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Curbed median may be installed where required by circulation plan.

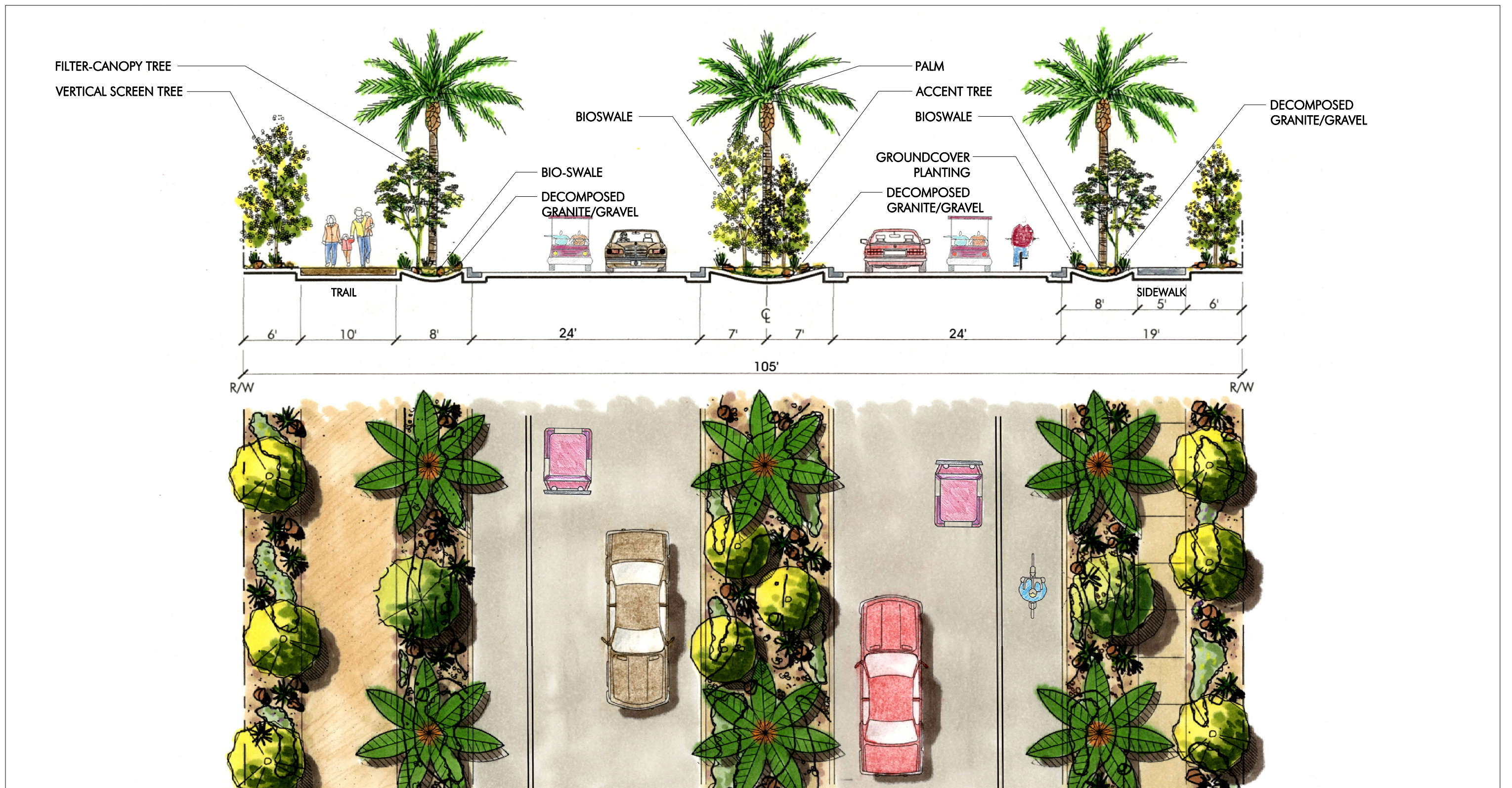
Travertine Point Specific Plan

SP375 Exhibit 3-25
Village Way Section

3. SPECIFIC PLAN LAND USE PLAN

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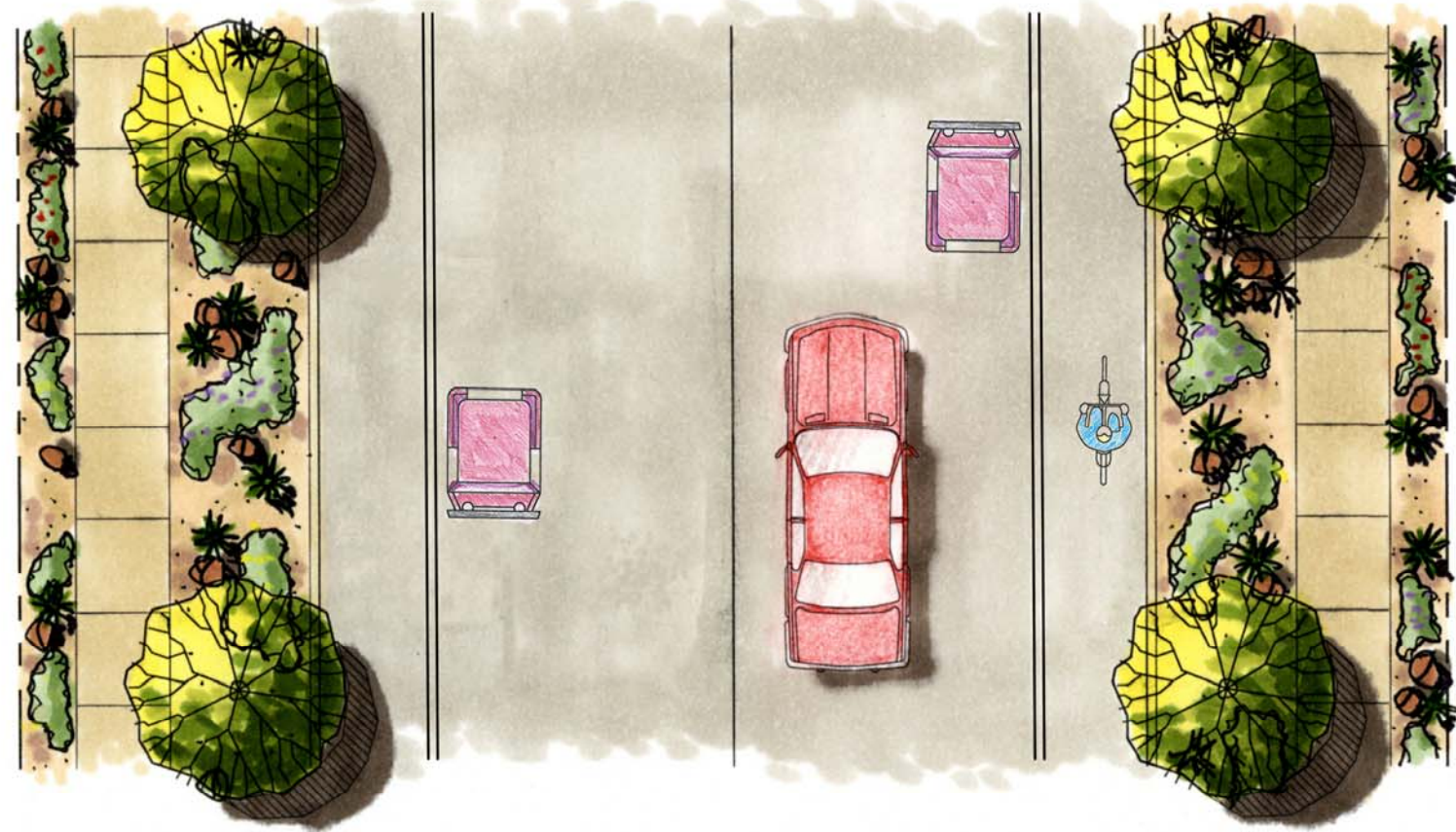
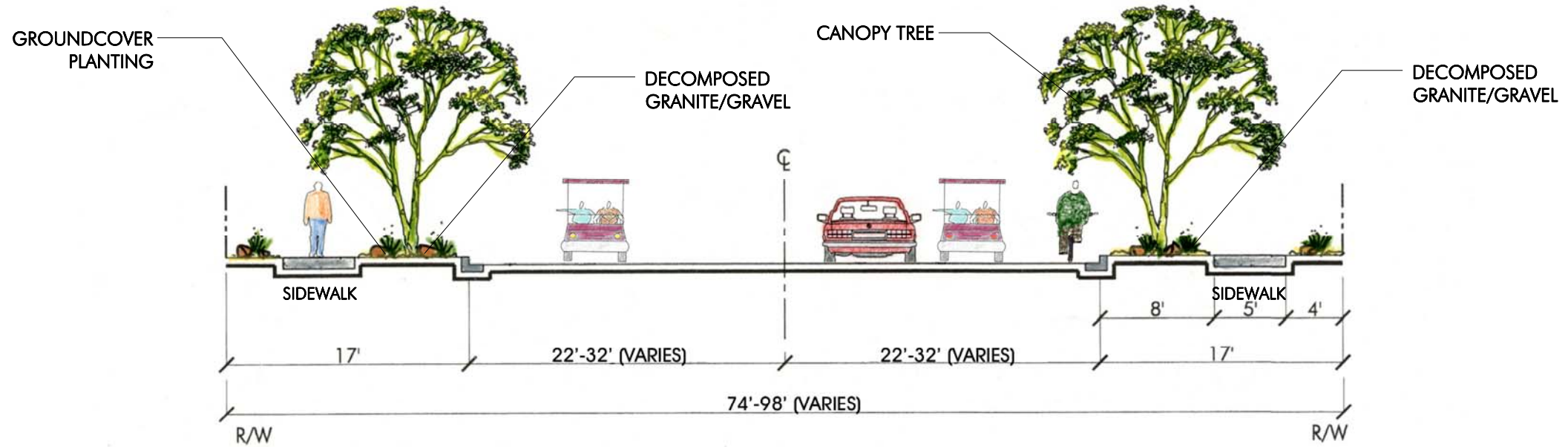


Travertine Point Specific Plan

SP375 Exhibit 3-26
Bayside Way Section

3. SPECIFIC PLAN LAND USE PLAN

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Curbed median may be installed where required by circulation plan.

Travertine Point Specific Plan

SP375 Exhibit 3-27
Paseo Street Section

3. SPECIFIC PLAN LAND USE PLAN

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3.10.3 Monumentation Guidelines

A hierarchy of entry treatments has been established for Travertine Point. Suggested locations of these entries are depicted on Exhibit 3-28, Monumentation Plan, and examples are illustrated in Exhibit 3-29, Monumentation Images. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans. Entry treatments include the Community Monumentation, District Monumentation and Vertical Landmarks, Residential Monumentation, Commercial Entry Monumentation, Special Monumentation, Tribal Monumentation, and Resort Monumentation. All monuments shall represent the community or development design theme. They should inform the viewer, through written and symbolic graphics, that they are entering the Travertine Point planned community and/or a specific District area. The four themes respond to the heritage of the site and surrounding region, namely the cultural history of the Torres Martinez, the alluvial fan geomorphology, the role of agriculture, and the dynamic history of the Salton Sea.



Entry Monumentation Treatments

1. **General Monumentation Guidelines**

- a. Design of signage and monumentation shall be coordinated with the District’s project theme, street landscape, and street furniture.
- b. Monumentation in District 1, the Upland Zone will employ materials and a logo that reflects the alluvial fan nature of much of Travertine Point. This district is themed with “park” features and will utilize areas for sitting and outdoor furniture, provide landmarks including vertical tree stands, cultural preserve park, and multi-use greenbelts.
- c. Monumentation in District 2, the Foothill Zone will reflect the cultural heritage of the Torres Martinez Desert Cahuilla Indians in its logo and design elements. This district is themed to define a “resort” lifestyle and mixed use recreation facilities with visible elements such as palms along the highway, vertical architecture at gathering places and enriched way finding monumentation.
- d. Monumentation in District 3, the Riparian Zone will honor the agricultural heritage of the valley in its logo and design elements. This district is themed with an “Audubon” character, featuring wildlife and riparian elements and accents. The landscape community along the highway suggests a strong natural quality and buffer.
- e. Monumentation in District 4, the Lakeshore Zone will pay tribute to the past history and promising future of the Salton Sea in its logo and design elements. This district is themed with elements related to the Salton Sea and aquatic recreational opportunities. The perimeter landscape community and way finding monumentation will suggest the presence and access to the sea and its’ natural resources.
- f. Monuments shall be compatible with the design theme of the Travertine Point Specific Plan area and the architecture of the area they identify.



District Signage and Landscape

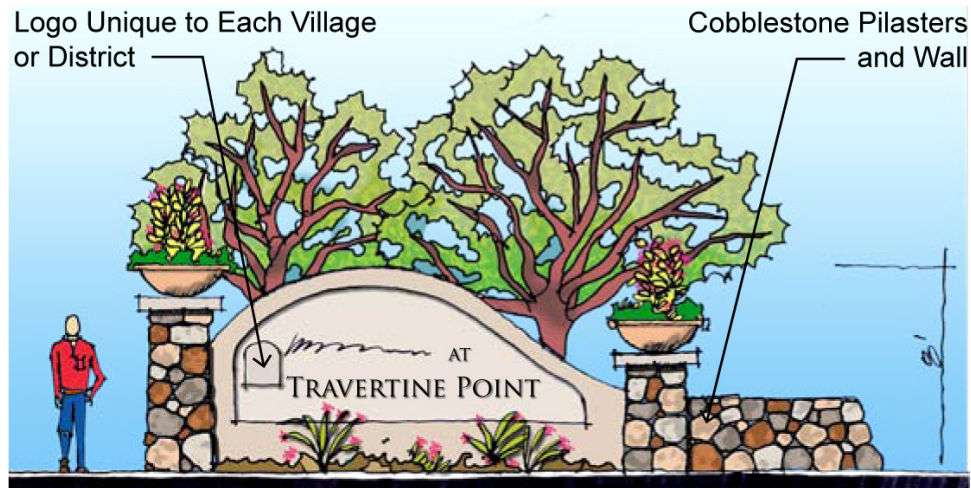
3. SPECIFIC PLAN LAND USE PLAN

- g. Monumentation should inform the viewer, through written and symbolic graphics, that the planned community or development is being entered.
- h. Entry monuments shall establish the community or development design theme. Logo, logotype, and color schemes should be consistent throughout the area being identified.
- i. Entry monuments may be illuminated externally if they are consistent with the Travertine Point Specific Plan design theme; glare is controlled and lighting sources concealed.

2. Community and District Monumentation

The Community Monumentation is specifically located along Highway 86S. The Community Monuments should be considered as “Community icon features” and shall be compatible with the design theme of the Travertine Specific Plan. These should be constructed to a vehicular scale so that it is noticeable from a distance. The District entries are the major portals to Travertine Point and should provide the strongest entry statement. These are located at various intersections as illustrated in Exhibit 3-28, Monumentation Plan. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans.

- a. Entry treatments shall establish identification and a sense of arrival at prominent points throughout the community.
- b. Materials should be derived from designated architectural finishes and may include brick and/or stone, precast concrete, stucco and ornamental iron.
- c. Vandal-resistant subtle lighting shall be provided to accentuate entry signage and landscaping.
- d. Community and District entries may be established where Travertine Point directly interfaces with adjacent developments, and where major entry impacts are desired.
- e. Community entry monuments may have a maximum height of twenty (20) feet, and occupy ground area of 250 – 350 square feet, including landscaping.
- f. District entry monuments shall be a minimum height of eight (8) feet, but may have a maximum height of twelve (12) feet. District entries shall occupy ground area of at least 200 square feet, including landscaping.



DISTRICT ENTRY MONUMENTATION

3. Neighborhood Monumentation

Neighborhood monuments are smaller in size and should be constructed to a pedestrian scale. Heights should be planned to range from 4 to 6 feet and length should be compatible with the space provided. These types of signs will be designed and installed by the Master Developer for individual builders for product identification as well as wayfinding information as applicable; neighborhood monuments should define the neighborhood and reflect the overall community image. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans.

Neighborhood entries shall be less prominent in scale than the community entries, but will utilize similar or compatible materials and accent lighting.



Neighborhood Monumentation

- a. Neighborhood entry monuments are located at various points along the major collector roads.
- b. Neighborhood entry monuments may be established where entry impacts that are secondary in scale to the Community entries are desired. These are likely to occur at the internal intersections of the project's major backbone roads.
- c. Neighborhood entry monuments may be established where entry impacts into the individual neighborhoods are desired. These are likely to occur at internal intersections of the project's major or secondary backbone roads.

4. Residential Monumentation

Residential monumentation may be established by individual builders where entry impacts into the individual residential developments. These are likely to occur at internal intersections of the project's major or secondary roads.

- a. Residential entries shall be less prominent in scale than the Community and Neighborhood entries, but will utilize similar or compatible materials and accent lighting.
- b. Residential developments that include internal trails, or that are adjacent to community wide trails system shall include trailhead wayfinding information.

5. Commercial Entry Monumentation

These are welcoming entries to individual commercial areas within Travertine Point. The Master Developer shall provide individual builders with sufficient detail to ensure visual continuity with the residential communities. The entry treatments of the Town District may be established in conformance with the guidelines outlined for Community and Neighborhood entries.

Monument signs are the preferred signage type for the planning area.

- a. Monument signs shall be set back twelve (12) feet minimum from inboard edge of walk where a sidewalk or path is provided. Signs shall be set back a minimum of twelve (12) feet from property line and five (5) feet from any driveway.

3. SPECIFIC PLAN LAND USE PLAN

- b. Monument signs should have a concrete or masonry base, and shall be compatible with the building architecture.
- c. Double-sided monument signs are allowed.
- d. Monument sign lighting is allowed but not internal lighting. External lighting is encouraged so long as the lighting source is well concealed and consistent with the planning area design objectives and the “dark sky” guidelines in the CC&Rs.

6. Special Monumentation Signage

These are optional treatments of entries to areas such as the Community Sports Park, other joint school/parks, or similar community facilities.

- a. Special entries may be established to distinguish recreational and community facilities such as a joint school/park.
- b. Signage at the neighborhood parks and schools shall utilize similar form and materials for visual continuity.
- c. Signage for recreational trails may be more rustic in character to appropriately reflect its more natural environment.
- d. Freeway-oriented signs: Freeway oriented identification signs are permitted subject to Zoning Ordinance. Signage shall not exceed 120% of the maximum building height of the established zone. For example if the building height for Commercial Retail (Regional) is 75 feet then the maximum sign height is 90 feet. The maximum width or depth of a freeway oriented sign shall not exceed 35% of its height. Only one (1) such sign shall be permitted for any one of the following individual or multiple Planning Areas:

For PAs 2-13, 2-14, 2-15, 2-16 combined:	one (1) sign permitted
For PAs 2-19, 2-20, 2-34 combined:	one (1) sign permitted
For PAs 4-1, 4-2, 4-3, 4-4, 4-5, 4-6, 4-7, and 4-8 combined:	one (1) sign permitted
For PAs 5-2, 5-3, 5-4, 5-5, and 5-8 combined:	one (1) sign permitted
- e. Freeway Billboard signs: Freeway billboard signs are prohibited within the Travertine Point Specific Plan.

7. Tribal (Torres-Martinez) Monumentation

The tribal monuments shall be equal in size to the neighborhood monuments and should be constructed to a pedestrian scale. Heights should be planned to range from 4 to 6 feet and length should be compatible with the space provided. These have been located at prominent nodes to the gateway of the Torres-Martinez owned land. This monument should incorporate unique features and/or artifacts associated to the Torres-Martinez Tribe.







8. Resort Monumentation

Resort monuments are exclusively located to the Resort – Commercial Tourist Land Use areas. The resort monuments shall be less prominent than the community monument, but should complement the resort style architecture. The scale of the monument may range and should be reflected upon the scale of the space and architecture.

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LEGEND

-  Community Monumentation
-  District Monumentation
-  Neighborhood Monumentation
-  Torres Martinez Monumentation
-  Resort Monumentation
-  District Vertical Landmarks

NOTE:

Freeway oriented identification signs are permitted. Signage shall not exceed 120% of the maximum building height of the established zone. For example if the building height for Commercial Retail (Regional) is 75 feet then the maximum sign height is 90 feet. The maximum width or depth of a freeway oriented sign shall not exceed 35% of its height. Only one (1) such sign shall be permitted for any one of the following individual or multiple Planning Areas:

For PA's 2-14, 2-15 and, 2-16, combined: one (1) sign permitted

For PA's 2-19 and 2-20, combined: one (1) sign permitted

For PA's 4-1 and 4-2, combined: one (1) sign permitted

For PA's 5-3, 5-4 and 5-5, combined: one (1) sign permitted

For PA's 2-2, 2-9, 4-9 and 4-12 combined: two (2) signs permitted

NOTE:

Actual renderings with more specific details and locations will be provided within the District Refinement Plans.

Travertine Point Specific Plan

Black Emerald, LLC

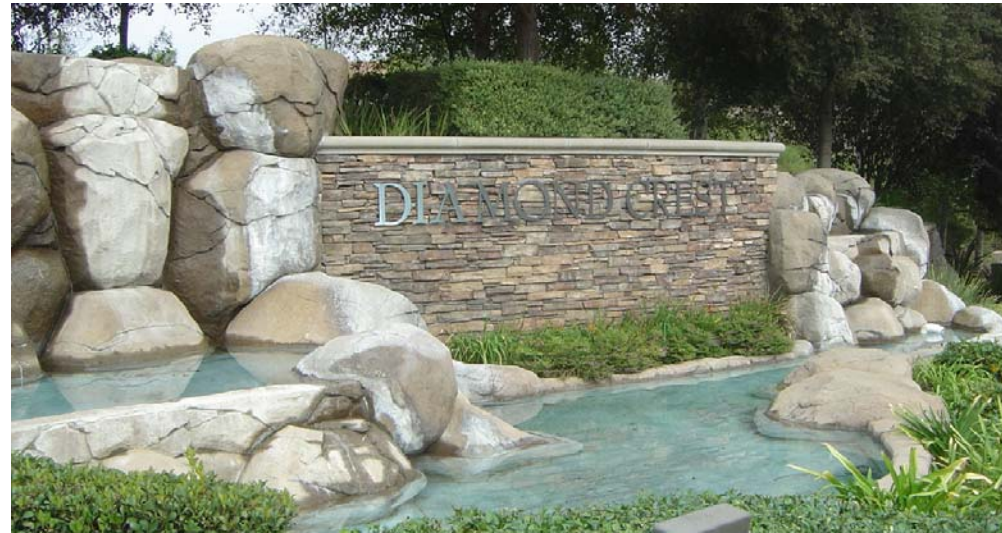
SP375 Exhibit 3-28 Monumentation Plan



February 2012

3. SPECIFIC PLAN LAND USE PLAN

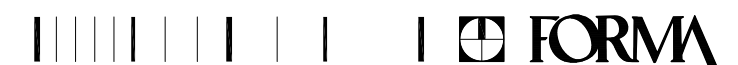
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Travertine Point Specific Plan

Black Emerald, LLC

SP375 Exhibit 3-29
Monumentation Images



February 2012

3. SPECIFIC PLAN LAND USE PLAN

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3.10.4 Edge Conditions (Land Use Transition)

In order to create a high quality, environmentally sensitive and aesthetically pleasing community, the Travertine Point Specific Plan proposes transition treatments that are intended to:

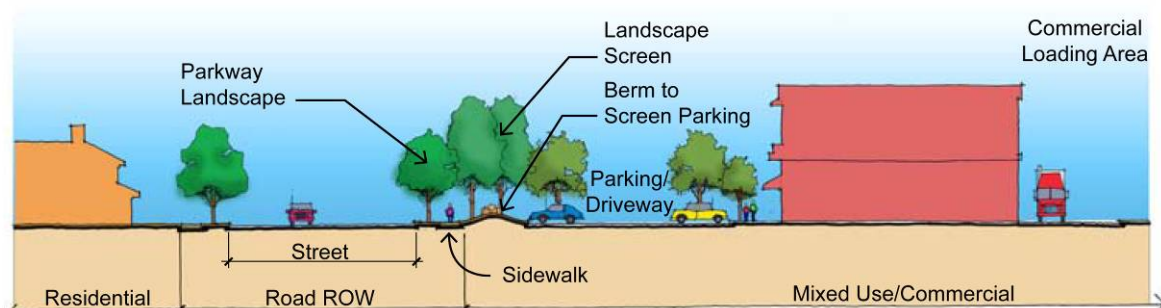
- Use existing or man-made conditions to separate and buffer potentially conflicting land uses.
- Establish techniques for linking natural and manmade conditions, such as edge treatments between open space and development.

1. Residential/Mixed-Use Transition

Landscaping shall be designed to separate the non-residential land uses from adjacent residential neighborhoods, as appropriate due to design and land use. Special attention will be given to the placement of loading areas and the design of rear facades facing residential areas. Assurances are to be made for providing pedestrian friendly and sustainable landscape transitions.



Example of Edge Interface between Open Space and Streetscape

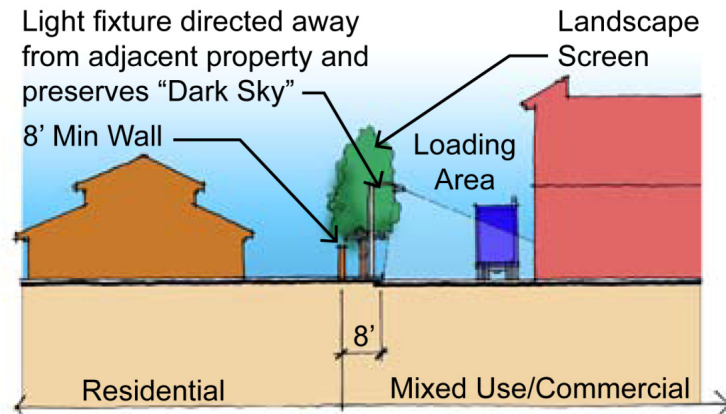


RESIDENTIAL - MIXED USE/COMMERCIAL INTERFACE

2. Residential/Drainage Edge Condition

Travertine Point has several drainage channel edges that abut residential land uses. The Travertine Point drainage course edges will receive a landscaping treatment that will be predominantly native, drought tolerant plantings along its interior to occasional small pockets that may use a less restrictive plant palette where it interfaces with residential areas and/or major roads. The intent is to create a pedestrian friendly trail system and landscaped edge where feasible to create a multi-function channel that provides recreation, preservation, and storm water collection opportunities.

3. SPECIFIC PLAN LAND USE PLAN



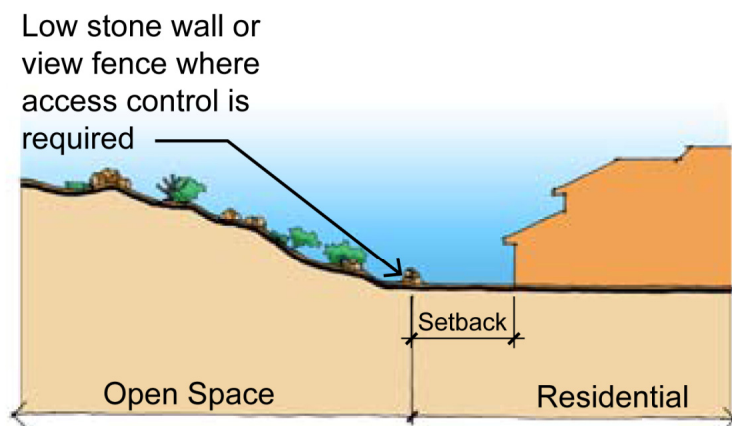
RESIDENTIAL - MIXED USE/ COMMERCIAL INTERFACE AT SERVICE AREA

3. Residential/School and Park Edge Condition

Planting for the transition and fencing shall be provided to create a physical and visual separation. These features should provide an aesthetically pleasing perimeter to the school or park to adjacent home sites.

4. Open Space Corridor/Residential Interface

The edges will receive a landscaping treatment which shall transition from native, drought tolerant plantings along its interior to more enhanced pockets using a less restrictive plant palette where it interfaces with residential areas and/or major roads.



OPEN SPACE CORRIDOR - RESIDENTIAL INTERFACE

3.10.5 Community Walls and Fencing

Community walls and fencing consist of those which face public streets or view corridors or are constructed on public facilities in relation to public uses. They will form a portion of the community's perimeter and distinguish the Travertine Point Specific Plan from neighboring communities by utilizing a unifying element such as utilizing the local rock material or possibly emphasize the community's agricultural heritage as a theme. Refer to Exhibit 3-30, Wall and Fence Concept Plan and Exhibit 3-31, Wall and Fence Images. The photos should not be construed as the exact wall and fence height, color and material, but should be used as a preferred example. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans.

1. **Wall and Fence Concepts**

The following types of walls (solid and opaque) and fences (open and largely transparent) have been selected for possible use within different areas of the project site. A Wall and Fence Plan should be provided for review and approval at time of development submittals.

2. **Community Walls**

- a. Community walls and or green (living) fences shall be constructed at the rear and side of lots abutting the project's major thoroughfares. The intent of the Specific Plan is to minimize or eliminate walls and fencing along the adjacent natural open space areas. A community wall or fence may also be constructed along some portions of the project's perimeter and along the trail/residential interface consistently providing, for pedestrian, bicycle and/or NEV access at frequent locations where feasible to provide for efficient alternatives to vehicular routes.
- b. Solid walls of masonry with masonry or cut stone pilasters not more than 100' apart, or compatible materials, shall be used predominantly for these walls. Open view fencing shall be used where a developer or builder proposes fencing along the community's open space edge. Typical walls are depicted on Exhibit 3-31, Wall and Fence Images.
- c. Community fencing in areas where side and rear lots abut natural view corridors, wrought iron, or tubular steel/aluminum, type fencing of a high quality may be constructed unless a solid wall is determined necessary to ensure privacy, however, these barriers are not necessarily required and direct access from residential areas may be permitted.

3. **Block Wall**

Block walls are generally located between each of the different land uses, except for land use areas directly adjacent to an open space. Residential lots abutting a backbone roadway shall have a block wall if required for privacy or sound attenuation. All residential land use areas bordering Highway 86S shall have a block wall for privacy and sound attenuation. Walls are not required, but may be used for the open space lots, mixed-use, regional commercial, mixed use non-residential, and business park.

4. **View Fence**

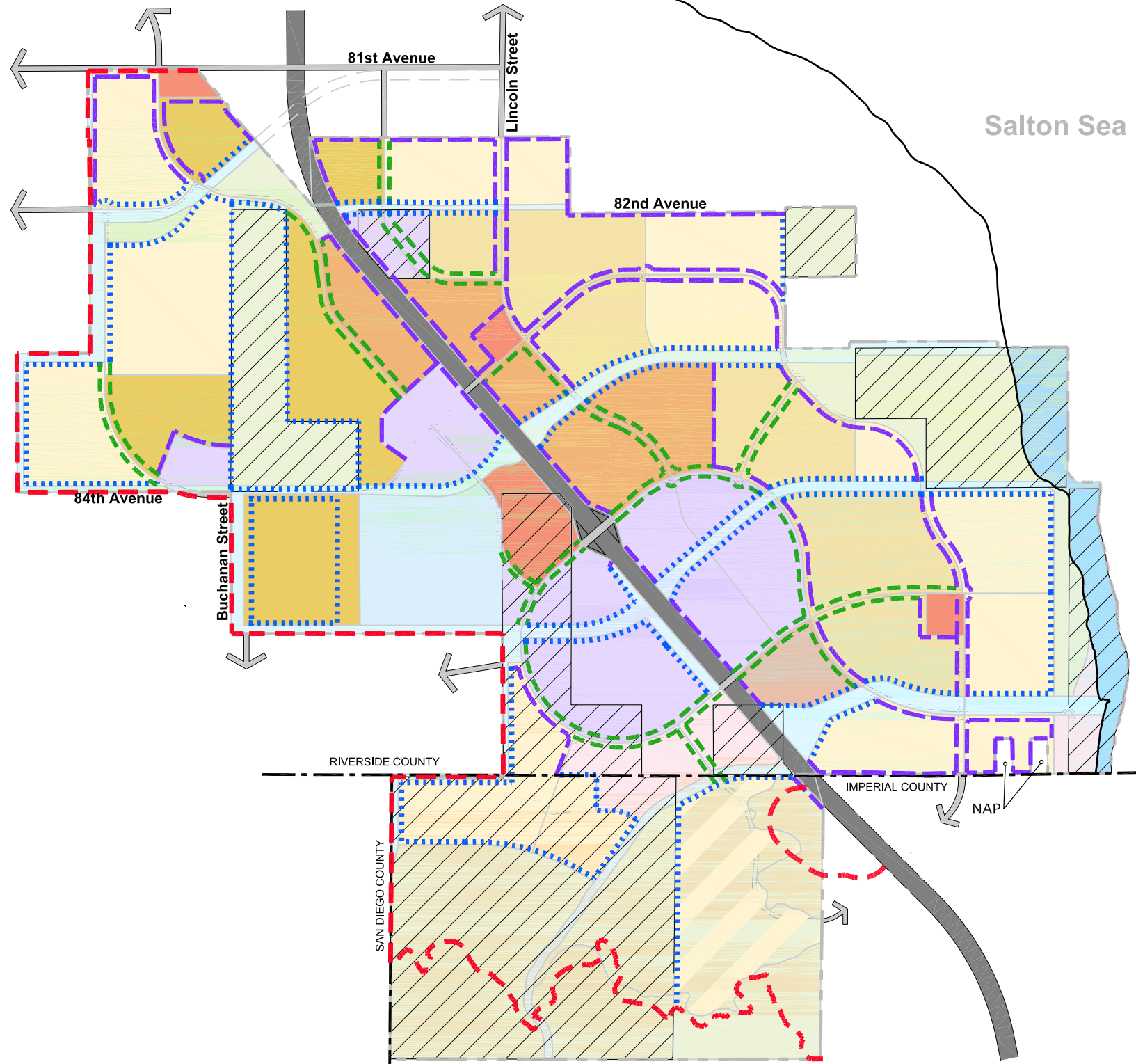
A view fence is considered to be wrought iron, tubular steel/aluminum, on top of a low block wall. View fences shall be used if a barrier is proposed where residential land uses abut open spaces and drainage corridors. It is important to provide view fences where opportunities of aesthetic views can be acquired.

3. SPECIFIC PLAN LAND USE PLAN

5. Wall and Fencing Plan

- a. The design, location, and materials of all on and off site fencing, freestanding walls, and retaining walls should be compatible with the architectural content of their location.
- b. Openings or view fencing shall be used where feasible to provide views into and out of the project sites or allow for pedestrian access.
- c. The exterior of all walls facing the public or private streets shall be graffiti-proofed.
- d. All fencing shall be painted or otherwise sealed to reduce water damage.
- e. All walls shall be decorative in design with decorative cap and pilasters.
- f. Wood shall not be used for any fencing. Various recycled materials may be used for interior rear fencing and interior side returns.
- g. Protective fencing consistent with standards provided in the wall and fencing plan for planning areas adjacent to Travertine Rock shall be provided and such fencing shall be placed no closer than 500 feet around the perimeter of physical outcropping of Travertine Rock.
- h. Chain link fencing for permanent use shall be permitted in regards to open space buffers along the project's western boundary, in addition to masonry walls and view fence, to prohibit access to off-site open space areas and shall be permitted as required by agricultural use buffers.
- i. Sound attenuation walls shall be decorative masonry and at appropriate locations. Suitable materials should be used to protect views in situations where sound attenuation is also required.
- j. The required restrictive perimeter fence/wall shown in Exhibit 3-30 shall be installed prior to residential occupancy.

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LEGEND

- 6' Masonry Wall
- Low Stone Wall (42" Max. Ht.)
- View Fence
(wrought iron, tubular steel/aluminum, glass, or plexi-glass; low masonry base - optional)
- 7' Required Restrictive Fence

NOTE:

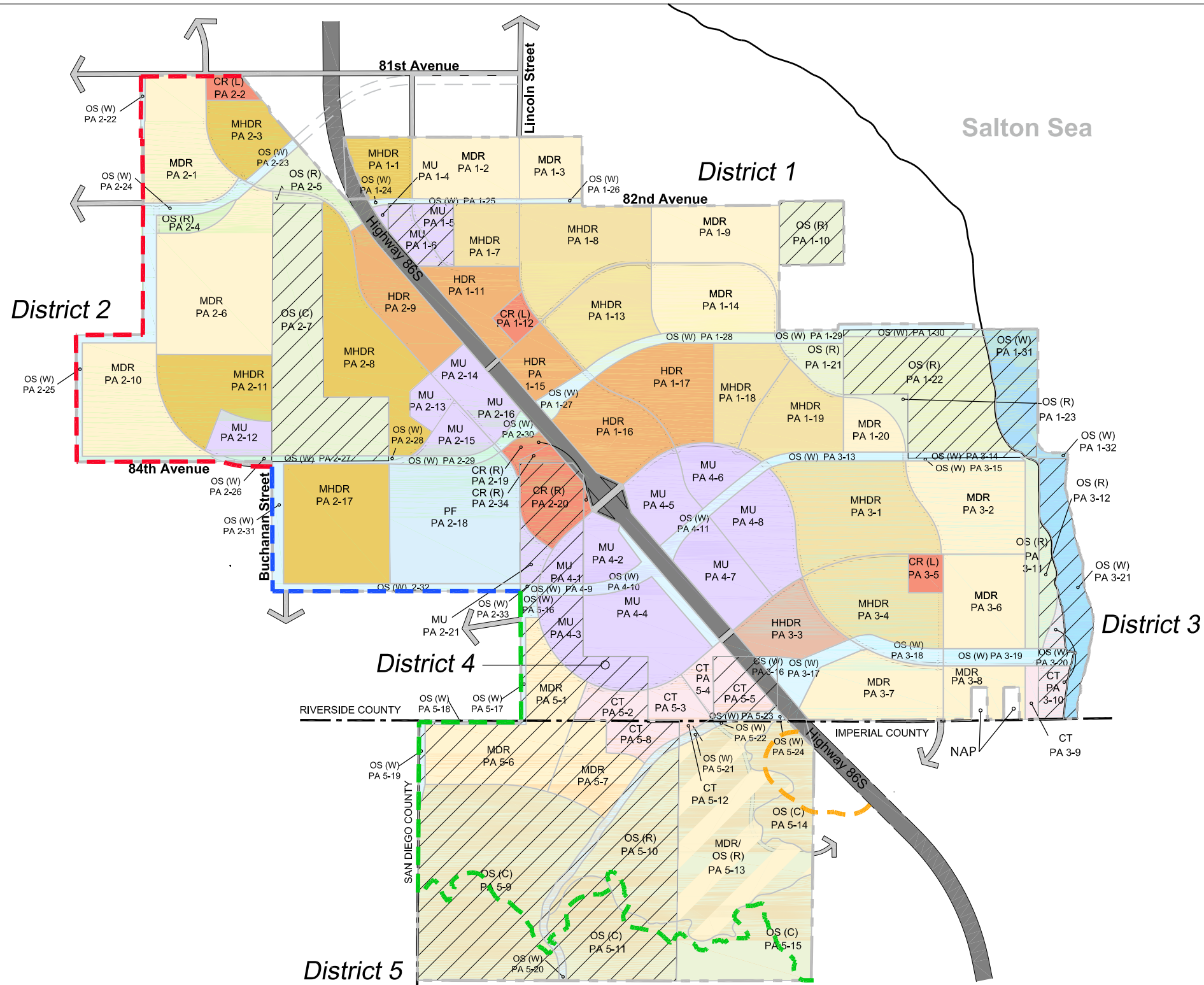
This plan is conceptual in nature and is **not** intended to require any wall or fence in the locations shown, except for the required restrictive fence. The purpose of the plan is to suggest the most appropriate type of wall or fence should the developer/builder propose the same. Adjustments for wall heights and fencing materials are permissible. Conditions that may arise at future development stages may require a variation from this plan without a Specific Plan amendment.

Revised Exhibit 3-30 (SP375 SC 1)

Wall and Fence Concept Plan

Travertine Point Specific Plan

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LEGEND

Triggers for Installation of Permanent Fence





- a.  **Segment A**
 Prior to the issuance of any building permit, in any portion of Planning Areas 2-1 through 2-16, construction of the Permanent Fence shall be completed along the western and northern borders of the Project, beginning at the northern side of Planning Area 2-1 and extending to and including that portion of the Project along 84th Avenue to Buchanan Street ("Segment A"). This trigger shall apply to a building permit, for some type of permanent, non-agricultural, habitable structure (including commercial development), and not to a grading permit.
- b.  **Segment B**
 Prior to the issuance of any building permit in any portion of Planning Areas 2-17 through 2-21 or 2-34, or any portion of Planning Areas 4-1 and 4-2, construction of the Permanent Fence shall be completed along the western and southern portions of Planning Areas 2-17 and 2-18, from the intersection of 84th Avenue and Buchanan Street to the southeast corner of Planning Area 2-18 ("Segment B"). This trigger shall apply to a building permit, for some type of permanent, nonagricultural, habitable structure (including commercial development), and not to a grading permit.
- c.  **Segment C**
 Prior to the issuance of any building permit in any portion of Planning Areas 4-3 and 4-4, or any portion of Planning Areas 5-1 through 5-8 or 5-12, construction of all remaining portions of the Permanent Fence (as shown on Exhibit A) shall be completed except for the portion protecting Travertine Rock, which shall be completed as described in subsection 1.3(d) below (collectively "Segment C"). This trigger shall apply to a building permit, for some type of permanent, non-agricultural, habitable structure (including commercial development), and not to a grading permit.
- d.  **Segment D**
 Prior to the issuance of any building permit in any portion of Planning Areas 5-13, construction of the last section of the Permanent Fence protecting Travertine Rock (eastern portion abutting Planning Area 5-14) shall be completed ("Segment D"). This trigger shall apply to a building permit, for some type of permanent, non-agricultural, habitable structure (including commercial development), and not to a grading permit.

Exhibit 3-30.1 (SP 375 SC 1)
Installation of Permanent Fence Requirements

Travertine Point Specific Plan

3. SPECIFIC PLAN LAND USE PLAN

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Travertine Point Specific Plan

SP375 Exhibit 3-31
Wall and Fence Images

3. SPECIFIC PLAN LAND USE PLAN

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3.10.6 Site Amenities and Landscape Lighting

1. **Site Amenities Concept**

Site furnishing is an integral component of design and should be carefully located within a designed space. Site furnishing in public spaces should complement the adjacent architecture. Shade structures, awnings, and/or umbrellas for tables and chairs are highly recommended for areas of public use. An eclectic blend of metal, stone, rock, concrete, masonry, and wood furniture is proposed throughout Travertine Point. Examples of site furniture are shown on Exhibits 3-32a and 3-32b, Typical Site Furnishings. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans. Specific amenities (tables, chairs, benches, umbrellas, drinking fountain, trash receptacles, etc.) will be included with the submittal of the construction drawings and specifications for all public parks and facilities. Manufacture, make, model, and color shall be provided in the construction drawings and specifications.

Bus shelters should be thoughtfully located along all bus routes. Bus shelters will include an overhead structure for shade, bench seating and should be ADA accessible in accordance with County and / or SunLine Transit Authority standards. The overall bus shelter design and material for seating should be consistent throughout Travertine Point.

Information kiosks should be considered within the Town District, Retail Spaces, and Resort areas. The kiosks should be located in highly visible areas and the design should complement the architecture with shade features.

Mailboxes for residential areas should be clustered units and approved by the United States Postal Services. The mailboxes should be highly durable, have a high level of security to prevent identity theft and should be easily accessible for the user. A decorative surround should be design around the mailbox cluster units that is complimentary to the architecture. A Mailbox Location Plan during the submittal of the construction drawings should be provided to U.S. Postal Service for review and approval.

Decorative pottery should be selected for all public spaces. The selection of the pottery should complement the space as well as the adjacent architecture. Permanent irrigation shall be designed for potted plantings in public spaces.

3. SPECIFIC PLAN LAND USE PLAN

2. Landscape Lighting Concept

- a. Landscape lighting shall be coordinated to provide a consistent lighting character that is harmonious with the adjacent architecture. The following list of guidelines is recommended when designing and selecting landscape fixtures. Examples are provided on Exhibit 3-35, Street Lighting and Signage. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans.
- b. Landscape lighting should be limited to low, indirect sources. All fixtures should be placed in a manner to avoid glare when observed from the street and other public areas maintaining at all times a dark sky theme consistent with the Specific Plans lighting requirements and the IDA recommendations.
- c. Fixtures for lighting architectural elements or landscape objects should be concealed and glare eliminated. Light fixtures should be concealed in the landscape and fixtures should be aimed away from observers to prevent glare. Junction boxes should be concealed within the landscape planting or below ground if, applicable.
- d. Driveway or pathway lights should have a high degree of light shielding to prevent glare.
- e. All light fixtures shall be designed for dark sky applications, and adjusted to direct/ reflect light downward, roads and streets, and away from any adjoining open space, residences, or other uses not directly requiring lighting. Energy conservation, safety, and security should be emphasized when designing any lighting system.
- f. All lighting will be analyzed during the development review process to reduce light spill-over or glare adjacent to open space and natural open space areas. A dark sky concept will be put into the projects CC&Rs.



Travertine Point Specific Plan

Black Emerald, LLC

SP375 Exhibit 3-32a
Typical Site Furnishings



February 2012

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Travertine Point Specific Plan

Black Emerald, LLC

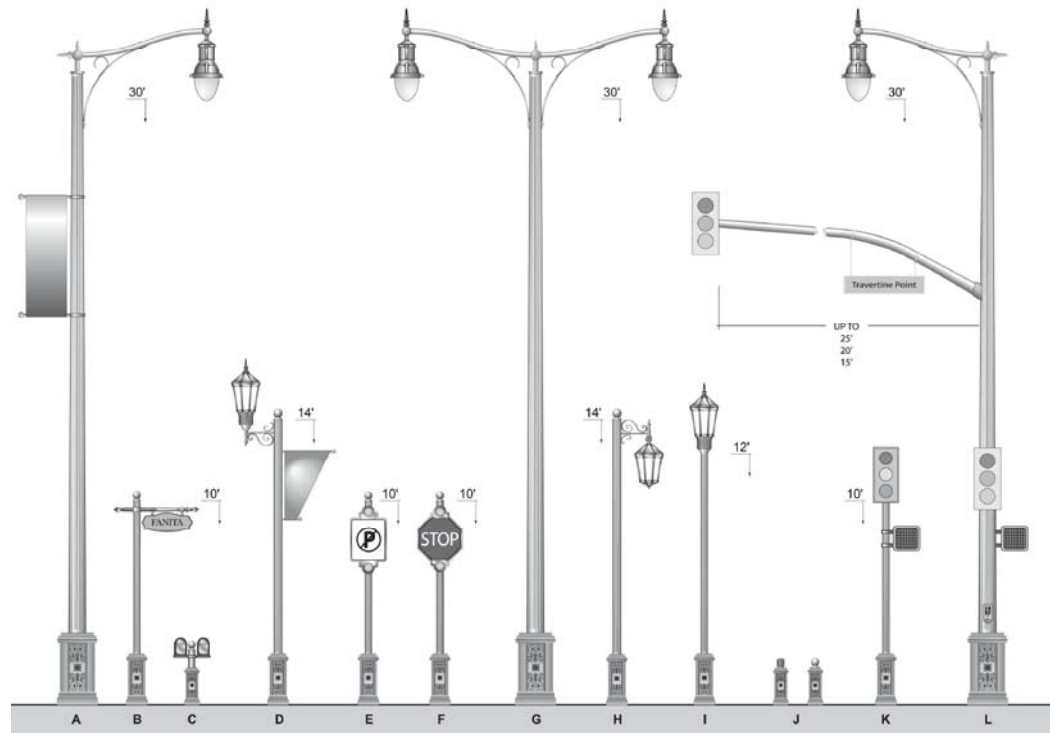
SP375 Exhibit 3-32b
Typical Site Furnishings



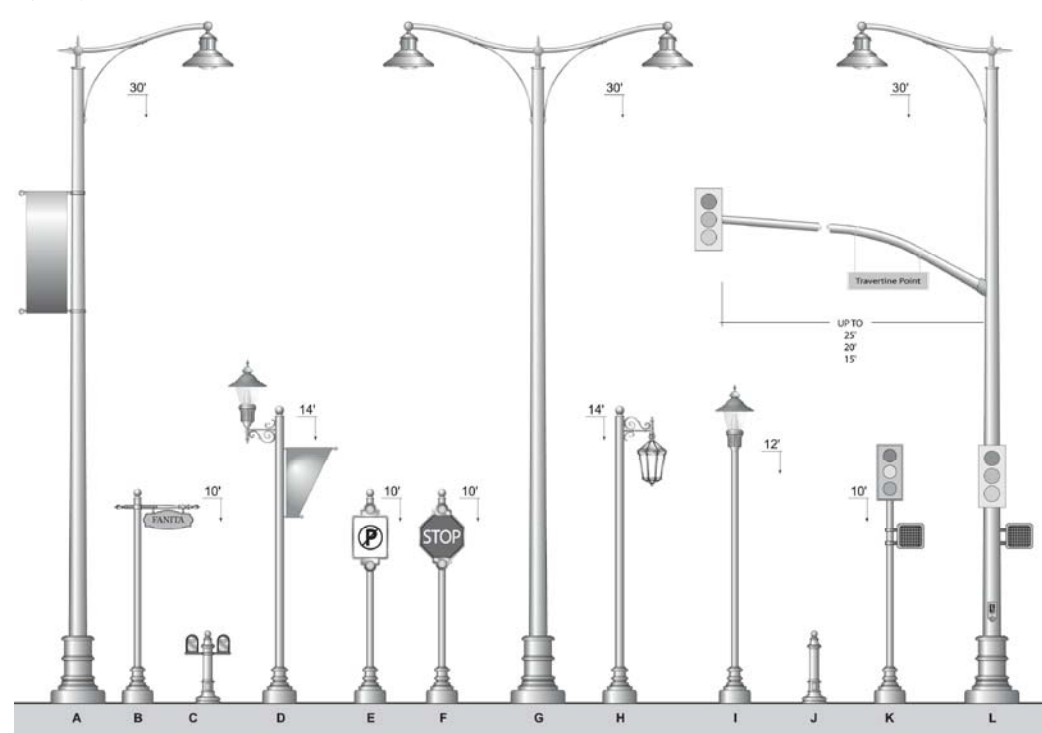
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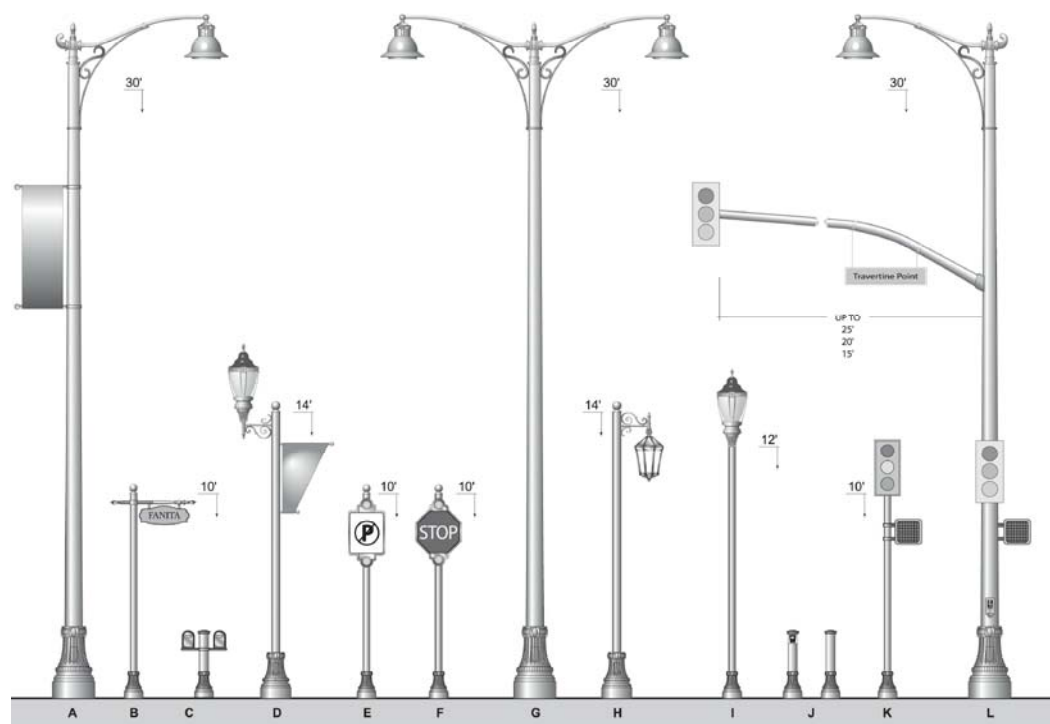
(A)



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Travertine Point Specific Plan

Black Emerald, LLC

SP375 Exhibit 3-33
Street Lighting and Signage



February 2012

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3.11 LANDSCAPE DESIGN GUIDELINES

The Travertine Point Specific Plan creates a community with a consistent overall theme to provide quality residential, commercial, and recreational opportunities in a unique setting that integrates the site's natural features and the built environment. These guidelines set a direction for the implementation of distinctive, high-quality residential, mixed-use, commercial, recreation, and open space development.

These guidelines shall form the basis and criteria for the evaluation of plans and specifications submitted for review and approval by the County. All site development plans, landscape implementation plans, and graphic designs shall comply with the intent of these guidelines.

The sketches and graphic representations contained herein are for conceptual purposes only, and are designed as general visual aids in understanding the basic intent of the guidelines and to represent examples of their potential implementation. They are not meant to depict any actual lot or building design. Actual renderings with more specific detail and locations will be provided within the District Refinement Plans.

The landscape design guidelines and the Master Landscape Plan for the Travertine Point Specific Plan will ensure a cohesive, high quality and recognizable aesthetic by providing an overall design direction for the community, bringing order and continuity to the street scene, and emphasizing a sense of place.

3.11.1 General Landscape Guidelines

Exhibit 3-20, Landscape Master Plan, for common areas, parkways, and median treatments is established for Travertine Point to:

1. Provide thematic continuity throughout Travertine Point;
2. Complement a variety of architectural styles and themes;
3. Help identify entry into various Districts and neighborhoods of the community;
4. Provide direction as to the sense of place to motorists within Travertine Point;
5. Systematically reinforce the understanding of circulation hierarchy and different land uses;
6. Landscape foundation planting shall be incorporated at the base of all residential, commercial retail/office and mixed-use buildings where appropriate, to soften hardscape and building edges;
7. All site furnishings within the project shall be consistent in appearance, style, and color. Benches, trash receptacles, shade structures, and other hardscape components should be selected to maintain a complementary style for the site;
8. The Proposed Plant Palette is designed to provide flexibility and diversity in the landscape, promote water conservation measures for irrigation, and emphasize the use of indigenous desert vegetation and low-water demand plants, while limiting the palette of primary plants to give unity and thematic identity to the Specific Plan area. Refer to Tables 3-7a through 3-7f, Proposed Plant Palettes;
9. Promote water conservation by education and public awareness of the use of water-efficient landscaping, wise and minimal use of turf areas and appropriate use of irrigation technology and management; and

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10. All public, commercial, and common area landscaped areas should implement water-efficient irrigation techniques such as, but not limited to:
 - a. Use of native Mojave and / or Anza Borrego Desert plants low water use, or drought tolerant plant species grouped to their water, soil, sun and shade requirements in relationship to buildings;
 - b. Tree planting shall be used to provide shade for residential, commercial, and industrial buildings to soften the visual mass of buildings. It is also the intent to improve landscaping in order to provide minimum 60% shade coverage for public gathering spaces such as pedestrian plazas or courtyards, and minimum 20% shade coverage for sidewalks, or pedestrian pathway areas. A mix of evergreen and deciduous trees should be used to provide natural cooling for the purpose of energy and water conservations as well as to provide year-round screening at solid, blank walls, and seasonal-interest at pedestrian nodes. In addition to tree plantings, other shade structures may be used to provide cover for outdoor pedestrian use areas such as building awnings, trellises, or bus shelters, in order to comply with the shade percentages recommended above. (See Section 3.11.4.8 for more detail regarding shade requirements for uncovered parking areas.)
 - c. Natural soil amendments such as compost shall be provided to improve water holding capacity of soil, where soil conditions warrant. Where appropriate, a minimum of two inches of mulch shall be added to the soil surface after planting.
 - d. Turf areas shall be limited to common areas and appropriate use corridors where it serves multipurpose and must be in areas where public uses on grass will be prevalent such as recreational activities. Turf should not be used in parkways or street median islands.
 - e. The use of appropriate irrigation equipment such as drip irrigation, bubbler, spray heads, and/or rotor irrigation heads to provide the most efficient water application. “Smart Irrigation Controllers” using weather based technology, or equivalent are highly recommended and should be utilized when and wherever feasible.
 - f. Water systems designed to utilize non-potable water shall be designed to meet all applicable standards of the California Regional Water Quality Control Board and the Riverside County Fire and Health Departments.
11. The proposed retention basin system should employ the use of multiple layers of water quality management systems and treatment processes (BMPs) to facilitate water quality improvement, which include: Retention basin water quality measures (biofilters and aeration); Urban stormwater runoff controls (water quality filters and wetland planter areas); retention of dry weather runoff and detention of storm water runoff prior to being released to the drainage channels that empty into the Salton Sea.
12. District Landscape Zone Distinction - The Master Landscape Plan establishes a community-wide theme to ensure the cohesive aesthetic quality by providing the overall design direction through the use of order and continuity to street themes, community monumentation and lighting. Travertine Point’s Landscape Zones offer physical landscape design features that define the District’s subtle distinctions, creating recognizable sense of place for each zone. Exhibit 3-34, Riparian Zone Landscape Concept Plan, Exhibit 3-35, Upland Zone Landscape Concept Plan, Exhibit 3-36, Lakeshore Zone Landscape Concept Plan, Exhibit 3-37, Town District Zone Landscape Concept Plan; and Exhibit 3-38, Foothill Zone Landscape Concept Plan illustrate the direction for five landscape zones that differ through the emphasis of plant materials and plant associations, and

reflecting their geographic context including Riparian Zone, Upland, Zone, Lakeshore Zone, Town District Zone, and Foothill Zone. District plant communities, themed tree plantings along SR 86, vertical landmarks, district monumentation, and color palettes provide the elements that will create each zone's distinct theme. (See Exhibit 3-28, Monumentation Plan).

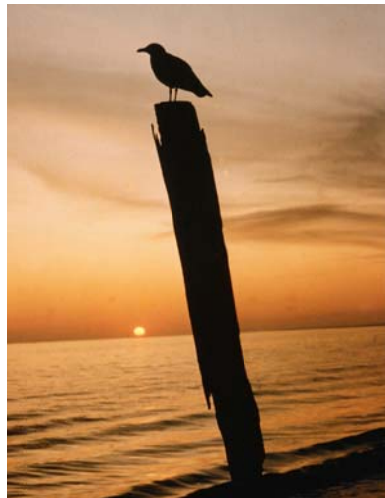
- a. **Riparian Zone** – This district is themed with an “Audubon” character, featuring wildlife and riparian elements and accents. The landscape community along the highway suggests a strong natural quality and buffer. (See Exhibit 3-34, Riparian Zone Landscape Concept Plan).
- b. **Upland Zone** – This district is themed with “park” features and landmarks, including vertical tree stands, cultural preserve park and multi-use greenbelts. (See Exhibit 3-35, Upland Zone Landscape Concept Plan).
- c. **Lakeshore Zone** – This district is themed with elements related to the Salton Sea and aquatic recreational opportunities. The *perimeter* landscape community and way finding monumentation will suggest the presence and access to the sea and its' natural resources. (See Exhibit 3-36, Lakeshore Zone Landscape Concept Plan).
- d. **Town District Zone** – This district is themed with a “Town Center” character. Its mixed use designation features residential, retail, commercial, civic use, as well as parks, greenbelts, bike and walking trails and NEV circulation. Use of indigenous palms as accent to the district reinforce the agricultural heritage of the area. (See Exhibit 3-37, Town District Zone Landscape Concept Plan.)
- e. **Foothill Zone** – This district is themed to define a “resort” lifestyle and mixed use recreation facilities with visible elements such as palms along the highway, vertical architecture at gathering places and enriched way finding monumentation. (See Exhibit 3-38, Foothill Zone Landscape Concept Plan).

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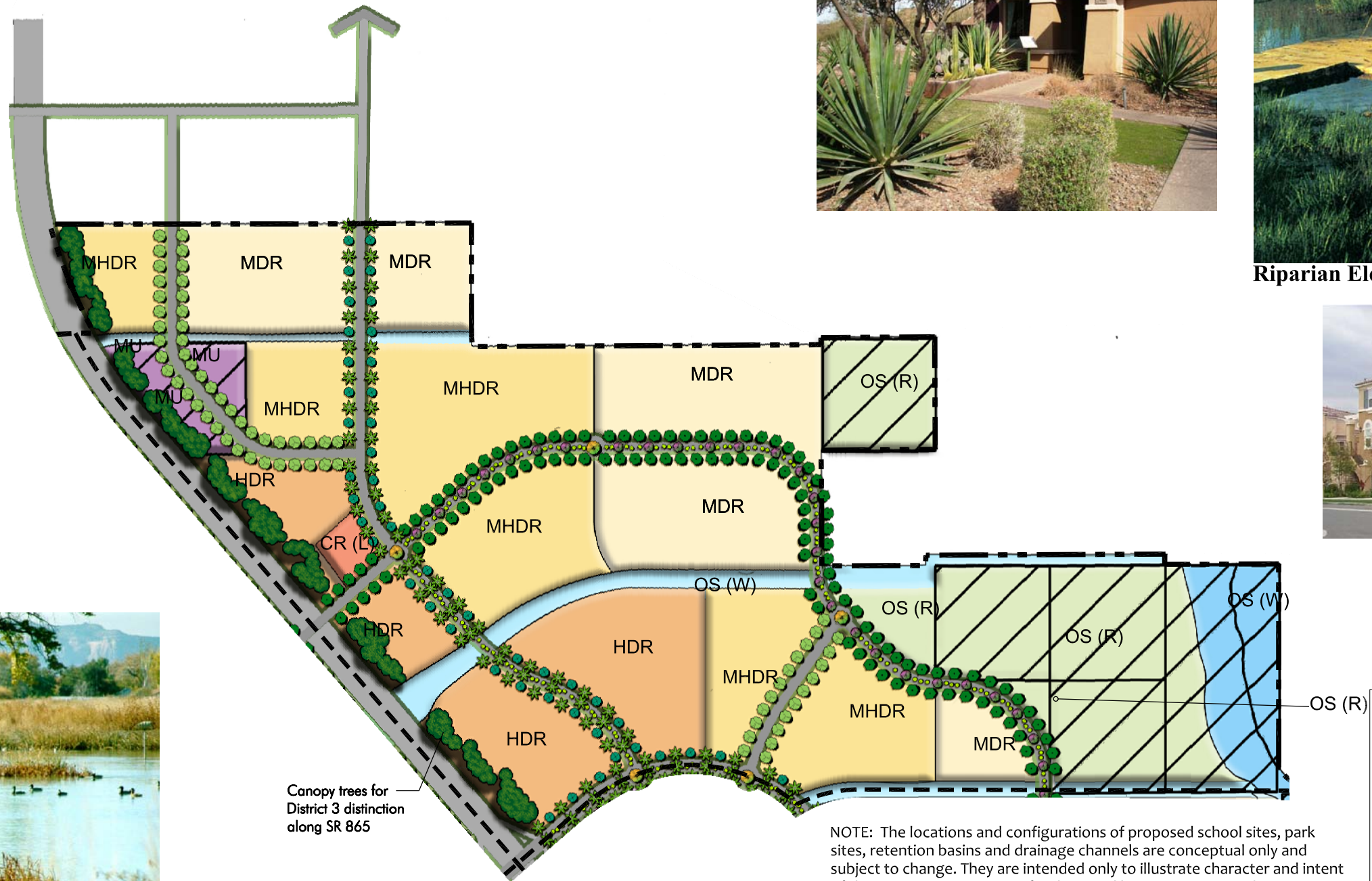
This district is themed with an "Audubon" character, featuring wildlife and riparian elements and accents. The landscape community along the highway suggests a strong natural quality and buffer.



Audobon Character



Wildlife and Riparian Elements

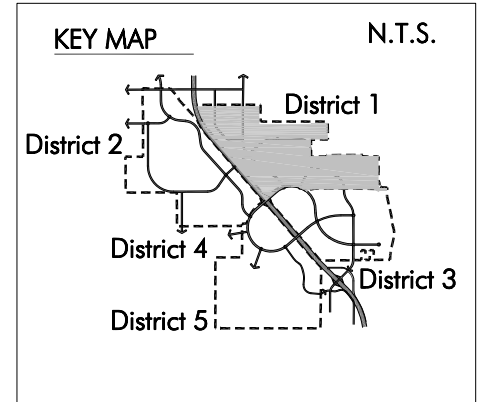


Canopy trees for District 3 distinction along SR 865

NOTE: The locations and configurations of proposed school sites, park sites, retention basins and drainage channels are conceptual only and subject to change. They are intended only to illustrate character and intent of the Travertine Point Specific Plan. Final locations, sizes, and configurations of schools, parks, retention basins and drainage channels will be determined during the subdivision mapping and final engineering process, and in the case of schools and parks, in consultation with the appropriate public agencies.



Riparian Elements



Travertine Point Specific Plan

SP375 Exhibit 3-34 Riparian Zone Landscape Concept Plan

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