

THERMAL 551

Specific Plan No. 369

October 26, 2010



THERMAL 551

SPECIFIC PLAN NO. 369

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I. INTRODUCTION

A. PROJECT SUMMARY

The THERMAL 551 SPECIFIC PLAN NO. 369 provides for a master-planned community with a variety of innovative housing types in the urbanizing eastern Coachella Valley area. THERMAL 551 is located within unincorporated Riverside County near Interstate 111 (SH-111), State Highway 86-South (SH-86S), and the Jacqueline Cochran Regional Airport.

This 612.1-acre community consists of 2,354 residences anchored by a 45.3-acre Public Park. Eight housing styles provide a range of housing opportunities to residents in a variety of lifestyle and economic circumstances, including housing that is attainable for families, service workers, young professionals, and public employees. Residential densities within the THERMAL 551 range from 3.6 to 10.0 dwelling units per acre (du/ac), consistent with the Specific Plan's land use designations of Medium Density Residential (2.0 to 5.0 du/ac), Medium High Density Residential (5.0 to 8.0 du/ac), and High Density Residential (8.0 to 14.0 du/ac). Lower-density neighborhoods are generally located near the boundaries of the community, adjacent to off-site agricultural and undeveloped land uses. Higher-density neighborhoods are located in close proximity to the community's recreational amenities.

THERMAL 551 is an exceptionally "walkable" residential community and is distinct from other desert communities by its wide array of public and private recreational amenities. A 4.0-acre private clubhouse area serves as a central gathering location for the community and offers facilities such as a clubhouse building, wading pool, exercise facilities, swimming pool, and a tot lot. Conveniently adjacent to the clubhouse and centrally located within the community is a Public Park, which offers a wide range of amenities including at least four (4) soccer fields; a softball field; tennis, volleyball and basketball courts; disc golf; a tot play area, gazebos, trails, open turf areas, picnic facilities, restrooms, and parking. The Public Park is comprised of two parks (22.4 acres and 22.9 acres in size, respectively) that are easily accessible via Orange Avenue, Street "A," Avenue 59. To facilitate pedestrian access between the northern portion (Planning Area 26) and the southern portion (Planning Area 22), a protected pedestrian crosswalk is provided at Avenue 59. This crosswalk connects to trails that run along the perimeter of the Public Park. Within the Public Park, a view fence is provided adjacent to the Avenue 59 right-of-way to direct park users to the protected crosswalk for travel between the northern and southern portions of the park, thereby precluding potentially un-safe mid-block crossings.

The community also includes a 5.0-acre Park/Detention Basin and 0.8-acre Private Park. In addition, nine private recreation areas are located at various points within the community. These private recreation areas are a minimum of 10,000 square feet in size and shall include seating areas, shade structures, and swimming pools, and may include a variety of other recreational amenities, such as tot lots, seating areas, and/or trail connections.

Public and private park amenities are linked to the neighborhoods by an extensive trail system that includes sidewalk trails, paseo trails, a Class 1 Bike trail, and an equestrian-

friendly Regional Combination trail. These trails are located adjacent to the 40.2 acres of Open Space/Detention areas surrounding the perimeter of the community, within the 13.1 acres of paseos surrounding the planning areas, and along expanded parkways. In addition to serving as an aesthetic amenity when viewed from pedestrian paths and nearby homes, the Open Space/Detention areas provide stormwater detention and buffer the THERMAL 551 community from perimeter roads, the Coachella Valley Stormwater Channel, the Jacqueline Cochran Airport, and other surrounding land uses.

The overall architectural theme of THERMAL 551 emphasizes the historical agricultural activities of the Eastern Coachella Valley and echoes the surrounding natural desert scenery. Architectural styles within the community exhibit high-quality design features that are suitable for the wide variety of residential home types. Homes within the community include design components that originated in dry, hot climates around the world and inherently cool the home, such as low and overhanging roofs, patios, and recessed windows. In addition, the THERMAL 551 SPECIFIC PLAN includes recommendations designed to reduce the overall energy needs of the community and individual homes.

The unified landscaping concept enhances the THERMAL 551 architectural theme and creates a sense of community identity for residents and visitors. To promote water conservation and environmentally-friendly living, all landscaping is drought-resistant and water-efficient. The landscaping concept also increases the community's energy sustainability through the use of trees along streets and within public spaces, which mitigate urban heat effects. The THERMAL 551 SPECIFIC PLAN also includes standards relating to the shading of parking lots, sidewalks, and other public areas to mitigate the "heat island" effect and potentially reduce the community's energy consumption needs.

In addition, the THERMAL 551 SPECIFIC PLAN includes a detailed irrigation water plan that adds to the sustainable nature of the community. Canal water is stored in the 3.0-acre irrigation storage pond and is utilized to irrigate the community's landscaping. All homes and recreational facilities feature a dual-meter system. This dual-meter system provides potable water on one meter, and irrigation water on another. Due to the proximity of the Jacqueline Cochran Airport, the irrigation storage pond is covered to avoid attracting birds and is hidden from view by berms and landscaping.

The master circulation plan for THERMAL 551 is designed to adequately facilitate vehicular travel throughout the community. Internal roadways have been configured to visually highlight the central Public Park and provide simple, clear access to other amenities, such as the clubhouse area.

Lastly, THERMAL 551 includes a 2.5-acre electrical substation, located in the southeastern corner of the community, adjacent to Open Space/Detention land uses. It is anticipated that the Imperial Irrigation District (IID) will construct, own, and maintain this facility.

A detailed summary of land uses described above is provided in Table I-1, *General Land Use Statistical Summary*.

Table I-1 GENERAL LAND USE STATISTICAL SUMMARY

LAND USE	ACRES	DENSITY	DU'S
<i>Residential</i>			
7,200 S.F. Lots - MDR (2.0 - 5.0 du/ac)	158.8	3.6	577
6,000 S.F. Lots - MDR (2.0 - 5.0 du/ac)	72.8	4.5	328
5,000 S.F. Lots - MHDR (5.0 - 8.0 du/ac)	64.0	5.1	328
4,500 S.F. Lots - MHDR (5.0 - 8.0 du/ac)	47.1	6.5	308
3,600 S.F. Lots - MHDR (5.0 - 8.0 du/ac)	36.5	7.9	287
Single Family Detached - HDR (8.0 - 14.0 du/ac)	32.8	8.0	262
Single Family Attached - HDR (8.0 - 14.0 du/ac)	26.7	9.9	264
RESIDENTIAL SUBTOTALS	438.7	5.4	2,354
<i>Non-Residential</i>			
Clubhouse Area	4.0	--	--
Public Park	45.3	--	--
Park	0.8	--	--
Park/Detention Basin	5.0	--	--
Private Recreation Areas	2.6	--	--
Open Space/Detention	40.2	--	--
Paseos	13.1	--	--
Irrigation Storage Pond	3.0	--	--
Substation	2.5	--	--
Expanded Parkways	10.9		
Project Roadways	46.0	--	--
NON-RESIDENTIAL SUBTOTALS	173.4	--	--
PROJECT TOTALS	612.1	3.8	2,354

Notes: MDR = Medium Density Residential
 MHDR = Medium High Density Residential
 HDR = High Density Residential

B. DOCUMENT PURPOSE

The THERMAL 551 SPECIFIC PLAN has been prepared for the purpose of establishing zoning requirements and landscape and architectural guidelines that will be utilized during the construction and development of this master planned community. A specific plan is defined by government code as a tool for the systematic implementation of the general plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. To an extent, the range of issues contained in a specific plan is left to the discretion of the decision-making body. However, all specific plans, whether prepared by a general law city or county, must comply with §65450 - 65457 of the Government Code. These provisions require that a specific plan be consistent with the adopted general plan of the jurisdiction within which it is located. In turn, all subsequent

subdivision and parcel maps, all development, all public works projects, and zoning ordinances within an area covered by a specific plan must be consistent with the specific plan.

C. FORMAT

This THERMAL 551 SPECIFIC PLAN is divided into the following sections: Introduction/Project Summary, Specific Plan, Planning Area Development Standards, Design Guidelines, and Zoning Ordinance. This THERMAL 551 SPECIFIC PLAN has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to Section 65450, a Specific Plan shall include a text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered by the plan.
- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, and other essential facilities proposed within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the items listed above.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the County of Riverside General Plan. By functioning as a regulatory document, the THERMAL 551 SPECIFIC PLAN provides a means of implementing and detailing the County's General Plan. In this regard, all future development plans or other similar entitlements shall be consistent with regulations set forth in this document and applicable County regulations. This Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. The THERMAL 551 SPECIFIC PLAN also ensures that new development meet or exceed standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and community identity.

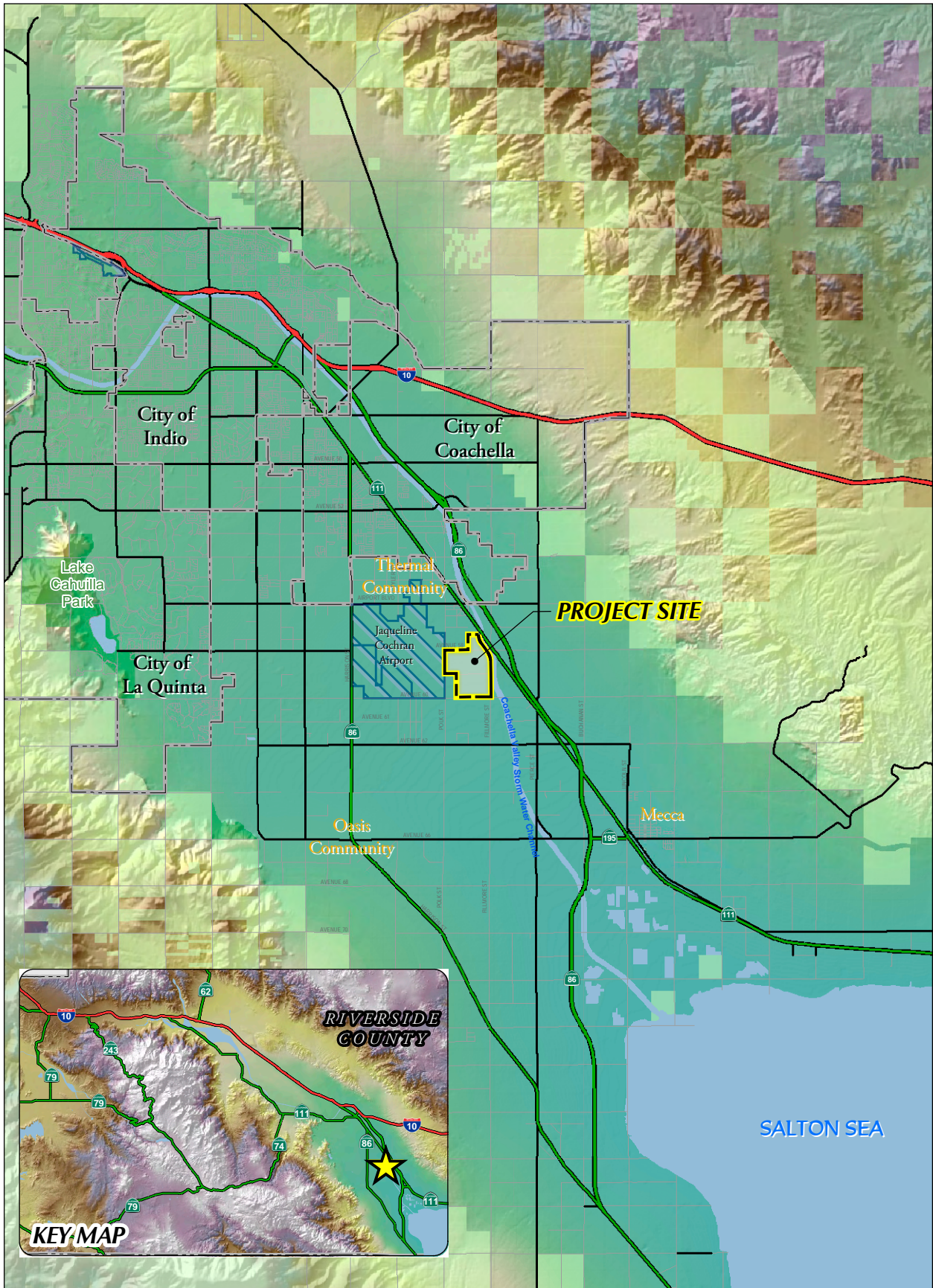
D. PROJECT SETTING

As illustrated in Figure I-1, *Regional Map*, and Figure I-2, *Vicinity Map*, the THERMAL 551 SPECIFIC PLAN is located within the Eastern Coachella Valley Area Plan of unincorporated Riverside County. Eastern Coachella Valley consists of a flat valley floor and is located east of the Santa Rosa Mountains and west of the Mecca Hills and Joshua Tree National Park. The Coachella Valley Stormwater Channel, which is under the jurisdiction of the Coachella Valley Water District (CVWD), flows in a north-south orientation adjacent to Fillmore Street and the eastern boundary of the project site. The Coachella Valley Stormwater Channel discharges into the 380-square mile Salton Sea, the largest lake in California, which is located 6.9 miles southeast of THERMAL 551 and is bordered on the east by the Salton Sea State Recreation Area, a regional tourist destination featuring fishing, camping and hiking. The Coachella Valley area is rural in character with agriculture constituting the primary land use; however, the eastern Coachella Valley as a whole is expected to experience a rapid influx of new residents over the next 20-30 years, with as many as one million people moving to the area.

The site lies within the unincorporated community of Thermal, which is located northwest of the community of Mecca and southeast of the cities of La Quinta, Indio, Coachella, and Palm Desert. The site is regionally accessible by Interstate 10 (I-10), approximately 5.0 miles to the north. Local access to the community from the north and south is provided via Interstate 111 (SH-111), State Highway 86-South (SH-86S) at a distance of approximately 0.1 and 0.7 miles, respectively. Direct access to the site is available from Fillmore Street, Polk Street, and Avenue 60. As shown on Figure I-2, the site is bordered to the south by Avenue 60, to the east by Fillmore Street, and to the west by Polk Street. The northern boundary of the site is located approximately 0.15 mile south of Avenue 57. To the west of the site is the Jacqueline Cochran Regional Airport. This regional facility provides both private and public aviation services.

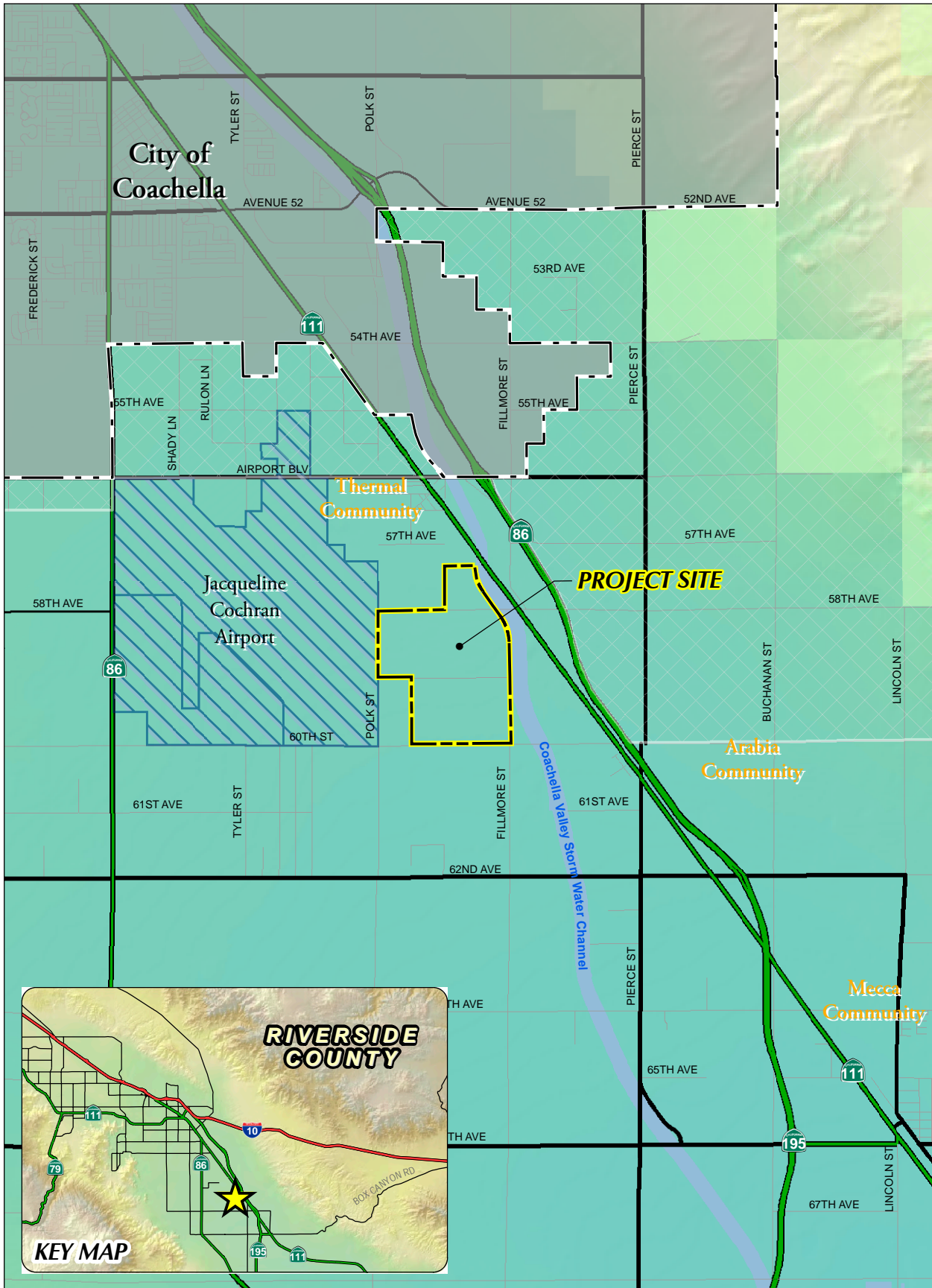
THERMAL 551 is located within the Coachella Valley Unified School District (CVUSD). The community is within the attendance boundary of the John Kelley Elementary School, the Toro Canyon Middle School, and the Desert Mirage High School, all of which are located within the City of Thermal. Additionally, several school sites are approved in the CVUSD service area, but these school sites were not constructed at the time this Specific Plan was prepared. These school sites are located within the Kohl Ranch Specific Plan No. 303, which is approximately 0.4 miles southwest of THERMAL 551, and within the Rancho Santa Rosa project, located 2.5 miles to the southwest. Upon completion of these facilities, it is likely THERMAL 551 will fall within several of these schools' attendance boundaries.

Furthermore, THERMAL 551 is located within the *South Valley Implementation Program* (SVIP) area, a regional planning effort for a portion of the Eastern Coachella Valley area. As illustrated in Figure I-3, *SVIP Land Use Plan*, THERMAL 551 is located in the northern portion of the policy area, which is known as the Town Center District. It is the intent that the land uses and policies developed through the SVIP be incorporated into the County's 2008 General Plan update. The primary goal of the program is to address the rapid rate of development occurring within the Coachella Valley, which was not accounted for in the last



Source(s): Riverside TLMA (2007), ESRI

FIGURE I-1



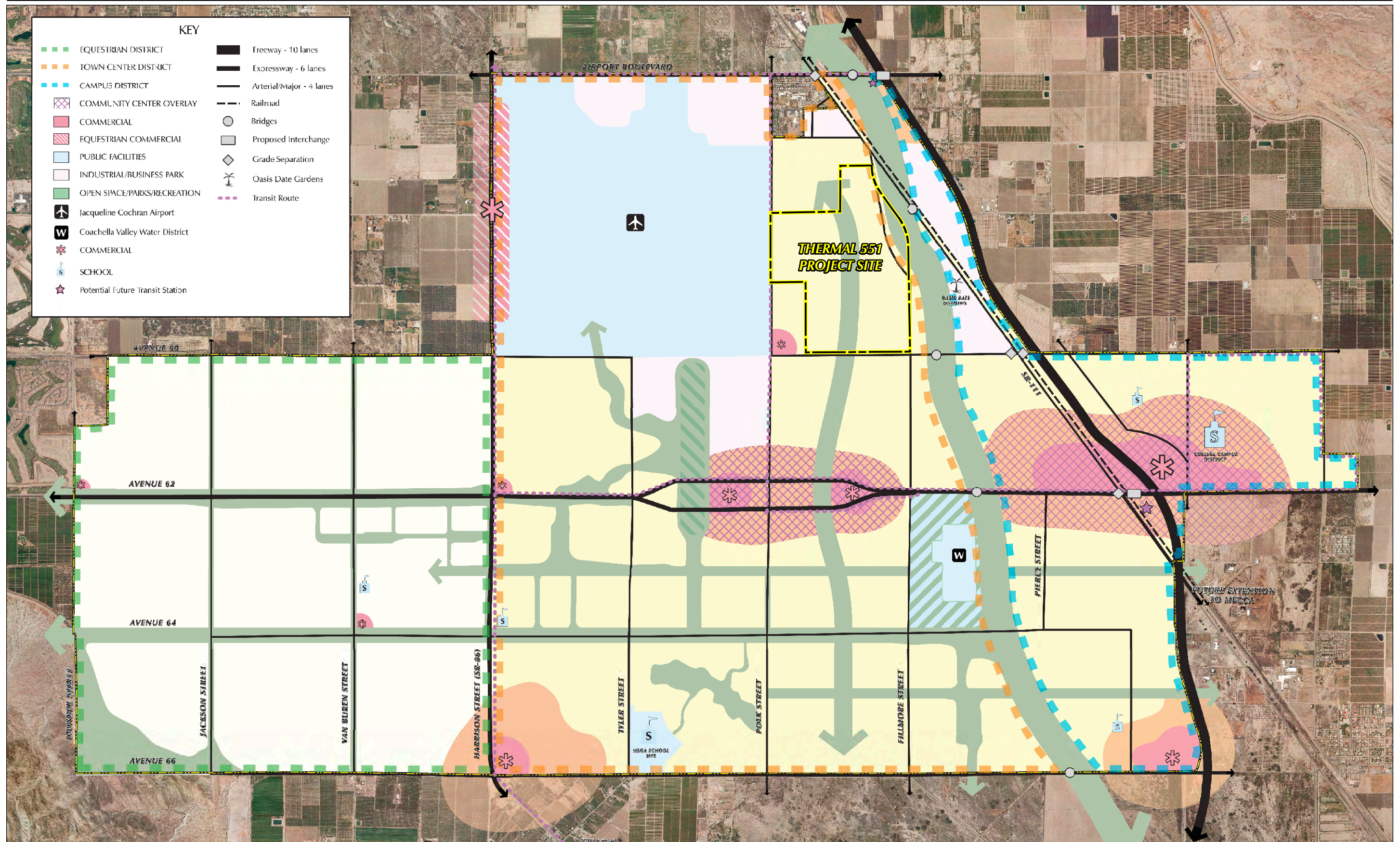
Source(s): Riverside TLMA (2007)

FIGURE I-2

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VICINITY MAP



Source: Riverside TLM; Eagle Aerial (2006)

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FIGURE I-3

Riverside County General Plan (2003). The SVIP aims to ensure that all new development within the program boundaries occurs in an orderly manner and that the necessary public facilities and infrastructure to accommodate future residents are adequately funded. The SVIP addresses how population growth in the area may impact the region as a whole through the inclusion and participation of the Cities of Indio, Coachella, and La Quinta as well as the SCAG, CVAG, LAFCO, and others. As part of the SVIP effort, the County has initiated a General Plan Amendment, Area Plan Amendment, and a Program EIR.

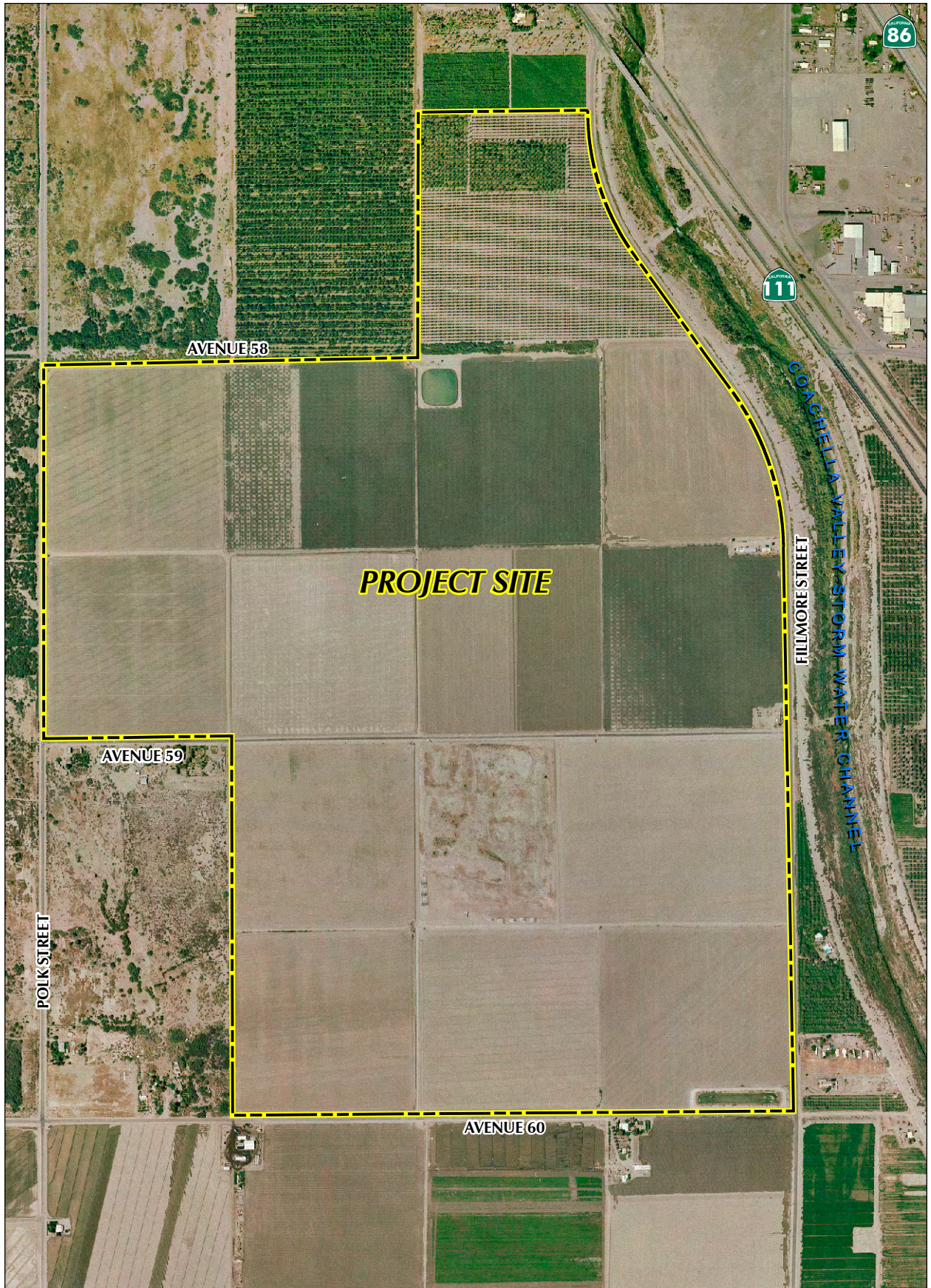
E. EXISTING SITE CHARACTERISTICS

The THERMAL 551 site has historically been used for agricultural purposes. Existing on-site conditions can be seen in Figure I-4, *Aerial Photograph*. In addition to actively farmed and fallow fields, two agricultural ponds and several dirt roads are located on-site. Approximately 10.5 acres in the central portion of the site is occupied by a former Riverside County landfill, known as the Thermal Landfill, which operated primarily as a non-hazardous burn-soil cover type facility. The southern portion of the Public Park in Planning Area 22 is provided within the approximate location of former Thermal Landfill. Prior to development of this portion of the site and pursuant to the mitigation measures included in EIR No. 504, the former landfill site shall be remediated in accordance with the Specific Plan's Remedial Action Workplan (RAW).

The Specific Plan area is relatively flat and contains graded swales that are a maximum height of approximately 8 feet. A shallow network of "farm drains" or "tile drains" were installed on-site between the 1950s and 1970s to control shallow groundwater and mitigate salt leaching from agricultural fields. The tile drains are typically composed of 4" to 8" segments of molded concrete pipes, which are 12" to 18" long. The pipes are placed end to end in a narrow strip of graded filter gravel. Thin gaps between the pipes allow water to flow into them from the surrounding soil and also make them resistant to damage. For more information regarding tile drains and how they affect development of THERMAL 551 and the Grading Plan, refer to Section II of this Specific Plan.

The topography of the site has been modified by the on-site farming activities, but remains extremely flat with an average elevation of approximately 140 feet below Mean Sea Level (MSL) gradually sloping toward the southeast. There is approximately 45 feet of topographic variation between the southeastern and northwestern project boundaries. The site's topography is illustrated in Figure I-5, *Topographic Map*.

As described, the existing soils in the upper 3 to 5 feet of soil have been disturbed by agricultural activities and are unsuitable in their current state for support of new fills or structures. Due to the shallow depth of groundwater (5 to 12 feet), the site is subject to liquefaction and settlement during a seismic event. Additionally, Coachella Valley Agricultural Preserve #18 is located in the northern portion of the site, and Coachella Valley Agricultural Preserve #62 is located in the southern portion of the site. A notice of non-renewal of the land conservation contract relating to Agricultural Preserve #18 has been filed, and a notice of non-renewal of the land conservation contract relating to Agricultural Preserve #62 is in the process of being completed.



Source(s): Eagle Aerial (Sept 2006)

FIGURE I-4

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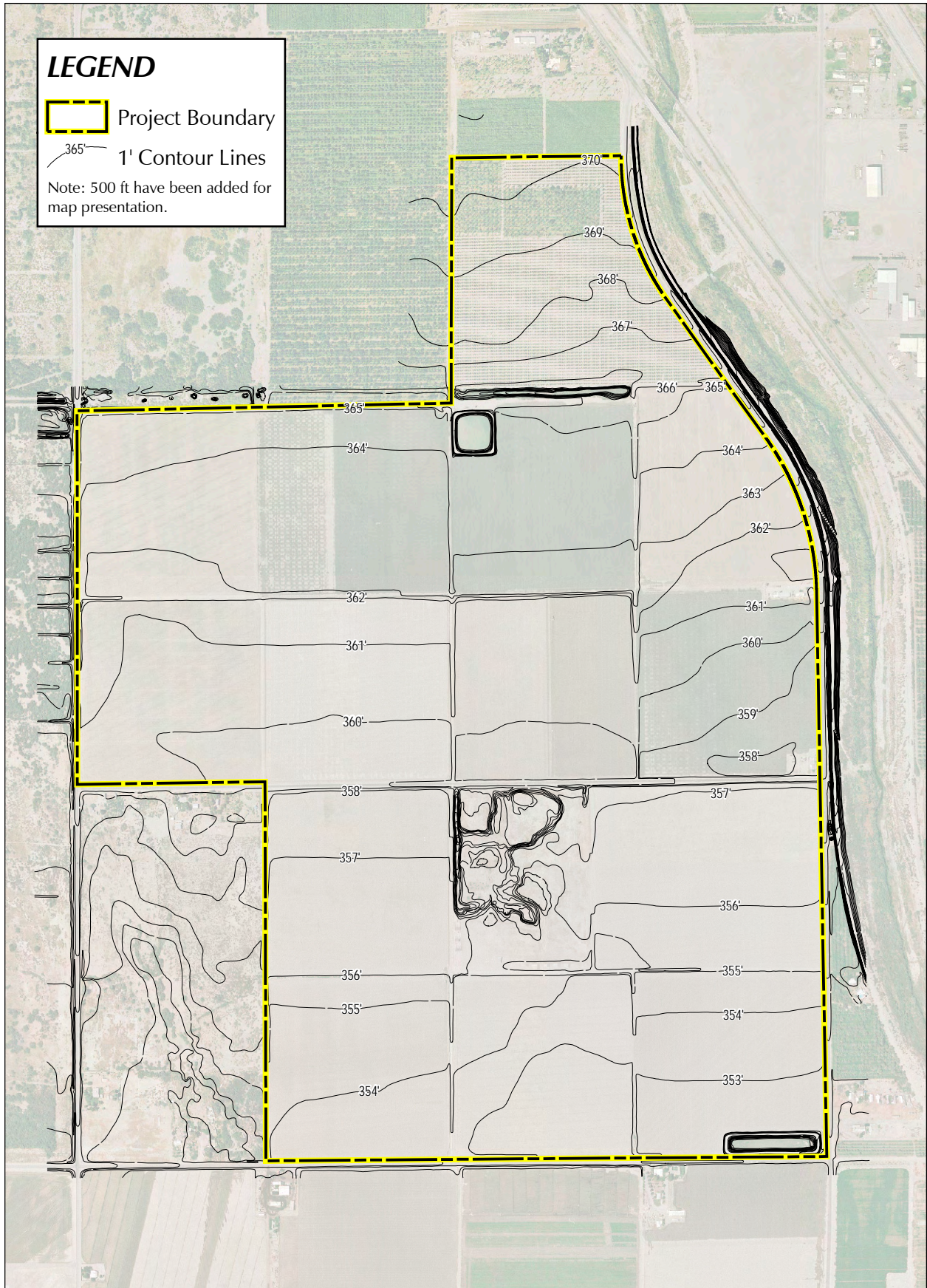
AERIAL PHOTOGRAPH

LEGEND

 Project Boundary

 1' Contour Lines

Note: 500 ft have been added for map presentation.



Source(s): PB&J

FIGURE I-5

1. LAND USE DESIGNATIONS

As illustrated in Figure I-6, *General Plan Designations*, the THERMAL 551 site is designated by the Eastern Coachella Valley Area Plan as “Agriculture,” “Public Facility,” and “Light Industrial.” The “Public Facility” designation indicates the approximate location of the Thermal landfill. Figure I-7, *Zoning Designations*, shows the site is zoned for “Heavy Agriculture (A-2-10)” and “Manufacturing-Service Commercial (M-SC).” With the approval of this Specific Plan, land use designations will be consistent with the THERMAL 551 development plan, and the site’s zoning will be Specific Plan No. 369 (SP 369).

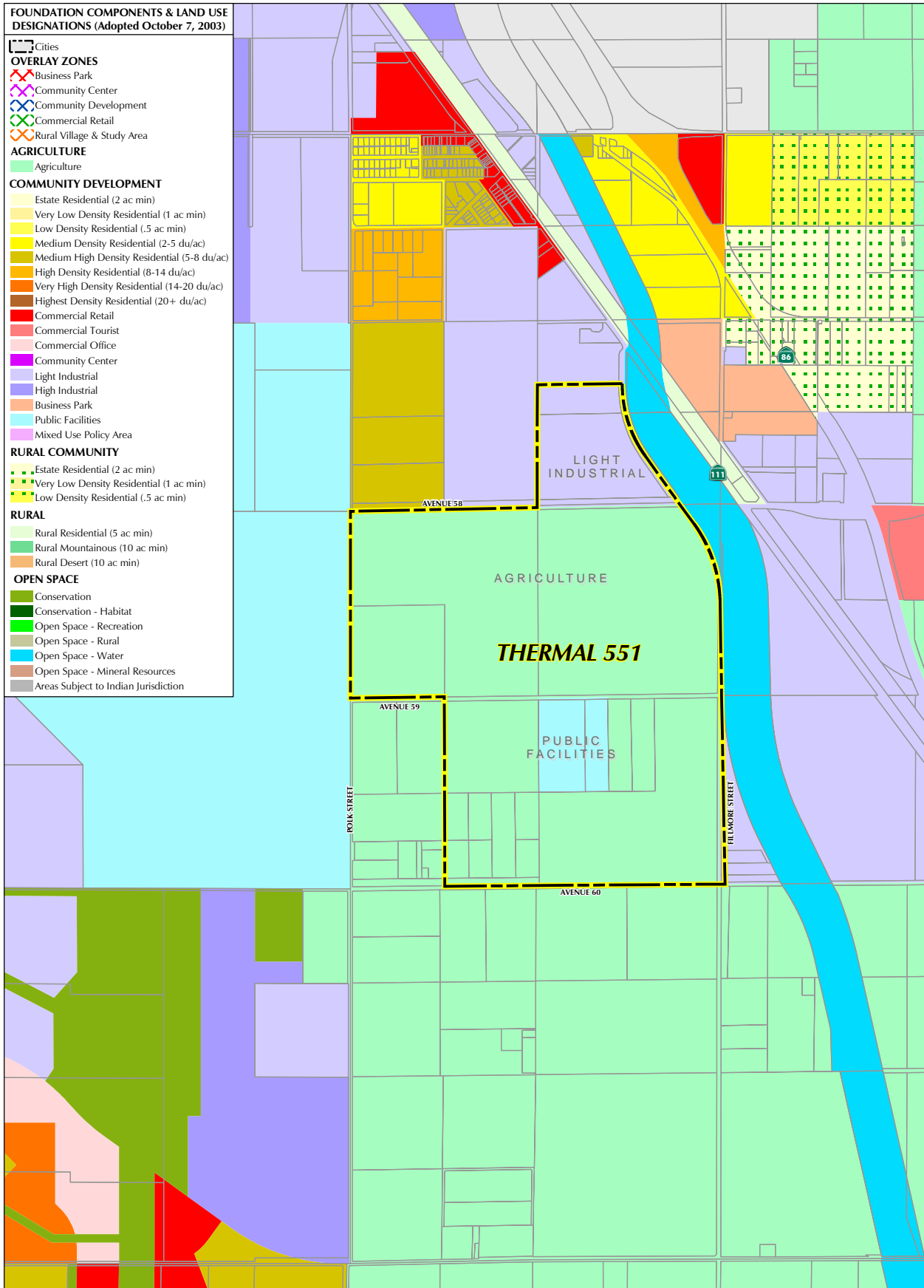
Several amendments to the Circulation Element of the General Plan are proposed in conjunction with the approval of the THERMAL 551 SPECIFIC PLAN. General Plan Amendment No. 00889 (GPA No. 889) amends the Circulation Element of the General Plan to downgrade Avenue 58 between Polk Street and Orange Avenue from a Major Highway to a Secondary Highway and eliminate the segment of Avenue 58 from Orange Avenue to Fillmore Street from the General Plan Circulation Element entirely. Also, the community’s internal circulation plan modifies the General Plan alignment for Avenue 59 to connect with Polk Street roughly 1,000 feet to the north. It is likely that a partial vacation of the General Plan alignment for this roadway, from the east side of the “NAP” parcels to Fillmore Street, would be executed prior to approval of the Final Map. Finally, reduced parkways along the segment of Fillmore Street adjacent to the Coachella Valley Stormwater Channel will be provided in order to maintain a curb to curb dimension of 76 feet and a total right-of-way of 101 feet.

2. SURROUNDING LAND USES AND DEVELOPMENT

As shown in Figure I-8, *Surrounding Development Map*, the Jacqueline Cochran Regional Airport is located west of Polk Street and adjacent to the western boundary of THERMAL 551, and the Coachella Valley Stormwater Channel is located east of Fillmore Street and adjacent to the eastern boundary of THERMAL 551. Other surrounding land uses are primarily agricultural and rural to the north, south and southwest, with scattered residences and associated agricultural structures. Further east is Interstate 111, agricultural lands and warehousing areas, and State Highway 86-South. Although the area has an agricultural character, it is transitioning to a mixed development pattern as evidenced by various development applications and approvals within the SVIP vicinity.

Land uses surrounding THERMAL 551 are briefly described below, in order of proximity to the community. The land uses selected for discussion are intended to provide a general characterization of the site’s setting and future planned development.

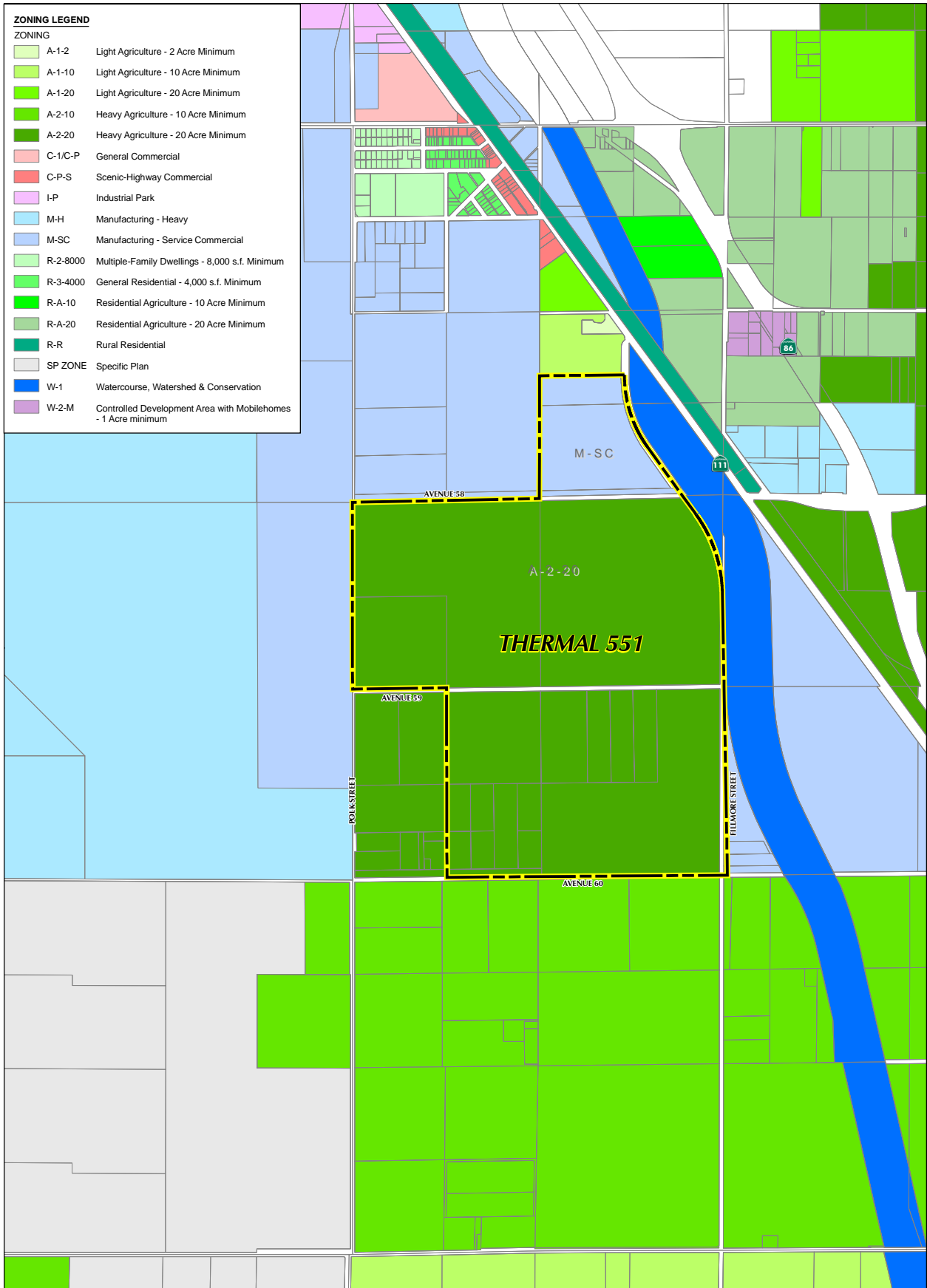
- ❑ **South Valley Implementation Program Area (SVIP):** THERMAL 551 is located within the *South Valley Implementation Program (SVIP)* area, which consists of approximately 32 square miles bisected by Avenue 62. The area is bounded to the north by Avenue 56 (Airport Boulevard), to the south by Avenue 66, to the east by Monroe Street, and to the west by SH-111/SH-86S and Lincoln Street as illustrated in Figure I-3, *South Valley Implementation Program Land Use Plan*. The vision for the SVIP designates



Source(s): Riverside TLMA (Oct. 2007)

FIGURE I-6

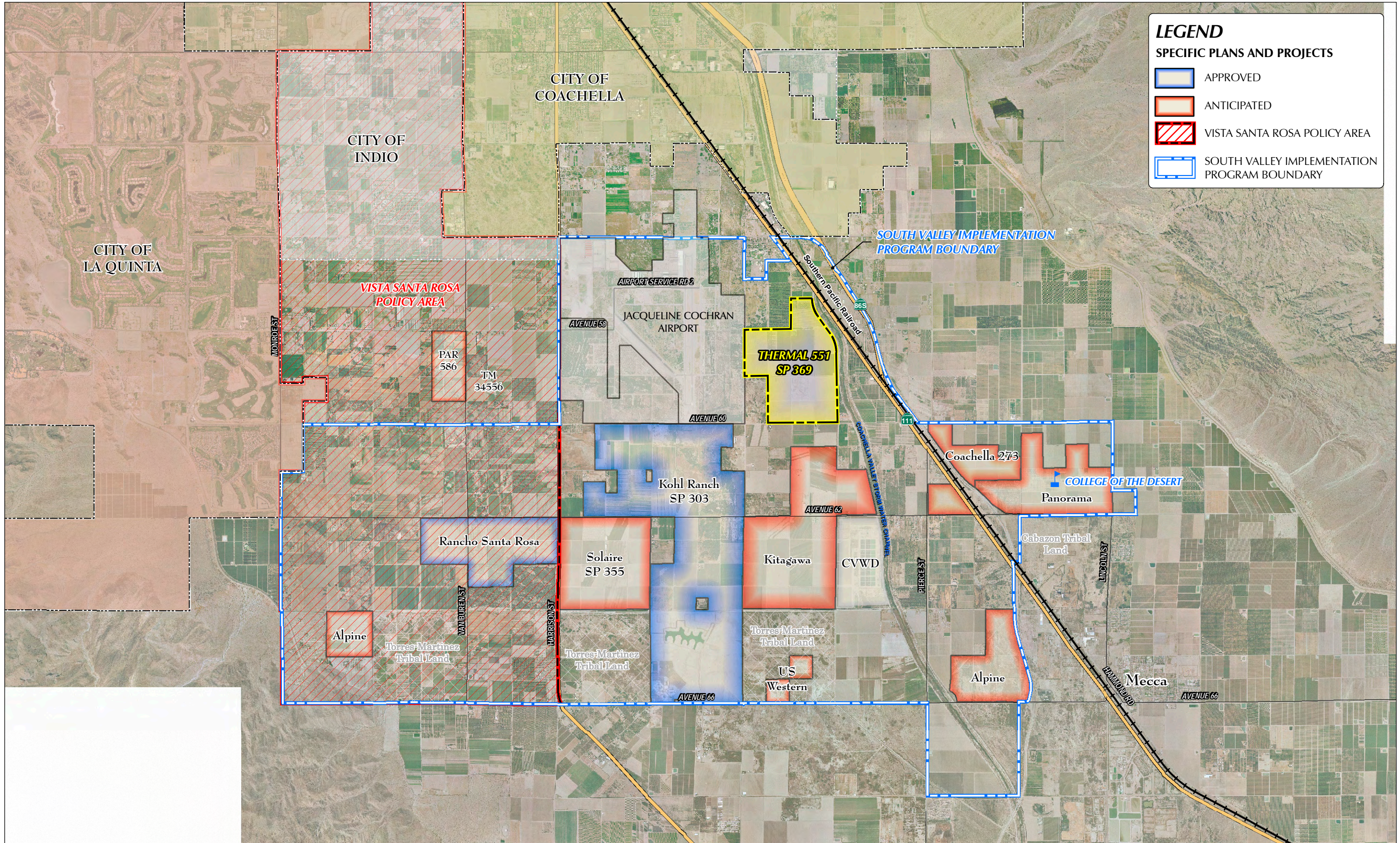




Source(s): Riverside TLMA (Oct. 2007)

FIGURE I-7





LEGEND

SPECIFIC PLANS AND PROJECTS

- APPROVED
- ANTICIPATED
- VISTA SANTA ROSA POLICY AREA
- SOUTH VALLEY IMPLEMENTATION PROGRAM BOUNDARY

Sources: Riverside TLMA (Oct. 2007), Eagle Aerial (Sept 2006)

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FIGURE I-8

Avenue 62 as a primary thoroughfare in the area, with wide setbacks along either side of the roadway to be used for recreation or community identification. THERMAL 551 is located within the Town Center District, which lies in the central portion of the SVIP between Harrison Street and the Coachella Valley Stormwater Channel. The district consists of a community core with commercial retail, community facilities, high density residential development and open space areas for public gathering and recreation. This district acts as a transition zone to the more traditional residential communities on the periphery.

- ❑ **Desert Communities Redevelopment Area:** THERMAL 551 is located within the Thermal Sub-Area of the Desert Communities Redevelopment Area. The Desert Communities Redevelopment Area was adopted on December 23, 1986 through Riverside County Ordinance No. 638. The Riverside County Economic Development Agency anticipates development of the 17,250-acre area for future industrial uses and enhanced airport improvement activities. The EDA plans to prepare Design Guidelines for the Thermal community to ensure that it is developed in a cohesive, attractive manner and blends with the SVIP design guidelines.
- ❑ **Thermal Community:** THERMAL 551 is located within the unincorporated community of Thermal. Thermal is primarily an agricultural community with a population of approximately 3,300 residents.
- ❑ **Jacqueline Cochran Regional Airport:** The Jacqueline Cochran Regional Airport is located west of Polk Street and adjacent to the western boundary of THERMAL 551. This airport is considered a regional facility and provides both public and private aviation services accommodating approximately 200 daily aircrafts and 56 aircraft hangers. The airport is ultimately expected to accommodate 600 daily aircraft and 130 aircraft hangers.

The Jacqueline Cochran Regional Airport Land Use Plan is a policy document intended to protect and promote the safety and welfare of residents in the airport vicinity and users of the airport while ensuring the continued operation of the airport. THERMAL 551 is located in an area subject to review and approval by the Riverside County Airport Land Use Commission (ALUC). Most of the community is located within the mapped Airport Land Use Compatibility Zone D, with the exception of a thin portion along the eastern boundary, which is located within the Airport Land Use Compatibility Zone E. The project's conformance with the requirements of Zone D and other airport-related requirements are thoroughly described in Section IV.E.4, *Open Land Standards*.

- ❑ **Coachella Valley Stormwater Channel:** The Coachella Valley Stormwater Channel, often referred to as the Whitewater River, is located adjacent to Fillmore Street immediately east of THERMAL 551 and is under the jurisdiction of the Coachella Valley Water District (CVWD). Because the river spreads across the lower valley during flooding, the CVWD channelized the Coachella Valley Stormwater Channel downstream from Point Happy in La Quinta, creating a channel approximately 25.0

miles in length. The Coachella Valley Stormwater Channel carries runoff from the Coachella Valley and eventually discharges into the Salton Sea.

- ❑ **Cities of Coachella, Indio, and La Quinta:** The City of Coachella is located approximately 0.7 miles to the north of THERMAL 551 along SR-111, and has a population of approximately 35,207 people, according to the January 2006 population estimates published by the State Department of Finance. The City of Indio is located further north along SR-111, approximately 5.0 miles northwest of the community, and supports a 2006 population of roughly 71,654 people. The City of La Quinta is located south of SR-111 and approximately 4.5 miles to the west and has a 2006 population of 38,340 people. These areas are commonly recognized as “desert resort” areas and contain numerous golf courses, resorts, and hotels, in addition to a permanent resident population, employment areas, and support services such as commercial retail, entertainment, recreation, and public services. The area experiences temporary population fluctuations due to the annual influx of seasonal residents and tourists; additionally, recent population data indicates that the area is experiencing permanent population growth and a subsequent increase in housing demand.
- ❑ **Tribal Lands:** Numerous non-contiguous parcels of land in the area are owned by Native American tribal groups. A parcel of the Torres-Martinez tribal land reservation is located approximately 2.0 miles to the south of THERMAL 551 and a parcel of the Augustine Band of Mission Indians tribal lands is located approximately 2.2 miles northwest. In addition, the Augustine Band of Mission Indians, the Torres-Martinez Desert Cahuilla Indians, the 29 Palms Band of Mission Indians, and the Cabazon Band of Mission Indians maintain reservations throughout the Coachella Valley area totaling 10,046 acres.
- ❑ **Vista Santa Rosa Policy Area:** The Vista Santa Rosa Policy Area is located approximately 2.3 miles to the southwest of THERMAL 551. Generally, the policy area extends from Avenue 50 on the north, to Monroe Street on the west, to SR-86 (Harrison Street) on the east, and south to Avenue 66. The area is an important producer of date crops, and is characterized as an agriculturally themed, low-density residential area including equestrian uses and amenities such as polo fields.
- ❑ **Mecca Community:** The unincorporated community of Mecca is located approximately 4.2 miles southeast of THERMAL 551, along SR-111. Mecca is primarily an agricultural community with light industrial and commercial land uses. The population of Mecca is approximately 5,500 residents.
- ❑ **Salton Sea:** The Coachella Valley Stormwater Channel discharges into a body of water known as the Salton Sea, located approximately 6.9 miles southeast of the community. The Salton Sea’s unique feature of being a shallow, closed basin renders it vulnerable to increases or reductions in inflows, nutrients, and salinity. A nutrient-excessive and highly saline environment is inhospitable to the Sea’s wildlife. Recreational opportunities in the Salton Sea and its surrounding areas

include boating, camping, off-roading, hiking, hunting, use of personal watercraft, and photography.

F. PLANNING APPROACH

The THERMAL 551 SPECIFIC PLAN land use plan evolved from a project team composed of industry professionals from a variety of disciplines. The team created a comprehensive development plan for the community that is consistent with the existing airport land uses within the nearby Jacqueline Cochran Regional Airport and the proposed future land uses of surrounding property and responded to development and population trends of the Coachella Valley area. The team also responded to the recommendations and requirements set forth by the Eastern Coachella Valley Area Plan, the Thermal Community Council, Riverside County General Plan and the SVIP. These efforts result in a community plan that fulfills the residential, recreational, and infrastructure needs of the area in an efficient, orderly, and aesthetically attractive manner.

The THERMAL 551 SPECIFIC PLAN development envelope is primarily defined by roadways, including Fillmore Street, Avenue 60, Polk Street, Avenue 58, and Orange Avenue. The community is located within the existing mapped Airport Land Use Compatibility (ALUC) Zone D, with the exception of the small area of the community along the eastern boundary, which is located within the Airport Land Use Compatibility Zone E. Neighborhoods within THERMAL 551 were designed to conform to the requirements of both ALUC Zones. Zone D requirements, which specify that 10% of the development must contain “open land,” also influenced the type and placement of non-residential land uses within the community. The project’s conformance with the requirements of Zone D is thoroughly described in Section IV.E.4, *Open Land Standards*.

Federal Aviation Administration (FAA) requirements were also taken into consideration during the design of the THERMAL 551 Specific Plan Land Use Plan.¹ In compliance with FAA requirements and Zone D standards, this Specific Plan prohibits any land uses or landscaping that may attract large concentrations of wildlife (birds) and potentially create a hazard for aircrafts. Specifically, the irrigation storage pond is permanently covered with a cloth, and the Open Space/Detention basins have been designed to drain of any water within 48 hours. Furthermore, the Plant Palette, as described in Section IV, *Design Guidelines*, prohibits the planting of any vegetation that may attract quantities of birds.

A shallow network of “farm drains” or “tile drains” were installed on-site between the 1950’s and 1970’s to control shallow groundwater and mitigate salt leaching from agricultural fields. Study of the condition of these tile drains revealed that some were suitable for continued use while others would need to be replaced during construction of the project, as described in Section II, *Specific Plan*. The southern portion of the Public Park in Planning Area 22 is approximately the former location of the Thermal Landfill, which operated primarily as a non-hazardous burn-soil cover type facility.

¹ Federal Aviation Administration (FAA) Advisory Circular (AC) 150/5200-33B, “Hazardous Wildlife Attractants on or Near Airports,” 8/28/2007.; FAA Title 14, Code of Federal Regulations (CFR), Part 139, Certification of Airports, Subpart D (Part 139).

The development envelope for THERMAL 551 is primarily defined by roadways, including Fillmore Street, Avenue 60, and Polk Street. In addition, the *South Valley Implementation Program* was consulted in regard to land use designations, circulation, trails and land use policies. The SVIP policies are intended to replace the existing RCIP designations in the 2008 General Plan update; therefore, this Specific Plan is based on the SVIP as opposed to the RCIP.

The THERMAL 551 SPECIFIC PLAN delineates approximate boundaries for planning areas, which were established according to the requirements described above, logical placement, lot size, phasing, and surrounding land uses. Planning areas consist of a variety of residential and recreational land uses, supported by necessary facilities and infrastructure. Higher density residential neighborhoods are located near recreational amenities, and at the intersection of Avenue 59, Orange Avenue, and Street "A." Lower density residential land uses are situated around the perimeter of the community.

G. PROJECT GOALS

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals, *South Valley Implementation Program* policies, and local community goals all were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic contribution of this Specific Plan, specific planning and development goals for the project were established and supported by this extensive analysis. With these specific project goals in mind, the following objectives have been established for the THERMAL 551 SPECIFIC PLAN are as follows:

- To develop a master-planned community that provides a variety of residential housing types and home ownership opportunities to residents in a wide range of economic circumstances.
- To provide high-quality residences designed to be marketable and accessible within the evolving, economically diverse profile of the eastern Coachella Valley, which is experiencing population growth and a subsequent increase in housing demand.
- To provide public and private recreational facilities to meet the needs of community residents and the general public in an efficient and timely manner.
- To provide an extensive sidewalks and trails system to promote pedestrian circulation throughout the "walkable" community.
- To ensure that development and implementation of THERMAL 551 progresses in coordination with the phasing, scheduling and financing initiatives for the implementation of infrastructure and other public improvements outlined in the draft SVIP and needed to support the projected growth to the area.

- To ensure that the community contributes to the successful development of the transportation needs of the local and regional areas.
- To provide a framework for a development applying various goals and objectives contained within the SVIP.
- To create a master-planned community in the eastern Coachella Valley that implements specific design guidelines created for the project, including guidelines for architecture, landscaping, color treatments, paving, walls, fencing, signage, and entry treatments consistent with the Countywide Design Standards & Guidelines, the SVIP Design Guidelines, and the Thermal Community Design Guidelines.
- To incorporate energy efficient design features in order to maximize the conservation of natural resources.

H. DISCRETIONARY ACTIONS

The Riverside County Planning Department is the Lead Agency for the THERMAL 551 SPECIFIC PLAN, under whose authority this Specific Plan has been prepared. This document is intended to be used by public agencies in connection with the following decisions:

1. RIVERSIDE COUNTY PLANNING COMMISSION

- Recommendation to the Board of Supervisors regarding adoption of Specific Plan No. 369 by Resolution.
- Recommendation to the Board of Supervisors regarding approval of Amendment No. 00846 to the General Plan by Resolution.
- Recommendation to the Board of Supervisors regarding approval of Amendment No. 00889 to the General Plan by Resolution.
- Recommendation to the Board of Supervisors regarding approval of Change of Zone No. 07481 by Ordinance.
- Recommendation to the Board of Supervisors regarding approval of EIR No. 504 by Resolution.

2. RIVERSIDE COUNTY BOARD OF SUPERVISORS

- Adoption by Resolution of Specific Plan No. 369.
- Adoption by Resolution of General Plan Amendment No. 00846.
- Adoption by Resolution of General Plan Amendment No. 00889.

- ❑ Approval by Ordinance of Change of Zone No. 07481.
- ❑ Approval by Resolution of EIR No. 504.

Subsequent discretionary actions may include tentative tract maps, final tract maps, plot plans and/or Conditional Use Permits, grading permits, water and sewer systems, and encroachment permits.

II. SPECIFIC PLAN

A. LAND USE PLAN

1. DEVELOPMENT CONCEPT

The THERMAL 551 SPECIFIC PLAN establishes a master-planned residential community that stands out from other new development within the eastern Coachella Valley area. THERMAL 551 is unique in that it offers a wide range of housing opportunities as well as public and private recreational amenities. The residential land uses within the community provide high-quality, attainable housing options for a variety of family sizes and income levels, including young professionals and first-time home buyers. The community contains a maximum of 2,354 homes, which assists in meeting the expanding housing needs of the Eastern Coachella Valley. The THERMAL 551 neighborhoods include eight different product types, including both traditional and innovative styles such as rear-loaded homes, “Paired-Z” homes, courtyard homes, and townhomes, varying in density from 3.6 to 10.0 dwelling units per acre, with a gross density of 3.8 dwelling units per acre.

As depicted in Figure II-1, *Conceptual Specific Plan Land Use Plan*, higher density housing types are located in the center of the community at the nexus of the major internal roadways, including Orange Avenue, Street “A,” and Avenue 59. A unique aspect of THERMAL 551 is the community’s range of innovative residences, including “Single Family Detached” and “Single Family Attached” types. Single Family Detached homes include courtyard or motor court styles and are located within Planning Areas 8 and 14. Single Family Attached homes include townhomes or duplexes and are located within Planning Areas 7 and 13.

THERMAL 551 also features rear-loaded and “Paired-Z” single family homes on 3,600 square foot (s.f.) lots within Planning Areas 4 and 9. Single Family Detached and Single Family Attached homes are prominently located at the intersection of Avenue 59 and Street “A” and create an attractive aesthetic appearance when viewed from public areas, such as the nearby Public Park. Other traditional housing types offered within THERMAL 551 include single-family units on 4,500 s.f., 5,000 s.f., 6,000 s.f., and 7,200 s.f. lots. Lower-density neighborhoods are located close to the perimeter of the community.

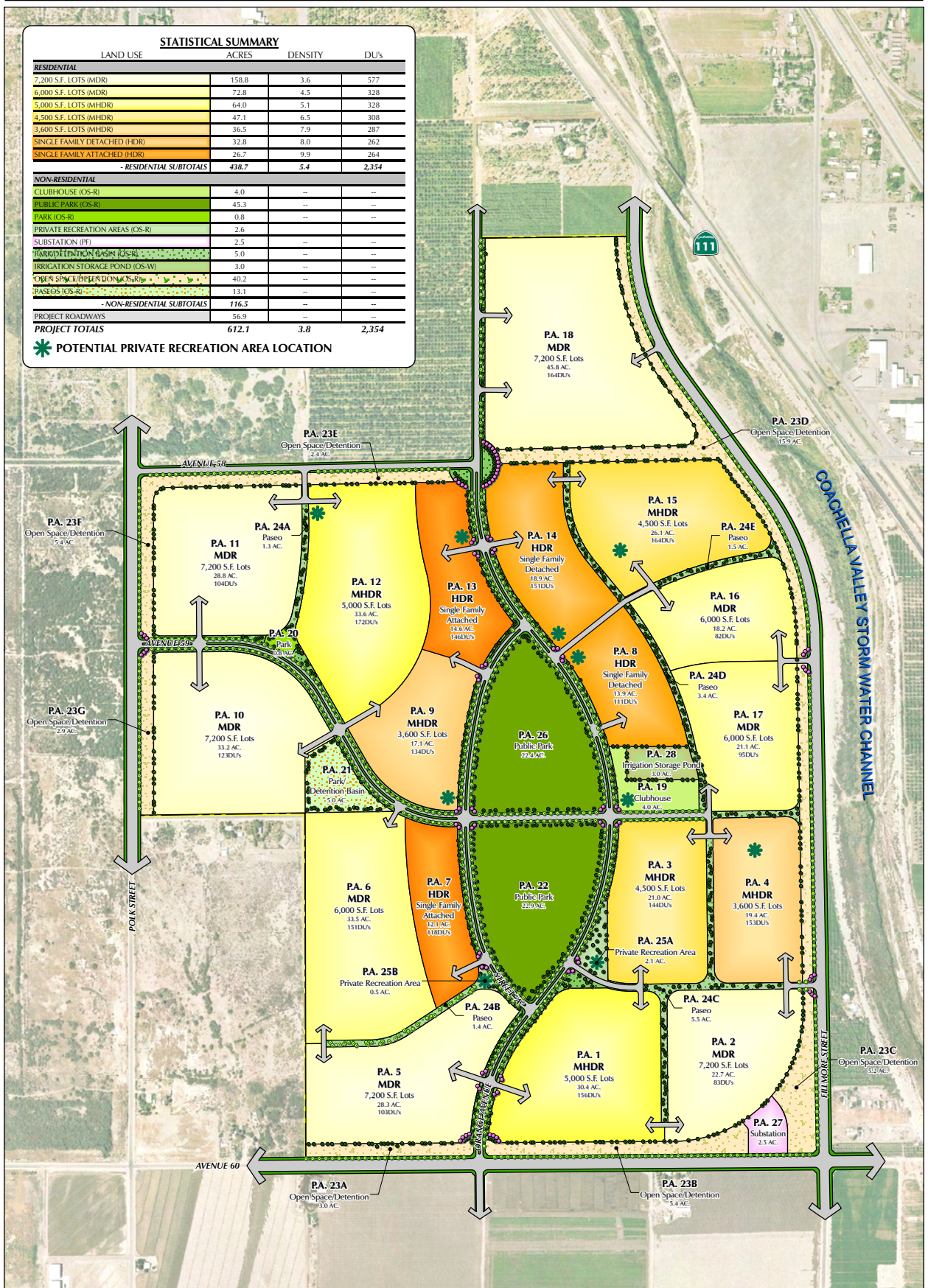
THERMAL 551 contains 124.9 acres of private and public recreational amenities, open space, and expanded parkways. The circulation system places attention on a 4.0-acre clubhouse area and the large 45.3-acre Public Park, which is comprised of Planning Area 22 (22.9 acres) and Planning Area 26 (22.4 acres). The Public Park features soccer and softball fields; tennis, volleyball, and basketball courts; disc golf; trails; tot lots; and a variety of other amenities. To ensure access between the two portions of the Public Park, a protected crosswalk is provided at Avenue 59, allowing park users to travel between the southern to the northern portions of the park while being protected from traffic. This protected pedestrian crossing connects to Enhanced Sidewalk trails within the Public Park. Located west of the Public Park is the clubhouse area, which serves as the central community

gathering location, features a clubhouse building, workout center, a tot lot, a wade pool, and a swimming pool.

In addition to these core recreational features, a 5.0 acre Park/Detention Basin and 0.8 acre Private Park are located in the western portion of the community. Seven private recreation facilities are situated throughout the community within the higher density neighborhoods (Planning Areas 4, 8, 9, 12, 13, 14, and 15). Paseos, totaling 13.1 acres, are also placed at strategic locations within the community to increase pedestrian connectivity between the various land uses.

THERMAL 551 contains 40.2 acres of Open Space/Detention land uses, which are primarily located along the perimeter of the community and serve as a buffer between on-site residential land uses and off-site uses, including the Coachella Valley Stormwater Channel, Jacqueline Cochran Airport, agricultural uses, and future development. In addition to providing water detention and improving water quality during storm events, the landscaped Open Space/Detention areas add to the aesthetic quality of the community.

Provided below is a description of each of the land uses within the THERMAL 551 community, and specific information on each of the planning areas is provided in Table II-1, *Detailed Land Use Summary*.



STATISTICAL SUMMARY			
LAND USE	ACRES	DENSITY	DU'S
RESIDENTIAL			
7,200 S.F. LOTS (MDR)	158.8	3.6	577
6,000 S.F. LOTS (MDR)	72.8	4.5	328
5,000 S.F. LOTS (MHDR)	64.0	5.1	328
4,500 S.F. LOTS (MHDR)	47.1	6.5	308
3,600 S.F. LOTS (MHDR)	36.5	7.9	287
SINGLE FAMILY DETACHED (HDR)	32.8	8.0	262
SINGLE FAMILY ATTACHED (HDR)	26.7	9.9	264
- RESIDENTIAL SUBTOTALS	438.7	5.4	2,354
NON-RESIDENTIAL			
CLUBHOUSE (OS-R)	4.0	--	--
PUBLIC PARK (OS-R)	45.3	--	--
PARK (OS-R)	0.8	--	--
PRIVATE RECREATION AREAS (OS-R)	2.6	--	--
SUBSTATION (PF)	2.5	--	--
IRRIGATION STORAGE BASIN (OS-R)	5.0	--	--
IRRIGATION STORAGE POND (OS-W)	3.0	--	--
OPEN SPACE/DEFLECTIONS (OS-R)	40.2	--	--
BASES (OS-R)	13.1	--	--
- NON-RESIDENTIAL SUBTOTALS	116.5	--	--
PROJECT ROADWAYS	56.9	--	--
PROJECT TOTALS	612.1	3.8	2,354

*** POTENTIAL PRIVATE RECREATION AREA LOCATION**

Source(s): Eagle Aerial (2006)

FIGURE II-1

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CONCEPTUAL SPECIFIC PLAN LAND USE PLAN

Table II-1 DETAILED LAND USE SUMMARY

PA	LAND USE	ACRES	TARGET DENSITY	DENSITY RANGE	DU's
1	5,000 s.f. lots - MHDR	30.4	5.1	5.0-8.0	156
2	7,200 s.f. lots - MDR	22.7	3.7	2.0-5.0	83
3	4,500 s.f. lots - MHDR	21.0	6.9	5.0-8.0	144
4	3,600 s.f. lots - MHDR	19.4	7.9	5.0-8.0	153
5	7,200 s.f. lots - MDR	28.3	3.6	2.0-5.0	103
6	6,000 s.f. lots - MDR	33.5	4.5	2.0-5.0	151
7	Single Family Attached - HDR	12.1	9.8	8.0-14.0	118
8	Single Family Detached - HDR	13.9	8.0	8.0-14.0	111
9	3,600 s.f. lots - MHDR	17.1	7.8	5.0-8.0	134
10	7,200 s.f. lots - MDR	33.2	3.7	2.0-5.0	123
11	7,200 s.f. lots - MDR	28.8	3.6	2.0-5.0	104
12	5,000 s.f. lots - MHDR	33.6	5.1	5.0-8.0	172
13	Single Family Attached - HDR	14.6	10.0	8.0-14.0	146
14	Single Family Detached - HDR	18.9	8.0	8.0-14.0	151
15	4,500 s.f. lots - MHDR	26.1	6.3	5.0-8.0	164
16	6,000 s.f. lots - MDR	18.2	4.5	2.0-5.0	82
17	6,000 s.f. lots - MDR	21.1	4.5	2.0-5.0	95
18	7,200 s.f. lots - MDR	45.8	3.6	2.0-5.0	164
19	Clubhouse Area - OS-R	4.0	--		--
20	Park - OS-R	0.8	--		--
21	Park/Detention Basin - OS-R	5.0	--		--
22	Public Park - OS-R	22.9	--		--
23A	Open Space/Detention - OS-R	3.0	--		--
23B	Open Space/Detention - OS-R	5.4	--		--
23C	Open Space/Detention - OS-R	5.2	--		--
23D	Open Space/Detention - OS-R	15.9	--		--
23E	Open Space/Detention - OS-R	2.4	--	--	--
23F	Open Space/Detention - OS-R	5.4	--	--	--
23G	Open Space/Detention - OS-R	2.9	--	--	--
24A	Paseo - OS-R	1.3	--	--	--
24B	Paseo - OS-R	1.4	--	--	--
24C	Paseo - OS-R	5.5	--	--	--
24D	Paseo - OS-R	3.4	--	--	--
24E	Paseo - OS-R	1.5	--	--	--
25A	Private Recreation Area - OS-R	2.1	--	--	--
25B	Private Recreation Area - OS-R	0.5	--	--	--
26	Public Park - OS-R	22.4	--	--	--
27	Substation - PF	2.5	--	--	--
28	Irrigation Storage Pond - OS-W	3.0			
--	Major Circulation	46.0	--	--	--
--	Expanded Parkways	10.9	--	--	--
TOTAL		612.1	3.8	--	2,354

a. Residential

An appealing aspect of the THERMAL 551 community is the wide range of attainable housing styles, sizes, and values. The design and layout of residential units sets the THERMAL 551 community apart from other development within the Eastern Coachella Valley area as a distinct, high-quality master-planned community.

Residential planning areas account for 438.7 acres of THERMAL 551 and contain 2,534 dwelling units for a net residential density of 5.4 dwelling units per acre. These neighborhoods are discussed in greater detail in Section III, *Planning Area Development Standards*. The different residential land uses, densities, and lot sizes contained within the THERMAL 551 community are described below.

- ❑ ***Medium Density Residential (2-5 du/ac):*** A total of 905 Medium Density Residential homes are provided on 231.6 acres of land at an average density of 3.9 dwelling units per acre. Medium Density Residential homes are located in Planning Areas 2, 5, 6, 10, 11, 16, 17, and 18. This density range includes traditional single-family detached residences on minimum 6,000 s.f. and 7,200 s.f. lots.
- ❑ ***Medium High Density Residential (5-8 du/ac):*** A total of 923 Medium High Density Residential dwelling units are provided on 147.6 acres in Planning Areas 1, 3, 4, 9, 12, and 15 at an average density of 6.3 dwelling units per acre. This density range consists of a variety of housing types including traditional single-family detached residences on minimum 4,500 s.f. and 5,000 s.f. lots; and rear-loaded or Z-style residences on minimum 3,600 s.f. lots.
- ❑ ***High Density Residential (8-14 du/ac):*** A total of 526 High Density Residential dwelling units are provided on 59.5 acres in Planning Areas 7, 8, 13, and 14 at an average density of 8.8 dwelling units per acre. This density range consists of rear-loaded or Z-style residences on minimum 3,600 s.f. lots; single-family attached homes (townhomes or duplexes); and single-family detached homes (courtyard or motor court homes).

b. Parks and Recreation

Recreational amenities within THERMAL 551 constitute a major component of the community's identity. A total of 124.9 acres are devoted to parks, recreation, expanded parkways, and open space within the THERMAL 551 SPECIFIC PLAN.

Planning Area 22 and 26 feature a combined 45.3-acre Public Park, which includes several active and passive amenities such as soccer and softball fields; tennis, volleyball, and basketball courts; disc golf; trails; tot lots; gazebos; picnic facilities; parking facilities; and open turf areas. To facilitate pedestrian access between the northern portion (Planning Area 26) and the southern portion (Planning Area 22), a protected pedestrian crosswalk is provided at Avenue 59. This at-grade crosswalk connects to trails that run along the

perimeter of the Public Park. Park users may utilize the protected pedestrian crossing to easily and safely travel between the northern and southern portions of the park.

Located east of the Public Park is the 4.0-acre clubhouse area (Planning Area 19). The clubhouse area features a clubhouse building, private workout center, a tot lot, a wading pool, and a swimming pool. Planning Area 20 consists of a 0.8-acre Private Park, which features a tot lot, open turf areas, and picnic facilities to serve residential land uses within Planning Areas 11 and 12. A 5.0-acre Park/Detention Basin is located within Planning Area 21. This Specific Plan permits Planning Area 21 to be developed as a passive park with no detention functions or as a detention basin with no park amenities, depending on the final hydrologic and Water Quality Management Plan (WQMP) requirements prepared as part of the implementing tentative map(s).

Planning Areas 25A and 25B contain private recreation areas that are 2.1 and 0.5 acres in size, respectively. Planning Area 25A serves residents of Planning Area 3, and Planning Area 25B serves residents of Planning Area 7. Seven private recreation facilities are situated throughout the community within the higher density neighborhoods (Planning Areas 4, 8, 9, 12, 13, 14, and 15). These facilities, which are a minimum of 10,000 square feet in size, are intended to provide passive and active recreational amenities on a neighborhood-level and shall include seating areas, shade structures, and swimming pools, and may include a variety of other recreational amenities, such as tot lots, seating areas, and/or trail connections.

Open Space/Detention areas, which total 40.2 acres, are located along the perimeter of the community within Planning Areas 23A through 23G. These areas serve as detention basins during storm events and facilitate drainage across the community. Furthermore, these areas serve as a buffer from perimeter roadways and off-site land uses, including agricultural fields, residential homes, the Coachella Valley Stormwater Channel (to the east), and the Jacqueline Cochran Airport (to the west).

An extensive trails plan provides pedestrian access throughout the community. The network includes the paseos in Planning Areas 24A through 24E. These paseos, which total 13.1 acres, consist of Pedestrian Paseo pathways and generous landscaping. Other components of the community trails and sidewalks plan include 5- and 6-foot sidewalks adjacent to roadways, an off-site Class I Bike trail on top of the Coachella Valley Stormwater Channel earthen embankment, and an equestrian-friendly Regional Combination trail adjacent to Avenue 60. The community's trail system is described in greater detail in Section II.F.6.h, *Trails System*.

More detailed descriptions of parks, recreation areas, and Open Space/Detention land uses are provided in Section III, *Development Plans and Standards*, and Section IV, *Design Guidelines*.

c. Public Facilities

The THERMAL 551 community includes a 2.5-acre site electrical substation site within Planning Area 27. This site is located adjacent the Open Space/Detention land uses in Planning Areas 23B and 23C. This facility shall be constructed and maintained by the Imperial Irrigation District.

d. Roads

The THERMAL 551 SPECIFIC PLAN includes the construction of 56.9 acres of roadways, which includes 10.9 acres of expanded parkways adjacent to portions of Orange Avenue, Street "A," and Avenue 59. A more detailed description of the community's internal circulation system is discussed Section II, *Master Circulation Plan*, and Section IV, *Design Guidelines*.

2. DWELLING UNIT TRANSFER PROCEDURE

The Dwelling Unit Transfer Procedure, as set forth by this Specific Plan, allows for the transfer of dwelling units from one planning area to another without necessitating the preparation of a Specific Plan Amendment or Substantial Conformance. The Dwelling Unit Transfer Procedure may be utilized if market conditions favor the development of one residential product type over another.

The total Specific Plan area shall be developed with a maximum of 2,354 dwelling units on 612.1 acres, as illustrated in Figure II-1, *Specific Plan Land Use Plan*. Each residential planning area is assigned a "Density Range" and a "Target Density" in Table II-1, *Detailed Land Use Summary*. The "Density Range" is a range of the minimum and maximum number of dwelling units per acre permitted for the planning area's land use designation, as defined by the Riverside County General Plan. The "Target Density" is the number of dwelling units per acre for the planning area as proposed by this Specific Plan and as described in Table II-1.

The proposed number of dwelling units contained in an implementing subdivision application may exceed the "Target Density" specified in any planning area without necessitating the preparation of a Specific Plan Amendment or Substantial Conformance provided that:

- a) The proposed density transfer in the implementing subdivision application is within the "Density Range" for the planning area as described in Table II-1.
- b) The maximum number of dwelling units for the entire Specific Plan is not exceeded.

If a transfer of dwelling units is proposed, the Master Developer or his Assignee shall be responsible for providing the County with a Development Transfer Status Report at the time that implementing documents are submitted. The Development Transfer Status Report must demonstrate that the implementing subdivision application meets the two conditions specified above. The Planning Director of the Riverside County Planning Department must approve and authorize any dwelling unit transfer within Specific Plan.

3. LAND USE DEVELOPMENT STANDARDS

To ensure the orderly and sensitive development of land uses proposed for the THERMAL 551 SPECIFIC PLAN, development standards have been prepared for each planning area to assist in efficiently implementing the proposed development. In addition to these specific standards, community-wide development standards also have been prepared to complement the diverse conditions within each planning area. These general standards are as follows:

1. The THERMAL 551 SPECIFIC PLAN shall be developed with a maximum of 2,354 dwelling units on 612.1 acres, as illustrated on Figure II-1, *Specific Plan Land Use Plan*. General uses permitted include residential, recreation, open space, and public facility, as described on the Land Use Plan and in the individual Planning Area figures (Figures III-1 through Figure III-5).
2. The proposed number of dwelling units contained in an implementing subdivision application may exceed the "Target Density" specified in any planning area without necessitating the preparation of a Specific Plan Amendment or Substantial Conformance provided that the proposed density transfer in the implementing subdivision application is within the "Density Range" for the planning area as described in Table II-1, and the maximum number of dwelling units for the entire Specific Plan is not exceeded. Refer to Section II.A.2, *Dwelling Unit Transfer Procedure* for more information.
3. Uses and development standards will be in accordance with Riverside County Ordinance No. 348 and the THERMAL 551 Zoning Ordinance and will further be defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivisions, plot plans, and/or conditional use permits.
4. As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, THERMAL 551 shall provide adequate areas for collection and loading recyclable materials.
5. Standards regarding signage, landscaping, and other related design elements will conform to Ordinance No. 348 of the County of Riverside, this Specific Plan, and any other applicable Riverside County ordinances. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document will take precedence over the zoning ordinance requirements. In addition, a Specific Plan Zoning Ordinance for THERMAL 551 will be recorded concurrently with this Specific Plan.
6. Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances, including Ordinance Nos. 348 and 460. This Specific Plan conforms to State laws.

7. Except for the Specific Plan Zoning Ordinance adopted concurrently with this Specific Plan, no portion of the Specific Plan, which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development, shall be considered to be part of the adopted Specific Plan.
8. Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - A permanent master maintenance organization shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common open space, circulation systems, paseos, drainage areas, and landscaped areas that are not under the maintenance responsibility of Riverside County, the Desert Recreation District, County Service Area No. 125, County Service Area 152, or another public or quasi-public organization. The construction and maintenance responsibility plan for this Specific Plan is described in detail in Section II.H, *Phasing Plan*, and Section II.I, *Maintenance Plan*.
 - Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as an implementing development is approved or a conveyance subdivision is recorded.
 - The maintenance organization shall be established prior to, or concurrent with, approval of the Specific Plan. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
9. The applicant shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attach, set aside, void, or annul an approval of the County of Riverside, its advisory agencies, appeal boards, or legislative body concerning the approval process for the Specific Plan. The County of Riverside will promptly notify the applicant of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the applicant of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the County of Riverside.
10. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
11. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement the Specific Plan, unless said proposal is

- determined to be consistent with this EIR No. 504 and does not require subsequent environmental documentation, or is exempt from the provisions of CEQA. The CEQA review shall be prepared as part of the review process for these implementing projects.
12. Lots created pursuant to any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
 13. Development applications that incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular and pedestrian).
 14. If necessary, roadways, infrastructure, and facilities may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance, and management.
 15. Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified in the THERMAL 551 SPECIFIC PLAN, based upon, but not limited to, the following: a) adequate availability of services; b) adequate access and circulation; c) innovation in building types and design; d) sensitivity to landforms; e) sensitivity to neighborhood design through lot and street layouts; and f) minimum lot sizes as proposed by this Specific Plan.
 16. Designation, dedication and/or payment of fees for parkland/open space will be assessed per tract and shall be based on the final number of dwelling units and corresponding population generated by THERMAL 551 (as adopted by the Riverside County Board of Supervisors, unless otherwise amended). Designation, dedication and/or payment of fees for parkland/open space will satisfy both County and State requirements for parkland. The acreage is set forth on Table II-1, *Detailed Land Use Summary*, and Figure II-1, *Specific Plan Land Use Plan*.
 17. Prior to the issuance of building permits, improvement and irrigation plans for adjacent common areas shall be submitted for Planning Department approval. Irrigation plans shall be certified by a landscape architect.
 18. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
 - Circulation for pedestrians, vehicles, and police patrols.
 - Lighting of streets and walkways.
 - Visibility of doors and windows from the street and between buildings, where practical.
 - Fencing heights and materials.

19. The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:
 - Address plates that light automatically at night.
 - Special lighting requirements on any buildings that are grouped in such a way that individual addresses are difficult to read.
 - Front doors into residences that front toward or are visible from the street and allow for easy drive-by surveillance by law enforcement personnel, where practical.
20. Development within the community shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals.
21. Maintenance associations will be formed and established as follows: the master property owners' association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for parking, open space areas, signing, landscaping, irrigation, common areas, and other responsibilities as necessary.
22. Construction of certain public facilities and infrastructure requirements (such as water lines, roadways, etc.), as well as payment of County fees, may be financed through an assessment district (AD) or a community facilities district (CFD). If facilities are financed through a CFD, then additional fees to finance those facilities shall not be required.
23. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and/or No. 787, subject to approval by the Riverside County Fire Department. Fire flows over 3,000 gpm shall be for three (3) hours duration.
24. Project drainages shall be placed within lettered lots to be maintained by the Master Homeowners' Association or publicly owned.
25. A site is provided for the electrical substation, but this facility will be constructed and maintained by the Imperial Irrigation District (IID).
26. All landscaping will be drought tolerant and in accordance with Riverside County Ordinance No. 859.

B. CIRCULATION PLAN

A General Plan Amendment to the Circulation Element of the Riverside County General Plan was processed currently with the THERMAL 551 Specific Plan. General Plan Amendment No. 00889 (GPA No. 889) amends the Circulation Element of the General Plan to downgrade Avenue 58 between Polk Street and Orange Avenue from a Major Highway to a Secondary Highway and eliminate the segment of Avenue 58 from Orange Avenue to Fillmore Street from the General Plan Circulation Element entirely. GPA No. 889 allows for development of an efficient roadway system that is compatible with the travel needs of THERMAL 551 and the surrounding community.

A description of the Specific Plan Circulation Plan is provided below.

1. VEHICULAR CIRCULATION PLAN

a. Description

As shown in Figure I-1, *Regional Map*, THERMAL 551 is located approximately 5.0 miles south of Interstate 10 (I-10). Interstate 111 (SH-111) and State Highway 86-South (SH-86S) are east of the community at a distance of approximately 0.1 and 0.7 miles, respectively.

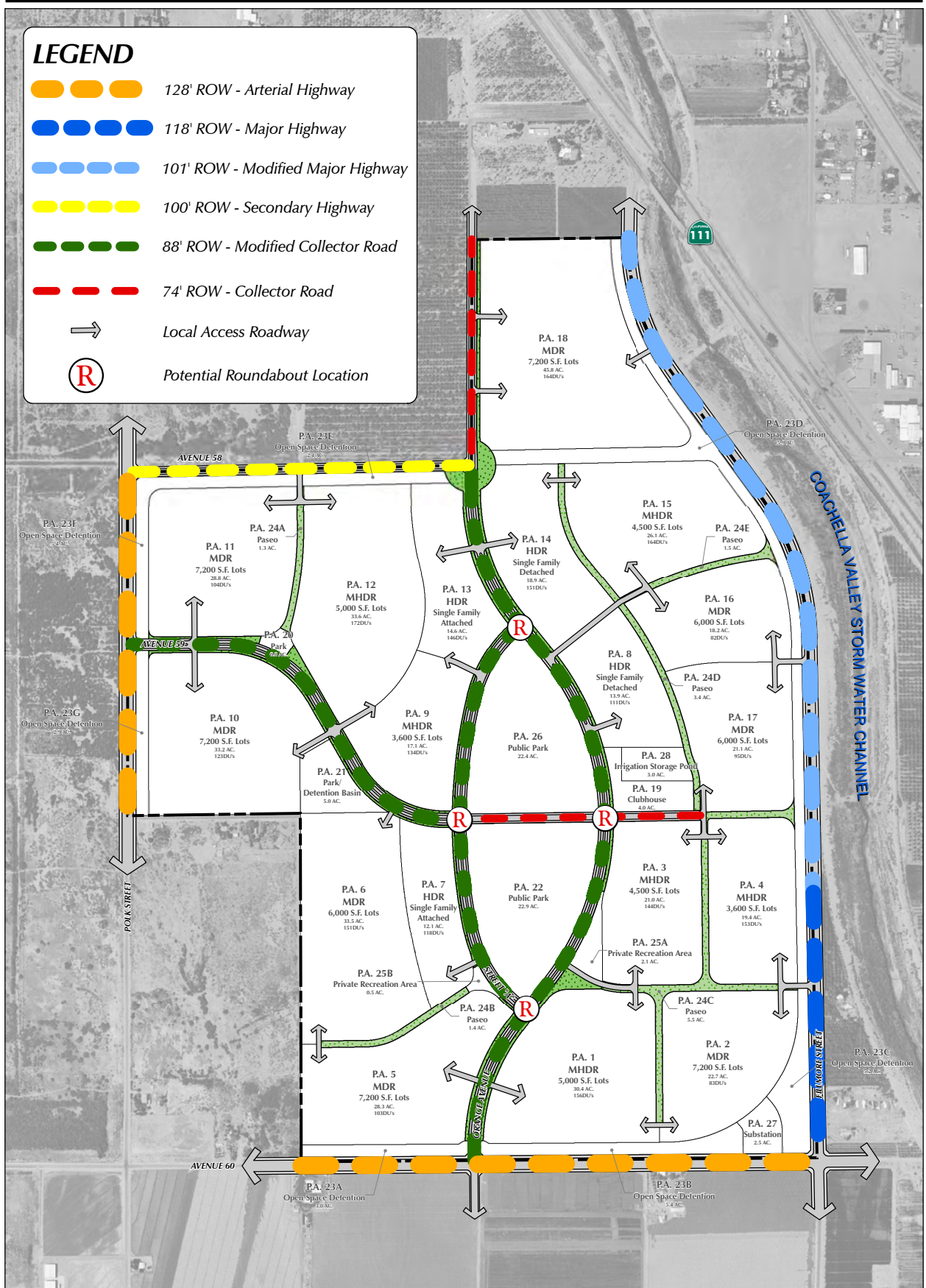
A community roadway concept has been developed for the THERMAL 551 SPECIFIC PLAN as illustrated on Figure II-2, *Conceptual Vehicular Circulation Plan*. The Circulation Plan efficiently conveys traffic through the community and is consistent with the *South Valley Implementation Program* (SVIP) Traffic Study. The primary objective of the Circulation Plan is to meet the vehicular travel needs of THERMAL 551 residents by providing direct and convenient access to each neighborhood through a safe and efficient network of roadways.

As shown on Figure II-2, the community is bordered to the south by Avenue 60, to the east by Fillmore Street, to the west by Polk Street and to the north by Avenue 58. The primary entrance to the community is situated at the intersection of Polk Street and Avenue 59. The intersection of Orange Avenue and Avenue 58 and the intersection of Orange Avenue and Avenue 60 serve as secondary entrances to the community.

Polk Street connects to Avenue 59, which provides access through the northwestern and central portions of the community. Avenue 59 connects with Street "A," a loop road that runs in a generally north/south manner and connects with Orange Avenue at two points. Street "A," Avenue 59, and Orange Avenue surround the 45.3-acre Public Park, creating a focal point within THERMAL 551 and emphasizing the recreational amenities provided within the community. Orange Avenue traverses the entire length of the community, connecting with Avenue 60 in the south. Fillmore Street also connects with Avenue 60. Avenue 58, a Secondary Highway, connects Polk Street to Orange Avenue. Other local roads provide immediate access to neighborhoods and recreational amenities throughout the community.

LEGEND

- 128' ROW - Arterial Highway
- 118' ROW - Major Highway
- 101' ROW - Modified Major Highway
- 100' ROW - Secondary Highway
- 88' ROW - Modified Collector Road
- 74' ROW - Collector Road
- Local Access Roadway
- Potential Roundabout Location



Source(s): K&A Engineering, Eagle Aerial (2006)

FIGURE II-2

T&B PLANNING
 17542 East 17th Street, Suite 100 Turin, CA 92780
 p. 714.355.6360 f. 714.355.6361
 www.tbplanning.com



CONCEPTUAL VEHICULAR CIRCULATION PLAN

This Specific Plan permits the development of four roundabouts: at the intersection of Avenue 59 and Street "A," the intersection of Avenue 59 and Orange Avenue, and the northern and southern intersections of Street "A" and Orange Avenue. These roundabouts convey traffic around a central landscaped island, facilitating traffic flow and creating an aesthetic appearance when the roadways are viewed from the adjacent Public Park (Planning Areas 22 and 26) and the surrounding residences.

The vehicular circulation plan includes several roadway sizes and classifications as described below and illustrated in Figure II-3A, *Conceptual Roadway Cross-Sections – A*, and Figure II-3B, *Conceptual Roadway Cross-Sections – B*:

- ❑ ***Avenue 60 – Arterial Highway (128' ROW):*** Avenue 60 is an Arterial Highway with a 128-foot right-of-way. Half-width improvements to Avenue 60 Street include 9 feet of interim paving for an 18-foot curbed and landscaped median with two vehicular travel lanes and a shoulder. A 21-foot landscaped parkway with a 5-foot meandering sidewalk is provided adjacent to the curb. A proposed 30-foot CVWD easement, which contains a 14-foot equestrian-friendly Regional Combination Trail, abuts this landscaped parkway. Avenue 60 abuts portions of Planning Areas 23A and 23C, which consist of Open Space/Detention land uses (minimum width of these areas is 75 feet).

The 5-foot meandering sidewalk within the northern Avenue 60 right-of-way shall connect to the 5-foot meandering sidewalk within the western Fillmore Street (Major Highway) right-of-way.

The 14-foot equestrian-friendly Regional Combination Trail adjacent to the north side of Avenue 60 is planned to extend off-site to the west and east and connect to planned regional trails off-site. To the west, the Regional Combination Trail will continue along the north side of Avenue 60 and connect to the Class I Bike Trail located along the western right-of-way of Polk Street. To the east, the Regional Combination Trail will cross Fillmore Avenue and connect to the Regional Combination Trail planned on top of the earthen embankment forming the Coachella Valley Stormwater Channel. These off-site regional trail extensions and connections are not a part of this project and will be constructed by others.

- ❑ ***Polk Street – Arterial Highway (128' ROW):*** Polk Street is designated by the SVIP as an Arterial Highway. Half-width improvements to Polk Street include 9 feet of interim paving for an 18' curbed and landscaped median with two vehicular travel lanes and one shoulder. A 21-foot landscaped parkway with a 5-foot meandering sidewalk is provided adjacent to the curb.

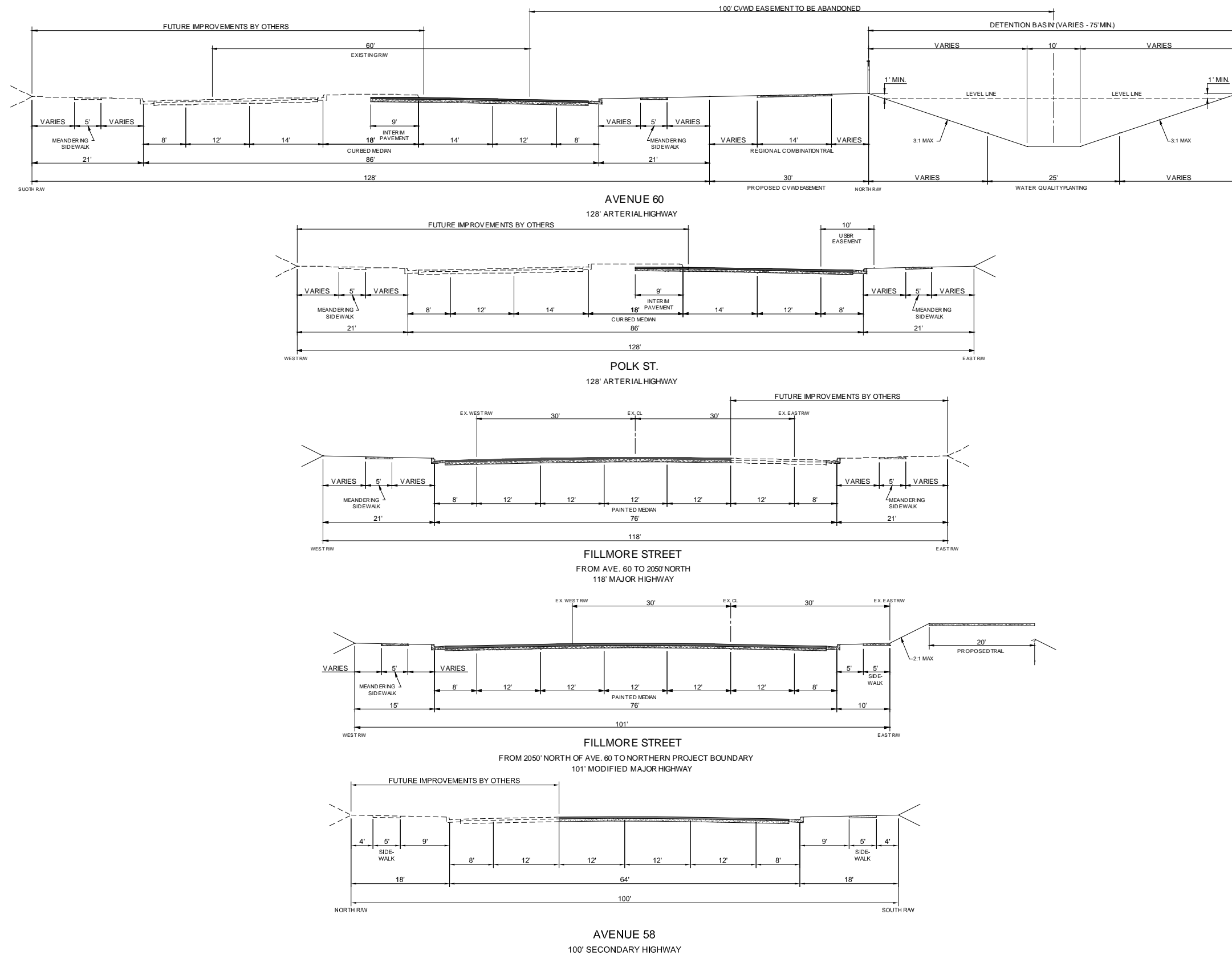
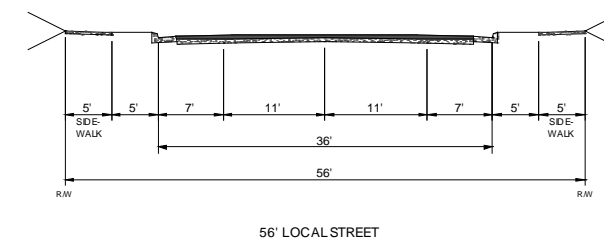
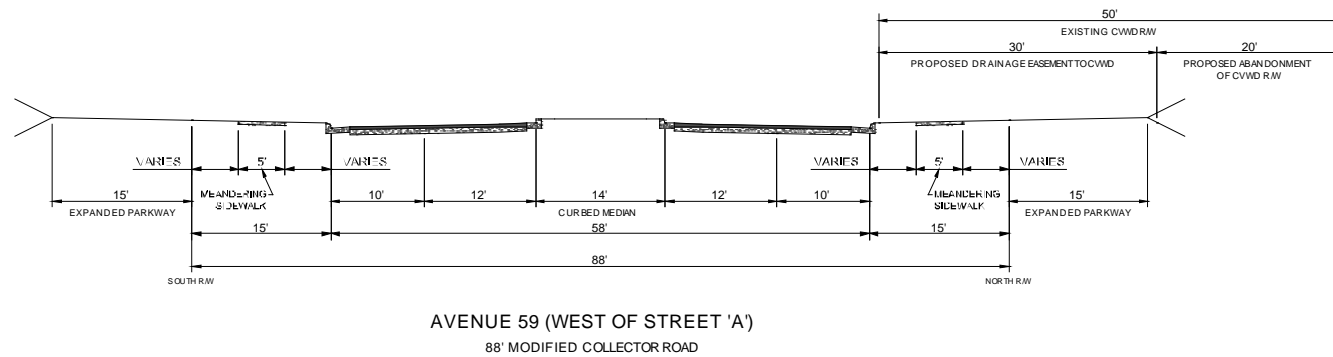
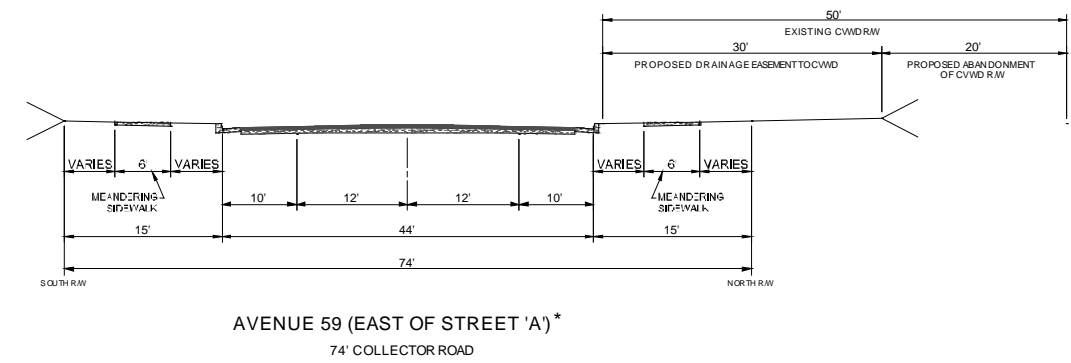
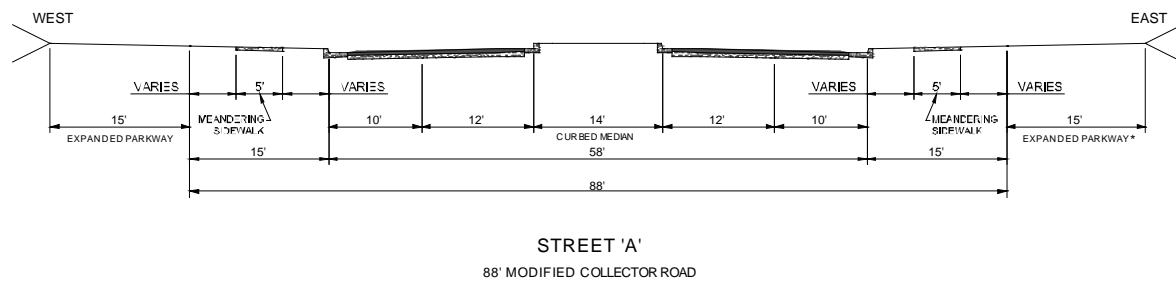
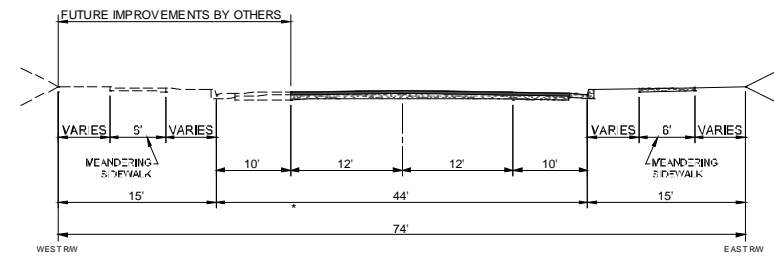
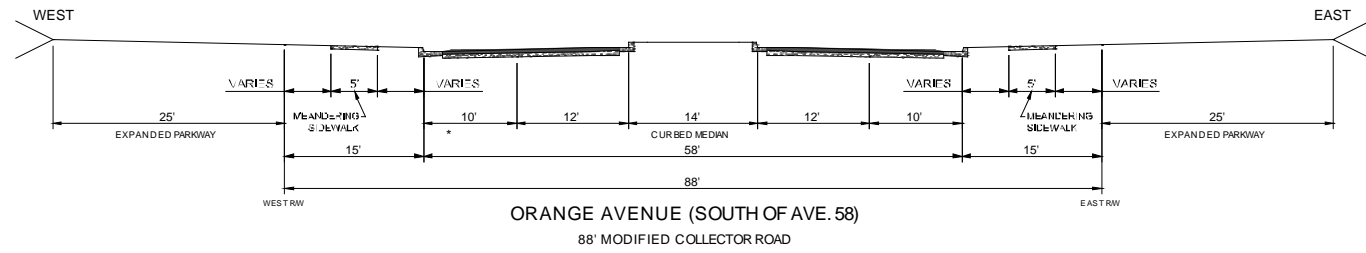


FIGURE II-3A



*NOTE:
EXPANDED PARKWAY NOT PRESENT WHERE ROADWAY
ABUTS PUBLIC PARK IN PA 22 AND PA 26.

FIGURE II-3B

- ❑ ***Fillmore Street (From 2,050 feet north of Avenue 60 to Avenue 60) – Major Highway (118' ROW):*** Half-width improvements to this portion of Fillmore Street include a 12-foot vehicular travel lane on the eastern side of the roadway and a 12-foot painted median. West of the median are two 12-foot vehicular travel lanes and a shoulder. Adjacent to the western curb shall be a 21-foot landscaped parkway with a 5-foot meandering sidewalk. Improvements to the eastern portion of the roadway shall be constructed by others and will include an additional 12-foot vehicular travel lane, a shoulder, and a 21-foot parkway containing a 5-foot meandering sidewalk.
- ❑ ***Fillmore Street ((Fillmore Street From the Northern Project Boundary to 2,050 feet north of Avenue 60) – Modified Major Highway (101' ROW):*** Fillmore Street is designated as a Major Highway; however, the full 118-foot right-of-way cannot be provided along this segment due to the adjacent earthen embankment. Therefore, the Transportation Department has determined that construction of this roadway segment as a Modified Major Highway is appropriate. This roadway consists of a 101-foot right-of-way containing a 12-foot painted median, four vehicular travel lanes, and two shoulders. A 5-foot meandering sidewalk is located within a 15-foot landscaped parkway along the east side of the street, adjacent to the project. A 5-foot meandering sidewalk is located within a 10-foot parkway is provided along the eastern side of the street adjacent to the Coachella Valley Stormwater Channel. A 20-foot Class I Bike trail is planned on top of the earthen embankment which forms the Coachella Valley Stormwater Channel.

The Major Highway (118' ROW) configuration portion of Fillmore Street transitions to a Modified Major Highway (101' ROW) configuration approximately 2,050 feet north of Avenue 60. Only the width of the parkways change as these two configurations transition, the paved curb to curb dimensions within the roadway are consistent. The 10' and 15' parkways transition to the standard 21' parkway, and the sidewalks remain 5' wide, transitioning along the east side of Fillmore to a meandering sidewalk. The Master Developer shall construct full-width improvements to the Modified Major Highway portion of Fillmore Street as shown in Figure II-3 A.

- ❑ ***Avenue 58 – Secondary Highway (100' ROW):*** Pursuant to General Plan Amendment (GPA No. 889) processed concurrently with this Specific Plan, Avenue 58 has been downgraded between Polk Street and Orange Avenue from a Major Highway to a Secondary Highway, and the segment of Avenue 58 from Orange Avenue to Fillmore Street has been eliminated from the General Plan Circulation Element entirely. Half-width improvements include three 12-foot vehicular travel lanes and one 8-foot shoulder. On the south side of the road is an 18-foot landscaped parkway that includes a 5-foot meandering sidewalk. The remaining 12-foot vehicular travel lane, 8-foot shoulder, and 15-foot landscaped parkway with a 5-foot meandering sidewalk on the northern side of the roadway shall be constructed by others.
- ❑ ***Orange Avenue (South of Avenue 58) – Modified Collector Road (88' ROW):*** This segment of Orange Avenue, located south of Avenue 58, is a modified collector road

with an 88-foot ROW. A full-width improvement to this road shall include a 14-foot curbed and landscaped median, two 12-foot vehicular travel lanes, and two 10-foot shoulders. On each side of the roadway is a 15-foot landscaped parkway, which contains a 5-foot meandering sidewalk, and a 25-foot expanded landscaped parkway.

- ❑ ***Street "A" - Modified Collector Road (88' ROW):*** The full-width improvement for Street "A," includes a 14-foot curbed and landscaped median, two 12-foot vehicular travel lanes, and two 10-foot shoulders within an 88-foot ROW. On either side of the road is a 15-foot landscaped parkway that contains a 5-foot meandering sidewalk. This roadway also features an additional 15-foot landscaped expanded parkway outside of the 88-foot ROW.
- ❑ ***Avenue 59 (West of Street "A") - Modified Collector Road (88' ROW):*** The community's internal circulation plan modifies the General Plan alignment for Avenue 59 to connect with Polk Street roughly 1,000 feet to the north. It is likely that a partial vacation of the General Plan alignment for this roadway, from the east side of the "NAP" parcels to Fillmore Street, would be executed prior to approval of the Final Map. Avenue 59 includes a 14-foot curbed and landscaped median, two 12-foot vehicular travel lanes, and two 10-foot shoulders within an 88-foot ROW. On either side of the road is a 15-foot landscaped parkway that contains a 5-foot meandering sidewalk. This roadway also features an additional 15-foot landscaped expanded parkway in addition to the 88-foot ROW. At the Primary Entry at the intersection of Avenue 59 and Polk Street, Avenue 59 shall contain four vehicular travel lanes and a landscaped median to accommodate turning lanes and merging lanes. After a minimum length of 350 feet, Avenue 59 shall taper down to the Modified Collector Road cross-section described above.
- ❑ ***Orange Avenue (North of Avenue 58) - Collector Road (74' ROW):*** This segment of Orange Avenue is a Collector Road with a 74-foot ROW. A half-width improvement to this road includes two 12-foot vehicular travel lanes and one 10-foot shoulder. A 15-foot landscaped parkway on the eastern side of the roadway contains a 6-foot meandering sidewalk.
- ❑ ***Avenue 59 (East of Street "A") - Collector Road (74' ROW):*** This segment of Avenue 59 includes two 12-foot vehicular travel lanes and two 10-foot shoulders within a 74-foot ROW. On either side of the road is a 15-foot landscaped parkway that contains a 6-foot meandering sidewalk.
- ❑ ***Local Streets (56' ROW):*** Local Roads consist of two vehicular travel lanes and two 7-foot street parking lanes. A 5-foot landscaped parkway and a 5-foot sidewalk are provided on either side of the road.
- ❑ ***Private Drives (24' ROW):*** Private Drives provide immediate access to the rear-loaded residential units located within Planning Areas 4 and 9. These drives may vary in size but are not less than 24 feet in width.

b. Development Standards

1. Roadway improvements (Figure II-2, *Conceptual Vehicular Circulation Plan*) will be constructed in accordance with the *Conceptual Phasing Plan* (Figure II-13).
2. On-site roads will be constructed as follows:
 - Arterial Highway (128-foot right-of-way); Full-Width Improvements
 - Major Highway (118-foot right-of-way); Half-Width Improvements
 - Modified Major Highway (101-foot right-of-way); Full-Width Improvements
 - Secondary Highway (100-foot right-of-way); Half-Width Improvements
 - Modified Collector Road (88-foot right-of-way with 25-foot expanded parkway); Full-Width Improvements
 - Modified Collector Road (88-foot right-of-way with 15-foot expanded parkway); Full-Width Improvements
 - Collector Road (74-foot right-of-way); Full- and Half-Width Improvements
 - Local Street (56-foot right-of-way); Full-Width Improvements
 - Private Drives (24-foot right-of-way); Full-Width Improvements
3. Landscape requirements shall be in accordance with the streetscape treatments as depicted in Section IV, *Design Guidelines*.
4. All roads within the Specific Plan project boundary shall be constructed to appropriate County full or half-width standards in accordance with Ordinance Nos. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan subject to approval by the Director of Transportation.
5. The project shall comply with the conditions and requirements set forth by the County Transportation Department.
6. Any application for any subdivision within the Specific Plan boundary shall cause the design and construction of the Specific Plan's master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
7. All typical sections shall be per Ordinance 461, or as approved by the Transportation Department.
8. All intersection spacing and/or access openings shall be per Standard 114, Ordinance 461, or as approved by the Transportation Department.
9. Mid-block crosswalks are prohibited, with the exception of the protected crosswalk provided at Avenue 59 to connect the northern and southern portions of the Public Park (Planning Areas 22 and 26).

10. No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Transportation Department standard access spacing, depending upon the street's classification.
11. The Riverside County Planning Department is responsible for reviewing all streetscape plans within the Specific Plan. Circulation facilities will be maintained by the Riverside County Transportation Department, as approved by the Transportation Department. CSA No. 125 is responsible for the maintenance of landscaped easements, parkways, and medians within the public right-of-way. CSA No. 125 is also responsible for maintenance of street lighting. CSA No. 152 is responsible for street sweeping.
12. Any landscaping within public road rights-of-way will require approval by the Transportation Department and Planning Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism, as approved by the Transportation Department and Planning Department.
13. No tract entry monuments or identification signs shall be permitted in the public right-of-way.
14. No cul-de-sac streets shorter than 150 feet measured to the center of the bulb are permitted. Also, no cul-de-sac streets longer than 1,220 feet measured to the center of the bulb are permitted.

2. NON-VEHICULAR CIRCULATION PLAN

a. Description

THERMAL 551 contains a comprehensive sidewalk and trail system, which connects neighborhoods to parks, recreational areas, and off-site regional trails. As illustrated in Figure II-4, *Conceptual Trails Plan*, four trail classifications are provided within THERMAL 551. Enhanced Sidewalk trails are located along roadways and consist of 5 or 6 feet of paving within landscaped parkways or within enhanced parkways up to 25 feet wide. Pedestrian Paseos, which are approximately 50 - 75 feet wide, are located within Planning Areas 24A through 24E and total 13.1 acres. Pedestrian Paseos are situated between residential neighborhoods throughout the community and contain a 5-foot decomposed granite pathway, which provides access to parks and recreational amenities. Enhanced Sidewalk trails and Pedestrian Paseos promote non-vehicular circulation within the community and provide connections to recreation areas within the THERMAL 551 community and the SVIP Regional Trail System.

LEGEND

-  Regional Combination Trail - Equestrian Friendly
-  Class 1 Bike Trail
-  Enhanced Sidewalk Trail
-  Pedestrian Paseo
-  Potential Recreation Areas
-  Pedestrian Crossing



Source(s): Eagle Aerial (2006)

FIGURE II-4

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CONCEPTUAL TRAILS PLAN

A protected crosswalk is provided at Avenue 59 (between Planning Areas 22 and 26) to facilitate safe pedestrian and bicycle access between the northern and southern portions of the Public Park. The protected crosswalk is subject to the approval of the Transportation Department, but may include design features such as a painted crosswalk, raised crosswalk, speed bumps, pedestrian crossing signal, and special pavement treatments (including blinking crosswalk lights), etc.

A Regional Combination trail is located along the north side of Avenue 60 adjacent to the Open Space/Detention area. This trail accommodates all modes of non-motorized circulation, including equestrians, and features an earthen path with landscaping on either side. The Regional Combination trail will be provided by the Master Developer and shall be consistent with the SVIP Trail Plan requirements. Lastly, a Class I Bike Path/Pedestrian Trail is provided along the west side of the Coachella Valley Stormwater Channel. This 20-foot wide trail, to be constructed by the Master Developer, features paving with landscaped areas along both sides. The community's hierarchical system of trails allows for a variety of non-vehicular transportation modes throughout THERMAL 551.

The community's trails system and its connections to off-site planned trails are described in greater depth in Section II.E.6.h, *Trails System*. A summary of parties responsible for construction and maintenance of the community's sidewalks and trails is provided in Section II.H, *Phasing Plan*, and Section II.I, *Maintenance Plan*.

b. Development Standards

1. All trails provided as a part of the Trails System Plan shall be developed pursuant to the Design Guidelines contained in Section IV.
2. Regional trail locations shall be consistent with the *South Valley Implementation Program* Trails Plan.
3. The design and location of all trails will be reviewed by the Riverside County Trails Committee.
4. The design and location of the protected pedestrian crosswalk at Avenue 59 shall be reviewed and approved by the Riverside County Transportation Department. Adequate pedestrian protection may be provided by incorporating design features including, but not limited to, painted crosswalks, raised crosswalks, speed bumps, pedestrian crossing signal, and special pavement treatments (including blinking crosswalk lights).

C. MASTER DRAINAGE PLAN

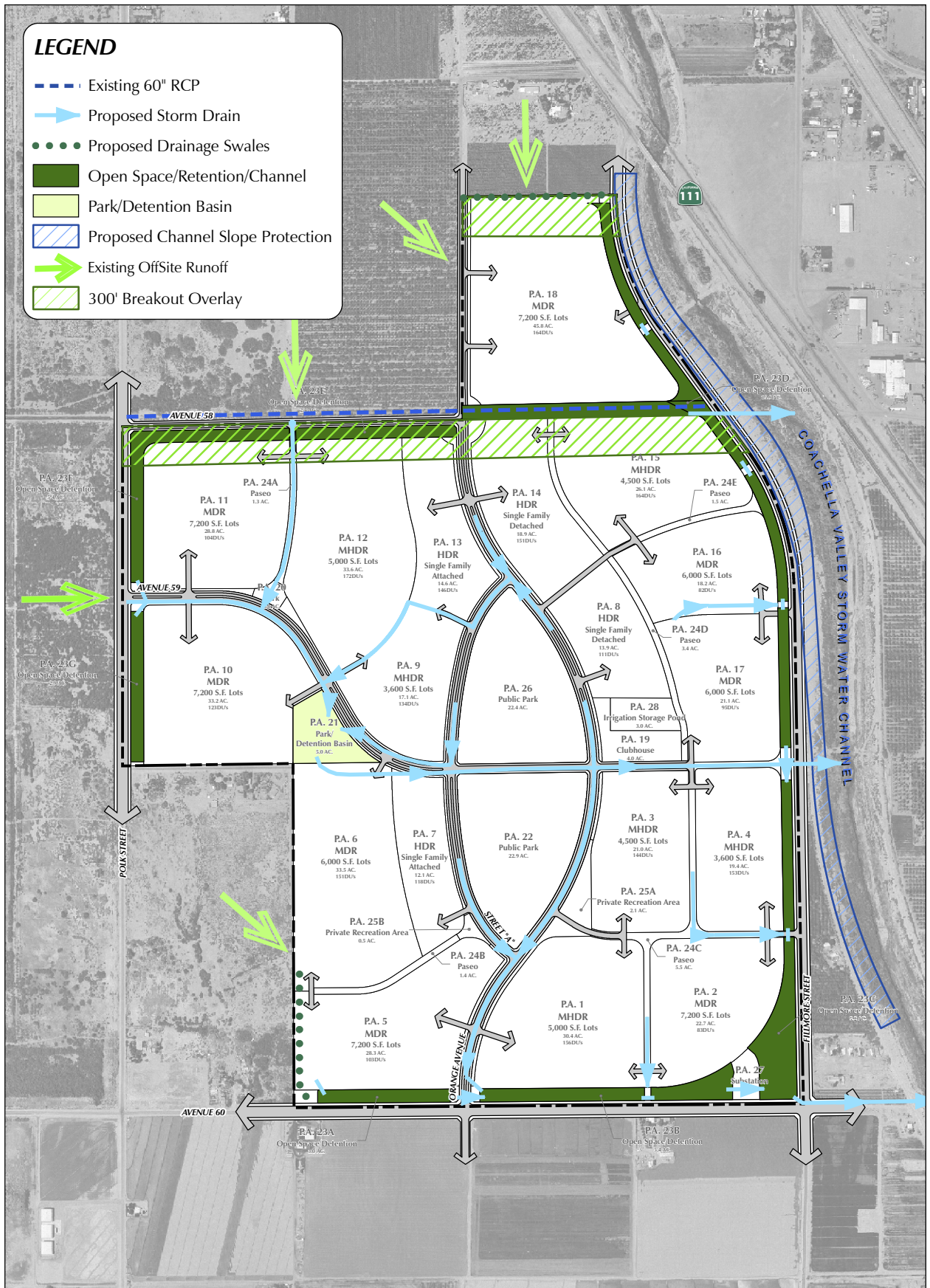
THERMAL 551 is situated within the Coachella Valley drainage basin. Historically, drainage flows entered the site along the northern and western boundaries and sheet flowed across the property in a southwesterly direction. The majority of sheet flows then exited the site along the southern boundary at Avenue 60, while other flows exited the site to the southeast at Fillmore Street, flowing over the roadways. Under pre-development conditions, an existing 60-inch storm drain along the northern side of Avenue 58 also conveyed off-site storm runoff east from the northwestern portion of the site, discharging the flows into the CVWD Storm Drain, more commonly referred to as a Coachella Valley Stormwater Channel. This facility, which is owned and maintained by the Coachella Valley Water District (CVWD), shall be protected in place and improved as development occurs.

1. DRAINAGE PLAN DESCRIPTION

As shown in Figure II-5, *Conceptual Drainage Plan*, the THERMAL 551 SPECIFIC PLAN provides for off-site storm flows entering the community from the north and west to be intercepted in the new storm drains, basins, and/or swales along the northern limits of the community, as well as portions of the western perimeter of the community. These off-site flows, as well as on-site storm runoff, are conveyed in these facilities to a series of Open Space/Detention areas (Planning Areas 23A through 23G) that also serve as peak flow detention basins. The basins within the Open Space/Detention areas also contain water quality elements that serve as structural Best Management Practices (BMPs) in accordance with the Whitewater River Watershed Municipal Stormwater Program.

The minimum 75-foot wide detention basins within the Open Space/Detention areas consist of landscaped trapezoidal channels with side slopes at 3:1 or flatter. These facilities are designed to mitigate any increased runoff generated by the development to ensure that post-development discharge from the site is less than, or equal to, existing runoff. These facilities include forebay components, which allows for removal of trash and sediment, and outlet structures, which ensures adequate treatment of first flush flows prior to discharge into downstream facilities.

This Specific Plan permits Planning Area 21 to be developed as a passive park with no detention functions or as a detention basin with no park amenities, depending on the final hydrologic and Water Quality Management Plan (WQMP) requirements prepared as part of the implementing tentative map(s). For either of these contingencies, detailed plans of Planning Area 21 shall be prepared at the tentative map level of design. If Planning Area 21 is developed as a passive park, Planning Area 21 shall be constructed and operational prior to the issuance of the 2,107th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551. If developed as a Detention Basin, the Park/Detention Basin in Planning Area 21 shall be constructed during Phase II or as required for safe and efficient stormwater detention purposes.



Source(s): K&A Engineering; Eagle Aerial (Sept 2006)

FIGURE II-5

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CONCEPTUAL DRAINAGE PLAN

All of the detention facilities, as well as the related water quality components, are designed to drain within a 48-hour period in accordance with the Zone D and Federal Aviation Administration (FAA) requirements for development adjacent to an airport.

There are existing drain lines along the alignments of Avenue 58, Avenue 59, and Avenue 60 that convey agricultural drainage and some stormwater flows and discharge into the existing CVWD Storm Drain. As part of the THERMAL 551 SPECIFIC PLAN, additional parallel storm drain lines shall be constructed to adequately convey storm flows within the community. These new storm drain lines shall be utilized to convey the reduced peak flows easterly from the Open Space/Detention areas, ultimately discharging into the Coachella Valley Stormwater Channel. These main lines have been conservatively sized as 48-inch pipes, even though preliminary calculations have proven smaller pipes may be adequate. In lieu of a parallel piping system, it may be possible to remove portions of the existing pipelines and replace these facilities with new, upsized drain lines in order to minimize disturbance of the existing channel facilities.

In order for the on-site storm drain system to discharge into these basin facilities, several of the Open Space/Detention areas may contain detention basins that range in depth from 5 feet to 15 feet. Thus, removal of the existing sub-surface agricultural drainage tiles will result in high water tables and salt build-up on the soil surface, preventing the use of grass or other landscaping. Excavation of a detention basin greater than five feet deep could therefore result in standing water. In cases where the depth exceeds the groundwater levels, special construction/design methods (geotextile fabric or equivalent) shall be utilized to prevent groundwater from inundating portions of the basins. In addition, a gravel (or equivalent) medium shall be placed in the bottom of these facilities to counterbalance the buoyancy effect of the groundwater. This gravel medium also serves as a filter, enhancing the water quality treatment capability of these basins.

As previously described, the Coachella Valley Stormwater Channel is located east of Fillmore Street. This facility, maintained by CVWD, conveys storm water runoff from the north and northwest through the Coachella Valley to the Salton Sea, which is located approximately 6.9 miles south of THERMAL 551. The CVWD has indicated that the Coachella Valley Storm Drain Facility conveys the 100-year storm flows through this area of the Eastern Coachella Valley in a non-levee condition. CVWD has indicated that THERMAL 551 development will be required to improve the western bank of the Coachella Valley Stormwater Channel from the SH-111 crossing southerly to a point northerly of Avenue 60. The required improvements consist of concrete slope protection along the inside western bank of the channel. The existing channel adjacent to the site requires revetment in order to stabilize the western bank of the channel, which would involve the construction of a concrete slope off-site and adjacent to the eastern Project boundary.

Phasing for the Master Drainage Plan is described in detail in Section II.H, *Phasing Plan*. Maintenance responsibilities are described in Section II.I, *Maintenance Plan*.

2. DRAINAGE PLAN DEVELOPMENT STANDARDS

1. The local on-site storm drain facilities shall be maintained by the Riverside County Transportation Department and shall be designed in accordance with standards and the requirements of the Riverside County Flood Control and Water Conservation District and the RTCD.
2. The mainline storm drains that discharge into the Coachella Valley Stormwater Channel shall be owned and maintained by the CVWD and shall be designed per the standards and requirements of the CVWD.
3. The proposed detention basin facilities shall be designed in accordance with the requirements of the CVWD, as well as the requirements of the Regional Water Quality Board (RWQCB). All detention, and water quality, facilities shall be designed to comply with the ALUC requirement to drain within a 48-hour period.
4. A NOI will be submitted to the RWQCB and a site specific SWPPP/WQMP will be prepared prior to the commencement of construction and post-development activities. The permits will require the applicant to implement source control and structural best management practices (BMPs) during and after construction activities. The County will be responsible for implementation of the BMPs.
5. Proposed grading and drainage improvements shall conform to the International Building Code (IBC). Grading of the site shall be designed so as to protect all building pads from the 100-year storm event and to convey offsite runoff safely through the site.
6. The project shall be in compliance with the Whitewater River Watershed Municipal Stormwater Program.
7. As described in Section II.G.2, *Tile Drains*, the grading and drainage plan for the THERMAL 551 project site shall take into account the existing agricultural drainage facilities in this area. The developer shall work with CVWD to protect and/or replace these facilities as necessary.
8. Planning Area 21 may be developed as a passive park with no detention functions or as a detention basin with no park amenities, depending on the final hydrologic and Water Quality Management Plan (WQMP) requirements prepared as part of the implementing tentative map(s). For either of these contingencies, detailed plans of Planning Area 21 shall be prepared at the tentative map level of design. If Planning Area 21 is developed as a passive park, Planning Area 21 shall be constructed and operational prior to the issuance of the 2,107th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551. If developed as a Detention Basin, the Park/Detention Basin in Planning Area 21 shall be constructed during Phase II or as required for safe and efficient stormwater detention purposes.

9. Phasing of the Specific Plan's infrastructure facilities shall conform to Table II-5, *Project Phasing Plan*. Specifically, construction of drainage infrastructure facilities should be timed to adequately service the planning areas in each stage of development.

D. MASTER WATER PLAN

Domestic and irrigation water services are provided to THERMAL 551 by the Coachella Valley Water District (CVWD). The CVWD service area spans approximately 1,000 square miles and is located within the central and eastern portions of the Coachella Valley of Riverside County and extends into the County of Imperial and the County of San Diego.

All domestic water provided within the CVWD service area comes from groundwater sources (wells). Previous studies within the general area have shown that this groundwater meets the State Drinking Water Standards for domestic water. These studies indicate that this water is currently attainable at depths of 900 to 1400 feet. Under pre-development conditions, no domestic water facilities with adequate capacity to serve THERMAL 551 exist on-site.

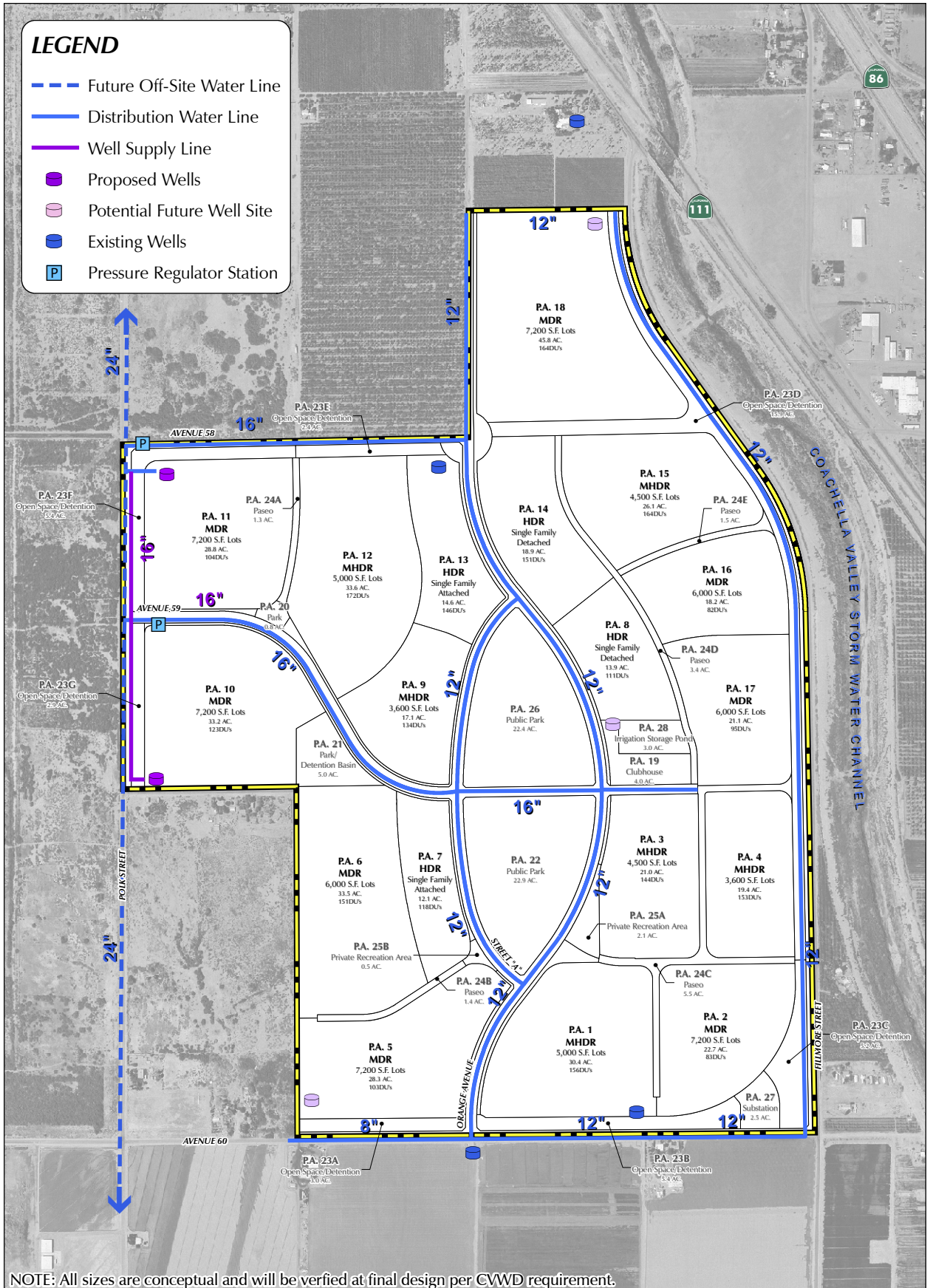
1. DOMESTIC WATER PLAN DESCRIPTION

Using the CVWD generation rate of 1,210 gallons of domestic water per day (gpd) per unit, the estimated peak daily demand for the residential component of the community is estimated to be 2,848,340 gpd. As shown on Figure II-6, *Conceptual On-Site Domestic Water Plan*, the community's domestic water plan includes water lines ranging in maximum diameter from 8", 12", and 16", which are located within the major on-site internal roadways. The on-site domestic water system shall include the water distribution mains, well sites, pumps, chlorination stations, an arsenic removal station (if needed), and any pressure regulating facilities.

CVWD has extended a 24-inch transmission main from the Middleton Road Storage Site to the intersection of Avenue 66 and Tyler Street as part of development of the Kohl Ranch Specific Plan No. 303. In conjunction with the Economic Development Agency (EDA) and the CVWD, a 24-inch extension of the transmission facilities is proposed to be extended east in Avenue 66 to Polk Street and north along Polk Street to Airport Boulevard (Avenue 56), as shown in Figure II-7, *Conceptual Off-Site Domestic Water Plan*.

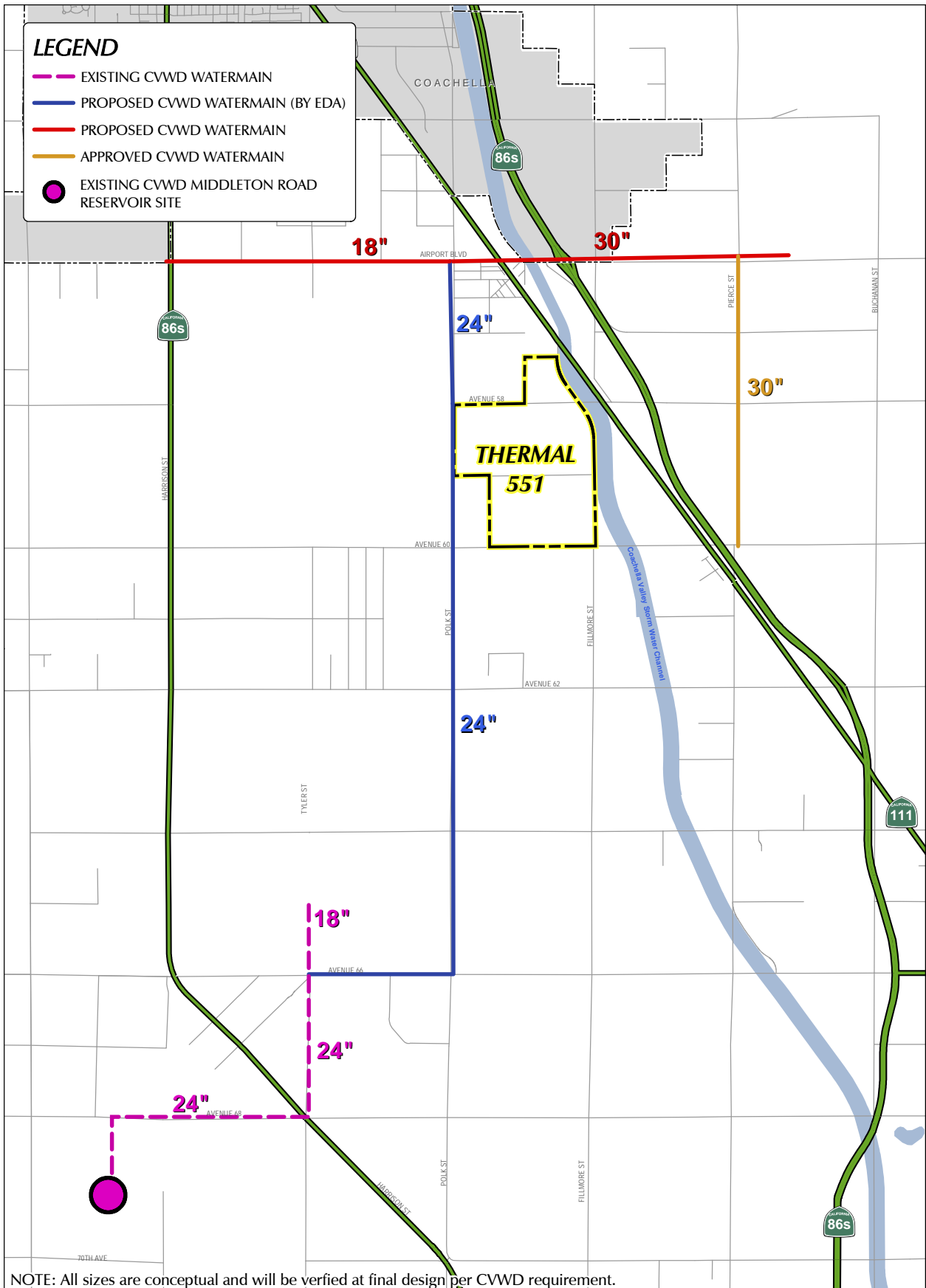
CVWD owns and operates the Middleton Road Storage Reservoir Facility, which is located to the west of Harrison Street and south of Avenue 68. The tank site elevation is 60 foot above mean sea level (MSL) and the water column within the tank is 30 feet above MSL. CVWD has indicated that this facility will provide the required storage for the THERMAL 551 SPECIFIC PLAN. If additional reservoir capacity is required at this site, then CVWD will provide the needed expansion through funding provided from water connection fees.

Based on the elevation of this reservoir and of the THERMAL 551 site, the static pressure should vary between about 95 and 105 PSIS. Therefore, a pressure regulating facility should be provided at each point where the CVWD's existing/proposed mains are connected to the THERMAL 551 distribution main facilities. Pressure should be regulated to deliver a 65 PSI at connection to the project domestic water facilities, resulting in a project pressure variation of 65 to 75 PSI. As shown on Figure II-6, pressure regulating stations may be situated near the intersection of Polk Street and Avenue 58 or Polk Street and Avenue 59.



Source(s): K&A Engineering; Eagle Aerial (Sept 2006)

FIGURE II-6



NOTE: All sizes are conceptual and will be verified at final design per CVWD requirement.

Source(s): K&A Engineering, Riverside TLMA (2007)

FIGURE II-7

Based upon CVWD's requirements of one well site per 140 acres, it is estimated that five (5) well sites are required within the 612.1-acre THERMAL 551 site. However, only two wells will be required for initial development. The size and exact location of each well site will be determined at the tentative tract map stage. As shown on Figure II-6, two wells required for initial development may be located within Planning Area 10 and 11. Other potential well sites may be situated within Planning Area 5 and 19. Once constructed, wells shall be surrounded by a block wall to isolate the motor/pump noise from residents.

Wells drilled southwest of the THERMAL 551 site have shown an existence of trace amounts of arsenic in excess of the State Drinking Water Standards (SDWS); therefore, if the new wells within the community show unacceptable levels of arsenic in the water, a treatment facility shall be required to remove the arsenic to the SDWS acceptable limit of 10 parts per billion (ppb). This is usually done under pressure and utilizing an ion exchange process. Only one site is expected to be used for arsenic removal, if required.

In summary, the domestic water system is designed to deliver gravity flow from the reservoir to the community, and replenishment water will be pumped to the reservoir during low area power use periods. Wells and pumping systems shall be controlled by "SCADA" (automatic control/operational electronic control systems) that sense water levels in the reservoir and turn on pumps locally or remotely when needed, based on pre-determined limits of operation.

In order to provide a reliable source of water for fire fighting purposes, potable water is also delivered to all fire hydrants and fire sprinkler systems utilizing the potable water system. Thus, piping facilities for potable water is designed to accommodate both the domestic demand and the fire fighting demand.

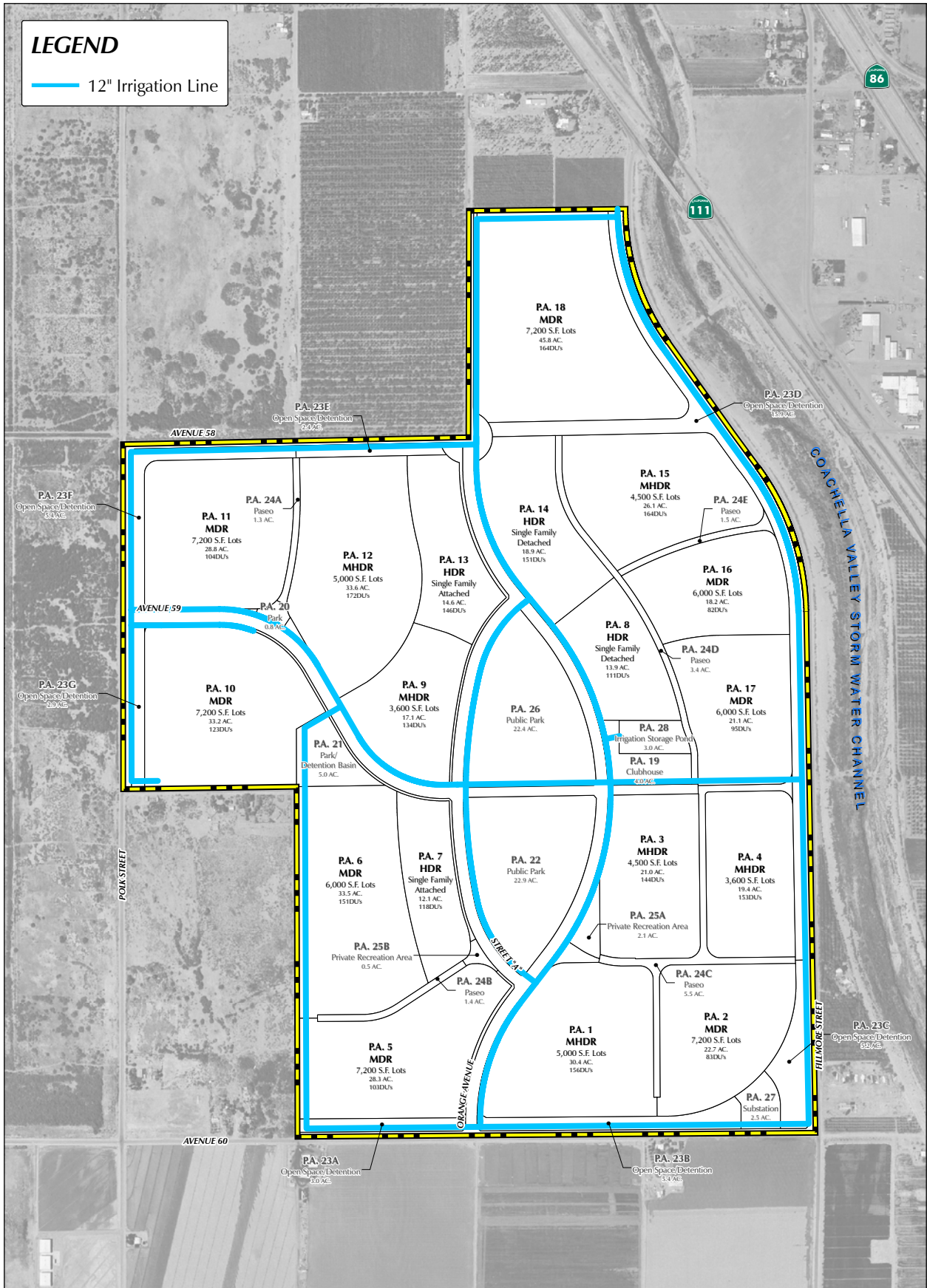
2. CANAL WATER (IRRIGATION) PLAN DESCRIPTION

In order to reduce non-potable demand for groundwater, the THERMAL 551 SPECIFIC PLAN utilizes available untreated canal water from the Coachella Canal for irrigation purposes. Canal water is used to irrigate the Open Space/Detention areas, parks, paseos, parkway landscaping, and residential landscaping. The total landscape water demand for non-residential uses is estimated at 312 acre-feet per year and for residential uses is 265 acre-feet per year. Total annual irrigation water demand for the THERMAL 551 community is therefore estimated to be approximately 577 acre-feet per year or 1.58 acre-feet per day (an acre-foot is equal to approximately 325,851 gallons).

The irrigation storage pond is approximately 1-acre in size and is located within Planning Area 28. The irrigation storage pond functions as a storage facility for canal water. In total, the irrigation storage pond is capable of storing 1 million gallons (3.1 acre-feet) of water at a time, exceeding the daily estimate irrigation water demand for the community. The irrigation storage pond includes a booster pump and filter station, including telemetry, telephone, electricity, and flow meter. The facility is surrounded by a 3-foot tall gently

LEGEND

— 12" Irrigation Line



Source(s): K&A Engineering; Eagle Aerial (2006)

FIGURE II-8

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CONCEPTUAL IRRIGATION PLAN

sloping landscaped berm and block wall. CVWD shall own, operate, and maintain the non-potable irrigation system upon complete development of the THERMAL 551 community.

3. DEVELOPMENT STANDARDS

1. All water lines shall be placed underground.
2. All domestic water facilities and irrigation facilities shall be designed per the requirements of CVWD. Facility sizes and locations are conceptual and may be larger or smaller than indicated and may be relocated in accordance with CVWD requirements.
3. All homes shall feature dual meters for domestic and irrigation water. The domestic water meter and related on-site plumbing shall be installed to serve the interior of the residence and shall be colored green to indicate potable water. The irrigation water meter and the related onsite irrigation system shall be installed to serve all exterior landscaping for the property and this system shall be colored purple to indicate non-potable water. No cross-connections between the domestic water system and the irrigation water system shall be allowed.
4. Water facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
5. Phasing of the Specific Plan's infrastructure facilities shall conform to Table II-5, *Project Phasing Plan*. Specifically, construction of potable water and irrigation water infrastructure facilities should be timed to adequately service the planning areas in each stage of development or as needed to ensure public health.

E. MASTER SEWER PLAN

Sewer services are provided to THERMAL 551 by the Coachella Valley Water District (CVWD). The CVWD operates six wastewater reclamation plants and over 90 miles of pipelines. CVWD facilities have the capacity to handle 31 million gallons of sewage a day and currently manage approximately 18 million gallons a day.

The facility serving THERMAL 551 is the Mid Valley Wastewater Treatment Plant (WWTP No. 4), located approximately 1.0-mile southeast of the community at the intersection of Avenue 62 and Fillmore Street. This facility is planned for an upgrade that will be completed by 2008. Upgrades will increase the capacity of the Mid Valley Wastewater Treatment Plant from 7.0 million gallons per day (mgd) to 9.9 mgd. According to the CVWD, the expanded Mid Valley Wastewater Treatment Plant will have the capacity to serve the fully constructed THERMAL 551 community.

1. DESCRIPTION

Based upon CVWD Design Criteria, the average daily wastewater flow generated by THERMAL 551 is estimated to be 0.657 mgd with a peak daily wastewater flow of 1.12 mgd.

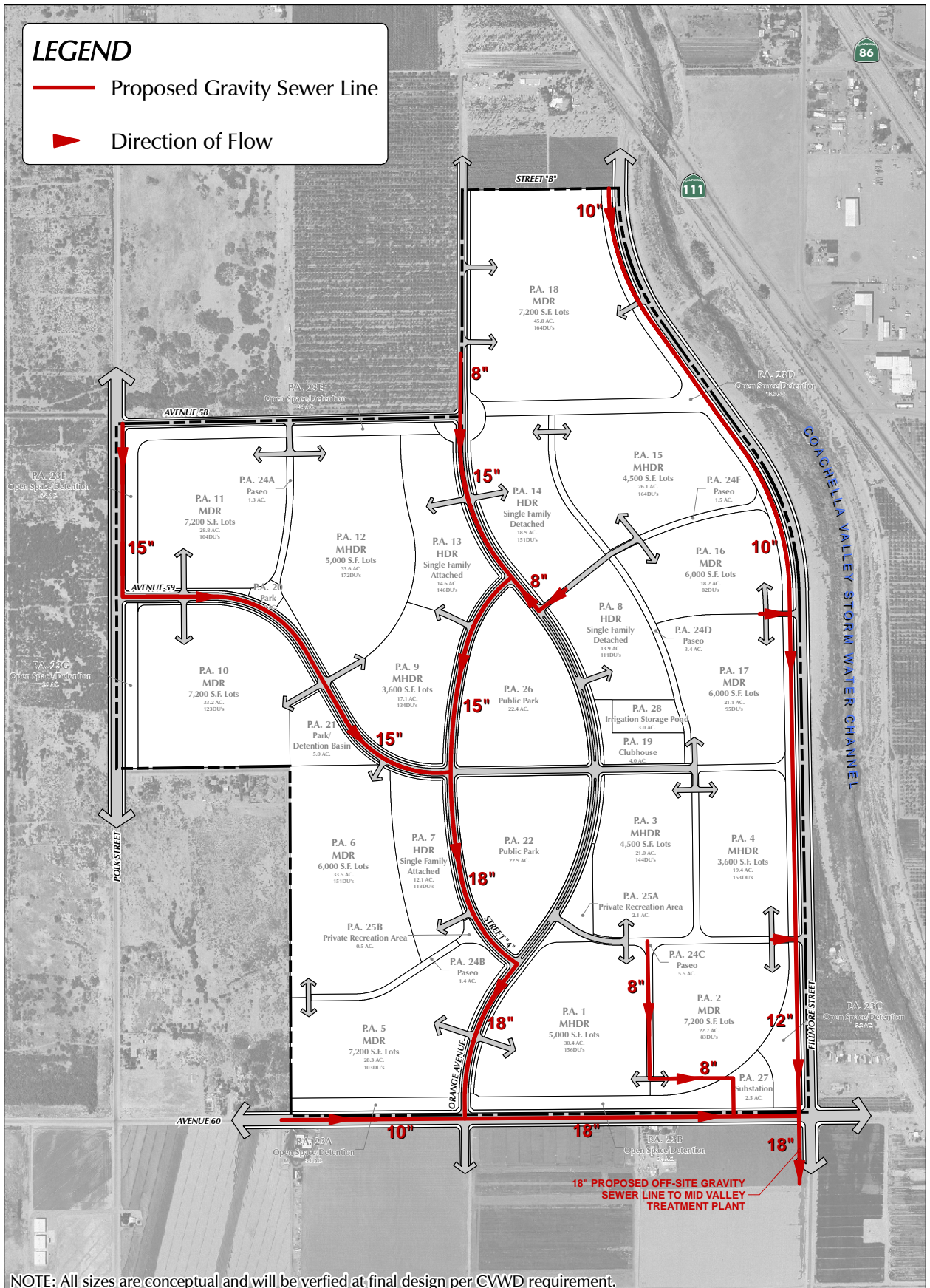
The THERMAL 551 sewer plan is depicted on Figure II-9, *Conceptual On-Site Sewer Plan* and Figure II-10, *Conceptual Off-Site Sewer Plan*. The community utilizes a gravity flow system that generally conveys wastewater flows from the northern portion of the community to the southeastern intersection of Fillmore Street and Avenue 60. Specifically, 10" and 12" lines are located within Fillmore Street; 10" and 18" lines are located within Avenue 60; 8", 15", and 18" lines are located within Orange Avenue; 15" lines are located within Polk Street; 15" lines are located within Avenue 59; and 15" and 18" lines are located within Street "A."

Located within Polk Street and Avenue 60 are existing 15" and 18" force main sewer lines. The community includes the construction of an additional 18" gravity sewer line within Polk Street. The gravity flow system directs wastewater from the community into an existing 39" trunk sewer in Avenue 62. Wastewater flows from THERMAL 551 are then transported to the Mid Valley Wastewater Reclamation Plant.

A portion of the undeveloped land north of THERMAL 551 is tributary to the community wastewater system. To accommodate future wastewater flows from the areas to the north, THERMAL 551 proposes to upsize portions of the gravity sewer system. The developer shall be compensated for this upsizing through credits from CVWD to be used against sewer connection fees.

LEGEND

- Proposed Gravity Sewer Line
- ▶ Direction of Flow



NOTE: All sizes are conceptual and will be verified at final design per CVWD requirement.

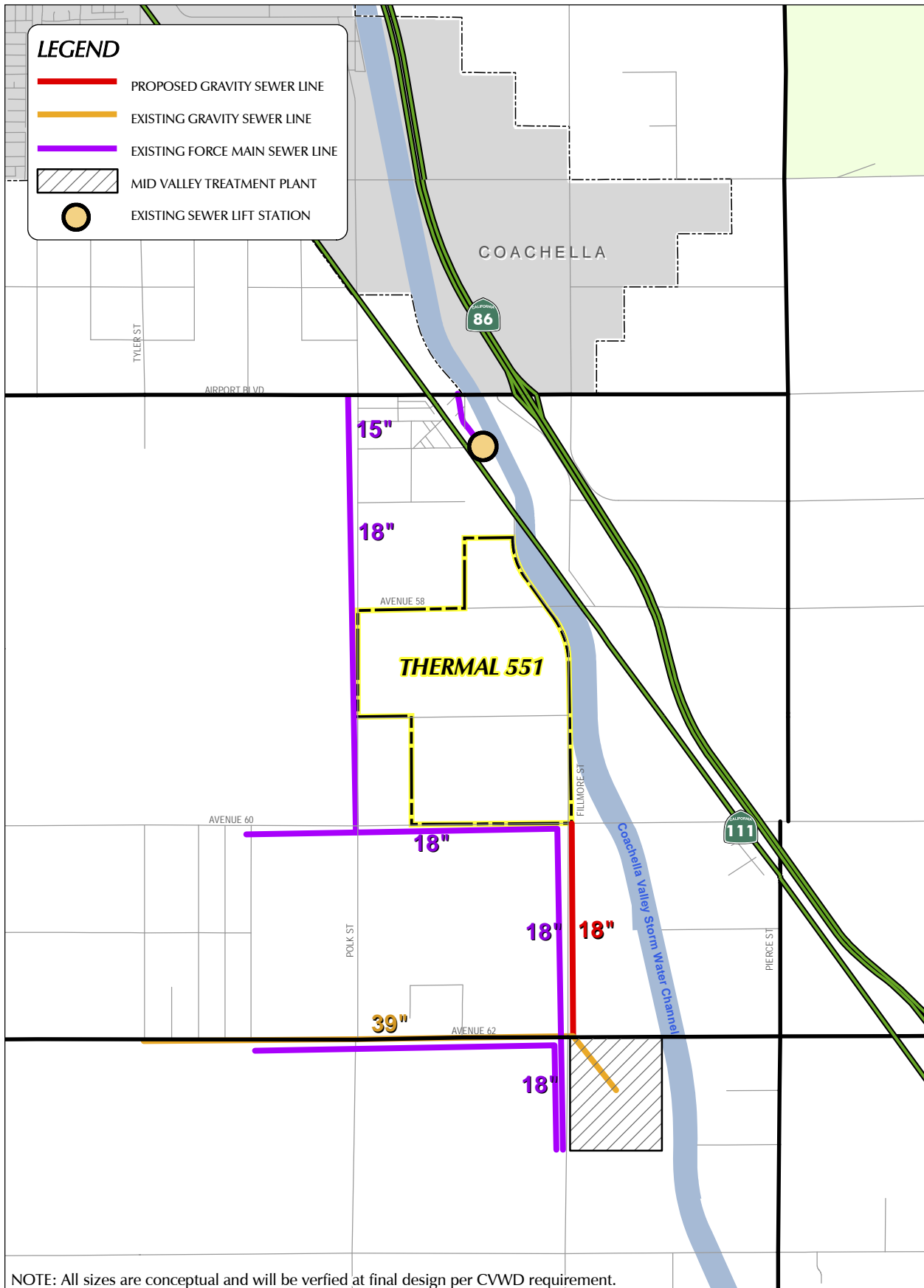
Source(s): K&A Engineering; Eagle Aerial (2006)

FIGURE II-9

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CONCEPTUAL ON-SITE DOMESTIC SEWER PLAN



NOTE: All sizes are conceptual and will be verified at final design per CVWD requirement.

Source(s): K&A Engineering, Riverside TLMA (2007)

FIGURE II-10

2. DEVELOPMENT STANDARDS

1. All sewer lines shall be placed underground.
2. All lines will be designed per the requirements of CVWD. Facility sizes and locations are conceptual and may be larger or smaller than indicated and may be relocated in accordance with CVWD requirements.
3. The infrastructure system will be installed to the requirements of the Coachella Valley Water District.
4. Sewage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
5. Phasing of the Specific Plan's infrastructure facilities shall conform to Table II-5, *Project Phasing Plan*. Specifically, construction of sewer infrastructure facilities should be timed to adequately service the planning areas in each stage of development or as needed to ensure public health.

F. OPEN SPACE AND RECREATION PLAN

1. DESCRIPTION

As depicted in Figure II-11, *Conceptual Open Space and Recreation Plan*, a distinguishing feature of the THERMAL 551 community is the variety of recreational opportunities provided to both community and surrounding residents. A combination of public and private recreational facilities serves to reinforce the master-planned community's identity as a high-quality development with the Eastern Coachella Valley.

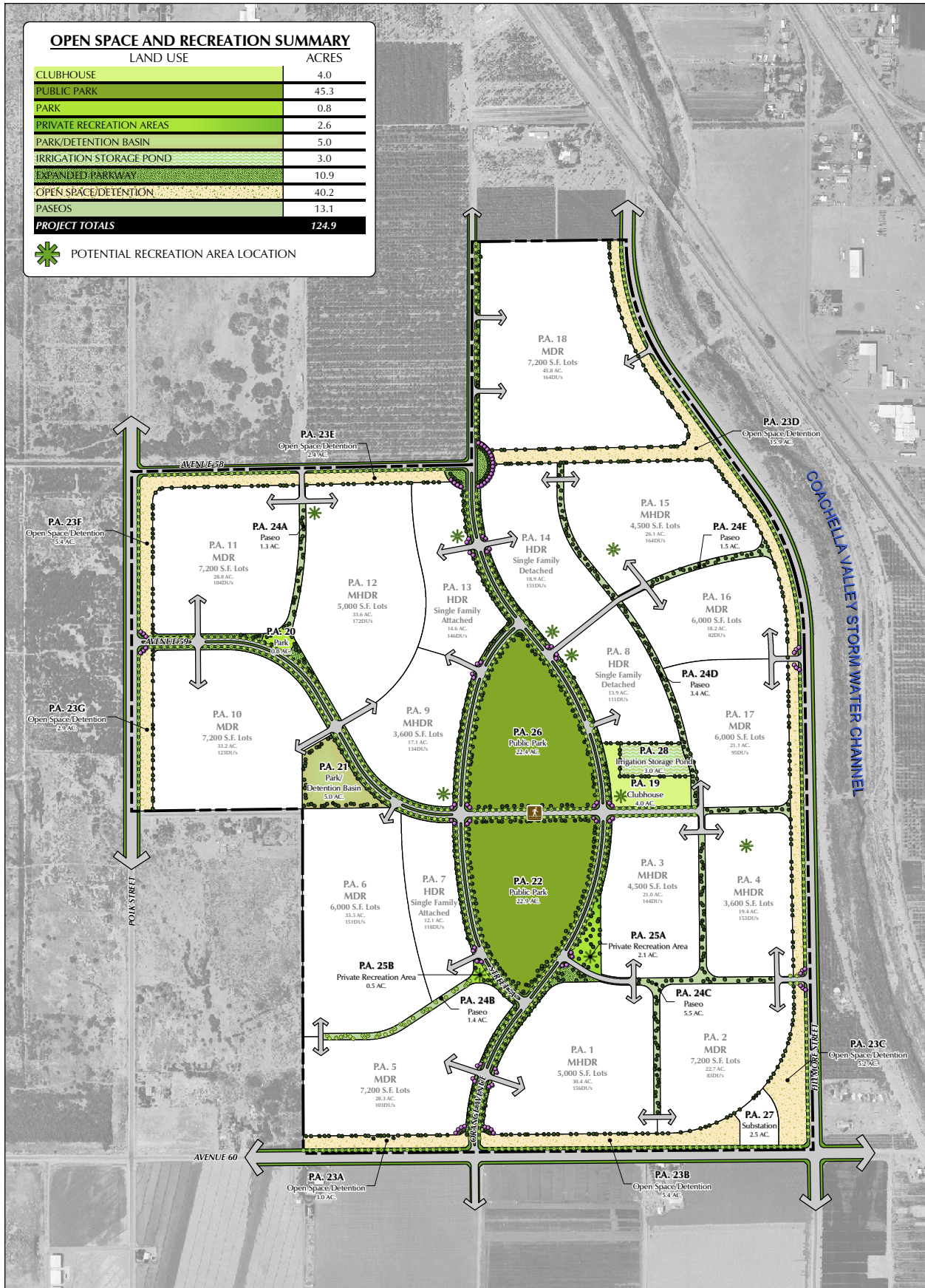
Residents of THERMAL 551 community benefit from numerous recreational amenities, including a large Public Park. The Public Park consists of two distinct areas (22.4 acres and 22.9 acres in size, respectively) that are separated by Avenue 59. To facilitate pedestrian access between the northern portion (Planning Area 26) and the southern portion (Planning Area 22), a protected crosswalk is provided at this section of Avenue 59. This protected pedestrian crossing connects to trails within the two parks. The Public Park includes a variety of active and passive recreational amenities including a minimum of four (4) soccer field; a softball field; tennis, volleyball and basketball courts; disc golf; a tot lot play area; gazebos; trails; open turf areas; picnic facilities; restrooms; parking and other amenities.

The Public Park is within close walking distance to the community's 4.0-acre clubhouse area, which contains a clubhouse building, workout center, tot lot, swimming pool, wading pool, open turf areas, picnic facilities, and/or other similar uses. Additional recreational facilities within the community include a 0.8-acre Private Park within Planning Area 20 and a 5.0-acre Park/Detention Basin within Planning Area 21.

Seven private recreation facilities are situated within the community in the higher density neighborhoods (Planning Areas 4, 8, 9, 12, 13, 14, and 15). These private recreation areas feature seating areas and shade structures, swimming pools, and a variety of other recreational amenities, such as tot lots, seating areas, and/or trail connections. Additionally, an extensive trail system, including roadway-adjacent sidewalks and 13.1 acres of paseos within Planning Areas 24A through 24E, provides connections from residential neighborhoods to recreational amenities.

A Regional Combination Trail and the Class I Bike/ trail are located along Avenue 60 and the Coachella Valley Stormwater Channel, respectively.

As summarized in Figure II-11, *Open Space and Recreation Land Use Summary*, a total of 124.9 acres, or approximately 20% of the total community acreage, is dedicated to open space and recreational uses.



Source(s): Eagle Aerial (2006)

FIGURE II-11

Table II-2 OPEN SPACE AND RECREATION LAND USE SUMMARY

PLANNING AREA	LAND USE	ACRES
19	Clubhouse Area - OS-R	4.0
20	Park - OS-R	0.8
21	Park/Detention Basin - OS-R	5.0
22	Public Park - OS-R	22.9
23A	Open Space/Detention - OS-R	3.0
23B	Open Space/Detention - OS-R	5.4
23C	Open Space/Detention - OS-R	5.2
23D	Open Space/Detention - OS-R	15.9
23E	Open Space/Detention - OS-R	2.4
23F	Open Space/Detention - OS-R	5.4
23G	Open Space/Detention - OS-R	2.9
24A	Paseo - OS-R	1.3
24B	Paseo - OS-R	1.4
24C	Paseo - OS-R	5.5
24D	Paseo - OS-R	3.4
24E	Paseo - OS-R	1.5
25A	Private Recreation Area - OS-R	2.1
25B	Private Recreation Area - OS-R	0.5
26	Public Park - OS-R	22.4
28	Irrigation Storage Pond - OS-W	3.0
--	Expanded Parkways	10.9
TOTAL		124.9

**Note: Nine private recreation areas are identified within the community, as shown on Figure II-1. Two of these facilities are located within Planning Areas 25A and 25B. The remaining private recreation areas are located within residential Planning Areas 4, 8, 9, 12, 13, 14, and 15 and included in the relevant planning area's acreage calculation in the Specific Plan Land Use Plan.*

Riverside County and the Desert Recreation District (formerly Coachella Valley Recreation and Parks District) require 5.0 acres of developed active parkland per every 1,000 residents to satisfy Quimby Act requirements (Riverside County Ordinance No. 460). THERMAL 551 provides for 2,354 dwelling units, which results in a population of approximately 7,138 residents. Population projections are calculated by using the generation rates set forth in the 2006 Coachella Valley Recreation and Parks District (CVRPD) Master Plan. Therefore, the project is required to provide 35.7 acres of parkland, as summarized below in Table II-3, *Quimby Act Required Parkland (Per Desert Recreation District)*.

Table II-3 QUIMBY ACT REQUIRED PARKLAND (PER DESERT RECREATION DISTRICT)

PLANNING AREA	DU'S	HOUSE SIZE*	POPULATION	ASSESSMENT FACTOR (ACRE/RESIDENT)	REQUIRED QUIMBY ACRES
PAs 2, 5, 6, 10, 11, 16, 17, and 18 (6,000 and 7,000 s.f. lots)	905	3.21	2905.05	5/1000	14.5
PAs 1, 3, 4, 9, 12, 15 (3,600, 4,500, and 5,000 s.f. lots)	923	2.97	2741.31	5/1000	13.7
PA 8 and 14 (Single Family Detached)	262	2.7	707.4	5/1000	3.5
PA 7 and 13 (Single Family Attached)	264	2.97	784.08	5/1000	3.9
Totals:	2,354		7,138		35.7

*In order to calculate the “worst case” scenario for population, it was assumed that single-family homes on lots 6,000 sq. ft. or greater may feature detached garages. Per the Desert Recreation District Master Plan, the person per household (PPH) factor for single-family homes with detached garages is 3.21 PPH; for single-family homes with attached garages is 2.97 PPH; and for a multi-family unit is 2.7 PPH.

Credits toward fulfilling Riverside County Park and Recreation Fees and Dedications requirements were determined in accordance with the specifications as stipulated in Riverside County Ordinance No. 460 (Section 10.35.I.7.d) and as specified in the Desert Recreation District Master Plan. As specified in Ordinance No. 460 and in the Desert Recreation District Master Plan, active public recreation facilities receive a 100% credit; additionally, Ordinance No. 460 grants partial credit for passive or private recreational land uses. Table II-4, *Desert Recreation District Project Parkland Dedication Credits* presents the amount of acres credited toward THERMAL 551-related park and recreation development fees per the more conservative Desert Recreation District Master Plan.

Table II-4 DESERT RECREATION DISTRICT PROJECT PARKLAND DEDICATION CREDITS

PA	LAND USE	ACRES	% OF CREDIT	ACREAGE CREDITED
19	Clubhouse Area	4.0	0%	0
20	Park	0.8	0%	0
21	Park/Detention Basin	5.0	0%	0
22	Public Park	22.9	100%	22.9
23A	Open Space/Detention	3.0	0%	0
23B	Open Space/Detention	5.4	0%	0
23C	Open Space/Detention	5.2	0%	0
23D	Open Space/Detention	15.9	0%	0
23E	Open Space/Detention	2.4	0%	0
23F	Open Space/Detention	5.4	0%	0
23G	Open Space/Detention	2.9	0%	0
24A	Paseo	1.3	0%	0
24B	Paseo	1.4	0%	0

PA	LAND USE	ACRES	% OF CREDIT	ACREAGE CREDITED
24C	Paseo	5.5	0%	0
24D	Paseo	3.4	0%	0
24E	Paseo	1.5	0%	0
25A	Private Recreation Areas	2.1	0%	0
25B	Private Recreation Areas	0.5	0%	0
26	Public Park	22.4	100%	22.4
28	Irrigation Storage Pond	3.0	0%	0
--	Expanded Parkway	10.9	0%	0
TOTAL		124.9		45.3

Therefore, the THERMAL 551 community provides 124.9 acres of open space, parkland, recreational facilities, and landscape parkways, of which up to 45.3 acres may be eligible to receive credit for Quimby Act requirements, exceeding the minimum obligation. In-lieu fees, in accordance with the Desert Recreation District standards for the Quimby Act, may be required be paid by the THERMAL 551 Developer to offset any parkland shortages. The Desert Recreation District is responsible for determining the required in-lieu fees in relation to the community’s contribution of dedicated and improved parkland. The Desert Recreation District is also responsible for the maintenance of public parks within the community.

Detailed elements and acreage of the specific open space and recreation amenities provided within THERMAL 551 are described below:

a. Public Park

A 45.3-acre Public Park located within the center of the community creates a “village green” that adds to the community’s atmosphere. The Public Park is comprised of Planning Area 22 (22.9 acres) and Planning Area 26 (22.4 acres). To facilitate safe and efficient pedestrian access between the northern portion (Planning Area 26) and the southern portion (Planning Area 22), a protected, at-grade pedestrian crosswalk is provided at Avenue 59. This crosswalk connects to trails that run along the perimeter of the Public Park. Walkers, runners, or bicyclists on the park trails can safely utilize this crossing to easily cross from one portion of the park to the other.

In addition, this Specific Plan permits the development of four roundabouts at the intersections surrounding the Public Park (Avenue 59 and Street “A,” Avenue 59 and Orange Avenue, and the northern and southern intersection of Orange Avenue and Street “A”). These roundabouts facilitate traffic around the Public Park and create an aesthetic appearance.

The Public Park contains active and passive recreational opportunities, including a minimum of four (4) soccer fields; a softball field; tennis, volleyball and basketball courts; disc golf; a tot play area; gazebos; trails; open turf areas; picnic facilities and restrooms.

Parking lots take access from Orange Avenue and Street "A," and pedestrian access to the Public Park from neighborhoods is provided by sidewalks and paseos.

Due to the park's central location, size, and wide range of recreational opportunities, the Public Park is envisioned as one of the community's most widely used amenities by both community residents and the general public. A complete description of the facilities proposed for the park public is included within Section IV, *Design Guidelines*.

b. Private Clubhouse Area

A private 4.0-acre clubhouse area for community residents is located in Planning Area 19, east of the Public Park. The clubhouse area serves as a community gathering location, allowing residents to recreate and socialize. The clubhouse area features a clubhouse building, workout center and swimming pools, and may also include amenities such as a tot lot, wading pool, open turf areas, picnic facilities, and other similar uses. A complete description of the amenities included within the clubhouse area is included within Section IV, *Design Guidelines*.

c. Park/Detention Basin

Planning Area 21 is a Park/Detention Basin. This Specific Plan permits Planning Area 21 to be developed as a park with no detention functions or as a detention basin with no park amenities, depending on the final hydrologic and Water Quality Management Plan (WQMP) requirements prepared as part of the implementing tentative map(s). For either of these contingencies, detailed plans of Planning Area 21 shall be prepared at the tentative map level of design. If developed to serve as a detention basin, the planning area shall consist of a series of basins, the sides and bottoms of which are covered with a living or inert material (such as decomposed granite), that contain stormwater flows while creating a visually interesting landscape. If developed as a Park, Planning Area 21 would provide nearby residents with a lawn area for a variety of unstructured recreational activities, a pedestrian walk, seating areas, and water-efficient landscaping.

d. Park

Planning Area 20 contains a 0.8-acre Private Park to serve the adjacent neighborhoods (Planning Areas 11 and 12) with recreational amenities such as tot lot, lawn area, and shade trees. Trails and sidewalks located to the north, east, and west of the park promote pedestrian activity to and from the Private Park.

e. Open Space/Detention

A total of 40.2 acres of the community are designated Open Space/Detention land uses (Planning Areas 23A, 23B, 23C, 23D, 23E, 23F, and 23G). These open space areas are located around the perimeter of the community and serve as a buffer between residential land uses and off-site land uses, including the Coachella Valley Stormwater Channel to the east and the Jacqueline Cochran Airport to the west. Open Space/Detention land uses also surround

the lake and are located in between neighborhoods. In addition to serving as a water detention basin during storm events, Planning Areas 23A through 23G serve as an aesthetic amenity for the entire community and the surrounding area.

f. Private Recreation Areas

Nine private recreation areas are located throughout the community. Two of these private recreation areas are located within Planning Areas 25A and 25B and are intended to serve the recreational needs of residents in Planning Areas 3 and 7, respectively. Other private recreation areas are located within residential Planning Areas 4, 8, 9, 12, 13, 14, and 15 and are included in the relevant planning area's acreage calculation. Planning Areas 25A and 25B are 2.1 and 0.5 acres in size, respectively. The remaining private recreation areas are a minimum of 10,000 s.f. These facilities shall include seating areas, shade structures, and swimming pools, and may include a variety of other recreational amenities, such as tot lots, seating areas, and/or trail connections.

g. Trails

As previously depicted in Figure II-4, *Master Trails Plan*, an extensive trail system is provided for THERMAL 551. Four types of trails are proposed within the THERMAL 551 community: Enhanced Sidewalk Trails; Regional Combination Trail; Class 1 Bike Path; and Pedestrian Paseos. These pathways provide access between neighborhoods and various on-site recreational amenities. In addition, trails connect with other existing or planned off-site regional trails and bike paths.

Enhanced Sidewalk Trails are adjacent to all major roadways within the community. These paved trails are 5 to 6 feet in width and may meander. Street "A" and portions of Avenue 59 and Orange Avenue feature 15-foot or 25-foot expanded parkways adjacent to the Enhanced Sidewalk Trails to further separate the trails from nearby homes.

Pedestrian Paseos, which are 50 - 75 feet wide and contain a 5.0-foot decomposed granite pathways, are provided throughout the community in Planning Areas 24A through 24E. As previously described under Section IV.E.1.1, *Cul-De-Sac Streetscapes*, certain design considerations shall be implemented whenever the Pedestrian Paseos abut cul-de-sacs to create an aesthetic view and increase safety and security. Furthermore, access from the cul-de-sac to the Pedestrian Paseos shall be provided via trail connections.

The third trail type provided within the community is a 14-foot wide Regional Combination Trail within the Avenue 60 right-of-way. This soft-surface trail accommodates all forms of non-motorized circulation, including equestrians, and also serves as a CVWD service road. Lastly, a Class 1 Bike Trail is located on top of the Coachella Valley Stormwater Channel earthen embankment adjacent to the portion of Fillmore Street that is designated a Modified Major Highway. This off-site 20-foot wide trail is a component of the SVIP Trails Plan and features paving with landscaped areas along both sides.

A thorough description of the trail types, cross-sections, and amenities is provided in Section IV.E, *Landscape Design Guidelines*.

2. PHASING OF RECREATIONAL AMENITIES

The phasing of the THERMAL 551 recreational amenities shall confirm to the construction triggers set forth in Table II-6, *Recreational Amenities Construction Timing and Responsibility*. These construction triggers are summarized below.

- The private recreation areas within Planning Areas 4, 8, 13, 14, and 15 shall be fully constructed and operational prior to the issuance of the final building permit in the associated planning area.
- The private recreation areas within Planning Areas 25A and 25B shall be fully constructed and operational prior to the issuance of the final building permit in Planning Areas 3 and 7, respectively.
- The Clubhouse in Planning Area 19 shall be constructed and operational prior to the issuance of the 589th building permit in THERMAL 551.
- The Private Park in Planning Area 20 shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.
- If it is developed as a park, Planning Area 21 shall be constructed and operational prior to the issuance of the 2,107th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551. If developed as a Detention Basin, the Park/Detention Basin in Planning Area 21 shall be constructed during Phase II or as required for safe and efficient stormwater detention purposes.
- Park plans for the Public Park in Planning Areas 22 and 26 shall be approved prior to the issuance of the 589th building permit (or 25% of the total Specific Plan) in THERMAL 551.
- The Public Park in Planning Area 22 shall be constructed and operational prior to the issuance of the 785th building permit (or 33% of the total Specific Plan) in THERMAL 551.
- The Public Park in Planning Area 26 shall be constructed and operational prior to the issuance of the 1,553rd building permit (or 66% of the total Specific Plan) in THERMAL 551.
- The paseo in Planning Area 24A shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.

- The paseo in Planning Area 24B shall be constructed and operational prior to the issuance of the 2,106th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551.
- The paseo in Planning Area 24B shall be constructed and operational prior to the issuance of the 652nd building permit (or 50% of Phase I) in THERMAL 551.
- The paseo in Planning Area 24D shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.
- The paseo in Planning Area 24E shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.

For more information regarding triggers and responsibility parties for construction of recreational amenities, refer to Table II-6.

3. OPEN SPACE AND RECREATION PLAN DEVELOPMENT STANDARDS

1. All private recreational facilities, including all trails not located within a public right-of-way or within a public park, shall be privately owned and maintained by a Master Homeowners' Association or similar mechanism.
2. County Service Area No. 125 is responsible for maintaining all landscaped parkways, including any trails, outside the public right-of-way. Riverside County Transportation Department is responsible for maintaining all landscaped parkways and medians within the public right-of-way. For more information regarding maintenance entities, refer to Section II.I, *Maintenance Plan*.
3. All recreational facilities will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
4. Landscaping within recreation and open space areas will be further governed by Section IV, *Design Guidelines* of this Specific Plan.
5. Landscaping within common open space areas shall conform to the Shade Standards governed by Section IV, *Design Guidelines* of this Specific Plan.
6. This Specific Plan shall conform to the standards set forth by Riverside County Ordinance No. 859.
7. Conceptual landscaping plans shall be submitted with any tentative map application for this Specific Plan.

G. GRADING PLAN

1. GRADING PLAN DESCRIPTION

The THERMAL 551 Grading Plan is tailored to the existing topography of the Project site, which consists of relatively flat, undeveloped land with an average elevation of approximately 140 feet below mean sea level (MSL), and a slope orientation towards the southeast.

The THERMAL 551 SPECIFIC PLAN Conceptual Grading Plan conforms to the existing topography to the greatest extent possible, as depicted in Figure II-12, *Conceptual Grading Plan* (500 feet has been added to all elevations on this graphic for map presentation). The intent of the Specific Plan's grading plan is to establish stable development pads for structures and amenities, balance the cut and fill grading quantities, use retaining walls only when necessary, and control erosion and pollution during construction activities and at buildout.




The Conceptual Grading Plan proposes a total of approximately 3,970,865 cubic yards (c.y.) of raw cut and 4,727,220 c.y. of fill. After consideration of remedial grading, pad location adjustments, overexcavation, and import from the Coachella Valley Stormwater Channel, the Project will require an estimated 4,765,457 c.y. of imported fill material. Including the import of fill material and the overexcavation of on-site soils, the THERMAL 551 Grading Plan assumes approximately 22,734.5 c.y. of earth would be moved each day during the grading period (which would last approximately one year). These earthwork quantities are approximate and are subject to refinement during preparation of the Project's grading plan. As shown in Figure II-12, proposed elevations would be approximately 130 feet BMSL in the northwestern portion of the site; 136 feet BMSL in the northeastern portion of the site; 146 feet BMSL in the southeastern portion of the site; and 144 feet BMSL in the southwestern portion of the site.

It is the intent of the Grading Plan to incorporate the following elements:

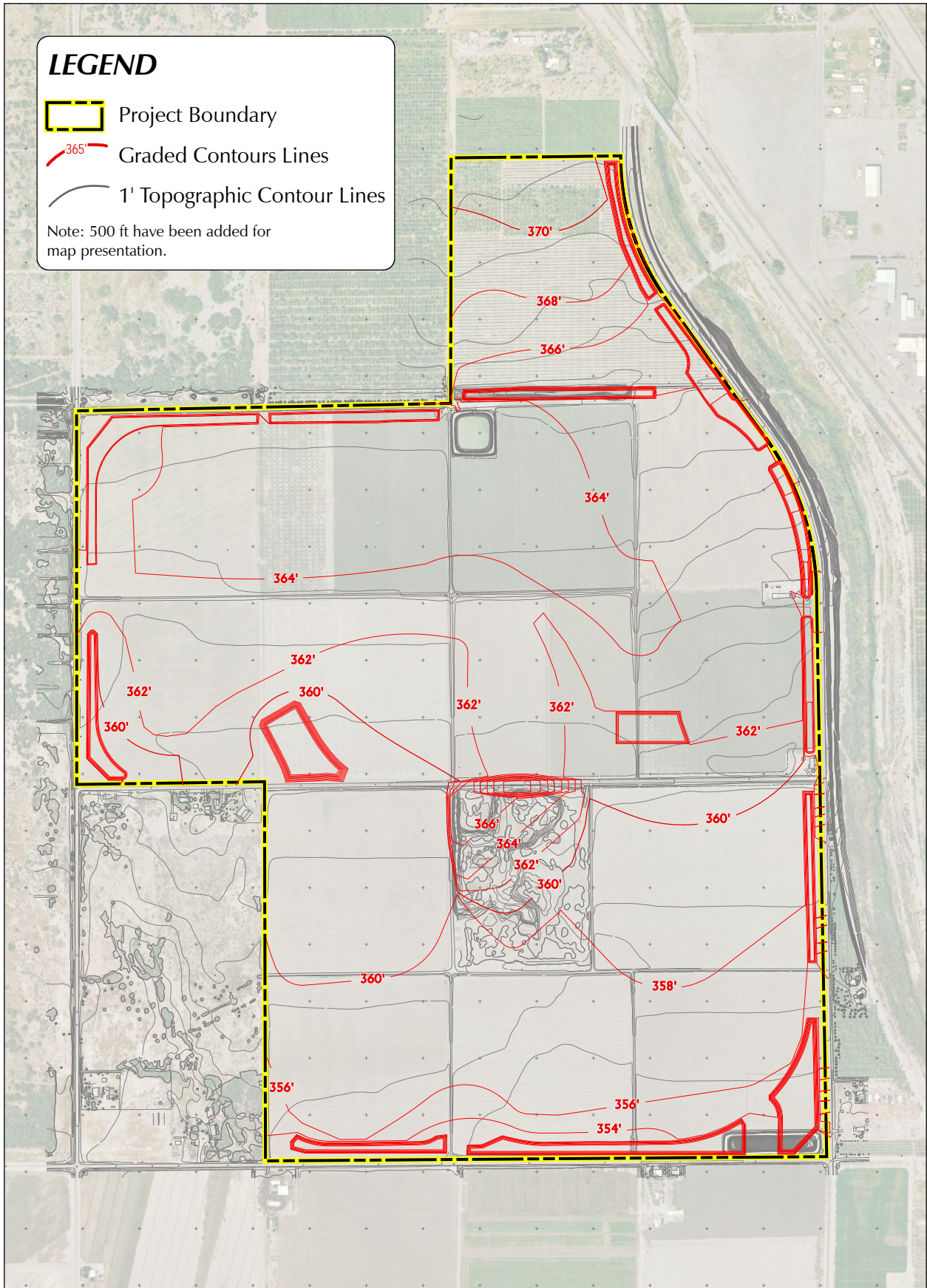
- Gently to moderately sloping streets for safe vehicular circulation.
- Safe drainage to the flood control facilities.
- Minimal use of retaining walls.
- Common landscape areas.
- Erosion and pollution control during construction activities and at buildout.

Site grading will follow the geotechnical recommendations and site inspections, particularly the removal and re-compaction of existing alluvial soils and the accommodation of tile drains. Any ripping, removal, or excavation activities occurring along adjacent structures and property lines will be accomplished under close geotechnical inspection.

LEGEND

-  Project Boundary
-  Graded Contours Lines
-  1' Topographic Contour Lines

Note: 500 ft have been added for map presentation.



Source(s): K&A Engineering, Eagle Aerial (2006)

FIGURE II-12



As previously discussed under Section I.E, *Existing Site Characteristics*, the former Thermal Landfill comprises an approximately 10.5-acre portion of Planning Area 22. In accordance with the adopted Remedial Action Workplan (RAW) for the former Thermal Landfill, a protective, engineered soil cap shall be placed above the site of the former landfill. Special grading considerations also are required above the former landfill site. The location of the former landfill site is presented on Figure II-12A, *Conceptual Landfill Limits*.

2. TILE DRAINS

A shallow network of “farm drains” or “tile drains” exists throughout the site to control shallow groundwater and reduce salt leaching from agricultural fields. The tile drains are typically composed of 4” to 8” segments of molded concrete pipes, which are 12” to 18” long. The pipes are placed end to end in a narrow strip of graded filter gravel. Thin gaps between the pipes allow water to flow into them from the surrounding soil and also make them resistant to damage.

Preservation, repair, and selective replacement of the tile drains is of paramount importance to control adverse effects of soil moisture and groundwater. Therefore, their proper incorporation into the design of the THERMAL 551 Grading Plan is essential. When tile drains must be replaced, they should be supplemented with a subdrainage system that is subject to approval by the Project Geotechnical Engineer and the Riverside County Geologist.

Several considerations relating to the tile drains should be observed during grading. These are generally described in the Grading Plan Development Standards (see below). For specific development standards, please refer to the *Supplemental Engineering Geologic Study*, prepared by Neblett & Associates, Inc., and dated September 1, 2008, which is attached to EIR No. 504 as *Appendix F3*.

3. GRADING PLAN DEVELOPMENT STANDARDS

1. All grading activities shall conform to Riverside County standards, shall be in substantial conformance with the overall *Conceptual Grading Plan* (Figure II-12), and shall implement any grading-related mitigation measures.
2. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared for each tentative map to analyze on-site soil conditions and slope stability and will include appropriate measures to control erosion and dust.
3. Prior to any development within any planning area of this Specific Plan, an overall Conceptual Grading Plan for the related tentative map shall be submitted for Planning Department approval. The Grading Plan for each tentative map shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area, and shall include: techniques employed to prevent erosion and sedimentation as well as eliminate source pollutants during and



APPROXIMATE LOCATION OF LANDFILL
CAP FOLLOWING REMEDIATION

GRADED SLOPE

FIGURE II-12A

- after the grading process; approximate time frames for grading; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced on-site whenever possible.
4. Where cut and fill slopes are created higher than three feet, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to Specific Plan approval. Plans shall be reviewed for type and density of ground cover, shrubs, and trees.
 5. The Master Developer shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties, which may include the Riverside County Transportation Department, County Service Area No. 125, County Service Area No. 152, or the Desert Recreation District. A complete description of maintenance entities for THERMAL 551 is provided within Section II.I, *Maintenance Plan*.
 6. Potential brow ditches, terrace drains, or other minor swales, determined necessary by the County of Riverside shall be lined with natural erosion control materials or concrete.
 7. Graded land that is undeveloped shall be maintained and planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.
 8. A grading permit shall be obtained from the County of Riverside, as required by the County Grading Ordinance, prior to grading.
 9. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance, as specified in the project EIR. If human remains are discovered, work shall halt in that area and procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be followed, including notification to the County Coroner. If Native American remains are present, the County Coroner shall contact the Native American Heritage Commission to designate a Most Likely Descendant.
 10. Pursuant to requirements of the State Water Resources Control Board, a State-wide general National Pollution Discharge Elimination System (NPDES) construction permit will apply to construction activities associated with the proposed project. Construction activities include cleaning, grading, or excavation that results in the disturbance of at least one acre of total land area or activity which is part of a larger common plan of development of one acre or greater. Therefore, the developer or builder of the project shall be required to obtain the appropriate State NPDES permits prior to commencing grading activities.

11. Clean Water Act (CWA) Section 401 Water Quality Certification or Waiver from the Regional Water Quality Control Board (RWQCB) and CWA 404 Permit from the United States Army Corps of Engineers (ACOE) shall be obtained prior to the issuance of any grading permit for the related tentative map.
12. During grading and construction activities, any excavations that may compromise or interrupt the integrity of the tile drain system must be completed under the guidance of a licensed geotechnical consultant, civil engineer, landscape architect, or similarly licensed professional.
13. During grading, the existing underdrainage system (tile drains) shall be preserved, where possible, to reduce potential adverse effects due to groundwater. Light weight excavation equipment shall be used where excavations come near the existing tile drains to prevent damage to the underdrainage system. In areas where lines are to be disrupted, drains on the downstream side should be temporarily capped off. Where the tile drains are to be disrupted or exposed during grading, a replacement set of drains will be needed. In areas where the tile drains will be intersected by utility lines, they may be continued across the trench by coupling the upstream and downstream ends.
14. The location, nature, and importance of the subdrainage system shall be disclosed to the ultimate owners of the property, so that the property owners can avoid damage to the drains' or negatively affect the drains' performance. In addition to disclosure to potential homeowners, tile drains that cross onto private lots shall be protected by one or more of the following mechanisms: the creation of easements, CC&R protocols, identification through flagging or risers, or other suitable mechanisms.
15. Risers should be installed to serve as cleanout and inspection points on all preserved drain lines pursuant to CVWD direction and policy. Existing drain facilities should be carefully monitored, inspected, and flushed prior to and during the grading process. Any damaged areas should be appropriately repaired. New drains should be placed in the same general alignment as the previous ones, where feasible and practical.
16. Tile drains may be susceptible to tree root invasions; therefore, trees should not be located in close proximity to drain alignments.
17. The former Thermal Landfill site in Planning Area 22 shall be graded so that no water drains to or accumulates above the landfill cap area.

H. PHASING PLAN

1. PHASING PLAN DESCRIPTION

The THERMAL 551 SPECIFIC PLAN is designed for development in three phases over an approximate 6 year period in response to market demands. Construction is estimated to begin in 2010 and be completed in 2016. The THERMAL 551 Phasing Plan follows a logical and orderly extension of roadways, public utilities, and infrastructure as depicted in Figure II-13, *Conceptual Phasing Plan* and Table II-5, *Project Phasing Plan*.

Table II-5 PROJECT PHASING PLAN

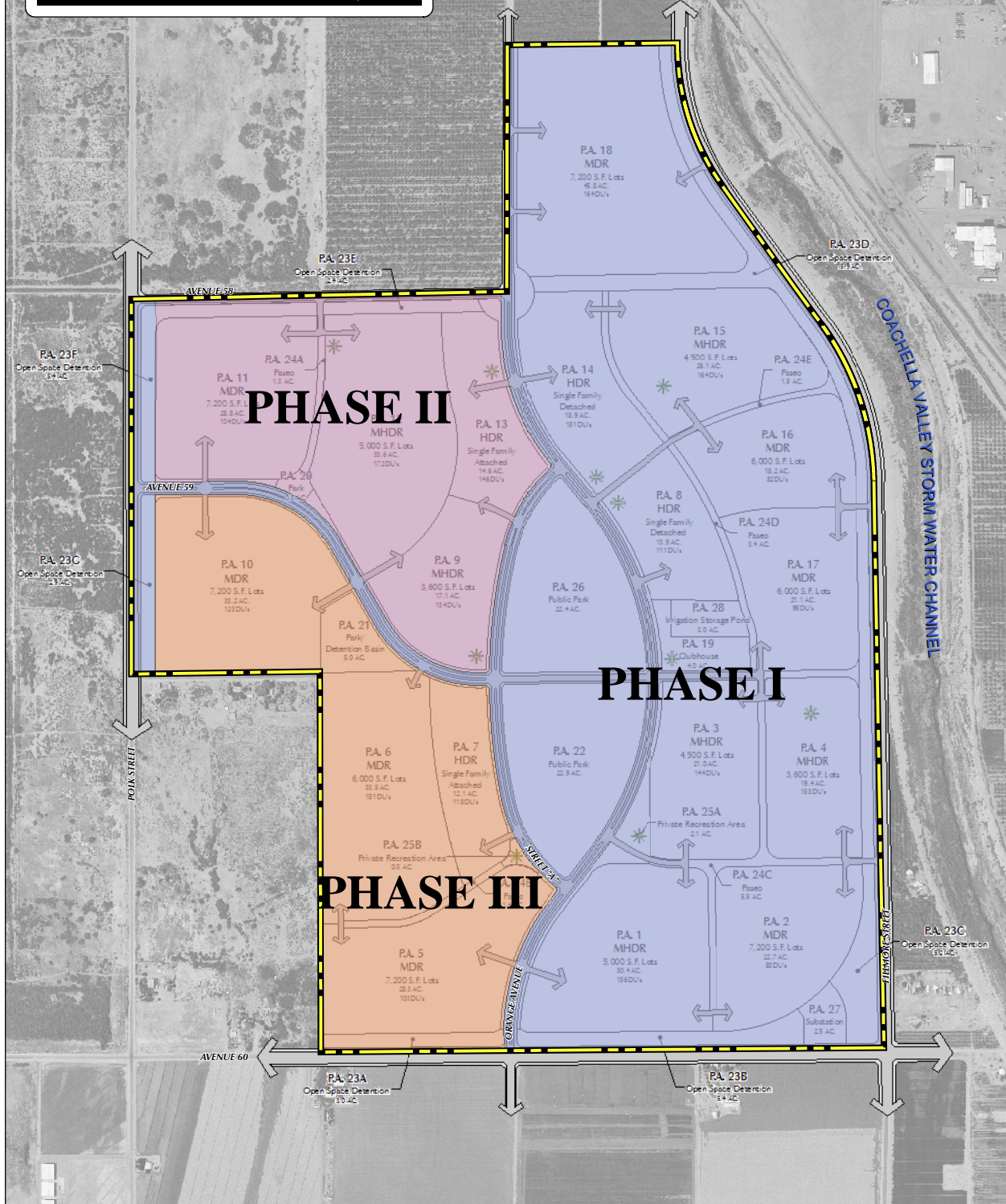
PLANNING AREA	LAND USE	ACREAGE	DENSITY	DU
PHASE I				
1	5,000 s.f. lots - MHDR	30.4	5.1	156
2	7,200 s.f. lots - MDR	22.7	3.7	83
3	4,500 s.f. lots - MHDR	21.0	6.9	144
4	3,600 s.f. lots - MHDR	19.4	7.9	153
8	Single Family Detached - HDR	13.9	8.0	111
14	Single Family Detached - HDR	18.9	8.0	151
15	4,500 s.f. lots - MHDR	26.1	6.3	164
16	6,000 s.f. lots - MDR	18.2	4.5	82
17	6,000 s.f. lots - MDR	21.1	4.5	95
18	7,200 s.f. lots - MDR	45.8	3.6	164
19	Clubhouse Area	4.0	--	--
22	Public Park	22.9	--	--
23B	Open Space/Detention	5.4	--	--
23C	Open Space/Detention	5.2	--	--
23D	Open Space/Detention	15.9	--	--
23F (Portion)	Open Space/Detention	2.8	--	--
23G	Open Space/Detention	2.9	--	--
24C	Paseo	5.5	--	--
24D	Paseo	3.4	--	--
24E	Paseo	1.5	--	--
25A	Private Recreation Area	2.1	--	--
26	Public Park	22.4	--	--
27	Substation	2.5	--	--
28	Irrigation Storage Pond	3.0	--	--
--	Expanded Parkways	5.0	--	--
--	Circulation	43.0	--	--
Phase I Subtotal		385.3	3.4	1,303
PHASE II				
9	3,600 s.f. lots - MHDR	17.1	7.8	134
11	7,200 s.f. lots - MDR	28.8	3.6	104
12	5,000 s.f. lots - MHDR	33.6	5.1	172
13	Single Family Attached - HDR	14.6	10.0	146
20	Park	0.8	--	--
23E	Open Space/Detention	2.4	--	--

PLANNING AREA	LAND USE	ACREAGE	DENSITY	DU
23F (Portion)	Open Space/Detention	2.6	--	--
24A	Paseo	1.3	--	--
--	Expanded Parkways	3.2	--	--
--	Circulation	2.0	--	--
<i>Phase II Subtotal</i>		106.4	5.2	556
PHASE III				
5	7,200 s.f. lots - MDR	28.3	3.6	103
6	6,000 s.f. lots - MDR	33.5	4.5	151
7	Single Family Attached - HDR	12.1	9.8	118
10	7,200 s.f. lots - MDR	33.2	3.7	123
21 ¹	Park/Detention Basin	5.0	--	--
23A	Open Space/Detention	3.0	--	--
24B	Paseo	1.4	--	--
25B	Private Recreation Area	0.5	--	--
--	Expanded Parkways	2.4	--	--
--	Circulation	1.0	--	--
<i>Phase III Subtotal</i>		120.4	4.1	495
PROJECT TOTALS		612.1	3.8	2,354

Notes:

¹In this table, Planning Area 21 is included in Phase III of development. Pursuant to this Specific Plan, Planning Area 21 may be development with passive park or detention basin functions. Per the requirements of Table II-6, if Planning Area 21 is developed as a passive park, Planning Area 21 shall be constructed and operational prior to the issuance of the 2,107th building permit (or all of Phase I and Phase II plus 50% of Phase III) in Thermal 551. If developed as a Detention Basin, the Park/Detention Basin in Planning Area 21 shall be constructed during Phase II or as required for safe and efficient stormwater detention purposes.

PHASING SUMMARY			
PHASE	ACRES	DENSITY	DU's
PHASE I	385.3	3.4	1303
PHASE II	106.4	5.2	556
PHASE III	120.4	4.1	495
TOTAL	612.1	3.8	2,354



Source(s): Eagle Aerial (2006)

FIGURE II-13

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CONCEPTUAL PHASING PLAN

Development of the Specific Plan’s recreational amenities shall conform to Table II-6, *Recreational Amenities Construction Timing and Responsibility*. This plan identifies the triggers for development of and the parties responsible for construction of recreational amenities. Maintenance entities are identified in Table II-8, *Maintenance Plan Summary*.

Table II-6 RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

FACILITY	CONSTRUCTION TIMING	RESPONSIBLE PARTY FOR CONSTRUCTION
Private Recreation Areas within Planning Areas 4, 8, 13, 14, and 15	The private recreation areas within Planning Areas 4, 8, 13, 14, and 15 shall be fully constructed and operational prior to the issuance of the final building permit in the associated planning area.	Associated Planning Area Developer
Planning Areas 25A and 25B (associated with Planning Areas 3 and 7, respectively)	The private recreation areas within Planning Areas 25A and 25B shall be fully constructed and operational prior to the issuance of the final building permit in Planning Areas 3 and 7, respectively.	Associated Planning Area Developer
Clubhouse in Planning Area 19	The Clubhouse in Planning Area 19 shall be constructed and operational prior to the issuance of the 589 th building permit in THERMAL 551.	Master Developer
Private Park in Planning Area 20	The Private Park in Planning Area 20 shall be constructed and operational prior to the issuance of the 1,581 th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.	Master Developer
Park/Detention Basin in Planning Area 21	If it is developed as a passive park, Planning Area 21 shall be constructed and operational prior to the issuance of the 2,107 th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551. If developed as a Detention Basin, the Park/Detention Basin in Planning Area 21 shall be constructed during Phase II or as required for safe and efficient stormwater detention purposes.	Master Developer
Public Park in Planning Area 22	The Public Park in Planning Area 22 shall be constructed and operational prior to the issuance of the 785 th building permit (or 33% of the total Specific Plan) in THERMAL 551.	Master Developer
Public Park in Planning Area 26	The Public Park in Planning Area 26 shall be constructed and operational prior to the issuance of the 1,553 rd building permit (or 66% of the total Specific Plan) in THERMAL 551.	Master Developer
Paseo in Planning	The paseo in Planning Area 24A shall	Master Developer

FACILITY	CONSTRUCTION TIMING	RESPONSIBLE PARTY FOR CONSTRUCTION
Area 24A	be constructed and operational prior to the issuance of the 1,581 th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.	
Paseo in Planning Area 24B	The paseo in Planning Area 24B shall be constructed and operational prior to the issuance of the 2,106 th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551.	Master Developer
Paseo in Planning Area 24C	The paseo in Planning Area 24B shall be constructed and operational prior to the issuance of the 652 nd building permit (or 50% of Phase I) in THERMAL 551.	Master Developer
Paseo in Planning Area 24D	The paseo in Planning Area 24D shall be constructed and operational prior to the issuance of the 1,581 th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.	Master Developer
Paseo in Planning Area 24E	The paseo in Planning Area 24E shall be constructed and operational prior to the issuance of the 1,581 th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.	Master Developer

Development of the Specific Plan’s off-site sewer, water, storm drain, and roadway improvements shall conform to Table II-7, *Off-site Infrastructure Construction Timing and Responsibility*. This plan identifies the triggers for development of and the parties responsible for construction of off-site infrastructure. Maintenance entities are identified in Table II-8, *Maintenance Plan Summary*.

Table II-7 OFF-SITE INFRASTRUCTURE CONSTRUCTION TIMING AND RESPONSIBILITY

FACILITY	SUMMARY OF IMPROVEMENT	CONSTRUCTION TIMING	RESPONSIBLE PARTY FOR CONSTRUCTION
<i>Off-Site Circulation Improvements</i>			
Avenue 60 (North side of roadway from Fillmore Street to Orange Avenue) - Half-Width Improvements	Half-width improvements to Avenue 60 include a 14-foot vehicular travel lane, a 12-foot vehicular travel lane, an 8-foot shoulder and 21-foot landscaped parkway with a 5-foot meandering sidewalk. Perimeter improvements to Avenue 60 include 9 feet of interim paving to join the existing pavement.	These improvements shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	Master Developer
Avenue 60 (North side of roadway from Orange Avenue to Polk Street) - Half-Width Improvements	Half-width improvements to Avenue 60 include a 14-foot vehicular travel lane, a 12-foot vehicular travel lane, an 8-foot shoulder, and 21-foot landscaped parkway with a 5-foot meandering sidewalk. Perimeter improvements to Avenue 60 include 9 feet of interim paving to join the existing pavement.	These improvements shall be constructed prior to the issuance of the 1,860 th building permit in Thermal 551 (or prior to the 1 st building permit in Phase III).	Master Developer
Polk Street (East side of roadway) - Half-Width Improvements	Half-width improvements to Polk Street include a 14-foot vehicular travel lane, a 12-foot vehicular travel lane, an 8-foot shoulder, and 21-foot landscaped parkway with a 5-foot meandering sidewalk. Perimeter improvements to Polk Street include 9 feet of interim paving to join the existing pavement.	These improvements shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	Master Developer
Fillmore Street (Modified Major Highway Segment) - Full-Width Improvements	This segment of Fillmore Street shall be fully improved, including four 12-foot vehicular travel lanes, two 8-foot shoulders, a 12-foot painted median, and landscaped parkways within a 101-foot right-of-way. Of these improvements, several are located off-site, including one 12-foot vehicular travel lane, one 8-foot shoulder, and a 10-foot	These improvements shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	Master Developer

FACILITY	SUMMARY OF IMPROVEMENT	CONSTRUCTION TIMING	RESPONSIBLE PARTY FOR CONSTRUCTION
	landscaped parkway, which contains a 5-foot sidewalk. Furthermore, perimeter improvements also include a 20-foot Class I Bike/Pedestrian trail located on top of the embankment adjacent to the Coachella Valley Stormwater Channel.		
Fillmore Street (West side of roadway; Major Highway Segment) - Half-Width Improvements	Half-width improvements to this segment of Fillmore Street include two 12-foot vehicular travel lanes, an 8-foot shoulder, and 21-foot landscaped parkway with a 5-foot meandering sidewalk. Perimeter improvements to this segment of Fillmore Street include a 12-foot painted median and a 12-foot vehicular travel lane.	These improvements shall be constructed prior to the issuance of the 1st building permit in Thermal 551.	Master Developer
Avenue 58 (South side of roadway) - Half-Width Improvements	Half-width improvements to Avenue 58 include two 12-foot vehicular travel lanes, an 8-foot shoulder, and a 15-foot landscaped parkway with a 5-foot meandering sidewalk. Perimeter improvements to Avenue 58 include construction of a 12-foot vehicular travel lane.	These improvements shall be constructed prior to the issuance of the 1,304th building permit in Thermal 551 (or prior to the 1st building permit in Phase II).	Master Developer
Improvements to the intersection of Polk Street at Airport Boulevard	Improvements to the intersection of Polk Street and Airport Boulevard shall include construction of a traffic signal, construction of a northbound left turn lane, and conversion of the existing northbound shared left turn lane to a dedicated right turn lane.	These improvements shall be constructed prior to the issuance of the 1st building permit in Thermal 551.	Master Developer
Improvements to the traffic signal controls and timing at the intersection of SR-86 and Airport Boulevard	Improvements to the traffic signal controls and timing at the intersection of SR-86 and Airport Boulevard shall be made to ensure an acceptable level of service.	These improvements shall be constructed prior to the issuance of the 1st building permit in Thermal 551.	Master Developer
Improvements to the intersection of SR-86S at Airport Boulevard	Improvements to the intersection of SR-86S at Airport Boulevard shall include the implementation of overlap phasing on southbound right turn lane, the re-striping of the eastbound and westbound de facto right turn lanes as dedicated right turn lanes,	These improvements shall be constructed prior to the issuance of the 1,304th building permit in Thermal 551.	Master Developer

FACILITY	SUMMARY OF IMPROVEMENT	CONSTRUCTION TIMING	RESPONSIBLE PARTY FOR CONSTRUCTION
	and construction of an eastbound left turn lane and a westbound left turn lane.		
Improvements to the intersection of Grapefruit Boulevard (State Route 111) at Airport Boulevard	Improvements to the intersection of Grapefruit Boulevard (State Route 111) at Airport Boulevard shall include the construction of an eastbound left turn lane and a westbound left turn lane and the restriping of the eastbound and westbound de facto right turn lanes as dedicated right turn lanes	These improvements shall be constructed prior to the issuance of the 1,860 th building permit in Thermal 551.	Master Developer
Improvements to the intersection of Fillmore Street at Grapefruit Boulevard (SR-111)	Improvements to the intersection of Fillmore Street at Grapefruit Boulevard (SR-111) shall include the construction of a traffic signal.	This improvement shall be constructed prior to the issuance of the 1,860 th building permit in Thermal 551.	Master Developer
<i>Off-Site Water Improvements (All infrastructure sizes indicated should be considered preliminary. All improvements will be sized and constructed to CVWD standards)</i>			
24-inch water line in Avenue 66 to Polk Street and north along Polk Street to Airport Boulevard (Avenue 56)	This improvement consists of a 24-inch water line that extends east in Avenue 66 to Polk Street and north along Polk Street to Airport Boulevard (Avenue 56). This line will connect to the existing line within Tyler Street that connects to the Coachella Valley Water District (CVWD) Middleton Road Reservoir Site.	This improvement shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	CVWD
<i>Off-Site Sewer Improvement s (All infrastructure sizes indicated should be considered preliminary. All improvements will be sized and constructed to CVWD standards)</i>			
18-inch gravity sewer line in Fillmore Street	This improvement consists of an 18-inch gravity sewer line within Fillmore Street. This line is upsized to accommodate future development to the north. The Master Developer will be compensated for this upsizing through credits from CVWD to be used against sewer connection fees. This line will extend south of the Project to the Mid Valley Treatment Plan.	This improvement shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	Master Developer
<i>Off-Site Drainage Improvements</i>			

FACILITY	SUMMARY OF IMPROVEMENT	CONSTRUCTION TIMING	RESPONSIBLE PARTY FOR CONSTRUCTION
Stormwater drainage lines along eastern Project boundary, extending off-site into the Coachella Valley Storm Water Channel	These improvements will primarily occur along the eastern Project boundary, where individual drainage lines within the development are proposed to discharge treated runoff from the site directly into the Coachella Valley Storm Water Channel.	This improvement shall be constructed as necessary for drainage purposes during the construction of Phase I.	Master Developer
Channel revetment of the Coachella Valley Storm Water Channel	The existing channel adjacent to the site will require revetment in order to stabilize the western bank of the channel, which will involve the construction of an off-site concrete slope protection.	This improvement shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	Master Developer
Whitewater River Right Bank Levee, Stage 2	This improvement consists of a 35,450 board feet concrete lined levee, referred to as the Whitewater River Right Bank Levee, Stage 2, which will be located northerly of the proposed Project site and along the western bank of the Coachella Valley Storm Water Channel.	This improvement shall be constructed prior to the issuance of the 1 st building permit in Thermal 551.	CVWD*

Notes:

* Although this facility is anticipated to be constructed by the CVWD, there is a possibility that the Master Developer may be required to implement this improvement.

2. PROJECT PHASING DEVELOPMENT STANDARDS

1. Preliminary irrigation and landscape (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials), wall and fencing, drainage, grading, special treatment/buffer areas treatment plans and/or plans to mitigate an environmental impact for the respective tract, shall be submitted to the County Planning Department for prior to approval of a tentative map. Final plans must be submitted prior to recordation of the respective subdivision map.
2. Development of each planning area shall include development of adjacent common open space areas, trails and applicable infrastructure.
3. Construction of the development permitted herein, including recordation of final subdivision maps, may be done progressively in stages in Phase I, provided that vehicular access, facilities, and infrastructure are constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of this project's Phasing Program.
4. The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, provided the required infrastructure and services are available at the time of development.

I. MAINTENANCE PLAN

Successful operation of maintenance districts and associations are important to maintain quality in a master-planned community such as THERMAL 551. It is anticipated that the County of Riverside, County Service Area (CSA) No. 125, and/or CSA No. 152, or functional equivalent, are responsible for maintaining public roadways and the associated landscaped parkways. Other common community facilities may be divided among a Master Homeowners' Association, Neighborhood Associations, and/or similar maintenance mechanisms. Final decisions regarding maintenance entities shall be made at a future stage of project design review and in concert with appropriate agencies. See Table II-8, *Maintenance Plan Summary*, for a summary of maintenance responsibilities.

a. Homeowners' Association

Homeowner's Associations, CSA No. 125, CSA No. 152, or the functional equivalent shall maintain expanded parkways outside of the public right-of-way, private recreation areas, and private roadways and landscaping. Common areas identified in the Specific Plan may be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all common recreation facilities, open space, private circulation systems, and landscape areas. Areas of responsibility may include open space, project monumentation, public and private recreation facilities, greenbelts, and landscape areas located along project roadways. In certain residential areas of the community, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Private recreation centers exemplify facilities that may come under the jurisdiction of a neighborhood association.

b. Parks and Recreational Facilities

Public parks and recreational facilities shall be maintained by either the Desert Recreation District (formerly Coachella Valley Parks and Recreation District), CSA No. 125, CSA No. 152, or the functional equivalent. The Private Park in Planning Area 20, the clubhouse area in Planning Area 19, and the private recreation areas are maintained by a Homeowners' Association. Sidewalks and trails within the public right-of-way are maintained by the Riverside County Transportation Department, and sidewalks and trails within private recreation areas and outside the public right-of-way are maintained by the Homeowners' Association. The 20-foot trail adjacent to the Coachella Valley Stormwater Channel shall be maintained by CSA No. 125, and the 14-foot regional trail adjacent to Avenue 60 shall be maintained by the Riverside County Transportation Department.

c. Roadways

Public roadways are designed and constructed to standards acceptable to Riverside County and may be entered into the Riverside County system of roads for operation and maintenance as approved by the Board of Supervisors. The maintenance of all landscaped medians, parkways, and roundabouts within the right-of-way of public roadways shall be the responsibility of County Service Area (CSA) No. 125, which is also responsible for the maintenance of street lighting. CSA No. 152 is responsible for street sweeping.

Table II-8 MAINTENANCE PLAN SUMMARY

FACILITY	HOMEOWNERS'/ PROPERTY OWNERS' ASSOCIATION	DESERT RECREATION DISTRICT	COUNTY SERVICE AREA (CSA) No. 125/152	RIVERSIDE COUNTY	COACHELLA VALLEY WATER DISTRICT (CVWD)
Public Parks (> 5.0 Acres)		✓	✓		
Private Park, Park/Detention Basin (if developed with park land uses), Clubhouse Area, Recreation Areas	✓		✓		
Open Space/Detention Areas	✓				
Common Open Space	✓	✓	✓		
Landscaped Easements, Parkways, Roundabouts, and Medians - Within Public ROW			✓		
Landscaped Easements - Outside Public ROW	✓				
Monumentation and Hardscape Elements	✓				
Drainage Channels/Detention Basins	✓				
Park/Detention (if developed with detention basin land uses)	✓		✓		✓
Stormwater Drainage Facilities - Within Public ROW				✓	
Stormwater Drainage Facilities - Outside Public ROW					✓
Sewer/Water					✓
Irrigation Storage Pond and related facilities					✓
Sidewalks and Trails -				✓	

FACILITY	HOMEOWNERS/ PROPERTY OWNERS' ASSOCIATION	DESERT RECREATION DISTRICT	COUNTY SERVICE AREA (CSA) No. 125/152	RIVERSIDE COUNTY	COACHELLA VALLEY WATER DISTRICT (CVWD)
Within Public ROW					
Sidewalks and Trails - Within Public Parks		✓			
20-foot Trail Adjacent to Coachella Valley Stormwater Channel			✓		
14-foot Regional Trail Adjacent to Avenue 60				✓	
Sidewalks and Trails - Other	✓				
Street Lighting			✓		
Street Sweeping			✓		
Streets (Private)	✓				
Streets (Public)				✓	

J. PUBLIC SAFETY SERVICES

This section provides information on fire and police services for the THERMAL 551 community. The information is based on a variety of source material including the Eastern Coachella Valley Area Plan of the General Plan and communications with public service agency personnel. For more information, refer to EIR No. 504.

1. FIRE PROTECTION SERVICES

Fire protection service for the THERMAL 551 community is provided by the Riverside County Fire Department. The Riverside County Fire Department provides a full range of fire services within the County and contracting cities. THERMAL 551 is not in a high risk zone for fire, as classified by the Riverside County General Plan. According to the Fire Department, the THERMAL 551 community requires an "Urban-Category II" level of service as defined by the Riverside County Fire Protection Master Plan. This classification requires a fire station to be within 3.0 roadway miles of all areas of the community and a full first alarm assignment team operating on the scene of a fire within 15 minutes of dispatch.

THERMAL 551 is served by Stations 39, 79, and 40. Station 39 is located at 56925 Vic Higgins Street in Thermal; Station 79 is located at 1377 6th Street in Coachella; and Station 40 is located at 91100 4th Street in Mecca. These stations are approximately 2.5, 4.3, and 4.9 roadway miles from the THERMAL 551 community. Furthermore, plans are underway to construct a new fire station at the intersection of Polk Street and Avenue 60. This station, which is located to the immediate southwest of THERMAL 551, is in the early stages of construction planning and a completion date has not been identified.

2. POLICE SERVICES

The Riverside County Sheriff's Department provides community policing for the THERMAL 551 community. Nine sheriff substations are located throughout the County. As of March 2009, law enforcement services to the THERMAL 551 community are primarily provided from the station located in the city of Indio, approximately 9.0 miles northwest of the community at 82965 Dr. Carreon Boulevard in Indio. Plans are underway to construct a new Sheriff's station in the Thermal area that would serve the THERMAL 551 community when the station is complete. This station will be located on Airport Boulevard just east of Polk Street and is due to open by December 2010.

3. DEVELOPMENT IMPACT FEE

Riverside County Ordinance No. 659, which is also known as the County Development Impact Fee (DIF), requires a fee payment by developers for the funding of public facilities, including fire protection facilities, sheriff facilities, library books, and public health facilities. The THERMAL 551 Developer is required to pay DIF to ensure funds are available for capital improvements, such as land/equipment purchases, hiring of new staff, and facilities construction to maintain the County's desired level of service for police and fire protection services.

III. PLANNING AREA DEVELOPMENT STANDARDS

Planning Areas within the THERMAL 551 SPECIFIC PLAN were formed on the basis of logical, separate units of development. Criteria considered in this process included an assessment of the constraints within the Specific Plan boundaries, including the existing system of tile drains, the existing circulation system around the community's perimeter, and the closed landfill site. The location of the adjacent Coachella Valley Stormwater Channel and the Jacqueline Cochran Airport influenced the type of land uses permitted within the community and the location of recreational amenities. In addition, the community's relationship to off-site residential, vacant, and agricultural land uses impacted the distribution of residential density throughout THERMAL 551; lower density neighborhoods are located around the community's perimeter. To achieve an orderly flow of traffic through the community, higher density residential land uses and community recreational amenities are located at the nexus of the THERMAL 551 near major internal roadways, including Orange Avenue, Avenue 59, and Street "A".

The Planning Area graphics for this section (Figure III-1 through Figure III-5) were derived from Figure II-1, *Conceptual Land Use Plan*. This section addresses development standards for each planning area, such as, but not limited to, minimum lot sizes, acceptable housing product types, and primary and secondary vehicular access points. The development standards for each planning area also provides references to relevant graphics, including graphics that depict desired architecture and landscaping elements, contained throughout this SPECIFIC PLAN.

A Specific Plan Zoning Ordinance has been prepared and is contained in Section V, *Specific Plan Zoning Ordinance* of this Specific Plan document. The zoning provisions within that ordinance establish use restrictions for each Planning Area. The zoning provisions should be used in conjunction with the planning standards for each respective Planning Area. A summary of the land uses, densities, and lot sizes is shown on Table II-1, *Detailed Land Use Summary*.

A. PLANNING AREA 1: MEDIUM HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 1, as shown on Figure III-1, provides for the development of 30.4 acres with a maximum of 156 dwelling units at an average density of 5.1 du/ac. Planning Area 1 consists of traditional single-family detached homes with a minimum lot size of 5,000 square feet. Units may be one story or two stories in height. Each unit includes an individual two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first-time home buyers, young families, public employees, empty nesters, and young professionals.

Vehicular access to Planning Area 1 is provided from Orange Avenue via local roads. Pedestrian access is provided via sidewalks adjacent to Orange Avenue and via trails within the adjacent paseos and along Avenue 60. Recreational amenities within close walking distance include the private recreation area in Planning Area 25A, a paseo in Planning Area 24C, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- A.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-3, *Single Family Detached Homes on Minimum 5,000 s.f. Lots*.
- A.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- A.3: Roadway landscape treatments, as shown in Figure IV-20, *Arterial Highway – Avenue 60 (128') Streetscape*, are provided along Avenue 60.
- A.4: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) Streetscape – Orange Avenue (South of Avenue 58) Streetscape*, are provided along Orange Avenue.
- A.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.

- A.6: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown in Figure III-1.
- A.7: A landscaped transition shall be provided between the residential land uses in Planning Area 1 and the adjacent Open Space/Detention land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- A.8: A landscaped transition shall be provided between the residential land uses in Planning Area 1 and the adjacent paseo in Planning Area 24C, as shown in Figure IV-39, *Edge Condition: Residential – Paseo*.
- A.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- A.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- A.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- A.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

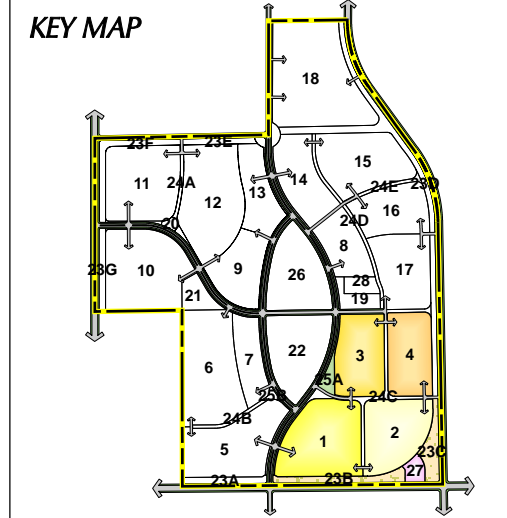
II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services



STATISTICAL SUMMARY

LAND USE	PAs	ACRES	DENSITY	DU's
RESIDENTIAL				
7,200 S.F. LOTS	2	22.7	3.7	83
5,000 S.F. LOTS	1	30.4	5.1	156
4,500 S.F. LOTS	3	21.0	6.9	144
3,600 S.F. LOTS	4	19.4	7.9	153
- RESIDENTIAL SUBTOTALS	93.5	5.7	536	
PROJECT TOTALS	93.5	5.7	536	

- LEGEND**
- REGIONAL COMBINATION TRAIL - EQUESTRIAN FRIENDLY (See Figures IV-52 & IV-53)
 - CLASS 1 BIKE TRAIL (See Figures IV-52 & IV-53)
 - ENHANCED SIDEWALK TRAIL (See Figures IV-52 & IV-53)
 - PEDESTRIAN PASEO TRAIL (See Figures IV-52 & IV-53)
 - SECONDARY ENTRY MONUMENT (See Figure IV-32 & IV-33)
 - NEIGHBORHOOD ENTRY MONUMENT (See Figure IV-34)
 - TRAIL ENTRY MONUMENT (See Figure IV-37)
 - POTENTIAL PRIVATE RECREATION AREA (See Figure IV-50)
 - THERMAL 551 BOUNDARY



Sources: T&B Planning, TKD Associates, Inc.



FIGURE III-1

B. PLANNING AREA 2: MEDIUM DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 2, as shown on Figure III-1, provides for the development of 22.7 acres with a maximum of 83 dwelling units at an average density of 3.7 du/ac. Residential units within this neighborhood shall be traditional single-family detached homes with a minimum lot size of 7,200 square feet. Each unit contains an individual two-car garage and may be either one story or two stories in height. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 2 is provided from Fillmore Street via local roads. Pedestrian access is provided via sidewalks adjacent to Fillmore Street and via trails within the adjacent paseo. Trails are also located within the Fillmore Street and Avenue 60 rights-of-way. Nearby recreational amenities include the private recreation area located in Planning Area 25A, the paseo in planning Area 24C, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- B.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-1, *Single Family Detached Homes on Minimum 7,200 Square Foot Lots*.
- B.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- B.3: Roadway landscape treatments, as shown in Figure IV-20, *Arterial Highway (128' ROW) Streetscape - Avenue 60*, are provided along Avenue 60.
- B.4: Roadway landscape treatments, as shown in and Figure IV-22, *Modified Major Highway (101') Streetscape - Fillmore Street (Fillmore Street From Avenue 60 to Approximately 2,050' North)*, are provided along this portion of Fillmore Street.

- B.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- B.6: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-1.
- B.7: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-38, *Edge Condition: Residential – Open Space/Detention*.
- B.8: A landscaped transition shall be provided between the residential land uses in Planning Area 2 and the adjacent paseo in Planning Area 24C, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- B.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- B.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- B.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- B.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan

II.B Circulation Plan

II.C Master Drainage Plan

II.D Master Water Plan

II.E Master Sewer Plan

II.F Open Space & Recreation Plan

II.G Grading Plan

II.H Project Phasing Plan

II.I Maintenance Plan

II.J Public Safety Services

C. PLANNING AREA 3: MEDIUM HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 3, as shown on Figure III-1, provides for the development of 21.0 acres with a maximum of 144 dwelling units at a Planning Area density of 6.9 du/ac. Planning Area 3 includes traditional single-family detached homes with a minimum lot size of 4,500 square feet. Units contain a two-car garage and may be either one story or two stories in height. The single-family homes within this neighborhood are envisioned as housing that may appeal to first-time home buyers, young families, public employees, empty nesters, and young professionals.

Vehicular access to Planning Area 3 is provided from Orange Avenue via local roads. Pedestrian access is provided via sidewalks adjacent to Orange Avenue and via trails within the adjacent paseo. Recreational amenities within close walking distance include the private recreation area in Planning Area 25A, the clubhouse area in Planning Area 19, the paseos in Planning Areas 24C and 24D, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- C.1: Site plan concepts for the homes within this planning area shall be as conceptually depicted in Figure IV-4, *Single Family Detached Homes on Minimum 4,500 s.f. Lots*.
- C.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- C.3: Roadway landscape treatments, as shown in Figure IV-20, *Arterial Highway (128' ROW) Streetscape - Avenue 60*, are provided along Avenue 60.
- C.4: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) - Orange Avenue (South of Avenue 58)*, are provided along this portion of Orange Avenue.
- C.5: Roadway landscape treatments, as shown in Figure IV-27, *Collector Road (74' ROW) Streetscape - Avenue 59 (East of Street "A")*, are provided along this portion of Avenue 59.

- C.6: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- C.7: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-1.
- C.8: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- C.9: A landscaped transition shall be provided between the residential land uses in Planning Area 3 and the adjacent paseo in Planning Area 24C, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- C.10: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- C.11: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- C.12: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- C.13: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan	II.F Open Space & Recreation Plan
II.B Circulation Plan	II.G Grading Plan
II.C Master Drainage Plan	II.H Project Phasing Plan
II.D Master Water Plan	II.I Maintenance Plan
II.E Master Sewer Plan	II.J Public Safety Services

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation area within Planning Areas 25A shall be fully constructed and operational prior to the issuance of the final building permit in Planning Areas 3. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

D. PLANNING AREA 4: MEDIUM HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 4, as shown on Figure III-1, provides for the development of 19.4 acres with a maximum of 153 dwelling units at an average density of 7.9 du/ac. Examples of permitted housing types are “Paired-Z” single family detached homes or rear-loaded single family detached homes on minimum 3,600 s.f. lots. Rear-loaded homes front a common open space area or local road and vehicular access is provided via a shared private driveway. “Paired-Z” homes are configured in interlocking pairs and feature a reciprocal use easement between each pair. Rear-loaded homes also employ a use easement for more private open space. The single-family homes within this neighborhood are envisioned as housing that may appeal to first-time home buyers, young families, public employees, empty nesters, and young professionals.

Vehicular access to Planning Area 4 is provided from Fillmore Street and Orange Avenue via local roads. Pedestrian access is provided via sidewalks adjacent to Fillmore Street and Orange Avenue and via trails within the adjacent paseos. A trail is also located within the Fillmore Street right-of-way. Recreational amenities within close walking distance include a private recreation area, the clubhouse area in Planning Area 19, the paseos in Planning Areas 24C and 24D, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- D.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-5, *“Paired-Z” Single Family Detached Homes on 3,600 s.f. Lots*, and Figure IV-6, *Rear-Loaded Single Family Detached Homes on 3,600 s.f. Lots*.
- D.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- D.3: Roadway landscape treatments, as shown in Figure IV-22, *Major Highway (118' ROW) Streetscape – Fillmore Street (Fillmore Street From Avenue 60 to Approximately 2,050' North)*, are provided along this portion of Fillmore Street.

- D.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- D.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-1.
- D.6: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- D.7: A landscaped transition shall be provided between the residential land uses in Planning Area 4 and the adjacent paseo in Planning Area 24C, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- D.8: The private recreation area located in the northwestern portion of the neighborhood shall be designed as depicted on Figure IV-48, *Conceptual Private Recreation Area Plan*.
- D.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- D.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- D.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- D.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation areas within Planning Area 4 shall be fully constructed and operational prior to the issuance of the final building permit in the planning area. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

E. PLANNING AREA 5: MEDIUM DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 5, as shown on Figure III-2, provides for the development of 28.3 acres with a maximum of 103 dwelling units at an average density of 3.6 du/ac. Planning Area 5 consists of traditional single-family detached homes with a minimum lot size of 7,200 square feet. Each unit is one story or two stories in height and features a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 5 is provided from Orange Avenue via local roads. Pedestrian access is provided via sidewalks adjacent to Avenue 60 and Orange Avenue and via trails within the adjacent paseo. A trail is also located within the Avenue 60 right-of-way. Nearby recreational amenities include the paseo in Planning Area 24B, a private recreation area in Planning Area 25B, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- E.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-1, *Single Family Detached Homes on Minimum 7,200 s.f. Lots*.
- E.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- E.3: Roadway landscape treatments, as shown in Figure IV-20, *Arterial Highway (128' ROW) Streetscape - Avenue 60*, are provided along Avenue 60.
- E.4: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) Streetscape - Orange Avenue (South of Avenue 58)*, are provided along Orange Avenue.
- E.5: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape - Avenue 59 (West of Street "A") and Street "A"*, are provided along Street "A."

- E.6: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- E.7: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-2.
- E.8: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- E.9: A landscaped transition shall be provided between the residential land uses in Planning Area 5 and the adjacent paseo in Planning Area 24B, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- E.10: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- E.11: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- E.12: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- E.13: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |



FIGURE III-2

Sources: T&B Planning, TKD Associates, Inc.

F. PLANNING AREA 6: MEDIUM DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Medium Density Residential land uses are provided within Planning Area 6. This neighborhood, as shown on Figure III-2, provides for the development of 33.5 acres with a maximum of 151 dwelling units at an average density of 4.5 du/ac. Planning Area 6 includes traditional single family detached homes with a minimum lot size of 6,000 square feet. Units may be one story or two stories in height. Each unit features an attached two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Portions of this neighborhood about the 'Single Family Attached' homes in Planning Area 7. To ensure the creation of an aesthetically pleasing interface between these uses, homes within this portion of Planning Area 6 should front Planning Area 7 whenever practical.

Vehicular access to Planning Area 6 is provided from Avenue 59 via local roads. Pedestrian access to Planning Area 6 is provided via sidewalks adjacent to Avenue 59 and via trails located within the adjacent paseo. Nearby recreational amenities include the Park/Detention Basin in Planning Area 21, a paseo in Planning Area 24B, a private recreation area in Planning Area 25B, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- F.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-2, *Single Family Detached Homes on Minimum 6,000 s.f. Lots*.
- F.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- F.3: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape - Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- F.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.

- F.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-2.
- F.6: A landscaped transition shall be provided between the residential and Park/Detention Basin land uses, as shown in Figure IV-36, *Edge Condition: Residential – Park/Detention*.
- F.7: A landscaped transition shall be provided between the residential land uses in Planning Area 6 and the adjacent paseo in Planning Area 24B, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- F.8: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- F.9: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- F.10: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- F.11: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

G. PLANNING AREA 7: HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 7, as shown on Figure III-2, provides for the development of 12.1 acres with a maximum of 118 dwelling units at an average density of 9.8 du/ac. Planning Area 7 includes 'Single Family Attached' homes, which may also be described as duplexes or townhomes. The maximum height of these units shall be 35.0 feet. Per Riverside County Ordinance No. 348, Section 18.12, off-street parking requirements for these units vary from 1.5 to 2.5 spaces, depending on the number of bedrooms in each unit. The 'Single Family Attached' homes within this neighborhood are envisioned as housing that may appeal to college students, first-time home buyers, young professionals, empty nesters, and public employees.

Due to this neighborhood's unique location facing Street "A" and the Public Park, homes within this neighborhood are encouraged to be sited so that the units are oriented towards the perimeter. This creates a more aesthetically-pleasing view of the neighborhood from public roadways, as described in Section IV, *Design Guidelines*.

Vehicular access to Planning Area 7 is provided from Street "A" via local roads and private streets. Pedestrian access to Planning Area 7 is provided via sidewalks adjacent to Street "A" and Avenue 59 and via trails located within the adjacent paseo. Nearby recreational amenities include the Park/Detention Basin in Planning Area 21, a paseo in Planning Area 24B, a private recreation area in Planning Area 25B, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this neighborhood shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

G.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-8, *Single Family Attached Homes*.

G.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.

- G.3: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape – Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59 and Street "A."
- G.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- G.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-2.
- G.6: A landscaped transition shall be provided between the residential land uses in Planning Area 7 and the adjacent paseo in Planning Area 24B, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- G.7: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- G.8: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- G.9: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- G.10: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation areas within Planning Area 25B shall be fully constructed and operational prior to the issuance of the final building permit in Planning Area 7. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

H. PLANNING AREA 8: HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 8, as shown on Figure III-4 (refer to Page III-33), provides for the development of 13.9 acres with a maximum of 111 dwelling units at an average density of 8.0 du/ac.

The housing product type intended for development within Planning Area 8 is 'Cluster Single Family Detached.' Homes within this Planning Area are rear-loaded and should be sited to face a private drive. These detached units are clustered in groups of 4 to 6 units, and each unit features a two-car garage and may be one story or two stories in height. These homes employ use easements for more usable private open space. The 'Cluster Single Family Detached' homes within this neighborhood are envisioned as housing that may appeal to college students, first-time home buyers, young professionals, empty nesters, and public employees.

Vehicular access to Planning Area 8 is provided from Orange Avenue via local roads. Pedestrian access to Planning Area 8 is provided via sidewalks adjacent to Orange Avenue and the adjacent paseo. Nearby recreational amenities include a private recreation area, the paseos in Planning Areas 24D and 24E, the clubhouse area in Planning Area 19, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- H.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-7, *Cluster Single Family Detached*.
- H.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- H.3: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) Streetscape - Orange Avenue (South of Avenue 58)*, are provided along Orange Avenue.

- H.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- H.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-4.
- H.6: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- H.7: A landscaped transition shall be provided between the residential land uses in Planning Area 8 and the adjacent paseo in Planning Area 24D, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- H.8: A landscaped transition, including a berm and block wall, shall be provided between the residential land uses in Planning Area 8 and the adjacent irrigation storage pond in Planning Area 28, as shown in Figure IV-42, *Edge Condition: Residential – Irrigation Storage Pond*.
- H.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- H.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- H.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- H.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan	II.F Open Space & Recreation Plan
II.B Circulation Plan	II.G Grading Plan
II.C Master Drainage Plan	II.H Project Phasing Plan
II.D Master Water Plan	II.I Maintenance Plan
II.E Master Sewer Plan	II.J Public Safety Services

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation areas within Planning Area 8 shall be fully constructed and operational prior to the issuance of the final building permit in the planning area. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

I. PLANNING AREA 9: MEDIUM HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 9, as shown on Figure III-3, provides for the development of 17.1 acres with a maximum of 134 dwelling units at a Planning Area density of 7.8 du/ac. Planning Area 9 includes single-family units with a minimum lot size of 3,600 square feet.

Examples of permitted housing types are “Paired-Z” single family detached homes or rear-loaded single family detached homes on minimum 3,600 s.f. lots. Rear-loaded homes front a common open space area or local road and vehicular access is provided via a shared private driveway. “Paired-Z” homes are configured in interlocking pairs and feature a reciprocal use easement between each pair. Rear-loaded homes also employ a use easement for more usable private open space. The single-family homes within this neighborhood are envisioned as housing that may appeal to first-time home buyers, young families, public employees, empty nesters, and young professionals.

Vehicular access to Planning Area 9 is provided from Street “A” and Avenue 59 via local roads. Pedestrian access to Planning Area 9 is provided via sidewalks adjacent to Avenue 59 and Street “A.” Nearby recreational amenities include a private recreation area, the Private Park in Planning Area 20, the Park/Detention Basin in Planning Area 21, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- I.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-5, *“Paired-Z” Single Family Detached Homes on 3,600 s.f. Lots* and Figure IV-6, *Rear-loaded Single Family Detached Homes on 3,600 s.f. Lots*.
- I.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- I.3: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88’ ROW) Streetscape – Avenue 59 (West of Street “A”) and Street “A”*, are provided along Avenue 59 and Street “A.”

- I.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- I.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-3.
- I.6: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- I.7: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- I.8: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- I.9: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- I.10: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services



STATISTICAL SUMMARY

LAND USE	PAS	ACRES	DENSITY	DU'S
RESIDENTIAL				
7,200 S.F. LOTS	10	33.2	3.7	123
7,200 S.F. LOTS	11	28.8	3.6	104
5,000 S.F. LOTS	12	33.6	5.1	172
3,600 S.F. LOTS	9	17.1	7.8	134
SINGLE FAMILY ATTACHED	13	14.6	10.0	146
- RESIDENTIAL SUBTOTALS	127.3	5.3	679	
NON-RESIDENTIAL				
PUBLIC PARK	26	22.4	--	--
PARK	20	0.8	--	--
PARK/DETENTION BASIN	21	5.0	--	--
- NON-RESIDENTIAL SUBTOTALS	5.8	--	--	--
PROJECT TOTALS	133.1	5.1		679

- LEGEND**
- CLASS 1 BIKE TRAIL (See Figure IV-52 & IV-53)
 - ENHANCED SIDEWALK TRAIL (See Figure IV-52 & IV-53)
 - PEDESTRIAN PASEO TRAIL (See Figure IV-52 & IV-53)
 - PRIMARY ENTRY MONUMENT (See Figure IV-31)
 - SECONDARY ENTRY MONUMENT (See Figure IV-32 & IV-33)
 - NEIGHBORHOOD ENTRY MONUMENT (See Figure IV-34)
 - PARK ENTRY MONUMENTS (See Figure IV-35)
 - CONCEPTUAL PEDESTRIAN CROSSING (See Figure IV-46)
 - POTENTIAL PRIVATE RECREATION AREA PLAN (See Figure IV-50)
 - THERMAL 551 BOUNDARY

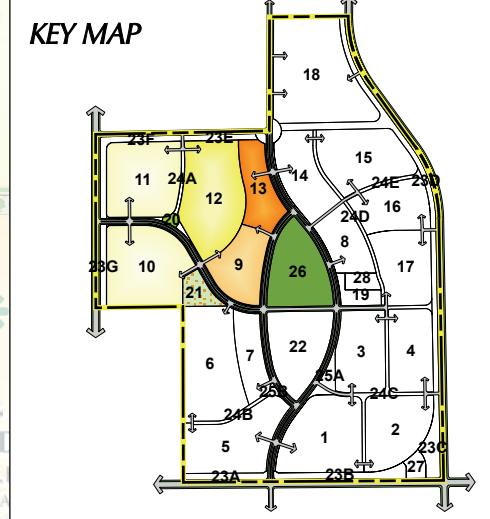


FIGURE III-3

Sources: T&B Planning, TKD Associates, Inc.

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 p. 714.505.6360 f. 714.505.6361
 www.tbplanning.com

J. PLANNING AREA 10: MEDIUM DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Medium Density Residential land uses are proposed within Planning Area 10, as shown on Figure III-3. This neighborhood provides for the development of 33.2 acres with a maximum of 123 dwelling units at an average density of 3.7 du/ac. Planning Area 10 consists of single-family homes with a minimum lot size of 7,200 square feet. Each home shall be one story or two stories in height and shall feature a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 10 is provided from Avenue 59 via local roads. Pedestrian access to Planning Area 10 is provided via sidewalks adjacent to Avenue 59 and via trails located within the paseo in Planning Area 24A. Nearby recreational amenities include the Private Park in Planning Area 20 and the Park/Detention Basin in Planning Area 21.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- J.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-1, *Single Family Detached Homes on Minimum 7,200 s.f. Lots*.
- J.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- J.3: Roadway landscape treatments, as shown in Figure IV-21, *Arterial Highway (128' ROW) Streetscape – Polk Street*, are provided along Polk Street.
- J.4: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape – Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- J.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.

- J.6: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-3.
- J.7: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- J.8: A landscaped transition shall be provided between the residential and Park/Detention Basin land uses, as shown in Figure IV-41, *Edge Condition: Residential – Park/Detention*.
- J.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- J.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- J.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- J.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

K. PLANNING AREA 11: MEDIUM DENSITY RESIDENTIAL**1. DESCRIPTIVE SUMMARY**

Planning Area 11 contains 104 units on 28.8 acres at an average density of 3.6 du/ac. As shown in Figure III-3, Planning Area 11 consists of traditional single-family detached homes with a minimum lot size of 7,200 square feet. Each unit shall feature a two-car garage and shall be either one story or two stories in height. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 11 is provided from Avenue 58 and Avenue 59 via local roads. Pedestrian access to Planning Area 11 is provided via sidewalks adjacent to Avenue 58 and Avenue 59 and via trails located within the adjacent paseo. Nearby recreational amenities include the Private Park in Planning Area 20, the Park/Detention Basin in Planning Area 21, and the paseo in Planning Area 24A.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this neighborhood shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- K.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-1, *Single Family Detached Homes on Minimum 7,200 s.f. Lots*.
- K.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- K.3: Roadway landscape treatments, as shown in Figure IV-21, *Arterial Highway – Polk Street (128' ROW) Streetscape*, are provided along Polk Street.
- K.4: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape – Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- K.5: Roadway landscape treatments, as shown in Figure IV-23B, *Secondary Highway - Avenue 58 (100' ROW)*, are provided along Avenue 58.

- K.6: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- K.7: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-3.
- K.8: A landscaped transition shall be provided between the residential land uses in Planning Area 11 and Open Space/Detention land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- K.9: A landscaped transition shall be provided between the residential land uses in Planning Area 11 and the adjacent paseo in Planning Area 24A, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- K.10: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- K.11: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- K.12: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- K.13: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

L. PLANNING AREA 12: MEDIUM HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 12, as shown on Figure III-3, provides for the development of 33.6 acres with 172 single-family residential units at an average density of 5.1 du/ac. Units within this neighborhood shall contain a minimum lot size of 5,000 square feet. Units shall be one story or two stories in height and shall feature a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first-time home buyers, young families, public employees, empty nesters, and young professionals.

Vehicular access to Planning Area 12 is provided from Avenue 58 and Avenue 59 via local roads. Pedestrian access to Planning Area 12 is provided via sidewalks adjacent to Avenue 58 and Avenue 59 and via trails located within the adjacent paseo. Nearby recreational amenities include a private recreation area, the Private Park in Planning Area 20, the Park/Detention Basin in Planning Area 21, and the paseo in Planning Area 24A.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this neighborhood shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- L.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-3, *Single Family Detached Home on Minimum 5,000 s.f. Lots*.
- L.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- L.3: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape - Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- L.4: Roadway landscape treatments, as shown in Figure IV-23B, *Secondary Highway - Avenue 58 (100' ROW)*, are provided along Avenue 58.
- L.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.

- L.6: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- L.7: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-3.
- L.8: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- L.9: A landscaped transition shall be provided between the residential land uses in Planning Area 12 and the adjacent paseo in Planning Area 24A, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- L.10: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- L.11: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- L.12: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- L.13: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

M. PLANNING AREA 13: HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 13, as shown on Figure III-3, provides for the development of 14.6 acres with a maximum of 146 dwelling units at an average density of 10.0 du/ac. Planning Area 13 includes 'Single Family Attached' homes, which may also be described as duplexes or townhomes and may include rear-loaded units. Units shall be no greater than 35.0 feet in height (typically two stories) and shall feature 1.5 to 2.5 spaces of off-street parking for each unit, depending on the total number of bedrooms per unit and as required by Riverside County Ordinance No. 348, Section 18.12. The 'Single Family Attached' homes within this neighborhood are envisioned as housing that may appeal to college students, first-time home buyers, young professionals, empty nesters, and public employees.

Due to this neighborhood's unique juxtaposition between Orange Avenue, Avenue 58, and Street "A," homes within this neighborhood are encouraged to be sited so that the units face the perimeter, as described in Section IV, *Design Guidelines*. Vehicular access to Planning Area 13 is provided from Orange Avenue and Street "A" via local roads. Pedestrian access to Planning Area 13 is provided via sidewalks adjacent to Avenue 58, Orange Avenue, and Street "A." Nearby recreational amenities include a private recreation area, the Private Park in Planning Area 20, and the Park/Detention Basin in Planning Area 21. Furthermore, the Public Park in Planning Area 22 and 26 is easily accessible via the community's sidewalks and trails plan.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- M.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-8, *Single Family Attached Homes*.
- M.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- M.3: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) Streetscape - Orange Avenue (South of Avenue 58)*, are provided along Orange Avenue.

- M.4: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape - Avenue 59 (West of Street "A") and Street "A"*, are provided along Street "A."
- M.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- M.6: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments - Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-3.
- M.7: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential - Open Space/Detention*.
- M.8: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- M.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- M.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- M.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- M.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation areas within Planning Area 13 shall be fully constructed and operational prior to the issuance of the final building permit in the planning area. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

N. PLANNING AREA 14: HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 14, as shown on Figure III-4, provides for the development of 18.9 acres with 151 residential units at an average density of 8.0 du/ac. The housing product type provided for development within this neighborhood is 'Single Family Detached.' Homes within this Planning Area are rear-loaded and should be sited to face a private drive. These detached units are clustered in groups of 4 to 6 units, and each unit features a two-car garage and may be one story or two stories in height. Homes within this neighborhood are rear-loaded and are encouraged to be sited so they face Orange Avenue, especially along the perimeter, as described in Section IV, *Design Guidelines*. The 'Single Family Detached' homes within this neighborhood are envisioned as housing that may appeal to college students, first-time home buyers, young professionals, empty nesters, and public employees.

Vehicular access to Planning Area 14 is provided from local roads via Orange Avenue. Pedestrian access to Planning Area 14 is provided via sidewalks adjacent to Orange Avenue and via trails located within the adjacent paseo. Nearby recreational amenities include a private recreation area, the clubhouse area in Planning Area 19, the paseos in Planning Areas 24D and 24E, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- N.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-7, *Cluster Single Family Detached Homes*.
- N.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- N.3: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) Streetscape - Orange Avenue (South of Avenue 58)*, are provided along Orange Avenue.
- N.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.

- N.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-4.
- N.6: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- N.7: A landscaped transition shall be provided between the residential land uses in Planning Area 14 and the adjacent paseo in Planning Area 24D, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- N.8: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- N.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- N.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- N.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- N.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

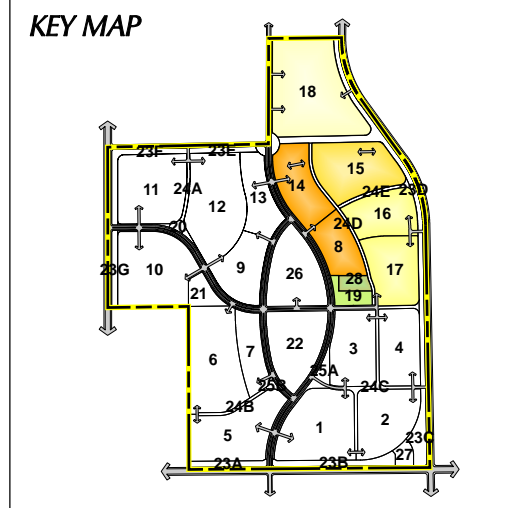
The private recreation areas within Planning Area 14 shall be fully constructed and operational prior to the issuance of the final building permit in the planning area. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.



STATISTICAL SUMMARY

LAND USE	PAs	ACRES	DENSITY	DUs
RESIDENTIAL				
7,200 S.F. LOTS	18	45.8	3.6	164
6,000 S.F. LOTS	16	18.2	4.5	82
6,000 S.F. LOTS	17	21.1	4.5	95
4,500 S.F. LOTS	15	26.1	6.3	164
SINGLE FAMILY DETACHED	14	14.6	10.3	151
SINGLE FAMILY DETACHED	8	13.9	8.0	111
- RESIDENTIAL SUBTOTALS	139.7	5.5	767	
NON-RESIDENTIAL				
CLUBHOUSE	19	45.8	--	--
IRRIGATION STORAGE POND	28	3.0	--	--
- NON-RESIDENTIAL SUBTOTALS	3.0	--	--	
PROJECT TOTALS	142.7	5.4	767	

- LEGEND**
- CLASS 1 BIKE TRAIL (See Figure IV-41 & IV-42)
 - ENHANCED SIDEWALK TRAIL (See Figure IV-41 & IV-42)
 - PEDESTRIAN PASEO TRAIL (See Figure IV-41 & IV-42)
 - SECONDARY ENTRY MONUMENT (See Figure IV-32 & IV-33)
 - NEIGHBORHOOD ENTRY MONUMENT (See Figure IV-34)
 - CLUBHOUSE ENTRY MONUMENT (See Figure IV-36)
 - POTENTIAL PRIVATE RECREATION AREA (See Figure IV-50)
 - THERMAL 551 BOUNDARY



Sources: T&B Planning, TKD Associates, Inc.

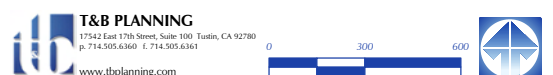


FIGURE III-4

O. PLANNING AREA 15: MEDIUM HIGH DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 15, as shown on Figure III-4, provides for the development of 26.1 acres with a maximum of 164 dwelling units at an average density of 6.3 du/ac. Planning Area 15 provides traditional single-family detached units with a minimum lot size of 4,500 square feet. Each unit shall be one story or two stories in height and shall feature a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first-time home buyers, young families, public employees, empty nesters, and young professionals.

Vehicular access to Planning Area 15 is provided from Orange Avenue via local roads. Pedestrian access to Planning Area 15 is provided via trails located within the adjacent paseos. Trails are also located within the Fillmore Street right-of-way. Nearby recreational amenities include the clubhouse area in Planning Area 19, the paseos in Planning Areas 24D and 24E, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- O.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-4, *4,500 s.f. Lots Conceptual Site Plan*.
- O.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- O.3: Roadway landscape treatments, as shown in Figure IV-23, *Modified Major Highway (101' ROW) Streetscape – Fillmore Street (Fillmore Street From Approximately 2,050' North of Avenue 60 to Northern Project Boundary)*, are provided along a portion of Fillmore Street.
- O.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road Streetscape*, are provided along local roads.

- O.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-4.
- O.6: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- O.7: A landscaped transition shall be provided between the residential land uses in Planning Area 15 and the adjacent paseo in Planning Areas 24D and 24E, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- O.8: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- O.9: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- O.10: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- O.11: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- O.12: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation areas within Planning Area 15 shall be fully constructed and operational prior to the issuance of the final building permit in the planning area. For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

P. PLANNING AREA 16: MEDIUM DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 16, as shown on Figure III-4, provides for the development of 18.2 acres with 82 traditional single-family detached residential units at an average density of 4.5 du/ac. Lot sizes within this neighborhood shall be minimum 6,000 square feet. Units shall be one or two stories in height and shall feature a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 16 is provided from Fillmore Street via local roads. Pedestrian access to Planning Area 16 is provided via sidewalks and trails adjacent to Fillmore Street. Trails are also located within the adjacent paseos. A trail is also located within the Fillmore Street right-of-way. Nearby recreational amenities include the clubhouse area in Planning Area 19, the paseos in Planning Areas 24D and 24E, and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- P.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-2, *Single Family Detached on Minimum 6,000 s.f. Lots*.
- P.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- P.3: Roadway landscape treatments, as shown in Figure IV-23, *Modified Major Highway (101' ROW) Streetscape – Fillmore Street (Fillmore Street From Approximately 2,050' North of Avenue 60 to Northern Project Boundary)*, are provided along a portion of Fillmore Street.
- P.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road Streetscape*, are provided along local roads.

- P.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-4.
- P.6: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- P.7: A landscaped transition shall be provided between the residential land uses in Planning Area 16 and the adjacent paseo in Planning Areas 24D and 24E, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- P.8: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- P.9: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- P.10: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- P.11: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
 II.B Circulation Plan
 II.C Master Drainage Plan
 II.D Master Water Plan
 II.E Master Sewer Plan

II.F Open Space & Recreation Plan
 II.G Grading Plan
 II.H Project Phasing Plan
 II.I Maintenance Plan
 II.J Public Safety Services

Q. PLANNING AREA 17: MEDIUM DENSITY RESIDENTIAL**1. DESCRIPTIVE SUMMARY**

Planning Area 17, as shown on Figure III-4, provides for the development of 21.1 acres with 95 traditional single-family detached residential units at an average density of 4.5 du/ac. Lot sizes within this neighborhood shall be minimum 6,000 square feet. Each unit shall be one story or two stories in height and shall feature a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 17 is provided from Fillmore Street and Avenue 59 via local roads. Pedestrian access to Planning Area 17 is provided via sidewalks and trails adjacent to Fillmore Street. Trails are located within the paseo in Planning Area 24C and 24D. Nearby recreational amenities include the clubhouse area in Planning Area 19 and the Public Park in Planning Area 22 and 26.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- Q.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-2, *Single Family Detached Home on Minimum 6,000 s.f. Lots*.
- Q.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- Q.3: Roadway landscape treatments, as shown in Figure IV-23, *Modified Major Highway (101' ROW) Streetscape – Fillmore Street (Fillmore Street From Approximately 2,050' North of Avenue 60 to Northern Project Boundary)*, are provided along a portion of Fillmore Street.
- Q.4: Roadway landscape treatments, as shown in Figure IV-28, *Local Road Streetscape*, are provided along local roads.
- Q.5: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-4.

- Q.6: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- Q.7: A landscaped transition shall be provided between the residential land uses in Planning Area 17 and the adjacent paseo in Planning Areas 24D and 24E, as shown in Figure IV-40, *Edge Condition: Residential – Paseo*.
- Q.8: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- Q.9: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- Q.10: Please refer to Section IV, Design Guidelines for other related design criteria.
- Q.11: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

R. PLANNING AREA 18: MEDIUM DENSITY RESIDENTIAL

1. DESCRIPTIVE SUMMARY

Planning Area 18, as shown on Figure III-4, provides for the development of 45.8 acres with 164 traditional single-family detached residential units at an average density of 3.6 du/ac. Lot sizes within this neighborhood shall be minimum 7,200 square feet. Each unit shall be one story or two stories in height and shall feature a two-car garage. The single-family homes within this neighborhood are envisioned as housing that may appeal to first- or second-time home buyers, young families, and professionals.

Vehicular access to Planning Area 18 is provided from Orange Avenue and Fillmore Street via local roads. Pedestrian access to Planning Area 18 is provided via sidewalks and trails adjacent to Avenue 58, Orange Avenue, and Fillmore Street. The community's recreational amenities, including the Public Park in Planning Area 22 and 26, are easily accessible from Planning Area 18 via the extensive sidewalks and trails plan.

Additional standards relating to architecture and landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- R.1: Site plan concepts for the homes within this neighborhood shall be as conceptually depicted in Figure IV-1, *Single Family Detached 7,200 s.f. Lots Conceptual Site Plan*.
- R.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- R.3: Roadway landscape treatments, as shown in Figure IV-23, *Modified Major Highway (101' ROW) Streetscape – Fillmore Street (Fillmore Street From Approximately 2,050' North of Avenue 60 to Northern Project Boundary)*, are provided along a portion of Fillmore Street.
- R.4: Roadway landscape treatments, as shown in Figure IV-26, *Collector Road (74' ROW) Streetscape – Orange Avenue (North of Avenue 58)*, are provided along Orange Avenue.
- R.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road Streetscape*, are provided along local roads.

- R.6: Neighborhood entrance monumentation, as depicted in Figure IV-34, *Neighborhood Entry Monuments – Elevations and Plan View*, shall be provided at key access points to this neighborhood, as shown on Figure III-4.
- R.7: A landscaped transition shall be provided between the residential and open space land uses, as shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*.
- R.8: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- R.9: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- R.10: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- R.11: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

S. PLANNING AREA 19: CLUBHOUSE AREA

1. DESCRIPTIVE SUMMARY

Planning Area 19 contains the clubhouse area, as shown on Figure III-4. Conveniently located at the intersection of Orange Avenue and Avenue 59 and situated east of the Public Park in Planning Area 22 and 26, the clubhouse area features a variety of recreational amenities, which shall include an approximately 9,300 square foot clubhouse building with gathering space. The clubhouse area shall also include other amenities including, but not limited to a pool, a tot lot, a wading pool, a barbeque area, and a special events turf area. Additionally, a parking lot is adjacent to the clubhouse building.

Vehicular access to Planning Area 19 is provided from Avenue 59. Pedestrian access to Planning Area 19 is provided via sidewalks and trails adjacent to Avenue 59 and Orange Avenue. The clubhouse area is also located adjacent to a paseo in Planning Area 24D. Portions of the clubhouse area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

Furthermore, other portions of the clubhouse area shall conform to the Open Land Standards contained within Section IV.E.4, *Open Land Standards*, of this Specific Plan. These Open Land Standards set forth landscaping requirements to ensure consistency with the standards for Zone D of the Jacqueline Cochran Regional Airport, as set forth by Riverside County Airport Land Use Compatibility Plan, as well as with applicable FAA requirements. Additional standards relating to landscaping are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- S.1: Site plan concepts for the clubhouse area shall be as depicted in Figure IV-49, *Conceptual Clubhouse Plan*.
- S.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- S.3: Landscaping within portions of the clubhouse area shall be in conformance with the THERMAL 551 Shade Standard Standards, as described in Section IV.E.3, *Shade Standards*.
- S.4: Landscaping within portions of the clubhouse area shall be in conformance with the THERMAL 551 Open Land Standards, as described in Section IV.E.4, *Open Land Standards*.

- S.5: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape – Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- S.6: Roadway landscape treatments, as shown in Figure IV-27, *Collector Road (74' ROW) Streetscape – Avenue 59 (East of Street "A")*, are provided along Avenue 59.
- S.7: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- S.8: A clubhouse entry monument, as depicted in Figure IV-36, *Clubhouse Entry Monument and Plan View*, shall be located within this neighborhood.
- S.9: The private recreation area shall be designed as depicted on Figure IV-50, *Conceptual Private Recreation Area Plan*.
- S.10: A landscaped transition, including a berm and block wall, shall be provided between the clubhouse area and the irrigation storage pond, as shown in Figure IV-43, *Edge Condition: Irrigation Storage Pond – Clubhouse*.
- S.11: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Details*.
- S.12: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- S.13: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- S.14: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The clubhouse in Planning Area 19 shall be constructed and operational prior to the issuance of the 589th building permit in THERMAL 551. For more information relating to the trigger for development of and the party responsible for construction of the clubhouse, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

T. PLANNING AREA 20: PARK

1. DESCRIPTIVE SUMMARY

Planning Area 20, as shown on Figure III-3, is provided for development as a 0.8-acre Private Park. This Private Park offers a variety of recreational amenities, which shall include at least two of the following amenities: a shaded tot lot, seating areas, open turf areas, and shaded picnic facilities. A splash-and-play area may also be provided. Vehicular access to Planning Area 20 is provided from Avenue 59. Pedestrian access to Planning Area 20 is provided via sidewalks and trails adjacent to Avenue 59 and via trails located within the paseo in Planning Area 24A.

Additional standards relating to landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- T.1: Site plan concepts for the Private Park shall be as depicted in Figure IV-44, *Conceptual Park Plan*.
- T.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- T.3: Landscaping within the park shall be in conformance with the THERMAL 551 Shade Standard Standards, as described in Section IV.E.3, *Shade Standards*.
- T.4: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape - Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- T.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- T.6: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.

T.7: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.

T.8: Please refer to Section IV, *Design Guidelines* for other related design criteria.

T.9: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The Private Park in Planning Area 20 shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551. For more information relating to the trigger for development of and the party responsible for construction of the Private Park, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

U. PLANNING AREA 21: PARK/DETENTION BASIN

1. DESCRIPTIVE SUMMARY

Planning Area 21, as shown on Figure III-3, is a 5.0-acre Park/Detention Basin. Vehicular access to Planning Area 21 is provided from Avenue 59. Pedestrian access to Planning Area 21 is provided via sidewalks and trails adjacent to Avenue 59. This Specific Plan permits Planning Area 21 to be developed as a passive park with no detention functions or as a detention basin with no park amenities, depending on the final hydrologic and Water Quality Management Plan (WQMP) requirements prepared as part of the implementing tentative map(s). For either of these contingencies, detailed plans of Planning Area 21 shall be prepared at the tentative map level of design.

If developed as a park, portions of the Park/Detention Basin shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

Furthermore, other portions of the Park/Detention Basin shall conform to the Open Land Standards contained within Section IV.E.4, *Open Land Standards*, of this Specific Plan. These Open Land Standards set forth landscaping requirements to ensure consistency with the standards for Zone D of the Jacqueline Cochran Regional Airport, as set forth by Riverside County Airport Land Use Compatibility Plan, as well as with applicable FAA requirements.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- U.1: Site plan concepts for the Park/Detention Basin shall be as depicted in Figure IV-48, *Conceptual Park/Detention Basin Plan*.
- U.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- U.3: Landscaping within portions of the Park/Detention Basin shall be in conformance with the THERMAL 551 Open Land Standards, as described in Section IV.E.4, *Open Land Standards*.
- U.4: Roadway landscape treatments, as shown in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape - Avenue 59 (West of Street "A") and Street "A"*, are provided along Avenue 59.
- U.5: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.

- U.6: A landscaped transition shall be provided between the residential land uses and the Park/Detention Basin, as shown in Figure IV-41, *Edge Condition: Residential – Park/Detention Basin*.
- U.7: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- U.8: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- U.9: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- U.10: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan	II.F Open Space & Recreation Plan
II.B Circulation Plan	II.G Grading Plan
II.C Master Drainage Plan	II.H Project Phasing Plan
II.D Master Water Plan	II.I Maintenance Plan
II.E Master Sewer Plan	II.J Public Safety Services

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

If Planning Area 21 is developed as a passive park, Planning Area 21 shall be constructed and operational prior to the issuance of the 2,107th building permit (or all of Phase 1 and Phase 2 plus 50% of Phase 3) in THERMAL 551. If developed as a Detention Basin, the Park/Detention Basin in Planning Area 21 shall be constructed during Phase II or as required for safe and efficient stormwater detention purposes. For more information relating to the trigger for development of and the party responsible for construction of the Park/Detention Basin, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

V. PLANNING AREA 22 AND 26: PUBLIC PARK

1. DESCRIPTIVE SUMMARY

A combined 45.3-acre Public Park is proposed for development within Planning Area 22 (22.9 acres) and Planning Area 26 (22.4 acres), as shown in Figure III-2 and Figure III-3. To ensure access between the two portions of the Public Park, a protected, at-grade pedestrian crosswalk is at Avenue 59, allowing park users to travel from the southern to the northern portions of the park. This crosswalk connects to Enhanced Sidewalk trails within the Public Park.

These two parks may be owned and maintained by the Desert Recreation District, or County Service Area (CSA) No. 125, or CSA No. 152, and will allow community residents to enjoy a variety of active recreational amenities at this Public Park, such as soccer fields, softball fields, tennis courts, volleyball courts, basketball courts, and disc golf. The Public Park also may feature passive amenities such as gazebos, trails, picnic facilities and benches.

Street access to the Public Park is provided from Avenue 59, Street "A," and Orange Avenue. Pedestrian access to Planning Area 22 and 26 is provided via sidewalks adjacent to the aforementioned roadways. Additionally, this Specific Plan permits the development of four roundabouts at the intersection of Avenue 59 and Street "A," the intersection of Avenue 59 and Orange Avenue, and the northern and southern intersections of Street "A" and Orange Avenue. These roundabouts may convey traffic around a central landscaped island, facilitating traffic flow and creating an aesthetic appearance when the roadways are viewed from the adjacent Public Park (Planning Areas 22 and 26) and the surrounding residences.

Portions of the Public Park shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

Furthermore, other portions of the Public Park shall conform to the Open Land Standards contained within Section IV.E.4, *Open Land Standards*, of this Specific Plan. These Open Land Standards set forth landscaping requirements to ensure consistency with the standards for Zone D of the Jacqueline Cochran Regional Airport, as set forth by Riverside County Airport Land Use Compatibility Plan, as well as with applicable FAA requirements.

As previously discussed within Section I.E. *Existing Site Characteristics*, and depicted on Figure II-12A, the former Thermal Landfill comprises an approximately 10.5-acre portion of Planning Area 22. In accordance with the adopted Remedial Action Workplan (RAW) for the Thermal Landfill, a protective soil cap shall be placed above the site of the former landfill. Portions of Planning Area 22 underlain by the landfill cap require special design considerations to ensure the integrity of the protective barrier is not compromised, as set forth in the Planning Standards provided on the following pages.

Additional standards relating to landscaping are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- V.1: Site plan concepts for the Public Park shall be as depicted in Figure IV-44, *Conceptual Park Plan*, and Figure IV-45, *Public Park Plan Details*. A minimum of four (4) soccer fields shall be provided within the Public Park.
- V.2: A protected pedestrian crossing shall be provided at Avenue 59, as described in Section II.B.2, *Non-Vehicular Circulation Plan*, and depicted in Figure IV-46, *Conceptual Pedestrian Crossing*.
- V.3: Adequate off-street parking shall be provided within the Public Park in accordance with Riverside County Ordinance No. 348, Section 18.12.
- V.4: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- V.5: Due to the proximity of the Jacqueline Cochran Airport, special landscaping considerations shall apply in Planning Areas 22 and 26 to minimize potential hazards to air traffic.
- A minimum of 22.0 acres of the Public Park shall conform with the THERMAL 551 Open Land Standards, as described in Section IV.E.4, *Open Land Standards*.
 - Landscaping within portions of the Public Park shall be in conformance with the THERMAL 551 Shade Standard Standards, as described in Section IV.E.3, *Shade Standards*.
 - Landscaping within the Public Park shall minimize features that may attract birds, which present a potential hazard to air traffic.
 - ❑ Trees shall be adequately spaced to prevent large expanses of contiguous canopy upon maturity, and plant species that produce seeds, nuts, or berries should be avoided.
 - ❑ Acceptable plant species are described in Section IV.E.9, *Plant Palette*.
- V.6: The northwest portion of the Planning Area 22 is underlain by a three (3)-foot deep protective soil cap, which covers the location of the former Thermal Landfill. The following design criteria and restrictions shall apply in areas underlain by the protective soil cap:

- The design of the Public Park shall utilize areas underlain by the protective soil cap for uses which do not require the planting of deep-rooting landscape materials, including, but not limited to, the following:
 - ❑ Parking lots;
 - ❑ Turf areas;
 - ❑ Play fields;
 - ❑ Tot lots;
 - ❑ Hard surface courts; and
 - ❑ Man-made shade structures.
 - The former Thermal Landfill site shall be graded so that no water drains to or accumulates above the landfill cap area, as conceptually depicted on Figure II-12A, *Conceptual Landfill Grading Plan*.
 - Within the area underlain by the landfill cap, landscape materials with roots that may penetrate the three (3)-foot deep soil cap are strictly prohibited.
- V.7: Roadway landscape treatments, as shown in Figure IV-24, *Modified Collector Road (88' ROW) Streetscape – Orange Avenue (South of Avenue 58)*, are provided along Orange Avenue.
- V.8: Roadway landscape treatments, as shown in Figure IV-27, *Collector Road (88' ROW) Streetscape – Avenue 59 (East of Street "A") and Street "A"*, are provided along Street "A."
- V.9: Roadway landscape treatments, as shown in Figure IV-27, *Collector Road (74' ROW) Streetscape – Avenue 59 (East of Street "A")*, are provided along Avenue 59.
- V.10: Roadway landscape treatments, as shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, are provided along local roads.
- V.11: Six park entry monuments shall be located within this Planning Area, as depicted in Figure IV-35, *Park Entry Monuments and Plan View*.
- V.12: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- V.13: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.

V.14: Please refer to Section IV, *Design Guidelines* for other related design criteria.

V.15: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan	II.F Open Space & Recreation Plan
II.B Circulation Plan	II.G Grading Plan
II.C Master Drainage Plan	II.H Project Phasing Plan
II.D Master Water Plan	II.I Maintenance Plan
II.E Master Sewer Plan	II.J Public Safety Services

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

Park plans for the Public Park (Planning Areas 22 and 26) shall be approved prior to the issuance of the 589th building permit (or 25% of the total Specific Plan) in THERMAL 551.

The Public Park in Planning Area 22 shall be constructed and operational prior to the issuance of the 758th building permit (or 33% of the total Specific Plan) in THERMAL 551.

The Public Park in Planning Area 26 shall be constructed and operational prior to the issuance of the 1,553rd building permit (or 66% of the total Specific Plan) in THERMAL 551.

For more information relating to the triggers for development of and the parties responsible for construction of the Public Parks, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

W. PLANNING AREAS 23A – 23G: OPEN SPACE/DETENTION

1. DESCRIPTIVE SUMMARY

Planning Areas 23A through 23G, as shown in Figure III-5, provide for a total of 40.2 acres of Open Space/Retention land uses. Planning Area 23A is located in the southern portion of the community and is 3.0 acres in size. Planning Area 23B is 5.4 acres in size and is situated along the southern perimeter of the community. Totalling 5.2 acres, Planning Area 23C is located at the southeast corner of THERMAL 551. Planning Area 23D borders the eastern boundary of the community and is 15.9 acres. Planning Area 23E is 2.4 acres and is generally situated adjacent to Avenue 58. Planning Areas 23F and 23G are 5.4 and 2.9 acres, respectively, and are situated adjacent to the northwestern and western boundaries of the community.

These planning areas serve as detention basins for stormwater flows and improve the site's water quality. Planning Areas 23A through 23G also serve as an aesthetic amenity and provide a buffer between residential planning areas and perimeter roadways. "Oasis"-style groupings of multi-trunk trees are permitted within the Open Space/Retention land uses to create visual interest at key locations (for example, adjacent to community entrances), as long as the spacing of these plantings conforms to Zone D and FAA requirements.

Additional standards relating to landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Open Land Standards contained within Section IV.E.4, *Open Land Standards*, of this Specific Plan. These Open Land Standards set forth landscaping requirements to ensure consistency with the standards for Zone D of the Jacqueline Cochran Regional Airport, as set forth by Riverside County Airport Land Use Compatibility Plan, as well as with applicable FAA requirements.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

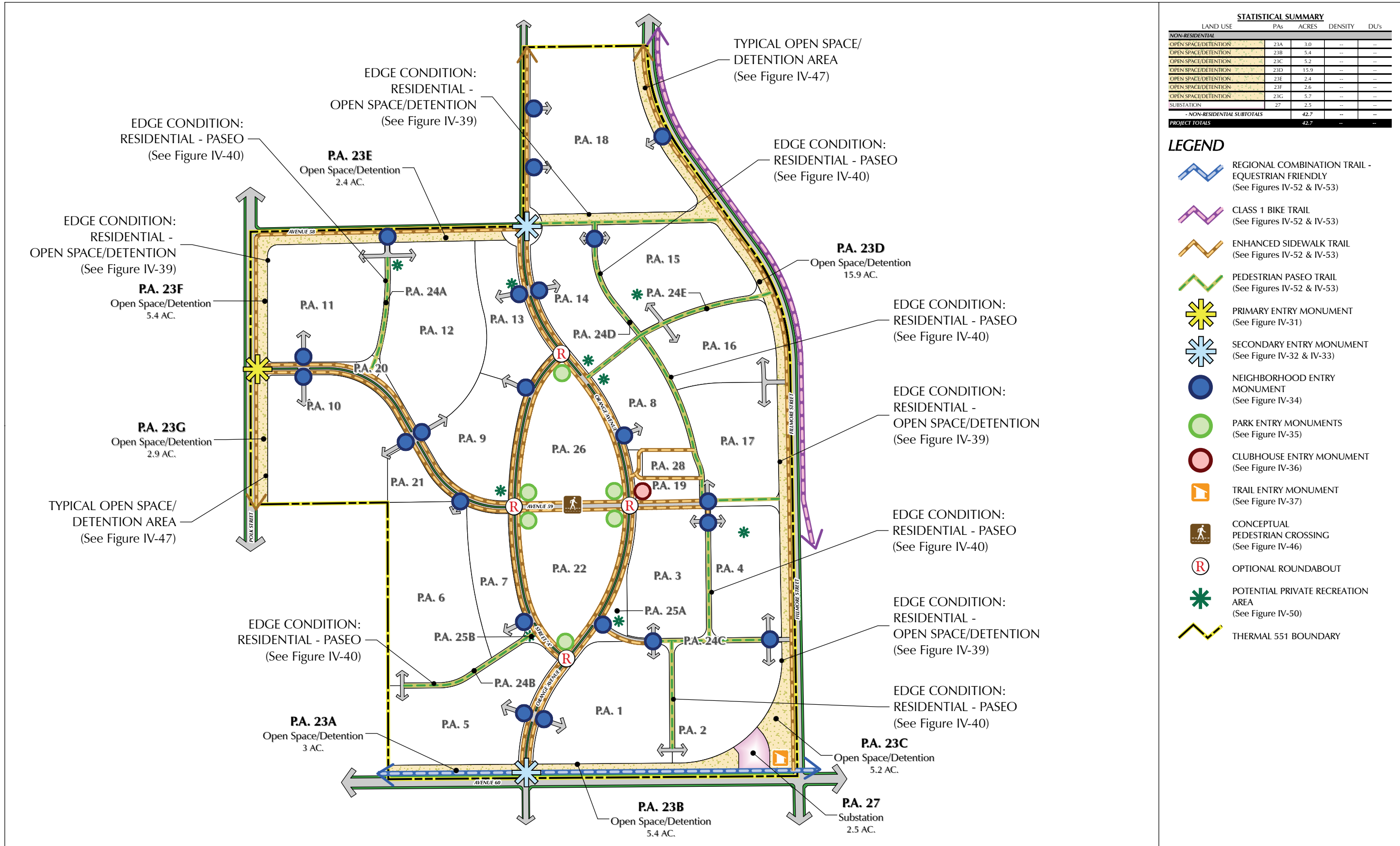
3. PLANNING STANDARDS

- W.1: Site plan concepts for the open space areas shall be as depicted in Figure IV-47, *Typical Open Space Plan and Park/Retention Plan*.
- W.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan*.
- W.3: Landscaping within the Open Space/Retention areas shall be in conformance with the THERMAL 551 Open Land Standards, as described in Section IV.E.4, *Open Land Standards*.

- W.4: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- W.5: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- W.6: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- W.7: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services



Sources: T&B Planning

FIGURE III-5



X. PLANNING AREAS 24A THROUGH 24E: PASEOS

1. DESCRIPTIVE SUMMARY

As shown in Figure III-1, Figure III-2, Figure III-3, and Figure III-4, Pedestrian Paseos are situated through the THERMAL 551 to facilitate pedestrian access between residential planning areas and the community's various recreational amenities. Pedestrian paseos are 50 – 75 feet wide and include a 5.0-foot meandering decomposed granite path.

The 1.3-acre paseo in Planning Area 24A is located in between residential Planning Areas 11 and 12 and provides access to the Park in Planning Area 20. The paseo in Planning Area 24B is 1.4 acres and is located in the southwestern portion of the community, facilitating pedestrian access from Planning Areas 5, 6, and 7 to the Public Park in Planning Area 22 and 26. Planning Area 24C contains a 5.5-acre paseo and is situated in between Planning Areas 1, 2, 3, and 4. The 3.4-acre paseo in Planning Area 24D is situated in between Planning Areas 8, 14, 15, 16, 17, and 18, and provides access from those planning areas to the Public Park and Clubhouse area. Similarly, the 1.5-acre paseo in Planning Area 24E provides access from Planning Areas 15 and 16.

In some instances, cul-de-sacs may abut the paseos. To ensure the aesthetic appeal of the paseos and provide a level of community security and safety, certain design considerations shall be incorporated into the design of paseos, such as providing access from the cul-de-sac to the paseo, positioning alley-loaded or rear-loaded homes so the units front the paseo, and staggering the location of cul-de-sacs to maximize the amount of the paseo that is adjacent to the roadway. A complete list of design considerations for cul-de-sacs and pasoes is included in Section IV.E.1.1, *Cul-de-sac Streetscapes*.

Additional standards relating to landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- X.1: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan (Monumentation, Streetscapes, and Edge Conditions)*.
- X.2: Landscaping within the paseos shall be in conformance with the THERMAL 551 Shade Standard Standards, as described in Section IV.E.3, *Shade Standards*.

- X.3: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- X.4: Benches, security lighting, and water fountains shall be located and constructed as established on the working landscape plans for the Tentative Map.
- X.5: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- X.6: Please refer to Section IV, *Design Guidelines* for other related design criteria.
- X.7: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

- | | |
|---------------------------|-----------------------------------|
| II.A Land Use Plan | II.F Open Space & Recreation Plan |
| II.B Circulation Plan | II.G Grading Plan |
| II.C Master Drainage Plan | II.H Project Phasing Plan |
| II.D Master Water Plan | II.I Maintenance Plan |
| II.E Master Sewer Plan | II.J Public Safety Services |

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The paseo in Planning Area 24A shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.

The paseo in Planning Area 24B shall be constructed and operational prior to the issuance of the 2,106th building permit (or all of Phase I and Phase II plus 50% of Phase III) in THERMAL 551.

The paseo in Planning Area 24B shall be constructed and operational prior to the issuance of the 652nd building permit (or 50% of Phase I) in THERMAL 551.

The paseo in Planning Area 24D shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.

The paseo in Planning Area 24E shall be constructed and operational prior to the issuance of the 1,581th building permit (or all of Phase I plus 50% of Phase II) in THERMAL 551.

For more information relating to the triggers for development of and the parties responsible for construction of the paseos, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

Y. PLANNING AREAS 25A AND 25B: PRIVATE RECREATION AREAS

1. DESCRIPTIVE SUMMARY

As shown in Figure III-1 and Figure III-2, two private recreation areas are provided within Planning Areas 25A and 25B. Planning Area 25A is 2.1 acres and serves the recreational needs of residents in Planning Area 3. Planning Area 25B is 0.5 acre and serves residents in Planning Area 7. Seven additional private recreation areas are located within Planning Areas 4, 8, 9, 12, 13, 14, and 15; the minimum size for these facilities is 10,000 square feet.

These facilities provide passive and active recreational amenities on a neighborhood-level and shall include seating areas, shade structures, and swimming pools, and may include a variety of other recreational amenities, such as tot lots, seating areas, and/or trail connections.

Additional standards relating to landscaping are provided below. In addition to these standards, the land uses within this planning area shall conform to the Shade Standards contained within Section IV.E.3, *Shade Standards*, of this Specific Plan. These Shade Standards set forth minimum requirements for the percentage of shade coverage and location of shade elements within public spaces in this Planning Area.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

- Y.1: The private recreation areas shall be designed as conceptually depicted in Figure IV-50, *Conceptual Private Recreation Plan*.
- Y.2: Landscaping shall occur as depicted in Figure IV-19, *Master Landscape Plan (Monumentation, Streetscapes, and Edge Conditions)*.
- Y.3: Landscaping within the private recreation areas shall be in conformance with the THERMAL 551 Shade Standard Standards, as described in Section IV.E.3, *Shade Standards*.
- Y.4: Trails and paseos shall be located and constructed as delineated in Figure IV-52, *Conceptual Trails System Plan*; Figure IV-53, *Trail Cross Section*; and Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*.
- Y.5: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.
- Y.6: Please refer to Section IV, *Design Guidelines* for other related design criteria.

Y.7: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan	II.F Open Space & Recreation Plan
II.B Circulation Plan	II.G Grading Plan
II.C Master Drainage Plan	II.H Project Phasing Plan
II.D Master Water Plan	II.I Maintenance Plan
II.E Master Sewer Plan	II.J Public Safety Services

4. RECREATIONAL AMENITIES CONSTRUCTION TIMING AND RESPONSIBILITY

The private recreation area within Planning Areas 25A shall be fully constructed and operational prior to the issuance of the final building permit in Planning Areas 3.

The private recreation area within Planning Areas 25B shall be fully constructed and operational prior to the issuance of the final building permit in Planning Areas 7.

For more information relating to the trigger for development of and the party responsible for construction of the private recreation area, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

Z. PLANNING AREA 27: SUBSTATION**1. DESCRIPTIVE SUMMARY**

As shown in Figure III-5, 2.5 acres are set aside for an electrical substation within Planning Area 27, which is located within the southwestern portion of the community.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

Z.1: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.

Z.2: Please refer to Section IV, *Design Guidelines* for other related design criteria.

Z.3: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
 II.B Circulation Plan
 II.C Master Drainage Plan
 II.D Master Water Plan
 II.E Master Sewer Plan

II.F Open Space & Recreation Plan
 II.G Grading Plan
 II.H Project Phasing Plan
 II.I Maintenance Plan
 II.J Public Safety Services

AA. PLANNING AREA 28: IRRIGATION STORAGE POND

1. DESCRIPTIVE SUMMARY

As shown in Figure III-4, Planning Area 28 consists of a 3.0-acre covered irrigation storage pond, which shall contain canal water for irrigation of the community's public landscaping, parks, and residential landscaping.

The irrigation storage pond functions as a storage facility for canal water. Peak evapotranspiration is estimated at 9 gallons per minute (gpm) per acre on a 24 hour basis (2.5 million gallons per day [mgd]). The irrigation storage pond is capable of storing 1 million gallons of water at a time, and the annual capacity of the irrigation storage pond exceeds the estimated yearly demand for irrigation water. The irrigation storage pond includes a booster pump and filter station, including telemetry, telephone, electricity, and flow meter. The facility is surrounded by bermed landscaping and block wall. CVWD shall own, operate, and maintain the non-potable irrigation system upon completion of the proposed Project.

Per the requirements of Zone D of the Jacqueline Cochran Regional Airport and the Federal Aviation Administration (FAA), the irrigation storage pond shall be covered with a cloth-like material to prevent birds from being attracted to the storage pond.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348._____. (See *Specific Plan Zoning Ordinance* in Section V).

3. PLANNING STANDARDS

AA.1: A landscaped transition, including a berm and block wall, shall be provided between the irrigation storage pond and the clubhouse area, as depicted in Figure IV-43, *Edge Condition: Irrigation Storage Pond-Clubhouse*.

AA.2: Walls and fencing located within THERMAL 551 shall be constructed as delineated in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*.

AA.3: Please refer to Section IV, *Design Guidelines* for other related design criteria.

AA.4: Please refer to Section II, *Specific Plan* for the following standards that apply site-wide:

II.A Land Use Plan
II.B Circulation Plan
II.C Master Drainage Plan
II.D Master Water Plan
II.E Master Sewer Plan

II.F Open Space & Recreation Plan
II.G Grading Plan
II.H Project Phasing Plan
II.I Maintenance Plan
II.J Public Safety Services

IV. DESIGN GUIDELINES

A. PURPOSE AND INTENT

These Design Guidelines are intended to establish standards for the quality of development and to provide an aesthetically cohesive environment for the THERMAL 551 community. More specifically, the objectives of the Design Guidelines are:

- Provide clear direction to decision makers regarding the theming and intent of the Specific Plan, thus reducing the possibility of confusing interpretation and subjective decisions related to the Specific Plan's implementation.
- Address residential architectural design, landscape design, and community elements such as trails, walls, fencing, and parks.
- Establish a consistent design expression among site planning, architectural and landscape architectural components, while allowing reasonable flexibility in design.
- Create livable neighborhoods rather than subdivisions.
- Reinforce the community's intended theme with historic architectural styles and appropriate landscaping.
- Establish a strong sense of community with shared community spaces, trail systems, monumentation, and quality architectural designs.
- Provide project continuity and compatibility with surrounding uses through site planning, building design, street design, landscaping and other design elements that will endure for the life of the community.
- Provide for a range of housing products that are responsive to local needs and market demands.

The Design Guidelines provided within this section of the Specific Plan are intended as a living document. They are subject to modification over time so as to allow for response to unanticipated conditions, such as changes in trends, community desires, and the marketplace.

B. INTRODUCTION

These guidelines are comprised of elements that define the design concept, physical character, and theme of THERMAL 551. The principle components of this section are Architectural Design Guidelines and Landscaping Design Guidelines.

The *Landscaping Design Guidelines* are comprised of key components such as monumentation, streetscapes, edge conditions between land uses, community walls and fences, parks, and trails. These guidelines also present general requirements relating to the plant palette and ensure that they are compatible with the community design theme. Landscaping Design Guidelines are intended to unite community components such as residential and recreational uses under a common design vocabulary. These guidelines also include Shade Standards for the community, which set minimum requirements for shading of public spaces, including portions of parks, trails, and public parking lots.

The *Architectural Design Guidelines* are intended to provide a basis for decisions regarding the structural environment to be built. The architectural design guidelines also include standards for site planning and product layout. These guidelines include standards for development and show the relationship of residential products to one another as well as surrounding land uses. In addition, a high-quality living environment is defined by the guidelines for site planning, architectural theme and details, building mass and scale, materials and color and articulations. By defining these elements, assurance is provided that the homes and other buildings constructed in THERMAL 551 will have a distinctive identity and be of high-quality.

The *Energy Efficiency Guidelines* serve to highlight elements in the site planning, design, and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer. These guidelines address both architectural and landscape elements that may be incorporated into the community to increase overall energy efficiency.

1. COMMUNITY THEME

The Coachella Valley is historically known for its agricultural activities and is currently the primary date-growing region in the United States. The region's tremendous agricultural production is due in part to its excellent weather conditions; the area enjoys 350 days of sunshine per year and warm, mild winters. In addition, the area's unique geographical features, including open vistas and views to the nearby mountains, have increased the region's popularity as a vacation destination. In recent years, the Coachella Valley has experienced an increase in population and subsequent increase in demand for housing and other services as more people move inland from the coast of California. As a result, many traditionally agricultural areas are evolving to more urban uses.

The THERMAL 551 community is the transition zone between rural and agricultural business uses in the community of Thermal and the more urban environment of the *South Valley*

Implementation Program (SVIP) area. Thermal is primarily an agricultural community with a population of approximately 3,300 residents. In contrast, the SVIP provides a town center containing more urban, high density uses south of THERMAL 551. It is the intent of these design guidelines to blend the characteristics of both Thermal and the SVIP, creating a smooth transition between communities.

To facilitate this intent, a “Lush Desert” theme was selected for THERMAL 551. This theme is characterized by thick, colorful plantings of desert vegetation in dense clusters. This theme was derived from a thoughtful analysis of the area’s historical uses and future identity as an increasingly urbanized center. The THERMAL 551 community theme honors and enhances the rural character of this special area, and sets the tone for new growth and development. Both the Landscape Design Guidelines and the Architectural Design Guidelines are compatible with one another and create the overall community theme.

C. SITE PLANNING CHARACTERISTICS

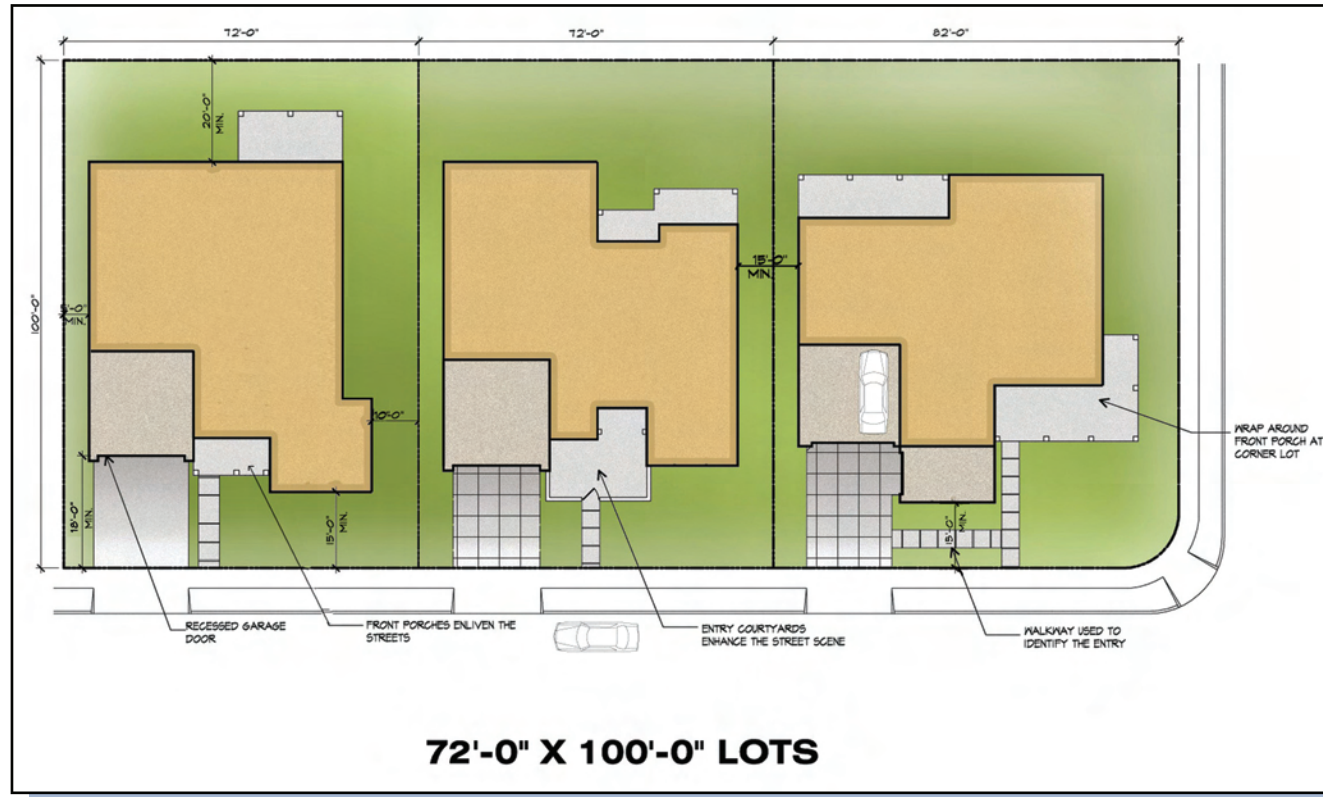
Design of residential sites within THERMAL 551 is an essential component of the land use plan. Specific standards and criteria are provided for each lot size to address setbacks, pad sizes, lot coverage, and encroachments. Figure IV-1 through Figure IV-8 illustrate these concepts and offer information regarding placement of residences within the community. Each figure contains a detail of the typical lot with a corresponding table that lists specific development standards for that lot.

1. SINGLE FAMILY DETACHED HOMES ON MINIMUM 7,200 S.F. LOTS

Single family detached homes on minimum 7,200 s.f. lots are proposed within Planning Areas 2, 5, 10, 11, and 18. In total, 158.8 acres of the community contains 577 residential dwelling units of this product type. Figure IV-1, *Conceptual Project Illustration - Single Family Detached Homes on Minimum 7,200 s.f. Lots*, provides typical lotting, elevations and development standards. As described in Figure IV-1, casitas are permitted on the 7,200 s.f. lots when situated above the home’s detached garage, which shall be located generally in the rear of the lot. The 7,200 s.f. lots homes may be sited in a variety of layouts, including the traditional single-family style illustrated in Figure IV-1, , as well as rear/alley-loaded, courtyard-style, “Paired-Z” homes, and more. If the 7,200 s.f. lots include a private drive for rear access, the private drive shall be a minimum of 24 feet in width. Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners’ Association.

2. SINGLE FAMILY DETACHED HOMES ON MINIMUM 6,000 S.F. LOTS

Single family detached homes on minimum 6,000 s.f. lots are proposed within Planning Areas 6, 16, and 17. In total, 72.8 acres of the community contains 328 residential dwelling units of this product type. Figure IV-2, *Conceptual Project Illustration - Single Family Detached Homes on Minimum 6,000 s.f. Lots*, provides typical lotting, elevations and development



Residential Development Standards	
Planning Areas	2, 5, 10, 11 & 18
Minimum Lot Area	7,200 sf
Uses Permitted	Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	72' X 100'
Setbacks	
Minimum Front Yard (to main structure)	15'
Minimum Corner Side Yard	15'
Minimum Interior Side Yard	(10' & 5') or 15' total between the buildings
Minimum Rear Yard	20'
Garage Setbacks	18'
Side-in Garage Setbacks	15'
Other	
Maximum Structural Height	35'
Minimum Private Open Space Requirement	300 sf
Maximum Lot Coverage ¹	50% for Single story & 40% for Two story
Encroachments (fireplaces, AC units, media centers)*	2'
Encroachments (balconies, porches, decks)*	7'
Off Street Parking Requirements per DU ²	2
Casitas Allowed ³	Yes

Notes:

- 1) The lot coverage includes garages and covered porches or balconies
- 2) Residential parking provided within the 2 car garage.
- 3) Casitas are permitted above detached garages.
- * Encroachment setbacks apply only to the rear yards.

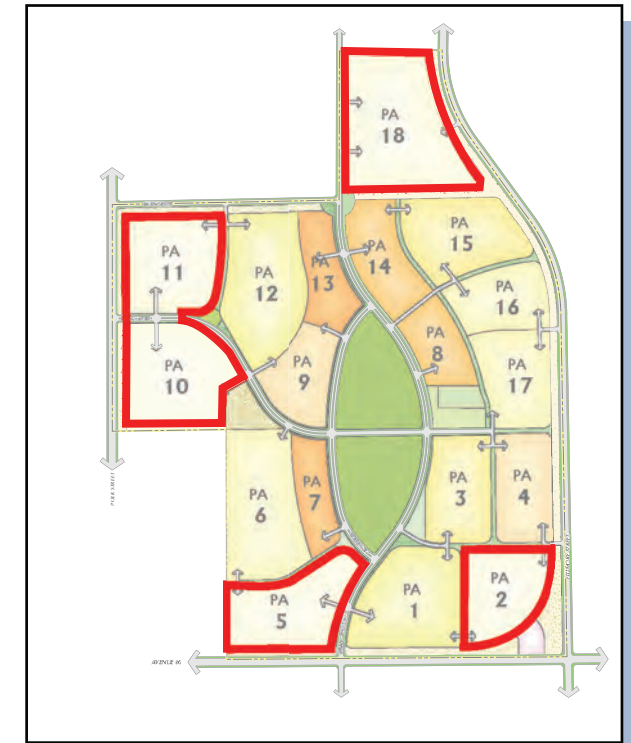


FIGURE IV-1

CONCEPTUAL PROJECT ILLUSTRATION - SINGLE FAMILY DETACHED HOMES ON MINIMUM 7,200 SF LOTS



Residential Development Standards	
Planning Areas	6, 16 & 17
Minimum Lot Area	6,000 sf
Uses Permitted	Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	60' X 100'
Setbacks	
Minimum Front Yard (to main structure)	15'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	15'
Garage Setbacks	18'
Side-in Garage Setbacks	15'
Other	
Maximum Structural Height	35'
Minimum Private Open Space Requirement	250 sf
Maximum Lot Coverage ¹	50% for Single story & 40% for Two story
Encroachments (fireplaces, AC units, media centers)*	2'
Encroachments (balconies, porches, decks)*	7'
Off Street Parking Requirements per DU ²	2
Casitas Allowed ³	Yes
Development Standards for Additional Housing Types (not pictured)⁴	
Rear-Loaded Homes⁵	
Minimum Front Yard (to main structure)	10'
	Garage 3'
Minimum Rear Yard	9'-0" setback for 50% of 2nd story living area
Garage Setbacks	3' max or 18' min
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit

- Notes:**
- 1) The lot coverage includes garages and covered porches or balconies
 - 2) Residential parking provided within the 2 car garage.
 - 3) Casitas are permitted above detached garages.
 - 4) Typical standards shall apply where not specified for additional housing types.
 - 5) Rear-loaded homes pictured on Figure IV-6.
- * Encroachment setbacks apply only to the rear yards.

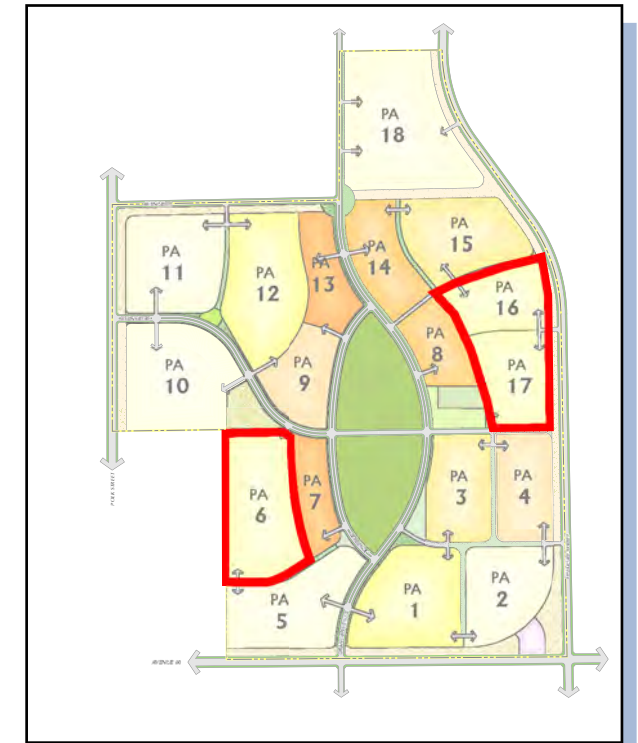


FIGURE IV-2

CONCEPTUAL PROJECT ILLUSTRATION - SINGLE FAMILY DETACHED HOMES ON MINIMUM 6,000 SF LOTS

standards. As described in Figure IV-2, casitas are permitted on the 6,000 s.f. lots when situated above the home's detached garage, which shall be located generally in the rear of the lot. The 6,000 s.f. lots homes may be sited in a variety of layouts, including the traditional single-family style illustrated in Figure IV-2, , as well as rear/alley-loaded, courtyard-style, "Paired-Z" homes, and more. If the 6,000 s.f. lots include a private drive for rear access, the private drive shall be a minimum of 24 feet in width. Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association.

3. SINGLE FAMILY DETACHED HOMES ON MINIMUM 5,000 S.F. LOTS

Single family detached homes on minimum 5,000 s.f. lots are proposed within Planning Areas 1 and 12. In total, 64.0 acres of the community contains 328 residential dwelling units of this product type. Figure IV-3, *Conceptual Project Illustration - Single Family Detached Homes on Minimum 5,000 s.f. Lots*, provides typical lotting, elevations and development standards.

The homes on the 5,000 s.f. lots may be sited in a variety of layouts, including the traditional single-family style illustrated in Figure IV-3, as well as rear/alley-loaded, courtyard-style, "Paired-Z" homes, and more. If these lots include a private drive for rear access, the private drive shall be a minimum of 24 feet in width.

Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association.

4. SINGLE FAMILY DETACHED HOMES ON MINIMUM 4,500 S.F. LOTS

Single family detached homes on minimum 4,500 s.f. lots are proposed within Planning Areas 3 and 15. In total, 47.1 acres of the community contains 308 residential dwelling units of this product type. Figure IV-4, *Conceptual Project Illustration - Single Family Detached Homes on Minimum 4,500 s.f. Lots*, provides typical lotting, elevations and development standards.

The homes on the 4,500 s.f. lots may be sited in a variety of layouts, including the traditional single-family style illustrated in Figure IV-3, as well as rear/alley-loaded, courtyard-style, or "Paired-Z" homes. If these lots include a private drive for rear access, the private drive shall be a minimum of 24 feet in width.

Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association. A Planned Residential Development (PRD) application shall be prepared whenever a tentative tract map is prepared for Planning Areas 3 and 15.



Residential Development Standards	
Planning Areas	1 & 12
Minimum Lot Area	5,000 sf
Uses Permitted	Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	50' X 100'
Setbacks	
Minimum Front Yard (to main structure)	15'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	15'
Garage Setbacks	18'
Side-in Garage Setbacks	15'
Other	
Maximum Structural Height	35'
Minimum Private Open Space Requirement	200 sf
Maximum Lot Coverage ¹	60% for Single story & 50% for Two story
Encroachments (fireplaces, AC units, media centers)*	2'
Encroachments (balconies, porches, decks)*	7'
Off Street Parking Requirements per DU ²	2
Development Standards for Additional Housing Types (not pictured)³	
Rear-Loaded Homes⁴	
Minimum Front Yard (to main structure)	10'
Minimum Rear Yard	Garage 3' 9'-0" setback for 50% of 2nd story living area
Garage Setbacks	3' max or 18' min
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit
Paired Z-Lot Homes⁵	
Minimum Front Yard (to main structure)	12'
Minimum Corner Side Yard	8'
Minimum Interior Side Yard	4'
Minimum Rear Yard	Garage 5' 15' to the living area
Minimum Building Separation - 2nd Story	20'
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit

- Notes:
- 1) The lot coverage includes garages and covered porches or balconies
 - 2) Residential parking provided within the 2 car garage.
 - 3) Typical standards shall apply where not specified for additional housing types.
 - 4) Rear-loaded homes pictured on Figure IV-6.
 - 5) Paired Z-Lot homes pictured on Figure IV-5.
- * Encroachment setbacks apply only to the rear yards.

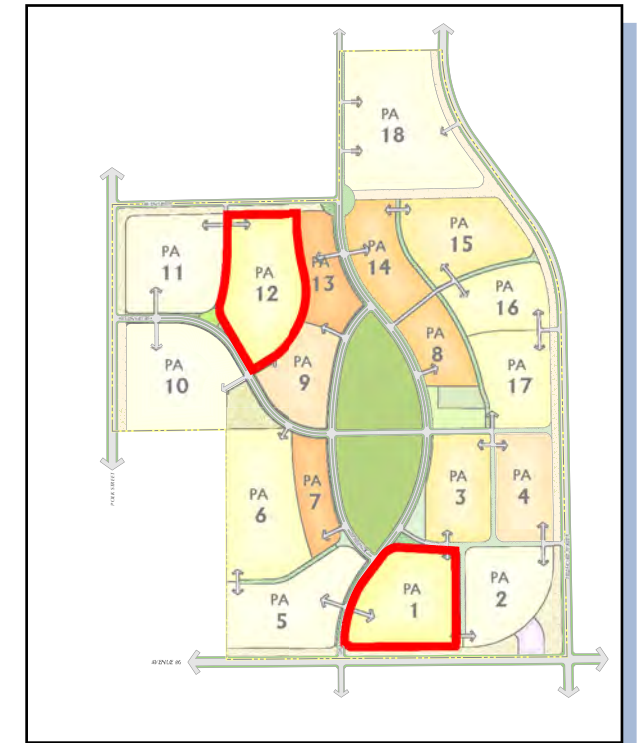
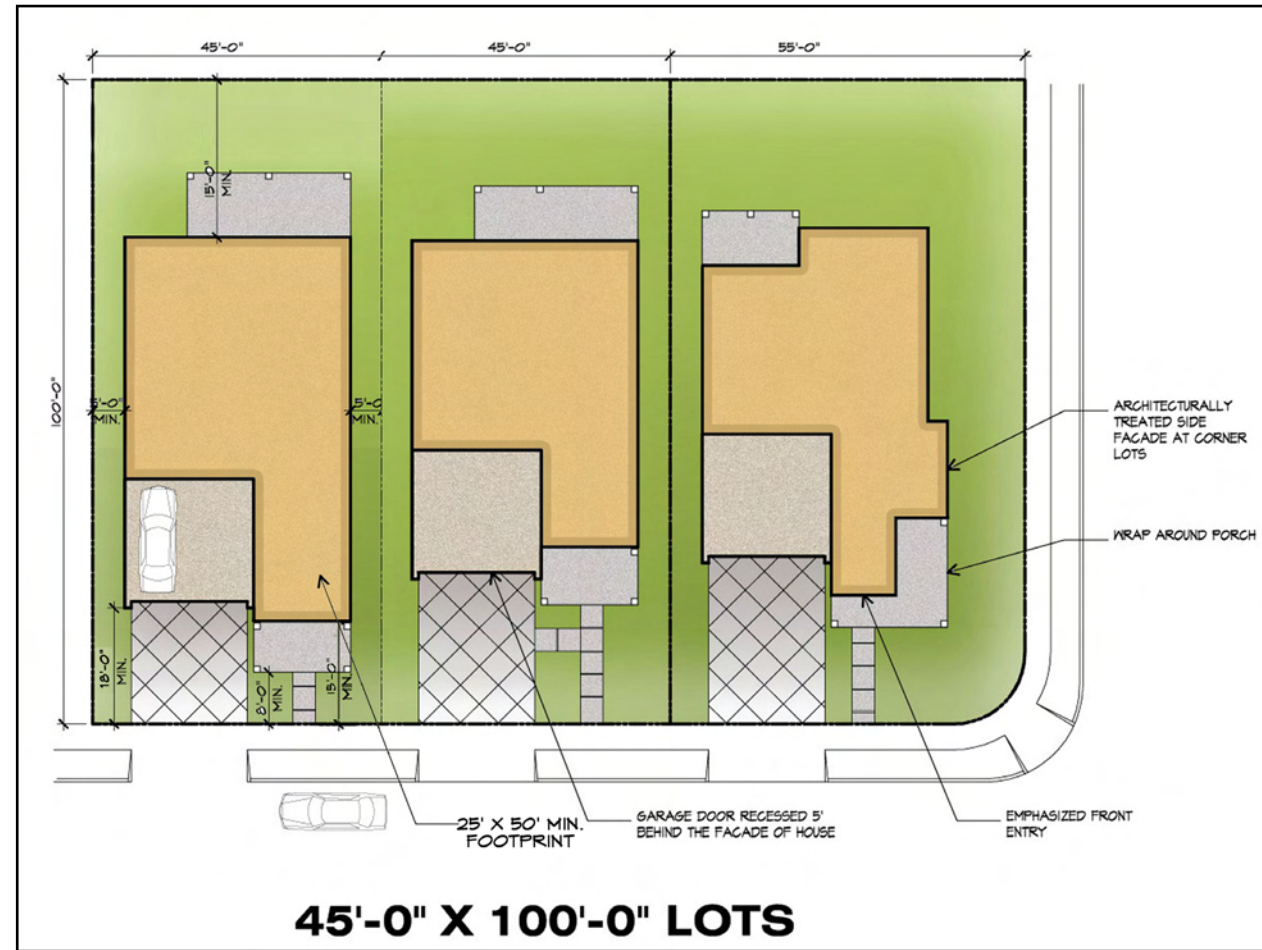


FIGURE IV-3

CONCEPTUAL PROJECT ILLUSTRATION - SINGLE FAMILY DETACHED HOMES ON MINIMUM 5,000 SF LOTS



Residential Development Standards	
Planning Areas	3 & 15
Minimum Lot Area	4,500 sf
Uses Permitted	Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	45' X 100'
Setbacks	
Minimum Front Yard (to main structure)	15'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	15'
Garage Setbacks	18'
Side-in Garage Setbacks	N/A
Other	
Maximum Structural Height	35'
Minimum Private Open Space Requirement	150 sf
Maximum Lot Coverage ¹	60% for Single story & 50% for Two story
Encroachments (fireplaces, AC units, media centers)*	2'
Encroachments (balconies, porches, decks)*	7'
Off Street Parking Requirements per DU ²	2
Development Standards for Additional Housing Types (not pictured)³	
Rear-Loaded Homes⁴	
Minimum Front Yard (to main structure)	10'
Minimum Rear Yard	Garage 3' 9'-0" setback for 50% of 2nd story living area
Garage Setbacks	3' max or 18' min
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit
Paired Z-Lot Homes⁵	
Minimum Front Yard (to main structure)	12'
Minimum Corner Side Yard	8'
Minimum Interior Side Yard	4'
Minimum Rear Yard	Garage 5' 15' to the living area
Minimum Building Separation - 2nd Story	20'
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit
Cluster Homes⁶	
Minimum Front Yard (to main structure)	10'
Minimum Rear Yard	10'
Garage Setbacks	3' max or 18' min
Minimum Building Separation - 1st Story	20'
Minimum Building Separation - 2nd Story	30'
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit

- Notes:
- 1) The lot coverage includes garages and covered porches or balconies
 - 2) Residential parking provided within the 2 car garage.
 - 3) Typical standards shall apply where not specified for additional housing types.
 - 4) Rear-loaded homes pictured on Figure IV-6.
 - 5) Paired Z-Lot homes pictured on Figure IV-5.
 - 6) Cluster homes pictured on Figure IV-7.
- * Encroachment setbacks apply only to the rear yards.
** PRD required with Tentative Map submittal.

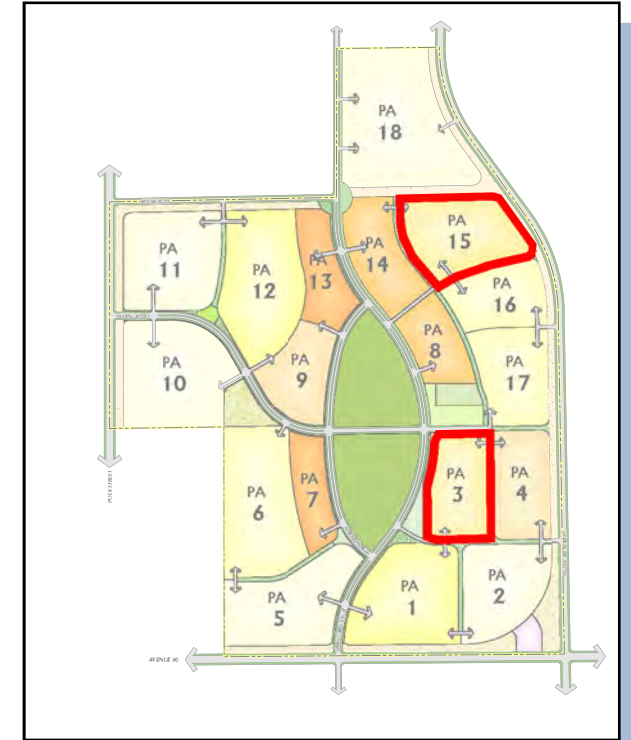


FIGURE IV-4

CONCEPTUAL PROJECT ILLUSTRATION - SINGLE FAMILY DETACHED HOMES ON MINIMUM 4,500 SF LOTS

5. "PAIRED-Z" SINGLE FAMILY DETACHED HOMES ON MINIMUM 3,600 S.F. LOTS

"Paired-Z" single family detached homes on minimum 3,600 s.f. lots are allowed within Planning Areas 4 and 9, a total of 287 units on 36.5 acres. These single-family detached units are offset from lot lines so that one unit features a shorter driveway and the adjacent unit features a longer driveway. Therefore, the first unit's garage is adjacent to the second unit's driveway, and the second unit's garage is adjacent to the rear wall and backyard of the first unit. The side yard between residences contains a 5-foot reciprocal access easement to allow access to the side yard area.

Figure IV-5, *Conceptual Project Illustration - "Paired-Z" Single Family Detached Homes on Minimum 3,600 s.f. Lots*, provides typical lotting, elevations and development standards. The homes on the "Paired-Z" 3,600 s.f. lots may also be sited as rear/alley-loaded or courtyard-style homes. If these lots include a private drive for rear access, the private drive shall be a minimum of 24 feet in width.

Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association. A PRD application shall be submitted whenever a tentative tract map is prepared for Planning Areas 4 and 9.

6. REAR-LOADED SINGLE FAMILY DETACHED HOMES ON MINIMUM 3,600 S.F. LOTS

In addition to "Paired-Z" single family detached homes, rear-loaded single family detached homes on minimum 3,600 s.f. lots are allowed within Planning Areas 4 and 9. A total of 287 rear-loaded single family detached homes are permitted on 36.5 acres. These units feature garages in the rear of the home, which are accessible via a private drive. The private drive shall be a minimum of 24 feet in width.

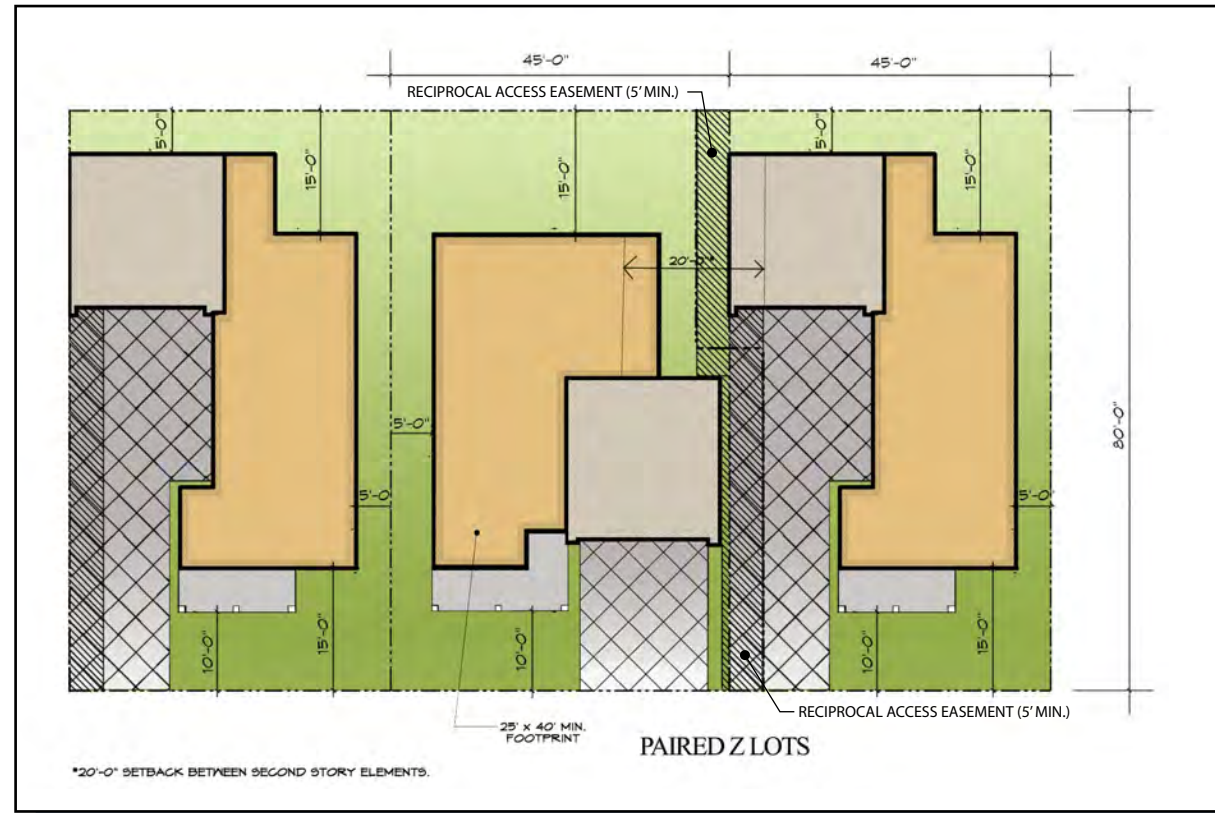
Figure IV-6, *Conceptual Project Illustration - Rear-loaded Single Family Detached Homes on Minimum 3,600 s.f. Lots*, provides typical lotting, elevations and development standards. The homes on the rear-loaded 3,600 s.f. lots may also be sited as "Paired-Z" or courtyard-style homes.

Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association. As previously stated, a PRD application shall be submitted whenever a tentative tract map is prepared for Planning Areas 4 and 9.

7. CLUSTER SINGLE FAMILY DETACHED HOMES

Cluster single family detached homes are allowed within Planning Areas 8 and 14, a total of 262 units on 32.8 acres. These units are clustered in groups of 4 to 6 units around a private drive, with each unit's garage facing the private drive and the façade of the homes facing a common lawn area.

Figure IV-7, *Conceptual Illustration - Cluster Single Family Detached Homes*, provides typical lotting, elevations and development standards. The private drive shall be a minimum of 24



Residential Development Standards	
Planning Areas	4
Minimum Lot Area	3,600 sf
Uses Permitted	Paired Z-Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	45' X 80'
Setbacks	
Minimum Front Yard (to main structure)	12'
Minimum Corner Side Yard	8'
Minimum Interior Side Yard	4'
Minimum Rear Yard	Garage 5' 15' to the living area
Minimum Lot Coverage	30%
Garage Setbacks	18'
Side-in Garage Setbacks	N/A
Other	
Minimum Building Separation - 2nd Story	20'
Maximum Structural Height	35'
Minimum Private Open Space Requirement	150 s.f.
Maximum Lot Coverage	N/A
Encroachments (fireplaces, AC units, media centers)*	2'
Encroachments (balconies, porches, decks)*	5'
Off Street Parking Requirements per DU ¹	2
Guest Parking	0.5 space per unit
Development Standards for Additional Housing Types (not pictured)²	
Cluster Homes ³	
Minimum Front Yard (to main structure)	10'
Minimum Rear Yard	10'
Garage Setbacks	3' max or 18' min
Minimum Building Separation - 1st Story	20'
Minimum Building Separation - 2nd Story	30'
Encroachments (balconies, porches, decks)*	5'
Guest Parking	0.5 space per unit

- Notes:
- 1) Residential parking provided within the 2 car garage.
 - 2) Typical standards shall apply where not specified for additional housing types.
 - 3) Cluster homes pictured on Figure IV-7.
- * Encroachment setbacks apply only to the rear yards.
** PRD required with Tentative Map submittal.

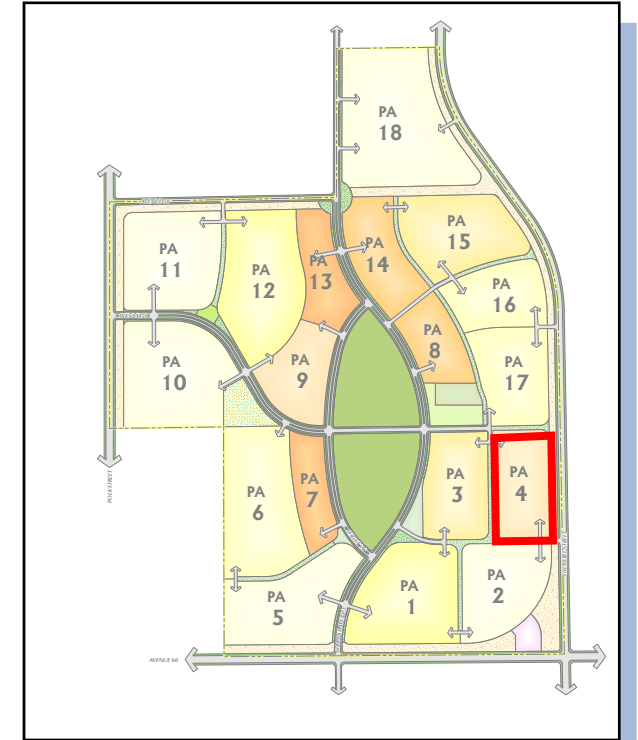


FIGURE IV-5

CONCEPTUAL PROJECT ILLUSTRATION - PAIRED "Z" - STYLE SINGLE FAMILY DETACHED HOMES ON 3,600 SF LOTS



Residential Development Standards	
Planning Areas	9
Minimum Lot Area	3,600 sf
Uses Permitted	Rear loaded-Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	45' X 80'
Setbacks	
Minimum Front Yard (to main structure)	10'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	Garage 3' 9'-0" setback for 50% of 2nd story living area
Garage Setbacks	3' max or 18' min
Other	
Minimum Building Separation - 2nd Story	20'
Maximum Structural Height	35'
Minimum Private Open Space Requirement	100 sf
Green Eye Requirement within Alley	50' s.f. min at t-intersection or at trail connection
Maximum Lot Coverage ¹	65% for Single story &
Encroachments (fireplaces, AC units, media centers)*	2'
Encroachments (balconies, porches, decks)*	5'
Off Street Parking Requirements per DU ²	2
Guest Parking	0.5 space per unit

- Notes:**
- 1) The lot coverage includes garage and covered porches or balconies
 - 2) Residential parking provided within the 2 car garage.
- * Encroachment setbacks apply only to the rear yards.
 ** PRD required with Tentative Map submittal.

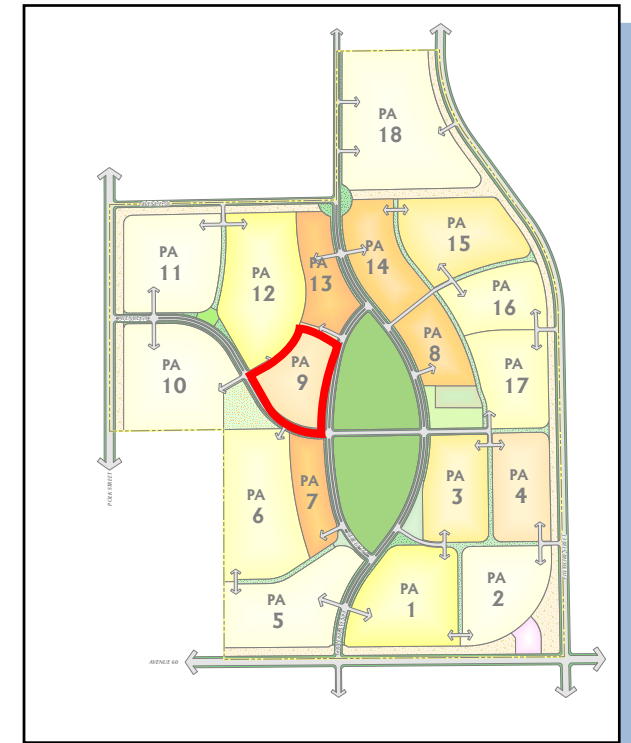


FIGURE IV-6

CONCEPTUAL PROJECT ILLUSTRATION - REAR-LOADED SINGLE FAMILY DETACHED HOMES ON 3,600 SF LOTS



Residential Development Standards	
Planning Areas	8 & 14
Minimum Lot Area	2,500 s.f.
Uses Permitted	Cluster-Single Family Detached Homes
Lot Dimensions	
Typical Lot Size	Varies
Setbacks	
Minimum Front Yard (to main structure)	10'
Minimum Corner Side Yard	10'
Minimum Interior Side Yard	5'
Minimum Rear Yard	10'
Garage Setbacks w/in Private Drive	3' max or 18' min
Other	
Minimum Building Separation - Front to Front 1st Story	20'
Minimum Building Separation - Front to Front 2nd Story	30'
Minimum Building Separation - Rear to Rear	20'
Minimum Building Separation - Garage to Garage	30'
Minimum Building Separation - Side to Side	10'
Maximum Structural Height	35'
Minimum Private Open Space Requirement	150 s.f.
Maximum Lot Coverage	60%
Front Yard Encroachments (balconies, porches, decks)	5'
Side Yard Encroachments (fireplaces, AC units, media centers)	2'
Off Street Parking Requirements per DU ¹	2
Guest Parking	0.5 space per unit

Notes:
1) Resident parking provided within the 2 car garage.

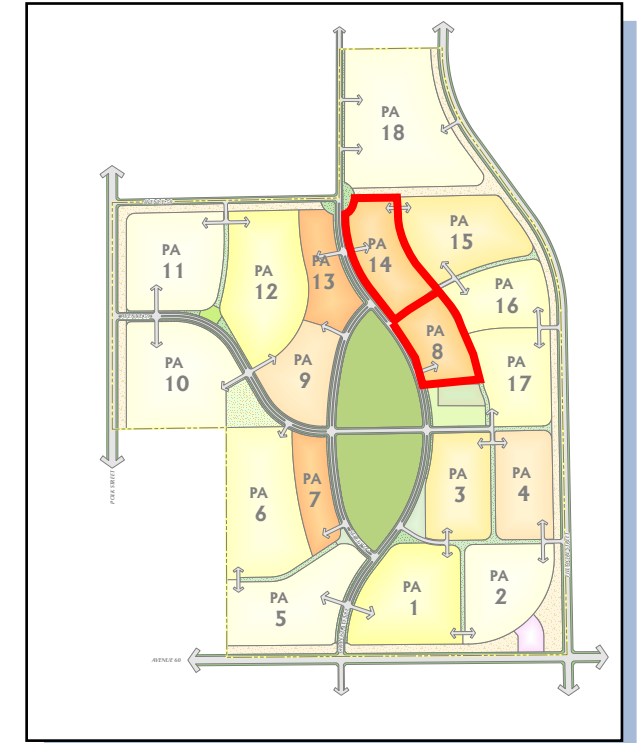


FIGURE IV-7

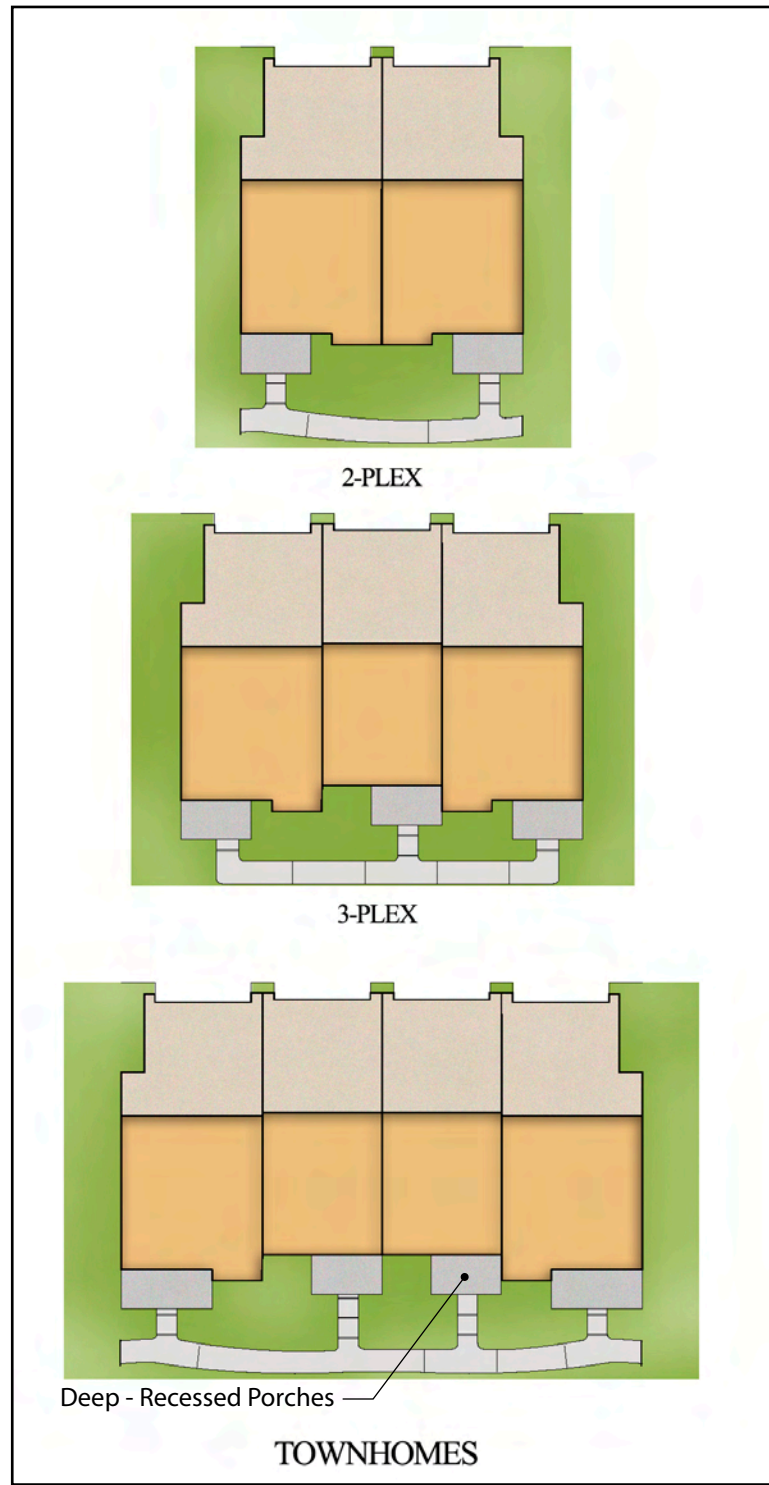
feet in width. Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association. A Planned Residential Development (PRD) application shall be prepared whenever a tentative tract map is prepared for Planning Areas 8 and 14.

8. SINGLE FAMILY ATTACHED HOMES

Cluster single family attached homes are allowed within Planning Areas 7 and 13, a total of 264 units on 26.7 acres. These units are attached in groups of twos (2-plex), threes (3-plex), or four (4-plex). Front entrances to the unit face a common area and the garages are located in the rear of the structure. The private drive providing access to the rear of these units shall be a minimum of 24 feet in width. Maintenance of these private drives and associated landscaping shall be the responsibility of the Homeowners' Association.

Wherever feasible, these homes shall be sited to ensure windows on adjacent units are not situated directly parallel from one another. Furthermore, variations in floor plans shall be provided to ensure one unit's floor plan does not simply mirror the adjacent unit's wherever practical. The front of the single-family attached homes shall be architecturally articulated through the use of windows, protections, balconies, and other decorative elements appropriate to the structure's architectural style, as described throughout these Design Guidelines. Each unit shall feature a recessed porch surrounding its primary entrance. The side and rear walls of the single-family attached homes are also subject to architectural articulation, but to a reduced degree, in order to ensure an aesthetic appearance from all viewpoints.

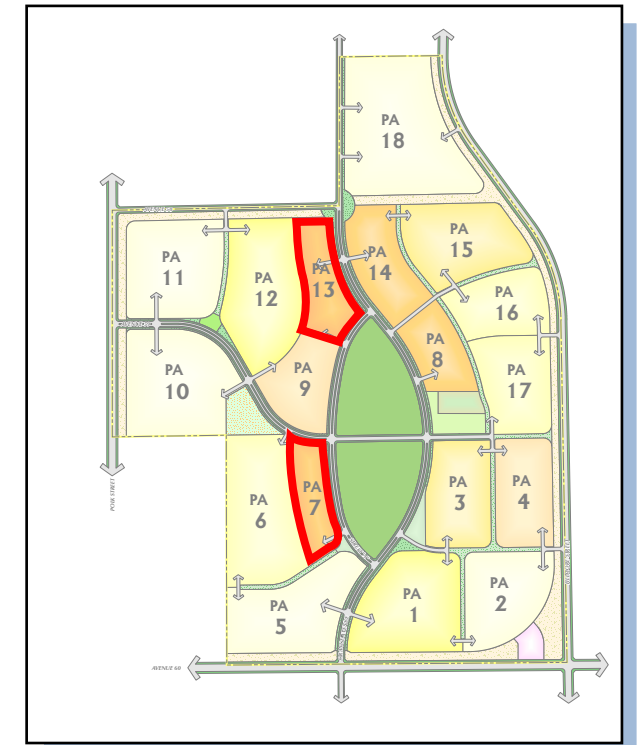
Figure IV-8, *Conceptual Project Illustration - Single Family Attached Homes*, provides typical lotting, elevations and development standards. A Planned Residential Development (PRD) application shall be prepared whenever a tentative tract map is prepared for Planning Areas 7 and 13.



Note: Driveway aprons shall be 3' or less, or a minimum of 18'.



Note: Enhanced 360 degree articulation required on all elevations.



Residential Development Standards	
Planning Areas	7 & 13
Minimum Lot Area	5,000 s.f.
Uses Permitted	Duplex, Triplex & Townhomes
Lot Dimensions	
Typical Lot Size	Varies
Setbacks	
Minimum Front Yard (to main structure)	15'
Minimum Corner Side Yard	10'
Minimum Rear Yard	15'
Garage Setbacks from Private Drive	3' max or 18' min
Other	
Minimum Building Separation - Front to Front	30'
Minimum Building Separation - Rear to Rear	30'
Minimum Building Separation - Side to Side	10'
Maximum Structural Height	35'
Maximum Lot Coverage	60%
Side Yard Encroachments (fireplaces, AC units, media centers)	2'
Front/Rear Yard Encroachments (balconies, porches, decks)	5'
Off Street Parking Requirements per DU	See Note 1
Guest Parking	0.5 space per unit

Notes:

- 1) 1 Bedroom or Studio Unit - 1.5 Spaces, 2 Bedroom Unit- 2.0 Spaces, 3 Bedroom Unit- 2.5 Spaces

FIGURE IV-8

D. ARCHITECTURAL DESIGN GUIDELINES

1. ARCHITECTURAL CRITERIA

Developers, builders, engineers, architects, landscape architects and other design professionals should use the architectural guidelines to maintain design continuity, create an identifiable image, and develop a cohesive community theme. While these Design Guidelines provide several illustrations of the currently preferred conceptual architectural styles, these illustrations and the accompanying text are intended to describe the characteristic elements required to appropriately establish architectural styles and are not meant to depict the exact residences to be constructed. Rather, they are intended to encourage creativity, permit flexibility and provoke design ideas that ultimately produce a community of quality and cohesiveness.

The following descriptions and referenced graphics provide an overview of the conceptual architectural styles proposed for THERMAL 551. Again, it should be emphasized that individual character and interpretation are encouraged and it is not the intent that all of the represented design components be incorporated into each residence or neighborhood. These examples are conceptual in nature and are meant to provide a menu of options which, when combined creatively, suggest the selected architectural style.

2. ARCHITECTURAL STYLES

The architectural styles of the residential homes and non-residential structures within THERMAL 551 are intended to complement and reinforce the community theme of "Lush Desert." As described above, a variety of architectural styles is pivotal to creating a high-quality community. THERMAL 551 features five unique architectural styles that adhere to the overall community theme of "Lush Desert," which incorporates dense clusters of colorful desert vegetation. The selected architectural styles for the THERMAL 551 community include Italianate, Prairie, Southwest, Spanish, and Tuscan.

These compatible architectural styles are intended to provide a wide range of architectural variation, appealing to a variety of potential homeowners and creating visually interesting streetscenes. Each architectural style can be applied to the eight different housing types offered within the community (single family homes on minimum 4,500 s.f., 5,000 s.f., 6,000 s.f., and 7,200 s.f. lots; "Paired-Z" homes; rear-loaded homes; cluster single family homes, and single family attached homes). Although the following reference graphics depicting these architectural styles feature residential homes, many aspects of the styles may also be applied to non-residential structures, including the community's recreational buildings.

a. Italianate Architectural Style

The Italianate style looks to the country villas of northern Italy for its inspiration. The style was introduced in the United States in the 1840's and was wildly popular due to its suitability for many different building materials and budgets. As shown in Figure IV-9, *Italianate Architectural Style* and Figure IV-10, *Italianate Architectural Details*, elements common to the Italianate style include:

- Rectangular-shaped structure, which is often arranged into asymmetrical blocks;
- Primary exterior building materials typically include a light textured stucco or brick;
- Decorative supporting brackets under the eaves;
- Windows with heavy hoods or elaborate surrounds;
- Low pitched hipped, tiled roofs;
- Overhanging eaves with decorative brackets underneath;
- Tall windows with arched or curved tops;
- Horizontal belt courses;
- Corner quoins;
- Tower elements;
- Louvered wooden or prefabricated shutters.

b. Prairie Architectural Style

The Prairie architectural style was developed in the Midwestern United States in the early part of the 20th century. The style is marked by horizontal lines, low-pitched roofs with broad overhanging eaves, solid construction, craftsmanship, and discipline in the use of ornament, in contrast to previous 19th century design. Horizontal lines were thought to evoke and relate to the native prairie landscape. As shown in Figure IV-11, *Prairie Architectural Style*, and Figure IV-12, *Prairie Architectural Details*, elements common to the Prairie style include:

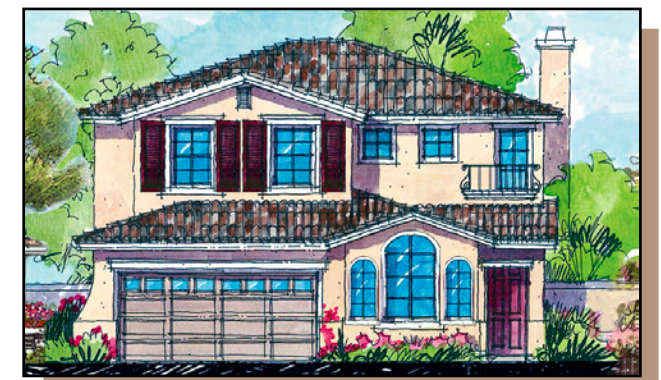
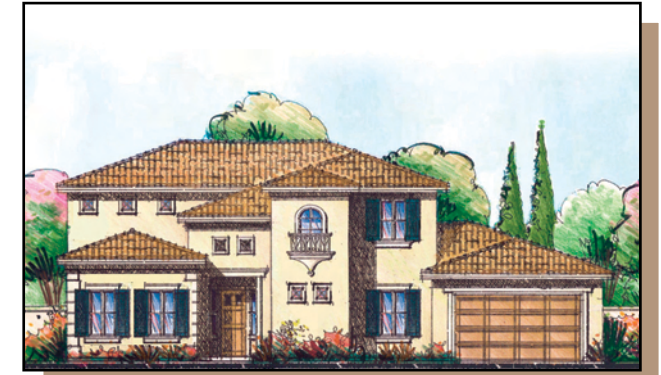
- Massing forms usually employ one- and two-story elements;
- Massive square porch supports constructed of masonry;
- Hipped dormers;
- Horizontal rows of windows, some with tall casements;
- Upper portions of the windows divided into small geometric patterns;
- Flattened pedestal urns for flowers;
- Broad, flat chimneys; and
- Horizontal decorative emphasis, which is achieved through techniques such as, but not limited to horizontal board and batten siding, selective recessing of horizontal masonry joints, and placing contrasting wood trim between stories.



ITALIANATE ARCHITECTURAL STYLE

The Italianate style began as part of the picturesque movement, a shift away from a more formal direction in art and architecture. The new period style generated classic informality, with traditional towers, as models for Italian style villas.

Identifying features of this style include low pitched hipped roof, overhanging eaves with decorative brackets underneath, tall windows sometimes with arched or curved top, horizontal belt courses, corner quoins and feature tower elements.

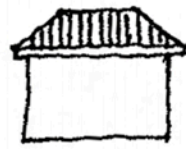


ESSENTIAL ELEMENTS OF THE ITALIANATE ARCHITECTURAL STYLE:

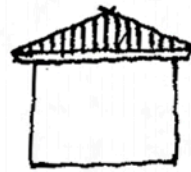
- 1 Low pitched hipped roofs with tiled roof
- 2 Light textured stucco walls or brick walls
- 3 Sculpted sill with wrought iron detailing
- 4 Decorative quoins
- 5 Rectangular windows with predominantly arched or curved top at feature windows
- 6 Louvered wooden or prefab shutters

FIGURE IV-9

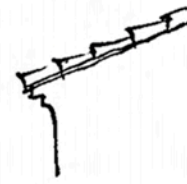
ROOFS



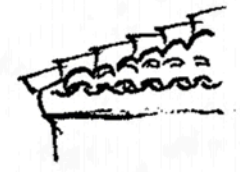
RECTILINEAR HIP



SQUARE HIP

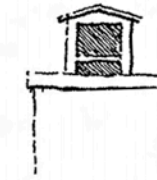
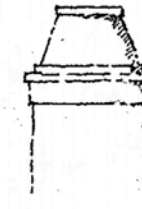


NOTCHED & RADIUS



ROLLED STUCCO

CHIMNEYS



WINDOWS



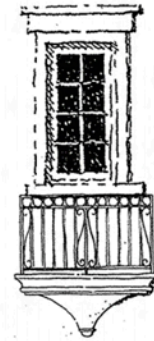
WINDOW WITH LOUVERED SHUTTERS



WINDOW WITH DECORATIVE TRIM



PAIRED RECTANGULAR WINDOWS

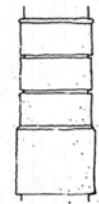


WINDOW WITH DECORATIVE STONE LINTEL

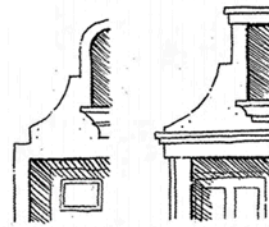
WALLS & ENTRIES



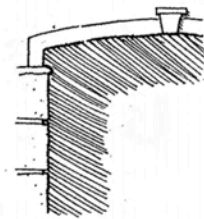
WING WALLS



DECORATIVE QUOINS



ENHANCED ENTRIES



ENTRY W/DECORATIVE QUOINS

VENT DETAILS

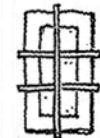
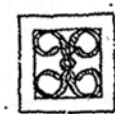


FIGURE IV-10



PRAIRIE ARCHITECTURAL STYLE

The Prairie style, developed in the Midwestern states in the early part of the 20th century, is characterized by low pitched roofs, usually hipped, and strong horizontal lines. Wide overhanging eaves are common with massing forms usually employing one and two story elements. Massive square porch supports of masonry are also common. Characteristic details include hipped dormers, window boxes, flattened pedestal urns for flowers, upper portions of windows divided into small panes, broad flat chimneys, and horizontal decorative emphasis by such techniques as: 1) horizontal board-and-batten siding, 2) selective recessing of only the horizontal masonry joints, and 3) contrasting wood trim between stories.

ESSENTIAL ELEMENTS OF THE PRAIRIE ARCHITECTURAL STYLE:

- 1) Low pitched hipped roof forms with wide overhangs.
- 2) Hipped dormers.
- 3) Horizontal rows of windows, some with tall casements.
- 4) Strong horizontal lines through masonry or siding design.
- 5) Upper portions of windows divided into small geometric patterns.



FIGURE IV-11

ROOF TYPES



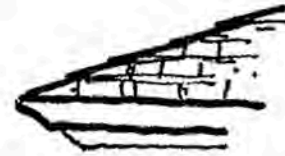
FLAT ROOF



RECTILINEAR HIP



SQUARE HIP



FASCIA DETAIL

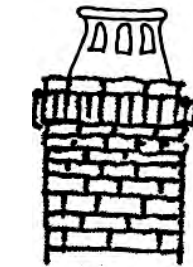
CHIMNEYS



BRICK AND CONCRETE CAP



STONE

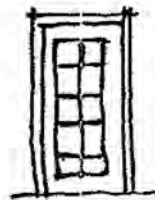


BRICK OFFSET BRICK COURSING

DOORS



LARGE SQUARE GLASS OVER PANEL



SINGLE WITH DIVIDED LIGHT



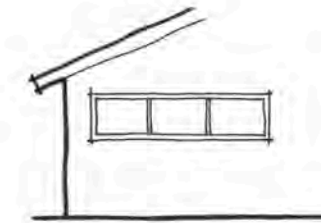
TALL RECTILINEAR



DECORATIVE FRENCH SWING

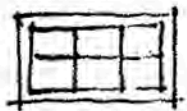


RECTANGULAR GLASS OVER TALL PANELS

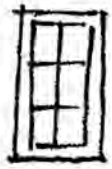


RIBBON WINDOW

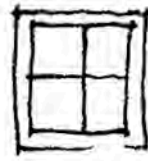
WINDOW SHAPES



RECTANGULAR HORIZONTAL



RECTANGULAR VERTICAL



SQUARE



PROJECTING WOOD, STONE OR CONCRETE SILL



PROJECTING BRICK STEP SILL

ORNAMENTAL LIGHT FIXTURES



FIGURE IV-12

c. Southwest Architectural Style

Southwest architectural style draws its influences from earlier Spanish missionary activities within the southwestern United States. This style attempts to blend indoor and outdoor space through the use of patios and other similar elements. As shown in Figure IV-13, *Southwest Architectural Style*, and Figure IV-14, *Southwest Architectural Details*, elements common to the Southwest style include:

- Light textured stucco exterior walls;
- Building colors that reflect the desert landscape;
- Low pitched or flat shed roofs constructed of flat clay tile or with concrete “S” tile accents;
- Sharp parapet walls,
- Furred wing walls;
- Deep recessed windows; and
- Loggias, decorative overflow spouts, and exposed rafter tails (also known as vigas).

d. Spanish Architectural Style

Similar to the Southwest style, the Spanish style is influenced by its rich Spanish and Mexican influences. As shown in Figure IV-15, *Spanish Architectural Style*, and Figure IV-16, *Spanish Architectural Details*, elements common to the Spanish style include:

- Simple courtyards and distinctive use of key details such as roof tiles, stucco walls, arches, detailed wooden doors, and ornamental ironwork.;
- Walls that convey a thick appearance with recessed door and window openings set back into smooth, finished wall planes.;
- Balconies, pot shelves, and classic shutters with wood details;
- Stucco walls in a light sand or dash finish;
- Shallow, sloped terra cotta barrel tile roofs in variegated colors;
- Archways; covered patios, porches, or loggias;
- Decorative iron work; and
- Rustic plank shutters.



ESSENTIAL ELEMENTS OF THE SOUTHWEST ARCHITECTURAL STYLE:

- 1 Simple, strong one to two story massing
- 2 Light textured stucco walls
- 3 Majority flat roofs
- 4 Flat clay tile or concrete "S" tile roof accents
- 5 Deep recessed windows
- 6 Decorative overflow spouts

SOUTHWEST ARCHITECTURAL STYLE

From the warm colored sandstone mesas to the flat lands punctuated with desert foliage, the southwest inspires homes that reflect the color and the warmth of the land. The Southwest architectural style features stucco exteriors with sharp edge parapet walls, low pitched shed roofs, furred wing walls, deep recessed windows, loggias, and exposed rafter tails (called vigas). The southwestern design emphasizes indoor living as well as outdoors.

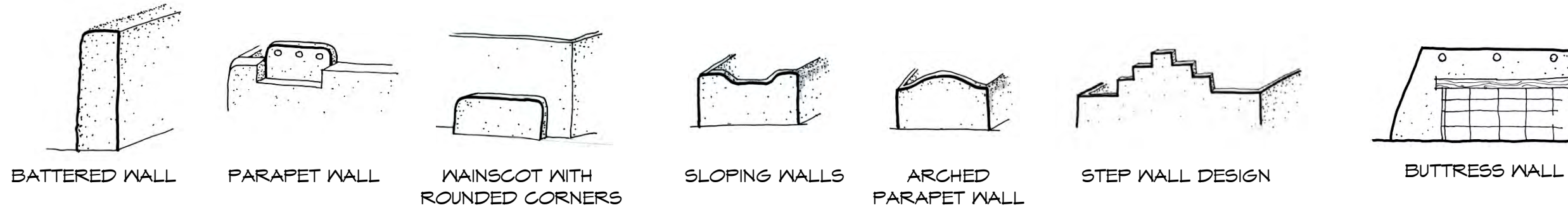


FIGURE IV-13

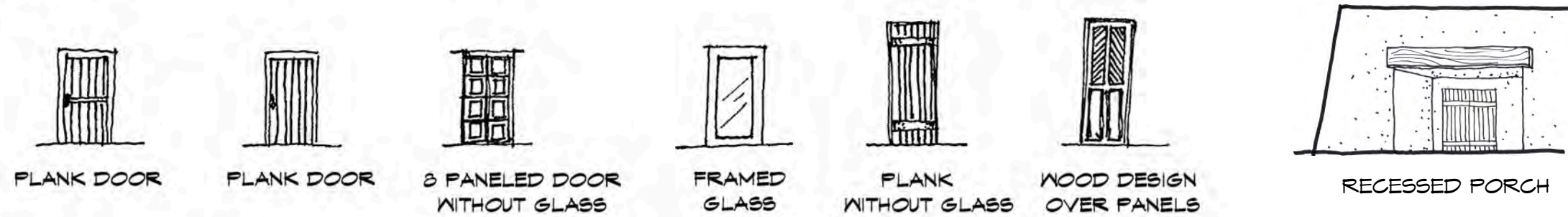
SOUTHWEST ARCHITECTURAL STYLE

PAGE IV-22

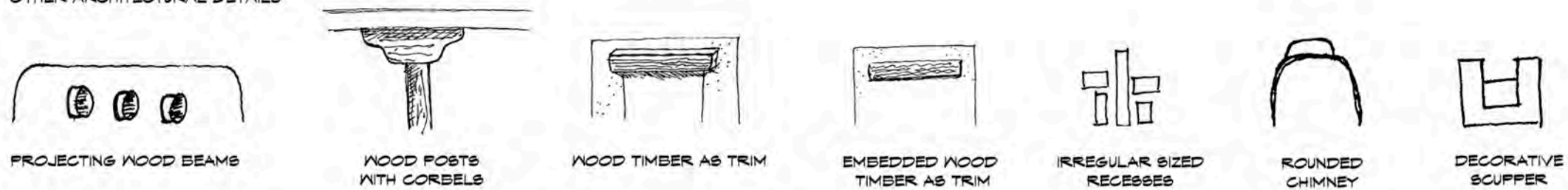
WALLS



DOORS



OTHER ARCHITECTURAL DETAILS



WINDOWS

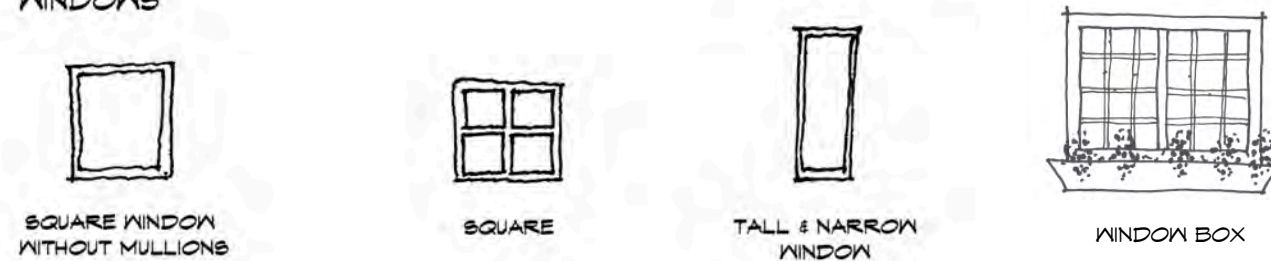


FIGURE IV-14



SPANISH ARCHITECTURAL STYLE

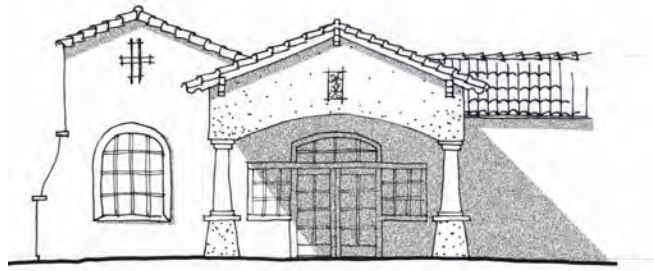
The Spanish architectural style is typically characterized with simple courtyards and distinctive use of key details such as roof tiles, stucco walls, detailed wooden doors and ornamental ironwork. Walls convey a thick appearance with recessed door and window openings set back into smooth finished plane walls. The use of arches, courtyards, patios and colonnades enhance the theme. Balconies with wood details may enhance the elevations along with classic shutters and potshelves. A variety of gabled end details are encouraged along with the use of scalloped finishes to add a different feel to the elevation.



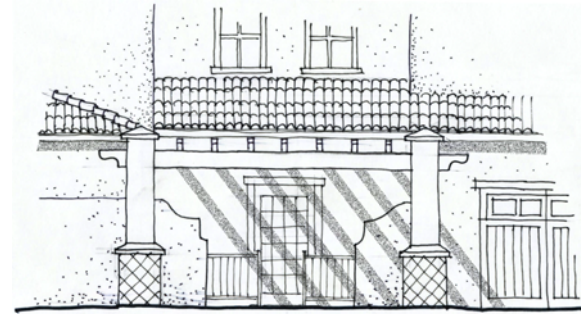
ESSENTIAL ELEMENTS OF THE SPANISH ARCHITECTURAL STYLE:

- 1 Stucco walls with a light sand or dash finish
- 2 Shallow sloped, terra cotta barrel tile roofs in variegated colors
- 3 Thick walls with deep recessed openings, often featuring arches
- 4 Covered patios/porches/loggias
- 5 Decorative iron work
- 6 Arched soffit
- 7 Rustic plank shutters

FIGURE IV-15

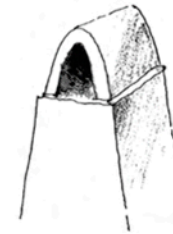


RECESSED PORCH



FRONT COURTYARD

CHIMNEYS



BATTERED CHIMNEY

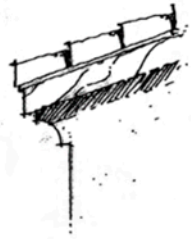


STUCCO
OPENING AT
TWO ENDS

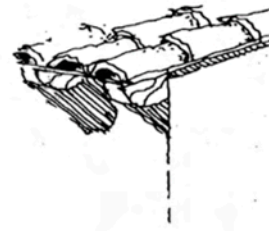


STUCCO AND TILE
ARCH OPENING
AT GABLE & SIDE OPENING

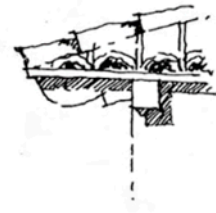
EAVE AND FASCIA DETAILS



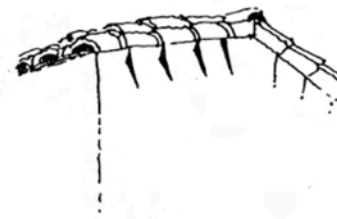
NOTCHED AND RADIUS
STUCCO EAVE



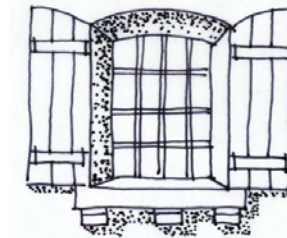
1/2" ROUND
ROOF



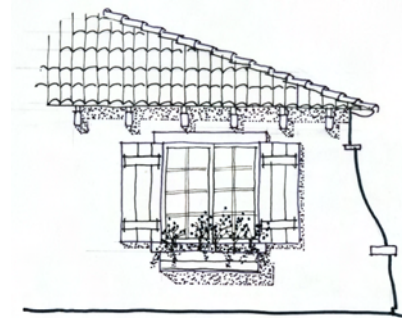
CORBEL
JOISED ENDS



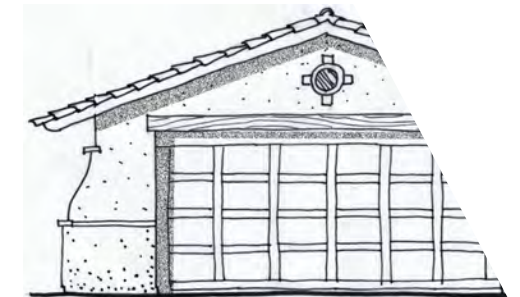
RADIUS STUCCO EAVE



RECESSED WINDOW

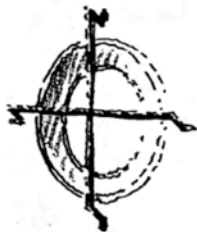


WINDOW BOX AND
STRONG BUTTRESS AT HOUSE

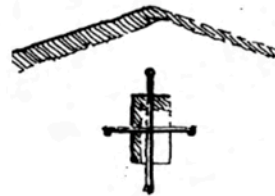


STRONG BUTTRESS AT GARAGE

VENT DETAILS



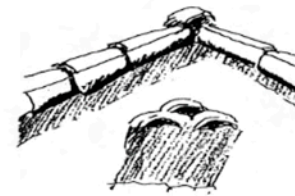
IRON CROSS
OVER ACCENT
WINDOW OR VENT



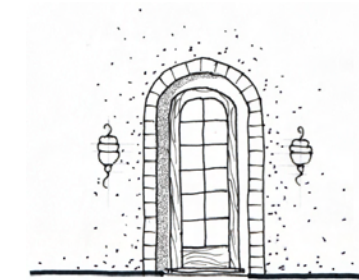
DECORATIVE WROUGHT
IRON OVER STUCCO
RECESS



STANDARD CLAY
PIPE +/- 3" DIAMETER



STACKED MISSION
CLAY TILE



RECESSED FRONT DOOR



RECESSED FRONT DOOR

e. Tuscan Architectural Style

The Tuscan architectural style draws its influences from the villas and villages of the inland French and Italian regions of Provence and Tuscany. As shown in Figure IV-17, *Tuscan Architectural Style*, and Figure IV-18, *Tuscan Architectural Details*, elements common to the Tuscan style include:

- Roofs that are typically low pitched and constructed of concrete “S” or barrel tiles;
- Façades comprised of rustic stone materials;
- Cut and rustic stones with hues of rose, buff, and ochre;
- Terra cotta tiled roofs;
- Ornamental carved or cast stone;
- Awning shutters;
- Detailed iron work;
- Covered patios, porches, or loggias;
- Balconies with decorative iron work; and
- Decorative stucco recesses on the façade.

3. ARCHITECTURAL ELEMENTS**a. Building Mass and Scale**

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of a building through design articulation of the building façades, rooflines, and vertical and horizontal planes effectively reduces the visual mass of a building. Mass and scale are important design considerations during the development of street friendly and pedestrian scale architecture. Attention to front yard setbacks, building types, and architectural styles helps provide variation in the mass and scale of buildings.

All two-story homes shall incorporate some type of single-story element to create manageable building mass and scale. The development of one-story elements along neighborhood streets and at street corners allows the residence to step back from a given edge and provides for a manageable scale. Examples of one-story elements include: bay windows, architectural projections, porches, balconies, and one-story living spaces.

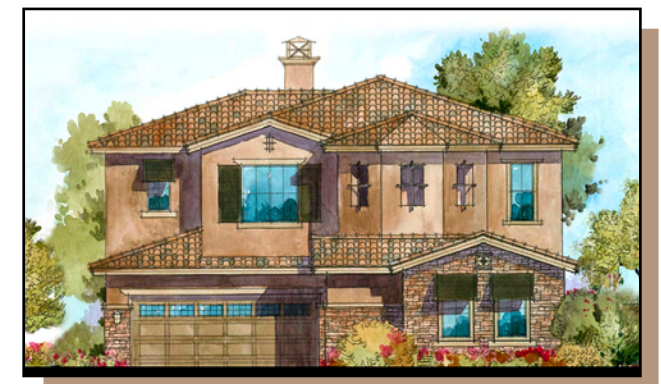
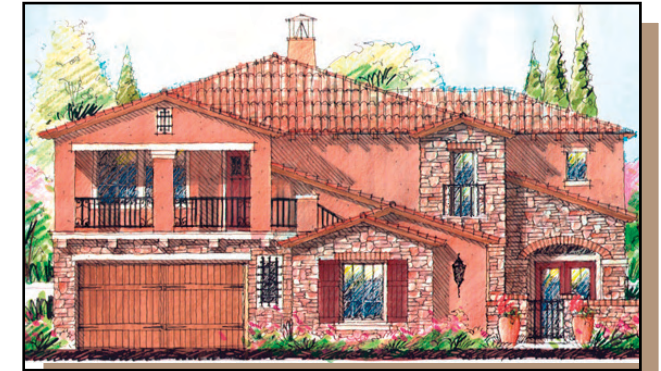
b. Building Materials and Colors

Building materials and colors are important elements when used to achieve a true representation of a specific architectural style. Colors should be as authentic as possible when compared to the traditional color palette of the selected style. Consideration may also be given to colors available in the contemporary market that are complementary to the overall Community Theme and the individual structure’s specific architectural style.



TUSCAN ARCHITECTURAL STYLE

Tuscan style has its historical roots in the villas and villages of the inland French and Italian regions of Provence and Tuscany. The main characteristics of this style include cut and rustic stone with hues of rose, buff, ochre, terra cotta tiled roof, ornamental carved or cast stone, awning shutters, detailed iron work, and plants potted in terra cotta pots.



ESSENTIAL ELEMENTS OF THE TUSCAN ARCHITECTURAL STYLE:

- 1 Low pitched roof, concrete 'S' or barrel tiled roof
- 2 Rustic stone facade with hues of buff or ochre
- 3 Rustic planked window shutters
- 4 Covered patios/porches/loggias
- 5 Decorative iron work balconies
- 6 Decorative stucco recesses

FIGURE IV-17

ROOFS



RECTILINEAR HIP



SQUARE HIP

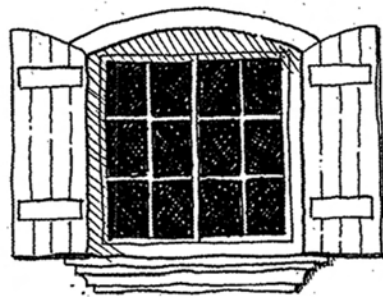


NOTCHED & RADIUS
STUCCO EAVE



ROLLED STUCCO
FASCIA

WINDOWS



ARCHED WINDOW
WITH BOW SHUTTERS



WINDOW WITH DECORATIVE
WROUGHT IRON RAILING



WINDOW WITH HUNG
LOUVERED SHUTTER



PAIRED WINDOW
WITH CORBELED ROOF
AND BRACKETS



WINDOW WITH
DECORATIVE STONE LINTEL

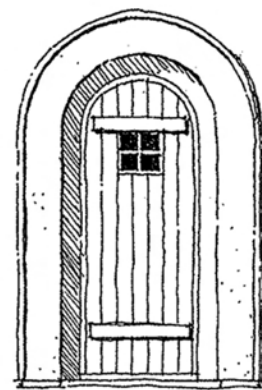


SIMPLE RECTILINEAR
WINDOW

DOORS



ARCHED DOOR WITH
DECORATE STONE TRIM



ARCHED DOOR WITH
PRECAST CONCRETE TRIM

CHIMNEYS



FIGURE IV-18

The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complimentary color and material palettes along any given street. The selected architectural styles for THERMAL 551 allow for a diversity of colors and materials.

Specifically, building materials and colors within THERMAL 551 shall conform to the following requirements:

- On contiguous lots, structures with the same or very similar colors of stucco shall not be permitted.
- A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. This avoids a monotonous appearance of multiple buildings of the same colors and tones.
- Material breaks, transitions, and termination shall produce complimentary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers.

c. Windows and Doors

Window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen.

Feature windows that are appropriate to the selected architectural style, are an essential component in defining a building's character. They should enhance rather than dominate the overall architectural theme of the home and neighborhood. Size and shape should be carefully considered to ensure a balanced relationship with the surrounding walls and roof. Windows should be studied as to their size, shape, proportions, casings, multi-lite divisions, as well as color and repetition. The choice of windows should be in keeping with the selected architectural style.

Entry doors should be designed proportionally to the walls surrounding them, appropriate to the selected architectural style, and prominent in character. Accent shutters, used with either windows or doors, should be in keeping with the size and dimension of the window or door. Historically, it was the purpose of these elements to cover the window or door; therefore the elements should reflect that original purpose wherever possible.

d. Porches and Balconies

The incorporation of front porches and front and rear balconies as part of the architectural vocabulary is encouraged for both aesthetic and practical reasons. Porches and balconies integrate indoor and outdoor living spaces, allow for elevated garden locations that provide

light and air to the interior, and provide shelter. Porches and balconies break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along neighborhood streets, front porches add an element of personal scale and ambiance, where neighbors can socialize with one another. Porches and balconies within THERMAL 551 shall conform to the following standards:

- The use of front porches with a minimum usable width of 5 to 6 feet is encouraged along local and residential streets.
- A porch rail should be included to define the space and add architectural detail to the porch and the front elevation of the house; however, a railing is only needed with certain architectural styles.

e. Columns and Posts

Columns and posts are important design components in many of the suggested architectural styles for THERMAL 551, and are often signature elements of a particular style. These elements should be incorporated as structural and aesthetic design elements and should be dimensioned appropriately so that a solid and durable image is conveyed. The scale and dimension of these elements varies depending upon the architectural style and should reflect the selected style when they are introduced in the design proposals.

f. Garages

In a society geared toward the automobile, the automobile's housing needs have come to be the predominant architectural element in many neighborhoods. THERMAL 551 should encourage garage design that does not detract from the overall appearance of the residence. To achieve an attractive streetscene, particular attention shall be given to the design, placement and orientation of garages in all residential neighborhoods. While maintaining an awareness of the contemporary market and the targeted market segment, every effort is expected to minimize the impact of the garage on the residential neighborhood. Depending upon lot size, this can be accomplished through a variety of methods including:

- Side loaded, swing-in, or rear-loaded orientations.
- Garage setbacks greater than the front yard living area setback.
- Splitting garages on the opposite sides of the residence.
- Rear of lot garage placement with driveway access from the front of the lot.
- Tandem garages.
- Garage door design considerations that include recessed doors, creative panel design, windows, and color.
- A porte-cochere architectural element.

Although THERMAL 551 has established its architectural character based on regionally and historically significant architectural styles, the automobile plays a more prominent role today than when these architectural styles originated. While the garage is a necessary component in all contemporary versions of the suggested architectural styles, careful

consideration must be given to garage location, variation, and placement along each residential street.

Garage doors are a major visual element and should be simple in design. Specifically, garage doors exhibit the following design characteristics:

- Garage door design should reflect a slightly recessed door and individual bays should be provided, which are offset and separated from one another. This eliminates visually extensive garage door façades.
- Three and two car garage configurations can be divided into two/one and one/one configurations to allow for entry courts and auto arrival courts.
- Accent colors should be used to compliment the architecture and provide visual variety along the streetscape.
- Where provided, garage door windows should correspond to the window forms of the house.
- Landscape vines and tree wells may be introduced to soften the visual impact of the garage door and accent the garage façade.

g. Rear and Side Articulation/Facade Treatment

The design consideration and treatment of the rear and side facades of residential buildings, particularly those facing onto spaces visible to the public, has become recognized as an important element in the success of a community's visual character and environment. Where such conditions occur, the builder shall be required to enhance the rear and side facades of homes backing onto publicly visible areas to improve the community appearance. Enhancement considerations shall include:

- Color accents and tonal variations;
- Window trim or shutters;
- Architectural banding;
- Rear balconies or wrap-around porches; and/or,
- Other design details and amenities, as appropriate to the architectural style.

h. Roof Materials and Colors

The roofline of a house is a significant component of a building's composition when used to define a particular architectural style. A roof's composition should allow for a clean interface with the building and the building façade. The two elements should not be overbearing nor give the appearance of being disjointed or cut-up. It is important to choose the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style. In addition, roofs within THERMAL 551 shall incorporate the following design elements:

- Varying roof pitches on the same building should be avoided unless they are integral to the architectural style or extending over porches and balconies.

- Roof materials and colors selected for an architectural style must reflect the elements that are typically used in that style.
- Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character.
- Roof pitches and colors shall vary from one house to the next.
- Roofing materials shall be non-combustible.

i. Accessory Structures

Accessory structures should have roofs of similar and/or compatible materials as primary/major structure. There is no minimum roof pitch required for accessory structures. Flat roofs on accessory structures are permitted in all zones in THERMAL 551. The design of accessory structures (cabanas, storage sheds, etc.) should be compatible with the main structure through the use of architecture, fence connections and/or landscaping. Recreational vehicles and trucks must be stored in an enclosed area and out of view of any adjacent lot or road.

Casitas are permitted on the 7,200 s.f. and 6,000 s.f. lots. These accessory structures may be placed above the unit's detached two-car garage. Casitas should be generally placed in the rear of the lot to ensure the primary residential structure is the aesthetic focus. For specific development standards relating to casitas, refer to Figure IV-1, *Conceptual Project Illustration - Single Family Detached Homes on Minimum 7,200 S.F. lots*, and Figure IV-2, *Conceptual Project Illustration - Single Family Detached Homes on Minimum 6,000 S.F. lots*.

Solar panels, if used, should be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane and should be clear, bronze, or smoke colored plastic or glass. To the greatest extent possible, solar panels, satellite dishes, and other similar roof-mounted mechanical equipment should be located away from front elevation street views. Skylights may be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color. Natural aluminum frames are not allowed.

E. LANDSCAPE DESIGN GUIDELINES

The Landscape Design Guidelines for THERMAL 551 reinforce the community's theme of "Lush Desert." The Landscape Design Guidelines are intended to create a sense of identity that links together the variety of residential and recreational land uses proposed for development within the THERMAL 551 community. As demonstrated by Figure IV-19, *Master Landscape Plan*, careful thought has been given to integrate the structural and aesthetic elements of a balanced, cohesive community. Thematic elements are major project improvements that occur at the community or neighborhood level and which assist in establishing the overall design theme for the THERMAL 551 Specific Plan. These major thematic elements include:

- Streetscapes
- Monumentation
- Edge Conditions
- Parks and Recreation
- Walls and Fences
- Lighting
- General Landscaping Requirements
- Plant Palette

These thematic elements occur throughout the community and unite THERMAL 551 under a common design vocabulary. General design guidelines and design criteria for the community theme elements are described throughout Section IV.E, *Landscape Design Guidelines*.

Portions of the THERMAL 551 community that function as gathering locations are subject to extensive Shade Standards to ensure residents and the public can comfortably enjoy the community's numerous recreational amenities and to minimize the amount of energy spent cooling buildings and cars (refer to Section IV.E.3, *Shade Standards*).

The Landscape Design Guidelines also incorporate the requirements of Zone D of the Jacqueline Cochran Regional Airport, as well as other Federal Aviation Administration (FAA) requirements for land uses and landscaping near airports. Requirements relating to Zone D Jacqueline Cochran Regional Airport, are described in Section IV.E.4, *Open Land Standards*. Requirements relating to other FAA regulations that are intended to minimize the attraction of birds, which may create a hazard to aircrafts, are described in Section IV.E.9, *Plant Palette*.

1. STREETS CAPES

The streetscapes for THERMAL 551 respond to the surrounding environment. The hierarchy of streets is visually reinforced by each roadway's setback and landscaping. Larger streets contain greater setbacks and more extensively landscaped parkways; in contrast, local roads are planned with slightly narrower setbacks and less prominent landscaping.

Streetscapes throughout the community should be planted with a combination of street trees, shrubs, and large masses of groundcovers. Streetscapes are intended to convey a sense of direction and permanence. The landscaping plant palette for the streetscapes links the roadways to the rest of the community by providing continuity throughout the entire community. Varied streetscapes are intended to create a high quality, visually pleasing experience at the pedestrian and vehicular level. In addition, streetscapes serve functional purposes, including screening undesirable views from public view.

Several types of streetscapes are proposed within the THERMAL 551 SPECIFIC PLAN, as shown in Figure IV-19, *Master Landscape Plan*. As illustrated in this exhibit, a hierarchy of streetscapes is provided and distinctive landscape treatments are planned for each roadway. Landscape treatments include elements such as landscaped medians, sidewalks, and parkway trees to enhance the roadways. Landscaping should consist of drought-resistant plants, colorful shrubs, and street trees. Streetscapes are provided as follows:

a. Arterial Highway (128' ROW) Streetscape – Avenue 60

As shown in Figure IV-20, *Arterial Highway (128' ROW) Streetscape – Avenue 60*, Avenue 60 features an 18-foot curbed and landscaped median. On either side of the roadway is a 5-foot meandering sidewalk within a 21-foot landscaped parkway. Drought-tolerant colorful shrubs and street trees shall be planted within the parkway. On the northern side of the roadway, a 30-foot CVWD easement is located adjacent to the landscaped parkway. This easement contains a 14-foot equestrian-friendly trail/service road. As part of this Specific Plan, half-width improvements to Avenue 60 are planned.






Adjacent to the CVWD easement are Open Space/Detention land uses. All Open Space/Detention land uses within the community are a minimum width of 75 feet and contain a series of detention basins with 10-foot wide bottoms, which shall be treated with water quality planting. Planting within these areas shall conform to the Open Land requirements for Zone D of the Jacqueline Cochran Regional Airport, as described in Section IV.E.4, *Open Land Requirements*. "Oasis"-style groupings of multi-trunk trees are permitted within the Open Space/Detention land uses to create visual interest at key locations (for example, adjacent to community entrances), as long as the spacing of these plantings conforms to Zone D and FAA requirements.

b. Arterial Highway (128' ROW) Streetscape – Polk Street





As shown in Figure IV-21, *Arterial Highway (128' ROW) Streetscape – Polk Street*, Polk Street features an 18-foot curbed and landscaped median. Adjacent to the curb is a 21-foot landscaped parkway with a 5-foot meandering sidewalk. Drought-tolerant colorful shrubs and street trees shall be planted within the parkway. As part of this Specific Plan, half-width improvements to Polk Street are planned.



STREETSCAPES

-  Arterial Highway (128' ROW) Streetscape
-  Major Highway (118' ROW) Streetscape
-  Modified Major Highway (101' ROW) Streetscape
-  Modified Collector Road (88' ROW) Streetscape
-  Collector Road (74' ROW) Streetscape

MONUMENTS

-  Primary Entry Monuments
-  Secondary Entry Monuments
-  Neighborhood Entry Monuments
-  Park Entry Monuments
-  Clubhouse Entry Monuments
-  Trail Entry Monuments

EDGE CONDITIONS

-  Residential - Open Space - Residential
-  Residential - Park/Detention
-  Residential - Irrigation Storage Pond
-  Residential - Open Space/Detention
-  Clubhouse - Irrigation Storage Pond

ROUNDBOUT

-  Potential Roundabout Location

FIGURE IV-19

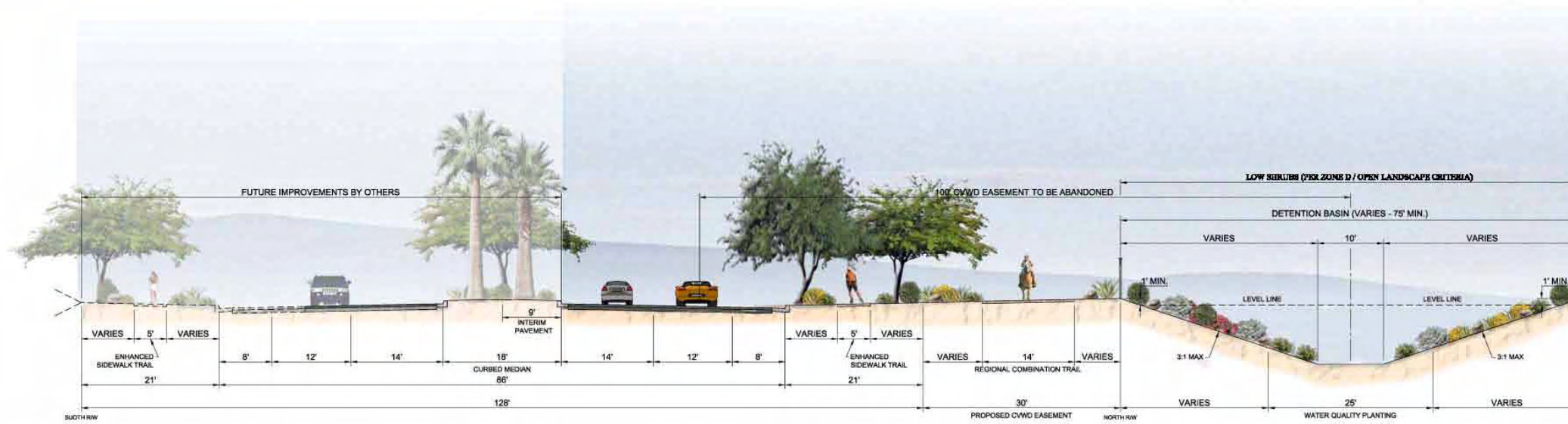


FIGURE IV-20

ARTERIAL HIGHWAY (128' ROW) STREETSCAPE - AVENUE 60

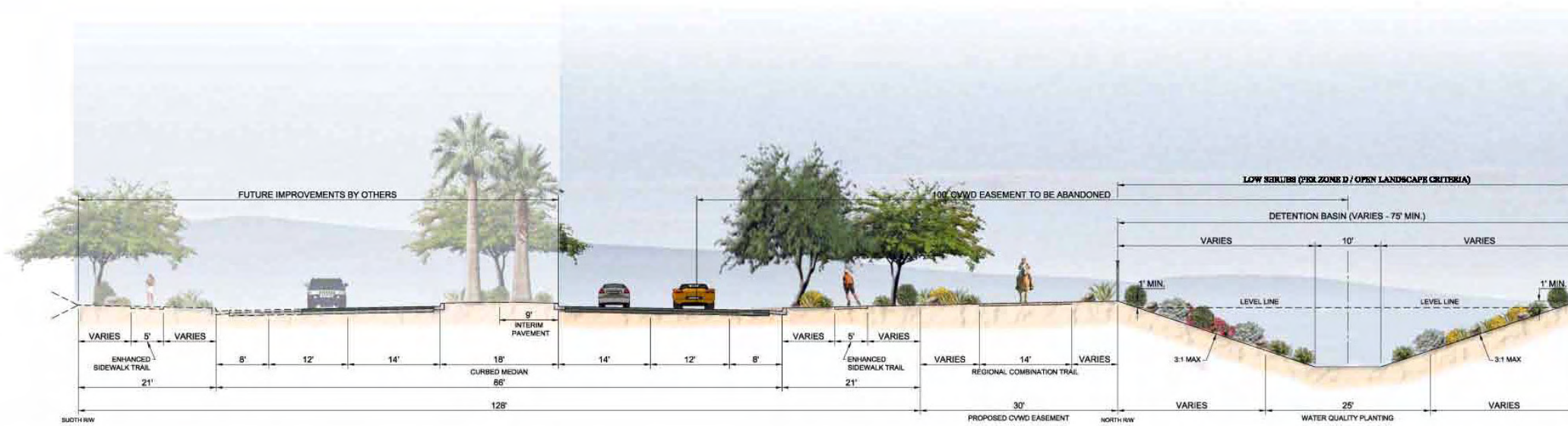


FIGURE IV-21

c. **Major Highway (118' ROW) Streetscape – Fillmore Street (From Avenue 60 to Approximately 2,050' North)**

As shown in Figure IV-22, *Major Highway (118' ROW) Streetscape – Fillmore Street (From Avenue 60 to Approximately 2,050' North)*, this section of Fillmore Street features a 12-foot painted median and a 5-foot meandering sidewalk within a 21-foot landscaped parkway. Drought-tolerant colorful shrubs and street trees shall be planted within the parkway. As part of this Specific Plan, half-width improvements to this portion of Fillmore Street are planned.

d. **Modified Major Highway (101' ROW) Streetscape – Fillmore Street (From Avenue 60 to Approximately 2,050' North)**

As shown in Figure IV-23, *Modified Major Highway (101' ROW) Streetscape – Fillmore Street (Fillmore Street From Approximately 2,050' North of Avenue 60 to Northern Project Boundary)*, this portion of Fillmore Street contains a 12-foot painted median. On the western side of the roadway is a 15-foot landscaped parkway, which includes a 5-foot meandering sidewalk. On the eastern side of the roadway is a 5-foot sidewalk within a 10-foot landscaped parkway. The Coachella Valley Stormwater Channel earthen embankment containing a 20-foot Class I Bicycle/Pedestrian Trail is adjacent to this section of Fillmore Street. Drought-tolerant colorful shrubs and street trees shall be planted within the landscaped parkways.

e. **Secondary Highway (100' ROW) Streetscape – Avenue 58**

As shown in Figure IV-23B, *Secondary Highway (100' ROW) Streetscape – Avenue 58*, this portion of Avenue 58 contains an 18-foot landscaped parkway on the southern side of the roadway, which includes a 5-foot meandering sidewalk. On the northern side of the roadway is a 5-foot sidewalk within an 18-foot landscaped parkway; however, these improvements would be constructed by others. Drought-tolerant colorful shrubs and street trees shall be planted within the landscaped parkways.

f. **Modified Collector Road (88' ROW) Streetscape – Orange Avenue (South of Avenue 58)**

The streetscape for the portion of Orange Avenue that is south of Avenue 58 is depicted on Figure IV-24, *Modified Collector Road (88' ROW) Streetscape – Orange Avenue (South of Avenue 58)*. Orange Avenue contains a 14-foot curbed and landscaped median. A 15-foot landscaped parkway with a 5-foot meandering sidewalk shall be provided on either side of the roadway. Adjacent to each 15-foot parkway is a 25-foot expanded parkway, which provides a buffer between the roadway and adjacent residential neighborhoods and park. Landscaping shall consist of drought-resistant plants, colorful shrubs, and street trees. Where Orange Avenue is adjacent to the Public Park, the expanded parkway may be located within the park, as opposed to being a separate landscape easement.

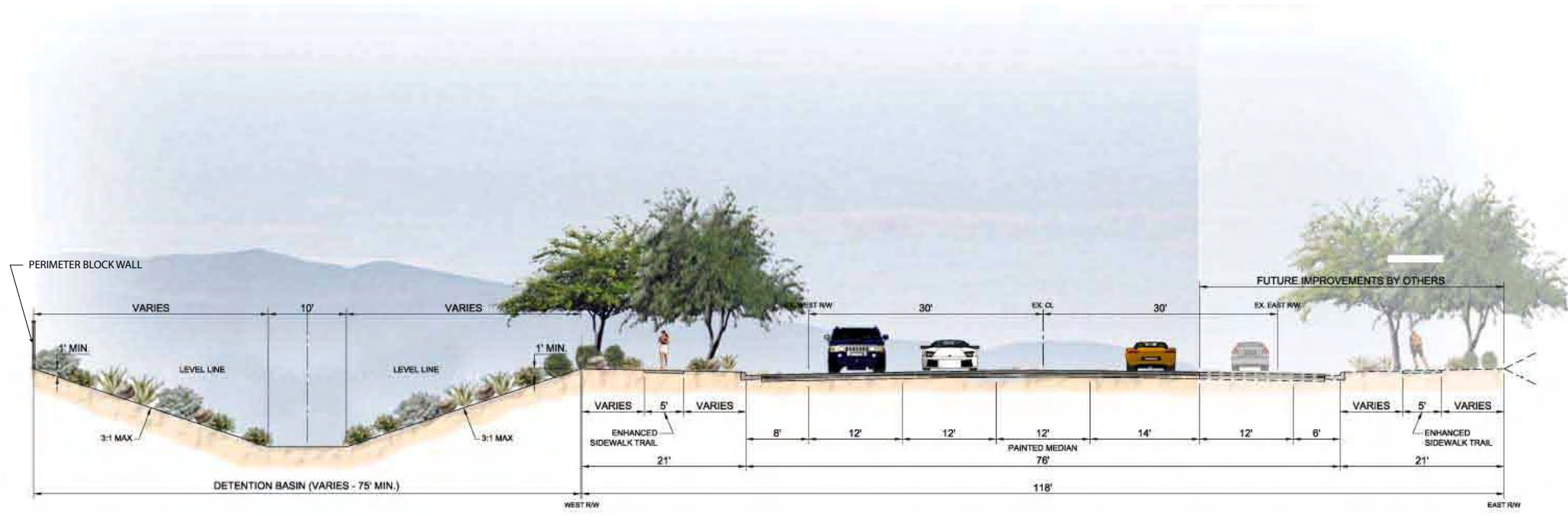
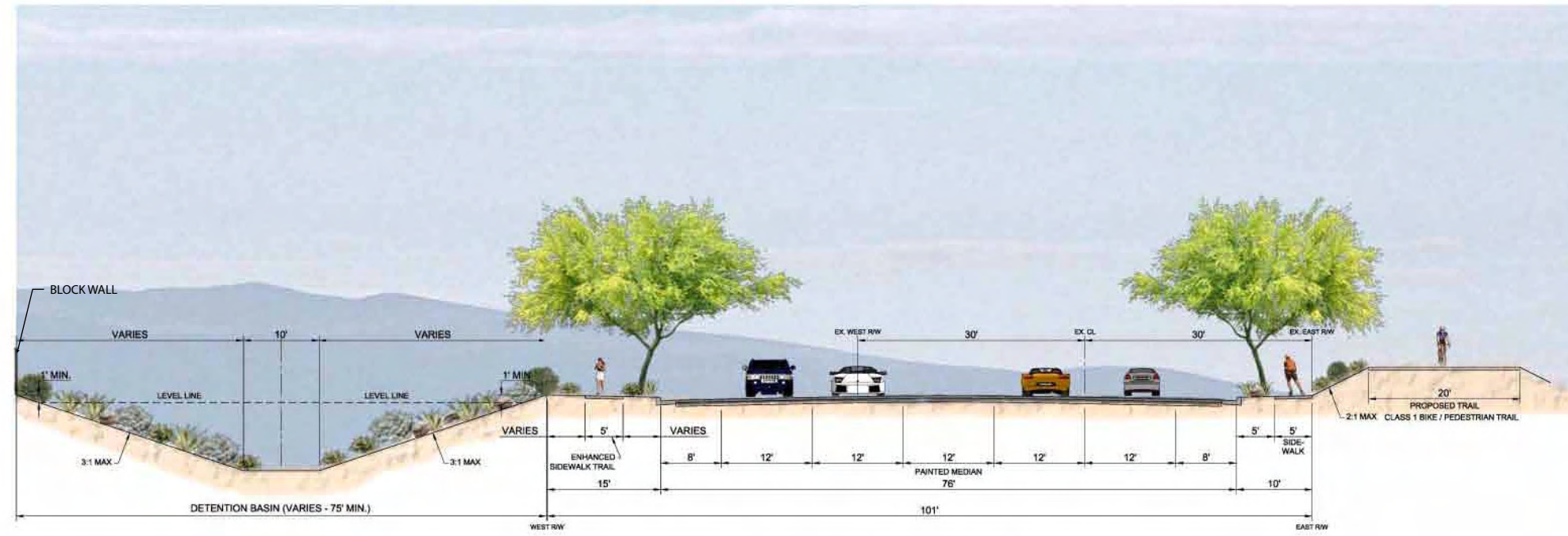


FIGURE IV-22
 MAJOR HIGHWAY (118' ROW) STREETScape - FILLMORE STREET
 (FROM AVENUE 60 TO APPROX. 2,050 NORTH)



FILLMORE STREET
FROM 2050' NORTH OF AVE. 60 TO NORTHERN PROJECT BOUNDARY
MODIFIED MAJOR HIGHWAY



FIGURE IV-23A
MODIFIED MAJOR HIGHWAY (101' ROW) STREETScape - FILLMORE STREET
(FILLMORE STREET FROM APPROX. 2,050' NORTH OF AVENUE 60 TO NORTHERN PROJECT BOUNDARY)

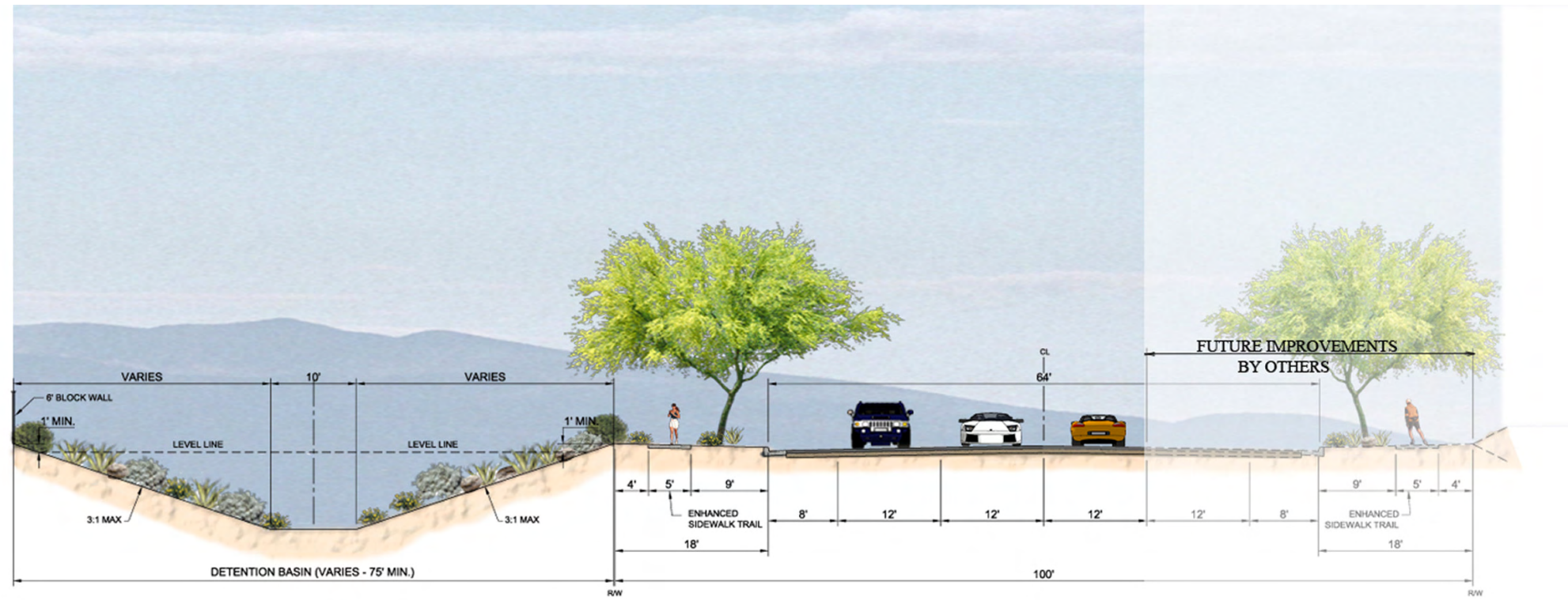
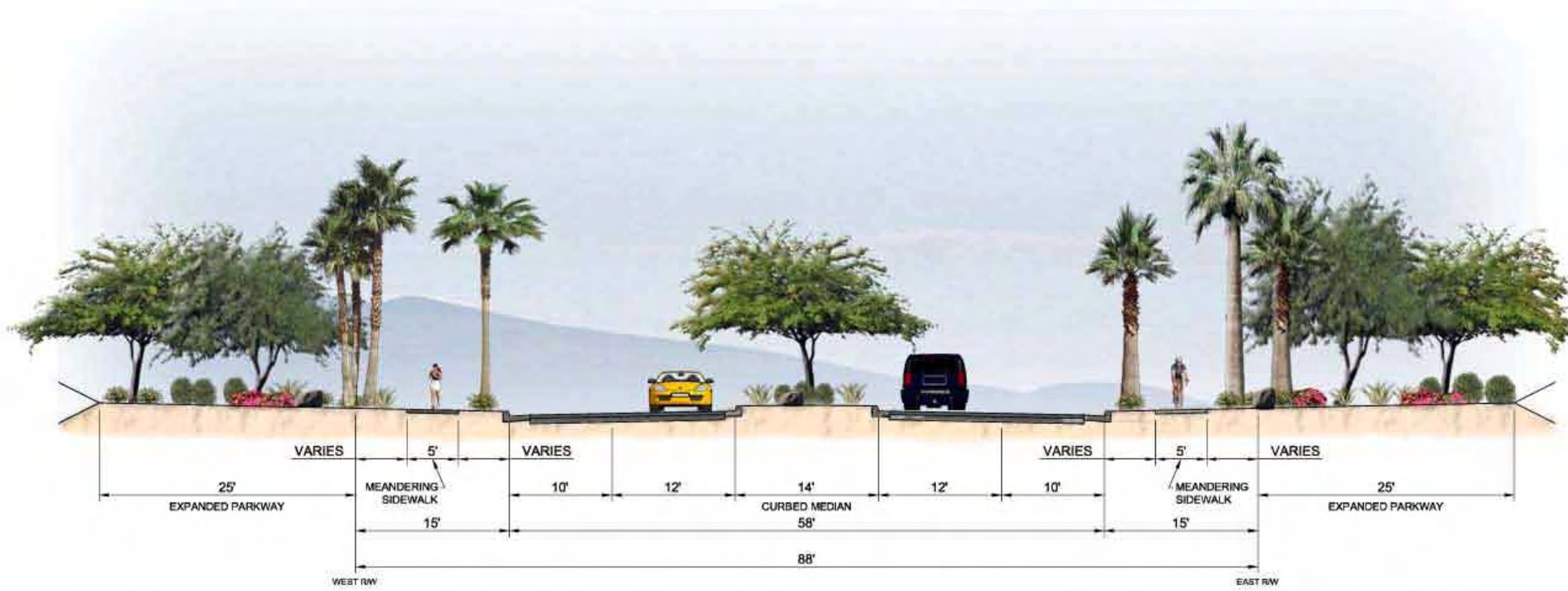


FIGURE IV-23b
SECONDARY HIGHWAY (100' ROW) STREETScape - AVENUE 58



When adjacent to park (P.A. 22 & 26), expanded parkway may be contained within the park area and enhanced sidewalk trail may undulate into the park.



FIGURE IV-24

MODIFIED COLLECTOR ROAD (88' ROW) STREETScape - ORANGE AVENUE (SOUTH OF AVENUE 58)

g. Modified Collector Road (88' ROW) Streetscape – Avenue 59 (West of Street “A”) and Street “A”

This portion of Avenue 59 and Street “A” shall consist of a streetscape as depicted in Figure IV-25, *Modified Collector Road (88' ROW) Streetscape – Avenue 59 (West of Street “A”) and Street “A”*. This portion of Avenue 59 and Street “A” contains a 14-foot curbed and landscaped median. A 15-foot landscaped parkway with a 6-foot meandering sidewalk shall be provided on either side of the roadway. Adjacent to each 15-foot parkway is a 15-foot expanded parkway, which provides a buffer between the roadway and adjacent residential neighborhoods and parks. Landscaping shall consist of drought-resistant plants, colorful shrubs, and street trees. Where Avenue 59 and Street “A” are adjacent to the Public Park, the expanded parkways may be located within the park, as opposed to being separate landscape easements.

h. Collector Road (74' ROW) Streetscape –Orange Avenue (North of Avenue 58)

As shown in Figure IV-26, *Collector Road (74' ROW) Streetscape –Orange Avenue (North of Avenue 58)*, the section of Orange Avenue north of Avenue 58 is designated as a Collector Road. Adjacent to either side of this segment of Orange Avenue is a 15-foot landscaped parkway with a 6-foot meandering sidewalk. Drought-tolerant colorful shrubs and trees shall be planted within the parkway. Half-width improvements to this portion of Orange Avenue are planned.

i. Collector Road (74' ROW) Streetscape – Avenue 59 (East of Street “A”)

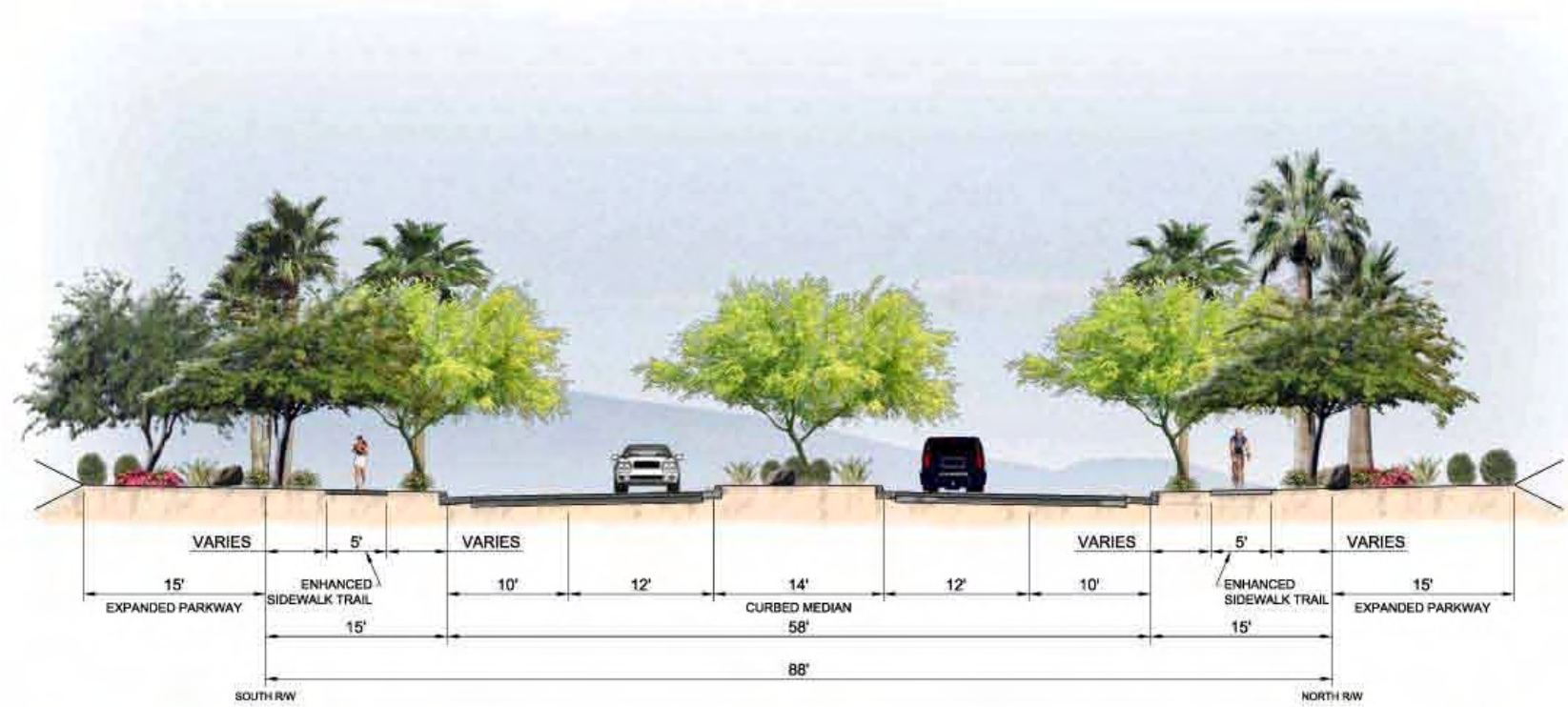
As shown in Figure IV-27, *Collector Road (74' ROW) Streetscape – Avenue 59 (East of Street “A”)*, this portion of Avenue 59 contains full-width improvements as a 74-foot Collector Road, which includes a 15-foot landscaped parkway with a 6-foot meandering sidewalk. Drought-tolerant colorful shrubs and trees shall be planted within the parkway.

j. Local Road Streetscape

As shown in Figure IV-28, *Local Road (56' ROW) Streetscape*, local roads consist of a 5-foot landscaped parkway and a 5-foot sidewalk.

k. Private Drive Streetscape

Private drives with a minimum pavement width of 22 feet are provided for rear-loaded and cluster homes.



When adjacent to park (P.A. 22 & 26), expanded parkway may be contained within the park area and enhanced sidewalk trail may undulate into the park.

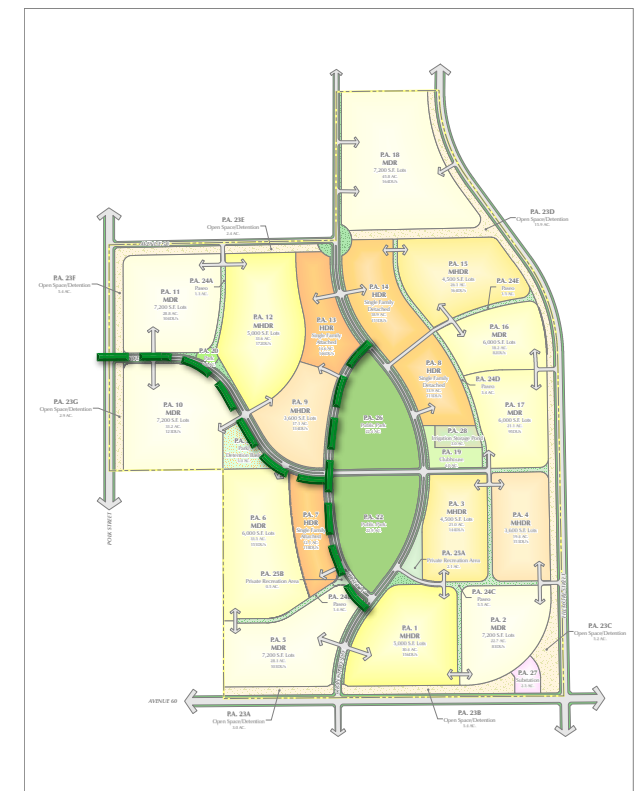
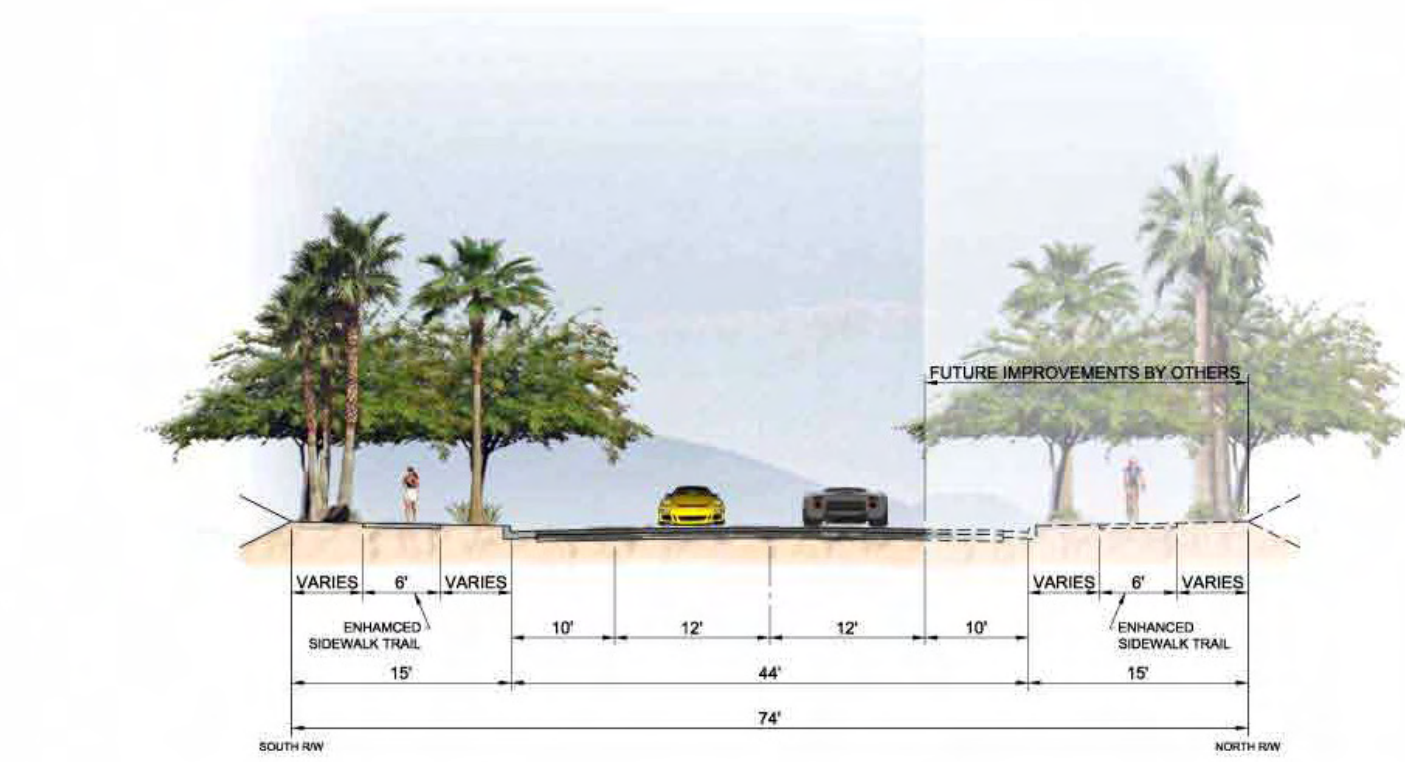


FIGURE IV-25
MODIFIED COLLECTOR ROAD (88' ROW) STREETSCAPE -
AVENUE 59 (WEST OF ORANGE AVENUE) AND STREET "A"



* AVENUE 58 IMPROVEMENTS WILL EXTEND TO 49' OF THE 74' R/W, THE NORTHERLY 25' OF THE ULTIMATE IMPROVEMENTS WILL BE IMPROVED BY OTHERS. THIS WILL BE THE SAME FOR ORANGE AVE. (NORTH OF AVE. 58) EXCEPT THAT THE 25' IMPROVEMENT BY OTHERS WILL BE ON THE WEST SIDE OF THE ULTIMATE R/W.

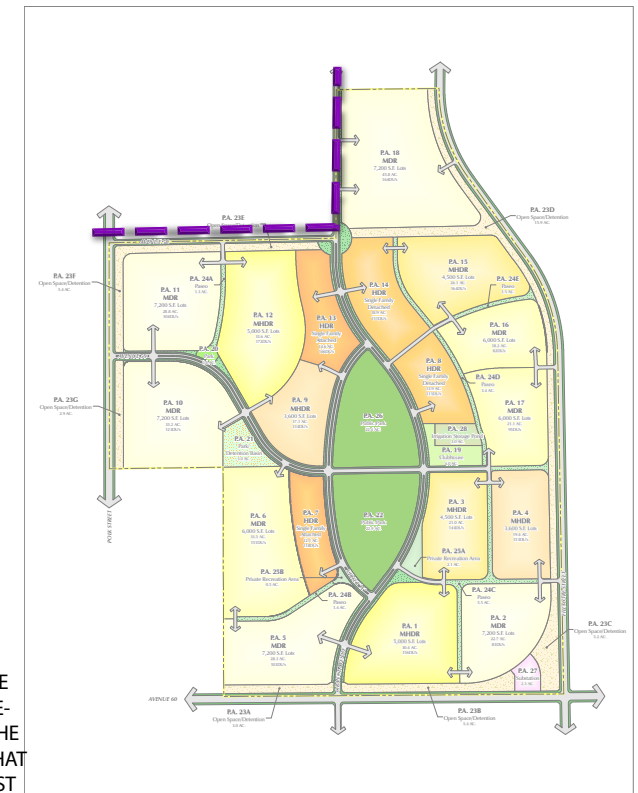
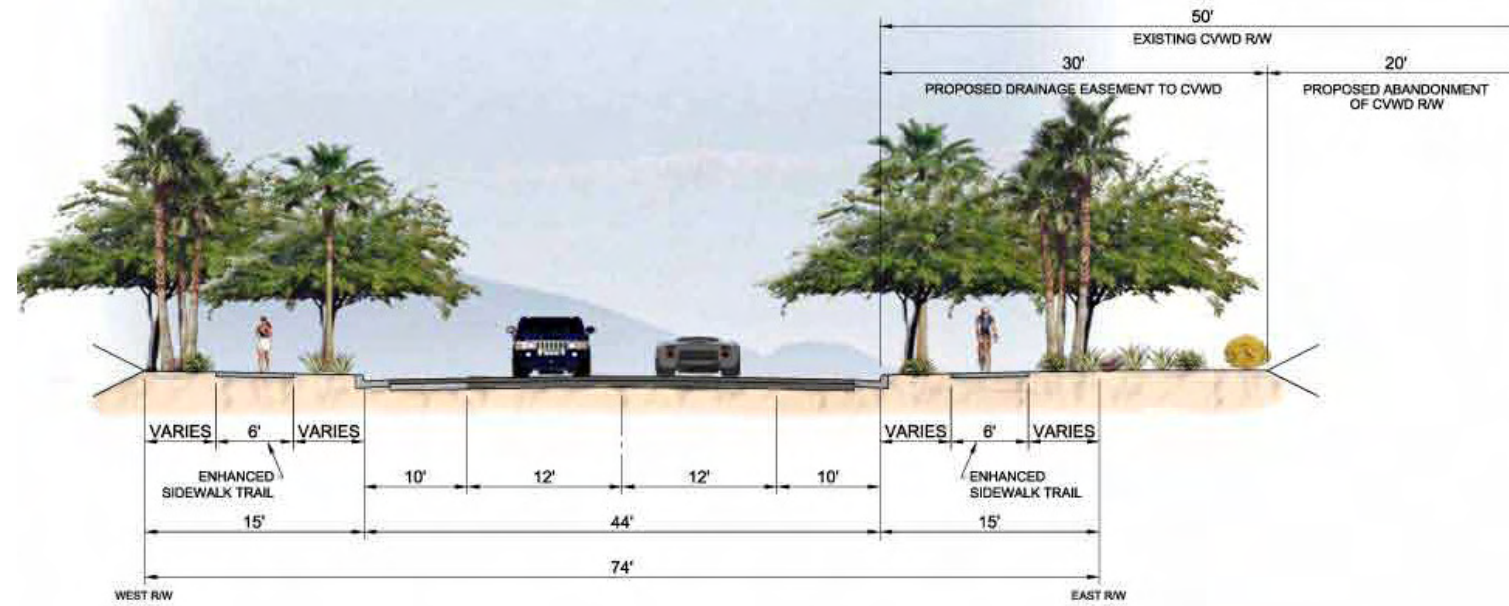


FIGURE IV-26
COLLECTOR ROAD (74' ROW) STREETSCAPE -
AVENUE 58 AND ORANGE AVENUE (NORTH OF AVENUE 58)



Enhanced sidewalk trail when adjacent to park (P.A. 22 & 26) will be located within the park.

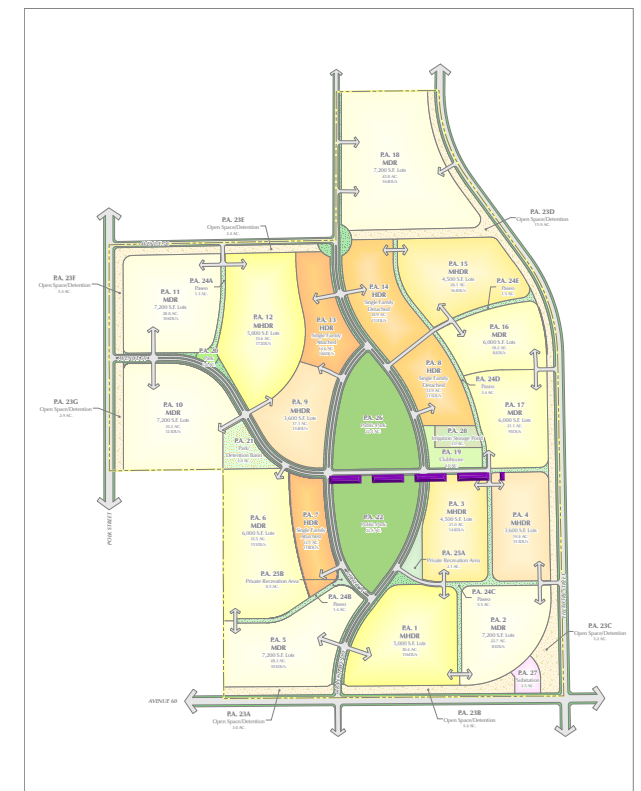


FIGURE IV-27
COLLECTOR ROAD (74' ROW) STREETSCAPE -
AVENUE 59 (EAST OF STREET "A")

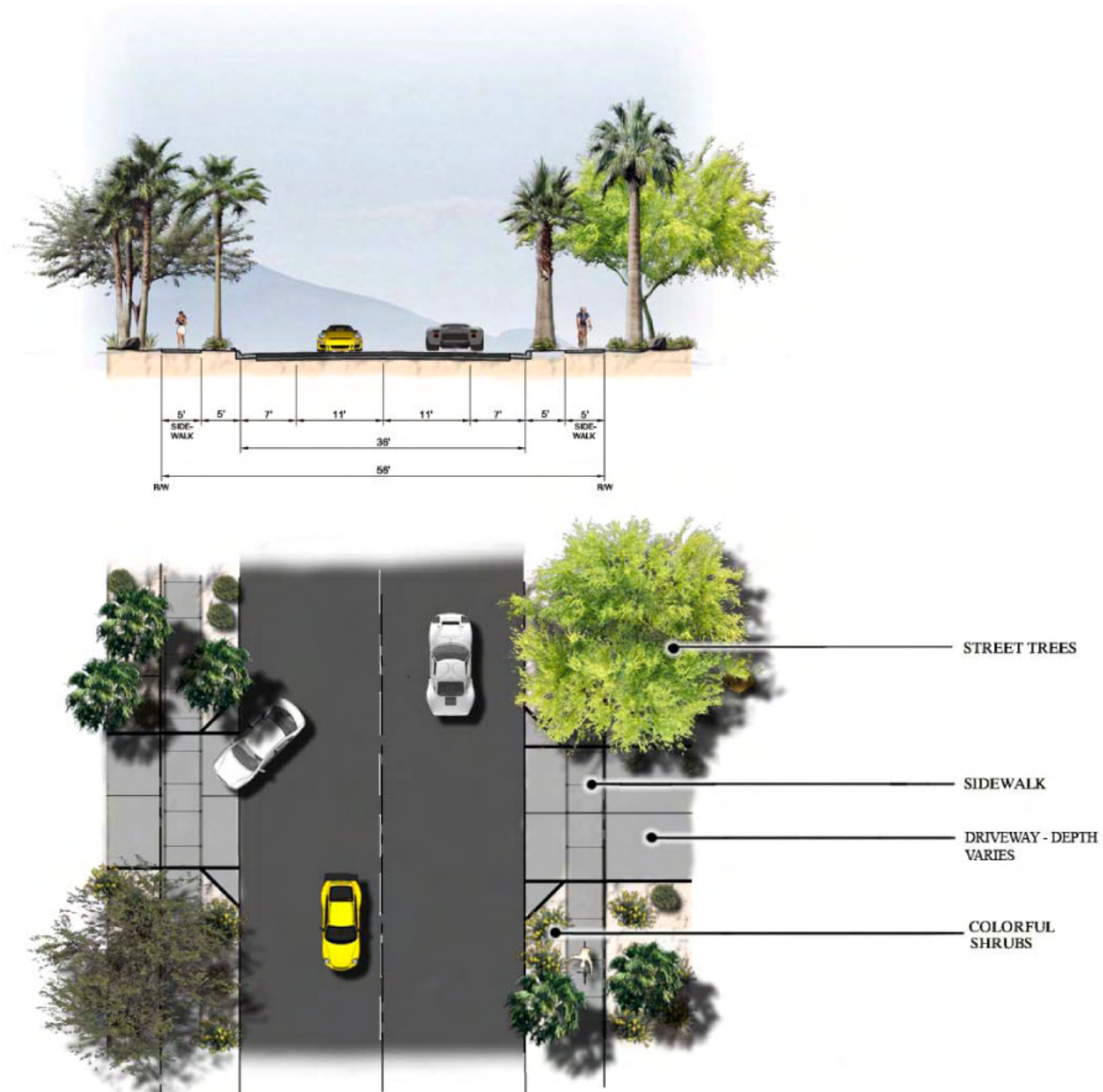


FIGURE IV-28

LOCAL ROAD (56' ROW) STREETSCAPE

I. Roundabout Streetscape

The THERMAL 551 SPECIFIC PLAN permits the development of roundabouts at key intersections surrounding the Public Park (Planning Areas 22 and 26). As shown in Figure IV-29, *Conceptual Roundabout Streetscape*, roundabouts shall consist of a central landscaped median with dry stream rock cobble and desert accent trees. The roundabouts shall also consist of decorative paving, thereby creating an aesthetic appearance when the roundabout is viewed from the Public Park and surrounding residences.

m. Cul-de-Sac Streetscape

As shown on Figure IV-30, *Cul-De-Sac Streetscape*, cul-de-sacs are lined with street trees and feature accent trees at the terminus. In some instances, cul-de-sacs may abut the paseos in Planning Areas 24A, 24B, 24C, 24D, and 24E. To ensure the aesthetic appeal of these paseos and provide a level of community security and safety, the following design considerations shall be incorporated into the layout of cul-de-sacs adjacent to paseos:

- Cul-de-sacs should open to the paseo, and access from the road to the paseo shall not be obstructed by a wall or fence.
- Cul-de-sacs abutting a paseo should be staggered whenever feasible to maximize the amount of the paseo that is adjacent to the roadway.
- Street-facing homes shall feature view fencing or combination view fence/block walls along the side yard abutting the paseo.
- Alley-loaded or rear-loaded homes should be configured so the unit fronts the paseo area.
- Trail connections shall be provided whenever a cul-de-sac abuts a paseo.

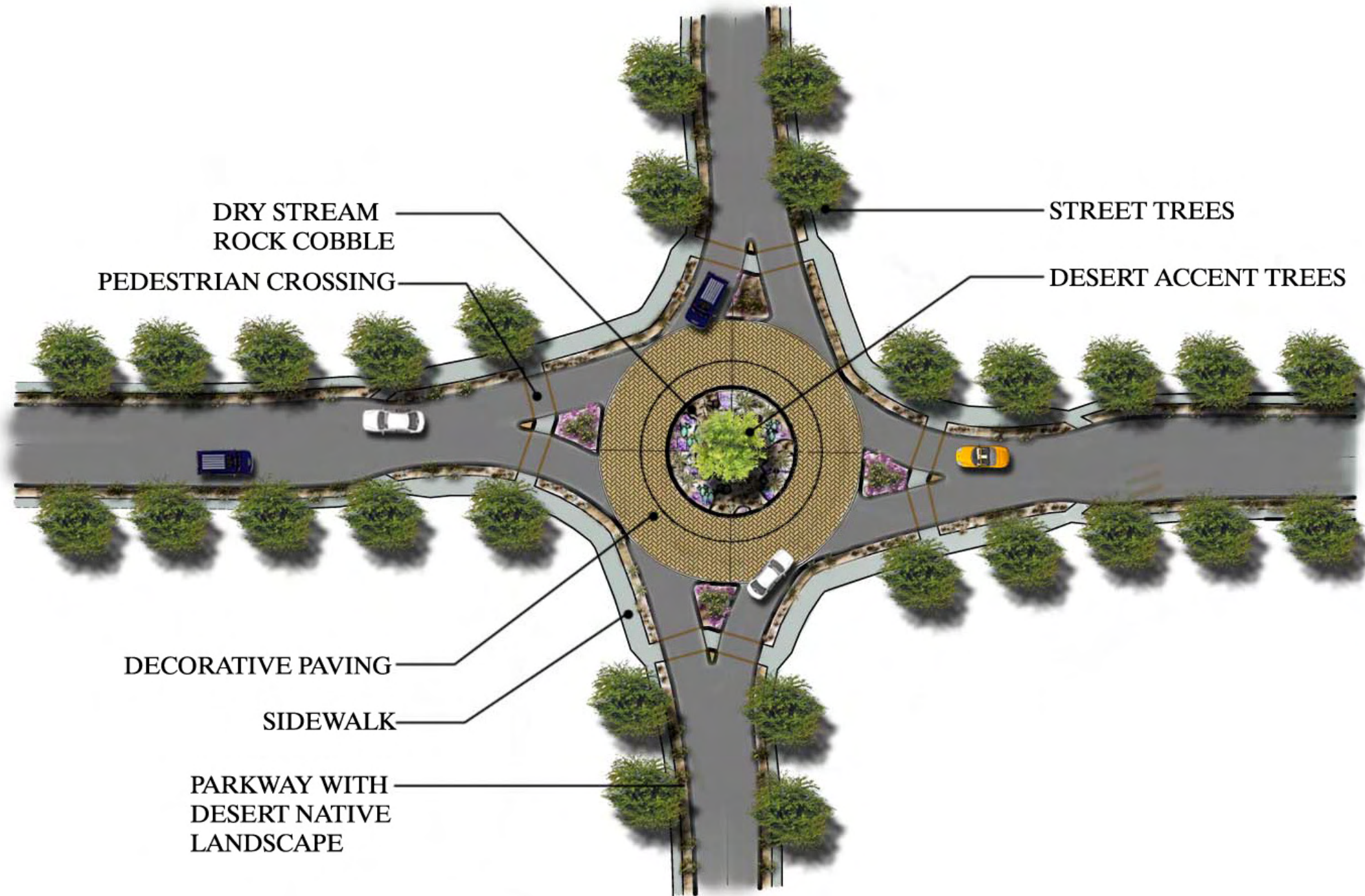


FIGURE IV-29

CONCEPTUAL ROUNDABOUT STREETSCAPE

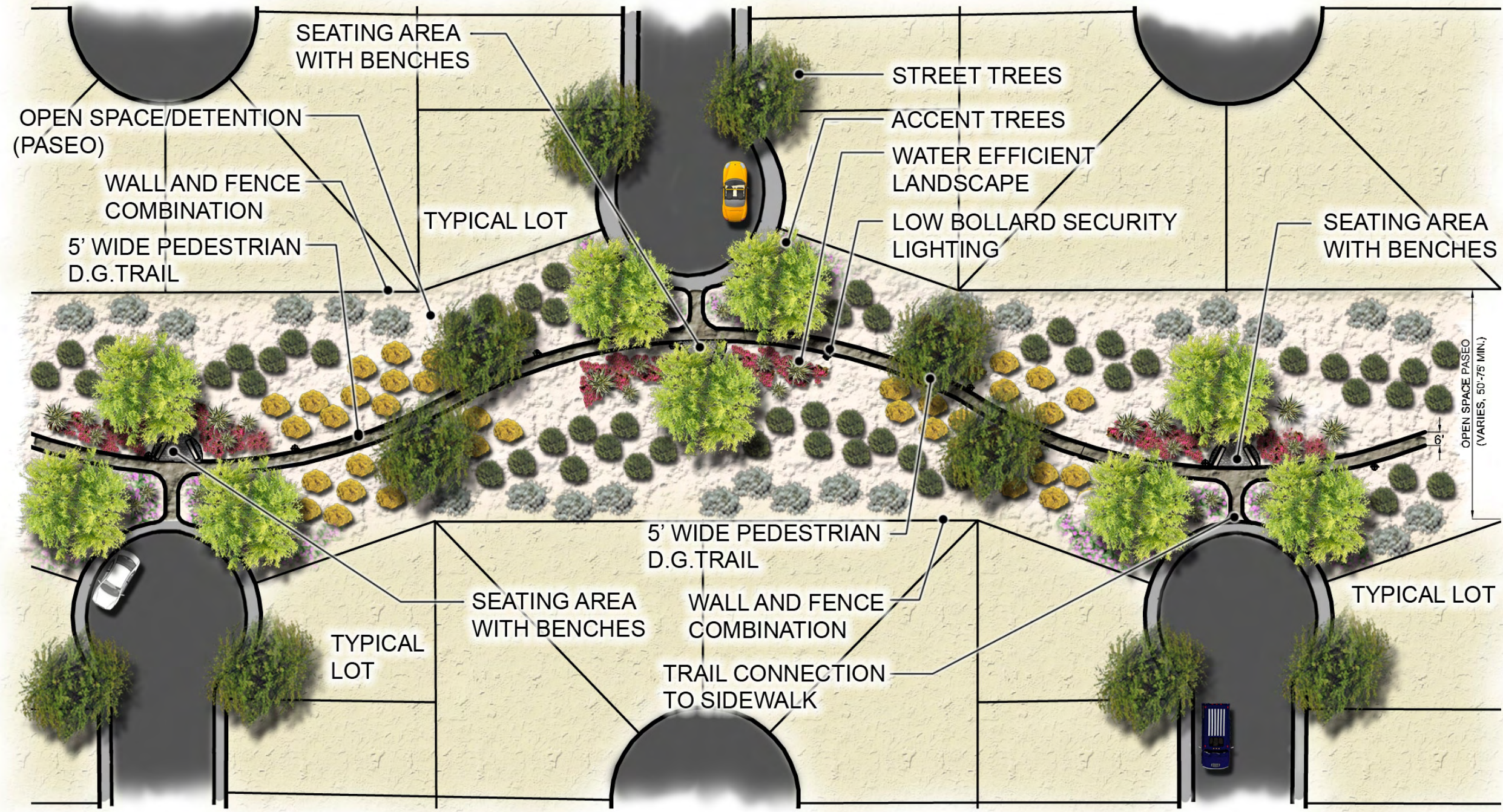


FIGURE IV-30

2. MONUMENTATION

To identify THERMAL 551 and individual neighborhoods within the community, a hierarchy of entry monumentation is provided as described in the following text and exhibits. It is the intent of these entry monuments to identify the project, and to establish a theme consistent with the overall design concept. Careful consideration has been given to the design of community entries. The design intent is to create distinctive visual entrances into the project and to provide an entry statement emphasizing the community theme of “Lush Desert.”

The following monumentation complements and reinforces the general landscape theme, establishes the character of the community, and provides a prominent reminder of the quality and distinctiveness of THERMAL 551. The hierarchy of entry monumentation consists of Primary, Secondary, Neighborhood, Park, Trail, and Clubhouse monuments. All of the entry monuments are comprised of a blending of hardscape materials, signage, and landscaping. Monument signage should be compatible with the character of the community but flexible enough to respond to the individual contexts. Logos, type styles, and color schemes should be consistent throughout the area being identified. Monument signs shall vary in size and detail in a manner that reflects their relative importance within the signage hierarchy.

a. Primary Entry Monumentation

Primary entry monumentation is located at the intersection of Avenue 59 and Polk Street. As shown on Figure IV-31, *Primary Entry Monument – Elevation and Plan View*, an entry sign is situated within the landscaped median. The 5.5-foot tall entry sign is flanked by two ledge stone veneer capped towers and illuminated with well lights. On the other side of the roadway is an 8.0-foot tall entry gateway covered by a tile roof. This entry gateway extends over a 5-foot meandering sidewalk within the public-right-of-way of Avenue 59. Adjacent to the entry gateway is a low masonry concrete wall. The entry gateway and masonry concrete wall feature ledge stone veneer similar to that on the entry sign. All materials and colors shall be natural or nature-inspired and earth-toned. Beyond the primary entrance structure and low wall are accent trees, preferably palms; and in front of the walls are colorful, drought-resistant shrubs. At the Primary Entry at the intersection of Avenue 59 and Polk Street, Avenue 59 shall contain four vehicular travel lanes and a landscaped median to accommodate turning lanes and merging lanes. After a minimum length of 350 feet, Avenue 59 shall taper down to the Modified Collector Road cross-section depicted in Figure II-3B.

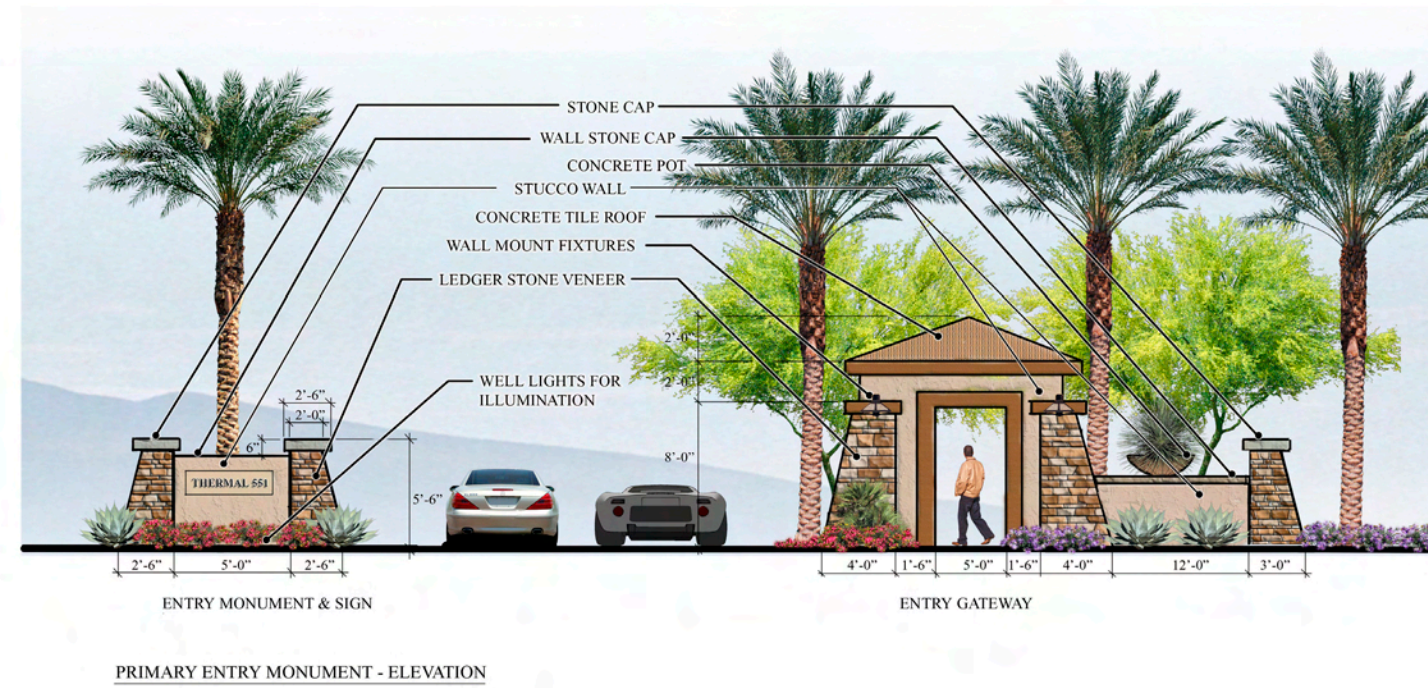


FIGURE IV-31

PRIMARY ENTRY MONUMENT - ELEVATION AND PLAN VIEW

b. Secondary Entry Monumentation

Secondary entries are located at the intersection of Orange Avenue and Avenue 58 and at the intersection of Orange Avenue and Avenue 60. Similar to the primary entry, secondary entries consist of a 5.5-foot tall entry sign is flanked by two ledge stone veneer capped towers and illuminated with well lights, as shown in Figure IV-32, *Secondary Entry Monuments – Elevation*, and Figure IV-33, *Secondary Entry Monuments – Plan View at Orange Avenue and Avenue 58 and Plan View at Orange Avenue and Avenue 60*. On the other side of the roadway is an 11.0-foot tall, 18.0-foot wide wooden trellis that extends over a 5-foot meandering sidewalk within the public-right-of-way of Orange Avenue. All materials and colors shall be natural or nature-inspired and earth-toned. Beyond the secondary entrance structure are palm, date grove, and canopy trees and colorful, drought-resistant shrubs. The secondary entry at Orange Avenue and Avenue 60 also features entrance paving.

c. Neighborhood Entry Monumentation

As shown in Figure IV-19, neighborhood entries are located at twenty-one points within the community. Neighborhood entries are situated along local roads providing access to neighborhoods. Neighborhood entries are similar in style to the primary and secondary monuments, but on a smaller scale. Figure IV-34, *Neighborhood Entry Monuments – Elevation and Plan View*, illustrate the design for neighborhood entries, which consist of an entry sign is flanked by two ledge stone veneer capped towers and illuminated with well lights. All materials and colors shall be natural or nature-inspired and earth-toned. Colorful, drought-resistant shrubs and accent trees are placed immediately adjacent to or behind neighborhood entries.

d. Park Entry Monumentation

Park entries are placed around the public park in Planning Area 22 and 26, including at the intersection of Street “A” and Avenue 59; at the intersection of Orange Avenue and Avenue 59; and at the northern and southern intersections of Street “A” and Orange Avenue. As shown in Figure IV-35, *Park Entry Monument and Plan View*, this monumentation consists of a 4-foot, 6-inch entry sign flanked by two ledge stone veneer capped towers and illuminated with well lights. All materials and colors shall be natural or nature-inspired and earth-toned. Colorful, drought-resistant shrubs and accent trees are placed immediately adjacent to or behind the clubhouse entry.

e. Clubhouse Entry Monumentation

As shown in Figure IV-19, a clubhouse entry monument is provided at the intersection of Orange Avenue and Avenue 59. As shown in Figure IV-36, *Clubhouse Entry Monument and Plan View*, this monumentation consists of a 4-foot, 8-inch entry sign flanked by two ledge stone veneer capped towers and illuminated with well lights. All materials and colors shall be natural or nature-inspired and earth-toned. Colorful, drought-resistant shrubs and accent trees are placed immediately adjacent to or behind the clubhouse entry.

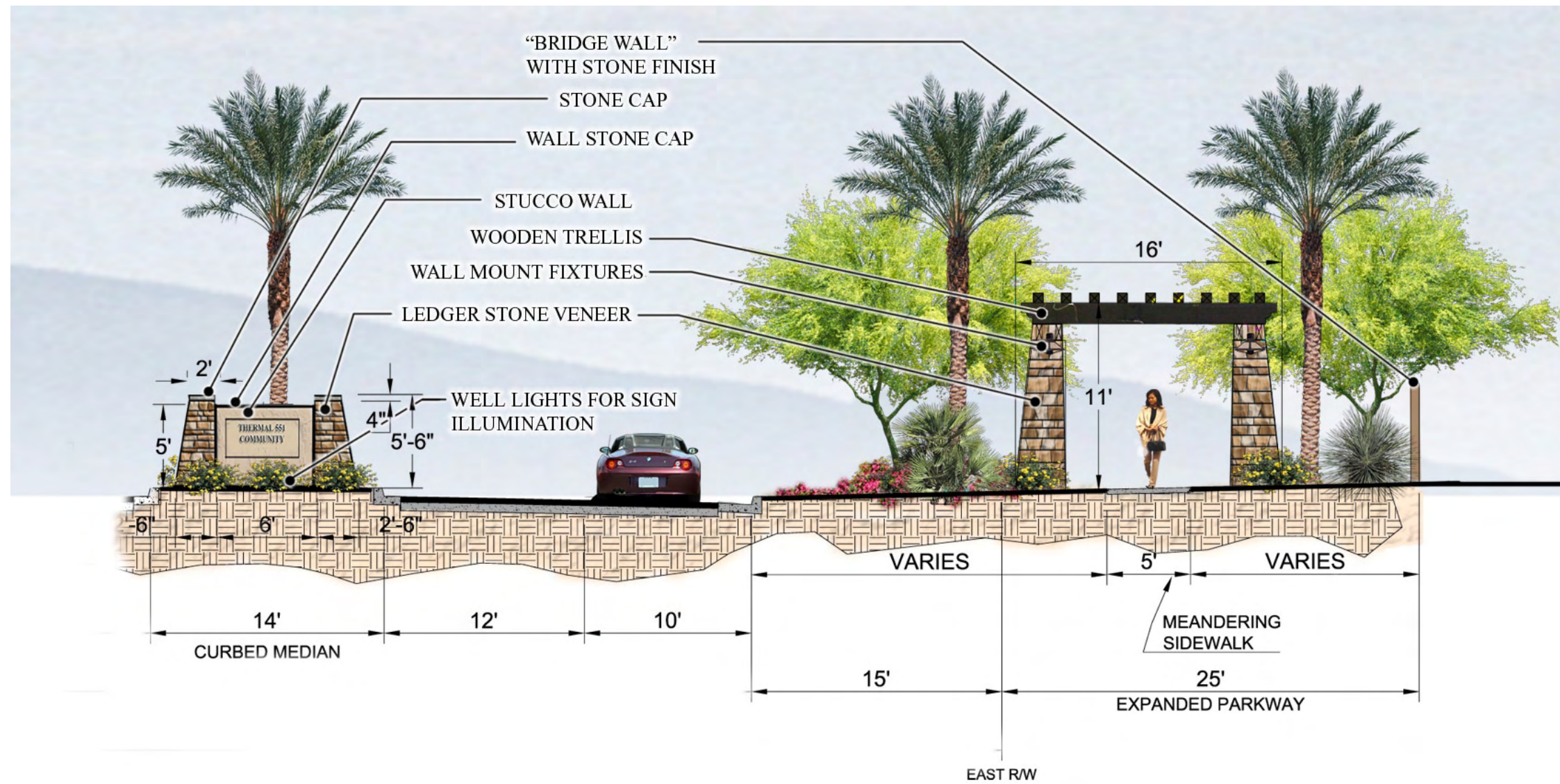
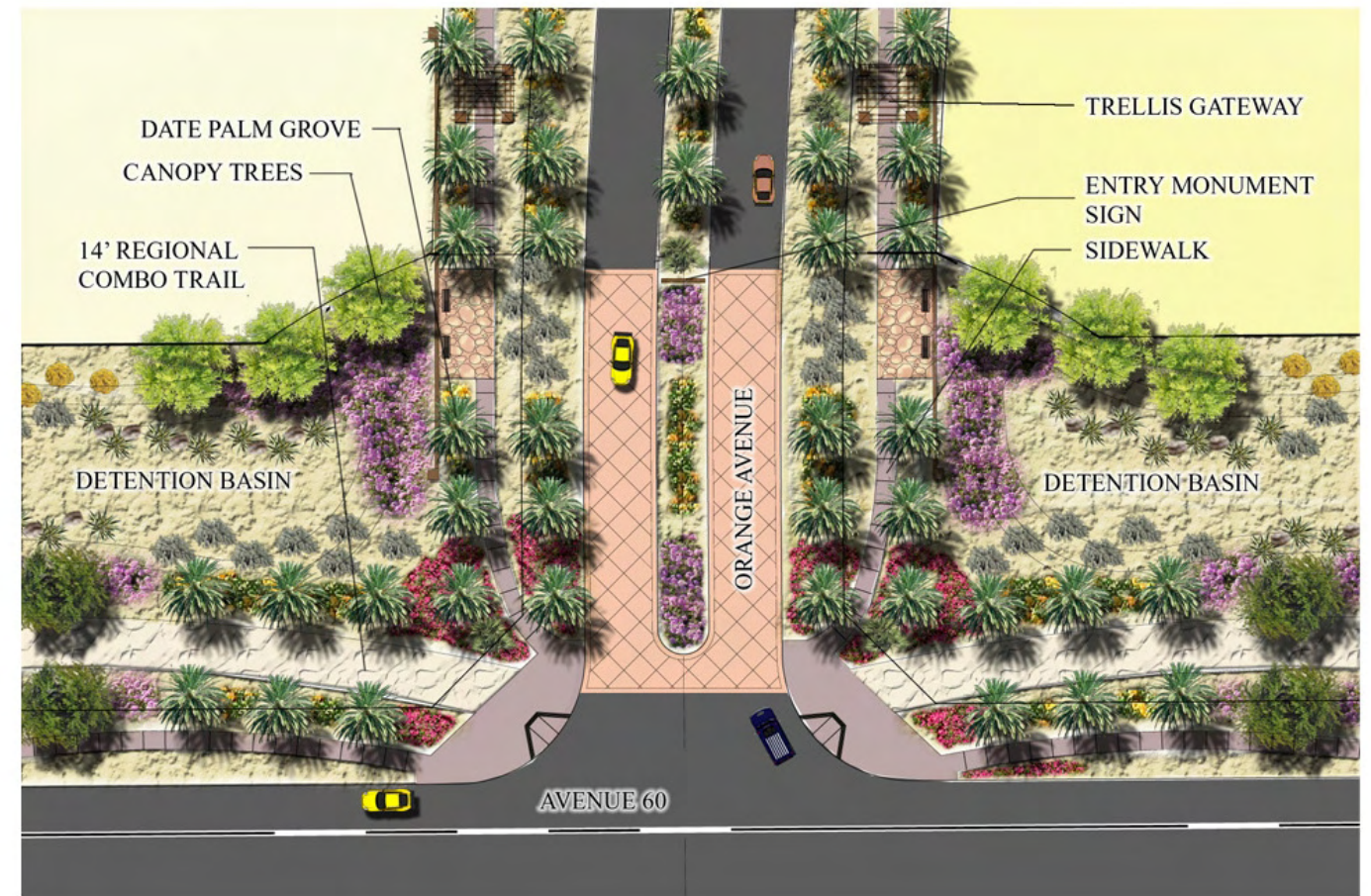


FIGURE IV-32



Orange Avenue and Avenue 58



Orange Avenue and Avenue 60

FIGURE IV-33
SECONDARY ENTRY MONUMENTS - PLAN VIEW AT ORANGE AVENUE AND AVENUE 58
AND PLAN VIEW AT ORANGE AVENUE AND AVENUE 60

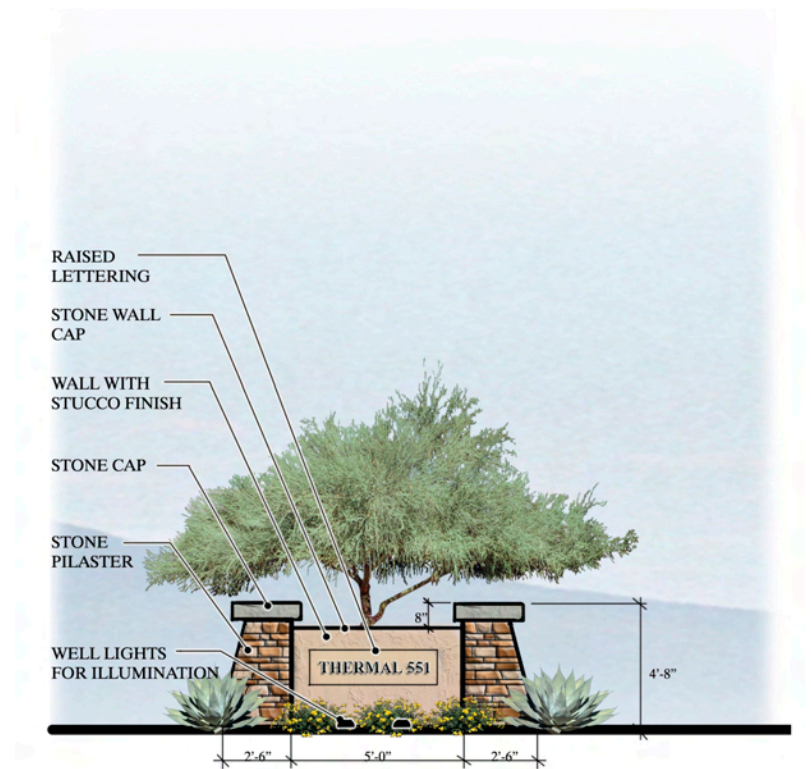
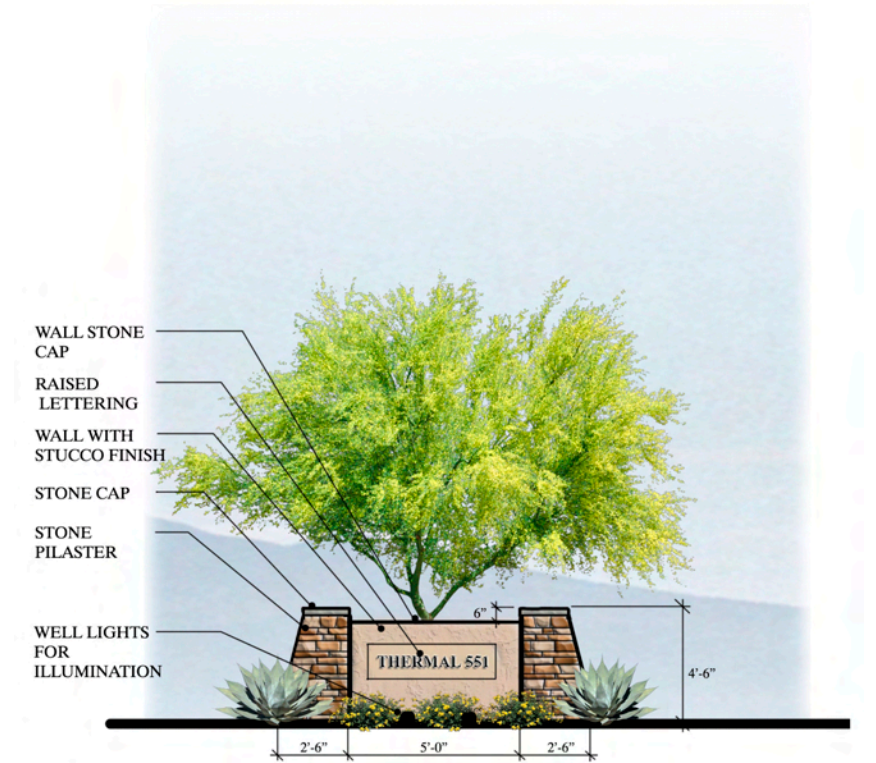
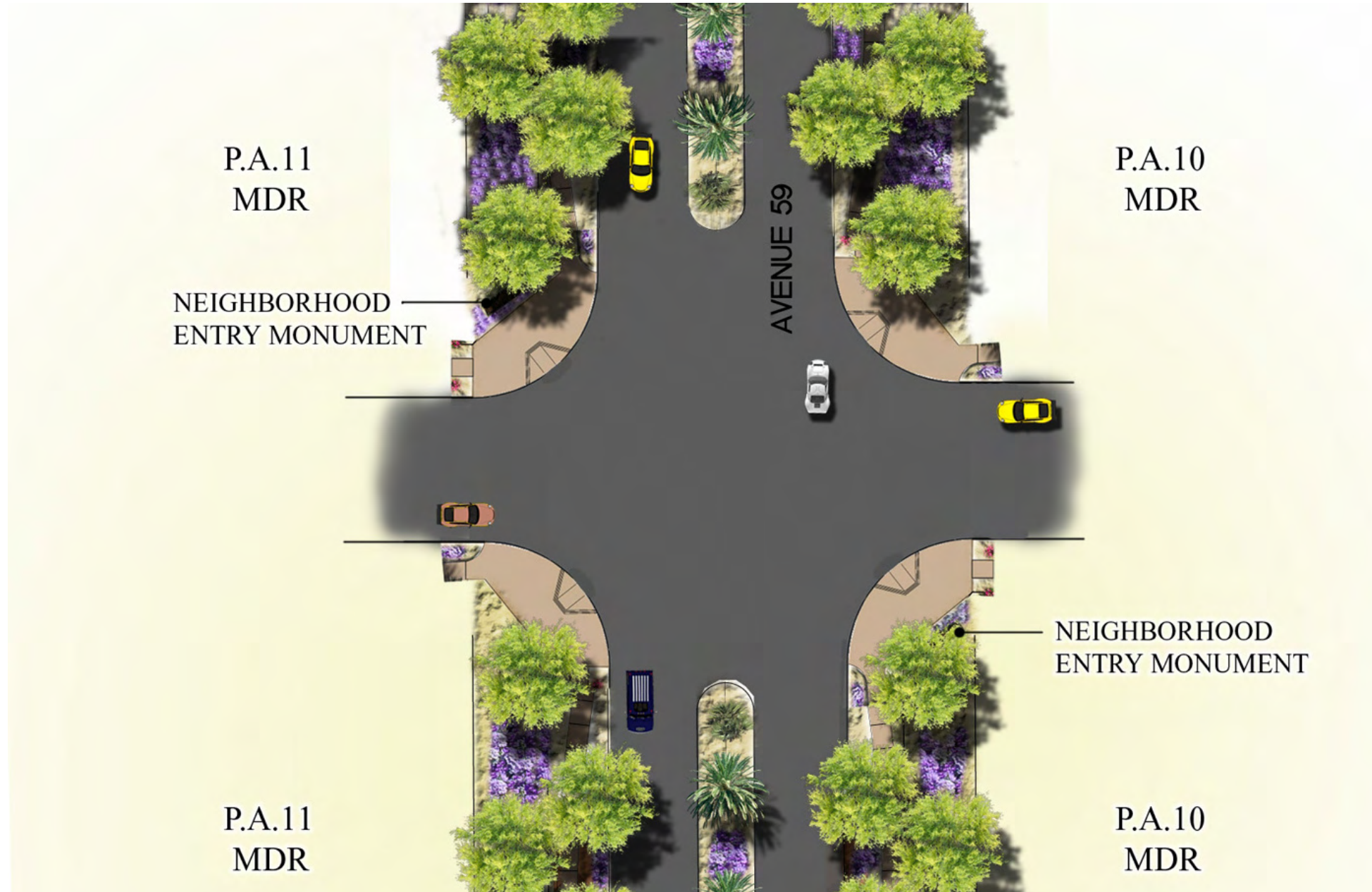


FIGURE IV-34

NEIGHBORHOOD ENTRY MONUMENTS - ELEVATIONS AND PLAN VIEW

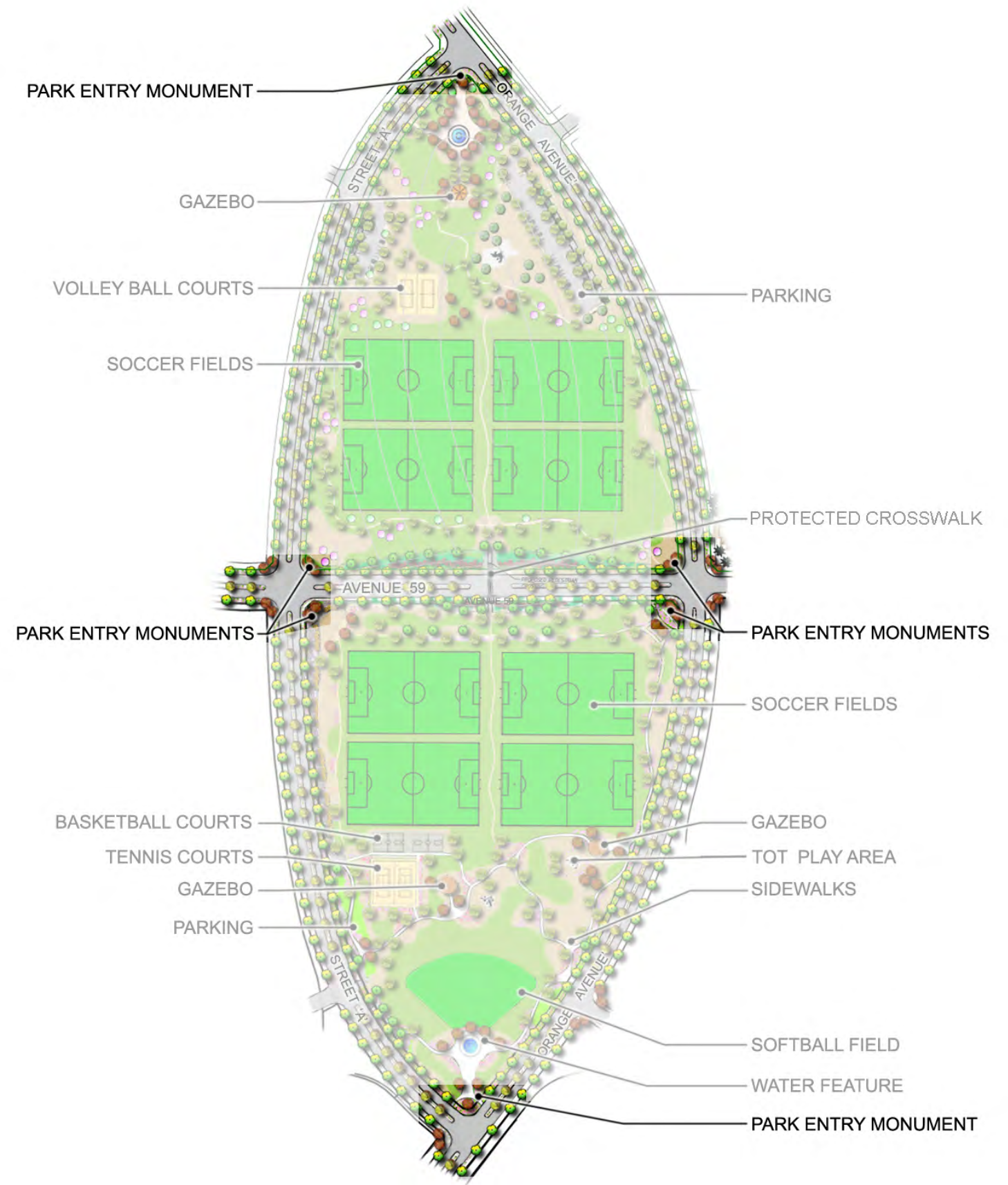
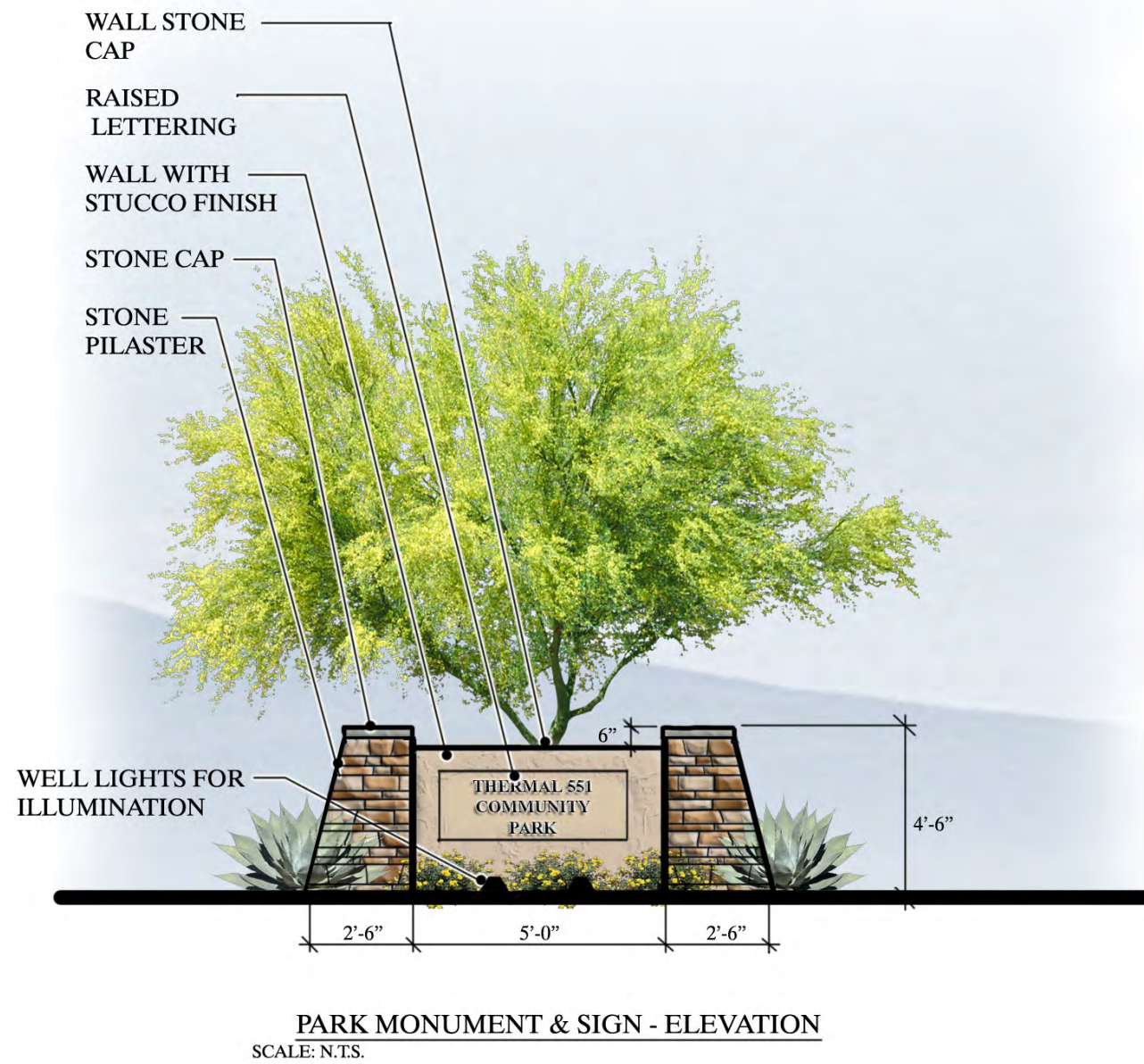
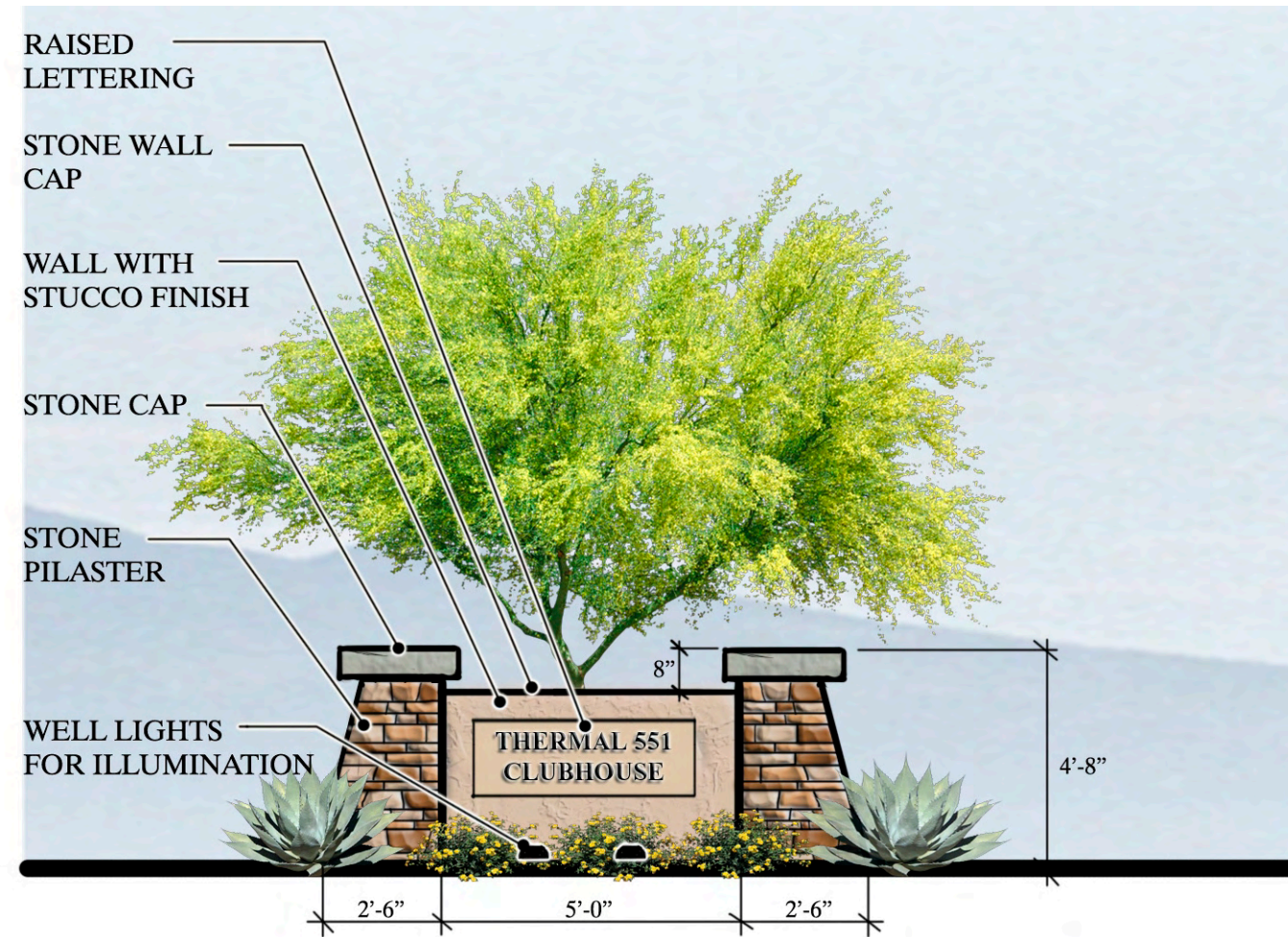


FIGURE IV-35

PARK ENTRY MONUMENT AND PLAN VIEW



CLUBHOUSE MONUMENT & SIGN ELEVATION
SCALE: N.T.S.



CLUBHOUSE MONUMENT & SIGN - PLAN VIEW LOCATION
SCALE: N.T.S.

FIGURE IV-36

f. Trail Entry Monumentation

One trail entry monument is provided near the intersection of Avenue 60 and Polk Street along the Regional Trail. This trail entry monument features a wooden trellis and informational sign, as depicted on Figure IV-37, *Trail Monuments and Signage*. Other amenities provided along the Regional Trail include seating areas, water fountains and low bollard lighting. Seating areas and low bollard lighting shall occur every 150 feet along the length of the Regional Trail.

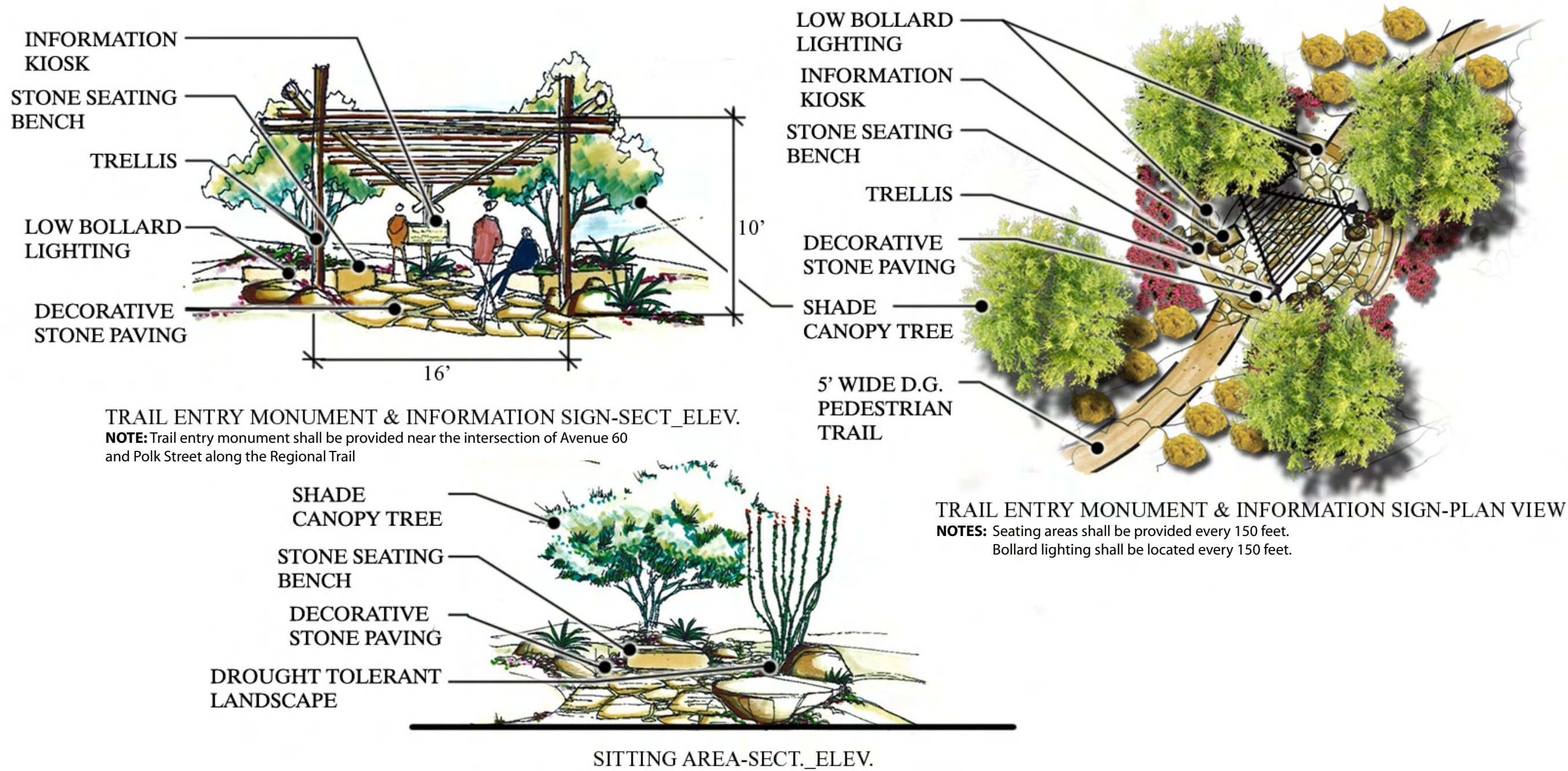
3. SHADE STANDARDS

The THERMAL 551 Community Theme of “Lush Desert” includes architectural and landscape guidelines that are compatible with the community’s unique desert location. With more than 350 days of sunshine per year, temperatures in the Eastern Coachella Valley average a comfortable 70 degrees Fahrenheit in January and reach an average of 108 degrees Fahrenheit in July. Therefore, portions of the THERMAL 551 community that function as gathering locations are subject to extensive Shade Standards to ensure residents and the public can comfortably enjoy the community’s numerous recreational amenities and to minimize the amount of energy spent cooling buildings and cars.

With the exception of areas subject to the Open Land requirements (refer to Section IV.E.4, below), parks and other passive recreational facilities within THERMAL 551 are required to feature landscaping or structure that creates shade over amenities such as tot lots, trail paths, pools, and lawn play areas. Physical shade structures, such as cabanas or picnic shelters, shall also be utilized to create shaded areas. Additionally, all on-site trails, sidewalks, and pedestrian paseos shall feature shading at predictable intervals to encourage pedestrian activity and bicycle use through the community.

Specifically, the following shade standards shall apply to public spaces within THERMAL 551 community:

1. Professional landscaping judgment shall be used to evaluate the plan as to its ten-year growth and coverage and its compliance with this Specific Plan’s percentage shade requirements. Shade coverage shall be determined by the approximate crown diameter of each tree species at fifteen years of age.
2. Sixty percent (60%) of public gathering locations (defined as tot lots, sitting areas, barbeque areas, picnic areas and pool lounging areas) within the clubhouse, parks, and private recreation areas shall be shaded by landscaping and/or shade structures. The 60% shade coverage does not apply to sports fields or lawn areas.
3. Fifty percent (50%) of paseos, trails, and sidewalks within the public right-of-way shall be shaded by landscaping and/or shade structures.



TRAIL ENTRY MONUMENT & INFORMATION SIGN-SECT_ELEV.
NOTE: Trail entry monument shall be provided near the intersection of Avenue 60 and Polk Street along the Regional Trail

TRAIL ENTRY MONUMENT & INFORMATION SIGN-PLAN VIEW
NOTES: Seating areas shall be provided every 150 feet.
 Bollard lighting shall be located every 150 feet.

SITTING AREA-SECT_ELEV.

FIGURE IV-37

4. Fifty percent (50%) of public parking areas adjacent to the clubhouse area in Planning Area 19 and within the Public Park in Planning Areas 22 and 26 shall be shaded by landscaping and/or shade structures. A shade plan demonstrating the required calculations shall be included on the working drawings for the landscape plans.
5. The Open Space/Detention areas in Planning Areas 23A through 23H are not subject to these Shade Standards. The judicious placement of "oasis"-style groupings of multi-trunk trees are permitted these areas to create visual interest at key locations (for example, adjacent to community entrances), as long as the spacing of these plantings conforms to the Open Land requirements (as described in Section IV.E.4, below) and other applicable FAA requirements.
6. As described in Section IV.E.9, *Plant Palette*, the Federal Aviation Administration requires that development near an airport carefully space trees to not create large canopies that may attract birds. Thus, the requirements of the community's Shade Standards must be balanced with the requirements of the FAA.

4. OPEN LAND STANDARDS


The THERMAL 551 community is located within Zone D of the Jacqueline Cochran Regional Airport and is subject to the requirements of the Riverside County Airport Land Use Compatibility Plan. The purpose of these requirements is to minimize the risk and magnitude of catastrophe in the event of emergency landing by ensuring ample open space and reasonable opportunity for the pilot to select a landing site. The *Riverside County Airport Land Use Compatibility Plan Policy Document* (October 2004) stipulates that developments within Zone D must meet the 10% "open land" requirement and defines open land as follows:

1. An area that is free of most structures and other major obstacles such as walls, large trees or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires.
2. An area with minimum dimensions of 75 x 300 feet.

Roads and parking lots are acceptable as open land areas as long as they meet the above criteria.

According to the requirements described above, a total of 61.2 acres of the project site must qualify as open land. Figure IV-38, *Areas Subject to Open Lands Restrictions*, shows the location of qualifying open land areas within the THERMAL 551 community. These areas fulfill the minimum dimension requirements (75 x 300 feet) and are free of most structures, including large trees, poles, or walls. As shown in Figure IV-38, the THERMAL 551 community provides a minimum of 61.2 acres of open land.

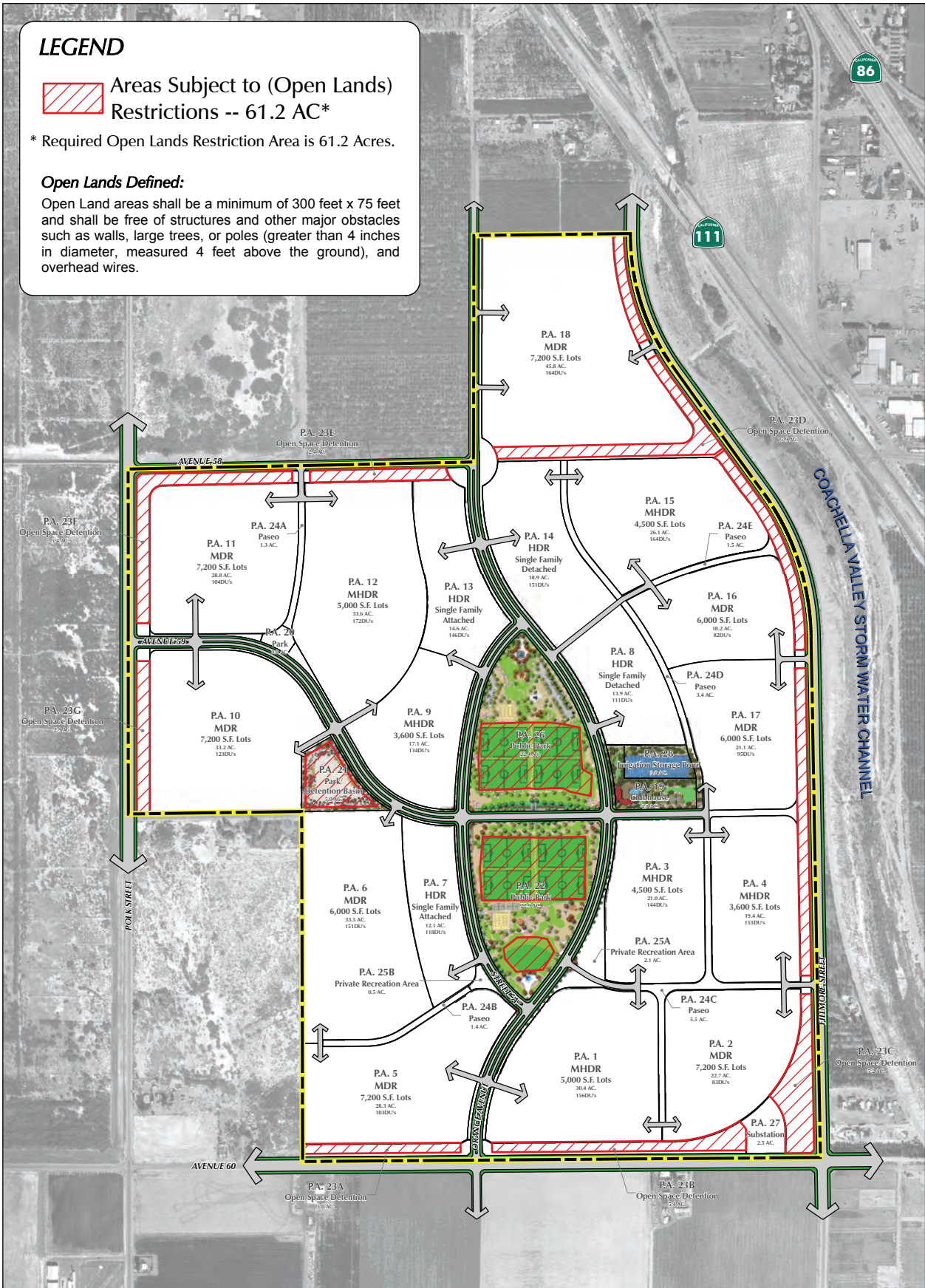
LEGEND

 Areas Subject to (Open Lands) Restrictions -- 61.2 AC*

* Required Open Lands Restriction Area is 61.2 Acres.

Open Lands Defined:

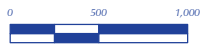
Open Land areas shall be a minimum of 300 feet x 75 feet and shall be free of structures and other major obstacles such as walls, large trees, or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires.



Sources: Eagle Aerial (2006)

FIGURE IV-38

T&B PLANNING
 17542 East 17th Street, Suite 100 Tustin, CA 92780
 p. 714.305.6360 f. 714.305.6361
 www.tbplanning.com



AREAS SUBJECT TO OPEN LANDS RESTRICTIONS

The following planning areas may be eligible to receive partial/full credit for open land: Planning Area 19 (Clubhouse Area); Planning Areas 22 and 26 (Public Park); Planning Area 21 (Park/Detention Basin); and Planning Areas 23A - 23G (Open Space/Detention). Areas within the Public Park and clubhouse area that may be eligible for credit include: soccer fields, softball fields, volleyball, disc golf and turf areas. Additionally, "oasis"-style groupings of multi-trunk trees are permitted within the Open Space/Detention land uses to create visual interest at key locations (for example, adjacent to community entrances), as long as the spacing of these plantings conforms to Zone D and applicable FAA requirements.

The areas identified in Figure IV-38 shall conform to the following landscaping requirements to ensure consistency with the standards for Zone D of the Jacqueline Cochran Regional Airport, as set forth by Riverside County Airport Land Use Compatibility Plan:

1. The open land areas shall be free of most structures and other major obstacles such as walls, large trees, or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires.
2. The use of bushes/shrubs is acceptable; however, placement should be scattered.
3. Landscaping maintenance should occur regularly and as needed to ensure that the maximum height requirement is not exceeded (See Standard No. 1).
4. All utilities must be underground.

The exact amount and location of open land provided within THERMAL 551 shall be determined during preparation of the implementing tentative tract map(s).

5. LANDSCAPE INTERFACES

a. Edge Condition: Residential – Open Space/Detention

As shown in Figure IV-39, *Edge Condition: Residential – Open Space/Detention*, the transition between residential and open space areas provides for a community perimeter wall adjacent to residential property lines. The open space area consists of colorful, water-efficient landscaping consistent with the Open Land requirements (refer to Section IV.E.4).

b. Edge Condition: Residential – Paseo

Figure IV-40, *Edge Condition: Residential – Paseo* illustrates the typical interface between residential and Pedestrian Paseo land uses. To ensure the aesthetic appeal of the paseos in Planning Areas 24A through 24E and to provide a level of community security and safety, a carefully designed interface shall be provided between residences and paseos. In

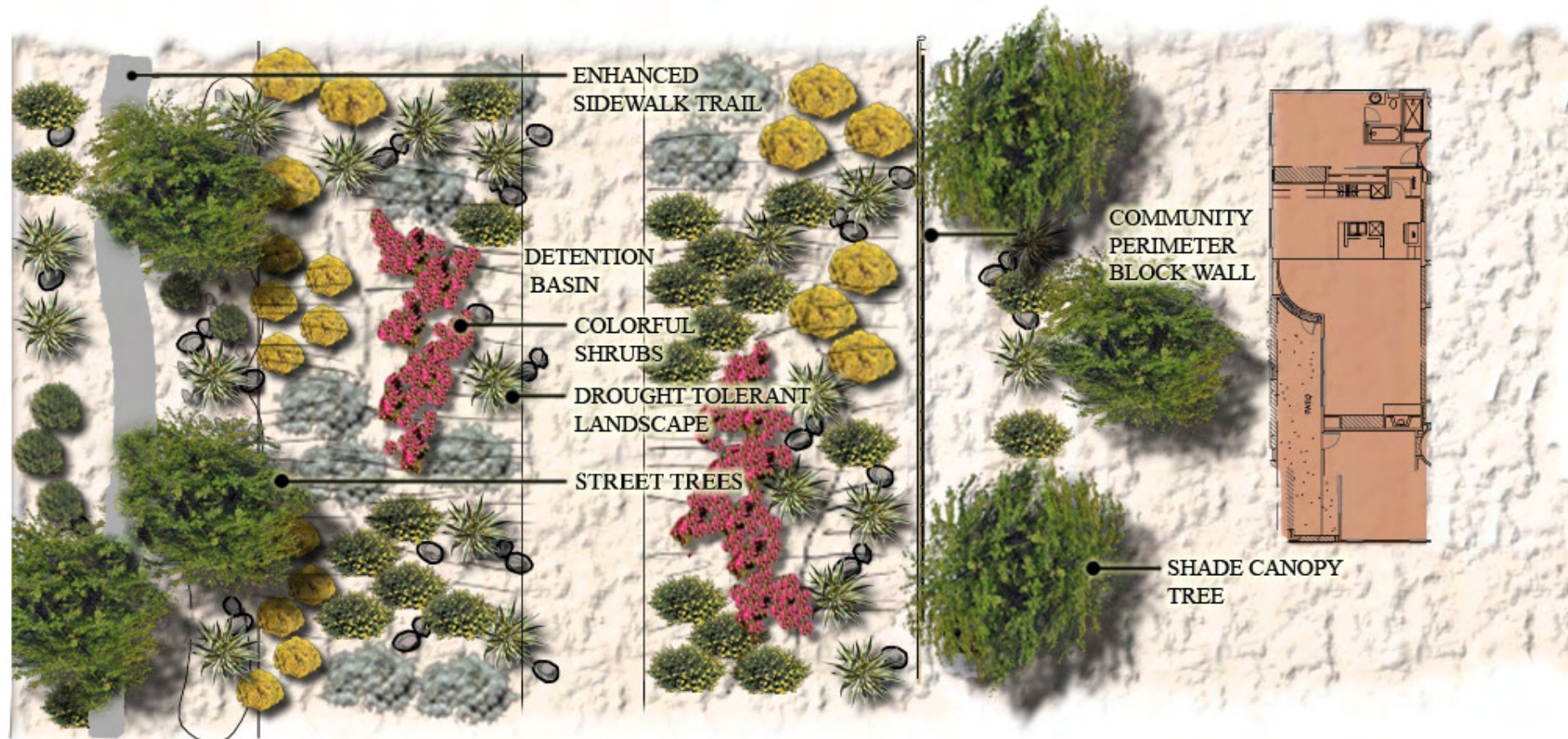
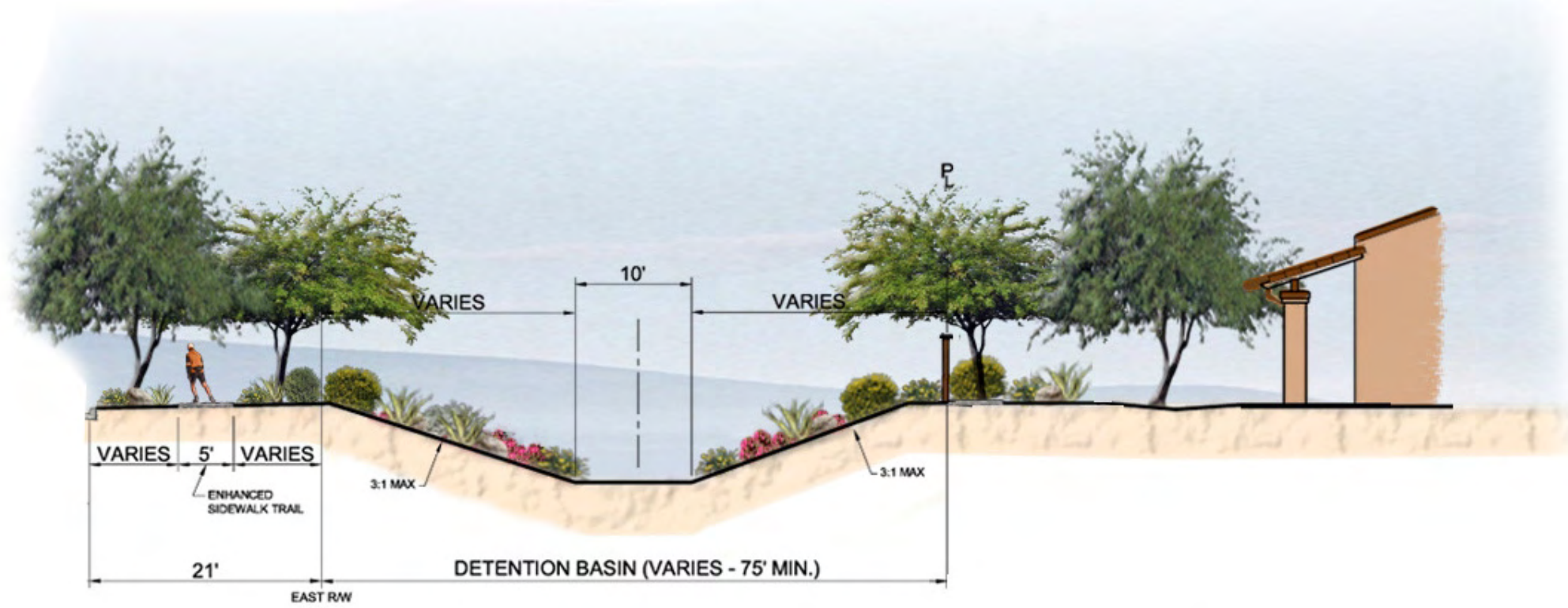


FIGURE IV-39

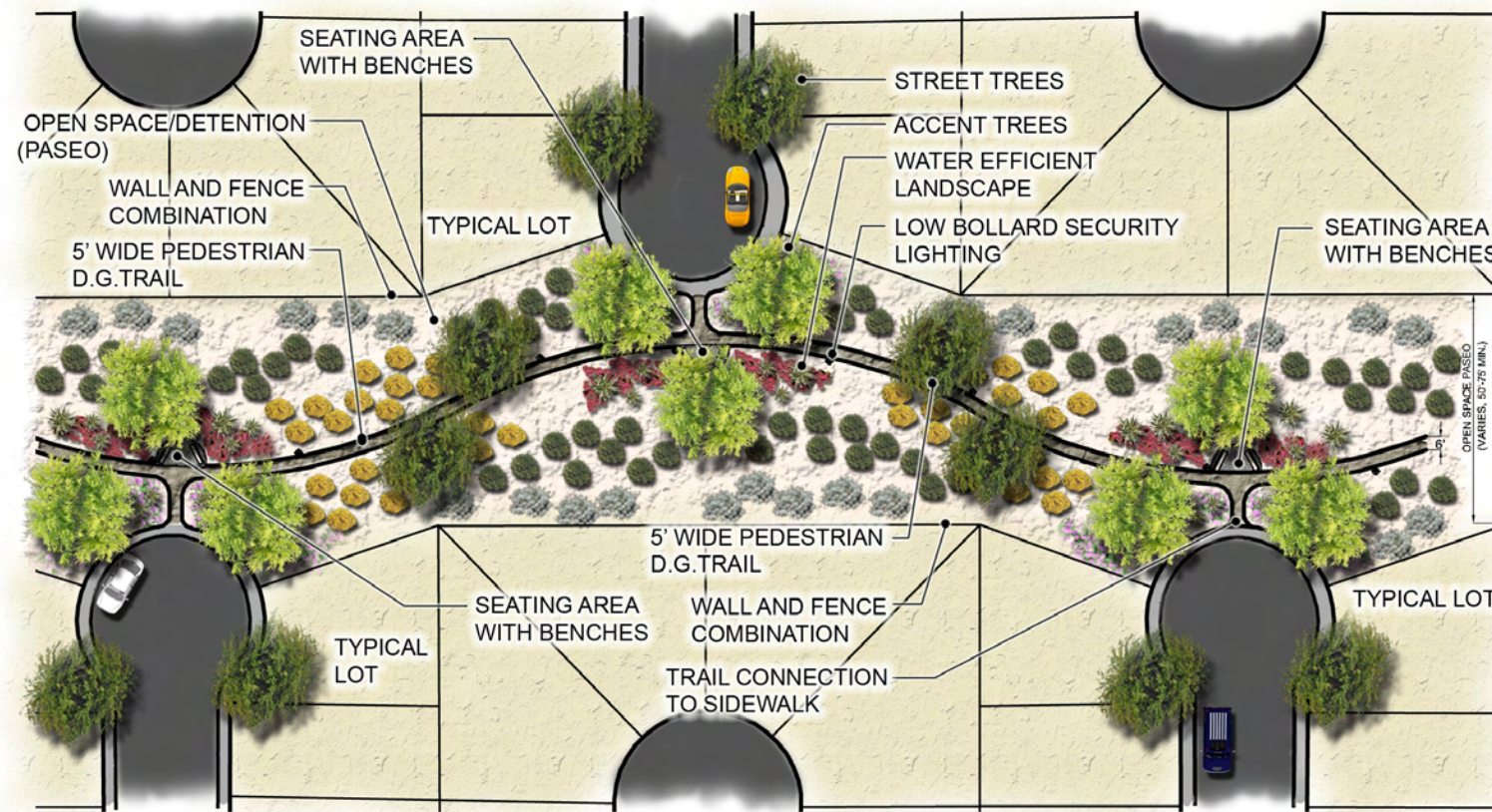
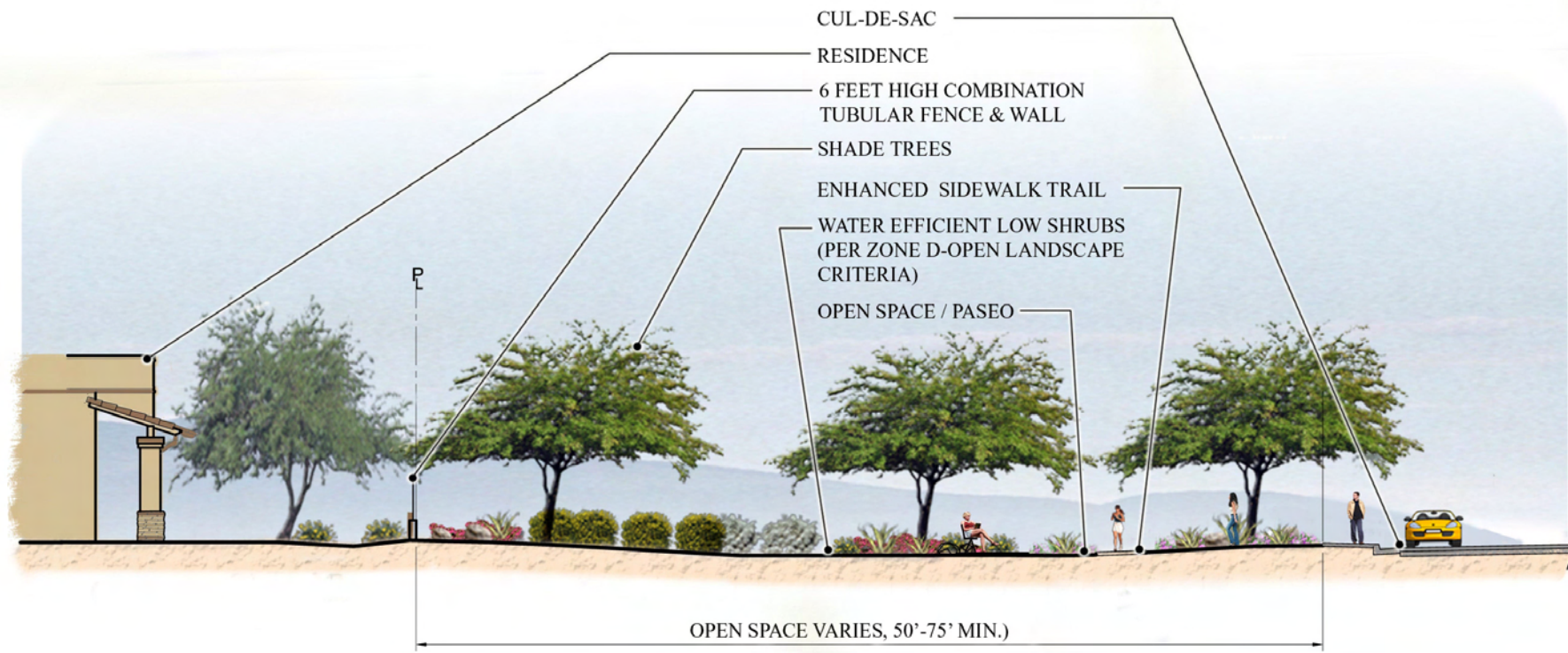


FIGURE IV-40

particular, access from cul-de-sacs to paseos should not be obstructed by a wall or fence. Trail connections shall be provided whenever a cul-de-sac abuts a paseo. Furthermore, cul-de-sacs abutting a paseo should be staggered whenever feasible to maximize the amount of the paseo that is adjacent to the roadway. Security lighting and landscaping consistent with the Specific Plan Shade Standards (refer to Section IV.E.3) shall be provided within the paseo.

c. Edge Condition: Residential – Park/Detention Basin

Figure IV-41, *Edge Condition: Residential – Park/Detention Basin* depicts the interface between residences and the Park/Detention Basin in Planning Area 21. In this condition, a block wall separates residences from a landscaped area containing a meandering sidewalk and water-efficient plantings. The open space area consists of colorful, water-efficient landscaping consistent with the Open Land requirements (refer to Section IV.E.4).

d. Edge Condition: Residential – Irrigation Storage Pond

Figure IV-42, *Edge Condition: Residential – Irrigation Storage Pond*, depicts the interface between residences and the irrigation storage pond in Planning Area 28. In this condition, a landscaped open space area, which varies in width from 55 to 65 feet, separates the residential property line and the irrigation storage pond. The open space area contains a 5-foot wide Enhanced Sidewalk trail. A 6-foot high combination view fence/block wall is located at the property line. In between the open space and the irrigation storage pond shall be a minimum 3-foot tall gently sloping landscaped berm that softens the appearance of an adjacent 6-foot high block wall.

e. Edge Condition: Irrigation Storage Pond – Clubhouse Area

Figure IV-43, *Edge Condition: Irrigation Storage Pond – Clubhouse* depicts the interface between the irrigation storage pond in Planning Area 28 and the clubhouse area in Planning Area 19. In this condition, a landscaped open space area, which varies in width from 25 to 35 feet, separates the clubhouse area pool and the irrigation storage pond. The open space area contains a 5-foot wide Enhanced Sidewalk trail. In between the open space and the irrigation storage pond shall be a minimum 3-foot tall gently sloping landscaped berm that softens the appearance of an adjacent 6-foot high block wall.

f. Edge Condition: Street – Earthen Embankment

Figure IV-23, *Modified Major Highway (101' ROW) Streetscape – Fillmore Street (From Approximately 2,050' North of Avenue 60 to Northern Project Boundary)*, depicts the treatment of the interface between Fillmore Street and the Coachella Valley Stormwater Channel earthen embankment. A 10-foot landscaped parkway containing a 5-foot sidewalk and a landscaped 2:1 slope separate the earthen embankment from the roadway. On top of the earthen embankment, a 20-foot Class 1 Bike trail is provided.

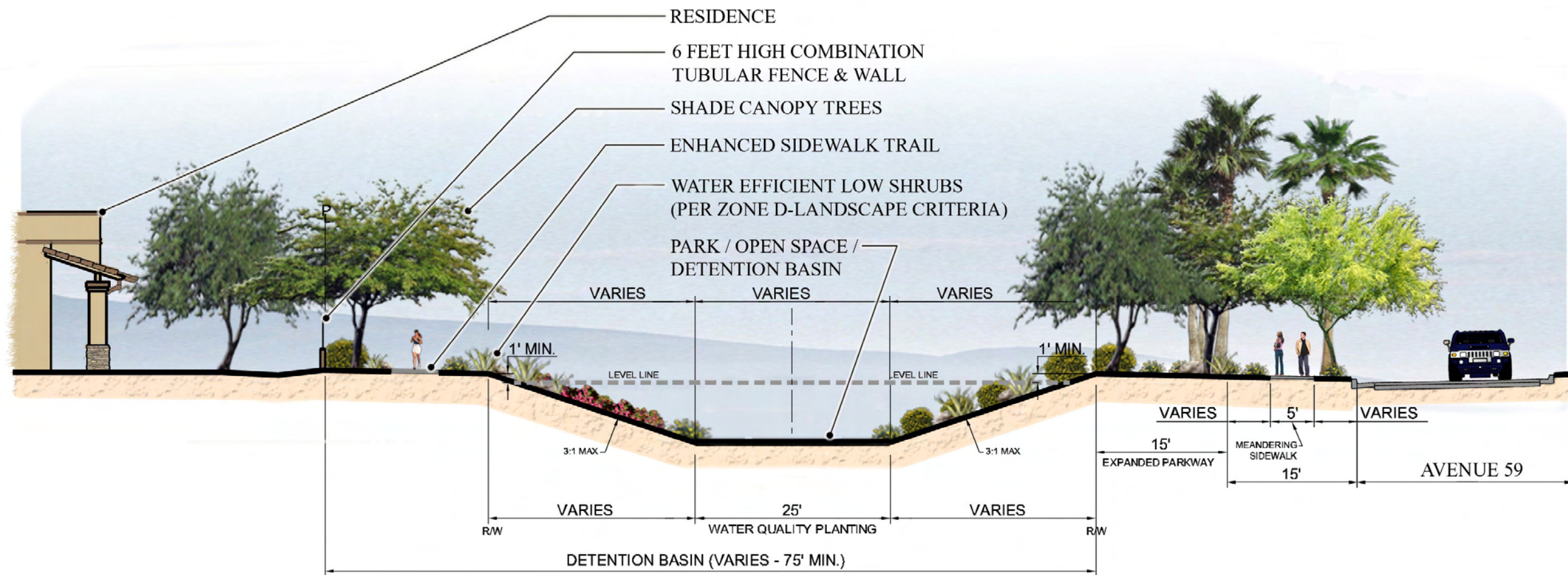


FIGURE IV-41

EDGE CONDITION RESIDENTIAL - PARK/DETENTION BASIN

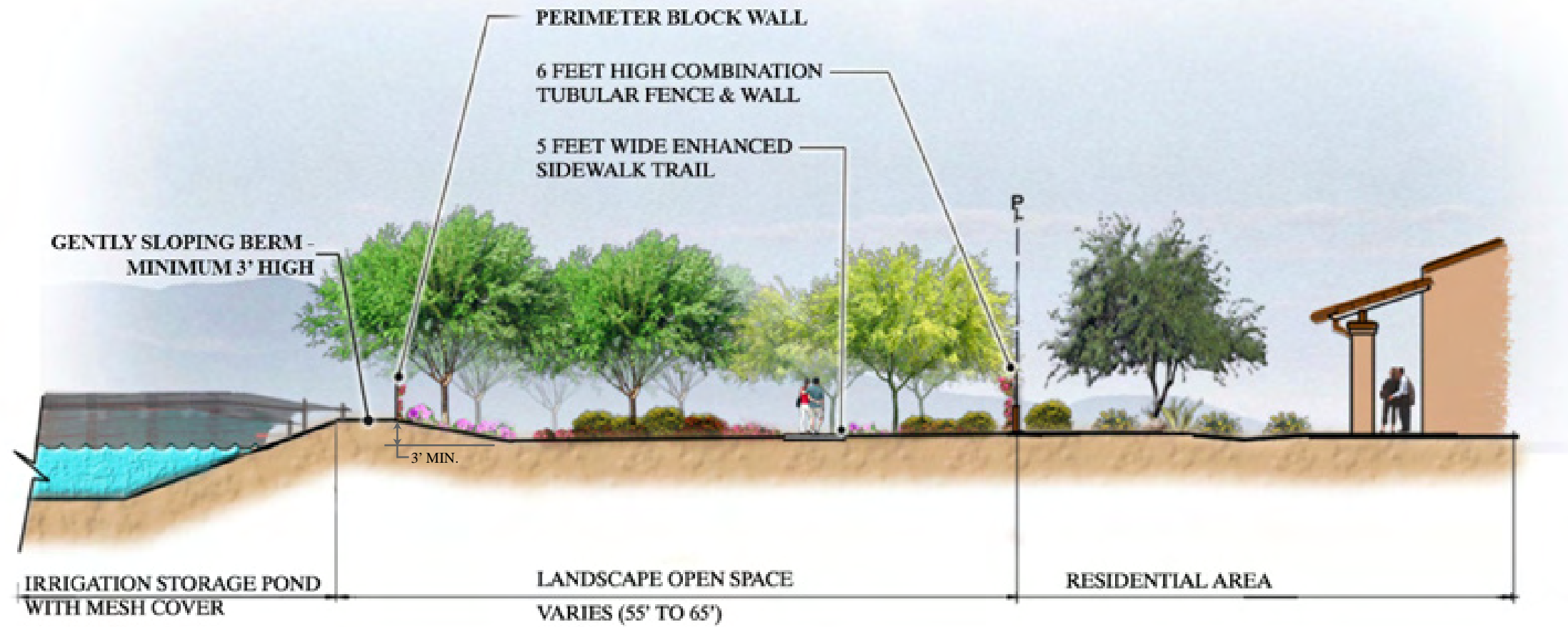


FIGURE IV-42

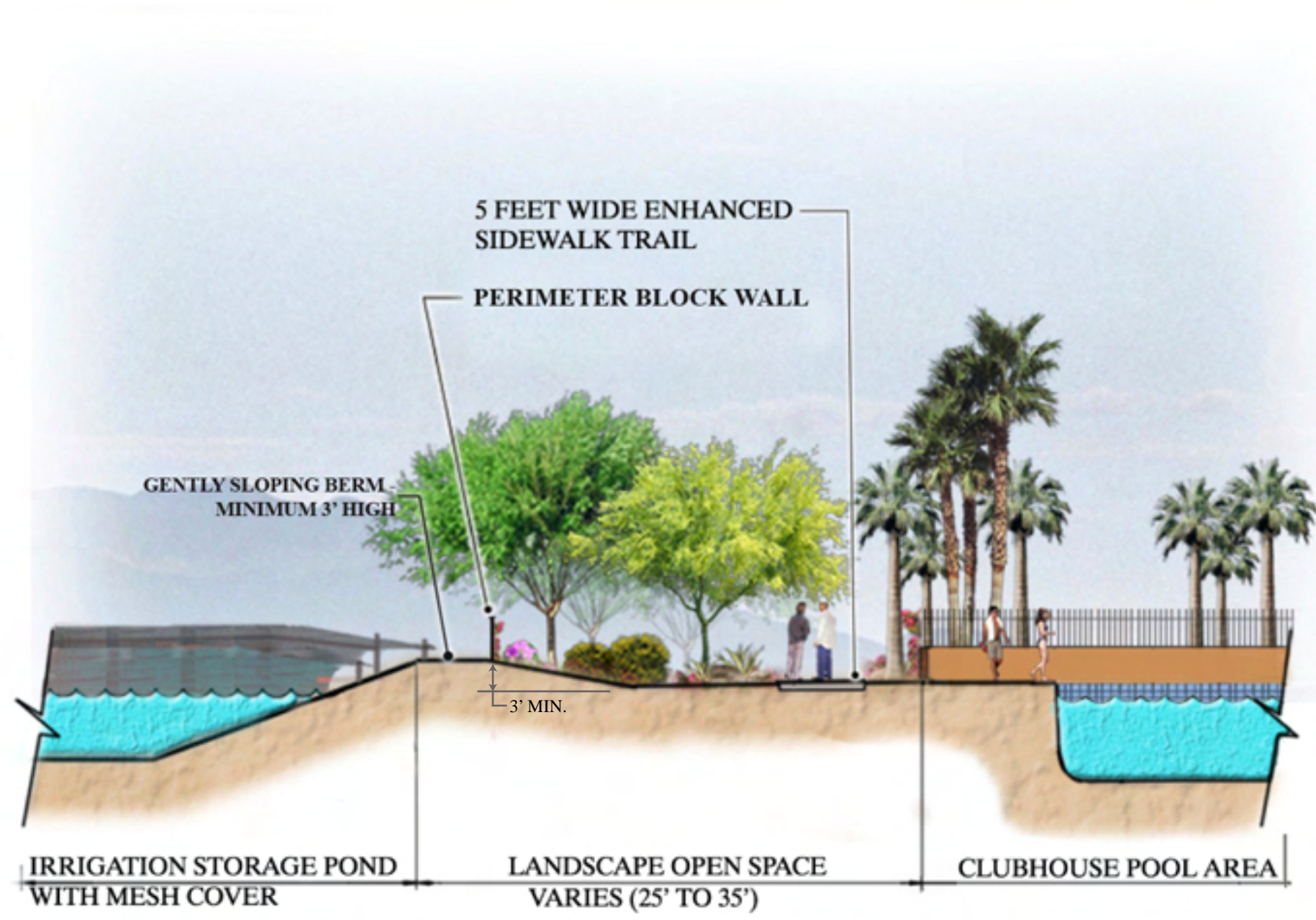


FIGURE IV-43

6. RECREATIONAL AMENITIES

A system of parks and trails, open space, and community recreation facilities provide residents with a variety of passive and active recreational opportunities within THERMAL 551, as depicted in Figure II-10, *Recreation and Open Space Master Plan*.

a. Public Park

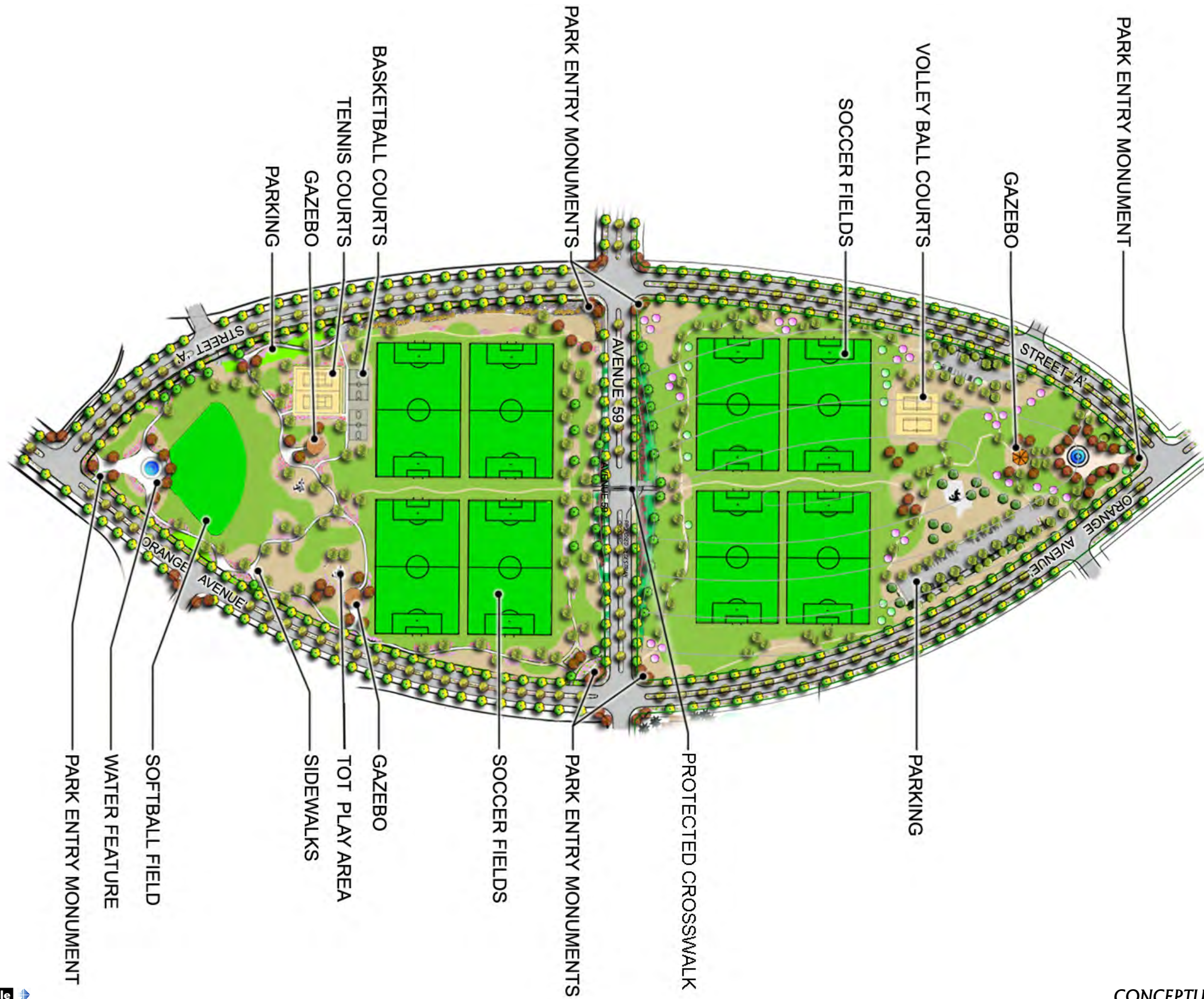
As shown in Figure IV-44, *Conceptual Public Park Plan*, and Figure IV-45, *Public Park Plan Details*, the combined 45.3-acre public park in Planning Areas 22 and 26 shall consist of recreational amenities, including but not limited to a minimum of four (4) soccer fields; softball fields; tennis, volleyball, and basketball courts; disc golf a shaded tot play area; gazebos; trails; open turf areas; picnic facilities; and restrooms. Parking lots are provided in the northern and southern portions of the Public Park, adjacent to Street "A" and Orange Avenue. Pedestrian access to the Public Park is obtained via the paseos in Planning Areas 24A through 24E, which connect to roadway-adjacent sidewalks.

The Public Park, which is divided into two portions by Avenue 59, features a protected, at-grade pedestrian crosswalk at Avenue 59. As shown in Figure IV-46, *Conceptual Pedestrian Crossing*, the pedestrian crossing allows park users to travel safely from the southern to the northern portions of the park. Pedestrians and bicyclists are directed to the protected crosswalk by a 6.0-foot tall view fence installed adjacent to the Avenue 59 right-of-way in Planning Areas 22 and 26, as described in Section IV.E.7 below. The view fence restricts access to the Avenue 59 right-of-way, thereby preventing unsafe mid-block crossings. The protected crosswalk connects to Enhanced Sidewalk trails located in both the northern and southern portions of the Public Park, encouraging activities such as walking, jogging, or biking around the entire circumference of the Public Park.

Trails, picnic areas and seating areas, tot lots, and parking lots are among the portions of the Public Park that are subject to the Shade Standards, as described in Section IV.E.3. Landscaping or physical shade structures, such as cabanas or picnic shelters, shall be utilized to create shaded areas in these areas of the Public Park to ensure residents and the public can comfortably enjoy the community's numerous recreational amenities.

Additionally, a minimum of 22.0 acres of the Public Park are subject to the Open Land requirements. These areas, which may include the soccer fields; softball fields; tennis, volleyball, and basketball courts; and turf areas, shall be free of most structures and other major obstacles such as walls, large trees, or poles and overhead wires, as described in Section IV.E.4.

For more information regarding construction responsibility and timing of the Park Public, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.



PARK ENTRY MONUMENT

WATER FEATURE

SOFTBALL FIELD

PARK ENTRY MONUMENT

SIDEWALKS

TOT PLAY AREA

GAZEBO

GAZEBO

TENNIS COURTS

BASKETBALL COURTS

PARK ENTRY MONUMENTS

SOCCER FIELDS

SOCCER FIELDS

PROTECTED CROSSWALK

PARK ENTRY MONUMENT

PARKING

GAZEBO

VOLLEY BALL COURTS

SOCCER FIELDS

PARKING

PARK ENTRY MONUMENT

GAZEBO

SOCCER FIELDS

VOLLEY BALL COURTS

PARKING

GAZEBO

PARK ENTRY MONUMENT

STREET A

ORANGE AVENUE

ORANGE AVENUE

STREET A

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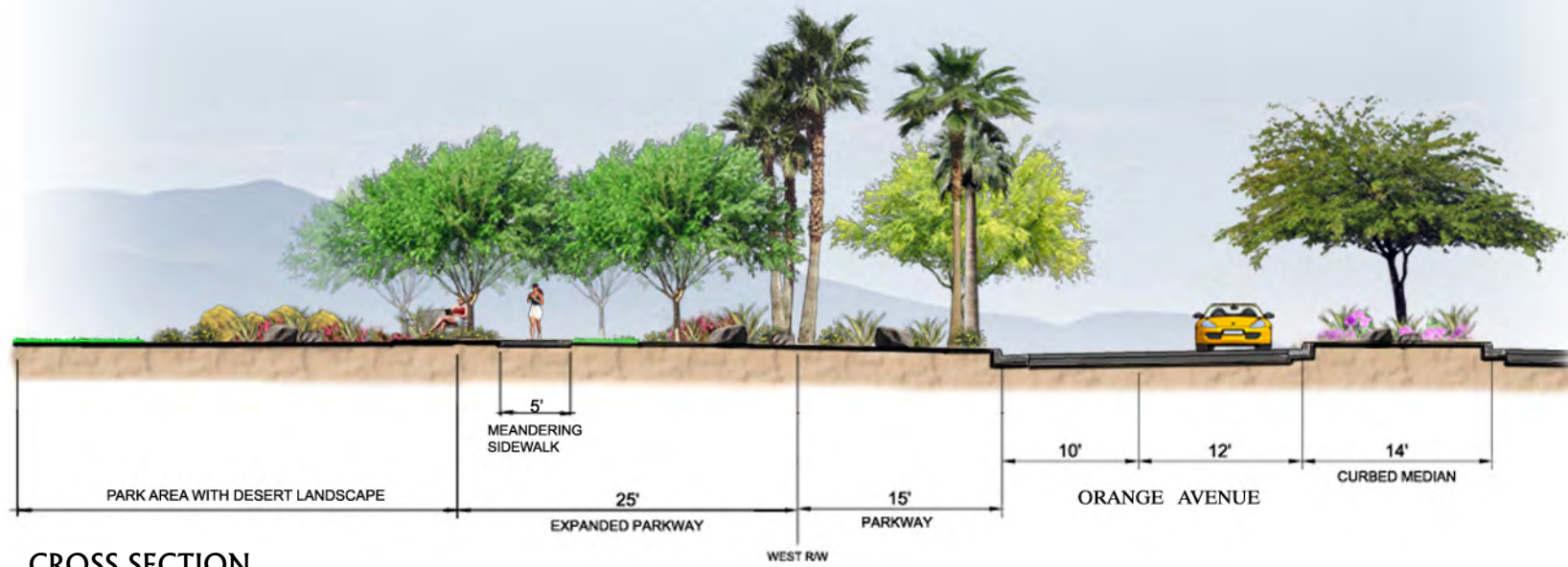
ORANGE AVENUE

ORANGE AVENUE

ORANGE AVENUE

ORANGE AVENUE

FIGURE IV-44



CROSS SECTION



PLAN VIEW



KEY MAP

* Possible location where enhanced sidewalk trail meanders into park

FIGURE IV-45



FIGURE IV-46

CONCEPTUAL PEDESTRIAN CROSSING

b. Private Park

The Private Park in Planning Area 20 shall feature amenities similar to the Public Park, but at a reduced scale, including elements such as, but not limited to shaded tot lots, trails, open turf areas, and/or picnic facilities. Pedestrian access to the Private Park is obtained via the paseo in Planning Area 24A and sidewalks adjacent to Avenue 59. Landscaping within the Private Park shall conform to the Thermal 551 Shade Standards, as described in Section IV.E.3. For information regarding construction responsibility and timing of the Private Park, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

c. Open Space/Detention

Figure IV-47, *Typical Open Space/Detention Area*, depicts the treatment of Planning Areas 23A, 23B, 23C, 23D, 23E, 23F, and 23G. In total, 40.2 acres of Open Space/Detention land uses are situated around the community perimeter. All Open Space/Detention land uses within the community are a minimum width of 75 feet and contain a series of detention basins with 10-foot wide bottoms, which shall be treated with water quality planting. The transition between residential and open space areas shall include a community perimeter wall adjacent to residential property lines.

Planting within these areas shall conform to the Open Land requirements for Zone D of the Jacqueline Cochran Regional Airport, as described in Section IV.E.4. "Oasis"-style groupings of multi-trunk trees are permitted within the Open Space/Detention land uses to create visual interest at key locations (for example, adjacent to community entrances), as long as the spacing of these plantings conforms to Zone D and applicable FAA requirements.

d. Park/Detention Basin

Figure IV-48, *Conceptual Park/Detention Basin Plan*, depicts the treatment of Planning Area 21. This 5.0-acre Park/Detention Basin features several detention basins to accommodate stormwater flows. The Park/Detention basin also includes water-efficient landscaping (as permitted by the Open Land requirements, as described in Section IV.E.4) and an Enhanced Sidewalk trail. This Specific Plan permits Planning Area 21 to be developed as a passive park with no detention functions or as a detention basin with no park amenities, depending on the final hydrologic and Water Quality Management Plan (WQMP) requirements prepared as part of the implementing tentative map(s). For information regarding construction responsibility and timing of the Park/Detention Basin, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

e. Clubhouse Area

Figure IV-49, *Conceptual Clubhouse Plan*, illustrates the amenities provided in Planning Area 19. The location of the clubhouse area adjacent to the public park makes the area an ideal

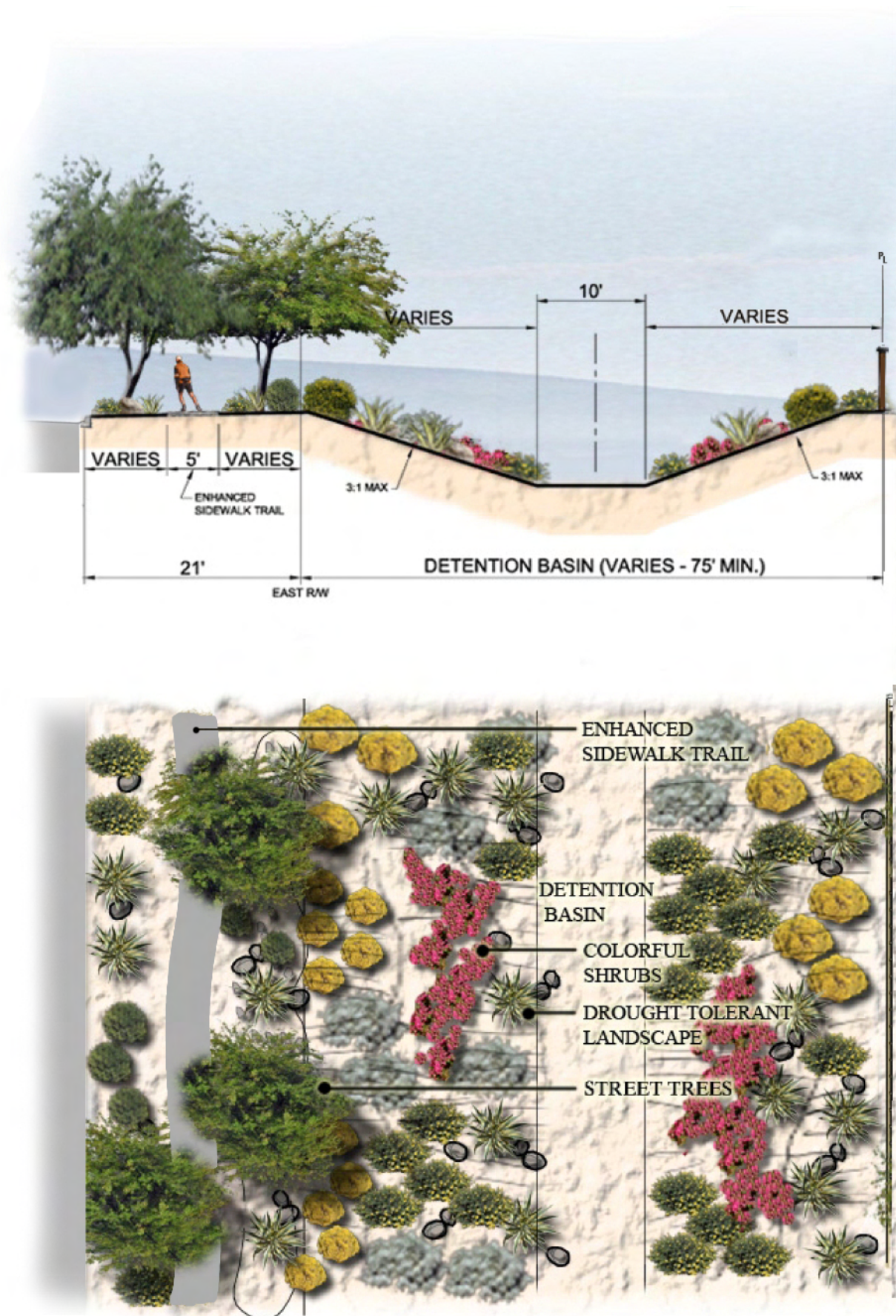


FIGURE IV-47

TYPICAL OPEN SPACE/DETENTION AREA

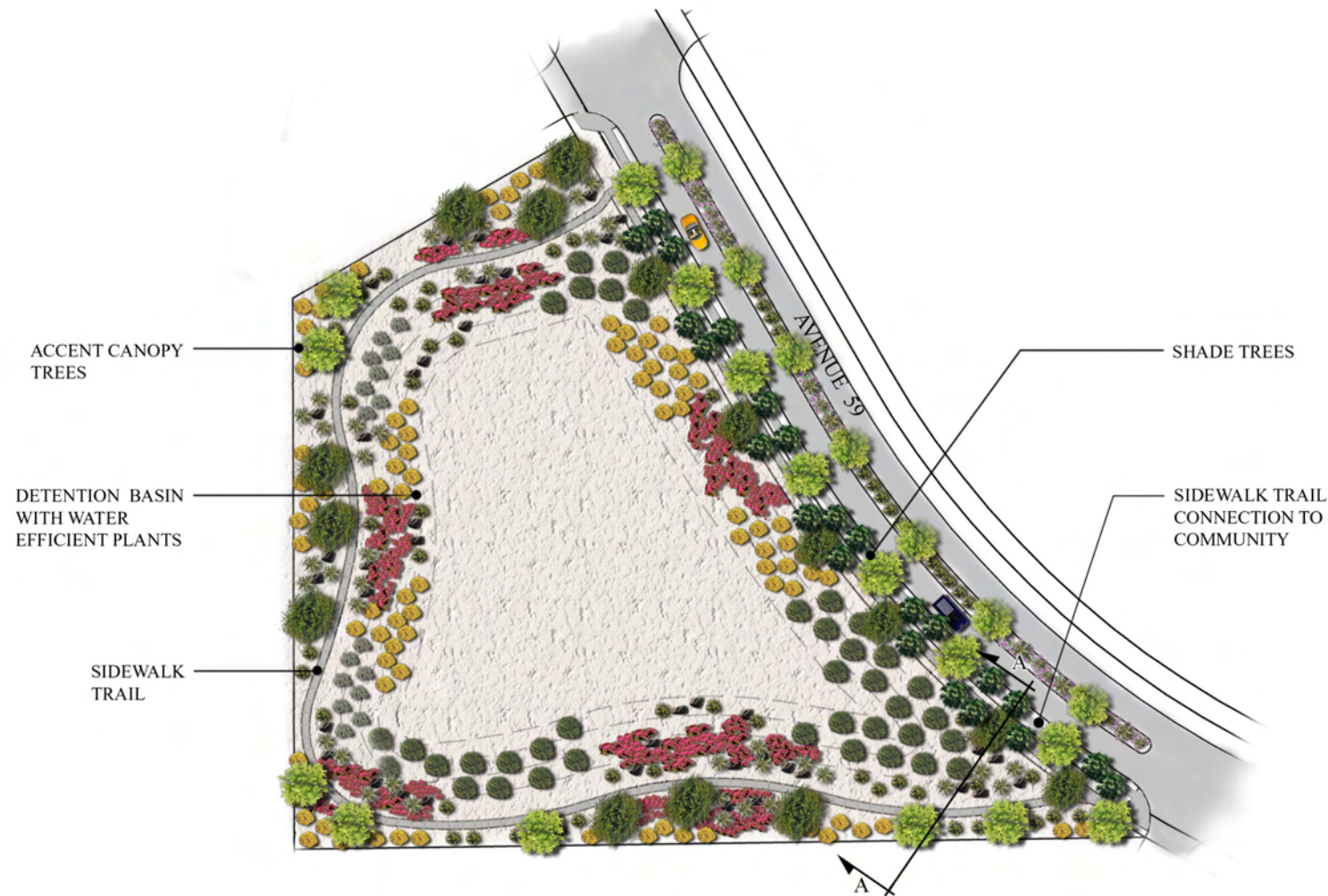
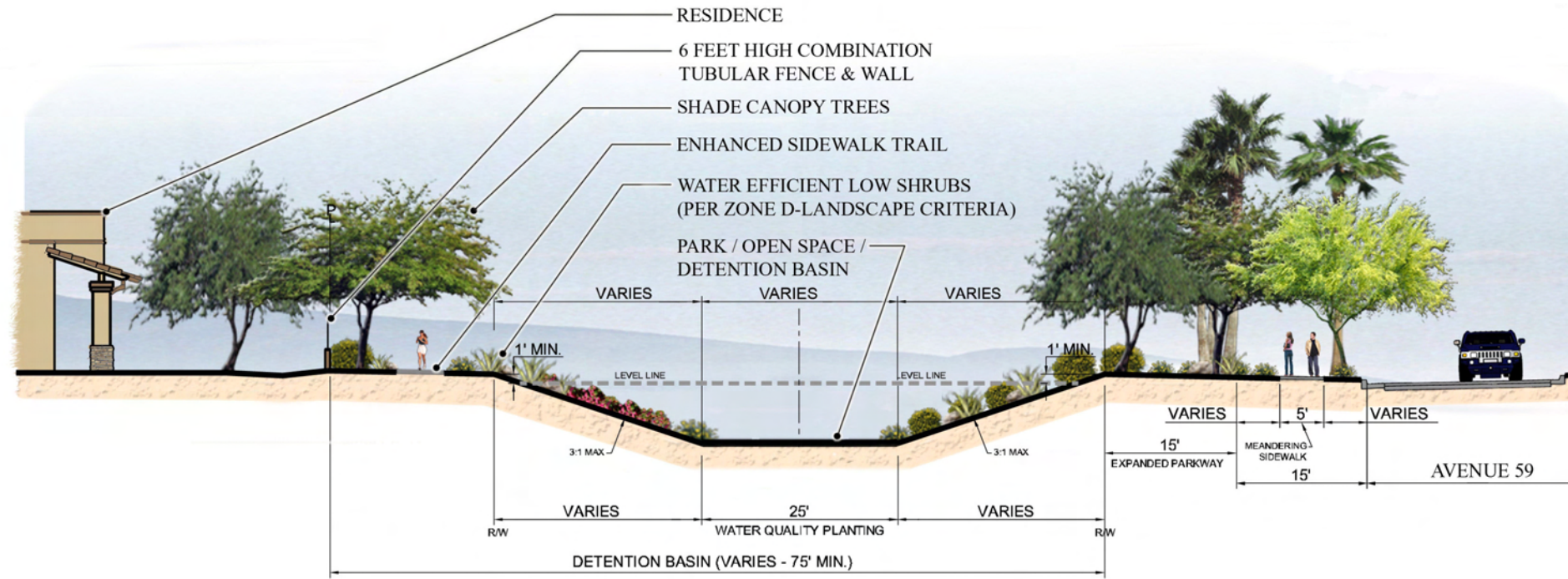


FIGURE IV-48



FIGURE IV-49

CONCEPTUAL CLUBHOUSE PLAN

community gathering point. The clubhouse area contains a clubhouse building with a workout room, meeting room, and restrooms. Adjacent to the building is a swimming pool, wading pool, and sun deck. A BBQ area, special events turf area, tot lot, an Enhanced Sidewalk trail that encircles the adjacent irrigation storage pond, and parking facilities are also provided within the clubhouse area.

f. Recreation Areas

Figure IV-50, *Conceptual Private Recreation Area Plan*, shows the typical recreation areas provided within Planning Areas 25A and 25B. Seven additional private recreation areas are located within Planning Areas 4, 8, 9, 12, 13, 14, and 15. The minimum size for Private Recreation Areas is 10,000 square feet. These facilities feature generous landscaping around the perimeter and shall contain a central swimming pool, restroom facility, and patio area surrounding by canopy trees, landscaped lawn areas, a trellis, and colorful ground covers. Other amenities provided within this area may include tot lots, picnic or seating areas, and trail connections. For information regarding construction responsibility and timing of the recreation areas, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

g. Irrigation Storage Pond

As shown on Figure IV-51, *Conceptual Irrigation Storage Pond*, the irrigation storage pond in Planning Area 28 is covered with a cloth-like material to prevent birds from being attracted to the storage pond, per the requirements of the FAA. Surrounding the irrigation storage pond is an open space area, which contains an Enhanced Sidewalk trail that connects to the adjacent clubhouse area. The Enhanced Sidewalk trail is separated from the irrigation storage pond by a block wall and minimum 3-foot tall gently sloping landscaped berm. A combination view fence/block wall shall be located at residential property lines to further separate the open space area from adjacent homes.

h. Trails System

As shown on Figure IV-52, *Conceptual Trails System Plan*, and Figure IV-53, *Trail Cross Sections*, four types of trails are proposed within the THERMAL 551 community. Trails provide access between residential neighborhoods and various on-site recreational amenities. In addition, trails connect with other existing or planned off-site regional trails and bike paths. Enhanced Sidewalk Trails are adjacent to all major roadways within the community. These paved trails are 5 to 6 feet in width and may meander. Street "A" and portions of Avenue 59 and Orange Avenue feature 15-foot or 25-foot expanded parkways adjacent to the Enhanced Sidewalk Trails to further separate the trails from nearby homes.

Pedestrian Paseos are provided throughout the community in Planning Areas 24A through 24E. As shown in Figure IV-54, *Conceptual Paseo/Pedestrian Walk Detail*, the Pedestrian Paseos in Planning Areas 24A through 24E are approximately 50 - 75 feet in width. These areas contain a 5-foot wide shaded Enhanced Sidewalk trail surrounded by water efficient

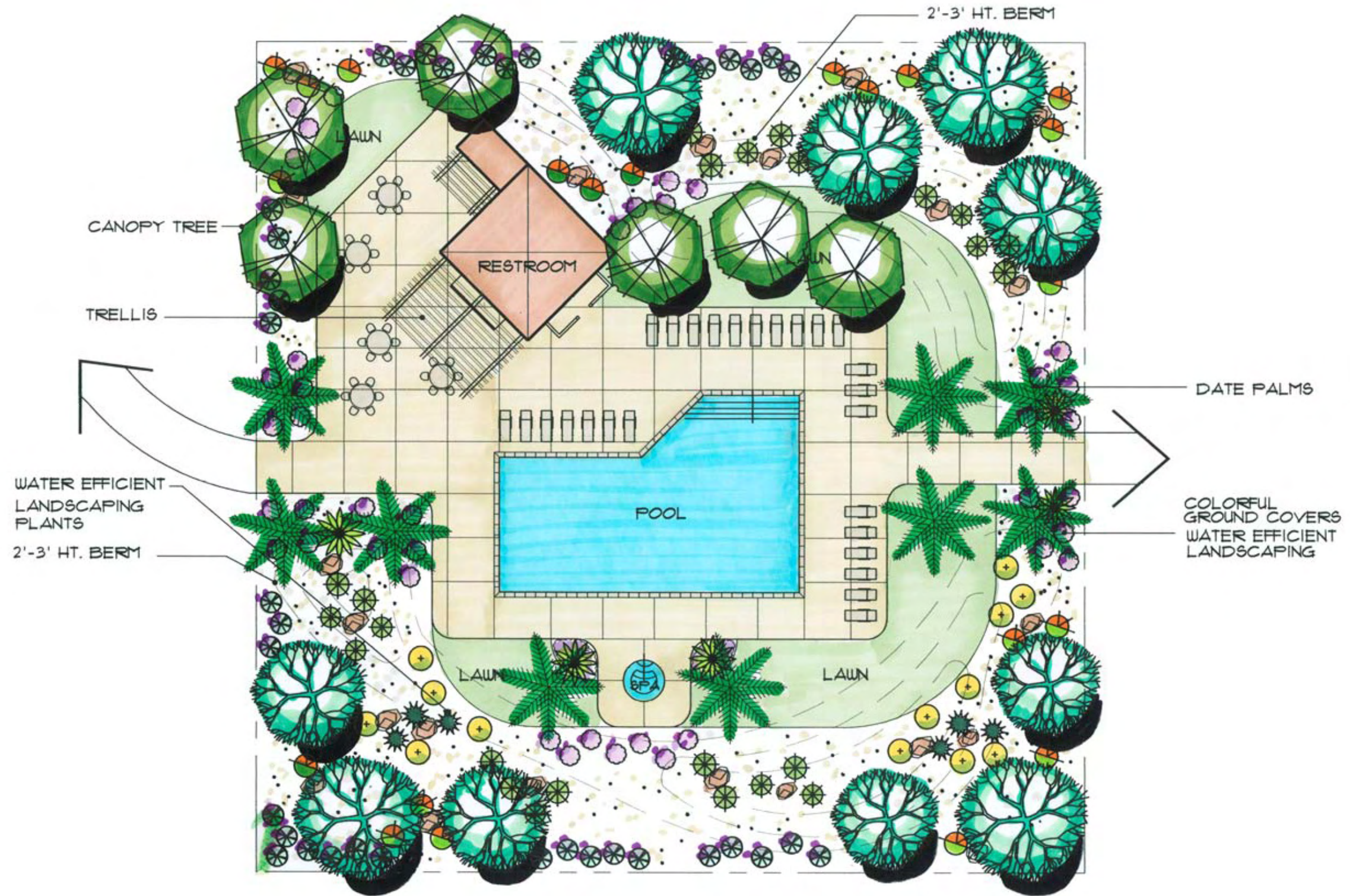


FIGURE IV-50

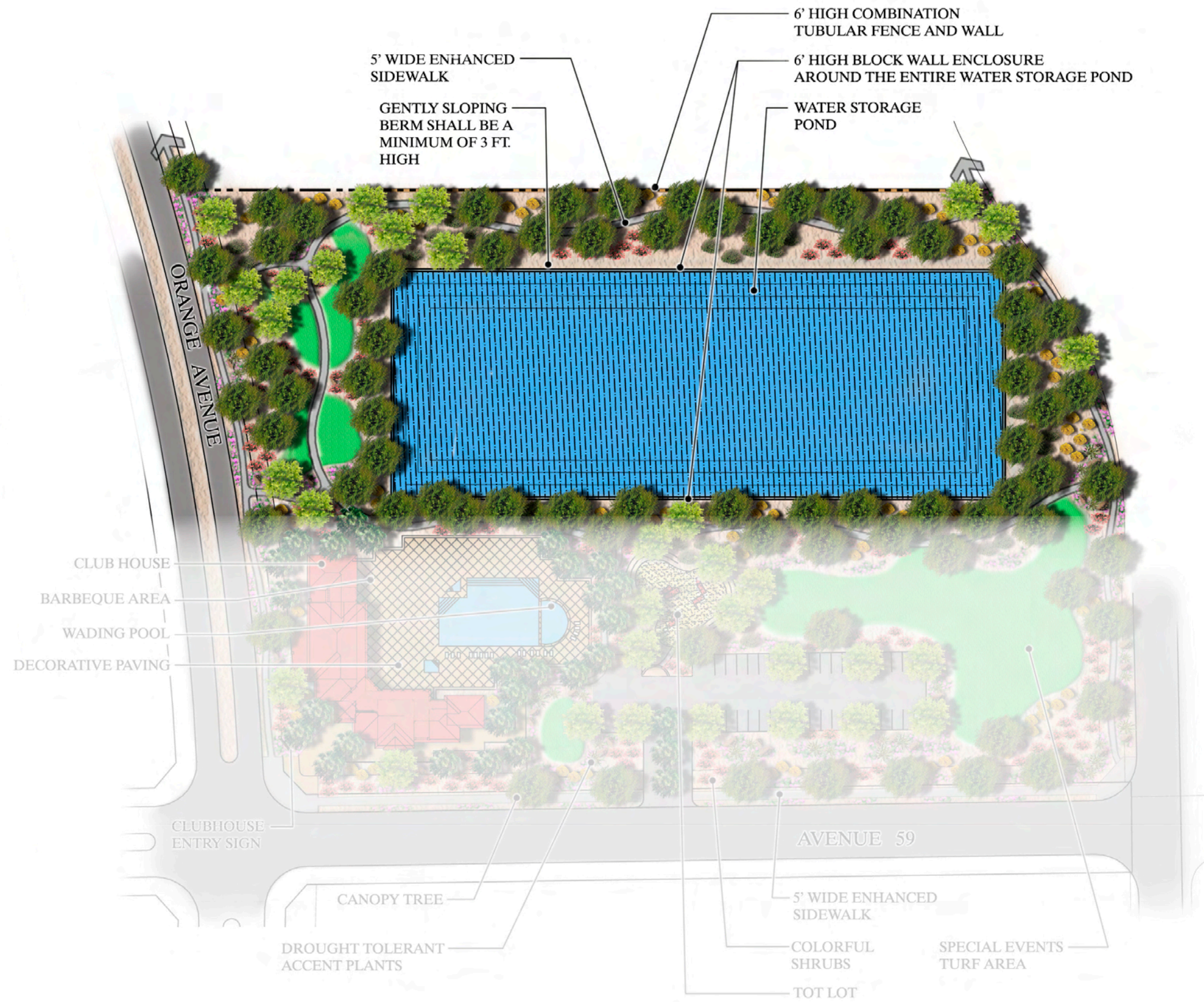


FIGURE IV-51

CONCEPTUAL IRRIGATION STORAGE POND

LEGEND

-  Regional Combination Trail - Equestrian Friendly
-  Class 1 Bike Trail
-  Enhanced Sidewalk Trail
-  Pedestrian Paseo
-  Potential Recreation Areas
-  Pedestrian Crossing



Sources: Eagle Aerial (2006)

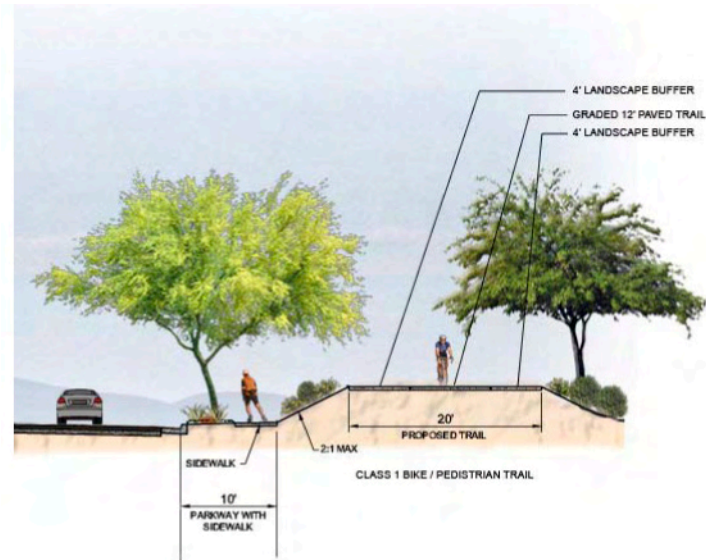
FIGURE IV-52

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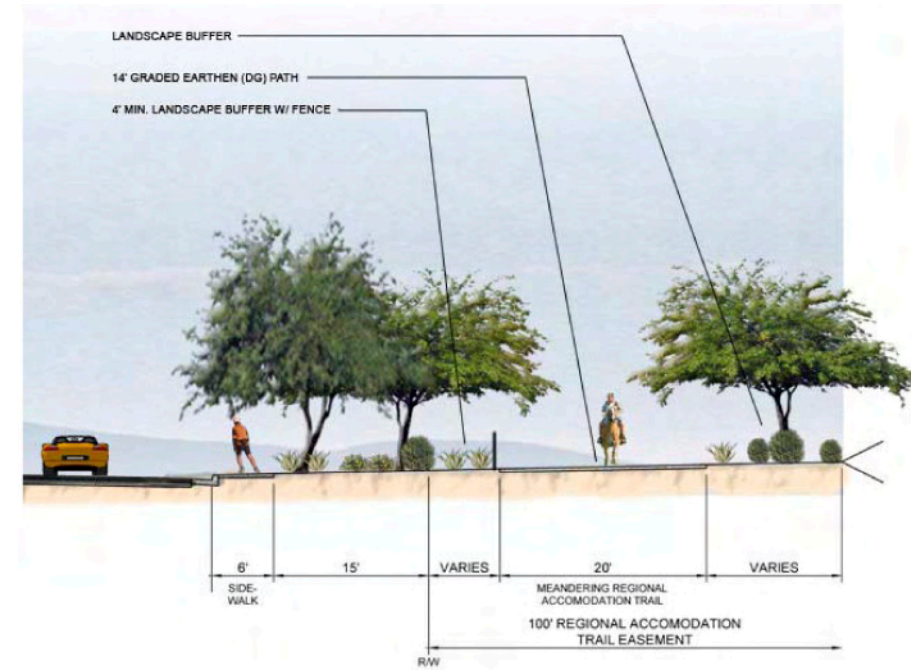


CONCEPTUAL TRAILS PLAN

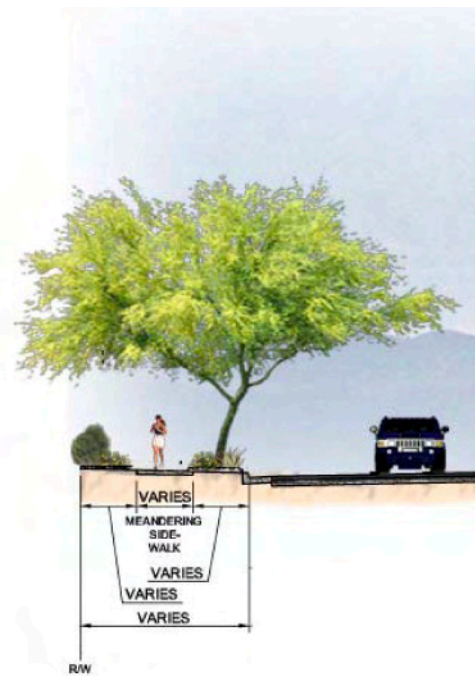
A. CLASS I BIKE / PEDESTRIAN TRAIL



B. REGIONAL COMBINATION TRAIL - EQUESTRIAN FRIENDLY



C. ENHANCED SIDEWALK TRAIL



D. PEDESTRIAN PASEO

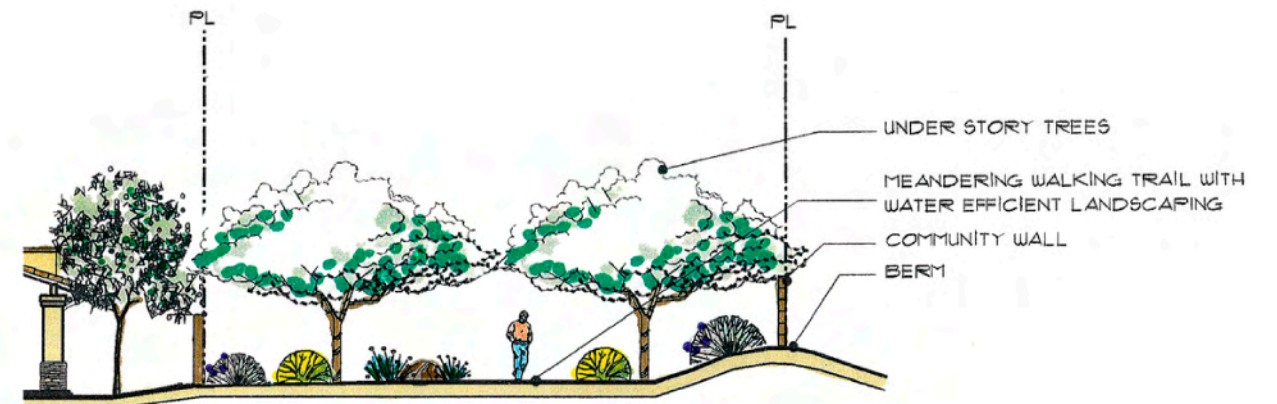


FIGURE IV-53

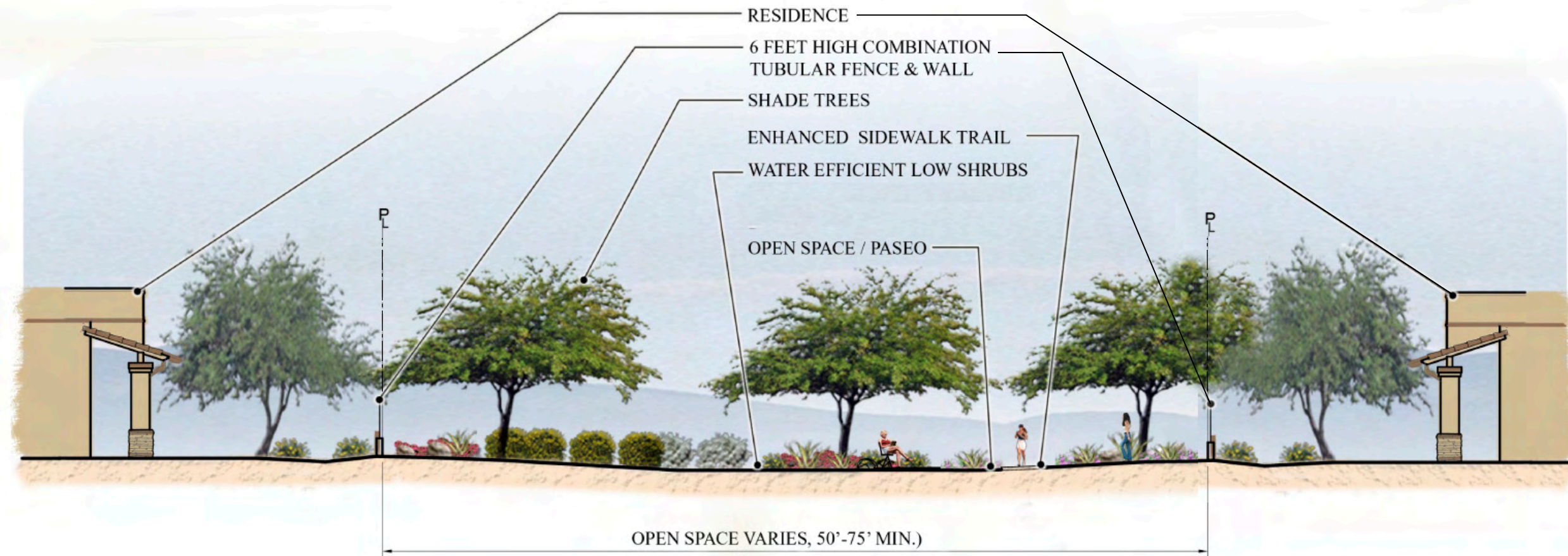


FIGURE IV-54

planting and shade trees. On either side of the Pedestrian Paseos is a tubular steel view fence. Seating areas are provided at various locations along the Enhanced Sidewalk trail. As previously described under Section IV.E.1.j, *Cul-De-Sac Streetscapes* and as illustrated in Figure IV-29, certain design considerations shall be implemented whenever the Pedestrian Paseos abut cul-de-sacs to create an aesthetic view and increase safety and security. For information regarding construction responsibility and timing of the Pedestrian Paseos, refer to Table II-6, *Recreational Amenities Construction Timing and Responsibility*.

The third trail type provided within the community is a 14-foot wide Regional Combination Trail (equestrian-friendly) within the Avenue 60 right-of-way. This soft-surface trail accommodates all forms of non-motorized circulation and also serves as a CVWD service road. The Regional Combination Trail is planned to extend off-site to the west and east and connect to planned regional trails off-site. To the west, the Regional Combination Trail will continue along the north side of Avenue 60 and connect to the Class I Bike Trail (as described below), which is located along the western right-of-way of Polk Street. To the east, the Regional Combination Trail will cross Fillmore Avenue and connect to the Combination Trail planned on top of the earthen embankment forming the Coachella Valley Stormwater Channel. These off-site regional trail extensions and connections are not a part of this project and will be constructed by others.




Lastly, a Class 1 Bike Trail is located on top of the Coachella Valley Stormwater Channel earthen embankment adjacent to the portion of Fillmore Street that is designated a Modified Major Highway. This 20-foot wide trail is a component of the SVIP Trails Plan and features paving with landscaped areas along both sides.

7. COMMUNITY WALLS AND FENCES

As shown in Figure IV-55, *Conceptual Wall and Fence Plan*, and Figure IV-56, *Conceptual Wall and Fence Details*, three types of walls and fencing are proposed within the THERMAL 551 community. Where possible, landscaping and berms are used to separate land uses in order to create a sense of openness. Where walls and fencing are necessary, they are intended to create a sense of community space, increase privacy and security, provide noise attenuation, and act as a buffer between neighborhoods or different land uses. The three types of walls and fencing proposed within the THERMAL 551 community include:

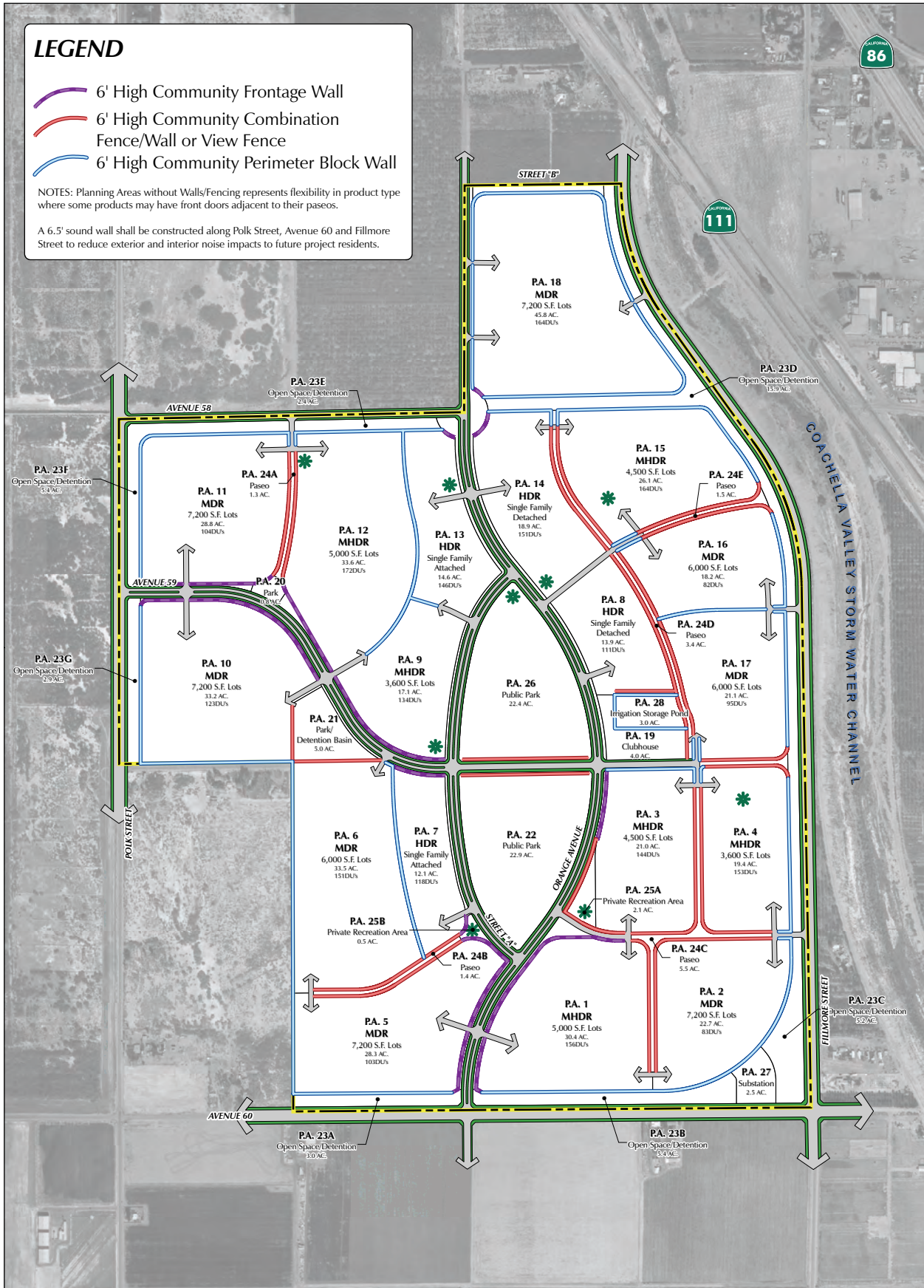
- ❑ **Community Frontage Wall:** Community frontage walls are provided along several roadways within the community to ensure the privacy of adjacent residences. Specifically, community frontage walls are located on either side of the portion of Avenue 59 that is a Modified Collector Road, except where the roadway is adjacent to the Public Park. Community frontage walls are also located in between Planning Area 1 and 5 and Orange Avenue and between Planning Area 5 and Street "A." The community frontage wall is constructed of 6-foot tall slump stone block with colored slurry finish and consists of columns (30-inches with stone veneer finish) placed along the wall at 200-foot minimum regular intervals. Community frontage wall columns shall be topped by a 2-inch cap. The frontage wall contains a decorative horizontal row of stone veneer blocks.

LEGEND

-  6' High Community Frontage Wall
-  6' High Community Combination Fence/Wall or View Fence
-  6' High Community Perimeter Block Wall

NOTES: Planning Areas without Walls/Fencing represents flexibility in product type where some products may have front doors adjacent to their paseos.

A 6.5' sound wall shall be constructed along Polk Street, Avenue 60 and Fillmore Street to reduce exterior and interior noise impacts to future project residents.



Source(s): T&B Planning, Eagle Aerial (2006)

FIGURE IV-55

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CONCEPTUAL WALL AND FENCE PLAN

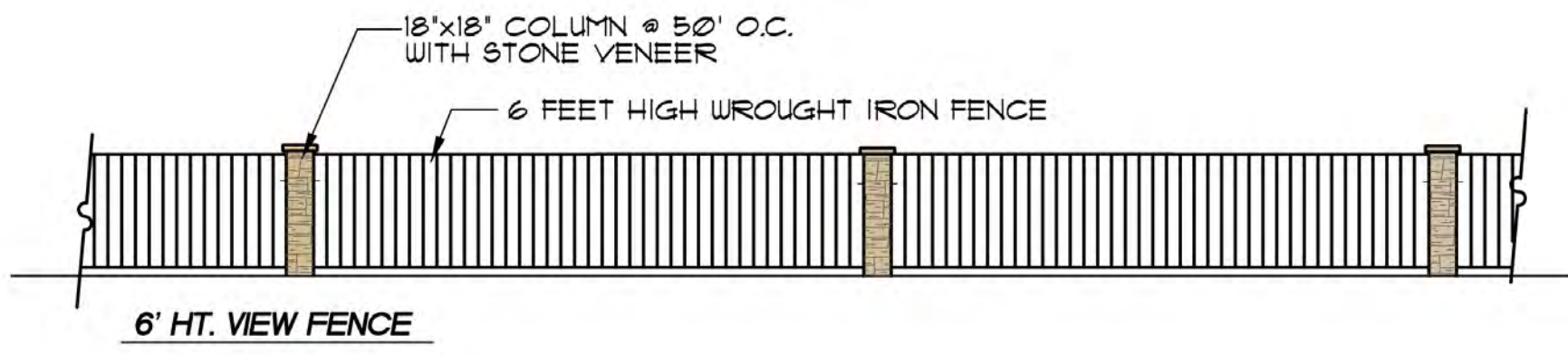
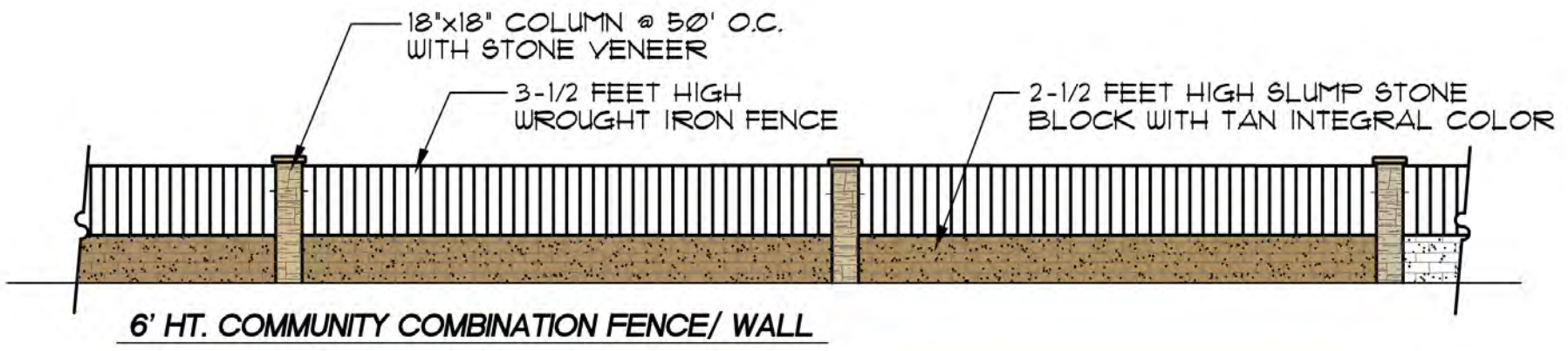
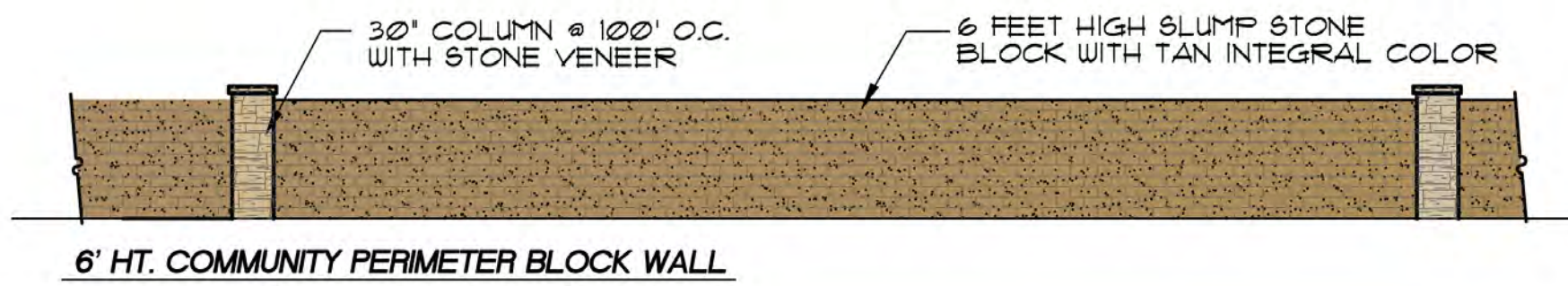
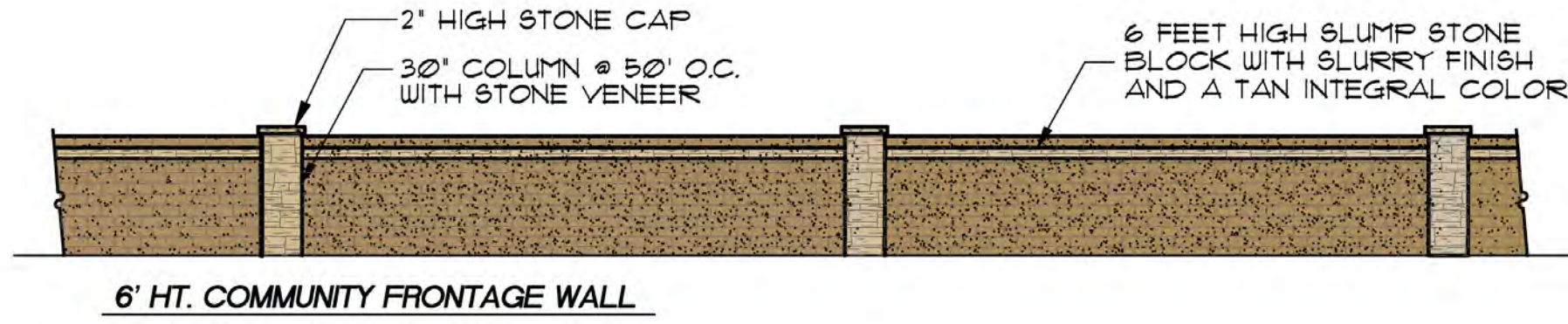


FIGURE IV-56

- ❑ **Combination Fence/Wall or View Fence:** A 6.0-foot tall combination fence/wall or view fence is located wherever a residential neighborhood abuts a Pedestrian Paseo or the Park/Detention Basin, and in between Planning Area 25A and Orange Avenue. The combination fences/walls or view fences provide privacy and security between residential neighborhoods. The combination fence/wall or view fence is a particularly important design feature for the paseos in Planning Areas 24A through 24E. This prevents the creation of “alleys” within the paseo and creating a more aesthetic scene between the residences and Pedestrian Paseos. In addition, a 6.0-foot tall view fence is provided adjacent to the Avenue 59 right-of-way in the Public Park (Planning Areas 22 and 26). The view fencing in the Public Park is an important safety feature, as it directs pedestrians and bicyclists to a protected crosswalk for travel between the southern and northern portions of the park and prevents potentially un-safe mid-block crossings. Combination fence/wall feature a 2.5-foot tall stump stone block base, and a 3.5-foot tall tubular steel fencing top. The view fence consists of 6.0-foot tall tubular steel fencing. Both the combination fence/wall and view fence features columns (18-inch by 18-inch with stone veneer finish) at 200-foot minimum regular intervals.
- ❑ **Community Perimeter Block Wall:** A third type of fencing that may be utilized within the community is the community perimeter block wall. This wall type is generally located wherever neighborhoods abut Open Space/Detention Areas. Community perimeter block walls create sense of community space, increase privacy and security, and provide noise attenuation from surrounding roadways. The community perimeter block wall is constructed of 6-foot tall stump stone block and consists of columns (18-inch by 18-inch with stone veneer finish) placed along the wall at 200-foot minimum regular intervals. These columns are topped by a 2-inch cap.

8. GENERAL LANDSCAPE REQUIREMENTS

a. Landscape Installation and Maintenance Responsibility

Maintenance responsibility of streetscape landscape right-of-ways and common areas, parks, paseos, recreation areas, and other common open space shall be provided by a maintenance district or the master homeowners’ association (HOA). Individual homeowners are responsible for the maintenance of public street landscape frontage adjacent to their property unless otherwise identified within their legal ownership documents. Private homeowners are also responsible for all maintenance within their private lot area, including fence and wall faces on their property.

b. Outdoor Lighting

All lighting fixtures, finishes, and colors shall reflect the theme of “Lush Desert.” Streets within THERMAL 551 should have uniform lighting standards with regard to style, materials, and colors to ensure consistent design. The major roadways within Thermal 551 should

utilize a similar style of lighting. Each residential neighborhood shall develop its own lighting standards, provided that the selected lighting fixture and style is used consistently throughout the entire neighborhood and is complementary to the THERMAL 551 outdoor lighting style as a whole. Lighting fixtures should be integrated into the surrounding natural and built environment and overall architectural theme of the neighborhood. Examples of these fixtures are provided in Figure IV-57, *Conceptual Lighting Details*.

c. Mailboxes

The design and theme for the mailbox or mailbox kiosk should be consistent with the architecture of the surrounding neighborhood. Mailboxes and mailbox kiosks should vary in design for each neighborhood to create a sense of community identity and individuality.

d. Irrigation System

In order to reduce development demands on potable/domestic water, this project is proposing to utilize available untreated "canal" water for use on the open space areas such as park sites, detention basins, greenbelts, and parkway landscaping along most of the roadways. A separate onsite non-potable distribution pipeline system will be provided along with a booster pump to deliver non-potable water from the ground storage pond to the non-potable distribution main system. This system will be installed to deliver irrigation water to each domestic lot also. The closed, looped, on-site irrigation distribution system is completely separate from the potable water system with a minimum of 10 feet of physical separation between the piping.

e. Water Conservation

In addition to the use of canal water for irrigation, other measures such as the use of water conservation plumbing fixtures in all construction, design of common landscape to minimize run-off or evaporation, and the appropriate use of drought tolerant plants will be applied. These considerations will all be utilized to minimize the impacts upon the continuous demand for canal water.

THERMAL 551 must conform to the requirements of Riverside County Ordinance No. 859. The appropriate use of drought tolerant plans will be utilized to minimize impacts upon groundwater supplies. Only sprinkler and micro irrigation (drip) techniques will be utilized within the development. Irrigation water demands will be determined by the landscaped architect and irrigation engineer according to CVWD's *Landscape Ordinance No. 1302* and *Best Management Practices*.



FIGURE IV-57

9. PLANT PALETTE

a. Acceptable Plant Materials

The intent of these guidelines is to provide a simple plant palette that complements and enhances the thematic setting for the community. In addition, this plant palette has been selected for the plants’ appropriateness to climatic conditions, soil conditions, and concern for maintenance, and water conservation per Ordinance 859.2, regarding water efficient landscape requirements, and the Riverside Guide to California Friendly Landscaping.

Additionally, the Plant Palette for THERMAL 551 utilizes plant species that are compatible with the Federal Aviation Administration Advisory requirements for wildlife attractants near airports. In general, acceptable plant species for THERMAL 551 include plants that do not produce seeds, fruits, or berries, which attract birds. Sterile versions of seed-, fruit-, or berry-producing trees are available and may be utilized for landscaping purposes, if acceptable per the THERMAL 551 Plant Palette requirements. Furthermore, trees shall be spaced in a manner that prevents the growth of large expanses of contiguous canopies. Canopies attract roosting bird species and may create a hazard to aircrafts.

In addition, planting within Open Land portions of the community shall adhere to the requirements of Zone D of the Jacqueline Cochran Regional Airport, as described in Section IV.E.4.

Plant selection for specific areas of the community shall have similar watering requirements so that irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. Table IV-1, *Plant Palette*, provides illustrations and descriptions of the acceptable plant materials within the THERMAL 551 community.

Table IV-1 PLANT PALETTE

ZONES					BOTANICAL NAME	COMMON NAME
OS	E	IS	P	S		
<i>Palms</i>						
	✓				<i>Brahea armata</i>	Mexican Blue Palm
	✓				<i>Butia capitata</i>	Pindo palm
	✓			✓	<i>Phoenix dactylifera</i>	Date palm
✓	✓			✓	<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Trees</i>						
✓			✓		<i>Acacia aneura</i>	Mulga
✓			✓		<i>Acacia salicina</i>	Willow Acacia
✓			✓	✓	<i>Acacia farnesiana</i>	Sweet Acacia
✓			✓		<i>Acacia stenophylla</i>	Shoestring Acacia
✓			✓		<i>Caesalpinia cacalaca</i>	Cascalote
✓	✓	✓	✓	✓	<i>Cercidium hybrid 'Desert</i>	Desert Museum

ZONES					BOTANICAL NAME	COMMON NAME
OS	E	IS	P	S		
					<i>Museum'</i>	
✓			✓	✓	<i>Cercidium floridum</i> (<i>Parkinsonia florida</i>)	Palo Verde
	✓	✓		✓	<i>Cercidium praecox</i>	Sonoran Palo Verde
✓			✓		<i>Chilopsis linearis</i>	Desert Willow
✓		✓	✓	✓	<i>Dalbergia sisso</i>	Rosewood
✓					<i>Lysiloma thomberi</i>	Feather Bush
✓		✓	✓	✓	<i>Quercus virginiana</i>	South Live Oak
✓	✓		✓	✓	<i>Olneya tesota</i>	Desert Ironwood
✓			✓		<i>Pithecellobium flexicaule</i>	Texas Ebony
✓	✓	✓	✓	✓	<i>Prosopis chilensis (thornless)</i>	Thornless Chilean Mesquite
✓			✓		<i>Prosopis glandulosa</i>	Honey Texas Mesquite
✓	✓	✓	✓	✓	<i>Prosopis hybrid 'Phoenix'</i>	Hybrid Mesquite
✓			✓		<i>Rhus lancea</i>	African Shumac
✓			✓		<i>Schinus molle</i>	California Pepper Tree
Accents/Grasses						
✓	✓		✓	✓	<i>Aloe spp.</i>	Aloe
✓	✓		✓	✓	<i>Agave spp.</i>	Agave
✓			✓	✓	<i>Dasyliirion acrotriche</i>	Green Desert Spoon
✓			✓	✓	<i>Dasyliirion longissima</i>	Mexican Grass Tree
✓		✓	✓	✓	<i>Daslirion wheeleri</i>	Desert Spoon
✓			✓	✓	<i>Fouqueria splendens</i>	Ocotillo
✓	✓		✓	✓	<i>Hesperaloe parvifolia</i>	Red / Yellow Yucca
✓			✓	✓	<i>Muhlenbergia capilaris</i>	Regal Mist
✓			✓	✓	<i>Muhlenbergia lindheimeri</i>	Lindheimeri Muhly
✓			✓	✓	<i>Muhlenbergia rigens</i>	Dear Grass
✓		✓	✓	✓	<i>Yucca spp.</i>	Yucca
Shrubs						
✓					<i>Ambrosia deltoidea</i>	Bursage
✓	✓	✓	✓	✓	<i>Bougainvillea spp.</i>	Bougainvillea
✓					<i>Baileya multiradiata</i>	Desert marigold
✓					<i>Calliandra eriophylla</i>	Fairy Duster
✓			✓	✓	<i>Caesalpinia pulcherrimax</i>	Desert Bird of Paradise
✓	✓	✓	✓	✓	<i>Carissa grandiflora. 'Green Carpet'</i>	Green Carpet Natal Plum
✓			✓	✓	<i>Caesalpinia gilliesii</i>	Desert Bird of Paradise
✓	✓	✓	✓	✓	<i>Chrysactinia mexicana</i>	Damianita
✓			✓		<i>Cordia parvifolia</i>	Little Leaf Cordia
✓					<i>Encelia farinosa</i>	Brittlebush
✓			✓		<i>Ericameria laricifolia</i>	Turpentine Bush
	✓				<i>Euphorbia splendens</i>	Crown of Thorns
✓					<i>Justicia Californica</i>	Chuparosa

ZONES					BOTANICAL NAME	COMMON NAME
OS	E	IS	P	S		
✓					<i>Justicia spicigera</i>	Mexican Honeysuckle
✓	✓	✓	✓	✓	<i>Leucophyllum spp.</i>	Texas Ranger
✓					<i>Larrea tridentata</i>	Creosote bush
✓		✓	✓	✓	<i>Penstemon spp.</i>	Penstemon
✓	✓	✓	✓	✓	<i>Ruellia brittoniana 'Katie'</i>	Blue Dwarf Ruellia
✓		✓	✓	✓	<i>Ruellia peninsularis</i>	Desert Ruellia
✓		✓	✓	✓	<i>Salvia greggii</i>	Red Salvia
✓		✓	✓	✓	<i>Salvia leucantha</i>	Mexican Bush Sage
✓			✓	✓	<i>Sphaeralcea ambigua</i>	Globe Mallow
✓			✓	✓	<i>Senna artemesoides</i>	Desert Cassis
✓			✓	✓	<i>Senna nemophila</i>	Bushy Senna
✓			✓	✓	<i>Senna oliogophylla</i>	Outback Senna
<i>Vines and Groundcover</i>						
✓	✓	✓	✓	✓	<i>Bougainvillea 'Barbara Karst'</i>	Bougainvillea
✓		✓	✓	✓	<i>Tecoma stans v. stans</i>	Yellow Bells
✓		✓	✓	✓	<i>Tecoma hybrid 'Orange Jubilee'</i>	Orange Jubilee
✓			✓		<i>Bacharris hybrid 'Thompson'</i>	Thompson
✓		✓	✓	✓	<i>Wisteria sinensis</i>	Chinese Wisteria
✓		✓	✓	✓	<i>Dalea greggii</i>	Trailing Indigo Bush
✓	✓	✓	✓	✓	<i>Lantana 'New Gold'</i>	New Gold Lantana
✓	✓	✓	✓	✓	<i>Lantana montevidensis</i>	Purple Lantana
✓	✓	✓	✓	✓	<i>Rosmarinus officinalis</i>	'Prostratus' Dwarf Rosemary
✓		✓	✓	✓	<i>Verbena spp.</i>	

Notes:

OS - Open Space, Common Areas, and Parks
 Entries - Entries
 IS - Interior Streets

P - Perimeter
 S - Streets

b. Trees

As described in Section IV.E.3, *Shade Standards*, parks and other passive recreational facilities within THERMAL 551 are required to feature landscaping or structure that creates shade over amenities such as tot lots, trail paths, pools, and lawn play areas. Trees are an integral practical and aesthetic aspect to the THERMAL 551 Landscape Design Guidelines. In addition to serving as a primary component of the streetscape design and providing a foundation for the plant palette, trees are an energy-saving tool. It is well documented that trees planted around homes can reduce cooling costs by up to 30% in the summer. Trees also act as windbreaks that aid in reducing winter heating bills.

By reducing solar radiation, creating shaded areas, focusing air movement, and lessening the surrounding air temperature, trees help to offset the urban "heat island" effect. Landscaping within THERMAL 551 shall utilize street trees that are optimally spaced to

provide heat reduction. Trees shall also be utilized in all streetscapes, active and passive recreation areas, parks, parking lots, and building sites in proper locations and densities to reduce the overall amount of urban heat.

The extensive use of trees within the community may also improve the overall air quality. In a single year, one acre of trees can absorb the amount of carbon dioxide produced by a car traveling 26,000 miles and produce enough oxygen for 18 people. Trees trap dust particles and absorb a great variety of gases that are not used by humans.

F. ENERGY EFFICIENCY GUIDELINES

This section of the Design Guidelines serves to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and the builder/developer. Following standard planning and building practices typically ensures compliance with building code requirements and issuances of the necessary permits; however, implementation of these Energy Efficient Guidelines can substantially contribute to the reduction in environmental impacts associated with air quality, hydrology, water quality, hazards, and utilities.

The following Energy Efficient Guidelines have been selected based on their ease of applicability and implementation during the design and construction phases, their marketability and/or desirability potential to the home buyer, and their cost incentive factor to both the builder and homeowner. The design recommendations have been categorized according to the following goals: 1) Maximize Energy Efficiency; 2) Maximize Water Quality and Conservation; 3) Minimize Landfill Waste; and 4) Promote Health By Improving Indoor Air Quality.

□ Goal #1: Maximize Energy Efficiency

During Planning and Construction:

1. Minimize disruptions to the building site whenever feasible, including protecting native topsoil from erosion, reusing topsoil after construction, relocating mature trees, shrubs, and native vegetation, and restoring disturbed natural communities.
2. All buildings shall employ passive heating and cooling design strategies to the extent feasible. Strategies to be considered include orientation; natural ventilation, including cross-ventilation in residential units; high insulation values, energy efficient windows including high performance glass; lightcolored or high-albedo (reflective) roofing and exterior walls; window shading; and landscaping that provides shading during appropriate seasons. These techniques are described in greater detail throughout these Energy Efficiency Guidelines.
3. Solar heat gain can be better controlled. The south and west sides of the home absorbs the majority of solar radiation that is transferred into the building. Where practical, the front and rear elevations should be oriented north and south; this orientation exposes the elevations with fewer windows to the most solar heat gain. Where the front and rear elevations do not face north-south, deep overhangs, patios, trees, or other passive cooling mechanisms to minimize heat transfer, as described in Item #2 above should be utilized.
4. Shading of windows and entrance locations with a combination of structural elements and landscape materials will reduce heat gain and lower the temperature

around the house. Interior shading devices like curtains, blinds, shutters are less effective in this capacity. The overall result is a decrease in energy consumption from the decreased use of mechanical cooling systems. Where practical and consistent with the architectural style, windows and entrance locations, primarily on the south and west sides, should be protected and shaded by exterior treatments such as porches, awnings, deep-set windows, trellises and/or trees.

5. East- and west- facing windows receive the majority of light and heat and are difficult to shade. East windows are more favorable in that they allow morning sun. West windows receive radiation from hotter afternoon sun increasing heat transfer into the home. By limiting the total area of glass on the east and west sides of the home, solar heat gain can be controlled, thereby, reducing use of mechanical cooling systems and energy consumption. When practical, the use of glass should be limited on the east and west building faces. House designs should limit the total glass area located on east and west walls, combined to no more than 25% of total glass area. .
6. Careful window placement can ensure maximum cross ventilation and the expulsion of hot air from the home. Solar heat gain can be passively controlled, thereby, reducing use of mechanical systems that consume power. The result is an overall decrease in energy consumption. When practical, locate windows primarily on the north and east sides of the house. Low windows should be placed on the windward side (toward the direction from which the wind blows) and high windows should be placed on the leeward side (away from the direction from which the wind blows). Windows shall be high-performance low-e and operable for passive cooling.
7. Windows with a National Fenestration Rating Council (NFRC) have ratings that measure the insulating properties of the window. The NFRC U-value measures the rate of heat flow through a window. The lower U-value indicates lower heat loss in winter or heat gain in summer. The Solar Heat Gain Coefficient (SHGC) measures the amount of solar heat that a window allows to pass. A lower SHGC is desirable in order to reduce heat gain. At a minimum, install windows that have a NFRC total unit U-factor of 0.65 or less and a NFRC Solar Heat Gain Coefficient of 0.55 or less.
8. When practical, install at least two (2) windows in each bedroom, living room, kitchen, dining room, great rooms or other key living rooms when permitted by the building orientation, and position the windows on opposite walls when possible. At least two windows in each room allow for maximum ventilation and provide for sufficient natural lighting to reduce the need for mechanical cooling and artificial lighting. Overall, energy consumption could be reduced.
9. Reduce solar heat gain by utilizing light colored roofs where architecturally appropriate. Light colored roofs absorb less heat, and reduce the use of mechanical cooling systems.

10. Incorporate sun and wind protected usable outdoor areas for each structure, with electrical outlets to encourage outdoor use. Increased use of outdoor areas would minimize use of indoor areas. By creating an outdoor space that incorporates cooling elements such as water features and vegetation, the outside temperature is cooled making outdoor living more enjoyable. The north side of the building is the least impacted by solar radiation and most favorable site for outdoor environments. It also reduces solar heat gain of the structure, thereby reducing reliance on mechanical cooling systems.
11. Garages, storage areas and detached rooms should be located on the west side of the house, where practical, to act as buffer areas to control solar heat gain of the house, thereby, reducing reliance on mechanical cooling systems.
12. Strategically placed vents allow for efficient passive cooling of the house. Cool area vents allow for entry of cool air and thermal mass vents expel hot air in south side of home. Overall, solar heat gain is controlled and reliance on mechanical cooling systems is reduced. Where practical, install vents directly above thermal mass areas on the south side of house in two-story homes and install vents in cooler areas of house.
13. Where practical, incorporate a vented roof cavity and install a whole house fan, or insulate the underside of the roof. If feasible, apply high insulation factor material in exterior walls (R-19) and ceilings (R-30).
14. Consider increasing the dimensions and/or spacing of wall studs to allow for more insulation.

During Selection of Home Features and Appliances:

1. Built-in task lighting reduces reliance on general purpose lighting, ultimately lowering electrical consumption. Where appropriate, offer task lighting in heavily used rooms such as the kitchen, bathroom and offices or other work areas.
2. Ceiling fans draw up and expel hot air. Consider installing strategically placed ceiling fans in all major rooms with reversible, multi-speed feature.
3. Use light colored paint on interior walls with a Light Reflectance Value (LRV) of minimum 40% to reduce thermal migration, maximize control of solar heat gain and ultimately reduce utility costs. .
4. A passive clothes-drying system option encourages alternative methods for clothes drying, reducing the use of the dryer which heats the home and consumes energy. Consider installing a passive clothes-drying system in the home's laundry area, or offer a passive system as a homebuyer option.

5. Thermal mass is any mass used to collect and hold heat including adobe, brick, concrete, tile, water, earth, rock, vegetation, etc. Where practical, strategically locate and incorporate the use of thermal mass inside the house including but not limited to: tile flooring near windows, glass entries along the south side of the home.
6. Where practical, use energy-efficient appliances and programmed thermostats to reduce the amount of consumed energy and reduce utility bills.
7. All residential buildings shall be equipped with Energy Star-rated appliances, where applicable, and all residential buildings shall exceed the California Title 24 Energy Efficiency standards for water heating and space heating and cooling to the extent feasible, as deemed acceptable by the Department of Water and Power.
8. Energy efficient lighting which exceeds the California Title 24 Energy Efficiency standards to the extent feasible shall be installed to satisfy interior lighting requirements within all residential and non-residential buildings. Automatic devices to turn off lights when they are not needed shall be used to the extent feasible. Similarly, install timers on outdoor lighting to limit operating hours.
9. Use of passive solar energy minimizes the consumption of electricity. The Developer shall offer additional energy conservation features as homebuyer options, including but not limited to:
 - Photovoltaic (PV) panels for electrical power needs of home.
 - Photovoltaic landscape lighting, gate openers, water features.
 - Solar water heating system.
10. Pre-wire and provide for 200 square feet of south-facing roof for future install of photovoltaic panels.
11. Permeable materials cut down on the amount of heat absorbed and re-radiated from paved surfaces. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. The Developer shall offer a permeable driveway surface as a homebuyer option.
12. Use of passive solar energy minimizes the consumption of electricity. If a pool or spa is provided in common recreation areas, consider the option of a solar assisted heating/cooling system for the pool and spa.

During Landscaping:

1. Landscaping plans should provide for the placement of tall, deciduous trees along the southwest and west (as well as east) sides of the house to block hot afternoon summer sun. Tall deciduous trees sited along the southwest and west of a residence provide shade and protect the home from solar heat gain keeping the outdoor

surroundings cool. During winter, leaves drop off allowing winter sun to shine through to heat the home passively. The result is less reliance on mechanical heating and cooling systems.

2. Shade producing trees, particularly those that shade paved surfaces such as streets and parking lots and buildings, shall be planted in accordance with the Specific Plan Shade Standards. These strategies minimize the heat island effect and thereby reduce the amount of air conditioning required.
3. Non-permeable materials used as ground covering absorb and trap the sun's heat, contributing to the increase in the average daily temperature surrounding the home. Permeable materials cut down on the amount of heat absorbed and re-radiated from the surface. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. Reduce the amount of non-permeable surface on each lot to the maximum extent possible.
4. All residential buildings shall be equipped with electric vehicle charging stations to the extent required by the California Air Resources Board at the time of construction of a given building.

□ Goal #2: Maximize Water Quality and Conservation

Landscape Considerations:

1. Drought tolerant and native plants are required as part of the plant palette, as required by Riverside County Ordinance No. 859.
2. Different types of plants have different watering and maintenance needs. A zoned irrigation system delivers the appropriate amount of water to the appropriate landscaping zone as needed. Use a drip irrigation system and/or zoned irrigation system with a rain sensor shut-off feature. The shut-off feature prevents unnecessary irrigation during rain.
3. Install Xeriscape landscape treatments instead of lawns in front yards. Where lawns or gardens are proposed, incorporate detention grading and/or construct as a swale to allow for maximum detention and control of stormwater flows.
4. Prohibit the use of turf on slopes greater than 10%, in irregularly shaped areas, and in isolated areas that cannot be efficiently irrigated.
5. Apply compost to topsoil, and apply mulch on planting beds to keep soil covered.

Design Considerations:

1. If a pool is provided in a common recreation area, consider installing a pool filtration with zero water backwash system to reduce and possibly eliminate the need to drain the pool.
2. Utilize U.S. EPA Certified WaterSense labeled or equivalent faucets and high-efficiency toilets (HETs) and water-conserving shower heads in residential homes.

Goal #3: Minimize Landfill Waste

1. Consider installing built-in recycling bins, preferably two or more 5 gallon bins, in or near kitchen to reduce waste deposited to landfills.
2. Consider including community sites for composting and mulching green waste from yards.
3. During building construction, use long-lasting products, such as engineering lumber and durable, non-combustible flooring, siding, and roofing materials, if feasible.

Goal #4: Promote Health By Improving Indoor Air Quality

1. Avoid building materials containing toxic chemicals:
2. Minimize contaminants tracked indoors by using hard-surfaced flooring rather than carpet for entryways.
3. Avoid oil-based products or those containing formaldehyde.
4. Use low- or non-VOC paints, finishes, sealants, cleaners, and adhesives.
5. Consider installing carbon monoxide alarms.
6. Consider installing garage exhaust fans or air seals, and incorporate effective ventilation and ductwork.
7. If feasible, utilize radon-resistant construction material.
8. Properly waterproof, drain, and repel moisture from buildings to prevent decay and mold growth.

1 ORDINANCE NO. 348.

2 AN ORDINANCE OF THE COUNTY OF RIVERSIDE
3 AMENDING ORDINANCE NO. 348 RELATING TO ZONING
4

5 The Board of Supervisors of the County of Riverside Ordains as Follows:

6 Section 1. Section XXX of Ordinance No. 348, and Official Zoning Plan Map No. XXX, as
7 amended, are further amended by placing in effect in the Lower Coachella Valley District the zone or
8 zones as shown on the map entitled "Change of Official Zoning Plan Amending Ordinance No. 348, Map
9 No. XXX, Change of Zone Case No. 07481," which map is made a part of this ordinance.

10 Section 2. Article XVIIa of Ordinance No. 348 is amended by adding thereto a new Section
11 XXX to read as follows:

12 Section XXX SP ZONE REQUIREMENTS AND STANDARDS FOR SPECIFIC PLAN NO.
13 369.

14 a. Planning Areas 1 and 12.

15 (1) The uses permitted in Planning Area 1 of Specific Plan No. 369 shall be the same
16 as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348. No use, other than an
17 agricultural use and any use incidental thereto permitted in Article XIII, Section 13.1 of
18 Ordinance 348 shall be permitted within Planning Area 1 of Specific Plan No. 369 until such
19 time as Map No. 298 of Coachella Valley Agricultural Preserve No. 62 has been diminished or
20 disestablished in the planning area and any corresponding Williamson Act contract is no longer
21 in effect for Planning Area 1.

22 Thereafter, the uses permitted in Planning Area 1 of Specific Plan No. 369 shall be the
23 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the
24 uses permitted pursuant to Section 6.1.a.(2), (3), (4), (5), (7).a, (7).b, (7).c, (7).d., (7).e, (8), (9):
25 Section 6.1.b.(2), (3), (4), (5); Section 6.1.c.(1); Section 6.1.d; and Section 6.1.e.(1), shall not be
26 permitted. In addition, the uses permitted under Section 6.1.b shall include private recreational

1 parks/areas that include amenities including pools, tot lots, bathrooms, spas, trails, picnic areas,
2 BBQ facilities, fitness centers, and other similar uses.

3 (2) The uses permitted for Planning Area 12 of Specific Plan No. 369 shall be the
4 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the
5 uses permitted pursuant to Section 6.1.a.(2), (3), (4), (5), (7).a, (7).b, (7).c, (7).d., (7).e, (8), (9):
6 Section 6.1.b.(2), (3), (4), (5); Section 6.1.c.(1); Section 6.1.d; and Section 6.1.e.(1), shall not be
7 permitted. In addition, the uses permitted under Section 6.1.b shall include private recreational
8 parks/areas that include amenities including pools, tot lots, bathrooms, spas, trails, picnic areas,
9 BBQ facilities, fitness centers, and other similar uses.

10 (3) The development standards for agricultural uses and incidental uses thereto
11 within Planning Area 1 of Specific Plan No. 369 shall be the same as those standards in Article
12 XIII, Section 13.2 of Ordinance No. 348.

13 (4) If Planning Areas 1 and 12 of Specific Plan No. 369, are to be developed with
14 single family detached homes the developmenet standrads shall be the same as those standards
15 identified in Section 6.2 of Ordinance No. 348, except that the development standards set forth in
16 Section 6.2.a, b, c, d, e(1), e(2), e(3), and e(4) shall be deleted and replaced with the following:

- 17 A. The minimum lot size shall be 5,000 square feet. The minimum lot
18 width shall be 50 feet.
- 19 B. The front yard setback shall be a minimum of 15 feet. The minimum
20 side yard distance between structures shall be at least 10 feet. Side yards
21 setbacks on corner lots shall not be less than 10 feet. The rear yard
22 setback shall not be less than 15 feet.
- 23 C. The maximum structural height shall be 35 feet.
- 24 D. The maximum lot coverage shall be 60% for single story units and 50%
25 for two story units.
- 26 E. A minimum of 200 square feet of private open space shall be provided

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for each unit with a minimum dimension of 8 feet.

- F. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet; driveway lengths between 3 feet and 18 feet are not permitted.
- G. A minimum of 200 square feet of private open space shall be provided for each unit with a minimum dimension of 8 feet.
- H. Encroachments for fire fireplaces, AC units and media centers shall not exceed 2 feet into the minimum front, side, or rear setback. No AC units are permitted in front of the structure. Encroachments for balconies, porches, decks, and attached patio covers shall not exceed 7 feet into the minimum front or rear setback. The side yard with gate access shall at all times maintain a 5 feet clearance regardless of encroachments.
- I. All public playground equipment within Planning Areas 1 and 12 shall be shaded in accordance with the Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

(5) If Planning Areas 1 and 12 of Specific Plan No. 369 are developed with rear-loaded homes, the development standards for Planning Areas 1 and 12 shall be the same as those standards identified in Section 6.2 of Ordinance No. 348, except that the development standards set forth in Section 6.2.a, b, c, d, e(1), e(2), e(3), and e(4) shall be deleted and replaced with the following:

- A. The minimum front yard setback (to the main structure) shall be 10 feet. The minimum rear yard setback to the garage shall be 3 feet. In addition, the minimum rear yard setback on the second floor shall be 3 feet for 50% of the living area and 9 feet for the remaining 50% of the second story living area.
- B. The driveway shall be a maximum of 3 feet or a minimum of 18 feet; driveway lengths between 3 feet and 18 feet are not permitted.

- 1 C. Encroachments for balconies, porches, decks, and attached patio covers
- 2 shall not exceed 5 feet into the minimum rear setback.
- 3 D. All other development standard for rear-loaded homes in Planning Areas
- 4 1 and 12 shall be consistent with the development standards for single
- 5 family detached homes in Planning Areas 1 and 12.

6 (6) If Planning Areas 1 and 12 of Specific Plan No. 369 are developed with paired Z-
7 lot homes, the development standards for Planning Areas 1 and 12 of Specific Plan No. 369 shall
8 be the same as those standards identified in Section 6.2 of Ordinance No. 348, except that the
9 development standards set forth in Section 6.2.a, b, c, d, e(1), e(2), e(3), and e(4) shall be deleted
10 and replaced with the following:

- 11 A. The minimum front yard setback (to the main structure) shall be 12 feet.
- 12 The minimum corner side yard setback shall be 8 feet. The minimum
- 13 side yard distance between structures shall be at least 10 feet. The
- 14 minimum rear yard setback shall be 5 feet to the garage and 15 feet to
- 15 the living area.
- 16 B. There shall be a minimum 20 feet separation between the second story of
- 17 adjacent buildings.
- 18 C. Encroachments for balconies, porches, decks, and attached patio covers
- 19 shall not exceed more than 10 feet into the minimum rear setback.
- 20 D. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
- 21 driveway lengths between 3 feet and 18 feet are not permitted.
- 22 E. All other development standard for paired Z-lot homes in Planning Areas
- 23 1 and 12 shall be consistent with the development standards for single
- 24 family detached homes in Planning Areas 1 and 12.

25 (7) Except as provided above, all other zoning requirements shall be the same as
26 those requirements identified in Article VI of Ordinance No. 348.

1 b. Planning Areas 2, 5, 10, 11 and 18.

2 (1) The uses permitted in Planning Areas 2 and 18 of Specific Plan No. 369 shall be
3 the same as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348. No use,
4 other than an agricultural use and any use incidental thereto permitted in Article XIII, Section
5 13.1 of Ordinance 348 shall be permitted within Planning Areas 2 and 18 of Specific Plan No.
6 369 until such time as Map No. 298 of Coachella Valley Agricultural Preserve No. 62 and Map
7 No. 134 of Coachella Valley Agricultural Preserve No. 18 (applicable to Planning Areas 2 and
8 18, respectively) have been diminished or disestablished in the planning area and any
9 corresponding Williamson Act contract is no longer in effect for the planning area.

10 Thereafter, the uses permitted in Planning Areas 2 and 18 of Specific Plan No. 369 shall
11 be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that
12 the uses permitted pursuant to Section 6.1.a.(2), (3), (4), (5), (7).a, (7).b, (7).c, (7).d., (7).e, (8),
13 (9): Section 6.1.b.(2), (3), (4), (5); Section 6.1.c.(1); Section 6.1.d; and Section 6.1.e.(1), shall not
14 be permitted. In addition, the uses permitted under Section 6.1.b shall include private
15 recreational parks/areas that include amenities including pools, tot lots, bathrooms, spas, trails,
16 picnic areas, BBQ facilities, fitness centers, and other similar uses.

17 (2) The uses permitted for Planning Areas 5, 10, and 11 of Specific Plan No. 369
18 shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except
19 that the uses permitted pursuant to Section 6.1.a.(2), (3), (4), (5), (7).a, (7).b, (7).c, (7).d., (7).e,
20 (8), (9): Section 6.1.b.(2), (3), (4), (5); Section 6.1.c.(1); Section 6.1.d; and Section 6.1.e.(1),
21 shall not be permitted. In addition, the uses permitted under Section 6.1.b shall include private
22 recreational parks/areas that include amenities including pools, tot lots, bathrooms, spas, trails,
23 picnic areas, BBQ facilities, fitness centers, and other similar uses.

24 (3) The development standards for agricultural uses and incidental uses thereto
25 within Planning Areas 2 and 18 of Specific Plan No. 369 shall be the same as those standards in
26 Article XIII, Section 13.2 of Ordinance No. 348.

1 (4) If Planning Areas Areas 2, 5, 10, 11, and 18 of Specific Plan No. 369 are
2 developed with single-family homes, the development standards for Planning Areas 2, 5, 10, 11,
3 and 18 of Specific Plan No. 369 shall be the same as those standards identified in Section 6.2 of
4 Ordinance No. 348, except that the development standards set forth in Section 6.2.a, b, c, d, e(1),
5 e(2), e(3), and e(4) shall be deleted and replaced with the following:

- 6 A. The minimum lot size shall be 7,200 square feet. The minimum lot width
7 shall be 72 feet.
- 8 B. The minimum front yard setback shall be 15 feet. The minimum side yard
9 distance between structures shall be at least 15 feet. Side yards setbacks
10 on corner lots shall not be less than 15 feet with a minimum setback of 5
11 feet on each side. The rear yard setback shall not be less than 20 feet.
12 The minimum setback for garages shall be 18 feet. The minimum side-in
13 garage setback shall be 15 feet.
- 14 C. Building height shall not exceed 35 feet.
- 15 D. The maximum lot coverage shall be 50% of any lot with a single-story
16 dwelling unit and 40% of any lot with a two-story dwelling.
- 17 E. Encroachments for fire fireplaces, AC units and media centers shall not
18 exceed 2 feet into the minimum front, side, or rear setback. No AC units
19 are permitted in front of the structure. Encroachments for balconies,
20 porches, decks, and and attached patio covers shall not exceed 12 feet into
21 the minimum front or rear setback. The side yard with gate access shall at
22 all times maintain a 5 feet clearance regardless of encroachments.
- 23 F. All public playground equipment shall be shaded in accordance with the
24 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

25 (5) Except as provided above, all other zoning requirements shall be the same as
26 those requirements identified in Article VI of Ordinance No. 348.

1 c. Planning Areas 3 and 15.

2 (1) The uses permitted in Planning Area 3 of Specific Plan No. 369 shall be the same
3 as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348. No use, other than an
4 agricultural use and any use incidental thereto permitted in Article XIII, Section 13.1 of
5 Ordinance 348 shall be permitted within Planning Area 3 of Specific Plan No. 369 until such
6 time as Map No. 298 of Coachella Valley Agricultural Preserve No. 62 has been diminished or
7 disestablished in the planning area and any corresponding Williamson Act contract is no longer
8 in effect for the planning area.

9 Thereafter, the uses permitted in Planning Area 3 of Specific Plan No. 369 shall be the
10 same as those uses permitted in Article VII, Section 7.1 of Ordinance No. 348, except that the
11 uses permitted pursuant to Section 7.1.a.(2), (3), (4), (10), (11), (12); Section 7.1.b.(3), (5), (6),
12 (7) and (9); and Section 7.1.c.(1) and (2) shall not be permitted. In addition, the uses permitted
13 under Section 6.1.b shall include private recreational parks/areas that include amenities including
14 pools, tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other
15 similar uses.

16 (2) The uses permitted in Planning Area 15 of Specific Plan No. 369 shall be the
17 same as those uses permitted in Article VII, Section 7.1 of Ordinance No. 348, except that the
18 uses permitted pursuant to Section 7.1.a.(2), (3), (4), (10), (11), (12); Section 7.1.b.(3), (5), (6),
19 (7) and (9); and Section 7.1.c.(1) and (2) shall not be permitted. In addition, the uses permitted
20 under Section 6.1.b shall include private recreational parks/areas that include amenities including
21 pools, tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other
22 similar uses.

23 (3) The development standards for agricultural uses and incidental uses thereto
24 within Planning Area 3 of Specific Plan No. 369 shall be the same as those standards in Article
25 XIII, Section 13.2 of Ordinance No. 348.

26 (4) If Planning Areas 3 and 15 of Specific Plan No. 369 are developed with single

1 family detached homes, the development standards for Planning Areas 3 and 15 of Specific Plan
2 No. 369 shall be the same as those identified in Article VII of Ordinance 348 except Sections
3 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of Ordinance No. 348 shall be deleted and
4 replaced with the following development standards:

5 A. The minimum lot size shall be 4,500 square feet. The minimum lot
6 width shall be 45 feet.

7 B. The minimum front yard setback (to the main structure) shall be 15 feet.
8 The minimum corner side yard setback shall be 10 feet. The minimum
9 side yard distance between structures shall be at least 10 feet. The
10 minimum rear yard setback shall be 15 feet. The minimum garage
11 setback shall be 18 feet.

12 C. The maximum structural height shall be 35 feet.

13 D. The maximum lot coverage shall be 60% for single story buildings and
14 50% for two story buildings. Lot coverage includes garages, covered
15 porches, and balconies.

16 E. Encroachments for fire fireplaces, AC units and media centers shall not
17 exceed 2 feet into the minimum front, side, or rear setback.
18 Encroachments for balconies, porches, decks, and attached patio covers
19 shall not exceed 10 feet into the minimum front or rear setback. No AC
20 units shall be permitted in front of the structure. The side yard with gate
21 access shall at all times maintain a 5 feet clearance regardless of
22 encroachments.

23 F. All public playground equipment shall be shaded in accordance with the
24 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

25 (5) If Planning Areas 3 and 15 of Specific Plan No. 369 are developed with rear-
26 loaded homes, Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of Ordinance No. 348

1 shall be deleted and replaced with the following development standards:

- 2 A. The minimum front yard setback (to the main structure) shall be 10 feet.
3 The minimum rear yard setback on the second floor shall be 3 feet for
4 50% of the living area and 9 feet for the remaining 50% of the second
5 story living area.
- 6 B. Encroachments for balconies, porches, decks, and attached patio covers
7 shall not exceed 5 feet into the minimum rear setback.
- 8 C. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
9 driveway lengths between 3 feet and 18 feet are not permitted.
- 10 D. All other development standard for rear-loaded homes in Planning Areas
11 3 and 15 shall be consistent with the development standards for single
12 family homes in Planning Areas 3 and 15.

13 (6) If Planning Areas 3 and 15 of Specific Plan No. 369 are developed with paired Z-
14 lot homes, Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of Ordinance No. 348 shall
15 be deleted and replaced with the following development standards:

- 16 A. The minimum front yard setback (to the main structure) shall be 12 feet.
17 The minimum corner side yard setback shall be 8 feet. The minimum
18 side yard distance between structures shall be at least 10 feet.
- 19 B. The minimum building separation between the 2nd story shall be 20 feet.
- 20 C. Encroachments for balconies, porches, decks, and attached patio covers
21 shall not exceed 5 feet into the minimum rear setback.
- 22 D. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
23 driveway lengths between 3 feet and 18 feet are not permitted.
- 24 E. All other development standard for paired Z-lot homes in Planning Areas
25 3 and 15 shall be consistent with the development standards for single
26 family homes in Planning Areas 3 and 15.

1 (7) If Planning Areas 3 and 15 of Specific Plan No. 369 are developed with cluster
2 homes, Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of Ordinance No. 348 shall be
3 deleted and replaced with the following development standards:

- 4 A. The minimum front yard setback (to the main structure) shall be 10 feet.
5 The minimum rear yard setback shall be 10-feet.
- 6 B. The minimum building separation between the 1st story shall be 20 feet.
7 The minimum building separation between the 2nd story shall be 30 feet.
- 8 C. Encroachments for balconies, porches, decks, and attached patio covers
9 shall not exceed 5 feet into the minimum rear setback.
- 10 D. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
11 driveway lengths between 3 feet and 18 feet are not permitted.
- 12 E. All other development standard for cluster homes in Planning Areas 3
13 and 15 shall be consistent with the development standards for single
14 family homes in Planning Areas 3 and 15.

15 (8) Except as provided above, all other zoning requirements shall be the same as
16 those requirements identified in Article VII of Ordinance No. 348.

17 d. Planning Area 4.

18 (1) The uses permitted in Planning Area 4 of Specific Plan No. 369 shall be the same
19 as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348. No use, other than an
20 agricultural use and any use incidental thereto permitted in Article XIII, Section 13.1 of
21 Ordinance 348 shall be permitted within Planning Area 4 of Specific Plan No. 369 until such
22 time as Map No. 298 of Coachella Valley Agricultural Preserve No. 62 has been diminished or
23 disestablished in the planning area and any corresponding Williamson Act contract is no longer
24 in effect for the planning area.

25 Thereafter, the uses permitted in Planning Area 4 of Specific Plan No. 369 shall be the
26 same as those uses permitted in Article VII, Section 7.1 of Ordinance No. 348, except that the

1 uses permitted pursuant to Section 7.1.a.(2), (3), (4), (10), (11), (12): Section 7.1.b.(3), (5), (6),
2 (7) and (9); and Section 7.1.c.(1) and (2) shall not be permitted. In addition, the uses permitted
3 under Section 6.1.b shall include private recreational parks/areas that include amenities including
4 pools, tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other
5 similar uses.

6 (2) The development standards for agricultural uses and incidental uses thereto
7 within Planning Area 4 of Specific Plan No. 369 shall be the same as those standards in Article
8 XIII, Section 13.2 of Ordinance No. 348.

9 (3) If Planning Area 4 of Specific Plan No. 369 is developed with paired Z-lot
10 homes, the planning area development standards shall be the same as those identified in Article
11 VII of Ordinance No. 348 except Sections 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of
12 Ordinance No. 348 shall be deleted and replaced with the following development standards:

- 13 A. The minimum lot size shall be 3,600 square feet. The minimum lot
14 width shall be 45 feet.
- 15 B. The minimum front yard setback (to the main structure) shall be 12 feet.
16 The minimum corner side yard setback shall be 8 feet. The minimum
17 interior side yard setback shall be 4 feet. The minimum rear yard
18 setback shall be 5 feet to the garage and 15 feet to the living area. The
19 garage setback shall be 18 feet.
- 20 C. The maximum structural height shall be 35 feet.
- 21 D. The maximum lot coverage shall be 30%.
- 22 E. A minimum of 150 square feet of private open space shall be provided
23 for each unit with a minimum dimension of 8 feet.
- 24 F. Encroachments for fire fireplaces, AC units and media centers shall not
25 exceed 2 feet into the minimum front, side, or rear setback.
26 Encroachments for balconies, porches, decks, and attached patio covers

1 shall not exceed 5 feet into the minimum front or rear setback. No AC
2 units shall be permitted in front of the structure. The side yard with gate
3 access shall at all times maintain a 5 feet clearance regardless of
4 encroachments.

5 G. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
6 driveway lengths between 3 feet and 18 feet are not permitted.

7 H. All public playground equipment shall be shaded in accordance with the
8 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

9 (4) If Planning Area 4 of Specific Plan No. 369 is developed with cluster homes,
10 Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of Ordinance No. 348 shall be deleted
11 and replaced with the following development standards:

12 A. The minimum front yard setback (to the main structure) shall be 10 feet.
13 The minimum rear yard setback shall be 10 feet. The garage setback
14 shall be a maximum of 3 feet or a minimum of 18 feet.

15 B. The minimum building separation between the 1st story shall be 20 feet.
16 The minimum building separation between the 2nd story shall be 30 feet.

17 C. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
18 driveway lengths between 3 feet and 18 feet are not permitted.

19 D. All other development standard for cluster homes in Planning Area 4
20 shall be consistent with the development standards for paired Z-lot
21 homes in Planning Area 4.

22 (5) Except as provided above, all other zoning requirements shall be the same as
23 those requirements identified in Article VII of Ordinance No. 348.

24 e. Planning Areas 6, 16, and 17

25 (1) The uses permitted in Planning Areas 6, 16, and 17 of Specific Plan No. 369 shall
26 be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that

1 the uses permitted pursuant to Section 6.1.a.(2), (3), (4), (5), (7).a, (7).b, (7).c, (7).d., (7).e, (8),
2 (9): Section 6.1.b.(2), (3), (4), (5); Section 6.1.c.(1); Section 6.1.d; and Section 6.1.e.(1), shall not
3 be permitted. In addition, the uses permitted under Section 6.1.b shall include private
4 recreational parks/areas that include amenities including pools, tot lots, bathrooms, spas, trails,
5 picnic areas, BBQ facilities, fitness centers, and other similar uses.

6 (2) If Planning Areas 6, 16, and 17 of Specific Plan No. 369 are developed with
7 single family detached homes, the development standards for Planning Areas 6, 16, and 17 of
8 Specific Plan No. 369 shall be the same as those standards identified in Section 6.2 of Ordinance
9 No. 348, except that the development standards set forth in Section 6.2.a, b, d, e(1), e(2), e(3),
10 and e(4) shall be deleted and replaced with the following:

- 11 A. The minimum lot size shall be 6,000 square feet. The minimum lot
12 width shall be 60 feet.
- 13 B. The front yard setback shall be a minimum of 15 feet. The minimum side
14 yard distance between structures shall be at least 10 feet. Side yards
15 setbacks on corner lots shall not be less than 10 feet. The rear yard
16 setback shall not be less than 15 feet. The minimum setback for garages
17 shall be 18 feet. The minimum side-in garage setback shall be 15 feet.
- 18 C. The maximum structural height shall be 35 feet.
- 19 D. The maximum lot coverage shall be 50% for single story units and 40%
20 for two story units.
- 21 E. A minimum of 250 square feet of private open space shall be provided
22 for each unit with a minimum dimension of 8 feet.
- 23 F. Encroachments for fire fireplaces, AC units and media centers shall not
24 exceed 2 feet into the minimum front, side, or rear setback.
25 Encroachments for balconies, porches, decks, and attached patio covers
26 shall not exceed 7 feet into the minimum front or rear setback. No AC

1 units shall be permitted in front of the structure. The side yard with gate
2 access shall at all times maintain a 5 feet clearance regardless of
3 encroachments.

4 G. All public playground equipment shall be shaded in accordance with the
5 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

6 (3) If Planning Areas 6, 16, and 17 of Specific Plan No. 369 are developed with rear-
7 loaded homes, the development standards for Planning Areas 6, 16, and 17 of Specific Plan No.
8 369 shall be the same as those standards identified in Section 6.2 of Ordinance No. 348, except
9 that the development standards set forth in Section 6.2.a, b, d, e(1), e(2), e(3), and e(4) shall be
10 deleted and replaced with the following:

11 A. The minimum front yard setback (to the main structure) shall be 10 feet.
12 The minimum rear yard setback on the second floor shall be 3 feet for
13 50% of the living area and 9 feet for the remaining 50% of the second
14 story living area.

15 B. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
16 driveway lengths between 3 feet and 18 feet are not permitted.

17 C. Encroachments for balconies, porches and decks shall not exceed 5 feet
18 into the minimum rear setback.

19 D. All other development standard for rear-loaded homes in Planning Areas
20 6, 16, and 17 shall be consistent with the development standards for
21 single family detached homes in Planning Areas 6, 16, and 17.

22 E. All public playground equipment shall be shaded in accordance with the
23 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

24 (4) Except as provided above, all other zoning requirements shall be the same as
25 those requirements identified in Article VI of Ordinance No. 348.

26 f. Planning Areas 7 and 13.

1 (1) The uses permitted in Planning Areas 7 and 13 of Specific Plan No. 369 shall be
2 the same as those uses permitted in Article VII, Section 7.1 of Ordinance No. 348, except that the
3 uses permitted pursuant to Section 7.1.a.(2), (3), (4), (10), (11), (12); Section 7.1.b.(2), (3), (7),
4 (8); and Section 7.1.c.(1), (2) shall not be permitted. In addition, the uses permitted under
5 Section 7.1.b shall include private recreational parks/areas that include amenities including pools,
6 tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other similar
7 uses.

8 (2) Planning Areas 7 and 13 of Specific Plan No. 369 shall be developed with
9 duplex, triplex, or townhomes. Specifically, Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and
10 7.11 of Ordinance No. 348 shall be deleted and replaced with the following development
11 standards:

- 12 A. The minimum lot size shall be 5,000 square feet.
- 13 B. The front yard setback shall be a minimum of 15 feet. Side yards
14 setbacks on corner lots shall not be less than 10 feet. The rear yard
15 setback shall not be less than 15 feet.
- 16 C. The minimum building separation (front to front) shall be 30 feet. The
17 minimum building separation (rear to rear) shall be 30 feet. Side yards
18 setbacks between duplex, triplex, or townhomes structures shall not be
19 less than 10 feet
- 20 D. The maximum building height shall not exceed 35 feet.
- 21 F. Encroachments for fire fireplaces, AC units and media centers shall not
22 exceed 2 feet into the minimum side yard setback. Encroachments for
23 balconies, porches, decks, and attached patio covers shall not exceed 5
24 feet into the minimum front or rear setback. No AC units shall be
25 permitted in front of the structure. The side yard with gate access shall at
26 all times maintain a 5 feet clearance regardless of encroachments.

1 G. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
2 driveway lengths between 3 feet and 18 feet are not permitted.

3 H. All public playground equipment shall be shaded in accordance with the
4 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

5 (3) Except as provided above, all other zoning requirements shall be the same as
6 those requirements identified in Article VII of Ordinance No. 348.

7 g. Planning Areas 8 and 14.

8 (1) The uses permitted in Planning Areas 8 and 14 of Specific Plan No. 369 shall be
9 the same as those uses permitted in Article VII, Section 7.1 of Ordinance No. 348, except that the
10 uses permitted pursuant to Section 7.1.a.(2), (3), (4), (10), (11), (12), Section 7.1.b.(2), (3), (6),
11 (7), (8); and Section 7.1.c.(1) and (2) shall not be permitted. In addition, the uses permitted
12 under Section 7.1.b shall include private recreational parks/areas that include amenities including
13 pools, tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other
14 similar uses.

15 (2) Planning Areas 8 and 14 of Specific Plan No. 369 shall be developed with cluster
16 single family homes. Specifically, Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of
17 Ordinance No. 348 shall be deleted and replaced with the following development standards:

18 A. The minimum lot size shall be 2,500 square feet.

19 B. The front yard setback shall be a minimum of 10 feet for units not facing
20 a shared driveway. Side yards setbacks on corner lots shall not be less
21 than 10 feet. The rear yard setback shall not be less than 10 feet.

22 C. The minimum building separation (front to front – first story) shall be 20
23 feet. The minimum building separation (front to front – second story)
24 shall be 30 feet. The minimum building separation (rear to rear) shall be
25 20 feet. The minimum building separation (side to side) shall be 10 feet.
26 The minimum building separation (garage to garage) shall be 30 feet.

- 1 D. The maximum building height shall not exceed 35 feet.
- 2 E. The minimum private open space requirements is 150 square feet with a
- 3 minimum dimension of 8 feet.
- 4 F. Encroachments for fire fireplaces, AC units and media centers shall not
- 5 exceed 2 feet into the minimum side setback. Encroachments for
- 6 balconies, porches, decks, and attached patio covers shall not exceed 7
- 7 feet into the minimum front or rear setback. No AC units shall be
- 8 permitted in front of the structure. The side yard with gate access shall at
- 9 all times maintain a 5 feet clearance regardless of encroachments.
- 10 G. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet;
- 11 driveway lengths between 3 feet and 18 feet are not permitted.
- 12 H. All public playground equipment shall be shaded in accordance with the
- 13 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

14 (3) Except as provided above, all other zoning requirements shall be the same as
15 those requirements identified in Article VII of Ordinance No. 348.

16 h. Planning Area 9.

17 (1) The uses permitted in Planning Area 4 of Specific Plan No. 369 shall be the same
18 as those uses permitted in Article VII, Section 7.1 of Ordinance No. 348, except that the uses
19 permitted pursuant to Section 7.1.a.(2), (3), (4), (10), (11), (12); Section 7.1.b.(3), (5), (6), and
20 (7); and Section 7.1.c.(1) and (2) shall not be permitted. In addition, the uses permitted under
21 Section 7.1.b shall include private recreational parks/areas that include amenities including pools,
22 tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other similar
23 uses.

24 (2) Planning Area 9 of Specific Plan No. 369 shall be developed with rear-loaded
25 single family homes. Specifically, Section 7.2, 7.3, 7.4, 7.5, 7.6, 7.7, 7.8, 7.9, 7.10, and 7.11 of
26 Ordinance No. 348 shall be deleted and replaced with the following development standards:

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- A. The minimum lot size shall be 3,600 square feet. The minimum lot width shall be 45 feet.
- B. The front yard setback (to the main structure) shall be a minimum of 10 feet. The separation between structures shall not be less than 10 feet. Side yards setbacks on corner lots shall not be less than 10 feet. The minimum rear yard setback on the second floor shall be 3 feet for 50% of the living area and 9 feet for the remaining 50% of the second story living area.
- C. The maximum building height shall not exceed 35 feet.
- D. The maximum lot coverage, which includes garages, covered porches, and balconies shall be 65% for single story structures and 50% for two story structures.
- E. There shall be a 20 foot separation between the second stories of adjacent buildings.
- F. There shall be 50 square feet of landscaping at the T-intersection of a private alley or where an alley abuts a trail connection.
- G. Encroachments for fire fireplaces, AC units and media centers shall not exceed 2 feet into the minimum side setback. Encroachments for balconies, porches, decks, and attached patio covers shall not exceed 7 feet into the minimum front or rear setback. No AC units shall be permitted in front of the structure. The side yard with gate access shall at all times maintain a 5 feet clearance regardless of encroachments.
- H. Any driveway shall be a maximum of 3 feet or a minimum of 18 feet; driveway lengths between 3 feet and 18 feet are not permitted.
- I. The minimum private open space per unit shall be 100 square feet with a minimum dimension of 8 feet.

1 J. All public playground equipment shall be shaded in accordance with the
2 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

3 (3) Except as provided above, all other zoning requirements shall be the same as
4 those requirements identified in Article VII of Ordinance No. 348.

5 i. Planning Areas 19, 20, 21, 23A, 23B, 23C, 23D, 23E, 23F, 23G, 24A, 24B, 24C, 24D,
6 24E, 25A, 25B, and 28.

7 (1) The uses permitted in Planning Areas 23B, 23C, 23D, and 24C of Specific Plan
8 No. 369 shall be the same as those uses permitted in Article XIII, Section 13.1 of Ordinance No.
9 348. No use, other than an agricultural use and any use incidental thereto permitted in Article
10 XIII, Section 13.1 of Ordinance 348 shall be permitted within Planning Areas 23B, 23C, 23D,
11 and 24C of Specific Plan No. 369 until such time as Map No. 298 of Coachella Valley
12 Agricultural Preserve No. 62 and Map No. 132 of Coachella Valley Agricultural Preserve No. 18
13 (applicable to Planning Areas 23B, 23C, and 24C, and applicable to 23D, respectively) have been
14 diminished or disestablished in the planning area and any corresponding Williamson Act contract
15 is no longer in effect for the planning area.

16 Thereafter, for Planning Areas 23B, 23C, 23D, and 24C of Specific Plan No. 369 the uses
17 permitted shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance
18 No. 348, except that the uses permitted pursuant to Section 8.1.a(1), (3); Section 8.1.b(1); and
19 Section 8.1.c(1) shall not be permitted. In addition, the uses permitted under Section 8.100 shall
20 include clubhouses, recreational parks/areas, detention basins, open space, irrigation storage
21 ponds and related facilities, trails, pools, tot lots, bathrooms, spas, picnic areas, BBQ facilities,
22 fitness centers, and other similar related uses.

23 (2) The uses permitted in Planning Areas 19, 20, 21, 23A, 23E, 23F, 23G, 24A, 24B,
24 24D, 24E, 25A, 25B and 28 of Specific Plan No. 369 shall be the same as those uses permitted in
25 Article VIIIe, Section 8.100 of Ordinance No. 348, except that the uses permitted pursuant to
26 Section 8.1.a(1), (3); Section 8.1.b(1); and Section 8.1.c(1) shall not be permitted. In addition,

1 the uses permitted under Section 8.100 shall include clubhouses, recreational parks/areas,
2 detention basins, open space, irrigation storage ponds and related facilities, trails, pools, tot lots,
3 bathrooms, spas, picnic areas, BBQ facilities, fitness centers, and other similar related uses.

4 (3) The development standards for agricultural uses and incidental uses thereto
5 within Planning Areas 23B, 23C, 23D, and 24C of Specific Plan No. 369 shall be the same as
6 those standards in Article XIII, Section 13.2 of Ordinance No. 348.

7 (4) The development standards for uses other than agricultural uses and incidental
8 uses thereto within Planning Areas 19, 20, 21, 23A, 23B, 23C, 23D, 23E, 23F, 23G, 24A, 24B,
9 24C, 24D, 24E, 25A, 25B, and 28 of Specific Plan No. 369 shall be the same as those standards
10 identified in Section 8.101 of Ordinance No. 348. Additionally, the following development
11 standard shall apply:

12 A. All public playground equipment shall be shaded in accordance with the
13 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

14 (5) All other zoning requirements shall be the same as those requirements identified
15 in Article VIIIe of Ordinance No. 348.

16 i. Planning Areas 22 and 26.

17 (1) The uses permitted in Planning Areas 22 and 26 of Specific Plan No. 369 shall be
18 the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348, except
19 that the uses permitted pursuant to Section 8.1.a(1), (3); Section 8.1.b(1); and Section 8.1.c(1)
20 shall not be permitted. In addition, the uses permitted under Section 8.100 shall include
21 recreational parks/areas, detention basins, sports fields, lawn areas, open space, clubhouses,
22 pools, tot lots, bathrooms, spas, trails, picnic areas, BBQ facilities, fitness centers, and other
23 similar recreational uses.

24 (2) The development standards for Planning Areas 22 and 26 of Specific Plan No.
25 369 shall be the same as those standards identified in Section 8.101 of Ordinance No. 348.
26 Additionally, the following standards shall apply:

1 A. Sports fields and lawn areas may be lighted; however, lighting shall be
2 directed in a manner that minimizes light pollution impacts on nearby
3 residential units. Lighting of sports fields and lawn areas shall conform
4 to the requirements of Riverside County Ordinance No. 655.

5 B. All public playground equipment shall be shaded in accordance with the
6 Shade Standards described in Section IV.E.3 of Specific Plan No. 369.

7 C. Drinking fountains and restrooms shall be provided.

8 (3) Except as provided above, all other zoning requirements shall be the same as
9 those requirements identified in Article VIIIe of Ordinance No. 348.

10 j. Planning Area 27.

11 (1) The uses permitted in Planning Area 27 of Specific Plan No. 369 shall be the
12 same as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348. No use, other
13 than an agricultural use and any use incidental thereto permitted in Article XIII, Section 13.1 of
14 Ordinance 348 shall be permitted within Planning Area 27 of Specific Plan No. 369 until such
15 time as Map No. 298 of Coachella Valley Agricultural Preserve No. 62 has been diminished or
16 disestablished in the planning area and any corresponding Williamson Act contract is no longer
17 in effect for the planning area.

18 Thereafter, for Planning Area 27 of Specific Plan No. 369 the uses permitted shall be the
19 same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348 except Section
20 8.1.a(1), (2), (3), (4), and (8); Section 8.1.b(1); and Section 8.1.c(1) shall not be permitted. In
21 addition, the uses permitted under Section 8.100 shall include electrical substations, maintenance
22 roads, and other related facilities and equipment.

23 (2) The development standards for agricultural uses and incidental uses thereto
24 within Planning Area 27 of Specific Plan No. 369 shall be the same as those standards in Article
25 XIII, Section 13.2 of Ordinance No. 348.

26 (3) If Planning Area 27 of Specific Plan No. 369 is developed with utility land uses,

1 the development standards for such uses shall be the same as those standards identified in Section
2 8.101 of Ordinance No. 348, except that the development standards pursuant to Section 8.101.a,
3 b, c, and e shall be deleted and replaced with the following:

4 A. The maximum structural height shall be 75 feet.

5 B. There is no minimum lot size or front, side, or back minimum width
6 requirements.

7 (4) Except as provided above, all other zoning requirements shall be the same as
8 those requirements identified in Article VIIIe of Ordinance No. 348.

9 Section 3. This ordinance shall take effect 30 days after its adoption.

10
11 BOARD OF SUPERVISORS OF THE COUNTY
12 OF RIVERSIDE, STATE OF CALIFORNIA

13
14 By:

15 Chairman, Board of Supervisors

16 ATTEST:

17 Clerk of the Board

18
19 By

20 Deputy

21 (SEAL)

22
23
24 APPROVED AS TO FORM:

25 _____, _____, 2009

1 By: _____

2

3

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VI. GENERAL PLAN CONSISTENCY ANALYSIS

A. PURPOSE AND INTENT

Land development patterns in the unincorporated areas of Riverside County are guided by the County of Riverside General Plan (herein “General Plan”). The General Plan was adopted by the Riverside County Board of Supervisors on October 7, 2003 as part of the Riverside County Integrated Project (RCIP). The General Plan is organized into eight separate elements, including Land Use, Circulation, Multipurpose Open Space, Safety, Noise, Housing, Air Quality, and Administration. Each General Plan Element is instrumental to achieving the County’s long-term development goals. Each element contains a series of policies that guide the course of action the County must take to achieve the County’s vision for future development.

Riverside County regulations require that a Specific Plan include a discussion of the relationship of the Specific Plan to the goals and policies of the elements of the General Plan. A thorough discussion of the applicable policies is provided in the THERMAL 551 Specific Plan Environmental Impact Report (EIR) No. 504. However, this section (Section VI, *General Plan Consistency Analysis*) provides a summary discussion to demonstrate that THERMAL 551 is consistent with, and results in the implementation of, applicable goals and policies of the General Plan.

B. LAND USE ELEMENT

The General Plan Land Use Element functions as a land use guide for long range development in the County. The Land Use Element governs how land is to be utilized; therefore, many of the issues and policies contained in other General Plan elements are linked in some degree to this element. The Land Use Element designates the general distribution, general location, and extent of land uses, such as housing, business, industry, open space, agriculture, natural resources, recreation, and public/quasi-public uses. These designations are reflected on the General Plan Land Use Map, which categorizes individual parcels of land into four basic categories (known as “Foundation Components”): Rural, Community Development, Agriculture, and Open Space. Upon adoption of General Plan Amendment No. 846 and Specific Plan No. 369, the community’s Foundation Component is Community Development.

A discussion of the key Land Use Element policies that apply to the THERMAL 551 Specific Plan is provided below:

POLICY	ANALYSIS
<p><i>Land Use Policy 8.3:</i> Incorporate open space community green-belt separators, and recreational amenities into Community Development areas to enhance recreational opportunities and community</p>	<p>As described in Section II.F of the Specific Plan, THERMAL 551 provides for a variety of public and private recreational facilities. A conceptual depiction of the community’s Open Space and Recreation Plan is provided in Figure II-10.</p>

POLICY	ANALYSIS
aesthetics, and improve the quality of life.	
	<p>Approximately 20% of the Project acreage is dedicated to open space and recreational uses. Residents of the community benefit from numerous recreational amenities including a 45.3-acre public park (with soccer fields, softball fields, basketball courts, volleyball courts, tennis courts, disc golf tot lots, gazebos, picnic facilities, and seating areas), a private community clubhouse, nine private recreation areas located throughout the community, and 40.2 acres of open space/detention areas. Additionally, an extensive trail system provides connections from residential neighborhoods to recreational amenities and link internal trails to the regional and bike trails located along Avenue 60 and the Coachella Valley Stormwater Channel. Therefore, THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p>Land use Policy 9.1: Require that new development contribute their fair share to fund infrastructure and public facilities such as police and fire facilities.</p>	<p>The THERMAL 551 Specific Plan is required to comply with the requirements of Riverside County Ordinance No. 659. This ordinance is known as the County Development Impact Fee (DIF), which requires a fee payment by developers for the funding of public facilities, including fire protection facilities, sheriff facilities, libraries, and public health facilities. Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p>Land Use Policy 14.2 Review all proposed projects and require consistency with any applicable airport land use compatibility plan as set forth in Appendix L and as summarized in the Area Plan’s Airport Influence Area section for the airport in question.</p>	<p>The THERMAL 551 Specific Plan is located within the Airport Influence Area of the Jacqueline Cochran Regional Airport and is subject to review and approval by the Riverside County Airport Land Use Commission (ALUC) for conformance to the Riverside County Airport Land Use Compatibility Plan Policy Document (CPPD). Most of the Project site is located within the existing mapped Airport Land Use Compatibility Zone D, with the exception of the thin portion of the Project site along the eastern boundary, which is located in Zone E. The residential density and park uses proposed by the Project are consistent with the density requirements and permitted uses form Zones D and E. In addition, the Specific Plan meets the open lands requirement for Zone D. Therefore, THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p>Land Use Policy 17.2: Require that adequate and available circulation facilities, water resources, sewer facilities, and/or septic capacity exist to meet the demands of the proposed land Use.</p>	<p>The THERMAL 551 Specific Plan includes a Master Circulation Plan, Master Water Plan, and Master Sewer Plan (Section II.B, II.D, and II.E of this Specific Plan, respectively). The Master Circulation and Sewer Plans describe on and off-site improvements that provide</p>

POLICY	ANALYSIS
	adequate facilities to meet the projected demands of the community. EIR No. 504 evaluates the provision of infrastructure, services, and facilities for the project. As part of EIR No. 504, a Water Supply Assessment (WSA) has been prepared by the Coachella Valley Water District (CVWD) to ensure the CVWD can serve THERMAL 551. The Planning Commission and County Board of Supervisors will review the EIR and WSA to ensure adequate provision of services and facilities prior to certification of EIR No. 504 or approval of SP No. 369. Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.
<p>Land Use Policy 22.10: Require that residential units/projects be designed to consider their surroundings and to visually enhance, not degrade, the character of the immediate area.</p>	<p>The THERMAL 551 Specific Plan includes an extensive set of Design Guidelines to ensure the community is visually appealing and consistent with the desired character of the area. These Design Guidelines, contained in Section IV, address residential design, landscape design, and community elements such as trails, walls, fencing, and parks.</p> <p>The Design Guidelines also set forth a Community Theme (“Lush Desert”), which was derived from an analysis of the area’s historical uses and future identity as an increasingly urbanized center. The theme is characterized by thick, colorful plantings of desert vegetation in dense clusters. Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>

C. CIRCULATION ELEMENT

The purpose of the Circulation Element is to provide for the movement of goods and people, including pedestrians, bicycles, transit, train, air, and automobile traffic flows within and through the County. The Circulation Element designates future road improvements and extensions, addresses non-motorized transportation alternatives, and identifies funding options.

A discussion of the key Circulation Element policies that apply to the THERMAL 551 Specific Plan is provided below:

POLICY	ANALYSIS
<p>Circulation Policy 3.5: Require all major subdivisions to provide adequate collector road networks designed to feed traffic onto General Plan-designated highways.</p>	<p>The primary objective of the THERMAL 551 Circulation Plan is to implement the circulation roadways as required by the General Plan in order to meet the vehicular travel needs of the Project by providing direct and convenient access to individual planning areas through a safe and efficient network of</p>

POLICY	ANALYSIS
	<p>roadways. The Specific Plan includes full-width and half-width improvements to on- and off-site sections of Polk Street, Avenue 60, Avenue 59, Avenue 58, Fillmore Street, Orange Avenue, Street "A," and various local roads and private drives. The community's Circulation Plan, depicted conceptually in Figure II-2, feeds community traffic into General Plan-designated highways.</p>
<p><i>Circulation Policy 3.6:</i> Require private developers to be primarily responsible for the improvement of streets and highways service access to developing commercial, industrial, and residential areas. These may include road construction or widening, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities.</p>	<p>As depicted in Figure II-3, the THERMAL 551 Specific Plan includes full and half-width improvements to the on-site and adjacent roadways. These improvements include construction of roads, dedication of additional right-of-ways, widening of existing roads, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities.</p> <p>EIR No. 504 evaluates traffic and circulation impacts that may occur upon implementation of this Specific Plan and provides mitigation measures to reduce identified impacts to a level below significance, when feasible. The Planning Commission and County Board of Supervisors will review the EIR to ensure adequate provision of circulation facilities.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><i>Circulation Policy 4.4:</i> Plan for pedestrian access that is consistent with road design standards while designing street and road projects. Provisions for pedestrian paths or sidewalks and timing of traffic signals to allow safe pedestrian street crossing shall be included.</p>	<p>THERMAL 551 contains a comprehensive sidewalk and trail system, which connects residential neighborhoods to parks, recreational areas, and off-site regional trails. As illustrated in Figure II-4, four trail classifications are provided. Sidewalk trails are located along roadways; Pedestrian Paseos are located within the paseos in Planning Areas 24A through 24E; a Regional Combination trail is located along Avenue 60 and accommodates all modes of non-motorized circulation, including equestrians; and a Class I Bike Path/Pedestrian Trail is provided along the west side of the Coachella Valley Stormwater Channel.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>

D. MULTIPURPOSE OPEN SPACE ELEMENT

The Multipurpose Open Space Element is intended to protect and preserve natural resources, agriculture and open space areas, manage mineral resources, preserve and enhance cultural resources, and provide recreational opportunities. The Open Space Element seeks to preserve and protect identified open space areas in order to maintain or improve environmental quality.

A discussion of the key Multipurpose Open Space Element policies that apply to the THERMAL 551 Specific Plan is provided below:

POLICY	ANALYSIS
<p><i>Open Space Policy 2.3:</i> Encourage the use of native, drought-resistant landscaping planting.</p>	<p>The Landscape Design Guidelines for the THERMAL 551 community recognize and respond to the climate of the region. As described in Section IV.E, these guidelines restrict the Community’s plant palette to drought-tolerant and native plants, as required by Riverside County Ordinance No. 859. Water conservation is of primary importance in the area and the THERMAL 551 Specific Plan strongly encourages the use of only sprinkler and micro-irrigation techniques within the community. The Landscape Design Guidelines also include numerous hardscape elements that are intended to create a community identity without relying on plant material, thereby reducing the community’s water consumption.</p> <p>In order to reduce the demand for potable water, the THERMAL 551 Specific Plan utilizes available untreated canal water for irrigation purposes. The 3.0-acre irrigation storage pond in Planning Area 28 acts as a storage facility for the canal water.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><i>Open Space Policy 20.5:</i> Require that development of recreation facilities occurs concurrent with other development in an area.</p>	<p>The THERMAL 551 Specific Plan includes a Phasing Plan, as depicted in Fig II-13 and Table II-5, to ensure the logical and timely construction of infrastructure and amenities within the community. Development of each planning area will include the development of adjacent common open space areas, trails, and applicable infrastructure.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>

E. SAFETY ELEMENT

The primary objective of the Safety Element is to reduce death, injuries, property damage, and economic and social impact from hazards. The goals of the Safety Element are to alleviate the risks associated with identified geologic, seismic, flood, airport safety, electromagnetic fields, fire hazards, and wind erosion hazards.

A discussion of the Specific Plan’s consistency with the Safety Element is provided within EIR No. 504. The Specific Plan is required to comply with the applicable provisions of the California Building Code, the Uniform Building Code, County Ordinance Nos. 457, 489.2, and 547, SCAQMD Rule 403, the Specific Plan’s National Pollution Discharge Elimination

System (NPDES) permit, and the Specific Plan’s Storm Water Pollution Prevention Plan (SWPPP). Furthermore, the Specific Plan is required to implement all site-specific recommendations set-forth in the geologic and geotechnical report prepared by Neblett & Associates, Inc., which is contained as *Appendix F1* and *Appendix F2* to EIR No. 504. Compliance with these requirements and all applicable mitigation measures set forth in EIR No. 504 reduces hazard-related impacts to a level before significance. Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, any applicable Safety Element policies of the General Plan.

F. NOISE ELEMENT

POLICY	ANALYSIS
<p><i>Noise Policy 7.1:</i> Development within Airport Influence Areas shall comply with airport land use noise compatibility criteria contained in the corresponding airport land use compatibility plan for the area.</p>	<p>The THERMAL 551 Specific Plan is adjacent to the east of the Jacqueline Cochran Regional Airport. It is expected that the community may experience some noise impacts from aircraft operations at the airport. However, THERMAL 551 is located outside the future 60 dBA CNEL contour for the Jacqueline Cochran Regional Airport. Thus, the airport is not expected to have significant noise impacts on the proposed Project.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><i>Noise Policy 18.3:</i> Condition that perspective purchasers or end users of property be notified of overflight, sight, and sound of routine aircraft operations by all effective means, including:</p> <p>a. requiring new residential subdivisions that are located within the 60 CNEL contour or are subject to overflight, sight, and sound of aircraft from any airport, to have such information included in the State of California Final Subdivision Public Report.</p> <p>b. requiring that Declaration and Notification of Aircraft Noise and Environmental Impacts to be recorded and made available to prospective purchasers or end users of property located within the 60 CNEL noise contour for any airport or air station or is subject to routine aircraft overflight.</p>	<p>The THERMAL 551 Specific Plan is located within the Airport Influence Area of the Jacqueline Cochran Regional Airport and is subject to review and approval by the Riverside County Airport Land Use Commission (ALUC) for conformance to the Riverside County Airport Land Use Compatibility Plan Policy Document (CPPD). The majority of the Project site is located within the mapped Airport Land Use Compatibility Zone D which requires notification to all prospective purchasers or end users of the property of the adjacent airport usage in the form of a deed notice.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>

G. HOUSING ELEMENT

The Housing Element, as required by state law, identifies and establishes the County’s policies with respect to meeting the needs of existing and future residents of Riverside County. Specific components of the Housing Element include the following: an assessment of housing needs and inventory; an analysis and program for preserving assisted housing developments; a statement of community goals, quantified objectives, and policies relative to the maintenance, preservation, improvement and development of housing; and a program which sets forth a five-year schedule of actions that the County is undertaking, or intends to undertake, in implementing the policies set forth in the Housing Element.

A discussion of the key Housing Element policies that applies to the THERMAL 551 Specific Plan is provided below:

POLICY	ANALYSIS
<p><i>Housing Policy 1.7:</i> Encourage innovative housing, site plan design, and construction techniques to promote new affordable housing by the private sector.</p>	<p>The THERMAL 551 Specific Plan community provides single family detached and attached homes in a variety of housing product types and recreational opportunities to enhance the quality of life. The range of housing products within the community allows for high-quality, attainable housing options for a variety of family sizes and income levels. Innovative housing concepts found within the THERMAL 551 include “Paired-Z” single family detached homes on 3,600 SF lots, rear-loaded single family detached homes on 3,600 SF lots, single family attached townhomes and duplexes, and single family detached courtyard styles. These housing concepts allow for smaller homes on smaller lots, thereby reducing the cost of home ownership.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><i>Housing Policy 5.1:</i> Encourage the use of energy conservation features in residential construction and remodeling.</p>	<p>Energy Efficiency Guidelines are included in Section IV of the THERMAL 551 Specific Plan. These guidelines serve to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer.</p> <p>The Energy Efficiency Guidelines include recommendations to maximize energy efficiency in homes, maximize water quality and conservation, and minimize landfill waste. Examples of these guidelines include: a discussion of how building orientation can reduce solar heat gain and reduce the structure’s cooling needs; recommendations for window types and appliances to reduce energy consumption; and a description of various other design features to reduce fuel consumption. These guidelines, in conjunction with the</p>

POLICY	ANALYSIS
	<p>community’s Shade Standards, reduce the cooling needs of homes and other structures within THERMAL 551.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>

H. AIR QUALITY ELEMENT

The Air Quality Element provides background information on the physical and regulatory environment affecting air quality. The purpose of the Air Quality Element is to protect residents of Riverside County from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. This Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB).

A discussion of the key Air Quality Element policies that apply to the THERMAL 551 Specific Plan is provided below:

POLICY	ANALYSIS
<p><i>Air Quality Policy 2.2 :</i> Require site plan designs to protect people and land uses sensitive to air pollution through the use of barriers and/or distance from emissions sources when possible.</p>	<p>THERMAL 551 Specific Plan does not propose any land uses that are considered to be point source emitters. However, the Project is located adjacent to the east of the Jacqueline Cochran Regional Airport, which is considered a point source emitter and in close proximity to the Union Pacific Rail Line and the Colmac Energy Inc. (CEI) power production facility. A review of the Environmental Baseline Data and CEQA Initial Study prepared for the Jacqueline Cochran Regional Airport Master Plan indicates that emissions associated with the Jacqueline Cochran Regional Airport are not expected to subject sensitive receptors in the vicinity to substantial pollutant concentrations. Similarly, the Project’s Air Quality Impact Analysis and the DPM (diesel-fired particulate matter) analysis has determined that the Project’s proximity to the rail line and the CEI facility will have less than significant health impacts on the future residents of the community.</p> <p>Therefore, the THERMAL 551 Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><i>Air Quality Policy 4.1:</i> Encourage the use of building materials/ methods which reduce emissions.</p>	<p>Energy Efficiency Guidelines are included in Section IV of the THERMAL 551 Specific Plan. These guidelines serve to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both</p>
<p><i>Air Quality Policy 4.3:</i></p>	

POLICY	ANALYSIS
Encourage centrally heated facilities to utilize automated time clocks or occupant sensors to control heating.	
<i>Air Quality Policy 4.4:</i> Encourage the use of efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces and boiler units.	
<i>Air Quality Policy 5.4:</i> Encourage the incorporation of energy-efficient design elements, including appropriate site orientation and the use of shade and windbreak trees to reduce fuel consumption for heating and cooling.	

I. ADMINISTRATION ELEMENT

Administration of the General Plan policies includes establishing, maintaining, and applying tools and procedures for interpreting the intent of the General Plan. The Administration Element also provides the County with a list of steps in which County staff and the Board of Supervisors can use to determine whether a proposed Project is consistent with the General Plan’s intent. This Element also provides the applicant of development proposals with a list of steps to follow when applying for a development permit.

Included within the Administration Element of the General Plan are four amendment strategies to the General Plan. When a project proposes to amend a Foundation Component Land Use Designation of the General Plan, the Administration element outlines the procedures of four separate types of amendments; a technical amendment, an entitlement/policy amendment, a foundation amendment and an agricultural foundation amendment. It also includes the requirements and optional findings per each of the amendment types. This project requires General Plan Amendment to amend the Agricultural Foundation Component to Community Development Specific Plan.

The Administration Element provides specific provisions for Agricultural Foundation Component Amendments to the General Plan Land Use Plan. Specifically, unlike other Foundation Component Changes, where the amendment is either part of a regular five-year comprehensive review or as a result of extraordinary events, an Agricultural Foundation Component Amendment can be justified if a project contributes to the achievement of the purposes of the General Plan, or at a minimum, is not be detrimental to the purpose of the General Plan.¹ The Agricultural Foundation Component Amendment cycle occurs every two and one-half (2½) years, allowing up to 7% of all land designated as Agriculture to be

¹ Riverside County General Plan, Section 10, Administration Element, adopted October 7, 2003

redesignated within other Foundation Components. The 7% conversion can occur anytime within the 2½-year cycle and should be calculated separately for the area covered by the Eastern Coachella Valley and Western Coachella Valley Area Plans.² As of May 2007, General Plan Amendment (GPA) applications to amend the General Plan from Agriculture to other designations within Coachella Valley exceeded 4%. However, based on GPA applications that have since been filed (refer to EIR Figure 2-4, *Surrounding Developments*), in conjunction with interest expressed by area landowners in filing GPA applications in the near future, it is anticipated that the conversion of lands from the Agriculture Foundation Component would exceed the 7% figure during the current Agricultural Foundation Component Amendment cycle if all of the proposed and anticipated projects within the Coachella Valley were to be approved.³

The Administration element also requires the creation of an Agricultural Task Force for the Eastern Coachella Valley and Western Coachella Valley Area Plans, composed of representatives appointed by the Board of Supervisors that are from the farming community. The Agricultural Task Force annually reviews the adequacy of the 7% conversion amount and recommends changes to the Board of Supervisors if the conversion rate is insufficient. Also, once the 7% threshold for Agriculture General Plan Amendments has been met within the 2½-year cycle, the task force will make recommendations to the BOS for any project beyond the 7% threshold on a case-by-case basis. Based on the quality of the development proposed for this Project and its contributions to the purposes of the General Plan, it is expected that the Project will be recommended for approval if the 7% conversion threshold is exceeded.

² Riverside County General Plan, Section 10, Administration Element, Table A-1: Amendment Matrix, pg.A-12, adopted October 7, 2003

³ County of Riverside Planning Department Staff Report, "Coachella Valley Region Agriculture Task Force: Status Report." May 16, 2007. Available on-line at http://www.tlma.co.riverside.ca.us/planning/content/hearings/pc/2007/pc051607_agenda/sr_5.2.pdf