

- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

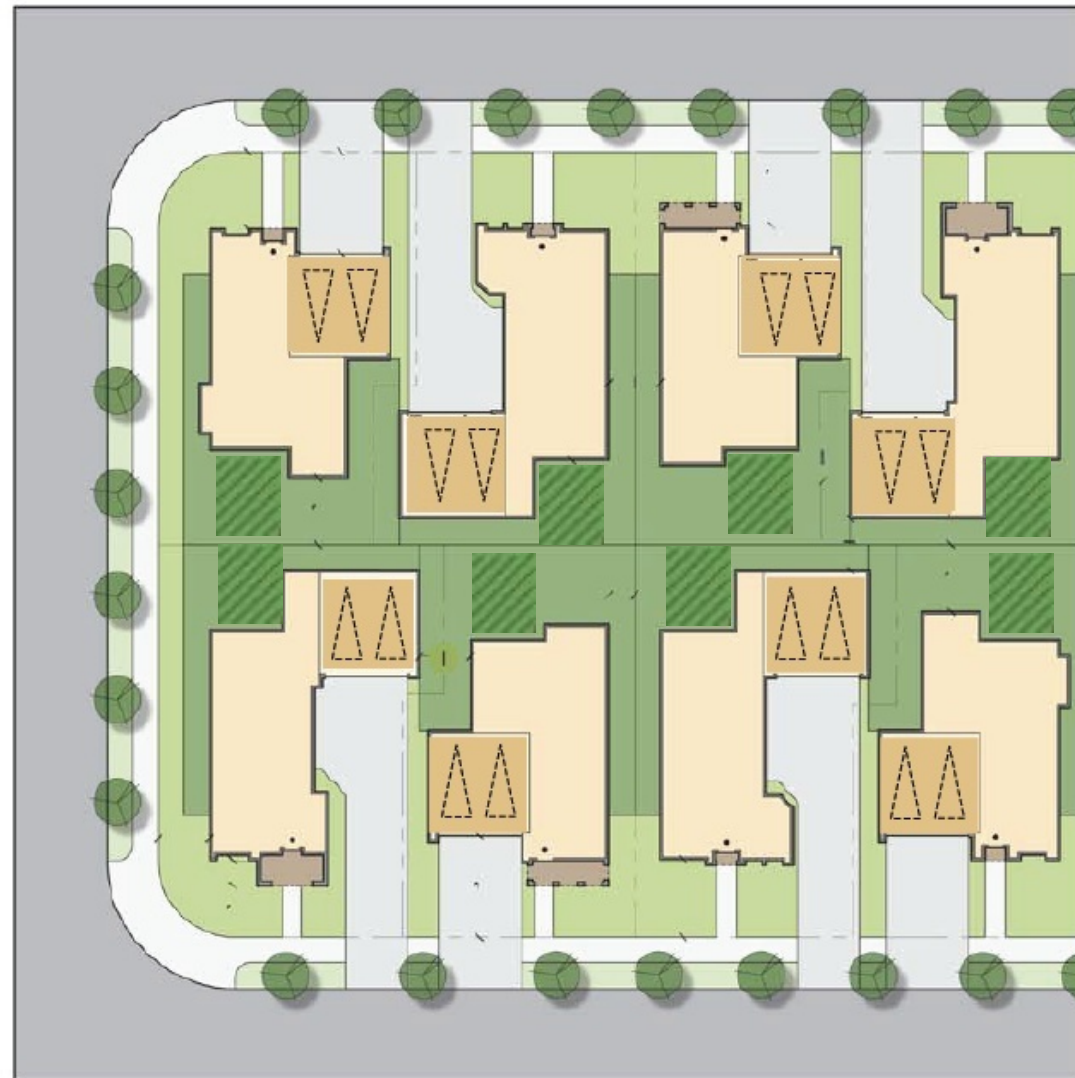
Single-Family Detached: Traditional	
Development Standards	
Designation/ Use	5,000 and 4,000 SF/ Single-Family Detached: Traditional
Planning Area	3, 5
Lot Dimensions	
Typical Lot Size	5,000 and 4,000 SF
Minimum Lot Width	50'
Minimum Frontage on cul-de-sac	35'
Setbacks	
Minimum Front Yard – to main structure	15' average, 12' minimum
Minimum Front Yard – to porch	8'
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	5'
Minimum Rear Yard	15'
Garage Setbacks	20' min
Side-in Garage Setbacks	15' min
Other	
Maximum Structural Height	40'
Minimum Private Open Space	500 sq ft Minimum 15' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²
Off Street Parking Requirements per DU	2 spaces/du

¹ 5' public, 5' private

² At least one side must have 5' clear

As reflected in the Zoning Ordinance.





- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

Single-Family Detached: Paired	
Development Standards	
Designation/ Use	3,500 and 3,000 SF/Single-Family Detached: Paired
Planning Area	3, 5
Lot Dimensions	
Typical Lot Size	3,500 and 3,000 SF
Minimum Lot Width	25'
Minimum Frontage on cul-de-sac	20'
Setbacks	
Front Facing Street	10'
Front-Entry Garage	20'
Side-Entry Garage	15'
Street Side	4'
Interior Side	4'
Rear	5' ¹
Other	
Maximum Structural Height	40'
Minimum Private Open Space	400 sq ft Minimum 15' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²
Off Street Parking Requirements per DU	2 spaces/du

¹ Deep recessed garage may encroach 3'

² At least one side must have 5' clear

As reflected in the Zoning Ordinance.





- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

Single-Family Detached: Rear-Cluster (Garden Court)	
Development Standards	
Designation/ Use	Single-Family Detached: Rear-Cluster (Garden Court)
Planning Area	1, 2
Lot Dimensions	
Minimum Lot Width	31'
Minimum Frontage on cul-de-sac	N/A
Setbacks	
Minimum Front Yard – to main structure	5' from walkway
Minimum Front Yard – to porch	5' from walkway
Minimum Corner Side Yard	5'
Minimum Interior Side Yard	4' or 8' between structures
Minimum Rear Yard	5'
Garage Setbacks	2' max
Side-in Garage Setbacks	N/A
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30'
Other	
Maximum Structural Height	40'
Minimum Private Open Space	180 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2' ¹

¹ At least one side must have 5' clear

CONDO ONLY

As reflected in the Zoning Ordinance.

Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.





- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Minimum Required Private Open Space
- Roadway
- Sidewalk/Walkway/Driveway

Single-Family Detached: Cluster (Motor Court)	
Development Standards	
Designation/ Use	Single-Family Detached: Cluster (Motor Court)
Planning Area	1, 2
Lot Dimensions	
Minimum Lot Width	31'
Minimum Frontage on cul-de-sac	N/A
Setbacks	
Minimum Front Yard – to main structure	5' from walkway
Minimum Front Yard – to porch	5' from walkway
Minimum Corner Side Yard	4'
Minimum Interior Side Yard	4' or 8' between structures
Minimum Rear Yard	8'
Garage Setbacks	2' max
Side-in Garage Setbacks	N/A
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30'
Other	
Maximum Structural Height	40'
Minimum Private Open Space	180 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2' ¹

¹ At least one side must have 5' clear

As reflected in the Zoning Ordinance.

CONDO ONLY

Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.





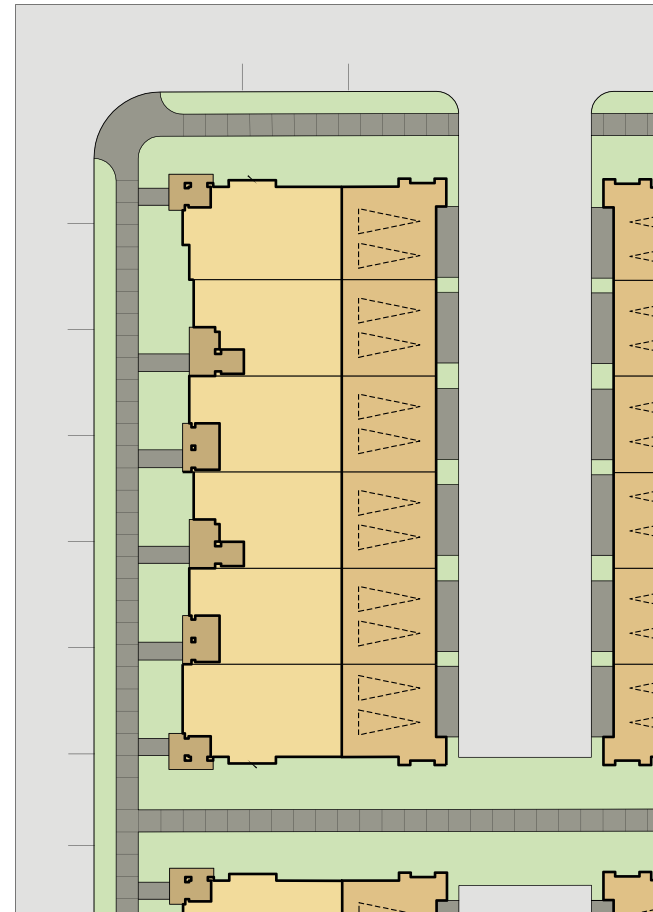
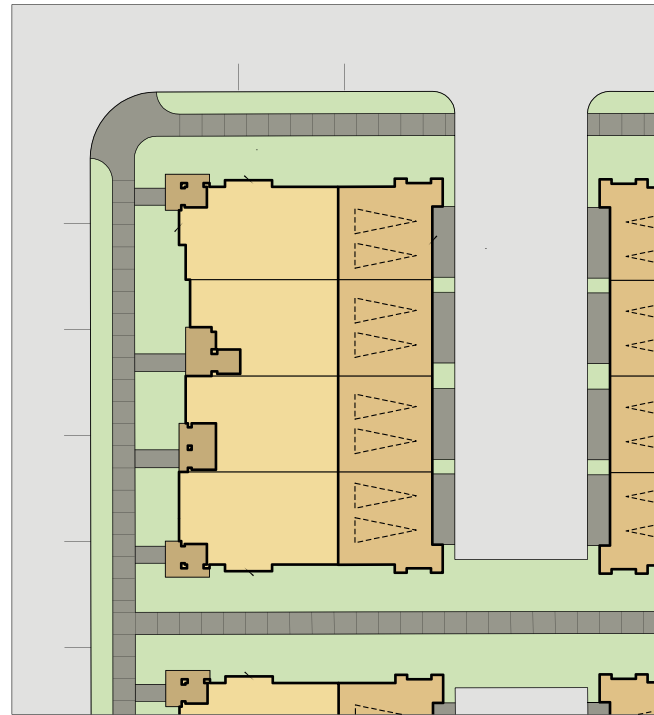
Multi-Family Attached: Duplex/Triplex	
Development Standards	
Designation/ Use	Multi-Family Attached: Duplex/Triplex
Planning Area	3, 5
Lot Dimensions	
Lot Width	31'
Setbacks	
Front Facing Street	8'
Front Facing Green Court	10'
Front-Entry Garage	20'
Street Side	5'
Interior Side	5'
Encroachments	
Rear	8'
Rear Entry Garage	2' max
Encroachments	4'
Front to Side: Between Structures	20'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30'
Other	
Maximum Structural Height	40'
Minimum Private Open Space	200 SF
Encroachments (fireplaces, AC units, media centers)	2' ¹
Off Street Parking Requirements per DU	2 spaces/du

¹ At least one side must have 5' clear

- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Private Yard
- Roadway
- Sidewalk/Walkway/Driveway

CONDO ONLY

As reflected in the Zoning Ordinance.



- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Roadway
- Sidewalk/Walkway/Driveway

Multi-Family Attached: Townhomes	
Development Standards	
Designation/ Use	Multi-Family Attached: Townhomes
Planning Area	1, 2
Lot Dimensions	
Minimum Lot Width	60'
Minimum Frontage on cul-de-sac	N/A
Setbacks	
Minimum Front Yard – to main structure	10' from walkway
Minimum Front Yard – to porch	5'
Minimum Corner Side Yard	10' ¹
Minimum Interior Side Yard	10' from walkway 25' between structures
Minimum Rear Yard	20' between structures
Garage Setbacks	2' max
Side-in Garage Setbacks	N/A
Other	
Maximum Structural Height	48'
Minimum Private Open Space	100 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²

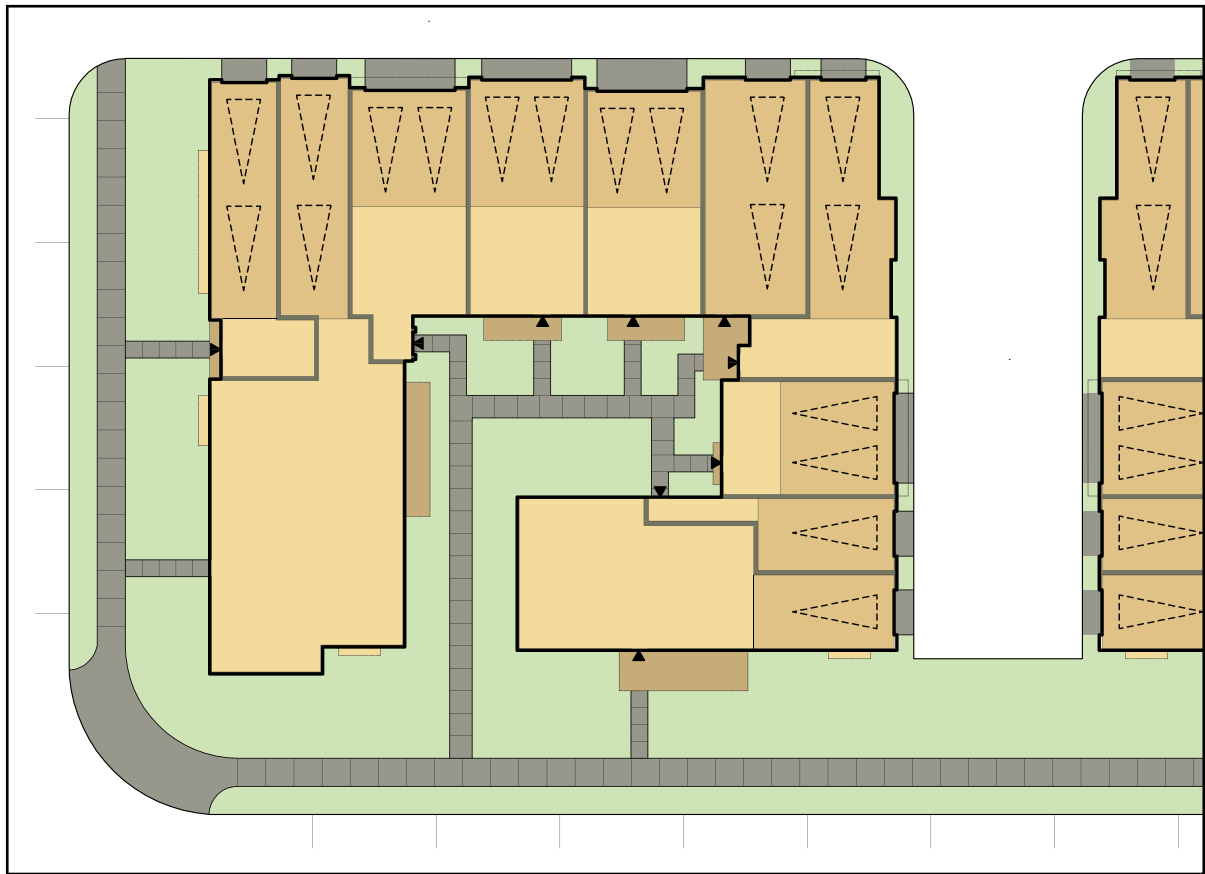
¹ 5' public, 5' private

² At least one side must have 5' clear

As reflected in the Zoning Ordinance.

Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.





- Dwelling Space
- Garage
- Porch/Patio
- Yard
- Roadway
- Sidewalk/Walkway/Driveway

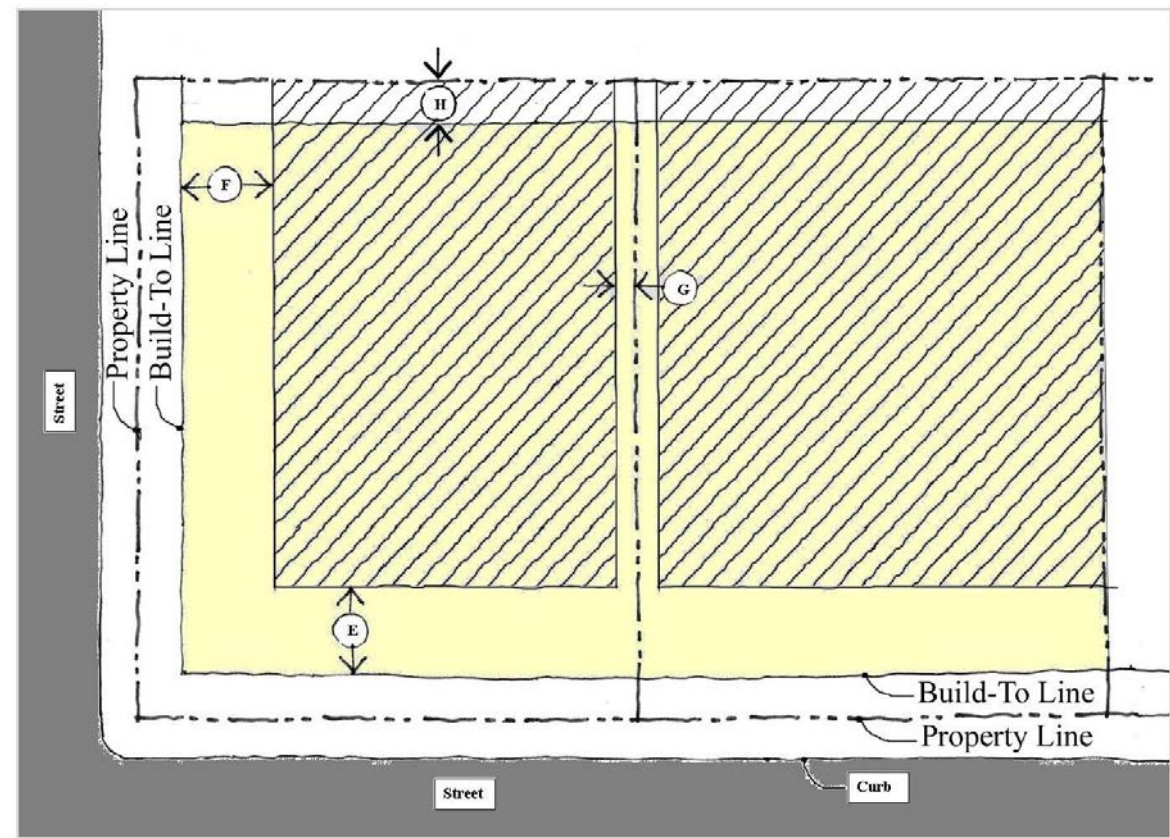
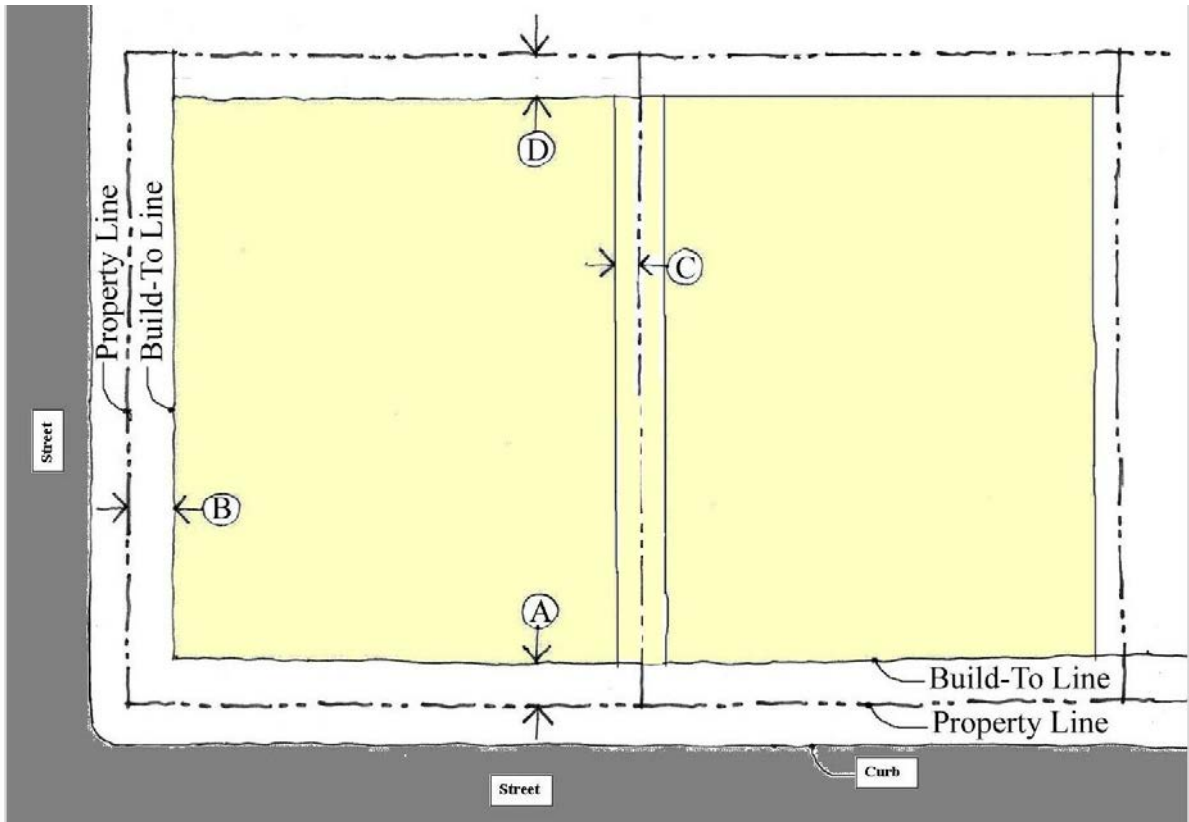
Multi-Family Attached: Courtyards	
Development Standards	
Designation/ Use	Multi-Family Attached: Courtyards
Planning Area	1, 2
Lot Dimensions	
Minimum Lot Width	60'
Minimum Frontage on cul-de-sac	N/A
Setbacks	
Minimum Front Yard – to main structure	10' from walkway
Minimum Front Yard – to porch	12'
Minimum Corner Side Yard	10' from walkway ¹
Minimum Interior Side Yard	10' from walkway 20' between structures
Minimum Rear Yard	20' between structures
Garage Setbacks	2' max
Side-in Garage Setbacks	N/A
Other	
Maximum Structural Height	48'
Minimum Private Open Space	100 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2' ²

¹ 5' public, 5' private
² At least one side must have 5' clear

Note: Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.

As reflected in the Zoning Ordinance.





Multi-Family Attached: Live/Work and Residential Over Retail	
Development Standards	
Planning Area	1
Use	Multi-Family Attached: Live/Work and Residential Over Retail
Lot Dimensions	
Minimum Lot Width	60'
Setbacks	
A. Front Build-to Line (primary street)	Building façade placed 10' behind property line on the build-to line
B. Front Build-to Line (secondary frontage side on corner lot)	Building façade placed 10' behind property line on the build-to line
C. Side Yard	5'
D. Rear (no alley)	10'
Parking Facility Setback (behind the build-to line) Surface, Tuck Under, Alley loaded, Garage and Podium Parking*	
E. Front Yard (primary street)	20' minimum from the build-to line along the primary street frontage; 50' is recommended
F. Side Street (secondary frontage side on corner lot)	20' minimum from the build-to line along the primary street frontage; 50' is recommended
G. Side Yard	5'
H. Rear (no alley)	3'
Other	
Maximum Structural Height	50'
Percentage of Frontage Required to be Places on Build-to Line	75% to 100% minimum
Encroachments (fireplaces, AC units, media centers)	2'
Off Street Parking Requirements	On-site parking shall be provided as required and contained in Riverside County Ordinance No. 348

*Subterranean Parking 0 feet from property line

LEGEND

- RESIDENTIAL LIVING SPACE
- SIDEWALK
- STREET/PRIVATE DRIVE



MULTI-FAMILY ATTACHED: STACKED FLATS, LIVE/WORK AND RESIDENTIAL OVER RETAIL - FIGURE IV-8



AMERICAN FARMHOUSE ARCHITECTURAL STYLE

- 1 Two-story simple geometric square or L-shaped form
- 2 Medium-pitched, primary front to back main gable roof form with intersecting hip, gable and shed roofs and standard overhangs
- 3 Flat, shake-textured concrete tile or asphalt shingle roof material with standing metal seam accents
- 4 Large covered porches with simple wood columns
- 5 Lap siding or stucco on main body with lap siding at gable ends



HISTORY AND CHARACTER:

THE AMERICAN FARMHOUSE STYLE represents a practical and picturesque country home. Its beginnings are traced to both Colonial styles from New England and the Mid-West. As the American Frontier moved westward, this style evolved according to availability of materials and technological advancements, such as balloon framing.

A predominant feature of the style is a large wrapping front porch with wood columns and railings. Two-story massing, dormers and symmetrical elevations are prevalent while the asymmetrical, "casual cottage" elevation with a decorative appearance is less common, but still quite popular.



Windows:
 Large, symmetrical windows
 Multi-divisioned single or double-hung with wood or stucco trim where appropriate
 Bay windows on first story, front elevations
 Second floor dormers on front elevations
 Accent shutters on front elevations



Roofs:
 Main gable with intersecting gables or hips
 Steep pitches from 6:12 to 12:12
 Deep overhangs with open eaves 12"-16"
 Concrete or asphalt tile roofing
 Colors will compliment the house



Doors:
 Solid wood or wood with glass panels
 Windows adjacent to doors
 Colors shall be complimentary to the style



Materials and color:
 Horizontal siding is required
 Stucco may be used in rare instances
 Colors can range from light to bold with complimenting trim and accents
 The use of brick is required



Porches and Balconies:
 A covered front porch with simple wood columns are key elements of the style and required



Garages:
 Will be consistent and compliment the architectural style with complimentary colors
 Corbels
 Light fixtures shall be located on the wall and doors shall be recessed a minimum of 6"
 Roll up doors with windows appropriate to the style



Rear and Side Articulation:
 Shall be enhanced on all homes





CALIFORNIA RANCH ARCHITECTURAL STYLE

- 1 Horizontal, one and two-story massing form
- 2 Low to medium pitched main gable roof with standard overhangs
- 3 Flat, shake-textured concrete tile or asphalt shingle roof material
- 4 Large porch at entry with simple columns that often feature kickers
- 5 Stucco on main body with lap siding or board and batten accents
- 6 Brick or stone veneers on first story elements



HISTORY AND CHARACTER:

THE CALIFORNIA RANCH STYLE: In the late 1800's, cattle ranching was the principal occupation in California. The "Ranch House" was generally the centerpiece for the enormous ranches developed by early Californians. Representing one of California's true vernacular styles, the California Ranch house evolved naturally from native materials with considerations of climate and lifestyle.

Some of the primary building materials were adobe and wood. In the later years of its evolution, the California Ranch style was adapted to also include shingles for roofs, board and batten siding and other colonial features. Plans were often organized around a courtyard, which became one of the primary living spaces. Current versions of this style are typically simple and straightforward with stucco walls, gabled roofs and wood accents.



Windows:

- Multi-divisioned single-hung with wood trim
- Second floor dormers on front elevations
- Large windows with accent shutters on front elevations



Roofs:

- Main gable with intersecting gables or hips
- Moderate pitches from 4:12 to 5:12
- Broad overhangs or eaves
- Concrete or asphalt tile roofing
- Colors will compliment the house



Doors:

- Solid wood with vertical panels
- Colors shall be complimentary to the style



Materials and color:

- Horizontal siding or stucco
- Earth tone colors with complimenting trim and accents
- Use of brick or stone veneers on first story



Porches and Balconies:

- A covered front porch with simple wood columns are key elements of the style and are required



Garages:

- Will be consistent and compliment the architectural style with complimentary colors
- Corbels
- Light fixtures shall be located on the wall and doors shall be recessed a minimum of 6"
- Roll up doors with windows appropriate to the style



Rear and Side Articulation:

- Shall be enhanced





CRAFTSMAN ARCHITECTURAL STYLE

- 1 Shallow-pitched gable-ended roofs with deep overhangs
- 2 Deep, broad porch element with expressive structural components such as square or tapered columns
- 3 Expressive structural elements such as rafters, brackets, braces and columns
- 4 A mixture of materials such as stone, shingles, stucco, and wood siding
- 5 Multi-paned windows with wood trim



HISTORY AND CHARACTER:

THE CRAFTSMAN STYLE, an American architectural style, represented a philosophy of life that featured honesty, integrity and a return to nature. The Craftsman design focuses on the harmony of indoor and outdoor life. It stresses honesty of form, materials, and workmanship, eschewing applied decoration in favor of the straight forward expression of the structure. Craftsman architecture draws from the wood building traditions of Japan and Switzerland, as well as medieval themes favored by the Arts and Crafts philosophies.

Natural woods, shingles, earth tone colors, brick, stone, river rock, clinker brick, and heavy structural beams signify oneness with nature. Rocks and bricks are often used on foundations, chimneys, and railings to set a unifying theme for the home. Wherever possible, aesthetic and functional interiors are integrated in simple living spaces. These easy, asymmetrical gabled, stuccoed works of art are a large part of Southern California's architectural heritage.



Windows:

Multi-divisioned double-hung with wood trim
Accent shutters on front elevations



Roofs:

Basic gable with intersecting gables
Low pitches from 4:12 to 5:12 with broad 16"-24" overhangs
Flat concrete tile - shingle appearance
Exposed rafter tails
Colors will compliment the house



Doors:

Solid wood or wood with glass panels
Windows adjacent to doors
Colors shall be complimentary to the style



Materials and color:

Horizontal shingle or stucco siding (stucco should be used sparingly)
Earth tone colors with complimenting trim and accents
The use of stone or brick is encouraged

Porches and Balconies:

Covered front porch beneath main roof
Tapered square columns with wood, stone or brick are key elements of the style and are required



Garages:

Will be consistent and compliment the architectural style with complimentary colors
Corbels
Light fixtures shall be located on the wall and doors shall be recessed a minimum of 6"
Roll up doors with windows appropriate to the style
Hardware to compliment lighting fixtures and architectural style

Rear and Side Articulation:
Shall be enhanced





MONTEREY ARCHITECTURAL STYLE

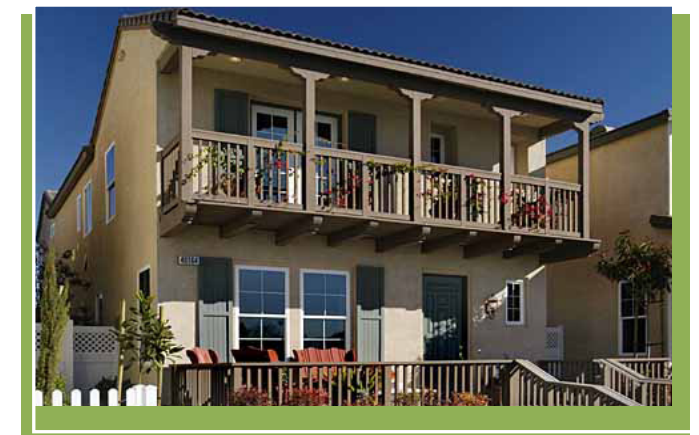
- 1 Simple wood posts and heavy beams with exposed wood corbels or rafters
- 2 Second-story cantilevered wood picket or wrought iron balcony
- 3 Low-pitched gable-ended roofs
- 4 Shingle, flat, or barrel tile roofing
- 5 Windows paired with real or false shutters
- 6 Accents materials include stucco, brick, siding, and wood



HISTORY AND CHARACTER:

The MONTEREY STYLE is a revival of the Spanish Colonial houses of northern California, blending adobe construction with traditionally English shapes.

The Monterey style of architecture is typically characterized by simple house forms, relatively low-pitched hip or gable roofs, and wide overhangs. Shutters, balconies, verandas and porches are indicative of the Monterey style. The first and second stories may have different cladding materials, with wood siding above and stucco or brick veneer base below. Walls convey a thick appearance with recessed door and window openings set back into smooth wall planes. The use of arches, courtyards, patios and colonnades enhance the theme. Monterey style houses always have a second-story balcony that is usually cantilevered and covered by the principle roof. Second story balconies traditionally are not located above the living space. Roofs are usually tiled or shingled and the finish is generally smooth stucco, occasionally with wood siding as an accent. Multi-paned windows and large-scale chimneys are also often present on Monterey-style houses.



Windows:

Vertical multi-divisioned with wood trim
Accent shutters on front elevations



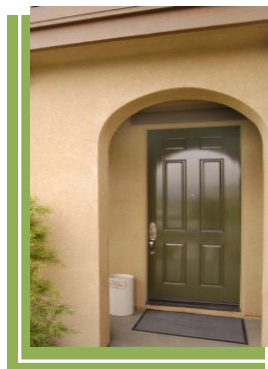
Roofs:

Mian gable with shed roof over balcony
Moderate pitches from 4:12 to 6:12
Flat concrete tile, barrel or 'S' tile roofing
12" to 24" overhangs
Colors will compliment the house



Doors:

Paneled wood
Enhanced trim
Colors shall be complimentary to the style



Materials and color:

Light colored stucco
Earth tone colors with complimenting trim and accents
The use of brick is encouraged

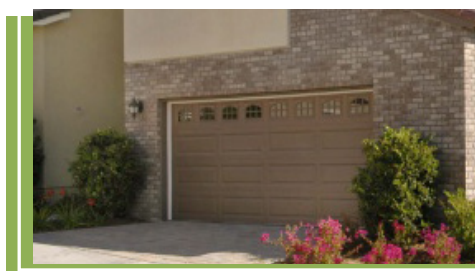
Porches and Balconies:

Cantilevered balconies are a signature feature of this style and include wood columns and wood or wrought iron railings
These are key elements of the style and are required

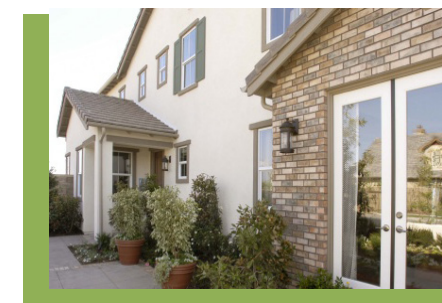


Garages:

Will be consistent and compliment the architectural style with complimentary colors
Corbels
Light fixtures shall be located on the wall and doors shall be recessed a minimum of 6"
Roll up doors with windows appropriate to the style
Hardware to compliment lighting fixtures and architectural style



Rear and Side Articulation:
Shall be enhanced





PRAIRIE ARCHITECTURAL STYLE

- 1. Wide overhang eaves
- 2. Two stories with one-story wings or porches
- 3. Feature ribbon windows
- 4. Broad-pitched, generally hipped roof
- 5. Eaves, cornices, and facades emphasize horizontal lines
- 6. Massive, square porch supports common



HISTORY AND CHARACTER:

THE PRAIRIE STYLE is one of the few indigenous American architectural styles, refers to a group of architects in Chicago, Illinois at the beginning of the 20th century. Primary amongst them was Frank Lloyd Wright, under whom the Prairie School designs reached their apex.

Echoing the uninterrupted horizontal lines of the American prairie, Prairie style homes are usually characterized by broadly pitched hipped roofs with deep overhangs; two stories in height, often with one-story wings; front porches with massive porch roof supports; and detailing which emphasizes the horizontal. Stately, strong and weighty proportions provide a massive, earthy feel. Windows are grouped in horizontal bands with vertical proportions. Stucco or wood siding with horizontal emphasis are predominant with brick, stone or concrete block detailing. Roofs are typically flat tile or slate, and colors are earth-tone with both light and dark shades.



Windows:

Vertically proportioned windows grouped with horizontal trim
 Ribbon windows arranged below the eave line



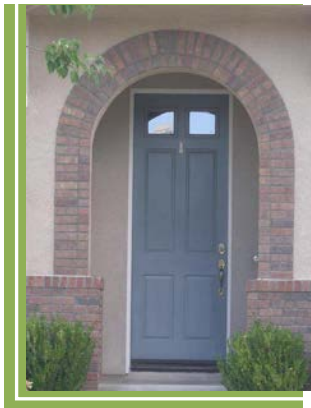
Roofs:

Primarily hipped roofs with horizontal emphasis and varied planes
 Very low pitches from 3:12 to 4:12
 18" to 24" overhangs
 Flat concrete tile roofing
 Colors will compliment the house



Doors:

Solid wood with glass panels
 Enhanced trim around doorways
 Colors shall be complimentary to the style



Materials and color:

Earth toned colored stucco or horizontal board and batten siding
 Use of brick or stone is encouraged

Porches and Balconies:

Covered front porches
 Heavy columns of brick, stone or tapered wood are key elements of the style and required



Garages:

Will be consistent and compliment the architectural style with complimentary colors
 Corbels
 Light fixtures shall be located on the wall and doors shall be recessed a minimum of 6"
 Roll up doors with windows appropriate to the style
 Projecting roof canopy or recessed from the plane of the adjacent wall surface by at least 6"
 Horizontal lines stressed
 Hardware to compliment lighting fixtures and architectural style



Rear and Side Articulation:

Shall be enhanced





Material Break - stucco / stone



Material Break - siding / stucco



Transition - siding / brick



Material Break - stucco / stone



Transition - stucco / siding

All of these figures demonstrate the appropriate placing of different building materials on the structure and provide detailed examples as to the locations where differing materials adjoin one another.



Pedestrian Plaza
Water Feature, Decorative Lighting, Outdoor Seating



Gathering Area
Seating with Covers, Safe and Well Lit Environment



Entries
Focal Building, Enhanced Paving



Streetscene
Buildings Adjacent to Parking or Street



Streetscene
Buildings Adjacent to Parking or Street, Outdoor Seating in Plazas



Tower Elements
Located at Focal Points, Include Architectural Element

See Section IV.D. Mixed-Use Architectural Guidelines pages IV-42 through IV-55 for detailed descriptions regarding the above examples.





Storefronts
Pedestrian Scale, Interest at Street



Second Story Elements
Real or Faux Windows, Additional Architectural Elements (Rails, Shutters, etc.)



Tower Elements
Located at Focal Points, Include Architectural Element



Street Frontage
Buildings Shall Front Street, Focal Entry Point to Building



Varied Roof Pitches
Vary Heights, Vary Shape and Pitch



See Section IV.D. Mixed-Use Architectural Guidelines pages IV-42 through IV-55 for detailed descriptions regarding the above examples.



Pedestrian Pathways
Adequate Width for Walking, Landscaping to Soften Experience



Entries
Well Defined, Glass Encouraged



Outdoor Seating Adjacent to Building



Gathering Area
Hard and Softscape Materials, Adjacent to Buildings



Streetscene
Buildings Adjacent to Parking or Street, Outdoor Seating in Plazas

See Section IV.D. Mixed-Use Architectural Guidelines pages IV-42 through IV-55 for detailed descriptions regarding the above examples.



Residential Over Retail
Commercial Encouraged on First Floor



Residential Over Retail
Retail on First Floor



Residential Over Retail
Retail on First Floor



Residential Over Cafe



See Section IV.D. Mixed-Use Architectural Guidelines pages IV-42 through IV-55 for detailed descriptions regarding the above examples.



Outdoor Seating
Covered Seating Areas, Landscaping



Public Art



Planters/Fountains



Public Art



Gathering Area
Seating Areas, Landscaping, Foocal Points



See Section IV.D. Mixed-Use Architectural Guidelines pages IV-42 through IV-55 for detailed descriptions regarding the above examples.



Seating Areas, Landscaping, Foacal Points



Outdoor Seating with Covered Seating Areas, Landscaping



Outdoor Seating Adjacent to Building



Outdoor Seating Adjacent to Building



See Section IV.D. Mixed-Use Architectural Guidelines pages IV-42 through IV-55 for detailed descriptions regarding the above examples.