTOR
- ROUNDABOUT
- RETENTION BASIN

Figure 5.6-1 Planning Area 6



**BELLE  
TERRE**

## 5.7 Planning Area 7

### Medium High Density Residential

#### 5.7.1 Description

Planning Area 7 is located in the northwestern portion of Belle Terre and depicted in **Figure 5.7-1, Planning Area 7**, below. This Planning Area is planned for development of 85 dwelling units on approximately 16.5 acres with a density range of 5.0 to 8.0 du/ac. This Planning Area has an average density of 5.2 du/ac. Single family detached homes with minimum lot sizes of 3,500 square feet will provide for varying products and clustered residential development for a range of potential home buyers.

#### 5.7.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.7.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.7-1** consisting primarily of single family detached homes.

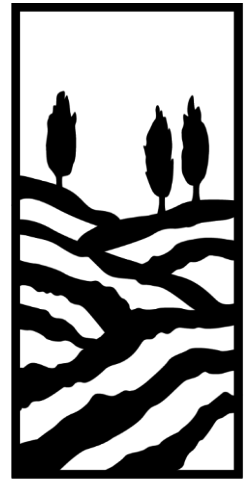
##### *Vehicular Access*

- ✿ Fields Drive and Belle Terre Parkway will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

##### *Roadway Classification/Streetscapes*

- ✿ Intersection of Fields Drive and Belle Terre Parkway shall be developed in accordance with **Figure 4.2-2, Roundabout Streetscape**.
- ✿ A segment of Fields Drive shall be developed in accordance with **Figure 4.2-4, Modified Collector Streetscape 2**.
- ✿ A segment of Belle Terre Parkway shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ A segment of Fields Drive shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.





**BELLE  
TERRE**

### ***Bike Lanes, Sidewalks, and Trails***

- ✦ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane and a 5 foot sidewalk in accordance with **Figure 4.2-3, Modified Collector Streetscape 1** and **Figure 4.2-4, Modified Collector Streetscape 2**.
- ✦ Collector streets shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide DG trail in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✦ Local streets within this Planning Area shall be developed to allow for a 6 foot wide unstriped bike lane and 5 foot sidewalk on each side of the street in accordance with **Figure 4.2-6, Local Streetscape**.
- ✦ Pedestrian access openings from internal streets and cul-de-sacs in this Planning Area are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

### ***Entry Monumentation***

- ✦ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.7-1** and **Figure 6.0-4 Neighborhood Monument**.

### ***Design Guidelines***

- ✦ This Planning Area is located in the Chardonnay Landscape District Landscaping shall occur as depicted in **Figure 5.7-1** and as further described in Section 6.0 – Landscape Design Guidelines.
- ✦ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for home architecture.

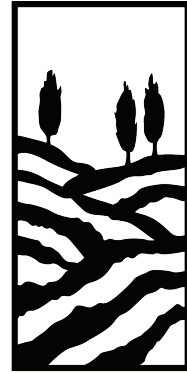
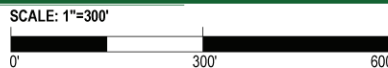
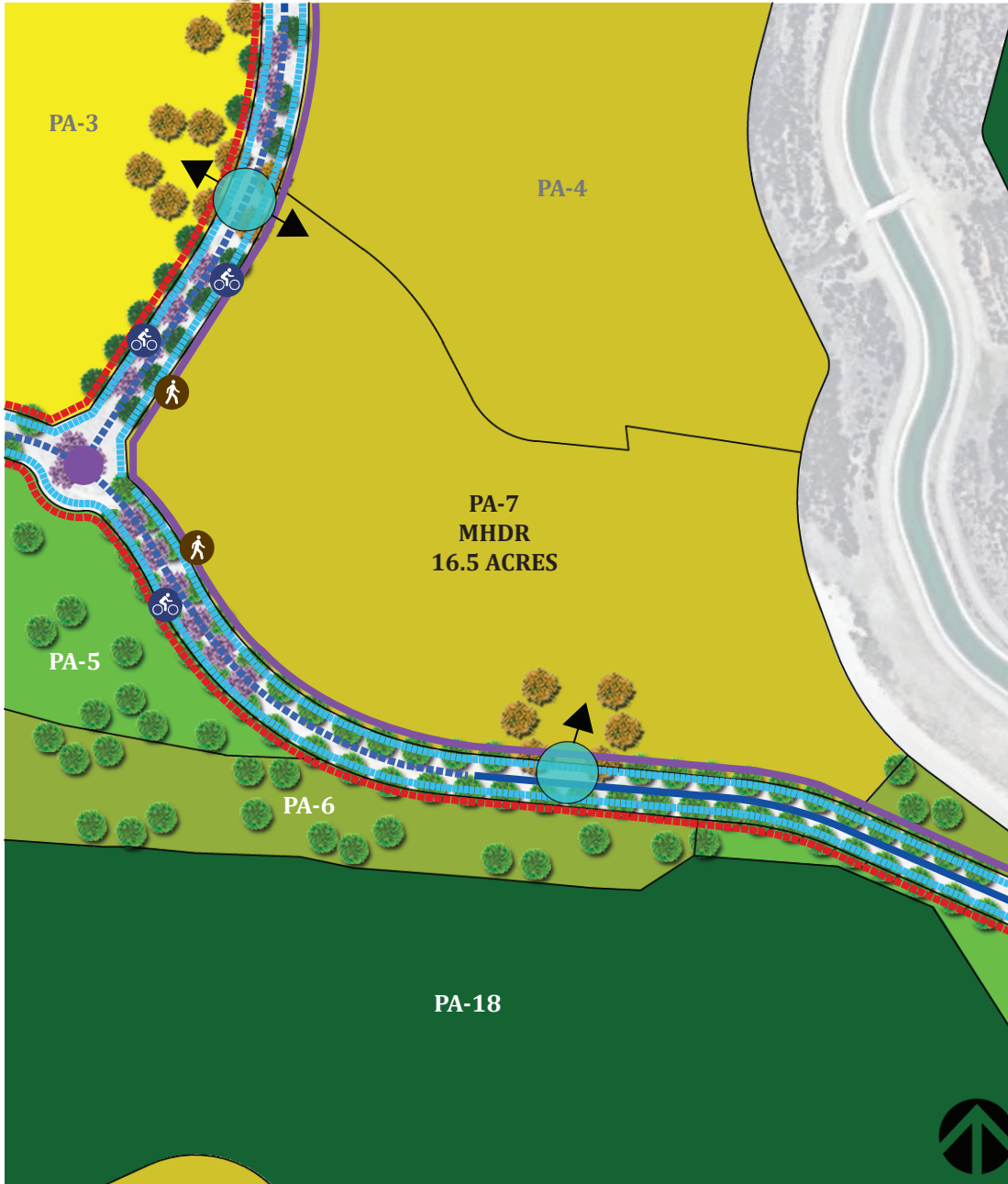
### ***Land Use Transitions***

- ✦ This Planning Area shall provide a land use transition along the east side of the Planning Area in accordance with **Figure 6.0-12, Edge Condition: Residential to Canal**.

### ***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.





# BELLE TERRE

## LEGEND









-  MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  MODIFIED COLLECTOR
-  COLLECTOR
-  ROUNDABOUT

Figure 5.7-1 Planning Area 7





## 5.8 Planning Area 8

### Open Space-Conservation

#### 5.8.1 Description

Planning Area 8 is located in the northwestern portion of Belle Terre and depicted in **Figure 5.8-1, Planning Area 8**, below. This Planning Area is planned for development of water quality systems on approximately 4.8 acres.

#### 5.8.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.8.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.8-1** consisting primarily of water quality systems/open space.

##### *Vehicular Access*

- ✿ Primary access to this Planning Area will be through Planning Area 1. However, vehicular access to this Planning Area will be limited to emergency vehicles, utility vehicles, and service personnel, as required.

##### *Roadway Classification/Streetscape*

- ✿ No internal roadways are planned for this Planning Area.
- ✿ Maintenance roads shall be developed in accordance with Riverside County Water Conservation and Flood Control District standards.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ No bike lanes, sidewalks, or trails are planned within this Planning Area.

##### *Entry Monumentation*

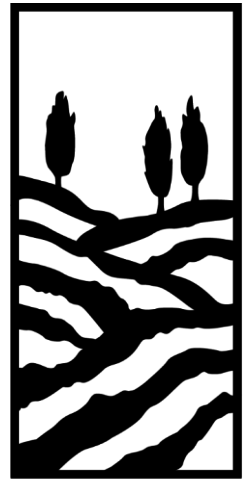
- ✿ Secondary entry monuments shall be provided and developed at key access points in accordance with **Figure 5.8-1** and **Figure 6.0-3 Secondary Monument**.

##### *Design Guidelines*

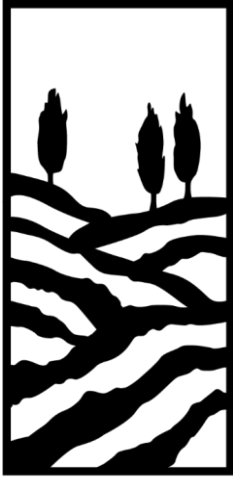
- ✿ Landscape shall be provided in accordance with Section 4.4 – Drainage Plan, Section 4.10.3 – Green Infrastructure, and Section 6.0 – Landscape Plan.

##### *Land Use Transitions*

- ✿ No land use transitions are planned for this Planning Area.



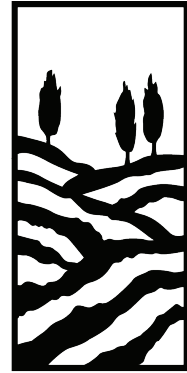
**BELLE  
TERRE**



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TERRE**

*Deed Transfer*

- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owner/developer.



# BELLE TERRE

## LEGEND

-  OPEN SPACE- CONSERVATION-(OS-C)
-  NEIGHBORHOOD ENTRY
-  PRIMARY ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  COLLECTOR
-  SECONDARY (100' ROW)
-  URBAN ARTERIAL (152' ROW)
-  RETENTION BASIN

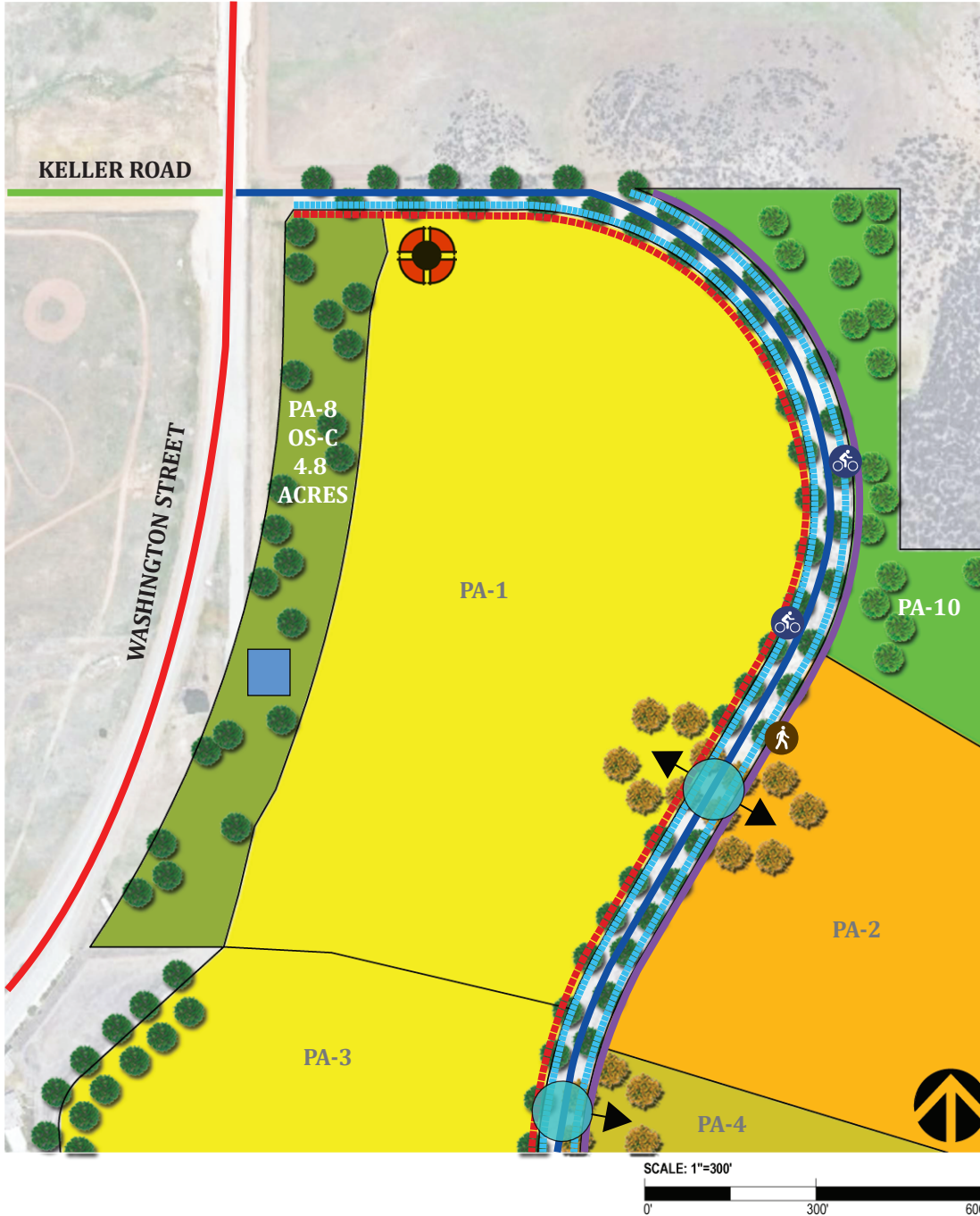
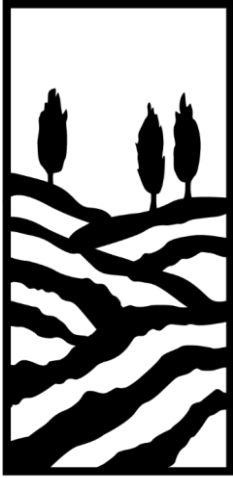


Figure 5.8-1 Planning Area 8



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## 5.9 Planning Area 9

### Medium High Density Residential

#### 5.9.1 Description

Planning Area 9 is located in the central portion of Belle Terre and depicted in **Figure 5.9-1, Planning Area 9**, below. This Planning Area is planned for development of 142 dwelling units on approximately 19.6 acres with a density range of 5.0 to 8.0 du/ac. This Planning Area has an average density of 7.2 du/ac. Single family detached homes with minimum lot sizes of 3,500 square feet will provide for varying products and clustered residential development for a range of potential home buyers.

#### 5.9.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.9.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.9-1** consisting primarily of single family detached homes.

##### *Vehicular Access*

- ✿ Autumn Glen Circle will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

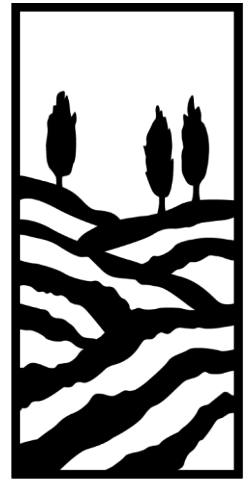
##### *Roadway Classifications/Streetscapes*

- ✿ A segment of Autumn Glen Circle shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ A segment of Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane and a 5 foot wide sidewalk in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane and a 5 foot wide sidewalk in accordance with **Figure 4.2-5, Collector Streetscape**.





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- ❖ Local streets within this Planning Area shall be developed to allow for development of a 6 foot wide unstriped bike lane and 5 foot wide sidewalk on each side of the street in accordance with **Figure 4.2-6, Local Streetscape**.
- ❖ Pedestrian access openings from internal streets and cul-de-sacs are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

#### ***Entry Monumentation***

- ❖ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.9-1** and **Figure 6.4, Neighborhood Monumentation**.

#### ***Design Guidelines***

- ❖ This Planning Area is located in the Merlot Landscape District and shall be developed in accordance with in Section 6.0 – Landscape Design Guidelines.
- ❖ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for home architecture.

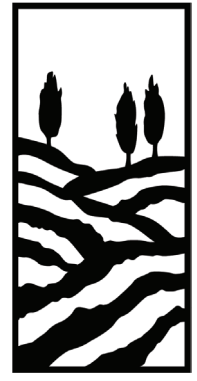
#### ***Land Use Transitions***

- ❖ This Planning Area shall provide a land use transition along the west side of the Planning Area and be developed in accordance with **Figure 6.0-8, Edge Condition: Residential to Open Space-Conservation**.
- ❖ This Planning Area shall provide a land use transition along the west side of the Planning Area and be developed in accordance with **Figure 6.0-13, Edge Condition: Residential to Off-Site Residential**.
- ❖ This Planning Area shall provide a land use transition along the northern and eastern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.
- ❖ This Planning Area shall provide a land use transition along the east side of the Planning Area and be developed in accordance with **Figure 6.0-9, Edge Condition: Residential to Open Space-Conservation-Habitat**.

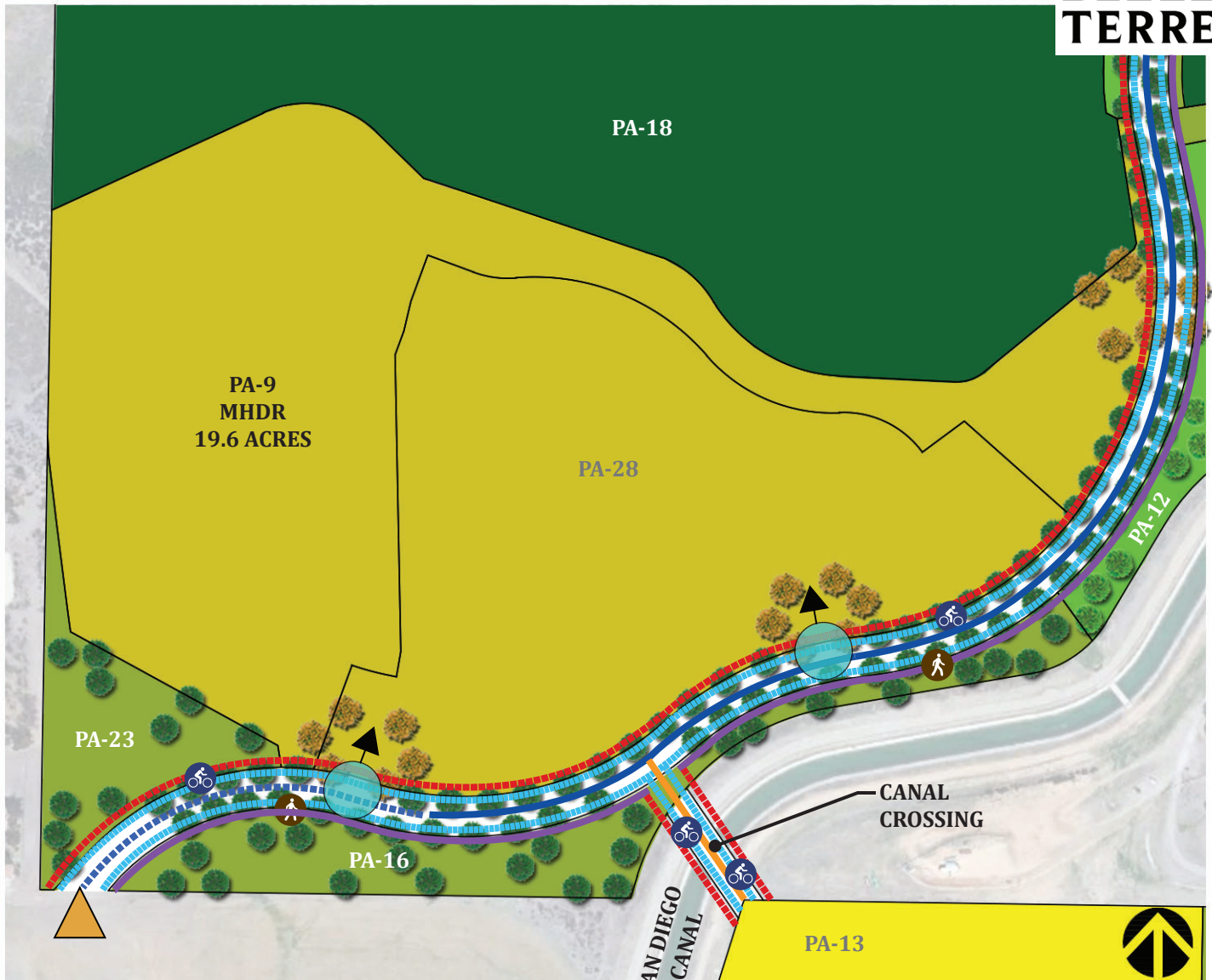
#### ***Deed Transfer***

- ❖ No deed transfer is planned for this Planning Area.



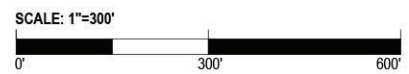


**BELLE  
TERRE**



**LEGEND**

- MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- COLLECTOR
- MODIFIED COLLECTOR
- DECOMPOSED GRANITE TRAIL
- LOCAL
- SECONDARY ENTRY



**Figure 5.9-1 Planning Area 9**

## 5.10 Planning Area 10

### Open Space-Recreation

#### 5.10.1 Description

Planning Area 10 is located in the northeastern portion of Belle Terre and depicted in **Figure 5.10-1, Planning Area 10**, below. This Planning Area provides for approximately 6.0 acres of Open Space-Recreation land uses. Elements for this Planning Area may include a recreation center, parking lot, drinking fountains, security lighting, and fencing.

#### 5.10.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.10.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.10-1** consisting of both active and passive recreational uses for the Belle Terre community.

##### *Vehicular Access*

- ✿ Belle Terre Parkway will provide primary access.

##### *Roadway Classifications/Streetscapes*

- ✿ Belle Terre Parkway shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and 5 foot wide DG trail in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Entry Monumentation*

- ✿ No entry monumentation is planned for this planning area.

##### *Design Guidelines*

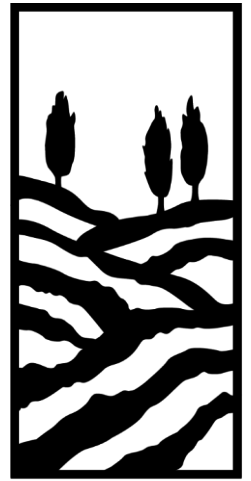
- ✿ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.

##### *Land Use Transitions*

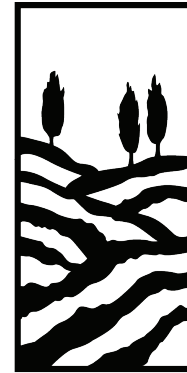
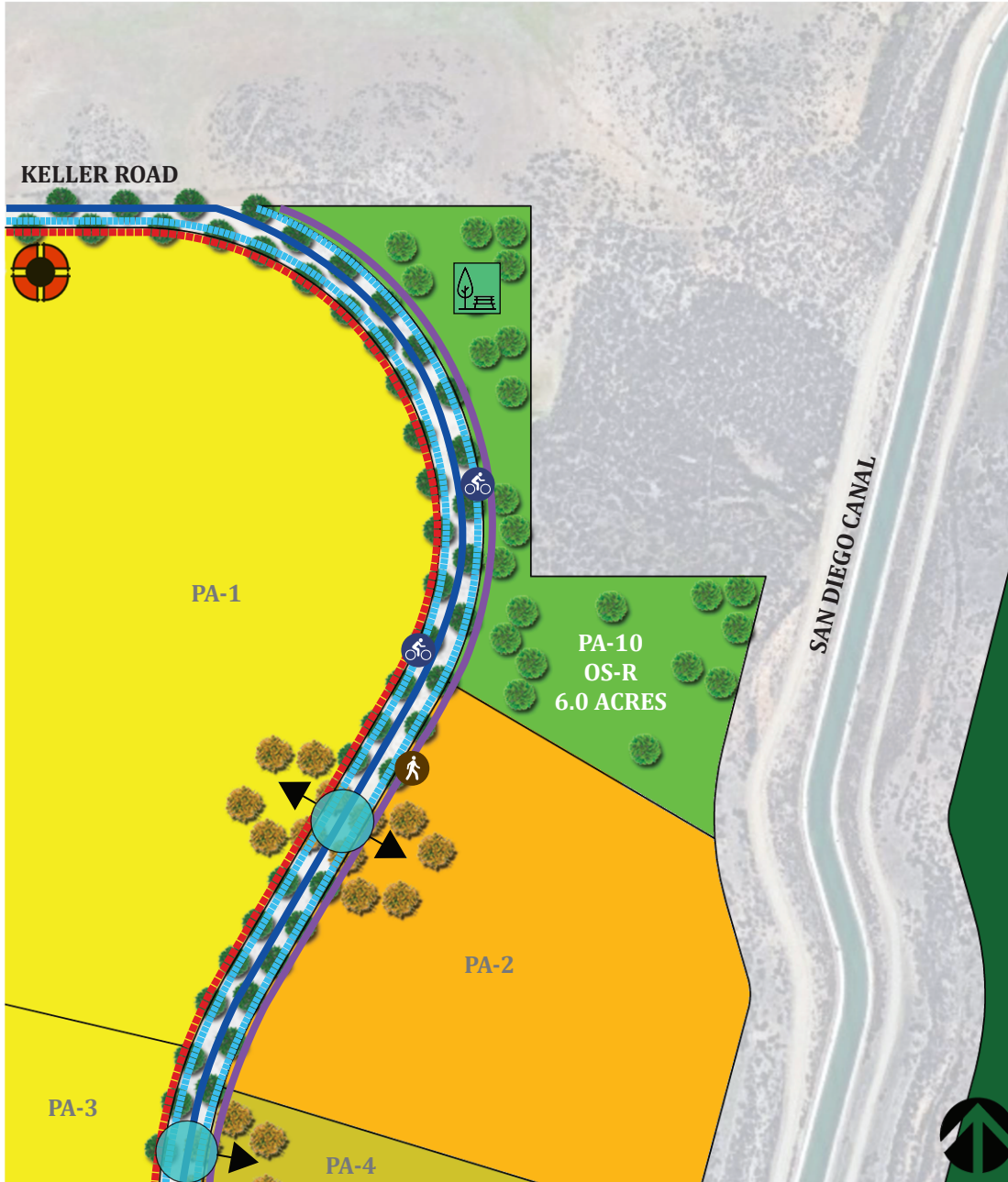
- ✿ No land use transitions are planned for this Planning Area.

##### *Deed Transfer*

- ✿ No deed transfer is planned for this Planning Area.



**BELLE  
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# BELLE TERRE

## LEGEND









-  OPEN SPACE-RECREATION (OS-R)
-  NEIGHBORHOOD ENTRY
-  PRIMARY ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  COLLECTOR
-  COMMUNITY PARK

Figure 5.10-1 Planning Area 10





## 5.11 Planning Area 11

### Open Space-Conservation

#### 5.11.1 Description

Planning Area 11 is located in the central portion of Belle Terre, east of Autumn Glen Circle and depicted in **Figure 5.11-1, Planning Area 11**, below. This Planning Area is planned for development of water quality systems on approximately 2.2 acres.

#### 5.11.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.11.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.11-1** consisting primarily of water quality systems/open space.

##### *Vehicular Access*

- ✿ Autumn Glen Circle provides access to this Planning Area. However, vehicular access to this Planning Area will be limited to emergency vehicles, utility vehicles, and service personnel, as required.

##### *Roadway Classification/Streetscape*

- ✿ Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Roadway Collector Streetscape**.
- ✿ No internal roadways are planned for this Planning Area.
- ✿ Maintenance roads shall be developed in accordance with Riverside County Water Conservation and Flood Control District standards.

##### *Bike Lanes, Sidewalks, and Trails*

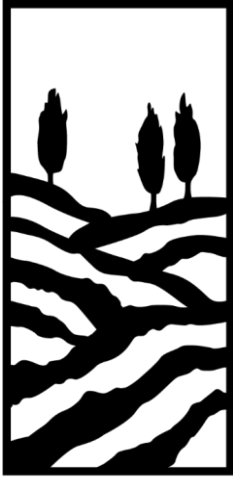
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and a 5 foot wide DG trail in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ No bike lanes, sidewalks or trails are planned within this Planning Area.

##### *Entry Monumentation*

- ✿ No monumentation is planned for this Planning Area.

##### *Design Guidelines*

- ✿ Landscape shall be provided in accordance with Section 4.4 – Drainage Plan, Section 4.10.3 – Green Infrastructure, and Section 6.0 – Landscape Plan



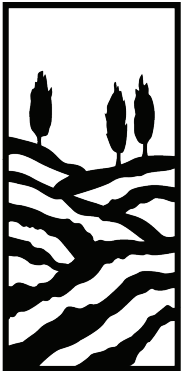
**BELLE  
TERRE**

***.Land Use Transitions***

- ✦ This Planning Area shall provide a land use transition along the northern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

***Deed Transfer***

- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owner/developer.

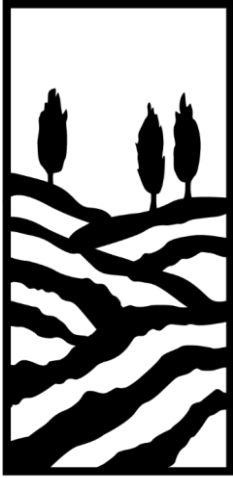


# BELLE TERRE

## LEGEND

- OPEN SPACE- CONSERVATION-(OS-C)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- LOCAL
- RETENTION BASIN

Figure 5.11-1 Planning Area 11



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## **5.12 Planning Area 12**

### **Open Space-Recreation**

#### **5.12.1 Description**

Planning Area 12 is located in the central portion of Belle Terre, east of South Street and is depicted in **Figure 5.12-1, Planning Area 12**, below. This Planning Area provides for approximately 5.6 acres of Open Space-Recreation land uses. Active recreational elements for this Planning Area may include softball and soccer fields, half-court basketball, and tot lot play areas. Passive recreational elements may include walking paths, seating areas, open turf areas, and shaded picnic areas. Support facilities for the park and community clubhouse include a parking lot, a restroom, drinking fountains, security lighting, and fencing.

#### **5.12.2 Permitted Land Use and Development Standards**

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.12.3 Planning Standards**

##### ***Land Use***

- ✦ This Planning Area shall be developed in accordance with **Figure 5.12-1** consisting primarily of active recreational uses in accordance with Valley-Wide Recreation and Park District requirements for recreational amenities.

##### ***Vehicular Access***

- ✦ Autumn Glen Circle will provide primary access.

##### ***Roadway Classifications/Streetscapes***

- ✦ Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Roadway Collector Streetscape**.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✦ Collector streets adjacent to this planning area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot wide DG trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.

##### ***Entry Monumentation***

- ✦ No entry monumentation is planned for this Planning Area.



***Design Guidelines***

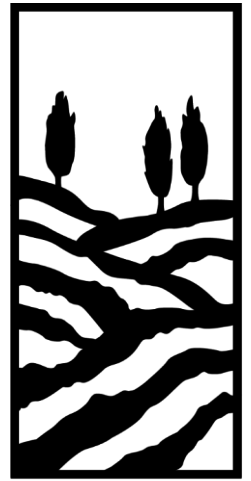
- ✦ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.

***Land Use Transitions***

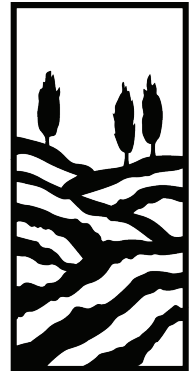
- ✦ This Planning Area shall provide a land use transition along the northern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.



**BELLE  
TERRE**



# BELLE TERRE

## LEGEND

- OPEN SPACE-RECREATION (OS-R)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- LOCAL
- COMMUNITY PARK

Figure 5.12-1 Planning Area 12



## 5.13 Planning Area 13

### Medium Density Residential

#### 5.13.1 Description

Planning Area 13 is located in the southeastern portion of Belle Terre and is depicted in **Figure 5.13-1, Planning Area 13**, below. This Planning Area is planned for development of 80 dwelling units on approximately 18.8 acres with a density range of 2.0 to 5.0 du/ac. This Planning Area has an average density of 4.3 du/ac. Single family detached homes with a minimum lot size of 4,500 square feet will provide for varying products for a range of potential home buyers.

#### 5.13.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.13.3 Planning Standards

##### *Land Use*

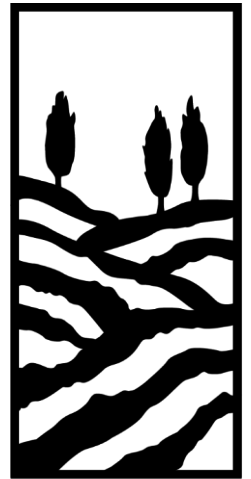
- ✿ This Planning Area shall be developed in accordance with **Figure 5.13-1** consisting primarily of single family detached homes.

##### *Vehicular Access*

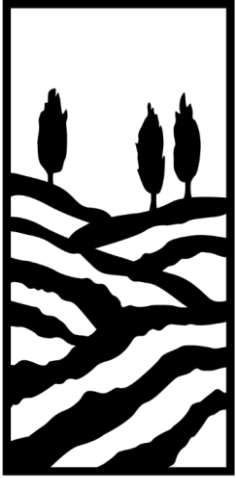
- ✿ Belle Terre Drive and the Canal Crossing (or Rebecca Street) will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

##### *Roadway Classifications/Streetscapes*

- ✿ Belle Terre Drive shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ The Canal crossing or Rebecca Street shall be developed in accordance with **Figure 4.2-6, Local Streetscape** and in accordance with Metropolitan Water District requirements.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.



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TERRE**

### ***Bike Lanes, Sidewalks, and Trails***

- ✦ Collector streets adjacent to this planning area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot wide sidewalk for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✦ Local streets adjacent to and within this Planning Area shall be developed with a 6 foot wide unstriped bike land for bike travel and 5 foot wide sidewalk in each travel direction in accordance with **Figure 4.2-6, Local Streetscape**.
- ✦ Pedestrian access openings from internal streets and cul-de-sacs in this Planning Area are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

### ***Entry Monumentation***

- ✦ Primary entry monuments shall be provided and developed at key access points in accordance with **Figure 5.13-1** and **Figure 6.0-2, Primary Entry Monumentation**.
- ✦ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.13-1** and **Figure 6.0-4, Neighborhood Entry Monumentation**.

### ***Design Guidelines***

- ✦ This Planning Area is located in the Champaign Landscape District and shall be developed in accordance with Section 6.0 – Landscape Design Guidelines.
- ✦ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for site planning and home architecture.

### ***Land Use Transitions***

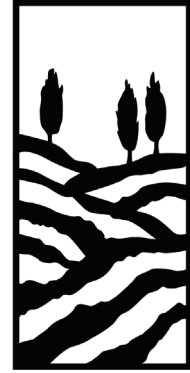
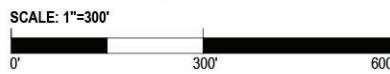
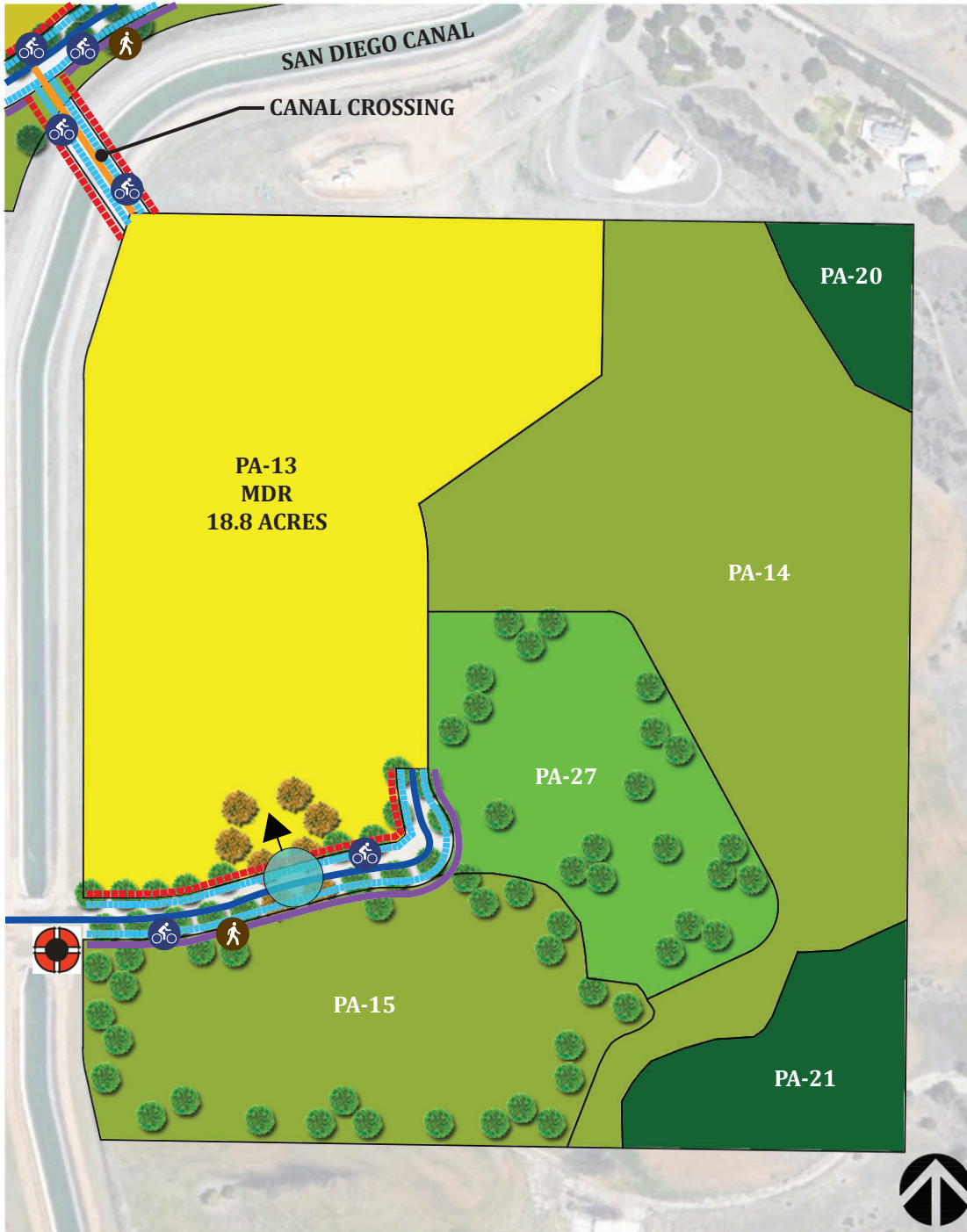
- ✦ This Planning Area shall provide a land use transition along a portion of the east side of the Planning Area and be developed in accordance with **Figure 6.0-8, Edge Condition: Residential to Open Space-Conservation**.
- ✦ This Planning Area shall provide a land use transition along the east side of the Planning Area and be developed in accordance with **Figure 6.0-11, Edge Condition: Residential to Park**.
- ✦ This Planning Area shall provide a land use transition along the west and northern side of the Planning Area and be developed in accordance with **Figure 6.0-12, Edge Condition: Residential to Canal**.

### ***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.







# BELLE TERRE

## LEGEND






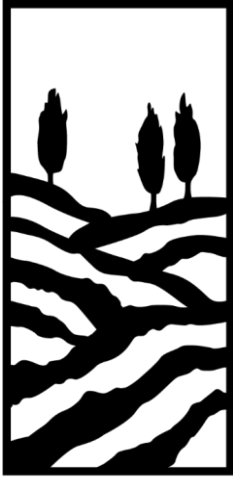
-  MEDIUM DENSITY RESIDENTIAL (MDR)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  LOCAL
-  COLLECTOR
-  PRIMARY ENTRY

Figure 5.13-1 Planning Area 13



**BELLE  
TERRE**

## **5.14 Planning Area 14**

### **Open Space-Conservation**

#### **5.14.1 Description**

Planning Area 14 is located in the southeastern portion of Belle Terre and depicted in **Figure 5.14-1, Planning Area 14**, below. This Planning Area is approximately 15.3 acres and is intended to provide an area for the preservation of non-MSHCP natural habitat that will ultimately remain undeveloped. Nevertheless, this Planning Area may support some passive recreational elements such as nature trails.

#### **5.14.2 Permitted Land Use and Development Standards**

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.14.3 Planning Standards**

##### ***Land Use***

- ✿ This Planning Area shall be developed in accordance with **Figure 5.14-1** consisting primarily of open space for conservation and some passive recreational uses.

##### ***Vehicular Access***

- ✿ No vehicular access is planned for this Planning Area.

##### ***Roadway Classifications/Streetscapes***

- ✿ No roadways are planned for this Planning Area.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✿ Natural recreational trails may develop but no bike lanes, sidewalks or trails are planned within this Planning Area.

##### ***Entry Monumentation***

- ✿ No entry monumentation is planned for this Planning Area.

##### ***Design Guidelines***

- ✿ This area will remain undeveloped habitat with the exception of some nature trails.

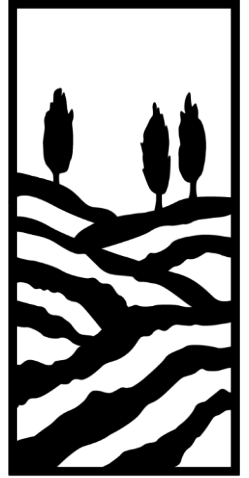
##### ***Land Use Transitions***

- ✿ This Planning Area shall provide a land use transition along the northern and eastern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

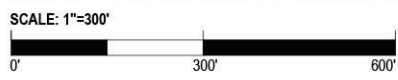
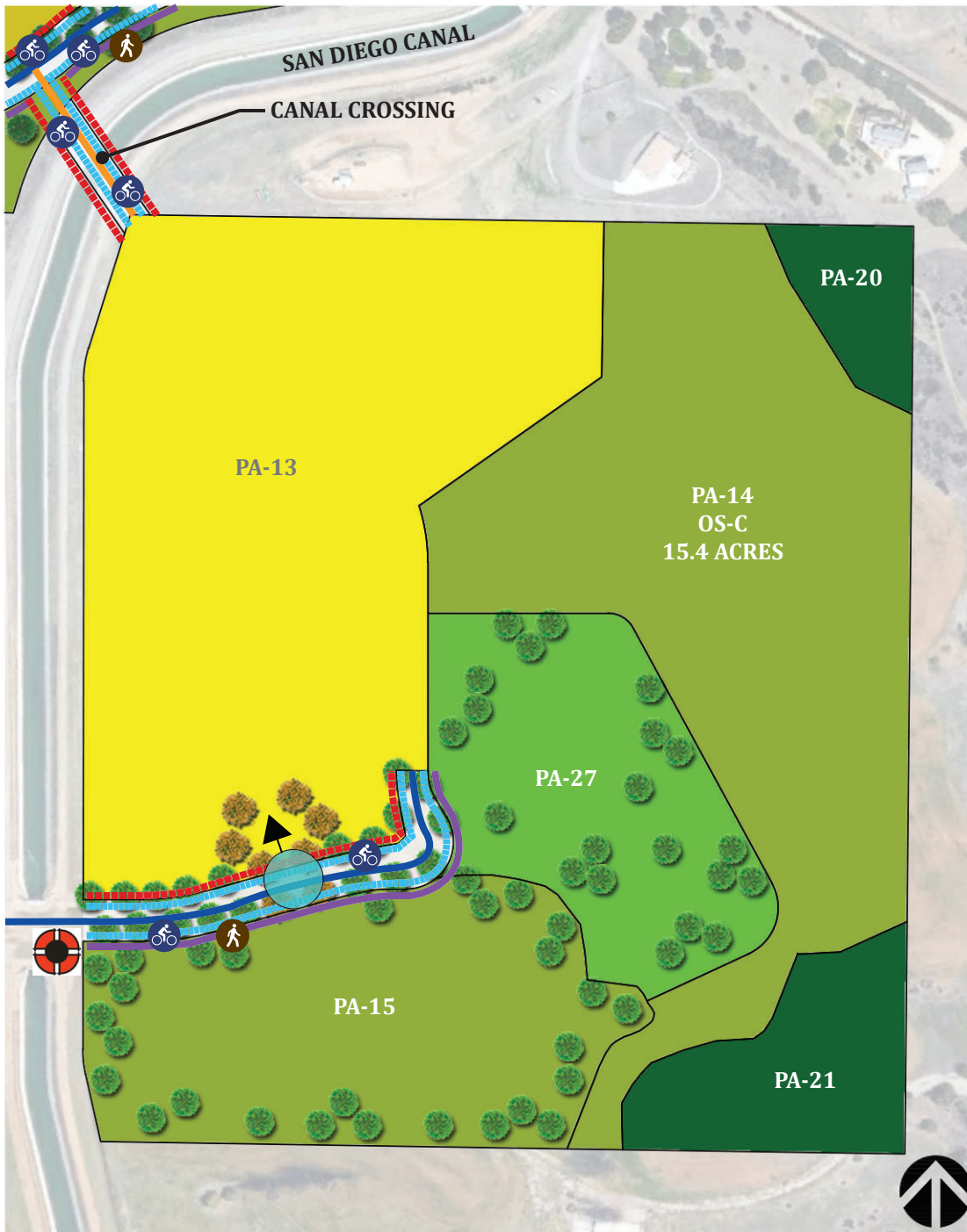


***Deed Transfer***

- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.



**BELLE  
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# BELLE TERRE

## LEGEND








-  OPEN SPACE- CONSERVATION-(OS-C)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  LOCAL
-  COLLECTOR
-  PRIMARY ENTRY

Figure 5.14-1 Planning Area 14

## 5.15 Planning Area 15

### Open Space-Conservation

#### 5.15.1 Description

Planning Area 15 is located in the southern portion of Belle Terre and is depicted in **Figure 5.15-1, Planning Area 15**, below. This Planning Area is planned for development of water quality systems on approximately 8.9 acres and as it is located along the southern perimeter of the community, will serve as a buffer from the off-site land uses, including existing rural homes and agriculture uses to the east of the site.

#### 5.15.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.15.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.15-1** consisting primarily of water quality systems/open space.

##### *Vehicular Access*

- ✿ Belle Terre Drive will provide access to this Planning Area. However, vehicular access to this Planning Area will be limited to emergency vehicles, utility vehicles, and service personnel, as required.

##### *Roadway Classification/Streetscape*

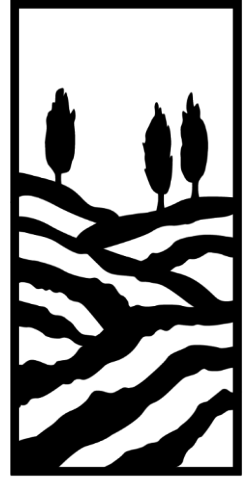
- ✿ Belle Terre Drive shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ No internal roadways are planned for this Planning Area
- ✿ Maintenance roads shall be developed in accordance with Riverside County Water Conservation and Flood Control District standards.

##### *Bike Lanes, Sidewalks, and Trails*

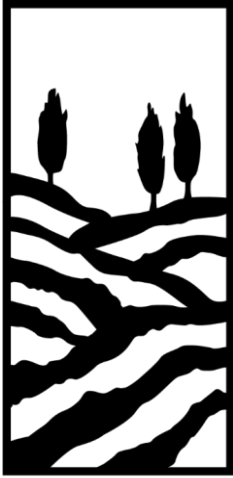
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot wide DG trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Entry Monumentation*

- ✿ Primary entry monuments shall be provided and developed at key access points in accordance with **Figure 5.15-1** and **Figure 6.0-2, Primary Entry Monumentation**.



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***Design Guidelines***

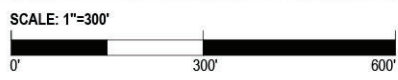
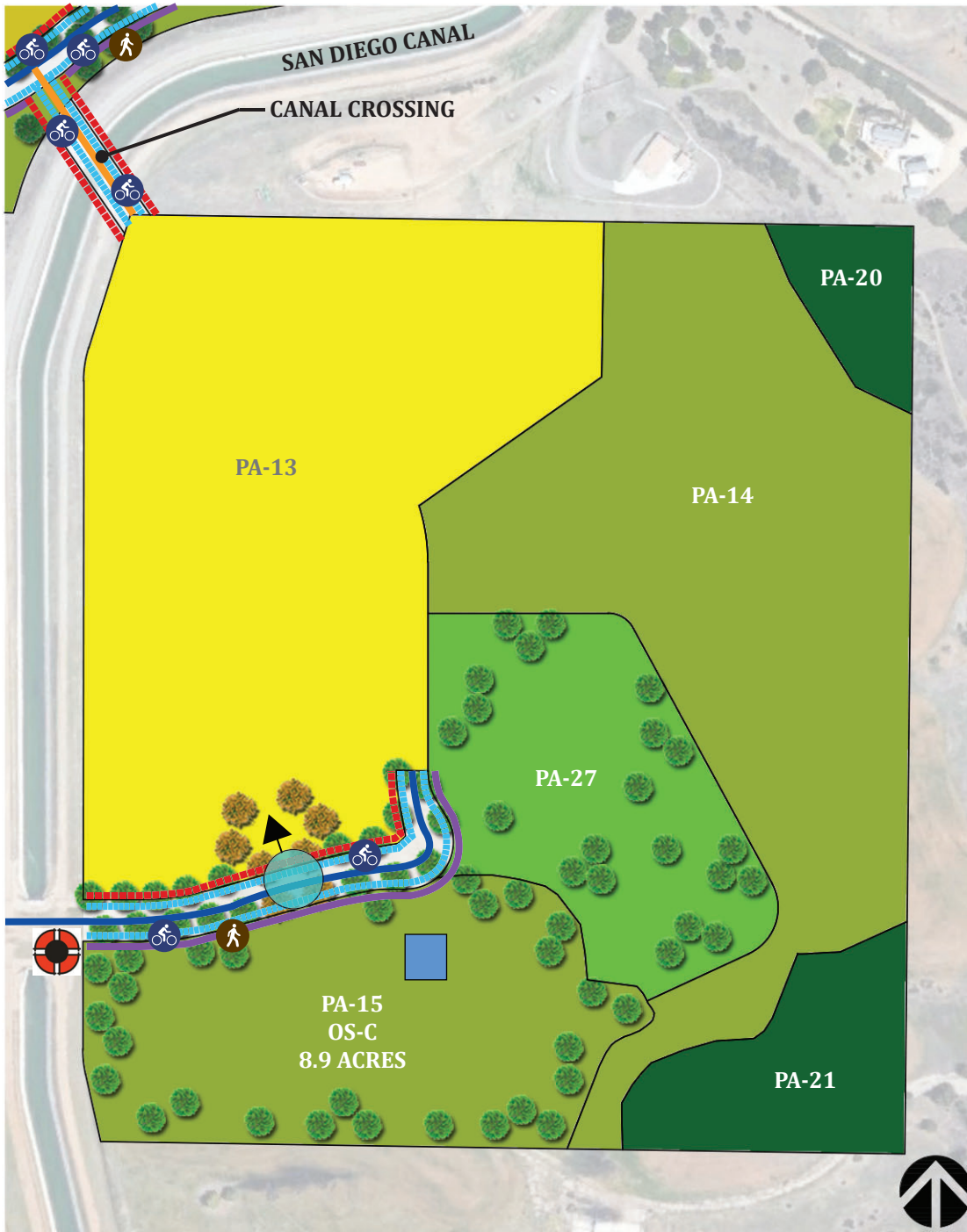
- ✿ Landscape shall be provided in accordance with Section 4.4 – Drainage Plan, Section 4.10.3 – Green Infrastructure, and Section 6.0 – Landscape Plan.

***Land Use Transitions***

- ✿ No land use transitions are planned for this Planning Area.

***Deed Transfer***

- ✿ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owner/developer.

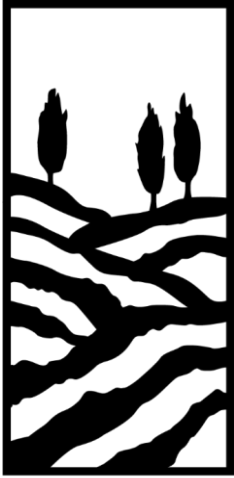


# BELLE TERRE

## LEGEND

-  OPEN SPACE- CONSERVATION-(OS-C)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  LOCAL COLLECTOR
-  COLLECTOR
-  PRIMARY ENTRY
-  RETENTION BASIN

Figure 5.15-1 Planning Area 15



**BELLE  
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## **5.16 Planning Area 16**

### **Open Space-Conservation**

#### **5.16.1 Description**

Planning Area 16 is located in the southeastern portion of Belle Terre and depicted in **Figure 5.16-1, Planning Area 16**, below. This Planning Area is approximately 4.0 acres and is intended to provide an area for the preservation of non-MSHCP natural habitat that will ultimately remain undeveloped. Nevertheless, this Planning Area may support some passive recreational elements such as nature trails.

#### **5.16.2 Permitted Land Use and Development Standards**

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.16.3 Planning Standards**

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.16-1** consisting primarily of open space for conservation and some passive recreational uses.

##### *Vehicular Access*

- ✿ Autumn Glen Circle provides primary access to this Planning Area. However, no vehicular access is planned since it is the intent of this Planning Area to remain undeveloped.

##### *Roadway Classifications/Streetscapes*

- ✿ A segment of Autumn Glen Circle shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ A segment of Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ The Canal crossing or Rebecca Street shall be developed in accordance with **Figure 4.2-6, Local Streetscape** and in accordance with Metropolitan Water District requirements.
- ✿ No internal roadways are planned within this Planning Area.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot wide DG trail for pedestrians in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.





- ❖ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot wide DG trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape.**
- ❖ Natural recreational trails may develop but no bike lanes, sidewalks or trails are planned within this Planning Area.

***Entry Monumentation***

- ❖ Secondary entry monument shall be provided and developed in accordance with **Figure 5.16-1** and **Figure 6.0-3, Secondary Entry Monumentation.**

***Design Guidelines***

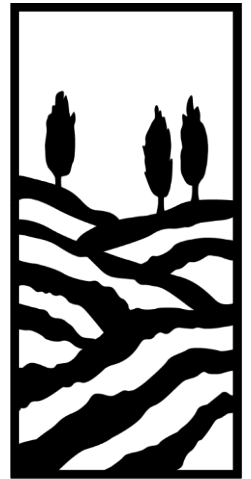
- ❖ This area will remain undeveloped habitat with the exception of some nature trails.

***Land Use Transitions***

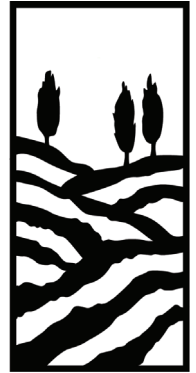
- ❖ No land use transitions are planned for this Planning Area.

***Deed Transfer***

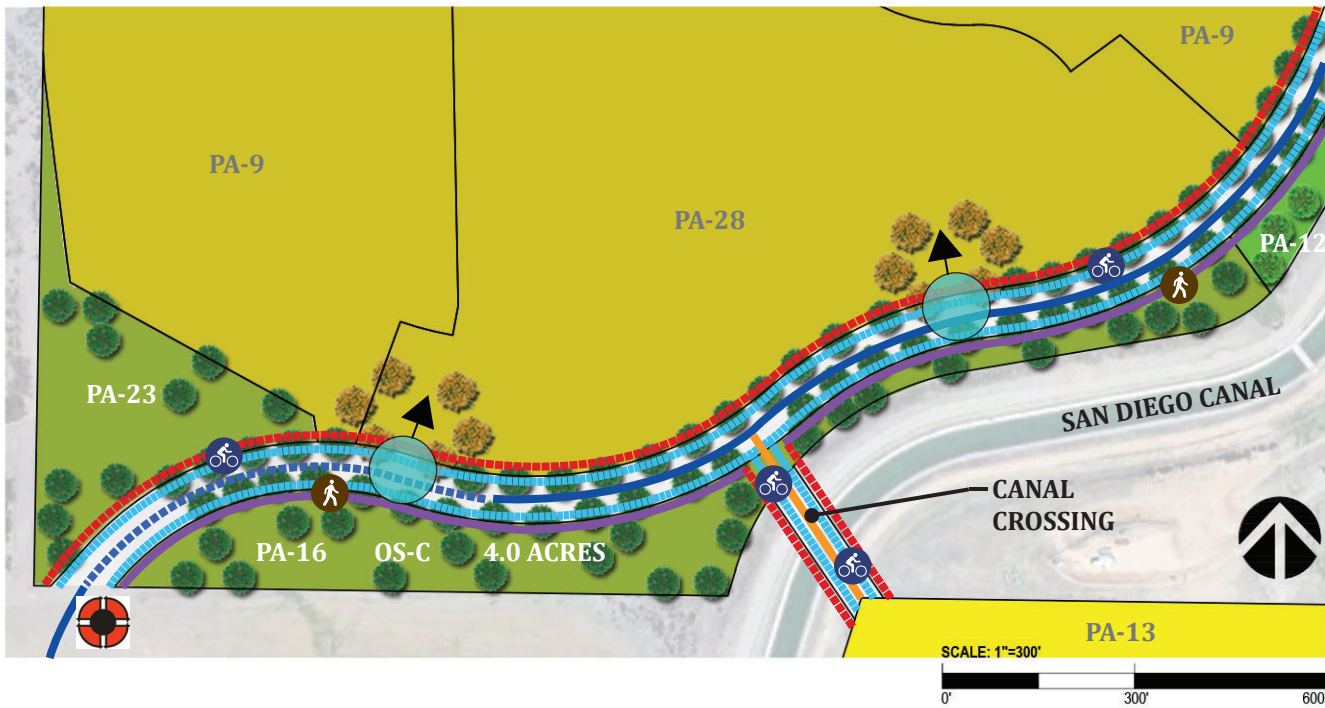
- ❖ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.



**BELLE  
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**LEGEND**

-  OPEN SPACE-  
CONSERVATION-(OS-C)
-  NEIGHBORHOOD  
ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED  
GRANITE TRAIL
-  LOCAL
-  COLLECTOR
-  MODIFIED COLLECTOR
-  PRIMARY ENTRY

**Figure 5.16-1 Planning Area 16**





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TERRE**

## **5.17 Planning Area 17**

### **Open Space-Conservation Habitat**

#### **5.17.1 Description**

Planning Area 17 is located in the northeastern most portion of Belle Terre and is depicted in **Figure 5.17-1, Planning Area 17**, below. This Planning Area is comprised of approximately 67.7 acres and is intended to provide an area for the preservation of natural habitat that will be conserved and managed in accordance with adopted Multi Species Habitat and other Conservation Plans and in accordance with related County polices.

#### **5.17.2 Permitted Land Use and Development Standards**

Permitted land uses and development standards in Planning Area 17 are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.17.3 Planning Standards**

##### ***Land Use***

- ✿ Site planning for this Planning Area shall be developed per **Figure 5.17-1** and is planned to remain undeveloped and used for conservation habitat purposes.

##### ***Vehicular Access***

- ✿ Fields Drive will provide access to this Planning Area. However, access will be limited as no motor vehicles shall have access to this Planning Area, except for emergency vehicles, utility service vehicles and personnel, as required.

##### ***Roadway Classifications/Streetscape s***

- ✿ A segment of Fields Drive from Autumn Circle to the Canal shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.
- ✿ No roadways are planned within this Planning Area.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✿ No bike lanes, sidewalks or trails will be constructed within this Planning Area.

##### ***Entry Monumentation***

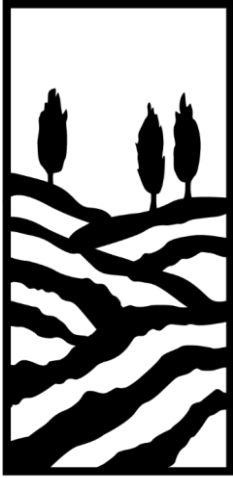
- ✿ No entry monumentation is planned for this Planning Area.

##### ***Design Guidelines***

- ✿ No landscaping will occur as this Planning Area is to remain undeveloped and natural.

##### ***Land Use Transitions***

- ✿ No land use transitions are planned.



**BELLE  
TERRE**

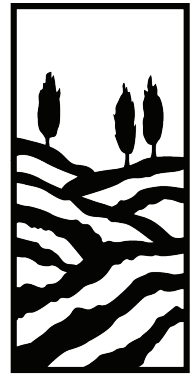
*Deed Transfer*

- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.

SAN DIEGO CANAL

PA-17  
OS-CH  
67.7 ACRES

PA-24



**BELLE  
TERRE**

**LEGEND**

 OPEN SPACE-  
CONSERVATION  
HABITAT (OS-CH)

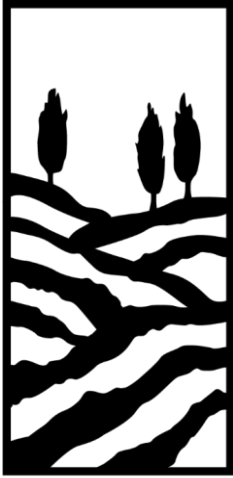
SCALE: 1"=350'

0' 350' 700'



**Figure 5.17-1 Planning Area 17**





**BELLE  
TERRE**

## **5.18 Planning Area 18**

### **Open Space-Conservation Habitat**

#### **5.18.1 Description**

Planning Area 18 is located in the central portion of Belle Terre, west of South Street and depicted in **Figure 5.18-1, Planning Area 18**, below. This Planning Area is comprised of approximately 32.5 acres and is intended to provide an area for the preservation of natural habitat that will be conserved and managed in accordance with adopted Multi Species Habitat and other Conservation Plans and in accordance with related County polices.

#### **5.18.2 Land Use and Development Standards**

Permitted land uses and standards in Planning Area 18 are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.18.3 Planning Standards**

##### ***Land Use***

- ✿ This Planning Area shall be developed in accordance with **Figure 5.18-1** and is planned to remain undeveloped and used for conservation habitat purposes.

##### ***Vehicular Access***

- ✿ Vehicular access to this Planning Area will be limited. No motor vehicles shall have access to this Planning Area, except for emergency vehicles, utility service vehicles and personnel, as required.

##### ***Roadway Classifications/Streetscapes***

- ✿ No roads are planned within this Planning Area.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✿ No bike lanes, sidewalks, or trails will be constructed within this Planning Area.

##### ***Entry Monumentation***

- ✿ No entry monumentation is planned in this Planning Area.

##### ***Design Guidelines***

- ✿ No landscaping will occur as this Planning Area is to remain undeveloped and natural.

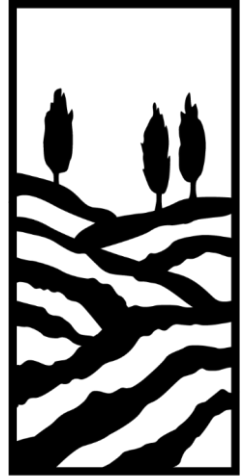
##### ***Land Use Transitions***

- ✿ No land use transitions are planned.

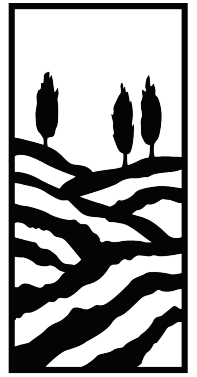


*Deed Transfer*

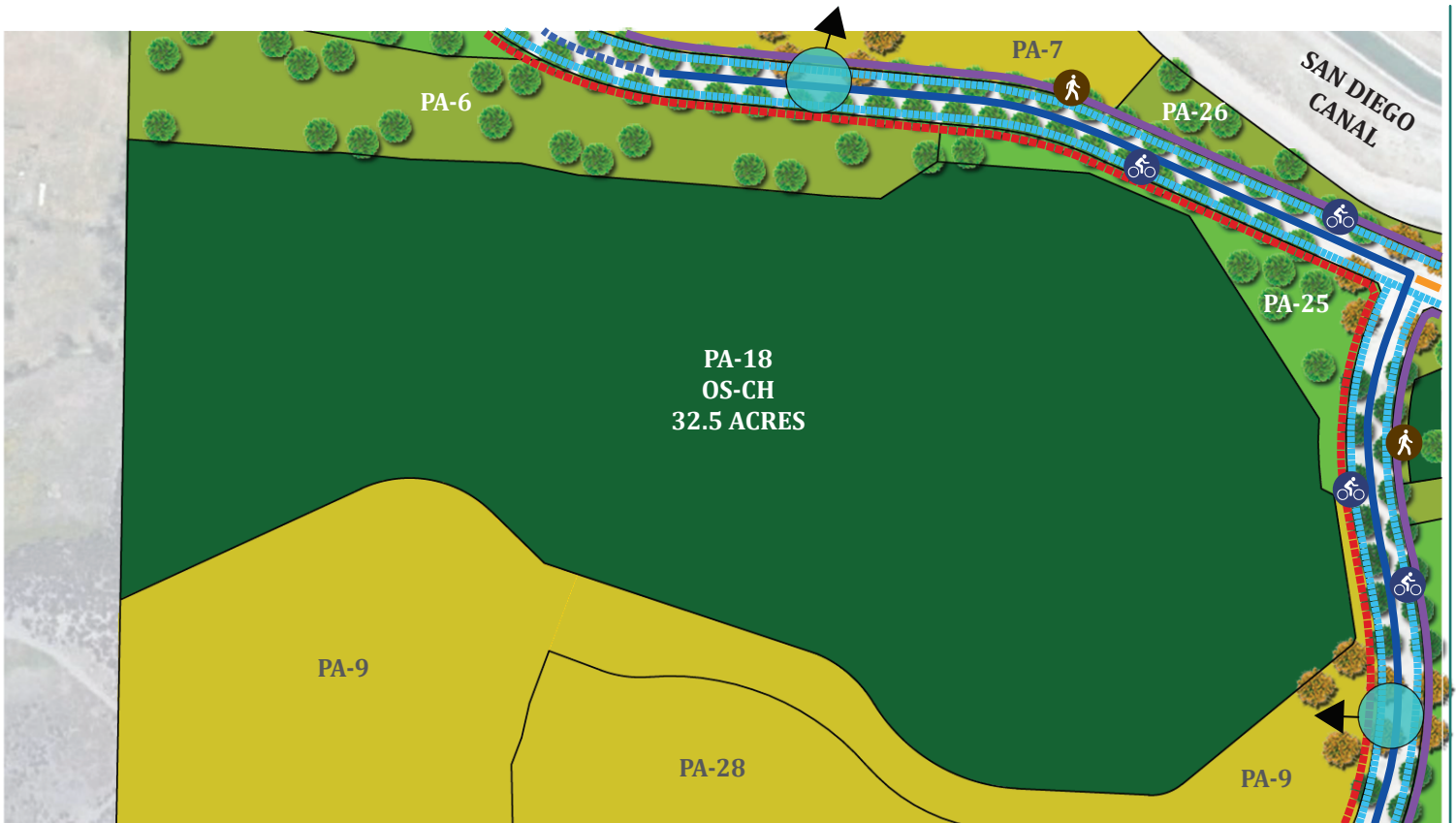
- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.











**BELLE  
TERRE**



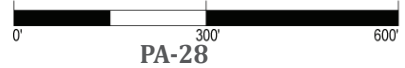
**BELLE  
TERRE**



**LEGEND**

-  OPEN SPACE-  
CONSERVATION  
HABITAT (OS-CH)
-  NEIGHBORHOOD  
ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED  
GRANITE TRAIL
-  COLLECTOR
-  LOCAL
-  MODIFIED COLLECTOR

SCALE: 1"=300'



**Figure 5.18-1 Planning Area 18**





## 5.19 Planning Area 19

### Open Space-Conservation Habitat

#### 5.19.1 Description

Planning Area 19 is located in the center portion of Belle Terre, east of South Street and depicted in **Figure 5.19-1, Planning Area 19**, below. This Planning Area is comprised of approximately 2.2 acres and is intended to provide an area for the preservation of natural habitat that will be conserved and managed in accordance with adopted Multi Species Habitat and other Conservation Plans and in accordance with related County polices.

#### 5.19.2 Land Use and Development Standards

Permitted land uses and standards in Planning Area 19 are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.19.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.19-1** and is planned to remain undeveloped and used for conservation habitat purposes.

##### *Vehicular Access*

- ✿ Vehicular access to this Planning Area will be limited. No motor vehicles shall have access to this Planning Area, except for emergency vehicles, utility service vehicles and personnel, as required.

##### *Roadway Classifications/Streetscapes*

- ✿ No roadways are planned within this Planning Area.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ No bike lanes, sidewalks, or trails will be constructed within this Planning Area.

##### *Entry Monumentation*

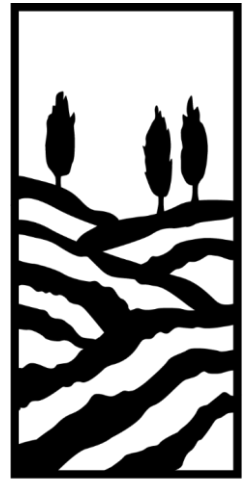
- ✿ No entry monumentation is planned for this Planning Area.

##### *Design Guidelines*

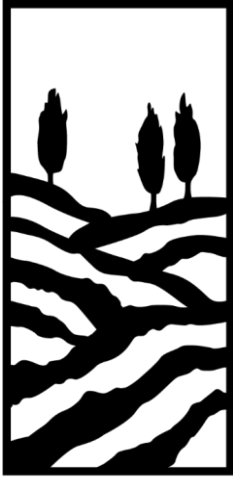
- ✿ No landscaping will occur as this Planning Area is to remain undeveloped and natural.

##### *Land Use Transitions*

- ✿ No land use transitions are planned.



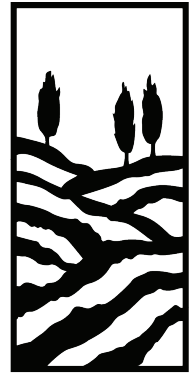
**BELLE  
TERRE**



**BELLE  
TERRE**

*Deed Transfer*

- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.



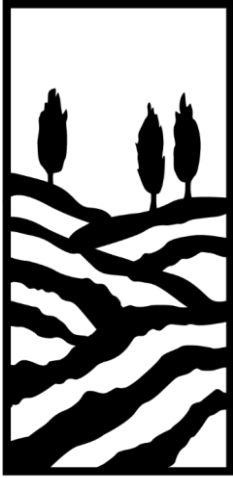
# BELLE TERRE

## LEGEND

- OPEN SPACE-RECREATION (OS-R)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- LOCAL

Figure 5.19-1 Planning Area 19





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## **5.20 Planning Area 20**

### **Open Space-Conservation Habitat**

#### **5.20.1 Description**

Planning Area 20 is located in the southern portion of Belle Terre and depicted in **Figure 5.20-1, Planning Area 20**, below. This Planning Area is comprised of approximately 1.3 acres and is intended to provide an area for the preservation of natural habitat that will be conserved and managed in accordance with adopted Multi Species Habitat and other Conservation Plans and in accordance with related County polices.

#### **5.20.2 Land Use and Development Standards**

Permitted land uses and standards in Planning Area 20 are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.20.3 Planning Standards**

##### ***Land Use***

- ✿ This Planning Area shall be developed in accordance with **Figure 5.20-1** and is planned to remain undeveloped and used for conservation habitat purposes.

##### ***Vehicular Access***

- ✿ Vehicular access to this Planning Area will be limited. No motor vehicles shall have access to this Planning Area, except for emergency vehicles, utility service vehicles and personnel, as required.

##### ***Roadway Classifications/Streetscapes***

- ✿ No roads are planned within this Planning Area.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✿ No bike lanes, sidewalks, or trails will be constructed within this Planning Area.

##### ***Entry Monumentation***

- ✿ No entry monumentation is planned for this Planning Area.

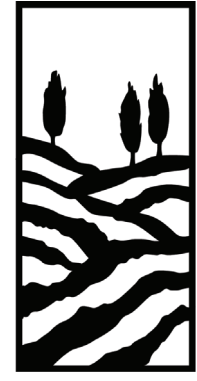
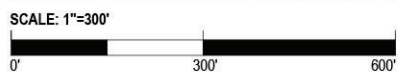
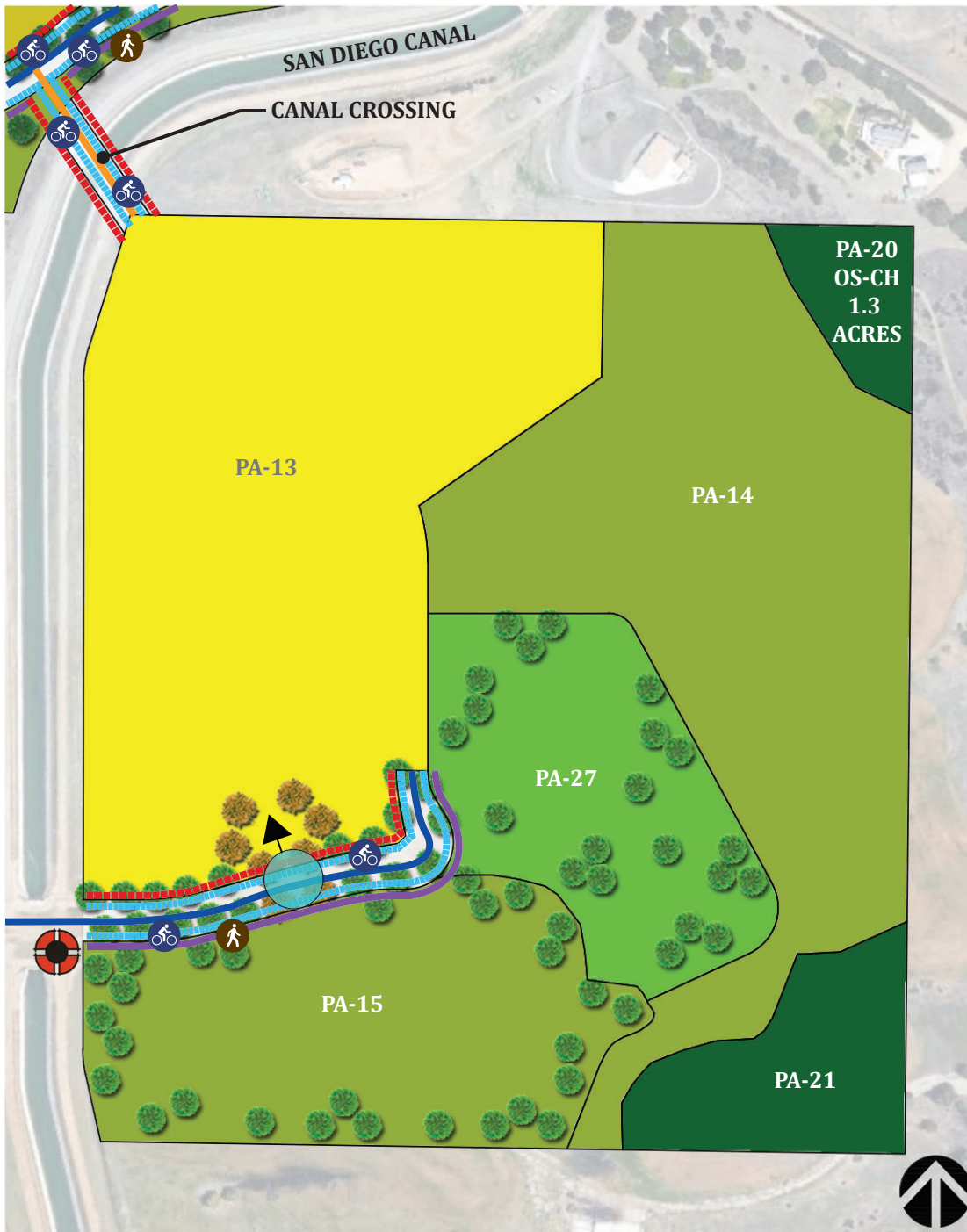
##### ***Design Guidelines***

- ✿ No landscaping will occur as this Planning Area is to remain undeveloped and natural.

##### ***Deed Transfer***

- ✿ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.



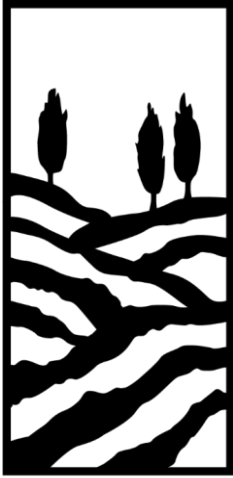


# BELLE TERRE

## LEGEND

- OPEN SPACE- CONSERVATION HABITAT (OS-CH)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- LOCAL
- COLLECTOR
- PRIMARY ENTRY

Figure 5.20-1 Planning Area 20



**BELLE  
TERRE**

## **5.21 Planning Area 21**

### **Open Space-Conservation Habitat**

#### **5.21.1 Description**

Planning Area 21 is located in the southern portion of Belle Terre and is depicted in **Figure 5.21-1, Planning Area 21**, below. This Planning Area is comprised of approximately 3.2 acres and is intended to provide an area for the preservation of natural habitat that will be conserved and managed in accordance with adopted Multi Species Habitat and other Conservation Plans and in accordance with related County polices.

#### **5.21.2 Land Use and Development Standards**

Permitted land uses and standards in Planning Area 21 are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.21.3 Planning Standards**

##### ***Land Use***

- ✿ This Planning Area shall be developed in accordance with **Figure 5.21-1** and is planned to remain undeveloped and used for conservation purposes.

##### ***Vehicular Access***

- ✿ Vehicular access to this Planning Area will be limited. No motor vehicles shall have access to this Planning Area, except for emergency vehicles, utility service vehicles and personnel, as required.

##### ***Roadway Classifications/Streetscapes***

- ✿ No roads are planned within this Planning Area.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✿ No bike lanes, sidewalks, or trails will be constructed within this Planning Area.

##### ***Entry Monumentation***

- ✿ No entry monumentation is planned for this Planning Area.

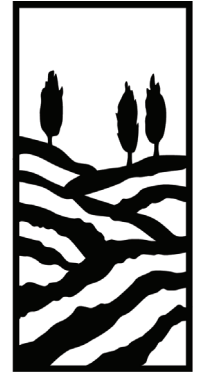
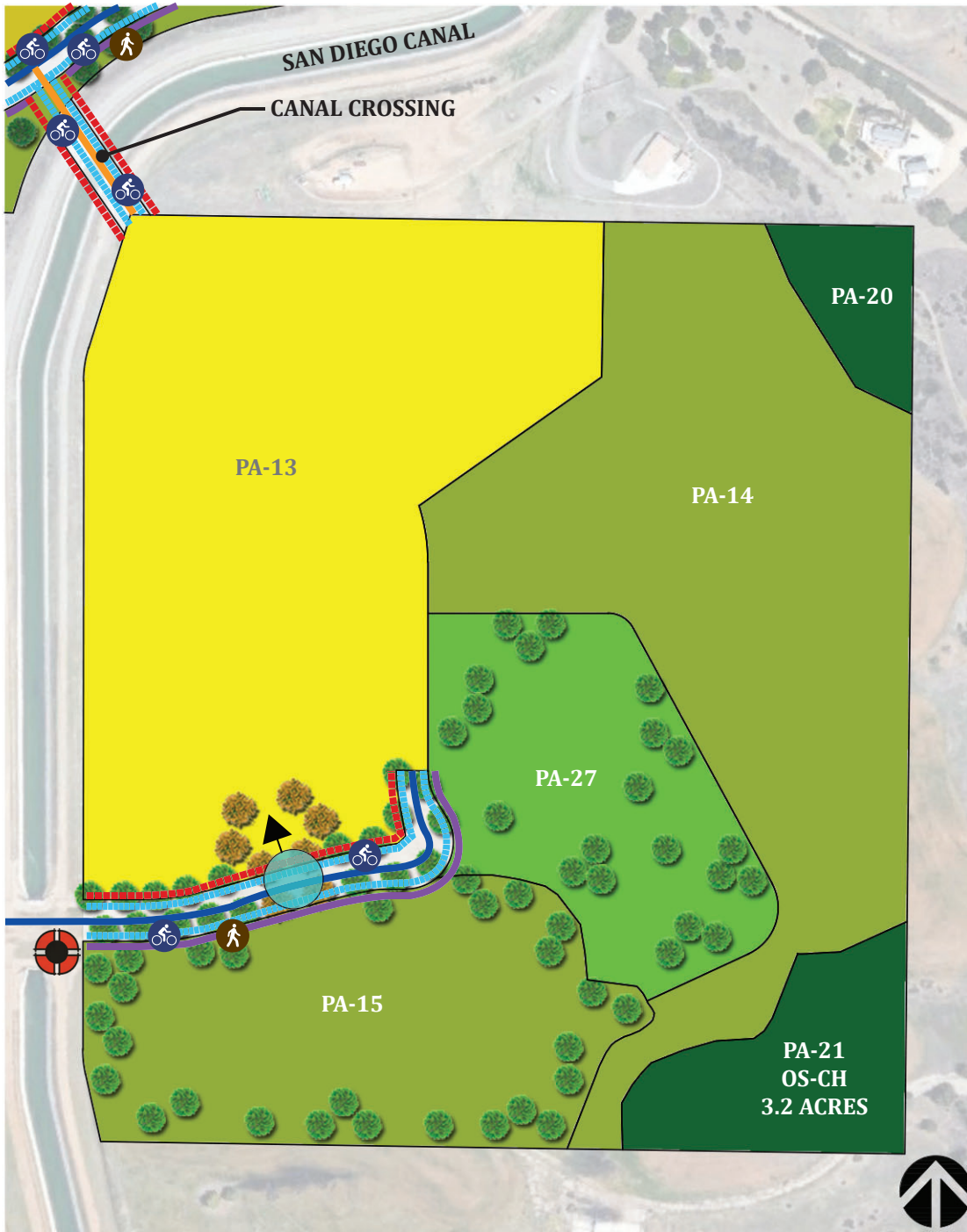
##### ***Design Guidelines***

- ✿ No landscaping will not occur as this Planning Area is to remain undeveloped and natural.

##### ***Deed Transfer***

- ✿ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.





# BELLE TERRE

## LEGEND

- OPEN SPACE-CONSERVATION HABITAT (OS-CH)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- LOCAL
- COLLECTOR
- PRIMARY ENTRY

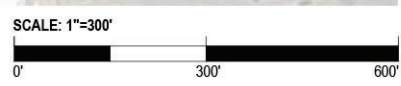
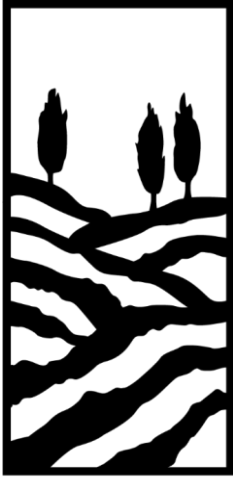


Figure 5.21-1 Planning Area 21





**BELLE  
TERRE**

## 5.22 Planning Area 22

### Open Space-Conservation

#### 5.22.1 Description

Planning Area 22 is located in the central portion of Belle Terre, east of South Street and is depicted in **Figure 5.22-1, Planning Area 22**, below. This Planning Area provides for approximately 0.4 acres of Open Space-Conservation land uses.

#### 5.22.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.22.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.22-1** consisting primarily of open space.

##### *Vehicular Access*

- ✿ Autumn Glen Circle and Fields Drive will provide primary access.

##### *Roadway Classifications/Streetscapes*

- ✿ Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Fields Drive shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane and 5 foot wide DG trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Local streets adjacent to this Planning Area shall be developed with a 6 foot wide unstriped bike lane and 5 foot DG trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Entry Monumentation*

- ✿ No entry monumentation is planned for this Planning Area.

##### *Design Guidelines*

- ✿ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.



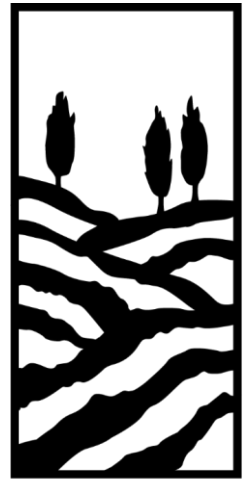


***Land Use Transitions***

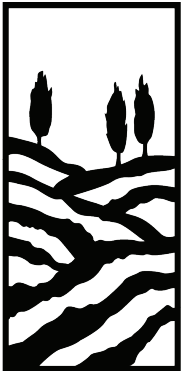
- ✦ This Planning Area shall provide a land use transition along the southern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.



**BELLE  
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# BELLE TERRE

## LEGEND

- OPEN SPACE-RECREATION (OS-R)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- LOCAL

Figure 5.22-1 Planning Area 22





## 5.23 Planning Area 23

### Open Space-Conservation

#### 5.23.1 Description

Planning Area 23 is located in the central portion of Belle Terre and depicted in **Figure 5.23-1, Planning Area 23**, below. This Planning Area is planned for development of water quality systems on approximately 2.5 acres.

#### 5.23.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.23.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.23-1** consisting primarily of water quality systems/open space.

##### *Vehicular Access*

- ✿ Autumn Glen Circle will provide access to this Planning Area. However, vehicular access to this Planning Area will be limited to emergency vehicles, utility vehicles, and service personnel, as required.

##### *Roadway Classification/Streetscape*

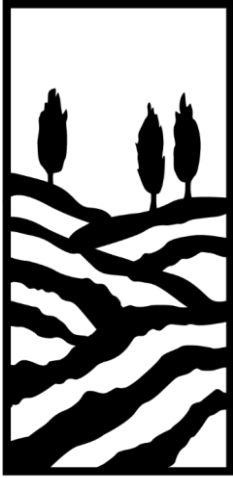
- ✿ Autumn Glen Circle shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ No internal roadways are planned for this Planning Area.
- ✿ Maintenance roads shall be developed in accordance with Riverside County Water Conservation and Flood Control District standards.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot sidewalk for pedestrians in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ No bike lanes, sidewalks, or trails are planned within this Planning Area.

##### *Entry Monumentation*

- ✿ Secondary entry monument shall be provided and developed in accordance with **Figure 5.23-1** and **Figure 6.0-3, Secondary Entry Monumentation**.



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***Design Guidelines***

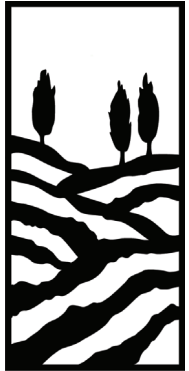
- ✿ Landscape shall be provided in accordance with Section 4.4 – Drainage Plan, Section 4.10.3 – Green Infrastructure, and Section 6.0 – Landscape Plan.

***Land Use Transitions***

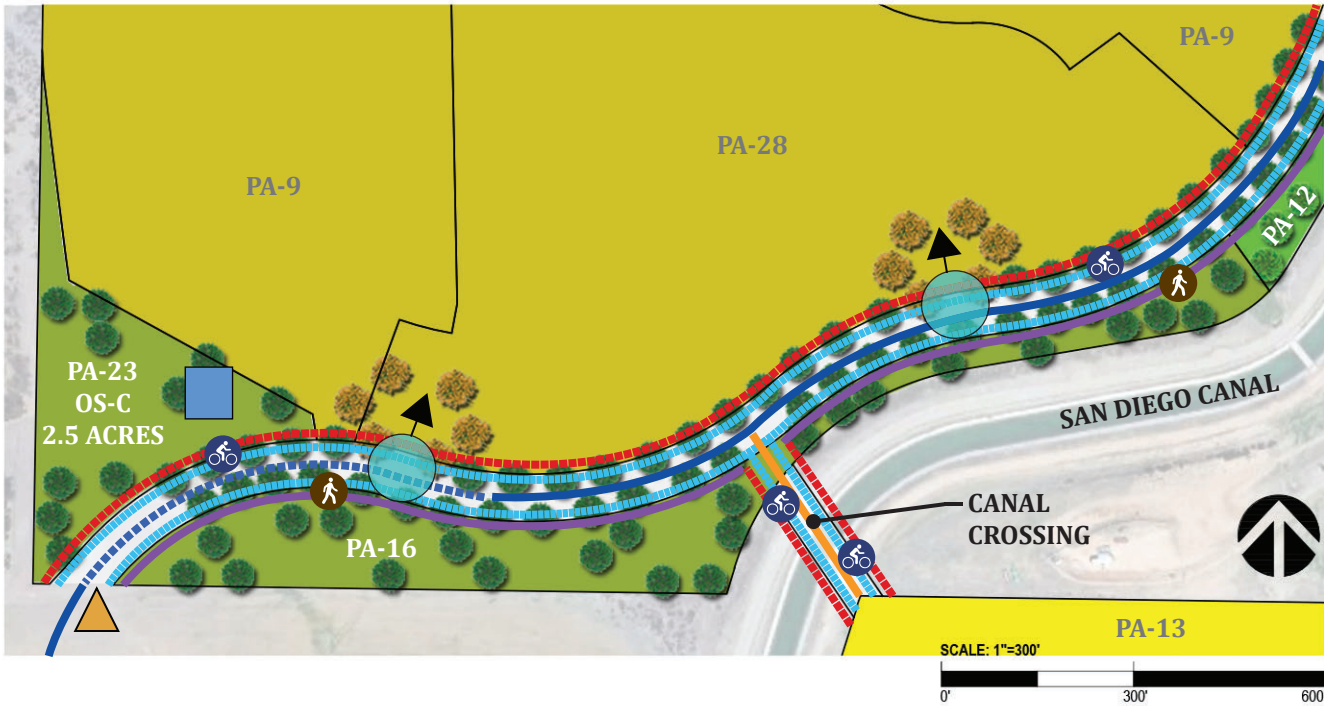
- ✿ No land use transitions are planned for this Planning Area.

***Deed Transfer***

- ✿ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owner/developer.



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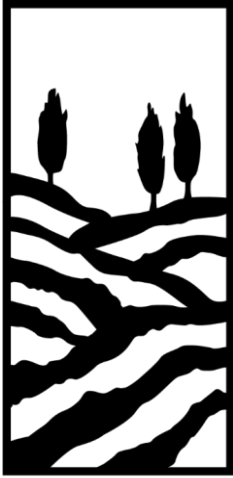


### LEGEND

-  OPEN SPACE-  
CONSERVATION-(OS-C)
-  NEIGHBORHOOD  
ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED  
GRANITE TRAIL
-  LOCAL
-  COLLECTOR
-  MODIFIED COLLECTOR
-  SECONDARY ENTRY
-  RETENTION BASIN

**Figure 5.23-1 Planning Area 23**





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TERRE**

## 5.24 Planning Area 24

### Open Space-Conservation

#### 5.24.1 Description

Planning Area 24 is located in the north easternmost portion of Belle Terre and depicted in **Figure 5.24-1, Planning Area 24**. This Planning Area is approximately 4.7 acres and is intended to provide an area for the preservation of non-MSHCP natural habitat that will ultimately remain undeveloped. Nevertheless, this Planning Area may support some passive recreational elements such as nature trails and minimal infrastructure (e.g. a water tank and access roads).

#### 5.24.2 Land Use and Development Standards

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.24.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.24-1** consisting primarily of open space for conservation and some passive recreational uses.

##### *Vehicular Access*

- ✿ Fields Drive will provide access to this this Planning Area. However, access will be limited as no motor vehicles shall have access to this Planning Area except emergency vehicles, utility vehicles, and service personnel, as required.

##### *Roadway Classifications/Streetscapes*

- ✿ A segment of Fields Drive from Autumn Circle to the Canal shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.
- ✿ No roadways are planned for this Planning Area.
- ✿ Maintenance roads shall be developed in accordance with MWD standards.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ No bike lanes, sidewalks, or trails are planned within this Planning Area.

##### *Entry Monumentation*

- ✿ No entry monumentation is planned for this Planning Area.

##### *Design Guidelines*

- ✿ This area will remain undeveloped habitat with the exception of some nature trails

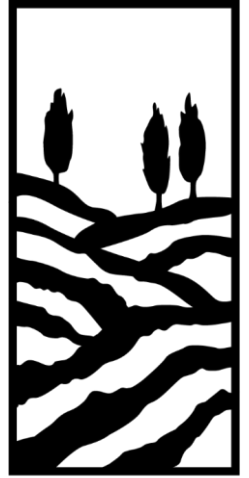


***Land Use Transitions***

- ✦ This Planning Area shall provide a land use transition along the northern, western, and eastern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

***Deed Transfer***

- ✦ A deed transfer of the parcel(s) planned for open space within this Planning Area shall be conveyed to a Master Maintenance Authority or other entity, as agreed to by the property owners/developers.

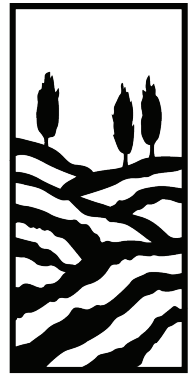


**BELLE  
TERRE**

SAN DIEGO CANAL

PA-17

PA-24  
OS-C  
4.7 ACRES



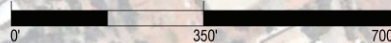
**BELLE  
TERRE**

**LEGEND**

 OPEN SPACE-  
CONSERVATION  
HABITAT (OS-CH)

**Figure 5.24-1 Planning Area 24**

SCALE: 1"=350'





## 5.25 Planning Area 25

### Open Space-Recreation

#### 5.25.1 Description

Planning Area 22 is located in the central portion of Belle Terre, south of Fields Drive and is depicted in **Figure 5.25-1, Planning Area 25**, below. This Planning Area provides for approximately 1.6 acres of Open Space-Recreation land uses. Elements for this Planning Area may develop as community gardens, active and passive recreation, as well as support facilities including a parking lot, a restroom, drinking fountains, security lighting, and fencing.

#### 5.25.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.25.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.25-1** consisting of active and passive recreational uses.

##### *Vehicular Access*

- ✿ Fields Drive and Autumn Glen Circle will provide primary access.

##### *Roadway Classifications/Streetscapes*

- ✿ Fields Drive and Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

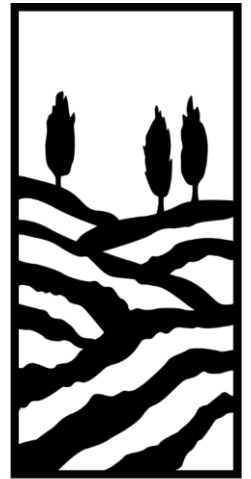
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot sidewalk for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Entry Monumentation*

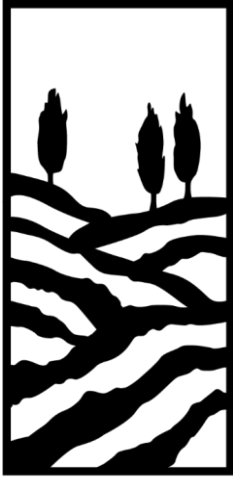
- ✿ Secondary entry monuments shall be provided and developed at key access points in accordance with **Figure 5.25-1** and **Figure 6.0-3, Secondary Entry Monumentation**.

##### *Design Guidelines*

- ✿ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.



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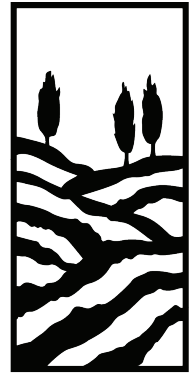
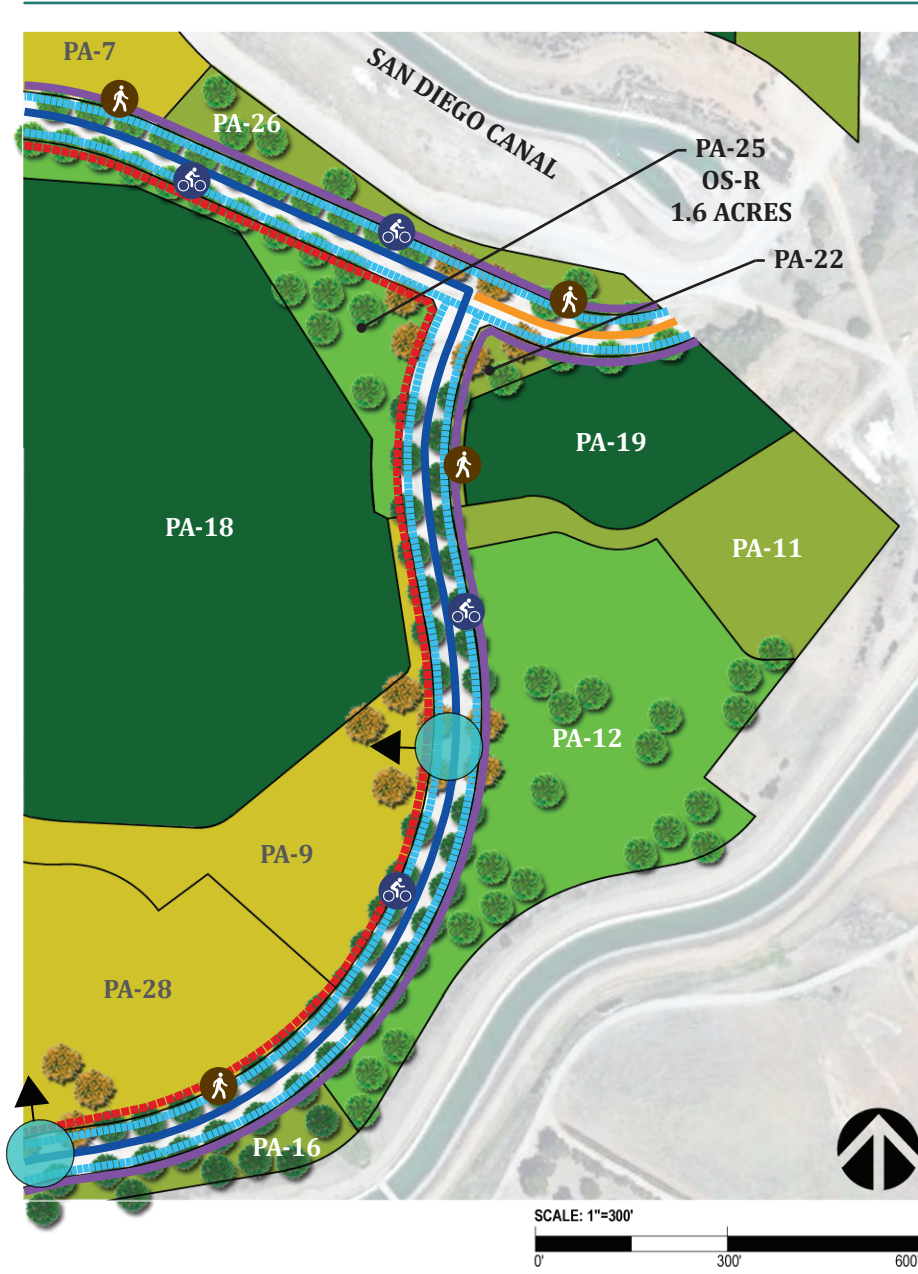
**BELLE  
TERRE**

***Land Use Transitions***

- ✦ This Planning Area shall provide a land use transition along the southern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.

***Deed Transfer***

- ✦ No deed transfer is planned for this Planning Area.



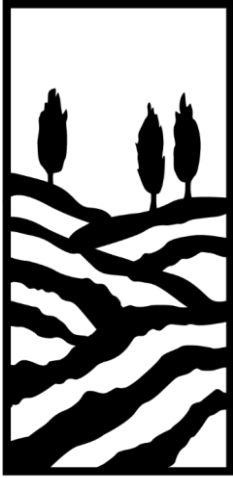
# BELLE TERRE

## LEGEND

- OPEN SPACE-RECREATION (OS-R)
- NEIGHBORHOOD ENTRY
- CLASS II BIKE LANE
- SIDEWALK
- DECOMPOSED GRANITE TRAIL
- COLLECTOR
- LOCAL

Figure 5.25-1 Planning Area 25





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TERRE**

## 5.26 Planning Area 26

### Open Space-Conservation

#### 5.26.1 Description

Planning Area 22 is located in the central portion of Belle Terre, south of Fields Drive and is depicted in **Figure 5.26-1, Planning Area 26**, below. This Planning Area is approximately 1.2 acres and is intended to provide an area for the preservation of non-MSHCP natural habitat that will ultimately remain undeveloped. Nevertheless, this Planning Area may support some passive recreational elements such as nature trails.

#### 5.26.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.26.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.26-1** consisting primarily of open space for conservation and some passive recreational uses.

##### *Vehicular Access*

- ✿ Fields Drive will provide primary access.

##### *Roadway Classifications/Streetscapes*

- ✿ A segment of Fields Drive shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ A segment of Fields Drive shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot wide Class II bike lane for bike travel and a 5 foot wide sidewalk for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Local streets adjacent to this Planning Area shall be developed with a 6 foot wide unstriped bike lane for bike travel and a 5 foot wide sidewalk for pedestrians in accordance with **Figure 4.2-6, Local Streetscape**.

##### *Entry Monumentation*

- ✿ No entry monumentation is planned for this Planning Area. Design Guidelines
- ✿ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.

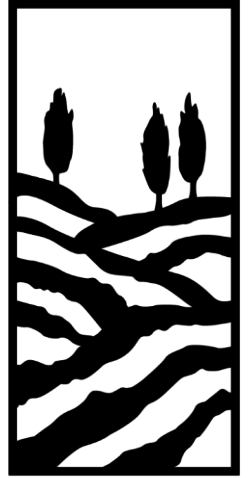


***Land Use Transitions***

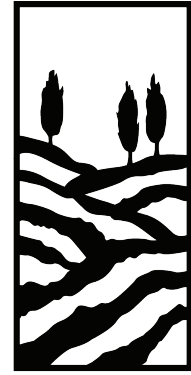
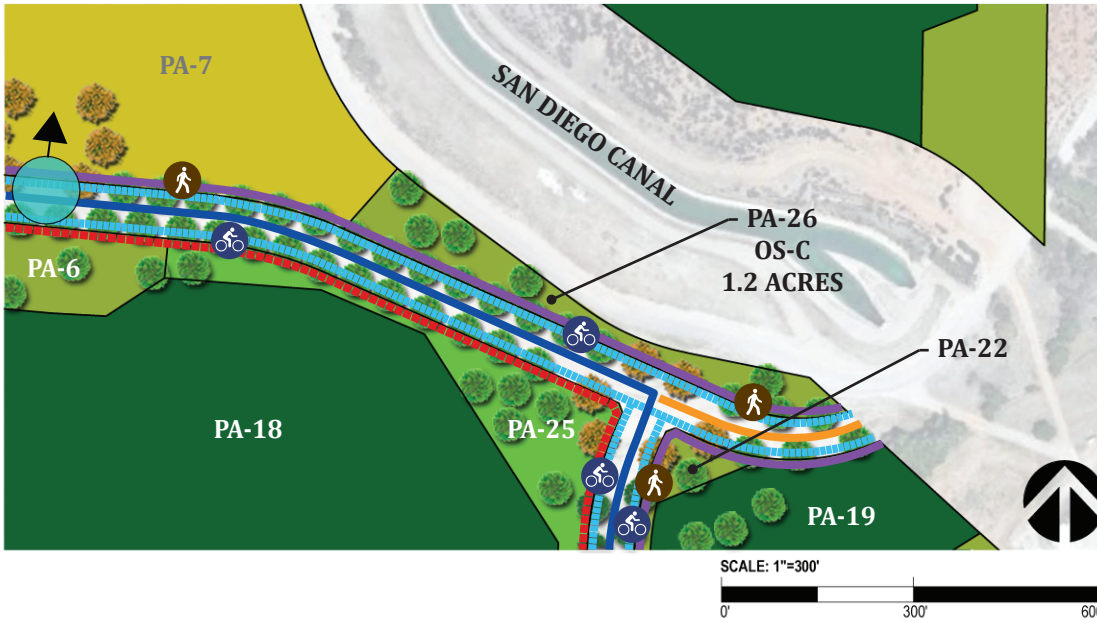
✿ No land use transitions are planned for this Planning Area.

***Deed Transfer***

✿ No deed transfer is planned for this Planning Area.



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# BELLE TERRE

## LEGEND

-  OPEN SPACE- CONSERVATION-(OS-C)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  COLLECTOR
-  LOCAL

Figure 5.26-1 Planning Area 26

## 5.27 Planning Area 27

### Open Space-Recreation

#### 5.27.1 Description

Planning Area 22 is located in the central portion of Belle Terre, south of Fields Drive and is depicted in **Figure 5.27-1, Planning Area 27**, below. This Planning Area provides for approximately 6.4 acres of Open Space-Recreation land uses. Active recreational elements for this Planning Area may include softball and soccer fields, half-court basketball, and tot lot play areas. Passive recreational elements may include walking paths, seating areas, open turf areas, and shaded picnic areas. Support facilities for the park and community clubhouse include a parking lot, a restroom, drinking fountains, security lighting, and fencing.

#### 5.27.2 Permitted Land Use and Development Standards

Permitted land uses and development standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### 5.27.3 Planning Standards

##### *Land Use*

- ✿ This Planning Area shall be developed in accordance with **Figure 5.27-1** consisting primarily of active recreational uses in accordance with Valley-Wide Recreation and Park District requirements for recreational amenities.

##### *Vehicular Access*

- ✿ Belle Terre Drive will provide primary access.

##### *Roadway Classifications/Streetscapes*

- ✿ Belle Terre Drive shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Bike Lanes, Sidewalks, and Trails*

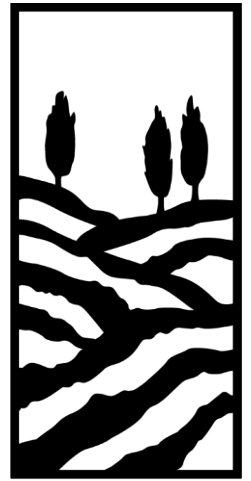
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane for bike travel and a 5 foot DG trail for pedestrians in accordance with **Figure 4.2-5, Collector Streetscape**.

##### *Entry Monumentation*

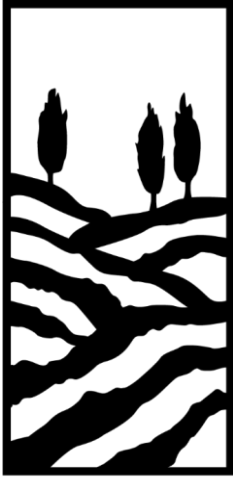
- ✿ No entry monumentation is planned for this Planning Area.

##### *Design Guidelines*

- ✿ This Planning Area shall be developed as described in Section 4.3 – Open Space and Recreation Plan and Section 6.0 – Landscape Design Guidelines.



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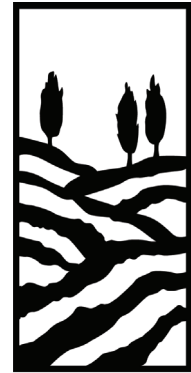
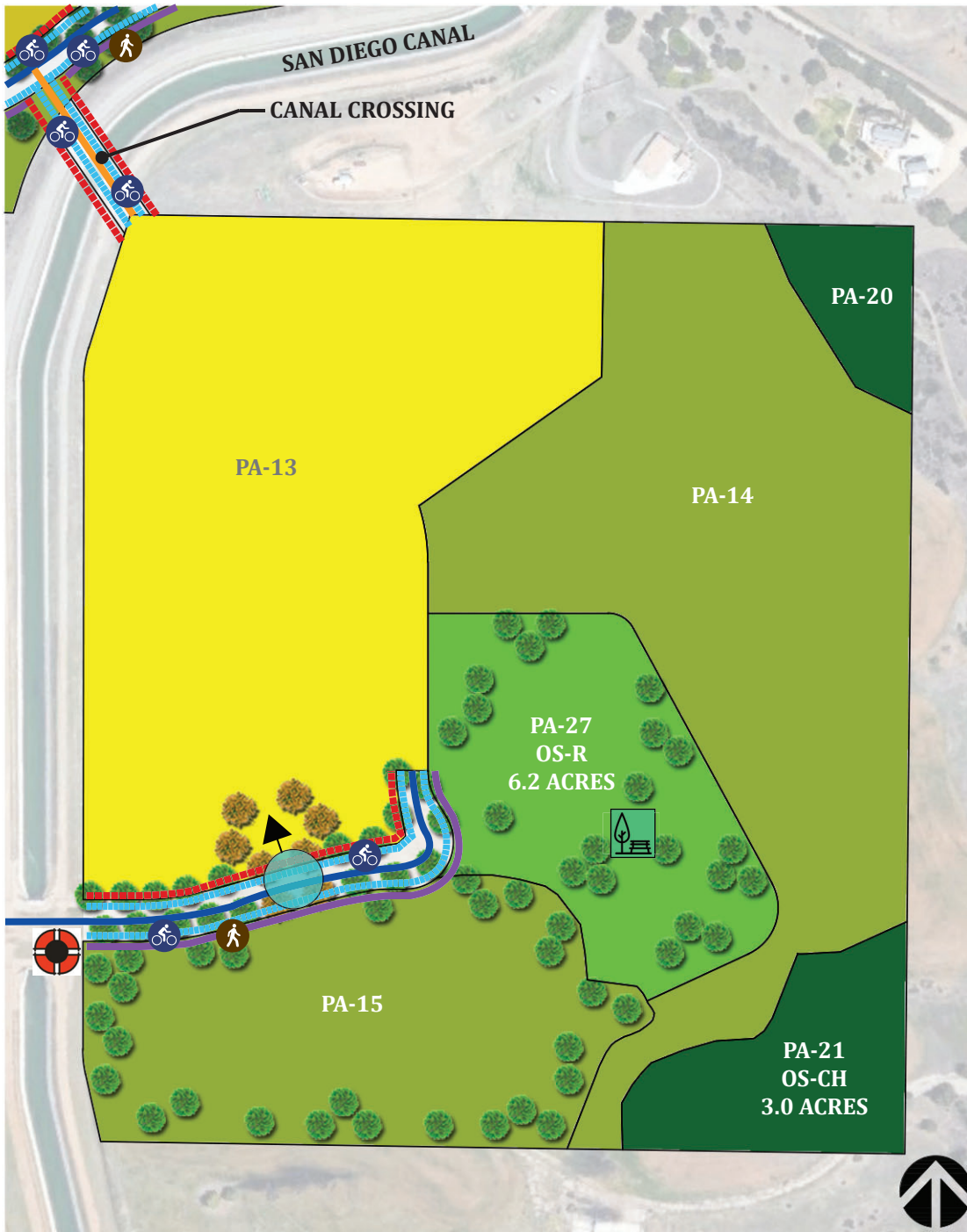
*Land Use Transitions*

- ✿ No land use transitions are planned for this Planning Area.

*Deed Transfer*

- ✿ No deed transfer is planned for this Planning Area.





# BELLE TERRE

## LEGEND

-  OPEN SPACE-RECREATION (OS-R)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  LOCAL
-  COLLECTOR
-  PRIMARY ENTRY
-  COMMUNITY PARK

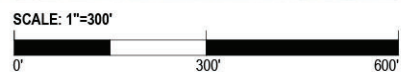
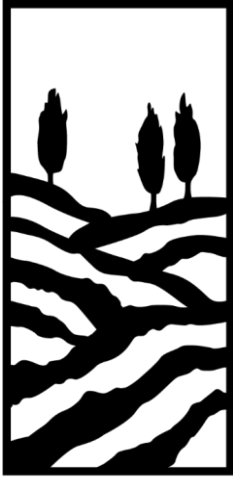


Figure 5.27-1 Planning Area 27



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## **5.28 Planning Area 28**

### **Medium High Density Residential**

#### **5.28.1 Description**

Planning Area 28 is located in the southeastern portion of Belle Terre and is depicted in **Figure 5.28-1, Planning Area 28**, below. This Planning Area is planned for development of 99 dwelling units on approximately 17.4 acres with a density range of 5.0 to 8.0 du/ac. This Planning Area has an average density of 5.7 du/ac. Single family detached homes with minimum lot sizes of 3,500 square feet will provide for varying products and clustered residential development for a range of potential home buyers.

#### **5.28.2 Land Use and Development Standards**

Permitted land uses and standards in this Planning Area are set forth in Section 2.0 – Specific Plan Zoning Ordinance (Ordinance No. 348.4918).

#### **5.28.3 Planning Standards**

##### ***Land Use***

- ✿ This Planning Area shall be developed in accordance with **Figure 5.28-1** consisting primarily of single family detached homes.

##### ***Vehicular Access***

- ✿ Autumn Glen Circle will provide primary access.
- ✿ Local streets will provide internal circulation and access to individual homes. Alignments of Local Streets shall be determined during the tract map and grading process.

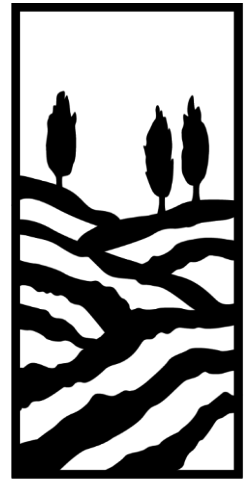
##### ***Roadway Classifications/Streetscapes***

- ✿ A segment of Autumn Glen Circle shall be developed in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ A segment of Autumn Glen Circle shall be developed in accordance with **Figure 4.2-5, Collector Streetscape**.
- ✿ Internal streets within this Planning Area shall be developed in accordance with **Figure 4.2-6, Local Streetscape**.

##### ***Bike Lanes, Sidewalks, and Trails***

- ✿ Modified Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane and a 5 foot wide sidewalk in accordance with **Figure 4.2-3, Modified Collector Streetscape 1**.
- ✿ Collector streets adjacent to this Planning Area shall be developed with a 6 foot Class II bike lane and a 5 foot wide sidewalk in accordance with **Figure 4.2-5, Collector Streetscape**.





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- ❖ Local streets within this Planning Area shall be developed to allow for development of a 6 foot wide unstriped bike lane and 5 foot wide sidewalk on each side of the street in accordance with **Figure 4.2-6, Local Streetscape**.
- ❖ Pedestrian access openings from internal streets and cul-de-sacs are encouraged to promote alternatives to automobile use for transportation within the community when compliance with applicable building and safety, fire, transportation, and other codes are attainable for such access openings.

#### ***Entry Monumentation***

- ❖ Neighborhood entry monuments shall be provided and developed at key access points in accordance with **Figure 5.9-1** and **Figure 6.4, Neighborhood Monumentation**.

#### ***Design Guidelines***

- ❖ This Planning Area is located in the Merlot Landscape District and shall be developed in accordance with in Section 6.0 – Landscape Design Guidelines.
- ❖ Section 7.0 – Architectural Design Guidelines provide general and specific guidelines for home architecture.

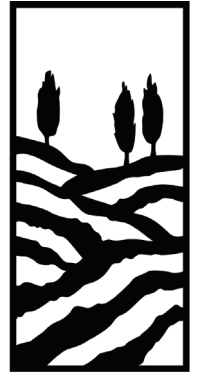
#### ***Land Use Transitions***

- ❖ This Planning Area shall provide a land use transition along the west side of the Planning Area and be developed in accordance with **Figure 6.0-8, Edge Condition: Residential to Open Space-Conservation**.
- ❖ This Planning Area shall provide a land use transition along the west side of the Planning Area and be developed in accordance with **Figure 6.0-13, Edge Condition: Residential to Off-Site Residential**.
- ❖ This Planning Area shall provide a land use transition along the northern and eastern boundary of the Planning Area and comply with all guidelines in Section 6.1.4 of the MSHCP including the installation of permanent fencing and ensuring that all lighting that is directed away from adjacent Open Space Conservation-Habitat area.
- ❖ This Planning Area shall provide a land use transition along the east side of the Planning Area and be developed in accordance with **Figure 6.0-9, Edge Condition: Residential to Open Space-Conservation-Habitat**.

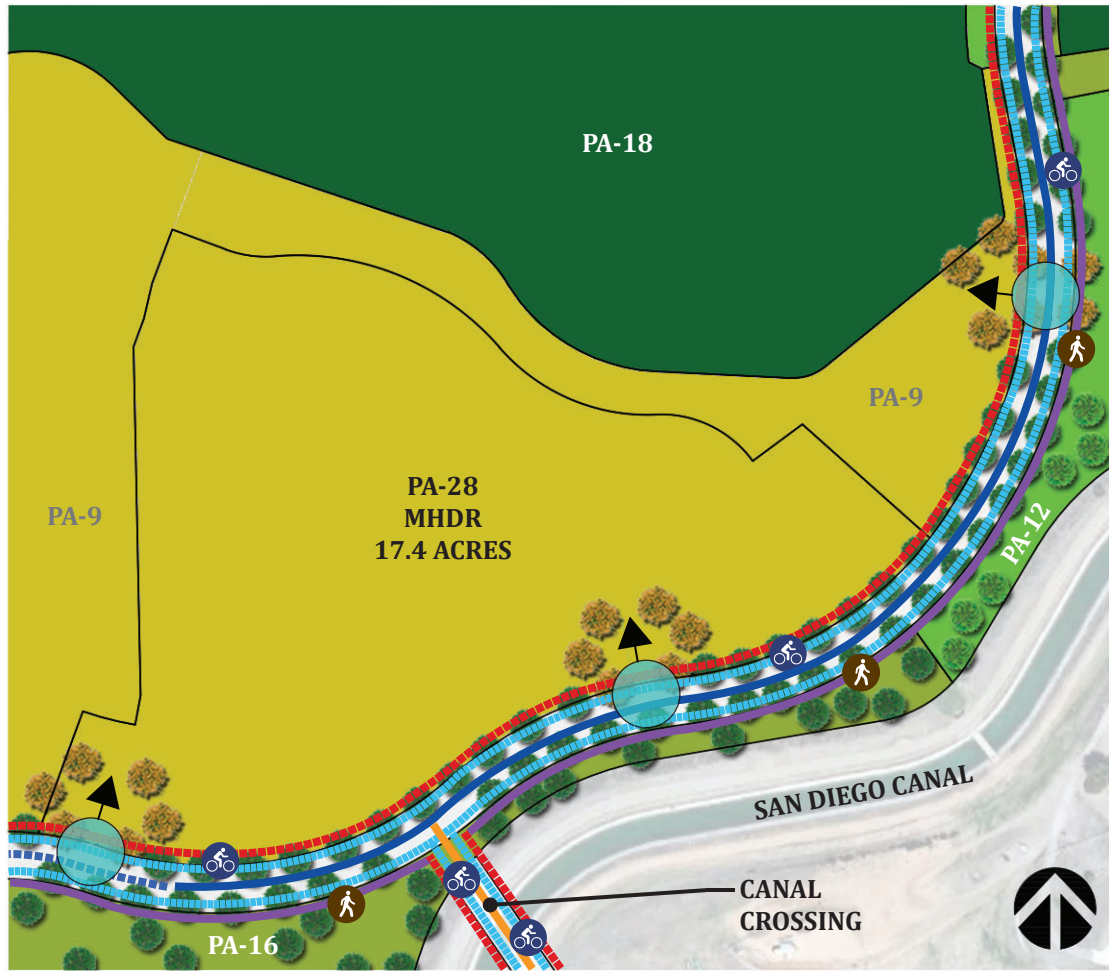
#### ***Deed Transfer***

- ❖ No deed transfer is planned for this Planning Area.





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**LEGEND**

-  MEDIUM DENSITY RESIDENTIAL (MDR)
-  NEIGHBORHOOD ENTRY
-  CLASS II BIKE LANE
-  SIDEWALK
-  DECOMPOSED GRANITE TRAIL
-  LOCAL
-  COLLECTOR
-  MODIFIED COLLECTOR
-  PRIMARY ENTRY

Figure 5.28-1 Planning Area 28



# 6.0 Landscape Guidelines

## 6.1 Purpose and Intent

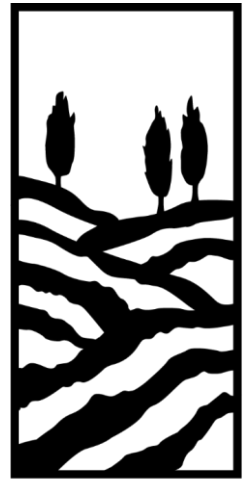
The Landscape Design Guidelines for Belle Terre are intended to establish thematic and visual elements within the community. As illustrated in **Figure 6.0-1, Landscape Theme Plan**, careful attention has been given to set the overall character of the Belle Terre community through a unified theme of plant materials and inert landscape materials. Within this unified theme are planned subtle differences in the landscape elements for smaller sub- communities that create individual neighborhood units.

The Landscape Design Guidelines for Belle Terre have been developed in accordance with the objectives of achieving a distinctive, well planned community. More specifically, the purpose of these Landscape Design Guidelines is to:

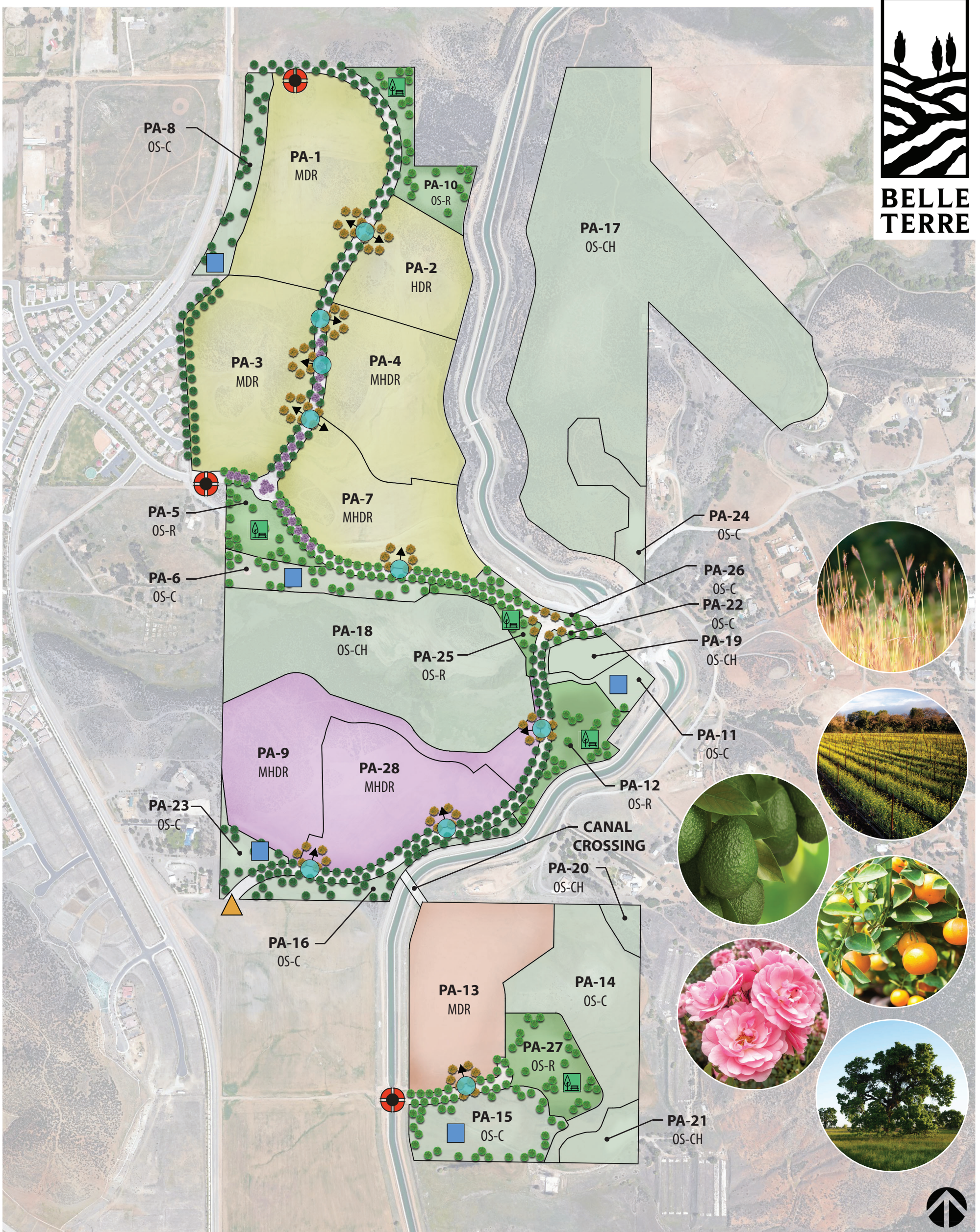
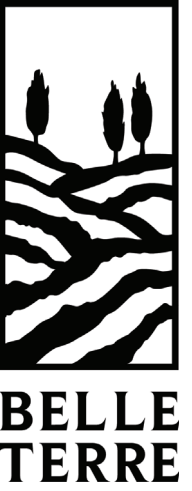
- ✿ To create a unifying landscape theme that builds a sense of community;
- ✿ Create distinct identity through landscape themes;
- ✿ Meet the requirements of the state and local water conservations ordinances; and
- ✿ Be enduring and easy to maintain.

These Landscape Design Guidelines have been created to enhance the built and natural environments of the community by providing color, texture, shade, screening, and enhanced recreational spaces. The landscape elements are planned to accent entrances, enhance way-finding, and soften hard surfaces and structures. Landscape materials and elements selected are appropriate for the climate of the area which is made up of hot dry summers and moderate winters.

As described earlier in Section 4.10 – Sustainability Plan, Belle Terre will comply with the reduction in outdoor water usage contained in the County’s Water Efficient Landscape Ordinance No. 859. The selected plant species are on the County of Riverside California Friendly Plant List and meet the water conservation requirements per EMWD.



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**LEGEND**

- |  |                     |  |                 |  |                    |
|--|---------------------|--|-----------------|--|--------------------|
|  | SHARDONNAY DISTRICT |  | PARKS           |  | NEIGHBORHOOD ENTRY |
|  | MERLOT DISTRICT     |  | OPEN SPACE      |  | SECONDARY ENTRY    |
|  | CHAMPAGNE DISTRICT  |  | PRIMARY ENTRY   |  | COMMUNITY PARK     |
|  |                     |  | RETENTION BASIN |  |                    |

**Figure 6.0-1 Landscape Theme Plan**



## 6.2 General Landscape Design Guidelines

This section discusses general landscape elements for the Belle Terre community and establishes a unified theme of plant materials and inert landscape materials. These Landscape Design Guidelines are composed of seven major landscape elements that occur at the community or neighborhood level and which assist in establishing the overall design theme for Belle Terre. These major landscape elements are:

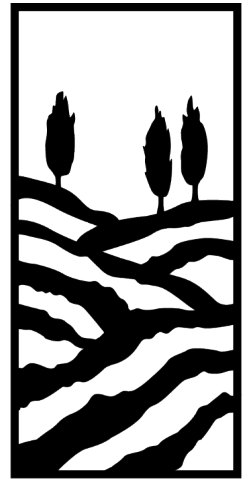
- ✦ Belle Terre Community Theme Concept
- ✦ Plant Palette
- ✦ Streetscapes
- ✦ Monumentation
- ✦ Walls and Fence Plan
- ✦ Land Use Interfaces
- ✦ Lighting

These landscape elements will occur throughout the community and unite Belle Terre under a common design theme. General design guidelines and design criteria for the community landscape elements are described throughout this section. Finally, these Landscape Design Guidelines are provided as a resource to those involved in the design and implementation of this Specific Plan, and—illustrative in nature—are meant to be flexible and respond to changes in taste and environmental concerns over time.

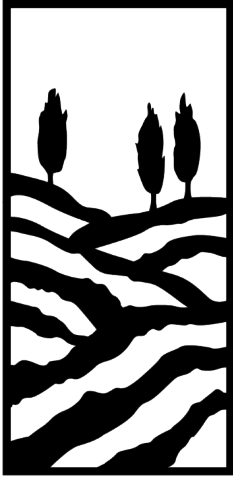
### 6.2.1 Belle Terre Community Theme Concept

Three distinct landscape districts have been established for Belle Terre to create an overall community identity and landscape theme reminiscent of southern France. The landscape theme for Belle Terre echoes landscapes of Southern France throughout the community in the selection of plant material, site furnishings, paving material, signage, walls, fences, and monuments.

Three types of French wines have been selected for naming the landscape districts within the Belle Terre community: chardonnay, a white wine; merlot, a red wine; and champagne, a pink sparkling wine support the overall French theme of the project. These wine colors will be replicated in the flower color of each landscape district as follows:



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### **6.2.2 Plant Palette**

It is the intent of these Landscape Design Guidelines to provide flexibility and diversity in plant material selection, while maintaining a selected palette in order to give greater unity and thematic identity to the community.

The plant material lists have been selected for their appropriateness to the Project theme, climactic conditions, soil, avoidance of invasive species<sup>1</sup>, and concern for maintenance. The selected plant palette is particularly suitable to the area; they tolerate a wide temperature range, have low water consumption requirements, and withstand local wind conditions.

These Landscape Design Guidelines have been developed pursuant to Riverside County Ordinance No. 859. The selected plant species are on the County of Riverside California Friendly plant List. Further, the recommended plant palette does not include any species listed in the MSHCP that should be avoided adjacent to the MSHCP Conservation Areas.

A limited selection of materials utilized in simple, significant composition complimentary to adjacent common landscape areas, while reinforcing the individual architectural and site setting, is required. Wherever possible, overall plant materials shall have compatible drought-resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

**Table 6.0-A, Plant Palette**, provides a list of the recommended plant materials within the Belle Terre community.

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<sup>1</sup> Per Western Riverside County Multiple Species Habitat Conservation Plan, Volume 1, Section 6, *Table 6-2, Plants That Should be Avoided Adjacent to the MSHCP Conservation Area.*



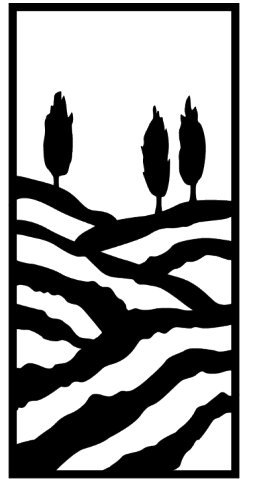
Table 6.0-A, Plant Palette

Landscape District	Scientific Name	Common Name	Street/ Medians	Entry Monument	Parks	Common Areas	Open Space
<b>Shrubs, Grasses and Groundcovers</b>							
A,B,C	Buxus japonica	Japanese Boxwood		X			
B	Cistus salvifolius	Sageleaf rockrose				X	
A,B,C	Helictotrichon sempervirens	Blue Oat Grass	X	X			X
A,B,C	Lavandula dentata	French Lavender	X	X			
A,B,C	Lavandula latifolia	Spike Lavender	X	X	X	X	X
A,B,C	Leucophyllum f. "compacta"	"Rain Cloud"			X	X	X
C	Muhlenbergia capillaries	Pink Muhley	X	X	X	X	
A,B,C	Muhlenbergia rigensis	Deer Grass	X	X	X	X	
A,B,C	Myrtus comminus	Myrtle		X			
A,B,C	Peroskia atriplicifolia	Russian Sage		X	X		
A,B,C	Pittosporum Wheelers dwarf	Wheelers Dwarf Tobira	X				
B	Raphiolepis indica "ballerina"	Indian Hawthorn	X		X		
A	Rosa Flower Carpet "White"	Carpet Rose White	X	X	X		
C	Rosa Flower Carpet "Red"	Carpet Rose Red	X	X			
B	Rosa Flower Carpet "Pink"	Carpet Rose Pink	X	X		X	
A,B,C	Rosemarinus officinalis	Rosemary	X	X	X	X	
C	Salvia gregii	Autum sage			X	X	
A,B,C	Salvia leucantha	Mexican Bush Sage			X		
B	Tulbaghia volacae "varigata"	Variegated. Society Garlic	X			X	
<b>Trees</b>							
A,B,C	Brahea Armata	Mexican Blue Palm	X	X	X		
A,B,C	Butia Capitata	Jelly Palm	X	X	X		
C	Cercis occidentalis Forest Pan.	Western Redbud	X		X	X	X
A,B,C	Chamaerops Humilis	Medeterranean Fan Palm	X	X	X		
A,B,C	Cupressus arizonica	Arizona Cypress		X	X		
A	Geijera parvifolia	Australian Willow		X	X	X	
A,B,C	Juniperus scopulus "Skyrocket"	Skyrocket Juniper		X	X		
A,B,C	Lagerstromia indica "Florida"	Crape Myrtle	X		X	X	
A,B,C	Oleaeuropaea "Swan Hill"	Fruitless Olive	X	X	X		
A,B,C	Pinus eldarica	Afgan Pine	X		X	X	X
C	Pistacia "Red Push"	Red Push Pistache	X		X	X	
A,B,C	Platanus racemosa	California Sycamore	X		X	X	X
A,B,C	Podocarpus macrophyllus	Yew Pine					
A,B,C	Quercus suber	Cork Oak		X	X	X	X
A,B,C	Rhus lancea	African Sumac	X				
A,B,C	Washingtonia Filifera	Desert Fan	X		X	X	
A,B,C	Washingtonia Robusta	Mexican Fan Palm	X		X	X	
A,B,C	Ulmus parvifolia	Evergreen Elm	X				

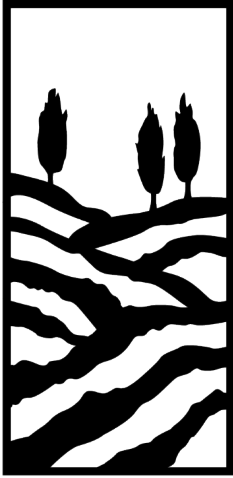
\*A = Chardonay District

\*\*B= Champagne District

\*\*\* Merlot District



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### **6.2.3 Streetscapes**

The landscape theme for the streetscapes within Belle Terre will continue to reinforce the Southern France landscape theme. Streetscapes throughout the community should be planted with a combination of street trees, shrubs, and groundcovers per **Table 6.0-A, Plant Palette**, above. Streetscapes are intended to convey a sense of direction and permanence. Varied streetscapes are intended to create a high quality, visually pleasing experience at the pedestrian and vehicular level. Streetscapes also serve functional purposes, including buffering of uses, noise attenuation, and screening undesirable views. Several types of streetscapes are proposed for Belle Terre. A hierarchy of streetscapes is provided with distinctive landscapes for medians, parkways, and rights-of-way.

#### ***Roundabout***

As shown in **Figure 4.2-2, Roundabout Streetscape**, a 56 foot wide landscape median, 6 foot wide landscaped parkway, and 8 foot wide concrete sidewalk or decomposed granite (DG) trail will be provided along both sides of the roadway. Median will be planted with flowering accent trees and low growing flowering groundcovers. Inert materials such as cobble, rock rip rap, and DG may also be used in the medians to reduce water use, create interest, and introduce dramatic texture

#### ***Modified Collector Streetscape***

As shown in **Figure 4.2-3, Modified Collector Streetscape 1** and **Figure 4.2-4, Modified Collector Streetscape 2**, a 12 foot wide curbed landscape median, 6 foot wide landscaped parkway, a 5 foot wide concrete sidewalk or DG trail and 3 foot wide landscaped area will be provided on both sides of the roadway. Parkway will be planted with uniformly spaced rows of deciduous trees closest to the street with evergreen trees planted at the edge of the parkways away from the street in random groupings. Under these trees, groupings of low growing, low to medium water use flowering shrubs, groundcovers and native grasses will be planted. Medians will be planted with flowering accent trees evenly spaced down the center of the medians and low growing flowering groundcovers. Inert materials such as cobble, rock rip rap, and decomposed granite may also be used in the medians to reduce water use, create interest, and introduce dramatic texture.

#### ***Collector Streetscape***

As shown in **Figure 4.2-5, Collector Streetscape**, a 6 foot wide landscaped parkway and 5 foot wide concrete sidewalk or DG trail will be provided on both sides of the roadway. Parkway will be planted with uniformly spaced rows of deciduous trees closest to the street with evergreen trees planted at the edge of the parkways away from the street in random groupings. Under the trees, the parkways will be planted with groupings of low growing, low to medium water use flowering shrubs, groundcovers and native grasses.

#### ***Local Roads Streetscape***

As shown in **Figure 4.2-6, Local Streetscape**, Local Roads will contain a 5 foot wide concrete sidewalk or DG trail that are right-of-way adjacent and 5 foot wide landscaped parkway on both sides of the roadway. Generally, the homeowner has discretion and will be responsible for the maintenance of the landscaped parkway.



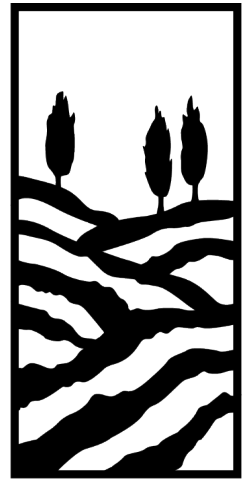
## 6.3 Monumentation

The purpose of the following criteria is to provide aesthetically pleasing and consistent monumentation throughout the Belle Terre community.

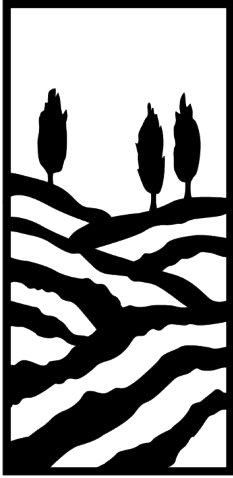
### 6.3.1 Entry Monumentation

A hierarchy of entry monuments are planned within Belle Terre to create a sense of identity for the overall community and for individual neighborhoods within the community. The design intent is to create distinctive visual entrances into the Project and to provide an entry statement emphasizing the French community theme. The monuments complement and reinforce the general landscape theme, establish the character of the community, and provide a prominent reminder of the quality and distinctiveness of Belle Terre. Locations of Primary, Secondary, and Neighborhood monuments are shown in **Figure 6.0-1, Landscape Theme Plan**, above.

All entry monuments are comprised of a thematic blend of built features, landscape features, signage and specialty lighting that provides strong landmarks and reinforces the distinctiveness of Belle Terre. Monument signage should be designed to be compatible with the French character of the community but flexible enough to respond to the individual contexts. Logos, type styles, and color schemes should be consistent throughout the planning area. Monument signs shall vary in size and detail in a manner that reflects their relative importance within the signage hierarchy.



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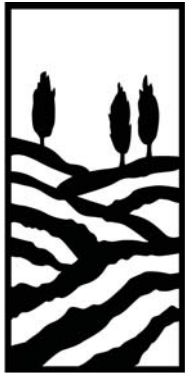
### ***Primary Entry Monumentation***

Three primary entry monuments are located at the intersections of Keller Road/Belle Terre Parkway, Fields Drive/Belle Terre Parkway, Autumn Glen Circle/Sally Street, and at the entrance of Belle Terre Drive. **Figure 6.0-2, Primary Entry Monumentation** shows the conceptual design; a harmonious blend of thematic features that includes a community sign situated within the landscaped median.

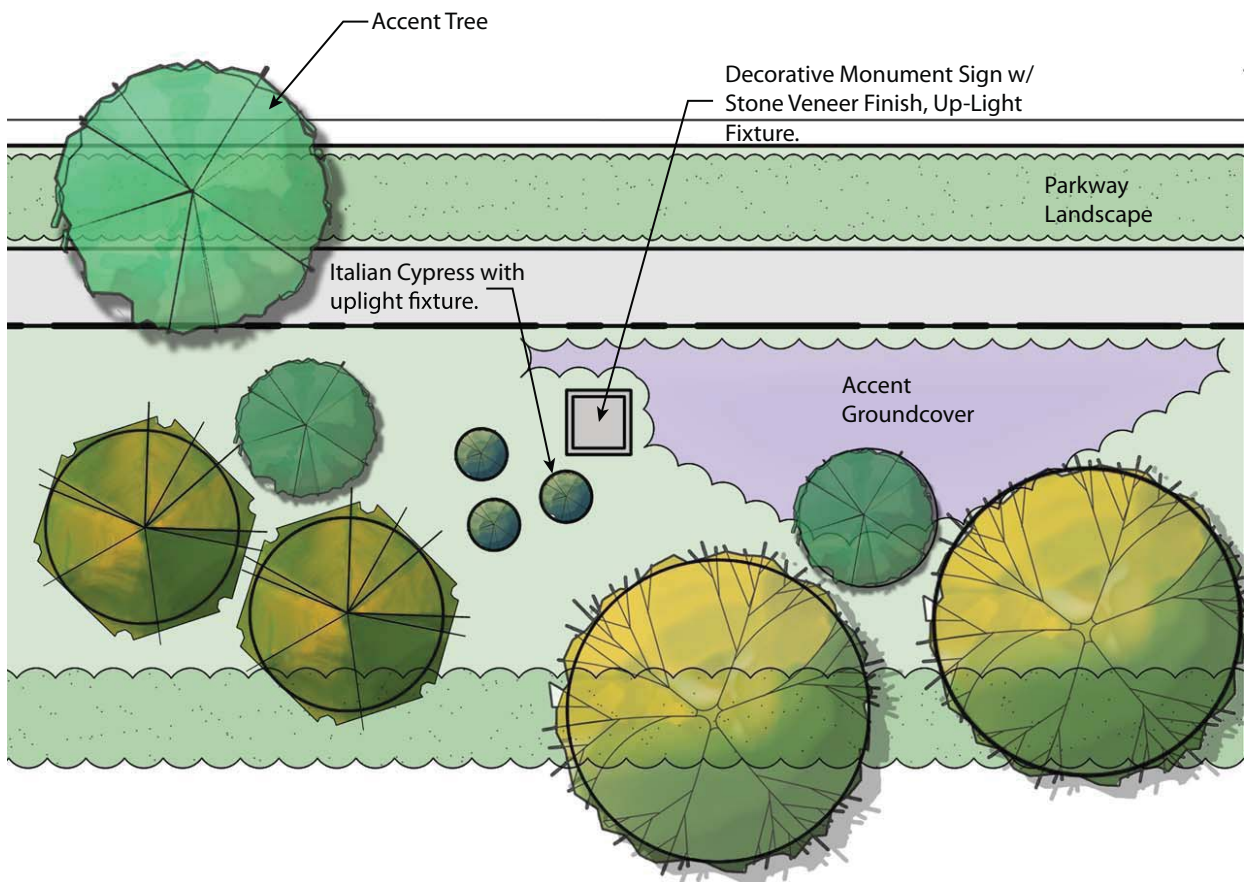
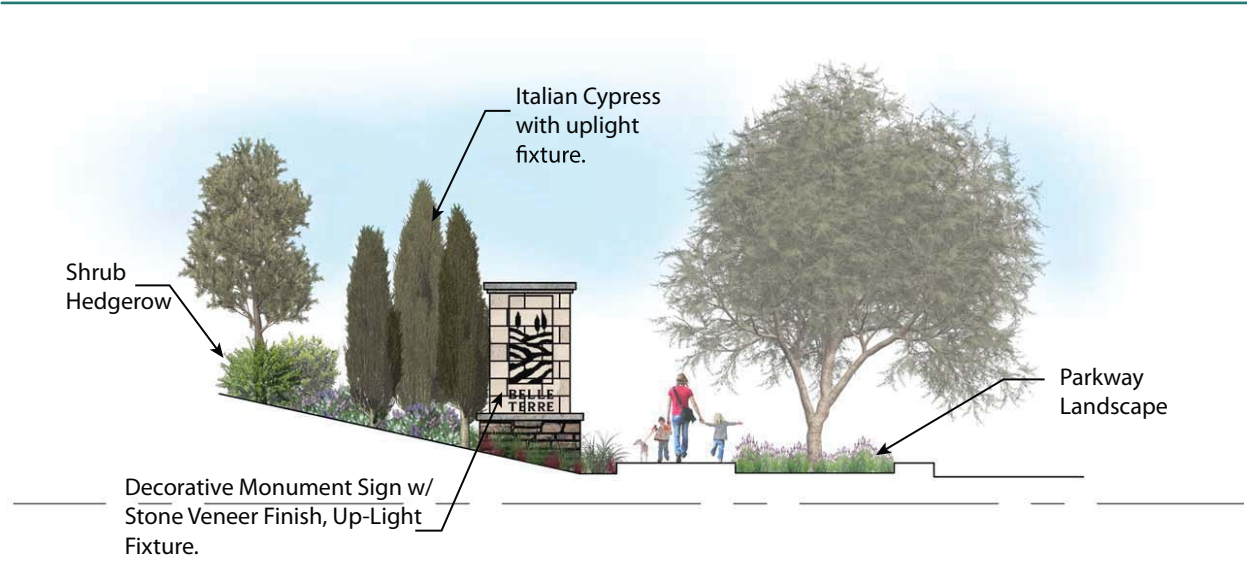
Formal planting materials consist of evergreen topiary specimen accent trees and shrubs with a backdrop of evergreen canopy theme trees. Mass plantings of flowering accent shrubs and groundcover plantings are made up of “Southern French Countryside” plant material. Plant materials must be consistent with the respective landscape thematic district. Hence, all three primary entry monuments will look distinctive from each other as they are each located in Chardonnay, Merlot, and Champagne District.



**Examples of Primary Entry Monuments**



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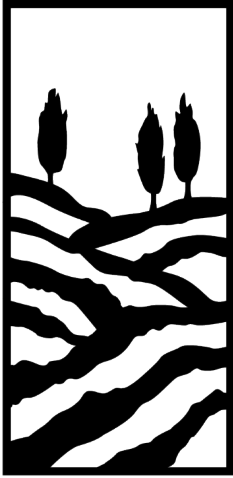


**Plan View**



**Figure 6.0-2 Primary Entry Monument**





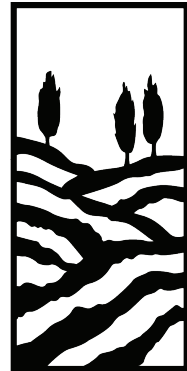
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### ***Secondary Entry Monumentation***

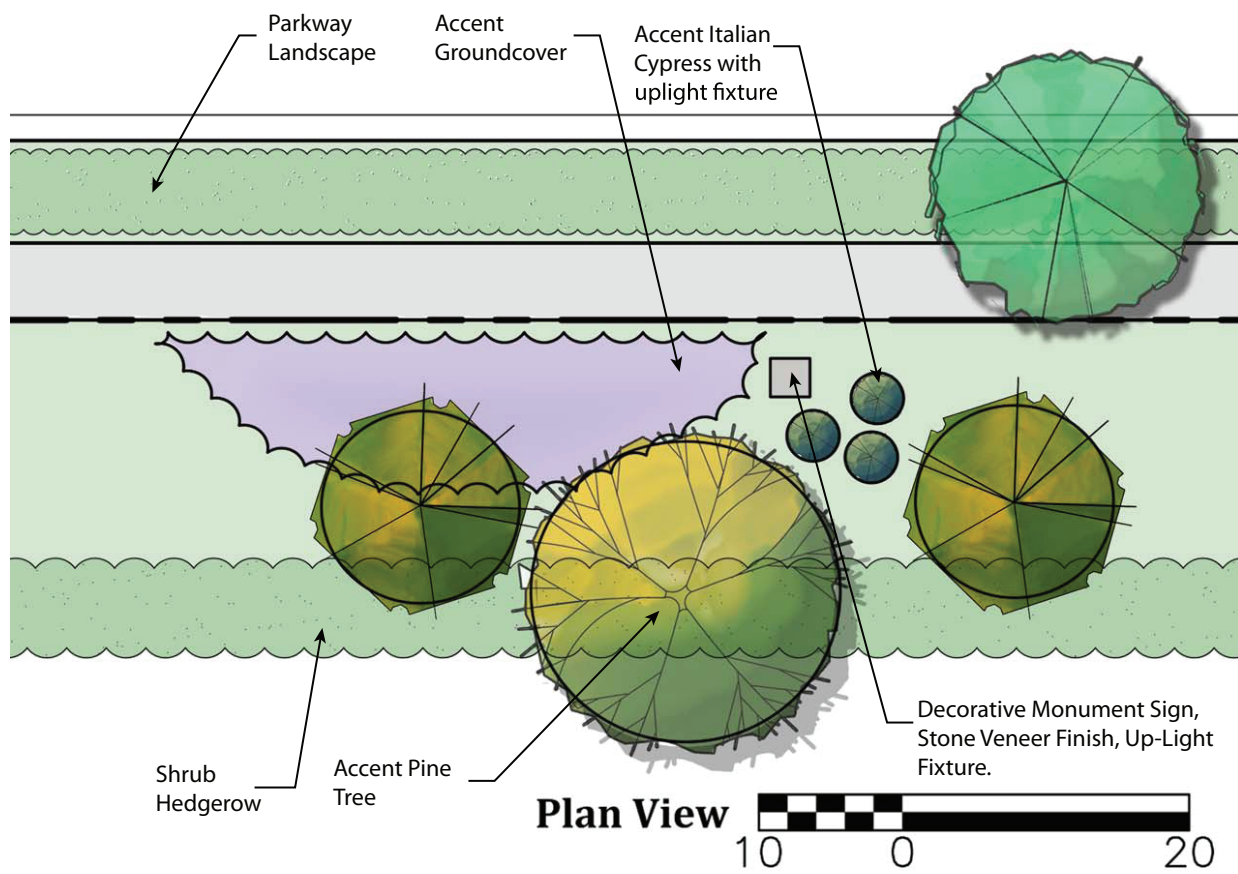
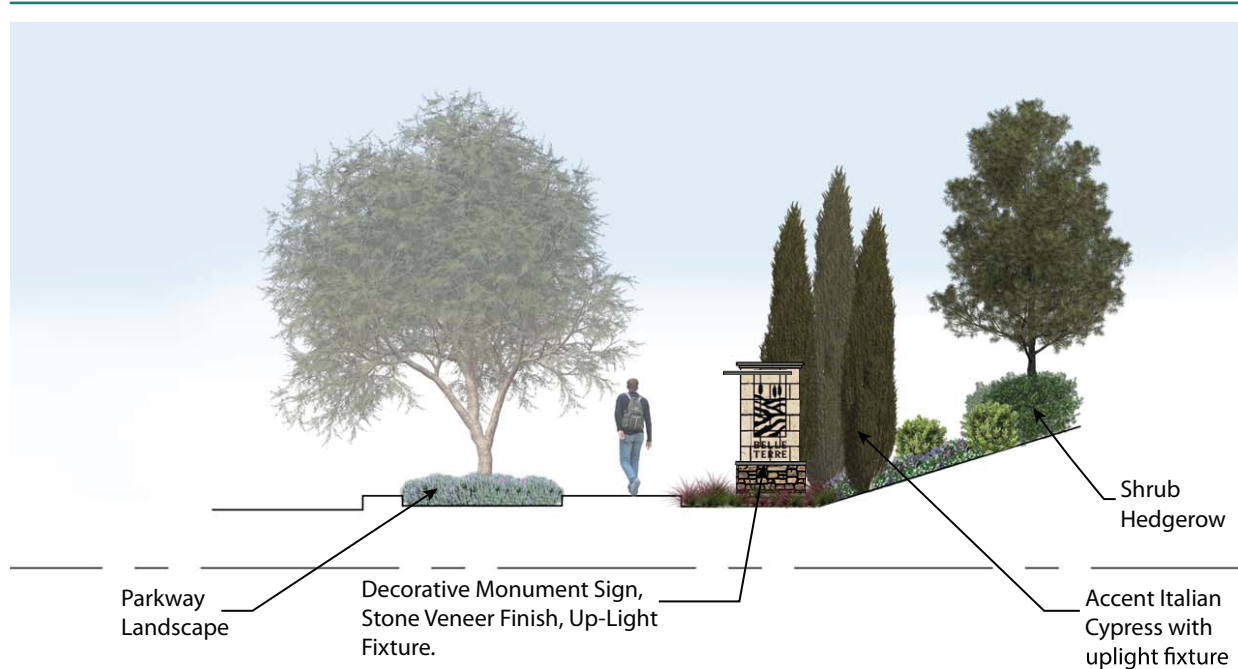
A Secondary entry monument is located at the intersections of Autumn Glen Road /Sally Street. As shown in **Figure 6.0-3, Secondary Entry Monumentation** secondary entries are designed to have a less dramatic impact than Primary Monuments but still reinforce the community thematic features. Secondary entries will consist of a low uniform curving community theme wall of dry stack stone to replicate walls and pillars found in the French countryside. A curvilinear wall and decorative themed community identification sign identify entry points to the community. Formal planting materials are defined with a more formal French theme utilizing evergreen shrubs pruned to create topiary shapes such as cones, pyramids, and spires. Boxwood hedges also support the formal French knot garden theme. Low flowering groundcovers will be used with the evergreen shrubs to add accent color and create interest to the entry points and monuments.



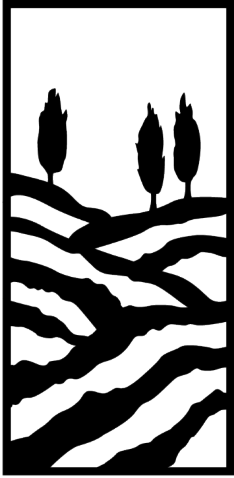
**Use of Topiary for Accent**



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**Figure 6.0-3 Secondary Entry Monument**



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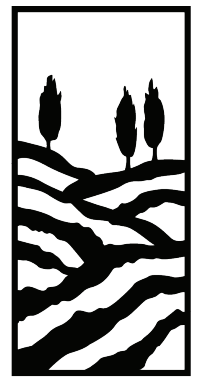
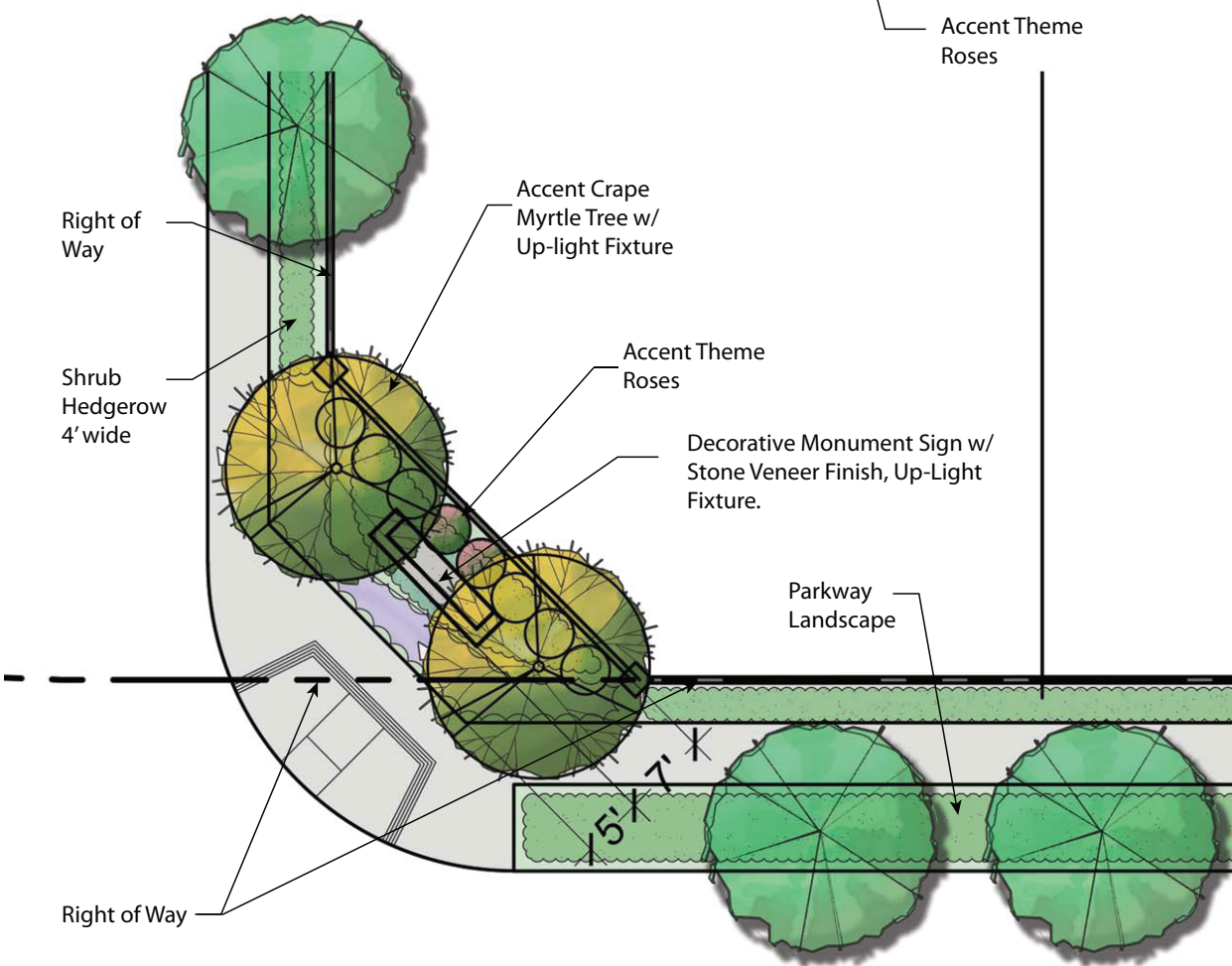
### ***Neighborhood Entry Monuments***

Neighborhood entries are located within the community. Neighborhood entries are situated along local roads providing access to the neighborhoods. However, the exact location will be determined when final residential unit plotting has been completed for each planning area within the community. As shown in the photograph below, neighborhood entries are similar to primary and secondary monuments, but on a smaller scale. Neighborhood entries will consist of a low curvilinear community theme identification sign with informal color plantings of flowering shrubs, groundcovers, and native grasses with a backdrop of neighborhood accent trees as per 6.0-4, **Neighborhood Entry Monumentation**.



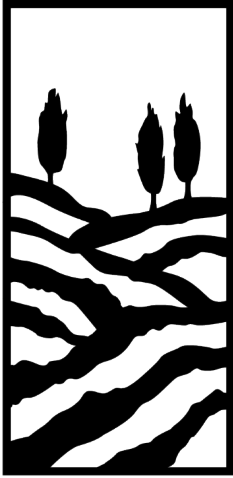
**Example of a Typical Neighborhood Entry Monument**





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**Figure 6.0-4 Neighborhood Entry Monument**



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## 6.4 Wall and Fence Plan

An important site planning feature, walls and fences establish the following:

- ✦ Physical enclosures
- ✦ Visual and physical privacy
- ✦ Sight lines- for views
- ✦ Buffer between different uses
- ✦ Sense of ownership

From a visual perspective, walls and fences also reinforce the architectural styles, and the landscape themes of the community. This section describes various walls and fences and their main intent. Illustrations are also provided for a visual reference. However, these are not exhaustive and wall and fence designs can be designed to reflect specific architectural styles.

As shown in **Figure 6.0-5, Conceptual Wall and Fence Plan**, four types of walls and fencing are envisioned for the Belle Terre community. Photographs reflected in this section provide examples of the grade changes that would occur within Belle Terre. Open space and landscaped hillsides provide natural separation and a sense of openness. Where walls and fences are necessary, they are intended to create a sense of community space, increase privacy and security, provide noise attenuation, and act as a buffer between neighborhoods or different land uses.

Four types of walls and fencing are proposed for Belle Terre as reflected in **Figure 6.0-6, Wall and Fencing Types**, below and include:

- ✦ Internal Perimeter Wall
- ✦ Combination Wall
- ✦ Open View Fence
- ✦ Interior Fence

These wall and fencing types are discussed in greater detail below.



# BELLE TERRE

Project Boundary

## LEGEND

- MEDIUM DENSITY RESIDENTIAL (MDR)
- MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
- HIGH DENSITY RESIDENTIAL (HDR)
- OPEN SPACE-CONSERVATION-(OS-C)
- OPEN SPACE-CONSERVATION HABITAT (OS-CH)
- OPEN SPACE-RECREATION (OS-R)
- PERIMETER WALL
- COMBINATION WALL
- OPEN VIEW FENCE
- INTERIOR PERIMETER WALL/COMBINATION WALL

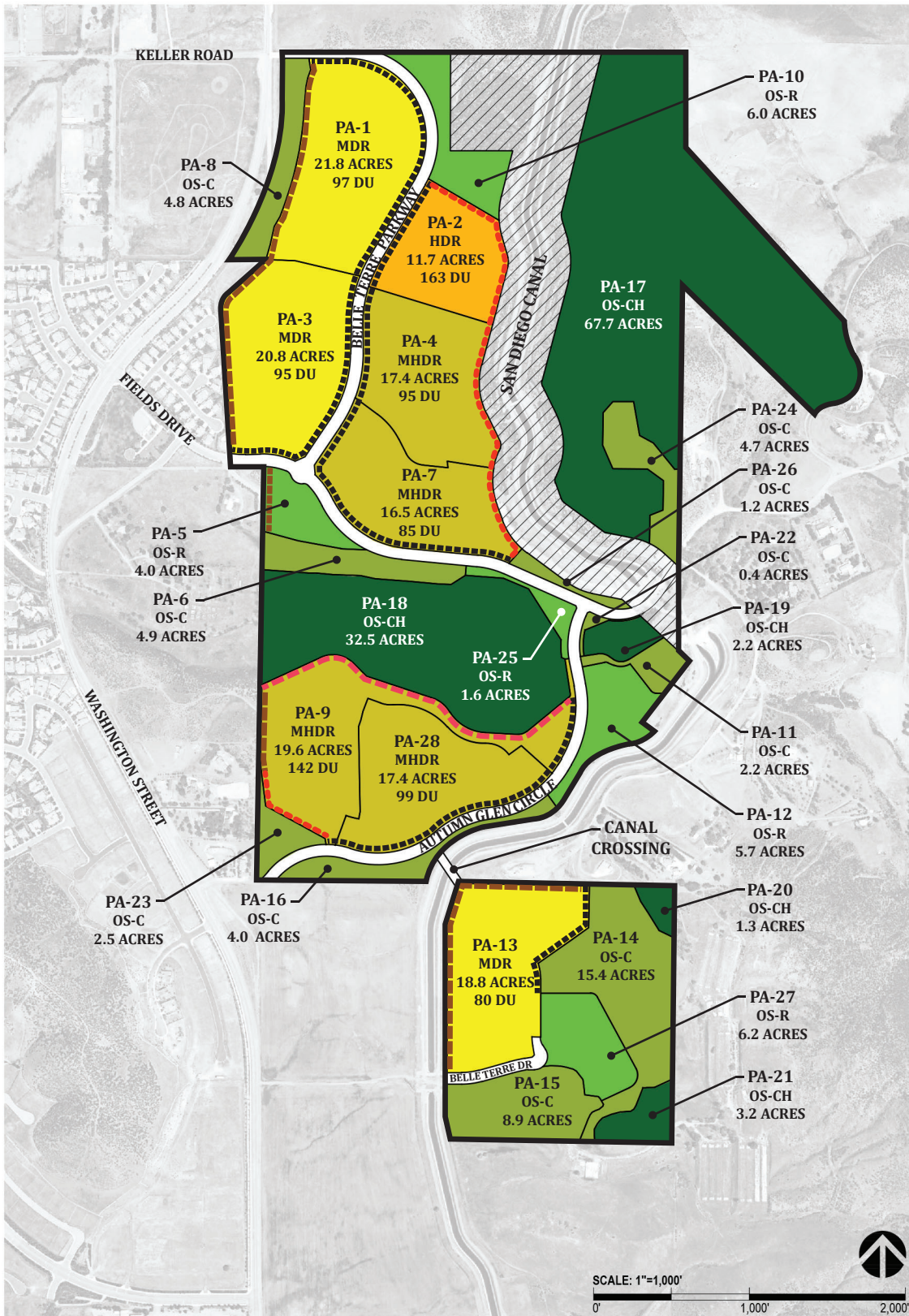
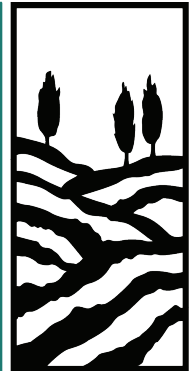
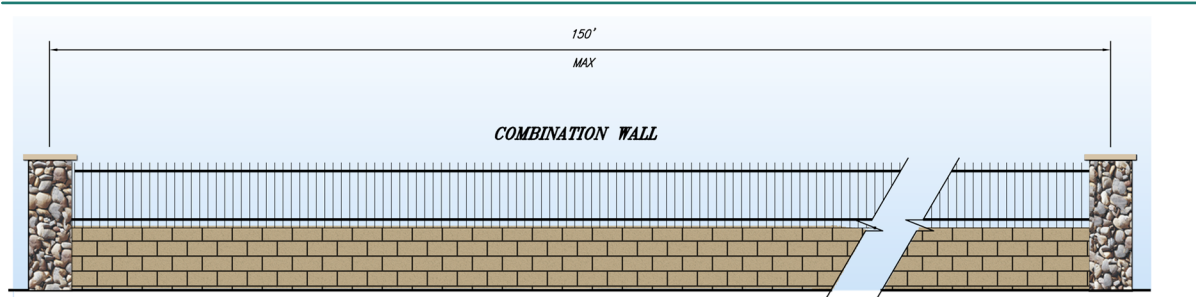


Figure 6.0-5 Wall and Fence Plan

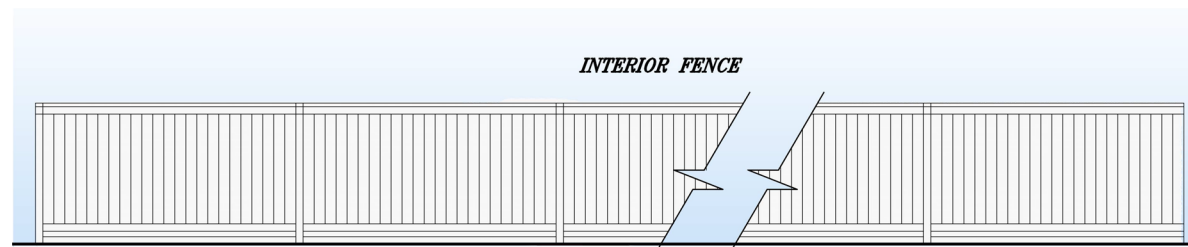
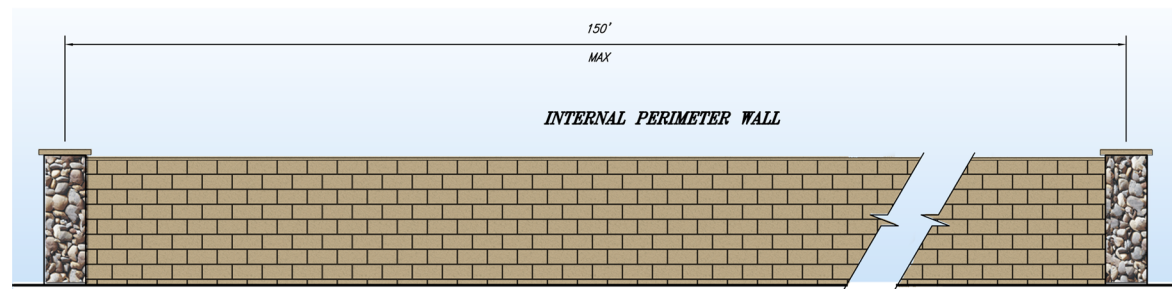


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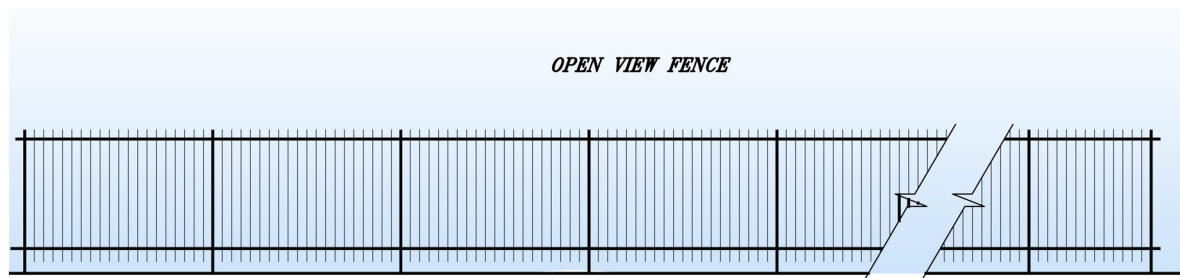
**Figure 6.0-6 Wall & Fence Types**



COMBO WALL WITH RIVER ROCK PILASTER.

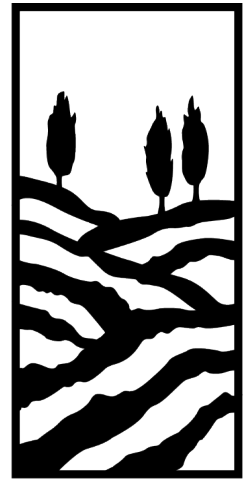


VINYL FENCE



OPEN VIEW FENCE. (TUBE STEEL).





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### **6.4.1 Internal Perimeter Wall**

Internal perimeter walls are intended to provide privacy and noise protection to the planning areas from adjacent streets within Belle Terre. As such, these are solid walls that should be used sparingly to maintain views to open spaces and the community's architectural and landscape elements.

Specifically, these walls may be located along residential planning areas facing Keller Road, Belle Terre Parkway, Fields Drive, Autumn Glen Circle and Belle Terre Drive as reflected in **Figure 6.0-5**.

Internal perimeter walls shall be split-face composed of block wall set within pilasters and shall be 6 feet tall consisting of masonry or man-made lightweight material, reinforced and finished with river rock. Pilasters should occur at all changes in vertical and horizontal direction or material changes, and at other intervals appropriate to the length of the wall run. When designed to be installed on the property line between two residential properties, the center line of the pilaster should be positioned on the property line.

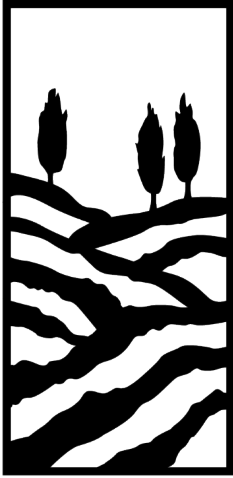
### **6.4.2 Combination Wall**

A combination wall and fence is envisioned along the periphery of the Belle Terre site, specifically for planning areas pads located at a higher elevation than its surroundings. Noise attenuation is not an issue since the street is located at a lower grade. Hence, as discussed earlier in landscape interfaces, there are several ways to provide walls and fences along these outer perimeters as reflected in **Figure 6.0-5**.

A 5-foot tall combination wall and fence and/or view fence could be located wherever a residential neighborhood abuts an open space area. The combination wall shall be split-face composed of a block wall foundation and river rock pilasters, with vertical portion of tubular steel panels. The combination wall is intended to be used where partial privacy is needed, but views add to the aesthetic value.

### **6.4.3 Open View Fence**

The design intent of view fences to provide security while allowing visual permeability. A view fence is proposed in areas within Belle Terre where view opportunity exists and where the visual protection from common areas is assured. The view fence could be constructed of tubular steel panels or other appropriate materials and shall meet the minimum height requirements.



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#### **6.4.4 Interior Fence**

The intent of interior fences between residential lots is to provide for privacy and sense of ownership. Neighborhood fences and walls shall be designed as an integral component and extension of the building design, and surrounding landscape of that neighborhood. Two types of neighborhood interior fences are applicable for Belle Terre: solid block walls or vinyl fences.

If solid block walls are used, they are best setback from the front property line and covering the backyard of the residence. As shown in this photograph below, a home with a larger setback and on a different elevation than the neighboring home offers this condition. Such walls may be integrated into the adjacent structure and extended into the landscape. Neighborhood fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture of the respective dwelling. Homes located at same level may also use a solid interior fence made of durable materials such as vinyl fences.



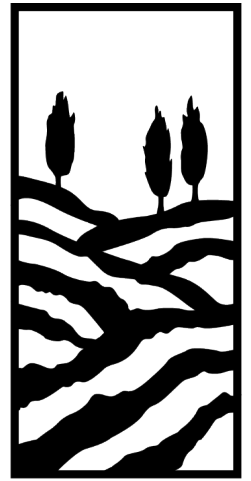
**Example of an Interior Wall covering the backyard**

## 6.5 Land Use Interfaces

Planning areas abut other planning areas or open space areas throughout the Belle Terre Land Use Plan. These boundaries are transition areas that need to be designed for slope maintenance, drainage, security, landscaping, and aesthetic quality. Most transition areas are defined through the use of hardscape and landscape elements, in combination with the residential setbacks. Such interfaces should be compatible with the architectural design and character of the structures that they buffer.

**Figure 6.0-7, Edge Conditions Plan** shows these transitions as they occur between different land uses. These transitions are grouped as edge conditions and described below.

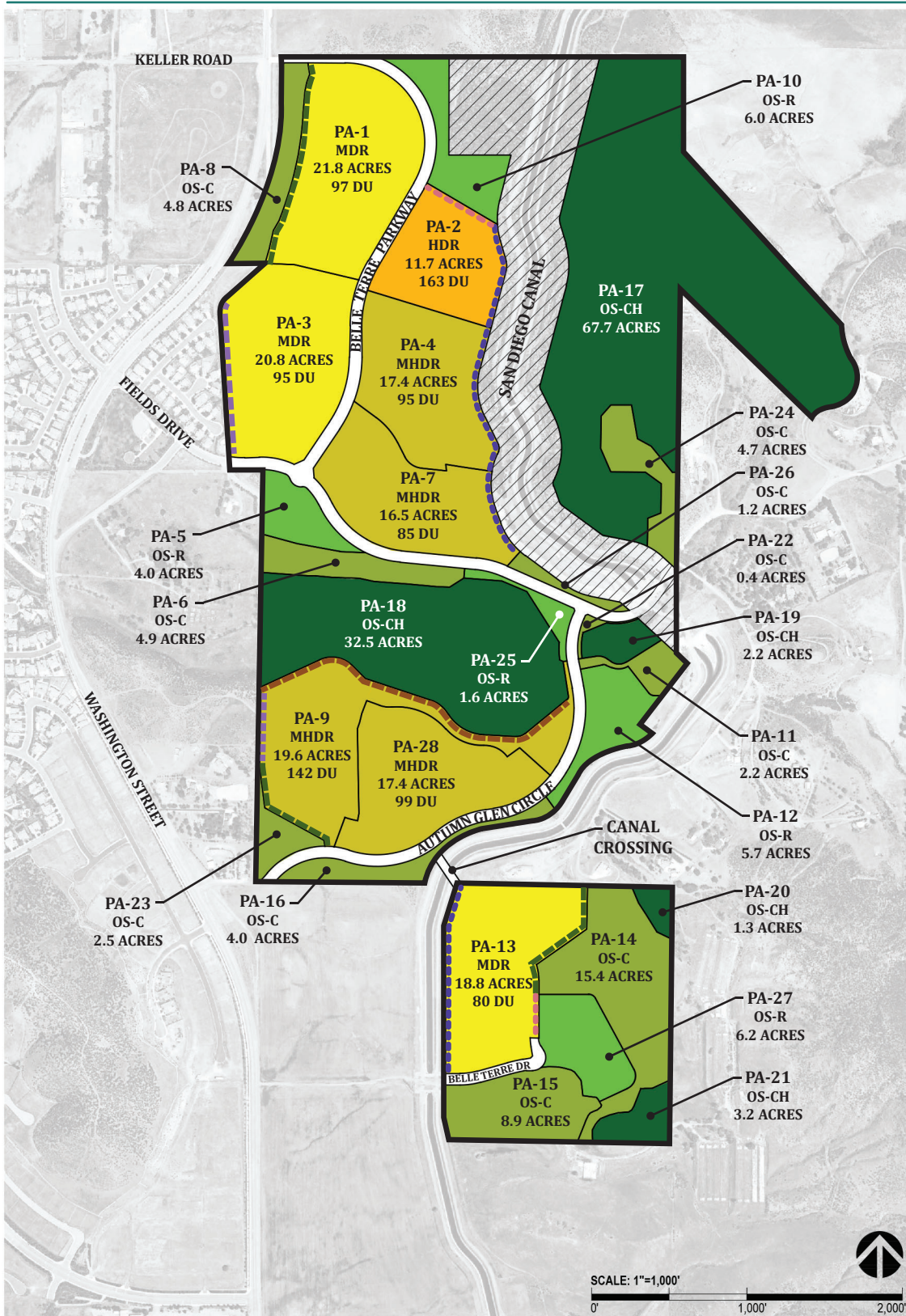
Any Planning Area adjacent to an Open Space-Conservation Habitat area shall provide a land use transition along the boundary of the Planning Area that complies with all guidelines of Section 6.1.4 of the MSHCP and ensuring that all lighting is directed away from any adjacent Open Space Conservation-Habitat area.



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# BELLE TERRE



- LEGEND**
- Project Boundary
  - Not a Part
  - MEDIUM DENSITY RESIDENTIAL (MDR)
  - MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
  - HIGH DENSITY RESIDENTIAL (HDR)
  - OPEN SPACE-CONSERVATION-(OS-C)
  - OPEN SPACE-CONSERVATION HABITAT (OS-CH)
  - OPEN SPACE-RECREATION (OS-R)
  - RESIDENTIAL TO OPEN SPACE CONSERVATION
  - RESIDENTIAL TO PARK
  - RESIDENTIAL TO SAN DIEGO CANAL
  - RESIDENTIAL TO OPEN SPACE CONSERVATION HABITAT
  - RESIDENTIAL TO OFF-SITE RESIDENTIAL

**Figure 6.0-7**  
**Edge Conditions Plan**

SCALE: 1"=1,000'  
0' 1,000' 2,000'





### 6.5.1 Residential to Open Space-Conservation

This condition occurs when residential adjoins natural open space areas. Residential lots within these planning areas may face small hillsides ranging from 10 feet to 25 feet. As illustrated in **Figure 6.0-8, Edge Condition: Residential to Open Space-Conservation**, these hillsides form a berm. This edge could also be designed for protection and views, namely; through a combination fence or an open view fence as described in Section 6.4 – Wall and Fence Plan, above.

### 6.5.2 Residential to Open Space-Conservation Habitat

This condition occurs where residential planning areas adjoin open space areas for habitat conservation. As shown in **Figure 6.0-9, Edge Condition: Residential to Open Space-Habitat Conservation**, the transition zone consists of native vegetation and creates a buffer between the protected habitat area and surrounding residential planning areas.

### 6.5.3 Residential to Water Quality Basin

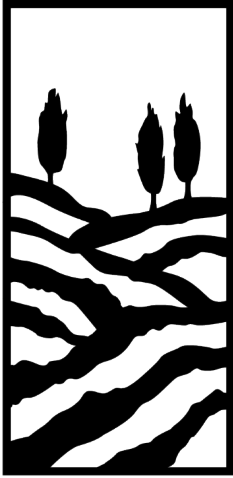
This condition occurs when residential adjoins natural open space areas that will serve to function as a water quality basin area as illustrated in **Figure 6.0-10, Edge Condition: Residential to Water Quality Basin**. This edge could also be designed for protection and views, namely; through a combination fence or an open view fence as described in Section 6.4 – Wall and Fence Plan, above.

### 6.5.4 Residential to Park

This condition occurs when residential Planning Areas are adjacent to parks. When residential uses adjoin a park, two land use transitions may occur, both of which are shown in **Figure 6.0-11, Edge Condition: Residential to Park**. This figure illustrates two examples residential adjacent to a park. Should residential lots back to an adjacent park, the park shall provide a 10 foot wide landscape development zone adjacent to the residential use, planted with evergreen tree groves and shrub or groundcover to serve as a buffer. The park and residential use shall be separated by a fence. Ideally, residential lots will face parks. Under this scenario, a residential lot is setback from the street and facing the park. In this scenario the park shall have a 5 foot wide sidewalk and 5 foot wide landscape right-of-way adjacent to the street.

### 6.5.5 Residential to Canal

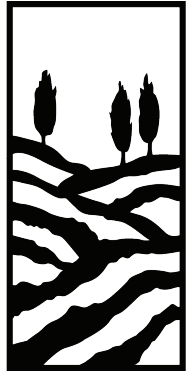
Planning Areas facing the San Diego Canal offer another transition condition. Residential lots within these planning areas face small hillsides ranging from 10 feet to 25 feet and are part of MWD's buffer along the San Diego Canal. **Figure 6.0-12, Edge Condition: Residential to Canal** depicts this edge condition between the residential planning areas and the San Diego Canal. As shown, a natural landscape open space area, varying in width will separate the residential property line from the San Diego Canal and the MWD right-of-way. A 6 foot high combination view fence is located at the property line.



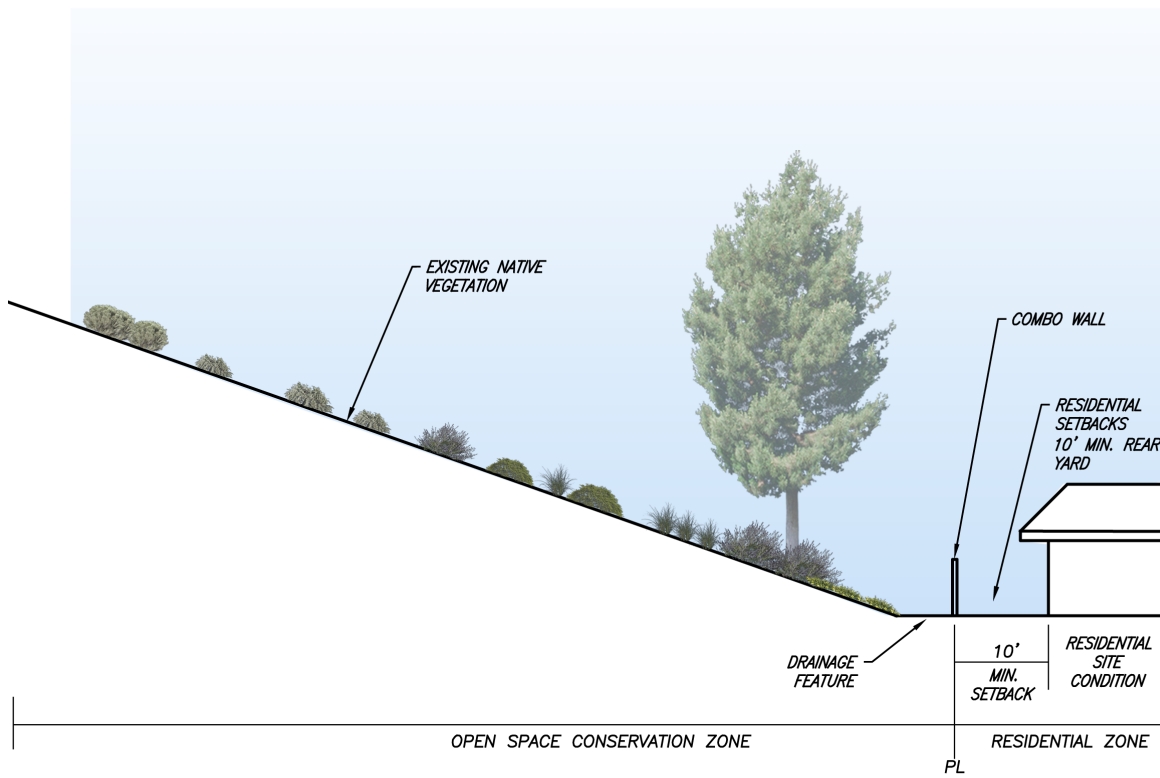
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### **6.5.6 Residential to Off-Site Residential**

This condition occurs between residential uses are adjacent to existing offsite residential uses to the west of Belle Terre. **Figure 6.0-13, Edge Condition: Residential to Existing Off-Site Residential**, depicts this transition. Under this condition, a 10 foot rear yard setback will serve as a buffer and the residential uses would be separated by a fence.

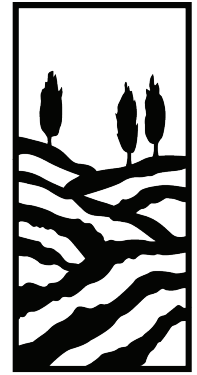


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**Figure 6.0-8 Edge Condition:  
Residential to Open Space-Conservation**



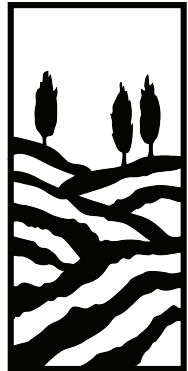


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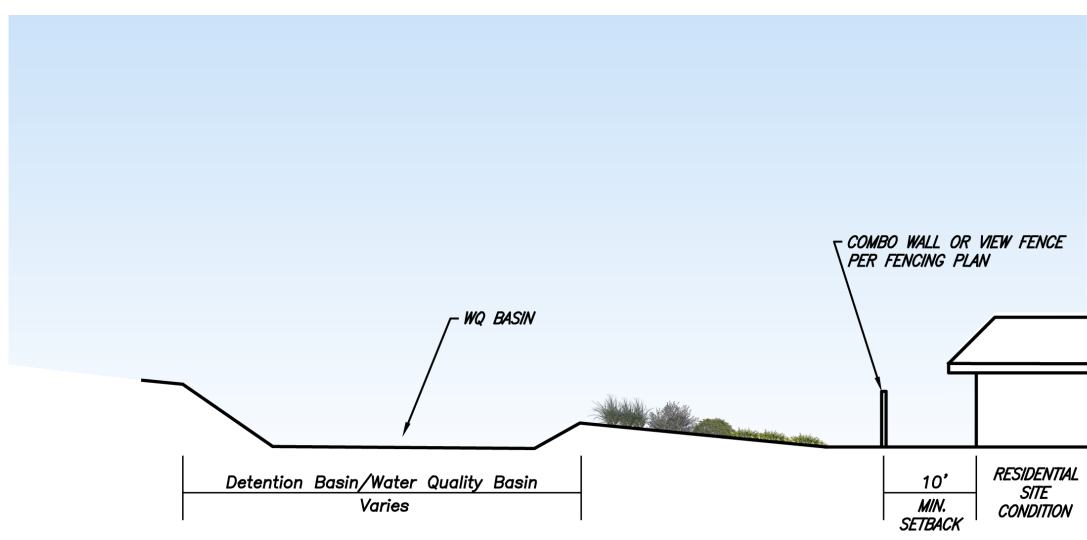


**Figure 6.0-9 Edge Condition:  
Residential to Open Space-Conservation Habitat**



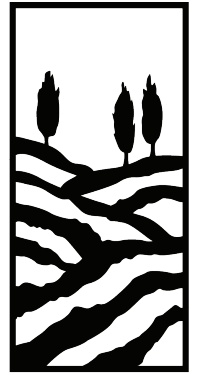


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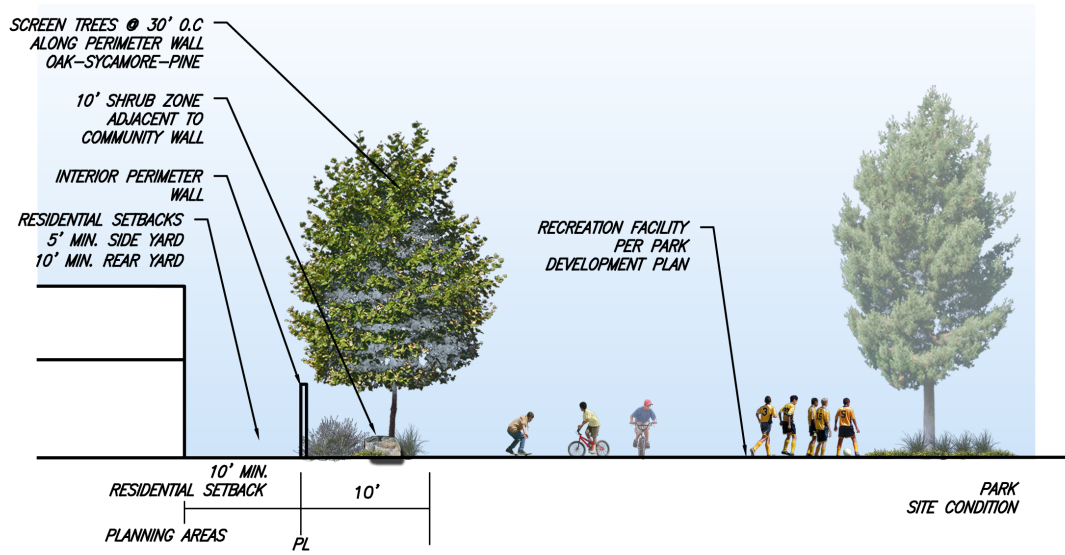


**Figure 6.0-10 Edge Condition:  
Residential to Water Quality Basin**

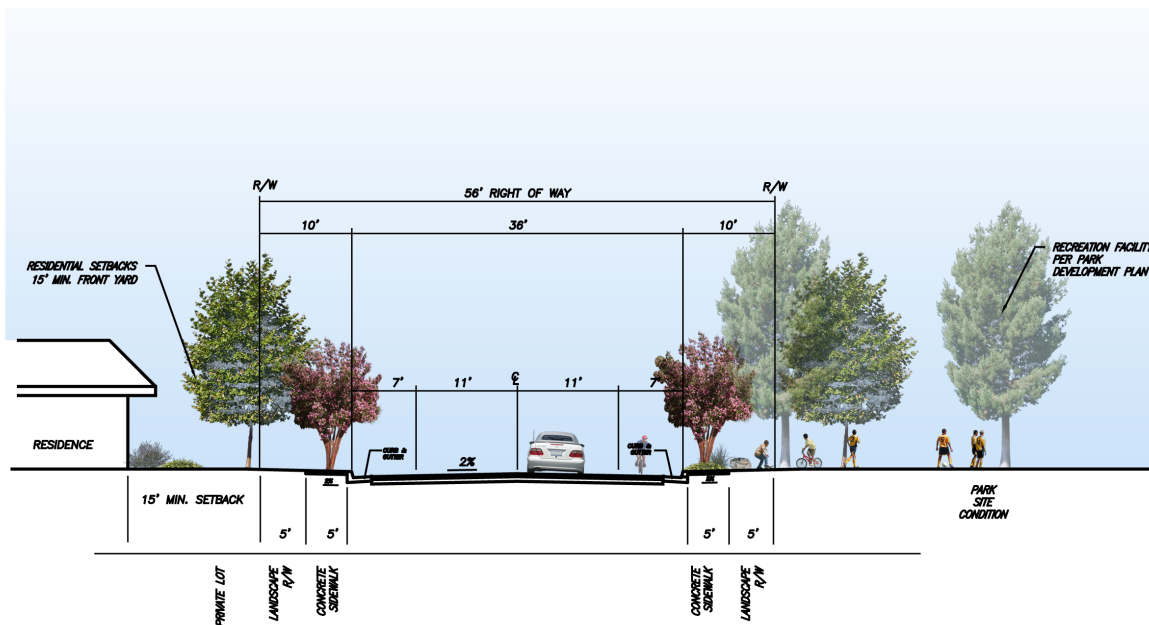




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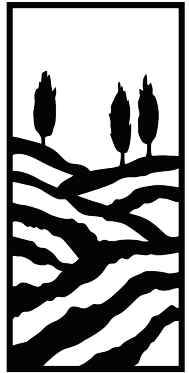


## Residential Lot Backs to Adjacent Park

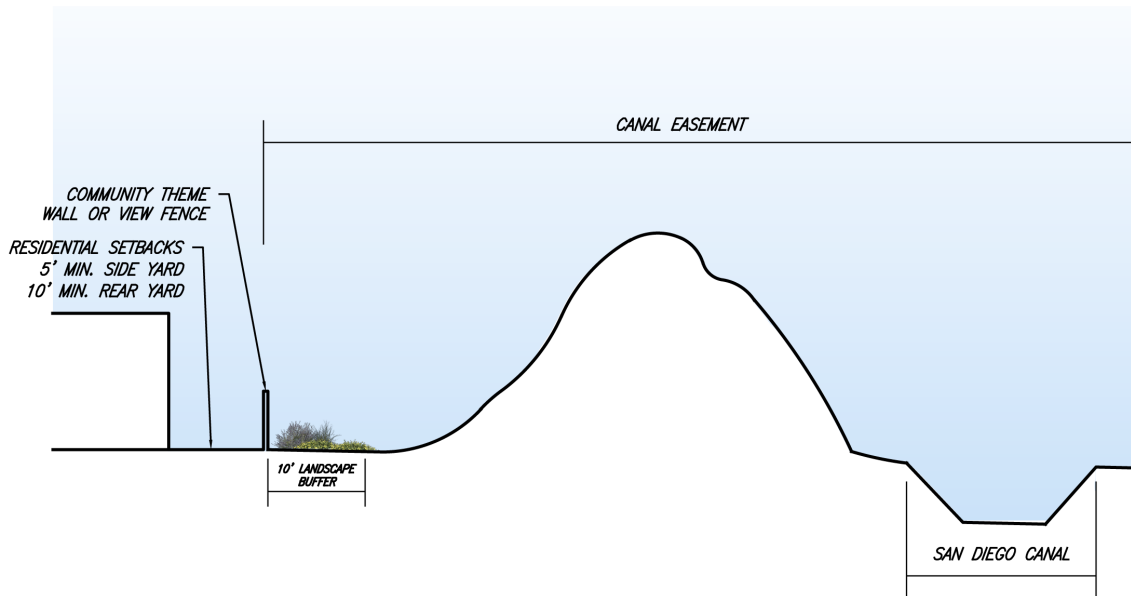


## Residential Lot Facing Park

**Figure 6.0-11 Edge Conditions:  
Residential to Park**

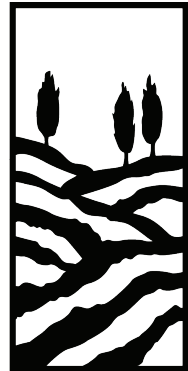


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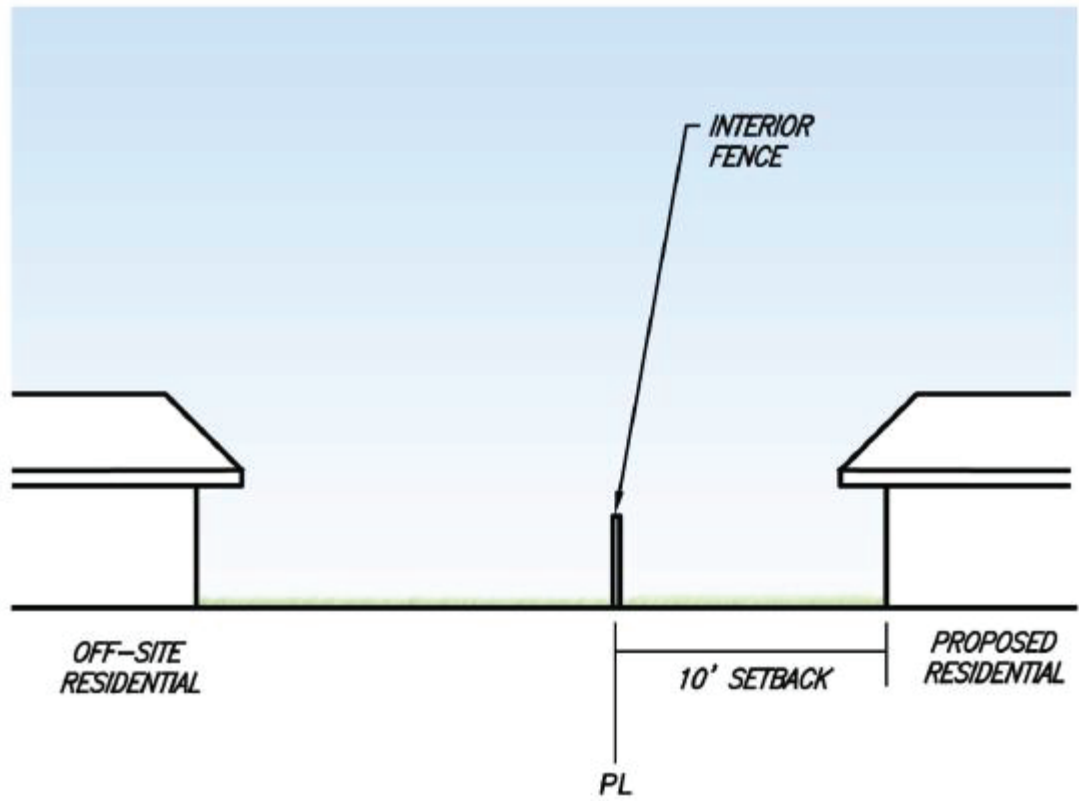


**Figure 6.0-12 Edge Condition:  
Residential to Canal**





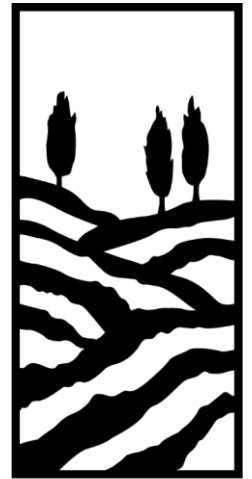
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**Figure 6.0-13 Edge Condition:  
Residential to Off-Site Residential**







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## 6.6 Lighting

Lighting fixtures shall be well integrated into the visual environment and the appropriate architectural theme. Outdoor lighting within Belle Terre will be required to comply with Riverside County Ordinance No. 655 Zone B requirements as the Project is located within 45 miles of the Mt. Palomar Observatory. Ordinance No. 655 requires that projects incorporate “Night Sky” provisions such as lower lighting levels, backlit addresses and street signs, and other indirect lighting methods. This means that within the proposed Project, all Class II lighting (which includes parking lots, walkways, and security) will be fully shielded low-pressure sodium vapor lights (meaning constructed so light rays emitted are projected below the horizontal plane). Class II uses may remain in use throughout the night. Class III (decorative) may be low-pressure, sodium vapor lighting or another type of lighting provided it does not exceed 4050 Lumens; shall be fully shielded and shall not be used between 11:00 pm and sunrise.

### 6.6.1 Street Lighting

Streets within Belle Terre should have uniform lighting standards with regard to style, materials, and colors to ensure consistent design. The major roadways within Belle Terre shall use a consistent lighting style. Locations of street lights should respect street trees and underground utilities and should minimize light overflow into residents’ windows. No light will overflow into conservation areas. All outdoor street lights shall consist of matching poles with extended arms. The fixture will be directed downward to shield light overflow. Streets with medians will use a double arm version that will be centrally placed in the median. Streets without medians will employ a single arm version located within the parkways. Lighting fixtures should be integrated into the surrounding natural and built environment and overall architectural theme of the neighborhood. Examples of these fixtures are provided below.

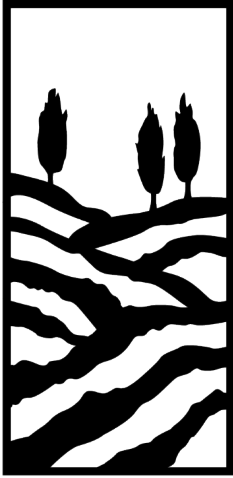


**Holophane Street Lighting**



**Sentury Berkeley Street Lighting**





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### **6.6.2 Neighborhood Lighting**

Illuminated street address and lighting fixtures shall be installed on the front yard side of each dwelling to facilitate the location of the street address numbers for safety and public convenience and to compensate for dark sky lighting considerations. Lighting fixtures should be integrated into the surrounding natural and built environment and overall architectural theme of the neighborhood. Examples of residential lighting fixtures are shown below.

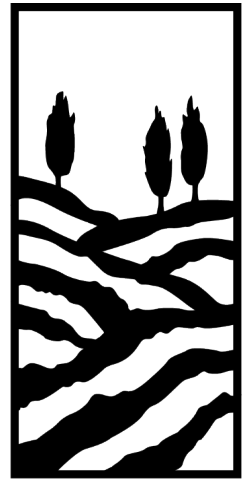


**Residential Neighborhood Lighting**

### 6.6.3 Landscape Lighting

Landscape Accent lighting is used to highlight special landscape features such as monuments, community names/logos, accent trees, rocks, statues, fountains that help create an ambience. It is a critical element from aesthetic perspective as it helps define and provide identity to communities.

Belle Terre has distinctive landscaping for the three districts, Chardonnay, Merlot, and Champagne. Accent lighting could reinforce these themes. Examples are shown below.



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**Accent Lighting**



**Landscape Lighting**

# 7.0 Architectural Guidelines

## 7.1 Purpose and Intent

The purpose of these Design Standards and Guidelines are:

- ✦ To establish thematic and visual elements within the community of Belle Terre;
- ✦ To provide a broad range of architectural home designs that respond to both the local traditions and to the housing market; and
- ✦ To achieve visual diversity with the use of myriad architectural styles blended with appropriate landscaping.

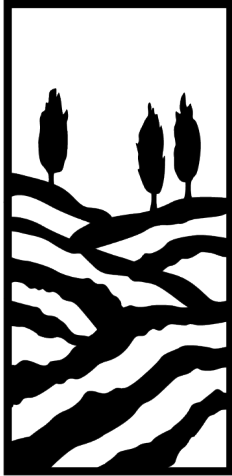
## 7.2 General Architectural Guidelines

This section discusses general attributes that are common to all architectural examples, yet it is the way that they are adapted and modified to suit a particular style that creates a richness of diversity in a master planned community. Accordingly, these Design Guidelines are provided as a resource to those involved in the design and implementation of this Specific Plan, and-illustrative in nature- are meant to be flexible and respond to the changes in taste over time.

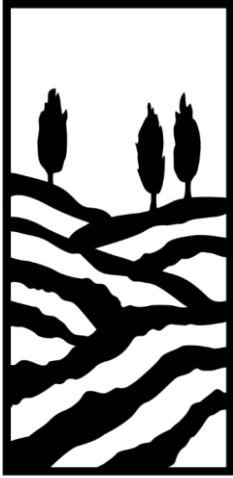
### 7.2.1 Site Planning & Lot Layout

Lot layout is a function of the intended density and street layout. In order to create smaller neighborhoods, Belle Terre is planned with residential planning areas and lotting strategies that could include the following:

- ✦ Provide shorter blocks to provide a mix of plan forms and elevations using a variety of materials;
- ✦ When plotting lots, avoid a predominance of the same home plan form and elevation within a single block;
- ✦ Provide individuality within the neighborhood by varying neighborhood design and increasing diversity and choice in architectural styles;
- ✦ Vary setbacks from house to house so that the street scene is not monotonous;
- ✦ With the exception of patio homes/zero lot line lots and lots with substantial cross slopes, reverse the plot plans so that garages and entries are adjacent to each other to create an undulating sense of setback;
- ✦ Occasionally, lot layouts shall be broken so as not to become overly repetitious or reflect the massing directly across the street; and
- ✦ Provide alternative garage layouts and alternate plan configurations.



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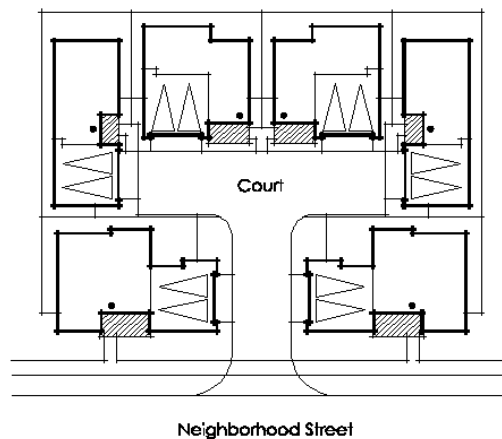


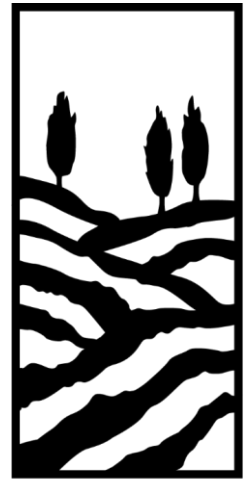
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Housing types for Belle Terre range from traditional single family homes on large to moderate lots, cottages on smaller lots to garden court arrangements of smaller single family detached homes. Lot sizes for Belle Terre could range from 3,000 square feet to one acre. Plan configurations with alternative garage layouts are shown and discussed below. However, to ensure diversity in product types across the entire land use plan, at least 33 percent of the units in the HDR land use category will be clustered. For the purposes of this Specific Plan clustered lots are defined as “homes that share a common interest, shared driveway or greenspace, and are assembled together in groups.” Illustrative lot layouts for clustered homes as well as more traditional homes are shown below.

**Figure 7.0-1, Front Loaded Court Cluster (Option 1)**

- ❖ Suitable for High Density Residential (HDR: 8.1-14 du/ac)
- ❖ Reduce driveway cuts along local neighborhood streets
- ❖ Encourages eyes-on-the-street (a CETAP- Crime Prevention Through Site Planning strategy)

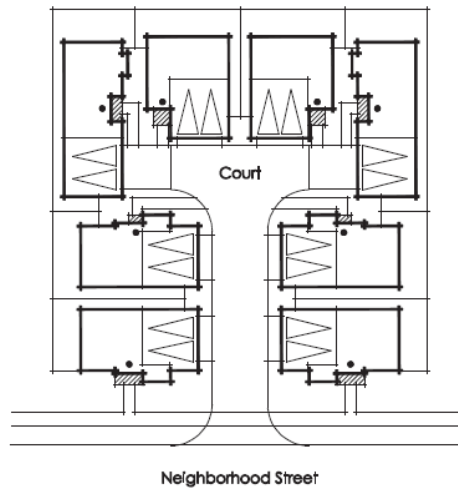




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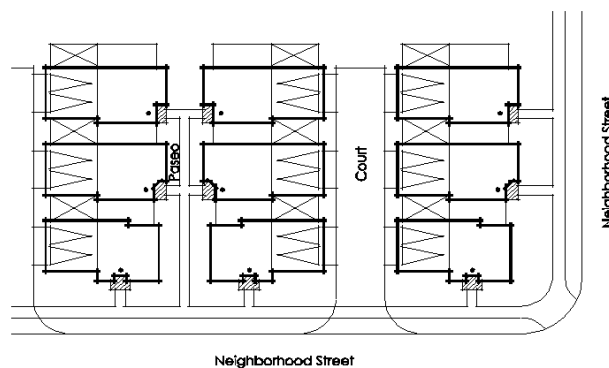
**Figure 7.0-2, Front Loaded Court Cluster (Option 2)**

- ❖ Suitable for High Density Residential (HDR: 8.1-14 du/ac)
- ❖ Reduce driveway cuts along local neighborhood streets to create a safer pedestrian environment
- ❖ Encourages eyes-on-the-street (a CETAP - Crime Prevention Through Site Planning strategy)
- ❖ Provide variety through flood plan design and garage orientations



**Figure 7.0-3, Rear Loaded Paseo Cluster (Option 1)**

- ❖ Suitable for High Density Residential (HDR: 8.1-14 du/ac)
- ❖ Reduces driveway cuts along local neighborhood streets and thereby creates a safer pedestrian environment
- ❖ Uses reciprocal use easements to maximize usable space along sideyards

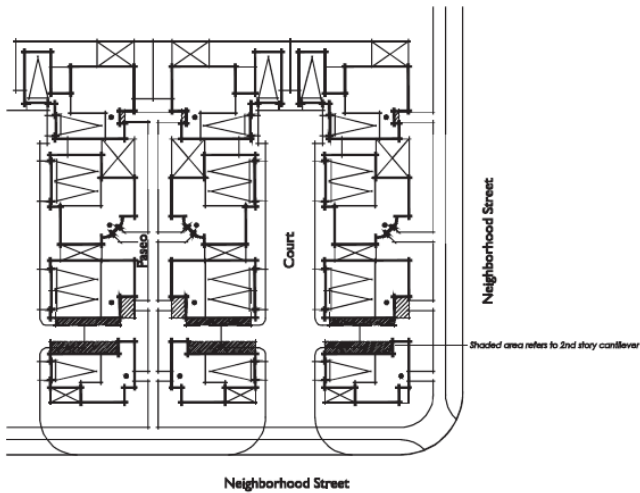




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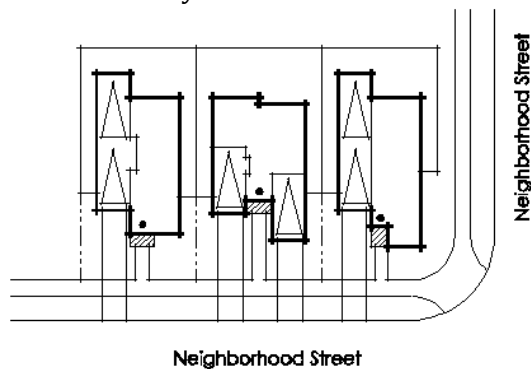
**Figure 7.0-4, Rear Loaded Paseo Cluster (Option 2)**

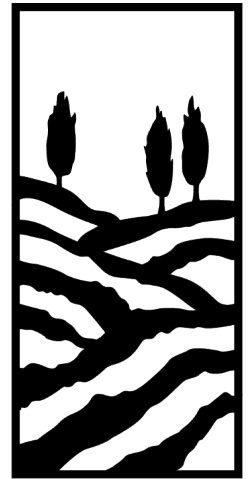
- ✦ Suitable for High Density Residential (HDR: 8.1-14 du/ac)
- ✦ Reduces driveway cuts along local neighborhood streets and thereby creates a safer pedestrian environment
- ✦ Uses reciprocal use easements to maximize usable space along sideyards
- ✦ Encourages eyes-on-the-street (a CETAP - Crime Prevention Through Site Planning strategy)
- ✦ Create articulation in the street scene through front elevation offsets



**Figure 7.0-5, Front Loaded Tandem and Split Garage**

- ✦ Suitable for Medium High (MHDR) to Medium Density Residential (MDR)
- ✦ Reduces garage door visual dominance along the street by tandem and split garage configurations
- ✦ Creates varied articulation through varied front elevations
- ✦ Provides a traditional backyard space to users
- ✦ Allows for a single family detached home with smaller built square footage, ideal for first time home buyers



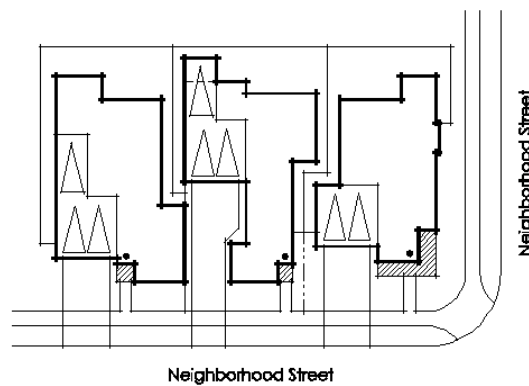


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**Figure 7.0-6, Front Loaded Z-Lots**

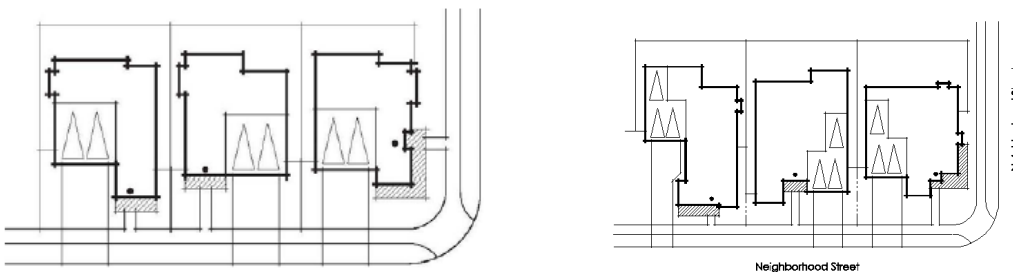
- ✦ Suitable for Medium High (MHDR) to High Density Residential (HDR)
- ✦ Promotes varied garage placements, especially push back garages through the Z-lot configuration
- ✦ Promotes neighbor interaction with front porches forward of garage placements
- ✦ Promotes variety of home floor plans and thereby visual diversity in a neighborhood

Uses reciprocal use easements to maximize usable space along sideyards

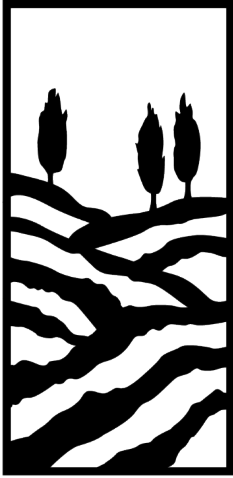


**Figure 7.0-7, Front Loaded Traditional Lots**

- ✦ Suitable for Low Density Residential (LDR), Medium Density (MDR), and Medium High (MHDR)
- ✦ Provides a traditional backyard space to users
- ✦ Promotes neighbor interaction with front porches forward of garage placements
- ✦ Reduces garage door visual dominance along the street by tandem garage configurations



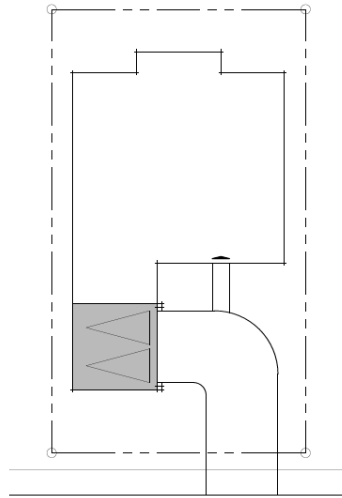




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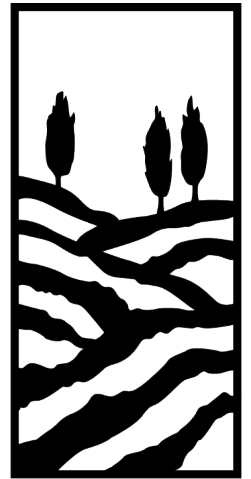
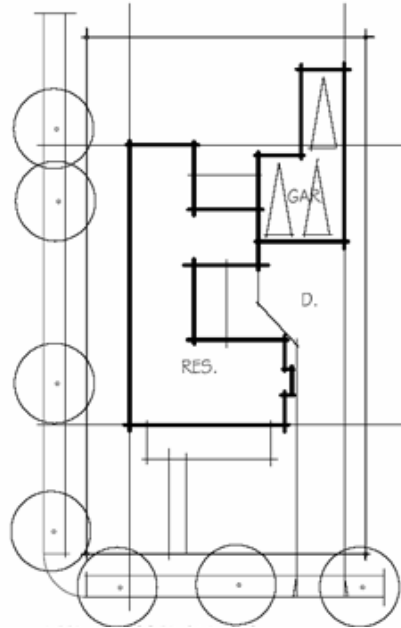
*Figure 7.0-8, Swing in Garage*

- ✦ Suitable for Low Density Residential (LDR), Medium Density Residential (MDR) and Medium High Density Residential (MHDR).
- ✦ Enhances the streetscene and visible edge conditions
- ✦ Reduces garage door visual dominance along the street scene
- ✦ Provides a traditional backyard space
- ✦ Creates articulation in the street scene through front elevation offsets

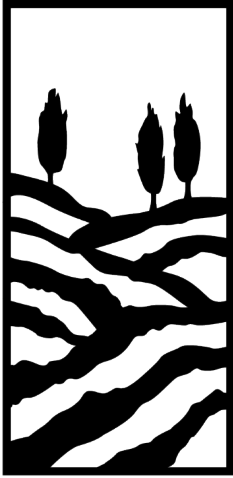


**Figure 7.0-9, Larger Lot with Recessed Garage**

- ✦ Suitable for Low Density Residential (LDR)
- ✦ Home front and porch dominant from street; reduces garage door visual dominance along street by recessed garage placement
- ✦ Provides a traditional backyard space to users
- ✦ Allows for a traditional estate home design



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## 7.2.2 Massing & Scale

Variety in residential housing types and building forms provide diversity and visual interest to the neighborhood street scene. Building massing, scale, and proportions of the elements such as roofs, walls, windows, doors, etc., provide balance and style. Below are requirements intended to achieve this balance.

- ✦ The size and scale of the building shall be proportionate to the size of the lot and the building's setting;
- ✦ Provide variable setbacks to different parts of the dwelling unit to encourage vertical and horizontal massing breaks (vertical and horizontal stagger);
- ✦ Varied garage layouts and floor plan configurations that create more desirable proportions and neighborhood curb appeal;
- ✦ Projections and recesses that provide shadow and depth; and
- ✦ The addition of balconies or porches is highly encouraged to improve the scale and massing of two-story single-family homes.
- ✦ No second story flat planes may be permitted on the side elevation of homes.

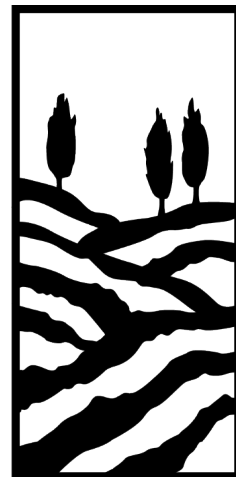
### *Building Articulation*

- ✦ The roof ridgelines, heights, and slopes of the homes shall be appropriate to the intended architectural style;
- ✦ Design elements such as fireplaces and chimneys add interest with added articulation to home designs;
- ✦ On the same street, a variety of one-and two-story home designs will create varied and interesting street elevations for single-family detached homes; and
- ✦ Parts of the two-story homes shall have one-story elements for added variety and interest.

## 7.2.3 Doors and Windows

- ✦ Front entry door designs shall be in accordance with the selected architectural style;
- ✦ Recessed front doorways create stronger appearances;
- ✦ All front entry doors shall be wood, wood and glass, or wood with aluminum cladding to reflect the selected architectural style;
- ✦ Operable French doors or sliding doors shall be of the appropriate size and architectural style. They shall be made of wood or wood with aluminum cladding and glazing;
- ✦ Metal (only) doors may be used for residential mechanical room enclosures;
- ✦ Wood, metal, or composite garage doors shall be consistent with the selected architectural style;
- ✦ Window shapes shall be designed in accordance with the selected architectural style;





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- ✦ Windows shall be suitable to the selected architectural style;
- ✦ Architectural headers over windows shall be proportional to the opening.
- ✦ Energy-efficient and ultraviolet protective glazing is recommended, whereas reflective glazing is not permitted; and
- ✦ Window insect screens are only permitted on the inside of windows and must cover the entire window.

#### **7.2.4 Roofing and Colors**

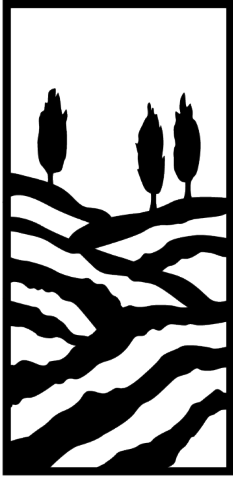
- ✦ Roof configurations shall follow the selected architectural style; and
- ✦ Roof shapes, slopes, and overhangs must be consistent with the building massing and selected style.

#### **7.2.5 Porches, Balconies, Stoops, and Decks**

- ✦ Front porches, balconies, covered terraces, courtyards are key elements used to provide outdoor living spaces;
- ✦ Porches, balconies, and covered terraces shall be authentic to the architectural style of the home;
- ✦ Porches, balconies, and covered terraces shall be in proportion to the scale of the building;
- ✦ Details for the porches and balconies including roofing, brackets, trims, moldings, and posts shall be consistent with the architectural style of the home;
- ✦ Decks and balconies shall be of adequate size to serve as outdoor spaces;
- ✦ Decks and balconies of adjacent homes shall be staggered to protect privacy of neighbors; and
- ✦ Decks and balcony posts, trims, and balustrade railings shall be consistent with the architectural style of the home.

#### **7.2.6 Chimneys and other**

- ✦ Chimneys are encouraged and shall be designed in accordance with the architectural style of the home;
- ✦ The exterior finishes of chimneys shall be appropriate to the architectural style of the building;
- ✦ Consistent with the appearance and style of the building, false chimneys could be used to conceal vents, gas and otherwise; and
- ✦ Chimney terminations shall not expose any spark arrestors or screens. Custom metal hoods are encouraged.



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### 7.2.7 Garages

All home designs shall include varying placements of garages. This encourages visual diversity on a street and minimizes the visual impact of garages. General garage placement guidelines include the following:

- ✦ Varied setbacks from the street are required. Garage door types and colors shall vary with regard to window shapes and styles and door trim details;
- ✦ Garages shall be recessed or projected from the front of the house (excluding porches and balconies) a minimum of two feet;
- ✦ Where garages are adjacent to one another at the common property lines, use a two-foot minimum difference in setbacks.

Garage placements are part of residential architectural designs which are inherently dependent on lot sizes. The illustrations within the Section 7.3.2 – Lot Layout, above show different home lot configurations, garage placements, and treatments.

#### ***Garage Variation on Lots that are less than 5,000 square feet***

To avoid the monotony of single-family neighborhoods that employ the same garage placement, certain neighborhoods within Belle Terre are required to include a variety of garage placements and orientations. Specifically, single-family detached planning areas on lot sizes that are less than 5,000 sq. ft. shall utilize alternative garage orientation and placement on 50 percent of the units. Standard garage placement in detached products is a front-loaded garage set back 15 feet from the front property line (**Figure 7.0-8**, above). The following are potential alternative garage placements:

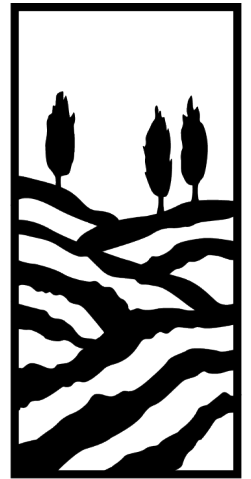
- ✦ Courtyards or driveways providing multiple unit access (i.e. “cluster”; see **Figures 7.0-2** through **7.0-5**, above);
- ✦ Rear-loaded garages off a court or alley with a 3’ drive apron (**Figure 7.0-4** above);
- ✦ Split garages (**Figure 7.0-6**, above);
- ✦ Straight-in garages in rear two-thirds of the lot (**Figure 7.0-7**, above); and
- ✦ Side entry or swing-in garages (**Figure 7.0-9**, above).



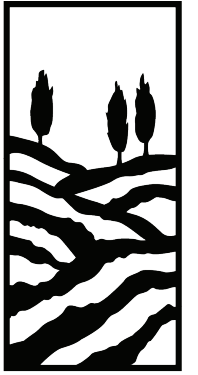
With an awareness of the contemporary market and the targeted market segment in mind, the developer may also incorporate a variety of garage door treatments as reflected in **Figure 7.0-10, Garage Door Treatments**, to minimize the impact of front-loaded garages in order to partially satisfy the 50 percent requirement described above. Depending upon lot size, this can be accomplished through a variety of methods including:

- ✦ Garage door surrounds that are articulated with trim, enhanced materials, vine pockets, trellises and/or cable trellises;
- ✦ Garage door designs that include recessed doors, decorative panels, and colors and windows that are appropriate to the architectural style;
- ✦ Recessed garages; and
- ✦ Layering of landscape and landscape elements in front of the home that minimize the impact of the garage door.

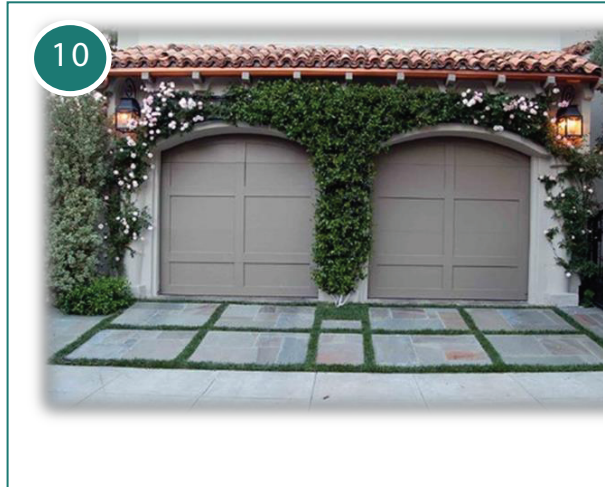
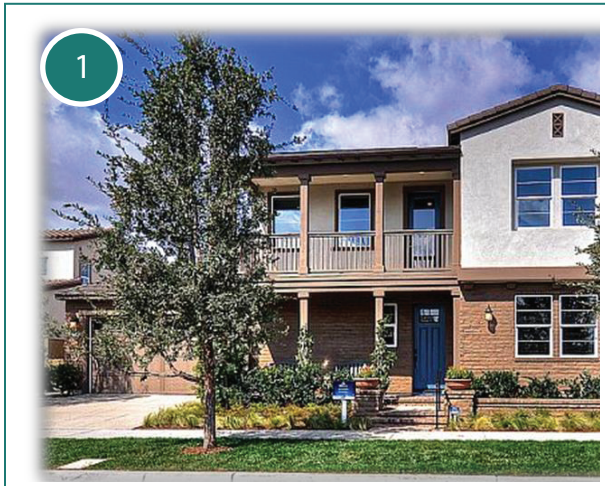
The garage door treatments listed above may be counted towards the percent requirement, but they may not be used to satisfy the requirement alone; they must be used in combination with the alternative placement requirements.



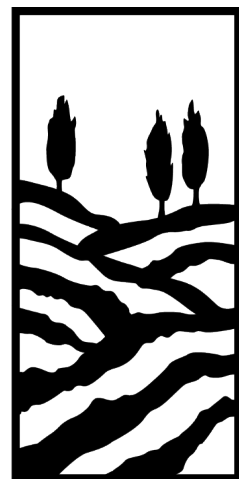
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- Figure 7.0-10 Garage Door Treatments**
1. Layering of Landscape
  2. Recessed Garage Door & Trellis
  3. Decorative Panel & Garage Window
  4. Vine Pocket
  5. Decorative Panel
  6. Vine Pocket, Trellis, Decorative Panel, & Garage Windows
  7. Layered Landscape & Decorative Garage Trim
  8. Vine
  9. Garage Trim & Garage Window
  10. Vine
  11. Garage Trim & Decorative Panel
  12. Layered Landscaping



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## 7.3 Street Network

Streets form the network for access and interconnectivity between individual homes to neighborhoods, neighborhoods to each other, and to the region. An interconnected local street network within residential planning areas shall be designed with the following criteria:

- ✦ Provides a network with multiple and parallel routes;
- ✦ Is simple, with way finding landmarks;
- ✦ Is connected to the closest collector street/s;
- ✦ Provide the shortest and most direct path to destinations; and
- ✦ Encourages security through access and visibility.

Since all streets within Belle Terre are designed with sidewalks and Class II Bike Lanes on collector streets, they provide connectivity for pedestrians, bikers, and joggers.

## 7.4 Specific Architectural Design Guidelines

Belle Terre proposes a unique approach to specific architectural guidelines. These Architectural Design Guidelines propose a “family of architectural styles” in a “menu” format. This approach encourages design applications across various lot sizes (residential densities) and ensures visual diversity. This approach responds to existing local home styles, and architectural styles within the surrounding adopted and on-going specific plans, while providing a broad range of architectural styles for merchant builders to implement. The four distinct families of architectural styles for Belle Terre residences include:

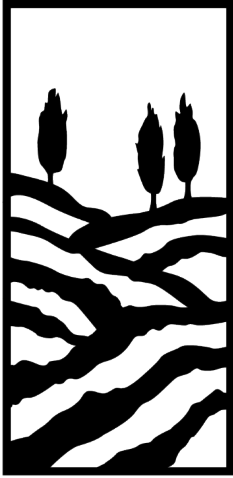
- ✦ French Country
- ✦ Spanish California
- ✦ California Craftsman
- ✦ American Traditional

Within each of these distinct architectural families are several sub-styles that respond to existing local home styles, and architectural styles within surrounding adopted and on-going specific plans, providing a broad range of architectural styles for merchant builders to implement, ensuring a visually diverse community.

The following guidelines will provide a summary description for each architectural style. As an example, the summary description of the French Country is supplemented with an elevation rendering. Specific attributes of roofs, windows, doors, materials, and colors that lend to the style is also included in an easy to reference tabular format.







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### 7.4.1 French Country



The French Country style was developed in the 1920s, and was based on the late-Victorian English or Tudor designs derived from rural, vernacular cottages, mixed with medieval design elements. The French Country style features an elongated hip roof with a central dormer window. The front porch is emphasized with thick porch posts/columns or rounded Doric columns that support the porch roof. Building materials may be masonry or wood frame. Ornamentation is generally limited to window surrounds and flare eaves on the former.

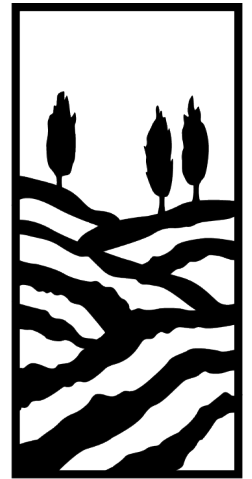
French Country uses indigenous materials such as stone and heavy timber in weathered sienna tones, some use of plaster, high-pitched roofs with flat tiles, and tall narrow window openings with extensive use of shutters. The windows are occasionally rounded at the top, and shutters echo the shape of the windows. Colors are normally earth tones with vibrant accents. Ornate dormers and turrets are also used to enhance this style. Specific elements of the French Country architectural style are discussed in **Table D-1-E** below and graphically shown in the elevation below.

**Figure 7.0-11, French Country Elevation**

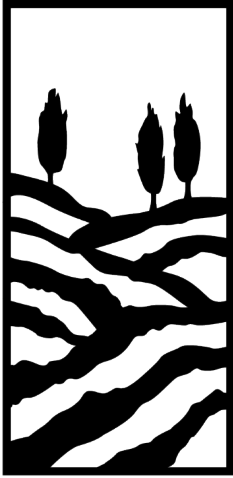


**Table 7.0-A, French Country Architectural Style Elements**

<b>Elements</b>	<b>Minimum Standards</b>	<b>Encouraged Enhancements</b>
Building Massing	<ul style="list-style-type: none"> <li>• Single story cottage, occasional two story</li> </ul>	
Roofs  <p style="text-align: center; font-size: small;">Broken Roof Pitch</p>	<ol style="list-style-type: none"> <li>1 Steeply pitched roofs</li> <li>2 Flat concrete tiles</li> </ol>	<ul style="list-style-type: none"> <li>• Steeper cross gable secondary roof pitch</li> <li>• Broken roof pitch on front elevation</li> </ul>
Chimneys (if used)	<ul style="list-style-type: none"> <li>• Design compatible with style</li> </ul>	
Walls	<ol style="list-style-type: none"> <li>3 All stucco solutions are acceptable</li> </ol>	<ol style="list-style-type: none"> <li>4 Veneers of brick, stone or combination thereof</li> <li>• Flattened point arches</li> </ol>
Windows  <p style="text-align: center; font-size: small;">Enhanced Sill</p>	<ol style="list-style-type: none"> <li>5 Windows with grids on elevations with prominent to moderate visibility</li> <li>6 Vertically proportioned windows in multiple patterns</li> </ol>	<ul style="list-style-type: none"> <li>• Curved or round top accent windows</li> <li>7 Enhanced sills</li> <li>8 Recessed windows</li> </ul>
Doors	<ol style="list-style-type: none"> <li>9 Arched front doorways and porch entries, recessed entries</li> </ol>	
Details	<ol style="list-style-type: none"> <li>10 Shutters on primary single windows</li> </ol>	<ul style="list-style-type: none"> <li>• Entry accents with real or simulated stone</li> <li>• Decorative fascia boards</li> <li>• French doors</li> <li>• Courtyards</li> </ul>
Colors	<ol style="list-style-type: none"> <li>11 Earth tone or pale colors (off-white, cream, pale yellows and blues)</li> </ol>	



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### 7.4.2 Spanish California

The Spanish California style evolved in California as an adaptation of Mission Revival influences, infused with additional eclectic elements and details from Latin America and Spain. From formal adaptations to informal solutions, this style remains one of the most recognizable. This architectural style lends itself well to the temperate California climate. Homes built in this architectural style range from large estate homes on large lots to smaller starter homes on medium to smaller lots.

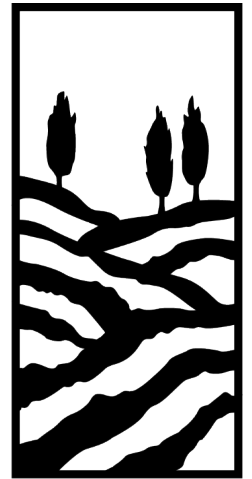
Identifying features are low pitched, tiled roofs, usually with little or no eave overhang. Due to indoor-outdoor lifestyles, homes typically include multiple external doors, with principal windows defining various room volumes and more than one roofed porch or balcony. Wall surfaces are always stucco and plan forms are usually asymmetrical. Premium examples include inner courtyards, arched openings and wrought ironwork. Heavy wooden doors and fountains are also common design features. Specific elements of the Spanish California architectural style are shown graphically in **Figure 7.0-12, Spanish California Elevation** and are discussed in **Table 7.0-A, Spanish California Architectural Style Elements**, below.

**Figure 7.0-12, Spanish California Elevation**

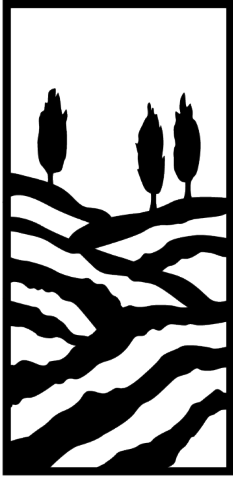


**Table 7.0-B, Spanish California Architectural Style Elements**

<b>Elements</b>	<b>Minimum Standards</b>	<b>Encouraged Enhancements</b>
Building Massing	<ul style="list-style-type: none"> <li>• One or two story</li> </ul>	
Roofs	<ul style="list-style-type: none"> <li>① Any combination of hip or gabled roofs</li> <li>② Low pitched roof with little or no rake overhang</li> <li>③ Little or no eave overhang</li> <li>• S -shape concrete tiles</li> </ul>	<ul style="list-style-type: none"> <li>• Shaped rafter tails at feature areas</li> <li>④ Barrel or mission style concrete or clay tiles</li> </ul>
Chimneys (if used)	<ul style="list-style-type: none"> <li>⑤ Design compatible with style</li> </ul>	
Walls	<ul style="list-style-type: none"> <li>⑥ Stucco</li> </ul>	
Windows	<ul style="list-style-type: none"> <li>⑦ Feature window on front elevation</li> <li>⑧ Head and sill trim at windows</li> <li>⑨ Recessed windows</li> </ul>	<ul style="list-style-type: none"> <li>• Single or grouped round top windows</li> <li>• Triple-arched or parabolic shaped window</li> </ul>
Doors	<ul style="list-style-type: none"> <li>⑩ Heavy wood panels, sometimes arched</li> </ul>	<ul style="list-style-type: none"> <li>• Adjacent spiral columns, pilasters, stonewalk, or patterned tiles</li> </ul>
Details	<ul style="list-style-type: none"> <li>⑪ Thick walls with recessed openings often featuring arches</li> <li>⑫ Pipe vents or other gable treatment</li> <li>⑬ Round top arch elements</li> <li>⑭ Shutters on primary single windows</li> </ul>	<ul style="list-style-type: none"> <li>• Cantilevered balconies, stucco, brick or tile decorative vents</li> <li>• Front courtyards or enclosed patios</li> <li>• Wrought iron accent detail</li> </ul>
Colors	<ul style="list-style-type: none"> <li>⑮ White, cream or earth tone paint</li> </ul>	



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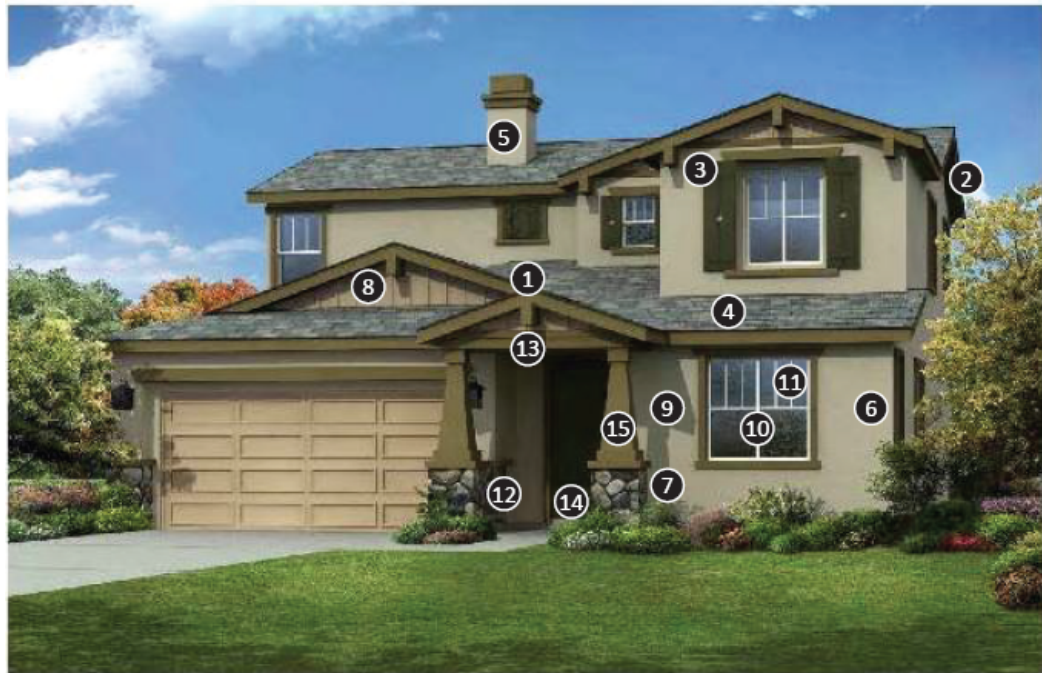
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### 7.4.3 California Craftsman

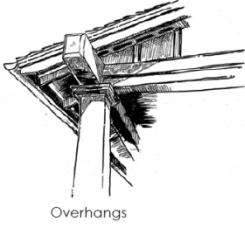
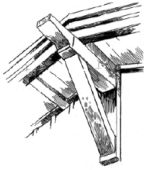
The California Craftsman style was strongly influenced by the English Arts and Crafts movement. It is truly an American style which originated in Southern California, and spread across the country during the 1920's and '30's through pattern books and catalogues. Craftsman architecture sought the elimination of superfluous ornamentation, creating beauty through the simplified lines and masses of the building itself.

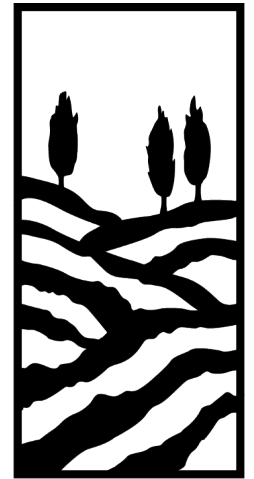
Craftsman style of architecture results in natural, warm, livable buildings characterized by horizontal forms and simple shapes. This style generally uses natural materials, such as redwood, tile and stone, and earth colors. Roofs are gently pitched gables (occasionally hipped) with wide, unenclosed eave overhangs. Exposed, extended, or elaborated roof rafters may also be used. Dormers are usually gabled or shed. Porches may be used, either full or partial-width, with the roof supported by square columns. These may contain decorative beams or braces under gables. Extra stick work may be used in gables or porches. When columns or pedestals are used, they frequently extend to the ground level (without a break at the porch level). Stone exterior chimneys may be found. Windows are often of the transom window type. Triangular braced supports may be utilized for the eaves. Window boxes and balconies may also be found. Specific elements of the Spanish California architectural style are shown graphically in **Figure 7.0-13, California Craftsman Elevation** and are discussed in **Table 7.0-B, California Craftsman Architectural Style Elements**, below.

**Figure 7.0-13, California Craftsman Elevation**

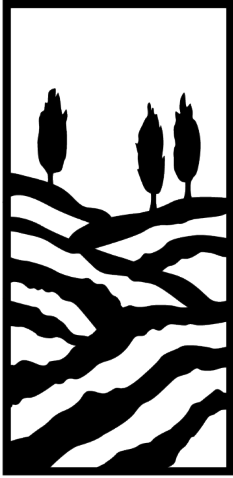


**Table 7.0-C, California Craftsman Architectural Style Elements**

Elements	Minimum Standards	Encouraged Enhancements
Building Massing	<ul style="list-style-type: none"> <li>• One, and one-half story building massing</li> </ul>	
Roofs  <p>Overhangs</p>	<ol style="list-style-type: none"> <li>1 Low pitched, front gabled roof with wider overhangs and flat roof tile; high pitched roofs acceptable on single-story homes</li> <li>2 Cross-gables, side gables and hipped roofs also appropriate</li> <li>3 Decorative beams and braces under gables</li> <li>4 Flat concrete tiles</li> </ol>	<ul style="list-style-type: none"> <li>• Gable or shed dormers</li> <li>• 18” to 36” eave overhang</li> <li>• Exposed rafter tails</li> </ul>
Chimneys (if used)	<ol style="list-style-type: none"> <li>5 Design compatible with style</li> </ol>	
Walls	<ol style="list-style-type: none"> <li>6 All stucco solutions are acceptable</li> </ol>	<ol style="list-style-type: none"> <li>7 River rock base accents on walls and or porch</li> <li>8 Vertical or horizontal siding accents</li> </ol>
Windows	<ol style="list-style-type: none"> <li>9 Expressive window and door trims</li> <li>10 Window grids on elevations with prominent and moderate visibility</li> </ol>	<ol style="list-style-type: none"> <li>11 Ribbon windows, generally in groupings of three</li> </ol>
Doors		<ol style="list-style-type: none"> <li>12 Adjacent spiral columns, pilasters, stonewalk, or patterned tiles</li> </ol>
Details  <p>Outlookers</p>	<ol style="list-style-type: none"> <li>13 Outlookers at front gable</li> <li>14 Entry porches with heavy square columns or posts on stone base</li> </ol>	<ol style="list-style-type: none"> <li>15 Tapered or double wood post columns</li> </ol>
Colors	<ol style="list-style-type: none"> <li>16 Earth tone paint</li> </ol>	



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#### 7.4.4 American Traditional

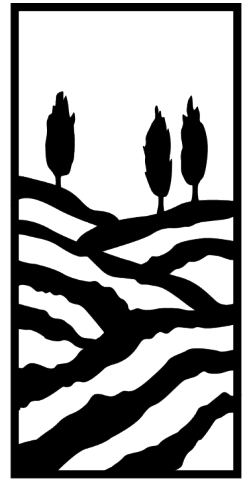
The American Traditional is a style that acknowledges the Cape Cod and Colonial styles originating primarily from the New England states and evolving as it spread westward. The Colonial Revival features of white-painted columns, clapboards, and shuttered windows are combined with the less symmetrical, unpretentious massing and functional forms of the Cape Cod and Farmhouse. Combined one-story and two story massing is characteristic of this style. Windows are mostly vertical in their proportions and are often accompanied by shutters. Dormer windows are common. The homes may have stucco exterior walls or lap siding may be used as a full wrap or on the front elevations; side and rear elevations may be enhanced with board and batten siding accents on gable ends. Specific elements of the Spanish California architectural style are shown graphically in **Figure 7.0-14, American Traditional Elevation** and are discussed in **Table 7.0-C, American Traditional Architectural Style Elements**, below.

**Figure 7.0-14, American Traditional Elevation**



**Table 7.0-D, American Traditional Architectural Style Elements**

<b>Elements</b>	<b>Minimum Standards</b>	<b>Encouraged Enhancements</b>
Building Massing	<ul style="list-style-type: none"> <li>• Combined one or two story mass</li> </ul>	
Roofs	<ol style="list-style-type: none"> <li>1 Roofs can be hipped or/ or gabled with steeper pitches</li> <li>3 Flat concrete tiles</li> </ol>	<ol style="list-style-type: none"> <li>2 Steeper cross gable secondary roof pitch</li> </ol> <ul style="list-style-type: none"> <li>• Shed or pitched roof dormers</li> </ul>
Chimneys (if used)	<ol style="list-style-type: none"> <li>4 Design compatible with style</li> </ol>	
Walls	<ol style="list-style-type: none"> <li>5 All stucco solutions are acceptable</li> <li>7 Horizontal siding accents on elevations with prominent visibility</li> </ol>	<ol style="list-style-type: none"> <li>6 Horizontal siding accents on elevations with moderate visibility</li> <li>8 Brick or stone application at base</li> </ol>
Windows	<ol style="list-style-type: none"> <li>9 Windows with grids on elevations with prominent to moderate visibility</li> </ol>	<ul style="list-style-type: none"> <li>• Pedimented windows</li> <li>• Shutters on primary single windows</li> </ul>
Doors	<ol style="list-style-type: none"> <li>10 Symmetry to doors and windows on front facade</li> </ol>	
Details  <small>Pedimented Entry</small>	<ol style="list-style-type: none"> <li>11 Useable front porch with square columns and simple railing</li> </ol>	<ul style="list-style-type: none"> <li>• Simplified cornice return at gable ends</li> </ul> <ol style="list-style-type: none"> <li>12 Pedimented entry</li> </ol> <ul style="list-style-type: none"> <li>• Bay windows</li> <li>• Louvered gable vents</li> </ul>
Colors	<ol style="list-style-type: none"> <li>13 White or earth tone paint</li> </ol>	



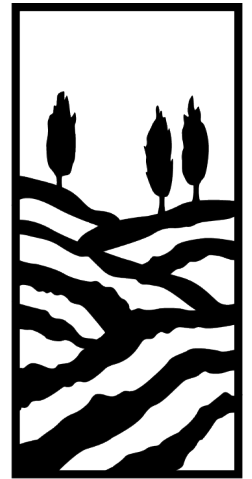
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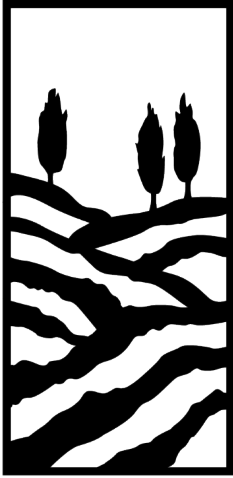
# 8.0 Glossary

The following vocabulary terms are utilized within this document:

<b>Term</b>	<b>Definition</b>
Belle Terre	The Belle Terre Specific Plan No. 382.
County	Riverside County
Dwelling Unit (DU)	One or more habitable rooms (including living, sleeping and sanitary facilities and no more than one kitchen) which are intended or designed for occupancy by a single household.
Easement	The granting of one or more property rights by the property owner for use by the public a corporation or another person or entity.
Elevation	An external building façade, as in front, side or rear elevations. In the case of single-family dwellings these correspond with the relationship of the building to the property line of the lot.
High Density Residential	Single-family detached residences with a density range of 8.0 to 14.0 dwelling units per acre.
Home	A for sale product
Home Owners Association (HOA)	An organization formed to manage property for more than one owner
Land Use Plan	The Belle Terre Land Use Plan (as shown in Figure 4.1-1).
Medium Density Residential (MDR)	Single-family detached residences with a density range of 2.0 to 5.0 dwelling units per acre.
Medium High Density Residential	Single-family detached residences with a density range of 5.0 to 8.0 dwelling units per acre.
Neighborhood Parks	Parks that include tot lots, free play, and flex play area. Generally serves residents within a two block area. They also play an important role in creating individual neighborhood identity and “place making”.
Northeast Belle Terre	The northeast portion of Belle Terre.
Northwest Belle Terre	The northwest portion of Belle Terre.



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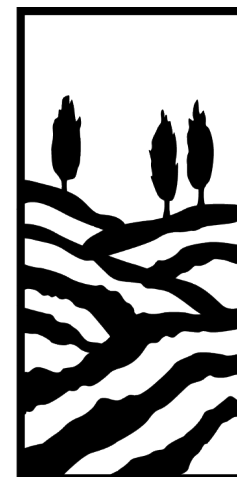
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<b>Term</b>	<b>Definition</b>
Open Space	Land designated by Riverside County as Open Space.
Planning Area	A designated area made up of multiple parcels.
Project	The Belle Terre Specific Plan No. 382.
Project Area	The Belle Terre site and the immediately surrounding land uses to the north, south, east and west.
Sidewalk	Public walkway within the public right-of-way.
Single-Family Detached	A residential product type.
Site	The Belle Terre Specific Plan Project site (as shown in Figure 4.1-1).
Southeast Belle Terre	The southeast portion of Belle Terre.
Specific Plan	The Belle Terre Specific Plan.
Streetscape	The visual image one perceives looking down the front facing street of a neighborhood including homes, sidewalks, streets and landscape.
Trail	A designated corridor that provides recreational, aesthetic alternate transportation, or educational opportunities.

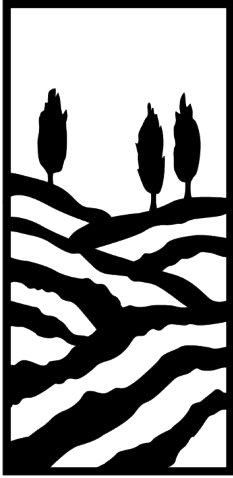
# 9.0 Acronyms

The following acronyms and abbreviations are utilized within this document:

Acronym/Abbreviation	Definition
A-1-10	Light Agriculture-10 Acre Minimum
A-1-5	Light Agriculture-5 Acre Minimum
ADD	Average Day Demand
ADF	Average Daily Wastewater Flow
BMPs	Best Management Practices
CFL	Compact Fluorescent
CFS	Cubic Feet
CSA	County Service Area
CSD	County Service District
DBESP	Determination of Biologically Equivalent or Superior Preservation Analysis
DIF	Development Impact Fee
EMWD	Eastern Municipal Water District
ET	EvapoTranspiration
Gas Company	Southern California Gas Company
HANS	Habitat Evaluation and Acquisition Negotiations Strategy
HCOC	Hydrological Conditions of Concern
HOA	Home Owners Associations
HUSD	Hemet Unified School District
HWL	High Water Level
LEO	Light Emitting Diode
LID	Low Impact Development
MDR	Medium Density Residential
MSHCP	Multiple Species Habitat Conservation Plan
MWD	Metropolitan Water District
MWD	Metropolitan Water District of Southern California
NPDES	National Pollution Discharge Elimination System
OS-C	Open Space-Conservation
OS-CH	Open Space Conservation Habitat
PSI	Pounds Per Square Inch
R-A-2 ½	Residential Agriculture- 2 ½ Acre Minimum



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<b>Acronym/Abbreviation</b>	<b>Definition</b>
RCB	Reinforced Concrete Box
RCFCWCD	Riverside County Flood Control & Water Conservation District
RCTD	Riverside County Transportation Department
REMAP	Riverside Extended Mountain Area Plan
RM	Rural Mountainous
RR	Rural Residential
SP 286	Winchester 1800 Specific Plan
SP 310	Domenigoni-Barton Specific Plan
SP 380	The Keller Crossing Specific Plan
SWAP	Southwest Area Plan
TVRWRF	Temecula Valley Regional Water Reclamation Facilities
TVUSD	Temecula Valley Unified School District
UWIG	Urban Wildlands Interface Guidelines
VOC	Volatile Organic Compounds
WQMP	Water Quality Management Plan