

# *SERRANO COMMERCE CENTER*

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RESOLUTION No. 2010-130  
FINAL CONDITIONS OF APPROVAL  
ORDINANCE No. 348.4709  
ENVIRONMENTAL IMPACT REPORT No. 492

FOR

SPECIFIC PLAN No. 353

ADOPTED BY THE BOARD OF SUPERVISORS  
September 28, 2010

# *SERRANO COMMERCE CENTER*

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SPECIFIC PLAN No. 353



ADOPTED BY THE BOARD OF SUPERVISORS  
September 28, 2010

**RESOLUTION No. 2010-130**

**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**FROM:** TLMA - Planning Department

**SUBMITTAL DATE:**  
August 19, 2010

**SUBJECT:**

**RESOLUTION NO. 2010-130 CERTIFYING ENVIRONMENTAL IMPACT REPORT NO. 492 and ADOPTING SPECIFIC PLAN NO. 353; and, ORDINANCE NO. 348.4709 for ZONING MAP NO. 2.2328 and CHANGE OF ZONE NO. 7365**

**RECOMMENDED MOTION:**

**ADOPTION** of **RESOLUTION NO. 2010-130** Certifying Environmental Impact Report No. 492 and Adopting Specific Plan No. 353, (Serrano); and,

**ADOPTION** of **ORDINANCE NO. 348.4709** for Zoning Map No. 2.2328 and Change of Zone

*Carolyn Syms Luna*  
\_\_\_\_\_  
Carolyn Syms Luna  
Planning Director

Initials:  
CSL:ar

(Continued on Attached Page)

<b>FINANCIAL DATA</b>	Current F.Y. Total Cost:	\$ 0	In Current Year Budget:	N/A
	Current F.Y. Net County Cost:	\$ 0	Budget Adjustment:	N/A
	Annual Net County Cost:	\$ 0	For Fiscal Year:	N/A

<b>SOURCE OF FUNDS: N/A</b>	Positions To Be Deleted Per A-30	<input type="checkbox"/>
	Requires 4/5 Vote	<input type="checkbox"/>

**C.E.O. RECOMMENDATION:**

**County Executive Office Signature**

**Prev. Agn. Ref.** 6/22/10 Item No. 16.2 | **District:** First | **Agenda Number:**

FORM APPROVED COUNTY COUNSEL  
 BY: *Michelle Clack*  
 DATE: 9/10/10  
 MICHELLE CLACK  
 Departmental Concurrence

Dept't Recomm.:  Consent  Policy  
 Per Exec. Ofc.:  Consent  Policy

The Honorable Board of Supervisors

RE: **RESOLUTION NO. 2010-130 (SP353) / EIR492 / ORDINANCE NO. 348.4709 (CZ7365) / GPA815/ PM32885**

Page 2 of 2

No. 7365 and amending Ordinance No. 348 text to reflect Specific Plan development standards and establishing the Specific Plan boundary.

**BACKGROUND:**

The below listed recommendations were made on the Form 11 to the Board of Supervisor's on **June 22, 2010** as Agenda Item No. **16.2** and the following actions were taken.

**TENTATIVE CERTIFICATION of ENVIRONMENTAL IMPACT REPORT NO. 492**, which has been completed in compliance with the EIR Guidelines and the Riverside County CEQA procedures; and, based on the findings incorporated in the EIR, and subject to resolution adoption by the Riverside County Board of Supervisors; and,

**APPROVAL of GENERAL PLAN AMENDMENT NO. 815** amending the Land Use designation for the subject property from Community Development: Very Low Density Residential (VLDR) 1 Acre Minimum to Commercial Retail (CR), Light Industrial (LI), Open Space-Conservation (OS-C), and Open Space-Water (OS-W) as reflected on the Specific Plan Land Use Plan and as well as amend the text of the Temescal Canyon Area Plan and Figure 4 "Policy Areas" to modify the language of the Serrano Policy Area to encompass the land use policies of the Serrano Commerce Center Specific Plan No. 353; and,

**APPROVAL of SPECIFIC PLAN NO. 353**, subject to the attached conditions of approval, based on the findings and conclusions incorporated in the staff report; and, pending adoption of the Specific Plan Resolution by the Board of Supervisors; and,

**APPROVAL of CHANGE OF ZONE NO. 7365**, amending the zoning classification for the subject property from Rural Residential (R-R), Mineral Resources and Related Manufacturing (MRA), Commercial Tourist (CT), and Scenic Highway Commercial (CPS) to Specific Plan (SP zone) and develop the SP zoning ordinance; and,

**TENTATIVE APPROVAL of TENTATIVE PARCEL MAP NO. 32885** subject to the attached conditions of approval, and based on the findings and conclusions incorporated in the staff report.

**RESOLUTION NO. 2010-130  
CERTIFYING SUBSEQUENT ENVIRONMENTAL IMPACT REPORT NO. 492  
ADOPTING SPECIFIC PLAN NO. 353 AND  
APPROVING TENTATIVE PARCEL MAP NO. 32885**

**WHEREAS**, pursuant to the provisions of Government Code Section 65450 et. seq., a public hearing was held before the Riverside County Board of Supervisors in Riverside, California on June 8, 2010 and June 22, 2010 to consider Specific Plan No. 353, General Plan Amendment No. 815, Change of Zone No. 7365, and Tentative Parcel Map No. 32885.

**WHEREAS**, all procedures of the California Environmental Quality Act (CEQA) and Riverside County CEQA implementing procedures have been satisfied; and Subsequent Environmental Impact Report (EIR) No. 492, prepared in connection with Specific Plan No. 353, General Plan Amendment No. 815, Change of Zone No. 7365, and Tentative Parcel Map No. 32885 (referred to alternatively herein as "the project"), is sufficiently detailed so that all of the potentially significant effects of the project on the environment and measures necessary to avoid or substantially lessen such effects have been evaluated in accordance with the above-referenced Act and Procedures; and,

**WHEREAS**, the matter was discussed fully with testimony and documentation presented by the public and affected government agencies; now, therefore,

**BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED** by the Board of Supervisors of the County of Riverside, in regular session assembled on September 28, 2010 that:

- A. Specific Plan No. 353 (Serrano Commerce Center Specific Plan, "SP No. 353") includes a land use plan, infrastructure plans, phasing plan, design guidelines, and development standards to guide the specific development of a 489.28-acre site with light industrial, commercial retail, and open space land uses. The SP No. 353 proposes to develop light industrial land uses on 372.06 acres and commercial retail uses on 17.45 acres. A maximum of 6,773,144 square feet of building space would be permitted by the SP No.353. A total of 48.77 acres would be set aside as a conservation area pursuant to the County's MSHCP. The remaining 51.01 acres of the site would consist of circulation and

BY: MICH  
ECLACK  
DATE 01/19/10

1 flood control facilities. As part of the project, Temescal Canyon Road would be extended  
2 though the project site.

3 B. SP No. 353 is associated with General Plan Amendment No. 815 which was considered  
4 concurrently at the public hearing before the Board of Supervisors. General Plan  
5 Amendment No. 815 proposes to amend the Riverside County General Plan Land Use  
6 Element by changing the land use designation applied to the site from Community  
7 Development: Light Industrial (CD-LI) (0.25 - 0.60 FAR) and Community Development:  
8 Community Center (CD-CC) to Specific Plan (SP), and to amend the text of the Temescal  
9 Canyon Area Plan (TCAP) Serrano Policy Area policies to ensure consistency with the  
10 land use policies of Specific Plan No. 353.

11 C. SP No. 353 is associated with Change of Zone (CZ No. 7365) which was considered  
12 concurrently at the public hearing before the Board of Supervisors. CZ No. 7365 proposes  
13 to change the zoning designations on the 489.28-acre project site from Rural Residential  
14 (R-R), Tourist Commercial (C-T), Scenic Highway Commercial (C-P-S), and Mineral  
15 Resources and Related Manufacturing (M-R-A) to "Specific Plan Zone (S-P)," and to  
16 implement the SP No. 00353 zoning ordinance.

17 D. SP No. 353 is associated with Tentative Parcel Map (TPM No. 32885) which was  
18 considered concurrently at the public hearing before the Board of Supervisors. TPM No.  
19 32885 subdivides 380.3 acres of the 489.28-acre Specific Plan area into 19 parcels to  
20 accommodate future development in a manner consistent with SP No. 353.

21 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the following environmental  
22 impacts associated with the project are potentially significant unless otherwise indicated, but each of these  
23 impacts will be avoided or substantially lessened by the identified mitigation measures:

24 A. Land Use and Planning

25 1. Impacts.

26 Implementation of the Serrano Commerce Center Specific Plan will result  
27 in a substantial land use change as compared to existing conditions;  
28

1 however, the project will be consistent with the planned Community Center  
2 and Light Industrial land use designations applied to the site by the  
3 Riverside County General Plan and Temescal Canyon Area Plan.

4 The project is located within the Sphere of Influence for the City of Corona,  
5 and is consistent with applicable land use designations applied to the site by  
6 the City of Corona General Plan.

7 The project will be consistent with the planned zoning of the site, which  
8 will in turn be consistent with the land use designations applied to the site  
9 by the Temescal Canyon Area Plan.

10 The project is compatible with the existing surrounding zoning.

11 The project is compatible with the existing and planned surrounding land  
12 uses.

13 Implementation of the project will not result in the disruption or division of  
14 the physical arrangement of an established community.

15 The project is consistent with the adopted land use designations and policies  
16 of Riverside County's General Plan, Temescal Canyon Area Plan, Multiple  
17 Species Habitat Conservation Plan, and the Community and Environmental  
18 Transportation Acceptability Process.

19 The project will not conflict or be inconsistent with any adopted regional  
20 plans, such as SCAG's Regional Comprehensive Plan and Regional  
21 Transportation Plan, and the SCAQMD's Air Quality Management Plan.

22  
23 2. Mitigation.

24 None required.

25 B. Aesthetics

26 1. Impacts.

27 The segment of I-15 adjacent to the project site is designated as state  
28 eligible scenic highway. With mandatory adherence to the SP No. 353



1 Design Guidelines, a significant impact to scenic highway corridors would  
2 not occur.

3 There are no scenic resources on the project site visible from off-site areas.  
4 Project implementation would not substantially interfere or damage any  
5 scenic resources in the surrounding area.

6 The introduction of new lighting sources is regarded as a potentially  
7 significant impact because it could potentially conflict with the Mt. Palomar  
8 Observatory Special Lighting Area; however, mandatory compliance with  
9 Riverside County Ordinance No. 655 and the SP No. 353 Design Guidelines  
10 would reduce impacts to a less than significant level.

11 With adherence to the Design Guidelines of the SP No. 353, project  
12 implementation would not produce substantial amounts of glare or  
13 adversely affect day or nighttime views in the area.

14 With compliance to Riverside County Ordinance No. 655 and incorporation  
15 of the SP No. 353 Design Guidelines relating to project lighting, project  
16 implementation would not expose residential property to unacceptable light  
17 levels.

18 2. Mitigation.

19 None required.

20 C. Agricultural Resources

21 1. Impacts.

22 The project site does not contain any lands designated as Prime Farmland,  
23 Unique Farmland or Statewide Important Farmland; thus, the project would  
24 not convert Important Farmland to a non-agricultural use because no  
25 designated Farmland exists on the site.

26 Project implementation would not result in a conflict with any Williamson  
27 Act Contracts, nor would it conflict with an existing agricultural use.  
28

1 There are no lands within 300 feet of the project site that are zoned for  
2 agricultural use; therefore, no impact would occur.

3 Implementation of the project would not result in changes to the  
4 environment having the potential to convert other farmland uses to non-  
5 agricultural use.

6 2. Mitigation.

7 None required.

8 D. Air Quality (Air Quality Management Plan)

9 1. Impacts.

10 Implementation of the project would not conflict with or obstruct  
11 implementation of the South Coast Air Quality Management District's Air  
12 Quality Management Plan.

13 2. Mitigation.

14 None required.

15 E. Air Quality (Exposure of Off-Site Sensitive Receptors to Point-Source Emissions)

16 1. Impacts.

17 The project would not expose sensitive receptors to substantial point-source  
18 emissions or diesel particulate matter emissions.

19 2. Mitigation.

20 None required.

21 F. Air Quality (Exposure of On-Site Sensitive Receptors to Point-Source Emissions)

22 1. Impacts.

23 The project does not propose any sensitive receptors that could be impacted  
24 by point-source emitters.

25 2. Mitigation.

26 None required.

1 G. Air Quality (Odors)

2 1. Impacts.

3 With mandatory adherence to SCAQMD requirements, any potential uses  
4 that emit odors would be controlled, and reduced to below a level of  
5 significance.

6 2. Mitigation.

7 None required.

8 H. Cultural Resources

9 1. Impacts.

10 Implementation of the project would result in significant impacts to historic  
11 resources, specifically, Site P-33-03832, a locally important historic  
12 resource (railroad bed) and Site P-33-004111, a California Historic  
13 Landmark (No. 186) (tanning vats). Site P-33-006441, a California Historic  
14 Landmark (No. 224) (Third Serrano Adobe), could not be found on the  
15 project site during recent field surveys; however, if it is uncovered during  
16 ground disturbing construction activities, impacts would be significant.

17 Significant impacts would occur to archaeological resources. Although the  
18 precise location of Site P-33-000108 (a possible habitation site) is unknown,  
19 the site could be unearthed during project construction activities. If the site  
20 is uncovered and is found to be intact, Site P-33-000108 would be  
21 considered a significant resource under CEQA (Section 15064.5) and  
22 impacts to the site would be significant. Site P-33-000034 (a petroglyph  
23 site) is a California Historic Landmark and a significant archaeological  
24 resource as defined by CEQA. Tentative Parcel Map No. 32885 would  
25 preserve the petroglyphs associated with this site in an undisturbed area  
26 protected from general public access, but would provide access to the  
27 appropriate Native American tribe (Pechanga Band of Luiseño Indians).  
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1 Although no significant direct impacts to P-33-000034 would occur,  
2 indirect impacts to Site P-33-000034 have the potential to occur.

3 In addition, significant direct impacts to previously undiscovered buried  
4 resources may occur throughout the Specific Plan area during ground  
5 disturbing activities associated with project construction.

6 Human remains are not known to be present on the property; nonetheless,  
7 human remains have the potential to be uncovered during grading and  
8 excavation activities. If human remains of Native American decent are  
9 discovered, significant impacts to cultural resources have the potential to  
10 occur.

11 Significant indirect impacts to a sacred site have the potential to occur. Site  
12 P-33-000034, a significant archaeological site, contains petroglyphs that are  
13 considered sacred. Project implementation would preserve the petroglyphs  
14 associated with this site; however, indirect impacts to Site P-33-000034  
15 may result due to the close proximity of proposed development.

16 No known paleontological resources are present on the property. However,  
17 if significant resources are found to be present beneath the ground surface  
18 during ground disturbing activities, impacts to paleontological resources  
19 would be significant.

20  
21 2. Mitigation.

22 The project has been modified to mitigate or avoid the potentially  
23 significant impacts by the following mitigation measures, which are hereby  
24 adopted and will be implemented as provided in the Mitigation, Monitoring,  
25 and Reporting Program.

26 Historical Resources

27 Site P-33-03832

1 a. Prior to the issuance of grading permits, Site P-33-003832, including  
2 the railroad bed, culvert, and loading bin, shall be documented  
3 through archival quality photography. Copies of the photographs  
4 shall be given to the Corona Library and other appropriate  
5 repositories.

6 **Site P-33-004111**

7 b. The master developer and/or the project's qualified archaeologist  
8 shall contact the E. Clampus Vitus, the group that previously  
9 relocated Site P-33-004111 (the tanning vats) to their current  
10 position. E. Clampus Vitus shall be informed that the tanning vats  
11 will be impacted by the extension of Temescal Canyon Road and  
12 shall be presented with the option to collect the California Historical  
13 Landmark plaque and/or allow it to remain with the tanning vats.  
14 They shall also be provided with the option of relocating the vats. If  
15 E. Clampus Vitus cannot be contacted or are uninterested in  
16 relocating the tanning vats, the Property Owner shall be responsible  
17 for mitigating impacts to the vats as described below.

18 i. The party determined to be responsible for relocating the  
19 vats (either E. Clampus Vitus or the Property Owner) shall  
20 determine its new potential location, which should be located  
21 near the original location. Upon selection of the new  
22 potential location for the tanning vats, the necessary State-  
23 approved forms must be submitted to the California Office of  
24 Historic Preservation to re-assess the Site's status as a  
25 California Historical Landmark. At that time, the California  
26 Office of Historic Preservation may either accept or deny the  
27 Landmark status based upon existing data. In the event that  
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1 Landmark status is approved, Site P-33-004111 must be  
2 removed from its existing location prior to the issuance of  
3 grading permits that would authorize grading in the existing  
4 location of the Site. The tanning vats shall be relocated to  
5 the new location with the E. Clampus Vitus plaque or a  
6 Property Owner-provided plaque. The project Archaeologist  
7 shall also monitor grading of the tanning vat area.

8 c. If the California Office of Historic Preservation denies Site P-33-  
9 004111's status as a California Historical Landmark, the Property  
10 Owner or the E. Clampus Vitus shall either (1) remove and donate  
11 the tanning vats to a local museum or historical society that is  
12 willing to display the artifacts, or (2) relocate the tanning vats within  
13 the project, where it may be suitably displayed. This Removal of  
14 the vats from its existing location must occur prior to the issuance of  
15 grading permits that would authorize grading in the existing location  
16 of the Site. Under either scenario (presentation at a museum or  
17 historical society or at a secondary place within the project site), the  
18 Property Owner shall provide a plaque to be prominently displayed  
19 at or near the location of the removed vats indicating that the  
20 location is the "Site of California Historical Landmark No. 186" and  
21 with a description of the tanning vats, the tanning vats' importance  
22 to the community, and where the tanning vats can be viewed.

23  
24 d. Prior to dismantling the tanning vats, archival photographs, detailed  
25 measurements, and site information must be recorded by the  
26 qualified project Archaeologist, who must be present during the  
27 removal and reconstruction of the tanning vats so that the vats can  
28 be reconstructed to exactly the same dimensions and appearance as

1 they are currently. These shall be compared with any available  
2 historic records of the original configuration. This information shall  
3 be utilized during reconstruction of the tanning vats. Once the  
4 tanning vats have been permanently placed in their new location, the  
5 project Archaeologist shall file a State-approved DPR form with the  
6 Eastern Information Center at the University of California, Riverside  
7 and with the California Office of Historic Preservation in  
8 Sacramento, indicating the final location of the vats and their  
9 configuration. The project Archaeologist shall also monitor grading  
10 of the tanning vat area.

11 **Site P-33-000034**

12 e. The petroglyphs at Site P-33-000034 will be preserved in an  
13 undisturbed area with an appropriate protection buffer and will not  
14 be subject to development activities or disturbance. Tentative Parcel  
15 Map No. 32885 will preserve and protect the petroglyphs from  
16 disturbance, development activities, and general public access, but  
17 would provide access to the appropriate Native American tribe  
18 (Pechanga Band of Luiseño Indians).<sup>1</sup> Because the potential exists  
19 for indirect impacts to the site, a Preservation Plan for the site shall  
20 be completed and executed by and between the landowner and the  
21 Pechanga Band of Luiseño Indians to address access issues, long-  
22 term protection of the site, permitted activities within the site area,  
23 responsibilities for preservation and maintenance, and other issues  
24 of importance in preservation of the site. The Pechanga Band of  
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26  
27 <sup>1</sup> It is anticipated that the Pechanga Band of Luiseño Indians will be the "culturally affiliated" Luiseño tribe due to its prior and  
28 extensive coordination with the County in determining potentially significant impacts and appropriate mitigation measures and  
due to its demonstrated cultural affiliation with the Project area.

1 Luiseño Indians will be given the opportunity to hold a conservation  
2 easement over the site area for the purposes of preservation and  
3 protection of the site.

4 **Site P-33-000108**

5 f. Upon the completion of grubbing and/or brushing of the general  
6 location of Site P-33-000108, the project's qualified archaeologist  
7 shall survey the area to determine if any artifacts associated with P-  
8 33-000108 remain. If the site no longer exists, no further action is  
9 required. If the intact site is located, any additional clearing or  
10 earth-moving activities shall be diverted temporarily around the site  
11 until it has been evaluated through Phase II Significance Testing,  
12 recorded, excavated, and/or recovered as necessary. Earth moving  
13 shall be allowed to proceed through the area when the  
14 archaeological supervisor, in consultation with the appropriate  
15 Native American tribe (Pechanga Band of Luiseño Indians) and the  
16 County of Riverside, determines P-33-000108 is recovered and/or  
17 impacts to P-33-000108 is mitigated to the extent necessary.

18 **Site P-33-006441**

19 g. Any grubbing and/or brushing activities that take place within the  
20 general location of Site P-33-006441 shall be monitored by the  
21 project's qualified archaeologist and a qualified Historian. Prior to  
22 the commencement of grading activities, the project's archaeologist  
23 shall survey the area to determine if any artifacts associated with P-  
24 33-006441 remain. If no artifacts are located during the survey, the  
25 project's archaeologist shall define an area where modified grading  
26 shall occur. Standard grading procedures may proceed outside of t  
27 his defined area. Modified grading procedures shall include the  
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1 removal of soil at a slower rate than normal, utilizing a paddlewheel,  
2 road scraper, or other equipment capable of removing a minimum  
3 amount (inches) of soil at a time; i.e., controlled grading. The  
4 project's archaeologist shall supervise this work to ensure no  
5 artifacts are disturbed. Modified grading procedures in the defined  
6 area shall continue until the archaeological supervisor, in  
7 consultation with the County of Riverside, determine that there is a  
8 low likelihood that any artifacts will be found. If site remains are  
9 located, any additional clearing, brushing, grading, or earth-moving  
10 activities shall be diverted temporarily around the site until it has  
11 been evaluated through Phase II Significance Testing, recorded,  
12 excavated, and/or recovered as necessary. Earth moving shall be  
13 allowed to proceed through the area when the archaeological  
14 supervisor, in consultation with the County of Riverside, determines  
15 P-33-006441 is recovered and/or impacts to P-33-006441 is  
16 mitigated to the extent necessary.

17 **Other Archaeological Resources**

- 18 h. Prior to any clearing, grubbing and/or earth-moving activities, a  
19 qualified archaeologist approved by the Riverside County  
20 Environmental Programs Department shall be retained by the project  
21 developer. The potential for discovery of archaeological resources  
22 on and beneath the surface of the site has been indicated as high;  
23 therefore, consultation with the appropriate Native American tribe  
24 (Pechanga Band of Luiseño Indians) is required to continue until the  
25 completion of ground-disturbing construction activities or until all  
26 parties agree that consultation has been completed, whichever  
27 occurs sooner. A pre-grading meeting between the archaeologist,  
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1 Pechanga Band of Luiseño Indians, and the grading contractor shall  
2 take place to ensure an understanding of the mitigation measures  
3 required during earth-moving activities and construction.

4 i. Prior to issuance of a grading permit, the archaeologist shall develop  
5 a mitigation plan and a discovery clause/treatment plan, which shall  
6 include mitigation monitoring to be implemented during earth  
7 moving on the project site. The treatment plan shall be developed in  
8 consultation with the appropriate Native American tribe (Pechanga  
9 Band of Luiseño Indians) and shall account for treatment of any  
10 archaeological remains and associated data uncovered by brushing,  
11 grubbing, or earth moving.

12 j. The project applicant shall use all reasonable efforts to enter into a  
13 Cultural Resources Treatment and Tribal Monitoring Agreement  
14 with the appropriate Native American tribe (Pechanga Band of  
15 Luiseño Indians). The agreement(s) shall address tribal monitoring  
16 requirements and treatment and disposition of all archaeological  
17 resources discovered during earth-moving and grading activities.

18 k. The landowner shall relinquish ownership of all cultural resources,  
19 including all Luiseño cultural sacred items, burial goods and all  
20 archaeological artifacts that are found on the project site in accord  
21 with approved cultural resources treatment agreement(s) to the  
22 appropriate Native American tribe (Pechanga Band of Luiseño  
23 Indians) for proper treatment and disposition.

24 l. Native American monitors from the appropriate Native American  
25 tribe (Pechanga Band of Luiseño Indians) shall be allowed to  
26 monitor all grading, excavation, and ground-breaking activities. The  
27 Native American monitors will have the authority to temporarily  
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2 stop and redirect grading activities to evaluate the significance of  
3 any archaeological sites or resources discovered on the property, in  
4 conjunction with the consulting archeologist and the Riverside  
County Archaeologist.

5 m. Archaeological and tribal monitoring shall be conducted on a full-  
6 time basis for all grading and ground disturbing activities, including  
7 archaeological testing, until the project archaeologist in consultation  
8 with the appropriate Native American tribe (Pechanga Band of  
9 Luiseño Indians) and the County of Riverside determines that  
10 resources are not likely to be encountered. If archaeological remains  
11 are found by the archaeological monitor, earth moving shall be  
12 diverted temporarily around the deposits until they have been  
13 evaluated, recorded, excavated, and/or recovered as necessary.  
14 Earth moving shall be allowed to proceed through the site when the  
15 archaeological supervisor, in consultation with the appropriate  
16 Native American tribe (Pechanga Band of Luiseño Indians) and the  
17 County of Riverside, determines the artifacts are recovered and/or  
18 the site is mitigated to the extent necessary.

19 n. Compliance with California Health and Safety Code Section 7050.5  
20 "Discovery of Human Remains" is required. If possible human  
21 remains are encountered during any earth-moving activities, all  
22 work shall stop in the area in which the find(s) are present, and the  
23 Riverside County Coroner must be notified. State law dictates that  
24 the Native American Heritage Commission (NAHC) shall be  
25 notified in the event that remains are determined to be human and of  
26 Native American descent.  
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o. If a previously unknown archaeological site or resource is encountered or unearthed during project grading or construction and it requires additional mitigation beyond the methods outlined in the treatment plan to reduce impacts to below a level of significance, a plan or proposal shall be prepared by the qualified archaeologist, in consultation with the appropriate Native American tribe (Pechanga Band of Luiseño Indians) and the County of Riverside Archaeologist, outlining the plan of action that needs to be implemented to mitigate the new site or resource. If the developer and the appropriate Native American tribe (Pechanga Band of Luiseño Indians) cannot agree on the significance of the site or resource, or the mitigation for such sites or resources, these issues will be presented to the Riverside County Planning Director for decision. The Planning Director shall make the determination based on the provisions of the California Environmental Quality Act with respect to archaeological resources and shall take into account the religious beliefs, customs, and practices of the appropriate Native American tribe (Pechanga Band of Luiseño Indians).

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p. Archaeological resources that are not considered ceremonial or sacred by the appropriate Native American tribe (Pechanga Band of Luiseño Indians) shall be identified, recorded, and mapped, and artifacts catalogued as required by standard archaeological practices. Examination by an archaeological specialist shall be included where necessary, dependent upon the artifacts, features or sites that are encountered. Specialists shall identify, date, and/or determine significance potential.

1 q. At the completion of earth-moving activities, a final report of  
2 findings shall be prepared by the archaeologist for submission to the  
3 Eastern Information Center and the County of Riverside  
4 Archaeologist. The report shall describe parcel history, summarize  
5 field and laboratory methods used, if applicable, and include any  
6 testing or special analysis information conducted to support the  
7 findings.

8 **Paleontological Resources**

9 r. Prior to any earth moving in the parcel, a vertebrate paleontologist  
10 retained by the project developer and approved by the County of  
11 Riverside shall develop a storage agreement with the LACM  
12 Vertebrate Paleontology Section, Western Center for Archaeology  
13 & Paleontology, San Bernardino County Museum, or another  
14 acceptable museum repository to allow for the permanent storage  
15 and maintenance of any fossil remains recovered in the project area  
16 as a result of the monitoring program, and for the archiving of  
17 associated specimen data and corresponding geologic and  
18 geographic site data at the museum repository.

19 s. The paleontologist shall develop a mitigation plan and a discovery  
20 clause/treatment plan that, when implemented during earth-moving  
21 activities in the project area, will allow for the recovery and  
22 subsequent treatment of any fossil remains and associated specimen  
23 and site data uncovered by these activities.

24 t. The paleontologist and a paleontological construction monitor shall  
25 attend a pre-grade meeting to explain the monitoring program to  
26 pipeline contractor staff and to develop procedures and lines of  
27 communication to be implemented if fossil remains are uncovered  
28

1 by earth-moving activities, particularly when a monitor may not be  
2 on site.

3 u. Paleontological monitoring of earth-moving activities shall be  
4 conducted on a full-time basis by the monitor during all earth-  
5 moving activities due to the exposure of sensitive strata. Earth-  
6 moving activities in areas of the project area where previously  
7 undisturbed strata will be buried but not otherwise disturbed will not  
8 be monitored. The Supervising Paleontologist will have the  
9 authority to reduce monitoring once he determines the probability of  
10 encountering fossils has dropped below an acceptable level.

11 v. If the monitor finds fossil remains, earth-moving activities shall be  
12 diverted temporarily around the fossil site until the remains have  
13 been recovered and these activities allowed to proceed through the  
14 site by the monitor.

15 w. If fossil remains are encountered by earth-moving activities when  
16 the monitor is not on site, these activities shall be diverted around  
17 the fossil site and the monitor called to the site by the construction  
18 supervisor immediately to recover the remains.

19 x. If fossil remains are found, approximately 2,000 pounds (1 ton) of  
20 fossiliferous rock shall be recovered from the fossil site and  
21 processed to allow for the recovery of smaller fossil remains. Test  
22 samples may be recovered from other sampling sites in the rock  
23 unit.

24 y. Any recovered fossil remains shall be prepared to the point of  
25 identification and identified to the lowest taxonomic level possible  
26 by knowledgeable paleontologists. The remains then will be rated  
27 (assigned and labeled with museum repository fossil specimen  
28

1 numbers and corresponding fossil site numbers, as appropriate;  
2 placed in specimen trays and, if necessary, vials with completed  
3 specimen data cards) and catalogued, and associated specimen data  
4 and corresponding geologic and geographic site data will be  
5 archived (specimen and site numbers and corresponding data  
6 entered into appropriate museum repository catalogs and  
7 computerized data bases) at the museum repository by a laboratory  
8 technician. The remains then will be accessioned into the museum  
9 repository fossil collection, where they will be permanently stored,  
10 maintained, and, along with associated specimen and site data, made  
11 available for future study by qualified scientific investigators.

12 I. Biological Resources

13 1. Impacts.

14 Project implementation would result in impacts to sensitive natural  
15 communities, including impacts to the following: mulefat scrub (1.40  
16 acres), arroyo willow/mulefat scrub (1.96 acres), and eucalyptus woodland  
17 with arroyo woodland understory (8.24 acres).

18 Project implementation would result in impacts to endangered, threatened,  
19 candidate, sensitive, and special status species, including small-flowered  
20 microseris, Coulter's matilija poppy and San Diego tarplant (plants).  
21 Impacts to burrowing owl, nesting birds, and fairy shrimp (animals) would  
22 be significant if the species are present in disturbance areas at the time of  
23 clearing and grading. Other candidate, sensitive, or special status species  
24 observed on the site or with potential to occur on the site are Covered  
25 Species under the MSHCP. As such, mandatory compliance with the  
26 federal Migratory Bird Treaty Act and payment of the MSHCP Mitigation  
27 Fee in accordance with Riverside County Ordinance No. 810.2 would  
28

1 provide complete mitigation for any impacts to nesting birds and MSHCP  
2 Covered Species. Also, because the project site lies within Riverside  
3 County's Stephens' kangaroo rat (SKR) Habitat Conservation Plan and  
4 SKR Fee Assessment Area, the project applicant is required to pay fees in  
5 accordance with County Ordinance No. 633, which would reduce any  
6 impacts to the SKR to below a level of significance.

7 Project implementation would result in impacts to 15.94 acres of state-  
8 regulated streambeds, including 3.88 acres of state wetlands. In addition,  
9 the project would impact 8.16 acres of federally-regulated waters, including  
10 0.36 acres of federal wetlands.

11 Project implementation would conflict with the MSHCP conservation  
12 requirements, including: (a) direct, indirect impacts to riparian/riverine  
13 habitats (1.4 acres of mulefat scrub, of which 0.05 acres would be  
14 temporarily impacted; 1.96 acres of arroyo willow/mulefat scrub, of which  
15 0.74 acres would be temporarily impacted; and 2.6 acres of eucalyptus  
16 woodland with arroyo woodland understory); and (b) impacts to burrowing  
17 owl, a species with MSHCP conservation criteria. Implementation of the  
18 Project could also result in direct and indirect impacts to the MSHCP area  
19 due to the juxtaposition of the developed portion of the project site and the  
20 conservation area.

21 Project implementation would result in significant impacts to 30 oak trees  
22 regulated by Riverside County's Oak Tree Management Guidelines.

23 The project would not significantly impact the movement of any native  
24 resident or migratory fish or wildlife species.

25  
26 **2. Mitigation.**

27 The project has been modified to mitigate or avoid the potentially  
28 significant impacts by the following mitigation measures, which are hereby



1 adopted and will be implemented as provided in the Mitigation, Monitoring,  
2 and Reporting Program.

- 3 a. Prior to the issuance of clearing or grading permits, the project  
4 applicant shall pay Local Development Mitigation Fees (per County  
5 Ordinance No. 810.2) for implementation of the MSHCP.
- 6 b. Prior to the issuance of a grading permit, the applicant shall obtain  
7 certification under Section 401 of the Clean Water Act from the  
8 Regional Water Quality Control Board (RWQCB). The RWQCB  
9 requires restrictions to control urban runoff from the site, requires  
10 on-site treatment of runoff to improve water quality, and imposes  
11 Best Management Practices (BMPs) on the construction.
- 12 c. Prior to the issuance of a grading permit, the applicant shall obtain a  
13 permit under Section 404 of the Clean Water Act from the U.S.  
14 Army Corps of Engineers (ACOE). The ACOE has a no net loss  
15 policy which requires that any unavoidable impacts to wetland  
16 values and functions be replaced. Replacement of ACOE  
17 jurisdictional waters and wetlands is required to occur at a ratio no  
18 less than 1:1. Mitigation for permanent impacts to wetlands is  
19 expected to occur at a ratio of 3:1 and mitigation for permanent  
20 impacts to that portion of federal waters that are not wetlands is  
21 expected to occur at a ratio of 1:1. Mitigation for temporary impacts  
22 is expected at a ratio of 1:0.5. (The mitigation acreage requirements  
23 for federal waters and wetlands, state waters and wetlands, and  
24 MSHCP riparian/riverine areas are not intended to be added  
25 together, rather the largest acreage will be used and will encompass  
26 mitigation for all of the separate jurisdictions.)  
27

1 d. Prior to the issuance of a grading permit, the applicant shall consult  
2 with the California Department of Fish and Game to obtain any  
3 required streambed alteration agreement pursuant to CDFG Code  
4 Section 1600. Replacement of CDFG jurisdictional streambed and  
5 associated riparian habitat is required to occur at a ratio no less than  
6 1:1. Mitigation for permanent impacts to wetlands is expected to  
7 occur at a ratio of 3:1 and mitigation for permanent impacts to that  
8 portion of state waters that are not wetlands is expected to occur at a  
9 ratio of 1:1. Mitigation for temporary impacts is expected at a ratio  
10 of 1:0.5. (The mitigation acreage requirements for federal waters  
11 and wetlands, state waters and wetlands, and MSHCP  
12 riparian/riverine areas are not intended to be added together, rather  
13 the largest acreage will be used and will encompass mitigation for  
14 all of the separate jurisdictions.)

15 e. Pursuant to Condition No. 5b of the Federal Fish and Wildlife  
16 Permit TE-088609-0 issued in conjunction with the Western  
17 Riverside County MSHCP, no grading permit may be issued  
18 between March 1 and August 15 of any given year unless the  
19 applicant for said grading permit provides written documentation to  
20 the County Biologist indicating that a focused survey of the project  
21 site has been conducted by a permitted biologist and confirms that  
22 habitat occupied by the coastal California gnatcatcher does not exist  
23 on said site.

24 f. Prior to the issuance of grading permits, the project applicant shall  
25 pay fees in accordance with Riverside County Ordinance No. 633  
26 (Stephens' Kangaroo Rat Fee Assessment Area) for implementation  
27 of the Stephens' Kangaroo Rat Habitat Conservation Plan as  
28

1 approved by the US Fish and Wildlife Service and the California  
2 Department of Fish and Game.

3 g. The project shall comply with permitting and other regulations of  
4 the U.S. Army Corps of Engineers, California Department of Fish  
5 and Game and the Regional Water Quality Control Board relative to  
6 water quality to prevent the release of toxins, chemicals, petroleum  
7 products, exotic plant material or other elements into the MSHCP  
8 Conservation Area that have the potential to harm biological  
9 resources during construction.

10 h. The project shall comply with all applicable standards, regulations  
11 and guidelines of the EPA, State, County and local agencies related  
12 to the storage, use, and disposal of hazardous waste such that no  
13 toxics impacts would occur to the MSHCP Conservation Area.

14 i. Prior to the issuance of a grading permit, a Mitigation Monitoring  
15 Plan (MMP) shall be submitted to the United States Fish and  
16 Wildlife Service and California Department of Fish and Game for  
17 review and comment and to the Environmental Programs  
18 Department of Riverside County for review and approval. The MMP  
19 shall be prepared by a biologist who holds an MOU with Riverside  
20 County, and shall propose mitigation measures consistent with the  
21 findings of the document entitled "Determination of Biologically  
22 Equivalent or Superior Preservation (DBESP), Serrano Specific  
23 Plan, HANS #441" dated July 2005. Mitigation for permanent  
24 impacts to riparian habitat is expected at a ratio of 2:1, while  
25 mitigation for permanent impacts to riverine (upland, non-native or  
26 unvegetated) areas are expected at a ratio of 1:1. Mitigation for  
27 temporary impacts is expected at a ratio of 1:0.5. (The mitigation  
28

2 acreage requirements for federal waters and wetlands, state waters  
3 and wetlands, and MSHCP riparian/riverine areas are not intended  
4 to be added together, rather the largest acreage will be used and will  
5 encompass mitigation for all of the separate jurisdictions.)

6 j. Prior to the issuance of building permits or as required by USFWS  
7 and CDFG, enhancements shall be provided to replace the lost  
8 functions and values of 1.4 acres of mulefat scrub and 1.96 acres of  
9 arroyo willow. The below measures are subject to modification by  
10 the project's Mitigation Monitoring Plan (MMP) that will be  
11 prepared and submitted to the United States Fish and Wildlife  
12 Service for review and comment and to the Environmental Programs  
13 Department of Riverside County for review and approval.

14 i. To the extent feasible as determined by the project biologist,  
15 mulefat scrub habitat shall be conserved on-site at the west  
16 end of Mayhew Wash.

17 ii. Individual plant counts shall be taken of the arroyo willow  
18 (understory of the Eucalyptus woodland), arroyo  
19 willow/mulefat scrub and mulefat scrub habitats where  
20 impacted, and the plants shall be replaced at a 2:1 ratio  
21 within disturbed portions of Temescal Wash owned by the  
22 project applicant. No new drainage area will be created;  
23 rather, an existing portion of the Temescal Wash shall be  
24 enhanced.

25 iii. Plant installation is required to occur with the utmost care.  
26 The plants shall be installed within the Temescal Wash  
27 where water will be expected to flow periodically,  
28 preventing the need for watering and the potential for further

1 disturbance. Installation shall not occur during the migratory  
2 bird nesting season (February 1 through August 31). The  
3 project biologist will supervise the installation and  
4 establishment of the habitat before conveying that area to the  
5 RCA as part of the on-site MSHCP Conservation Area.

6 iv. No heavy machinery shall be brought off-road and into the  
7 Temescal Wash. All refuse or debris from the plant  
8 installation and installation crew or in the immediate area  
9 where planting is being conducted shall be immediately  
10 removed from the site. To prevent any unnecessary impacts  
11 to Temescal Wash, no ongoing maintenance including  
12 weeding or refuse pick-up is required.

13 v. The enhanced habitat shall provide biological, hydrological,  
14 and biogeochemical function equivalent or superior to that  
15 lost due to project impacts.

16 vi. The channelization of Coldwater Canyon Wash and Mayhew  
17 Wash on the project site will include approximately 7.27  
18 acres of soft bottom (0.7 acres within the Mayhew Wash  
19 Channel and 6.57 acres in the Coldwater Canyon Wash  
20 Channel). Although these areas shall not be considered as  
21 revegetation area due to the potential for future flood control  
22 disturbance to vegetation, the channels may be used to offset  
23 the loss of those portions of the washes that are currently  
24 unvegetated or vegetated by non-native grasses and have  
25 water flow.

26  
27 vii. The project applicant shall purchase 14 acres of credits in an  
28 approved off-site mitigation bank.

1 k. Pursuant to Objective 6 of the Species Account for the burrowing  
2 owl included in the Western Riverside County Multiple Species  
3 Habitat Conservation Plan, within 30 days prior to the issuance of a  
4 grading permit, a pre-construction presence/absence survey for the  
5 burrowing owl shall be conducted. The survey shall be conducted by  
6 a qualified biologist and the results of this presence/absence survey  
7 shall be provided in writing to the Environmental Programs  
8 Department (EPD) at Riverside County. If it is determined that the  
9 project site is occupied by burrowing owl, take of "active" nests  
10 shall be avoided pursuant to the MSHCP and the Migratory Bird  
11 Treaty Act. However, when the burrowing owl is present, relocation  
12 outside of the nesting season (March 1 through August 31) by a  
13 qualified biologist shall be required. The EPD shall be consulted to  
14 determine appropriate type of relocation (active or passive) and  
15 translocation sites.

16 l. To ensure that no active migratory bird nests are disturbed during  
17 clearing and grading, vegetative removal activities shall be  
18 scheduled outside of nesting seasons (February 1 through August  
19 31). If vegetation is to be removed during the nesting migratory bird  
20 season, recognized from February 1 through August 31, a qualified  
21 biologist shall conduct a nesting bird survey of potentially suitable  
22 nesting vegetation three days prior to vegetation removal. If active  
23 nests are identified during nesting bird surveys, then the nesting  
24 vegetation shall be avoided until the nesting event has completed  
25 and the juveniles can survive independently from the nest. The  
26 biologist shall flag the nesting vegetation and shall establish an  
27 adequate buffer (e.g. construction fencing) around the nesting  
28

1  
2 vegetation. The size of the buffer will be based on the type of bird  
3 nesting (i.e. raptors shall be afforded larger buffers).  
4 Clearing/grading shall not occur within the buffer until the nesting  
5 event has completed.

6 m. With the exception of the existing dirt access road that crosses the  
7 proposed MSHCP Conservation Area on the northeast side of the  
8 site, there shall be no physical disturbance to the on-site 48.77-acre  
9 MSHCP Conservation Area during construction. Prior to the  
10 issuance of grading permits, the on-site MSHCP Conservation Area  
11 shall be demarked by orange construction fencing and temporary  
12 signs shall be posted stating that construction activities are  
13 prohibited beyond the marked area. In addition, construction  
14 fencing shall be installed along the perimeter of the existing dirt  
15 access road to prevent construction vehicles from encroaching upon  
16 undisturbed portions of the on-site MSHCP Conservation Area. The  
17 location of the construction fencing shall be shown on grading plans  
18 and installed prior to grading.

19 n. Prior to the issuance of a grading permit, a Construction Runoff  
20 Management Plan shall be developed that addresses management of  
21 erosion and minimization of transport of eroded material into the  
22 stream system. Best management practices shall be installed and  
23 maintained by the construction supervisor to prevent the degradation  
24 of receiving waters downstream.

25 o. Night lighting shall not be permitted during construction, unless  
26 necessary for safety and security. If lighting is necessary during  
27 construction, all artificial light sources shall be shielded and directed  
28 away from the MSHCP Conservation Area.

- 1 p. Street lights, parking lot lighting and other artificial illumination  
2 sources shall be positioned, directed, and shielded where necessary  
3 to avoid light spill-over in to the MHSCP Conservation Area.  
4 Artificial light sources shall be restricted to the minimum necessary  
5 for safety and security purposes in Specific Plan Planning Areas 5,  
6 6, 7, and 9, in areas adjacent to the MSHCP Conservation Area.
- 7 q. All manufactured slopes that abut the MSHCP Conservation Area  
8 shall be planted with Riversidean sage scrub species. The plant mix  
9 shall be shown on the project's construction landscaping plans.
- 10 r. Invasive plant species listed in Section 6.1.4 of the MSHCP and in  
11 the "California Exotic Pest Plant Council, List of Most Invasive  
12 Wildland Pest Plants" shall be prohibited in the project area. The  
13 project's CC&Rs shall specifically prohibit the planting of these  
14 species by future owners and occupants of the project.
- 15 s. All grading and construction shall adhere to the Standard Best  
16 Management Practices outlined in Appendix C of the MSHCP.
- 17 t. The project's CC&Rs shall include a provision that the permanent  
18 fence constructed between the project's development areas and the  
19 MSHCP Conservation Area shall be properly maintained at all times  
20 to discourage human access between the development area and the  
21 Conservation Area.
- 22 u. The project's CC&Rs shall include limitations on the use of  
23 landscape fertilization overspray and runoff to avoid toxin impacts  
24 to the MSHCP Criteria Area.
- 25 v. Land uses located adjacent to the MSHCP Conservation Area that  
26 use chemicals or generate bioproducts that are potentially toxic or  
27 adversely affect wildlife species, habitat or water quality shall  
28



1 incorporate measures to ensure that application of such chemicals  
2 does not result in discharge to the MSHCP Conservation Area.

3 w. Based on USFWS protocol for fairy shrimp surveys, either two (2)  
4 full wet season surveys or one (1) full wet season and one (1) full  
5 dry season survey are required to be completed prior to the issuance  
6 of a grading permit for any on-site or off-site grading or clearing  
7 activities. An additional wet season survey is required prior to the  
8 issuance of grading permits. In the event that listed species of fairy  
9 shrimp are found to occupy a portion of the project's impact  
10 footprint, the following mitigation measures shall apply:

11 i. The occupied seasonal pool(s) shall be avoided unless or  
12 until permits are issued by the ACOE and the USFWS  
13 allowing take of the species on the project site.

14 ii. If take of listed species of fairy shrimp occurs within the  
15 project's impact footprint, as part of the permit for take, a  
16 written mitigation plan shall be submitted to the USFWS and  
17 the ACOE allowing for relocation of the vernal pools within  
18 the avoided areas of the project site or within a suitable  
19 alternate, off-site property.

20 iii. Impacts for take of vernal species shall be mitigated via the  
21 purchase of credits within an approved mitigation bank.

22 x. To ensure that no least Bell's vireo individuals or active nests are  
23 disturbed during clearing or grading, the project shall observe the  
24 following prior to the issuance of a grading and/or clearing permit:

25 i. Project construction shall avoid the removal of least Bell's  
26 vireo habitat during the least Bell's vireo nesting season  
27 (March 15 - September 15) unless or until a qualified  
28

1 biologist has surveyed the area and determined that least  
2 Bell's vireo is not utilizing the habitat. No grubbing,  
3 clearing, or grading permit may be issued until the County of  
4 Riverside Environmental Programs Department has received  
5 and reviewed the least Bell's vireo survey report.

- 6 ii. In the event that least Bell's vireo is found to be occupying  
7 habitat within the project's impact footprint after the least  
8 Bell's vireo survey but before the habitat is removed,  
9 construction shall halt in the immediate area and for a radius  
10 of 500 feet around the occupied habitat. Ground-disturbing  
11 construction activities shall not be permitted to proceed in  
12 the area of occupied habitat or its 500-foot buffer until a  
13 qualified biologist has determined that the habitat is no  
14 longer occupied, nests have fledged their young, or nests are  
15 otherwise inactive.

16 Mitigation Measures from the Lee Lake Water District's (LLWD's) MND  
17 for Construction of the Wild Rose Reservoir II Project:

- 18 y. A protocol-level focused survey for coastal California gnatcatcher  
19 will be conducted prior to construction to determine the  
20 presence/absence of this species. If the gnatcatcher is detected in the  
21 project direct and/or indirect impact area, LLWD will implement  
22 mitigation measures to reduce the impact to a level considered less  
23 than significant, including avoiding construction during the breeding  
24 season (February 15 through August 31) or having a qualified  
25 gnatcatcher biologist onsite to monitor construction to ensure that  
26 habitat and birds are not disturbed. In addition LLWD would  
27 coordinate with the USFWS to determine any necessary permit  
28

1 requirements, including a federal Section 10(a) permit (MND  
2 Mitigation Measure No. BIO-1).

3 z. If construction activity is to take place during the nesting bird  
4 breeding season (i.e., January through October), a one-time  
5 biological survey for nesting bird species would be conducted with  
6 the proposed impact area no earlier than 72 hours prior to  
7 construction. This survey is necessary to assure avoidance of  
8 impacts to nesting active birds (per the federal Migratory Bird  
9 Treaty Act). If nesting birds are detected within vegetation that is to  
10 be impacted, the nest location(s) will be protected. A buffer of 25 to  
11 300 feet (specific width to be determined by the project biologists  
12 according to species of bird) around the nest will be avoided until  
13 fledging of offspring (MND Mitigation Measure No. BIO-2).

14 aa. If construction is to occur during the raptor breeding season, prior to  
15 construction and during the breeding season for most raptors,  
16 including Cooper's hawk (March – August) and white-tailed kite  
17 (February – October), a focused survey for nesting raptors will be  
18 conducted to assess the presence/absence of sensitive nesting raptors  
19 adjacent to the project study area. If any active raptor nests are  
20 detected, the area will be flagged, along with a 300-foot buffer, and  
21 will be avoided until the nesting cycle is completed, or it has been  
22 determined that the nest has failed (MND Mitigation Measure No.  
23 BIO-3).

24 **Mitigation Measure for Impacts to Oak Trees:**

25 bb. The project shall comply with the County's Oak Tree Management  
26 Guidelines. All qualifying oaks permanently impacted shall be  
27 mitigated through replacement with saplings of coast live oak or  
28

1 other local native oak trees at a ratio of 3:1 for naturally occurring  
2 oaks and 2:1 for planted oaks. Oaks indirectly impacted shall be  
3 replaced with saplings at a ratio of 1:1. Prior to the issuance of a  
4 grading permit, an Oak Tree Management Plan shall be prepared for  
5 approval by the Riverside County EPD, establishing planting details  
6 and success criteria for all replacement oak trees.

7 J. Circulation and Traffic – Cumulative and Direct Impacts

8 1. Impacts.

9 Implementation of the project would result in significant direct and  
10 cumulative impacts to local intersections and roadway segments.

11 For 2010 traffic conditions, the project would result in a significant direct  
12 and cumulative impact to the following intersections:

- 13       ▪ I-15 NB Ramps (NS) at:
  - 14           ○ Old Temescal Canyon Road (EW)
- 15       ▪ Old Temescal Canyon Road (NS) at:
  - 16           ○ Lawson Drive (EW)

17 In addition, the project would contribute to the need for signalization at the  
18 following intersections, which is identified as a cumulatively significant  
19 impact of project development:

- 20       ▪ Old Temescal Canyon Road (NS) at:
  - 21           ○ Lawson Drive (EW)
- 22       ▪ Temescal Canyon Road (NS) at:
  - 23           ○ Indian Truck Trail (EW)
  - 24           ○ Old Temescal Canyon Road North (EW)
  - 25           ○ Old Temescal Canyon Road South (EW)
  - 26           ○ Street "A"/Street "B" (EW)
  - 27           ○ Street "B"/Street "C" (EW)
  - 28           ○ Street "C"/Street "D" (EW)

Finally, implementation of the project would result in a significant  
cumulative impact to the following two roadway segments under 2010  
traffic conditions:

- Old Temescal Canyon Road North
  - south of Lawson Drive and north of Trilogy Parkway

For 2012 traffic conditions, implementation of the project would result in a significant direct and cumulative impacts to the following intersections, in addition to those intersections previously identified as cumulatively impacted under 2010 traffic conditions:

- Temescal Canyon Road (NS) at:
  - Weirick Road (EW)

The project would not have a significant parking impact because as a standard condition of project approval, the County would require the provision of on-site parking for all proposed land uses in accordance with the parking requirements specified in County Ordinance No. 348.

The project would contribute traffic to segments of Interstate 15 that operate below acceptable levels of service under existing conditions. Long-term impacts to these segments would be alleviated when planned improvements are constructed by Caltrans and service levels improve.

The project site is not located in proximity to an airport or within an airport influence area or safety zone, and would not result in a change to air traffic patterns or result in any substantial air safety risks.

Project implementation would not alter waterborne, rail, or air traffic.

Project implementation would not substantially increase hazards to a design feature on any roadways within the area, nor would it introduce incompatible uses which would create traffic hazards.

Although project implementation would create the need for new and altered maintenance of roads, the project would result in a net financial benefit to the County and the maintenance of proposed facilities would result in less than significant impacts to the environment.

1 During construction of the project, roadway segments and intersections  
2 surrounding the site may be temporarily affected, resulting in a potentially  
3 significant short-term impact.

4 Adequate emergency vehicle access would be provided to the project site at  
5 all times. The project would not cause inadequate emergency access to  
6 nearby uses.

7 The project would not conflict with any adopted policies supporting  
8 alternative transportation.

9 2. Mitigation.

10 The project has been modified to mitigate or avoid the potentially  
11 significant impacts by the following mitigation measures, which are hereby  
12 adopted and will be implemented as provided in the Mitigation, Monitoring,  
13 and Reporting Program.

- 14 a. Prior to final inspection of the first building permit in the Serrano  
15 Commerce Center Specific Plan, the project proponent shall  
16 construct a new two lane (one lane in each direction) extension of  
17 Temescal Canyon Road from Old Temescal Canyon Road North to  
18 Old Temescal Canyon Road South. Four lanes (two lanes in each  
19 direction) shall be constructed before the end of Phase I (refer to the  
20 Phasing Plan in Specific Plan No. 353). The project proponent shall  
21 grade the ultimate full right-of-way width (128') for this roadway  
22 and shall open to traffic the intersections of Temescal Canyon Road  
23 at Old Temescal Canyon Road North to Old Temescal Canyon Road  
24 South. Sufficient right-of-way shall be dedicated to Riverside  
25 County to accommodate a six-lane roadway (three lanes in each  
26 direction), subject to approval by the Riverside County  
27 Transportation Department. An appropriate taper on Temescal  
28

1 Canyon Road north of Old Temescal Canyon Road North and south  
2 of Old Temescal Canyon Road South shall be provided, to join  
3 existing lanes. The precise timing of improvements to Temescal  
4 Canyon Road will be determined based on the findings of traffic  
5 studies prepared for implementing Plot Plans.

6 b. The project shall participate in the funding of off-site improvements  
7 through the payment of Transportation Uniform Mitigation Fees  
8 (TUMF) in accordance with Riverside County Ordinance No. 824.  
9 TUMF fees are paid by applicants based on the amount of building  
10 square footage constructed. The project's cost to construct any  
11 TUMF road improvements (including the realignment of Temescal  
12 Canyon Road) shall be credited against the required fees or as  
13 otherwise specified by a Project Development Agreement.

15 c. The project will be subject to the County of Riverside Traffic Signal  
16 Fee program in accordance with Riverside County Ordinance No.  
17 748.1, which requires the payment of a fee to the County to reduce  
18 traffic congestion through signalization and which is administered  
19 on a per-acre basis for commercial and industrial development.  
20 (The project's cost to construct a signal at Temescal Canyon Road  
21 and Lawson Road outlined in Mitigation Measures b shall be  
22 credited against the required fees.)

23 d. At the intersection of Temescal Canyon Road (NS) at Lawson Road  
24 (EW), the project shall be responsible for the design and installation  
25 of a traffic signal, unless the signal is designed and installed by  
26 others. This signal is eligible for fee credit against the Riverside  
27 County Ordinance No. 748.1, the Traffic Signal Mitigation Program  
28 Ordinance. The signal shall be installed and operational prior to this

1 issuance of any building permit that would bring the total  
2 development to more than 1,999,400 square feet of building area in  
3 Phase I of the Serrano Commerce Center Specific Plan, or earlier if  
4 the need is indicated in traffic studies conducted for implementing  
5 Plot Plans, or as approved by the Riverside County Transportation  
6 Department.

7 e. The project shall be responsible for the design and installation of  
8 traffic signals at the following intersections, unless the signals are  
9 designed and installed by others. These signals are not eligible for  
10 fee credit against the Riverside County Ordinance No. 748.1, the  
11 Traffic Signal Mitigation Program Ordinance. The signals shall be  
12 installed and operational prior to this issuance of any building  
13 permit that would bring the total development to more than  
14 1,999,400 square feet of building area in Phase I of the Serrano  
15 Commerce Center Specific Plan, or earlier if the need is indicated in  
16 traffic studies conducted for implementing Plot Plans, or as  
17 approved by the Riverside County Transportation Department.

18 - Temescal Canyon Road (NS) at Old Temescal Canyon  
19 Road North (EW);

20 - Temescal Canyon Road (NS) at Old Temescal Canyon  
21 Road South (EW);

22 - Temescal Canyon Road (NS) at Street A/Street B (EW);

23 - Temescal Canyon Road (NS) at Street B/Street C (EW);

24 and

25 - Temescal Canyon Road (NS) at Street D/Street E (EW)

26 f. The project proponent or the applicant for implementing projects  
27 shall be responsible for making improvements at the following  
28



1 intersections, to the extent that these intersections are not provided  
2 by others. While the intersection improvements are listed by Phase  
3 (see Phasing Plan in Specific Plan No. 353), and they may be made  
4 as the need arises, all improvements shall be designed and  
5 constructed to be consistent with the ultimate configuration of the  
6 intersection. Improvements for each phase shall be in place prior to  
7 the issuance of any building permit that would bring total  
8 development to more than 80% of the proposed maximum square  
9 footage of building area for that phase, as established by Specific  
10 Plan No. 353, or earlier if the need is indicated in traffic studies  
11 prepared for implementing projects, or as approved by the Riverside  
12 County Transportation Department.

- 13
- 14 i. At the intersection of I-15 Northbound ramps (N/S) and Old  
15 Temescal Canyon Road (E/W), in accordance with the  
16 geometric configurations specified in the project's conditions  
17 of approval issued by the Riverside County Transportation  
18 Department for Phases I and III. Traffic signal modification  
19 will be needed at this intersection in Phase III to  
20 accommodate the needed intersection geometrics.
  - 21 ii. At the intersection of Temescal Canyon Road (N/S) and  
22 Lawson Road (E/W) in accordance with the geometric  
23 configuration specified in the project's conditions of  
24 approval issued by the Riverside County Transportation  
25 Department for Phase I.
  - 26 iii. At the intersection of Temescal Canyon Road (N/S) and Old  
27 Temescal Canyon Loop Road North (E/W), in accordance  
28 with the geometric configuration specified in the project's

1 conditions of approval issued by the Riverside County  
2 Transportation Department for Phases I, II, IV, and V.  
3 Traffic signal modification will be needed at this intersection  
4 in Phases II, IV, and V to accommodate the needed  
5 intersection geometrics.

6 iv. At the intersection of Temescal Canyon Road (N/S) and Old  
7 Temescal Canyon Loop Road South (E/W), in accordance  
8 with the geometric configuration specified in the project's  
9 conditions of approval issued by the Riverside County  
10 Transportation Department for Phases I, II, III, IV, and V.  
11 Traffic signal modifications will be needed at this  
12 intersection in Phases II, III IV, and V to accommodate the  
13 needed intersection geometrics.

14 v. At the intersection of Temescal Canyon Road (N/S) and  
15 Street A/Street B (E/W), in accordance with the geometric  
16 configuration specified in the project's conditions of  
17 approval issued by the Riverside County Transportation  
18 Department for Phases I, II, III, IV, and V. Traffic signal  
19 modifications will be needed at this intersection in Phases II,  
20 III, IV, and V to accommodate the needed intersection  
21 geometrics.

22 vi. At the intersection of Temescal Canyon Road (N/S) and  
23 Street B/Street C (E/W), in accordance with the geometric  
24 configuration specified in the project's conditions of  
25 approval issued by the Riverside County Transportation  
26 Department for Phases I, III, IV, and V. Traffic signal  
27 modification will be needed at this intersection in Phases III,  
28

1 IV, and V to accommodate the needed intersection  
2 geometrics.

3 vii. At the intersection of Temescal Canyon Road (N/S) and  
4 Street D/Street E (E/W), in accordance with the geometric  
5 configuration specified in the project's conditions of  
6 approval issued by the Riverside County Transportation  
7 Department for Phases I, II, III, IV, and V. Traffic signal  
8 modifications will be needed at this intersection in Phases II,  
9 III, IV, and V to accommodate the needed intersection  
10 geometrics.

11 viii. At the intersection of project South Access (N/S) and Old  
12 Temescal Canyon Road (E/W), in accordance with the  
13 geometric configuration specified in the project's conditions  
14 of approval issued by the Riverside County Transportation  
15 Department for Phases I and V. A raised center median and  
16 appropriate on-site design will be required on Temescal  
17 Canyon Road to restrict this driveway to right turns in and  
18 out only.

19 ix. At the intersection of Temescal Canyon Road (N/S) and  
20 project North Central East Driveway (E/W), in accordance  
21 with the geometric configuration specified in the project's  
22 conditions of approval issued by the Riverside County  
23 Transportation Department for Phases I, II, III, and IV. A  
24 raised center median and appropriate on-site design will be  
25 required on Temescal Canyon Road to restrict this driveway  
26 to right turns in and out only.  
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x. At the intersection of Temescal Canyon Road (N/S) and project South West Driveway (E/W), in accordance with the geometric configuration specified in the project's conditions of approval issued by the Riverside County Transportation Department for Phases I, II, III, and V. A raised center median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

xi. At the intersection of Temescal Canyon Road (N/S) and project South East Driveway (E/W), in accordance with the geometric configuration specified in the project's conditions of approval issued by the Riverside County Transportation Department for Phases I, II, III, and V. A raised center median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

xii. At the intersection of Temescal Canyon Road (N/S) and Weirick Road (E/W), in accordance with the geometric configuration specified in the project's conditions of approval issued by the Riverside County Transportation Department for Phases II and V. Traffic signal modification will be necessary at this intersection in Phases II and V to accommodate the needed geometric configuration.

xiii. At the intersection of project North Access (N/S) and Old Temescal Canyon Road (E/W), in accordance with the geometric configuration specified in the project's conditions of approval issued by the Riverside County Transportation

1 Department for Phases II and V. A raised center median and  
2 appropriate on-site design will be required on Temescal  
3 Canyon Road to restrict this driveway to right turns in and  
4 out only.

5 xiv. At the intersection of Temescal Canyon Road (N/S) and  
6 project North East Driveway (E/W), in accordance with the  
7 geometric configuration specified in the project's conditions  
8 of approval issued by the Riverside County Transportation  
9 Department for Phases II, IV, and V. A raised center median  
10 and appropriate on-site design will be required on Temescal  
11 Canyon Road to restrict this driveway to right turns in and  
12 out only.

13 xv. At the intersection of Temescal Canyon Road (N/S) and  
14 project South Central East Driveway (E/W), in accordance  
15 with the geometric configuration specified in the project's  
16 conditions of approval issued by the Riverside County  
17 Transportation Department for Phases II, III, and V. A  
18 raised center median and appropriate on-site design will be  
19 required on Temescal Canyon Road to restrict this driveway  
20 to right turns in and out only.

21 xvi. At the intersection of I-15 Southbound ramps (N/S) and  
22 Weirick Road (E/W), in accordance with the geometric  
23 configuration specified in the project's conditions of  
24 approval issued by the Riverside County Transportation  
25 Department for Phase III. Traffic signal modification will be  
26 necessary at this intersection in Phase III to accommodate  
27 the needed geometric configuration.  
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1 xvii. At the intersection of I-15 Southbound ramps (N/S) and Old  
2 Temescal Canyon Road (E/W), in accordance with the  
3 geometric configuration specified in the project's conditions  
4 of approval issued by the Riverside County Transportation  
5 Department for Phases III and V. Traffic signal modification  
6 will be necessary at this intersection in Phases III and V to  
7 accommodate the needed geometric configuration.

8 xviii. At the intersection of Temescal Canyon Road (N/S) and  
9 project North Central West Driveway (E/W), in accordance  
10 with the geometric configuration specified in the project's  
11 conditions of approval issued by the Riverside County  
12 Transportation Department for Phases III and V. A raised  
13 center median and appropriate on-site design will be required  
14 on Temescal Canyon Road to restrict this driveway to right  
15 turns in and out only.

16 xix. At the intersection of Temescal Canyon Road (N/S) and  
17 project North West Driveway (E/W), in accordance with the  
18 geometric configuration specified in the project's conditions  
19 of approval issued by the Riverside County Transportation  
20 Department for Phases IV and V. A raised center median and  
21 appropriate on-site design will be required on Temescal  
22 Canyon Road to restrict this driveway to right turns in and  
23 out only.

24 xx. At the intersection of I-15 Northbound ramps (N/S) and  
25 Weirick Road (E/W), in accordance with the geometric  
26 configuration specified in the project's conditions of  
27 approval issued by the Riverside County Transportation  
28

1 Department in Phase V. Traffic signal modification will be  
2 necessary at this intersection in Phase V to accommodate the  
3 needed geometric configuration.

4 xxi. At the intersection of Temescal Canyon Road (N/S) and  
5 project South Central West Driveway (E/W), in accordance  
6 with the geometric configuration specified in the project's  
7 conditions of approval issued by the Riverside County  
8 Transportation Department for Phase V. A raised center  
9 median and appropriate on-site design will be required on  
10 Temescal Canyon Road to restrict this driveway to right  
11 turns in and out only.

12 g. Improvements required to achieve the minimum level of service as  
13 required by the Riverside County General Plan shall be constructed  
14 at each phase of project development. To ensure that adequate  
15 improvements are identified and constructed, the following  
16 monitoring requirements shall be implemented:

17 i. Traffic Impact Study Reports shall be required with  
18 submittal of each Plot Plan or Site Plan approvals as required  
19 by the County of Riverside. Each Traffic Impact Study shall  
20 be prepared in the format determined by the Riverside  
21 County Transportation Department. The required format  
22 shall include an evaluation of peak hour conditions at  
23 intersections significantly impacted by the phase of  
24 development being studied.

25 ii. If an impacted intersection is estimated to exceed County  
26 LOS standards, then appropriate link and intersection  
27

1 improvements shall be required to be presented for County  
2 staff review and approval.

3 iii. The improvements necessary to maintain the County LOS  
4 standards will be required to be in place or bonded for as  
5 indicated in traffic studies prepared for implementing  
6 projects, or as approved by the Riverside County  
7 Transportation Department. Improvements can be  
8 implemented through construction or a new or established in  
9 lieu of fee program. Absent a district or fee program, the  
10 project is responsible for providing or bonding for the  
11 identified improvements.

12 iv. All improvements on or affecting Caltrans facilities shall  
13 conform to Caltrans design guidelines and shall be subject to  
14 Caltrans approval.

15 h. Prior to the commencement of construction for each phase of the  
16 project, a traffic management plan shall be developed by the  
17 construction supervisor to minimize traffic flow interference from  
18 construction activities. Construction traffic shall be scheduled to not  
19 interfere with peak hour traffic on adjacent roadways and to  
20 minimize obstruction of through traffic lanes. If necessary, a flag  
21 person shall be retained by the construction supervisor to control  
22 construction traffic into and out of the site, and to maintain safety on  
23 adjacent roadways during construction.

24 J. Geology and Slope Stability

25 1. Impacts.

26 A significant impact could occur from strong ground motions as a result of  
27 activity on known off-site earthquake faults within the project vicinity  
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1 which could result in property loss, injury, or death. Although current  
2 studies show on-site faults to be inactive, active faults have the potential to  
3 be unearthed during grading. If faults are discovered and determined to be  
4 active during project grading, a potentially significant impact could occur if  
5 buildings were not properly set back from the fault areas.

6 The potential for liquefaction hazards would pose a threat to proposed  
7 improvements within the alluvial portions of the project site and off-site  
8 impact area.

9 The principal geologic/seismic hazard that could affect the site is ground  
10 shaking resulting from an off-site seismic event. With the construction of  
11 structures in compliance with the Riverside County Building Code and the  
12 California Building Code, buildings would be designed to resist collapse as  
13 the result of seismic ground shaking.

14 Some of the project site's soils possess a relatively localized expansion  
15 potential, which could pose a risk to development. Furthermore, soils on  
16 the site have the potential to contain concentrations of soluble sulfates that  
17 can be corrosive to concrete and some metals. If high concentrations of  
18 soluble sulfates and other constituents are present and come in direct  
19 contact with building materials susceptible to corrosion, damage to the  
20 building materials may occur. In addition, wedge failures associated with  
21 heavily jointed bedrock areas may cause cut slopes proposed by the project  
22 to become unstable.

23 Risks presented by seiches, tsunamis, mudflow, and volcanoes are  
24 considered remote or non-existent; significant impacts would not occur.

25 Wedge failures in slopes proposed as part of future grading plans have the  
26 potential to be unstable and would require additional study and remedial  
27 grading to ensure slope stability.  
28

1 As described above, wedge failures within heavily jointed bedrock areas of  
2 the site have the potential to affect the stability of cut slopes.

3 No subsurface sewer systems are present on the site that could be adversely  
4 impacted by project implementation.

5 2. Mitigation.

6 The project has been modified to mitigate or avoid the potentially  
7 significant impacts by the following mitigation measures, which are hereby  
8 adopted and will be implemented as provided in the Mitigation, Monitoring,  
9 and Reporting Program.

- 10 a. Prior to the issuance of grading permits and in compliance with the  
11 requirements of County Ordinances, a detailed geotechnical  
12 report(s) shall be submitted to the Department of Building and  
13 Safety for review and approval prior to issuance of grading permits  
14 and detailed geologic/geotechnical reports shall be submitted to  
15 Riverside County's Chief Engineering Geologist for review and  
16 approval prior to the approval of any implementing project. The  
17 report(s) shall identify and address site-specific (a) underlying soil  
18 conditions (including corrosive and expansive soil conditions), (b)  
19 liquefaction potential, (c) seismic parameters and building  
20 requirements, and (d) slope stability and rockfall hazards. The  
21 measures recommended by the final geotechnical report(s) shall be  
22 identified on applicable grading plans and shall be implemented to  
23 the satisfaction of the County Geologist and other applicable  
24 jurisdictions and agencies. Grading shall be performed in  
25 accordance with applicable provisions of the Standard Grading  
26 Specifications contained in the project's geotechnical reports.  
27

1 b. Although the current level of study indicates that no active faults  
2 exist on-site, during project grading activities affecting the portions  
3 of the project site that contain faults as mapped by the USGS and  
4 Riverside County (and as depicted on Final EIR Figure 4.9-2), a  
5 qualified geologic monitor shall be present on site to perform  
6 confirmatory mapping of exposed conditions. As a portion of this  
7 mapping work, evaluation of any suspicious conditions suggesting  
8 the potential for faults shall be made. These findings shall be  
9 reported back to the Riverside County Geologist. In the event that  
10 the geologic monitor determines that any of the on-site faults are  
11 potentially active, then appropriate building setbacks shall be  
12 determined.

13 c. Prior to the issuance of grading permits for development (including  
14 the construction of flood control channels) within alluvial units, the  
15 County Geologist shall review and approve a site-specific  
16 liquefaction report containing specific recommendations of the  
17 project engineering geologist and geotechnical engineer. The  
18 approved recommendations shall be reflected on the grading plans  
19 and shall be implemented by the grading contractor(s) to the  
20 satisfaction of the County Geologist.

21 d. Slopes steeper than 2:1 or higher than ten feet shall be clearly  
22 indicated on all grading plans. Such slopes must be determined to  
23 be safe in a slope stability report prepared by the soils engineer or  
24 engineering geologist. The slope stability report shall also contain  
25 recommendations for landscaping and erosion control.

26 e. At the time mass grading plans are prepared, cut slopes in the  
27 Bedford Canyon Formation and Santiago Peak Volcanics shall be  
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1 analyzed from a global stability standpoint as well as for surficial  
2 stability by the project engineering geologist and geotechnical  
3 engineer. A wedge failure analysis shall be performed on these  
4 slopes using a methodology approved by Riverside County that  
5 determines planes of intersection and possible wedge failures.  
6 Mitigation methods for potential cut slope stability hazards shall be  
7 identified and implemented as part of grading activities, which may  
8 include stabilization fill prisms, rock bolting and rock mesh  
9 placement. Specific methods will be approved by the County  
10 Geologist, noted on grading plans, and verified in the field prior to  
11 the issuance of any building permit.

12 f. Any soil to be placed as fill, whether on-site or imported material,  
13 shall be tested and approved by the project engineering geologist  
14 and geotechnical engineer to evaluate acceptability for the  
15 placement of structural loads.

16 g. Where cut or filled slopes are created higher than 10 feet, detailed  
17 grading designs, landscaping plans, and irrigation plans shall be  
18 submitted to the County prior to approval of any grading plan. The  
19 plans shall be reviewed by the project engineering geologist,  
20 geotechnical engineer, and civil engineer.

21 h. Testing for soluble sulfates and corrosivity shall be performed after  
22 rough grading of the site but prior to construction of the proposed  
23 structures and utilities. All concrete in contact with the soil shall be  
24 designed based on the applicable requirements of the CBC/IBC. All  
25 metals in contact with corrosive soil shall be protected in accordance  
26 with the recommendations of the manufacturer or a corrosion  
27 engineer.  
28

1 K. Global Climate Change

2 1. Impacts.

3 Implementation of the project would generate GHG emissions resulting  
4 from construction activities; natural gas, electricity, and water consumption;  
5 and vehicle use. However, because the project complies with all feasible  
6 and applicable strategies as identified by the CAT, the project is assumed to  
7 be consistent with the goals and objectives of the emissions reduction  
8 targets set forth in AB 32. In addition, 48.77 acres of land will be set aside  
9 for a Conservation Area, which would preserve and promote native  
10 vegetation, and would serve as an area that is likely to promote carbon  
11 sequestration by natural vegetation. Also, the project would be considered  
12 a "smart land use" that would reduce overall VMT and is assumed to be  
13 consistent with the goals and objectives of SB 375. Finally, most of the  
14 mitigation measures for project-related air quality impacts (see EIR Section  
15 4.4.5) would result in concomitant reductions of GHG emissions. For these  
16 reasons, impacts are concluded to be less than significant.

17 2. Mitigation.

18 None required.

19 L. Hazardous Materials

20 1. Impacts.

21 There is a potential for soil contamination in association with the former  
22 soil reconditioning facility. In addition, several 55-gallon drums have been  
23 observed on the project site that could be hazardous. There also is the  
24 potential for uncovering toxic materials during project grading activities.  
25 Finally, there is a potential for asbestos and lead-based paint associated  
26 with the on-site mobile home residences. These potential sources of  
27  
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1 hazardous materials are located in the extreme southwestern portion of the  
2 project site within proposed Planning Areas 8 and 10.

3 If businesses that use or store hazardous materials occupy buildings on the  
4 project site, the business owners and operators would be required to comply  
5 with all applicable federal, state, and local regulations to ensure proper use,  
6 storage, use, emission, and disposal of hazardous substances; as such,  
7 impacts from the usage or storage of hazardous substances on site would be  
8 less than significant.

9 Project implementation would not impair implementation of or physically  
10 interfere with an adopted emergency response plan or an emergency  
11 evacuation plan, and significant impacts would not occur.

12 There are no existing or planned school sites within ¼-mile of the project.

13 As of January 2009, the project site is not included on a list of hazardous  
14 materials sites compiled pursuant to Government Code Section 65962.5.

15 2. Mitigation.

16 The project has been modified to mitigate or avoid the potentially  
17 significant impacts by the following mitigation measures, which are hereby  
18 adopted and will be implemented as provided in the Mitigation, Monitoring,  
19 and Reporting Program.

20 a. Stained soil located in the extreme southern portion of the project  
21 site shall be remediated prior to the initiation of ground-disturbing  
22 construction activities in Planning Area 10. Soil remediation shall  
23 occur in accordance with DTSC and County Department of  
24 Environmental Health regulations.

25 b. Prior to the issuance of grading permits within Planning Area 10 of  
26 the proposed Specific Plan, the 55-gallon drums located in the  
27 extreme southwestern portion of the project site shall be sampled for  
28

1 profiling purposes. All 55-gallon drums located on site shall be  
2 properly removed and disposed in accordance with applicable  
3 County Waste Management requirements prior to the issuance of  
4 grading permits.

5 c. In the event that any subsurface hazardous materials are found  
6 during grading or construction, including soil and/or groundwater  
7 contamination, all activity in the area of discovery and/or in an  
8 appropriate radius of the area of discovery shall temporarily cease  
9 and the County of Riverside Environmental Health Department shall  
10 be notified. Prior to the resumption of any construction activity in  
11 the area of discovery, the site shall be deemed safe by the  
12 appropriate entity prior to the resumption of grading and/or  
13 constructions activities.

14 d. Prior to demolition activities within Planning Area 8, lead-based  
15 paint and asbestos surveys of the mobile home residences in the  
16 southern portion of the project site shall be performed. All asbestos-  
17 containing materials and lead-based paint shall be removed in  
18 accordance with all applicable local, state, and federal regulations.  
19 However, if the mobile home residences are to be removed by semi-  
20 trailer and not destructive methods are proposed, no survey is  
21 required.

22 e. All existing site improvements shall be disposed of off site, in  
23 accordance with current local, state, and federal disposal regulations.  
24 Any petroleum contaminated materials, lead-based paints or  
25 products, mercury, asbestos-containing materials and/or buried  
26 trash/debris encountered during removal and/or grading shall be  
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1 evaluated by an experienced environmental consultant prior to  
2 removal.

3 f. Users of hazardous materials such as paints, roofing materials and  
4 solvents during construction shall comply with applicable federal,  
5 state, and local regulation requiring elimination and reduction of  
6 waste at the source by prevention of leakage, by segregation of  
7 hazardous waste, and by process of materials change.

8 g. If soil is to be imported or exported to or from the site during  
9 grading or other construction activities, the transported soil shall be  
10 sampled for contaminants prior to use or disposal. Exported soil, if  
11 contaminated, shall be handled in accordance with prevailing  
12 environmental laws and regulations, including Land Disposal  
13 Restrictions, if applicable.

14 h. During project construction, all blasting activities involving  
15 explosives must be performed by a professional holding a California  
16 Blasting Contractor License and be permitted by the Riverside  
17 County Fire Department.

18 i. Prior to the approval of any implementing Plot Plan, the Riverside  
19 County Fire Department shall ensure that appropriate emergency  
20 ingress and egress would be available to and from each parcel and  
21 building in accordance with Riverside County requirements.

22 j. Per the requirements Riverside County Department of  
23 Environmental Health and the California Health and Safety Code  
24 (HSC), Chapter 6.95, Sections 25500 to 25532, a Hazardous  
25 Materials Business Emergency Plan must be prepared by any future  
26 business on the project site that handles a hazardous material or a  
27 mixture containing a hazardous material in quantities equal to or  
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1 greater than a weight of 500 pounds, total volume of 55 gallons, 200  
2 cubic feet (at standard temperature and pressure) for compressed  
3 gas, or any radioactive material Extremely Hazardous Substance or  
4 Waste, any amount of a Regulated Substance, or any amount of an  
5 Acutely Hazardous Material.

6 M. Hydrology and Water Quality

7 1. Impacts.

8 With project adherence to the Specific Plan's drainage plan, as would be  
9 required as a standard condition of project approval, implementation of the  
10 project would not substantially alter the existing drainage pattern of the site  
11 in a manner which would result in substantial erosion or siltation on or off  
12 site.

13 With project adherence to the WQMP, as would be required as a standard  
14 condition of project approval, implementation of the project would not  
15 violate any water quality standards or waste discharge requirements. If  
16 constructed, the Stormwater Recharge and Storage Program (SWRSP)  
17 system would not violate any water quality standards or waste discharge  
18 requirements.

19 With project adherence to the WQMP, as would be required as a standard  
20 condition of project approval, implementation of the project would not  
21 substantially deplete groundwater supplies or interfere substantially with  
22 groundwater recharge such that there would be a net deficit in aquifer  
23 volume or a lowering of the local groundwater table level. If constructed,  
24 the SWRSP would not substantially deplete groundwater supplies or  
25 interfere substantially with groundwater recharge.

26 With incorporation of water quality basins and/or bio/geo swales into the  
27 project design, as required by the WQMP, runoff from the site would not  
28

1 exceed runoff that occurs under existing conditions; therefore,  
2 implementation of the project would not create or contribute runoff water  
3 that would exceed the capacity of existing or planned stormwater drainage  
4 systems. In addition, with project adherence to the WQMP, as would be  
5 required as a standard condition of project approval, implementation of the  
6 project would not provide substantial additional sources of polluted runoff.  
7 If constructed, the SWRSP and the related use of bio/geo swales or  
8 mechanical BMP would not result in an increase of runoff compared to  
9 what occurs under existing conditions.

10 Planning Area 12 (Open Space-Conservation) is located within a FEMA-  
11 mapped, 100-year flood-hazard zone for the Temescal Wash; however, no  
12 homes or any other buildings would be situated within the flood zone. If  
13 any fill materials or obstructions are placed in the flood-hazard zone as the  
14 result of constructing drainage outfalls to the Temescal Wash, the project  
15 would be required to comply with all FEMA requirements.

16 As noted above, Planning Area 12 (Open Space - Conservation) is located  
17 within a FEMA-mapped, 100-year flood-hazard zone for the Temescal  
18 Wash; however, no structures would be situated within the flood zone such  
19 that flood waters would be impeded or redirected. If any fill materials or  
20 obstructions are placed in the flood-hazard zone as the result of  
21 constructing drainage outfalls to the Temescal Wash, the project would be  
22 required to comply with all FEMA requirements.

23 With project adherence to the WQMP, as would be required as a standard  
24 condition of project approval, implementation of the project would not  
25 substantially degrade or alter surface water or groundwater quality. If  
26 constructed, the SWRSP would not substantially degrade or alter surface  
27 water or groundwater quality.  
28

1                   2.     Mitigation.

2                   The project has been modified to mitigate or avoid the potentially  
3                   significant impacts by the following mitigation measures, which are hereby  
4                   adopted and will be implemented as provided in the Mitigation, Monitoring,  
5                   and Reporting Program.

6                   a.     Drainage and flood control facilities and improvements shall be  
7                   provided in accordance with Riverside County Flood Control and  
8                   Water Conservation District requirements.

9                   b.     Grading and construction shall conform to applicable requirements  
10                  of the California Building Code (CBC).

11                  c.     Prior to the issuance of the first grading permit, the project  
12                  proponent shall obtain approval of a site-specific WQMP by the  
13                  Riverside County Building and Safety Department in accordance  
14                  with the Santa Ana RWQCB Order No. R8-200-0011/NPDES  
15                  Permit No. CAS 618033. The County is required to verify that the  
16                  project's Final Map and engineering drawings indicate the size and  
17                  location of the structural source control best management practices  
18                  specified by the WQMP.

19                  d.     Prior to issuance of a grading permit, the project shall obtain  
20                  coverage under the General Permit for Stormwater Discharges  
21                  Associated with Construction Activities (Order No. 99-08-DWQ,  
22                  NPDES Permit No. CAS 000002).

23                  e.     If any fill materials or obstructions are placed in the FEMA-mapped  
24                  100-year flood-hazard zone, the project shall comply with all FEMA  
25                  requirements.

26                  f.     Prior to final design approval of the Coldwater Canyon Wash outlet  
27                  into the Temescal Wash, detailed hydraulic and fluvial studies,  
28

1 including a two-dimension hydraulic model studying the outlet's  
2 design geometry and angle of confluence, shall be prepared and  
3 submitted to the Riverside County Flood Control and Water  
4 Conservation District for review and approval. The studies shall  
5 demonstrate that the flowrate would not cause negative fluvial  
6 impacts to the Temescal Wash geomorphic characteristics and  
7 would not cause negative affects to the opposite (northerly) bank of  
8 Temescal Wash.

9 N. Mineral Resources

10 1. Impacts.

11 Impacts to mineral resources resulting from the site's designation for  
12 commercial retail and light industrial use by the Riverside County General  
13 Plan were adequately addressed in the Final Program EIR certified for the  
14 General Plan (dated October 7, 2003). Impacts would not occur beyond the  
15 level identified in the County's General Plan EIR.

16 The project site is not identified as locally-important mineral resource  
17 recovery site by the County General Plan or any other local land use plan.  
18 The clay resource extracted from a mine on a portion the site is of low  
19 quality and not in high demand in the local area or region.

20 Project implementation would not result in the introduction of a land use  
21 that is incompatible with any existing or future mining operations.

22 The project is required to comply with Reclamation Plan No. 135  
23 (RCL00135), which would reclaim Ben's Mine in accordance with  
24 SMARA requirements to prevent any significant impact resulting from  
25 closure of the existing on-site mine. RCL00135 sets forth specifications to  
26 reduce potential impacts resulting from the closure of on-site mining  
27 activities to less than significant levels.  
28

1 2. Mitigation.

2 None required. The project is required to comply with the site's approved  
3 Reclamation Plan No. 135 (RCL00135). RCL00135 requires that any  
4 stockpiled overburden be leveled and that no pits remain that might collect  
5 water. Mined slopes are required to be compacted and stabilized at  
6 gradients no steeper than 2:1 and then seeded for revegetation.

7 O. Noise

8 1. Impacts.

9 The addition of project-generated traffic to the local roadway segment  
10 would result in projected future noise increases of +3 dB or more on 10  
11 roadway segments, compared to the without project condition. However,  
12 existing and proposed land uses adjacent to affected segments would not  
13 include any noise sensitive land uses; accordingly, impacts due to ambient  
14 noise level increases would be less than significant.

15 Absence of nearby residential and other noise sensitive land uses adjacent  
16 to the site, and required adherence to Riverside County Ordinance  
17 No.457.90, would result in a less than significant temporary noise impacts  
18 during construction activities.

19 Operation of the project would not expose any off-site sensitive receptors to  
20 noise levels in excess of established noise standards, including the  
21 Riverside County General Plan and Ordinance No. 847. On-site, there is a  
22 potential for interior noise levels of office and commercial retail uses with  
23 lines of sight to I-15 to be above the County's desired interior noise level of  
24 50 dBA, which represents a potentially significant impact.

25 Implementation of the project would not generate long-term groundborne  
26 vibration or noise. Short-term construction activities would cause  
27 groundborne vibration, but due to the absence of nearby residential and  
28

1 other noise sensitive land uses adjacent to the site, impacts would be less  
2 than significant.

3 2. Mitigation.

4 The project has been modified to mitigate or avoid the potentially  
5 significant impacts by the following mitigation measure, which is hereby  
6 adopted and will be implemented as provided in the Mitigation, Monitoring,  
7 and Reporting Program.

- 8 a. Prior to the approval of a Plot Plan for any building accommodating  
9 commercial retail or office tenants with a clear line of site to Interstate  
10 15, a building-specific acoustical analysis shall be prepared by a  
11 qualified acoustician and submitted to the Riverside County  
12 Department of Industrial Hygiene for review and approval. The  
13 analysis shall evaluate interior building noise levels and specify any  
14 structural enhancements required to maintain interior noise levels at or  
15 below 50 dBA (one-hour Leq).

16 P. Open Space, Parks, and Recreation

17 1. Impacts.

18 The project would not create a demand for new or expanded public  
19 recreational facilities. The project would provide outdoor employee break  
20 areas, sidewalks, dual-purpose sidewalks/bike paths, and community trails  
21 along project streets and adjacent to two proposed flood control channels.  
22 The construction and operation of these outdoor employee break areas and  
23 trail segments are integral parts of the project and would have less than  
24 significant adverse effects on the physical environment.

25 Project-generated demand on existing recreational resources would be very  
26 low. Any incidental use of existing recreational resources by the project's  
27

1 employees and visitors would not accelerate or cause substantial physical  
2 deterioration of existing recreational facilities.

3 The project is not located within a C.S.A. or other recreation and park  
4 district; therefore, this is no potential for the project to cause adverse  
5 physical impacts within a C.S.A. or recreation and park district boundary.

6 2. Mitigation.

7 None required.

8 Q. Public Services

9 1. Impacts.

10 The project would be adequately served by Fire Station No. 64 and would  
11 not require the construction or alteration of a fire protection facility. With  
12 adherence to the project's Fire Protection Plan the project would be  
13 sufficiently protected from wildfire hazards. With mandatory compliance  
14 with Riverside County Ordinance Nos. 460, 787, and 659, and project-  
15 generated increases in the County's tax base that funds fire protection  
16 services, indirect impacts on fire protection services would be reduced to a  
17 level below significance.

18 Indirect population growth due to the project would not result in the need to  
19 construct a new sheriff's station or to expand an existing station. The  
20 incremental increase in demand of sheriff protection services resulting from  
21 project development would not result in an unanticipated or undue burden  
22 upon response times for emergency services because development of the  
23 project is proposed to occur in accordance with planned growth anticipated  
24 by the County's General Plan. With mandatory compliance with the  
25 Riverside County Development Impact Fee (DIF) Ordinance (Ordinance  
26 No. 659) and project-generated increases in the County's tax base that  
27

1 funds sheriff services, indirect impacts on sheriff services would be reduced  
2 to a level below significant.

3 The project would create nominal demand on County public health  
4 services. With mandatory compliance with County Development Impact  
5 Fee (DIF) Ordinance (Ordinance No. 659) and the ongoing payment of  
6 County taxes that fund public health services, the project's incremental  
7 demand for health services would not contribute to the ultimate need for  
8 new or expanded facilities in the area.

9 2. Mitigation.

10 None required.

11 R. Soils and Erosion

12 1. Impacts.

13 A significant impact due to erosion would occur if the project were to fail to  
14 incorporate the requirements of the SWPPP during both the construction  
15 and post-construction phases of the project.

16 Portions of the site contain soils that have relatively high expansion  
17 potential in response to changes in moisture content, and this is regarded as  
18 a potentially significant impact.

19 During construction of the project, existing vegetative cover would be  
20 removed, soils would be exposed, and soil erosion would occur.

21 2. Mitigation.

22 The project has been modified to mitigate or avoid the potentially  
23 significant impacts by the following mitigation measures, which are hereby  
24 adopted and will be implemented as provided in the Mitigation, Monitoring,  
25 and Reporting Program.

26 a. Prior to the issuance of a grading permit within any planning area or  
27 grading phase of the Specific Plan, an overall Conceptual Grading  
28



1 Plan for the planning area or grading phase in process shall be  
2 submitted for Planning Department approval. The Grading Plan  
3 shall be used as a guideline for subsequent detailed grading plans for  
4 individual stages of development within that planning area or  
5 grading phase, and shall include 1) techniques employed to prevent  
6 erosion and sedimentation during and after the grading process, 2)  
7 approximate time frames for grading, 3) identification of areas  
8 which may be graded during high probability rain months (January  
9 through March) and 4) preliminary pad and roadway elevations.

10 b. All grading procedures shall be in compliance with the Riverside  
11 County Grading Standards including requirements for erosion  
12 control during rainy months. The requirements for compliance with  
13 Riverside County Grading Standards shall be noted on all grading  
14 plans.

15 c. Prior to any grading activities, a soils report and geotechnical study  
16 shall be performed to further analyze on-site soil conditions and  
17 slope stability and shall include the appropriate measures to control  
18 erosion.

19 d. Where cut and fill slopes are created higher than three feet, detailed  
20 Landscaping and Irrigation Plans shall be submitted to the Planning  
21 Department prior to Grading Plan approval. The plans shall be  
22 reviewed for type and density of ground cover, shrubs, and trees to  
23 ensure that plant material will be effective as erosion control and  
24 that all slopes will be landscaped per County Ordinance No. 457.

25 e. Potential brow ditches, terrace drains, or other minor swales,  
26 determined necessary by the County of Riverside at future stages of  
27

1 project review, shall be lined with natural erosion control materials  
2 or concrete.

3 f. Graded, but undeveloped, land shall be maintained weed-free and  
4 planted with interim landscaping within 90 days of completion of  
5 grading, unless building permits are obtained.

6 g. Planting of developed land shall comply with the National Pollutant  
7 Discharge Elimination System (NPDES) Best Management  
8 Practices Construction Handbook Section 6.2.

9 h. The locations of potentially compressible soils shall be identified on  
10 all grading plans. Where development is proposed in areas of  
11 compressible soils, deep foundation systems shall be used, or  
12 compressible soils shall be completely over-excavated and  
13 compacted.

14 S. Utilities and Service Systems

15 1. Impacts.

16 Impacts associated with the extension of water services into the project area  
17 are documented throughout this EIR, and, where appropriate, mitigation  
18 measures are provided to reduce impacts to a level below significance.

19 Upon completion of the water infrastructure improvements identified under  
20 Issue 1, LLWD will be able to supply adequate water to meet the project's  
21 projected water demand of 2.20 cfs under normal, dry, and multiple dry  
22 year scenarios for the next 20 years and into the future.

23 Project implementation would contribute to the need for expanded facilities  
24 at the Lee Lake Water District Reclamation Facility.

25 The project would generate construction and operational waste requiring  
26 disposal at a landfill. The contribution to daily or total landfill capacity  
27

1 from the disposal of waste is considered a potentially significant cumulative  
2 impact.

3 Aside from impacts associated with the expansion of utility services into the  
4 project site (which are addressed throughout this EIR), project  
5 implementation is not anticipated to result in the need for new or expanded  
6 utility systems, the construction of which would result in impacts to the  
7 environment.

8 2. Mitigation.

9 The project has been modified to mitigate or avoid these potentially  
10 significant impacts by the following mitigation measures, which are hereby  
11 adopted and will be implemented as provided in the Mitigation, Monitoring,  
12 and Reporting Program.

- 13 a. Prior to final inspections, the project applicant or developer shall  
14 contribute a fair share contribution to upgrades at the LLWD  
15 Wastewater Treatment Facility on Temescal Canyon Road in  
16 Corona, net any current ownership of sewer and water rights by the  
17 project applicant or developer.
- 18 b. At least 50% of non-hazardous construction debris shall be recycled  
19 and/or salvaged and not diverted to landfills.
- 20 c. Recyclable material collection areas shall be provided on the project  
21 site and be available and operable prior to the occupancy of  
22 buildings. Prior to the approval of Plot Plans and prior to project  
23 construction, clearance from the Waste Management Department is  
24 required to verify compliance with AB 1327 in terms of installation  
25 of recycling access areas at these facilities.
- 26 d. Prior to the issuance of building permits, the Planning/Recycling  
27 Division of the Riverside County Waste Management Department  
28

1 shall be advised by the project applicant of all efforts that will be  
2 pursued at the project site relating to recycling and waste reduction  
3 during construction.

4 e. Information regarding recycling and waste reduction (e.g., location,  
5 materials accepted, etc.) shall be provided to tenants of the project in  
6 all sales and leasing literature.

7 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the following impacts  
8 potentially resulting from the project's approval cannot be fully mitigated and will be only partially  
9 avoided or lessened by the mitigation measures hereinafter specified; a statement of overriding findings is  
10 therefore included herein:

11 A. Air Quality (Short-Term Construction Emissions)

12 1. Impacts.

13 Construction activities would result in short-term direct and cumulative  
14 impacts to air quality associated with ROG, NO<sub>x</sub>, CO, PM-10, and PM-2.5  
15 emissions. Localized significance thresholds also would be exceeded for  
16 PM-10 and PM-2.5 during construction. Long-term direct and cumulatively  
17 significant operational impacts associated with ROG, NO<sub>x</sub>, CO, PM-10, and  
18 PM-2.5 emissions would result from project implementation.

19 2. Mitigation.

20 The project has been modified to mitigate or avoid these potentially  
21 significant impacts by the following mitigation measures, which are hereby  
22 adopted and will be implemented as provided in the Mitigation, Monitoring,  
23 and Reporting Program.

24 **Regulatory Requirements:**

25 a. During grading and construction activities, the construction  
26 contractor(s) are required to comply with the requirements of  
27 SCAQMD Rule 403, Fugitive Dust.  
28

- 1 b. Construction contractors shall adhere to the idling restrictions as set  
2 forth in California Air Resources Board (ARB) Section 2485,  
3 Airborne Toxic Control Measure to Limit Diesel Fueled Motor  
4 Vehicle Idling.

5 **Project-Specific Mitigation Measures:**

- 6 c. Locations where grading is scheduled to occur shall be thoroughly  
7 watered prior to earth moving. During grading operations,  
8 disturbed/loose soil shall be kept moist at all times. Water shall be  
9 applied at least once every three hours to areas under active grading  
10 and where construction vehicles are traveling on unpaved surfaces.  
11 Soil moisture shall be maintained at a level that will prevent dust  
12 from leaving the site to the maximum extent practicable.
- 13 d. All dirt, sand, soil, or other loose material stockpiled for two days or  
14 longer shall be stabilized by covering, wetting, or binding, or use of  
15 other non-toxic stabilizing methods.
- 16 e. Nontoxic soil stabilizers or comparable dust suppressant shall be  
17 applied to all inactive construction areas (previously graded areas  
18 inactive for five consecutive days or more).
- 19 f. The applicant shall cover construction access roads with gravel,  
20 rocks, or a similar material to at least 100 feet onto the site from  
21 paved public roads. Dirt shall be washed from vehicles or wheel  
22 washers shall be installed where vehicles exit unpaved roads onto  
23 paved public roads.
- 24 g. Paved public roads shall be swept or washed once per day when  
25 visible soil carried from the construction site is present.
- 26 h. Vehicle speeds on all unpaved portions of the construction site shall  
27 be restricted to 15 mph or less and enforced by radar. The developer  
28

1 shall post appropriate signage on all unpaved roads used by  
2 construction vehicles indicating that traffic speeds shall be reduced  
3 to 15 mph or less.

4 i. Vehicles transporting soil, sand, construction debris, or other loose  
5 materials to or from the site shall be tarped with a fabric cover from  
6 point of origin and maintain a freeboard height of at least 12 inches.

7 j. Soil disturbing activities, including excavating and grading  
8 operations, shall be suspended when sustained wind speeds exceed  
9 25 mph and make dust control difficult.

10 k. Upon the completion of each grading phase, vegetative ground  
11 cover or hydroseed shall be applied to all manufactured slopes.  
12 Building pads and other flat areas of the site that are not scheduled  
13 for paving, building construction, landscaping, or other  
14 improvement shall be treated with a soil stabilizer or other erosion  
15 control method.

16 l. Prior to any earth-moving activities, the contractor or builder shall  
17 designate a person or persons to monitor dust control, order  
18 increased watering, as necessary, to prevent transport of dust off  
19 site, and field dust complaints. The project applicant or project  
20 Construction Manager shall post a publicly visible sign with the  
21 telephone number and contact person regarding dust complaints.  
22 This person shall respond and take corrective action within 24 hours.

23 m. In accordance with SCAQMD Rules 431.1 and 431.2, ultra-low  
24 sulfur fuel diesel shall be used for stationary construction  
25 equipment.

26 n. Prior to the issuance of a grading permit, the developer or  
27 construction contractor(s) shall provide a written statement to the  
28

1 County of Riverside that construction equipment is and will be  
2 properly maintained, including proper tuning and timing of engines.  
3 Construction equipment emissions shall be controlled through  
4 regularly scheduled engine maintenance and low-emissions tune-  
5 ups. Construction grading plans shall include a statement that all  
6 construction equipment shall be tuned and maintained in accordance  
7 with manufacturers' specifications.

8 o. Prior to issuance of a grading permit, the project applicant or project  
9 developer shall provide a written statement to the Riverside County  
10 Planning Department demonstrating that all off-road diesel trucks  
11 have had a low- NO<sub>x</sub> tune-up in the past 90 days.

12 p. Prior to the approval of grading and construction plans, the County  
13 of Riverside shall ensure that all grading and construction plans  
14 include the following statements:

15 i. The construction equipment vehicle fleet shall comply with  
16 all California Air Resources Board requirements. During  
17 mass grading and fine site grading activity, use California  
18 Air Resources Board (ARB) Tier I, II, or III certified  
19 equipment or better.

20 ii. Electric or diesel powered construction equipment shall be  
21 used in lieu of gasoline powered engines if such technology  
22 is available to the contractor(s).

23 iii. The construction contractor(s) shall support and encourage  
24 ridesharing and transit incentives for the construction crew.

25 iv. Work crews shall shut off equipment when not in use, and  
26 limit engine idling times to comply with California Air  
27 Resources Board (ARB) requirements.  
28

1 v. In-line power sources (electric sources) shall be used in lieu  
2 of diesel generators for rock crusher operations, if  
3 commercially available.

4 q. Prior to the issuance of a grading permit, a construction traffic  
5 control plan shall be prepared and submitted to Riverside County for  
6 approval. The plan shall describe the details of safe detours, routing  
7 of construction traffic away from congested streets, consolidated  
8 truck deliveries, and dedicated turn lanes for construction vehicles.  
9 Temporary traffic control (including a flag person(s) if necessary)  
10 shall be provided during construction activities to reduce traffic  
11 conflicts and unnecessary idling of vehicle engines.

12 r. Prior to the issuance of building permits, the Riverside County  
13 Planning Department shall verify that a note has been added to the  
14 plans limiting the application of architectural coatings (i.e., paint,  
15 etc.) to 100 gallons per day and requiring construction contractors to  
16 use low VOC paint products (i.e., no more than 100 grams per liter  
17 of VOC) and/or High Pressure Low Volume (HPLV) applications  
18 consistent with SCAQMD Rule 1113. Alternatively, the  
19 construction contractor(s) shall consider using materials that do not  
20 require painting or are pre-painted.

21  
22 Mitigation Measures for Dust Control from the Lee Lake Water District's  
23 MND for Construction of the Wild Rose Reservoir II Project:

24 s. Prior to the approval of grading permits, construction dust  
25 abatement measures shall be approved by the Lee Lake Water  
26 District (LLWD). The dust abatement measures shall be made a  
27 condition of project approval and shall be monitored by a LLWD  
28 inspector through periodic inspection during construction. Dust



2 abatement should include, but not be limited to, the following  
3 measures:

- 4 i. Areas being actively disturbed by construction activity shall  
5 be watered as needed and directed by LLWD;
- 6 ii. Exposed stockpiles (i.e., sand, gravel, and dirt) with 5% or  
7 greater silt content shall be enclosed, covered, watered twice  
8 daily, or applied with non-toxic soil binders according to  
9 manufacturers specifications and as directed by a LLWD  
10 Inspector;
- 11 iii. Paved portions of roadways in the vicinity of active  
12 construction shall be swept at the end of each working day if  
13 visible soil material is carried onto the paved surface;
- 14 iv. Posted traffic speeds on all unpaved roads or easements shall  
15 be 15 mph or less; and
- 16 v. Sand fences and/or perimeter sandbags shall be installed  
17 around disturbance areas during the rainy season (October 15  
18 – April 15) or at the direction of a LLWD Inspector (MND  
19 Mitigation Measure No. AQ-1).
- 20 t. All excavating operations shall be suspended when wind speeds exceed  
21 25 mph. A LLWD Inspector shall be responsible for ascertaining and  
22 enforcing the suspension of excavation when daily wind speeds exceed  
23 25 mph (MND Mitigation Measure No. AQ-2).
- 24 u. All trucks hauling dirt, sand, soils, or other loose materials are to be  
25 covered or shall maintain at least two feet of freeboard (i.e., minimum  
26 vertical distance between top of the load and the top of the trailer) in  
27 accordance with the requirements of California Vehicle Code Section  
28 23114 (MND Mitigation Measure No. AQ-3).

1 Notwithstanding the foregoing, the implementation of the mitigation  
2 measures described above will not be sufficient to mitigate construction-  
3 related impacts to air quality to below levels of significance. Even with  
4 implementation of all feasible mitigation measures, the project would result  
5 in a cumulatively considerable net increase in emissions of PM-10 and PM-  
6 2.5 during construction, which cannot be fully mitigated. Thus, cumulative  
7 short-term impacts related to emissions of PM-10 and PM 2.5 would be  
8 considered a significant and unmitigable impact of the project.

9 The significant and unavoidable construction-related air quality impacts  
10 may be further reduced under the No Project Alternative, Biologically  
11 Superior Alternative, Distribution Warehouse Alternative, Reduced Project  
12 Alternative, and the Reduced Project Alternative – Continuation of Clay  
13 Mining and Development discussed in the Final EIR. The EIR identifies no  
14 other mitigation measures or alternatives that would reduce these impacts to  
15 a level of less than significant. The County finds that specific economic,  
16 legal, social, technological, or other considerations make infeasible the No  
17 Project Alternative, Biologically Superior Alternative, Reduced Project  
18 Alternative, and Reduced Project Alternative – Continuation of Clay  
19 Mining and Development, even though implementation of any of these  
20 alternatives would reduce these near-term impacts, as described more fully  
21 in the EIR and these Findings. In that regard:

22 (a) The No Project Alternative, Biologically Superior  
23 Alternative, Reduced Project Alternative, and the Reduced Project  
24 Alternative – Continuation of Clay Mining and Development will not allow  
25 the County to fully achieve the goals and objectives of the project as stated  
26 on pages 3-1 and 3-2 of the Draft EIR.

2 (b) The No Project Alternative would not be consistent with the  
3 Riverside County General Plan and Temescal Canyon Area Plan because it  
4 would fail to implement the land use designations applied to the site, would  
5 fail to realign Temescal Canyon Road through the site as required by the  
6 General Plan Circulation Element, and would fail to accommodate on-site  
7 trails as required by the Temescal Canyon Area Plan. Further, lack of  
8 development on the site would not increase the number of employment  
9 opportunities in the area, and would thereby not assist the County, which  
10 generally suffers from a lack of employment opportunities, in improving the  
11 existing jobs-housing ratio.

12 (c) Implementation of the No Project Alternative, Biologically  
13 Superior Alternative, Reduced Project Alternative, and the Reduced Project  
14 Alternative – Continuation of Clay Mining and Development would not  
15 achieve an efficient use of the property, would create significantly fewer  
16 jobs, would not fully implement the County's General Plan land use  
17 designations for the property, and, with exception of the No Project  
18 Alternative, would not avoid the project's significant and unavoidable  
19 construction-related air quality impacts.

20 (d) Near-term construction related air quality impacts are  
21 determined to be acceptable due to the overriding social, economic,  
22 environmental, or other benefits of the project, as more fully described in  
23 the Statement of Overriding Considerations set forth below.

24 A. Air Quality (Long-Term Operational Emissions)

25 1. Impacts.

26 The project would emit PM-10, PM-2.5, and ozone-forming emissions  
27 (ROG, NO<sub>x</sub>, and CO). When considered in conjunction with emissions  
28 from other projects in the South Coast Air Basin, these emissions would be

regarded as cumulatively significant because the Basin fails to meet the national air quality standards for PM-10, PM-2.5, and ozone.

2.  
3. Mitigation.

4. The project has been modified to mitigate or avoid these potentially  
5. significant impacts by the following mitigation measures, which are hereby  
6. adopted and will be implemented as provided in the Mitigation, Monitoring,  
7. and Reporting Program.

8. Regulatory Requirements:

9. a. Prior to the issuance of building permits, the Riverside County Planning  
10. Department shall review building plans to ensure that structures are  
11. constructed in compliance with California Energy Commission Title 24,  
12. Energy Efficiency Standards for Residential and Non-Residential  
13. Construction.
14. b. Tenants of the project that qualify as a Major or Non-Major Polluting  
15. Facilities per the SCAQMD, shall implement Best Available Control  
16. Technologies as required by SCAQMD Rules and Regulations.
17. c. Prior to final building inspections for tenants of the project that employ  
18. more than 250 persons, the Riverside County Planning Department shall  
19. verify that tenants comply with SCAQMD Rule 2202. This Rule  
20. requires the employer to annually register with the SCAQMD and  
21. prepare and implement an emission reduction program.
22. d. Tenants of the project that use solvents in industrial, commercial and  
23. general purpose cleaning and degreasing activities shall comply with  
24. SCAQMD Rules 1171 and 1122.
25. e. Prior to final building inspections for a specific building or use by the  
26. County of Riverside, the County shall verify that any required AQMD  
27. permits for the building or use have been received. AQMD permits are  
28.

1 required for uses that build, install, alter, replace or operate equipment  
2 that emits or controls the emission of air contaminants of NO<sub>x</sub>, CO, PM-  
3 10 or SO<sub>x</sub>, unless exempted from the permit requirement by SCAQMD  
4 Rule 219 (Equipment Not Requiring a Written Permit).

- 5 f. Tenants of the project shall be required to comply with all other  
6 applicable SCAQMD Rules and Regulations.

7 Project-Specific Mitigation Measures:

- 8 g. Tenants receiving shipping container refrigerator units (RUs) shall  
9 provide electrical hookups at all loading dock door positions as part of  
10 the tenant improvement project for the building. The use of truck  
11 engineers or auxiliary generators to power refrigerated shipping  
12 containers for more than five (5) minutes is not permitted. Installation  
13 of electrical hook-ups shall be verified by Riverside County as part of  
14 final building inspections.

- 15 h. Sign(s) stating that "Extended idling of truck engines is not permitted"  
16 shall be located at the entrance to facilities and at truck parking areas.  
17 The sign(s) shall not be less than twenty four inches square and shall  
18 provide directions to truck parking spaces with electrical hookups.

- 19 i. Loading docks that accommodate shipping container refrigeration units  
20 (RUs) shall not be located within 300 meters of any sensitive receptor  
21 (residential home, school, day-care center, outdoor park or public  
22 playground, hospital or health facility). Prior to approval of Plot Plans,  
23 Site Plans and/or building permits, the County of Riverside Planning  
24 Department shall review proposed on-site building configurations and  
25 ensure that loading bays that accommodate RUs are sited at least 300  
26 meters from the nearest sensitive receptor.  
27  
28

1 j. Prior to the issuance of use or occupancy permits, a truck routing plan  
2 shall be prepared for the project that directs truck traffic directly to I-15.  
3 Signs shall be posted at the project's primary exit points directing traffic  
4 to I-15. The locations of such signs shall be indicated on construction  
5 drawings.

6 k. Prior to the approval of Site Plans and/or Plot Plans, the County  
7 Planning Department shall ensure that on-site truck stacking distances,  
8 truck check-in points, truck parking areas, and driveways are placed and  
9 designed to prevent queuing of trucks and unnecessary vehicle idling  
10 outside of the Serrano Specific Plan boundary.

11 l. Prior to the approval of any implementing permit, Site Plan, Plot Plan,  
12 or other discretionary approval within the Serrano Specific Plan area,  
13 the application for the proposed action shall be subject to review and  
14 approval by the County of Riverside for compliance with the approved  
15 Specific Plan to ensure that site design elements promote walking  
16 internal to the Serrano Specific Plan area to reduce reliance on the  
17 automobile in accordance with the Specific Plan's Non-Vehicular  
18 Circulation Plan.

19 m. Prior to final building inspection for any building, the Riverside County  
20 Planning Department shall verify that an easily accessible area that  
21 serves the entire building is dedicated to the collection and storage of  
22 non-hazardous materials for recycling.

23 Notwithstanding the foregoing, the implementation of the mitigation  
24 measures described above will not be sufficient to mitigate operational-  
25 related impacts to air quality to below levels of significance. In the long-  
26 term, operational impacts cannot be maintained at less than significant  
27 levels for emissions of ROG, NO<sub>x</sub>, CO, PM-10, and PM-2.5, either directly  
28

1 or cumulatively, with incorporation of the mitigation measures identified  
2 above (see Appendix B1). In addition, during the worst case scenario of  
3 combined project construction and operation, emissions cannot be  
4 maintained at less than significant levels for emissions of ROG, NO<sub>x</sub>, CO,  
5 PM-10, and PM-2.5, either directly or cumulatively. Accordingly, short-  
6 term and long-term impacts to air quality associated with ROG, NO<sub>x</sub>, CO,  
7 PM-10, and PM-2.5 emissions would be a significant and unavoidable  
8 direct and cumulative impact of the project.

9 The significant and unavoidable operational-related air quality impacts may  
10 be further reduced under the No Project Alternative, Biologically Superior  
11 Alternative, Reduced Project Alternative, and the Reduced Project  
12 Alternative – Continuation of Clay Mining and Development discussed in  
13 the Final EIR. The Distribution Warehouse Alternative would reduce  
14 traffic emissions but increase diesel emissions. The EIR identifies no other  
15 mitigation measures or alternatives that would reduce these impacts to a  
16 level of less than significant. The County finds that specific economic,  
17 legal, social, technological, or other considerations make infeasible the No  
18 Project Alternative, Biologically Superior Alternative, Reduced Project  
19 Alternative, and Reduced Project Alternative – Continuation of Clay  
20 Mining and Development, even though implementation of any of these  
21 alternatives would reduce these near-term impacts, as described more fully  
22 in the EIR and these Findings. In that regard:

23 (a) The No Project Alternative, Biologically Superior  
24 Alternative, Reduced Project Alternative, and the Reduced Project  
25 Alternative – Continuation of Clay Mining and Development will not allow  
26 the County to fully achieve the goals and objectives of the project as stated  
27 on pages 3-1 and 3-2 of the Draft EIR.  
28

2 (b) The No Project Alternative would not be consistent with the  
3 Riverside County General Plan and Temescal Canyon Area Plan because it  
4 would fail to implement the land use designations applied to the site, would  
5 fail to realign Temescal Canyon Road through the site as required by the  
6 General Plan Circulation Element, and would fail to accommodate on-site  
7 trails as required by the Temescal Canyon Area Plan. Further, lack of  
8 development on the site would not increase the number of employment  
9 opportunities in the area, and would thereby not assist the County, which  
10 generally suffers from a lack of employment opportunities, in improving the  
11 existing jobs-housing ratio.

12 (c) Implementation of the No Project Alternative, Biologically  
13 Superior Alternative, Reduced Project Alternative, and the Reduced Project  
14 Alternative – Continuation of Clay Mining and Development would not  
15 achieve an efficient use of the property, would create significantly fewer  
16 jobs, would not fully implement the County's General Plan land use  
17 designations for the property, and, with exception of the No Project  
18 Alternative, would not avoid the project's significant and unavoidable  
19 construction-related air quality impacts.

20 (d) Although the project would generate significant and  
21 unmitigable emissions in the long-term, from a regional perspective, the  
22 project is likely to result in a positive air quality contribution. Riverside  
23 County suffers from a jobs-to-housing imbalance, with many County  
24 residents choosing to work outside of the unincorporated areas of the  
25 County. The light industrial and commercial retail land uses proposed by  
26 the project would create approximately 7,816 new jobs, almost six-percent  
27 of the employment growth forecasted within unincorporated Riverside  
28 County between 2005 and 2020. By providing jobs closer to existing and



2 proposed residential areas in the unincorporated County, the project would  
3 intercept a substantial fraction of commuter trips on I-15 that may be  
4 headed to Corona or to Orange and Los Angeles Counties. By reducing  
5 commute times, the project would help reduce regional mobile source  
6 emissions, including ROG, NOx, CO, PM-10, and PM-2.5 emissions.  
7 Although the reduction in regional mobile source emissions due to  
8 implementation of the project cannot be quantified and long-term project-  
9 related direct and cumulative air quality impacts would remain significant  
10 and unmitigable, it is important to note the inherent regional air quality  
11 benefits associated with development (like the project) that positively  
12 contribute to balance the jobs-to-housing ratio in the unincorporated areas  
13 of the County.

14 (e) Near-term construction related air quality impacts are  
15 determined to be acceptable due to the overriding social, economic,  
16 environmental, or other benefits of the project, as more fully described in  
17 the Statement of Overriding Considerations set forth below.

18 C. Circulation and Traffic – Cumulative and Direct Impacts

19 1. Impact:

20 For all studied traffic conditions, the project would result in a significant  
21 cumulative impact to the following intersections:

- 22 ▪ I-15 SB Ramps (NS) at:
  - 23 ○ Indian Truck Trail (EW)
- 24 ▪ I-15 NB Ramps (NS) at:
  - 25 ○ Indian Truck Trail (EW)
- 26 ▪ Temescal Canyon Road (NS) at:
  - 27 ○ Indian Truck Trail

1 In addition, the project would contribute to the need for signalization at the  
2 following intersections, which is identified as a cumulatively significant  
3 impact of project development:

- 4       ▪ I-15 NB Ramps (NS) at:
  - 5           ○ Indian Truck Trail (EW)
- 6       ▪ I-15 SB Ramps (NS) at:
  - 7           ○ Indian Truck Trail (EW)

8 The project also would contribute traffic to segments of Interstate 15 that  
9 operate below acceptable levels of service under existing conditions.  
10 Impacts would be cumulative and temporary in nature and would be  
11 alleviated when planned improvements are constructed by Caltrans and  
12 service levels improve. Nonetheless, impacts would be significant in the  
13 near-term (i.e., following implementation of Phase I of the project).

14 2. Mitigation:

15 The project has been modified to mitigate or avoid these potentially  
16 significant impacts by the following mitigation measures, which are hereby  
17 adopted and will be implemented as provided in the Mitigation, Monitoring,  
18 and Reporting Program.

- 19 a. The project shall participate in the funding of off-site improvements  
20 through the payment of Transportation Uniform Mitigation Fees  
21 (TUMF) in accordance with Riverside County Ordinance No. 824.  
22 TUMF fees are paid by applicants based on the amount of building  
23 square footage constructed. The project's cost to construct any TUMF  
24 road improvements (including the realignment of Temescal Canyon  
25 Road) shall be credited against the required fees or as otherwise  
26 specified by a Project Development Agreement.

1 b. The project will be subject to the County of Riverside Traffic Signal Fee  
2 program in accordance with Riverside County Ordinance No. 748.1,  
3 which requires the payment of a fee to the County to reduce traffic  
4 congestion through signalization and which is administered on a per-  
5 acre basis for commercial and industrial development. (The project's  
6 cost to construct a signal at Temescal Canyon Road and Lawson Road  
7 outlined below in Mitigation Measures b shall be credited against the  
8 required fees.)

9 Notwithstanding the foregoing, the implementation of the mitigation  
10 measures described above may not be sufficient to completely mitigate  
11 impacts. Improvements that are needed at the following three intersections  
12 during Phase I of the project may not be constructed until after the first  
13 phase of project development and the development of other projects in the  
14 area generates a level of traffic that triggers the need for these  
15 improvements to maintain acceptable levels of service.

- 16
  - 17▪ I-15 Freeway Southbound Ramps (NS) at:
    - 18○ Indian Truck Trail (EW)
  - 19▪ I-15 Freeway Northbound Ramps (NS) at:
    - 20○ Indian Truck Trail (EW)
  - 21▪ Temescal Canyon Road (NS) at:
    - 22○ Indian Truck Trail

23 The significant and unavoidable cumulative traffic impacts may be further  
24 reduced under the No Project Alternative, Biologically Superior  
25 Alternative, Distribution Warehouse Alternative, Reduced Project  
26 Alternative, and the Reduced Project Alternative – Continuation of Clay  
27 Mining and Development discussed in the Final EIR. The EIR identifies no  
28 other mitigation measures or alternatives that would reduce these impacts to  
a level of less than significant. The County finds that specific economic,

1 legal, social, technological, or other considerations make infeasible the No  
2 Project Alternative, Biologically Superior Alternative, Reduced Project  
3 Alternative, and Reduced Project Alternative – Continuation of Clay  
4 Mining and Development, even though implementation of any of these  
5 alternatives would reduce these near-term impacts, as described more fully  
6 in the EIR and these Findings. In that regard:

7 (a) Improvements at the I-15 ramps at Indian Truck Trail require  
8 the action of Caltrans and are not within the jurisdiction of the Lead Agency  
9 for this EIR (Riverside County). Riverside County therefore cannot assure  
10 that the improvements needed at the I-15 northbound and southbound ramps  
11 at Indian Truck Trail and at the intersection of Temescal Canyon Road and  
12 Indian Truck Trail (which are programmed to occur in association with I-15  
13 ramp improvements) will be implemented prior to these intersections  
14 reaching unacceptable levels of service. In light of this, the project's  
15 cumulative impacts at these three intersections during Phase I are  
16 significant and unavoidable. There are no feasible mitigation measures that  
17 could be applied to the project that would reduce this cumulative impact to  
18 a level below significance.

19 (b) Beyond the project's first phase of development and in  
20 association with development of Phases II through IV, traffic generated by  
21 the project and other development projects in the area will continue to add  
22 traffic to the I-15 ramps at Indian Truck Trail. The County of Riverside  
23 Transportation Department reviewed several alternative intersection  
24 geometric configurations that would improve these ramps to function at  
25 acceptable levels of service and determined that the improvements needed  
26 to achieve satisfactory levels of service cannot be successfully implemented  
27 due to the excessive cost of widening and/or modifying the interchange  
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1 underpass at I-15 and Indian Truck Trail in relation to the benefit that would  
2 be achieved. Furthermore, widening or modifying these intersections  
3 cannot be successfully implemented in a reasonable period of time due to  
4 the time required to coordinate such a major project with other  
5 transportation agencies. The unacceptable levels of service at these ramps  
6 are the result of cumulative development in the surrounding area, including  
7 development of the Serrano Commerce Center Project. The project's  
8 cumulative long-term impacts at these two intersections are therefore  
9 significant and unavoidable, and there are no feasible mitigation measures  
10 that would reduce this cumulative impact to a level below significance.

11 (c) Additionally, improvements to mainline segments of I-15 are  
12 under the jurisdiction of Caltrans and beyond the control of the Lead  
13 Agency for this EIR (Riverside County). The project's incremental  
14 contribution of traffic to I-15 mainline segments is considered a significant  
15 and unavoidable cumulative impact in the short-term, until freeway segment  
16 improvements are made by Caltrans. A Statement of Overriding  
17 Considerations would be necessary for this short-term impact.

18 (d) The significant and unavoidable cumulative impacts to study  
19 area intersections and freeway segments may be further reduced under all  
20 alternatives described in the EIR: the No Project Alternative, Biologically  
21 Superior Alternative, Distribution Warehousing Alternative, Reduced  
22 Project Alternative, and the Reduced Project Alternative – Continuation of  
23 Clay Mining and Development. The County finds that specific economic,  
24 legal, social, technological, or other considerations make infeasible the No  
25 Project/No Development Alternative, No Project/Implementation of PM  
26 No. 35350 Alternative, Reduced Project Alternative, and Modified Southern  
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Perimeter Design Alternative described more fully in the SEIR and these Findings.

(i) The No Project Alternative would not be consistent with the Riverside County General Plan and Temescal Canyon Area Plan because it would fail to implement the land use designations applied to the site, would fail to realign Temescal Canyon Road through the site as required by the General Plan Circulation Element, and would fail to accommodate on-site trails as required by the Temescal Canyon Area Plan. Further, lack of development on the site would not increase the number of employment opportunities in the area, and would thereby not assist the County, which generally suffers from a lack of employment opportunities, in improving the existing jobs-housing ratio.

(ii) Implementation of the No Project Alternative, Biologically Superior Alternative, Reduced Project Alternative, and the Reduced Project Alternative – Continuation of Clay Mining and Development would not achieve an efficient use of the property, would create significantly fewer jobs, would not fully implement the County's General Plan land use designations for the property, and, with exception of the No Project Alternative, would not avoid the Project's significant and unavoidable construction-related air quality impacts.

(e) The EIR identifies no other mitigation measures or alternatives that would reduce these cumulative impacts. Until the I-15 improvements planned by Caltrans are physically constructed, impacts to freeway mainline segments remain significant and unmitigable under any alternative except for the No Project/No Development Alternative. In

2 addition, near-term impacts to study area intersections would remain  
3 impacted until TUMF or other County funding sources identify funding for  
4 the necessary improvements.

5 (f) Near-term and cumulative impacts to study area intersections  
6 and cumulative impact to freeway segments are further determined to be  
7 acceptable due to the overriding social, economic, environmental, or other  
8 benefits of the project, as more fully set forth in the Statement of Overriding  
9 Considerations set forth below.

10 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it has considered the following  
11 alternatives identified in the EIR No. 492 in light of the environmental impacts which cannot be fully  
12 mitigated, avoided or substantially lessened and has rejected those alternatives as infeasible for the  
13 reasons hereinafter stated:

14 A. No Project Alternative

- 15 1. Under Section 15126.6(e)(2) of the CEQA Guidelines, the "No Project"  
16 alternative should consider what would be reasonably expected to occur in  
17 the foreseeable future if the project were not approved, based upon the site's  
18 existing zoning, General Plan designation, and ability to be served with  
19 available community services. The No Project Alternative assumes that no  
20 development would occur on the site, and mining operations would  
21 continue. It is reasonably expected that mining activities would continue to  
22 occur on the site if the project was not approved. If mining operations were  
23 to continue on the site, it is possible that mining operations would expand  
24 substantially beyond the 67.0 acres of land currently utilized for mining.  
25 However, it is assumed that under the No Project Alternative, mining  
26 operations would continue on approximately 67.0 acres of the site, while the  
27 remaining 422.28 acres would be left in an undeveloped condition held in  
28 private ownership.

- 1 2. The No Development Alternative would fail to implement the Riverside  
2 County General Plan and Temescal Area Plan, which designate the project  
3 site for development for "Community Center (C-C)" and "Light Industrial  
4 (L-I)" land uses.
- 5 3. The No Project Alternative would not include the realignment of Temescal  
6 Canyon through the site or the construction of a regional trail segment, as  
7 planned for by the Circulation Element of the Riverside County General  
8 Plan and Temescal Canyon Area Plan.
- 9 4. The project site is not fenced, so the potential exists for the undeveloped  
10 portions of the project site to continue to be disturbed by unauthorized uses  
11 of the site, such as ATVs.
- 12 5. Uncontrolled erosion and sedimentation would continue as it occurs under  
13 existing conditions.
- 14 6. The project as proposed is estimated to provide approximately 7,816 jobs.  
15 Temporary construction jobs would also be created for the construction  
16 phase of the project. The No Project Alternative would fail to provide  
17 additional employment opportunities for nearby residents. The Riverside  
18 County General Plan Program SEIR No. 441 concluded that Riverside  
19 County is "rich in housing and poor in jobs." Furthermore, Riverside  
20 County General Plan Program SEIR No. 441 states, "this means that  
21 residents of Riverside County are traveling to surrounding counties to work,  
22 which, in turn equates to longer commute times, increased air quality  
23 impacts, and a lower quality of life." The No Project Alternative would do  
24 nothing to alleviate the jobs/housing balance in the County.
- 25 7. Because no discretionary action would be required, MSHCP fee payment  
26 per County Ordinance No. 810 would not be required.  
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- 1 8. The No Project Alternative would fail to meet all but one of the basic  
2 project objectives because it would not provide for a mixture of light  
3 industrial and commercial retail land uses; would not provide a mix of non-  
4 residential employment-generating uses to attract new businesses to the  
5 area; would not provide commercial retail land uses in close proximity to  
6 regional transportation corridor; would not achieve the desired FAR and  
7 would not make efficient use of the property; would not provide for the  
8 permanent conservation of areas desired for the MSHCP Reserve System;  
9 would not accommodate an on-site pedestrian circulation network; and  
10 would not plan or construct needed capital improvements, including  
11 transportation facilities and particularly the extension of Temescal Canyon  
12 Road. Furthermore, retention of a portion of the site as a mine and the  
13 remainder of the site in its existing undeveloped condition would be  
14 inconsistent with the General Plan and the Temescal Valley Area Plan,  
15 which call for development of the site consistent with the County's  
16 Community Commercial and Light Industrial land use designations.
- 17 9. The No Project/No Development Alternative would not meet the County's  
18 land use and economic development objectives. The County's General Plan  
19 Land Use Element Policies LU 7.1 and LU 7.2 promote a balance of land  
20 uses and stable employment uses that enhance fiscal viability. Policy LU  
21 7.12 encourages the maintenance of a balance between jobs and housing  
22 within the County and the County's jobs/housing balance is addressed  
23 through implementation of the land use designations assigned by the  
24 County's General Plan and Area Plan land use maps. The No Project  
25 Alternative would not implement the site's "Community Center (C-C)" and  
26 "Light Industrial (L-I)" land use designation and, therefore, would not meet  
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2 the County's objectives to enhance fiscal viability and improve the  
3 County's jobs/housing balance.

4 10. The No Project Alternative would not meet the County's General Plan  
5 Policy C.1.1 to design a transportation system in accordance with the  
6 County's Circulation Plan. Namely, Circulation Element improvements to  
7 Temescal Canyon Road and Old Temescal Canyon Road (North and South)  
8 would not occur within the site or along the site's frontage under the No  
9 Project Alternative.

10 11. The No Project Alternative would also not be economically feasible.  
11 Mining would continue to occur but all of the known high-quality clay  
12 deposits were depleted from the site in about 1985. The clay currently  
13 extracted from the site is not highly desired by consumers of industrial  
14 minerals as evidenced by the low extraction volumes reported for the on-  
15 site over the past 15 years. From 1994 to 2009, the amount of clay  
16 extracted from the project site has ranged from only 4,460 tons to 21,500  
17 tons per year. Over the past five years, the amount has steadily decreased  
18 each year.

19 B. Biologically Superior Alternative

20 1. The Biologically Superior Alternative assumes that light industrial  
21 development would occur on the site; however, the majority the site would  
22 be maintained as either open space (259.51 acres) or an MSHCP  
23 conservation area (48.77 acres). Approximately 181.00 acres would be  
24 graded and developed into light industrial land uses, major circulation, and  
25 roadway-adjacent landscaping. Commercial retail land uses would not be  
26 provided under this alternative. As part of this alternative, Temescal  
27 Canyon Road would be realigned through the project site, although several  
28 bridges would be needed.

1 This Alternative was selected for consideration in order to assess the  
2 potential lessening of environmental impacts associated with a reduction in  
3 building intensity and a concomitant reduction in the number of vehicle  
4 trips, vehicular noise, and vehicular air emissions. Impacts to sensitive  
5 vegetation and jurisdictional waters and drainage courses would be reduced  
6 or avoided. Off-site impacts would be limited to those required for road  
7 improvements.

- 8 2. The Biologically Superior Alternative would not be as efficient as the  
9 project in implementing the Riverside County General Plan and Temescal  
10 Area Plan land use designations of "Community Center (C-C)" and "Light  
11 Industrial (L-I)" on the portions of the site that would be retained as open  
12 space.
- 13 3. The Biologically Superior Alternative would not be as effective as the  
14 project in achieving the basic project objectives because it would not as  
15 efficiently provide for light industrial and would not accommodate any  
16 commercial retail land uses; would not as efficiently provide a mix of non-  
17 residential employment-generating uses to attract new businesses to the  
18 area; would not provide commercial retail land uses in close proximity to  
19 regional transportation corridor; and would not achieve the desired FAR.
- 20 4. The Biologically Superior Alternative would not be as effective in meeting  
21 the County's land use and economic development objectives. The County's  
22 General Plan Land Use Element Policies LU 7.1 and LU 7.2 promote a  
23 balance of land uses and stable employment uses that enhance fiscal  
24 viability. Policy LU 7.12 encourages the maintenance of a balance between  
25 jobs and housing within the County and the County's jobs/housing balance  
26 is addressed through implementation of the land use designations assigned  
27 by the County's General Plan and Area Plan land use maps. The  
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1 Biologically Superior Alternative would not implement the site's  
2 "Community Center (C-C)" land use designation, and would accommodate  
3 less area devoted to "Light Industrial (L-I)" land uses than the project;  
4 therefore, this Alternative would not meet the County's objectives to  
5 enhance fiscal viability and improve the County's jobs/housing balance as  
6 effectively as the project.

7 5. The Biologically Superior Alternative would produce lower economic  
8 returns for the project applicant. As a result, it would not be economically  
9 feasible for the project to participate in the realignment of Temescal Canyon  
10 Road beyond land dedication for the public right of way. Temescal Canyon  
11 Road is a County Circulation Element roadway that is planned to be  
12 realigned and extended through the project site to relieve traffic congestion  
13 and truck and passenger car conflicts along its current alignment west of I-  
14 15. The road realignment would need to be fully funded by the County of  
15 Riverside or other party, which would be unlikely and render the project  
16 undevelopable because access to the property is dependant on the  
17 realignment of this roadway. No development would occur on the site until  
18 the road is realigned as called for the County's General Plan. Until the  
19 roadway was realigned, no dedications would be made by the project  
20 applicant to the MSHCP Reserve, no tax revenue would be created from  
21 new development, and no new employment opportunities would be  
22 available on the site.

23 6. Although implementation of the Biologically Superior Alternative would  
24 reduce the project's anticipated significant and unavoidable air quality and  
25 traffic impacts, implementation of this Alternative would not completely  
26 avoid them.  
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7. Implementation of the Biologically Superior Alternative would not channel the Coldwater Canyon Wash or the Mayhew Wash through the project site, rendering the Alternative economically infeasible and impractical. Grading quantities could not be balanced and approximately 25 to 50% of graded material would need to be exported off the site by truck. Additionally, unorthodox landform alteration methods would be required in an attempt to provide usable building pads, including the use of sliver fills along the edges of the steep canyon edges, the bridging of roads, and excessive earthwork to create level building pads.
  8. There would be large changes in topography along the alignment of Temescal Canyon Road, creating road grade issues, including exceeding a required 6% grade (substandard condition), the provision of ramps to access adjacent building pads, the provision of at least three bridges spanning from approximately 200 to 450 feet in length, and line of sight/visibility safety concerns. The costs to construct Temescal Canyon Road in this manner would be unorthodox and substantially increase its construction costs.
  9. Due the dispersal of development areas and the preservation of drainage courses between building pads under the Biologically Superior Alternative, the provision of infrastructure to service the building pads would be substantially increased in cost, inefficient, and impractical to physically install.

23 C. Distribution Warehousing Alternative

- 24 1. The Distribution Warehousing Alternative would develop a majority of the  
25 site with light industrial land uses; however, the Specific Plan Zoning  
26 Ordinance for this alternative would prohibit all light industrial land uses  
27 except distribution warehousing. This Alternative also includes the  
28 development of commercial retail land uses. Specifically, under this

1 Alternative, 388.50 acres of distribution warehousing uses and 18.30 acres  
2 of commercial retail land uses would be developed on 406.30 acres. This  
3 Alternative proposes 5,408,409 square feet of distribution warehousing  
4 building area and 167,401 square feet of commercial retail building area.  
5 The Distribution Warehousing Alternative was selected for consideration in  
6 order to assess the potential reduction in traffic-related impacts, as the  
7 Distribution Warehousing Alternative would generate less employees than  
8 the project would generate, thereby reducing the daily number of vehicle  
9 trips to and from the site.

10 2. The Distribution Warehousing Alternative would not be as efficient as the  
11 project in implementing the Riverside County General Plan and Temescal  
12 Area Plan land use designations of "Light Industrial (L-I)" because uses  
13 would be restricted to distribution warehouses only, and no industrial land  
14 uses would be permitted. Such a restriction would result in a demand for  
15 industrial land off-site, and such off-site locations may not be located in  
16 close proximity to regional transportation facilities.

17 3. The Distribution Warehousing Alternative would not be as effective as the  
18 project in achieving the basic project objectives because it would not  
19 provide for light industrial land uses (other than warehouse distribution);  
20 would not as efficiently provide a mix of non-residential employment-  
21 generating uses to attract new businesses to the area; would accommodate  
22 less area devoted to commercial retail land uses; and would not achieve a  
23 commercially acceptable floor area ratio.

24 4. The Distribution Warehousing Alternative would not be as effective in  
25 meeting the County's land use and economic development objectives. The  
26 County's General Plan Land Use Element Policies LU 7.1 and LU 7.2  
27 promote a balance of land uses and stable employment uses that enhance  
28

1 fiscal viability. Policy LU 7.12 encourages the maintenance of a balance  
2 between jobs and housing within the County and the County's jobs/housing  
3 balance is addressed through implementation of the land use designations  
4 assigned by the County's General Plan and Area Plan land use maps. The  
5 Distribution Warehousing Alternative would accommodate only 5,408,409  
6 square feet of distribution warehouse uses and 167,401 square feet of  
7 commercial land uses, as opposed to the 6,600,994 square feet of light  
8 industrial and 172,150 square feet of commercial retail land uses proposed  
9 by the project. In addition, distribution warehouse uses produce fewer  
10 employment opportunities than would occur if the site were developed with  
11 light industrial land uses.

12 5 Although implementation of the Distribution Warehousing Alternative  
13 would reduce the project's anticipated significant and unavoidable air  
14 quality and traffic impacts, implementation of this Alternative would not  
15 completely avoid them.

16 D. Reduced Project Alternative

17 1. The Reduced Project Alternative considers development of the site similar  
18 to the project, but with a 25% reduction in total maximum building square  
19 footage. As compared to the project, this alternative would provide for  
20 additional areas of open space within the two primary drainage areas  
21 (Mayhew Wash and Coldwater Wash) that traverse the site, in addition to  
22 the provision of additional open space along I-15 and the Temescal Wash.  
23 This alternative would consist of the development of light industrial land  
24 uses on 350.00 acres, 7.50 acres of commercial retail land uses, 79.78 acres  
25 of project open space – conservation (MSHCP conservation area), and  
26 circulation and flood control facilities on 52.00 acres. In addition, a  
27 maximum total of 5,079,858 square feet of light industrial and commercial  
28

1 retail uses would be constructed, in lieu of the maximum total of 6,773,144  
2 s.f. proposed by the project, for a total reduction of 1,693,286 s.f. of  
3 building area. This alternative includes the realignment of Temescal  
4 Canyon Road and the creation of two internal collector streets. The  
5 Reduced Project Alternative was selected to assess the effects of a less  
6 intensive development scenario, and the potential reduction of impacts to air  
7 quality, traffic, noise, hazards and hazardous materials, hydrology and water  
8 quality, and energy resources.

- 9 2. The Reduced Project Alternative would not be as efficient as the project in  
10 implementing the Riverside County General Plan and Temescal Area Plan  
11 land use designations of "Community Center (C-C)" and "Light Industrial  
12 (L-I)" because the site would be developed with 25% less building area.  
13 Such a restriction could result in a demand for commercial and industrial  
14 land off-site, and such off-site locations may not be located in close  
15 proximity to regional transportation facilities.
- 16 3. The Reduced Project Alternative would not be as effective as the project in  
17 achieving the basic project objectives because it would not provide for as  
18 much light industrial and commercial retail land uses; would not as  
19 efficiently provide a mix of non-residential employment-generating uses to  
20 attract new businesses to the area; would accommodate less area devoted to  
21 commercial retail land uses; and would not achieve a commercially  
22 acceptable floor area ratio.
- 23 4. The Reduced Project Alternative would not be as effective in meeting the  
24 County's land use and economic development objectives. The County's  
25 General Plan Land Use Element Policies LU 7.1 and LU 7.2 promote a  
26 balance of land uses and stable employment uses that enhance fiscal  
27 viability. Policy LU 7.12 encourages the maintenance of a balance between  
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1 jobs and housing within the County and the County's jobs/housing balance  
2 is addressed through implementation of the land use designations assigned  
3 by the County's General Plan and Area Plan land use maps. The Reduced  
4 Project Alternative would accommodate 25% less building area, which  
5 would result in a concomitant reduction in employment opportunities in the  
6 area.

7 5 The Reduced Project Alternative would produce lower economic returns for  
8 the project applicant, reducing the applicant's ability to supply and  
9 participate in the funding for the project's infrastructure requirements, such  
10 as the extension of Temescal Canyon Road. Additionally, the project's  
11 proposed and the Stormwater Recharge and Recovery Program system may  
12 not be economically feasible to construct. Temescal Canyon Road is a  
13 County Circulation Element roadway that is planned to be realigned and  
14 extended through the project site to relieve traffic congestion and truck and  
15 passenger car conflicts along its current alignment west of I-15. Under the  
16 Reduced Project Alternative, the road realignment would need to be fully  
17 funded by the County of Riverside or other party, which would be unlikely  
18 and render the project undevelopable because access to the property is  
19 dependant on the realignment of this roadway. No development would  
20 occur on the site until the road is realigned as called for the County's  
21 General Plan. Until the roadway was realigned, no dedications would be  
22 made by the project applicant to the MSHCP Reserve, no tax revenue would  
23 be created from new development, and no new employment opportunities  
24 would be available on the site.

25  
26 6. Although implementation of the Reduced Project Alternative would reduce  
27 the project's anticipated significant and unavoidable air quality and traffic  
28

1 impacts, implementation of this Alternative would not completely avoid  
2 them.

3 E. Reduced Project Alternative/Continuation of Clay Mining and Development

- 4 1. Under the Reduced Project Alternative/Continuation of Clay Mining and  
5 Development, the site would be developed with light industrial and  
6 commercial retail land uses in conjunction with the continuation of on-site  
7 clay mining activities that are currently occurring on a portion of the site  
8 under existing conditions. This Alternative proposes light industrial uses on  
9 262.76 acres, with a maximum of 4,807,246 square feet of building space.  
10 Under this Alternative, a commercial retail center would be constructed on  
11 13.40 acres, with a maximum of 122,577 square feet of building space.  
12 Clay mining activities would continue on 67.00 acres, and a total of 109.90  
13 acres would be provided as project open space or as a conservation area to  
14 be conveyed to the MSHCP Reserve, including approximately 48.00 acres  
15 provided as a buffer between mining activities and the light industrial and  
16 commercial retail uses. Temescal Canyon Road would be realigned to  
17 traverse the site.

18 This Alternative was selected to assess the effects of continuing the current  
19 on-site mining activities while developing a commerce center. As a result,  
20 this alternative would reduce project impacts to mineral resources because it  
21 would accommodate the continuation of mining activities on the site.

- 22 2. The Reduced Project Alternative/Continuation of Clay Mining and  
23 Development would not be as efficient as the project in implementing the  
24 Riverside County General Plan and Temescal Area Plan land use  
25 designations of "Community Center (C-C)" and "Light Industrial (L-I)"  
26 because the site would be developed with only 262.76 acres of light  
27 industrial and 13.40 acres of commercial retail land uses, as opposed to  
28

1 372.06 and 17.45 acres proposed by the project, respectively. Such a  
2 reduction in building intensity on-site could result in a demand for  
3 commercial and industrial land off-site, and such off-site locations may not  
4 be located in close proximity to regional transportation facilities.

5 3. The Reduced Project Alternative/Continuation of Clay Mining and  
6 Development would not be as effective as the project in achieving the basic  
7 project objectives because it would not provide for as much light industrial  
8 and commercial retail land uses; would not as efficiently provide a mix of  
9 non-residential employment-generating uses to attract new businesses to the  
10 area; would accommodate less area devoted to commercial retail land uses;  
11 and would not achieve a commercially acceptable floor area ratio..

12 4. The Reduced Project Alternative would not be as effective in meeting the  
13 County's land use and economic development objectives. The County's  
14 General Plan Land Use Element Policies LU 7.1 and LU 7.2 promote a  
15 balance of land uses and stable employment uses that enhance fiscal  
16 viability. Policy LU 7.12 encourages the maintenance of a balance between  
17 jobs and housing within the County and the County's jobs/housing balance  
18 is addressed through implementation of the land use designations assigned  
19 by the County's General Plan and Area Plan land use maps. The Reduced  
20 Project Alternative/Continuation of Clay Mining and Development would  
21 accommodate less building area, which would result in a concomitant  
22 reduction in employment opportunities in the area.

23 5 The Reduced Project Alternative/Continuation of Clay Mining and  
24 Development would result in lower economic returns for the project  
25 applicant. All of the known high-quality clay deposits were depleted from  
26 the site in about 1985. The clay currently extracted from the site is not  
27 highly desired by consumers of industrial minerals as evidenced by the low  
28

1 extraction volumes reported for the on-site over the past 15 years. From  
2 1994 to 2009, the amount of clay extracted from the project site has ranged  
3 from only 4,460 tons to 21,500 tons per year. Over the past five years, the  
4 amount has steadily decreased each year. Due to the lower economic  
5 returns it would not be economically feasible for the project applicant to  
6 participate in the realignment of Temescal Canyon Road beyond land  
7 dedications for the public right-of-way. Temescal Canyon Road is a County  
8 Circulation Element roadway that is planned to be realigned through the  
9 project site to relive traffic congestion and truck and passenger car conflicts  
10 on its current alignment west of I-15. The road realignment would need to  
11 be funded by the County of Riverside or other party, which would be  
12 unlikely and render the project undevelopable because access to the  
13 property is dependant on the realignment of this roadway. No development  
14 would occur on the site until the road is realigned as called for the County's  
15 General Plan. Until the roadway was realigned, no dedications would be  
16 made by the project applicant to the MSHCP Reserve, no tax revenue would  
17 be created from new development, and no new employment opportunities  
18 would be available on the site.

- 19
- 20 6. Although implementation of the Reduced Project Alternative/Continuation  
21 of Clay Mining and Development would reduce the project's anticipated  
22 significant and unavoidable air quality and traffic impacts, implementation  
23 of this Alternative would not completely avoid them. In addition, this  
24 alternative would result in increased impacts to aesthetics due to the  
25 visibility of mining activities.

26 F. Alternative Sites

27

28

1. CEQA Guidelines Section 15126.6(f)(2) requires that an EIR identify alternatives to the project, but does not expressly require that it discuss alternative locations for the project.
2. The project's light industrial and commercial retail land uses are consistent with the "Community Center (C-C)" and "Light Industrial (L-I)" land use designation assigned to the property by the Temescal Valley Area Plan. The property is generally flat and is highly disturbed due to past mining and other uses. The vegetation on the site consists of a mixture of native and non-native plant species. The site is located within the MSHCP Criteria Area, the project will convey open space and limit urban interface edge effects in manners consistent with the MSHCP; off-site locations would not improve the project's consistency with MSHCP policies. All impacts to biological resources would be mitigated to a level below significant.
3. Development at an off-site location likely would result in increased distance between the light industrial/commercial retail land uses and regional transportation facilities, thereby increasing traffic congestion, noise, and air quality impacts.
4. Development in an alternate location in Western Riverside County would also result in freeway mainline impacts and long-term cumulative air quality impacts. Although development in an off-site location has the potential to avoid the project's significant and unavoidable impacts to the I-15 freeway ramps at Indian Truck Trail, impacts at this location would occur in the absence of the project and it is likely that project traffic would result in similar unavoidable impacts in other areas of the County due to the volume of traffic produced by the project. Therefore, there is no environmental benefit to considering development of the project at an alternate location. Further, the project applicant does not own or control

1 any other possible sites for the project within the County of Riverside that  
2 would satisfy the project objectives.

3 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it has balanced the benefits of  
4 the project against the unavoidable adverse environmental effects thereof, and has determined that the  
5 following benefits outweigh and render acceptable those environmental effects:

6 A. The project will implement light industrial and commercial retail land uses on the site in an  
7 efficient manner, which would result in the creation of employment opportunities, as  
8 encouraged by General Plan Land Use Element Policies LU 7.1, LU 7, and LU 7.12.  
9 Approximately 7,816 jobs would be created by the project. The addition of these new jobs  
10 will generate revenue for the County and enhance the County's fiscal viability and  
11 economic diversity. The project's approximately 7,816 new jobs represents 60 percent of  
12 the employment growth in western Riverside County between 2010 and 2020, as projected  
13 by the Southern California Association of Governments in their 2008 Regional  
14 Transportation Plan growth forecasts. The project's approximately 7,816 new jobs also  
15 represents four (4) percent of SCAG's projected employment growth for the entire  
16 geographic area represented by the Western Riverside Council of Governments (including  
17 the cities of Calimesa, Canyon Lake, Corona, Hemet, Lake Elsinore, Moreno Valley,  
18 Murrieta, Norco, Perris, Riverside, San Jacinto, Temecula, and portions of unincorporated  
19 Riverside County including the new City of Menifee that was not yet incorporated at the  
20 time the 2008 SCAG forecast was published).

21 B. The project will realign and participate in the construction of an extension of Temescal  
22 Canyon Road in accordance with the County General Plan and Temescal Canyon Area  
23 Plan, and will also improve portions of Old Temescal Canyon Road North and Old  
24 Temescal Canyon Road South and their intersections with the new extension of Temescal  
25 Canyon Road. The project and the project applicant's participation in land dedication and  
26 funding will advance the construction and improvements of these roadways. The project  
27 also has designed the extension of Temescal Canyon Road to accommodate three lanes of  
28

1 traffic in each direction as opposed to the two lanes originally planned for this road  
2 segment by the County's General Plan. C. The project's extension of Temescal Canyon  
3 Road through the site will be of great benefit to the local community by providing a direct  
4 route for truck traffic east of I-15. Public safety will be improved by substantially reducing  
5 truck volumes in residential areas surrounding the project site and west of I-15 and by  
6 lessening the potential for conflicts between trucks and passenger vehicles.

7 D. The project will convey 48.77 acres of natural Open Space - Conservation to be dedicated  
8 to the Western Riverside County MSHCP, thereby facilitating the County's ability to  
9 implement the Plan in the local area.

10 E. The project will accommodate a pedestrian circulation network, including a segment of the  
11 County's regional trail system, community trails, and other pedestrian pathways. The  
12 project represents an improvement to the County's trail plan which called for a regional  
13 trail to be aligned along Temescal Canyon Road. Because this roadway is projected to  
14 carry a high volume of truck and passenger car traffic that may lessen enjoyment of the trail  
15 by its users (pedestrians and equestrian riders), the project will modify the planned  
16 alignment of the regional trail through the project site to occur near the planned boundary  
17 of the MSHCP Reserve, enhancing the County's trail system and the enjoyment of the trail  
18 by its future users. The project also offers two community trail segments along its planned  
19 drainage channels that were not previously identified on the County's trail plan.

20 F. The project will make monetary contributions to Riverside County's Transportation  
21 Uniform Mitigation Fee (TUMF) to assist in the construction of regional transportation  
22 improvements.

23 G. The project will make monetary contributions to the Western Riverside County MSHCP to  
24 assist in property acquisition and maintenance of habitat core and linkage areas.

25 H. The project will incorporate multiple design features to reduce operational energy  
26 consumption. According to calculations conducted by the project's air quality consultant  
27 and included in Appendix B1 of the Final EIR, the project will reduce its greenhouse gas  
28

1 emission levels by approximately 29.7 percent below business-as-usual, including 7.4  
2 percent attributed to energy efficient building features specified in the Serrano Commerce  
3 Center Specific Plan.

- 4 I. The project will install an innovative Stormwater Recharge and Storage Program system  
5 that will substantially lower the project's domestic water demand and fossil fuel  
6 consumption compared to other employment areas by lowering the project's need to import  
7 irrigation water. The system is designed to recover the project's on-site urban runoff and  
8 store it underground. The stored water would then be available for irrigation of the  
9 project's landscaped areas.

10 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the State CEQA Guidelines  
11 (Section 15126 (g)) require an EIR to discuss how a project could directly or indirectly lead to economic,  
12 population, or housing growth. A project may be growth-inducing if it removes obstacles to growth, taxes  
13 community service facilities or encourages other activities which cause significant environmental effects.  
14 The discussion is as follows:

15 A. Economic, Population, or Housing Growth

16 The project would accommodate approximately 6,600,994 square feet of light  
17 industrial and 172,150 square feet of commercial retail that would have the  
18 potential to foster economic growth in the surrounding environment. Development  
19 of the project would occur consistent with planned growth identified in the  
20 Riverside County General Plan, the Temescal Valley Area Plan, and the Southern  
21 California Association of Governments (SCAG) Regional Comprehensive Plan.  
22 An extensive analysis of the balance of jobs and housing was conducted as part of  
23 the Housing Element of the County's General Plan. Because the project would be  
24 consistent with the General Plan Land Use Plan and the land use designations  
25 assigned to the property by the Temescal Valley Area Plan, implementation of the  
26 project would be consistent with growth forecasts and would not create an  
27 imbalance between jobs and housing in the project vicinity. The project site is  
28



1 currently undeveloped and vacant except for a small nursery, three mobile home  
2 units, a small engineering firm (grading/paving operations), a clay mine, and  
3 several bee boxes owned by a local honey producer. The project site is surrounded  
4 by industrial land uses, open space, the El Sobrante Sanitary Landfill, and low and  
5 medium density residential land uses. Development is occurring in accordance with  
6 the Temescal Valley Area Plan and in a phased manner with a logical extension of  
7 utility and infrastructure improvements. Implementation of the project would not  
8 stimulate growth in the area beyond that anticipated by the General Plan and the  
9 Temescal Valley Area Plan.

10 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the project will implement  
11 applicable elements of the Riverside County General Plan as follows:

12 A. Land Use Element

13 Development of the site with light industrial and commercial retail land uses is  
14 permitted by the Riverside County's Community Center and Light Industrial land  
15 use designations. The project is therefore consistent with the Land Use Element in  
16 that the property would be developed in accordance with the Community  
17 Development Foundation Component land use designations applied to the site by  
18 the General Plan, and in accordance with the "Community Center (C-C)" and  
19 "Light Industrial (L-I)" land use designations applied to the site by the Temescal  
20 Valley Area Plan.

21 B. Circulation Element

22 As part of the project, realignment of Temescal Canyon Road and improvements to  
23 Old Temescal Canyon Road North and Old Temescal Canyon Road South, beyond  
24 the northern and southern boundaries of the project site would provide consistency  
25 with the designations assigned to these roadways by the County General Plan  
26 Circulation Plan. The project's technical traffic report concludes that  
27 implementation of the project, in conjunction with planned improvements, would  
28

1 not degrade the level of service of any existing or intersection below an acceptable  
2 level; however, the contribution of traffic to freeway mainlines and to the I-15 on-  
3 ramps at Indian Truck Trail would be significant and unavoidable. Mitigation is  
4 not available for the project's impacts to freeway mainlines because no program  
5 exists to which Development Impact Fees for freeway impacts may be paid. For  
6 the cumulatively impacted intersections at the on-ramps to I-215 at Indian Truck  
7 Trail, impacts would remain significant due to physical constraints that prevent  
8 widening or modifying these intersections. The project is consistent with the  
9 General Plan Land Use Plan, and is thereby consistent with the traffic volumes  
10 envisioned by the General Plan Land use Plan. All required improvements that are  
11 directly attributable to the project would be constructed as part of the project and  
12 fair share costs would be contributed for improvements to affected off-site  
13 roadways through payment of the Transportation Uniform Mitigation Fees  
14 (TUMF) and Development Impact Fees (DIF).

15 The General Plan identifies a Regional Trail adjacent to the realigned Temescal  
16 Canyon Road. The project includes the construction of a dual-purpose six-foot  
17 sidewalk/bike lane, which would connect to existing community trail segments  
18 located north of Planning Areas 12A and 13B and south of Planning Areas 13C  
19 and 13D.

20  
21 C. Multipurpose Open Space Element

22 The project site is not identified for open space preservation by the General Plan or  
23 the MSHCP. The General Plan designates the site as a Community Development  
24 area for "Community Center (C-C)" and "Light Industrial (L-I)" uses. Vegetation  
25 on the project site is highly disturbed due to past mining and other uses on the site.  
26 The following state or federally listed plants and wildlife species were observed  
27 on-site: small-flowered microseris, San Diego tarplant, Coulter's matilija poppy,  
28 and least Bell's vireo. However, impacts to these species would be reduced to less

1 than significant levels with the mitigation measures identified in the EIR. The  
2 State Farmland Mapping and Monitoring Program (FMMP) identifies portions of  
3 the project site as containing areas of Local Important Farmland and Grazing Land,  
4 which are not farmland designations of concern for conversion to a non-  
5 agricultural land use. The site has been completely disturbed by past development  
6 and ongoing maintenance of fallow fields on-site and, as such, is not  
7 environmentally sensitive. The project site does contain significant cultural  
8 resource deposits, but mitigation has been provided to reduce such impacts to less  
9 than significant levels. In addition, the potential exists for the discovery of  
10 archaeological or paleontological resources during grading and construction and  
11 mitigation measures are presented in EIR No. 492, Section 4.5 to reduce impacts to  
12 below a level of significance. Additionally, the project site is located adjacent to I-  
13 15, an identified scenic corridor, although design guidelines included as part of the  
14 project would preclude significant impacts to this state eligible scenic highway.  
15 Although the site is mapped within a valuable mineral resource area and has been  
16 used in the past for mineral resource production, the site is proposed to be  
17 developed in accordance with the land use designations applied to the site by the  
18 General Plan and Temescal Valley Area Plan. In addition, mining uses are  
19 generally inconsistent with the open space and residential uses in the area, and  
20 conflicts with policies promoting the enhancement of aesthetic resources within  
21 identified scenic corridors (i.e., I-15).

22  
23 D. Safety Element

24 Any structures designated for development would be constructed in accordance  
25 with the California Building Code (CBC) and any site-specific conditions imposed  
26 by the County Geologist; thus insuring geologic safety. The project site is not  
27 located within a blowsand area, is not located within a dam inundation area, and  
28 would not conflict with any disaster preparedness plan. Compliance with the

1 requirements of the Riverside County Fire Department, and the required payment  
2 of mitigation fees pursuant to Ordinance 659.6 would insure fire safety. Lastly, the  
3 project does not include the use of or creation of hazardous materials with the  
4 exception of building materials and products that are not hazardous in small  
5 concentrations. EIR No. 492, Section 4.11 addresses remediation of potential  
6 hazardous wastes present on the site.

7 E. Noise Element

8 As indicated in Section 4.14 of EIR No. 492, noise impacts are not anticipated  
9 during construction or long-term on-site operations; however, interior noise levels  
10 for on-site buildings may exceed the County's interior noise standard established  
11 pursuant to Ordinance No. 847. EIR No. 492, Section 4.14 provides mitigation  
12 measures to ensure that interior noise levels are mitigated to below acceptable  
13 levels. With application of the required mitigation measures, the project would be  
14 consistent with the General Plan Noise Element.

15 F. Housing Element

16 The General Plan Land Use designation for the project site is "Community Center  
17 (C-C)" and "Light Industrial (L-I)". The project is consistent with the land use  
18 designations. Although the project site currently includes three occupied mobile  
19 homes, all of which would be removed during construction of the project, the  
20 removal of these homes would not create the need to build substantial amounts of  
21 replacement housing, as there is sufficient housing stock available in western  
22 Riverside County. In addition, the project does not propose housing. Therefore, no  
23 conflict with the Housing Element would occur with implementation of the project.  
24 The project also would not disrupt or divide any established community because  
25 the site is planned to be developed in accord with the land use designations  
26 assigned to the site by the General Plan.

27 G. Air Quality Element  
28

1 As disclosed in Section 4.4 of EIR No. 492, the project applicant would be required  
2 to implement mitigation measures intended to reduce direct air quality impacts to  
3 the greatest feasible extent. Implementation of the mitigation measures would  
4 ensure consistency with the Air Quality Element. Not unlike other development  
5 projects in Riverside County, and as disclosed in the SEIR prepared for the County  
6 General Plan (SCH No. 2002051143), direct and cumulative air quality impacts  
7 would remain significant and unmitigable. Although the project's contribution to  
8 air quality impacts is cumulatively significant, the mitigation measures presented in  
9 Section 4.4 of EIR No. 492 would reduce those impacts to the greatest extent  
10 possible, in conformance with SCAQMD, EPA, and CARB requirements.

11 H. Administration Element

12 The Administration Element contains information regarding the structure of the  
13 General Plan as well as general planning principles and a statement regarding the  
14 vision for Riverside County. No policy directives are included in this Element.

15 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the project is in conformance  
16 with the conservation requirements of the Western Riverside County Multiple Species Conservation Plan  
17 (MSHCP) in that:

18 A. The project site is located within the MSHCP Criteria Area within Cell Groups F,  
19 G, H, and I, and portions of the site are designated for open space conservation by  
20 the MSHCP. The project proposes to set aside 48.77 acres of land along the site's  
21 eastern and northern boundaries as an open space conservation area. This acreage  
22 would be conveyed to the RCA to be included in the MSHCP Conservation Area.  
23 The RCA determined through the project's HANS application process that the  
24 proposed on site reserve design is consistent with the conservation criteria for the  
25 affected Cell Groups.

26 B. Pursuant to Section 6.1.2 of the MSHCP, an assessment of potentially significant  
27 effects on Riparian/Riverine Areas and Vernal Pools, which includes identification  
28

1 and mapping of such areas located on the project site, is required if such resources  
2 are identified on the project site. The property supports 1.3 acres of mulefat scrub,  
3 14.46 acres of southern arroyo willow/mulefat scrub, 2.6 acres of eucalyptus  
4 woodland with arroyo willow understory, 4.75 acres of alluvial fan sage scrub  
5 (within drainage limits), and 3.49 acres of other riverine areas composed of  
6 unvegetated, non-native and upland vegetation communities. Additionally, mapped  
7 riparian/riverine habitat within the off-site impact area includes 0.1 acre of mulefat  
8 scrub, 1.0 acres of southern arroyo willow/mulefat scrub, and 0.17-acre of other  
9 riverine areas composed of unvegetated, non-native and upland vegetation  
10 communities. In total, 1.35 acres of mulefat scrub, 1.22 acres of arroyo  
11 willow/mulefat scrub, 2.6 acres of eucalyptus woodland with arroyo willow  
12 understory, 3.11 acres of alluvial fan sage scrub (within drainage limits), and 2.45  
13 acres of other riverine areas composed of unvegetated, non-native, and upland  
14 vegetation communities would be directly and permanently impacted by the project  
15 and cannot be avoided due to proposed realignment of Temescal Canyon Road and  
16 proposed drainage improvements to Coldwater Wash and Mayhew Wash. As  
17 required by the MSHCP, a DBESP was prepared for the project, which determined  
18 that the project, and its proposed mitigation measures for impacts to  
19 riparian/riverine habitats, represents biologically equivalent or superior  
20 preservation of habitats than would occur from complete avoidance. The DBESP  
21 reports that the proposed creation and enhancement of habitat within the on-site  
22 conservation area would produce a more diverse, healthy, self-sustaining  
23 community that can support and be accessed by more species, particularly species  
24 that may access these areas from Temescal Wash.

25  
26 C. Pursuant to Section 6.1.3 of the MSHCP, habitat assessments and/or focused  
27 surveys for certain Narrow Endemic plant species are required for properties within  
28 mapped survey areas. Narrow endemic species surveys identified the presence of

1 two special status species, the small-flowered microseris and Coulter's matilija  
2 poppy. Impacts to small-flowered microseris were determined to be less than  
3 significant because the site does not support clay soils identified for preservation by  
4 the MSHCP, the small patch identified on-site does not appear to satisfy any of the  
5 objectives for species conservation, the project site is not identified by the MSHCP  
6 as a known location for the species that should be conserved, and the patch of five  
7 to ten individuals observed does not constitute a locality with at least 1,000  
8 individuals as required by species conservation objective 3. As such, the project  
9 site is not identified for conservation under the MSHCP for this species. For  
10 Coulter's matilija poppy, only two patches were observed on-site but outside the  
11 Criteria Area. Because no Coulter's matilija poppy was found within the Criteria  
12 Area on the project site, the project site would not constitute a locality of Coulter's  
13 matilija poppy within the Conservation Area and therefore does not warrant  
14 conservation under the MSHCP.

15 D. Pursuant to Section 6.1.4 of the MSHCP, projects in close proximity to the MSHCP  
16 Conservation Area are required to incorporate mechanisms to address indirect  
17 effects to the MSHCP Conservation Area. The project site is located adjacent to  
18 the MSHCP Criteria Area or any MSHCP Preserve; however, mitigation measures  
19 for direct impacts have been incorporated within Section 4.6 of EIR No. 492.  
20 Thus, secondary edge effect impacts on the MSHCP Preserve would be reduced to  
21 less than significant levels.

22 E. Pursuant to Section 6.3.2 of the MSHCP, habitat assessments and/or focused  
23 surveys for certain additional plant and animal species are required for properties  
24 within mapped survey areas. The project site and its off-site improvement area are  
25 located in Criteria Area Species Survey Area 1, which requires habitat assessments  
26 for thread-leaved brodiaea, Davidson's saltscare, Parish's brittlescale, smooth  
27 tarplant, round-leaved filaree, Coulter's goldfields, and little mousetail. The July  
28

1 27, 2004 and September 2005 Rare Plant Surveys (see Appendices D2 and D3 to  
2 EIR No. 492) indicate that these species are not present on the site. Surveys  
3 conducted in 2007 on the site and in the off-site improvement areas (see Appendix  
4 D12) also produced negative results. The Project site and its off-site improvement  
5 area are also located within the survey area for the western burrowing owl.  
6 Focused surveys were conducted in 2004, 2005, 2006, and 2007, and a focused  
7 winter season survey was also conducted in 2005 (see Appendices D7, D8, D10,  
8 D12, and D9, respectively). The results of all of the surveys were negative.  
9 However, because the species is migratory and suitable habitat exists on the site  
10 and within the project's off-site improvement area, the burrowing owl has the  
11 potential to move onto the site prior to grading and development. With  
12 implementation of the mitigation measures contained in Section 4.6 of EIR No.  
13 492, potential impacts to this species would be reduced to a level below  
14 significance.

15 F. Pursuant to Section 6.4 of the MSHCP, fuel management is required to be  
16 considered. No fuel management is proposed within the Conservation Area.

17 **BE IT FURTHER RESOLVED** by the Board of Supervisors that SP No. 353 and TPM No.  
18 33285 are consistent with the County of Riverside General Plan as adopted by the Riverside County  
19 Board of Supervisors on October 7, 2003.

20 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it has reviewed and considered  
21 EIR No. 492 in evaluating the project, that EIR No. 492 is an accurate and objective statement that  
22 complies with the California Environmental Quality Act and reflects the County's independent judgment,  
23 and that EIR No. 492 is incorporated herein by this reference.

24 **BE IT FURTHER RESOLVED** by the Board of Supervisors that it **CERTIFIES** EIR No. 492  
25 and **ADOPTS** the Mitigation Monitoring and Reporting Plan specified therein.

26 **BE IT FURTHER RESOLVED** by the Board of Supervisors that SP No. 353, on file with the  
27 Clerk of the Board, including the final conditions of approval and exhibits, is hereby adopted as the  
28



1 Specific Plan of Land Use for the real property described and shown in the plan, and said real property  
2 shall be developed substantially in accordance with the plan, unless the plan is amended by the Board.

3 **BE IT FURTHER RESOLVED** by the Board of Supervisors that TPM No. 32885, on file with  
4 the Clerk of the Board, including the final conditions of approval and exhibits, is hereby approved for the  
5 real property described and shown on the map, and said real property shall be developed substantially in  
6 accordance with Tentative Parcel Map No. 32885, unless the map is amended by the Board.

7 **BE IT FURTHER RESOLVED** by the Board of Supervisors that copies of the SP No. 353 and  
8 TPM No. 32885 shall be placed on file in the Clerk of the Board, in the Office of the Planning Director,  
9 and in the Office of the Building and Safety Director, and that no applications for other development  
10 approvals shall be accepted for real property described and shown in the project, unless such applications  
11 are substantially in accordance herewith.

12 **BE IT FURTHER RESOLVED** by the Board of Supervisors that the custodians of the  
13 documents upon which this decision is based are the Clerk of the Board of Supervisors and the County  
14 Planning Department and that such documents are located at 4080 Lemon Street, Riverside, California.

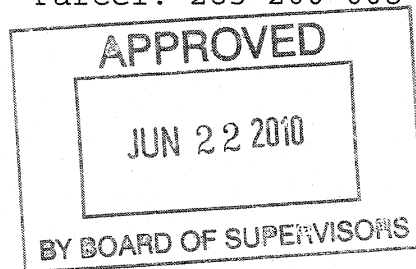
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# **CONDITIONS OF APPROVAL**



SPECIFIC PLAN Case #: SP00353

Parcel: 283-200-008



10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 SP - Hold Harmless

INEFFECT

The applicant or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY), its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning this SPECIFIC PLAN. The COUNTY will promptly notify the applicant of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 2 SP - Definitions

INEFFECT

The words identified in the following list that appear in all capitals in the attached conditions of Specific Plan No. 353 shall be henceforth defined as follows:

SPECIFIC PLAN = Specific Plan No. 353, Screencheck No.3.

CHANGE OF ZONE = Change of Zone No. 07365.

GPA = Comprehensive General Plan Amendment No. 815.

EIR = Environmental Impact Report No. 492.

10. EVERY. 3 SP - SP Document

INEFFECT

Specific Plan No. 353 shall include the following:

- a. Specific Plan Document, which shall include:
  - 1. Board of Supervisors Specific Plan Resolution including the Mitigation Reporting/Monitoring Program
  - 2. Conditions of Approval.
  - 3. Specific Plan Zoning Ordinance.
  - 4. Land Use Plan in both 8 1/2" x 11" black-and-white and 11" x 17" color formats.
  - 5. Specific Plan text.

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10. GENERAL CONDITIONS

10. EVERY. 3                      SP - SP Document (cont.)                      INEFFECT

6. Descriptions of each Planning Area in both graphical and narrative formats.

b. Final Environmental Impact Report No. 492 Document, which must include, but not be limited to, the following items:

1. Mitigation Monitoring/Reporting Program.
2. Draft EIR
3. Comments received on the Draft EIR either verbatim or in summary.
4. A list of person, organizations and public agencies commenting on the Draft EIR.
5. Responses of the County to significant environmental point raised in the review and consultation process.
6. Technical Appendices

If any specific plan conditions of approval differ from the specific plan text or exhibits, the specific plan conditions of approval shall take precedence.

10. EVERY. 4                      SP - Ordinance Requirements                      INEFFECT

The development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460 and state laws; and shall conform substantially with the adopted SPECIFIC PLAN as filed in the office of the Riverside County Planning Department, unless otherwise amended.

10. EVERY. 5                      SP - Limits of SP DOCUMENT                      INEFFECT

No portion of the SPECIFIC PLAN which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted specific plan. Notwithstanding to above, the design guidelines and development standards of the SPECIFIC PLAN for hillside development and grading shall apply in place of more general County guidelines and standards.

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10. GENERAL CONDITIONS

BS GRADE DEPARTMENT

10.BS GRADE. 2                    SP\*GSP-1 ORD. NOT SUPERSEDED                    INEFFECT

Anything to the contrary, proposed by this Specific Plan, shall not supersede the following: All grading shall conform to the California Building code, County General Plan, Ordinance 457 and all other relevant laws, rules and regulations governing grading in Riverside County.

10.BS GRADE. 3                    SP\*GSP-2 GEO/SOIL TO BE OBEYED                    INEFFECT

All grading shall be performed in accordance with the recommendations of the included -County approved- geotechnical/soils reports for this Specific Plan.

10.BS GRADE. 4                    SP-ALL CLEARNC'S REQ'D B-4 PMT                    INEFFECT

Prior to issuance of a grading permit, all certifications affecting grading shall have written clearances. This includes, but is not limited to, additional environmental assessments, erosion control plans, geotechnical/soils reports, and departmental clearances.

10.BS GRADE. 5                    SP\*-NO GRADING & SUBDIVIDING                    INEFFECT

If grading of the entire - or any portion there of - Specific Plan site is proposed, UNDER A SUBDIVISION OR LAND USE CASE ALREADY APPROVED FOR THIS SPECIFIC PLAN, at the same time that application for further subdivision of any of its parcels is being applied for, an exception to Ordinance 460, Section 4.5.B, shall be obtained from the Planning Director, prior to issuance of the grading permit (Ord. 460 Section 3.1). THIS EXCEPTION WILL NOT APPLY TO ANY CASE HAVING ONLY AN APPROVED SPECIFIC PLAN.

E HEALTH DEPARTMENT

10.E HEALTH. 1                    SP - CONNECT TO LLWD SEWER                    INEFFECT

The Department of Environmental Health (DEH) has received and reviewed the SP 353 for the CD:LI development and have no objections.  
LLWD(purveyor) water and sewer should be available for this development plan.  
PRIOR to regular submittal to the Building and Safety Department will serve letters from the purveyor will be required.

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10. GENERAL CONDITIONS

10.E HEALTH. 1                    SP - CONNECT TO LLWD SEWER (cont.)                    INEFFECT

Food facilities will be required to Food Plan check their plans with the DEH PRIOR to Building permit issuance.

10.E HEALTH. 2                    HAZMAT BUSINESS EMERGENCY PLAN                    INEFFECT

A business plan will be required for any facility that stores hazardous materials greater than 55 gallons, 200 cubic feet, or 500 pounds, or stores any acutely hazardous materials or extremely hazardous substances.

10.E HEALTH. 3                    ABANDON WELLS AND SEPTIC                    INEFFECT

Any existing wells and/or septic systems be properly abandoned under permit from the Department of Environmental Health (DEH) prior to the issuance of a grading permit.

EPD DEPARTMENT

10.EPD. 1                    SP - UWIG REQUIREMENTS                    INEFFECT

General

The project must avoid indirect impacts to conserved habitats and must be compliant with section 6.1.4 of the MSHCP. The following guidelines must be incorporated into the project design.

\* Drainage

Proposed Developments in proximity to the MSHCP Conservation Area shall incorporate measures, including measures required through the National Pollutant Discharge Elimination System (NPDES) requirements, to ensure that the quantity and quality of runoff discharged to the MSHCP Conservation Area is not altered in an adverse way when compared with existing conditions. In particular, measures shall be put in place to avoid discharge of untreated surface runoff from developed and paved areas into the MSHCP Conservation Area. Stormwater systems shall be designed to prevent the release of toxins, chemicals, petroleum products, exotic plant materials or other elements that might degrade or harm biological resources or ecosystem processes within the MSHCP Conservation Area. This can be accomplished using a variety of methods including natural detention basins, grass swales or mechanical trapping devices. Regular maintenance shall occur to ensure effective operations of runoff control

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10. GENERAL CONDITIONS

10.EPD. 1

SP - UWIG REQUIREMENTS (cont.)

INEFFECT

systems.

\* Toxics

Land uses proposed in proximity to the MSHCP Conservation Area that use chemicals or generate bioproducts such as manure that are potentially toxic or may adversely affect wildlife species, Habitat or water quality shall incorporate measures to ensure that application of such chemicals does not result in discharge to the MSHCP Conservation Area. Measures such as those employed to address drainage issues shall be implemented.

\* Lighting

Night lighting shall be directed away from the MSHCP Conservation Area to protect species within the MSHCP Conservation Area from direct night lighting. Shielding shall be incorporated in project designs to ensure ambient lighting in the MSHCP Conservation Area is not increased.

\* Noise

Proposed noise generating land uses affecting the MSHCP Conservation Area shall incorporate setbacks, berms or walls to minimize the effects of noise on MSHCP Conservation Area resources pursuant to applicable rules, regulations and guidelines related to land use noise standards. For planning purposes, wildlife within the MSHCP Conservation Area should not be subject to noise that would exceed residential noise standards.

\* Invasives

When approving landscape plans for Development that is proposed adjacent to the MSHCP Conservation Area, Permittees shall consider the invasive, non-native plant species listed in Table 6-2 and shall require revisions to landscape plans (subject to the limitations of their jurisdiction) to avoid the use of invasive species for the portions of Development that are adjacent to the MSHCP Conservation Area. Considerations in reviewing the applicability of this list shall include proximity of planting areas to the MSHCP Conservation Areas, species considered in the planting plans, resources being protected within the MSHCP Conservation Area and their relative sensitivity to invasion, and barriers to plant and seed dispersal, such as walls, topography and other features.

TABLE 6-2

PLANTS THAT SHOULD BE AVOIDED

ADJACENT TO THE MSHCP CONSERVATION AREA

BOTANICAL NAME-COMMON NAME

Acacia spp. (all species)-acacia

Achillea millefolium-var. millefolium common yarrow

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10. GENERAL CONDITIONS

10.EPD. 1

SP - UWIG REQUIREMENTS (cont.) (cont.)

INEFFECT

Ailanthus altissima-tree of heaven  
Aptenia cordifolia-red apple  
Arctotheca calendula-cape weed  
Arctotis spp. (all species & hybrids)-African daisy  
Arundo donax-giant reed or arundo grass  
Asphodelus fistulosus-asphodel  
Atriplex glauca-white saltbush  
Atriplex semibaccata-Australian saltbush  
Carex spp. (all species\*)-sedge  
Carpobrotus chilensis-ice plant  
Carpobrotus edulis-sea fig  
Centranthus ruber -red valerian  
Chrysanthemum coronarium-annual chrysanthemum  
Cistus ladanifer-(incl. hybrids/varieties) gum rockrose  
Cortaderia jubata [syn.C. Atacamensis]-jubata grass, pampas grass  
Cortaderia dioica [syn. C. sellowana]-pampas grass  
Cotoneaster spp. (all species)-cotoneaster  
Cynodon dactylon-(incl. hybrids varieties) Bermuda grass  
Cyperus spp. (all species\*)-nutsedge, umbrella plant  
Cytisus spp. (all species)-broom  
Delosperma 'Alba' -white trailing ice plant  
Dimorphotheca spp. (all species)-African daisy, Cape marigold  
Drosanthemum floribundum-rosea ice plant  
Drosanthemum hispidum-purple ice plant  
Eichhornia crassipes-water hyacinth  
Elaeagnus angustifolia-Russian olive  
Eucalyptus spp. (all species)-eucalyptus or gum tree  
Eupatorium coelestinum [syn. Ageratina sp.]-mist flower  
Festuca arundinacea-tall fescue  
Festuca rubra-creeping red fescue  
Foeniculum vulgare-sweet fennel  
Fraxinus uhdei-(and cultivars) evergreen ash, shamel ash  
Gaura (spp.) (all species)-gaura  
Gazania spp. (all species & hybrids)-gazania  
Genista spp. (all species)-broom  
Hedera canariensis-Algerian ivy  
Hedera helix-English ivy  
Hypericum spp. (all species)-St. John's Wort  
Ipomoea acuminata-Mexican morning glory  
Lampranthus spectabilis-trailing ice plant  
Lantana camara-common garden lantana  
Lantana montevidensis [syn. L. sellowiana]-lantana  
Limonium perezii -sea lavender  
Linaria bipartita-toadflax



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10. GENERAL CONDITIONS

10.EPD. 1 SP - UWIG REQUIREMENTS (cont.) (cont.) (cont.INEFFECT

Lolium multiflorum-Italian ryegrass  
Lolium perenne -perennial ryegrass  
Lonicera japonica-(incl. 'Halliana') Japanese honeysuckle  
Lotus corniculatus-birdsfoot trefoil  
Lupinus arboreus-yellow bush lupine  
Lupinus texanus-Texas blue bonnets  
Malephora crocea-ice plant  
Malephora luteola -ice plant  
Mesembryanthemum nodiflorum-little ice plant  
Myoporum laetum-myoporum  
Myoporum pacificum-shiny myoproum  
Myoporum parvifolium-(incl. 'Prostratum') ground cover  
myoporum  
Oenothera berlandieri-Mexican evening primrose  
Olea europea-European olive tree  
Opuntia ficus-indica-Indian fig  
Osteospermum spp. (all species)-trailing African daisy,  
African daisy,  
Oxalis pes-caprae-Bermuda buttercup  
Parkinsonia aculeate-Mexican palo verde  
Pennisetum clandestinum-Kikuyu grass  
Pennisetum setaceum-fountain grass  
Phoenix canariensis-Canary Island date palm  
Phoenix dactylifera-date palm  
Plumbago auriculata-cape plumbago  
Polygonum spp. (all species)-knotweed  
Populus nigra 'italica-' Lombardy poplar  
Prosopis spp. (all species\*)-mesquite  
Ricinus communis-castorbean  
Robinia pseudoacacia-black locust  
Rubus procerus-Himalayan blackberry  
Sapium sebiferum-Chinese tallow tree  
Saponaria officinalis-bouncing bet, soapwart  
Schinus molle-Peruvian pepper tree, California pepper  
Schinus terebinthifolius-Brazilian pepper tree  
Spartium junceum-Spanish broom  
Tamarix spp. (all species)-tamarisk, salt cedar  
Trifolium tragiferum-strawberry clover  
Tropaelolum majus-garden nasturtium  
Ulex europaeus-prickly broom  
Vinca major-periwinkle  
Yucca gloriosa -Spanish dagger  
An asterisk (\*) indicates some native species of the genera  
exist that may be appropriate.

Sources: California Exotic Pest Plant Council, United

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10. GENERAL CONDITIONS

10.EPD. 1 SP - UWIG REQUIREMENTS (cont.) (cont.) (cont.) INEFFECT

States Department of Agriculture-Division  
of Plant Health and Pest Prevention Services, California  
Native Plant Society,  
Fremontia Vol. 26 No. 4, October 1998, The Jepson Manual;  
Higher Plants of California,  
and County of San Diego-Department of Agriculture.

\* Barriers

Proposed land uses adjacent to the MSHCP Conservation Area shall incorporate barriers, where appropriate in individual project designs to minimize unauthorized public access, domestic animal predation, illegal trespass or dumping in the MSHCP Conservation Area. Such barriers may include native landscaping, rocks/boulders, fencing, walls, signage and/or other appropriate mechanisms.

\* Grading/Land Development

Manufactured slopes associated with proposed site development shall not extend into the MSHCP Conservation Area.

FIRE DEPARTMENT

10.FIRE. 1 SP-#71-ADVERSE IMPACTS INEFFECT

The proposed project will have a cumulative adverse impact on the Fire Department's ability to provide an acceptable level of service. These impacts include an increased number of emergency and public service calls due to the increased presence of structures and population. The project proponents/developers shall participate in the development Impact fee program as adopted by the Riverside County Board of Supervisors to mitigate a portion of these impacts. This will provide funding for capitol improvements such as land/equipment purchases and fire station construction. The Fire Department reserves the right to negotiate developer agreements associated with the development of land and/or construction of fire facilities to meet service demands through the regional integrated fire protection response system.

10.FIRE. 2 SP-#86-WATER MAINS INEFFECT

All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance 460 and/or No.787, subject to the approval by the Riverside County Fire Department.

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10. GENERAL CONDITIONS

10.FIRE. 3                      SP-#95-HAZ FIRE AREA                      INEFFECT

The specific plan is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed on lots created by this project shall comply with the special construction provisions contained in Riverside County Ordinance 787.

10.FIRE. 4                      SP-#96-ROOFING MATERIAL                      INEFFECT

All buildings shall be constructed with fire retardant roofing material as described in section 1503 of the Uniform Building Code. Any wood shingles or shakes shall have a Class B rating and shall be approved by the Fire Department prior to installation.

10.FIRE. 6                      SP-#47 SECONDARY ACCESS                      INEFFECT

In the interest of Public Safety, the project shall provide an Alternate or Secondary Access(s) as stated in the Transportation Department Conditions. Said Alternate or Secondary Access(s) shall have concurrence and approval of both the Transportation and Fire Departments and shall be maintained through out any phasing.

10.FIRE. 7                      SP-#100-FIRE STATION                      INEFFECT

Based on national fire standards, one new fire station and/or engine company could be required for every 2,000 new dwelling units, or 3.5 million square feet of commercial/industrial occupancy. Given the project's proposed development plan, up to 1 fire stations may be needed to meet anticipated service demands, given project densities.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1                      SP- FLOOD HAZARD REPORT                      INEFFECT

Specific Plan No. 353 (Serrano Commerce Center) proposes to develop 489 acres for commercial, industrial and retail. The project is located in the Temescal Canyon area easterly of Interstate 15, northeasterly of Temescal Canyon Road, westerly of Temescal Wash and southerly of Clay Canyon Road. This project is being reviewed in conjunction with Parcel Map No. 32885, which encompasses the majority of the SP, and Environmental Impact Report No. 492.

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10. GENERAL CONDITIONS

10.FLOOD RI. 1

SP- FLOOD HAZARD REPORT (cont.)

INEFFECT

The site is subject to offsite runoff from three large watersheds. The northern and eastern sides of the site are within the 100 year FEMA floodplain of Temescal Wash as shown on Panel No. 06065C1390G, of the Flood Insurance Rate Maps (FIRM) dated August 8, 2008 issued in conjunction with the National Flood Insurance Program (NFIP) by the Federal Emergency management Agency (FEMA). Mayhew Canyon Wash impacts the southern end of the site while Coldwater Canyon Wash impacts the northwestern portion of the site. Offsite runoff from freeway culverts also impacts the site.

The applicant submitted a drainage plan, (See Conceptual Drainage and Phasing Plan Figure 2-7 in the SP) in which Coldwater Canyon and Mayhew Canyon Washes would be improved from the I-15 freeway bridge to Temescal Wash. The drainage plan also proposes a system of storm drains that would collect and convey onsite runoff to treatment control BMPs and then discharge into Temescal Wash, Cold Water Canyon Wash or Mayhew Canyon Wash as appropriate. Offsite runoff from freeway culvers would also be collected and discharged into the proposed storm drains/channels and/or directly into Temescal Wash. A study supporting the conceptual drainage plan was submitted to the District and found to be acceptable for this stage of development. It shall be noted that Coldwater Canyon Wash and Mayhew Canyon Wash would be constructed offsite. The project proponent has submitted a letter from the affected property owners indicating their willingness to allow the construction of Cold Water Canyon Wash Channel on their property. To date, a similar permission has not been submitted to the District for the construction of Mayhew Canyon Wash. The District would not issue recommended conditions of approval for development proposals within Planning Areas 10, 11 and 13 unless a letter from the property owner allowing the offsite improvements to Mayhew Canyon is submitted to the District.

The Specific Plan proposes water quality impact mitigation measures. These will be refined as individual development proposal come in and will have to be consistent with our MS4 permit requirements in effect at the time the individual cases are submitted.

According to the Specific Plan, treated runoff would be discharged into underground storage areas; dubbed Storm

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13:53

Riverside County LMS  
CONDITIONS OF APPROVAL

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10. GENERAL CONDITIONS

10.FLOOD RI. 1                    SP- FLOOD HAZARD REPORT (cont.) (cont.)                    INEFFECT

Water Recovery and Storage System (SWRSS) over which will be constructed buildings. The underground storage areas would be created by filling in steep canyon areas with large rocks generated during grading. This stored water would be used for landscape irrigation. In concept, the District is supportive of the SWRSS as a water conservation element. However, the SWRSS would not be considered a flood control element or a water quality feature since its continuous maintenance and viability is unclear at this time.

Full implementation of the drainage plan will be subject to market conditions. Thus, the District will write specific recommended conditions of approval for the Parcel Map and/or any subsequent cases filed within the Specific plan boundary. Interim facilities may be proposed until full implementation of the drainage plan but would be subject to the approval of the Chief Engineer-General Manager of the Flood Control District.

PLANNING DEPARTMENT

10.PLANNING. 1                    SP - GEO01759                    INEFFECT

County Geologic Report (GEO) No. 1759, submitted for the following cases (PM32885 & SP00353), was prepared by Neblett & Associates, Inc. and is entitled: "Summary of Engineering Geologic Findings, Input to EIR for Preliminary Feasibility, MCP-Serrano Project, Temescal Canyon / Clay Canyon Roads, Corona Area, Riverside County, California", dated March 15, 2004. In addition, Neblett & Associates prepared the following:

"Response to County of Riverside Review Comments, County Geologic Report No. 1759, Serrano Commerce Center, EIR 492, Specific Plan 353, Corona Area, Riverside County, California", dated May 22, 2008 and

"Second Response to County of Riverside Review Comments, County Geologic Report No. 1759, Serrano Commerce Center, EIR 492, Specific Plan 353, Corona Area, Riverside County, California", dated September 30, 2008.

"Summary Statement - Potential for Active Faulting and Surface Rupture Potential, Serrano SP Project, County of Riverside EIR 492 / SP 353", dated October 15, 2008.

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10. GENERAL CONDITIONS

10.PLANNING. 1 SP - GEO01759 (cont.)

INEFFECT

These documents are herein incorporated as a part of GEO No. 1759.

GEO No. 1759 concluded:

1.The site is located within a Mineral Resource Zone and contains local areas designated MRZ-2a and MRZ-2b. The mineral product is principally clay (both common and kaolinite). Much of onsite mineral resources have already been identified and/or mined.

2.The potential for active faulting onsite is considered to be low. The potential for surface rupture is also considered to be low. No structural setback will be required.

3.Liquefaction is considered to be a hazard within the alluvial units associated with the washes on the site. No commercial structures are proposed in the areas where liquefaction is a concern. Flood control channel improvements, a portion of the re-alignment of Temescal Canyon Road, and a culvert will transgress some portion of the wash areas where liquefaction is a concern.

4.Wedge failures due to the intersection of sets of joints may be consideration for cut slope stability within the heavily jointed bedrock areas.

5.The risks presented by seiches, tsunami, and ground lurching are considered remote.

GEO No. 1759 recommended:

1.Selective grading may potentially be performed to extract any economically important clay and or to utilize the material for onsite construction during grading.

2.An Engineering Geologist will monitor all grading operations to evaluate and map the conditions exposed by grading and confirm that no active faulting exists.

3.Liquefaction mitigation methods include removal of unsuitable soils and replacement with compacted fill, specialized foundations, and the utilization of geogrid reinforcement.

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10. GENERAL CONDITIONS

10.PLANNING. 1            SP - GEO01759 (cont.) (cont.)

INEFFECT

4.Mitigation of possible wedge failures includes various methods such as stabilization fill prisms, rock bolting and rock mesh placement.

GEO No. 1759 satisfies the requirement for a Geologic Study for Planning /CEQA purposes for this specific plan and associated parcel map. GEO No. 1759 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for entitlement of any implementing project (tract map, plot plan, CUP, etc.) or for issuance of any grading permit. Additional studies and reporting will be required for all implementing projects. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 2            SP - IF HUMAN REMAINS FOUND

INEFFECT

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

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10. GENERAL CONDITIONS

10.PLANNING. 3

SP - INADVERTANT ARCHAEO FIND

INEFFECT

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3. Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 4

SP - MAINTAIN AREAS & PHASES

INEFFECT

All planning area and phase numbers shall be maintained throughout the life of the SPECIFIC PLAN, unless changed through the approval of a specific plan amendment or specific plan substantial conformance accompanied by a revision to the complete specific plan document.



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10. GENERAL CONDITIONS

10.PLANNING. 5                    SP - NO P.A. DENSITY TRANSPER                    INEFFECT

Density transfers between Planning Areas within the SPECIFIC PLAN shall not be permitted, except through the Specific Plan Amendment process.

In this commercial/industrial SPECIFIC PLAN, each Planning Area (PA) has a "Target" FAR count. Each PA also has a Land Use Designation FAR Range. The Target FAR count is an estimate used to create a total square foot maximum for the entire SPECIFIC PLAN. However, the target for each PA does not limit the total FAR in a PA. A PA is permitted to build over the Target density so long as the PA total unit count does not exceed the top of its Land Use Designation range. In no case shall the SPECIFIC PLAN maximum total square footage (6,773,144) be exceeded. Per the SPECIFIC PLAN Trips may be transferred, see the SPECIFIC PLAN for details.

10.PLANNING. 6                    SP - LANDSCAPING PLANS                    INEFFECT

All landscaping plans shall be prepared in accordance with Ordinance No. 859 (as adopted and any amendments thereto), the Riverside County Guide to California Landscaping, and Ordinance No. 348, Section 18.12.

10.PLANNING. 7                    SP - BERMS ALONG REG TRAIL                    INEFFECT

Berms shall be used whenever possible between the regional trail, which spans the eastern edge of the development, and the development.

\*This condition was added at the hearing at the request of the Board.

TRANS DEPARTMENT

10.TRANS. 1                        SP - SP353/TS CONDITIONS                    INEFFECT

The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. We generally concur with the findings relative to traffic impacts.

The Comprehensive General Plan circulation policies require a minimum of Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas

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10. GENERAL CONDITIONS

10.TRANS. 1

SP - SP353/TS CONDITIONS (cont.)

INEFFECT

at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.

The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions.

I-15 NB Ramps (NS) at:  
Weirick Road (EW) (Intersection # 4 in the traffic study)

I-15 SB Ramps (NS) at:  
Weirick Road (EW) (Intersection # 1 in the traffic study)

I-15 NB Ramps (NS) at:  
Temescal Canyon Road (EW) (Intersection # 5 in the traffic study)

I-15 SB Ramps (NS) at:  
Temescal Canyon Road (EW) (Intersection # 2 in the traffic study)

Temescal Canyon Road (NS) at:  
Lawson Road (EW) (Intersection # 7 in the traffic study)

Temescal Canyon Road (NS) at:  
Trilogy Parkway (EW) (Intersection # 8 in the traffic study)

Temescal Canyon Road (NS) at:  
Weirick Road (EW) (Intersection # 9 in the traffic study)

Temescal Canyon Road (NS) at:  
Temescal Canyon Road Loop North (EW) (Intersection # 10 in the traffic study)

Temescal Canyon Road (NS) at:  
Temescal Canyon Road Loop South (EW) (Intersection # 15 in the traffic study)

Campbell Ranch Road (NS) at:  
Temescal Canyon Road (EW) (Intersection # 17 in the traffic study)

Project North Access (NS) at:

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10. GENERAL CONDITIONS

10.TRANS. 1                      SP - SP353/TS CONDITIONS (cont.) (cont.)                      INEFFECT

Temescal Canyon Road (EW) (Intersection # 18 in the traffic study)

Project South Access (NS) at:  
Temescal Canyon Road (EW) (Intersection # 14 in the traffic study)

Temescal Canyon Road (NS) at:  
Project North West Driveway (EW) (Intersection # 19 in the traffic study)

Temescal Canyon Road (NS) at:  
Project North East Driveway (EW) (Intersection # 20 in the traffic study)

Temescal Canyon Road (NS) at:  
Street A/Street B (EW) (Intersection # 11 in the traffic study)

Temescal Canyon Road (NS) at:  
Project North Central West Driveway (EW) (Intersection # 21 in the traffic study)

Temescal Canyon Road (NS) at:  
Project North Central East Driveway (EW) (Intersection # 22 in the traffic study)

Temescal Canyon Road (NS) at:  
Street B/Street C (EW) (Intersection # 12 in the traffic study)

Temescal Canyon Road (NS) at:  
Project South Central West Driveway (EW) (Intersection # 23 in the traffic study)

Temescal Canyon Road (NS) at:  
Project South Central East Driveway (EW) (Intersection # 24 in the traffic study)

Temescal Canyon Road (NS) at:  
Street D/Street E (EW) (Intersection # 13 in the traffic study)

Temescal Canyon Road (NS) at:  
Project South West Driveway (EW) (Intersection # 25 in the traffic study)

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10. GENERAL CONDITIONS

10.TRANS. 1 SP - SP353/TS CONDITIONS (cont.) (cont.) (conINEFFECT

Temescal Canyon Road (NS) at:  
Project South East Driveway (EW) (Intersection # 26 in the traffic study)

A finding of overriding considerations will be needed at the interchange of I-15 and Indian Truck Trail to allow for temporary unsatisfactory Level of Service conditions. The County of Riverside and Caltrans are cooperating to make improvements at this interchange, but the improvements may not be completed until after the initial phase of the Serrano SP generates a level of traffic that would trigger the need for improvements. The affected intersections are:

I-15 SB Ramps (NS) at:  
Indian Truck Trail (EW) (Intersection # 3 in the traffic study)

I-15 NB Ramps (NS) at:  
Indian Truck Trail (EW) (Intersection # 6 in the traffic study)

Temescal Canyon Road (NS) at:  
Indian Truck Trail (EW) (Intersection # 16 in the traffic study)

After the completion of the County/Caltrans improvements at the interchange of I-15 and Indian Truck Trail, as development continues at the Serrano SP, further improvements in the interchange area may be necessary. Such further improvements to achieve satisfactory levels of service are not considered practical, necessitating a finding of overriding considerations for the following intersections in the interchange area:

I-15 SB Ramps (NS) at:  
Indian Truck Trail (EW) (Intersection # 3 in the traffic study)

Temescal Canyon Road (NS) at:  
Indian Truck Trail (EW) (Intersection # 6 in the traffic study)

The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of

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10. GENERAL CONDITIONS

10.TRANS. 1                    SP - SP353/TS CONDITIONS (cont.) (cont.) (conINEFFECT  
service.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1                SP - 90 DAYS TO PROTEST    INEFFECT

The applicant has ninety (90) days from the date of the approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations, and/or exactions imposed on this project as a result of the approval or conditional approval of this project.

30. PRIOR TO ANY PROJECT APPROVAL

EPD DEPARTMENT

30.EPD. 1                    SP - EPD    INEFFECT

MSHCP REQUIREMENTS SHALL BE APPLIED TO ALL SUBSEQUENT PROJECTS ASSOCIATED WITH THE SPECIFIC PLAN.

30.EPD. 2                    SP - CONSERVATION DEDICATION    INEFFECT

The following condition shall be added to all projects prior to project approval.

The area mapped as "P.A. 12, OPEN SPACE, 48.77 AC" on Figure 1-1 of SP00353, Screencheck #3, Dated 2/19/09 shall be offered, in its entirety, for dedication to Western Riverside County Regional Conservation Authority (RCA) or other conservation entity approved by the Environmental Programs Department, as County directs or authorizes, and accepted by that entity prior to issuance of any grading permit, or the recordation of a map. Easements allowing for the management of fuel modification areas or detention basins shall not be accepted.

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30. PRIOR TO ANY PROJECT APPROVAL

FLOOD RI DEPARTMENT

30.FLOOD RI. 1                    SP- SUBMIT WQMP                    INEFFECT

A preliminary project specific Water Quality Management Plan (WQMP) shall be submitted to the District for review and approval prior to any project approval. The WQMP shall be prepared consistent with the County's MS4 permit requirement in effect at the time the project is submitted.

30.FLOOD RI. 7                    SP- LETTER OF ASSURANCE                    INEFFECT

A letter of assurance consistent with Ordinance 460.3.2.J allowing offsite improvement shall be provided.

PLANNING DEPARTMENT

30.PLANNING. 1                    SP - ARCHAEO M/M PROGRAM                    INEFFECT

"PRIOR TO THE ISSUANCE OF GRADING PERMITS, the project applicant shall enter into an agreement with a qualified archaeologist certified by the County. This agreement shall include, but not be limited to, the preliminary mitigation and monitoring procedures to be implemented during the process of grading, as found in the EIR. A copy of said agreement shall be submitted to the Planning Department. No grading permits will be issued unless the preliminary mitigation and monitoring procedures required prior to grading permits as described in the EIR are substantially complied with."

Tribal monitoring shall be assigned to the Pechanga Band of Luiseno Indians pursuant their request.

Remaining Requirements:

Prior to any clearing and grubbing and/or earth moving activities, a qualified archaeologist, retained by the project proponent and approved by the County, shall review the approved development plan. The archaeologist shall conduct any pre-construction work required and participate in a pre-construction project meeting with development staff and construction operators to ensure an understanding of the mitigation measures required during construction.

Archaeological site P-33-000034 - The Petroglyph Site, shall be avoided and preserved with a 50 meter buffer

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 1 SP - ARCHAEO M/M PROGRAM (cont.)

INEFFECT

surrounding the site.

Archaeological Site P-33-000108 - Temporary or Seasonal Habitation Site - This site could not be relocated. Once brushing/grubbing of the area where this site is recorded, the area shall be resurveyed by the Project Archaeologist and tribal monitor to search for any evidence of this cultural resource. If site indicators are found, a Phase II Significance Testing program shall be conducted in consultation with the Pechanga Band of Luiseno Indians. If no subsurface remains are identified, site monitoring shall continue during all earth-moving activities.

Archaeological Site P-33-003832 - AT&SF Rail Line - This site is significant at a local level for its association with the economic development of the region and the study area. The railroad bed, culvert, and loading bin shall be documented through archival quality photography if they are to be impacted by the proposed project. Copies of the photographs shall be given to the Corona Library, the Eastern Information Center, the County Archaeologist, and the County of Riverside Parks Department.

Archaeological Site P-33-006441 - Third Serrano Adobe and the A. A. Lathrop House - During to any clearing or grubbing within the area of these two structures, a historic archaeologist shall survey and monitor during any grading the former locations and nearby vicinities of these buildings. Should remains of either house be identified, they shall be evaluated for significance, including subsurface testing methods if necessary. If the remains are determined to be significant, appropriate mitigation measures shall be implemented, and can include avoidance and preservation, or data recovery, followed by a report interpreting the findings for the public benefit. A Modified grading program that accommodates a slower, controlled removal of soil (four-inches or less at a time) in the vicinity of these two site areas is required.

Archaeological Site P-33-004111 and P-33-006438 Serrano Tanning Vats - The tanning vats are currently located on the shoulder of Old TemescalCanyon road, jsut east of the Interstate 15 north off-ramp. According to the California Office of Historic Preservation (OHP, the Vats can be removed and/or reocated as they are not in their original location. The Vats were relocated to their current location

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 1 SP - ARCHAEO M/M PROGRAM (cont.) (cont.) INEFFECT

by members of the Billy Holcomb Chapter of E. Clampus Vitus although the current property and the Vats are owned by MCP Industries. Two options have been identified for

The Vats:

Option A: Best efforts should be made to contact E. Clampus Vitus to inform them that the Tanning Vats will be impacted by the proposed development. They shall be provided the option of collecting the CA Landmark plaque, as they provided funding for it, or allowing the plaque to remain with the Vats. They should also be provided the option of relocating the Vats. In the event that E. Clampus Vitus cannot be contacted or is uninterested, relocation be performed by the Property Owner. If relocation is chosen, either by E. Clampus Vitus and/or by the Property Owner, a suitable location shall be selected near the original location and the official State-approved forms must be submitted to the OHP to reassess the CA landmark status. In the event that the Landmark status is approved, the Vats shall be relocated immediately and either the E. Clampus vitua or a new plaque provided by the Property Owner reinstated. In the event that the Landmark status is denied, the Property Owner shall otherwise provide appropriate mitigation for the planned impact to the Vats, such as relocating them to an area for their historic interpretation value to the public.

Option B: Removal with Relocation and Relinquishment of CA Landmark Status - Best efforts shall be made to contact E. Clampus Vitus to inform them that the Tanning Vats will be impacted by the proposed development. They shall be provided the option of collecting the CA Landmark plaque, as they provided the funding for it, or allowing the plaque to remain with the Vats. If the Vats are not to be relocated to a suitable area near to their original location, the location is unknown or the area is developed or planned for development, the following mitigation measure may be applied: (1) donation of the Vats to a local museum or historical society who would be willing to display the artifacts or, (2) if an appropriate museum or historical society is not located, the Vats may be suitably displayed within the proposed development. Presentation at a museum, historical society or at a secondary place within the property will relinquish the CA Landmark status of the artifacts. The current nomenclature of the Landmark would transfer from "the Actual Location of..." to "the Site



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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 1                    SP - ARCHAEO M/M PROGRAM (cont.) (cont.) (conINEFFECT

of..." on all official forms. As a result. the Property Owner shall provide for a plaque to be prominently displayed at or near the location of the removed Vats indicating this is "The Site of CA Landmark #186" with an appropriate description of the Vats and their importance to the Community, and where they can be viewed.

30.PLANNING. 2                    SP - ARCHAEOLOGIST RETAINED                    INEFFECT

Prior to the approval of any land division or development permit (use permit, plot plan, etc.), a condition of approval shall be applied to the land division or development permit to ensure that the unique archaeological resources identified in the Cultural Resources Report prepared as part of this Specific Plan's environmental documentation have been adequately addressed. The condition shall read as follows:

Prior to the issuance of grading permits, a qualified archaeologist shall be retained by the land divider/permittee for archaeological monitoring and mitigation services for the proposed grading with respect to potential impacts to unique archaeological resources. Pre-grading meetings between the archaeologist, a Native American observer, and the excavation and grading contractor shall take place for each grading permit issued. During grading operations, when deemed necessary in the professional opinion of the retained archaeologist (and/or as determined by the Planning Director), the archaeologist, the archaeologist's on-site representative(s) and the Native American Observer shall actively monitor all project related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of unique archaeological resources. Prior to the issuance of grading permits, a copy of a fully executed contract for archaeological monitoring and mitigation services, including the NAME, ADDRESS and TELEPHONE NUMBER of the retained archaeologist shall be submitted to the Planning Department and the B&S Grading Division.

30.PLANNING. 3                    SP - IF HUMAN REMAINS FOUND                    INEFFECT

Prior to the approval of any land division or development permit (use permit, plot plan, etc.), a condition of approval shall be applied to the land division or

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 3 SP - IF HUMAN REMAINS FOUND (cont.)

INEFFECT

development permit, and shall read as follows:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resource Code section 5097.98. The County Coroner shall be notified of the find immediately. If the remains are determined to be prehistoric, the coroner shall notify the Native American Heritage Commission, which will determine and notify the appropriate NATIVE AMERICAN TRIBE who is the most likely descendent. The descendent shall inspect the site of the discovery and make a recommendation as to the appropriate mitigation. After the recommendations have been made, the land divider, a Native American Tribe representative, and a County representative shall meet to determine the appropriate mitigation measures and corrective actions to be implemented.

30.PLANNING. 5 SP - GEOLOGIC STUDY

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO SCHEDULING THIS PROJECT FOR A PUBLIC HEARING/ACTION, THE FOLLOWING SPECIAL GEOLOGIC STUDIES SHALL BE SUBMITTED TO AND APPROVED BY THE COUNTY GEOLOGIST:

A geologic/geotechnical investigation report. The investigation shall address geologic hazards including, but not necessarily limited to, slope stability, rock fall hazards, landslide hazards, surface fault rupture, fissures, liquefaction potential, collapsible and/or expansive soils, subsidence, wind and water erosion, debris flows, and groundshaking potential. For completeness and direct correlation to the proposed project, the consultant shall be provided the most recent copy of the project case exhibit (tract map, parcel map, plot plan, CUP, etc.) for incorporation into the consultant's report. Furthermore, the consultant shall plot all appropriate geologic and geotechnical data on this case exhibit and include it as an appendix/figure/plate in their report. The geologic/geotechnical investigation report shall be reviewed and approved by the County Engineering Geologist

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 5 SP - GEOLOGIC STUDY (cont.)

INEFFECT

prior to scheduling this case for a public hearing.

Note: acquisition of a County geologic report (GEO) number and submittal of deposit-based review fees (DBF) is required. All reports (2 wet-signed original copies), Planning Geologic Report application (case sub-type GEO3) and deposit base fee payment should be submitted, in person by the applicant or his/her representative, at one of the County's two main offices (Riverside, Palm Desert). These items should be submitted at the Land Use counter. Reports and payment should not be given to the Planner or County Geologist directly.

In support of the County developing a database of all GEO reports, submittal of an electronic copy (.pdf preferred) of report and figures along with paper copies is REQUIRED.

The applicant and their consultant should also be aware that County Ordinance 457.98 requires a grading permit for any exploratory excavations consisting of 1000 cubic yards or greater in any one location of one acre or more. This applies to all trenching, borings and any access road clearing/construction that may be necessary."

30.PLANNING. 6 SP - PALEO PRIMP & MONITOR

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"This site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. Hence:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and shall conduct any pre-construction work necessary to render appropriate

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 6 SP - PALEO PRIMP & MONITOR (cont.)

INEFFECT

monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

A. The project paleontologist shall participate in a pre-construction project meeting with development staff and construction operations to ensure an understanding of any mitigation measures required during construction, as applicable.

B. Paleontological monitoring of earthmoving activities will be conducted on an as-needed basis by the project paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The project paleontologist or his/her assign will have the authority to reduce monitoring once he/she determines the probability of encountering fossils has dropped below an acceptable level.

C. If the project paleontologist finds fossil remains, earthmoving activities will be diverted temporarily around the fossil site until the remains have been evaluated and recovered. Earthmoving will be allowed to proceed through the site when the project paleontologist determines the fossils have been recovered and/or the site mitigated to the extent necessary.

D. If fossil remains are encountered by earthmoving activities when the project paleontologist is not onsite, these activities will be diverted around the fossil site and the project paleontologist called to the site immediately to recover the remains.

E. If fossil remains are found, fossiliferous rock will be recovered from the fossil site and processed to allow for the recovery of smaller fossil remains. Test samples may be recovered from other sampling sites in the rock unit if

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 6 SP - PALEO PRIMP & MONITOR (cont.) (cont.) INEFFECT

appropriate.

F.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum\* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum\* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. \* The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

G.A qualified paleontologist shall prepare a report of findings made during all site grading activity with an appended itemized list of fossil specimens recovered during grading (if any). This report shall be submitted to the County Geologist for review and approval prior to building final inspection as described elsewhere in this conditions set.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist, Professional Engineer, etc.), as appropriate. Two wet-signed original copies of the report shall be submitted directly to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office."

30.PLANNING. 7 SP - PALEO MONITORING REPORT INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit,

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 7 SP - PALEO MONITORING REPORT (cont.)

INEFFECT

plot plan, etc.), the following condition shall be placed on the implementing project:

90 Series Condition for Monitoring Report Submittal

"PRIOR TO BUILDING FINAL INSPECTION:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories."

30.PLANNING. 8 SP - RCL00135

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

60.PLANNING Condition:

"Prior to the issuance of any grading permit from an implementing map or use permit the following condition shall apply:

All mining activity shall cease, all required mining-related reclamation shall be completed, and all mine site closure approvals (County, OMR, etc.) shall be in place prior to issuance of grading permits for the project.

This condition shall be "MET" if issuance of a grading permit is part of the reclamation requirements stipulated above."

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 9                    SP - RCL00135 AMENDMENT                    INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the amendment of RCL00135 shall include the design considerations of the new project, as appropriate, and the amendment shall have been approved prior to approving the new project.

30.PLANNING. 10                    SP - M/M PROGRAM (GENERAL)                    INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"The EIR prepared for the SPECIFIC PLAN imposes specific mitigation measures and monitoring requirements on the project. Certain conditions of the SPECIFIC PLAN and this implementing project constitute reporting/monitoring requirements for certain mitigation measures."

30.PLANNING. 11                    SP - NON-IMPLEMENTING MAPS                    INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"A land division filed for the purposes of phasing or financing shall not be considered an implementing development application for the purposes of the Planning Department's conditions of approval.

Should this project be an application for phasing or financing, all of the other conditions in this implementing project with a prefix of "SP" will be considered as NOT APPLICABLE, and this condition shall be considered as MET. Should this project not be an application for phasing or financing, this condition shall be considered as NOT APPLICABLE."

30.PLANNING. 13                    SP - SUBMIT FINAL DOCUMENTS                    INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 13                    SP - SUBMIT FINAL DOCUMENTS (cont.)                    INEFFECT

"Fifteen (15) copies of the final SPECIFIC PLAN and EIR documents (SP/EIR) documents shall be submitted to the Planning Department for distribution. The documents shall include all the items listed in the condition titled "SP - Documents". The final SP/EIR documents shall be distributed in the following fashion:

Building and Safety Department	1 copy
Department of Environmental Health	1 copy
Fire Department	1 copy
Flood Control and Water Conservation	1 copy
Transportation Department	1 copy
County Planning Department in Riverside	1 copy
City of Corona	1 copy
Executive Office - CSA Administrator	2 copies
Clerk of the Board of Supervisors	1 copy

Any and all remaining documents shall be kept with the Planning Department in Riverside, or as otherwise determined by the Planning Director.

This condition cannot be DEFERRED or considered as NOT APPLICABLE."

30.PLANNING. 14                    SP - PROJECT LOCATION EXHIBIT                    INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"The applicant shall provide to the Planning Department an 8 1/2" x 11" exhibit showing where in the SPECIFIC PLAN this project is located. The exhibit shall also show all prior implementing projects within the SPECIFIC PLAN that have already been approved.

This condition shall be considered MET once the applicant provides the Planning Department with the required information. This condition may not be DEFERRED."

30.PLANNING. 22                    SP \*- ADDENDUM EIR                    INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit,



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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 22

SP \*- ADDENDUM EIR (cont.)

INEFFECT

plot plan, etc.), the following condition shall be placed on the implementing project:

"This implementing project has been reviewed in the context the EIR, which is associated with this SPECIFIC PLAN. The Planning Department has reviewed this project and its relationship to the EIR, and has found that no new environmental impacts have arisen since the certification of the EIR. Although the EIR adequately addressed the environmental impacts of the SPECIFIC PLAN as a whole, more detailed technical information (i.e. traffic studies, updated biological studies, etc.) have been required by the Planning Department and/or other COUNTY land development review departments in order to complete its environmental review. Therefore, an ADDENDUM to the previously certified EIR has been prepared in conjunction with this implementing application.

This condition shall be considered MET if an ADDENDUM to the EIR has been prepared. Alternatively, this condition shall be considered as NOT APPLICABLE if an ADDENDUM to the EIR is not required."

30.PLANNING. 23

SP \*- SUPPLEMENT TO EIR

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"This implementing project has been reviewed in the context the EIR, which is associated with this SPECIFIC PLAN. The Planning Department has reviewed this project and its relationship to the EIR, and has found that although the EIR adequately addressed the environmental impacts of the SPECIFIC PLAN at the time, new environmental impacts have arisen since the certification of the original EIR. The Planning Department has determined that the new environmental impacts can be mitigated to below a level of significance. Therefore, a SUPPLEMENT to the previously certified EIR has been prepared in conjunction with this implementing application.

This condition shall be considered MET if a SUPPLEMENT to the EIR has been prepared. Alternatively, this condition

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 23            SP \*- SUPPLEMENT TO EIR (cont.)            INEFFECT

shall be considered as NOT APPLICABLE if a SUPPLEMENT to the EIR is not required."

30.PLANNING. 24            SP \*- SUBSEQUENT EIR            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"This implementing project has been reviewed in the context the EIR, which is associated with this SPECIFIC PLAN. The Planning Department has reviewed this project and its relationship to the EIR, and has found that although the EIR adequately addressed the environmental impacts of the SPECIFIC PLAN at the time, new environmental impacts have arisen since the certification of the original EIR. The Planning Department has determined that this implementing project may have a significant impact to the new environmental impacts that have arisen. Therefore, a SUBSEQUENT EIR has been prepared in conjunction with this implementing application.

This condition shall be considered MET if a SUBSEQUENT EIR has been prepared. Alternatively, this condition shall be considered as NOT APPLICABLE if a SUBSEQUENT to the EIR is not required."

30.PLANNING. 25            SP - COMPLETE CASE APPROVALS            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"Prior to the approval of any implementing project (tract map, parcel map, use permit, plot plan, etc.) the SPECIFIC PLAN, the GPA, the CHANGE OF ZONE, and the EIR must have been approved, adopted, and certified by the Board of Supervisors, respectively.

This condition shall be considered as MET once the SPECIFIC PLAN, the GPA, the CHANGE OF ZONE, and the EIR have been approved, adopted, and certified by the Board of Supervisors, respectively. This condition may not be DEFERRED."

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 26

SP - AMENDMENT REQUIRED

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"If this implementing project meets any of the following criteria, an amendment to the SPECIFIC PLAN shall be required and processed concurrently with this implementing project:

1. The implementing project adds any area to, or deletes area from, the SPECIFIC PLAN;
2. The implementing project proposes a substantially different use than currently allowed in the SPECIFIC PLAN (i.e. proposing a residential use within a commercially designated area); or
3. as determined by the Planning Director.

Any amendment to the SPECIFIC PLAN, even though it may affect only one portion of the SPECIFIC PLAN, shall be accompanied by a complete specific plan document which includes the entire specific plan, including both changed and unchanged parts.

This condition shall be considered MET if the specific plan amendment has been filed, and NOT APPLICABLE if a specific plan amendment is determined to be unnecessary."

30.PLANNING. 27

SP - CSA REQUIRED

INEFFECT

Prior to the approval of any implementing land division project within the SPECIFIC PLAN (i.e. tract map, or parcel map), the following condition shall be placed on the implementing project:

"PRIOR TO MAP RECORDATION of any subdivision, or other residential development application, all portions of this implementing project not currently within the boundaries of the County Service Area 134, shall be annexed into the County Service Area 134 or a similar entity. Documentation of said annexation shall be provided to the Planning Department. Services shall include but not be limited to Street Landscaping, Street Lights, and Street Sweeping.

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 27 SP - CSA REQUIRED (cont.)

INEFFECT

This condition shall be considered as NOT APPLICABLE if County Service Area No. 134 is unwilling or unable to annex the property in question."

30.PLANNING. 29 SP \*- PA PROCEDURES

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map or parcel map), the following condition shall be placed on the implementing project PRIOR TO MAP RECORDATION in the case of land division applications (tentative parcel maps or tentative tract maps) or PRIOR TO BUILDING PERMITS in the case of use permit applications (plot plans, conditional use permits, or public use permits):

"The planning area[s] for which this land division application is located must be legally defined. Any of the following procedures may be used in order to legally define these planning areas:

1. The project proponent has processed a FINAL CHANGE OF ZONE MAP concurrent with the SPECIFIC PLAN which legally defined these planning areas.
2. The project proponent shall file a change of zone application along with a legal description defining the boundaries of the planning area affected by this land division application. The applicant will not be changing the allowed uses or standards within the existing zone but will merely be providing an accurate legal description of the affected planning area. The change of zone shall be approved and adopted by the Board of Supervisors."

30.PLANNING. 30 SP \*- CC&R RES PUB COMMON AREA

INEFFECT

Prior to the approval of any implementing land division project (i.e. tract map or parcel map), the following condition shall be applied to the land division PRIOR TO MAP RECORDATION if the permanent master maintenance organization referenced in the condition entitled "SP - Common Area Maintenance" is a public organization:

"The applicant shall convey to the County fee simple title, to all common open space areas, free and clear of all liens, taxes, assessments, leases (recorded or unrecorded) and easement, except those easements which in the sole

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 30

SP \*- CC&R RES PUB COMMON AREA (cont.)

INEFFECT

discretion of the County are acceptable. As a condition precedent to the County accepting title to such areas, the applicant shall notify the Planning Department that the following documents shall be submitted to the Office of the County Counsel and submit said documents for review along with the current fee, which shall be subject to County Counsel approval:

1. A cover letter identifying the project for which approval is sought;

2. A signed and notarized declaration of covenants, conditions and restrictions;

3. A sample document, conveying title to the purchaser, of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the current hourly fee for Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted for County Counsel review.

The declaration of covenants, conditions and restrictions submitted for review shall:

a) provide for a minimum term of 60 years,

b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit as tenants in common,

c) per EIR492 shall include:

-a provision that the permanent fence constructed between the Project's development areas and the MSHCP Conservation Area shall be properly maintained at all times to discourage human access between the development area and the Conservation Area,

-a provision that the CC&R's shall specifically prohibit the planting of invasive plant species listed in Section 6.1.4 of the MSHCP and in the "California Exotic Pest Plant Council, List of Most Invasive Wildland Pest Plants" by future owners and occupants of the Project,

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 30 SP \*- CC&R RES PUB COMMON AREA (cont.) (cont.INEFFECT

-a provision that the CC&R's shall include limitations on the use of landscape fertilization overspray and runoff to avoid toxin impacts to the MSHCP Criteria Area,

d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall, if dormant, be activated, by incorporation or otherwise, at the request of the County of Riverside, and the property owners' association shall unconditionally accept from the County of Riverside, upon the County's demand, title to all or any part of the 'common area', more particularly described in the SPECIFIC PLAN. Such acceptance shall be through the president of the property owner's association, who shall be authorized to execute any documents required to facilitate transfer of the 'common area'. The decision to require activation of the property owners' association and the decision to require that the association unconditionally accept title to the 'common area' shall be at the sole discretion of the County of Riverside.

In the event that the 'common area', or any part thereof, is conveyed to the property owners' association, the association, thereafter, shall own such 'common area', shall manage and continuously maintain such 'common area', and shall not sell or transfer such 'common area' or any part thereof, absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. The property owners' association shall have the right to assess the owner of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 30 SP \*- CC&R RES PUB COMMON AREA (cont.) (cont.INEFFECT

successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area' established pursuant to this Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved by the Office of County Counsel, the declaration of covenants, conditions and restrictions shall be recorded by the Planning Department with one copy retained for the case file, and one copy provided to the County Transportation Department - Survey Division."

30.PLANNING. 32 SP - ARCHAEO M/M PROGRAM INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO THE ISSUANCE OF GRADING PERMITS, the project applicant shall enter into an agreement with a qualified archaeologist. This agreement shall include, but not be limited to, the preliminary mitigation and monitoring procedures to be implemented during the process of grading, as found in the EIR. A copy of said agreement shall be submitted to the Planning Department. No grading permits will be issued unless the preliminary mitigation and monitoring procedures required prior to grading permits as described in the EIR are substantially complied with.

"

30.PLANNING. 33 SP - PALEO M/M PROGRAM INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO THE ISSUANCE OF GRADING PERMITS, the project applicant shall enter into an agreement with a qualified paleontologist. This agreement shall include, but not be

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 33            SP - PALEO M/M PROGRAM (cont.)            INEFFECT

limited to, the preliminary mitigation and monitoring procedures to be implemented during the process of grading.

A copy of said agreement shall be submitted to the Planning Department. No grading permits will be issued unless the preliminary mitigation and monitoring procedures as described in the EIR are substantially complied with."

30.PLANNING. 34            SP - GENERIC M/M PROGRAM            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO THE ISSUANCE OF GRADING PERMITS, the project applicant shall provide to the Planning Department a detailed proposal for complying with the preliminary mitigation and monitoring procedures described in the EIR as 'prior to grading'. Grading permits will not be issued unless the preliminary mitigation and monitoring procedures as described in the EIR are substantially complied with."

30.PLANNING. 37            SP - SKR FEE CONDITION            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (tract map, parcel map, use permit, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO THE ISSUANCE OF GRADING PERMITS, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 489.28 acres in accordance with the SPECIFIC PLAN. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a



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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 37            SP - SKR FEE CONDITION (cont.)            INEFFECT

subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required."

30.PLANNING. 38            SP - POST GRADING REPORT            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO THE ISSUANCE OF BUILDING PERMITS, the project applicant shall provide to the Planning Department a post grading report. The report shall describe how the mitigation and monitoring program as described in the EIR and pre-grading agreements with the qualified archaeologist/paleontologist were complied with."

30.PLANNING. 39            SP - SCHOOL MITIGATION            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO BUILDING PERMITS, impacts to the Corona-Norco Unified School District shall be mitigated in accordance with state law."

30.PLANNING. 40            SP - ARCHAEOLOGIST RETAINED            INEFFECT

Prior to the approval of any land division or development permit (use permit, plot plan, etc.), a condition of approval shall be applied to the land division or development permit to ensure that the unique archaeological resources identified in the Cultural Resources Report prepared as part of this Specific Plan's environmental documentation have been adequately addressed. The condition shall read as follows:

Prior to the issuance of grading permits, a qualified archaeologist shall be retained by the land divider for consultation and comment on the proposed grading with respect to potential impacts to unique archaeological resources. Should the archaeologist, after consultation with the appropriate Native American tribe, find the

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 40

SP - ARCHAEOLOGIST RETAINED (cont.)

INEFFECT

potential is high for impact to unique archaeological resources (cultural resources and sacred sites), a pre-grading meeting between the archaeologist, a Native American observer, and the excavation and grading contractor shall take place. During grading operations, when deemed necessary in the professional opinion of the retained archaeologist (and/or as determined by the Planning Director), the archaeologist, the archaeologist's on-site representative(s) and the Native American Observer shall actively monitor all project related grading and construction and shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of unique archaeological resources. Prior to the issuance of grading permits, the NAME, ADDRESS and TELEPHONE NUMBER of the retained archaeologist shall be submitted to the Planning Department and the B&S Grading Division. If the retained archaeologist, after consultation with the appropriate Native American tribe, finds no potential for impacts to unique archaeological resources, a letter shall be submitted to the Planning Department certifying this finding by the retained qualified archaeologist.

30.PLANNING. 41

SP - COMMON AREA MAINTENANCE

INEFFECT

Prior to the approval of any implementing land division project within the SPECIFIC PLAN (i.e. tract map or parcel map), the following condition shall be placed on the implementing application:

"PRIOR TO MAP RECORDATION, the following procedures for common area maintenance procedures shall be complied with:

a. A permanent master maintenance organization shall be established for the specific plan area to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 41            SP - COMMON AREA MAINTENANCE (cont.)            INEFFECT

b. Unless otherwise provided for in these conditions of approval, common open areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision as recorded.

c. The maintenance organization shall be established prior to or concurrent with the recordation of the first land division. Any agreements with the maintenance organization shall stipulate that maintenance of landscaped areas will occur in accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the Riverside Guide to California Friendly Landscaping.

d. Covenants, Conditions, and Restrictions for the SPECIFIC PLAN shall prohibit the use of water-intensive landscaping and require the use of low water use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments thereto).

e. Covenants, Conditions, and Restrictions for the SPECIFIC PLAN shall incorporate provisions concerning landscape irrigation system management and maintenance for the purpose of facilitating the water-efficient landscaping requirements of Ordinance No. 859 (as adopted and any amendments thereto).

30.PLANNING. 42            SP \*-ENTRY MONUMENTATION            INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO THE ISSUANCE OF BUILDING PERMITS, the following language shall be added to the landscaping requirements of the implementing project:

1. An entry monument shall be shown on the Exhibit \_\_\_\_.
2. The entry monument shall be in substantial conformance to the design guidelines of the SPECIFIC PLAN, as shown on pages IV-9 to IV-14.
3. Landscaping of entry monument(s) shall comply with Ordinance No. 859 (as adopted and any amendments thereto) and the Riverside County Guide to California Friendly Landscaping."

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30. PRIOR TO ANY PROJECT APPROVAL

30.PLANNING. 43

SP - MASTER TRAILS PLAN

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO GRADING of any implementing project of the SPECIFIC PLAN, Conceptual Trail Plans for all trails required in Figure 2-6 of the SPECIFIC PLAN shall be submitted to and approved by the Planning Department, with input from the CSA, the County Regional Parks Department or other entity set forth in the Planning Department's condition entitled "SP - Common Area Maintenance", as deemed appropriate by the Planning Department. The Conceptual Trail Plans shall conform with the design criteria in the specific plan document and with the requirements of the CSA, the County Regional Parks Department or other entity set forth in the Planning Department's condition entitled "SP - Common Area Maintenance". The Conceptual Trail Plans need not be working drawings, but shall include, at a minimum, types and placement of lighting, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the trail and its facilities. This condition cannot be DEFERRED or considered as NOT APPLICABLE."

30.PLANNING. 44

SP - REGIONAL TRAILS CONST

INEFFECT

Prior to the approval of any implementing project within the SPECIFIC PLAN (i.e.: tract map, parcel map, use permit, plot plan, etc.), the following condition shall be placed on the implementing project:

"PRIOR TO FINAL INSPECTION of the first structure of any implementing project in the SPECIFIC PLAN, all regional trails required in Figure 2-6 within the SPECIFIC PLAN shall be constructed and fully operable."

TRANS DEPARTMENT

30.TRANS. 1

SP - SP353/TS REQUIRED

INEFFECT

Before final inspection of the first building in SP000353, proponent of the Serrano SP shall construct a new two-lane (one lane in each direction) extension of Temescal Canyon Road from Temescal Canyon North Loop to Temescal Canyon

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 1

SP - SP353/TS REQUIRED (cont.)

INEFFECT

South Loop, in its entirety. The SP proponent shall also grade the full ultimate 128-ft width of the right-of-way for the Temescal Canyon Road extension along its entire length between the north and south loops. The SP proponent shall also construct and open to traffic the intersections of Temescal Canyon Road at Temescal Canyon North Loop and Temescal Canyon Road at Temescal Canyon South Loop.

The SP proponent shall construct two lanes in each direction on the Temescal Canyon Road Extension by the end of Phase 1 and three lanes in each direction by the end of Phase 3. The actual timing of improvements to Temescal Canyon Road will depend on the findings of the traffic studies for each of the implementing projects.

The SP proponent shall dedicate sufficient right-of-way to provide three lanes in each direction on Temescal Canyon Road within the SP boundaries. The right-of-way dedication shall be sufficient for a six-lane cross section, and any slopes shall be outside the right-of-way limits. The roadway cross section and the right-of-way dedication limits shall be subject to approval by the Transportation Department.

Site-specific traffic studies will be required for all subsequent development proposals within the boundaries of Specific Plan No. 353 as approved by the Transportation Department. These subsequent traffic studies shall identify specific project impacts and needed roadway improvements to be constructed in conjunction with each project.

Each implementing project shall make all necessary on-site and off-site improvements to achieve/maintain adequate LOS at all locations.

All improvements on or affecting Caltrans facilities shall conform to Caltrans design guidelines and shall be subject to Caltrans approval.

If any improvements proposed by the applicants for individual projects are found to be infeasible, the applicants for individual projects will be required to provide alternative feasible improvements to achieve levels of service satisfactory to the County.

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 1                    SP - SP353/TS REQUIRED (cont.) (cont.)                    INEFFECT

All intersection spacing for individual tracts, CUPs, or plot plans shall conform to the minimum County intersection spacing standards.

All turn pocket lengths shall conform at least to the minimum County turn pocket length standards.

30.TRANS. 2                    SP - SP353/TS SIGNALS                    INEFFECT

The project proponent shall be responsible for the design and installation of traffic signals, unless the signals are designed and installed by others, at the intersections of:

Temescal Canyon Road (NS) at:  
Lawson Road (EW)

with fee credit eligibility

Temescal Canyon Road (NS) at:  
Temescal Canyon North Loop (EW)

Temescal Canyon Road (NS) at:  
Temescal Canyon South Loop (EW)

Temescal Canyon Road (NS) at:  
Street A/Street B (EW)

Temescal Canyon Road (NS) at:  
Street B/Street C (EW)

Temescal Canyon Road (NS) at:  
Street D/Street E (EW)

with no credit given for Traffic Signal Mitigation Fees

or as approved by the Transportation Department.

All signals are to be installed and operational prior to the issuance of any building permit that would bring total development to more than 80% of the development in Phase 1 of the Serrano SP, or earlier if the need is indicated in project level traffic studies, or as approved by the Transportation department.

The modification of traffic signals to accommodate the phased widening of the Temescal Canyon Road Extension shall

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 2                      SP - SP353/TS SIGNALS (cont.)                      INEFFECT

be the responsibility of the SP proponent or the implementing projects.

30.TRANS. 3                      SP - SP353/TS GEOMETRICS                      INEFFECT

The SP proponent or the implementing projects shall be responsible for making intersection improvements, to the extent that these improvements are not provided by others. While the intersection improvements are listed by SP phases and they may be made as the need arises, all improvements shall be designed and constructed to be consistent with the ultimate configuration of the intersection. Improvements for each phase shall be in place prior to the issuance of any building permit that would bring total development to more than 80% of the development for that phase of the Serrano SP, or earlier if the need is indicated in project level traffic studies, or as approved by the Transportation Department.

PHASE 1 (2010)

The intersection of I-15 Northbound Ramps (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one right turn lane  
Southbound: NA  
Eastbound: One left turn lane, two through lanes  
Westbound: Two through lanes, one free-flow right turn lane

The intersection of Temescal Canyon (N/S) and Lawson Road (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one through lane  
Southbound: One shared through/right turn lane  
Eastbound: One shared left turn/right turn lane  
Westbound: NA

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon North Loop (E/W) shall provide the following geometrics:

Northbound: Two left turn lanes, two through lanes  
Southbound: Two through lanes, one right turn lane

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3

SP - SP353/TS GEOMETRICS (cont.)

INEFFECT

Eastbound: Two left turn lanes, one right turn lane  
Westbound: NA

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon South Loop (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one through lane, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes, one right turn lane  
Eastbound: One left turn lane, one shared through/right turn lane  
Westbound: One left turn lane, one shared through/right turn lane

The intersection of Temescal Canyon Road (N/S) and Street A/Street B (E/W) shall provide the following geometrics:

Northbound: One through lane, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes  
Eastbound: NA  
Westbound: One left turn lane, one shared through/right turn lane

The intersection of Temescal Canyon Road (N/S) and Street B/Street C (E/W) shall provide the following geometrics:

Northbound: One through lane, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes  
Eastbound: NA  
Westbound: One left turn lane, one shared through/right turn lane

The intersection of Temescal Canyon Road (N/S) and Street D/Street E (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one through lane, one shared through/right turn lane  
Southbound: One left turn lane, one through lane, one shared through/right turn lane  
Eastbound: One left turn lane, one shared through/right turn lane  
Westbound: One left turn lane, one shared through/right



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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3                      SP - SP353/TS GEOMETRICS (cont.) (cont.)                      INEFFECT

turn lane

The intersection of Project South Access (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

- Northbound: NA
- Southbound: One right turn lane - stop control
- Eastbound: One through lane
- Westbound: One shared through/right turn lane

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North Central East Driveway (E/W) shall provide the following geometrics:

- Northbound: One through lane, one shared through/right turn lane
- Southbound: Two through lanes
- Eastbound: NA
- Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South West Driveway (E/W) shall provide the following geometrics:

- Northbound: Two through lanes
- Southbound: One through lane, one shared through/right turn lane
- Eastbound: One right turn lane - stop control
- Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South East Driveway (E/W) shall provide the following geometrics:

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

Northbound: One through lane, one shared through/right turn lane

Southbound: Two through lanes

Eastbound: NA

Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

PHASE 2 (2012)

The intersection of Temescal Canyon Road (N/S) and Weirick Road (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two through lanes

Southbound: One left turn lane, two through lanes, one free-flow right turn lane

Eastbound: One left turn lane, one shared left turn/through lane, one right turn lane with overlap

Westbound: NA

NOTE: Signal modification will be necessary to accommodate a second southbound through lane and implementation of right turn overlap phasing on the eastbound approach of the intersection.

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon North Loop (E/W) shall provide the following geometrics:

Northbound: Two left turn lanes, one through lane, one shared through/right turn lane

Southbound: One left turn lane, one striped-out left turn lane (to mirror second northbound left turn lane), two through lanes, one right turn lane

Eastbound: Three left turn lanes, one shared through/right turn lane, one right turn lane with overlap

Westbound: One shared left turn/through/right turn lane

NOTE: Signal modification will be necessary to accommodate a southbound left turn lane, a shared through/right turn lane and implementation of right turn overlap phasing on the eastbound approach of the intersection, and the addition of the westbound approach of the intersection (one

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

shared left turn/through/right turn lane).

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon South Loop (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one through lane, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes, one shared through/right turn lane  
Eastbound: One left turn lane, one shared through/right turn lane  
Westbound: One left turn lane, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate a second southbound through lane.

The intersection of Temescal Canyon Road (N/S) and Street A/Street B (E/W) shall provide the following geometrics:

Northbound: One through lane, one shared through/right turn lane  
Southbound: Two left turn lanes, two through lanes  
Eastbound: NA  
Westbound: Two left turn lanes, one right turn lane

NOTE: Signal modification will be necessary to accommodate a second southbound left turn lane and a second westbound left turn lane.

The intersection of Temescal Canyon Road (N/S) and Street D/Street E (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one through lane, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes, one shared through/right turn lane  
Eastbound: One left turn lane, one striped-out left turn lane (to mirror second westbound left turn lane), one shared through/right turn lane  
Westbound: Two left turn lanes, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

a second southbound through lane and a second westbound left turn lane.

The intersection of Project North Access (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: One right turn lane - stop control  
Southbound: NA  
Eastbound: Two through lanes, one shared through/right turn lane  
Westbound: Two through lanes

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only. This driveway shall be subject to the approval by Caltrans.

The intersection of Temescal Canyon Road (N/S) and Project Access (E/W) (north of bridge) shall provide the following geometrics:

Northbound: Two through lanes  
Southbound: Two through lanes, one right-turn lane  
Eastbound: one right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North East Driveway (E/W) shall provide the following geometrics:

Northbound: Two through lanes, one shared through/right turn lane  
Southbound: Two through lanes  
Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North Central East Driveway (E/W) shall provide the

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

following geometrics:

Northbound: Two through lanes, one shared through/right  
turn lane

Southbound: Two through lanes

Eastbound: NA

Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will  
be required on Temescal Canyon Road to restrict this  
driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project  
South Central East Driveway (E/W) shall provide the  
following geometrics:

Northbound: One through lane, one shared through/right turn  
lane

Southbound: Two through lanes

Eastbound: NA

Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will  
be required on Temescal Canyon Road to restrict this  
driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project  
South West Driveway (E/W) shall provide the following  
geometrics:

Northbound: Two through lanes

Southbound: Two through lanes, one shared through/right  
turn lane

Eastbound: One right turn lane - stop control

Westbound: NA

NOTE: A raised median and appropriate on-site design will  
be required on Temescal Canyon Road to restrict this  
driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project  
South East Driveway (E/W) shall provide the following  
geometrics:

Northbound: One through lane, one shared through/right turn  
lane

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

Southbound: Three through lanes  
Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

or as approved by the Transportation Department.

PHASE 3 (2014)

The intersection of I-15 Southbound Ramps (N/S) and Weirick Road (E/W) shall provide the following geometrics:

Northbound: NA  
Southbound: Two left turn lanes, two right turn lanes  
Eastbound: One through lane, one shared through/right turn lane  
Westbound: One left turn lane, one through lane

NOTE: Signal modification will be necessary to accommodate a second southbound left turn lane.

The intersection of I-15 Southbound Ramps (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: NA  
Southbound: Two left turn lanes, one right turn lane  
Eastbound: Two through lanes, one free-flow right turn lane  
Westbound: One left turn lane, one through lane

NOTE: Signal modification will be necessary to accommodate a second southbound left turn lane.

The intersection of I-15 Northbound Ramps (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two right turn lanes  
Southbound: NA  
Eastbound: Two left turn lanes, two through lanes  
Westbound: Two through lanes, two right turn lanes

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

NOTE: Signal modification will be necessary to accommodate a second northbound right turn lane, a second eastbound left turn lane, and a second westbound right turn lane.

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon South Loop (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two through lanes, one shared through/right turn lane  
Southbound: One left turn lane, three through lanes, one right turn lane  
Eastbound: Two left turn lanes, one shared through/right turn lane  
Westbound: One left turn lane, one striped-out left turn lane (to mirror second eastbound left turn lane), one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate a second northbound through lane, a southbound right turn lane, and a second eastbound left turn lane.

The intersection of Temescal Canyon Road (N/S) and Street A/Street B (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one striped-out left turn lane (to mirror second southbound left turn lane), two through lanes, one shared through/right turn lane  
Southbound: Two left turn lanes, three through lanes, one right turn lane  
Eastbound: One left turn lane, one striped-out left turn lane (to mirror second westbound left turn lane), one shared through/right turn lane  
Westbound: Two left turn lanes, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate a northbound left turn lane, a third northbound through lane, a southbound right turn lane, and the addition of the eastbound approach of the intersection (one left turn lane and one shared through/right turn lane).

The intersection of Temescal Canyon Road (N/S) and Street B/Street C (E/W) shall provide the following geometrics:

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

Northbound: One left turn lane, two through lanes, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes, one shared through/right turn lane  
Eastbound: One left turn lane, one shared through/right turn lane  
Westbound: One left turn lane, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate a northbound left turn lane and a third northbound through lane, a third southbound through lane, and the addition of the eastbound approach of the intersection (one left turn lane and one shared through/right turn lane).

The intersection of Temescal Canyon Road (N/S) and Street D/Street E (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two through lanes, one shared through/right turn lane  
Southbound: One left turn lane, two through lanes, one shared through/right turn lane  
Eastbound: One left turn lane, one striped-out left turn lane (to mirror second westbound left turn lane), one shared through/right turn lane  
Westbound: Two left turn lanes, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate a third northbound through lane.

The intersection of Temescal Canyon Road (N/S) and Project North Central West Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes  
Southbound: Two through lanes, one shared through/right turn lane  
Eastbound: One right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project



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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

North Central East Driveway (E/W) shall provide the following geometrics:

Northbound: Two through lanes, one shared through/right turn lane  
Southbound: Three through lanes  
Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South Central East Driveway (E/W) shall provide the following geometrics:

Northbound: Two through lanes, one shared through/right turn lane  
Southbound: Three through lanes  
Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South West Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes  
Southbound: Two through lanes, one shared through/right turn lane  
Eastbound: One right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South East Driveway (E/W) shall provide the following geometrics:

Northbound: Two through lanes, one shared through/right

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

turn lane

Southbound: Three through lanes

Eastbound: NA

Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

or as approved by the Transportation Department.

PHASE 4 (2016)

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon North Loop (E/W) shall provide the following geometrics:

Northbound: Three left turn lanes, two through lanes, one right turn lane

Southbound: One left turn lane, two through lanes, one right turn lane with overlap

Eastbound: Three left turn lanes, one shared through/right turn lane, one right turn lane with overlap

Westbound: One shared left turn/through/right turn lane

NOTE: Signal modification will be necessary to accommodate a third northbound left turn lane, a northbound right turn lane, and right turn overlap phasing on the southbound approach of the intersection.

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon South Loop (E/W) shall provide the following geometrics:

Northbound: One left turn lane, three through lanes, one right turn lane

Southbound: One left turn lane, three through lanes, one right turn lane

Eastbound: Two left turn lanes, one shared through/right turn lane

Westbound: One left turn lane, one striped-out left turn lane (to mirror second eastbound left turn lane), one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

a northbound right turn lane.

The intersection of Temescal Canyon Road (N/S) and Street A/Street B (E/W) shall provide the following geometrics:

Northbound: One left turn lane, one striped-out left turn lane (to mirror second southbound left turn lane), two through lanes, one shared through/right turn lane

Southbound: Two left turn lanes, two through lanes, one right turn lane

Eastbound: One left turn lane, one striped-out left turn lane (to mirror second westbound left turn lane), one shared through/right turn lane

Westbound: Two left turn lanes, one through lane, one right turn lane with overlap

NOTE: Signal modification will be necessary to accommodate a right turn lane and right turn overlap phasing on the westbound approach of the intersection.

The intersection of Temescal Canyon Road (N/S) and Street B/Street C (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two through lanes, one shared through/right turn lane

Southbound: One left turn lane, two through lanes, one shared through/right turn lane

Eastbound: Two left turn lanes, one shared through/right turn lane, one right turn lane with overlap

Westbound: One left turn lane, one striped-out left turn lane (to mirror second eastbound left turn lane), one shared through/right turn lane, one right turn lane with overlap

NOTE: Signal modification will be necessary to accommodate an eastbound right turn lane and right turn overlap phasing and a westbound right turn lane and right turn overlap phasing.

The intersection of Temescal Canyon Road (N/S) and Street D/Street E (E/W) shall provide the following geometrics:

Northbound: Two left turn lanes, two through lanes, one shared through/right turn lane

Southbound: One left turn lane, one striped-out left turn lane (to mirror second northbound left turn lane), two

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

through lanes, one shared through/right turn lane  
Eastbound: One left turn lane, one striped-out left turn lane (to mirror second westbound left turn lane), one shared through/right turn lane, one right turn lane with overlap  
Westbound: Two left turn lanes, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate an eastbound right turn lane and right turn overlap phasing.

The intersection of Temescal Canyon Road (N/S) and Project North West Driveway (E/W) shall provide the following geometrics:

Northbound: Two through lanes  
Southbound: Two through lanes, one shared through/right turn lane  
Eastbound: One right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North East Driveway (E/W) shall provide the following geometrics:

Northbound: Two through lanes, one shared through/right turn lane  
Southbound: Three through lanes  
Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North Central East Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes, one right turn lane  
Southbound: Three through lanes

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

PHASE 5 (2018)

The intersection of I-15 Southbound Ramps (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: NA  
Southbound: Two left turn lanes, one right turn lane  
Eastbound: Two through lanes, one free-flow right turn lane  
Westbound: One left turn lane, one through lane

NOTE: Signal modification will be necessary to accommodate a second eastbound through lane.

The intersection of I-15 Northbound Ramps (N/S) and Weirick Road (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two right turn lanes  
Southbound: NA  
Eastbound: Two left turn lanes, one through lane  
Westbound: Two through lanes, one free-flow right turn lane

NOTE: Signal modification will be necessary to accommodate free-right turn phasing for the westbound right turn lane.

The intersection of Temescal Canyon Road (N/S) and Weirick Road (E/W) shall provide the following geometrics:

Northbound: One left turn lane, two through lanes  
Southbound: One left turn lane, two through lanes, one free-flow right turn lane  
Eastbound: One left turn lane, one shared left turn/through lane, two right turn lanes with overlap  
Westbound: NA

NOTE: Signal modification will be necessary to accommodate

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

a second eastbound right turn lane and right turn overlap phasing.

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon North Loop (E/W) shall provide the following geometrics:

- Northbound: Three left turn lanes, two through lanes, one right turn lane
- Southbound: One left turn lane, three through lanes, one right turn lane with overlap
- Eastbound: Three left turn lanes, one shared through/right turn lane, one right turn lane with overlap
- Westbound: One shared left turn/through/right turn lane

NOTE: Signal modification will be necessary to accommodate a third southbound through lane.

The intersection of Temescal Canyon Road (N/S) and Temescal Canyon South Loop (E/W) shall provide the following geometrics:

- Northbound: One left turn lane, three through lanes, one right turn lane
- Southbound: One left turn lane, three through lanes, one right turn lane with overlap
- Eastbound: Three left turn lanes, one through lane, one right turn lane with overlap
- Westbound: One left turn lane, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate right turn overlap phasing on the southbound approach of the intersection, a third eastbound left turn lane, and a right turn lane with overlap phasing on the eastbound approach of the intersection.

The intersection of Temescal Canyon Road (N/S) and Street A/Street B (E/W) shall provide the following geometrics:

- Northbound: One left turn lane, one striped-out left turn lane (to mirror second southbound left turn lane), two through lanes, one shared through/right turn lane
- Southbound: Two left turn lanes, three through lanes, one right turn lane
- Eastbound: Two left turn lanes, one shared through/right

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30. PRIOR TO ANY PROJECT APPROVAL

30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

turn lane

Westbound: Two left turn lanes, one through lane, one right turn lane with overlap

NOTE: Signal modification will be necessary to accommodate a third southbound through lane and a second eastbound left turn lane.

The intersection of Temescal Canyon Road (N/S) and Street B/Street C (E/W) shall provide the following geometrics:

Northbound: One left turn lane, three through lanes, one right turn lane

Southbound: One left turn lane, three through lanes, one right turn lane

Eastbound: Two left turn lanes, one shared through/right turn lane, one right turn lane with overlap

Westbound: Two left turn lanes, one shared through/right turn lane, one right turn lane with overlap

NOTE: Signal modification will be necessary to accommodate a northbound right turn lane, a southbound right turn lane, and a second westbound left turn lane.

The intersection of Temescal Canyon Road (N/S) and Street D/Street E (E/W) shall provide the following geometrics:

Northbound: Two left turn lanes, two through lanes, one shared through/right turn lane

Southbound: Two left turn lanes, two through lanes, one shared through/right turn lane

Eastbound: Two left turn lanes, one shared through/right turn lane, one right turn lane with overlap

Westbound: Two left turn lanes, one shared through/right turn lane

NOTE: Signal modification will be necessary to accommodate a second northbound left turn lane, a second southbound left turn lane, and a second eastbound left turn lane.

The intersection of Project North Access (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: One right turn lane - stop control

Southbound: NA

Eastbound: Three through lanes, one right turn lane

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

Westbound: Three through lanes

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only. This driveway shall be subject to the approval by Caltrans.

The intersection of Temescal Canyon Road (N/S) and Project Access (E/W) (north of bridge) shall provide the following geometrics:

Northbound: Three through lanes  
Southbound: Three through lanes, one right-turn lane  
Eastbound: one right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Project South Access (N/S) and Temescal Canyon Road (E/W) shall provide the following geometrics:

Northbound: NA  
Southbound: One right turn lane - stop control  
Eastbound: One through lane  
Westbound: One through lane, one shared through/right turn lane

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North West Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes  
Southbound: Three through lanes, one right turn lane  
Eastbound: One right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.



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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

The intersection of Temescal Canyon Road (N/S) and Project North East Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes, one right turn lane  
Southbound: Three through lanes  
Eastbound: NA  
Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project North Central West Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes  
Southbound: Three through lanes, one right turn lane  
Eastbound: One right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South Central West Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes  
Southbound: Three through lanes, one right turn lane  
Eastbound: One right turn lane - stop control  
Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South Central East Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes, one right turn lane  
Southbound: Three through lanes  
Eastbound: NA

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30.TRANS. 3 SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South West Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes

Southbound: Three through lanes, one right turn lane

Eastbound: One right turn lane - stop control

Westbound: NA

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

The intersection of Temescal Canyon Road (N/S) and Project South East Driveway (E/W) shall provide the following geometrics:

Northbound: Three through lanes, one right turn lane

Southbound: Three through lanes

Eastbound: NA

Westbound: One right turn lane - stop control

NOTE: A raised median and appropriate on-site design will be required on Temescal Canyon Road to restrict this driveway to right turns in and out only.

or as approved by the Transportation Department.

All improvements on or affecting Caltrans facilities shall conform to Caltrans design guidelines and shall be subject to Caltrans approval.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

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30.TRANS. 3                      SP - SP353/TS GEOMETRICS (cont.) (cont.) (conINEFFECT

The applicant will be required to provide an appropriate taper on Temescal Canyon Road north of the North Loop and south of the South Loop to join the existing lanes to both the north and south.

100. PRIOR TO ISSUE GIVEN BLDG PRMT

PLANNING DEPARTMENT

100.PLANNING. 1                      SP - CULTURAL RESOURCES REP                      INEFFECT

Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition.

**ORDINANCE No. 348.4709**

1 ORDINANCE NO. 348.4709

2  
3 AN ORDINANCE OF THE COUNTY OF RIVERSIDE  
4 AMENDING ORDINANCE NO. 348 RELATING TO ZONING

5  
6 The Board of Supervisors of the County of Riverside ordains as follows:

7 Section 1. Section 4.1 of Ordinance No. 348, and Official Zoning Plan Map  
8 No.2., as amended, are further amended by placing in effect in the Glen Ivy Zoning Area, the  
9 zone or zones as shown on the map entitled "Change of Official Zoning Plan Amending  
10 Ordinance No. 348, Map No. 2.2328, Change of Zone Case No. 7365", which map is made a part  
11 of this ordinance.

12 Section 2. Article XVIIa of Ordinance No. 348 is amended by adding thereto a  
13 new Section 17.116 to read as follows:

14 Section 17.116 SP ZONE REQUIREMENTS AND STANDARDS FOR  
15 SPECIFIC PLAN NO. 353.

16 a. Planning Area 1.

17 (1) The uses permitted in Planning Area 1 of Specific Plan No. 353  
18 shall be the same as those uses permitted in Article IXb, Section 9.50. of  
19 Ordinance No. 348, except that the uses permitted pursuant to Section 9.50.a. (30),  
20 (55), (61), (64), (75); b.(7) and (9) shall not be permitted. Additionally, hospitals  
21 and clinics shall be prohibited.

22 (2) The development standards for Planning Area 1 of Specific Plan  
23 No. 353 shall be the same as those standards identified in Article IXb, Section  
24 9.53 of Ordinance No. 348, with the exception of the following standards:

25 A. Roof-Mounted Equipment: All roof-mounted mechanical  
26 equipment shall be screened from the ground elevation view from the  
27 adjacent public roadway and Interstate 15.  
28

1 B. Signage: All signage shall be in conformance to the  
2 Serrano Commerce Center Specific Plan No. 353 Comprehensive Signage  
3 Program, as approved by the Riverside County Planning Department.

4 C. Outside Storage: If a non-screened outdoor general retail  
5 area is proposed, the exhibit area shall be identified on the plot plan and  
6 shall be set back a minimum of ten feet (10') from the street line.

7 (3) Except as provided above, all other zoning requirements  
8 shall be the same as those requirements identified in Article IXb of  
9 Ordinance No. 348.

10 b. Planning Area 2.

11 (1) The uses permitted in Planning Area 2 of Specific Plan No. 353  
12 shall be the same as those permitted in Article X, Section 10.1. of Ordinance No.  
13 348, except that the uses permitted pursuant to Section 10.1.a.(2) (k) and (l); b.(1)  
14 and (2) shall not be permitted.

15 (2) The development standards for Planning Area 2 of Specific Plan  
16 No. 353 shall be the same as those standards identified in Article X, Section 10.4  
17 of Ordinance No. 348, with the exception of the following standards:

18 A. Minimum Yard Requirements: If the front of a structure  
19 is adjacent to a street, the front setback shall be twenty-five feet  
20 (25') from the street line. If the front of a structure is adjacent to a  
21 non-residential land uses, there shall be no minimum front setback.  
22 The rear setback shall be fifteen feet (15'). If a side of a structure  
23 is adjacent to a street, the side setback shall be twenty-five feet  
24 (25') from the street line. If the side of a structure is adjacent to a  
25 non-residential land uses, there shall be no minimum side setback.

26 B. Minimum Lot Dimensions: There shall be no minimum  
27 lot area and no minimum average lot width.  
28

1 C. Roof-Mounted Equipment: All roof-mounted mechanical  
2 equipment shall be screened from the ground elevation view from  
3 the adjacent public roadway, including Interstate 15.

4 D. Signage: All signage shall be in conformance to the  
5 Serrano Commerce Center Specific Plan No. 353 Comprehensive  
6 Signage Program, as approved by the Riverside County Planning  
7 Department.

8 E. Outside Storage: If a non-screened outdoor general retail  
9 area is proposed, the exhibit area shall be identified on the plot  
10 plan and shall be set back minimum of ten feet (10') from the  
11 street line.

12 (3) Except as provided above, all other zoning requirements shall be  
13 the same as those identified in Article X of Ordinance No. 348.

14 c. Planning Areas 3, 4, 5, 6, 7, 8, 9, 10 and 11.

15 (1) The uses permitted in Planning Areas 3, 4, 5, 6, 7, 8, 9, 10 and 11  
16 of Specific Plan No. 353 shall be the same as those uses permitted in Article X,  
17 Section 10.1. of Ordinance No. 348, except that the uses permitted pursuant to  
18 Section 10.1.a.(2) (k) and (l); b.(1) and (2) shall not be permitted.

19 (2) The development standards for Planning Areas 3, 4, 5, 6, 7, 8, 9,  
20 10 and 11 of Specific Plan No. 353 shall be the same as those standards identified  
21 in Article X, Section 10.4 of Ordinance No. 348, with the exception of the  
22 following standards:

23 A. Minimum Yard Requirements: If the side of a structure is  
24 adjacent to a street, the side setback shall be twenty-five feet (25') from  
25 the street line. If the side of a structure is adjacent to a non-residential  
26 uses, there shall be no minimum side setback.

1 B. Building Height: The maximum building height shall be  
2 fifty feet (50'), unless an exception pursuant to Section 18.34 of  
3 Ordinance No. 348 is obtained.

4 C. Roof-Mounted Equipment: All roof-mounted mechanical  
5 equipment shall be screened from the ground elevation view from the  
6 adjacent public roadway, including Interstate 15.

7 D. Signage: All signage shall be in conformance to the  
8 Serrano Commerce Center Specific Plan No. 353 Comprehensive Signage  
9 Program, as approved by the Riverside County Planning Department.

10 E. Outside Storage: If a non-screened outdoor general retail  
11 area is proposed, the exhibit area shall be identified on the plot plan and  
12 shall be set back a minimum of ten feet (10') from the street line.

13 (3) Except as provided above, all other zoning requirements shall be  
14 the same as those requirements identified in Article X of Ordinance No. 348.

15 d. Planning Area 12.

16 (1) The uses permitted in Planning Area 12 of Specific Plan No. 353  
17 shall be the same as those uses permitted in Article XVI, Section 16.1 of  
18 Ordinance No. 348, except that the uses permitted pursuant to Section 16.2.a. (1),  
19 (2), (3), (4), (5), (6), (7); b. (1), (2), (3), (4), (5), (6), (8), (9); c. (1) and (2); d. (1);  
20 and e. shall not be permitted. In addition, the permitted uses identified under  
21 Section 16.2 also shall include Open Space-Conservation.

22 (2) The development standards for Planning Area 12 of Specific Plan  
23 No. 353 shall be the same as those standards identified in Article XVI, Section  
24 16.4 of Ordinance No. 348.

25 (3) Except as provided above, all other zoning requirements shall be  
26 the same as those requirements identified in Article XVI of Ordinance No. 348.  
27  
28



1 e. Planning Areas 13A, 13B, 13C and 13D.

2 (1) The uses permitted in Planning Areas 13A, 13B, 13C and 13D of  
3 Specific Plan No. 353 shall be the same as those uses permitted in Article XVI,  
4 Section 16.1 of Ordinance No. 348, except that the uses permitted pursuant to  
5 Section 16.2.a.(1), (2), (3), (4), (5), (7); b.(1), (2), (3), (4), (5), (6), (8), (9); c.(1)  
6 and (2); d. (1); and e. shall not be permitted. In addition, the permitted uses  
7 identified under Section 16.2 also include Open Space-Water, including flood  
8 control channels.

9 (2) The development standards for Planning Areas 13A, 13B, 13C and  
10 13D of Specific Plan No. 353 shall be the same as those standards identified in  
11 Article XVI, Section 16.4 of Ordinance No. 348.

12 (3) Except as provided above, all other zoning requirements shall be  
13 the same as those requirements identified in Article XVI of Ordinance No. 348.

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Section 3. This ordinance shall take affect 30 days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY  
OF RIVERSIDE, STATE OF CALIFORNIA

By: Marion Ashley  
Chairman, Board of Supervisors  
Marion Ashley

ATTEST: Kecia Harper-Ihem

CLERK OF THE BOARD

By: Kecia Harper-Ihem  
Deputy

(Seal)

APPROVED AS TO FORM  
April 28, 2010

By: Michelle Clack  
MICHELLE CLACK  
Deputy County Counsel

MPC:md  
04/2/10  
G:\PROPERTY\MDUSEK\SPECIFIC PLAN ZONING ORDINANCES\SP 353 CZ 7365.042210.DOC

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STATE OF CALIFORNIA        )  
                                  )  
COUNTY OF RIVERSIDE        )        ss

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on September 28, 2010, the foregoing ordinance consisting of 3 Sections was adopted by the following vote:

AYES:        Buster, Stone, Benoit, and Ashley  
NAYS:        None  
ABSENT:     Tavaglione

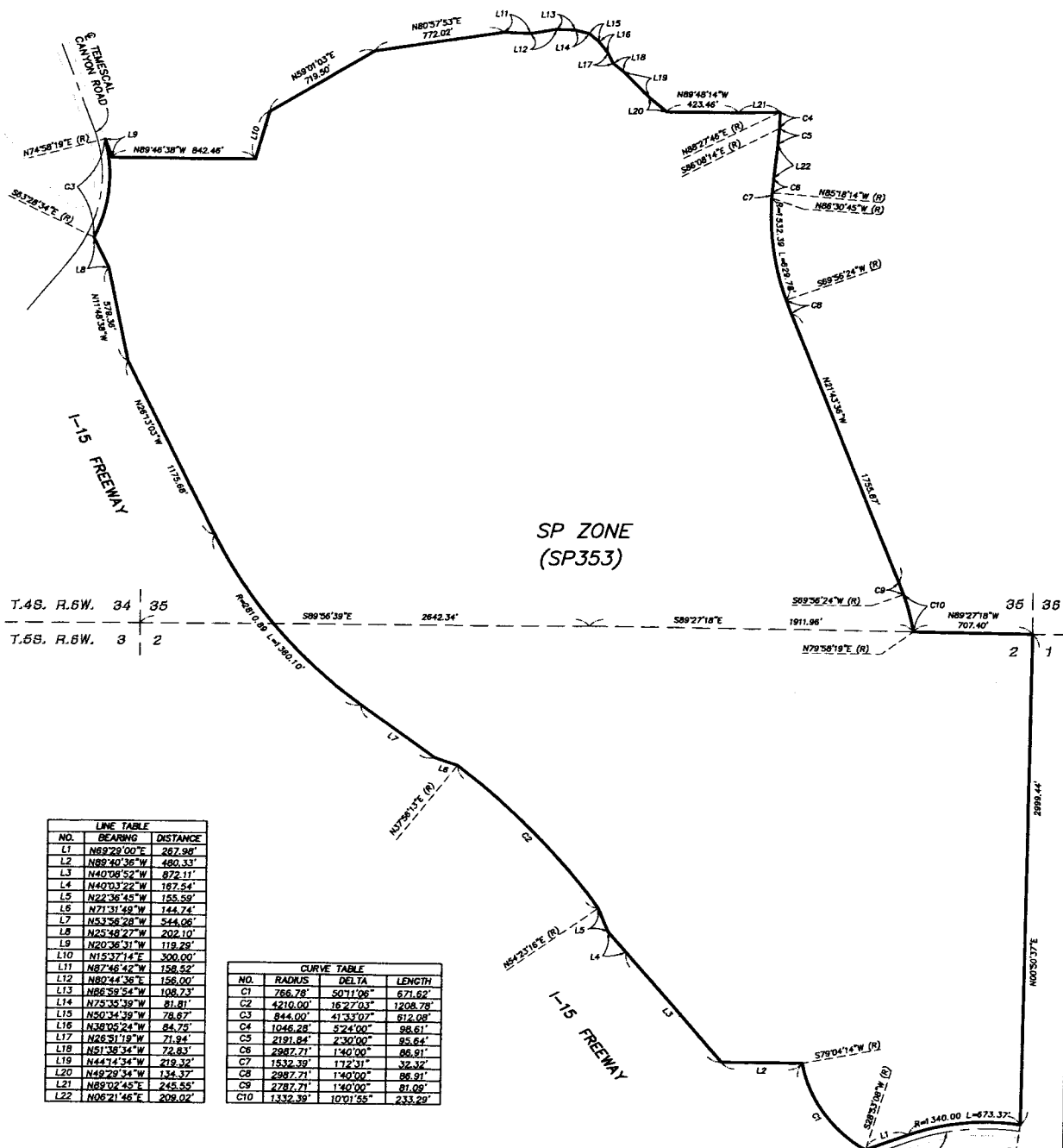
DATE:        September 28, 2010

KECIA HARPER-IHEM  
Clerk of the Board

BY: *[Signature]*  
Deputy

SEAL

**GLEN IVY AREA**  
 PORTIONS OF SECTIONS 34 & 35, TOWNSHIP 4 SOUTH, RANGE 6 WEST, S.B.M.  
 AND A PORTION OF SECTION 2, TOWNSHIP 5 SOUTH, RANGE 6 WEST, S.B.M.



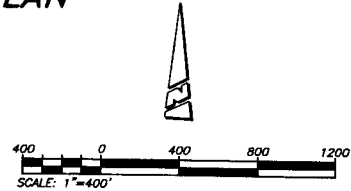
NO.	BEARING	DISTANCE
L1	N89°29'00"E	267.98'
L2	N88°40'36"W	480.33'
L3	N40°08'52"W	872.11'
L4	N40°03'22"W	187.54'
L5	N22°36'45"W	155.59'
L6	N71°31'48"W	144.74'
L7	N53°56'28"W	544.06'
L8	N25°48'27"W	202.10'
L9	N20°36'31"W	118.29'
L10	N15°37'14"E	300.00'
L11	N87°46'42"W	158.52'
L12	N80°44'36"E	158.00'
L13	N82°32'24"W	108.73'
L14	N73°33'39"W	81.81'
L15	N50°34'39"W	78.67'
L16	N38°05'24"W	84.75'
L17	N28°51'19"W	71.94'
L18	N51°38'34"W	72.83'
L19	N44°14'34"W	219.32'
L20	N40°22'54"W	134.37'
L21	N89°02'45"E	245.55'
L22	N06°21'46"E	209.02'

NO.	RADIUS	DELTA	LENGTH
C1	788.78'	50°11'06"	571.62'
C2	4210.00'	16°27'03"	1208.78'
C3	844.00'	41°33'07"	612.08'
C4	1046.28'	5°24'00"	98.61'
C5	2191.84'	2°30'00"	95.64'
C6	2987.71'	1°40'00"	86.81'
C7	1532.39'	1°12'31"	32.32'
C8	2987.71'	1°40'00"	86.81'
C9	2282.71'	1°40'00"	81.69'
C10	1332.39'	10°01'55"	233.29'

**SP ZONE** SPECIFIC PLAN (SP353)  
 MAP NO. 2.2328  
**CHANGE OF OFFICIAL ZONING PLAN**  
 AMENDING  
 MAP NO. 2, ORDINANCE NO. 348  
 CHANGE OF ZONE CASE NO. 7365

ADOPTED BY ORDINANCE NO. 348.4709  
 SEPTEMBER 28, 2010  
 RIVERSIDE COUNTY BOARD OF SUPERVISORS

APN'S:  
 283-190-027, 283-200-010, 009, 014, 283-160-009,  
 280-170-015, 021, 283-190-013, 283-200-008, 290-050-073,  
 283-170-012, 013, 014, 290-050-022, 003, 290-050-006,  
 290-050-032, 290-060-015, 290-050-026 THROUGH 029,  
 290-050-023, 290-050-020.



**SPECIFIC PLAN NO. 353**

# **SERRANO COMMERCE CENTER** **SPECIFIC PLAN No. 353**

*Project Applicant:*

ROSETTA ADVISORS  
P.O. Box 549  
CORONA, CA 92883

*Prepared by:*



**T&B PLANNING, INC.**  
17542 East 17<sup>th</sup> Street, Suite 100  
Tustin, CA 92780  
(714) 505-6360  
Contact: Tracy Zinn

Adopted by Board of Supervisors: September 28, 2010

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# **I. EXECUTIVE SUMMARY**

**I. EXECUTIVE SUMMARY****A. PROJECT SUMMARY**

The SERRANO COMMERCE CENTER SPECIFIC PLAN provides for the development of a commerce center on approximately 489.28 acres in the Temescal Canyon area of unincorporated Riverside County, California. The Specific Plan provides for the establishment of a large, successful commerce center with light industrial, commercial retail, and open space land uses along the Interstate 15 (I-15) corridor that offers job opportunities for many Riverside County residents. As the population of Riverside County continues to grow, employment opportunities for the County's residents is a necessary component to achieving a better jobs-to-housing balance and to reducing commute times and travel distances between work and home.

This Specific Plan has been prepared to guide development of the commerce center by setting forth a development plan, phasing plan, infrastructure plans, development standards, and design guidelines for building placement, architecture, landscaping and other design elements. All architectural design elements are planned to create interest, unity, and compatibility through the consistent use of similar (but not identical) exterior building materials, colors, and façade treatments. In addition, a cohesive landscaping and lighting program is planned to provide pleasing views of the commerce center from off-site locations.

The "Urban Desert California" design theme has been crafted for this Specific Plan to evoke the simple, powerful, and rugged imagery of the light industrial and commercial retail land uses. By using earth-toned building materials and colors, water-efficient and drought-resistant landscaping, and energy-conserving features, the SERRANO COMMERCE CENTER complements Temescal Valley and its position as a gateway to urbanizing areas of Riverside County.

Circulation and infrastructure improvements are designed and coordinated by this Specific Plan to ensure their timely construction. Most important among these improvements is the realignment and extension of Temescal Canyon Road as an arterial highway through the SERRANO COMMERCE CENTER SPECIFIC PLAN. Temescal Canyon Road is planned to provide primary local access to the commerce center and serve as an important component of the area's local circulation system. In addition to roads, other master-planned infrastructure systems on the site include water, wastewater, and flood control/drainage systems. The Specific Plan's phasing plan ensures that necessary roads, utilities, landscape elements, and other infrastructure facilities are installed when needed to accommodate the needs of the commerce center at build-out.

Almost 6.8 million square feet of building space can occur on the property upon full build-out of the Specific Plan. Light industrial land uses account for 372.06 acres, the majority of the commerce center area. A 17.45-acre commercial retail center occurs in the northwest portion of the site to support and complement the light industrial uses.

The Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) (2003) is a regional habitat conservation plan that was prepared to preserve a connected system of habitats for sensitive plant and wildlife species. A total of 48.77 acres, located along the eastern and northeastern boundaries of the SERRANO COMMERCE CENTER, are designated as Open Space-Conservation pursuant to the requirements of the MSHCP. This open space area, conveyed to the Riverside Conservation Authority (RCA) as part of the MSHCP Reserve, maintains a segment of Temescal

Wash in its natural condition to preserve habitat, facilitate species mitigation, and allow for groundwater recharge. Additionally, two natural drainages located in the northern and southern sections of the commerce center (Coldwater Canyon Wash and Mayhew Wash) are planned to be improved as part of the County’s regional drainage system to convey storm waters to the Temescal Wash. In total, 13.08 acres of the SERRANO COMMERCE CENTER are designated Open Space-Water.

Figure 1-1, *Land Use Plan*, provides a graphic depiction of the land use distribution. Table 1-1, *Land Use Abstract*, provides a summary of the land uses designated within the SERRANO COMMERCE CENTER.

**TABLE 1-1 LAND USE ABSTRACT**

<b>LAND USE</b>	<b>ACRES</b>	<b>TARGET BUILDING SQUARE FOOTAGE</b>
Light Industrial	372.06	6,600,994
Commercial Retail	17.45	172,150
Open Space – Conservation	48.77	--
Open Space – Water	13.08	--
Major Roadways	37.93	--
<b>PROJECT TOTALS</b>	<b>489.28 acres</b>	<b>6,773,144 square feet</b>

At the time this Specific Plan was prepared, the Serrano COMMERCE CENTER property was owned by several parties. The ownership distribution pattern, as depicted on Figure 1-2, *Ownership Map*, shows that approximately three-quarters of the Specific Plan area was owned by MCP Industries and the Garrett Family. The remainder was owned by various individuals, families, associations, and groups. Despite this multiple ownership pattern, development under the guidance of this Specific Plan is designed to be coordinated with site planning, infrastructure, and design elements cohesively structured to result in one, unified, master-planned and successful commerce center.

**B. DOCUMENT PURPOSE**

The SERRANO COMMERCE CENTER SPECIFIC PLAN establishes guidelines for the development of a commerce center in the Temescal Canyon area of unincorporated Riverside County. Specific Plans are tools authorized by California Government Code §65450 *et seq.* for the systematic implementation of General Plans for a defined portion of a community's planning area. This document provides the Riverside County with a defined set of plans, policies, and regulations to ensure efficient, orderly development of the site in accordance with the County’s adopted General Plan. The SERRANO COMMERCE CENTER SPECIFIC PLAN provides information relative to land uses, site planning, and building intensity, as well as design guidelines that are intended to allow for innovation in architecture, landscaping, and building arrangements as future plot plans are proposed to implement the Specific Plan. The subsequent approval of plot plans is required by the County, which will show specific building arrangements and sizes, architecture, parking and loading area juxtapositions, landscape details, and other particulars consistent with the direction given in this Specific Plan.

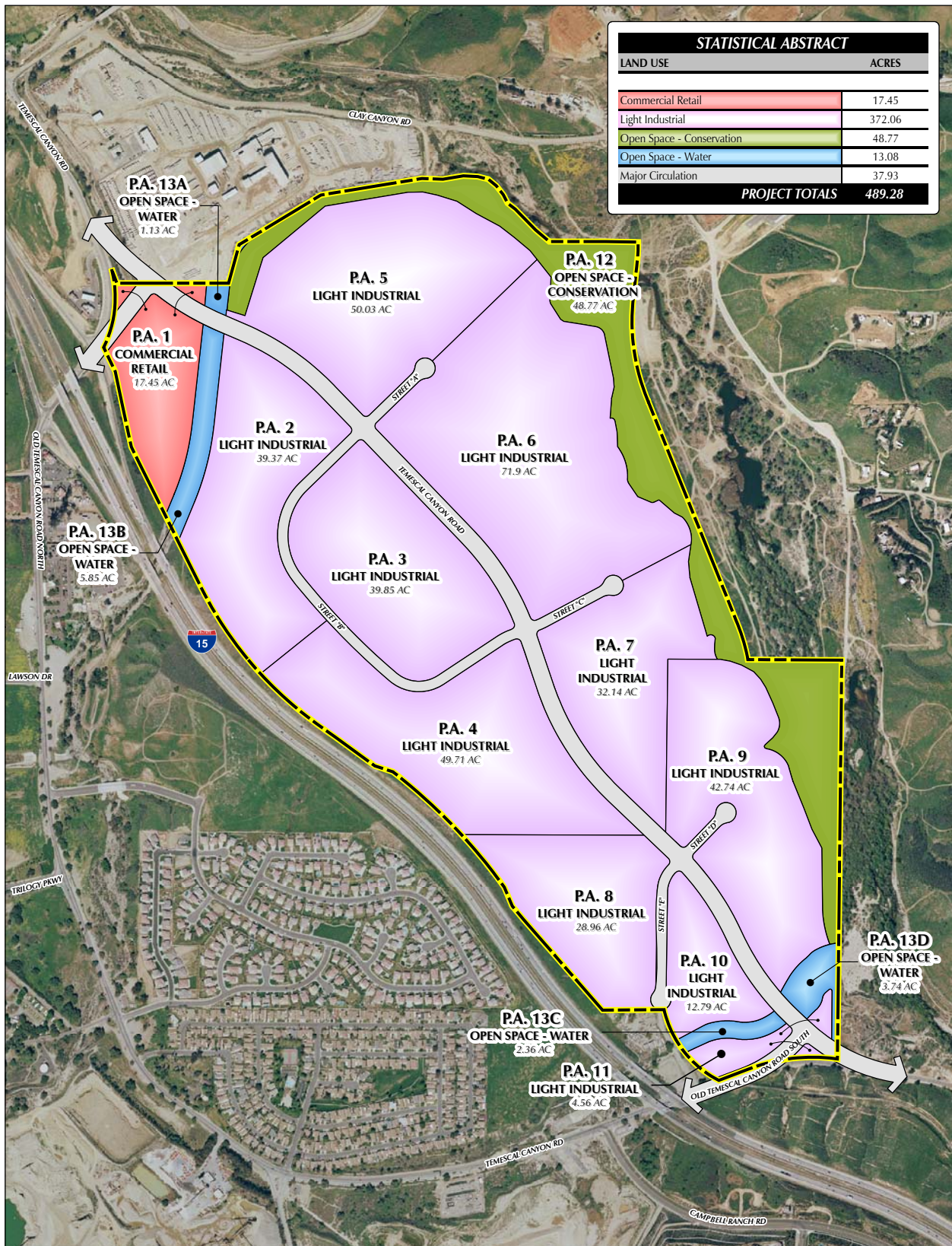
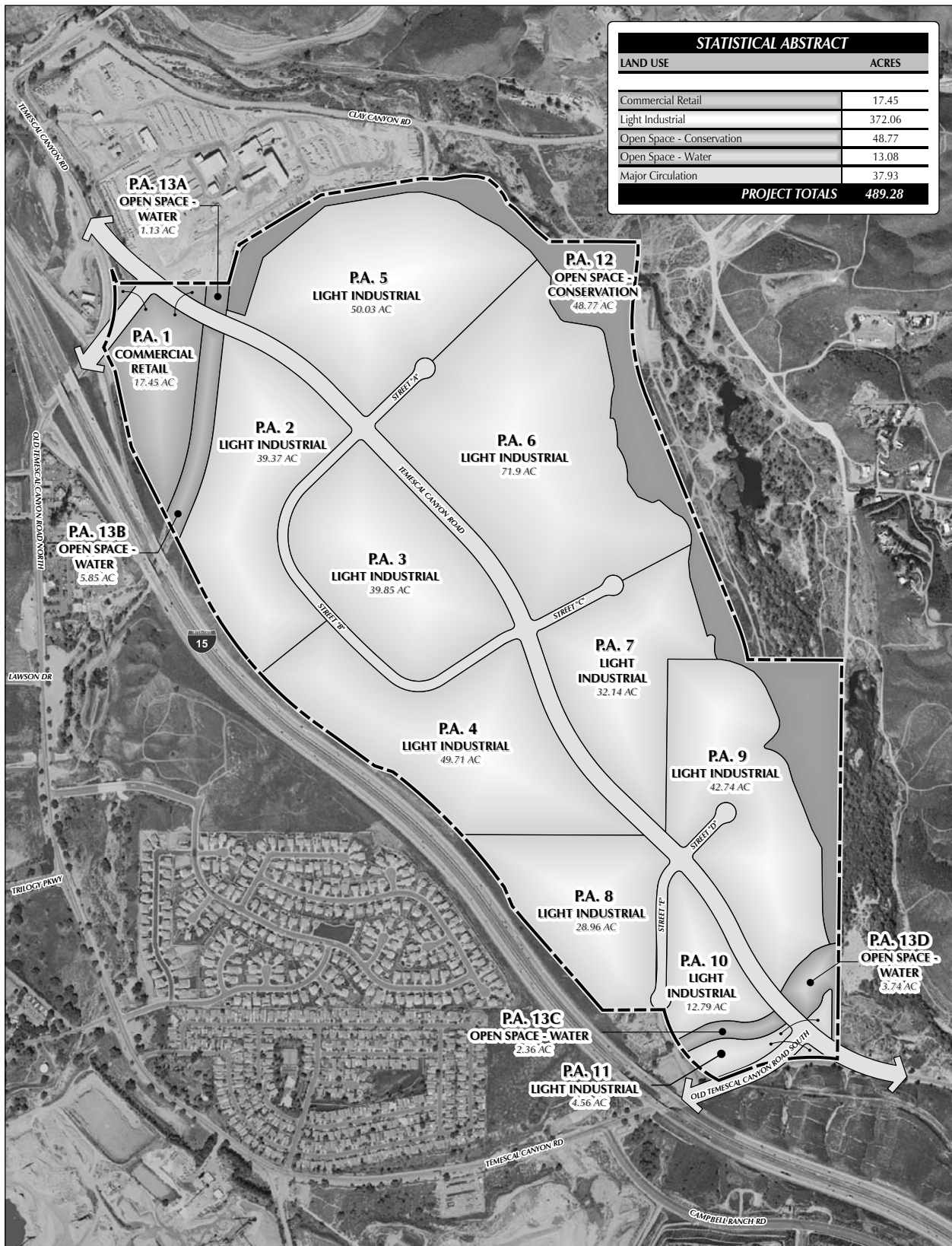


FIGURE 1-1





**FIGURE 1-1A**

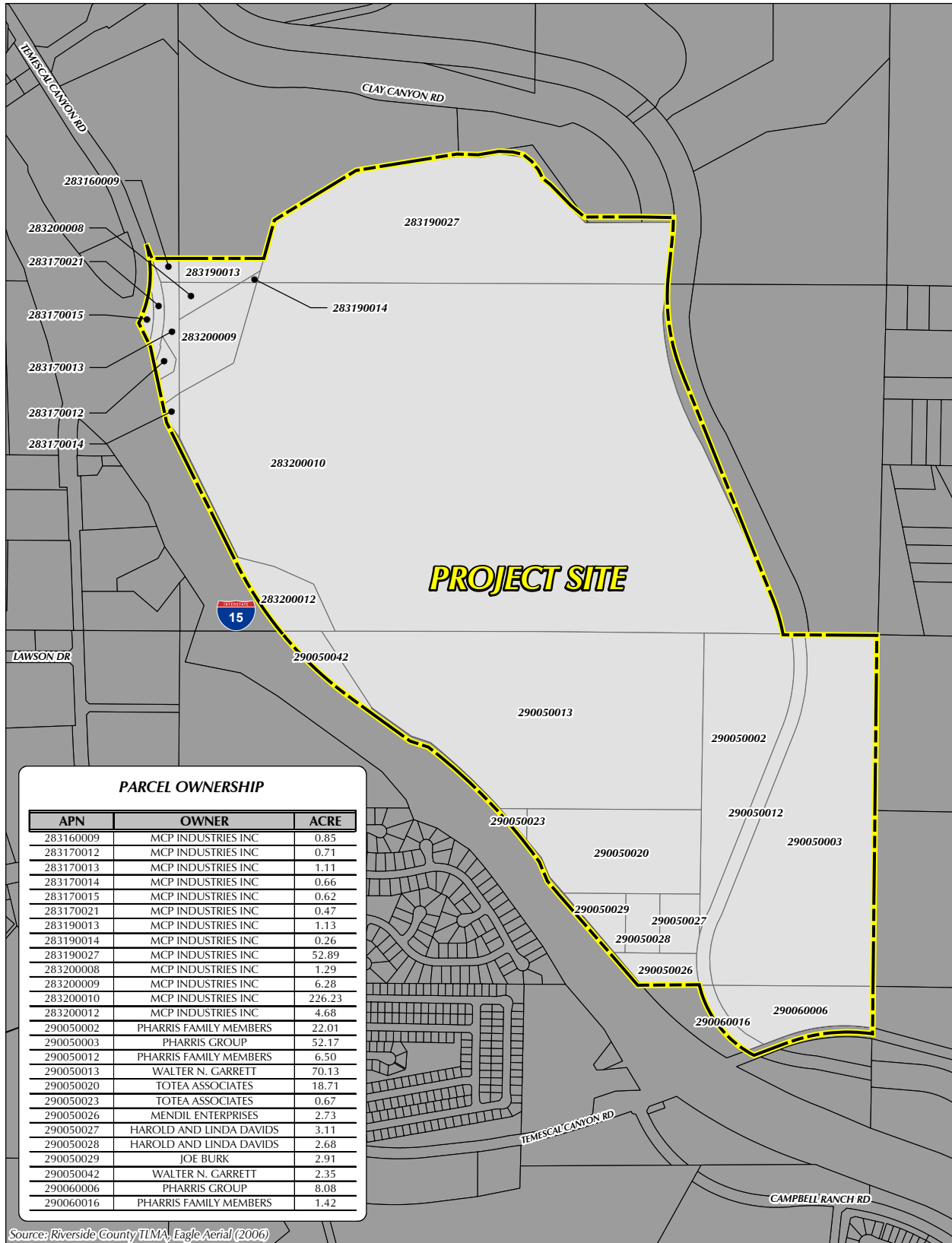


FIGURE 1-2

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The State of California (under California Government Code §65450 *et seq.*) encourages jurisdictions to adopt Specific Plans either by resolution to establish a policy document or by ordinance to establish a regulatory document. This Specific Plan document is intended to be a regulatory document and, therefore, is adopted by ordinance and subject to Riverside County Planning Commission review and Board of Supervisors approval.

All future development plans, plot plans, site plans, parcel maps, use permits, and other similar entitlements for properties located within the boundaries of this Specific Plan are required to be consistent with the standards and guidelines set forth in this document and with all applicable County regulations. Furthermore, all regulations, conditions, standards, and guidelines contained herein shall be deemed distinct and independent provisions of the Specific Plan. If any section, clause, phase, or portion of this document is for any reason held to be invalid by the decision of any federal or state court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

A General Plan Amendment (GPA), Tentative Parcel Map (TPM), Change of Zone (CZ) and Environmental Impact Report (EIR) were processed concurrently with this Specific Plan. The GPA and CZ are companion actions to the Specific Plan to achieve consistency between the General Plan land use designations, the Specific Plan land use designations, and zoning. The TPM is an implementing action that defines legal lots for future development on a portion of the site. The EIR is required by the California Environmental Quality Act (CEQA) to analyze impacts to the physical environment that could be caused by the project, and to avoid, reduce, and mitigate those impacts to the greatest practical extent. The actions considered by Riverside County include:

- **Specific Plan No. 353** to establish the SERRANO COMMERCE CENTER SPECIFIC PLAN.
- **General Plan Amendment No. 815** to amend the Riverside County General Plan Use Element from Community Development: Light Industrial (CD:LI) (0.25 - 0.60 FAR) and Community Development: Community Center (CD:CC) to Specific Plan (SP), as well as amend the text of the Temescal Canyon Area Plan (TCAP) Figure 4 "Policy Areas" to modify the language of the Serrano Policy Area to encompass the land use policies of Specific Plan No. 353. See Figure 1-6, *Temescal Canyon Area Plan Land Use Map*, which depicts the Area Plan's land use exhibit before the approval of GPA No. 815.
- **Change of Zone No. 7365** to modify the site's zoning designations of Rural Residential (RR), Tourist Commercial (CT), Scenic Highway Commercial (CPS), Manufacturing-Service Commercial (M-S-C), Mineral Resources & Related Manufacturing (MRA), Warehouse, Watershed, & Conservation Area (W-1), and Unzoned/Street to the zoning designation of Specific Plan No. 353 (SP).
- **Tentative Parcel Map No. 32885** to create 19 developable parcels within a portion of the SERRANO COMMERCE CENTER SPECIFIC PLAN for future development.
- **Environmental Impact Report No. 492** analyzes the physical environmental impacts that may result upon implementation of this Specific Plan and related actions. EIR No. 492 recommends mitigation measures to avoid or reduce the significant environmental impacts that may result from planning, constructing, and operating the SERRANO COMMERCE CENTER. Compliance with the mitigation measures set forth in EIR No. 492 is mandatory for implementation of this Specific Plan. Additionally, many design aspects of the SERRANO

COMMERCE CENTER included in this Specific Plan are intended to further reduce the commerce center's environmental impacts, such as the Specific Plan's water recharge plan, energy efficiency guidelines, and low water-use landscaping plan.

The SERRANO COMMERCE CENTER SPECIFIC PLAN provides Riverside County's staff and decision makers, as well as developers, community interest groups, utility providers, public service districts, and others with a comprehensive set of plans, regulations, conditions, and programs for guiding the systematic development of the commerce center. This Specific Plan implements each element of the Riverside County General Plan and the Temescal Canyon Area Plan as they apply to this property.

### **C. FORMAT**

This SERRANO COMMERCE CENTER SPECIFIC PLAN is divided into the following sections: Executive Summary, Specific Plan, Planning Area Development Standards, Design Guidelines, Zoning Ordinance, and Implementation Plan. This SERRANO COMMERCE CENTER SPECIFIC PLAN has been prepared pursuant to the provisions of California Government Code §65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §65450 through §65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to §65450, a Specific Plan shall include text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered within the specific plan area;
- The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the specific plan area;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
- A schematic program of implementation measures indicating how public services will be financed; and
- A statement of the specific plan's relationship to the general plan.

California state law also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the general plan, such as architectural or landscape design guidelines.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the Riverside County General Plan. By functioning as a regulatory document, the SERRANO COMMERCE CENTER SPECIFIC PLAN provides a means of implementing the County's General Plan and tailoring its policies to the subject property. In this regard, all future plot plans and other entitlement applications are required to substantially conform to the standards and guidelines set forth in this document, as well as all applicable County regulations. This Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as

commerce center-wide concerns such as vehicular and non-vehicular circulation, energy conservation, landscaping, and the provision of infrastructure. The SERRANO COMMERCE CENTER SPECIFIC PLAN ensures that new development meets or exceeds County standards for environmental protection, infrastructure, site planning, and aesthetic quality.

### **C.1 DEFINITION OF TERMS**

The following words are frequently used throughout this Specific Plan, and the definitions of these terms as they pertain to this Specific Plan are as follows:

- **Applicant:** “Applicant” is the entity responsible for submitting this Specific Plan to the County of Riverside. The “applicant” for the Serrano Commerce Center Specific Plan is Rosetta Advisors, which acts as the representative for the multiple owners of the commerce center site.
- **Developer:** The term “developer” is used to refer to the specific person(s) or company(ies) applying for a particular permit or approval to implement this Specific Plan.
- **Development (noun):** “Development” refers to the physical improvements constructed on the property, such as buildings, roads, parking areas, utilities, signs, lighting, and landscaping. In context, “development” also refers to the process by which the property is graded and improvements are constructed.
- **Implementing Action:** Discretionary or administrative permit or approval required by Riverside County or other agency to further entitle, construct, or operate the land uses called for by this Specific Plan.
- **Commerce Center:** The general term “commerce center” is used to describe the totality of planned physical improvements and the discretionary and administrative approvals necessary to implement this Specific Plan and related actions. See Specific Plan Sections I.B and I.G for a list of approval actions requested concurrent with the Specific Plan.

### **D. PLANNING OBJECTIVES**

To ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic appearance of the SERRANO COMMERCE CENTER, planning and development goals for the commerce center were established. The analyses conducted to compile these goals included an examination of engineering feasibility, market acceptance, economic viability, resource conservation, County General Plan goals, Temescal Canyon Area Plan (TCAP) goals, development phasing, and local community goals. The resulting goals for the SERRANO COMMERCE CENTER SPECIFIC PLAN are as follows:

- Provide a mixture of light industrial and commercial retail land uses on the site that is consistent with the TCAP’s land use designations of “Light Industrial” and “Community Center.”

- Provide a mix of light industrial and commercial retail uses on the property that create new job opportunities and reduce the need for members of the existing local workforce to commute outside of the area for employment.
- Provide commercial retail support uses near an I-15 ramp and in proximity to employment bases and residential neighborhoods to help meet the day-to-day retail commercial needs of employees and local residents.
- Anticipate market demand by providing a mixture of light industrial and commercial retail land uses in a master-planned commerce center that would be marketable and financially profitable within the evolving economic profile of western Riverside County.
- Provide for the permanent conservation of open space and riparian habitat along the property's eastern and northeastern boundaries in a configuration that maintains a segment of Temescal Wash in natural open space pursuant to the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP).
- Eliminate resource extraction (clay mining) activities on the site in accordance with a Reclamation Plan approved by Riverside County.
- Provide an internal sidewalk and trail system that promotes non-vehicular circulation within the commerce center.
- Plan and construct capital improvements for water, sewer, drainage, and road facilities to provide adequate services to the SERRANO COMMERCE CENTER.
- Plan and construct two flood control channels for Coldwater Canyon Wash and Mayhew Wash that feature channel bank revetment and grade control structures within the northeastern and southern portions of the SERRANO COMMERCE CENTER to convey storm water flows to the Temescal Wash.
- Improve and realign Temescal Canyon Road to arterial highway standards, east of and parallel to I-15 through the SERRANO COMMERCE CENTER, consistent with the Circulation Element of the Riverside County General Plan.
- Develop guidelines for architecture, parking areas, walls, fencing, signage, and entry treatments that are consistent with the County's Land Use and Development Code and that reinforce a positive identity for the SERRANO COMMERCE CENTER.
- Develop landscaping guidelines that emphasize the use of drought-tolerant and water-efficient plant materials that are consistent with the Temescal Canyon Area Plan landscaping guidelines and the County's Land Use and Development Code.
- Develop guidelines for energy efficiency to promote the conservation of natural resources used in construction and during operation of the SERRANO COMMERCE CENTER.
- Provide a master-planned, comprehensive planning approach to commerce center development that cannot be efficiently accomplished by piecemeal development.

## E. PROJECT LOCATION AND REGIONAL SETTING

### E.1 LOCATION AND SETTING

Riverside County is located in an urbanizing area referred to as the Inland Empire, which consists of a 28,000 square mile region comprised of San Bernardino County, the eastern tip of Los Angeles County, and Riverside County. The Inland Empire is a fast-growing metropolitan area with large amounts of land available for future growth. The SERRANO COMMERCE CENTER SPECIFIC PLAN site comprises 489.28 acres and is located within the Temescal Canyon area of unincorporated Riverside County, as shown on Figure 1-3, *Regional Map*, and Figure 1-4, *Vicinity Map*. This area sits almost in the center of the larger Inland Empire. Temescal Canyon is a low-lying area framed by the Gavilan Hills to the east and the Cleveland National Forest to the west. I-15 and the Temescal Wash drainage occur within this low-lying canyon area.

Temescal Canyon has historically been rural in character with low density residential uses, scattered commercial and light industrial areas, and sand and gravel extraction areas constituting the majority of land uses. Most of these land uses, as well as new development, are clustered around I-15. Development to the west is constrained by the Cleveland National Forest, while development to the east is limited by the steep topography of Gavilan Hills. The City of Corona is located approximately four (4) miles to the north, and the City of Perris is situated approximately ten (10) miles to the east.

Figure 1-5, *Aerial Photograph*, depicts the SERRANO COMMERCE CENTER site and surrounding properties. Directly adjacent to the eastern boundary of the commerce center is a segment of the Temescal Wash, which provides drainage from Lake Elsinore into the Santa Ana River. As shown in Figure 1-5, the area located to the north of the site and east of I-15 consists primarily of industrial land uses, including Rinker Materials, Humble Transport Company, Standard Concrete, and the Synagro Regional Composting Facility. The El Sobrante Sanitary Landfill is located approximately ¼-mile northeast of the Specific Plan boundary.

Existing and developing residential communities in a variety of densities, ranging from rural residential to medium density residential, comprise the predominant land use west of I-15. The Mission Clay Products office and several commercial land uses also are located to the west of I-15 along Temescal Canyon Road. Further to the west is the Cleveland National Forest. The Sycamore Creek Specific Plan No. 256, which is approved for 1,758 residential units, 14.60 acres of commercial land uses, and a 10.40-acre school site, is located south of the commerce center site and adjacent to and west of I-15.

To the east of the commerce center, several scattered rural residential developments are located beyond the Temescal Wash. The Toscana Specific Plan No. 327 is located immediately southeast of the commerce center and is approved for development of 1,443 residential units in a master-planned community.

Within the vicinity of the commerce center are two large bodies of water, Lake Mathews and Lake Elsinore. Lake Mathews is located approximately 4.0 miles northeast of the commerce center, encompasses approximately 2,800 acres, and is the western terminus for the Colorado River Aqueduct that provides much of the water used by the cities and water districts of the Metropolitan Water District of Southern California. As a regional source of water, recreational uses at Lake

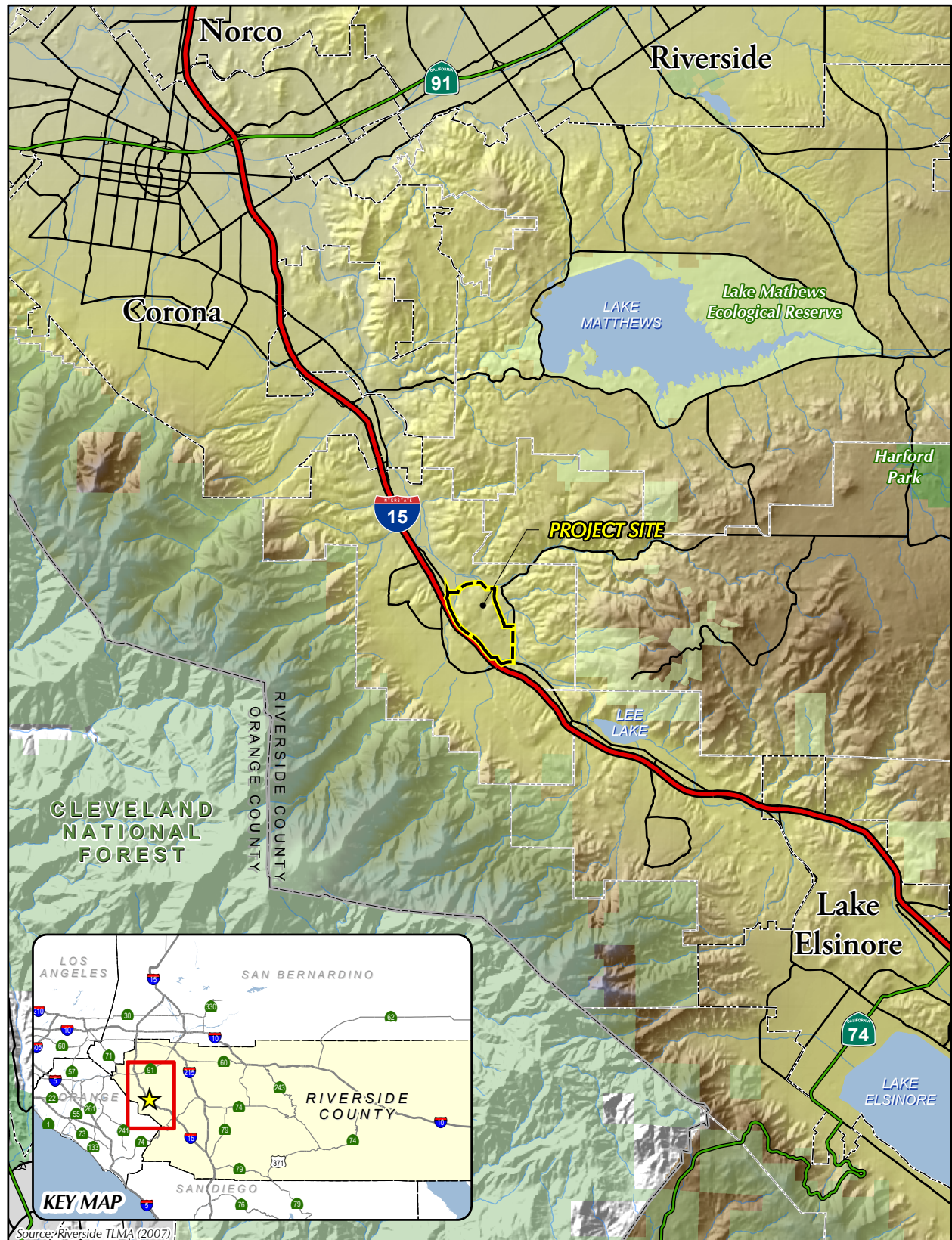


FIGURE 1-3





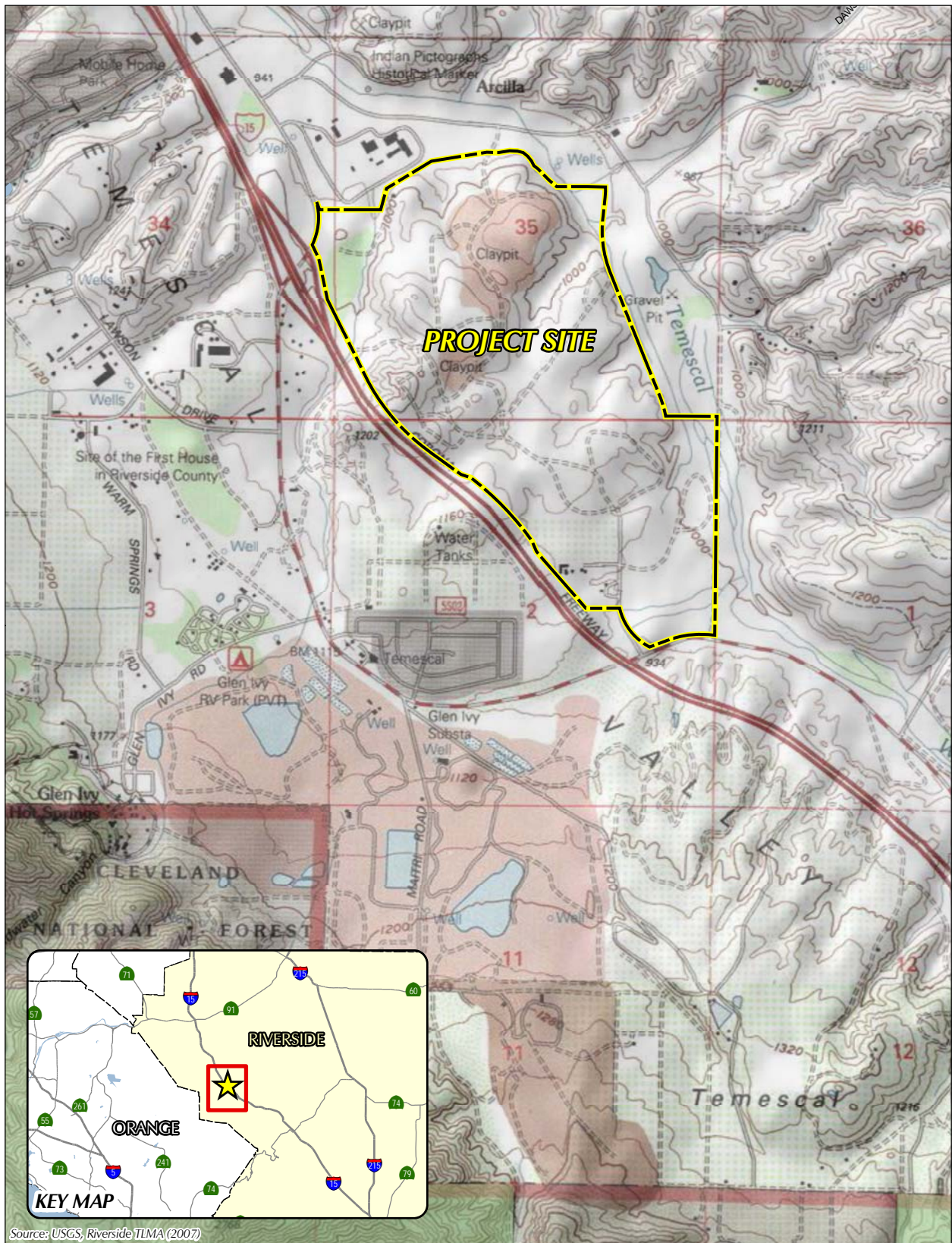


FIGURE 1-4

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Vicinity Map



FIGURE I-5

Mathews are restricted to passive activities surrounding the lake. Lake Elsinore is located approximately 8.0 miles to the south and encompasses approximately 3,300 acres. The lake is primarily used for recreational purposes.

## **E.2 REGIONAL CIRCULATION**

The Temescal Canyon area is served by a number of major roadways connecting the area to Los Angeles, Orange, and San Diego Counties, as well as other portions of Riverside County. Primary regional access to the SERRANO COMMERCE CENTER is provided by I-15, which runs northwest to southeast adjacent to the commerce center's western boundary.

State Route 91 (SR-91) connects to I-15 approximately 9.0 miles to the north of the commerce center. SR-91 is an east-west oriented freeway that provides access between eastern Riverside County and western Orange County. State Route 74 (SR-74) is located approximately 7.0 miles to the south of the commerce center and connects to I-15 near the City of Lake Elsinore. SR-74 provides access between southern Orange County to the west and the City of Hemet and the eastern portions of unincorporated Riverside County to the east.

## **E.3 PHYSICAL SITE CONDITIONS**

Clay mining, several businesses, three mobile home residences, dirt roads, and an abandoned rail line exist on the site in its pre-development condition. Clay mining has occurred on the site since at least 1953. The remaining, approximately 315 acres of the site are vacant and comprised of disturbed/ruderal/non-native grassland.

In its pre-development condition, the commerce center site is topographically varied, consisting primarily of gently sloping terrain and with topographic relief occurring around the Temescal Wash and the property's smaller drainages. Overall site elevations range from approximately 950 feet above mean sea level (MSL) to approximately 1,212 feet above MSL, resulting in a maximum elevation difference of approximately 262 feet across the property. The site features several ephemeral drainage courses, many of which drain into the Temescal Wash.

## **F. PLANNING CONTEXT AND APPROACH**

### **F.1 PLANNING CONTEXT**

The Riverside County Integrated Project (RCIP) is an integrated program that plans for the future conservation, transportation, housing, and economic needs in the County. The three relevant components of the RCIP are the Riverside County General Plan (including the Temescal Canyon Area Plan (TCAP)), Multiple Species Habitat Conservation Plan (MSHCP), and the Community Environmental Transportation Acceptability Process (CETAP).

#### **F.1.1 RIVERSIDE COUNTY GENERAL PLAN/TEMESCAL CANYON AREA PLAN**

Land use development policies are generally regulated by the County of Riverside General Plan (hereafter, "General Plan"), adopted by the Riverside County Board of Supervisors in 2003. The General Plan is organized into eight separate elements, including Land Use, Circulation, Multipurpose Open Space, Safety, Noise, Housing, Air Quality, and Administration. In addition, the

General Plan divides the County into nineteen Area Plans. The purpose of these Area Plans is to provide more detailed land use and policy direction regarding local issues such as land use, circulation, open space, and other topical areas.

The SERRANO COMMERCE CENTER SPECIFIC PLAN is located within the boundaries of the Temescal Canyon Area Plan (TCAP), which is described as the western gateway to Riverside County. The TCAP is surrounded by three area plans: the Eastvale Area Plan to the north, Lake Mathews/Woodcrest Area Plan to the east, and Elsinore Area Plan to the south. The TCAP abuts the southern boundary of the City of Corona and is framed by the Santa Ana Mountains and the Cleveland National Forest to the west and the Gavilan Hills to the east.

According to the TCAP Land Use Plan (see Figure 1-6, *Temescal Canyon Area Plan Land Use Map*), the SERRANO COMMERCE CENTER site is designated as “Community Center” and “Light Industrial.” The County seeks to establish community centers to service specific locations supporting intensive development. The northern portion of the SERRANO COMMERCE CENTER SPECIFIC PLAN (as well as property north of the commerce center) comprises one of these designated centers. The remaining areas of the site are designated as Light Industrial, intended by the County to provide for industrial and related uses such as warehousing/distribution, assembly and light manufacturing, repair facilities, office, and supporting retail uses.

The SERRANO COMMERCE CENTER SPECIFIC PLAN tailors its land use designations to the economic needs of the community by providing commerce center intensive uses to stimulate job creation for area residents. The SERRANO COMMERCE CENTER SPECIFIC PLAN land use plan evolved from a project team composed of industry professionals from a variety of disciplines including, but not limited to land use planners, architects, engineers, and environmental professionals. The team created a comprehensive development plan for the 489.28-acre commerce center that is financially feasible, aesthetically pleasing, sustainable, and consistent with the County of Riverside General Plan and Temescal Canyon Area Plan. The team’s efforts resulted in the creation of a commerce center development plan that fulfills the economic and social need for new light industrial and community retail land uses in the local area.

A series of opportunities and constraints analyses were undertaken to determine appropriate development standards for the site. The property’s pre-development conditions that were evaluated included, but were not limited to, the following:

- Aerial Photography
- General Plan Land Use and Roadway Designations
- Adjacent Land Uses (existing and proposed)
- Topography (slopes, including high and low elevations)
- Biology (plants, animals, wetlands, and wildlife movement)
- Hydrology (surface water, groundwater, and floodplains)
- Geology (seismicity, surficial geology, and geomorphology)
- Soils (stability, erodibility, and suitability)

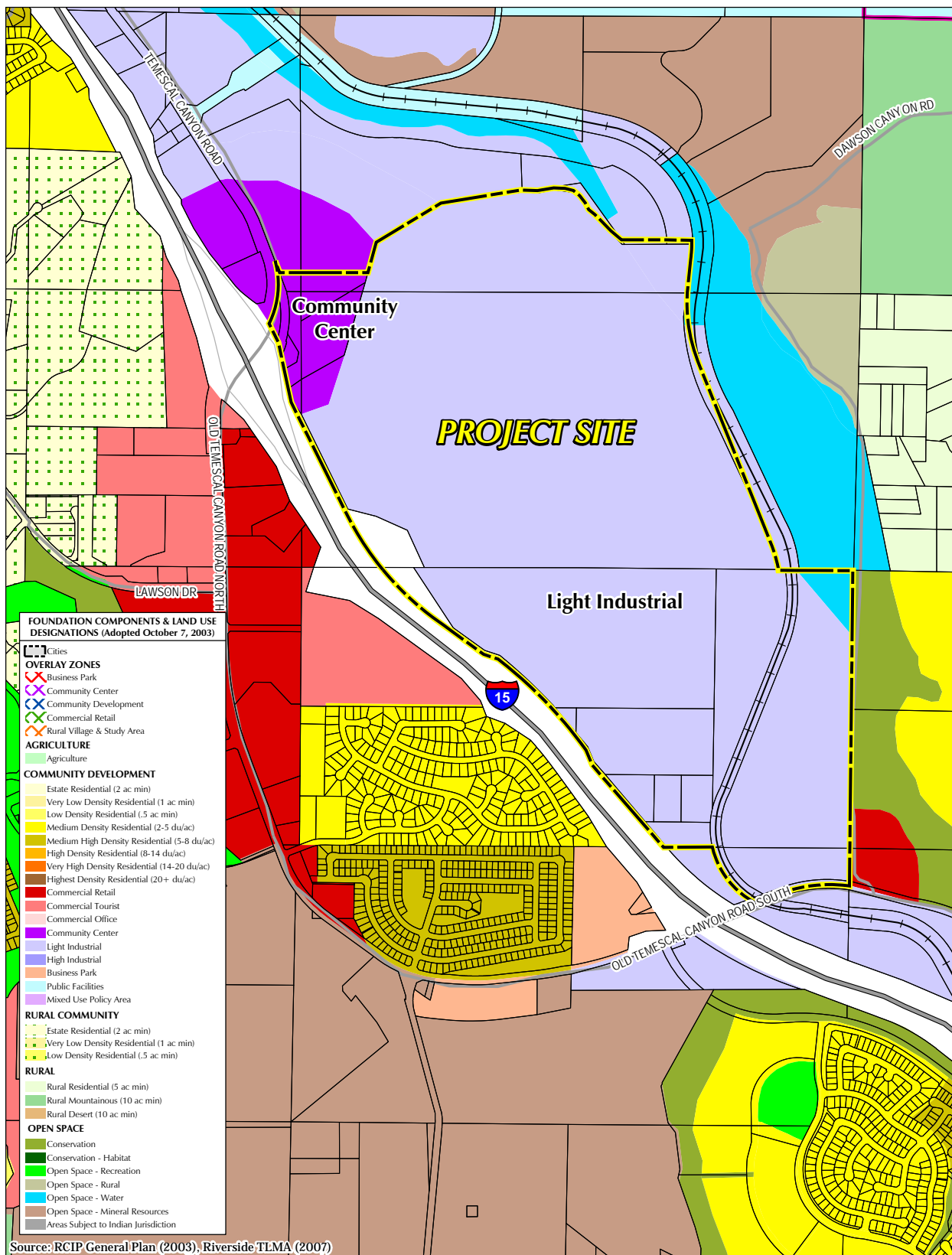


FIGURE I-6

**F.1.2 Multiple Species Habitat Conservation Plan (MSHCP)**

The Western Riverside County MSHCP, which was adopted by the County on June 17, 2003, is a comprehensive, multi-jurisdictional Habitat Conservation Plan (HCP) focusing on conservation of species and their associated habitats. The MSHCP identifies the Temescal Wash, located on the eastern boundary of the commerce center, as providing a critical perpendicular linkage for wildlife species movement between habitats and is identified as a critical resource. A portion of the commerce center is located within MSHCP Cell Groups G, H, I and J, and includes portions of Criteria Area cell numbers 3035, 3036, 3039, 3142, 3245, and 3348.

As part of determining an appropriate land use design for the site, the SERRANO COMMERCE CENTER SPECIFIC PLAN was subject to thorough review by the Riverside Conservation Authority (RCA) through its Habitat Acquisition and Negotiation Strategy (HANS). Because a portion of the Specific Plan area is mapped within the MSHCP Criteria Area, the RCA was required to review the Specific Plan's HANS application and determine if the commerce center was consistent with applicable MSHCP reserve design criteria. Per HANS Application No. 447, the Specific Plan permanently conserves 48.77 acres of open space along the site's eastern and northeastern boundaries. This acreage will be conveyed to the RCA for inclusion in the MSHCP Reserve.

**F.1.3 COMMUNITY ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS (CETAP)**

As part of the RCIP process, the County is undergoing a Community Environmental Transportation Acceptability Process (CETAP). CETAP identifies locations for major new multi-modal transportation facilities to serve the current and future transportation needs of Western Riverside County. The Riverside County Transportation Commission (RCTC) is conducting various studies to determine the most appropriate location for each of these facilities. The corridors under examination would provide right-of-way for future transportation facilities. The SERRANO COMMERCE CENTER SPECIFIC PLAN is not located near any of the proposed corridors; therefore, the commerce center is not expected to be directly affected by any CETAP policies or alternatives. The nearest transportation corridors under consideration are located north of Lake Mathews and in the SR-74 location north of Lake Elsinore, both of which are a sufficient distance and would not be directly impacted by development of the commerce center.

**F.2 ZONING DESIGNATIONS**

Change of Zone No. 7365 modifies the SERRANO COMMERCE CENTER SPECIFIC PLAN site's zoning designation to Specific Plan No. 353. Refer to the Specific Plan Zoning Ordinance (*Section V* of this Specific Plan) for additional information regarding zoning.

**G. DISCRETIONARY ACTIONS AND APPROVALS**

This Specific Plan has been prepared under the authority of the Riverside County Planning Department, which is also the Lead Agency for the commerce center approvals. This document will be used by the County in connection with the following decisions:

**G.1 RIVERSIDE COUNTY PLANNING COMMISSION**

- Recommendation to the Board of Supervisors regarding adoption of Specific Plan No. 353 by Resolution.
- Recommendation to the Board of Supervisors regarding approval of General Plan Amendment No. 815 by Resolution.
- Recommendation to the Board of Supervisors regarding approval of Change of Zone No. 7365 by Ordinance.
- Recommendation to the Board of Supervisors regarding certification of EIR No. 492 by Resolution.
- Approval of Tentative Parcel Map No. 32885 by Resolution.

**G.2 RIVERSIDE COUNTY BOARD OF SUPERVISORS**

- Adoption by Resolution of Specific Plan No. 353.
- Adoption by Resolution of General Plan Amendment No. 815.
- Approval by Ordinance of Change of Zone No. 7365.
- Certification by Resolution of EIR No. 492.
- Receive and File Tentative Parcel Map No. 32885.

Subsequent discretionary actions may include, but not be limited to, final maps, conditional use permits, site plans, plot plans, parcel maps, use permits, grading permits, water and sewer system approvals, encroachment permits, and state and federal resource agency permits and approvals.

## **II. SPECIFIC PLAN**



**II. SPECIFIC PLAN****A. LAND USE PLAN****A.1 DEVELOPMENT CONCEPT**

The SERRANO COMMERCE CENTER SPECIFIC PLAN provides for the development of a commerce center on a property of approximately 489.28 acres. Complemented by a cohesive architectural and landscape design theme and within view of commuters along Interstate 15 (I-15), the SERRANO COMMERCE CENTER establishes itself as a premier, state-of-the-art commerce center within the Temescal Valley area of unincorporated Riverside County.

As depicted in Figure 2-1, *Land Use Plan*, the SERRANO COMMERCE CENTER includes 372.06 acres of light industrial land uses, 17.45 acres of commercial retail land uses, 13.08 acres of flood control channels, 37.93 acres of major circulation roadways, and 48.77 acres of open space. In total, the SERRANO COMMERCE CENTER is planned to contain nearly 6.8 million square feet of building area.

The commerce center creates new jobs for local residents, thereby reducing their commute distances to and from work. The high-quality design of the SERRANO COMMERCE CENTER also includes amenities for employees and visitors, such as a sidewalk system, trail system, and outdoor gathering areas. A commercial retail center is located at the northwestern section of the commerce center and provides employees, commuters on I-15, and local residents with a convenient location to eat, shop, and conduct daily activities.

Within the SERRANO COMMERCE CENTER SPECIFIC PLAN, 48.77 acres of the Temescal Wash are conserved and protected as open space. This conservation area creates a visually-pleasing backdrop for the site while contributing to the MSHCP Reserve. The natural colors and materials associated with the Temescal Wash are emulated in the built environment of the SERRANO COMMERCE CENTER through its use of indigenous-appearing building materials and a complementary architectural style. Additionally, the commerce center's landscaping plan establishes a number of objectives intended to increase resource conservation, including the planting of water-efficient and drought-tolerant landscaping.

This SERRANO COMMERCE CENTER SPECIFIC PLAN also includes a detailed circulation plan, which is organized to ensure efficient access to individual tenant areas, as well as to public places. Temescal Canyon Road bisects the commerce center in a north-south manner and intersects with Streets "A," "B," "C," "D," and "E." These streets provide vehicular access to each of the planning areas. Roadway-adjacent sidewalks and pedestrian paths provide non-vehicular circulation through the commerce center and between individual buildings.

A statistical summary for each of the 13 planning areas that occur within the SERRANO COMMERCE CENTER is provided in Table 2-1, *Land Use Abstract by Planning Area*, which follows directly after Figure 2-1, *Land Use Plan*. Information on the various land uses within the commerce center follows immediately thereafter.

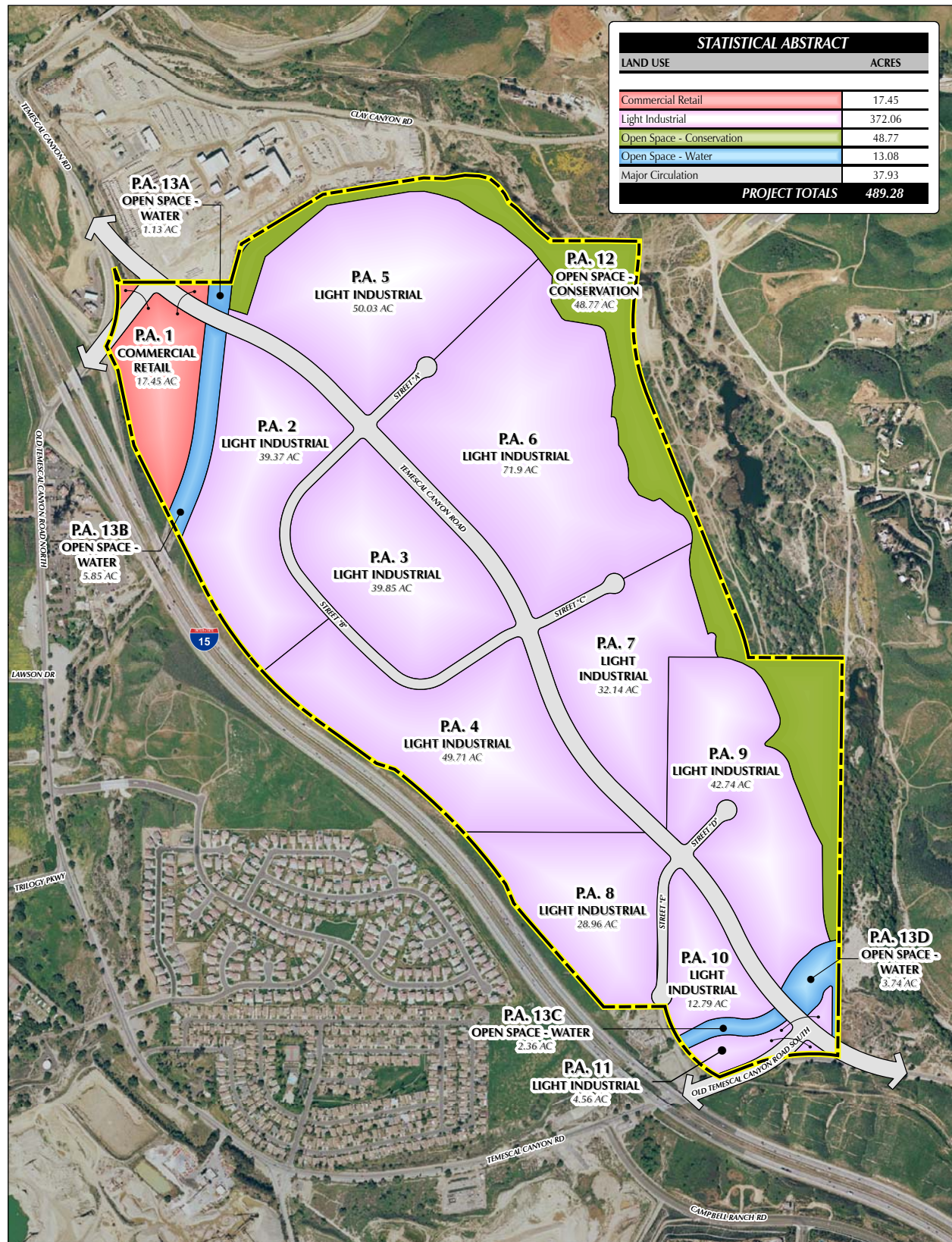


FIGURE 2-1

TABLE 2-1 LAND USE ABSTRACT BY PLANNING AREA

PLANNING AREA	LAND USE	ACRES	TARGET SQ. FT. OF BUILDING SPACE	F.A.R. RANGE (MIN – MAX)
1	Commercial Retail	17.45	172,150	0.20 – 0.35
2	Light Industrial	39.37	622,540	0.25 – 0.60
3	Light Industrial	39.85	702,482	0.25 – 0.60
4	Light Industrial	49.71	808,694	0.25 – 0.60
5	Light Industrial	50.03	878,284	0.25 – 0.60
6	Light Industrial	71.90	1,250,890	0.25 – 0.60
7	Light Industrial	32.14	570,148	0.25 – 0.60
8	Light Industrial	28.96	519,596	0.25 – 0.60
9	Light Industrial	42.74	815,755	0.25 – 0.60
10	Light Industrial	12.79	221,162	0.25 – 0.60
11	Light Industrial	4.56	211,443	0.25 – 0.60
12	Open Space – Conservation	48.77	--	--
13A	Open Space – Water	1.13	--	--
13B	Open Space – Water	5.85	--	--
13C	Open Space – Water	2.36	--	--
13D	Open Space – Water	3.74	--	--
--	Major Roadways	37.93	--	--
<b>TOTALS</b>		<b>489.28</b>	<b>6,773,144</b>	<b>--</b>

Note: F.A.R. is Floor to Area Ratio. The F.A.R. range is established by the Riverside County General Plan. Per the development standards of this Specific Plan, the target square footage of building space may be exceeded in individual Planning Areas, provided that the overall maximum square footage for the commerce center (6,773,144 s.f.) is not exceeded, and the maximum F.A.R. per Planning Area is not exceeded.

**A.1.1 LIGHT INDUSTRIAL**

Light industrial planning areas, identified as Planning Areas 2 through 11, account for 372.06 acres of the Specific Plan. Approximately 6,600,994 square feet of light industrial building space is permitted in these planning areas. The light industrial land uses in Planning Area 2 are planned to provide an area that is more focused on attracting professional office tenants than the other light industrial planning areas.

The development standards and design guidelines set forth in this Specific Plan direct that the buildings in Planning Areas 2 through 11 be arranged and designed in a contemporary manner, that the buildings be softened by landscaping, and that parking areas not be a dominating visual feature. Pedestrian pathways connect buildings and provide connectivity throughout the commerce center’s light industrial planning areas.

**A.1.2 COMMERCIAL RETAIL CENTER**

Approximately 17.45 acres are designated commercial retail within Planning Area 1, located adjacent to Temescal Canyon Road and the Old Temescal Canyon Road North off-ramp from I-15. The commercial retail center is designed to accommodate retail and office uses that provide convenient services to people who work or have business in the SERRANO COMMERCE CENTER SPECIFIC PLAN, as well as to commuters on I-15. Anticipated tenants include food service providers, financial institutions, commercial retailers, and personal service shops, as well as small businesses and offices. A target of 172,150 square feet of commercial retail and office building space is planned for this area.

**A.1.3 OPEN SPACE – CONSERVATION**

Approximately 48.77 acres of Open Space – Conservation land uses are located within Planning Area 12 of the SERRANO COMMERCE CENTER SPECIFIC PLAN. This area is concentrated along the eastern and northeastern portions of the commerce center and generally corresponds with the on-site portions of the Temescal Wash and its associated banks. Pursuant to the Western Riverside County MSHCP, this area is planned to be conveyed to the RCA as part of the MSHCP Reserve in order to maintain Temescal Wash in its natural condition.

**A.1.4 OPEN SPACE – WATER**

Planning Areas 13A, 13B, 13C, and 13D are designated to accommodate flood control channels that primarily convey off-site regional flows to the Temescal Wash. Planning Areas 13A and 13B will contain flows of the Coldwater Canyon Wash and occupy 1.13 and 5.85 acres, respectively, in the northwestern section of the Specific Plan, south of Planning Area 1. Planning Areas 13C and 13D will contain flows of Mayhew Wash and occupy 2.36 and 3.74 acres, respectively, in the southern portion of the Specific Plan area. The design of the flood control channels preserve a natural appearance.

**A.1.5 MAJOR ROADWAYS**

Circulation improvements comprise the remaining 37.93 acres of the Specific Plan area. This Specific Plan calls for the realignment of Temescal Canyon Road as an Urban Arterial Highway through the SERRANO COMMERCE CENTER SPECIFIC PLAN, paralleling I-15. This realignment is in accordance with the Riverside County General Plan's Circulation Element. Temescal Canyon Road provides primary local access to the commerce center and serves as an important component of the area's local circulation system. The realigned Temescal Canyon Road provides improved connectivity with Old Temescal Canyon Road North and Old Temescal Canyon Road South, which also lie partially within the Specific Plan boundary. The realigned Temescal Canyon Road also serves as the backbone arterial for the Specific Plan's five Industrial Collector roads (Streets "A," "B," "C," "D," and "E"). Major roadways are not assigned planning area numbers by this Specific Plan.

**A.2 LAND USE DEVELOPMENT STANDARDS**

To ensure the proper and orderly development of land uses identified in the SERRANO COMMERCE CENTER SPECIFIC PLAN, development standards have been prepared for each planning area, which assist in efficiently implementing the land use plan. In addition to these specific planning area

standards (which are contained in *Section III* of this document), commerce center-wide development standards also have been prepared to address conditions that apply similarly to each planning area. These general standards are as follows:

1. The SERRANO COMMERCE CENTER SPECIFIC PLAN area shall be developed as a commerce center containing Light Industrial, Commercial Retail, Open Space – Conservation, Open Space – Water, and circulation land uses on 489.28 acres, as illustrated on Figure 2-1, *Land Use Plan*, and in the individual Planning Area figures (Figures 3-1 through 3-14).
2. The area designated as SERRANO COMMERCE CENTER SPECIFIC PLAN No. 353 shall be developed with a maximum of 6,773,144 square feet of building area. Table 2-1, *Land Use Abstract by Planning Area*, provides the target square footage of building area per each planning area.
3. Modifications to the approved Specific Plan that will not affect the general intent of the plan may be approved by the Riverside County Planning Director as outlined in County Ordinance No. 348, Article II, Section 2.11.
4. If a planning area is developed with less building square footage than the target allowable square footage anticipated by this Specific Plan (refer to Table 2-1) and/or subsequently generates fewer average daily trips (the total volume of traffic during a year divided by the number of weekdays in a year; abbreviated as ADT) than anticipated by the Specific Plan's Traffic Impact Analysis, the remaining ADT allotment may be transferred to another planning area under the same ownership (see Figure 1-2, *Ownership Map*). Additionally, an owner may transfer an unused portion of its planning area's ADT allotments to another planning area(s) under different ownership(s) within the Specific Plan, provided there is written consent between the transferor and the transferee(s). Calculation of ADT (trip generation) is required to be performed by a traffic engineer prior to the approval of each plot plan and conditional use permit application, to be compared with the ADT counts given in Table 2-1.
5. Major modifications to the Specific Plan, such as changes to land use designations, or the adoption of new design guidelines that are significantly different from those in *Section IV* of this document, will require a Specific Plan Amendment.
6. Uses and development standards shall be in accordance with Riverside County Ordinance No. 348 and the SERRANO COMMERCE CENTER Zoning Ordinance (refer to *Section V*) and will further be defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivisions, site plans, plot plans, and/or conditional use permits.
7. A Specific Plan Zoning Ordinance for the SERRANO COMMERCE CENTER has been recorded concurrently with this Specific Plan. Standards regarding signage, landscaping, and other related design elements shall conform to Riverside County Ordinance Nos. 348 and 859, the SERRANO COMMERCE CENTER Zoning Ordinance, and this Specific Plan.
8. The geographic area of the on-site clay mining operation (Ben's Mine) will be reclaimed in accordance with the California Surface Mining and Reclamation Act (SMARA) and the mine operator's approved Mining Reclamation Permit No. 135. The mining operation is

considered a permitted use within the Specific Plan boundary until the site is reclaimed in accordance with Permit No. 135.

9. Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances.
10. Except for the Specific Plan Zoning Ordinance adopted concurrently with this Specific Plan, no portion of the Specific Plan, which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development, shall be considered to be part of the adopted Specific Plan.
11. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each parcel map, site plan, plot plan, change of zone, specific plan amendment, or any discretionary land use application required to implement this Specific Plan, unless such proposal is determined to be consistent with EIR No. 492 and does not require subsequent environmental documentation or is exempt from the provisions of CEQA. Any required CEQA review shall be prepared as part of the review process for these implementing projects.
12. Planning areas designated by this Specific Plan and parcels created by any implementing tentative parcel maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property (refer to *Section V* of this Specific Plan).
13. Prior to issuance of a building permit for the construction of any use contemplated by this Specific Plan, the Developer shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
14. Common areas identified in the Specific Plan are planned to be owned and maintained as follows:
  - a. A permanent master maintenance organization shall be established for the Specific Plan area to assume ownership and/or maintenance responsibility for all common open space, circulation systems, common parking lots, pedestrian paths, and other landscaped areas.
  - b. The maintenance organization shall be established prior to, or concurrent with, approval of the first Site Plan or Plot Plan approval or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each common area at the time Site Plans or Plot Plans are filed.
15. Development applications that incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular and pedestrian).
16. All lighting within the boundaries of the Specific Plan shall be in accordance with applicable Riverside County standards, including but not limited to the standards for the Mount Palomar Observatory Special Lighting District (Riverside County Ordinance No. 655). All lighting

within the boundaries of the Specific Plan shall also be in accordance with the lighting standards set forth in *Section IV* of this Specific Plan.

17. For the security and safety of future employees and visitors to the SERRANO COMMERCE CENTER, the Applicant and/or Developer applying for the implementing actions shall incorporate the following design concepts within each individual Site Plans or Plot Plans:
  - a. Circulation for pedestrians, vehicles, and police patrols.
  - b. Lighting of streets, parking areas, loading docks, and walkways.
  - c. Visibility of doors and windows from the street and between buildings, where practical.
  - d. Building identification and directional signage.
18. Prior to the issuance of building permits or project approval, improvement and irrigation plans for adjacent common areas shall be submitted for Planning Department approval. Irrigation plans shall be certified by a licensed landscape architect.
19. In accordance with the California Solid Waste Reuse and Recycling Access Act of 1991, Cal Pub Resources Code §42911, adequate areas for collecting and loading recyclable materials shall be provided.
20. Development within the Project shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility for physically challenged individuals.
21. Structures shall be constructed to comply with California Energy Commission Title 24, Energy Efficiency Standards for Non-Residential Construction.
22. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and/or No. 787, subject to approval by the Riverside County Fire Department. Fire flows that provide over 3,000 gallons per minute (gpm) for three (3) hours duration shall be required.
23. The Applicant and Developer(s) shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attach, set aside, void, or annul an approval of the County of Riverside, its advisory agencies, appeal boards, or legislative body concerning the approval process for the Specific Plan. The County of Riverside will promptly notify the Applicant and Developer(s) of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the Applicant and Developer(s) of any such claim, action, or proceeding or fails to cooperate fully in the defense, the Applicant and Developer(s) shall not thereafter be responsible to defend, indemnify, or hold harmless the County of Riverside.

**B. PROJECT PHASING PLAN****B.1 PROJECT PHASING PLAN DESCRIPTION**

The SERRANO COMMERCE CENTER SPECIFIC PLAN is designed for development in five (5) phases in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure. The phasing plan, as depicted in Figure 2-2, *Conceptual Phasing Plan*, and statistically summarized in Table 2-2, *Conceptual Phasing Plan Summary*, is anticipated to be undertaken as follows:

- **PHASE I:** Phase I consists of development of Planning Areas 6, 9, 10, and 11. This phase also includes the construction of drainage improvements in Planning Areas 13A through 13D. Planning Area 12 is expected to be transferred to the Riverside Conservation Authority (RCA) during this phase or as soon thereafter as practicable.
- **PHASE II:** Phase II consists of development of Planning Areas 1, 5, and 7, and portions of Planning Area 8 (approximately 61% of the building area).
- **PHASE III:** Phase III consists of development of portions of Planning Area 3 (approximately 50% of the building area); the remainder of Planning Area 8; and portions of Planning Area 2 (approximately 50% of the building area).
- **PHASE IV:** Phase IV consists of developing the remainder of Planning Area 3 and the remainder of Planning Area 2.
- **PHASE V:** Phase V consists of development in Planning Area 4.

Infrastructure within the Specific Plan shall be phased to support the development within each of the planning areas. A detailed description of the domestic water services, sewerage services, drainage and flood control facilities, and vehicular circulation phasing plans is described within the relevant sub-sections of this *Section II* of this Specific Plan.

A detailed description of the construction triggers, responsible party/parties for construction and maintenance, and financing mechanisms for infrastructure improvements is provided in Section VI.B.4, *Construction Timing, Maintenance Responsibility, and Financing Mechanisms*, and Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanisms Matrix*.



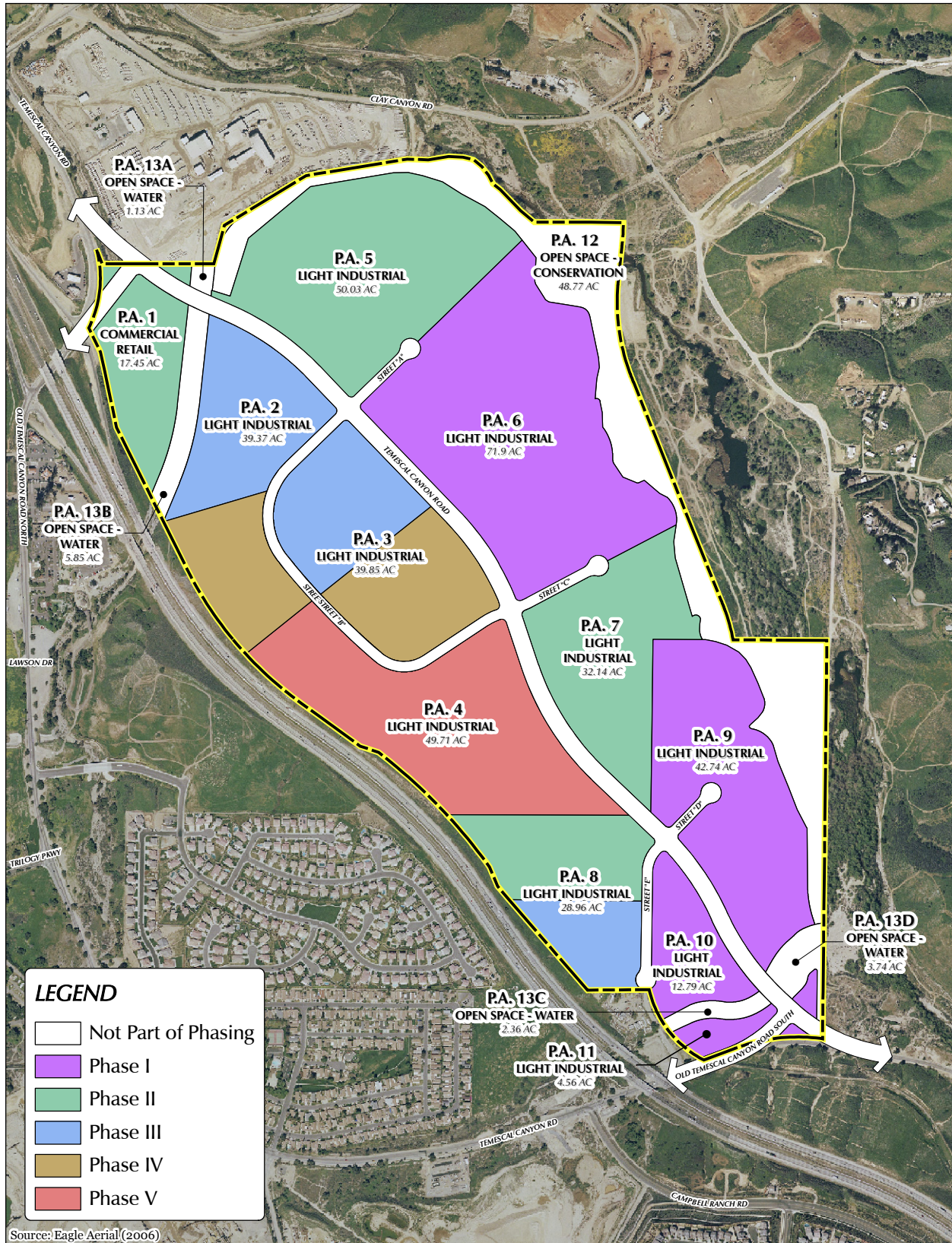


FIGURE 2-2

**T&B PLANNING**  
 17322 East 17th Street, Suite 100 Turin, CA 92780  
 p. 714.505.6360 f. 714.505.6361  
 www.tbplanning.com

TABLE 2-2 CONCEPTUAL PHASING PLAN BUILDING AREA SUMMARY

PHASE	PLANNING AREA	LAND USE	TARGET SQ. FT. OF BUILDING AREA
I	6	Light Industrial	1,250,890
	9	Light Industrial	815,755
	10	Light Industrial	221,162
	11	Light Industrial	211,443
	13A	Open Space – Water	--
	13B	Open Space – Water	--
	13C	Open Space – Water	--
	13D	Open Space – Water	--
<b>TARGET FOR PHASE I</b>			<b>2,499,250</b>
II	1	Commercial Retail	172,150
	5	Light Industrial	878,284
	7	Light Industrial	570,148
	8	Light Industrial	319,704
<b>TARGET FOR PHASE II</b>			<b>1,940,286</b>
III	2	Light Industrial	311,270
	3	Light Industrial	354,564
	8	Light Industrial	199,892
<b>TARGET FOR PHASE III</b>			<b>865,726</b>
IV	2	Light Industrial	311,270
	3	Light Industrial	347,918
<b>TARGET FOR PHASE IV</b>			<b>659,188</b>
V	4	Light Industrial	808,694
<b>TARGET FOR PHASE V</b>			<b>808,694</b>

**B.2 PROJECT PHASING DEVELOPMENT STANDARDS**

1. In compliance with the conditions of approval of any implementing development project (such as site plans, plot plans, subdivisions, and use permits), improvement plans for the respective landscaped areas and/or plans to implement a mitigation measure relating to the respective stage of development shall be submitted to the County of Riverside for approval. The improvement plans may include, but not be limited to, the following:

- Grading Plans
- Erosion Control Plans
- Stormwater Pollution Prevention Plans
- Signing and Striping Plans
- Storm Drain Plans
- Sewer and Water Plans
- Traffic Signal Plans
- Traffic Control Plans
- Landscaping and Irrigation Plans
- Wall/Fence Treatment Plans
- Special Treatment/Buffer Area Treatment Plans
- Hardscape Plan describing employee amenities

2. Construction of the proposed development and recordation of final maps may be done progressively in stages, provided vehicular access, public facilities, and infrastructure (including traffic signals as warranted) are constructed to adequately service the uses within the Specific Plan or as needed for public health and safety, in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
3. The phasing sequence described herein is conceptual in nature and is based on expected economic and market demand. Certain planning areas or development phases may be developed out of the expected sequence, provided the required infrastructure and services are available prior to the issuance of the first building permit.
4. Grading within any development phase may encroach into an area of a future development phase in order to achieve an earthwork balance. If this occurs, grading plans shall be prepared and grading shall be performed in a manner consistent with the overall Conceptual Grading Plan for the Specific Plan as well as the grading plans for the future development phase. No grading shall occur outside the analyzed area of impact identified in EIR No. 492 unless approved by the County and analyzed as required under CEQA.

## **C. CIRCULATION PLAN**

The Specific Plan's Circulation Plan is based, in part, on a traffic study prepared by Kunzman Associates, which calculated that a maximum of 62,249 daily vehicle trips in passenger car equivalents are expected to be generated by the Specific Plan's land uses, including 6,863 trips during the peak morning hour and 7,515 trips during the peak evening hour. The circulation system is designed to accommodate SERRANO COMMERCE CENTER traffic, as well as through-traffic on Temescal Canyon Road.

### **C.1 VEHICULAR CIRCULATION PLAN DESCRIPTION**

The major roadway infrastructure elements for the SERRANO COMMERCE CENTER, as illustrated on Figure 2-3, *Conceptual Vehicular Circulation Plan*, include the extension of Temescal Canyon Road through the commerce center as a modified arterial highway and the construction of five industrial collector streets (Streets "A," "B," "C," "D," and "E"). The main objective of the Vehicular Circulation Plan is to provide direct and convenient access to the commerce center buildings through a safe and efficient network of roadways.

Temescal Canyon Road intersects with Old Temescal Canyon Road North and Old Temescal Canyon Road South in the northern and southern portions of the commerce center, respectively. Temescal Canyon Road bisects the commerce center and intersects with the five Industrial Collector roadways. Street "A" provides access to Planning Areas 5 and 6 and Street "C" provides access to Planning Areas 6 and 7. Street "B" is a loop road that connects with the Temescal Canyon Road/Street "A" intersection and the Temescal Canyon Road/Street "C" intersection, creating two, four-way intersections. Street "B" provides access to Planning Areas 2, 3, and 4, Street "D" provides access to Planning Area 9, and Street "E" provides access to Planning Areas 8 and 10. A third four-way intersection is created at the intersection of Temescal Canyon Road, Street "D," and Street "E." See Figure 2-3 for intersection locations.

As also shown on Figure 2-3, traffic signals are located at various points along Temescal Canyon Road. Traffic signals are situated at:

- The intersection of Old Temescal Canyon Road North and Temescal Canyon Road;
- The intersection of Old Temescal Canyon Road South and Temescal Canyon Road;
- The intersection of Street "A," Street "B," and Temescal Canyon Road;
- The intersection of Street "B," Street "C," and Temescal Canyon Road; and
- The intersection of Street "D," Street "E," and Temescal Canyon Road.

#### **C.1.1 ROADWAY CROSS-SECTIONS**

The Vehicular Circulation Plan includes several roadway sizes and classifications as described below and illustrated in Figure 2-4, *Roadway Cross-Sections*.

##### **☐ Temescal Canyon Road –Modified Arterial Highway (138' to 128' ROW)**

As required by the Circulation Element of the Riverside County General Plan, the SERRANO COMMERCE CENTER is designed to accommodate the improvement and realignment of Temescal Canyon Road through the commerce center in a north-south alignment as a modified Arterial Highway with a 138 to 128-foot right-of-way.

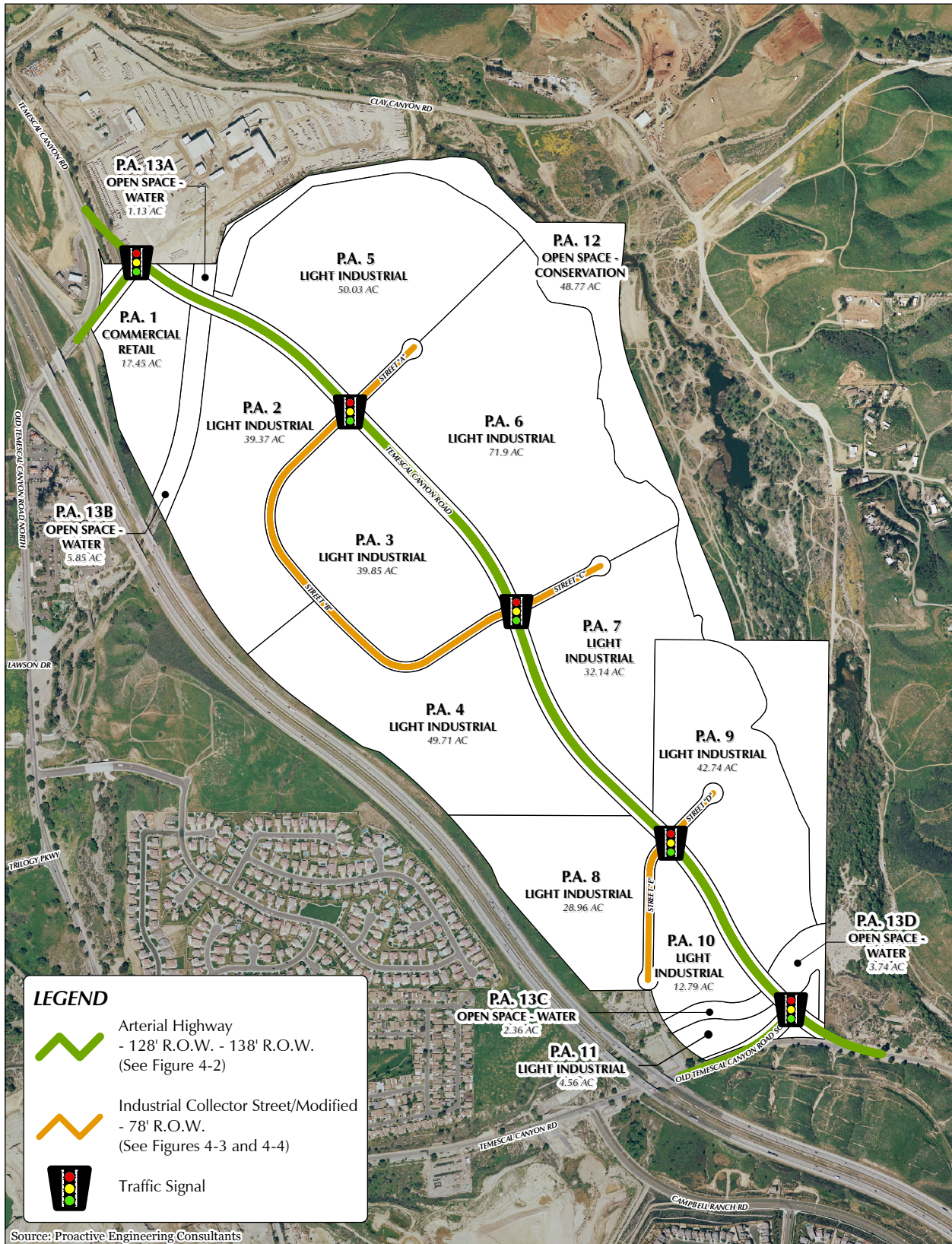
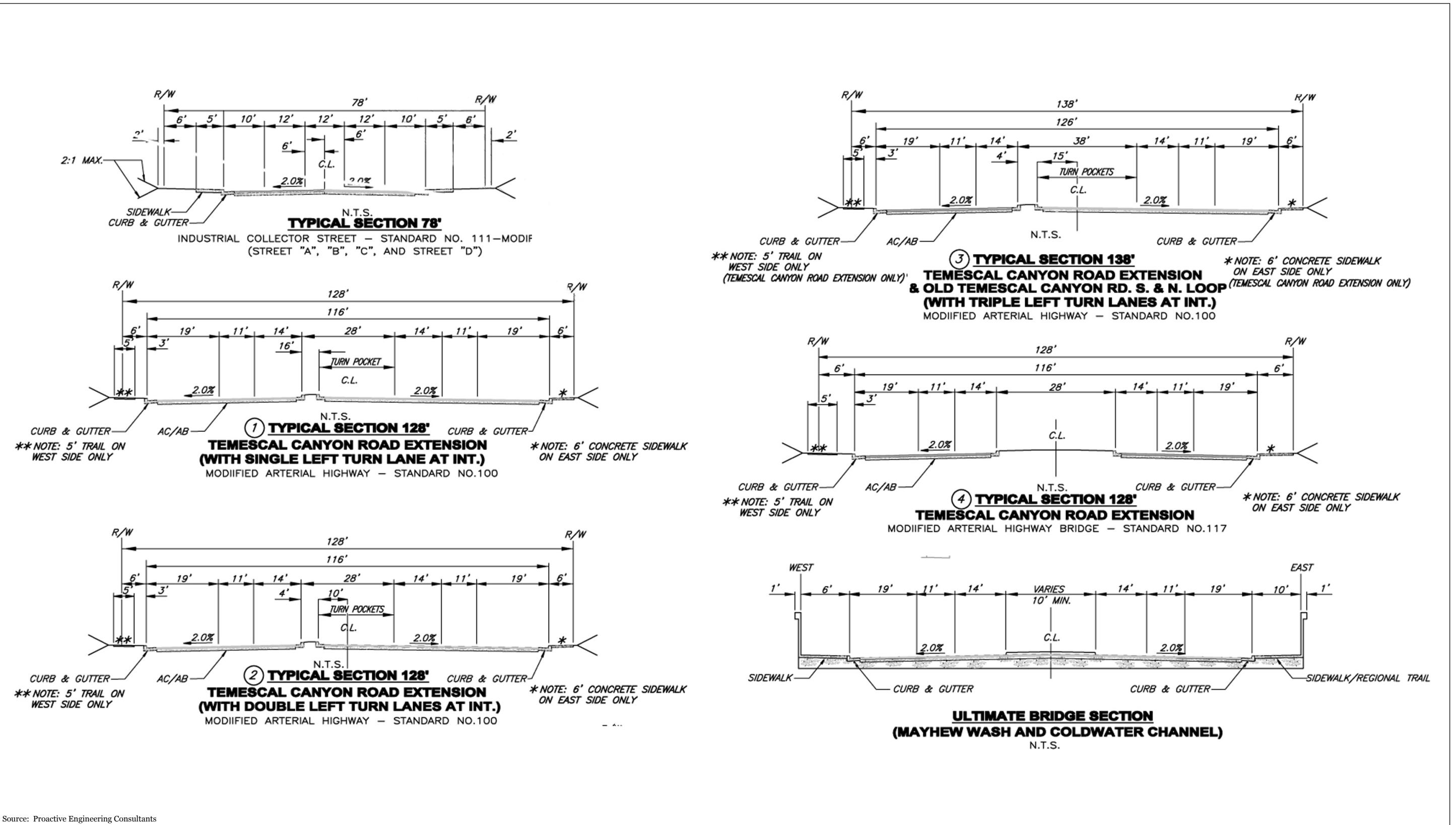


FIGURE 2-3



Source: Proactive Engineering Consultants

FIGURE 2-4

Under existing conditions, Temescal Canyon Road straddles both sides of I-15 and short segments of the road traverse through the northern and southern portions of the Specific Plan boundaries in east-west alignments. With implementation of the SERRANO COMMERCE CENTER SPECIFIC PLAN, Temescal Canyon Road will be realigned through the site in a north-south alignment, and new intersections will be created with the existing segments, which will be renamed Old Temescal Canyon Road North and Old Temescal Canyon Road South. This realignment greatly enhances the efficiency of the transportation system in the Temescal Valley area. Temescal Canyon Road consists of five basic right-of-way (ROW) configurations:

- **128-foot ROW –No Left Turn Lanes:** This ROW configuration for Temescal Canyon Road shall consist of a 128-foot ROW with six vehicular travel lanes, a 28-foot maximum landscaped center median, a Class III bike lane, a curb separated, five-foot wide trail on the west side of the roadway (a portion of the trail may extend outside of the ROW), and a curb-adjacent, six-foot-wide sidewalk on the east side of the roadway.
- **138-foot ROW – Triple Left Turn Lanes at Intersections:** This ROW configuration for Temescal Canyon Road shall consist of a 138-foot ROW with triple left turn lanes at intersections, a four-foot-wide raised center median, a Class III bike lane, a curb-separated, five-foot-wide trail on the west side of the roadway (a portion of the trail may extend outside of the ROW), and a curb-adjacent, six-foot-wide sidewalk on the east side of the roadway.
- **128-foot ROW – Double Left Turn Lanes at Intersections:** This ROW configuration for Temescal Canyon Road shall consist of a 128-foot ROW with double left turn lanes at intersections, a four-foot-wide raised center median, a Class III bike lane, a curb-separated, five-foot wide-trail on the west side of the roadway (a portion of the trail may extend outside of the ROW), and a curb-adjacent, six-foot-wide sidewalk on the east side of the roadway.
- **128-foot ROW – Single Left Turn Lane at Intersections:** This ROW configuration for Temescal Canyon Road shall consist of a 128-foot ROW with a single left turn lane at intersections, a 16-foot-wide raised center median, a Class III bike lane, a curb-separated, five-foot-wide trail on the west side of the roadway (a portion of the trail may extend outside of the ROW), and a curb-adjacent, six-foot-wide sidewalk on the east side of the roadway.
- **Bridge ROW:** This ROW configuration for Temescal Canyon Road as it bridges over the Mayhew Wash and Coldwater Canyon Wash flood control channels shall consist of six vehicular travel lanes, a raised center median of variable width, Class III bike lanes on both sides of the roadway, a ten-foot-wide curb adjacent sidewalk/regional trail on the east side of the roadway, and six-foot-wide curb adjacent sidewalk on the west side of the roadway.

□ **Old Temescal Canyon Road North/South–Arterial Highway (138’ to 128’ ROW)**

Old Temescal Canyon Road North and Old Temescal Canyon Road South are located in the northern and southern portions of the Specific Plan area and are designated as Arterial Highways with 138 to 128 foot rights-of-way. Full-width improvements to these roadways within the boundaries of the SERRANO COMMERCE CENTER site are similar to Temescal Canyon Road with the exception that Class III bike lanes will not be provided. The roadways include the following configurations:

- **128-foot ROW – Median With No Left Turn Lanes:** This ROW configuration for Old Temescal Canyon Road North/South shall consist of a 128-foot ROW with six vehicular travel lanes, a 28-foot maximum landscaped center median, and curb-adjacent, six-foot-wide sidewalks on both sides of the roadway.
- **138-foot ROW – Triple Left Turn Lanes at Intersections:** This ROW configuration for Old Temescal Canyon Road North/South shall consist of a 138-foot ROW with triple left turn lanes at intersections, a four-foot-wide raised center median, and curb-adjacent, six-foot-wide sidewalks on both sides of the roadway.

□ **Streets “A,” “B,” “C,” “D,” and “E” – Industrial Collector (78’ ROW)**

Five internal Industrial Collector roadways named Streets “A,” “B,” “C,” “D,” and “E” and having 78-foot ROWs, provide primary access to individual planning areas. These roadways each contain a 12-foot painted center median, as well as two vehicular travel lanes and five-foot-wide sidewalks with six-foot-wide landscaped parkways on both sides of the roadway. Streets “A,” “C,” “D,” and “E” are cul-de-sacs, while Street “B” is a loop road.

**C.1.2 ROADWAY CONSTRUCTION AND TRAFFIC SIGNAL PHASING PLAN**

A summary of the phasing sequence for SERRANO COMMERCE CENTER roadway construction and traffic signal installation is illustrated in Figure 2-5, *Roadway Construction and Traffic Signal Phasing Plan*, and is described in detail below.

- **PHASE I:** This phase includes full-width improvements to the segment of Old Temescal Canyon Road North that traverses through the northern portion of the Specific Plan (through Planning Area 1) and improvements to the segment of Old Temescal Canyon Road South that traverses through the southern portion of the Specific Plan boundary (abutting Planning Area 11). Full-width improvements to Street “A,” Street “C,” Street “D,” and Street “E” also occurs during this phase. Additionally, Phase I includes the construction of two northbound and two southbound lanes of Temescal Canyon Road through the SERRANO COMMERCE CENTER, with the lanes tapering off-site to align with the existing off-site lane configurations.

This phase also includes the construction of five traffic signals, located at the intersections of Temescal Canyon Road with 1) Old Temescal Canyon Road North, 2) Old Temescal Canyon Road South, 3) Streets “A” and “B,” 4) Streets “B” and “C,” and 5) Streets “D” and “E.”

- **PHASE II:** Phase II consists of the construction of the third southbound lane of Temescal Canyon Road. This phase also includes the construction of the third northbound lane of Temescal Canyon Road, north of its intersection with Old Temescal Canyon Road North. Lanes will taper off-site to align with the existing off-site lane configurations.
- **PHASE III:** Phase III includes the construction of the third northbound lane of Temescal Canyon Road, south of its intersection with Old Temescal Canyon Road North. Lanes will taper to align with the existing off-site lane configurations. Phase III also includes full-width improvements to Street “B.”



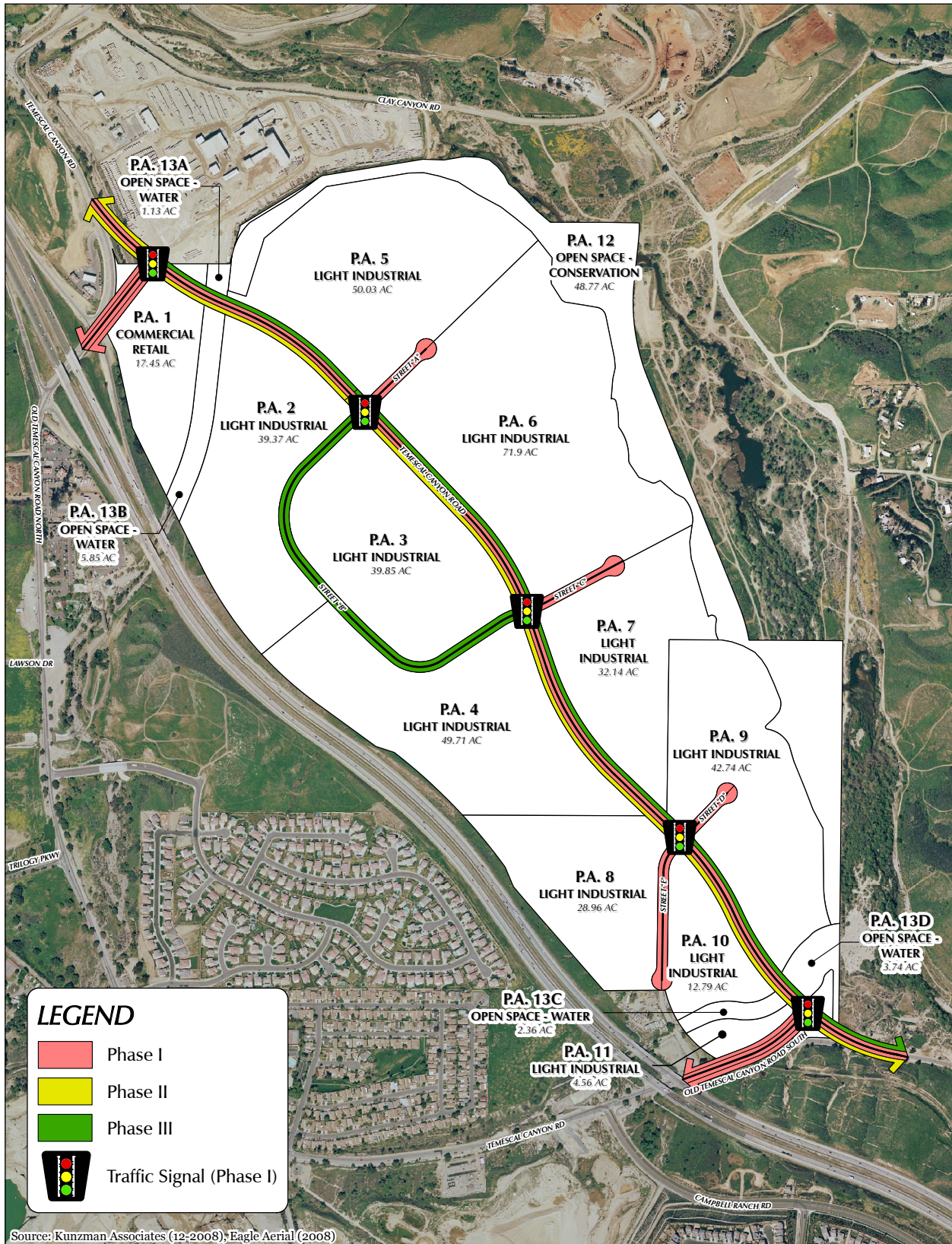


FIGURE 2-5  
Roadway Construction and  
Traffic Signal Phasing Plan

**C.2 AVERAGE DAILY TRIPS BY PLANNING AREA**

According to technical report entitled “*Serrano Commerce Center Specific Plan No. 353 Traffic Impact Analysis (Revised)*,” prepared by Kunzman Associates, and dated November 2008, the SERRANO COMMERCE CENTER is expected to generate a maximum of 62,249 average daily trips (ADT) at buildout, in passenger car equivalents.

Table 2-3, *Average Daily Trips (ADP) Per Planning Area*, provides a statistical summary of the allotted number of ADT per planning area, based on the target amount of building space established for each planning area by this Specific Plan. If a planning area is developed with less square footage than projected by this Specific Plan and/or if the uses constructed in the planning area generate fewer ADT than anticipated by the Specific Plan’s Traffic Impact Analysis (Kunzman, 2008), the remaining ADT allotment may be transferred to another planning area under the same ownership (see Figure 1-2, *Ownership Map*, for the ownership pattern at the time this Specific Plan was approved). Additionally, an owner may transfer an unused portion of its planning area’s ADT allotments to another planning area(s) under a different ownership(s) within the Specific Plan, provided there is written consent between the transferor and the transferee(s).

**TABLE 2-3 AVERAGE DAILY TRIPS (ADT) PER PLANNING AREA**

<b>PLANNING AREA</b>	<b>LAND USE</b>	<b>TARGET SQ. FT. OF BUILDING SPACE<sup>3</sup></b>	<b>MAXIMUM ADT AT BUILDOUT<sup>3,4</sup></b>
1	Commercial Retail	172,150	8,217 <sup>1</sup>
2	Light Industrial	622,540	6,393
3	Light Industrial	702,482	5,600
4	Light Industrial	808,694	6,445
5	Light Industrial	878,284	7,001
6	Light Industrial	1,250,890	9,967
7	Light Industrial	570,148	4,543
8	Light Industrial	519,596	4,140
9	Light Industrial	815,755	6,499
10	Light Industrial	221,162	1,764
11	Light Industrial	211,443	1,684
<b>TOTAL</b>		<b>6,773,144</b>	<b>62,249<sup>2</sup></b>

Notes:

<sup>1</sup> Including 15% Internal Capture Rate.

<sup>2</sup> Discrepancies between Planning Area ADT and Specific Plan-wide ADT are due to rounding.

<sup>3</sup> The maximum ADT per planning area are fixed at the numbers given in this Table 2-3.

<sup>4</sup> ADT is given in passenger car equivalents. ADT-generation calculations prepared by a licensed transportation engineer are required to be supplied to the County for each plot plan and conditional use permit application to demonstrate conformance to the maximum ADT counts given in this Table 2-3.

**C.3 VEHICULAR CIRCULATION PLAN DEVELOPMENT STANDARDS**

1. The Vehicular Circulation Plan provides a vehicular traffic design that meets the needs of the commerce center. Roadway improvements depicted on Figure 2-3, *Vehicular Circulation Plan*, will be constructed in conjunction with adjacent development activity in accordance with Figure 2-2, *Conceptual Phasing Plan*.
2. On-site roadways improvements will be constructed to the following standards:
  - a. Temescal Canyon Road: Arterial Highway Standard No. 92 (Modified) (138' to 128' ROW)
  - b. Old Temescal Canyon Road North/South: Arterial Highway Standard No. 92 (Modified) (138' to 128' ROW)
  - c. Streets "A," "B," "C," "D," and "E": Industrial Collector Street Standard No. 111 (Modified) (78' ROW)
3. All roads within the Specific Plan boundary shall be constructed to appropriate County full or half-width standards in accordance with Riverside County Ordinance Nos. 460 and 461 (or as approved by the Riverside County Transportation Department) as a requirement of the implementing parcel maps for the Specific Plan, subject to approval by the Director of Transportation.
4. Traffic signals may be installed at the following locations when warranted:
  - a. The intersection of Old Temescal Canyon Road North and Temescal Canyon Road;
  - b. The intersection of Old Temescal Canyon Road South and Temescal Canyon Road;
  - c. The intersection of Street "A," Street "B," and Temescal Canyon Road;
  - d. The intersection of Street "B," Street "C," and Temescal Canyon Road; and
  - e. The intersection of Street "D," Street "E," and Temescal Canyon Road.
5. The Developer applying for an implementing permit shall participate in the phased construction of traffic signals through payment of funds pursuant to the Traffic Signal Mitigation Fee Program for the County of Riverside. Notwithstanding this provision, the Developer may employ any of the applicable financing mechanisms detailed in this Specific Plan (see *Section VI, Implementation Plan*) for purposes of generating the necessary funds for the payment.
6. All intersection spacing and/or access openings shall be per Riverside County Standard 114, Riverside County Ordinance No. 461, or as approved by the County Transportation Department. Any implementing projects associated with the SERRANO COMMERCE CENTER Specific Plan Project shall comply with all applicable County standards and guidelines.
7. Landscape requirements in public and private roadway rights-of-way shall be in accordance with the Roadway Landscape Treatments as depicted in *Section IV*.
8. This Specific Plan and all implementing plans and actions shall comply with the conditions and requirements set forth by the Riverside County Transportation Department.

9. Any application for subdivision within the Specific Plan boundary shall prompt the submittal of an Infrastructure Master Plan that is in accordance with the boundaries of the proposed Final Map to Riverside County, with the exception of a division of land that has no parcel less than 20 acres (a Schedule "I" Parcel Map).
10. Driveways and access point locations, as shown in this Specific Plan, are conceptual until approved by the Transportation Department and shall conform to Transportation Department standard access spacing, depending upon the street's classification.
11. Circulation facilities will be maintained by the Riverside County Transportation Department and the Riverside County Flood Control and Water Conservation District.
12. Landscaping within public road rights-of-way will require approval by the Riverside County Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism, as approved by the County Transportation Department.
13. No textured pavement accents will be allowed within the public right-of-way. Striping is permitted at pedestrian crossings to create contrast and enhance safety.
14. No entry monuments or identification signs shall be permitted in the public right-of-way.
15. All land divisions within the Specific Plan boundary shall be subject to the County of Riverside's Development Monitoring Program.
16. All tentative parcel maps and plot plans that implement the Specific Plan shall comply with the on-site and off-site street improvement recommendations as stated in this Specific Plan document. All required off-site improvements associated with each tentative parcel map shall be coordinated with the master phasing plan.
17. All applicable Transportation Uniform Mitigation Fees (TUMF) shall be paid in accordance with Riverside County Ordinance No. 824. The transfer of TUMF credits between planning areas and their respective owners is allowed by this Specific Plan.
18. All applicable Transportation Improvement Program (TIP) fees shall be paid pursuant to the requirements set forth by the Riverside County Transportation Department.
19. Sight distance shall be reviewed by the Riverside County Transportation Department in conjunction with the preparation of grading, landscaping, and street improvement plans. This review shall insure that setbacks allow for clear unobstructed sight distances at intersections.

**C.4 NON-VEHICULAR CIRCULATION PLAN DESCRIPTION**

The SERRANO COMMERCE CENTER SPECIFIC PLAN encourages circulation by employees and visitors that is not dependant on the automobile. Pedestrian circulation is encouraged through an integrated network of pedestrian walkways and trails, as illustrated on Figure 2-6, *Conceptual Non-Vehicular Circulation Plan*. Sidewalks are provided in the public rights-of-way along Temescal Canyon Road, Old Temescal Canyon Road North/South, and Streets "A," "B," "C," "D," and "E." Additionally, this sidewalk system connects directly to the on-site segments of the County's regional trail system as well as community trails located along the two on-site flood control channels, north of Planning Areas 13A and 13B and south of Planning Areas 13C and 13D. A trail is also provided in the public right-of-way along the western side of Temescal Canyon Road. Class III bicycle lanes are provided in Temescal Canyon Road and Old Temescal Canyon Road North/South.

Provisions for additional pedestrian walkways between buildings and gathering areas are set forth in the design guidelines included in *Section IV* of this document.

**C.5 NON-VEHICULAR CIRCULATION PLAN DEVELOPMENT STANDARDS**

1. The Non-Vehicular Circulation Plan provides a pedestrian pathway design that meets the needs of the commerce center's employees and visitors. Sidewalk and pathway improvements depicted on Figure 2-6, *Conceptual Non-Vehicular Circulation Plan*, will be constructed in conjunction with development activity in accordance with Figure 2-2, *Conceptual Phasing Plan*.
2. Pedestrian walkways shall be constructed to the following standards in conjunction with development:
  - a. Sidewalks in the public right-of-way: 5-foot minimum width.
  - b. Trails in the public right-of-way: 5-foot minimum width (a portion of the trail may extend outside of the public right-of-way).
  - c. Pedestrian pathways between buildings: 4-foot minimum width.
3. Pedestrian crosswalks shall be provided at the following intersections:
  - a. Temescal Canyon Road at Old Temescal Canyon Road North
  - b. Temescal Canyon Road at Streets "A," "B," "C," "D," and "E"
  - c. Temescal Canyon Road at the entrance into Planning Area 1
4. Mid-block crosswalks are prohibited.
5. Sidewalks and pedestrian paths located outside of the public right-of-way will require approval by the Riverside County Planning Department to ensure continuing maintenance through the establishment of a property owners' association, landscape maintenance district, or similar mechanism.
6. Prior to the construction of any community or regional trail, the project Applicant is required to prepare and submit a "Final Trails Plan" to the Riverside County Regional Park and Open-Space District for review and approval. The Final Trails Plan shall identify the location and

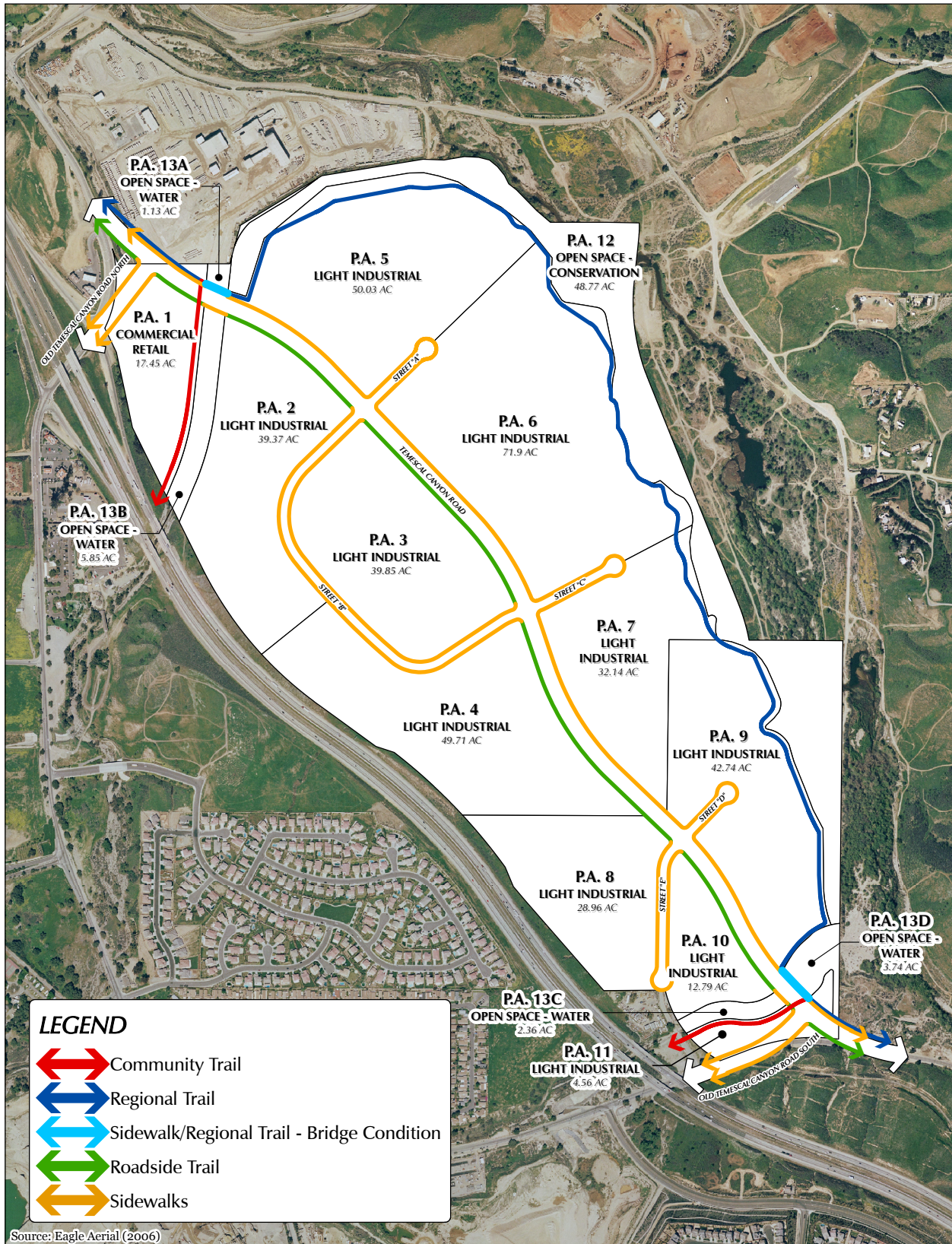


FIGURE 2-6

construction standards for all Regional and Community Trails within the Specific Plan and how these trails connect to surrounding off-site Regional and Community Trails.

7. Regional Trails shall be constructed to the following standards in conjunction with development:
  - a. Regional Trails adjacent to the public right-of-way: 16-foot total easement width, including a minimum ten-foot-wide trail surface, four-foot-wide buffer on the street-side, and a two-foot-wide buffer on the non-street side.
  - b. Regional Trails not adjacent to the public right-of-way: 20 foot total easement width, including a minimum ten-foot wide trail surface. Buffer areas on both sides of the trail surface shall be a minimum collective width of ten feet, with no buffer width being less than three feet. Terrace drains are permitted in the buffers.
  - c. Regional Trails shared with sidewalk (along Temescal Canyon Road at the Mayhew Wash and Coldwater Canyon Wash bridge crossings): ten-foot minimum width.
  
8. The Developer applying for building permits shall provide on-site bicycle racks at every building, or building cluster with a shared common area, to encourage the use of bicycles as an alternate means of transportation.

**D. DRAINAGE PLAN**

In its pre-development condition, the SERRANO COMMERCE CENTER property has seven drainage courses, including three blue-line streams mapped by the United States Geologic Survey (USGS). The blue line streams include Temescal Wash along the northeastern boundary of the commerce center, Coldwater Canyon Wash in the northwest corner of the commerce center, and Mayhew Wash near the commerce center's southern boundary. In addition, there are four other drainages located on the property. These drainages vary from shallow to steep and empty into Temescal Wash.

Precise alignments and sizing of storm drain facilities will be determined at the plot plan, site plan, and final map stages of Specific Plan implementation. The location and size of facilities identified in this document may change, subject to the approval of the Riverside County Flood Control and Water Conservation District.

**D.1 DRAINAGE PLAN DESCRIPTION**

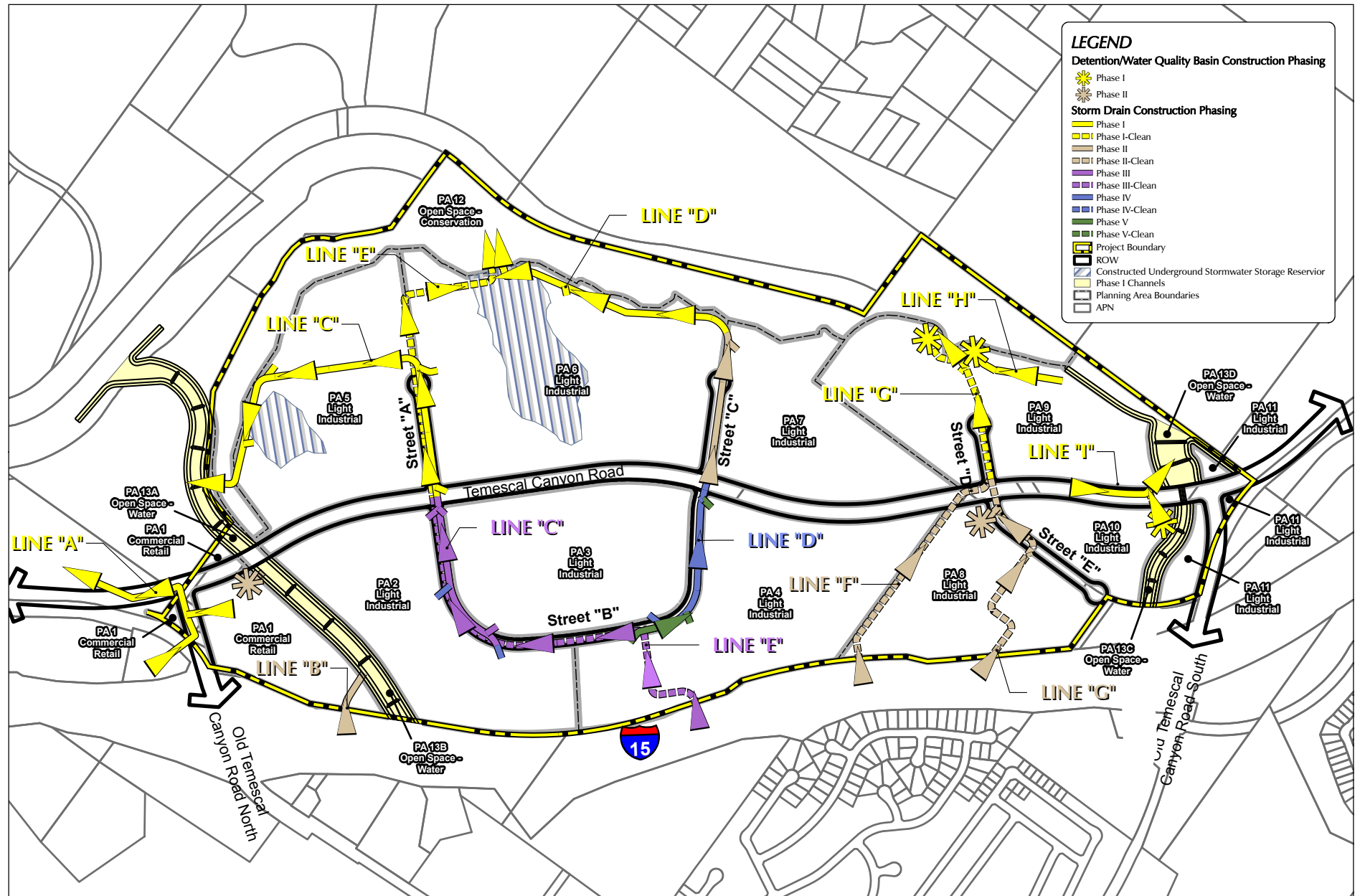
As shown in Figure 2-7, *Conceptual Drainage Plan and Phasing Plan*, the SERRANO COMMERCE CENTER drainage plan includes two components: regional flood control facilities and a local on-site drainage system. These systems work together to provide overall stormwater management, including flood protection, runoff collection and conveyance, stormwater quality treatment, and streambank stabilization/erosion protection.

The SERRANO COMMERCE CENTER is influenced directly by three major regional watersheds that include the Temescal Wash, Coldwater Canyon Wash, and Mayhew Wash. The drainage plan described in this Specific Plan preserves Temescal Wash in its natural condition in Planning Area 12. An average topographic relief (slope height) of approximately 10-20 feet in the south and 50-80 feet in the north, as occurs under natural conditions, is designed to be maintained as a natural buffer between Temescal Wash and the commerce center's development areas. Planning Area 12 (Open Space) is located within a FEMA-mapped, 100-year flood-hazard zone for the Temescal Wash; however, no buildings, obstructions, or fill materials will be situated within the flood zone with the exception of possible outflow devices, as this planning area will be conveyed to the RCA for permanent conservation under the MSCHP.

The drainage plan improves Mayhew Wash and Coldwater Canyon Wash in Planning Areas 13 A – D with Open Space – Water land uses (specifically, flood control channels). The flood control channels in Planning Areas 13A, B, C and D will be improved with channel bank revetment and grade control structures constructed entirely of soil cement/grouted rock with some ungrouted rock scour protection at select locations. The engineering design of Temescal Canyon Road includes a bridge where the roadway passes over the Coldwater Canyon Wash flood control channel; additionally, Temescal Canyon Road will feature a bridge or culvert where the roadway passes over the Mayhew Wash.

The four other on-site minor drainages are not preserved. Impacts to natural drainages are subject to permitting requirements of the U.S. Army Corps of Engineers and the California Department of Fish and Game. Also, approval is necessary from the Riverside County Flood Control and Water Conservation District, as well as from the State of California Water Resources Control Board, Santa Ana Region.





Source: Proactive Engineering Consultants

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FIGURE 2-7

The SERRANO COMMERCE CENTER'S local on-site drainage system consists of underground storm drain pipe systems designed to collect and treat on-site stormwater runoff and discharge the treated flows into the regional flood control facilities (the Coldwater Canyon Wash channel, the Mayhew Wash channel, and/or Temescal Wash). To ensure the appropriate level of water quality, grass lined swales and detention ponds are identified throughout the commerce center, as shown in Figure 2-7, *Conceptual Drainage Plan and Phasing Plan*. Precise sizes and locations of these features will be determined at the plot plan, site plan, and final map stages of Specific Plan implementation. The conveyance of drainage through the SERRANO COMMERCE CENTER to the grass swales and detention ponds will be accomplished through a network of storm drain conduits that will vary in size. Ultimately, the drainage flows from these conduits, after water quality cleansing, will flow to the north into the Coldwater Canyon Wash, to the south into Mayhew Wash, and to the east into Temescal Wash.

The outlet structures at the terminal discharge points into Temescal Wash, the improved Coldwater Canyon Wash, and the improved Mayhew Wash are designed to mitigate the outlet velocity so that it is compatible with the associated channel system or natural creek system. At the confluence of the improved Mayhew Wash and Coldwater Canyon Wash flood control channels with Temescal Wash, a "buried setback" revetment is provided within the Temescal Wash to prevent flow impingement at these locations. The improved Coldwater Canyon Wash and Mayhew Wash will contain channel bank revetments and grade control structures constructed entirely of soil cement/grouted rock with some ungrouted rock scour protection at select locations.

#### **D.1.1 STORMWATER RECOVERY AND STORAGE PROGRAM (SWRSP)**

The Stormwater Recovery and Storage Program (SWRSP) is a system that allows for the recovery and underground storage of on-site stormwater runoff. Using the SWRSP, stored water, which would be treated by above-ground grass-lined swales and detention ponds, would be slowly released into the groundwater table or could be used for beneficial uses, such as on-site irrigation. The SWRSP is a component of the Specific Plan's overall strategy to reduce domestic water use and reliance on fossil fuel energy. As the engineering details and mechanics of the system cannot be precisely defined at the Specific Plan stage of design, the SWRSP is identified as an optional feature of the Specific Plan. The decision to proceed or not proceed with construction of the SWRSP will be made by the Applicant and the Riverside County Flood Control and Water Conservation District in conjunction with the approval of mass grading plans for the first phase of development.

The SWRSP has been conceptually designed to function as follows. Underground stormwater storage "reservoirs" are designed to be situated within on-site canyon areas beneath Planning Areas 5 and 6. These canyons will be filled with oversized rock materials unearthed during the grading process. The resulting "rock fills" are anticipated to have a high strength, settlement resistance, storage capacity, and transmissivity due to the coarse, interconnected voids between the rock particles. There would be no restrictions on building construction above the fills. Above-ground facilities, such as detention/water quality basins, bioswales, geoswales, and secondary simple debris traps, will be designed to collect and separate sediment and debris from stormwater runoff and clean water would flow underground into the SWRSP. Use of the stored water for beneficial uses such as irrigation would require subsequent review and approval by the Riverside County Flood Control and Water Conservation District.

**D.1.2 DRAINAGE AND FLOOD CONTROL FACILITIES PHASING PLAN**

A summary of the SERRANO COMMERCE CENTER drainage and flood control facilities phasing plan is described in detail below:

- **PHASE I:** Phase I includes the construction of two flood control channels, several storm drain lines, and the optional SWRSP, as follows:
  - Coldwater Canyon Wash Flood Control Channel. Improvements to the flood control channel in Planning Areas 13A and 13B will be constructed in Phase I. This approximately 3,750-foot long flood control channel receives stormwater runoff from Planning Areas 1 through 7.
  - Mayhew Wash Flood Control Channel. Phase I also includes improvements to the flood control channel in Planning Areas 13C and 13D. This approximately 1,550-foot long flood control channel receives stormwater runoff from Planning Areas 9, 10, and 11.
  - Storm Drain Line “A.” This storm drain line collects off-site runoff tributary to the northern part of Planning Area 1 and on-site runoff from Planning Area 1. Line “A” conveys this runoff to the existing low point just easterly of Temescal Canyon Road.
  - Storm Drain Line “C.” Line “C” conveys on-site storm water and starts from the intersection of Temescal Canyon Road and Street “A” and runs easterly along Street “A” and northerly through Planning Area 5. The line discharges into the Coldwater Canyon Wash flood control channel.
  - Storm Drain Line “D.” Line “D” starts at the southeasterly corner of Planning Area 6 and runs northerly along the easterly boundary of the planning area until it discharges directly into the Temescal Wash in Planning Area 12.
  - Storm Drain Line “E.” This storm drain starts at the intersection of Temescal Canyon Road and Street “A” and runs east along Street “A” and south through Planning Area 6, where it discharges into the Temescal Wash.
  - Storm Drain Line “G.” Line “G” conveys off-site runoff to the Temescal Wash along Street “D.” The line begins at the intersection of Temescal Canyon Road and Street “D” and runs easterly.
  - Storm Drain Line “H.” Line “H” collects on-site runoff from Planning Area 9 and discharges into Line “G.”
  - Storm Drain Line “I.” This storm drain line conveys storm runoff from Planning Area 9 and runs south along Temescal Canyon Road and discharges into the Mayhew Wash flood control channel. Storm Drain Line “I.”
  - Stormwater Recovery and Storage Program (SWRSP). Finally, Phase I includes construction of the SWRSP (see *Section II.D.1.1*, above). Construction of the SWRSP is optional. The decision to proceed or not proceed with construction of the

SWRSP will be made by the Applicant and the Riverside County Flood Control and Water Conservation District in conjunction with the approval of mass grading plans for the first phase of development.

- **PHASE II:** Phase II includes the construction of several storm drain lines. In Phase II, most lines that were constructed in Phase I would be extended further upstream as described below:
  - Storm Drain Line “B.” This line will be constructed in its entirety in Phase II, from an Interstate 15 freeway culvert to its outlet into Coldwater Canyon Wash. The line collects off-site flows entering Planning Area 1. A detention basin also is needed in the southeastern portion of Planning Area 1 adjacent to Temescal Canyon Road.
  - Storm Drain Line “D.” Line “D” is an upstream extension from that part of the Line “D” storm drain constructed with Phase I. Phase II includes installation of the line from the southeast corner of Planning Area 6 to the intersection of Street “C” and Temescal Canyon Road.
  - Storm Drain Line “G.” Line “G” is an upstream extension from that part of Line “G” constructed with Phase I. During Phase II, Line “G” will be installed from the intersection of Street “D” and Temescal Canyon Road, through the mid-section of Planning Area 8 and tie to an Interstate 15 freeway culvert.
  - Storm Drain Line “F.” This line is an upstream extension from that part of Line G constructed with Phase I (the intersection of Street D and Temescal Canyon Road). Line “F” is aligned along the northerly boundary of Planning Area 8 and ties to an Interstate 15 freeway culvert
- **PHASE III:** Phase III includes the upstream extension of two storm drain lines.
  - Storm Drain Line “C.” Line “C” in Phase III is an extension from its terminus, constructed with Phase I, at the intersection of Street “A,” Street “B,” and Temescal Canyon Road. The line extension is aligned to run westerly along Street “B” to collect treated on-site flows from Planning Area 2.
  - Storm Drain Line “E.” This storm drain is an extension from its upstream terminus, constructed with Phase I, at the intersection of Street “A,” Street “B,” and Temescal Canyon Road. The Line “E” extension runs upstream along Street “B” and traverses through Planning Area 4 to tie to an Interstate 15 freeway culvert.
- **PHASE IV:** Phase IV includes the upstream extension of one storm drain line.
  - Storm Drain Line “D.” In Phase IV, Line “D” is further extended from the intersection of Temescal Canyon Road and Street “C”, westerly along Street “B” to collect on-site runoff in Planning Areas 3 and 4.

- **PHASE V:** Phase V includes the upstream extension of one storm drain line.
  - Storm Drain Line “D.” In the last phase, Line “D” is extended once more, further upstream to its final terminus within Planning Area 4.

**D.2 DRAINAGE PLAN DEVELOPMENT STANDARDS**

1. Drainage, storm drain, and flood control facilities and improvements, including proposed flood control channels in Planning Areas 13 A, B, C, and D, shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements to provide protection from a 100-year storm event.
2. The flood control channels in Planning Areas 13A, B, C and D constructed during Phase I shall be improved with channel bank revetment and grade control structures constructed entirely of soil cement/grouted rock with some ungrouted rock scour protection at select locations.
3. A National Pollutant Discharge Elimination System (NPDES) permit from the Regional Water Quality Control Board (RWQCB) shall be obtained prior to the commencement of construction and post-development activities. The permits will require the Developer to implement source control and structural best management practices (BMPs) during and after construction activities. The County will be responsible for enforcing implementation of the BMPs.
4. This Specific Plan and its implementing activities shall comply with the Water Quality Control Plan of the Regional Water Quality Control Board, Santa Ana Region.
5. All drainage and storm drain facilities shall be maintained by the Riverside County Flood Control and Water Conservation District, County of Riverside Transportation Department, or a community service financing mechanism such as a Community Service Area (CSA) or a Community Service District (CSD). Maintenance responsibilities of the drainage and storm drain facilities shall be established prior to the issuance of a grading permit for each phase of development in the Specific Plan area.
6. Proposed grading and drainage improvements shall conform to Section 2907 and 7012 of the International Building Code (IBC).
7. No buildings or other structures shall be placed within the FEMA floodplain (Planning Area 12). Walls and fencing described in this Specific Plan are permitted adjacent to the boundary of the floodplain. A minimum 10-foot setback, which may include open space, water quality features, or parking areas, shall be situated in between the Open Space – Conservation area in Planning Area 12 and buildings in Planning Areas 5, 6, 7, 9, and 11.
8. Riverside County is responsible for the maintenance of the Coldwater Canyon Wash and Mayhew Wash flood control channels in Planning Areas 13A, B, C, and D. Routine maintenance checks shall be performed at regular intervals, as well as following significant storm events. Maintenance measures may include removal of sediment and debris accumulation from the channel invert; removal of large/wooden vegetation; reestablishment

of areas of significant degradation of the invert below the minimum design flowline; fill of local scour; repair of any damage to the bank revetment; removal of any vegetation growing within the revetment; periodic repair of any damage to the grade control structures and storm drain outlets; and maintenance of the service roads and fencing located adjacent to the flood control channels.

**E. WATER AND SEWER PLANS**

The SERRANO COMMERCE CENTER site lies within the general service area of Western Municipal Water District (WMWD). Lee Lake Water District (LLWD), the direct supplier of water to the site, is a wholesale customer of WMWD. LLWD also supplies wastewater collection and treatment for the site.

Precise alignments and sizing of water and sewer facilities will be determined at the plot plan, site plan, and final map stages of Specific Plan implementation. The location and size of facilities identified in this document may change, subject to the approval of Riverside County and the LLWD.

**E.1 DOMESTIC WATER PLAN DESCRIPTION**

LLWD will supply domestic water to the SERRANO COMMERCE CENTER. The site is located within LLWD's 1320 High Water Level (HWL) pressure zone. This HWL zone is capable of serving parcels at a pad elevation of 1,150 feet above mean sea level (MSL) or lower, and all parcels within the Specific Plan are lower than 1,150 feet above MSL.

As shown in Figure 2-8, *Conceptual Water Plan and Phasing Plan*, an existing 20-inch water line is located beneath the rights-of-way of Old Temescal Canyon Road North and Old Temescal Canyon Road South. The SERRANO COMMERCE CENTER provides a 20-inch line beneath the realigned right-of-way of Temescal Canyon Road, which connects to the existing 20-inch lines beneath Old Temescal Canyon Road North/South. Other water lines internal to the Specific Plan site consist of backbone lines ranging in size from 14 to 20 inches in diameter, including 14-inch water lines beneath Streets "A," "B," "C," "D," and "E." On-site water lines are looped into the major line within Temescal Canyon Road to ensure adequate volume and pressure throughout the SERRANO COMMERCE CENTER. A more detailed description of the domestic water plan is described in Section II.E.1.1, *Domestic Water Services Phasing Plan*.

The on-site water system also consists of fire, reclaimed, and domestic lines ranging from two to 18 inches in diameter that will tie into lines in the adjacent public streets. Design and inspection criteria are under the jurisdiction of LLWD, although fire flow rates and durations must meet the County of Riverside Fire Department requirements.

SERRANO COMMERCE CENTER will rely on the future construction of an approved, off-site, 6.0 million gallon (mg) water reservoir, Wild Rose Reservoir II (WRR II) for its necessary supply of domestic water. This reservoir will be a 190-foot-diameter, steel tank with a 30-foot high visual barrier located adjacent to the existing 2.8 mg Wild Rose Reservoir. The approved WRR II reservoir construction project also includes a 1.4-mile long, 14-inch diameter water pipeline connection between the new 6.0 mg reservoir and an existing tie-in located just west of I-15 at Brown Canyon Channel. If the WRR II Project is not yet constructed by LLWD or another party at the time it is needed to serve the SERRANO COMMERCE CENTER, the Specific Plan Applicant and/or Developers may construct or participate in the construction of WRR II improvements.

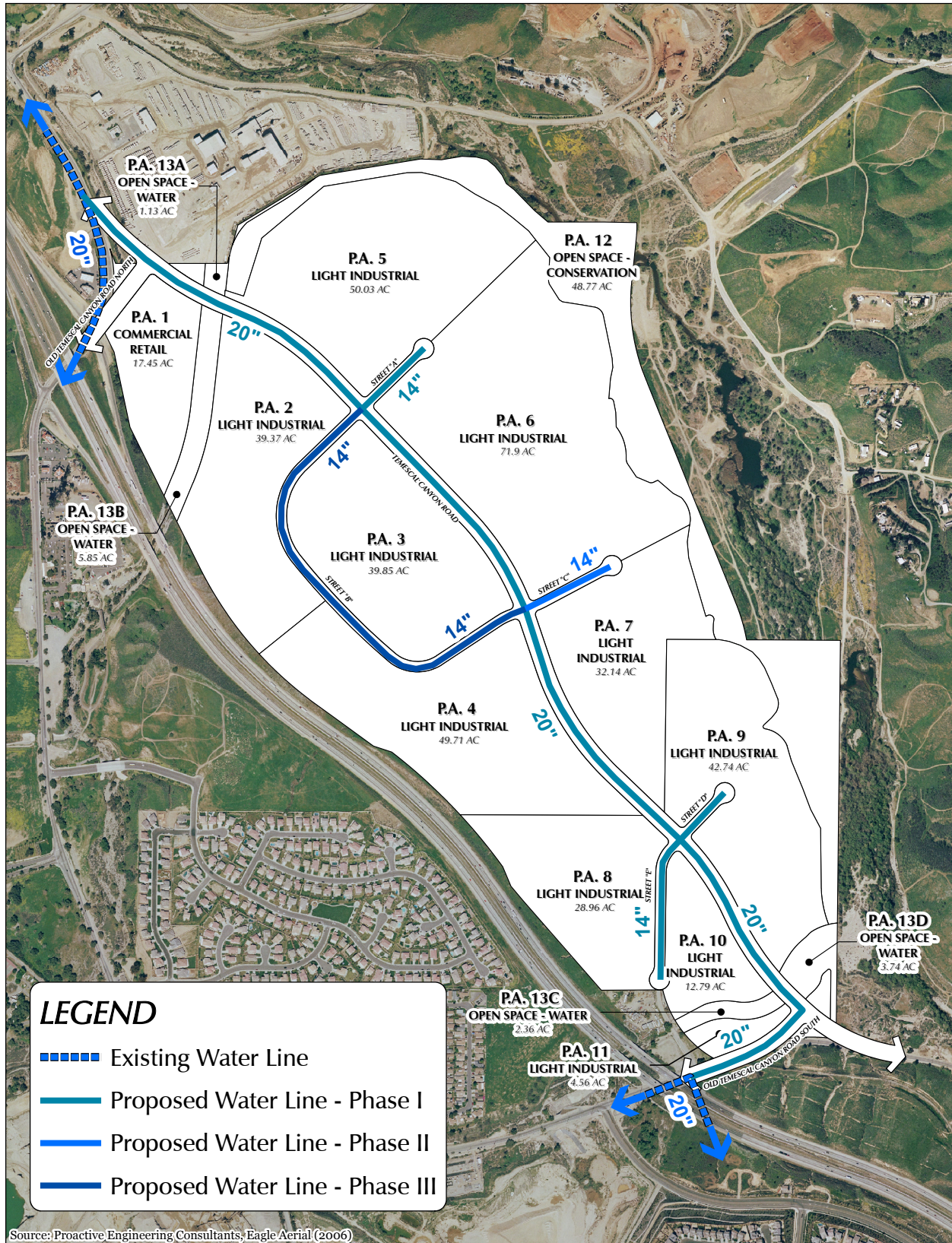


FIGURE 2-8



### E.1.1 DOMESTIC WATER SERVICES PHASING PLAN

A summary of the SERRANO COMMERCE CENTER water services phasing plan is described in detail below.

- **PHASE I:** Phase I includes the installation of a 20-inch water line beneath the Temescal Canyon Road right-of-way and beneath a portion of the existing Temescal Canyon Road South within the boundaries of the Specific Plan. This line connects to existing lines in Old Temescal Canyon Road North and Old Temescal Canyon Road South. Phase I also includes the installation of approximately 1,600 linear feet of 14-inch water lines beneath Streets “A,” “D” and “E.” Construction of the WRR II also is required for Phase I.
- **PHASE II:** Phase II consists of the installation of approximately 700 linear feet of 14-inch water line beneath Street “C.”
- **PHASE III:** Phase III consists of the installation of approximately 3,500 linear feet of 14-inch water line beneath Street “B.”
- **PHASES IV AND V:** No domestic water improvements are required during these phases.

### E.2 SEWERAGE PLAN DESCRIPTION

As shown on Figure 2-9, *Conceptual Sewerage Plan and Phasing Plan*, an existing 15-inch sewer line is located beneath the right-of-way of Old Temescal Canyon Road North. The SERRANO COMMERCE CENTER provides 10-inch force main lines and 15-inch sewer lines beneath the right-of-way of Temescal Canyon Road. Connecting to these central lines are eight- and 15-inch sewer lines that are internal to Planning Areas 5 and 6 and situated beneath the rights-of-way for Streets “B,” “C,” “D,” and “E.”

Gravity directs wastewater flows in the northern portion of the commerce center, which are transported to the existing 15-inch sewer line beneath the Old Temescal Canyon North right-of-way. Flows from the southern portion of the commerce center are routed north by a 10-inch force main beneath the Temescal Canyon Road right-of-way and a lift station, which is located in Planning Area 9. Wastewater flows from the SERRANO COMMERCE CENTER are then transported to the LLWD Reclamation Facility, which is located on Temescal Canyon Road north of the commerce center.

#### E.2.1 SEWERAGE SERVICES PHASING PLAN

A summary of the SERRANO COMMERCE CENTER sewerage services phasing plan is described below.

- **PHASE I:** Phase I includes the installation of a 15-inch gravity main line beneath Temescal Canyon Road within the Specific Plan boundary. This 15-inch sewer main line connects to the existing 15-inch sewer line in Old Temescal Canyon Road North and extends approximately 1,800 linear feet south to roughly 1,000 feet north of Street “A.” From this point, the 15-inch sewer main line extends about 4,800 linear feet to the east and south along the northern and eastern edges of Planning Areas 5 and 6 to the southern boundary of Planning Area 6. The 15-inch main then extends to the west approximately 900 linear feet to

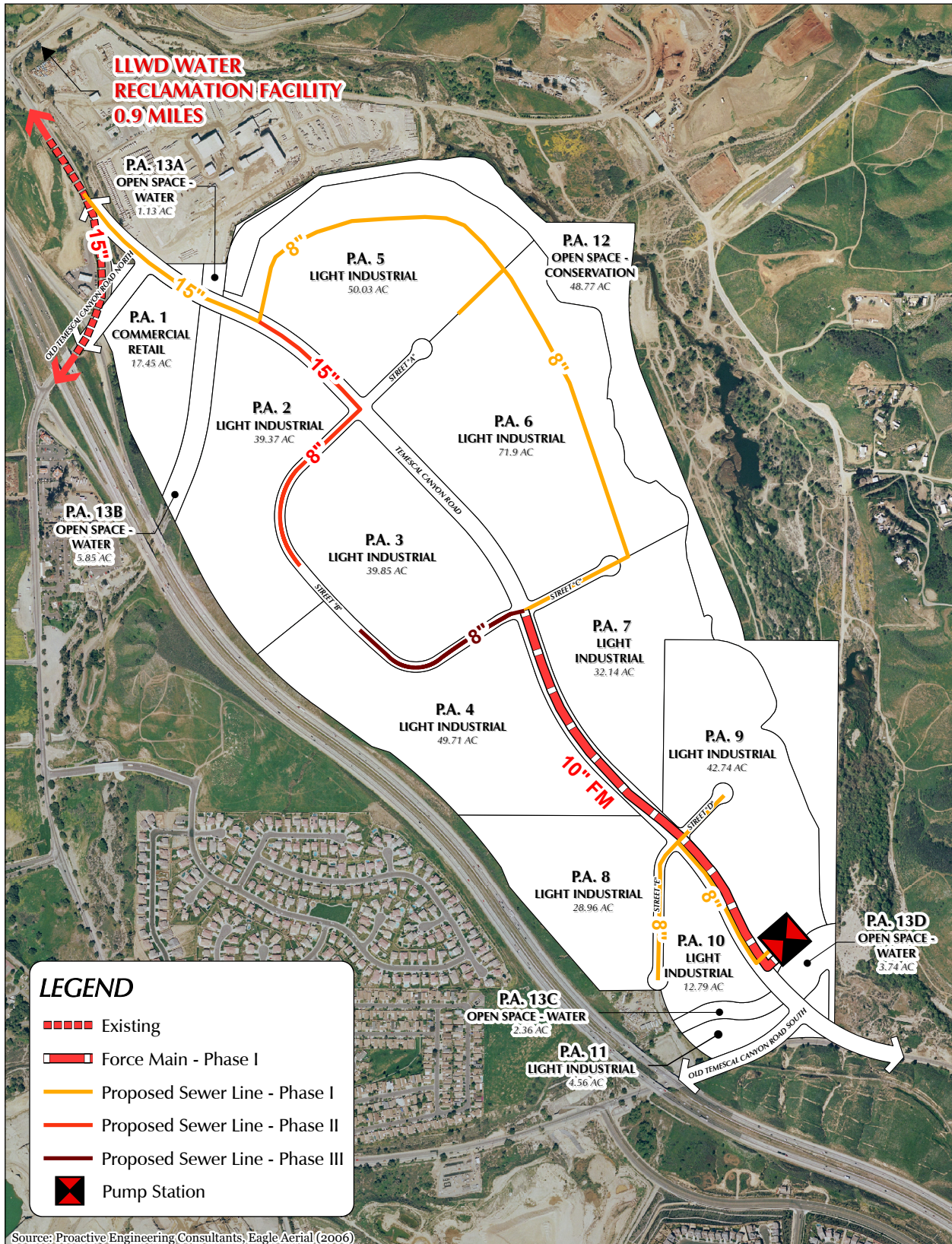


FIGURE 2-9

Temescal Canyon Road. This point also serves as the inlet point for a new 10-inch sewer force main line that also will be constructed as a part of this phase.

To serve Planning Areas 9, 10, and 11, an eight-inch sewer main line is required beneath Street “D,” Street “E,” and the portion of Temescal Canyon Road adjacent to Planning Area 9. This main line outlets into a lift station that is located at the southwest corner of Planning Area 9. The construction of the lift station also will occur during this phase.

- **PHASE II:** No improvements are required during this phase.
- **PHASE III:** Phase III consists of the installation of approximately 2,550 linear feet of eight-inch sewer main line beneath Temescal Canyon Road and beneath a portion of Street “B.”
- **PHASE IV:** Phase IV consists of the installation of the remaining approximate 1,400 linear feet of the eight-inch sewer main line beneath Street “B.” This line connects to the 15-inch main line installed beneath Temescal Canyon Road.
- **PHASE V:** No improvements are required during this phase.

### **E.3 WATER AND SEWERAGE PLAN DEVELOPMENT STANDARDS**

1. All water and sewer lines shall be placed underground. Water and sewer lines on bridges shall either hang underneath the bridges or be located beneath the bridge culverts.
2. All water and sewer lines shall be designed per the requirements of the County of Riverside, WMWD, and LLWD.
3. The water and sewer infrastructure system shall be installed to the requirements of the Riverside County Building and Safety Department and the Riverside County Environmental Health Department.
4. One copy of the water system plan shall be submitted to the County of Riverside Fire Department for review and approval. Plans shall conform to the applicable hydrant types, location, and spacing standards, and the system shall meet fire flow requirements. The required water system, including fire hydrants, shall be installed and accepted by LLWD, prior to any combustible building materials being placed on the site.
5. Estimates of the Specific Plan area’s reclaimed water demand and landscape/irrigation conceptual plans shall be prepared and submitted to the County of Riverside for review. At the time of the review and prior to the issuance of permits for infrastructure improvements, a determination shall be made regarding requirements for reclaimed water use and system improvements for the SERRANO COMMERCE CENTER.

**F. GRADING PLAN****F.1 GRADING PLAN DESCRIPTION**

The SERRANO COMMERCE CENTER grading plan is tailored to the existing topography of the commerce center site, which is varied. The site ranges in elevation from approximately 950 feet above mean sea level (MSL) to approximately 1,212 feet above MSL, with a maximum elevation difference of approximately 262 feet.

The intent of the preliminary grading plan, as shown on Figure 2-10, *Conceptual Grading Plan*, is to produce buildable parcels by lowering the higher areas of the site to fill in the lower areas and achieve generally flat development pads for construction. The building pad areas will be graded to approximately 0.5% slope with circulation and parking areas graded to an average of 2% to 3% slope.

The natural drainage of the site is towards the Temescal Wash. The goals of the Conceptual Grading Plan are to provide stable areas for commerce center development, maintain or reduce current sedimentation rates, and mitigate flood hazards. Earthwork quantities estimated for the Specific Plan site consist of approximately eight million cubic yards of cut and eight million cubic yards of fill. No substantive import or export of earth materials is necessary.

Site grading will follow geotechnical recommendations and site inspection guidance, particularly as it relates to the removal and re-compaction of existing alluvial soils and bedrock. Additionally, any ripping, removal, or excavation activities occurring along adjacent structures, property lines, and suspected fault features will be accomplished under close geotechnical inspection.

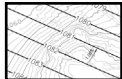

Grading within any development phase (refer to Section II.B, *Project Phasing*) may encroach into an on-site area of a future development phase in order to achieve an earthwork balance. In this scenario, grading shall be performed in a manner consistent with the overall Conceptual Grading Plan and any grading plans for future development phases. As an example, it is anticipated that grading during Phase I will include any grading necessary to provide graded pads for Planning Areas 1 through 7, 9, and 11 and portions of Planning Area 10, as well as the excavation associated with the flood control channels located within Planning Areas 13A through 13D. Grading may be necessary beyond the boundaries of these planning areas and into planning areas of future phases to achieve earthwork balance or to transition to off-site, natural grades.

**F.2 GRADING PLAN DEVELOPMENT STANDARDS**

1. All grading activities shall conform to Riverside County standards, be in substantial conformance with Figure 2-10, *Conceptual Grading Plan*, and implement any grading-related mitigation measures identified in EIR No. 492 and associated geotechnical studies.
2. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability and will include appropriate measures to control erosion and dust during construction.



**LEGEND**

-  GRADING CONTOURS
-  TOPOGRAPHIC CONTOURS

Source: Proactive Engineering Consultants

FIGURE 2-10

3. Prior to the commencement of development within any planning area of this Specific Plan, an overall Grading Plan for the specific planning area shall be submitted for Planning Department approval. The Grading Plan for each planning area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area, and shall include: techniques employed to prevent erosion and sedimentation, as well as eliminate source pollutants during and after the grading process; approximate time frames for grading; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced on-site whenever possible.
4. Grading work within the Specific Plan site shall conform as much as possible to the total estimated cut and fill quantities (eight million cubic yards each of cut and fill).
5. All public roads within the Specific Plan area shall have a gradient not to exceed 15%.
6. Riverside County Ordinance Nos. 348 and 460 shall be observed.
7. The tops of manufactured slopes higher than ten (10) feet shall be rounded with curves with radii designed in proportion to the total height of the slope, where drainage and stability permits such rounding.
8. The Developer applying for the implementing actions shall be responsible for maintenance of all planting and irrigation systems until such operations become the responsibilities of other parties, such as a master landscape maintenance district.
9. Manufactured slopes steeper than 2:1 or exceeding ten feet in vertical height are allowed provided they are recommended to be safe in a slope stability report prepared by a soils engineer or an engineering geologist. The slope stability report shall also contain recommendations for landscaping and erosion control. Riverside County Ordinance No. 457 will be observed regarding setback and landscaping requirements with respect to slopes.
10. Where cut and fill slopes are created higher than three feet, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to Grading Plan approval. Plans shall be reviewed for type and density of ground cover, shrubs, and trees.
11. Brow ditches, terrace drains, or other minor swales determined necessary by the County of Riverside shall be lined with natural erosion control materials or concrete.
12. Graded land that is undeveloped shall be maintained with a soil stabilizer or planted with interim landscaping within ninety days of completion of grading, unless building permits are obtained.
13. A grading permit shall be obtained from the County of Riverside, as required by the County Grading Ordinance, prior to grading.
14. Pursuant to requirements of the State Water Resources Control Board, a state-wide general National Pollution Discharge Elimination System (NPDES) construction permit shall be obtained prior to commencement of grading activities associated with the project.

Construction activities include cleaning, grading, or excavation that results in the disturbance of at least one acre of total land area.

15. Soil stabilizers shall be used to control dust as required by the SCAQMD Rule 403.
16. A Clean Water Act (CWA) Section 401 Water Quality Certification or Waiver from the Regional Water Quality Control Board (RWQCB) and a U.S. Army Corps of Engineers Section 404 Permit shall be obtained prior to the issuance of a grading permit for the site.

**G. OPEN SPACE PLAN****G.1 OPEN SPACE PLAN DESCRIPTION**

An important element of the SERRANO COMMERCE CENTER is the Open Space - Conservation area planned along the site's eastern boundary (see Figure 2-11, *Conceptual Open Space Plan*). Pursuant to the Western Riverside County MSHCP, this portion of the commerce center property is designated as Open Space - Conservation in order to maintain Temescal Wash in its natural state, preserve habitats, facilitate species migration, and allow for groundwater recharge. Planning Area 12 consists of 48.77 acres and encompasses the northeastern, eastern, and southeastern boundary of the Specific Plan area. In addition, Planning Areas 13A, B, C, and D, which convey drainage through the site to the Temescal Wash, also serve as a part of the Specific Plan's open space system.

Passive recreational opportunities, as previously depicted on Figure 2-6, *Conceptual Non-Vehicular Circulation Plan*, are provided to employees and visitors of the SERRANO COMMERCE CENTER through roadway-adjacent sidewalks and pedestrian paths. These amenities encourage pedestrian activity throughout the commerce center.

Lastly, to encourage social interaction, the commercial retail and light industrial building sites within the SERRANO COMMERCE CENTER will include outdoor employee break areas. These partially shaded outdoor employee break areas shall contain tables affixed to the ground to provide employees with a location to eat, gather, and enjoy being outside. Shading of these areas may be achieved through a combination of shade trees, umbrellas, or man-made shade structures. For more information, refer to Section IV.C.6.2, *Outdoor Employee Break Areas*.

**G.2 OPEN SPACE AND RECREATION PLAN DEVELOPMENT STANDARDS**

1. Planning Area 12 shall be mapped as a separate parcel and conveyed to the RCA.
2. Sidewalks and trails within the public right-of-way and pedestrian paths located outside of the public right-of-way will require approval by the County Planning Department to ensure continued maintenance through the establishment of a property owners' association, landscape maintenance district, or similar mechanism.
3. The flood control channels in Planning Areas 13A, B, C, and D shall be improved with channel bank revetment and grade control structures constructed entirely of soil cement/grouted rock with some ungrouted rock scour protection at select locations.
4. Landscaping within open space areas is further governed by *Section IV* of this Specific Plan.
5. Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.



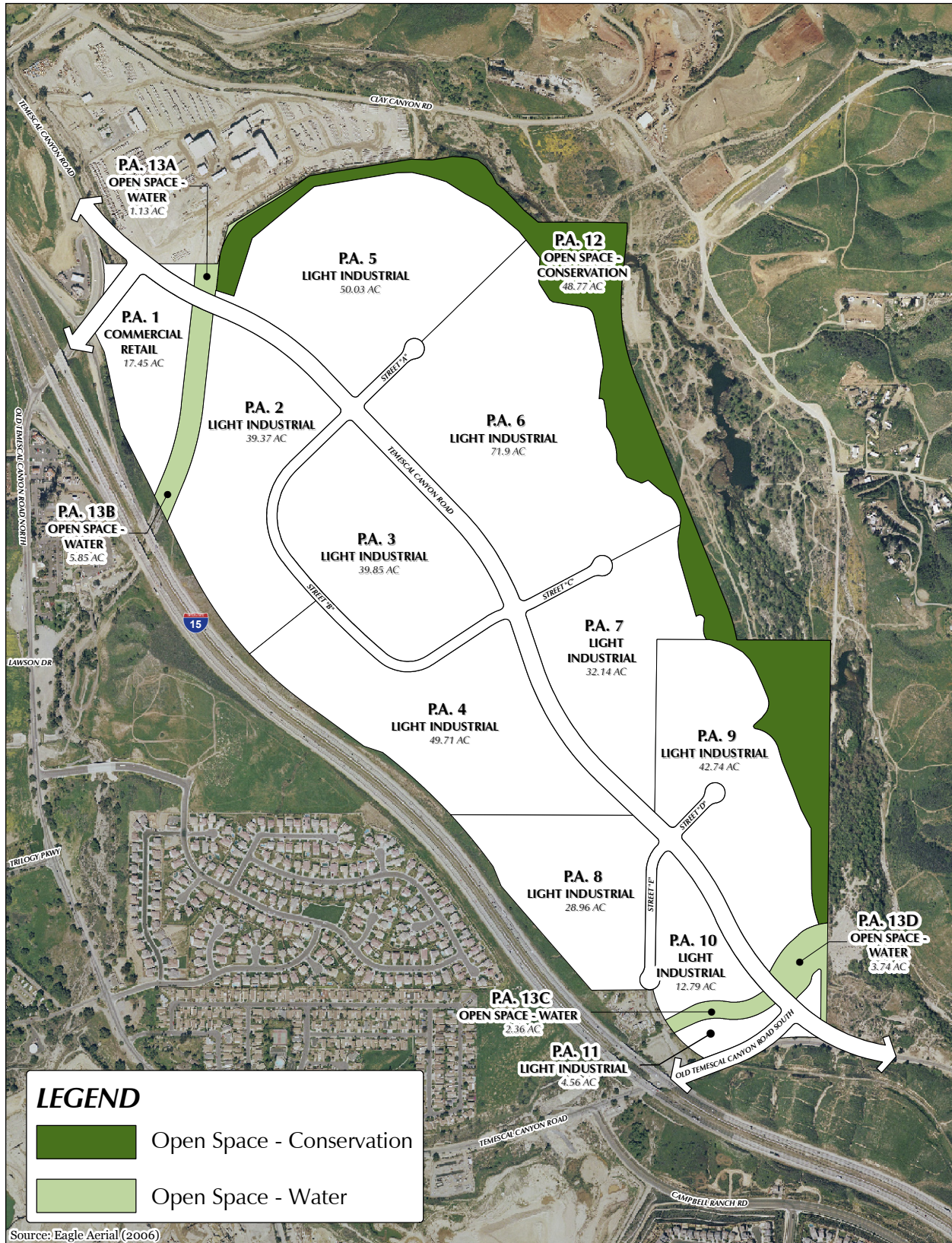


FIGURE 2-11

**T&B PLANNING**  
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**H. MAINTENANCE PLAN**

A key component to the long-term aesthetic quality of the SERRANO COMMERCE CENTER is the effective operation of maintenance districts and associations. The County of Riverside shall be responsible for maintaining public roadways. Maintenance of common facilities may be divided among a Master Property Owners’ Association (POA) and/or similar maintenance mechanism. Final decisions regarding maintenance entities shall be made at a future stage of Specific Plan design review and in concert with appropriate agencies.

Anticipated maintenance elements and potential responsible parties are set forth on Table 2-4, *Maintenance Plan Summary* below. Also refer to Section VI, *Implementation*, Table 6-1, which contains more detail on the maintenance options for each major public facility within the SERRANO COMMERCE CENTER.

**TABLE 2-4 MAINTENANCE PLAN SUMMARY**

<b>FACILITY</b>	<b>PROPERTY OWNERS’ ASSOCIATION</b>	<b>INDIVIDUAL LAND OWNERS OR BUILDING TENANTS</b>	<b>COUNTY</b>	<b>OTHER SERVICE ENTITY</b>
Planning Area 12 Open Space				✓(RCA)
Flood Control Channels			✓	
Entry Monumentation (Signs)	✓	✓		
Pedestrian Paths and Hardscape (outside of public right-of-way)	✓	✓		
Regional Trail			✓	
Sewer/Water			✓	✓(LLWD)
Outdoor Employee Break Areas	✓	✓		
Storm Drains			✓	
Street Lighting (Public)			✓	
Driveways and Parking Lots (Private)	✓	✓		
Outdoor Employee Break Areas (Private)	✓	✓		
Streets (Public)			✓	

As previously mentioned, a detailed description of the construction triggers, responsible party/parties for construction and maintenance, and financing mechanisms for infrastructure improvements is provided in Section VI.B.4, *Construction Timing, Maintenance Responsibility, and Financing Mechanisms*, and Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*.

**III. PLANNING AREA**  
**DEVELOPMENT STANDARDS**

**III. PLANNING AREA DEVELOPMENT STANDARDS**

Planning areas within the SERRANO COMMERCE CENTER SPECIFIC PLAN were formed on the basis of logical, separate units of development. Criteria considered in this process included the following: uniformity of use as it pertains to zoning, size to accommodate light industrial and commercial retail land uses, relationship to adjoining land uses, MSHCP Cell Criteria, General Plan roadway alignments, and relationship to surrounding topography.

The planning area graphics for this section (Figures 3-1 through 3-14) were derived from Figure 2-1, *Land Use Plan*. Although development may conform closely to some elements of the illustrative concepts provided in the Design Guidelines contained within *Section IV*, the actual building sizes and arrangements will not be determined until subsequent stages of planning. Table 3-1, *Development Standards*, sets forth minimum development standards for Commercial Retail and Light Industrial land uses within the SERRANO COMMERCE CENTER. Open Space – Conservation and Open Space – Water land uses are purposely omitted from this table because no buildings would be constructed in those areas.

A Specific Plan Zoning Ordinance has been prepared and is contained in *Section V* of this Specific Plan document. The zoning provisions within that ordinance establish use restrictions for each planning area. The zoning provisions must be used in conjunction with the development standards given in this *Section III* for each respective planning area. A summary of the land uses, maximum building intensities, and planning area sizes is provided in Table 2-1, *Land Use Abstract*.

TABLE 3-1 DEVELOPMENT STANDARDS

CATEGORY		STANDARD	
<b>Land Use</b>			
Designation	Commercial Retail	Light Industrial <sup>1</sup>	Light Industrial
Planning Area(s)	1	2	3, 4, 5, 6, 7, 8, 9, 10, 11
Zoning and Permitted Uses	Per Serrano Commerce Center Specific Plan No. 353 Zoning Ordinance		
<b>Dimensions</b>			
Minimum Lot Area	None	None	20,000 square feet
Minimum Average Lot Width	None	None	100 feet
Permitted Floor-to-Area Ratio (F.A.R.) <sup>2</sup>	0.20 to 0.35 F.A.R.	0.25 to 0.60 F.A.R.	0.25 to 0.60 F.A.R.
<b>Minimum Yard Requirements</b>			
- Front	Buildings heights under 35': None Buildings heights over 35': 2 feet for each foot the building height exceeds 35'	If adjacent to a street - 25 feet (of which 10 feet adjacent to street line must be landscaped)	If adjacent to a street - 25 feet (of which 10 feet adjacent to street line must be landscaped)
- Rear	Same as "Front"	15 feet	15 feet
- Side	Same as "Front"	If adjacent to a street – Same as "Front" All other instances - Not less than ten feet for the two side lot areas combined	If adjacent to a street - 25 feet All other instances - Not less than ten feet for the two side lot areas combined
- Additional Setbacks	N/A	If a light industrial use abuts a commercial or service use, the setback shall be 50 feet (of which 20 feet must be landscaped, unless a tree screen is approved)	If a light industrial use abuts a commercial or service use, the setback shall be 50 feet (of which 20 feet must be landscaped, unless a tree screen is approved)

CATEGORY	STANDARD		
<b>Building Height<sup>3</sup></b>			
- Main Structure	50'	50'	50'
<b>Miscellaneous</b>			
- Roof-Mounted Equipment Screening	All roof mounted mechanical equipment shall be screened from the ground elevation view from the adjacent public roadway.		
- Outside Storage <sup>4</sup>	If a non-screened outdoor general retail area is proposed, the exhibit area shall be identified on the plot plan and shall be set back a minimum of 10 feet from the street line.		
- Landscaping	A minimum of 15% of the planning area shall be landscaped and automatically irrigated.	A minimum of 15% of the planning area shall be landscaped and automatically irrigated.	A minimum of 15% of the planning area shall be landscaped and automatically irrigated.
- Utilities	All new utilities shall be underground.	All new utilities shall be underground.	All new utilities shall be underground.
- Signage	Signage shall be in conformance to the Serrano Commerce Center Specific Plan Comprehensive Signage Program, as approved by the Riverside County Planning Department.		

*Notes:*

<sup>1</sup> The Development Standards for Planning Area 2 are presented in a separate column than Planning Areas 2 – 11 because Planning Area 2 may contain both light industrial and service and commercial uses, as permitted by this Specific Plan Zoning Ordinance (Section V). To permit the development of service and commercial uses, there is no minimum lot size in Planning Area 2.

<sup>2</sup> Exceptions to Maximum Height can be obtained up to 75 feet, pursuant to Section 18.34 of Riverside County Ordinance No. 348.

<sup>3</sup> The minimum and maximum F.A.R. is established by the Riverside County General Plan. The overall maximum building square footage for the commerce center (6,773,144 s.f.) cannot be exceeded regardless of the F.A.R. achieved.

<sup>4</sup> Specifically, products for sale on the premises may be displayed outdoors and unscreened. This is most appropriate for retail businesses such as home improvement stores, car lots, or manufacturing/assembly businesses that produce large items such as boats, RVs, or other similar goods. The outdoor storage of products is permitted in all planning areas, provided that the storage and display confirms with the Specific Plan’s zoning standards.

## A. PLANNING AREA 1: COMMERCIAL RETAIL

### A.1 DESCRIPTIVE SUMMARY

Planning Area 1, as shown on Figure 3-1, sets a target for 172,150 square feet of Commercial Retail building space to be developed on 17.45 acres. This planning area provides convenient retail and office services to the people who work and do business in the SERRANO COMMERCE CENTER, as well as commuters on I-15. Uses in this area correspond to those identified in the County's General Plan Community Center Guidelines. Such uses include office and professional uses, local and regional retail, residential uses, civic uses, transit facilities, and supporting open spaces.

More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, and walls and fencing is provided below.

### A.2 LAND USE AND DEVELOPMENT STANDARDS

- ❑ Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- ❑ Table 3-1, *Development Standards*, sets forth minimum site development standards for Commercial Retail land uses.

### A.3 PLANNING STANDARDS

- ❑ Vehicular access to this planning area is provided via Temescal Canyon Road and Old Temescal Canyon Road North.
- ❑ A primary entrance monument treatment is provided in Planning Area 1 adjacent to Temescal Canyon Road and visible to southbound traveling vehicles, as shown in Figure 4-6, *Conceptual Primary Entry Monumentation - Northwest*.
- ❑ As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- ❑ As shown in Figure 4-2A, *Conceptual Old Temescal Canyon Road North/South Streetscape*, sidewalk and roadway landscape treatments are provided along Old Temescal Canyon Road North.
- ❑ An interface condition, as illustrated in Figure 4-11, *Conceptual Coldwater Canyon Wash Flood Control Channel Landscape Interface*, is provided surrounding the southern and eastern perimeter of Planning Area 1.
- ❑ An interface condition, as illustrated in Figure 4-13, *Conceptual I-15 Interface*, is provided along the majority of the western boundary of Planning Area 1.
- ❑ Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.

- ❑ Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.



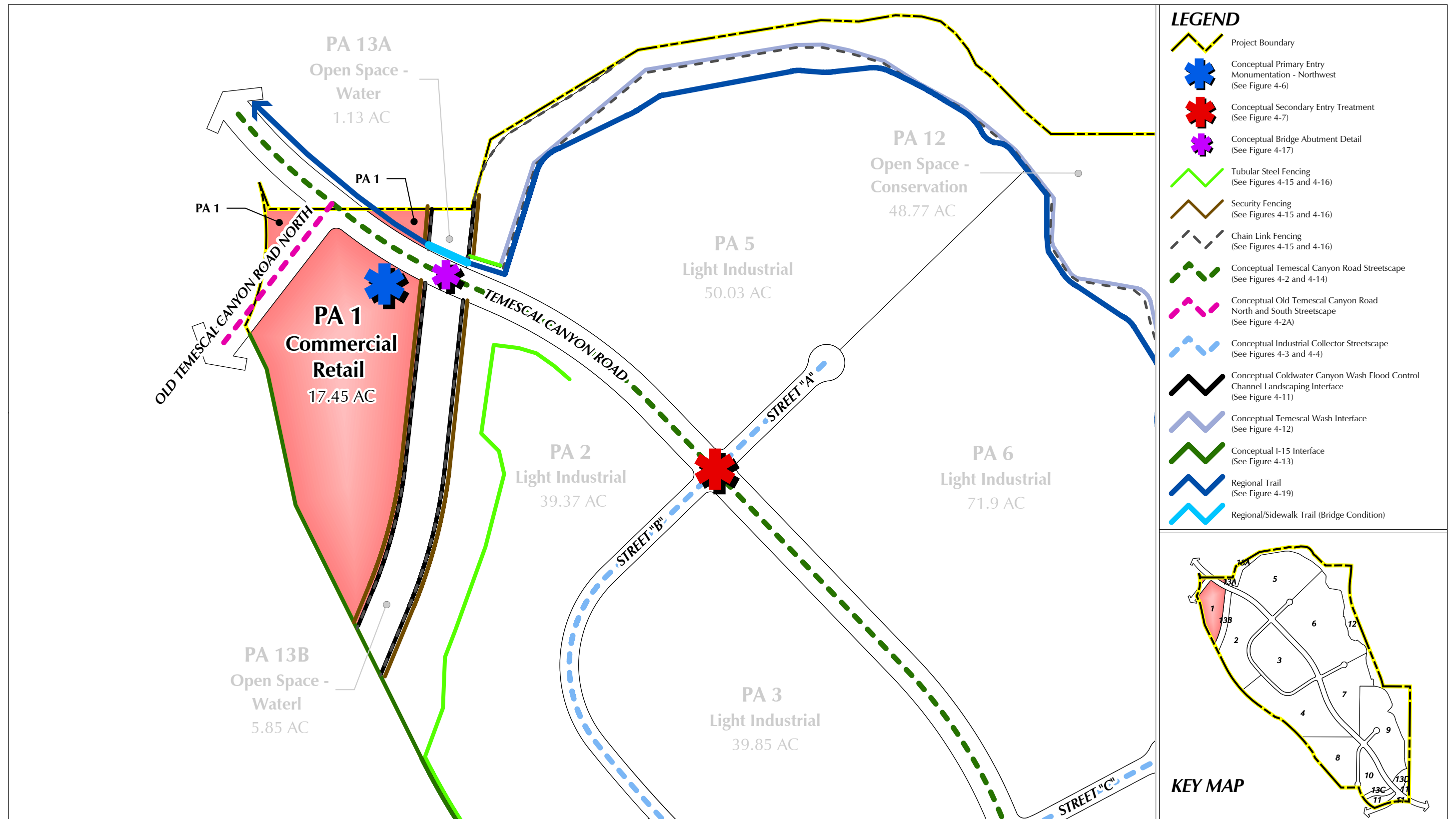


FIGURE 3-1

**B. PLANNING AREA 2: LIGHT INDUSTRIAL****B.1 DESCRIPTIVE SUMMARY**

Planning Area 2, as shown on Figure 3-2, sets a target for 622,540 square feet of Light Industrial building space to be developed on 39.37 acres. Planning Area 2 is expected to contain an emphasis on professional office uses, as permitted by the Specific Plan Zoning Ordinance (*Section V*). This planning area is an ideal location for professional office uses because of its location relative to the Commercial Retail land uses in Planning Area 1 and visibility from and proximity to I-15. To better accommodate professional office uses, there is no minimum lot size within this planning area.

More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below. As illustrated on Figure 3-2, fencing is located in the northwestern portion of the planning area, adjacent to the top of a manufactured slope.

**B.2 LAND USE AND DEVELOPMENT STANDARDS**

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for the Light Industrial land uses in Planning Area 2.

**B.3 PLANNING STANDARDS**

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “B.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “A” and “B”, as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “B.”
- An interface condition, as illustrated in Figure 4-11, *Conceptual Coldwater Canyon Wash Flood Control Channel Landscape Interface*, is provided surrounding the northwestern perimeter of Planning Area 2.
- An interface condition, as illustrated in Figure 4-13, *Conceptual I-15 Interface*, is provided along the southwestern boundary of Planning Area 2.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.

- ❑ Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- ❑ Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

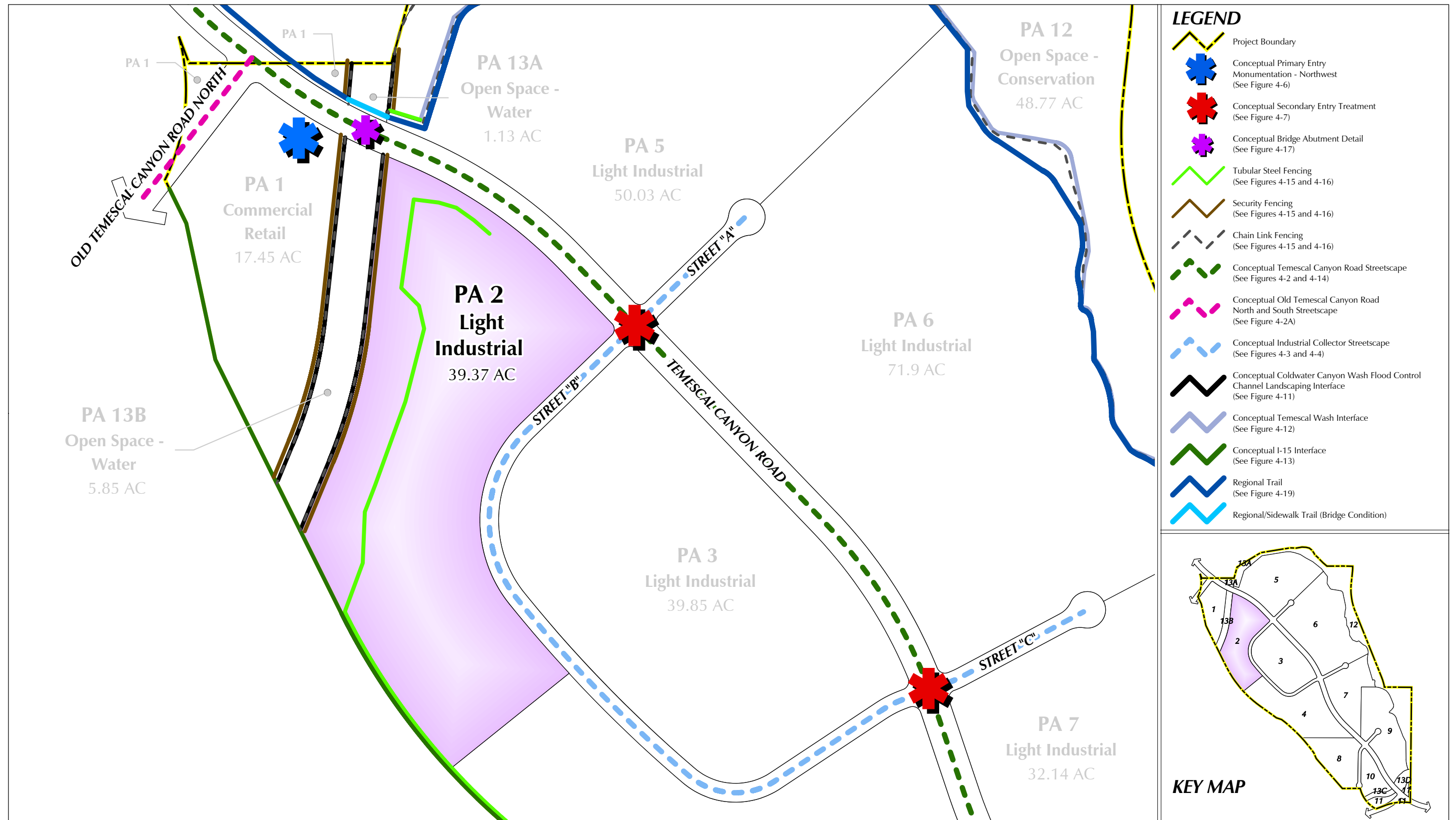


FIGURE 3-2

## C. PLANNING AREA 3: LIGHT INDUSTRIAL

### C.1 DESCRIPTIVE SUMMARY

Planning Area 3, as shown Figure 3-3, sets a target for 702,482 square feet of Light Industrial building space to be developed on 39.85 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

### C.2 LAND USE AND DEVELOPMENT STANDARDS

- ❑ Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- ❑ Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 3.

### C.3 PLANNING STANDARDS

- ❑ Vehicular access to this planning area is provided via Temescal Canyon Road and Street “B.”
- ❑ A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “A” and “B” and at the intersection of Temescal Canyon Road and Streets “B” and “C,” as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- ❑ As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- ❑ As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “B.”
- ❑ Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- ❑ Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- ❑ Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.

- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

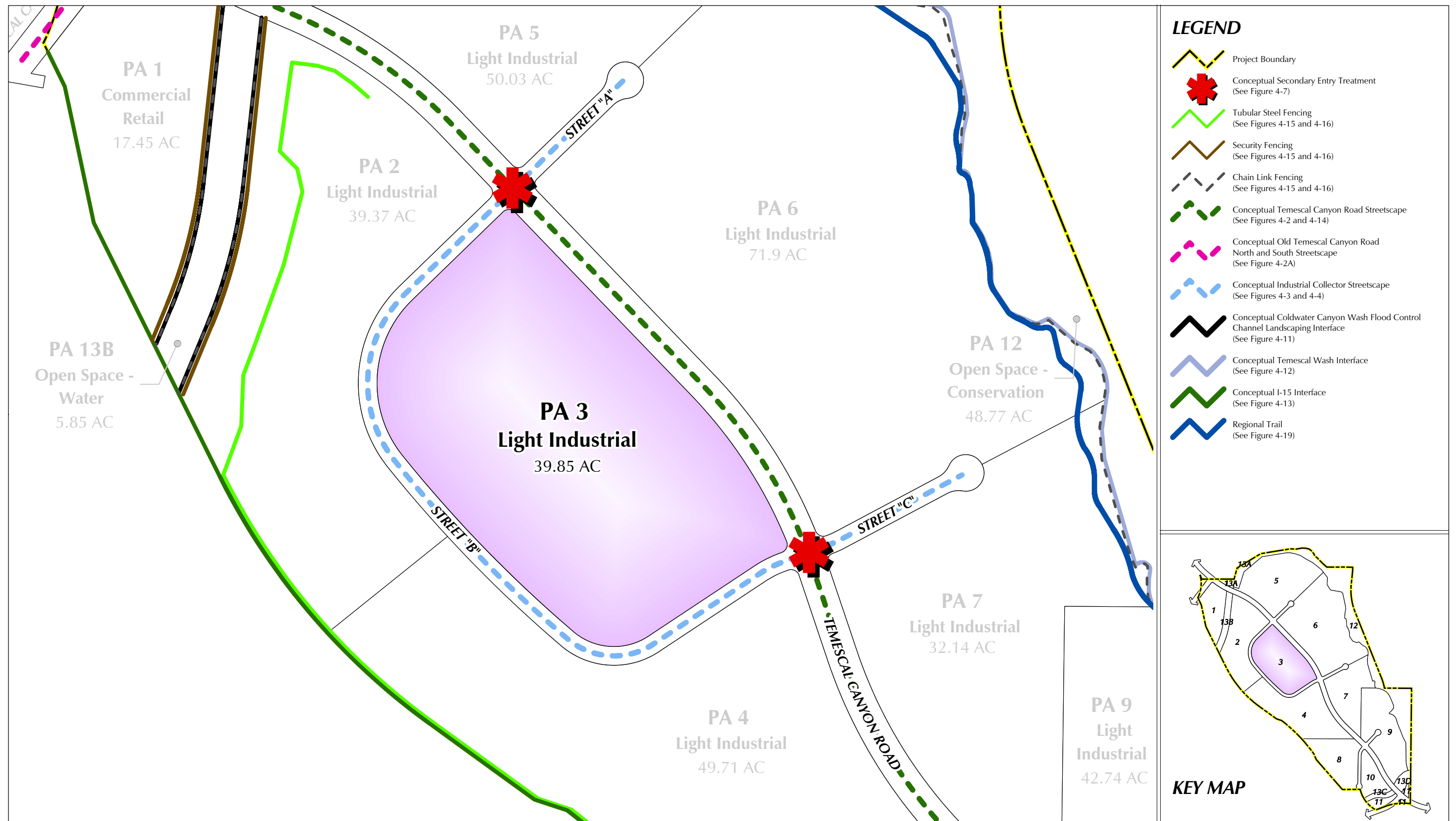


FIGURE 3-3

## D. PLANNING AREA 4: LIGHT INDUSTRIAL

### D.1 DESCRIPTIVE SUMMARY

Planning Area 4, as shown on Figure 3-4, sets a target for 808,694 square feet of Light Industrial building space to be developed on 49.71 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

### D.2 LAND USE AND DEVELOPMENT STANDARDS

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 4.

### D.3 PLANNING STANDARDS

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “B.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “B” and “C”, as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “B.”
- An interface condition, as illustrated in Figure 4-13, *Conceptual I-15 Interface*, is provided along the western boundary of Planning Area 4.
- Walls and fencing are provided as illustrated in Figure 4-16, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- Refer to *Section IV* for specific Design Guidelines and related design criteria.
- Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and*



*Sewer Plans; II.F: Grading Plan; II.G: Open Space and Recreation Plan; and II.H: Maintenance Plan.*

- Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

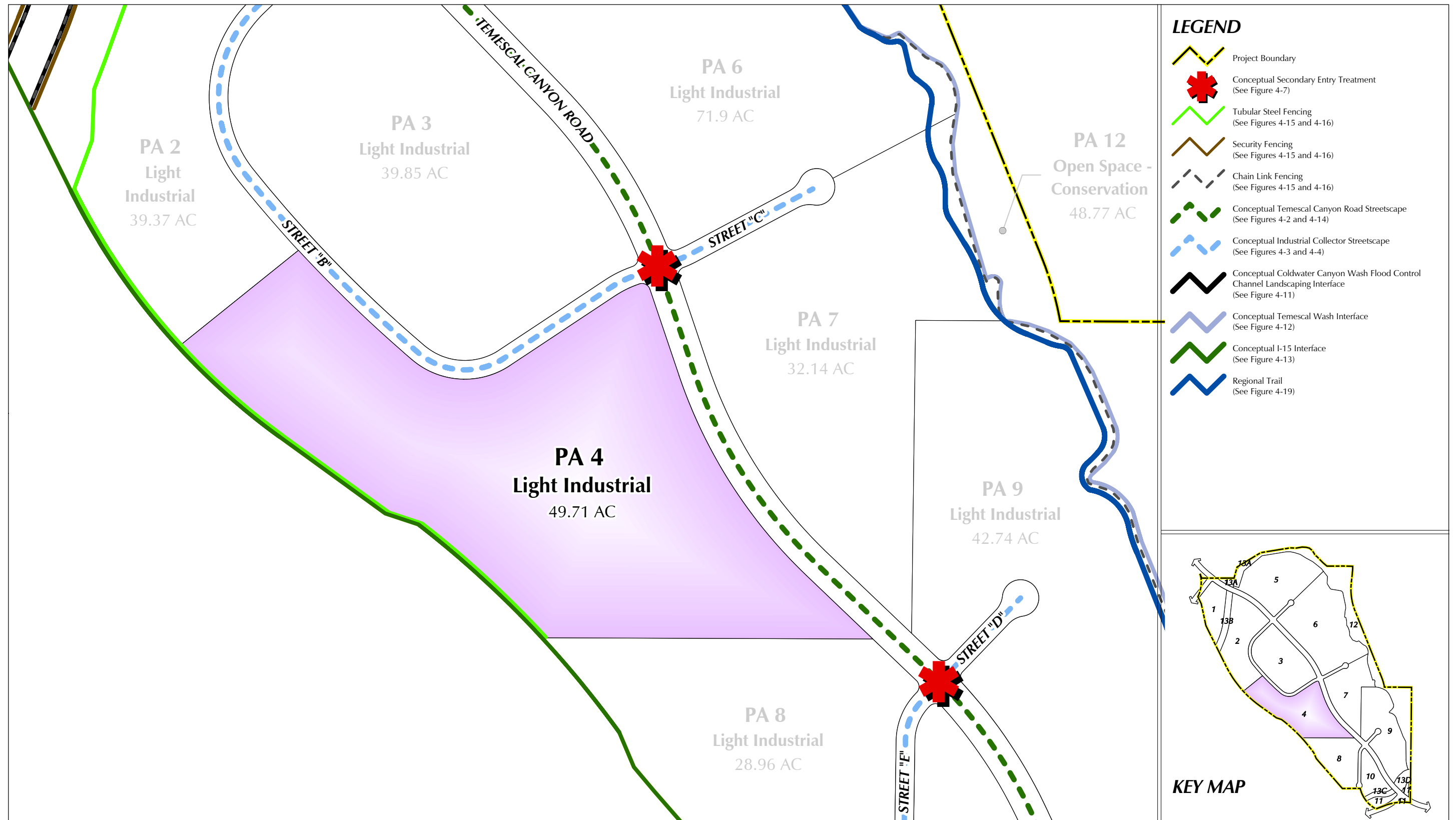


FIGURE 3-4

## E. PLANNING AREA 5: LIGHT INDUSTRIAL

### E.1 DESCRIPTIVE SUMMARY

Planning Area 5, as shown on Figure 3-5, sets a target for 878,284 square feet of Light Industrial building space to be developed on 50.03 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

### E.2 LAND USE AND DEVELOPMENT STANDARDS

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 5.

### E.3 PLANNING STANDARDS

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “A.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “A” and “B”, as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, a sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “A.”
- An interface condition, as illustrated in Figure 4-11, *Conceptual Coldwater Canyon Wash Flood Control Channel Landscape Interface*, is provided along a very small portion of the western boundary of Planning Area 5.
- An interface condition, as illustrated in Figure 4-12, *Conceptual Temescal Wash Interface*, is provided along the northern, northwestern, and eastern boundaries of Planning Area 5.
- A segment of the County’s regional trail system, as illustrated in Figure 4-18, *Conceptual Trails Plan*, and Figure 4-19, *Conceptual Trail Cross-Section*, is provided along the northern, northwestern, and eastern boundaries of Planning Area 5.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.

- ❑ Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.



FIGURE 3-5

## F. PLANNING AREA 6: LIGHT INDUSTRIAL

### F.1 DESCRIPTIVE SUMMARY

Planning Area 6, as shown on Figure 3-6, sets a target for 1,250,890 square feet of Light Industrial building space to be developed on 71.90 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

### F.2 LAND USE AND DEVELOPMENT STANDARDS

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 6.

### F.3 PLANNING STANDARDS

- Vehicular access to this planning area is provided via Temescal Canyon Road, Street “A,” and Street “C.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “A” and “C”, as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “A” and “C.”
- An interface condition, as illustrated in Figure 4-12, *Conceptual Temescal Wash Interface*, is provided along the eastern boundary of Planning Area 6.
- A segment of the County’s regional trail system, as illustrated in Figure 4-18, *Conceptual Trails Plan*, and Figure 4-19, *Conceptual Trail Cross-Section*, is provided along the eastern boundary of Planning Area 6.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.

- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.



- LEGEND**
- Project Boundary
  - Conceptual Primary Entry Monumentation - Northwest (See Figure 4-6)
  - Conceptual Secondary Entry Treatment (See Figure 4-7)
  - Conceptual Bridge Abutment Detail (See Figure 4-17)
  - Tubular Steel Fencing (See Figures 4-15 and 4-16)
  - Security Fencing (See Figures 4-15 and 4-16)
  - Chain Link Fencing (See Figures 4-15 and 4-16)
  - Conceptual Temescal Canyon Road Streetscape (See Figures 4-2 and 4-14)
  - Conceptual Industrial Collector Streetscape (See Figures 4-3 and 4-4)
  - Conceptual Coldwater Canyon Wash Flood Control Channel Landscaping Interface (See Figure 4-11)
  - Conceptual Temescal Wash Interface (See Figure 4-12)
  - Conceptual I-15 Interface (See Figure 4-13)
  - Regional Trail (See Figure 4-19)
  - Regional/Sidewalk Trail (Bridge Condition)

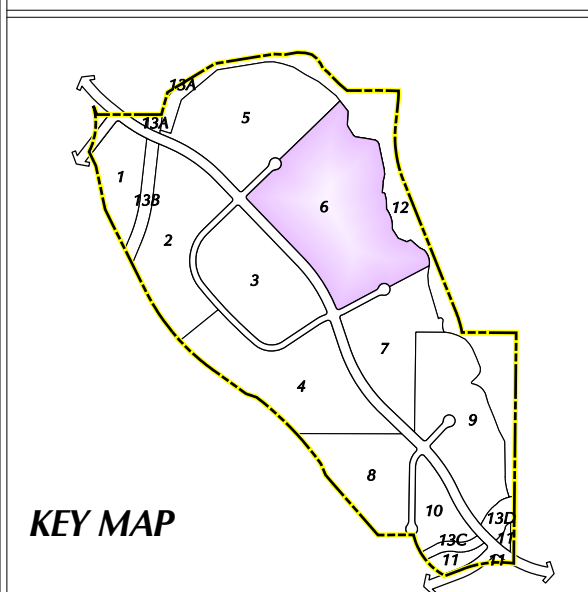


FIGURE 3-6



## G. PLANNING AREA 7: LIGHT INDUSTRIAL

### G.1 DESCRIPTIVE SUMMARY

Planning Area 7, as shown on Figure 3-7, sets a target for 570,148 square feet of Light Industrial building space to be developed on 32.14 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, and walls and fencing is provided below.

### G.2 LAND USE AND DEVELOPMENT STANDARDS

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 7.

### G.3 PLANNING STANDARDS

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “C.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “B” and “C,” as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “C.”
- An interface condition, as illustrated in Figure 4-12, *Conceptual Temescal Wash Interface*, is provided along the northeastern boundary of Planning Area 7.
- An interface condition, as illustrated in Figure 4-14, *Conceptual Temescal Canyon Road Interface*, is provided along a portion of the western boundary of Planning Area 7.
- A segment of the County’s regional trail system, as illustrated in Figure 4-18, *Conceptual Trails Plan*, and Figure 4-19, *Conceptual Trail Cross-Section*, is provided along the eastern boundary of Planning Area 7.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.

- ❑ Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

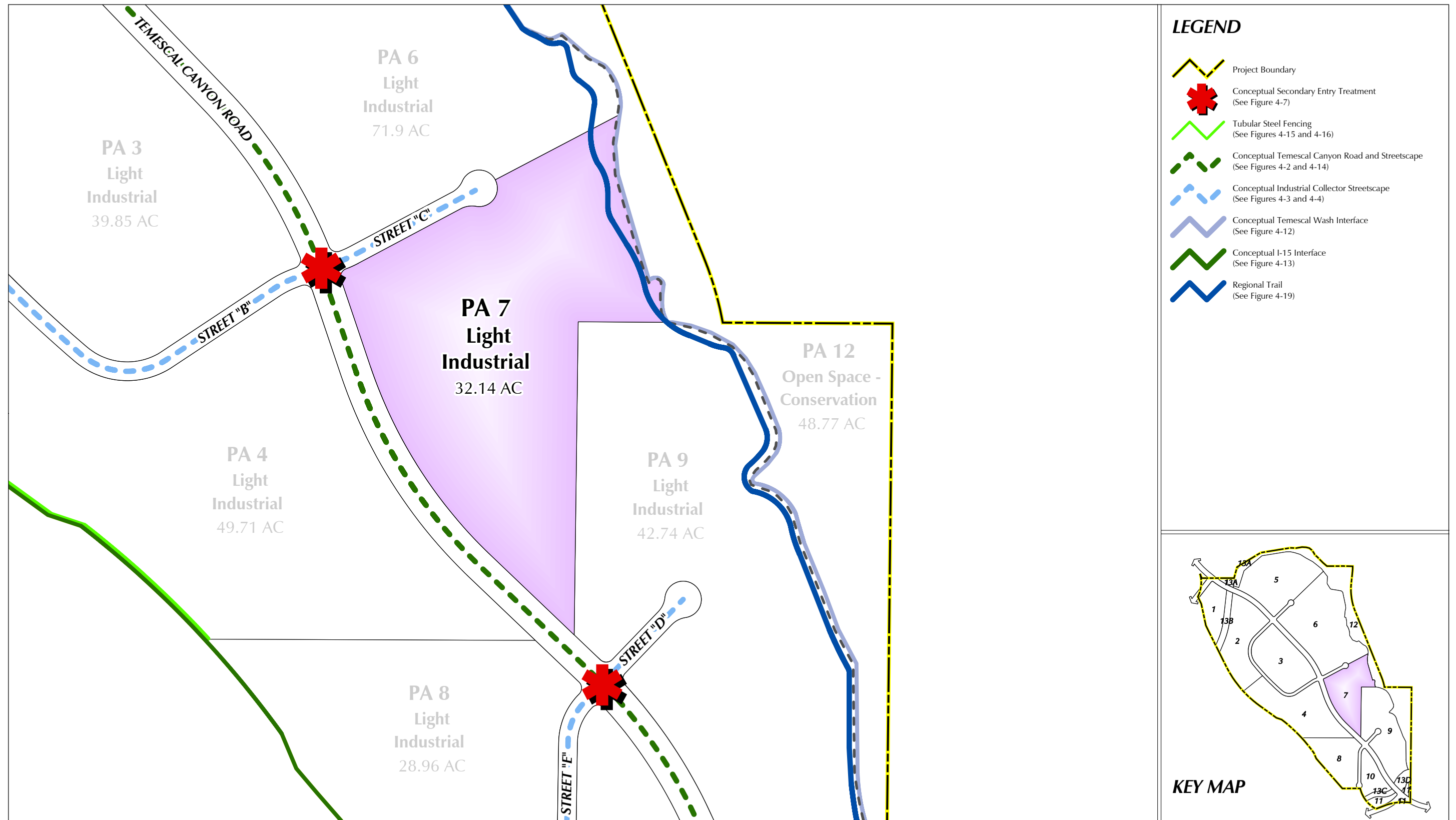


FIGURE 3-7

## H. PLANNING AREA 8: LIGHT INDUSTRIAL

### H.1 DESCRIPTIVE SUMMARY

Planning Area 8, as shown on Figure 3-8, sets a target for 519,596 square feet of Light Industrial land building space to be developed on 28.96 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

### H.2 LAND USE AND DEVELOPMENT STANDARDS

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 8.

### H.3 PLANNING STANDARDS

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “E.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “D” and “E,” as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “E.”
- An interface condition, as illustrated in Figure 4-13, *Conceptual I-15 Interface*, is provided along the western boundary of Planning Area 8.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- Refer to *Section IV* for specific Design Guidelines and related design criteria.
- Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and*

*Sewer Plans; II.F: Grading Plan; II.G: Open Space and Recreation Plan; and II.H: Maintenance Plan.*

- Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

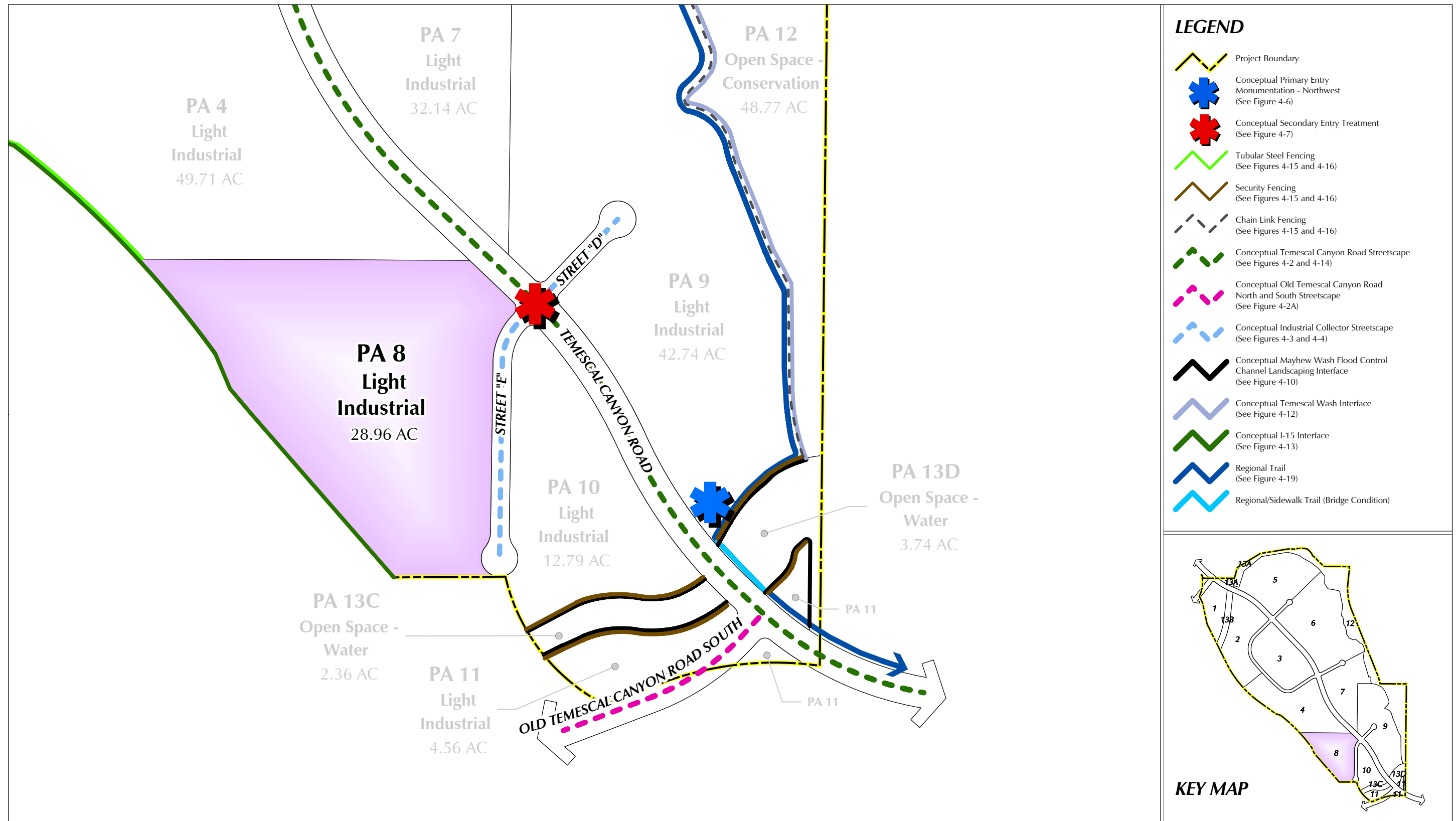


FIGURE 3-8

## I. PLANNING AREA 9: LIGHT INDUSTRIAL

### I.1 DESCRIPTIVE SUMMARY

Planning Area 9, as shown on Figure 3-9, sets a target for 815,755 square feet of Light Industrial building space to be developed on 42.74 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

### I.2 LAND USE AND DEVELOPMENT STANDARDS

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 9.

### I.3 PLANNING STANDARDS

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “D.”
- A primary entrance monument treatment is provided in Planning Area 9 adjacent to Temescal Canyon Road and visible to northbound traveling vehicles, as shown in Figure 4-5, *Conceptual Primary Entry Monumentation - Southeast*.
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “D” and “E,” as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “D.”
- An interface condition, as illustrated in Figure 4-10, *Conceptual Mayhew Wash Flood Control Channel Landscape Interface*, is provided along the southern boundary of Planning Area 9.
- An interface condition, as illustrated in Figure 4-12, *Conceptual Temescal Wash Interface*, is provided along the eastern boundary of Planning Area 9.
- An interface condition, as illustrated in Figure 4-14, *Conceptual Temescal Canyon Road Interface*, is provided along the western boundary of Planning Area 9.

- ❑ A segment of the County’s regional trail system, as illustrated in Figure 4-18, *Conceptual Trails Plan*, and Figure 4-19, *Conceptual Trail Cross-Section*, is provided along the southern and eastern boundaries of Planning Area 9.
- ❑ Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- ❑ Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- ❑ Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.



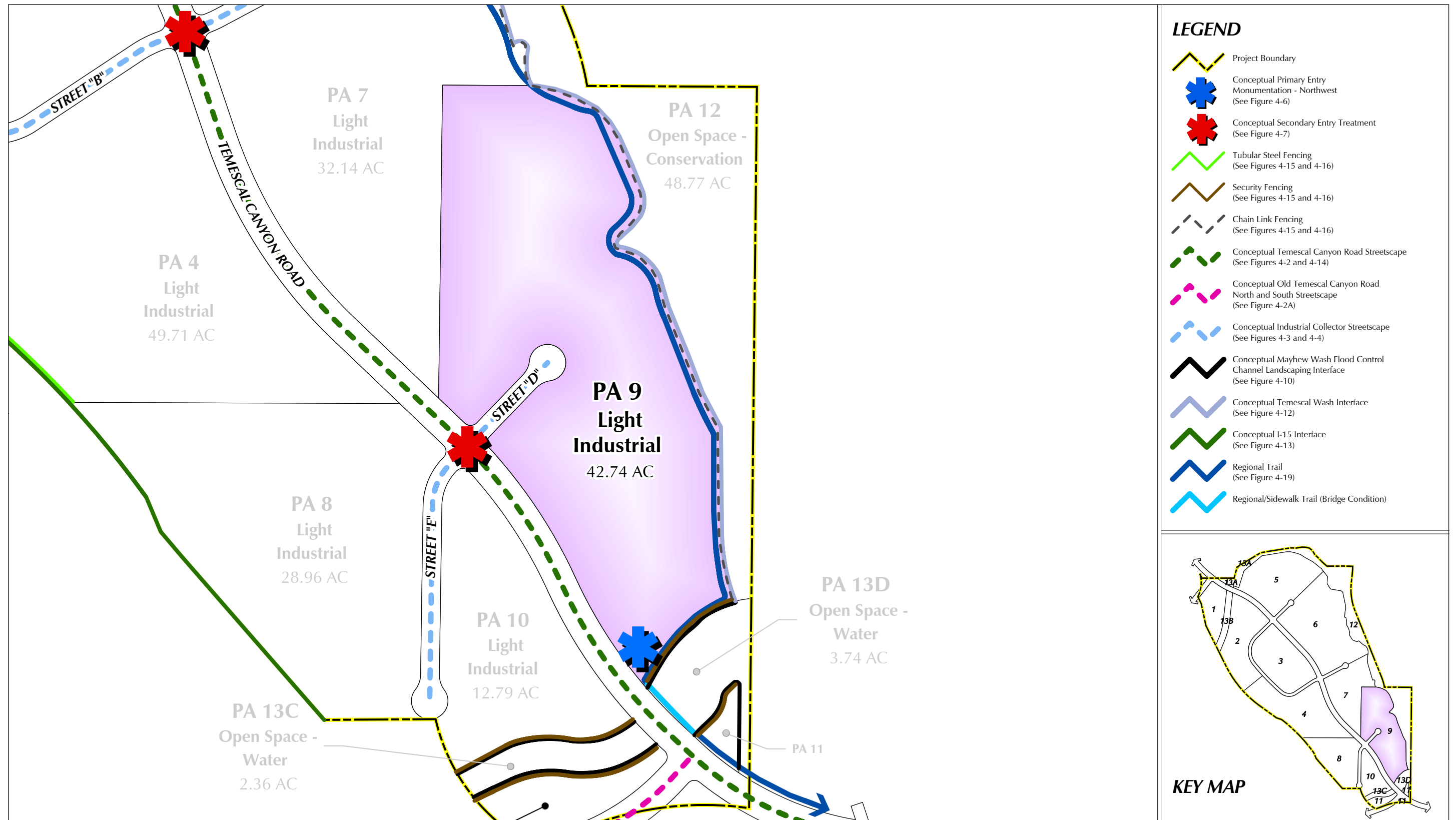


FIGURE 3-9

**J. PLANNING AREA 10: LIGHT INDUSTRIAL****J.1 DESCRIPTIVE SUMMARY**

Planning Area 10, as shown on Figure 3-10, sets a target for 221,162 square feet of Light Industrial building space to be developed on 12.79 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

**J.2 LAND USE AND DEVELOPMENT STANDARDS**

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 10.

**J.3 PLANNING STANDARDS**

- Vehicular access to this planning area is provided via Temescal Canyon Road and Street “E.”
- A secondary entrance monument treatment is provided at the intersection of Temescal Canyon Road and Streets “D” and “E”, as shown in Figure 4-7, *Conceptual Secondary Entry Treatments*.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, sidewalk and roadway landscape treatments are provided along Street “E.”
- An interface condition, as illustrated in Figure 4-10, *Conceptual Mayhew Wash Flood Control Channel Landscape Interface*, is provided along the southern boundary of Planning Area 10.
- An interface condition, as illustrated in Figure 4-14, *Conceptual Temescal Canyon Road Interface*, is provided along a portion of the eastern boundary of Planning Area 10.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.

- ❑ Refer to *Section IV* for specific Design Guidelines and related design criteria.
- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

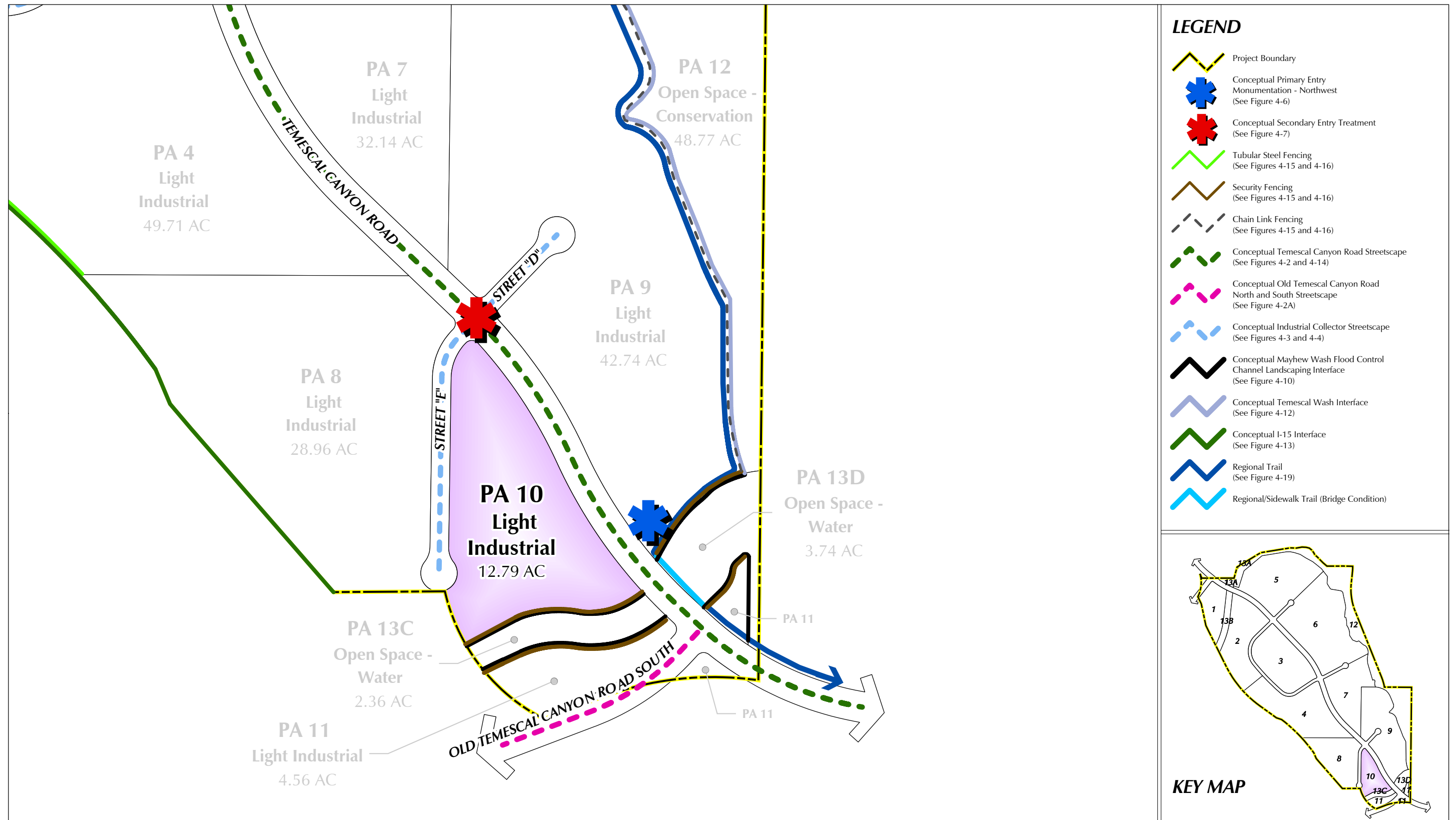


FIGURE 3-10

**K. PLANNING AREA 11: LIGHT INDUSTRIAL****K.1 DESCRIPTIVE SUMMARY**

Planning Area 11, as shown on Figure 3-11, sets a target for 211,443 square feet of Light Industrial building space to be developed on 4.56 acres. More detailed information regarding vehicular and pedestrian access points, edge conditions, landscaping, monumentation, walls and fencing is provided below.

**K.2 LAND USE AND DEVELOPMENT STANDARDS**

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.
- Table 3-1, *Development Standards*, sets forth minimum site development standards for Light Industrial land uses in Planning Area 11.

**K.3 PLANNING STANDARDS**

- Vehicular access to this planning area is provided via Temescal Canyon Road and Old Temescal Canyon Road South.
- As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, sidewalk, trail, and roadway landscape treatments are provided along Temescal Canyon Road.
- As shown in Figure 4-2, *Conceptual Old Temescal Canyon Road North/South Streetscape*, sidewalk and roadway landscape treatments are provided along Old Temescal Canyon Road South.
- An interface condition, as illustrated in Figure 4-10, *Conceptual Mayhew Wash Flood Control Channel Landscape Interface*, is provided along the northern boundary of Planning Area 11.
- An interface condition, as illustrated in Figure 4-14, *Conceptual Temescal Canyon Road Interface*, is provided within Planning Area 11.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Outdoor employee gathering areas shall be provided per the requirements set forth in Section IV.C.6.2, *Outdoor Employee Break Areas*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Refer to *Section IV* for specific Design Guidelines and related design criteria.

- ❑ Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
  
- ❑ Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

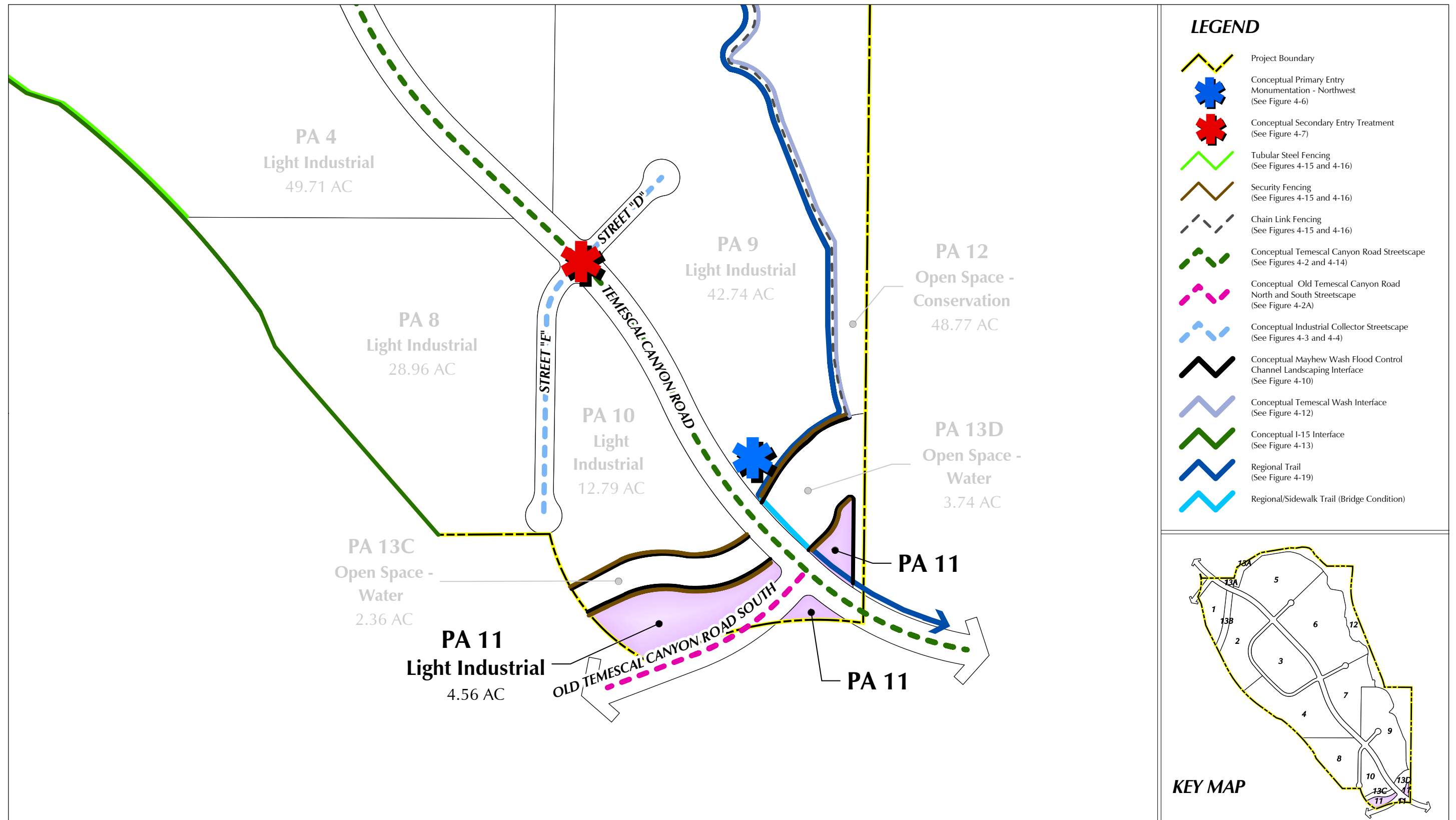


FIGURE 3-11

**L. PLANNING AREA 12: OPEN SPACE—CONSERVATION****L.1 DESCRIPTIVE SUMMARY**

Planning Area 12, as shown on Figure 3-12, provides for the conservation of 48.77 acres of Open Space adjacent to the Temescal Wash and its associated banks. It is intended that Planning Area 12 be conveyed to the RCA for inclusion in the MSHCP Reserve. More detailed information regarding edge conditions, landscaping, walls and fencing is provided below.

**L.2 LAND USE AND DEVELOPMENT STANDARDS**

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.

**L.3 PLANNING STANDARDS**

- An interface condition, as illustrated in Figure 4-12, *Conceptual Temescal Wash Interface*, is provided along portions of the western and southeastern boundaries, where planning area interfaces with Planning Areas 5, 6, 7, and 9.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Refer to *Section IV* for specific Design Guidelines and related design criteria.
- Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.



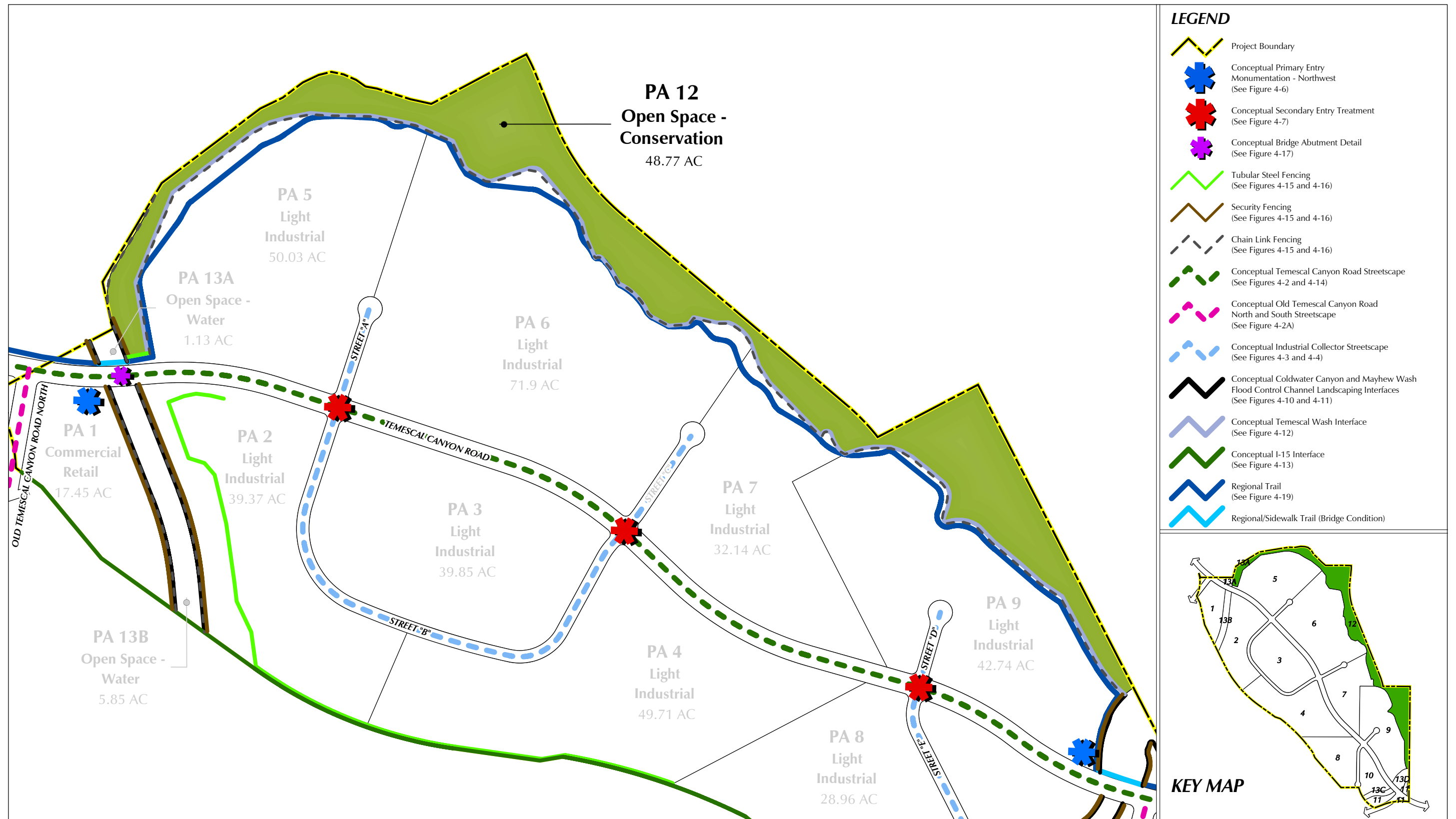


FIGURE 3-12

**M. PLANNING AREA 13A THROUGH 13D: OPEN SPACE – WATER****M.1 DESCRIPTIVE SUMMARY**

Planning Areas 13A and 13B, as shown on Figure 3-13, consist of 1.13 and 5.85 acres respectively and are known as the Coldwater Canyon Wash flood control channel. Planning Areas 13C and 13D, as shown on Figure 3-14, consist of 2.36 and 3.74 acres respectively and are known as the Mayhew Wash flood control channel. The Coldwater Canyon Wash and Mayhew Wash channels will serve as flood control channels to convey drainage to the Temescal Wash. These flood control channels will be improved with channel bank revetment and grade control structures constructed entirely of soil cement/grouted rock with some ungrouted rock scour protection at select locations.

More detailed information regarding edge conditions, landscaping, and walls and fencing is provided below.

**M.2 LAND USE AND DEVELOPMENT STANDARDS**

- Refer to Ordinance No. 348.4709 or refer to the Zoning Ordinance in *Section V* of this Specific Plan for a summary of permitted and prohibited uses.

**M.3 PLANNING STANDARDS**

- An interface condition, as illustrated in Figure 4-10, *Conceptual Mayhew Wash Flood Control Channel Landscape Interface*, is provided surrounding the perimeters of Planning Areas 13 C and 13D.
- An interface condition, as illustrated in Figure 4-11, *Conceptual Coldwater Canyon Wash Flood Control Channel Landscape Interface*, is provided surrounding the perimeters of Planning Areas 13A and 13B.
- Walls and fencing are provided as illustrated in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*.
- A special condition, as illustrated in Figure 4-17, *Bridge Abutment Detail*, will be provided for the Planning Area 13A and 13B segments.
- Landscaping, based on relative levels of fire resistant planting, generally occurs as depicted in Figure 4-21, *Conceptual Landscape Zones*.
- Refer to *Section IV* for specific Design Guidelines and related design criteria.
- Refer to *Section II* for the following standards that apply site-wide: II.A: *Land Use Plan*; II.B: *Project Phasing Plan*; II.C: *Circulation Plan*; II.D: *Drainage Plan*; II.E: *Water and Sewer Plans*; II.F: *Grading Plan*; II.G: *Open Space and Recreation Plan*; and II.H: *Maintenance Plan*.
- Refer to Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, for information regarding the construction, maintenance, and financing of infrastructure improvements related to this planning area.

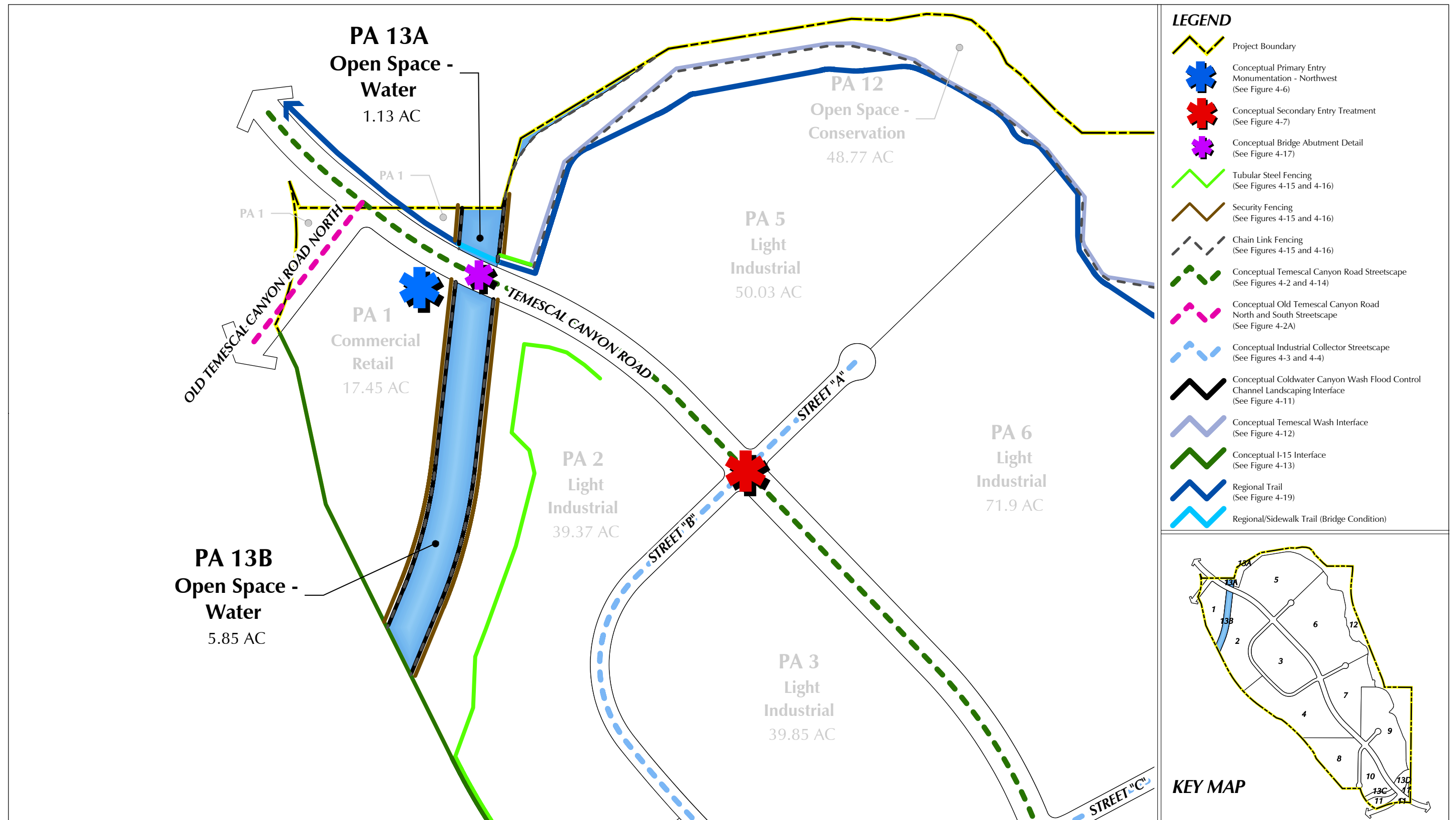


FIGURE 3-13

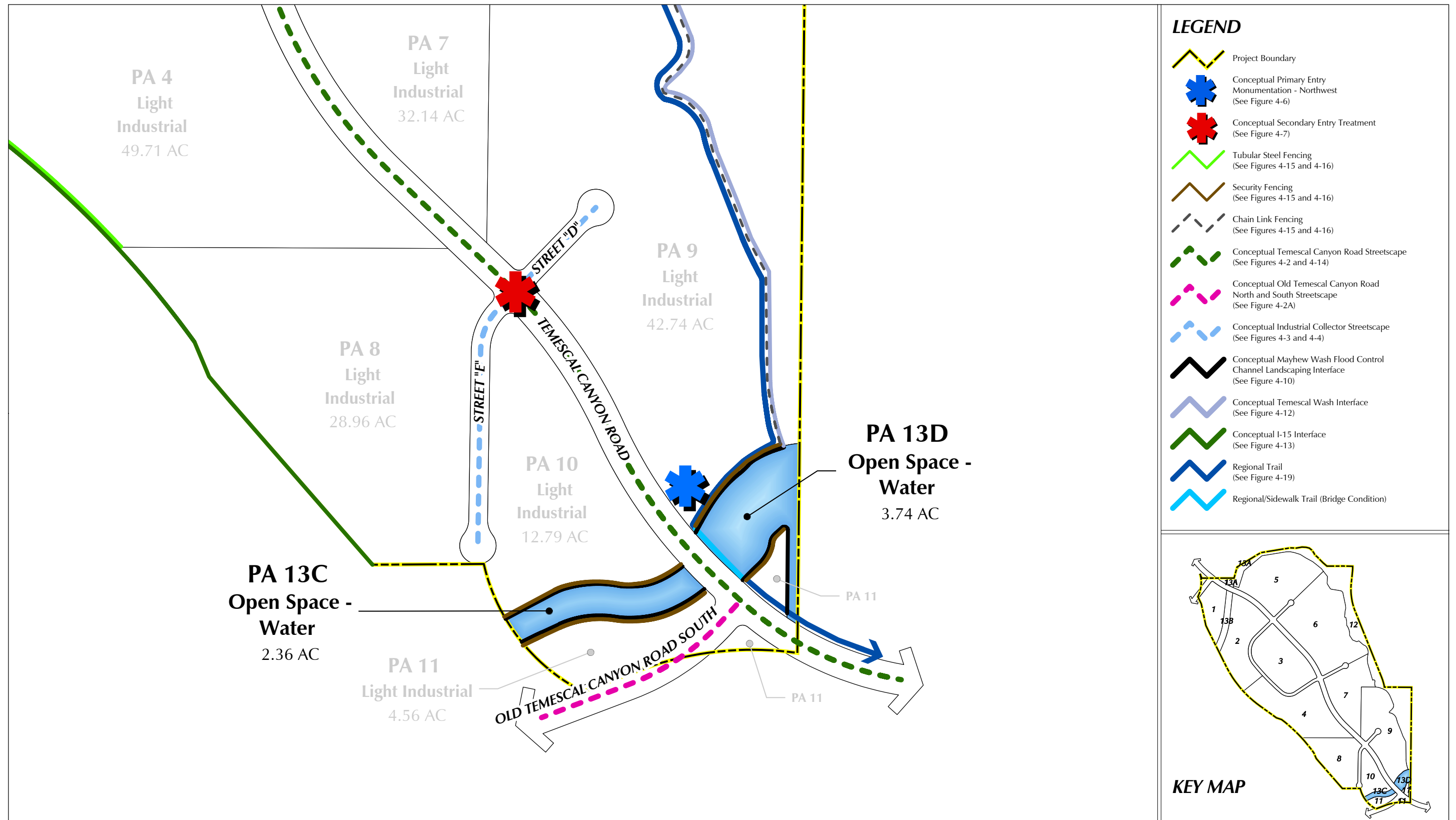


FIGURE 3-14

## **IV. DESIGN GUIDELINES**

**IV. DESIGN GUIDELINES****A. PURPOSE AND INTENT**

The Design Guidelines presented in this Section establish standards for the quality and character of the built environment and intend to provide an aesthetically cohesive environment for the SERRANO COMMERCE CENTER. More specifically, the objectives of the Design Guidelines are:

- To provide the County of Riverside with assurance that the SERRANO COMMERCE CENTER will develop in accordance with the quality and character described within this Specific Plan.
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to achieve and maintain the desired design quality.
- To provide guidance to County staff, the Planning Commission, and the Board of Supervisors in the review of future development projects in the Specific Plan area.
- To provide a framework for the formulation of Covenants, Conditions, and Restrictions (CC&Rs) in the Specific Plan area.
- To provide concise design guidelines for the various land uses and planning areas within the Specific Plan boundaries.
- To provide development guidelines that permit the SERRANO COMMERCE CENTER to develop its own theme and character while allowing it to respond to the nature of adjacent areas and the economic profile of Western Riverside County at the time of construction.
- To provide guidelines for energy efficiency that can be implemented in the site planning, design, and construction phases of the Specific Plan to minimize waste deposited at landfills, decrease energy use and fossil fuel consumption, and reduce domestic water consumption.
- To ensure that the Specific Plan is complementary to the overall intent of the *Temescal Valley Design Guidelines* (TVDG) (adopted by the Riverside County Board of Supervisors on March 20, 2007).

The Design Guidelines describe the thematic elements and the construction quality expected for the SERRANO COMMERCE CENTER. These guidelines may be subject to modification over time to allow for response to unanticipated conditions, such as changes in the marketplace, community needs technology advancements, and fluctuations in the economic environment.

**B. INTRODUCTION**

These Design Guidelines consist of two principle components: Landscape Design Guidelines and Architectural Design Guidelines. These components define the design concept, physical character, and overall theme of the SERRANO COMMERCE CENTER. Textual descriptions and graphic exhibits are used to convey the overall theme and atmosphere of the SERRANO COMMERCE CENTER.

The Landscape Design Guidelines present general landscaping requirements, including streetscape design, entry treatments, signage, edge conditions, walls and fencing, and lighting. Plant material guidelines provide direction regarding the use of plant materials that complement the overall theme and that generally have low water use requirements. The Landscape Design Guidelines also provide general requirements relating to irrigation and water conservation.

The Architectural Design Guidelines address commercial retail and light industrial building architecture and are intended to provide a basis for decisions regarding the structural environment. A high-quality commerce center is defined by the guidelines provided for site planning, architectural styles and details, building mass and scale, materials and exterior colors, and articulations.

Although the guidelines contained in this document are intended to allow flexibility, they have been crafted as standards that must be satisfied in order for the SERRANO COMMERCE CENTER to meet its intended goals. Future site plans and plot plans that will implement this Specific Plan will depict specified building footprints, parking lot layouts, internal circulation flow patterns, and landscaping, in substantial conformance to these Design Guidelines; however, the guidelines in this Section shall not be interpreted too strictly as to burden the Developers and their design professionals with the need to exactly replicate the exhibits or photographic examples included in these guidelines.

The Property Owners Association (POA) may form a Master Association Design Review Committee to review and approve landscaping and architecture plans to further ensure consistency with the intent of the SERRANO COMMERCE CENTER Design Guidelines and the high-quality aesthetic expectation for the commerce center. The Master Association Design Review process would function separately and independently from Riverside County's plan review and permitting processes.

## **B.1 COMMERCE CENTER THEME**

The Project's "Commerce Center Theme," implemented through these compatible Architectural and Landscape Design Guidelines, was derived from a careful analysis of the site's environmental context, historical uses, and future status as a state-of-the-art commerce center in the Temescal Valley area of Riverside County.

The SERRANO COMMERCE CENTER is located in the Temescal Canyon Area Plan, which is known as the western gateway to Riverside County. This area encompasses many communities with vastly different qualities and land uses. The Temescal Canyon Area Plan is a mixture of agricultural, rural residential, residential, commercial retail, commercial tourist, light industrial, business park, open space, and public facility land uses, among others. Additionally, several regionally significant landforms are located within the Temescal Canyon Area Plan, including the Santa Ana Mountains, Cleveland National Forest, the Santa Ana River, the Gavilan Hills, and the Temescal Wash, which is located adjacent to the SERRANO COMMERCE CENTER.

In short, the area surrounding the SERRANO COMMERCE CENTER contains a remarkable environmental setting with a rich variety of land uses. In consideration of these influences, the project's "Commerce Center Theme" has been based on an urban California desert palette that reflects an appreciation for the surrounding natural landscape and acknowledges the region's role as a gateway to rapidly urbanizing western Riverside County. Because the Commerce Center Theme integrates elements such as warm and natural earth-tone building colors, the color palette and patterns used in the Temescal Valley Design Guidelines community logo, and architectural styles that are consistent with

character of the surrounding area, the Commerce Center Theme is consistent with the *Temescal Valley Design Guidelines*. For more information, refer to Table 4-9, *Project Consistency with Temescal Valley Design Guidelines*.

### **C. LANDSCAPE GUIDELINES**

In accordance with Riverside County Ordinance No. 859, the Landscape Design Guidelines establish general landscaping criteria for the SERRANO COMMERCE CENTER. These guidelines set landscape standards that will create a thematic identity for the SERRANO COMMERCE CENTER, while complementing the overall character of Temescal Canyon, as described in the *Temescal Valley Design Guidelines*. These Landscape Guidelines, when taken together with the companion Architectural Guidelines provided herein, establish a project identity that is contemporary and visually appealing, while evoking an overall sense of high-quality.

Although a great deal of specific design information is provided in these Landscape Design Guidelines, there will at times be a need for interpretation of the intent of the guidelines in keeping with the spirit of the “Commerce Center Theme.” When interpreting these guidelines to meet certain parcel-specific or user-identity requirements, opportunities for diversity and visual interest are encouraged. However, it is critical that such opportunities be implemented in manners consistent with the core elements of the overall theme described in this Specific Plan in order to ensure a cohesive and unified project-wide landscape concept.

#### **C.1 LANDSCAPE DESIGN CONCEPT**

In accordance with Riverside County Ordinance No. 859, the “Commerce Center Theme” is implemented through an urban California desert palette, which is focused on the use of earth-tone materials and colors, meandering drifts of shrubs, native grasses, and groves of trees. Solitary trees at uniform spacing along streetscapes will be avoided.

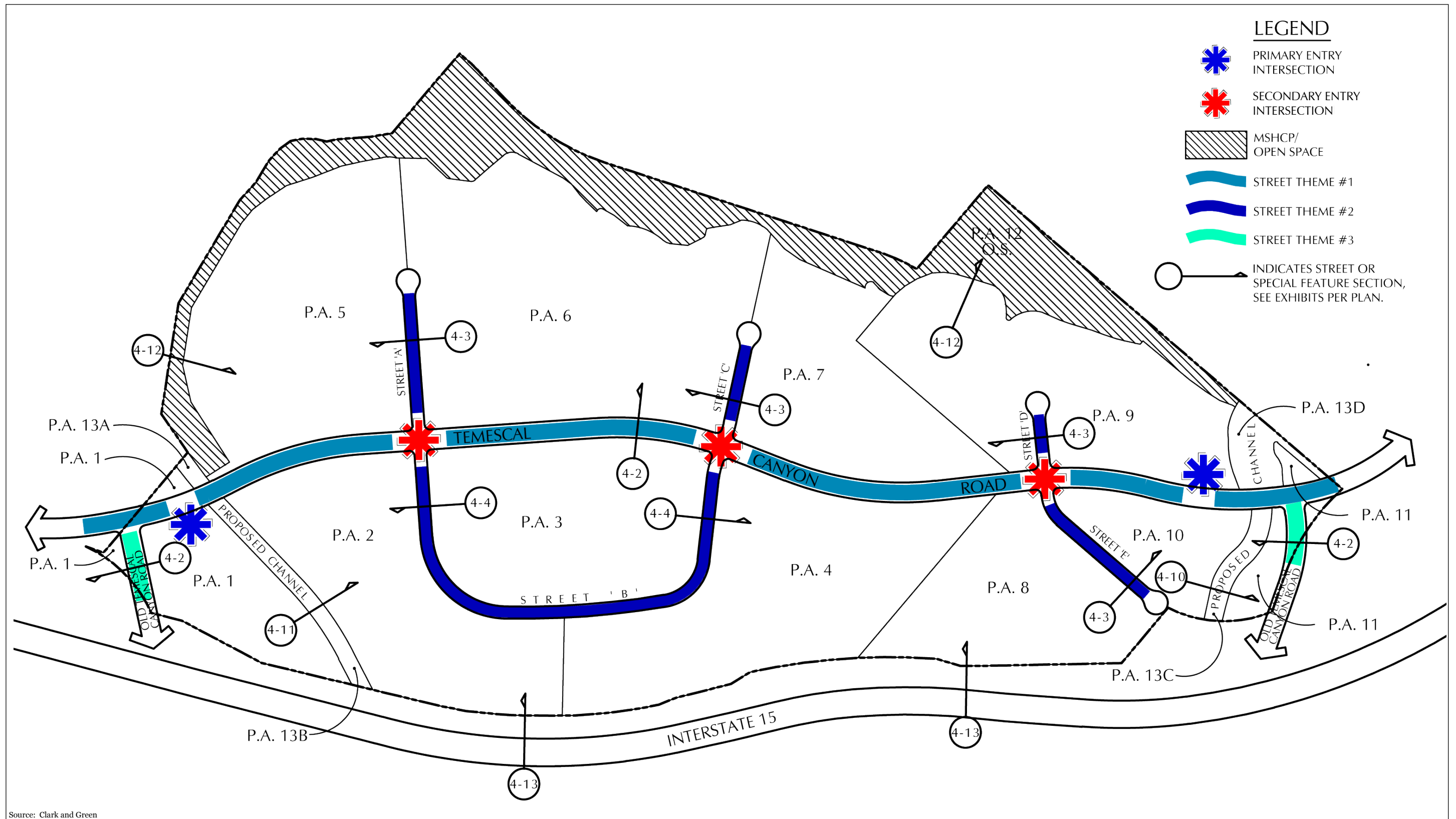
In order to ensure the conservation of water resources and to alleviate long-term maintenance concerns, plant materials shall be comprised of species native to or naturalized with the Southern California Inland communities. Water-efficient and drought-tolerant plant materials shall be placed throughout the commerce center, and ‘smart’ computer-controlled irrigation systems shall be used to reduce water use to the minimum level necessary. Turf shall be used in an appropriate, but limited, manner.

This overall concept will be implemented through major thematic elements listed here and discussed in more detail below:

- Streetscapes
- Community Entries
- Walls and Fencing
- Plant Palette
- Irrigation & Maintenance
- Resource Conservation
- Lighting

An overall landscaping plan for the SERRANO COMMERCE CENTER SPECIFIC PLAN is shown in Figure 4-1, *Entry Intersection, Streetscape, and Landscape Interface Key Map*. This exhibit will be referred to throughout these Landscape Design Guidelines.





Source: Clark and Green

FIGURE 4-1

## **C.2 STREETSAPES**

Roadway streetscapes within the SERRANO COMMERCE CENTER are critical in enforcing a circulation hierarchy, creating a sense of place, and maintaining a high-quality community theme, as demonstrated on Figure 4-1, *Entry Intersection, Streetscape, and Landscape Interface Key Map*. This Specific Plan calls for the realignment of Temescal Canyon Road as a modified arterial highway through the SERRANO COMMERCE CENTER. Temescal Canyon Road will serve as a primary component of the area's local circulation system and, as such, landscaping along this roadway should reflect a formal, regular pattern with tall theme trees. In addition, short segments of Old Temescal Canyon Road North and Old Temescal Canyon Road South lie within the Specific Plan boundary. The landscaping of these road segments is designed to match the landscape character of their existing off-site segments. Lastly, the five industrial collector roads (Streets "A," "B," "C," "D," and "E") that will serve the commerce center feature streetscape landscaping that is less formal than the pattern established along Temescal Canyon Road.

Landscape treatments include elements such as landscaped medians, sidewalks, trails, and parkway trees to enhance the roadways. Streetscape descriptions are provided as follows:

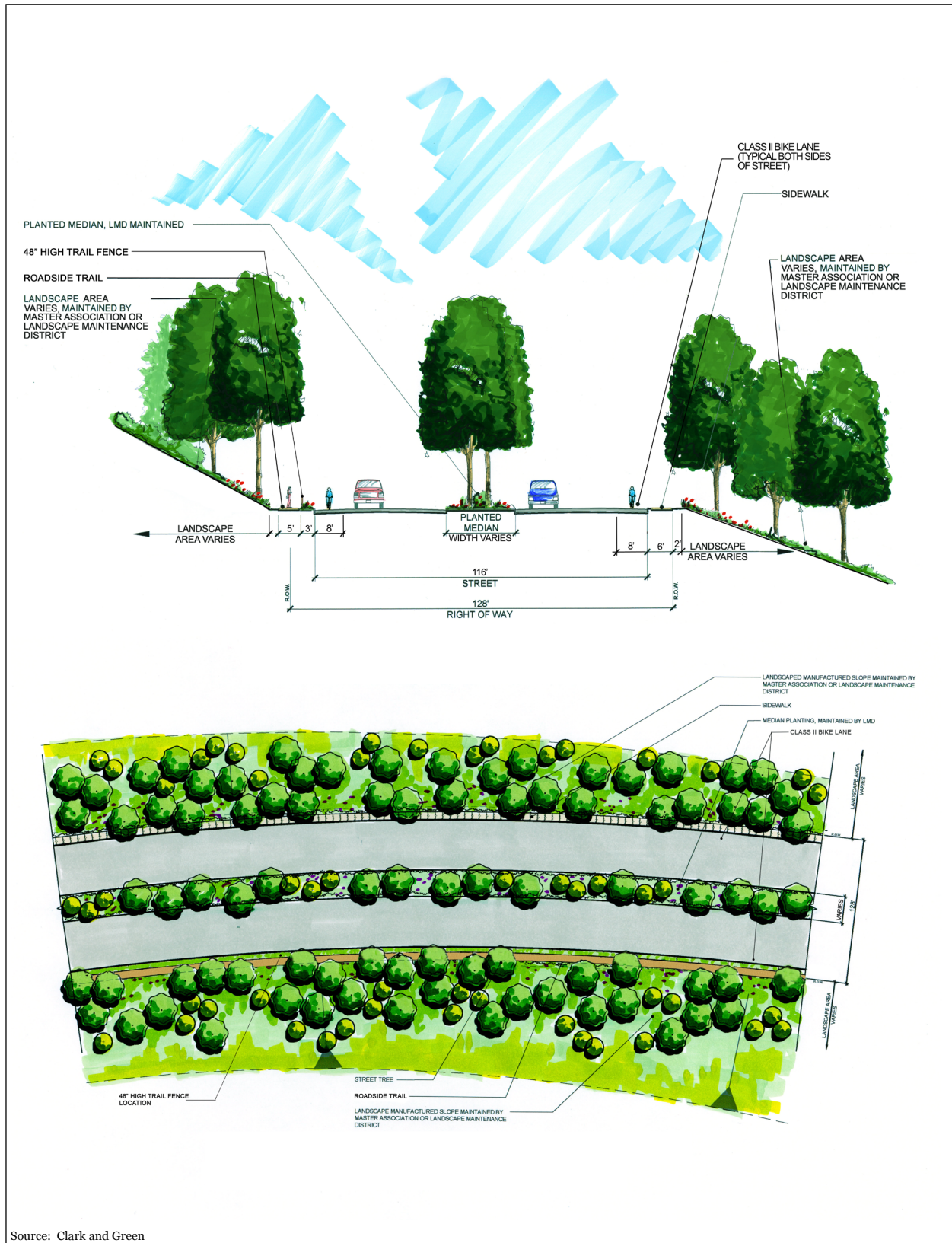
### **C.2.1 TEMESCAL CANYON ROAD STREETSAPES – 128-FOOT ROW**

Temescal Canyon Road contains a maximum 38-foot-wide planted center median, a curb-adjacent six-foot-wide sidewalk on the east side of the roadway, and a five-foot-wide trail on the west side of the roadway that is separated from the curb by a landscaped parkway. The trail on the roadway's west side shall be constructed of decomposed granite or polypaver, whichever is preferred by the County Service Agency at the time the first implementing project is approved that will result in construction of the Temescal Canyon Road trail. A portion of the trail width may extend outside of the public right-of-way. Both the sidewalk on the east side of the road and the trail on the west side of the road will abut landscaped areas separating the sidewalk and trail from adjacent development pads.

As shown in Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*, the planted median and landscaped areas shall contain street trees and shrubs. Also, the landscaped parkway on the west side of the road (between the curb and the trail) will have the option of being developed with groundcover and a 48-inch high split rail fence, or a combination of informal shrub groupings and formal shrub plantings with no fence. Some segments of Temescal Canyon Road contain double or triple left-turn lanes within the 128-foot ROW. Where double or triple left-turn lanes occur, the center median will not be landscaped.

### **C.2.2 OLD TEMESCAL CANYON ROAD NORTH/SOUTH STREETSAPES – 128-FOOT ROW**

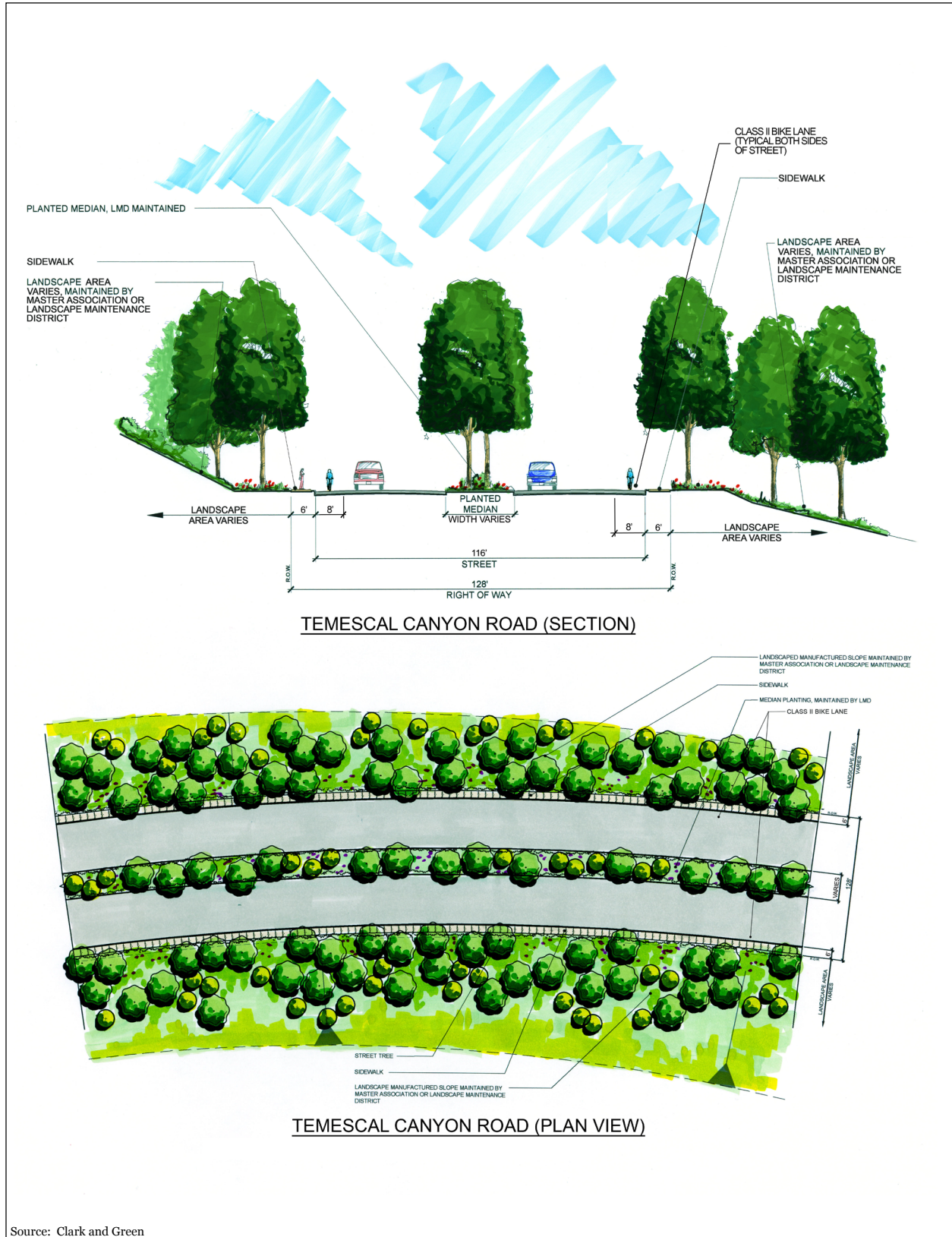
Old Temescal Canyon Road North and Old Temescal Canyon Road South shall contain a maximum 38-foot-wide planted center median. Curb-adjacent six-foot-wide sidewalks will occur along both sides of the roadway. The sidewalks will be separated from adjacent development pads by a landscaped area. As shown on Figure 4-2A, *Conceptual Old Temescal Canyon Road North/South Streetscapes*, the planted median and landscaped areas shall contain street trees and shrubs. Some segments of Old Temescal Canyon Road North and Old Temescal Canyon Road South contain double or triple left-turn lanes within the 128-foot ROW. Where double or triple left-turn lanes occur, the center median will not be landscaped.



Source: Clark and Green

FIGURE 4-2

Conceptual Temescal Canyon Road Streetscape



Source: Clark and Green

**FIGURE 4-2A**  
 Conceptual Old Temescal Canyon Road  
 North and South Streetscapes

**C.2.3 STREETS “A”, “B”, “C,” “D,” AND “E” – 78-FOOT ROW**

As shown in Figure 4-3, *Conceptual Industrial Collector Streetscape*, and Figure 4-4, *Conceptual Industrial Collector Streetscape with Manufactured Slope*, Industrial Collector roadways within the commerce center shall consist of a 78-foot right-of-way with a 12-foot-wide painted center median. The median will not be landscaped. Six-foot-wide, curb-adjacent sidewalks with five-foot-wide landscape areas are provided on each side and may include street trees and other plant materials.

**C.3 ENTRY TREATMENTS**

A three-tiered hierarchy of entry treatments has been created in order to identify arrival to the SERRANO COMMERCE CENTER, distinguish individual planning areas, and establish a sense of place consistent with the overall “Commerce Center Theme.” As demonstrated through the text and exhibits below, careful consideration has been given to the design of these entry treatments to ensure conformance to the *Temescal Valley Design Guidelines*. At the same time, the entry treatments have been designed to create a distinctive visual statement that emphasizes the SERRANO COMMERCE CENTER’s image as a high-quality, contemporary center.

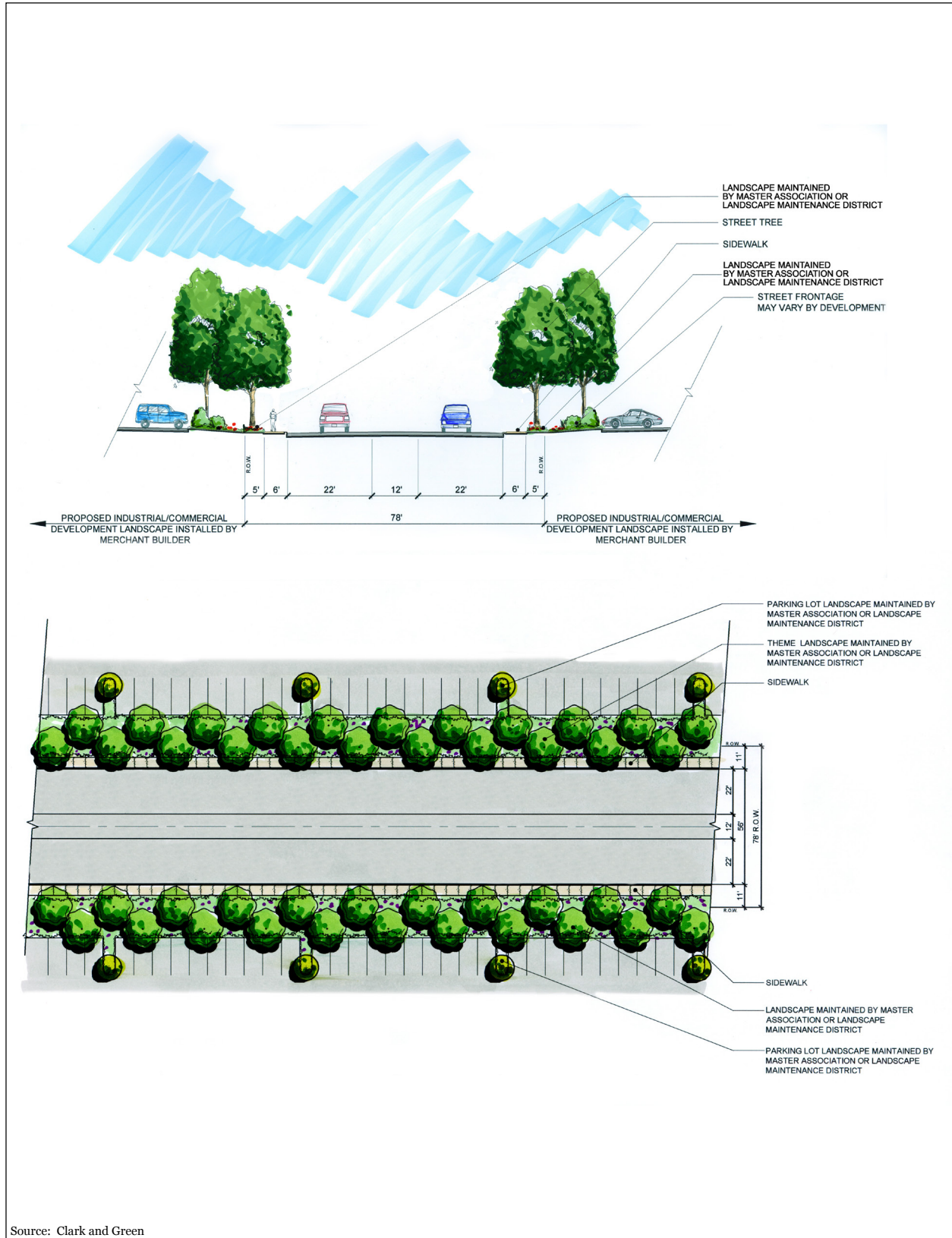
The Primary, Secondary, and Tenant Entries examples illustrated within these design guidelines conceptually represent consistent interpretations of the project’s character and theme. Implemented entry treatments may be designed with enough flexibility to respond to physical contexts and the needs and desires of specific tenants, but all entry monuments should be consistent in theme and character. Consistency will be established through use of matching or complementary logos, type styles, and color schemes throughout the area being identified. The commerce center’s Master Association Design Review Committee may prepare a Master Sign Program based on the guidelines below and will review all proposed signs to ensure consistency with the intent of this Specific Plan.

**C.3.1 PRIMARY ENTRY TREATMENT**

As shown previously on Figure 4-1, *Entry Intersection, Streetscape, and Landscape Interface Key Map*, Primary Entries are located in Planning Area 1 along the west side of Temescal Canyon Road immediately north of Planning Area 13B, and in Planning Area 9 along the east side of Temescal Canyon Road, immediately north of Planning Area 13D.

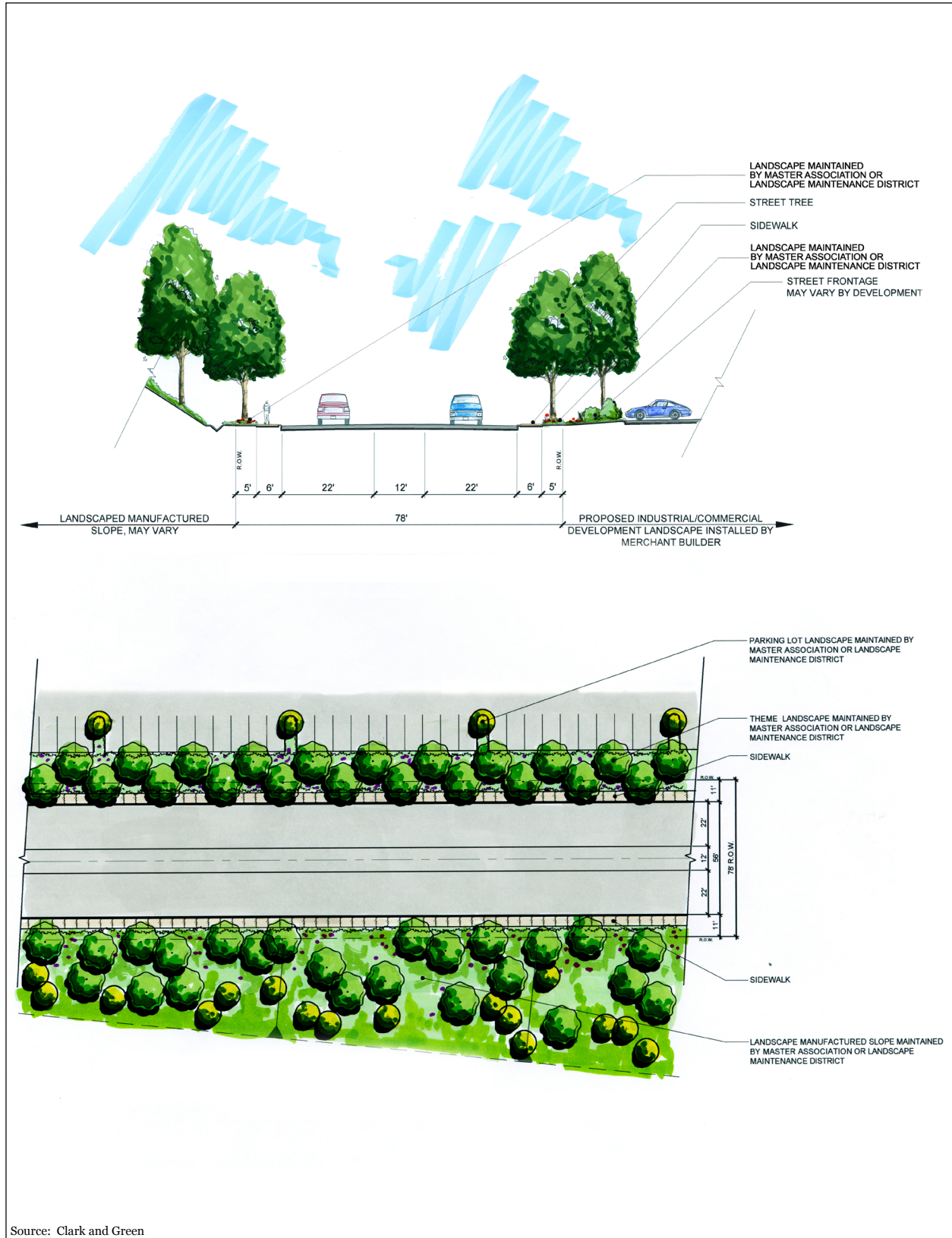
As shown in Figure 4-5, *Conceptual Primary Entry Monumentation – Southeast*, and Figure 4-6, *Conceptual Primary Entry Monumentation – Northwest*, Primary Entries provide a relaxed but strong sense of arrival and identity by employing soft native grasses and groundcovers. Signage consists of a four-foot-wide, 12-foot-tall single concrete pilaster and 20-foot-long entry sign wall. Commensurate with the Temescal Valley Design Guidelines, this concrete pilaster and entry wall visually identify the commerce center as part of the Temescal Valley. The entry wall shall contain outlines of hills and valleys in varying shades of brown and tan, as depicted in the Temescal Valley Design Guidelines.

Although the conceptual Primary Entry exhibits provided herein bear the name “SERRANO COMMERCE CENTER,” a differing but theme-appropriate identity name may be used when the entry monuments are constructed. Notwithstanding this flexibility in project name, the intent of these guidelines is that the project hardscape elements be cast-in-place with colored-concrete and feature a random sand-blasted pattern and stains. Concrete colors should be earth-toned, and evergreen foliage trees, soft grasses, and flowering shrubs should surround the hardscape elements.



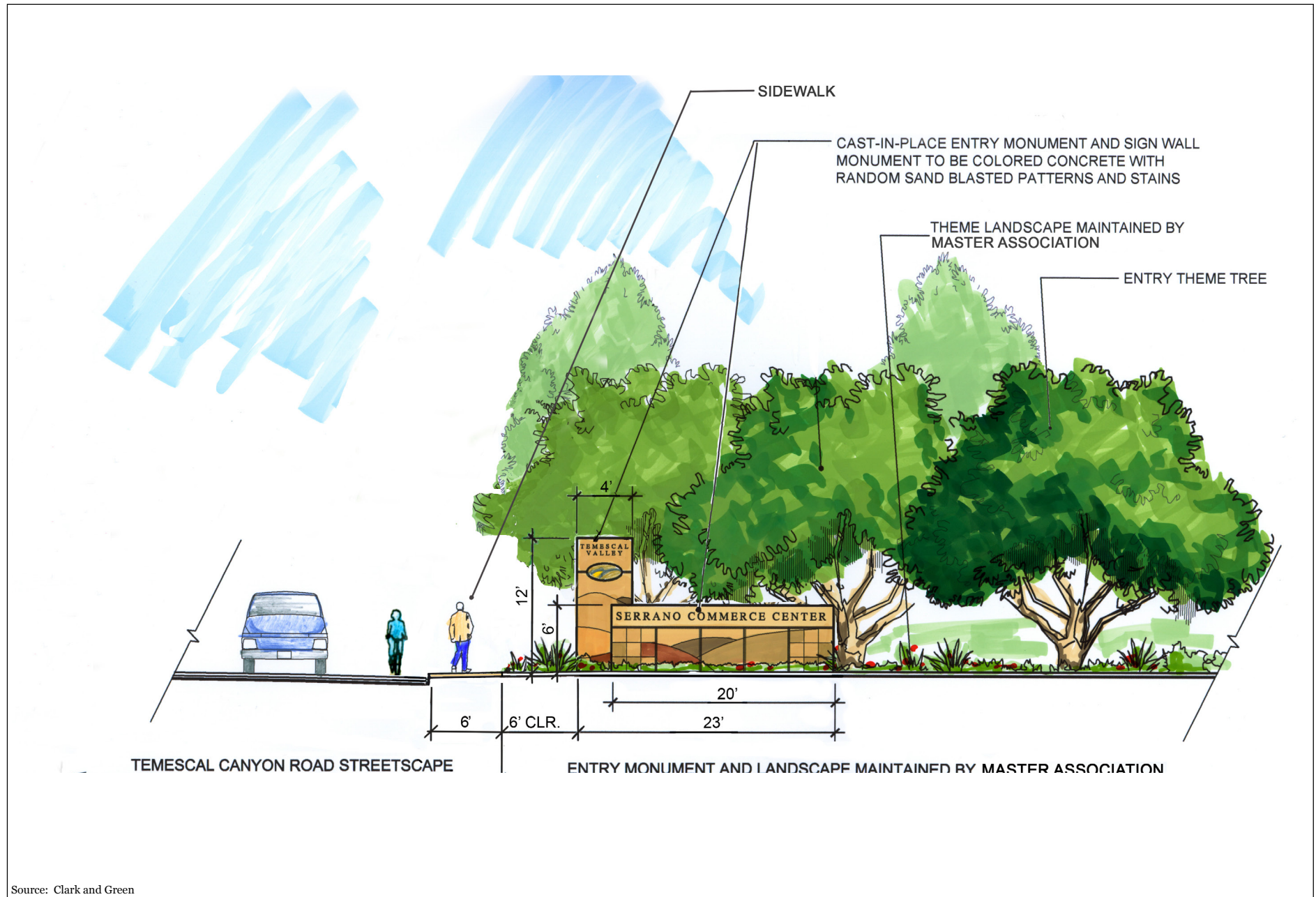
Source: Clark and Green

**FIGURE 4-3**  
Conceptual Industrial Collector Streetscape



Source: Clark and Green

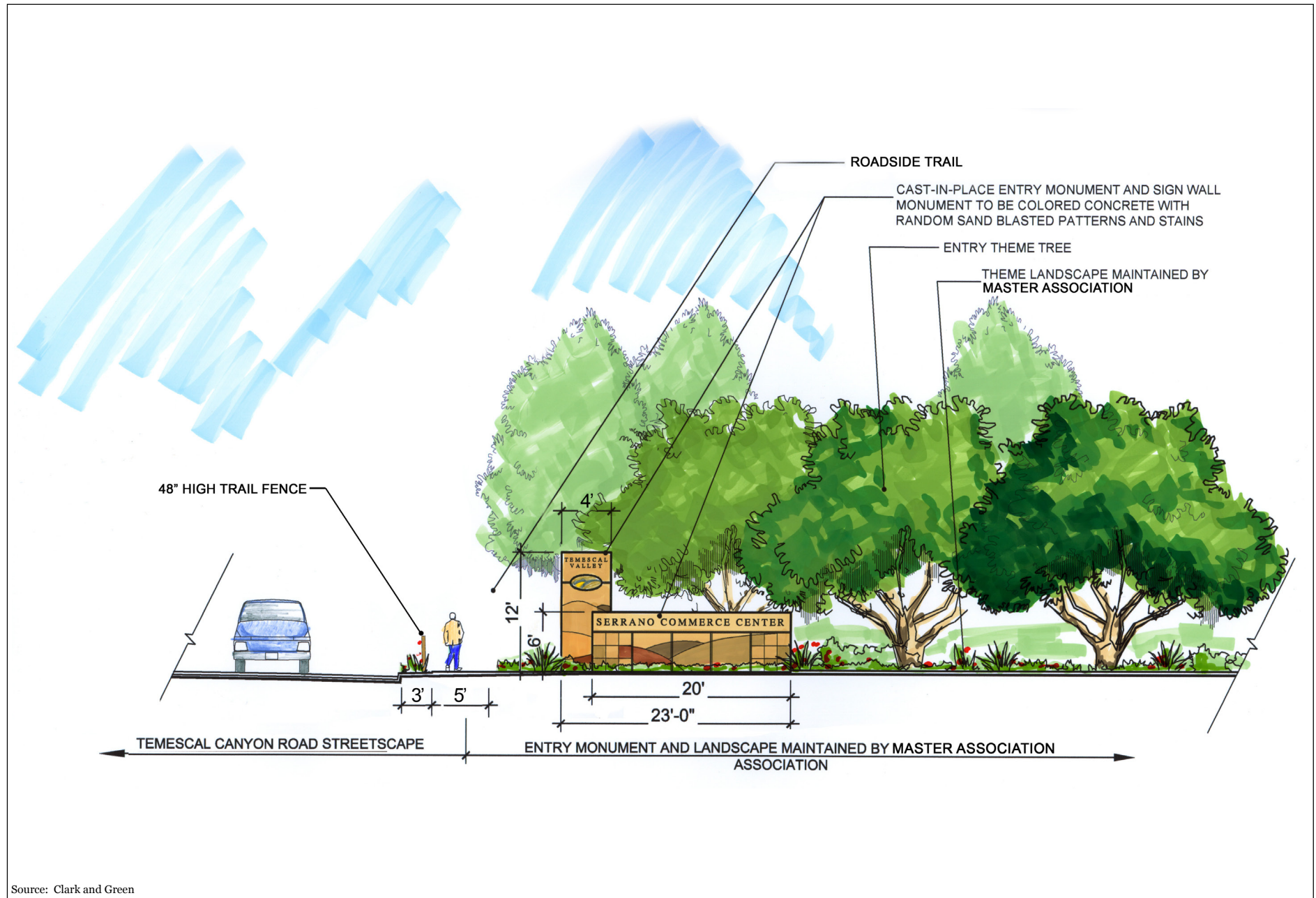
**FIGURE 4-4**  
 Conceptual Industrial Collector Streetscape  
 with Manufactured Slope



Source: Clark and Green

FIGURE 4-5





Source: Clark and Green

FIGURE 4-6

**C.3.2 SECONDARY ENTRY TREATMENT**

A second tier of entry treatments are planned at the intersection of Temescal Canyon Road and Streets “A” and “B;” Temescal Canyon Road and Streets “B” and “C;” and Temescal Canyon Road and Streets “D” and “E.” As depicted in Figure 4-7, *Conceptual Secondary Entry Treatments*, these entries consist of a combination of deciduous and evergreen trees, with flowering shrubs, groundcovers, and grasses. This landscaping highlights the intersection of the roadways and provides a welcoming approach deeper into the commerce center.

**C.3.3 TENANT ENTRY TREATMENTS**

Tenant Entries will serve to identify access points for individual tenants or groupings of tenants and separate community merchants within the SERRANO COMMERCE CENTER. As shown in Figure 4-8, *Conceptual Tenant Entry Monumentation*, these monuments consist of a colored-concrete column and a cast-in-place aluminum sign bearing the tenant(s) name(s). The design of the Tenant Entries is based on the *Temescal Valley Design Guidelines* and includes random sand-blasted pattern and stains and earth-toned colored-concrete. The Tenant Entries consists of landscaping palettes and planting patterns that are similar to the Primary and Secondary Entry treatments.

**C.3.4 INDIVIDUAL TENANT SIGNAGE AND LANDSCAPING**

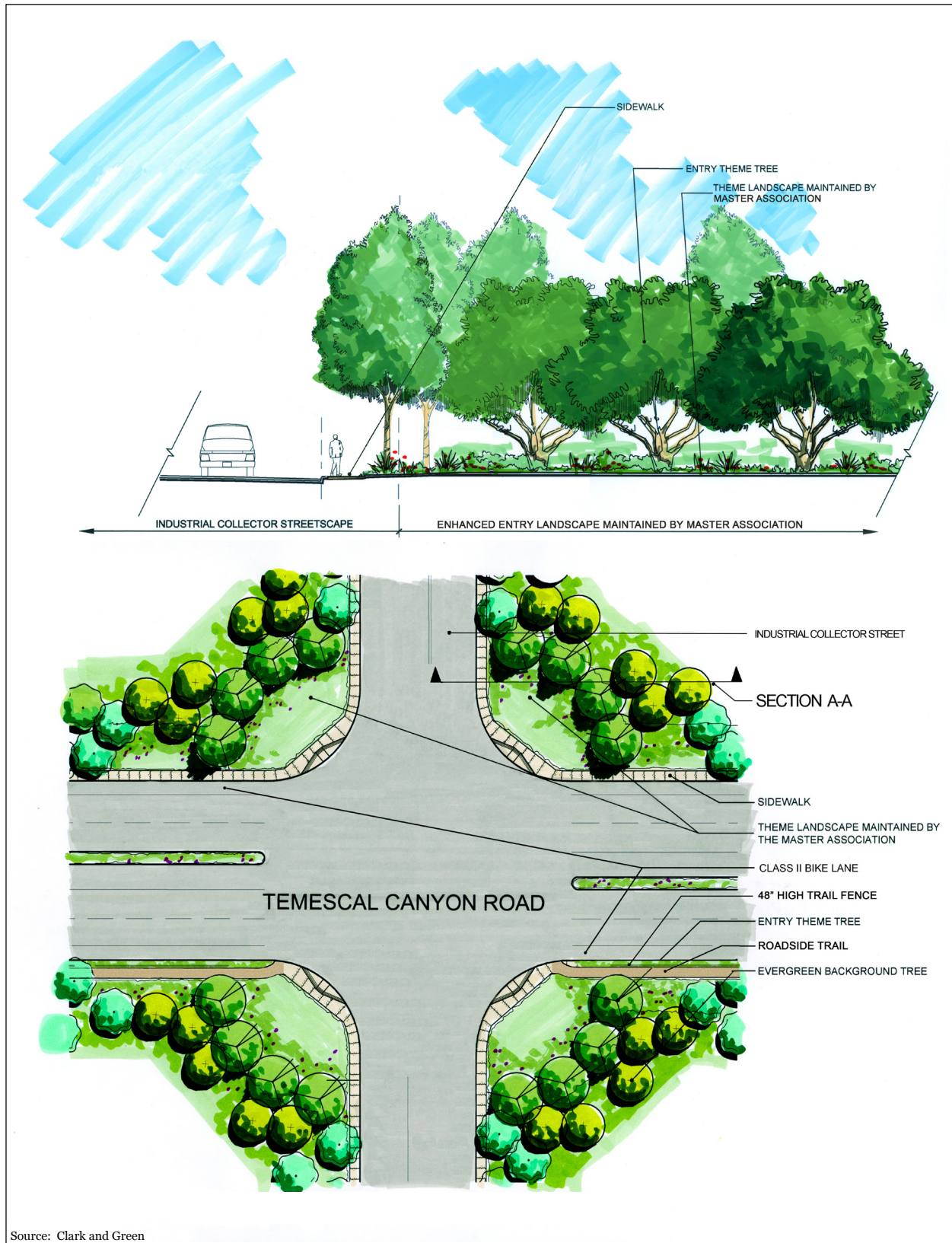
Simple identification signage and individualized landscape theming is allowed for individual tenants. Permitted signage shall be permanent in nature (for example, no temporary, hand-crafted wall or window signs) and shall be subject to review and approval by the Master Association Design Review Committee for consistency with the Master Sign Program. The signage and landscape materials must be compatible and complementary to the overall landscape design theme and be consistent with County Ordinance No. 348, Article XIX.

**C.3.5 TENANT SITE DRIVES**

As shown in Figure 4-9, *Conceptual Tenant Site Entries*, entry drives are designed to harmonize with the adjacent street landscape frontages and overall commerce center theme. Typical single- and double-entry drive apron configurations may feature enhanced paving and a concrete driveway approach. Enhanced paving should be surrounded by a 12-inch minimum concrete decorative band. Additionally, a six-inch-high concrete curb is located adjacent to the driveway. Planted parkways and entries create a visually appealing entrance. Double-entry drives, unlike single, may feature an internal landscaped median and may contain signage or directional information.

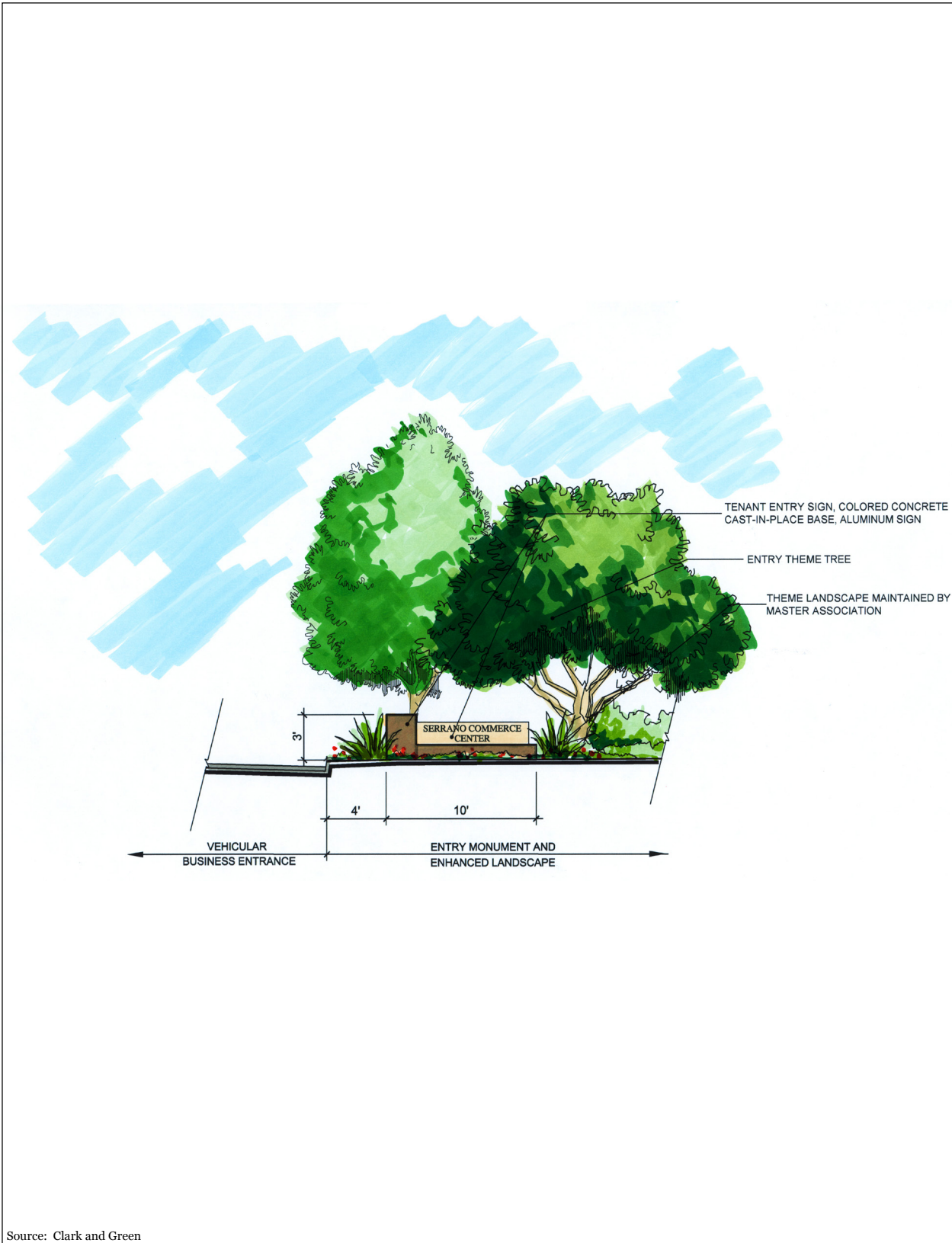
Parking spaces may be situated perpendicular to the sidewalk and screened from view from the roadway by accent shrub masses and trees. A landscaped median, similar in nature to that allowed for double-entry drives, may be situated within the parking area and may contain signage or directional information. Other signage may be situated adjacent to the sidewalk.

All landscape plans shall implement site distance setback requirements established by the approved site plan or plot plan.



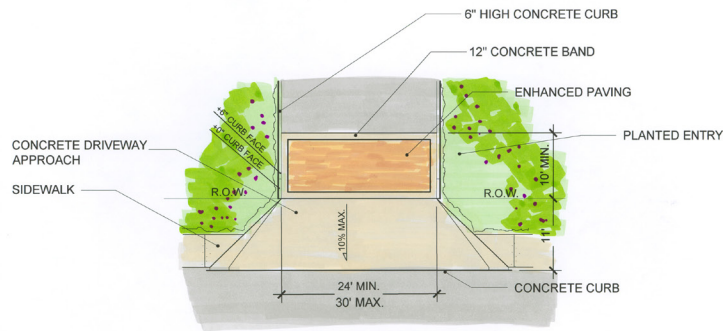
Source: Clark and Green

FIGURE 4-7

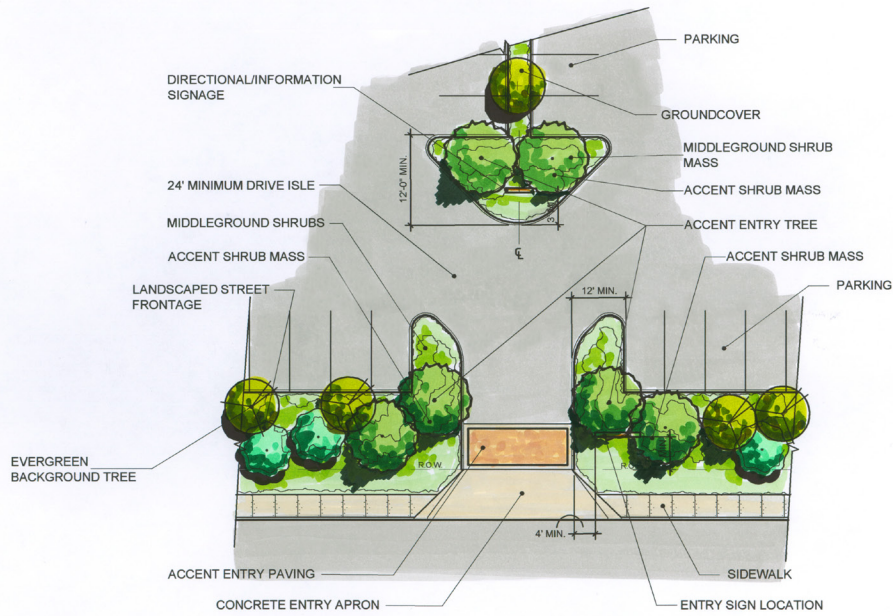


Source: Clark and Green

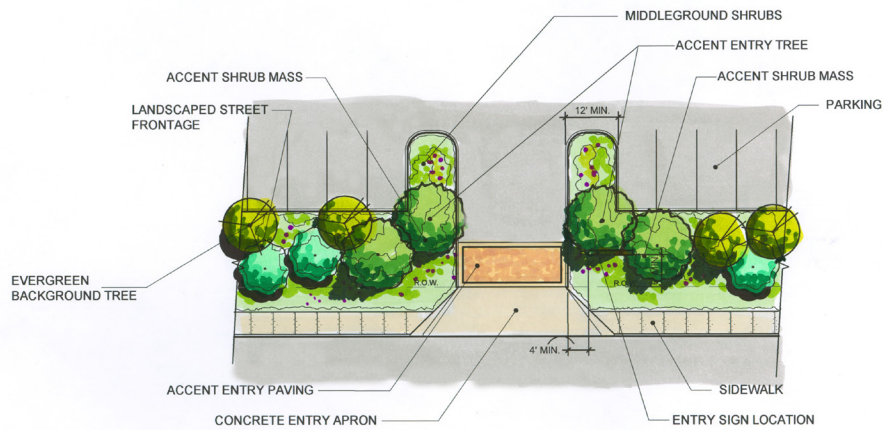
FIGURE 4-8



TYPICAL ENTRY DRIVE APRON CONFIGURATION



TYPICAL DOUBLE ENTRY DRIVE



TYPICAL SINGLE ENTRY DRIVE

Source: Clark and Green

FIGURE 4-9

**C.4 LAND USE TRANSITIONS**

Landscape interfaces within the SERRANO COMMERCE CENTER, as outlined below, are designed to provide visual space and landscape buffer zones along major roadways and between land use transitions and to create a visibly appealing atmosphere.

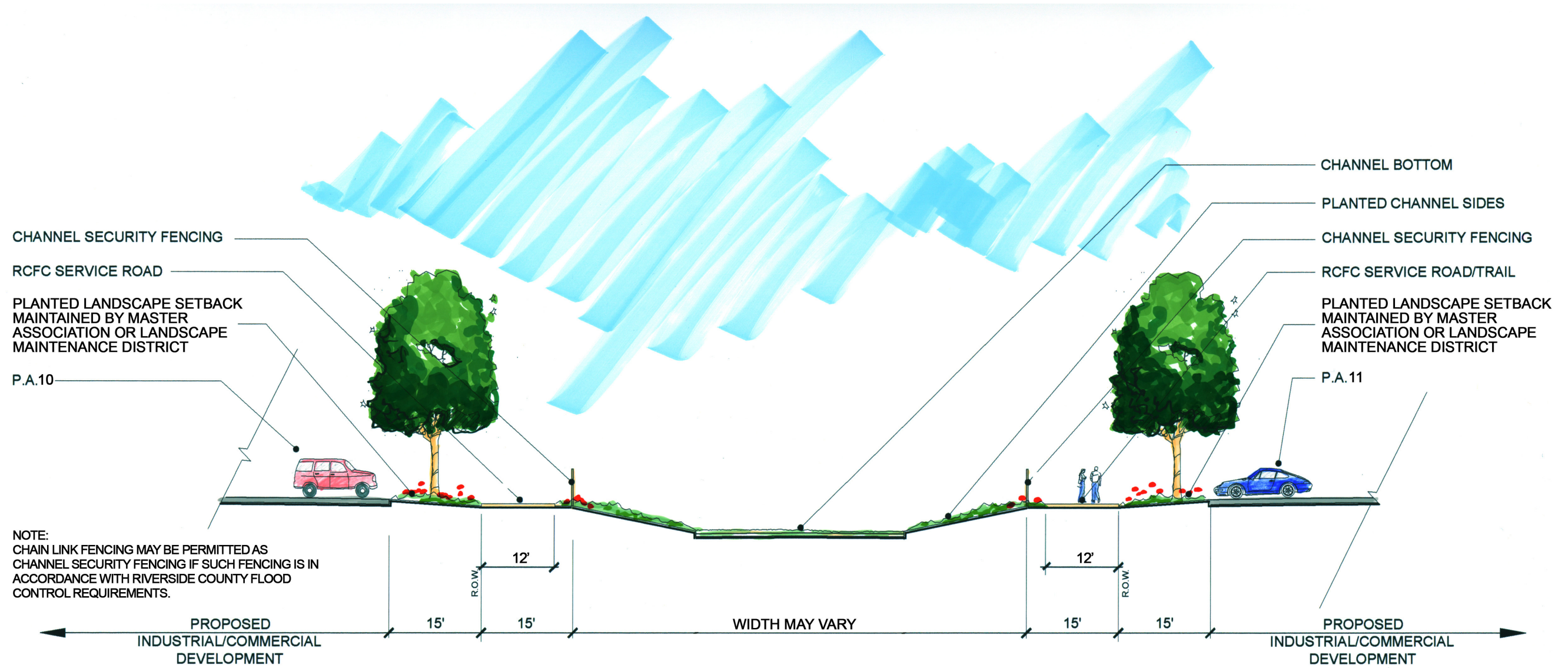
**C.4.1 FLOOD CONTROL CHANNEL INTERFACE**

The Mayhew Wash flood control channel is located within Planning Areas 13C and 13D and comprises a total of 6.10 acres. As depicted in Figure 4-10, *Conceptual Mayhew Wash Flood Control Channel Landscape Interface*, sloped planted channel sides are located adjacent to the channel bottom. Security fencing is situated between the channel and Planning Areas 9, 10 and 11 in order to restrict access. On the southern side of the flood control channel in Planning Area 13C is a community trail shared with the channel's service road and on the northern side of the flood control channel is a Riverside County Flood Control and Water Conservation District service road not shared with a trail. A planted landscaped setback is situated between the parking lots in Planning Areas 9, 10 and 11 and the adjacent service road or service road/community trail.

The Coldwater Canyon Wash flood control channel is located within Planning Area 13A and 13B and comprises a total of 6.98 acres. This channel is adjacent to Planning Areas 1, 2, 5, and the open space in Planning Area 12. On the northern side of the flood control channel in Planning Area 13B is a community trail shared with the channel's service road and on the southern side of the flood control channel is a Riverside County Flood Control and Water Conservation District service road not shared with a trail. As shown in Figure 4-11, *Conceptual Coldwater Canyon Wash Flood Control Channel Landscape Interface*, two conditions for the landscape interface between this channel and surrounding land uses are provided.

The first condition involves the portion of the Coldwater Canyon Wash flood control channel in Planning Area 13A, which is adjacent to Planning Areas 1 and 5. Where the channel abuts Planning Area 5, a security fence and a 15-foot-wide area for a Riverside County Flood Control and Water Conservation District service road is planned. A landscaped manufactured slope containing a segment of the County's regional trail system separates the channel from Planning Area 5. Due to the proximity to Planning Area 12, landscape planting on this slope should be in accordance with the MSHCP guidelines. Where portions of the channel abut off-site land uses, a Riverside County Flood Control and Water Conservation District service road is planned.

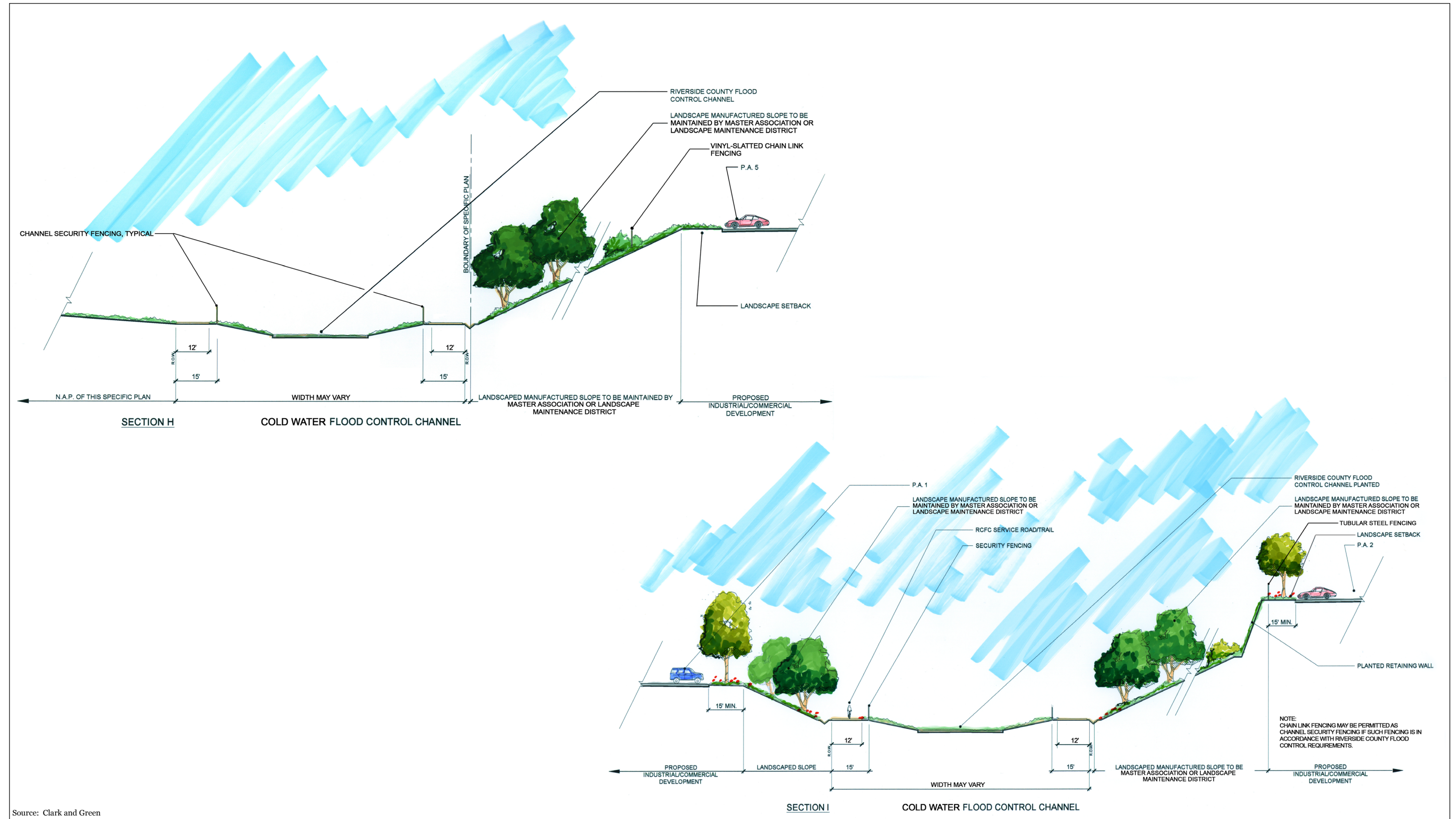
The second condition involves the portion of the Coldwater Canyon Wash flood control channel in Planning Area 13B, which is adjacent to Planning Areas 1 and 2. A security fence and Riverside County Flood Control and Water Conservation District service road will occur on both sides of the channel. A community trail will share the service road on the channel's north side adjacent to Planning Area 1. Between the channel and Planning Area 2 is a landscaped manufactured slope, with tubular steeling fencing at the top. A 15-foot setback will occur at the tope of the manufactured slope in Planning Area 2.



NOTE:  
CHAIN LINK FENCING MAY BE PERMITTED AS  
CHANNEL SECURITY FENCING IF SUCH FENCING IS IN  
ACCORDANCE WITH RIVERSIDE COUNTY FLOOD  
CONTROL REQUIREMENTS.

Source: Clark and Green

FIGURE 4-10



Source: Clark and Green

FIGURE 4-11



**C.4.2 TEMESCAL WASH INTERFACE**

Temescal Canyon Wash is a permanent conservation open space area located within Planning Area 12 along the eastern and northeastern boundary of the SERRANO COMMERCE CENTER. The Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) identifies the area as habitat with restricted human access, and Planning Area 12 will be conveyed to the Western Riverside County Regional Conservation Authority (RCA) for permanent conservation as part of the MSCHP Reserve.

As shown in Figure 4-12, *Conceptual Temescal Wash Interface*, the landscape treatment adjacent to Planning Area 12 shall be considerate of the sensitive nature of this habitat. Invasive plant materials are restricted, and only approved native plant species shall be planted within the interface (refer to Section IV.C.8.1, *Landscaping Zones Plant Palette*). A chain link fence (five-foot minimum height, eight-foot maximum height) and a landscaped setback separates the adjacent light industrial land uses and Planning Area 12. On the down slope to the Temescal Wash is a 20-foot-wide regional trail easement with an adjacent four-foot-high split railfence. A minimum vertical separation of ten-feet should be provided between the top and bottom of the down slope, where feasible. A chain link fence with partial landscaping per County MSHCP landscape requirements will be set back approximately five feet from the boundary of the MSHCP Reserve boundary line.

**C.4.3 INTERSTATE 15 INTERFACE**

The western boundary of the SERRANO COMMERCE CENTER is located adjacent to I-15, which is considered a scenic corridor by the Riverside County General Plan. The landscape intent along this portion of the development is to soften views to the edge of the property from the I-15 travel lanes with large shrub and tree masses appropriate to the landscape design concept. This landscaping, which shall be located adjacent to the Caltrans right-of-way, should be drought tolerant and require a low level of maintenance.

As shown in Figure 4-13, *Conceptual I-15 Interface*, varying topography along the western boundary of the SERRANO COMMERCE CENTER necessitates two interface conditions. Where I-15 is topographically lower than the commerce center, as in Planning Area 2, the proposed landscaped interface treatment shall be situated on a down slope from the commerce center. Tubular steel fencing shall be located at the boundary of the commerce center. Additionally, a 15-foot-wide landscaped setback is situated between the fencing and light industrial land uses within the SERRANO COMMERCE CENTER.

Where I-15 is at a higher elevation than the commerce center, as in Planning Area 8, the existing Caltrans shoulder slopes downwards towards the SERRANO COMMERCE CENTER and is landscaped. The topography of these locations does not necessitate fencing; however, a 15-foot-wide landscaped setback shall be situated between the existing Caltrans right-of-way and the SERRANO COMMERCE CENTER.

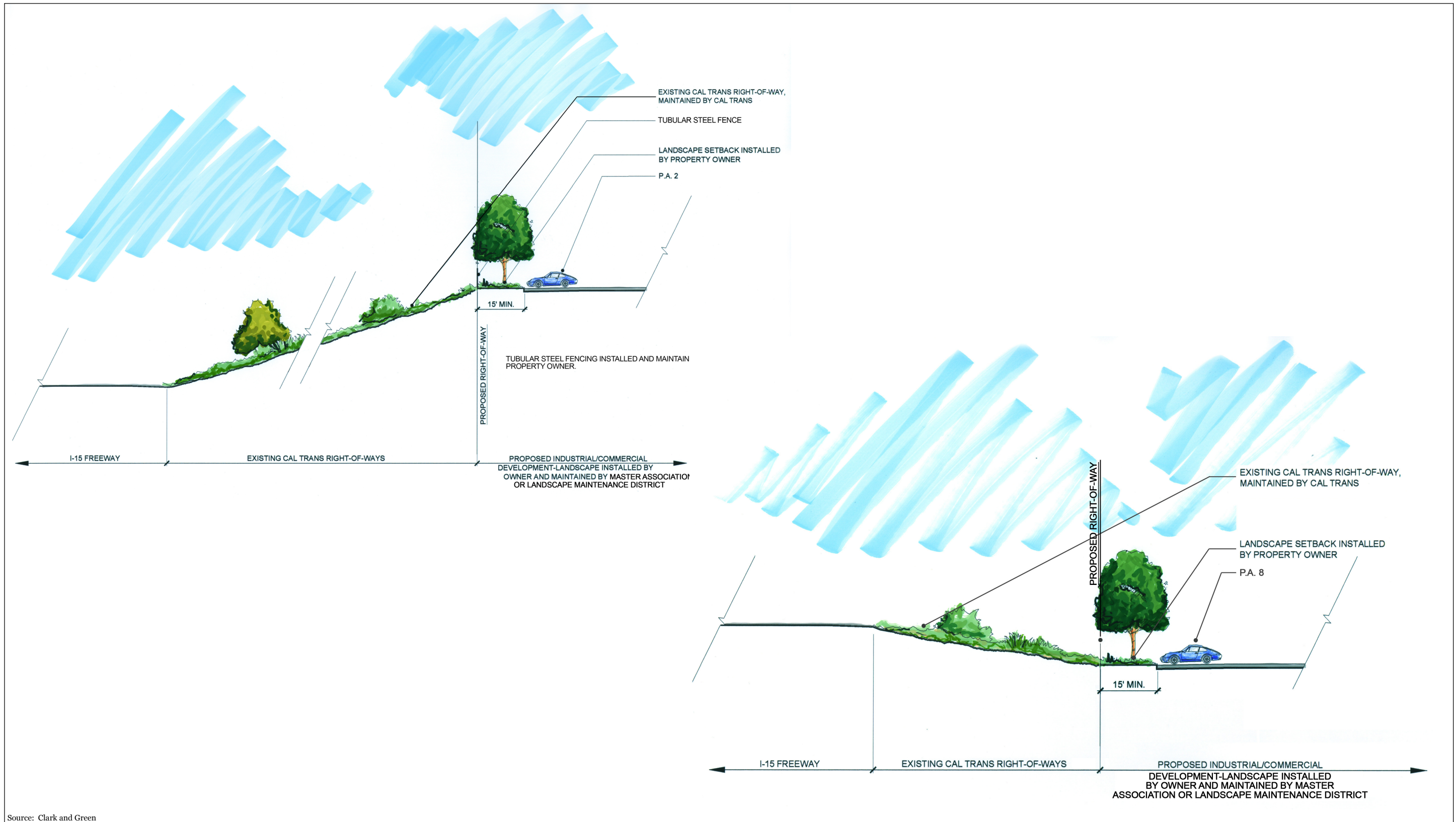
**C.4.4 TEMESCAL CANYON ROAD INTERFACE**

Temescal Canyon Road bisects the SERRANO COMMERCE CENTER and provides primary north/south access through the site. Areas where there is no elevation difference (*i.e.* no slope) between the roadway and adjacent building pads, as in the case in portions of Planning Areas 7, 9, 10 and 11, will



Source: Clark and Green

FIGURE 4-12



Source: Clark and Green

FIGURE 4-13

require a landscaped berm between two and four feet in height along the lot line. This interface condition is conceptually depicted on Figure 4-14, *Conceptual Temescal Canyon Road Interface*. The berm shall be planted with trees and shrubs (refer to the plant palette for Temescal Canyon Road, see Section IV.C.8.3, *Streetscape Landscaping Plant Palette*, below). The intent of the landscaped berm is to create visual interest along the streetscape and to partially screen views of buildings and parking areas from passersby (pedestrians and motorists).

Where Temescal Canyon Road is separated from adjacent development pads by an upslope or downslope, the topography of these locations does not necessitate the use of landscape berms. Conceptual landscape treatments for areas that do not require landscape berms are depicted on Figure 4-2, *Conceptual Temescal Canyon Road Streetscape*.

### **C.5 COMMUNITY WALLS AND FENCING**

Community fences and walls are a key element to establishing a sense of identity and unifying appearance for the SERRANO COMMERCE CENTER. Community walls and fences have been carefully designed to compliment the urban California desert palette of the project. Walls and fencing within the SERRANO COMMERCE CENTER are easy to maintain and provide a durable, long-term edge enclosure for security and screening of "private" spaces. As shown in Figure 4-15, *Conceptual Wall and Fence Plan*, and Figure 4-16, *Conceptual Wall and Fence Details*, and as described below, five types of fencing are planned for the SERRANO COMMERCE CENTER:

- ❑ **Solid Masonry Theme Walls:** Solid masonry walls are permitted at locations where security screening is necessary for privacy and where a solid barrier is needed to attenuate noise. This type of wall also may be used to surround recycling, garbage and/or storage areas. When adjacent to or visible from common areas, a solid masonry slump block theme wall, mortar washed and painted, may be used.

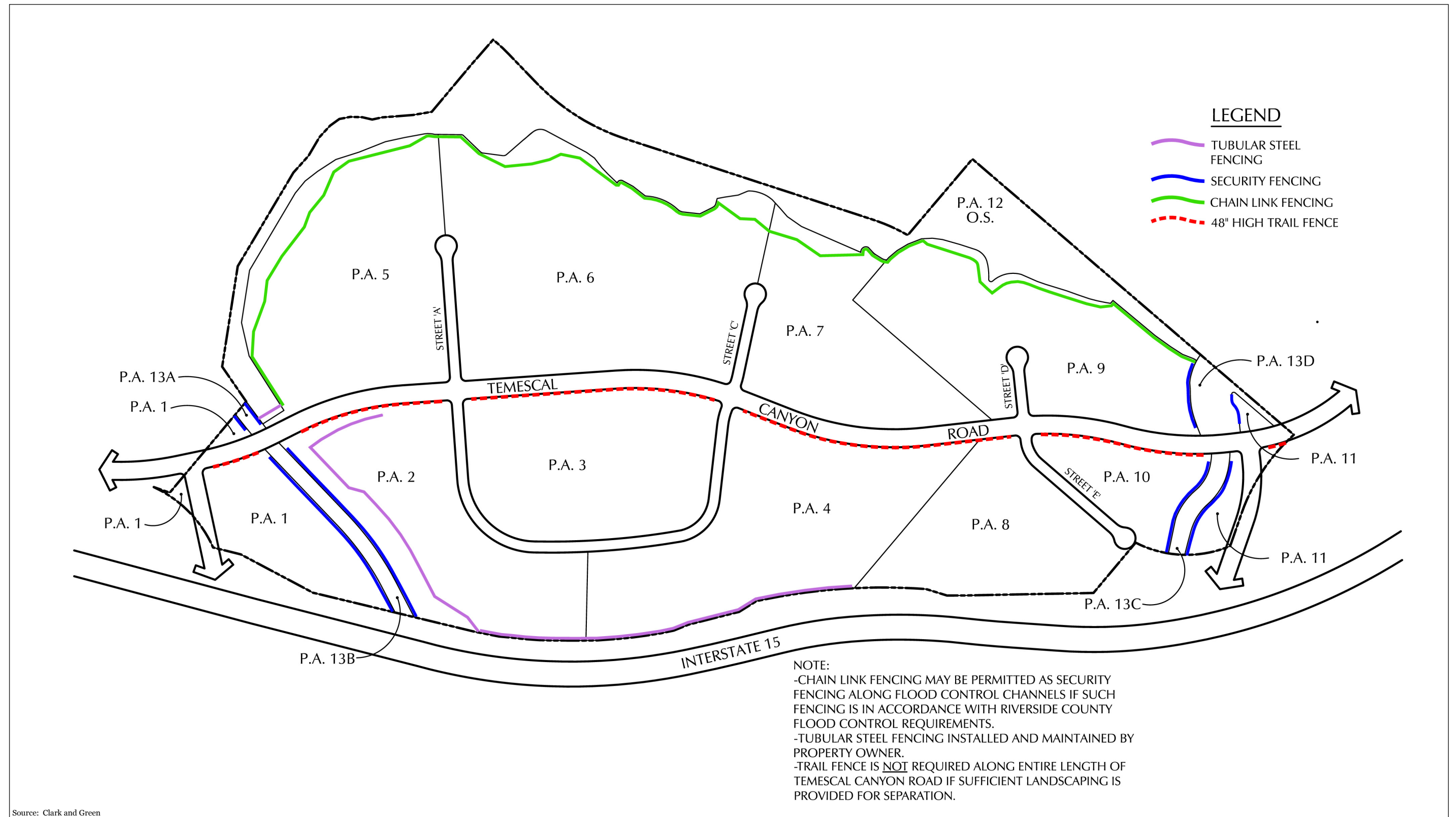
All other walls may be constructed of standard slump, colored precision, split face block, or concrete tilt-up, but must be consistent with the architectural and landscaping details presented throughout this Specific Plan. Pilasters are placed, when appropriate, at wall terminus points and as determined to be necessary for visual benefit. No other masonry walls are allowed unless it is part and/or a key component to the architectural element of the building. Masonry and concrete tilt-up walls are to be constructed at a maximum of 10-feet high. Higher walls may be constructed with approval of the Master Association Design Review Committee, but in no location highly visible from I-15.

- ❑ **Open Tubular Steel Fence:** Tubular steel fencing may be used at interface conditions for privacy, security, or to maximize views. This type of fencing buffers Planning Areas 2 and 4 from I-15 and also buffers the northern portion of Planning Area 2 from the Coldwater Canyon Wash flood control channel. It also may be used to separate tenants' properties internal to the commerce center. Additionally, this type of fencing may be used where an attractive open enclosure is necessary at a pedestrian node or other land use interface. Tubular steel fencing is typically six-feet in height and contains both a top and bottom rail.
- ❑ **Tubular Steel/Solid Masonry Wall Combination:** Tubular steel/solid masonry wall combination fencing provides security while allowing for views. This fencing features an 18-



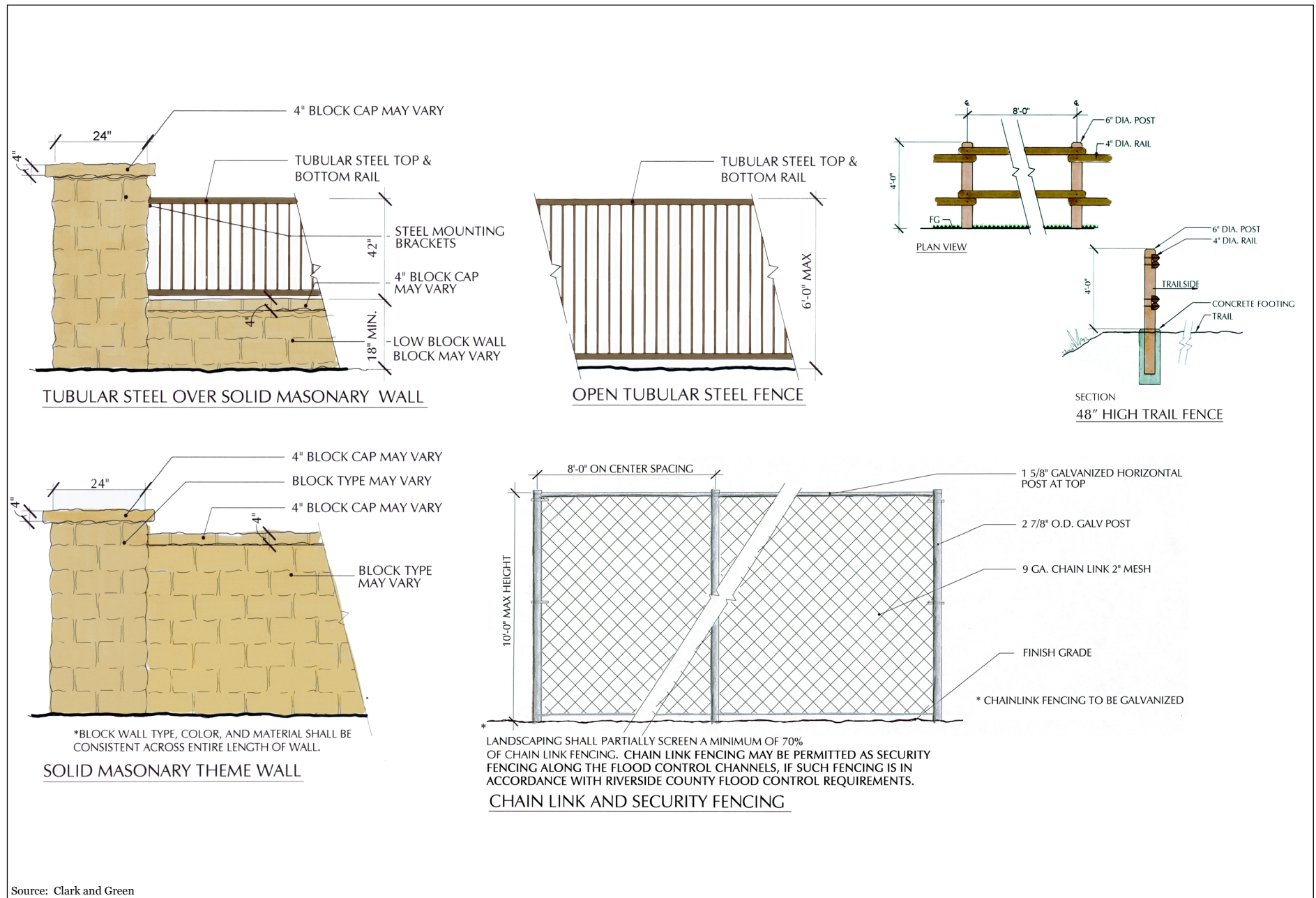
Source: Clark and Green

FIGURE 4-14



Source: Clark and Green

FIGURE 4-15



Source: Clark and Green

FIGURE 4-16

inch minimum low block wall on the bottom and 42-inch tubular steel fencing on the top. Pilasters are placed, when appropriate, at wall terminus points and as determined to be necessary for visual benefit.

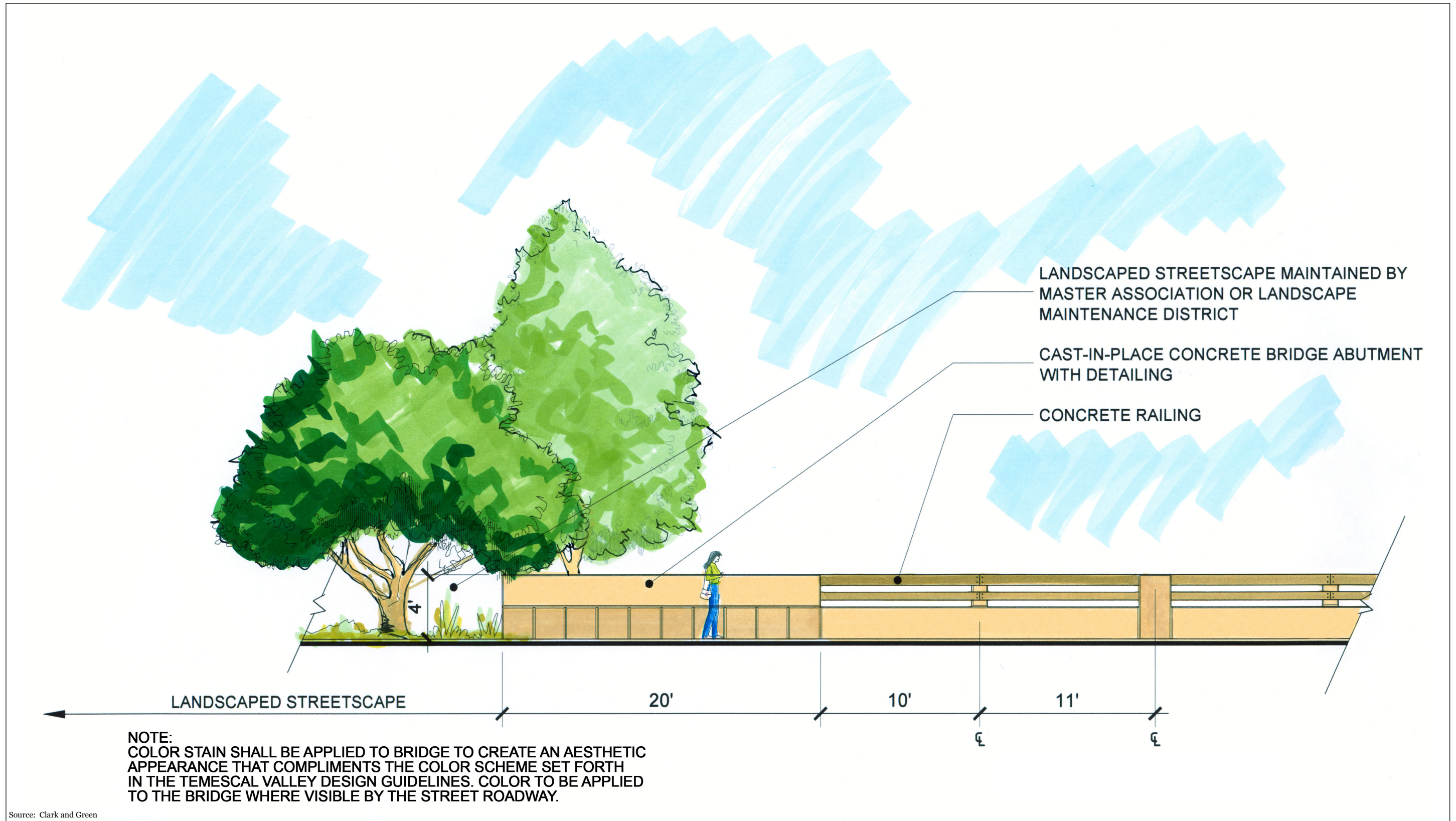
- ❑ **Chain Link Fence:** Chain link fencing is allowed adjacent to the Temescal Wash. This fencing features two-inch chain link mesh and galvanized horizontal posts at the top of the fence. Landscaping should partially screen the fencing from view. Vinyl slatted fencing is not permitted in areas where the fence is visible from the regional trail. Chain link fencing is also allowed to be used as security fencing along the flood control channels in Planning Areas 13A – 13D, in accordance with Riverside County Flood Control and Water Conservation District requirements. In lieu of security fencing, solid masonry walls, open tubular steel fencing, or tubular steel/solid masonry wall combination fencing may be used adjacent to the flood control channels.
- ❑ **Split Rail Fence:** A 48-inch high split rail fence with posts and rails is allowed adjacent to the west side of Temescal Canyon Road, as well as along the regional trail. Fence posts will be placed approximately eight-feet apart.
- ❑ **Bridge Abutment:** As shown in Figure 4-17, *Conceptual Bridge Abutment Detail*, a bridge is necessary in order for the Temescal Canyon Road to span the Coldwater Canyon Wash flood control channel. The crossing of the Mayhew Wash flood control channel may consist of a bridge or a culvert. The bridge(s) should complement the surrounding streetscape and nearby Primary Entry treatments and shall consist of a 20-foot, cast-in-place concrete bridge abutment. A railing shall extend from the bridge abutment and consist of a solid cast-in-place bottom with concrete railing along the top to allow for views. Concrete pilasters shall be situated approximately every 21 feet along the railing. A color stain shall be applied to the bridge where it is visible from the surrounding roadways and pedestrian sidewalks to create an aesthetically appealing appearance and complement the color scheme set forth in the Temescal Valley Design Guidelines. If Temescal Canyon Road is designed to consist of a culvert where the roadway passes over the Mayhew Wash, the bridge abutment will not occur at the location.

All fences and walls within the planning area parcels (all walls and fencing that are not adjacent to the perimeter property line of a planning area) are to be designed and constructed as part of the overall architectural and site design of the parcel. All materials are to be durable and finished in textures and colors complementary to the overall architectural design and the Temescal Valley Design Guidelines color scheme. Prohibited wall and fence materials include barbed wire, wire, electrically charged fences, plain exposed precision block, corrugated metal, and grape stake fencing.

## **C.6 AMENITIES**

One of the primary ways to convey the image of high-quality commerce center is to ensure the aesthetic appearance of common spaces. Common spaces within the SERRANO COMMERCE CENTER should be thoughtfully integrated into the architecture and landscaping components surrounding the space.





Source: Clark and Green

FIGURE 4-17

**C.6.1 TRAIL AND PATH SYSTEM**

The SERRANO COMMERCE CENTER contains a trail/path system that will offer passive recreational opportunities and encourage pedestrian activity for tenants, employees, users, and visitors.

As shown in Figure 4-18, *Conceptual Trails Plan*, three types of paths are provided within the SERRANO COMMERCE CENTER. Sidewalks are located within the ROW of all major roadways, including Old Temescal Canyon Road North/South, Temescal Canyon Road and Streets “A” through “E.” Sidewalks adjacent to these roadways shall be a minimum of six feet in width. Also, it is anticipated that pedestrian paths will be provided within individual parcels and be connected as feasible without sacrificing the security needs of individual tenants. The sidewalk system is a unifying element in this development and offers users a recreational opportunity that is often absent in other large employment centers. The sidewalk system provides access to off-site County trails, park facilities, and other key points of interest that are abundant within the Temescal Valley area. Adjacent to the pedestrian paths are substantial landscape plantings that create an attractive and desirable setting.

Community trails are planned to be located adjacent to the flood control channels in Planning Areas 13B and 13C, shared with a Riverside County Flood Control and Water Conservation District service road. Where the trail would pass under the Temescal Canyon Road bridges, a minimum vertical clearance of 12.0 feet between the trail and the bridges is recommended. In addition, a five-foot-wide trail is planned along on-site portions of Temescal Canyon Road, along the western edge of the public right-of-way (as previously discussed above in Subsections C.2.1 and C.2.2).

The SERRANO COMMERCE CENTER also will provide for a segment of the County’s regional trail system. A regional trail connection is planned south of the commerce center site adjacent to Temescal Canyon Road, where a connection will be made. The trail will travel northerly through the Serrano Commerce Center along Temescal Canyon Road, composing ten feet in width. When Temescal Canyon Road takes the form of a bridge across the Coldwater Canyon Wash, the regional trail will combine with the sidewalk system, together being ten feet in width. After crossing the bridge, the regional trail will veer easterly and traverse in a bench constructed into the manufactured slope between the commerce center’s development area and the Temescal Canyon Wash, again connecting with Temescal Canyon Road at the Mayhew Wash crossing and continuing north along Temescal Canyon Road. As shown in Figure 4-19, *Conceptual Regional Trail Cross-Sections*, the regional trail will be a soft-surface trail, with buffer areas and a rail wood post fence to deter trail users from trespassing on adjacent property.

**C.6.2 OUTDOOR EMPLOYEE BREAK AREAS**

To encourage social interaction, the commercial retail and light industrial buildings within the SERRANO COMMERCE CENTER shall include outdoor employee break areas. These partially shaded outdoor employee break areas shall contain seating areas to provide employees with a location to eat, gather, and enjoy being outside. Shading of these areas may be achieved through a combination of shade trees, umbrellas, or man-made shade structures. These outdoor employee break areas shall be constructed by the individual Developers and builders in conjunction with parcel or planning area development. The following requirements apply to outdoor employee break areas within the commerce center: Outdoor employee break areas are considered an outdoor amenity and shall not be included in the Floor Area Ratio calculation for the associated building.

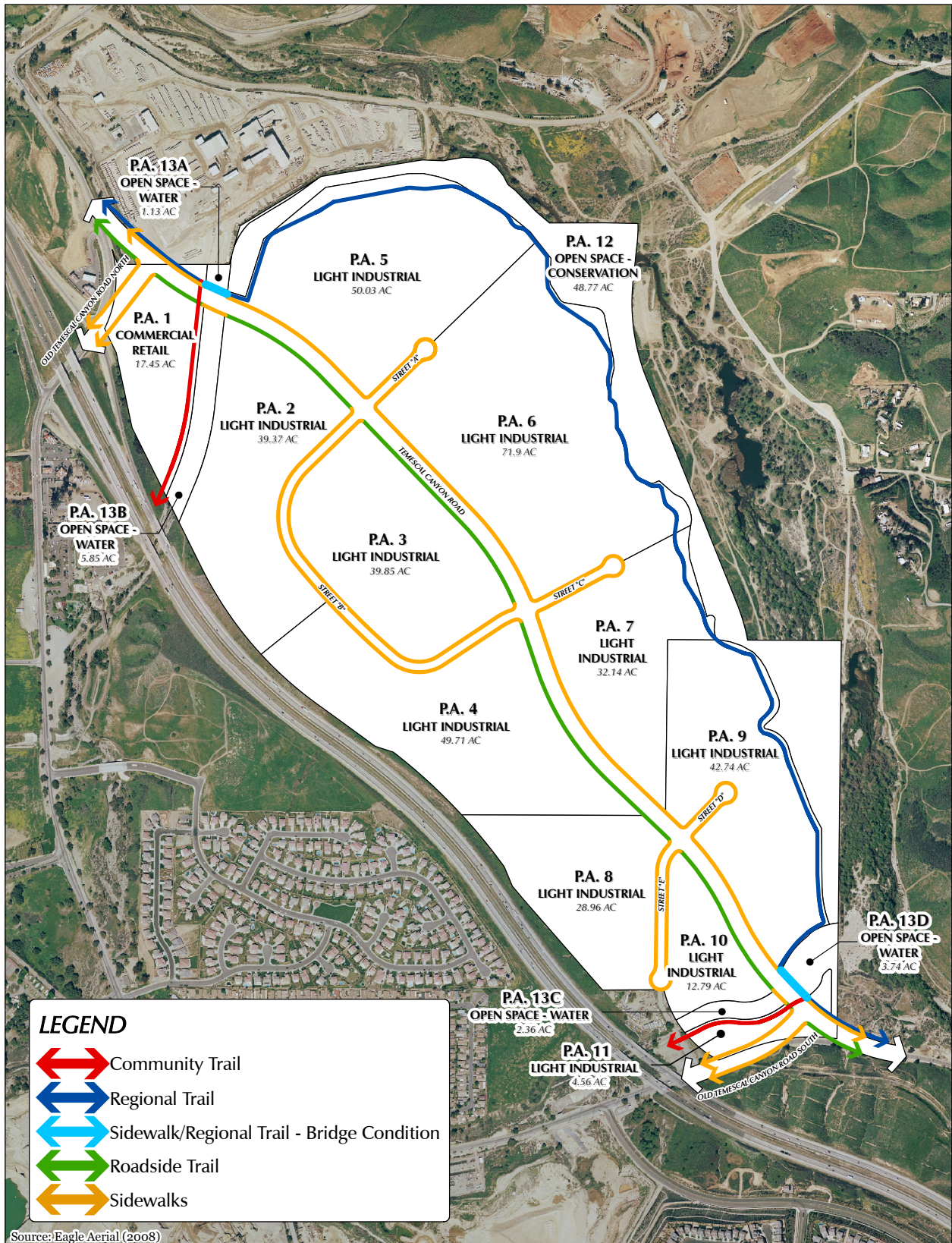
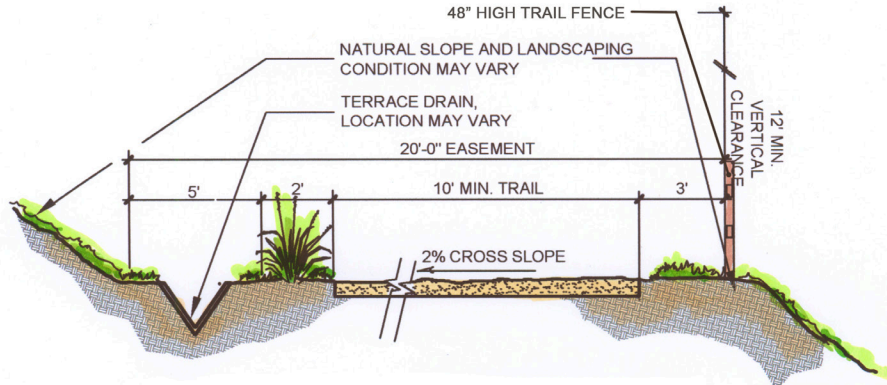
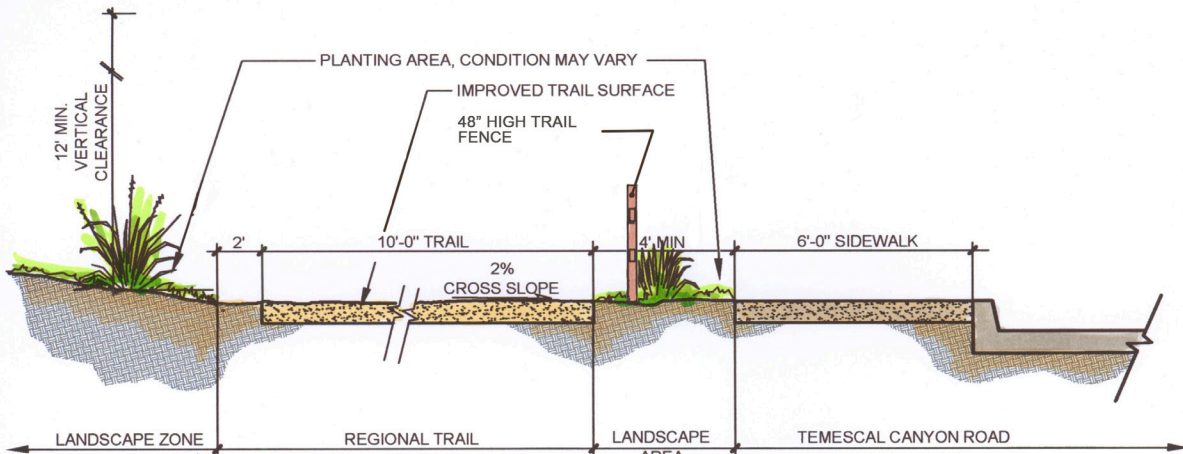


FIGURE 4-18



**REGIONAL TRAIL CONDITION ALONG TEMESCAL WASH**  
NOT TO SCALE



**REGIONAL TRAIL CONDITION ALONG TEMESCAL CANYON ROAD**  
NOT TO SCALE

Source: Clark and Green

**FIGURE 4-19**

- The outdoor employee break areas shall contain a pervious surface, such as decomposed granite or decorative paving, and shall count towards the planning area's landscape requirement.
- For each building having 300,000 s.f. of floor space or larger, outdoor employee break area(s) with a minimum aggregate size of 800 s.f. shall be provided for the exclusive use of that building.
- For buildings having less than 300,000 s.f. of floor space, one (1) of the following options may be selected:

Outdoor employee break area(s) with a minimum aggregate size of 500 s.f. shall be provided for the exclusive use of that building.

Access to a common outdoor employee break area, shared by several buildings, with a clearly defined pedestrian pathway between the building(s) and the break area shall be provided.

- The break area shall be no smaller than 0.25% of the total floor space of all buildings being served.
- The break area shall be located no further than 1,000 feet walking distance from the buildings being served.

## **C.7 GENERAL LANDSCAPING REQUIREMENTS**

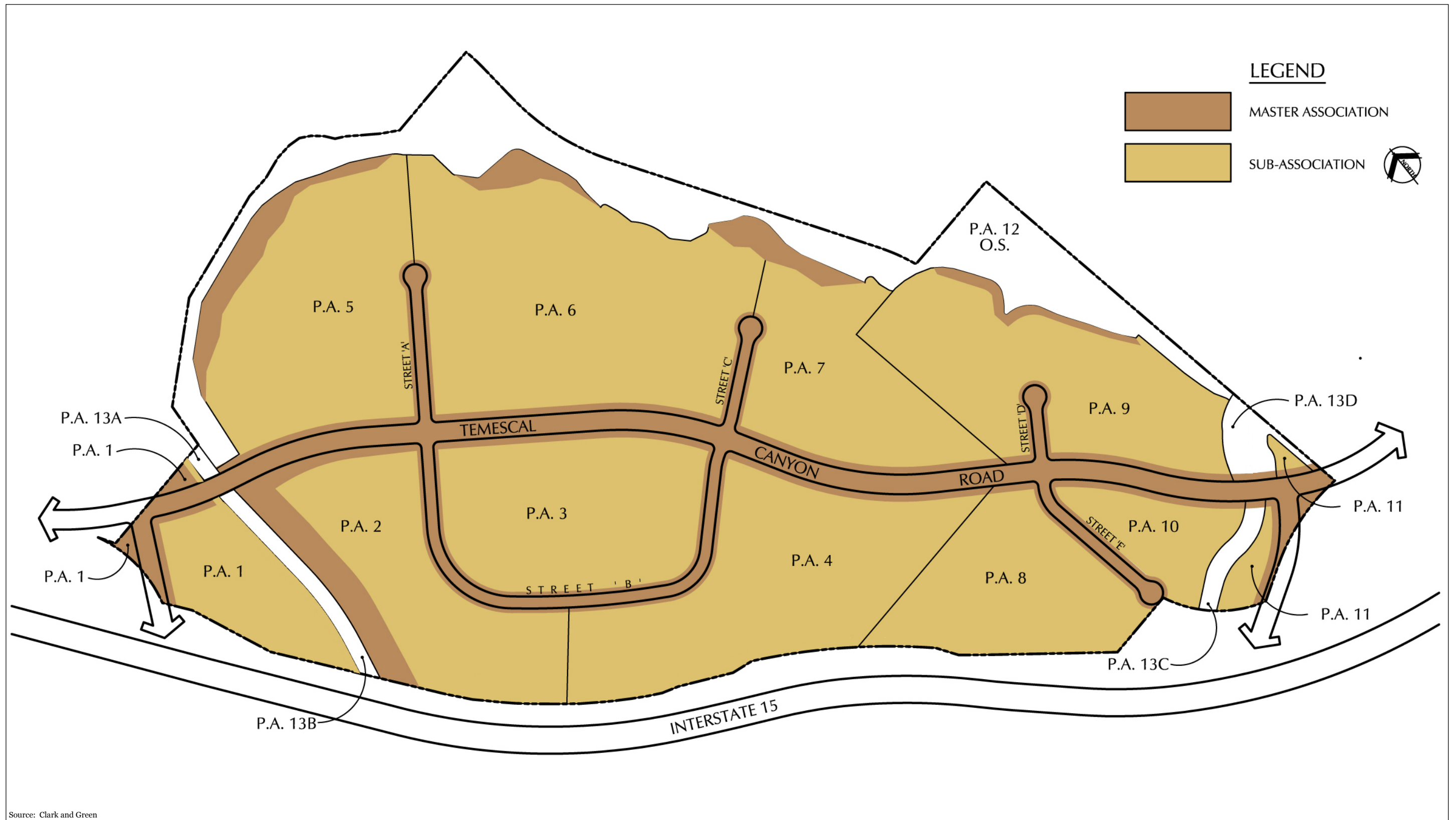
### **C.7.1 LANDSCAPE MAINTENANCE RESPONSIBILITY**

As shown in Figure 4-20, *Conceptual Landscape Maintenance Map*, two maintenance groups are responsible for maintaining the SERRANO COMMERCE CENTER landscaping. Maintenance responsibility of streetscape landscape right-of-ways and common areas, parks, greenbelts, and other community common open space shall be provided by a Landscape Maintenance District or SERRANO COMMERCE CENTER Master Association maintenance district. All individual lot landscape will be maintained under a sub-association. Each lot shall be irrigated separately from the Master Association irrigation system.

### **C.7.2 OUTDOOR LIGHTING**

All street and developments (sub-association areas) within the SERRANO COMMERCE CENTER will have a uniform lighting standard dictated by the Master Association Design Review Committee. All lighting fixtures within the SERRANO COMMERCE CENTER shall comply with the following regulations and provisions.

1. Lighting along Temescal Canyon Road and the internal collector streets may be dictated by the County of Riverside Transportation Department. All lighting shall adhere to the County of Riverside Light Pollution Ordinance No. 655.



Source: Clark and Green

FIGURE 4-20

2. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas shall be focused, directed, and arranged to minimize glare and illumination of streets or adjoining property. Low intensity, energy-conserving night lighting is preferred.
3. Lights shall be unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
4. Neon and similar types of lighting are prohibited in all areas within the development. The only exception is in retail areas when located within windows.
5. All exterior lighting designs should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of streets and plazas; and also distinguishes vehicular and pedestrian circulation patterns. Community entry areas (both pedestrian and vehicular), public plazas, community facilities, and highly used common areas shall be creatively lit to develop a sense of place and arrival.
6. All exterior lighting designs shall address the issue of security. Parking lots, loading dock areas, pedestrian walkways, and building entrances shall be well lit for security reasons.
7. All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
8. No freestanding lighting fixtures shall exceed 25 feet in height.
9. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
10. The lighting concept of the entry monumentation features is to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features may be illuminated by concealed uplight fixtures. The angle of the uplight should be no more than 25 degrees.
11. All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.
12. The level of on-site lighting and lighting fixture design shall comply with any and all applicable requirements and policies of the County of Riverside. Energy conservation, safety, and security should be emphasized when designing any light system.
13. All community landscape common areas, community facilities, commercial sites, streetscapes, and other areas may, at the discretion of the Master Association Design Review Committee, contain area, accent, or other night lighting entities.

### **C.7.3 IRRIGATION**

The SERRANO COMMERCE CENTER is planned to be irrigated through the use of LLWD reclaimed water. Alternatively, the SERRANO COMMERCE CENTER may be irrigated through the Stormwater Recovery and Storage Program (SWRSP), a system that allows for the recovery, treatment, and

storage of stormwater runoff for irrigation and other uses. The SWRSP system is comprised of constructed underground stormwater storage reservoirs, which receive and retain treated on-site stormwater flows, beneath Planning Areas 5 and 6 (as previously illustrated in Figure 2-6). Use of this stored water for irrigation is subject to the approval of the Riverside County Flood Control and Water Conservation District.

Irrigation systems are designed according to the Riverside County Water Conservation Ordinance No. 859 and/or per landscape maintenance district requirements. All landscaped areas shall be watered with a permanent underground irrigation system, except for slopes. Slopes may have a permanent above-ground irrigation system; however, all irrigation lines within 5.0 feet of the toe of slope shall be buried. The irrigation system shall be designed for non-domestic water usage even if non-domestic service is not currently available at the site.

Overhead spray irrigation systems may be designed with head to head 100 percent double coverage at a minimum. Irrigation systems that adjoin a separate maintenance responsibility area shall be designed in a manner to ensure complete water coverage between the areas.

Proper consideration of irrigation system design and installation in the climate extremes of the Temescal Canyon area is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection. In addition, irrigation controllers may have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, curbs (car overhangs), and toe of slopes shall be of the pop-up type. Additionally, all irrigation systems may use drip and/or bubbler methods when appropriate. The use of moisture sensors and/or the state-of-the-art “smart” control irrigation systems may be incorporated when appropriate and feasible.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials. An irrigation backflow device must be used with all domestic water service points-of-connection. Specifications for the backflow system shall be approved by Lee Lake Water District.

#### **C.7.4 SIGNAGE**

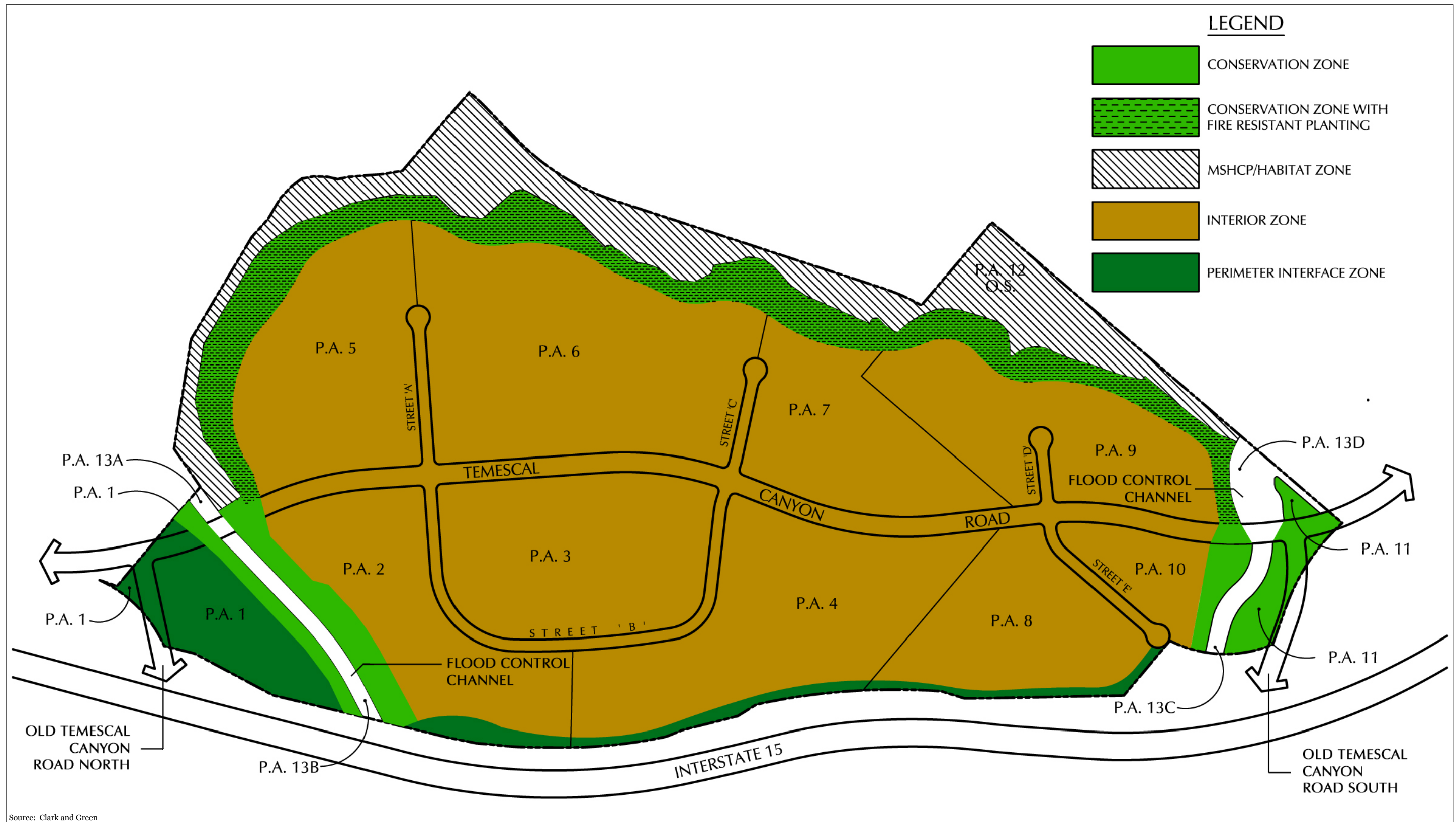
A Master Sign Program shall be developed for the SERRANO COMMERCE CENTER prior to the installation of the first sign. As previously described, signage is subject to review and approval by the Master Association Design Review Committee. Signage and associated landscape materials must be compatible and complementary to the overall landscape design theme.

### **C.8 PLANT PALETTES AND REQUIREMENTS**

#### **C.8.1 LANDSCAPING ZONES PLANT PALETTE**

Landscaping throughout the SERRANO COMMERCE CENTER is organized into five Landscaping Zones, as shown in Figure 4-21, *Conceptual Landscape Zones*. These zones include a Conservation Zone, a Conservation Zone with Fire Resistant Plantings, Interior Zone, Perimeter Interface Zone, and MSHCP/Habitat Zone. Planting within these zones consider the land uses proposed within the





Source: Clark and Green

FIGURE 4-21

development, existing natural conditions, and planned landscape interfaces. If the plant palette for the SERRANO COMMERCE CENTER Specific Plan conflicts with County Ordinance No. 859, than Ordinance No. 859 shall take precedence over the recommendations contained herein.

- **Conservation Zone:** This zone contains non-invasive, mostly native plant material suitable for planting adjacent to the flood control channels in Planning Areas 13A through 13D. The planting provides a smooth transition from the interior core of the development to the channels. Table 4-1, *Conservation Zone Plant Palette*, provides a summary of acceptable plant materials within this zone.

**Table 4-1 CONSERVATION ZONE PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b>CONSERVATION ZONE</b>	
<b>TREES</b>	
<i>Platanus racemosa</i>	California sycamore
<i>Populus fremontii</i>	Fremont’s Cottonwood
<i>Quercus agrifolia</i>	Coast live oak
<i>Quercus englmannii</i>	Englemann Oak
<i>Salix sp</i>	
<i>Sambucus mexicana</i>	Elderberry
<b>SHRUBS</b>	
<i>Architostaphylos densiflora</i>	‘Howard McMinn’
<i>Baccharis spp.</i>	Baccharis
<i>Ceanothus concha</i>	California lilac
<i>Encelia farinosa</i>	Desert encelia
<i>Eriogonum fasciculatum</i>	California Buckwheat
<i>Heteromeles arbutifolia</i>	Toyon
<i>Juncus spp.</i>	Deerweed
<i>Lotus scoparius</i>	Dove Lupine
<i>Lupinus bicolor</i>	Miniature Lupine
<i>Lymus spp.</i>	
<i>Opuntia spp.</i>	Prickly Pear
<i>Rhamnus crocea</i>	Spiny Redberry
<i>Rhus integrifolia</i>	Lemonade Bush
<i>Rhus ovata</i>	Sugar Bush
<i>Ribes speciosum</i>	Fuchsia-flowered Gooseberry
<i>Romneya coulteri</i>	Matilija Poppy
<i>Rhus integrifolia</i>	Lemonadeberry
<i>Scirpus spp.</i>	
<b>GROUNDCOVERS</b>	
<i>Acacia redolens 'desert carpet'</i>	Dwarf trailing acacia
<i>Arctostaphylos 'John Dourley'</i>	Arctostaphylos

- **Conservation Zone with Fire Resistant Planting:** This zone contains plant material known for its resistance to fire. This zone is located at the boundaries of Planning Areas 5, 6, 7, and 9 adjacent to Planning Area 12. Table 4-2, *Conservation Zone with Fire Resistant Planting Plant Palette*, provides a summary of acceptable plant materials within this zone

**Table 4-2 CONSERVATION ZONE WITH FIRE RESISTANT PLANTING PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b>CONSERVATION ZONE WITH FIRE RESISTANT PLANTING</b>	
<b>TREES</b>	
<i>Platanus racemosa</i>	California sycamore
<i>Quercus agrifolia</i>	Coast live oak
<i>Quercus engelmannii</i>	Englemann Oak
<i>Sambucus mexicana</i>	Elderberry
<b>SHRUBS</b>	
<i>Architostaphylos densiflora</i>	Howard McMinn
<i>Baccharis spp</i>	Baccharis
<i>Ceanothus concha</i>	California lilac
<i>Encelia farinosa</i>	Desert encelia
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lotus scoparius</i>	Deerweed
<i>Lupinus bicolor</i>	Dove Lupine
<i>Optunia spp.</i>	Prickly-Pear Catcus
<i>Rhamnus crocea</i>	Spiny Redberry
<i>Rhus integrifolia</i>	Lemonade Bush
<i>Ribes speciosum</i>	Fuchsia-flowered Gooseberry
<i>Rhus integrifolia</i>	Lemonadeberry
<b>GROUNDCOVERS</b>	
<i>Acacia redolens</i> 'desert carpet'	Dwarf trailing acacia
<i>Arctostaphylos</i> 'John Dourley'	John Dourley manzanita

- **Interior Zone:** The Interior Zone is comprised of portions of Planning Area 2 through 10 and is the least restrictive of the plant zones. The zone allows for a variety of material and encourages a landscape palette with diversity and character. Table 4-3, *Interior Zone Planting Plant Palette*, provides a summary of acceptable plant materials within this zone. In the spirit of the Temescal Valley Design Guidelines, in addition to the plants listed below, citrus trees in clay pots are encouraged to be used as a decorative element in Planning Areas 1 and 2 where appropriate.

**Table 4-3 INTERIOR ZONE PLANTING PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b>INTERIOR ZONE</b>	
<b>TREES</b>	
<i>Acacia gregii</i>	Cat Claw Acacia
<i>Acacia stenophylla</i>	Shoestring Acacia
<i>Albizia julibrissin</i>	Silk Tree
<i>Arbutus unedo</i>	Strawberry tree
<i>Cercidium floridum</i>	Palo Verde
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Chitalpa taskentensis</i>	Chitalpa
<i>Chilopsis linearis</i>	Desert Willow
<i>Eriobotrya 'Copper Tone'</i>	Bronze loquat
<i>Eucalyptus nicholii</i>	Willow Leaved Peppermint
<i>Eucalyptus spathulata</i>	Narrow Leaved Gimlet
<i>Eucalyptus sideroxylon</i>	Red Ironbark
<i>Eucalyptus torquata</i>	Coral Gum
<i>Lagerstroemia spp.</i>	Crepe Myrtle
<i>Melaleuca armillaris</i>	Drooping Melaleuca
<i>Melaleuca linarifolia</i>	Flaxleaf Paper Bark
<i>Melaleuca nesophila</i>	Pink melaleuca
<i>Olea europaea (fruitless)</i>	Fruitless olive tree
<i>Phoenix dactylifera 'Medjool'</i>	Date palm
<i>Pistacia chinensis</i>	Chinese pistache
<i>Platanus acerifolia</i>	London plane tree
<i>Prosopis juliflora</i>	Mesquite
<i>Prosopis grandulosa</i>	Texas Mesquite
<i>Punica granatum</i>	Pomegranate
<i>Quercus agrifolia</i>	Coast live oak
<i>Quercus ilex</i>	Holly oak
<i>Rhamnus crocea</i>	Spiny Redberry
<i>Rhaphiolepis 'Majestic Beauty'</i>	Majestic Beauty
<i>Rhus integrifolia</i>	Lemonade Bush
<i>Rhus lancea</i>	African sumac
<i>Schinus molle</i>	California pepper
<b>SHRUBS</b>	
<i>Agave vilmoriniana</i>	Octopus Agave
<i>Agave 'Blue Flame'</i>	Blue Flame Agave
<i>Agave parryii v. parryii</i>	Parrys agave
<i>Anigozanthus spp.</i>	Kangaroo Paw
<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita
<i>Baccharis spp.</i>	Baccharis
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Ceanothus concha</i>	California lilac
<i>Cistus spp.</i>	Rockrose
<i>Feijoa sellowiana</i>	Pineapple guava

SCIENTIFIC NAME	COMMON NAME
<i>Festuca californica</i>	California fescue
<i>Fremontodendron 'Ken Taylor'</i>	Flannelbush
<i>Grevillea 'Canberra Gem'</i>	
<i>Grevillea lanigera</i>	Wolly Grevillea
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Heteromeles arbutifolia</i>	Toyon
<i>Heuchera hybrida</i>	Coral bells
<i>Justicia californica</i>	Chuparosa
<i>Lavandula spp.</i>	Lavenders
<i>Ligustrum spp.</i>	Privet
<i>Muhlenbergia 'Regal Mist'</i>	Regal Mist
<i>Nolina parryii</i>	Parry's Nolina
<i>Optunia spp.</i>	
<i>Pennisetum "Eaton Canyon"</i>	Compact Fountain Grass
<i>Phormium tenax</i>	New Zealand flax
<i>Pittosporum crassifolium</i>	Karo
<i>Pittosporum tenuifolium</i>	Pittosporum
<i>Punica granatum 'Nana Dwarf'</i>	Dwarf Pomegranite
<i>Prunus ilicifolia</i>	Hollyleaf cherry
<i>Psidium littorale</i>	Strawberry guava
<i>Pyracantha species</i>	Firethorn
<i>Rhaphiolepis spp.</i>	Indian Hawthorn
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Simmondsia chinensis</i>	Jojoba
<b>VINES</b>	
<i>Distictus buccinatoria</i>	Trumpet Vine
<i>Gelsemium sempervirens</i>	Carolina jasmine
<i>Grewia caffra</i>	Lavendar star flower vine
<i>Mac Fadyena unguis-cati</i>	Cat's claw vine
<i>Rosa banksias</i>	Lady Banks Rose
<b>GROUNDCOVERS</b>	
<i>Acacia redolens 'desert carpet'</i>	Dwarf trailing acacia
<i>Arctostaphylos 'John Dourley'</i>	John Dourley manzanita
<i>Cotoneaster dammerii</i>	
<i>Grevillea 'Austraflora Fan Fare'</i>	
<i>Rhaphiolepis 'Ballerina'</i>	

- Perimeter Interface Zone:** The Perimeter Zone is located at the boundaries of Planning Areas 2, 3, 4, and 8 that are adjacent to I-15. This zone contains plant material known for resistance to pollutants and poor soil conditions. Like the other landscape plant zones within the SERRANO COMMERCE CENTER, the planting within this area provides excellent screening and landscape character to enhance the architecture of the development. Table 4-4, *Perimeter Interface Zone Plant Palette*, provides a summary of acceptable plant materials within this zone.

**Table 4-4 PERIMETER INTERFACE ZONE PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b>PERIMETER INTERFACE ZONE</b>	
<b>TREES</b>	
<i>Albizia julibrissin</i>	Silk Tree
<i>Chilopsis linearis</i>	Desert Willow
<i>Eucalyptus nicholii</i>	Willow Leaved Peppermint
<i>Eucalyptus spathulata</i>	Narrow Leaved Gimlet
<i>Eucalyptus sideroxylon</i>	Red Ironbark
<i>Eucalyptus torquata</i>	Coral Gum
<i>Lagerstroemia spp.</i>	Crape Myrtle
<i>Melaleuca nesophila</i>	Pink melaleuca
<i>Platanus acerifolia</i>	London plane tree
<i>Quercus agrifolia</i>	Coast live oak
<i>Quercus ilex</i>	Holly oak
<i>Rhus integrifolia</i>	Lemonade Bush
<i>Rhus lancea</i>	African sumac
<i>Schinus molle</i>	California pepper
<b>SHRUBS</b>	
<i>Anigozanthus spp.</i>	Kangaroo Paw
<i>Arctostaphylos 'Howard Mc Minn'</i>	Manzanita
<i>Baccharis spp.</i>	Baccharis
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Ceanothus concha</i>	California lilac
<i>Cistus spp.</i>	Rockrose
<i>Encelia farinosa</i>	Desert encelia
<i>Eriogonum fasciculatum</i>	California Buckwheat
<i>Fremontodendron 'Ken Taylor'</i>	Flannelbush
<i>Heteromeles arbutifolia</i>	Toyon
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Ligustrum spp.</i>	Privet
<i>Muhlenbergia 'Regal Mist'</i>	Regal Mist Deer Grass
<i>Optunia spp.</i>	
<i>Pittosporum spp.</i>	
<i>Prunus ilicifolia</i>	Hollyleaf cherry
<i>Pyracantha species</i>	Firethorn
<i>Punica granatum</i>	Pomegranite
<i>Rhaphiolepis spp.</i>	Indian Hawthorn
<i>Rhamnus californica</i>	Coffee Berry
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Simmondsia chinensis</i>	Jojoba
<b>VINES</b>	
<i>Distictus buccinatoria</i>	Trumpet Vine
<i>Grewia caffra</i>	Lavendar star flower vine
<i>Mac Fadyena unguis-cati</i>	Cat's claw vine

- ❑ **MSHCP/Habitat Zone:** Planning Area 12 comprises the MSHCP/Habitat Zone. Landscape planting within this zone is prohibited unless authorized by the County of Riverside or Riverside Conservation Authority and in accordance with the MSHCP guidelines.

**C.8.2 LANDSCAPING ZONE GENERAL REQUIREMENTS**

1. The landscape plans required for submission by the Developer to the County of Riverside must be prepared by a registered landscape architect with experience in Southern California.
2. Owners shall be responsible for construction of the landscape on their own site and for the construction of certain streetscape frontages. Certain sloping streetscape frontages, notably only those with slopes over 5.0 feet in height, will be installed and maintained by the Master Association.
3. Landscape elements within the front of a building or visible from the public right-of-way shall be complementary to streetscape landscape and chosen from the appropriate plant palette.
4. When development occurs 'out of phase' or after landscape has been installed by others, plant material sizes within the street parkway shall be upgraded to match existing plant material sizes (up to 48-inch box sizes may be required).
5. Evergreen tree masses shall be emphasized within each planning area so as to provide a year-round green landscape. Trees shall accent and/or break up building masses.
6. Each planning area shall develop a strong sense of arrival. The landscape plan for each parcel shall reinforce this concept by utilizing the entry/access tree(s) specified for the street onto the site along the entry drive.
7. All required trees are to be a minimum 15 gallon size when installed, unless otherwise noted. Eucalyptus species may be 5 gallon.
8. Street trees and accent trees at site entry(s) shall be planted at the minimum size of 24-inch box. On site accent trees at primary building entry(s) shall be planted at the minimum size of 24-inch box.
9. A continuous 5-foot-wide minimum planting strip shall be placed along all side and rear property lines except where buildings occur in a zero lot line condition. All planting strip dimensions are measured from the face of curb. Tree planting within this strip shall be at the ratio of five trees for every one thousand square feet of planting area.
10. Along the eastern edge of development, berms and/or evergreen tree masses shall be placed along the rear property lines of all parcels with east-facing parking lots and/or truck loading docks. The berms and/or evergreen trees shall serve to partially screen and visually soften commerce center's vehicular use areas from residential uses located east of the SERRANO COMMERCE CENTER site.

11. Screen walls, when fronting common area maintained property, shall be planted with vines. These vines shall be 5 gallon minimum size with a maximum spacing of 8 feet on center. *Macfadyen unguis-cati* (Cat Claw) or *Distictus buccinatoria* (Blood Red Trumpet Vine) are the preferred species. When a wall is designed to complement the building architecture, vines may be used at the discretion of the property developer.
12. All turf shall be sodded 100% 'Dwarf Tall Fescue'. Seeded planting of permanent turf areas is prohibited. Turf shall be used sparingly.
13. All permanent irrigation systems are to be below ground, except on slopes, and fully automatic. Slopes may have a permanent above-ground irrigation system; however, all irrigation lines within 5.0 feet of the toe of slope shall be buried. Use of water conserving systems including, but not limited to, drip irrigation and moisture sensors, etc. is strongly encouraged. Irrigation heads shall be adjusted to minimize overspray and run-off. All irrigation heads adjacent to paved areas, curbs, and turf shall be of the pop-up type. Irrigation system and design shall comply with the County of Riverside Ordinance No. 859.
14. Backflow control devices are to be located to minimize their adverse visual impact. In addition, such control devices shall be screened by shrubs.
15. Undeveloped sites, or portions of sites, held in reserve for future development need not be irrigated or fully landscaped. These areas shall be, at a minimum, seeded with a drought resistant mix to hold down weed growth and to minimize erosion. The use of temporary on-grade irrigation systems is permitted in these areas. All public right-of-ways and required setback areas must be landscaped in a 'permanent' manner within one year of the completion of construction of the public right-of-way.
16. Soil conditions vary within the SERRANO COMMERCE CENTER. Poor soil conditions should be expected and thus soil agronomy tests are a required part of the Step II preliminary landscape review conducted by Riverside County.
17. Landscape installation must be in place in accordance with the County of Riverside guidelines prior to final building permit inspection.
18. On-site landscape maintenance of all non-master association maintained areas is the responsibility of the sub-association. Such maintenance shall be consistently and conscientiously performed in a timely manner. Such maintenance procedures include, but are not limited to weeding, fertilizing, replacement of dead or poorly performing landscape material, mowing, pruning, upkeep of light fixtures, and general on-site trash removal. Properties not maintained to the standards of the community are subject to fines and remedial action by the Master Association.



**C.8.3 STREETScape LANDSCAPING PLANT PALETTE**

Landscaping adjacent to the major internal roadways shall complement the overall urban California desert palette established for the project. Acceptable plant materials vary according to the hierarchy of roadways within the development.

- ❑ **Temescal Canyon Road:** The streetscape for Temescal Canyon Road is as previously described in Figure 4-2. Table 4-5, *Temescal Canyon Road Plant Palette*, provides a summary of acceptable plant materials within this zone

**Table 4-5 TEMESCAL CANYON ROAD PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b>TEMESCAL CANYON ROAD</b>	
<b>TREES</b>	
<i>Platanus racemosa</i>	California sycamore
<i>Quercus agrifolia</i>	Coast live oak
<b>SHRUBS</b>	
<i>Agave americana</i>	Century Plant
<i>Baccharis spp.</i>	Baccharis
<i>Ceanothus concha</i>	California lilac
<i>Cistus spp.</i>	Rockrose
<i>Festuca californica</i>	California fescue
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lantana montevidensis</i> 'Lavender Swirl'	
<i>Lantana</i> 'New Gold'	Lantana
<i>Lavandula spp.</i>	Lavenders
<i>Muhlenbergia</i> 'Regal Mist'	Regal Mist
<i>Rhaphiolepis spp.</i>	Indian Hawthorn
<i>Rhamnus californica</i>	Coffee Berry
<i>Rhus integrifolia</i>	Lemonade Berry
<b>VINES</b>	
<i>Mac Fadyena unguis-cati</i>	Cat's claw vine
<i>Rosa banksias</i>	Lady Banks Rose
<b>GROUNDCOVERS</b>	
<i>Acacia redolens</i> 'desert carpet'	Dwarf trailing acacia
<i>Arctostaphylos</i> 'John Dourley'	John Dourley manzanita

- ❑ **Old Temescal Canyon Road North/South:** The streetscape for Old Temescal Canyon Road North/South is similar to that of Temescal Canyon Road. Table 4-6, *Old Temescal Canyon Road North/South Plant Palette*, provides a summary of acceptable plant materials within this zone.

**Table 4-6 OLD TEMESCAL CANYON ROAD NORTH/SOUTH PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<i>OLD TEMESCAL CANYON ROAD NORTH/SOUTH</i>	
<b>TREES</b>	
<i>Pistacia chinensis</i>	Chinese pistache
<i>Platanus racemosa</i>	California sycamore
<i>Quercus agrifolia</i>	Coast live oak
<b>SHRUBS</b>	
<i>Agave americana</i>	Century Plant
<i>Baccharis spp.</i>	Baccharis
<i>Ceanothus concha</i>	California lilac
<i>Cistus spp.</i>	Rockrose
<i>Festuca californica</i>	California fescue
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lantana montevidensis 'Lavender Swirl'</i>	Century Plant
<i>Lantana 'New Gold'</i>	Lantana
<i>Lavandula spp.</i>	Lavenders
<i>Muhlenbergia 'Regal Mist'</i>	Regal Mist
<i>Raphiolepis spp.</i>	Indian Hawthorn
<i>Rhamnus californica</i>	Coffee Berry
<i>Rhus integrifolia</i>	Lemonade Berry
<b>VINES</b>	
<i>Mac Fadyena unguis-cati</i>	Cat's claw vine
<i>Rosa banksias</i>	Lady Banks Rose
<b>GROUNDCOVERS</b>	
<i>Acacia redolens 'desert carpet'</i>	Dwarf trailing acacia
<i>Arctostaphylos 'John Dourley'</i>	John Dourley manzanita

- ❑ **Streets “A,” “B,” “C,” “D,” and “E”:** The streetscape for Streets “A” through “E” is as previously described in Figure 4-3. Table 4-5, *Streets “A,” “B,” “C,” “D,” and “E” Plant Palette*, provides a summary of acceptable plant materials within this zone.

**Table 4-7 STREETS “A,” “B,” “C,” “D,” AND “E” PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b>STREETS “A,” “B,” “C,” “D,” AND “E”</b>	
<b>TREES</b>	
<i>Lagerstroemia spp.</i>	Crepe Myrtle
<i>Phoenix dactylifera ‘Medjool’</i>	Date palm
<i>Quercus ilex</i>	Cork Oak
<i>Rhus lancea</i>	African sumac
<i>Schinus molle</i>	California pepper
<b>SHRUBS</b>	
<i>Agave ‘Blue Flame’</i>	Blue Flame Agave
<i>Agave parryii v. parryii</i>	Parrys agave
<i>Baccharis spp.</i>	Baccharis
<i>Cistus spp.</i>	Rockrose
<i>Festuca californica</i>	California fescue
<i>Grevillea ‘Canberra Gem’</i>	
<i>Grevillea lanigera</i>	Wolly Grevillea
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Heteromeles arbutifolia</i>	Toyon
<i>Lantana montevidensis ‘Lavender Swirl’</i>	
<i>Lantana ‘New Gold’</i>	Lantana
<i>Lavandula spp.</i>	Lavenders
<i>Muhlenbergia ‘Regal Mist’</i>	Regal Mist
<i>Pennisetum “Eaton Canyon”</i>	Compact Fountain Grass
<i>Phormium tenax</i>	New Zealand flax
<i>Pittosporum crassifolium</i>	
<i>Pittosporum tenuifolium</i>	Pittosporum
<i>Punica granatum ‘Nana Dwarf’</i>	Dwarf Pomegranite
<i>Raphiolepis spp.</i>	Indian Hawthorn
<i>Pittosporum tenuifolium</i>	Pittosporum
<b>VINES</b>	
<i>Gelsemium sempervirens</i>	Carolina jasmine
<i>Grewia caffra</i>	Lavendar star flower vine
<i>Mac Fadyena unguis-cati</i>	Cat's claw vine
<i>Rosa banksias</i>	Lady Banks Rosa
<i>Gelsemium sempervirens</i>	Carolina jasmine
<b>GROUNDCOVERS</b>	
<i>Acacia redolens ‘desert carpet’</i>	Dwarf trailing acacia
<i>Arctostaphylos ‘John Dourley’</i>	John Dourley manzanita

**C.8.4 STREETScape LANDSCAPING GENERAL REQUIREMENTS**

As shown in Figure 4-22, *Conceptual Street Frontage Landscaping*, where a tenant parcel is adjacent to a roadway, a landscaped parkway shall be provided. A 2-foot parking overhang and 15-foot landscaped parkway may be located adjacent to the parking area. Shrubs, groundcovers, and street trees may abut the curb-adjacent sidewalk. In addition, the following elements shall be considered:

1. The criteria for landscape frontages are most important in establishing a sense of character for the commerce center. Thus, the landscaping allowed in these areas is the most restrictive. In most cases, a parcel will only be required to install its local street frontage and on-site landscaping. Typically, but not always, collector street landscape frontages, due to slope conditions, will have been pre-installed by the master developer and/or Landscape Maintenance District.
2. Larger slope areas and slopes along major streets will be landscaped by the master developer and maintained by the Master Association. The configuration and extent of pre-installed and/or pre-existing landscape varies per parcel. It is the prospective owner's responsibility to determine the extent and nature of landscape adjacent to the site in question.
3. Although a planning area's internal landscape format is less restricted, a relationship should be developed between an individual planning area and the adjacent landscaping.

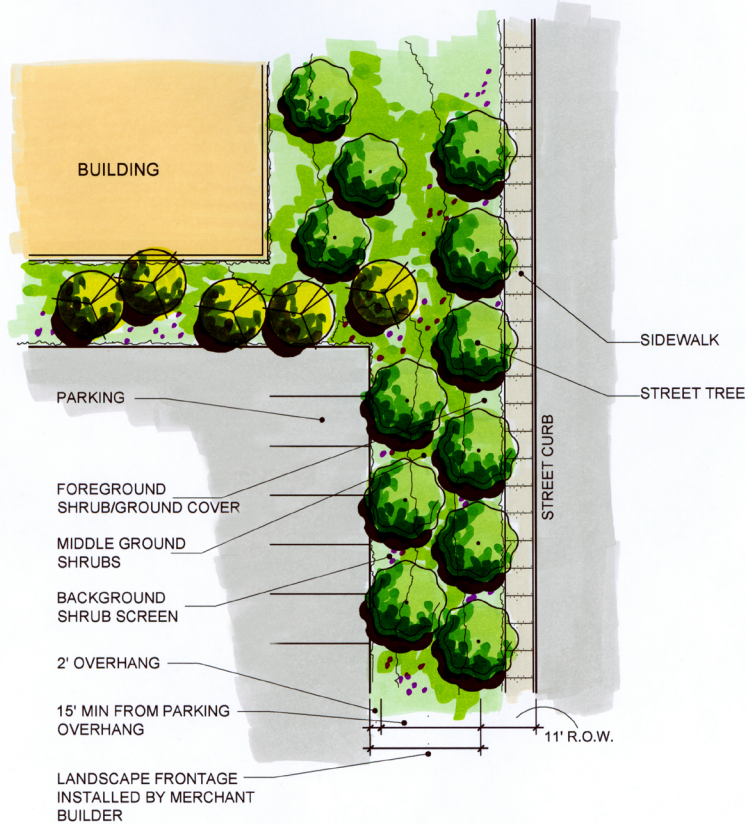
**C.8.5 PARKING AREAS PLANT PALETTE**

Parking areas are important in establishing and maintaining an overall theme of "Urban Desert California" due to their visual prominence. As shown in Figure 4-23, *Conceptual Parking Island Planting*, and Figure 4-24, *Conceptual Parking Island with Bio-Swale*, employee/visitor parking lots feature landscaped fingers at a minimum of every 9 stalls and alternating landscaped diamonds every 3 parking stalls. One 15-gallon minimum tree is required to be planted on every finger. Each island shall be a minimum width of 5 feet and shall be surrounded by a continuous concrete curb. All curbs shall be a minimum of 6-inches and shall feature a 12-inch concrete walk out, for a total of 18-inches for all planters next to parking spaces. This level of landscaping is not required in service area or truck yard parking lots and is limited to employee and visitor parking areas only.

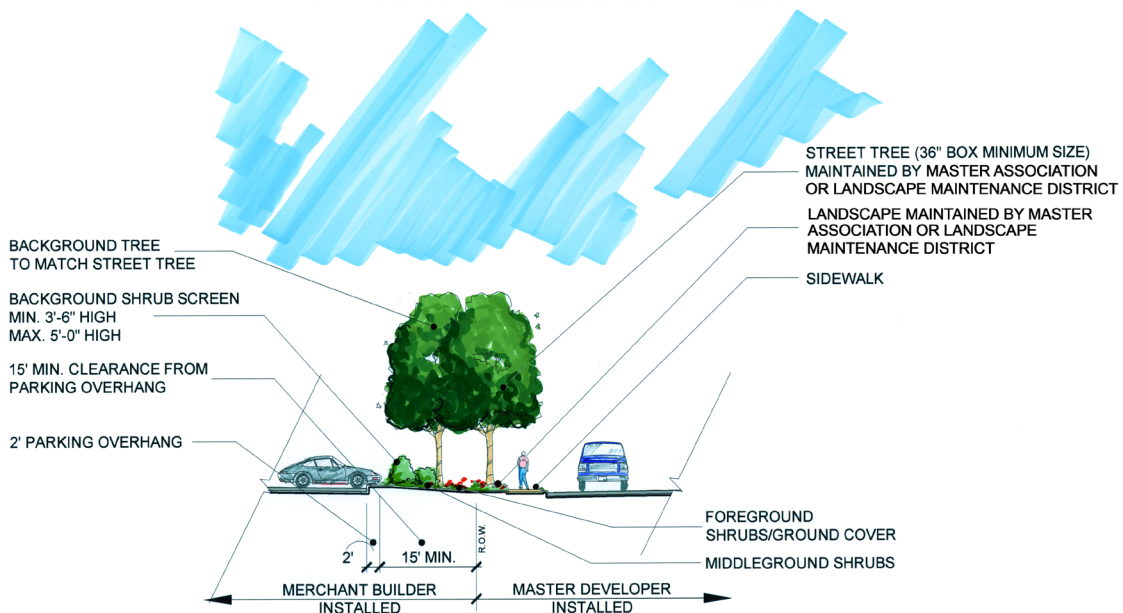
The shading of employee/visitor parking spaces shall conform to the requirements set forth in Riverside County Ordinance No. 348, Section 18.12, with the projected shade canopy calculated after 15 years of growth.

Bio-swales may be situated between parking islands. They are planted with grasses and feature a 2-foot parking overhang. Bio-swales should typically be 6 feet in width. Where a bio-swale is adjacent to the street frontage, it should be placed within a 15-foot-wide landscaped parkway, which may contain evergreen trees and street trees (minimum size is 36-inches). Truck courts and loading areas shall also feature landscaping, but at a reduced amount to ensure the functionality of these areas is not hindered.

Table 4-8, *Parking Area Plant Palette*, provides a summary of acceptable plant materials within this area.



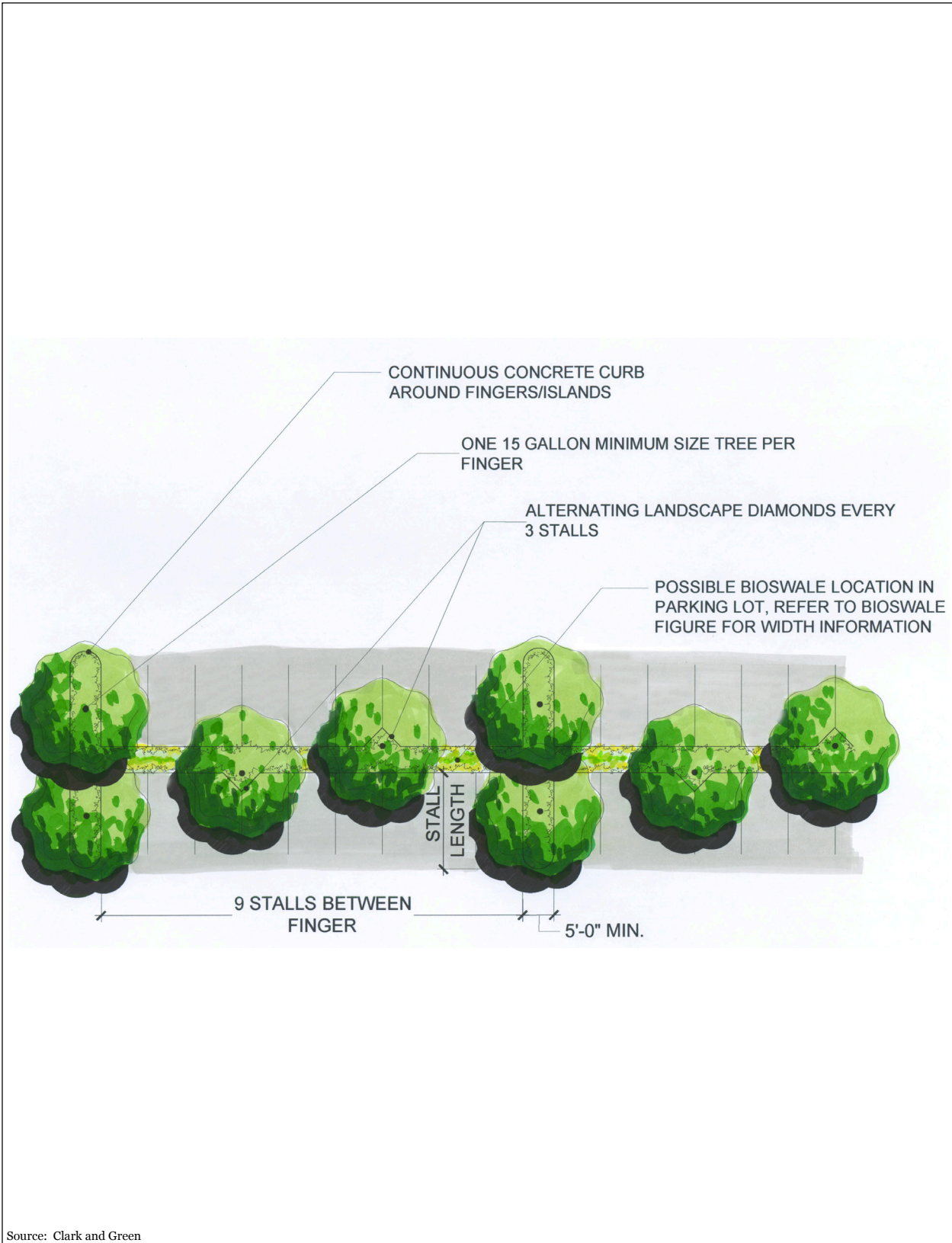
STREET FRONTAGE PLANTING (PLAN VIEW)



STREET FRONTAGE PLANTING (SECTION)

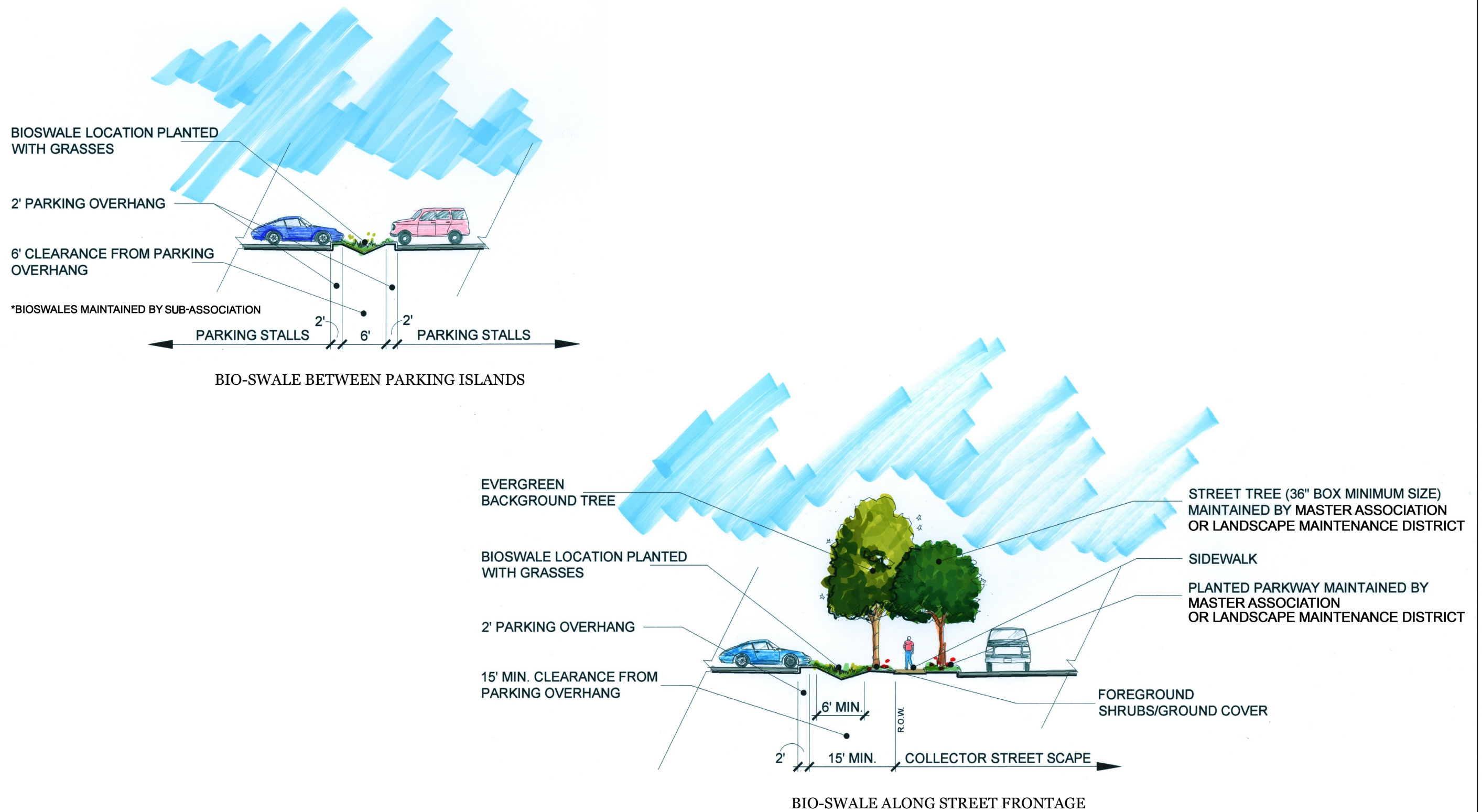
Source: Clark and Green

FIGURE 4-22



Source: Clark and Green

FIGURE 4-23



Source: Clark and Green

FIGURE 4-24

**Table 4-8 PARKING AREAS PLANT PALETTE**

SCIENTIFIC NAME	COMMON NAME
<b><i>PARKING AREAS</i></b>	
<i>Lagerstroemia spp.</i>	Crape Myrtle
<i>Melaleuca linarifolia</i>	Flaxleaf Paperbark
<i>Olea europaea (fruitless)</i>	Fruitless olive tree
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Platanus acerifolia</i>	London plane tree
<i>Rhus lancea</i>	African Sumac

**C.8.6 PARKING AREAS GENERAL REQUIREMENTS**

1. Employee and visitor parking lots shall feature landscaped fingers at a minimum of every 9 stalls and alternating landscaped diamonds every 3 parking stalls. One 15-gallon minimum tree is required to be planted on every finger. Each island shall be a minimum width of 5 feet and shall be surrounded by a continuous concrete curb. All curbs shall be a minimum of 6-inches and shall feature a 12-inch concrete walk out, a total of 18-inches for all planters next to parking spaces. This level of landscaping is not required in service area or truck yard parking lots and is limited to employee and visitor parking areas only.
2. Bioswales may be used in parking and/or service areas as a means to filter on-site run-off water. It is anticipated that these facilities will be accommodated for in visitor/employee parking and service and truck court landscape areas.
3. Views of truck courts and service areas shall be minimized or screened by dense landscape and/or architectural barriers. Service areas shall be located so that service vehicles have a clear and convenient access. Truck courts and loading areas shall also feature landscaping, but at a reduced amount to ensure that the functionality of these areas is not hindered. Landscaping in service areas should not disrupt vehicular and pedestrian circulation or create ‘blind spots’ for vehicular traffic.
4. The shading of employee/visitor parking spaces shall conform to the requirements set forth in Riverside County Ordinance No. 348, Section 18.12, with the projected shade canopy calculated after 15 years of growth.
5. There shall be a minimum 7-foot side planting area between building and parking (includes 2-foot overhang) and between a building and any drive aisle.
6. Parking areas shall be screened from street frontage by evergreen shrub masses and/or berms. This screening shall be at a minimum 3.5 feet high and at a maximum no higher than 5 feet.
7. Parking lot landscaping shall be designed and located so as to discourage pedestrians from having to cross any landscaped areas to reach building entrances.
8. Trees within 5.0 feet of curbs, paving, or structures shall receive root barriers.



**C.9 PLANT MATERIAL GUIDELINES**

The following section details specific requirements for all plant material within the SERRANO COMMERCE CENTER, including planting requirements, planting time, soil testing, topography restrictions, water-conserving methods, and invasive species.

**C.9.1 GENERAL PLANTING REQUIREMENTS**

1. All areas required to be landscaped shall be planted with turf, groundcover, shrub, or tree materials selected from the plant palette contained in these Landscape Design Guidelines.
2. The owners of parcels which require landscape development shall consider any existing common landscape areas adjoining their property. Where feasible, landscape development shall reinforce or be compatible with such existing common area setting.
3. Cut slopes equal to or greater than three (3.0) feet in vertical height and fill slopes equal to or greater than three (3.0) feet in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding 15.0 feet in vertical height shall be hand planted with shrubs and trees. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
4. All planting shall conform to requirements of the County's Building and Safety Department and County of Riverside Ordinance No. 859 regarding standards for erosion control methods for slopes and other landscaped areas.
5. All street or parkway trees shall be planted in the following locations:
  - 10.0 feet from all water and sewer lines.
  - 5.0 feet from all flat hardscape (sidewalks, curbs, vaults, etc.) except as otherwise approved by Riverside County.
  - 15.0 feet from all drive approaches.
  - 25.0 feet from all street intersection curb returns.

**C.9.2 PLANTING TIME**

Plant material palettes for the SERRANO COMMERCE CENTER contained within these Landscape Design Guidelines are compatible with the climatic setting of the area. However, the use of some of these recommended plant materials may not be appropriate in all cases, depending on the plants' location, exposure, and relationship to other influential factors.

Due to the climate extremes of the site, the installation of plant materials during the coldest winter months (December through March) and the hottest summer/fall months (July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from damage or sun/heat exposure resulting in partial or entire foliage loss, even through such materials are perfectly suited to the temperature ranges once established. If planting must be done during these periods, plant establishment may be difficult and required extra care and attention.

**C.9.3 HORTICULTURAL SOILS TEST REQUIREMENTS**

Soil characteristics within the development may vary. The owners of parcels that require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. A soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

**C.9.4 TOPOGRAPHY**

The Temescal Valley lies between the Cleveland National Forest and the Gavilan Hills. There may be extreme cold conditions occurring during winter months. Cold weather conditions within the commerce center are affected by the development patterns of the project and are difficult to predict in advance. Therefore, certain areas may be topographically ill-suited for certain plant materials. Therefore, adjustments may need to be made if plant materials become unhealthy or die throughout the life span of the development.

**C.9.5 DROUGHT TOLERANCE/WATER CONSERVING PLANT MATERIAL**

There are degrees of drought tolerance for plants. Certain plants are capable of withstanding a lack of water for a greater period of time than others. Other plants may thrive on low water amounts throughout the year once established.

All drought-tolerant plants require more watering during the initial installation period and for at least a three month maintenance period. If drought-tolerant plants are installed in the warmer months, more supplemental water will be required until the plant is established. Additionally, drought-tolerant plants need proper deep-watering practices to encourage deep root system development. After the drought-tolerant plants established within the development have grown for a full season, the water application rate should be diminished.

Although the plants contained within these Landscape Design Guidelines require less water than other landscaping species of plants, drought-tolerant and California native plants still need regular maintenance such as pruning, fertilizing, deep watering, and examination for pests and diseases.

**C.9.6 INVASIVE SPECIES**

Non-native invasive plant species shall not be used in landscape plans, fuel modification zones, or buffer zones that interface with preserved natural open space areas. The disposal of cuttings of these or any other ornamental plants in preserved natural open space areas is strictly prohibited. Controlled invasive non-native species include the following and must not be used:

- Non-native Acacia's (*Acacia spp.*)
- Tree of Heaven (*Ailanthus altissima*)
- Giant reed (*Arundo donax*)
- Hottentot-fig (*Carpobrotus edulis*)
- Garland chrysanthemum (*Chrysanthemum coronarium*)
- Pampas grass (*Cortaderia atacamensis*)
- French broom (*Cytisus monspessulans*)

- Scotch broom (*Cytisus scoparius*)
- Crystal ice plant (*Mesembryanthemum crystallinum*)
- Small-flowered ice plant (*Mesembryanthemum nodiflorum*)
- Bermuda buttercup (*Oxalis pes-caprae*)
- German ivy (*Senecio mikanoides*)
- Pink periwinkle (*Vinca major*)
- Tamarisk (*Tamarix spp.*)
- Gorse (*Ulex europaeus*)

In addition to the species listed above, any plant species listed in Section 6.1.4 of the MSHCP or the “List of Most Invasive Wildland Pest Plants” prepared by the California Exotic Pest Plan Council shall be prohibited within the SERRANO COMMERCE CENTER.

These plants may not be used in any plant palettes, regardless of location in the development, due to their ability to readily spread via airborne seeds.

#### **C.9.7 PLANT PEST AND DISEASE CONTROL**

A consistent problem in ornamental and native planting schemes is disease and pests. There is no way to predict the occurrence of new pests or diseases; however, there are useful methods to limit the impact of outbreaks. These include the following:

1. Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
2. Inspect plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
3. Avoid a mono-culture approach to plant material design. This will buffer the spread of plant problems and limit the concentration of host plants, thus diluting the breeding capacity of pest or disease problems. Also, any damage that does occur will be less visually obvious and devastating to the appearance of the community landscape.
4. Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
5. Place plants in similar hydro-zone groupings to maximize efficient water use.

**D. ARCHITECTURAL DESIGN GUIDELINES**

This section sets forth architectural design guidelines for the commercial retail and light industrial land uses of the SERRANO COMMERCE CENTER. In conjunction with the Landscape Guidelines, the Architectural Guidelines are intended to guide the development of a cohesive and attractive commerce center. This section identifies the general architectural style and architectural “elements” that should be considered in all building development.

Developers, builders, engineers, architects, landscape architects, and other design professionals should utilize the guidelines in order to maintain design continuity throughout the commerce center. Because of the evolving nature of architectural styles, the commerce center identity will be expressed primarily through landscape, hardscape, and commerce center-wide elements such as entry monumentation. Architecture allows individual developers to use styles that are consistent with and complementary to these features.

These Architectural Design Guidelines are organized in a manner that is clear and concise to ensure a consistent architectural expression while allowing for flexibility in design. These guidelines reinforce the commerce center’s “Urban Desert California” theme through a uniformed aesthetic. The ultimate expression of the guidelines contained herein should consider the type of land use (light industrial or commercial retail), as well as the visual prominence of the structure when viewed from public spaces within and surrounding the commerce center.

All photographs, illustrations, and diagrams contained in this section are intended to convey the overall theme. Exact replication of the examples is neither required nor anticipated.

**D.1 ARCHITECTURAL DESIGN THEME**

The SERRANO COMMERCE CENTER is an innovative business center with a synergistic mix of retail, office, and industrial uses. The commerce center is a quality environment where companies can locate, grow, and thrive. To complement the “Urban Desert California” theme of the commerce center, the structures should exhibit a Southwest Contemporary architectural style. This architectural style is complementary to the desired community character of the surrounding region, as described in the Temescal Valley Design Guidelines.

The Southwest Contemporary architectural style draws its influences from the expansive landscape of mountains and deserts of Southern California and strikes a balance between the natural environment and man-made facilities. Building colors should be warm and rich in tones, and primary building materials should be concrete/concrete block, stucco, or stone. When viewed from the street or freeway, buildings in the SERRANO COMMERCE CENTER should complement, not detract from, the beauty of the natural landscape. The design of the buildings with the SERRANO COMMERCE CENTER should maximize the effects of the strong desert sunlight on architecture. Buildings shall feature strong masses and void to an interplay of highlight and shadow. Additionally, designs may also alter colors, materials, and textures to articulate façades and create visual appeal.

Design elements shall be compatible in character, massing, and materials in order to promote a clean and contemporary feel. Individual creativity and identity is encouraged, but care must be taken to maintain design integrity and compatibility among all parcels in order to reinforce a unified image

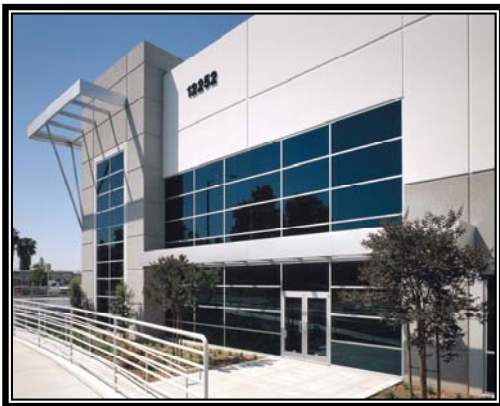
within the SERRANO COMMERCE CENTER. Generally, buildings within the SERRANO COMMERCE CENTER shall comply with the following architectural standards:

- The architectural style of structures within the commerce center shall be Southwest Contemporary or a similar expression of the style;
- No residential styles such as English Tudor, Victorian, or Spanish colonial are allowed. Architectural styles that are overly trendy or strongly historical are not permitted.
- The architectural style of the structures within the commerce center should complement, not detract from, the general architectural atmosphere of the Temescal Canyon area.
- Appropriate primary exterior building materials include stucco, concrete, plaster, masonry, stone, and similar materials.
- The use of metal fabrications or curtain wall areas is appropriate only for contrasting elements.

## **D.2 SITE PLANNING GUIDELINES**

The design of building sites, public spaces, and the pedestrian environment plays an important role in creating an innovative, exciting commerce center with a positive atmosphere. Building site design influences not only how users experience the commerce center, but also how commuters on nearby roadways view the development. A properly sited development is both visually-pleasing and efficient.

Design of building sites within the SERRANO COMMERCE CENTER is an essential component of the land use plan. Buildings shall be located in a manner that enhances efficient vehicular and pedestrian access. The entrance to a building should be made obvious through changes in massing and materials. Changes in height of elements and the creation of voids in the primary massing shall clearly denote entry locations. Furthermore, buildings shall be oriented in a manner that is efficient, appropriate to site conditions, considerate of its visibility from public viewing areas, complementary to the commerce center's overall architectural composition, and compatible with nearby projects.



*Clearly define pedestrian entrances to buildings.*

Special consideration shall be given to the site planning of structures located at the following locations within the commerce center:

❑ **Commercial Retail in Planning Area 1 and Smaller-Scale Light Industrial or Commercial Office Uses in Planning Area 2**

Structures within the commercial retail area (Planning Area 1) and the smaller-scale light industrial or commercial office uses in Planning Area 2 shall be carefully sited to ensure the building are visually pleasing to commuters on I-15 and Temescal Canyon Road, as well as when viewed from key public areas within the commerce center interior.



*The design and siting of buildings within Planning Areas 1 and 2 shall create visual interest and clearly define pedestrian entrances.*

To achieve this goal, buildings should be sited strategically to maximize visual interest and reduce the perceived mass of the structure. Highly visible façades are also subject to a degree of architectural articulation, as explained in Section IV.D.3.2, *Façade Treatments*.

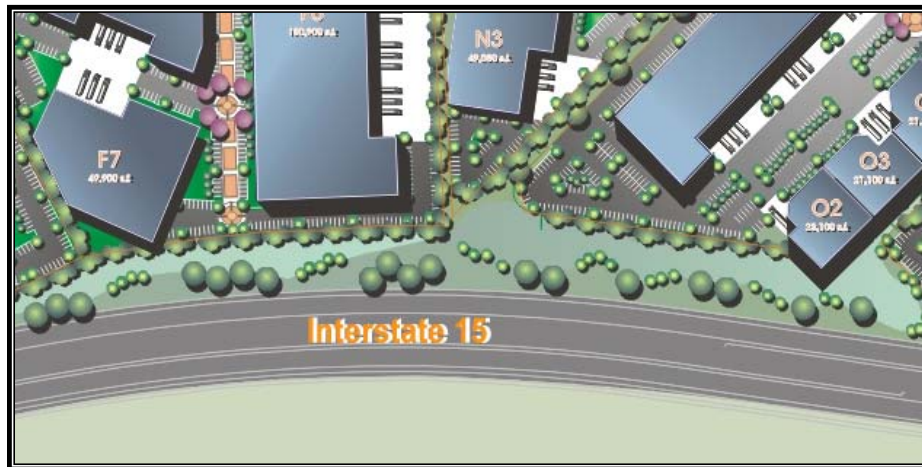
Planning Area 2 is expected to contain an emphasis on professional office uses. In general, the entrance to buildings within Planning Area 2 shall be oriented towards the primary public view within the commerce center along the street frontage. Pedestrian access to the structures shall also be designed so it is visible from the surrounding roadways, sidewalks, and parking areas. Elements such as trash enclosure areas, loading doors, service docks, or other outdoor equipment shall be oriented in a manner that minimizes their visibility from the Commercial Retail area and I-15, as well as surrounding roadways, pedestrian walkways, and public parking lots.

❑ **I-15 Corridor**

The western portion of the SERRANO COMMERCE CENTER is visible to commuters on the adjacent I-15 freeway, which is highly beneficial to the businesses located within the commerce center. However, the public prominence of these structures as viewed from I-15 requires that special care be taken to ensure these buildings are visually appealing when viewed from this scenic highway. The buildings adjacent to I-15 shall be sited in a manner that reduces the perceived mass of structures. Structures may be placed perpendicular to I-15 to minimize the appearance of long, unbroken horizontal planes. Alternatively, the façade

shall be architecturally articulated with detailing that creates visual interest when viewed from I-15.

Additionally, the combination of one- and two-story elements, as well as the use of varying roof forms, is encouraged to create visual interest. Elements such as trash enclosure areas, loading doors, service docks, or other outdoor equipment shall be oriented in a manner that minimizes their visibility from I-15, as well as surrounding roadways, pedestrian walkways, and public parking lots. Highly visible façades are also subject to a degree of architectural articulation, as explained in Section IV.D.3.2, *Façade Treatments*.



*The buildings adjacent to I-15 may be placed perpendicular to I-15 to minimize the appearance of long, unbroken horizontal planes.*

#### ❑ **Temescal Wash Interface**

The eastern boundaries of Planning Areas 5, 6, 7, and 9 abut the open space-conservation area in Planning Area 12, and located east of Planning Area 12 is the Temescal Wash. Planning Areas 5, 6, 7, and 9 consist of light industrial land uses, and access from these areas to the open space-conservation area and the Temescal Wash is restricted by fencing. The Temescal Wash and the Open Space – Conservation Area (Planning Area 12) combine to create long sight distances and a buffer between the project and residences to the east. Therefore, façades that face the Temescal Wash are not subject to a high degree of architectural articulation. Lighting of buildings adjacent to Planning Area 12 shall be carefully designed to minimize light spillover and other visual impacts.

Façades that face public areas within the SERRANO COMMERCE CENTER shall include architectural articulation. In general, the entrance to buildings within Planning Areas 5, 6, 7, and 9 shall be oriented towards the primary public view within the commerce center along the street frontage. Pedestrian access to the structure shall also be designed so it is visible from the surrounding roadways, sidewalks, and parking areas. Elements such as trash enclosure areas, loading doors, service docks, or other outdoor equipment shall be placed in a manner that minimizes their visibility from internal public roadways, pedestrian walkways, and public parking lots. More information on visible façades is provided in Section IV.D.3.2, *Façade Treatments*.



*Conceptual site plans adjacent to Planning Area 12.  
Larger buildings also could occur in these areas.*

### **D.3 ARCHITECTURAL DESIGN ELEMENTS**

A primary goal of the SERRANO COMMERCE CENTER is to develop buildings that exhibit an excellent mix of design and function. The architecture planned for individual building units has been developed through consideration of the SERRANO COMMERCE CENTER theme of “Urban Desert California.” The man-made aspects of the SERRANO COMMERCE CENTER shall be simple, powerful, and rugged.

When large building façades are in danger of becoming monotonous, the use of design elements shall be used to create visual interest. In addition to the landscape architecture elements discussed in Section IV.C of this Specific Plan, the following elements shall be carefully considered during building design to ensure the creation of a visually-appealing commerce center:

- Building Form, Mass, and Scale
- Façade Treatments
- Windows and Doors
- Roof Forms
- Exterior Colors and Materials
- Pedestrian Entrances
- Outdoor Lighting

The following functional elements shall be carefully designed and/or screened to ensure they are compatible with the overall SERRANO COMMERCE CENTER theme of “Urban Desert California”:

- Loading Doors and Service Docks
- Other Functional Elements, including ground or wall-mounted equipment, rooftop equipment, and trash enclosures

These elements are discussed in detail below.



**D.3.1 BUILDING FORM, MASS, AND SCALE**

Building form is the most basic architectural element that influences perception of the SERRANO COMMERCE CENTER. As described in Section IV.D.2, *Site Planning Guidelines*, building forms are especially important for the elevations within the commercial retail area (Planning Area 1) and for the smaller-scale light industrial or commercial office uses in Planning Area 2, as well as buildings that face the I-15 Corridor.

Clean, simple geometric forms shall constitute the overall building form. Rectangular forms are encouraged to promote balance, and visual interest should be created through architectural articulation. Arbitrary, complicated building forms shall be avoided. Furthermore, monolithic or unarticulated solid and glass blocks are prohibited.

Building forms shall be sited in a manner that creates visual interest when the structure is viewed from key public areas, such as the I-15 Corridor, roadways within the commerce center, or along pedestrian walkways. This prevents the appearance of long, unbroken horizontal planes.



*Examples of appropriate building forms.*

Another important element in creating a visually-appealing commerce center is building mass and scale. The perceived scale of a building directly relates to its relation to adjacent buildings and natural features. Buildings adjacent to open space appear smaller in proportion to a larger building adjacent to a small building. The larger a building is perceived to be and the more highly visible the building is from primary roadways and other public viewing areas, the more important it is to consider the details of mass and scale at the streetscape level. Attention to setbacks, building types, and architectural styles will help to provide variation in the mass and scale of buildings.

Design articulation of the building façades, pedestrian entrances, rooflines, and vertical and horizontal planes also effectively reduces the visual mass of a building. A description of appropriate architectural articulation is provided in Section IV.D.3.2, *Façade Treatments*.

It is important to note that buildings in the interior of the SERRANO COMMERCE CENTER that are not visible by commuters on I-15 are appropriate for larger-scale industrial and warehousing facilities that have inherently larger mass. In comparison to highly visible façades, a high level of articulation is not required on façades obscured from view from I-15, the commercial retail area, the smaller-scale light industrial or commercial office uses in Planning Area 2, or public roadways within the

commerce center; furthermore, a high level of articulation is not required on façades that front the Temescal Wash. In summary:

- The degree of architectural articulation required to reduce the perceived mass and scale of buildings within the SERRANO COMMERCE CENTER shall consider the visual framework of their specific locations (as described in Section IV.D.2, *Site Planning Guidelines*, and Section IV.D.3.2, *Façade Treatments*).
- Mass and scale of buildings should also consider the adjacent streetscape environment and pedestrian environment.
- Buildings within the SERRANO COMMERCE CENTER shall exhibit variations in massing, material, and color in order to reduce the apparent size of larger, boxy building masses.
- Primary building entries should be highlighted through projections, corner tower elements, tall voids, or a central mass at an entry plaza (see Section IV.D.3.5, *Pedestrian Entrances*, for more information).



*Appropriate articulation can break up the visual mass of a building and call attention to pedestrian entrances.*

### **D.3.2 FAÇADE TREATMENTS**

As explained above, the perceived building form, mass, and scale of structures and the siting of buildings plays an important role in creating a successful, efficient commerce center. In addition, the architectural articulation of building façades is extremely influential on the overall appearance of the SERRANO COMMERCE CENTER. An attractive appearance to building façades can be achieved through careful detailing, especially at the base of buildings, along parapets, and around entries and windows.

All building façades within the SERRANO COMMERCE CENTER shall be architecturally articulated by varying mass, form, textures, or colors to avoid the monotonous appearance of long, box-like façades. Landscaping can also create interest and soften building façades. Pedestrian and ground-level building entries should be recessed or covered by architectural projections, roofs, or arcades in order to provide architectural and visual relief. Ground-level stories of buildings adjacent to walkways and roadways shall also be architecturally articulated by the introduction of lower building masses, signage, doors, light fixtures, and/or planters in order to create human scale.



*Shown above are examples of appropriate architectural articulation for buildings within the commerce center.*

Trim detailing on façades may include metal finished in a consistent color, plaster, or concrete elements finished consistently with the building treatment. Use of extraneous “themed” detailing, like foam cornice caps, foam moldings and window detailing is discouraged. Instead, architectural detailing shall be simple and modern. Requirements for specific façades within the SERRANO COMMERCE CENTER are described below.

❑ **Commercial Retail Area and Smaller-Scale Light Industrial or Commercial Office Uses in Planning Area 2 Architectural Treatment**

The commercial retail area (Planning Area 1) and the smaller-scale light industrial or commercial office uses in Planning Area 2 shall feature a particularly pedestrian-oriented campus environment. Blank walls shall be carefully balanced with windows so that there are no large expanses of blank wall and no large expanses of glass.

❑ **I-15 Corridor Architectural Treatment**

The façades of the office and light industrial buildings adjacent to the western boundary of the SERRANO COMMERCE CENTER should consider their appearance in relation to the scenic nature of the I-15 Corridor. Greater architectural detail is appropriate on these façades and enhanced landscaping on the freeway frontage is required. Free-standing architectural treatment may be used in front of the building walls to create layering.

As previously described, building forms should be particularly simple and dramatic and should maximize the play of light on mass and void to provide strong contrasts. Buildings should be positioned perpendicular to the freeway, rather than consistently parallel to the freeway. This will avoid the appearance of a long expanse of walls.

❑ **Project Interior Architectural Treatment**

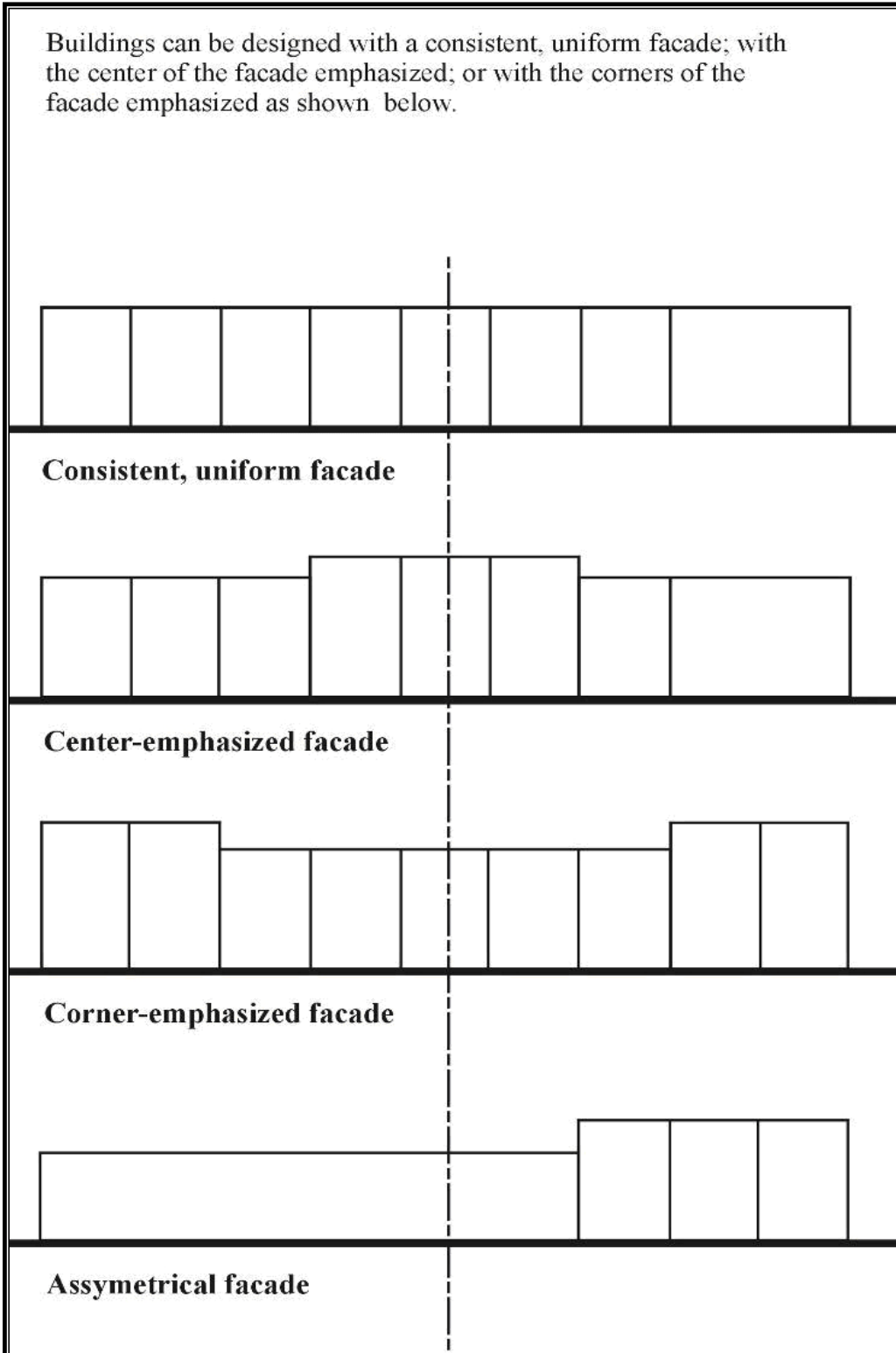
As previously noted, buildings that are located within the interior of the SERRANO COMMERCE CENTER and are not visible by commuters on I-15 are appropriate for larger-scale industrial and warehouse facilities. These structures have inherently larger expanses of solid walls. Appropriate architectural expression of these façades should include reveals, accents, and changes in building material or color.



*Examples of appropriate façade articulation for the Commercial Retail area in Planning Area 1, Smaller-Scale Light Industrial or Commercial Office uses in Planning Area 2, and along the I-15 Corridor.*



*Additional examples of appropriate façade articulation for the Commercial Retail area, Smaller-Scale Light Industrial or Commercial Office uses in Planning Area 2, and the I-15 Corridor.*



*Examples of appropriate façade articulation for the interior areas of the commerce center.*

**D.3.3 WINDOWS AND DOORS**

Window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen. The layout of other doors and windows on individual buildings' façades shall be placed in a repetitive pattern to create continuity.



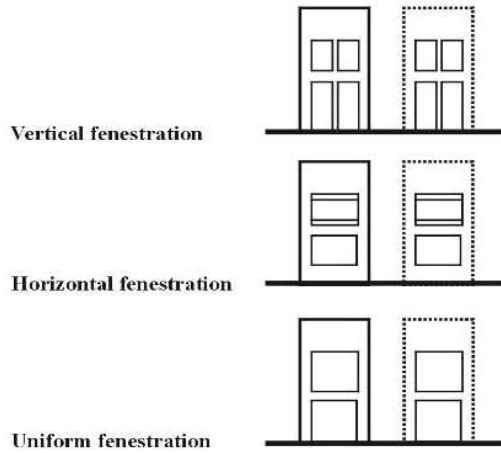
*Examples of appropriate window designs.*

Windows should be proportioned to emphasize the wall and solid forms. Fenestration (window design) should define function and structure and should be consistent in form, pattern, and color. The window trim shall be metal that is finished in a consistent color on each building. Glass shall be clear or tinted with medium to high performance glazing. The use of recessed glass along office components and entry components is encouraged to enhance the visual play of light and shadow. Windows should also be placed within street-facing elevation(s) to help incorporate a human-scale design element into large buildings.

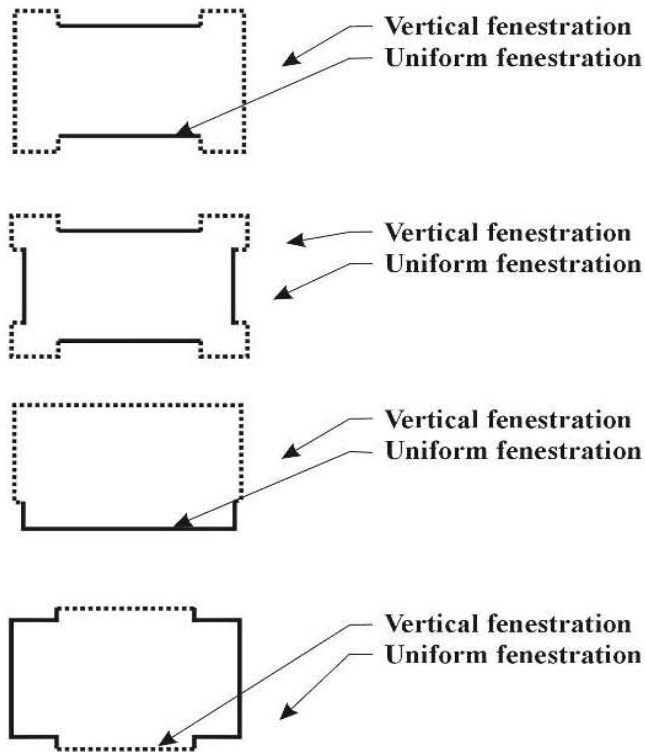
Window fenestration is of particular importance to building façades within the commercial retail area (Planning Area 1) and for the smaller-scale light industrial or commercial office uses in Planning Area 2, as well as for buildings adjacent to the I-15 Corridor. Windows may be desired along the Temescal Canyon Wash interface to allow views of the open space to be seen from the buildings' interior spaces.

**Expression**

Buildings can be designed with the fenestration expressed vertically, horizontally, or uniformly as shown below.



The various expressions can be mixed on a building as shown below.



*Examples of how window design and placement can increase the visual appeal of a building façade.*



**D.3.4 ROOF FORMS**

Roof forms are expected to be horizontal and flat; however, the occasional architectural projection is permitted in order to create visual interest. Varying roof forms or the use of architectural projections creates visual interest when the structure is viewed from surrounding roadways, parking lots, pedestrian walkways, the I-15 Corridor, and from other locations within the commerce center.

Therefore, varied parapet heights are encouraged along public streets. Exposed downspouts and overflow holes on building fronts are prohibited. Gable, hip and mansard roofs are highly discouraged. All rooftop mounted equipment is required to be screened, as described in Section IV.D.2.6, *Functional Elements*.

Additionally, the type of roofing materials and color should be carefully considered because the type of material and color play key roles in reducing heat islands and long-term energy costs. Consideration should be given to roofing materials that have a high Solar Reflectance Index (SRI). Preferred roof color is white. Roofs shall be designed so that they may support the installation of solar panels, solar “thin film,” or other technological advances in roof-mounted solar energy capture systems. Other than the provision of an electrical connection for future installation of a rooftop solar system, buildings are not required to include solar technologies when first constructed, but flat roofs must be capable of supporting the solar technology if it is desired in the future.



*The use of varying roof forms or architectural projects creates visual interest.*

**D.3.5 EXTERIOR COLORS AND MATERIALS**

The use of building materials and colors plays a key role in developing a clean, contemporary visual environment; therefore, the number of different materials, colors, and styles should be limited. Slight variations in tone and value are encouraged within the SERRANO COMMERCE CENTER.

Unfinished exterior surfaces are not permitted on any façade within the commerce center. Primary building materials shall include masonry; painted, textured, or sandblasted concrete; and plaster. Acceptable finish materials include, but are not limited to pre-cast concrete or poured-in-place concrete with textured and/or painted finish; concrete masonry units with painted, stained, or ceramic clad finish; tile or tile panel systems; glass or glazing units; and glass blocks. If exterior theme walls are designed as part of a project, they shall be constructed of concrete or masonry materials. Material changes shall occur at intersecting planes, preferably at the inside corners of change of wall planes, or where architectural elements intersect.



*Examples of appropriate building materials and exterior treatments.*

Exterior wall colors shall be predominantly strong earth-tones (such as ochre, a golden-yellow or light yellow brown) or lighter neutrals (such as ivory or taupe). Accent elements may be bolder in color, using strong earth-tone colors. Roofs should be white or light colored. It is not the intent of these Design Guidelines to specify an exact color palette, but to provide an initial range of complementary earth tones to demonstrate a desired range of color and texture.

Bright primary colors, garish use of color and arbitrary patterns or stripes will clash with this palette and are not acceptable, except in signage logos. Exposed downspouts, service doors and mechanical screen colors are to be the same as adjacent wall color. The color of all site elements and furnishings should be color coordinated with surrounding architecture. A depiction of the acceptable color palette for the commerce center is provided in Figure 4-25, *Conceptual Exterior Color Palette*.

Colors for primary walls are to be within the range of colors represented by the following list:

**Warm Earth Tones**

Frazeo Pavlova CL2801W  
Frazeo Star Thistle CL2891W  
Frazeo Loop CL2841W  
Frazeo Prose CL2781W

**Cool Earth Tones**

Frazeo Filled CL2851W  
Frazeo Profusion CL2811W  
Frazeo Isadore CL2691W  
Frazeo Museum CL2681W



FIGURE 4-25

Accent colors are to be with the range of colors represented by the following list and must be compatible with the exterior glazing colors:

**Accent Colors**

Fraze Statuesque CLC1220M  
Fraze Neutron CL1206D  
Fraze Chablis CL2763M  
Fraze Chocolate Brownie CL2627N  
Fraze Citadel CL2903M  
Fraze Grecian CL2973M

**Window Glazing Colors**

Preferred: Silver, bronze, black, blue or green.  
Prohibited: Black gold, copper ranges, and clear.

**D.3.6 PEDESTRIAN ENTRANCES**

The design of pedestrian entrances is also an important architectural element that impacts the look and feel of the SERRANO COMMERCE CENTER. Entrances should be clearly defined and inviting. Articulation and color should be used for identity and interest. Light, open inviting aspect should be created by the architecture. Entrances should be recessed and protected from the environmental elements, providing either awnings, canopies or other architectural features. Dark, confined entries are inappropriate as well as abrupt entries, flush doorways or tacked-on entry alcoves. Other elements that are pivotal to creating a pleasing pedestrian environment are explained in Section IV.D.4, *Public Spaces and the Pedestrian Environment*.

**D.3.7 OUTDOOR LIGHTING**

Outdoor lighting of the SERRANO COMMERCE CENTER is an important architectural element that creates visual appeal and adds to security. All parking lot light fixtures shall be consistent in design. Additional lighting features for illumination of buildings and other site features are encouraged. Light shall be located and designed to minimize direct glare beyond the parking lot or service area. Walkways from parking areas to building entries shall be illuminated brighter than their surroundings. Similarly, building entries should be illuminated brighter than the other portions of the building. Light bollards are encouraged throughout the SERRANO COMMERCE CENTER to illuminate all sidewalks and connecting walkways.

Building-mounted lights shall be solely for architectural purposes on the fronts and sides of buildings visible from the streets. They are not acceptable in these locations for general parking lot illumination. They are permissible for general illumination at the rear of the buildings or in truck courts if the light is directed downward and concentrated so “spill over” to other properties does not occur.

Street lights, parking lot lighting and other artificial illumination sources shall be positioned, directed, and shielded where necessary to avoid light spill-over in to the MHSCP Conservation Area. Artificial light sources shall be restricted to the minimum necessary for safety and security purposes in Specific Plan Planning Areas 5, 6, 7, and 9, in areas adjacent to the MSHCP Conservation Area.



*Examples of appropriate wall- and ground-mounted lighting and parking lot lighting.*

**D.3.8 FUNCTIONAL ELEMENTS**

The design and location of functional elements common to commercial retail and/or light industrial buildings should be carefully considered. Examples of functional elements include loading doors, service docks, ground or wall-mounted equipment, rooftop equipment, and trash enclosures. The design and placement of these elements should minimize their prominence when viewed from surrounding public roadways, pedestrian sidewalks, public parking lots, and other locations within the commerce center, as well as from the I-15 Corridor.

**❑ Loading Doors and Service Docks**

Loading doors, service docks, and equipment areas should be oriented or screened so they are not easily visible from public viewing areas within Planning Areas 1 and 2 or from Temescal Canyon Road and I-15. “Cross-dock” distribution buildings shall also be oriented or obscured so the staging area is screened from view from Temescal Canyon Road and I-15. Screening may be accomplished with solid walls that are compatible with the architectural expression of the building. Screening may also be accomplished by a combination of landscaping and/or berms.

Loading/service areas are not permitted to encroach into any required landscape setbacks. No loading or unloading activity is permitted to take place from public streets. Service vehicles shall have clear and convenient access onto and within the site and should not disrupt vehicular and pedestrian circulation.



*Examples of appropriate screening of loading docks and service doors.*

**❑ Ground or Wall-Mounted Equipment**

Examples of exterior ground-mounted equipment include, but are not limited to mechanical equipment, electrical equipment, emergency generators, boilers, storage tanks, risers, electrical conduits, gas lines, cellular telephone facilities, and satellite dishes. Typical ground-mounted equipment, such as transformers, shall be screened so as not to be visible from public viewing areas within Planning Areas 1 and 2 and/or from the adjacent public street, Temescal Canyon Road, and I-15. Screening may be accomplished with site walls or landscape elements that are consistent with these guidelines. Screen walls shall be designed as an integral part of the architectural and landscape concept. Electrical equipment rooms shall be located within the building envelope. Pop-outs or shed-like additions are prohibited.

Wall-mounted items, such as roof ladders or electrical panels, should be located away from the street façade. They should be screened or incorporated into the architectural elements of the building so as not to be visually apparent from the street or other public areas within the SERRANO COMMERCE CENTER.



*To reduce its visual impact, of wall-mounted equipment may be screened by landscaping or painted the same color as the primary structure.*



*Landscaping is one alternative for screening ground-mounted equipment from public view.*

**☐ Rooftop Equipment**

Examples of rooftop equipment include mechanical equipment, electrical equipment, storage tanks, cellular telephone facilities, satellite dishes, skylights, vents, exhaust fans, smoke hatches, and mechanical ducts. All rooftop equipment shall be screened so as not to be visible from public streets within Planning Areas 1 and 2 and/or from the adjacent public street, Temescal Canyon Road, and I-15. Rooftop screens shall be integrated into the architecture of the main building. Wood rooftop screens are prohibited. Additionally, the roofs shall be accessed through roof hatches, not exterior ladders. Roof hatches shall be located so that guardrails at parapets are not required.



*Rooftop equipment shall be screened in a manner that is consistent with the appearance of the primary structure.*

**☐ Trash Enclosures**

Trash bins and central recyclable material collection areas should be oriented or screened so they are not easily visible from public viewing areas within Planning Areas 1 and 2 and/or from Temescal Canyon Road and I-15. Furthermore, trash enclosures shall be located away from the building's main entrance. At a minimum, it is suggested that trellis and/or other architectural enhancements are utilized for trash enclosures within the SERRANO COMMERCE CENTER. All outdoor refuse containers shall be screened with minimum 6-foot high enclosure. The enclosure shall be of non-combustible, durable materials and designed with finishes and colors that are unified with the surrounding architecture. Refuse areas shall have clear and convenient access for collection. Refuse enclosures shall have solid, latching gate.



*Trash enclosures should be oriented or screened so they are not easily visible from public viewing areas.*



**D.4 PUBLIC SPACES AND THE PEDESTRIAN ENVIRONMENT**

As described above, the careful siting of buildings, as well as the use of architectural elements, is extremely important in creating a visually-appealing commerce center. In addition, the design of public spaces and amenities can enhance the design of the SERRANO COMMERCE CENTER and promote pedestrian activity.

**D.4.1 PEDESTRIAN CIRCULATION**

The SERRANO COMMERCE CENTER contains a system of pedestrian walkways that connect major building entries with each other, parking areas, and courtyard and plazas areas. Additionally, sidewalks are located adjacent to all public roadways. Pedestrian pathways shall also provide access to outdoor employee break areas, as described in Section IV.C.6.2.

Walkways should connect to courtyards and plazas within the project. Sidewalks are 5.0 feet wide and follow ADA/Title 24 standards for surfacing, slope, and other requirements. Conflicts between pedestrian and vehicle circulation are minimized through the utilization of pathways for direct pedestrian access from parking areas to business entries and throughout the site with internal pedestrian linkages.



*Sidewalks serve as a recreational amenity for employees and users of the commerce center and encourage pedestrian activity within the site.*

**D.4.2 PARKING AREAS**

Sufficient on-site parking to accommodate all vehicles associated with the permitted uses of the commerce center must be provided. Visitor parking should be located near public building entrances. No on-street parking is permitted, and parking lots are not permitted to encroach into any required landscape setbacks.

Parking areas are an important design element that must be carefully considered. Parking areas within the SERRANO COMMERCE CENTER include passenger car areas and truck yards and loading areas. Concrete and other parking surfaces are recommended to be light-colored. Passenger car parking areas shall be designed to be pedestrian-friendly and visually pleasing. All passenger car parking areas shall be landscaped to provide users with shaded areas. Landscaped islands within the passenger car parking lots break up the monotony of large expanses of asphalt and create a visually-pleasing experience. Similarly, passenger car parking perpendicular to street frontages shall be

screened from view by the use of a small landscape berm or shrubs. Planters should be large enough to avoid crowding the plant materials.

In truck yards and loading areas, the design of parking lots shall consider the space required for trucks to effectively and efficiently turn, back-up, load, and unload. Landscaped islands shall be placed around the perimeter of the truck loading areas to minimize any disruptions. As in passenger car parking areas, truck loading areas that abut public streets shall be screened from view by the use of a small landscape berm or shrubs.

#### **D.4.3 OUTSIDE FURNISHINGS**

Examples of outside furnishing elements include, but are not limited to light fixtures, bollards, benches, trash receptacles, trellises, bike racks, and planters. All outside furnishing elements should be consistent within the architectural theme and landscaping of the related planning area and should match the “Urban Desert California” style of SERRANO COMMERCE CENTER.

Additionally, the color of all site elements and furnishings should be coordinated with surrounding architecture. The location, appearance and installation of all exterior security cameras must be integrated with the architecture. Exposed wires are prohibited, and the color of camera housing must match the wall or pole color.



*Outdoor amenities should be compatible in design to overall theme of the commerce center.*

**E. ENERGY EFFICIENCY GUIDELINES**

This section of the Design Guidelines serves to highlight elements in the site planning, design, and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance that is both desirable for the commerce center tenants, the environment, and the builder(s)/developer(s). Following standard planning and building practices will typically ensure compliance with building code requirements and issuances of the necessary permits; however, implementation of these Energy Efficiency Guidelines will substantially contribute to the reduction in environmental impacts associated with air quality, hydrology, water quality, hazards, and provision of utilities.

The recommendations provided below have been selected based on their ease of applicability and implementation during the design and construction phases, their marketability and/or desirability potential to commerce center tenants, and their cost incentive factor to both the builder and commerce center tenant.

- The SERRANO COMMERCE CENTER shall provide a sidewalk and trails system, as detailed in Figure 4-17, *Conceptual Trails Plan*.
- The Developer shall provide amenities such as bicycle storage racks to encourage alternative modes of transportation.
- Signage shall be posted within parking lots indicating preferred parking spaces for car/van pools and for low-emitting and fuel-efficient vehicles.
- Bus stops, bus turn-outs, and other public transportation amenities shall be provided on-site as required by the Riverside Transportation Authority (RTA) and/or the Riverside County Transportation Commission (RCTC). A multi-modal access guide, which includes maps and other information on how to travel to particular destinations without the use of personal automobiles, may be created by the Developer and disseminated to construction workers, employees, and patrons of the SERRANO COMMERCE CENTER to encourage the use of mass transit and other transportation alternatives.
- Signage shall be posted in truck yards, at loading doors and service docks, and other similar areas stating the required limitations on engine idling time.
- Irrigation systems shall be low volume and feature directed sprinkler heads and/or drip irrigation. Irrigation systems shall be set to timer(s) and run early in the morning, when evaporation is minimal.
- Recycled water shall be utilized for the irrigation of landscaping to the extent that recycled water is available from the water provider and/or from the commerce center's Stormwater Recovery and Storage Program (refer to Section III.D.1.1). Any water features (such as water foundations) shall also use recycled water, if feasible.
- All landscaping shall be drought-resistant and water-efficient in accordance with Riverside County Ordinance No. 859 for Water-Efficient Landscaping Requirements.

- Landscaping adjacent to buildings and shall incorporate passive solar landscaping design elements. For example, by planting deciduous trees on the south aspect of a building, the leaves provide shade in the summer and sunlight shines through the branches in winter.
- Parking areas shall incorporate shade elements, such as leafy tree canopies within landscaped islands, to minimize heat gain into cars and reduce energy consumption by vehicle air conditioning units. Additionally, concrete and other parking surfaces shall be light-colored where feasible.
- Truck delivery docks shall be fitted with electrical hookups to reduce idling times of vehicle engines, particularly Transportation Refrigeration Units (TRUs) emissions.
- Building design shall incorporate as many as the following elements as possible, at a level that achieves a reasonable cost benefit by comparing added short-term construction costs to long-term cost recovery associated with energy efficiency.
  - Architectural components that shade buildings, especially at entrances and windows;
  - Sky lights and windows that reduce the need for artificial light;
  - Sustainable and recyclable building materials; and
  - Exterior building materials and roofs with low percentage light reflectance value colors that minimize heat gain in buildings.
- Roofs shall be white or light-colored and designed so that they may support the installation of solar panels, solar “thin film,” or other solar technologies in the future.
- Low- or no-VOC architectural coatings shall be applied during construction.
- During construction, one or more of the following elements shall be used within buildings, at levels that achieve a reasonable cost benefit by comparing added short-term construction costs to long-term cost recovery associated with energy efficiency:
  - Point-of-use or solar-powered water heaters;
  - Appliances with an Energy Star rating;
  - HVAC&R systems with refrigerants that minimize or eliminate the emission of harmful compounds, as opposed to CFC-based refrigerants;
  - High-efficiency light bulbs;
  - Programmable thermostats and separate zoned systems in larger buildings that can automatically adjust interior temperature settings and independently control specific rooms and/or spaces to minimize heating/cooling needs; and
  - Water-saving appliances and water conserving features including low-flow toilets, urinals, lavatory faucets, water saving showerheads, washers and dishwashers.
- The Master Association shall encourage the collection of recyclable materials including paper, corrugated cardboard, glass, plastics and metal.

**F. FIRE PROTECTION GUIDELINES**

This section of the Design Guidelines serves to highlight elements in the site planning, design, construction, and landscaping phases of the Specific Plan that can be implemented to minimize risk to life and property from wildfire hazards. The intention of the SERRANO COMMERCE CENTER Fuel Modification Plan is to limit the amount and density of potential fuel, particularly in areas immediately adjacent to buildings or other potentially combustible structures.

The SERRANO COMMERCE CENTER includes two Fuel Management Zones, which are briefly described below:

**☐ Zone 1 (Irrigated)**

Zone 1 contains “defensible space,” measured 30 feet from the front, back, and sides of any structure. Zone 1 also consists of all on-site manufactured slopes. These areas are generally situated adjacent to the western boundary of Planning Area 12, around the perimeters of Planning Areas 1 through 11, and around the perimeter of the flood control channels in Planning Areas 13A through 13D.

Zone 1 shall be an irrigated zone that is free of all combustible construction materials. This zone shall be cleared of all existing native vegetation and replanted with drought-tolerant, fire-resistant lawn, ground covers, or shrubs. Occasional fire-resistant trees and well-spaced ornamental shrubs are also acceptable within this zone.

A “combustible free zone” may be situated adjacent to portions of Zone 1 that abut Planning Area 12. No combustible structures are allowed in these areas.

**☐ Zone 2 (Non-Irrigated)**

Zone 2 is situated beyond Zone 1 and encompasses the area 30 to 50 feet from the front, back, and sides of any on-site structures. All areas that lie within 10 feet of on-site streets and emergency access roads are also within Zone 2. Furthermore, all natural slopes are within this zone. This zone is generally located adjacent to portions of Planning Area 12 and adjacent to the western and southern boundaries of the SERRANO COMMERCE CENTER.

Zone 2 may be irrigated, partially irrigated, or non-irrigated, depending on the plant needs. All flammable native plants shall be removed from this zone and replaced with fire-resistant and low fuel volume ground cover or native grasses. Fire-resistant trees may be occasionally placed within this zone.

The requirements listed below serve to reduce the risk of the SERRANO COMMERCE CENTER being negatively impacted by wind-driven embers and/or radiant heat against the outer perimeter of the commerce center. These requirements complement and reinforce the Fuel Management Zones described above.

- All structures shall feature a Class A (non-combustible) roof assembly, including the roof cover.

- All structures shall be constructed of fire-resistive exterior materials.
- No attic vents or attic ventilation louvers shall be installed in eave overhands or between rafters at eaves.
- Attic or foundation ventilation louvers or ventilation openings in vertical walls shall be covered with ¼-inch mesh corrosion-resistant metal screen or other approved material that offers equivalent protection.
- Rain gutters and downspouts shall be constructed of noncombustible material. Gutters shall be designed to reduce the accumulation of leaf litter and debris that contributes to roof edge ignition.
- Glass or other transparent, translucent or opaque glazing shall be tempered glass, multilayered glass panels, glass block, have a fire-protection rating of not less than 20 minutes, or other assemblies approved by the Riverside County Fire Department.
- Exterior doors shall be approved non-combustible construction and have a fire protection rating of not less than 20 minutes.
- The first five feet of fences and other items attached to a structure shall be constructed of non-combustible material or meet the same fire-resistive standards as the exterior walls of the structure.
- All exterior boundaries of Fuel Management Zones 1 and 2 shall be permanently marked on the ground for purposes of guiding annual fuel management maintenance and inspection operations. For example, steel fence posts with a baked-on painted finish may be used.
- Within Fuel Management Zone 1, trees shall be planted in a manner that ensures the branches of the mature tree are at least 10 feet from any structure. Mature trees shall also have a minimum of six feet of vertical separation from low-growing irrigated vegetation planted beneath the canopy. All tree crowns shall be separated from one another by a minimum of 20 feet.
- Within Fuel Management Zone 1, shrubs and trees shall be annually maintained to ensure the plants are free of any dead materials.
- Within Fuel Management Zone 2, all groundcover and native grasses shall be maintained to ensure the plants do not exceed 48 inches in height.
- Within Fuel Management Zone 2, fire-resistant trees shall be separated by a minimum of 20 feet. Mature trees shall also have a minimum of six feet of vertical separation from low-growing irrigated vegetation planted beneath the canopy.
- No trash dumping or disposal of “green” waste (tree clippings, etc.) is permitted in Planning Area 12 or within Fuel Management Zone 1 and 2.

**G. CONSISTENCY WITH TEMESCAL VALLEY DESIGN GUIDELINES**

On March 20, 2007, the Riverside County Board of Supervisors adopted the *Temescal Valley Design Guidelines* (henceforth, “TVDG”). The TVDG set forth guiding design elements to ensure that new development or redevelopment in the Temescal Canyon Area Plan is aesthetically appealing and cohesive in theme. The TVDG sets forth guidelines relating to the community logo, street signs, street lighting and posts, entry monuments, and streetscapes.

The TVDG sets forth the following guiding principles:

- Capture the natural beauty and colors of the landscape;
- Create design icons, instantly recognizable as part of Temescal Valley;
- Establish a distinctive design context that sets the stage for smaller, more flexible elements;
- Enhance the sense of arrival into Temescal Valley and its major planned developments;
- Introduce thematic, hierarchical streetscape plans for greater visual consistency along major roadways; and
- Set the context for a vibrant community center featuring specialty retail, a town square, and civic and cultural uses.

The SERRANO COMMERCE CENTER Design Guidelines implement some of the recommended design elements and overall, are complementary to the overall spirit and intent of the TVDG. Table 4-9, *Project Consistency with Temescal Valley Design Guidelines (TVDG)*, provides a summary of the commerce’s center consistency with the specific design elements set forth by the TVDG.

**Table 4-9 PROJECT CONSISTENCY WITH TEMESCAL VALLEY DESIGN GUIDELINES (TVDG)**

TVDG PAGE NUMBER	TVDG DESIGN ELEMENTS	PROJECT CONSISTENCY ANALYSIS
<b>Consistent Elements</b>		
24 – 26	<b>Community Logo:</b> “The community logo synthesizes much of the diverse beauty of the Temescal Valley... The community logo serves a key design marker, featured on primary and secondary entry monuments, street signs, and on civic buildings. Its prominent and consistent use provides visual continuity and strengthens the identity of the Valley and its many features.”	The Specific Plan is consistent with this TVDG Design Element. The community logo is displayed on the two Primary Entry Monuments (refer to Figure 4-5 and Figure 4-6) located along Temescal Canyon Road. Street sign design is not discussed in the Specific Plan, as street signs are posted by Riverside County. Use of the logo on street signs is not prohibited by the Specific Plan.
28	<b>Potted Citrus Trees:</b> “As a tangible reminder of its agricultural heritage, these guidelines call for placing citrus trees in clay pots in commercial areas. Not only will they provide visual accents and decorative elements, their delightful scent and appearance will enliven public and retail spaces throughout the Valley.”	The Specific Plan is consistent with this TVDG Design Element. As described in Specific Plan Section IV.C.8.1, <i>Landscaping Zones Plant Palette</i> , citrus trees in clay pots are encouraged to be used as decorative elements in Planning Areas 1 and 2, where appropriate.

TVDG PAGE NUMBER	TVDG DESIGN ELEMENTS	PROJECT CONSISTENCY ANALYSIS
36	<p><b>Community Center:</b> The Temescal Valley Community Center will be located between Temescal Valley Road and Dawson Canyon Road, just east of the I-15. It is envisioned that this center will be a true community gathering place with a variety of uses and activities. Containing specialty retail, a town square, a mini-park, and civic and cultural uses such as a museum and community center, the Temescal Valley Community Center has the potential to become the pride of the Valley. An adjoining potential rail line location offers the possibility of creating a regional transportation hub within the center and adding greater access. With its central location and high visibility, the Community Center will create visual interest with the best examples of vernacular architecture and entertain with shopping, educational and civic uses. The town square may feature a restored stage coach, Native American displays, and agricultural exhibits. Comfortable seating, accent landscaping and a water feature will provide a respite for shoppers and visitors. In short, the Temescal Valley Community Center will become the symbolic, cultural and social heart of the community.</p>	<p>The Specific Plan is consistent with this TVDG Design Element. Approximately 1/3 of the area designated as the Temescal Valley Community Center is located in the SERRANO COMMERCE CENTER. As described in this Specific Plan, the 17.45-acre commercial retail area in Planning Area 1 provides employees, commuters on I-15, and local residents with a convenient location to eat and shop. Anticipated tenants include food service providers, financial institutions, commercial retailers, and personal service shops, as well as small businesses and offices. A maximum total of 172,150 square feet of commercial retail and office space is planned for this area. Specific Plan Section IV, <i>Design Guidelines</i> sets forth requirements for the development of a pedestrian-friendly and lively area with outdoor seating areas, landscape accents, and other elements to create visual interest and encourage social interaction. No Native American or stagecoach displays are currently planned in the portion of the community center located within Planning Area 1.</p>
40	<p><b>Theme Road A - Temescal Canyon Road:</b> “Temescal Canyon Road is large enough to incorporate major streetscape elements and amenities, except along a small stretch in the north along the I-15. The roadway will contain a 18’ curbed and landscaped median, a 5’ pedestrian walkway on one side and a 10’ multi-purpose trail on the other, and an 8’ Class II bikeway. These roadside amenities are much in keeping with the outdoor, recreational lifestyle of the Valley and its residents, combining aesthetic and health goals. In addition, Temescal Canyon Rd. will contain several viewing/rest areas and turnouts for historic plaques, sites and kiosks. These viewing areas will be implemented with sitting areas, displays and accent landscaping and are described in greater detail on pages 51</p>	<p>The Specific Plan is generally consistent with this TVDG Design Element. The realigned segment of Temescal Canyon Road that traverses the center of the commerce center features a curbed and landscaped center median with a maximum width of 28 feet, except along short segments where a double or triple left turn lane is required, which preclude a landscaped center median. A 6-foot-wide sidewalk is located on the east side of the road, and a 5-foot-wide trail is located on the west side of the road. A Class III bikeway is located on both sides of the roadway. The sidewalk and trail will link with pedestrian path systems planned interior to the commerce center site to promote aesthetic and health goals. Pedestrian activity is anticipated</p>



TVDG PAGE NUMBER	TVDG DESIGN ELEMENTS	PROJECT CONSISTENCY ANALYSIS
	to 53.”	<p>within the commerce center and outdoor employee break and amenity areas will complement the pedestrian system.</p> <p>Due to the nature of the commerce center’s light industrial land uses and the anticipated traffic volumes and patterns of those uses, the on-site segment of Temescal Canyon Road would carry heavy truck traffic, making a regional trail more enjoyable along the site’s open space interface. The Specific Plan designs the regional trail to veer from Temescal Canyon Road and be positioned in a manufactured slope between the development areas and the MSHCP Reserve. The regional trail is designed to connect with Temescal Canyon Road near the Mayhew Wash and Coldwater Canyon Wash where Temescal Canyon Road crosses the flood control channels with a bridge, where connections would be made to the off-site regional trail system. Additionally, two community trail segments are proposed along the on-site flood control channels, sharing a County service road. Pedestrians using the community trail segments and the portions of the regional trail where it veers away from the Temescal Canyon Road would be removed from roadway traffic conflicts.</p> <p>Viewing/rest areas, and turnouts for historic plaques, sites, and kiosks are not specifically proposed along the on-site segment of Temescal Canyon Road, but are not precluded by this Specific Plan.</p>
52	<p><b>Historical Sites - Serrano Tanning Vats and Commemorative Plaque:</b> These important remnants of the area’s Spanish colonial heritage will be displayed within a graveled circular area near the corner of Temescal Canyon Road and Dawson Canyon Road. This location will be disturbed by future road construction, and the remnants must be moved to a convenient nearby location. The new</p>	<p>The Specific Plan is generally consistent with this TVDG Design Element. The Serrano Tanning Vats are California Historic Landmark No. 186 and are currently located on the commerce center property. The vats were dismantled in 1967 and moved to their present location in 1980. As required by EIR No. 492, the vats will be moved to ensure their permanent preservation either inside or</p>

TVDG PAGE NUMBER	TVDG DESIGN ELEMENTS	PROJECT CONSISTENCY ANALYSIS
	<p>location will be made into a park-like setting. Accent, low-voltage lighting, accent trees and picnic tables will encourage people to congregate and enjoy the display and the outdoors. Visibility will be enhanced by a wide corner setback where the multi-purpose trail and sidewalk meet a stylized, vertical historical marker (Exhibit 59).</p>	<p>outside of the Specific Plan boundary. Although the exact future location of the relocated vats is unknown, it is expected to be near the original location. The Specific Plan does not preclude the vats from being relocated outside of the Specific Plan boundary near the intersection of Temescal Canyon Road and Dawson Canyon Road as called for by the TVDG, if that location is found to be suitable by Riverside County, the property owner, and the California Office of Historic Preservation. The vats also could be relocated inside the Specific Plan boundary. Regardless, when the vats are moved, a plaque will be displayed at the original location to give a description of the site’s importance and information about where the vats can be viewed.</p>
<p><b>Inconsistent Elements and Elements That Do Not Apply</b></p>		
<p>26</p>	<p><b>Street Signs:</b> “The distinctive street signs of Temescal Valley will feature the community logo centered above the street name and number. Using the warm and natural colors of the Valley, the sign is of a beige base color with brown trim set off from a dark, rust-brown stylized street post.”</p>	<p>Street sign design is not discussed in the Specific Plan, as street signs are posted by Riverside County. Use of the logo on street signs is not prohibited by the Specific Plan.</p>
<p>25</p>	<p><b>Street Lights and Posts:</b> “Accent Street lights – Vintage, lantern-style street lights placed on a stylized, dark-brown metallic post will add a distinctive element to the streetscape. The pedestrian-scale light posts will be complemented by the lighter, beige and brown street signs containing the community logo. The overall effect is one of quaint rural charm. White rail fences, regionally-appropriate theme trees, low-lying, drought-tolerant shrubs will provide visual continuity to the street scene.”</p>	<p>Standards for outdoor lighting in the interior of the commerce center are included in Specific Plan Section IV.C.7.2, <i>Outdoor Lighting</i>. The style of street lights along Temescal Canyon Road is not discussed in the Specific Plan and will be determined when street improvement plans are prepared for approval by Riverside County. Standards for streetscape landscaping, including a palette of appropriate street trees and other plant materials are included in Table 4-5, <i>Temescal Canyon Road Plant Palette</i>.</p> <p>The street lights, street posts, and white rail fencing examples illustrated in the</p>

TVDG PAGE NUMBER	TVDG DESIGN ELEMENTS	PROJECT CONSISTENCY ANALYSIS
		TVDG are more appropriate for residential, commercial, or mixed-use communities and may not be appropriate in a commerce center/light industrial environment. The commerce center design theme is Urban California Desert. A theme with “quaint rural charm” would be incompatible with the style and sizes of buildings that are likely to occur within the Serrano Commerce Center. Hence, a white rail fence and pedestrian-scale light posts are not proposed by the Specific Plan along Temescal Canyon Road.
27	<b>Butterfield Stage Route Plaques</b>	Plaques are not discussed in the Specific Plan; however, the posting of Butterfield Stage Route plaques along Temescal Canyon Road is not prohibited by the Specific Plan should the County wish to display such plaques.
29	<b>Primary Community Entry Monuments</b>	This TVDG Design Element does not apply to the Specific Plan because the suggested locations of community entry monuments are outside of the Specific Plan boundary.
35	<b>Secondary Entry Monuments</b>	This TVDG Design Element does not apply to the Specific Plan because the suggested locations of secondary entry monuments are outside of the Specific Plan boundary.
44 – 48	<b>Theme Road B – Knabe Street/Triology Parkway; Theme Road C – Campbell Ranch/De Palma Road; Theme Road D – Mountain Road Landscaping</b>	This TVDG Design Element does not apply to the Specific Plan because these roads are not located within the Specific Plan boundary.

## **V. ZONING ORDINANCE**

1 ORDINANCE NO. 348.4709

2  
3 AN ORDINANCE OF THE COUNTY OF RIVERSIDE  
4 AMENDING ORDINANCE NO. 348 RELATING TO ZONING

5  
6 The Board of Supervisors of the County of Riverside ordains as follows:

7 Section 1. Section 4.1 of Ordinance No. 348, and Official Zoning Plan Map  
8 No.2., as amended, are further amended by placing in effect in the Glen Ivy Zoning Area, the  
9 zone or zones as shown on the map entitled "Change of Official Zoning Plan Amending  
10 Ordinance No. 348, Map No. 2.2328, Change of Zone Case No. 7365", which map is made a part  
11 of this ordinance.

12 Section 2. Article XVIIa of Ordinance No. 348 is amended by adding thereto a  
13 new Section 17.116 to read as follows:

14 Section 17.116 SP ZONE REQUIREMENTS AND STANDARDS FOR  
15 SPECIFIC PLAN NO. 353.

16 a. Planning Area 1.

17 (1) The uses permitted in Planning Area 1 of Specific Plan No. 353  
18 shall be the same as those uses permitted in Article IXb, Section 9.50. of  
19 Ordinance No. 348, except that the uses permitted pursuant to Section 9.50.a. (30),  
20 (55), (61), (64), (75); b.(7) and (9) shall not be permitted. Additionally, hospitals  
21 and clinics shall be prohibited.

22 (2) The development standards for Planning Area 1 of Specific Plan  
23 No. 353 shall be the same as those standards identified in Article IXb, Section  
24 9.53 of Ordinance No. 348, with the exception of the following standards:

25 A. Roof-Mounted Equipment: All roof-mounted mechanical  
26 equipment shall be screened from the ground elevation view from the  
27 adjacent public roadway and Interstate 15.

1 B. Signage: All signage shall be in conformance to the  
2 Serrano Commerce Center Specific Plan No. 353 Comprehensive Signage  
3 Program, as approved by the Riverside County Planning Department.

4 C. Outside Storage: If a non-screened outdoor general retail  
5 area is proposed, the exhibit area shall be identified on the plot plan and  
6 shall be set back a minimum of ten feet (10') from the street line.

7 (3) Except as provided above, all other zoning requirements  
8 shall be the same as those requirements identified in Article IXb of  
9 Ordinance No. 348.

10 b. Planning Area 2.

11 (1) The uses permitted in Planning Area 2 of Specific Plan No. 353  
12 shall be the same as those permitted in Article X, Section 10.1. of Ordinance No.  
13 348, except that the uses permitted pursuant to Section 10.1.a.(2) (k) and (l); b.(1)  
14 and (2) shall not be permitted.

15 (2) The development standards for Planning Area 2 of Specific Plan  
16 No. 353 shall be the same as those standards identified in Article X, Section 10.4  
17 of Ordinance No. 348, with the exception of the following standards:

18 A. Minimum Yard Requirements: If the front of a structure  
19 is adjacent to a street, the front setback shall be twenty-five feet  
20 (25') from the street line. If the front of a structure is adjacent to a  
21 non-residential land uses, there shall be no minimum front setback.  
22 The rear setback shall be fifteen feet (15'). If a side of a structure  
23 is adjacent to a street, the side setback shall be twenty-five feet  
24 (25') from the street line. If the side of a structure is adjacent to a  
25 non-residential land uses, there shall be no minimum side setback.

26 B. Minimum Lot Dimensions: There shall be no minimum  
27 lot area and no minimum average lot width.  
28

1 C. Roof-Mounted Equipment: All roof-mounted mechanical  
2 equipment shall be screened from the ground elevation view from  
3 the adjacent public roadway, including Interstate 15.

4 D. Signage: All signage shall be in conformance to the  
5 Serrano Commerce Center Specific Plan No. 353 Comprehensive  
6 Signage Program, as approved by the Riverside County Planning  
7 Department.

8 E. Outside Storage: If a non-screened outdoor general retail  
9 area is proposed, the exhibit area shall be identified on the plot  
10 plan and shall be set back minimum of ten feet (10') from the  
11 street line.

12 (3) Except as provided above, all other zoning requirements shall be  
13 the same as those identified in Article X of Ordinance No. 348.

14 c. Planning Areas 3, 4, 5, 6, 7, 8, 9, 10 and 11.

15 (1) The uses permitted in Planning Areas 3, 4, 5, 6, 7, 8, 9, 10 and 11  
16 of Specific Plan No. 353 shall be the same as those uses permitted in Article X,  
17 Section 10.1. of Ordinance No. 348, except that the uses permitted pursuant to  
18 Section 10.1.a.(2) (k) and (l); b.(1) and (2) shall not be permitted.

19 (2) The development standards for Planning Areas 3, 4, 5, 6, 7, 8, 9,  
20 10 and 11 of Specific Plan No. 353 shall be the same as those standards identified  
21 in Article X, Section 10.4 of Ordinance No. 348, with the exception of the  
22 following standards:

23 A. Minimum Yard Requirements: If the side of a structure is  
24 adjacent to a street, the side setback shall be twenty-five feet (25') from  
25 the street line. If the side of a structure is adjacent to a non-residential  
26 uses, there shall be no minimum side setback.

1 B. Building Height: The maximum building height shall be  
2 fifty feet (50'), unless an exception pursuant to Section 18.34 of  
3 Ordinance No. 348 is obtained.

4 C. Roof-Mounted Equipment: All roof-mounted mechanical  
5 equipment shall be screened from the ground elevation view from the  
6 adjacent public roadway, including Interstate 15.

7 D. Signage: All signage shall be in conformance to the  
8 Serrano Commerce Center Specific Plan No. 353 Comprehensive Signage  
9 Program, as approved by the Riverside County Planning Department.

10 E. Outside Storage: If a non-screened outdoor general retail  
11 area is proposed, the exhibit area shall be identified on the plot plan and  
12 shall be set back a minimum of ten feet (10') from the street line.

13 (3) Except as provided above, all other zoning requirements shall be  
14 the same as those requirements identified in Article X of Ordinance No. 348.

15 d. Planning Area 12.

16 (1) The uses permitted in Planning Area 12 of Specific Plan No. 353  
17 shall be the same as those uses permitted in Article XVI, Section 16.1 of  
18 Ordinance No. 348, except that the uses permitted pursuant to Section 16.2.a. (1),  
19 (2), (3), (4), (5), (6), (7); b. (1), (2), (3), (4), (5), (6), (8), (9); c. (1) and (2); d. (1);  
20 and e. shall not be permitted. In addition, the permitted uses identified under  
21 Section 16.2 also shall include Open Space-Conservation.

22 (2) The development standards for Planning Area 12 of Specific Plan  
23 No. 353 shall be the same as those standards identified in Article XVI, Section  
24 16.4 of Ordinance No. 348.

25 (3) Except as provided above, all other zoning requirements shall be  
26 the same as those requirements identified in Article XVI of Ordinance No. 348.  
27  
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1 e. Planning Areas 13A, 13B, 13C and 13D.

2 (1) The uses permitted in Planning Areas 13A, 13B, 13C and 13D of  
3 Specific Plan No. 353 shall be the same as those uses permitted in Article XVI,  
4 Section 16.1 of Ordinance No. 348, except that the uses permitted pursuant to  
5 Section 16.2.a.(1), (2), (3), (4), (5), (7); b.(1), (2), (3), (4), (5), (6), (8), (9); c.(1)  
6 and (2); d. (1); and e. shall not be permitted. In addition, the permitted uses  
7 identified under Section 16.2 also include Open Space-Water, including flood  
8 control channels.

9 (2) The development standards for Planning Areas 13A, 13B, 13C and  
10 13D of Specific Plan No. 353 shall be the same as those standards identified in  
11 Article XVI, Section 16.4 of Ordinance No. 348.

12 (3) Except as provided above, all other zoning requirements shall be  
13 the same as those requirements identified in Article XVI of Ordinance No. 348.

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Section 3. This ordinance shall take affect 30 days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY  
OF RIVERSIDE, STATE OF CALIFORNIA

By: Marion Ashley  
Chairman, Board of Supervisors  
Marion Ashley

ATTEST: Kecia Harper-Ihem

CLERK OF THE BOARD

By: Kecia Harper-Ihem  
Deputy

(Seal)

APPROVED AS TO FORM  
April 28, 2010

By: Michelle Clack  
MICHELLE CLACK  
Deputy County Counsel

MPC:md  
04/2/10  
G:\PROPERTY\MDUSEK\SPECIFIC PLAN ZONING ORDINANCES\SP 353 CZ 7365.042210.DOC

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STATE OF CALIFORNIA        )  
  )  
COUNTY OF RIVERSIDE        )        ss

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on September 28, 2010, the foregoing ordinance consisting of 3 Sections was adopted by the following vote:

AYES:        Buster, Stone, Benoit, and Ashley  
NAYS:        None  
ABSENT:     Tavaglione

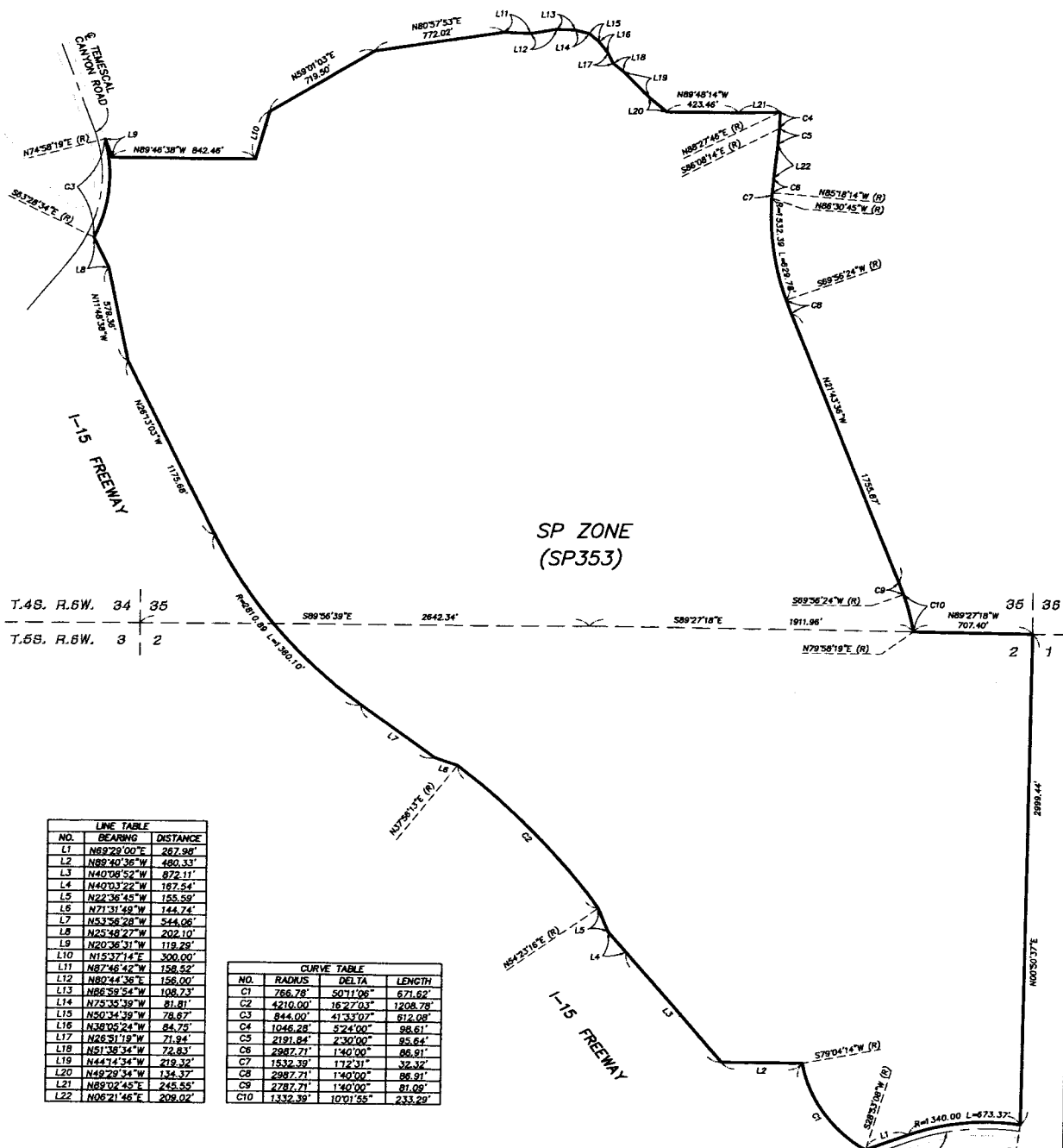
DATE:        September 28, 2010

KECIA HARPER-IHEM  
Clerk of the Board

BY:   
Deputy

SEAL

**GLEN IVY AREA**  
 PORTIONS OF SECTIONS 34 & 35, TOWNSHIP 4 SOUTH, RANGE 6 WEST, S.B.M.  
 AND A PORTION OF SECTION 2, TOWNSHIP 5 SOUTH, RANGE 6 WEST, S.B.M.



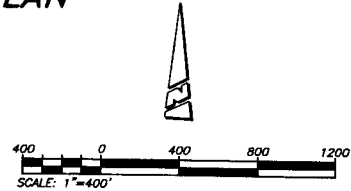
NO.	BEARING	DISTANCE
L1	N89°29'00"E	267.98'
L2	N88°40'36"W	480.33'
L3	N40°08'52"W	872.11'
L4	N40°03'22"W	187.54'
L5	N22°36'45"W	155.59'
L6	N71°31'48"W	144.74'
L7	N53°56'28"W	544.06'
L8	N25°48'27"W	202.10'
L9	N20°36'31"W	118.29'
L10	N15°37'14"E	300.00'
L11	N87°46'42"W	158.52'
L12	N80°44'36"E	158.00'
L13	N82°32'54"W	108.73'
L14	N73°33'39"W	81.81'
L15	N50°34'39"W	78.67'
L16	N38°05'24"W	84.75'
L17	N28°51'19"W	71.94'
L18	N51°38'34"W	72.83'
L19	N44°14'34"W	219.32'
L20	N40°22'54"W	134.37'
L21	N89°02'45"E	245.55'
L22	N06°21'46"E	209.02'

NO.	RADIUS	DELTA	LENGTH
C1	788.78'	50°11'06"	671.62'
C2	4210.00'	16°27'03"	1208.78'
C3	844.00'	41°33'07"	672.08'
C4	1046.28'	5°24'00"	98.61'
C5	2191.84'	2°30'00"	95.64'
C6	2987.71'	1°40'00"	86.81'
C7	1532.39'	1°12'31"	32.32'
C8	2987.71'	1°40'00"	86.81'
C9	2282.71'	1°40'00"	81.69'
C10	1332.39'	10°01'55"	233.29'

**SP ZONE** SPECIFIC PLAN (SP353)  
 MAP NO. 2.2328  
**CHANGE OF OFFICIAL ZONING PLAN**  
 AMENDING  
 MAP NO. 2, ORDINANCE NO. 348  
 CHANGE OF ZONE CASE NO. 7365

ADOPTED BY ORDINANCE NO. 348.4709  
 SEPTEMBER 28, 2010  
 RIVERSIDE COUNTY BOARD OF SUPERVISORS

APN'S:  
 283-190-027, 283-200-010, 009, 014, 283-160-009,  
 280-170-015, 021, 283-190-013, 283-200-008, 290-050-073,  
 283-170-012, 013, 014, 290-050-022, 003, 290-050-006,  
 290-050-032, 290-060-015, 290-050-026 THROUGH 029,  
 290-050-023, 290-050-020.



## **VI. IMPLEMENTATION**

**VI. IMPLEMENTATION****A. IMPLEMENTATION OF SPECIFIC PLAN NO. 353**

Approval of the SERRANO COMMERCE CENTER SPECIFIC PLAN No. 353 indicates acceptance by the Riverside County Board of Supervisors of a general framework of development for the 489.28-acre property. Part of that framework establishes specific development standards that constitute the zoning regulations for the SERRANO COMMERCE CENTER SPECIFIC PLAN. It is further anticipated that this Specific Plan will be implemented through a series of final parcel maps, plot plans, and conditional use permits, which shall be reviewed and approved by the Riverside County Planning Department and the appropriate hearing body to ensure consistency with this Specific Plan.

**A.1 PARCEL MAPS**

Parcel maps are employed to implement a Specific Plan by subdividing land into smaller parcels. A parcel map application generally includes the following items:

- (a) Lot lines and dimensions of each parcel.
- (b) Street improvement cross-sections.
- (c) Locations, dimensions, and heights of existing and proposed structures in the development area.
- (d) Preliminary grading plans, including all cut/fill slopes to scale with slope ratios and slope setbacks from structures and property lines, the elevations of all individual building pads, the elevations at the perimeter of the subdivision, conceptual drainage facilities, existing topography and the relationship to adjoining land and development, and any existing grading.
- (e) Location, widths, and improvements of existing and proposed public utility easements, transmission lines, power and telephone poles, and underground utilities on or abutting the property.

The Riverside County Planning Department's parcel map application and check list includes a comprehensive list of required information for parcel maps.

**A.2 PLOT PLANS AND CONDITIONAL USE PERMITS**

Plot plans are similar to parcel maps in that a plot plan also implements a Specific Plan; however, a plot plan provides a detailed description of how each parcel will be developed. Conditional use permits allow the County to consider special uses that are not allowed as a matter of right within a zoning district, therefore providing flexibility within a zoning ordinance. Consideration of a conditional use permit is thus a discretionary action. The plot plan application and conditional use permit application generally contains the following information:

- (a) Location of each existing and proposed structure in the development area and the use or uses to be contained therein.

- (b) Location of all pedestrian walks, outdoor employee break areas, plazas, and recreation areas.
- (c) Location and height of all walls, fences and screen planting, including a plan for the landscaping and surfacing of the project.
- (d) Plans and elevations of typical structures that indicate architectural type and construction standards.

The Riverside County Planning Department's plot plan and conditional use permit applications and check lists include comprehensive descriptions of required information for both of these actions.

### **A.3 FINAL MAPS**

After a parcel map or a plot plan receives its tentative approval, the applicant is given a period of time to provide the final improvement plans for streets, utilities, grading, landscaping, and all final conditions of approval prior to commencing construction.

## **B. MODIFICATIONS TO SPECIFIC PLAN NO. 353**

It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during development of the SERRANO COMMERCE CENTER. Any modifications to the Specific Plan shall occur in accordance with the subsequent application process described in this section.

Modifications to the Specific Plan may occur through two separate processes, known as “Substantial Conformance” and “Formal Amendments.” In both cases, the proposed modifications must be found to be in considerable conformance with the goals and standards of the SERRANO COMMERCE CENTER SPECIFIC PLAN. Modifications to the Specific Plan may be requested at any time pursuant to California Government Code §65453(a).

The first category, “Substantial Conformance,” allows for minor changes to the Specific Plan without a public hearing and may be approved by the Director of the Riverside County Planning Department. Proposed amendments deemed to be minor modifications, as defined herein, will be processed administratively by the Administrative Review process. All other proposed changes are considered “Formal Amendments” and are required to be reviewed for approval by the Planning Commission and the Board of Supervisors. If the amendment is deemed major by the Planning Director, it will be processed in the same manner as the original Specific Plan. Depending on the nature of the proposed Specific Plan Amendment, a supplemental analysis may be required, pursuant to the California Environmental Quality Act (CEQA) §15162.

### **B.1 SUBSTANTIAL CONFORMANCE**

Upon determination by the Director of the Riverside County Planning Department, certain modifications to the Specific Plan text, graphics, and/or project design may not require a Formal Amendment (i.e., through public hearing). The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Director of the Riverside County Planning Department. The Director of the Riverside County Planning

Department shall retain the discretion to refer any such request for modification to the Planning Commission.

- Changes to the target building square footage for each Planning Area provided that the overall maximum square footage within this Specific Plan (6,773,144 s.f.) is not exceeded.
- Expansions or reductions of the net acreage covered by a given Planning Area within the Specific Plan by no more than 10% of that stated within this Specific Plan.
- Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.
- Implementation of additional landscape treatments.
- Changes in utility and/or infrastructure servicing agency for the project.
- Landscape, wall material, wall alignment, and streetscape modifications which are consistent with the design guidelines contained in this Specific Plan as determined by the Planning Department.
- Modifications to Architectural Design Guidelines, such as variation of materials within the particular architectural style and minor variations in colors.
- Revisions to this Specific Plan text and graphics which do not substantially change the intent of the SERRANO COMMERCE CENTER SPECIFIC PLAN.
- Modifications to architecture, plotting, and building size that have been previously reviewed and approved through the design review process.
- Specific modifications of a similar nature to those listed above, which are deemed minor by the Director of the Riverside County Planning Department, which are in keeping with the intent of this Specific Plan and which are in conformance with the Riverside County General Plan.
- Any other proposed changes that are determined by the Director of the Riverside County Planning Department to be minor modifications.

## **B.2 FORMAL AMENDMENTS**

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in this section or as determined by the Director of the Riverside County Planning Department shall be deemed to require a Formal Amendment. This Specific Plan was prepared pursuant to California Government Code §65450, *et. seq.* Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of the law, which include California Government Code §65450, *et. seq.* and Chapter XVIIa, Section 17.25, of the Riverside County Zoning Ordinance (Ordinance No. 348).



**B.3 EFFECTIVE DATE**

All Formal Amendments, as defined in this Section and that are adopted by ordinance, shall take effect immediately after final adoption by the Riverside County Board of Supervisors.

**C. CONSTRUCTION TIMING, MAINTENANCE RESPONSIBILITY, AND FINANCING MECHANISMS**

Table 6-1, *Construction Timing, Maintenance Responsibility, and Financing Mechanism Matrix*, provides a summary of the phasing of key infrastructure improvements within the Specific Plan. Table 6-1 also identifies the responsible party/parties for construction and maintenance of each of these improvements. Lastly, this table lists the potential public and/or private financing mechanisms for these improvements.

**Table 6-1 CONSTRUCTION TIMING, MAINTENANCE RESPONSIBILITY, AND FINANCING MECHANISM MATRIX**

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
<i>Drainage and Flood Control Improvements (Refer to Figure 2-7, Conceptual Drainage and Phasing Plan)</i>				
<i>Phase I</i>				
Flood Control Channel in Planning Areas 13A and 13B	Prior to the issuance of the 1 <sup>st</sup> building permit.	Master Developer and Property Owner(s) of Planning Areas 13A and 13B	Riverside County Flood Control and Water Conservation District	Private Funding CFD
Flood Control Channel in Planning Areas 13C and 13D	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, and 11.	Property Owner(s) of Planning Areas 8, 9, 10, and 11	Riverside County Flood Control and Water Conservation District	Private Funding CFD
Storm Drain Line “A”	Prior to the issuance of the 1 <sup>st</sup> building permit.	Master Developer and Property Owner(s) of Planning Areas 1 and 6	Riverside County Flood Control and Water Conservation District	Private Funding CFD
Storm Drain Line “C” east of Temescal Canyon Road and associated inlet structure to the Planning Area 13A Flood Control Channel	Concurrent with the construction of Street “A” and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 5, 6, and 7.	Property Owner(s) of Planning Areas 5, 6, and 7	Riverside County Flood Control and Water Conservation District	Private Funding CFD
Storm Drain Line “D” adjacent to Planning Area 12 and associated outlet structure to the Temescal Wash	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 6 and 7.	Property Owner of Planning Areas 6 and 7	Riverside County Flood Control and Water Conservation District	Private Funding CFD
Storm Drain Line “E” east of Temescal Canyon Road and associated outlet structure to the Temescal Wash	Concurrent with the construction of Street “A” and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 5 and 6.	Property Owner(s) of Planning Areas 5 and 6	Riverside County Flood Control and Water Conservation District	Private Funding CFD
Storm Drain Line “G” east of Temescal Canyon Road and associated detention basin and outlet structure to the Temescal Wash	Concurrent with the construction of Street “D” and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 9 and 10.	Property Owner(s) of Planning Areas 9 and 10	Line “G”: Riverside County Flood Control and Water Conservation District  Detention Basin: Property Owners’ Association	Private Funding CFD
Storm Drain Line “H” and associated detention basin and outlet structure to the Temescal Wash	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, and 10.	Property Owner(s) of Planning Areas 8, 9, and 10	Line “H”: Riverside County Flood Control and Water Conservation District  Detention Basin: Property	Private Funding CFD

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
			Owners' Association	
Storm Drain Line "I" and associated detention basin and inlet structure to the Planning Area 13D Flood Control Channel	Concurrent with the construction of Temescal Canyon Road and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 9 and 10.	Property Owner(s) of Planning Areas 9 and 10	Line "I": Riverside County Flood Control and Water Conservation District  Detention Basin: Property Owners' Association	CFD  Private Funding
Stormwater Recovery and Storage Program (SWRSP) in Planning Areas 5 and 6 (Optional)	If the SWRSP is constructed, it shall be constructed during mass grading of Phase 1 of development.	Master Developer and all Property Owner(s) with property tributary to the SWRSP	Property Owners Association	Private Funding
<b>Phase 2</b>				
Storm Drain Line "B"	Prior to the issuance of the 1 <sup>st</sup> building inspection permit in Planning Area 2.	Property Owner(s) of Planning Area 2	Riverside County Flood Control and Water Conservation District	CFD  Private Funding
Storm Drain Line "D" east of Temescal Canyon Road	Concurrent with the construction of Street "C" and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 7.	Property Owner(s) of Planning Area 7	Riverside County Flood Control and Water Conservation District	CFD  Private Funding
Storm Drain Lines "F" and "G" and associated detention basin	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 8.	Property Owner(s) of Planning Area 8	Lines "F" and "G": Riverside County Flood Control and Water Conservation District  Detention Basin: Property Owners' Association	CFD  Private Funding
Detention/Water Quality Basin in Planning Area 1	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 1.	Property Owner(s) of Planning Area 1	Riverside County Flood Control and Water Conservation District	Private Funding  CFD
<b>Phase 3</b>				
Storm Drain Line "C" west of Temescal Canyon Road	Concurrent with the construction of Street "B" and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 2 and 3.	Property Owner(s) of Planning Areas 2 and 3	Riverside County Flood Control and Water Conservation District	CFD  Private Funding
Storm Drain Line "E" west of	Concurrent with the construction	Property Owner(s) of Planning	Riverside County Flood	CFD

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
Temescal Canyon Road	of Street “B” and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 2, 3, and 4.	Areas 2, 3, and 4	Control and Water Conservation District	Private Funding
<b>Phase 4</b>				
Storm Drain Line “D” west of Temescal Canyon Road	Concurrent with the construction of Street “B” and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 3.	Property Owner(s) of Planning Area 3	Riverside County Flood Control and Water Conservation District	CFD Private Funding
<b>Phase 5</b>				
Extension of Storm Drain Line “D” west of Temescal Canyon Road	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 4.	Property Owner(s) of Planning Area 4	Riverside County Flood Control and Water Conservation District	CFD Private Funding
<b>Sanitary Sewer Improvements (Refer to Figure 2-9, Conceptual Sewerage Plan and Phasing Plan)</b>				
<b>Phase 1</b>				
Sewer lines (8-inch and 15-inch) in a portion of Temescal Canyon Road north of “A” Street, in Street “C,” and in Planning Areas 5 and 6	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1, 2, 3, 4, 5, 6, or 7.	Property Owner(s) of Planning Areas 1 through 11	Lee Lake Water District	CFD Private Funding
Force Main beneath Temescal Canyon Road south of Street “C”; associated pump station in Planning Area 9; and sewer line in a portion of Temescal Canyon Road south of Street “D”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Property Owner(s) of Planning Areas 8, 9, 10, and 11	Lee Lake Water District	CFD Private Funding
Sewer lines (8-inch) in Street “D”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 9.	Property Owner(s) of Planning Area 9	Lee Lake Water District	CFD Private Funding
Sewer lines (8-inch) in Street “E”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Property Owner(s) of Planning Areas 8, 9, 10, and 11	Lee Lake Water District	CFD Private Funding
<b>Phase 2</b>				

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
No Sanitary Sewer Improvements are required in Phase 2.				
<b>Phase 3</b>				
Sewer lines (8-inch and 15-inch) in a portion of Temescal Canyon Road north of "A" Street and in a portion of Street "B."	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 2 or 3.	Property Owner(s) of Planning Areas 2 and 3	Lee Lake Water District	CFD  Private Funding
<b>Phase 4</b>				
Sewer line (8-inch) in a portion of Street "B."	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 3 or 4.	Property Owner(s) of Planning Areas 3 and 4	Lee Lake Water District	Sewer line (8-inch) in a portion of Street "B."
<b>Phase 5</b>				
No Sanitary Sewer Improvements are required in Phase 5.				
<b>Domestic Water Improvements (Refer to Figure 2-8, Conceptual Water Plan and Phasing Plan)</b>				
<b>Phase 1</b>				
Wild Rose Reservoir II	Prior to the issuance of the 1 <sup>st</sup> building permit in Phase 1 of development.	Lee Lake Water District	Lee Lake Water District	CFD
Domestic Water Line (20-inch) in Temescal Canyon Road and Old Temescal Canyon Road South	Concurrent with the construction of Temescal Canyon Road and prior to the issuance of the 1 <sup>st</sup> building permit in Phase 1 of development.	All Property Owners	Lee Lake Water District	Private Funding  CFD
Domestic Water Line (14-inch) in Street "A"	Concurrent with the construction of Street "A" and prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 5 and 6.	Property Owner(s) of Planning Areas 5 and 6	Lee Lake Water District	CFD  Private Funding
<b>Phase 2</b>				
Domestic Water Lines (14-inch) in Street "D"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 9.	Property Owner(s) of Planning Area 9	Lee Lake Water District	CFD  Private Funding
Domestic Water Lines (14-inch) in Street "E"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8 or 10.	Property Owner(s) of Planning Areas 8 and 10	Lee Lake Water District	CFD  Private Funding
<b>Phase 3</b>				
Domestic Water Lines (14-inch) in Street "B"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 2, 3, or 4.	Property Owner(s) of Planning Areas 2, 3, and 4	Lee Lake Water District	CFD  Private Funding

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
<b>Phases 4 and 5</b>				
No Domestic Water Improvements are required in Phases 4 and 5.				
<b>On-Site Public Roadway Improvements (Refer to Figure 2-5, Conceptual Roadway Construction and Traffic Signal Phasing Plan)</b>				
<b>Phase 1</b>				
Old Temescal Canyon Road North Improvements	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1, 2, 3, 4, 5, 6, and 7.	Property Owner(s) of Planning Areas 1, 2, 3, 4, 5, 6, and 7 and/or Riverside County	Riverside County Transportation Department	TUMF Fees CFD Public/Private Partnership
Old Temescal Canyon Road South Improvements	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Property Owner(s) of Planning Areas 8, 9, 10, and 11 and/or Riverside County	Riverside County Transportation Department	TUMF Fees CFD Public/Private Partnership
Street “A”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 5 or 6.	Property Owner(s) of Planning Areas 5 and 6	Riverside County Transportation Department	CFD Private Funding
Street “C”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 6 or 7.	Property Owner(s) of Planning Areas 6 and 7	Riverside County Transportation Department	CFD Private Funding
Street “D”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 9.	Property Owner(s) of Planning Area 9	Riverside County Transportation Department	CFD Private Funding
Street “E”	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8 or 10.	Property Owner(s) of Planning Areas 8 and 10	Riverside County Transportation Department	CFD Private Funding
Portion of Temescal Canyon Road (two northbound and two southbound lanes)	Prior to the issuance of the 1 <sup>st</sup> building permit for Phase 1 of development.	All Property Owners and/or Riverside County	Riverside County Transportation Department	TUMF Fees CFD Public/Private Partnership
Temescal Canyon Road Bridge (crosses over Planning Areas 13A and 13B)	Prior to the issuance of the 1 <sup>st</sup> building permit for Phase 1 of development.	All Property Owners and/or Riverside County	Riverside County Transportation Department	TUMF Fees CFD Public/Private Partnership
Traffic signal located at the intersection of Old Temescal	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas	Property Owner(s) of Planning Areas 1, 2, 3, 4, 5, 6, and 7	Riverside County Transportation Department	Traffic Signal Mitigation Fees

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
Canyon Road North and Temescal Canyon Road	1, 2, 3, 4, 5, 6, and 7.	and/or Riverside County		CFD Public/Private Partnership Private Funding
Traffic signal located at the intersection of Old Temescal Canyon Road South and Temescal Canyon Road	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Property Owner(s) of Planning Areas 8, 9, 10, and 11 and/or Riverside County	Riverside County Transportation Department	Traffic Signal Mitigation Fees CFD Public/Private Partnership Private Funding
Traffic signal located at the intersection of Street “A,” Street “B,” and Temescal Canyon Road	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1, 2, 3, 4, 5, 6, and 7.	Property Owner(s) of Planning Areas 1, 2, 3, 4, 5, 6, and 7 and/or Riverside County	Riverside County Transportation Department	Traffic Signal Mitigation Fees CFD Public/Private Partnership Private Funding
Traffic signal located at the intersection of Street “B,” Street “C,” and Temescal Canyon Road	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1, 2, 3, 4, 5, 6, and 7.	Property Owner(s) of Planning Areas 1, 2, 3, 4, 5, 6, and 7 and/or Riverside County	Riverside County Transportation Department	Traffic Signal Mitigation Fees CFD Public/Private Partnership Private Funding
Traffic signal located at the intersection of Street “D,” Street “E,” and Temescal Canyon Road	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Property Owner(s) of Planning Areas 8, 9, 10, and 11 and/or Riverside County	Riverside County Transportation Department	Traffic Signal Mitigation Fees CFD Public/Private Partnership Private Funding
<b>Phase 2</b>				
Portion of Temescal Canyon Road (third southbound lane and third northbound lane north of the road’s	Prior to the issuance of a building permit that causes the total building square footage of the Serrano Commerce Center to	All Property Owners and/or Riverside County	Riverside County Transportation Department	TUMF Fees CFD

FACILITY	TRIGGER	RESPONSIBLE PARTIES FOR CONSTRUCTION	RESPONSIBLE PARTIES FOR MAINTENANCE	FINANCING MECHANISM OPTIONS
intersection with Old Temescal Canyon Road (North)	exceed 2,499,250 s.f.			Public/Private Partnership
<b>Phase 3</b>				
Portion of Temescal Canyon Road (third northbound lane, south of the road's intersection with Old Temescal Canyon Road North)	Prior to the issuance of a building permit for any building that causes the total built square footage of the Serrano Commerce Center to exceed 4,439,536 s.f.	All Property Owners and/or Riverside County	Riverside County Transportation Department	TUMF Fees CFD Public/Private Partnership
Street "B"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 2, 3, or 4.	Property Owner(s) of Planning Areas 2, 3, and 4	Riverside County Transportation Department	CFD Private Funding
<b>Phases 4 and 5</b>				
No Public Roadway Improvements are required in Phases 4 and 5.				
<b>Open Space and Recreational Amenities (Refer to Figure 2-6, Conceptual Non-Vehicular Circulation Plan)</b>				
<b>Phase 1</b>				
Conveyance of Planning Area 12 (Open Space – Conservation) to the Riverside Conservation Authority	Prior to the issuance of the 1 <sup>st</sup> building permit in Phase 1 of development or as soon thereafter as feasible.	Property Owner(s) of Planning Area 12	Western Riverside County Regional Conservation Authority (RCA)	N/A
Sidewalk Along Old Temescal Canyon Road North	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1, 2, 3, 4, 5, 6, and 7.	Riverside County and Property Owner(s) of Planning Areas 1, 2, 3, 4, 5, 6, and 7	Riverside County Transportation Department	Public/Private Partnership, including TUMF fees
Sidewalk Along Old Temescal Canyon Road South	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Riverside County and Property Owner(s) of Planning Areas 8, 9, 10, and 11	Riverside County Transportation Department	Public/Private Partnership, including TUMF fees
Sidewalk Along Street "A"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 5 or 6.	Property Owner(s) of Planning Areas 5 and 6	Riverside County Transportation Department	CFD Private Funding
Sidewalk Along Street "C"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 6 or 7.	Property Owner(s) of Planning Areas 6 and 7	Riverside County Transportation Department	CFD Private Funding
Sidewalk Along Street "D"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 9.	Property Owner(s) of Planning Area 9	Riverside County Transportation Department	CFD Private Funding
Sidewalk Along Street "E"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas	Property Owner(s) of Planning Areas 8 and 10	Riverside County Transportation Department	CFD



<b>FACILITY</b>	<b>TRIGGER</b>	<b>RESPONSIBLE PARTIES FOR CONSTRUCTION</b>	<b>RESPONSIBLE PARTIES FOR MAINTENANCE</b>	<b>FINANCING MECHANISM OPTIONS</b>
	8 or 10.			Private Funding
Community Trail adjacent to Flood Control Channel in Planning Area 13B	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1, 2, 3, 4, 5, 6, or 7.	Master Developer and Property Owner(s) of Planning Areas 1, 2, 3, 4, 5, 6, and 7	Riverside County Open Space and Parks District	CFD Private Funding
Community Trails adjacent to Flood Control Channel adjacent to Planning Area 13C	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Riverside County and Property Owner(s) of Planning Areas 8, 9, 10, and 11	Riverside County Open Space and Parks District	CFD Private Funding
Regional Trail segments in Planning Areas 11 and 9	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 8, 9, 10, or 11.	Riverside County and Property Owner(s) of Planning Areas 8, 9, 10, and 11	Riverside County Open Space and Parks District	CFD Private Funding
Regional Trail segment in Planning Area 6	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 6	Riverside County and Property Owner of Planning Area 6	Riverside County Open Space and Parks District	CFD Private Funding
<b>Phase 2</b>				
Regional Trail segment in Planning Area 7	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Area 7	Riverside County and Property Owner of Planning Area 7	Riverside County Open Space and Parks District	CFD Private Funding
Regional Trail segments in Planning Areas 1 and 5	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 1 or 5	Riverside County and Property Owner(s) of Planning Areas 1 and 5	Riverside County Open Space and Parks District	CFD Private Funding
<b>Phase 3</b>				
Sidewalk Along Street "B"	Prior to the issuance of the 1 <sup>st</sup> building permit in Planning Areas 2, 3, or 4 of Phase 3 development.	Property Owner(s) of Planning Areas 2, 3, and 4	Riverside County Transportation Department	Private Funding
<b>Phases 4 and 5</b>				
No Open Space and Recreational Amenities are required in Phases 4 and 5.				

**APPENDIX A:**  
**GENERAL PLAN CONSISTENCY**

**APPENDIX A - GENERAL PLAN CONSISTENCY ANALYSIS****A. PURPOSE AND INTENT**

Land development patterns in the unincorporated areas of Riverside County are guided by the County of Riverside General Plan (herein “General Plan”). The General Plan was adopted by the Riverside County Board of Supervisors on October 7, 2003 as part of the Riverside County Integrated Project (RCIP). The General Plan is organized into eight separate elements, including Land Use, Circulation, Multipurpose Open Space, Safety, Noise, Housing, Air Quality, and Administration. Each General Plan Element is instrumental to achieving the County’s long-term development goals. Each element contains a series of policies that guide the course of action the County must take to achieve the County’s vision for future development.

Riverside County regulations require that a Specific Plan include a discussion of the relationship of the Specific Plan to the goals and policies of the General Plan Elements. A thorough discussion of the applicable policies is provided in the SERRANO COMMERCE CENTER Specific Plan Environmental Impact Report (EIR) No. 492. However, this appendix (Appendix A, *General Plan Consistency Analysis*) provides a summary discussion to demonstrate that the SERRANO COMMERCE CENTER is consistent with, and results in the implementation of, applicable goals and policies of the General Plan.

**B. LAND USE ELEMENT**

The General Plan Land Use Element functions as a land use guide for long range development in the County. The Land Use Element governs how land is to be used; therefore, many of the issues and policies contained in other General Plan elements are linked in some degree to this element. The Land Use Element designates the general distribution, general location, and extent of land uses, such as housing, business, industry, open space, agriculture, natural resources, recreation, and public/quasi-public uses. These designations are reflected on the General Plan Land Use Map, which categorizes individual parcels of land into four basic categories (known as “Foundation Components”): Rural, Community Development, Agriculture, and Open Space. The Project site is located in the Community Development Foundation Component, which allows development of the site in accordance with its Area Plan designations of Light Industrial and Community Center. Development of the site with Commercial Retail, Light Industrial, Open Space – Conservation, and Open Space – Water land uses is consistent with the Land Use Element in that the property would be developed in accordance with the Community Development Foundation Component and the site’s Area Plan designations. Consistent with the TCAP, the SERRANO COMMERCE CENTER will construct commercial retail land uses on the areas of the site designated for Community Center, while light industrial land uses will developed on areas of the site designated for Light Industrial.

Economic development policies discourage development proposals that place a financial burden on the County, and encourage the maintenance of a balance between jobs and housing within the County. The County’s jobs/housing balance is addressed through implementation of the land use designations shown on the approved General Plan and Area Plans. A Project-specific fiscal analysis has been prepared and is attached to EIR No. 492 as *Appendix J*, which demonstrates that approximately 7,816 jobs will be created by the Project. The SERRANO COMMERCE CENTER will be a significant employment generator in the area, consistent with the land use designations applied to the site by the Temescal Canyon Area Plan.

In early 2009, the Riverside County Board of Supervisors approved an amendment to the County’s General Plan to address the provision of child care facilities. The SERRANO COMMERCE CENTER SPECIFIC PLAN had been under preparation for several years prior to the approval of this General Plan Amendment; thus, the Specific Plan does not specifically address the provision of child care or identify a specific location for a child care facility within the site. A potential conflict was identified related to the location of sensitive receptors inside the Specific Plan boundary due to health concerns from air emissions related to the site’s close proximity to I-15 and commerce center activities, including diesel truck exhaust.

A discussion of the key Land Use Element policies that apply to the SERRANO COMMERCE CENTER Specific Plan is provided below:

POLICY	ANALYSIS
<p><b>Land Use Policy 5.2.1:</b> Apply the following policies to develop a comprehensive child care delivery system that builds child care services into the fabric of the County’s local communities:</p> <p>a) Encourage the development of quality child care facilities, including large and small family day care homes and public and private child care facilities, in order to provide a wide range of child care alternatives that meet the diverse needs of the children and parents in Riverside County.</p> <p>b) Child Care facilities are permitted in the following locations: ... iii) Child Day Care Centers are permitted in all land use designations, except for the following: Open Space - Mineral Resources, Open Space - Conservation Habitat, Open Space – Water, and Community Development – Heavy Industrial.</p>	<p>The SERRANO COMMERCE CENTER is not an appropriate location for a child care facility for several reasons.</p> <ol style="list-style-type: none"> <li>1. The Health Risk Assessment report prepared for the SERRANO COMMERCE CENTER EIR No. 492 (<i>Appendix B2</i>) concludes that sensitive receptors should not be located on the Specific Plan site.</li> <li>2. The site is located adjacent to I-15 and the California Air Resources Board’s adopted "<i>Air Quality and Land Use Handbook: A Community Health Perspective</i>" strongly suggests that new sensitive receptors should not be located within 500 feet of freeways. Caltrans has plans in place to add lanes to the segment of I-15 adjacent to the SERRANO COMMERCE CENTER, which will bring freeway traffic even closer to the site’s western boundary.</li> <li>3. Planning Area 1, the Specific Plan’s commercial retail area, would be the most logical place to allow a child care facility; however: a) nearly all of Planning Area 1 is within 500 feet of the I-15 right-of-way; b) this planning area is accessed by the Old Temescal Canyon Road North on/off ramps, which are used by loaded waste trucks accessing the El Sobrante Landfill; and c) Planning Area 1 is located downwind of the site’s light industrial uses and would be impacted by air emissions.</li> </ol>
<p><b>Land Use Policy 5.2.2:</b> Apply the following policies to facilitate the location of child day care centers on or adjacent to development proposals: ... b) Encourage child care centers in new housing or office/industrial developments and in larger projects where a nexus between the new development and the need for child care can be reasonably established. ... d) Support the siting of child day care centers that are compatible with community needs, land use and character, and encourage such centers to be available, accessible, and affordable for all economic levels.</p>	<p>There are other locations in the vicinity of the SERRANO COMMERCE CENTER outside of the Specific Plan boundary where a child care facility could be more appropriately located.</p> <p>Therefore, the SERRANO COMMERCE CENTER does not comply with the County’s newly adopted child care policies because the commerce center is not an appropriate location for a child care facility.</p>

POLICY	ANALYSIS
<p><b>Land Use Policy 7.1:</b> Accommodate the development of a balance of land uses that maintain and enhance the County's fiscal viability, economic diversity, and environmental integrity.</p>	<p>The SERRANO COMMERCE CENTER Specific Plan will develop almost 6.8 million square feet of light industrial and commercial retail land uses. The commerce center will create approximately 7,816 jobs and generate revenue for the County in taxes and development fees, therefore enhancing the County's fiscal viability and economic diversity. The commerce center is easily accessible via commuters on I-15, thereby reducing commuting times and increasing local employment levels.</p> <p>Furthermore, implementation of the SERRANO COMMERCE CENTER Specific Plan will result in the conveyance of 48.77 acres to the Riverside Conservation Authority (RCA) as part of the MSHCP Reserve, maintaining Temescal Wash in its natural condition, preserving habitats, facilitating species mitigation, and allowing for groundwater recharge.</p> <p>Therefore, SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Land Use Policy 7.12:</b> Improve the relationship and ratio between jobs and housing so that residents have an opportunity to live and work within the County.</p>	
<p><b>Land Use Policy 10.1:</b> Provide sufficient commercial and industrial development opportunities in order to increase local employment levels and thereby minimize long-distance commuting.</p>	
<p><b>Land Use Policy 7.3:</b> Promote the development of focused employment centers rather than inefficient strip commercial development.</p>	<p>The SERRANO COMMERCE CENTER Specific Plan provides for the development of an aesthetically-appealing commerce center with a strong sense of place and a cohesive Commerce Center Theme, as described in Section IV, Design Guidelines. Adherence to these Design Guidelines will prevent the development of an inefficient "strip" of buildings. Therefore, SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Land Use Policy 7.8:</b> Stimulate industrial/business-type clusters that facilitate competitive advantage in the marketplace, provide attractive and well landscaped work environments, and fit with the character of our varied communities. (AI 18)</p>	
<p><b>Land use Policy 7.10:</b> Locate job centers so they have convenient access to the County's multi-modal transportation facilities.</p>	<p>The SERRANO COMMERCE CENTER Specific Plan is easily accessible from commuters on the adjacent I-15. Therefore, the commerce center will provide bus stops and other transportation amenities, if such action is requested by the Riverside County Transportation Department.</p> <p>Therefore, SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Land Use Policy 8.1:</b> Provide for permanent preservation of open space lands that contain important natural resources, hazards, water features, watercourses, and scenic and recreational values.</p>	<p>As described previously, implementation of the SERRANO COMMERCE CENTER Specific Plan will result in the conveyance of 48.77 acres to the Riverside Conservation Authority (RCA) as part of the MSHCP Reserve, maintaining Temescal Wash in its natural condition, preserving habitats, facilitating species mitigation, and allowing for groundwater recharge. Therefore, SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>

<p><b>Land Use Policy 17.2:</b> Require that adequate and available circulation facilities, water resources, sewer facilities, and/or septic capacity exist to meet the demands of the proposed land Use.</p>	<p>The SERRANO COMMERCE CENTER Specific Plan includes a Master Circulation Plan, Master Drainage Plan, Master Water Plan, and Master Sewer Plan (Section II.C, II.D, and II.E of this Specific Plan, respectively). The Master Circulation and Sewer Plans describe on and off-site improvements that provide adequate facilities to meet the projected demands of the commerce center. EIR No. 492 evaluates the provision of infrastructure, services, and facilities for the project. As part of EIR No. 492, a Water Supply Assessment (WSA) has been prepared by the Lee Lake Water District (LLWD) to ensure the LLWD can serve SERRANO COMMERCE CENTER. The Planning Commission and County Board of Supervisors will review the EIR and WSA to ensure adequate provision of services and facilities prior to certification of EIR No. 492 or approval of SP No. 353. Therefore, the SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>
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**C. CIRCULATION ELEMENT**

The purpose of the Circulation Element is to provide for the movement of goods and people, including pedestrians, bicycles, transit, train, air, and automobile traffic flows within and through the County. The Circulation Element designates future road improvements and extensions, addresses non-motorized transportation alternatives, and identifies funding options. The SERRANO COMMERCE CENTER is consistent with the General Plan Land Use Plan, and is thereby consistent with the traffic volumes envisioned by the General Plan Circulation Plan. The SERRANO COMMERCE CENTER will contribute towards the Transportation Uniform Mitigation Fee (TUMF) and Development Impact Fee (DIF), in conformance with County requirements. As part of the SERRANO COMMERCE CENTER, Temescal Canyon Road would be realigned through the Project site as Temescal Canyon Road Extension and constructed to Modified Arterial Standards (128' ROW), consistent with the General Plan Circulation Element.

A discussion of the key Circulation Element policies that apply to the SERRANO COMMERCE CENTER Specific Plan is provided below:

POLICY	ANALYSIS
<p><b>Circulation Policy 3.5:</b> Require all major subdivisions to provide adequate collector road networks designed to feed traffic onto General Plan-designated highways.</p>	<p>The primary objective of the SERRANO COMMERCE CENTER Circulation Plan is to implement the circulation roadways as required by the General Plan in order to meet the vehicular travel needs of the Project by providing direct and convenient access to individual planning areas through a safe and efficient network of roadways. The Specific Plan calls for the realignment of Temescal Canyon Road as an Urban Arterial Highway through the Serrano Commerce Center Specific Plan and east of I-15. This realignment is in accordance with the Riverside County General Plan's Circulation Element. Temescal Canyon Road provides primary local access to the commerce center and serves as a primary component of the area's local circulation system. The Specific Plan includes improvements to on- and off-site</p>

POLICY	ANALYSIS
	sections of Temescal Canyon Road, Old Temescal Canyon Road North, Old Temescal Canyon Road South, and Streets “A” through “E.” The commerce center’s Circulation Plan, depicted conceptually in Figure II-3, feeds traffic into General Plan-designated highways.
<p><b>Circulation Policy 3.6:</b> Require private developers to be primarily responsible for the improvement of streets and highways service access to developing commercial, industrial, and residential areas. These may include road construction or widening, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities.</p>	<p>As depicted in Figure II-3, the SERRANO COMMERCE CENTER Specific Plan includes improvements to the on-site and adjacent roadways. These improvements include construction of roads, dedication of additional right-of-ways, widening of existing roads, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities.</p> <p>The SERRANO COMMERCE CENTER Specific Plan sets forth specific restrictions to ensure parking lots, loading docks, and other circulation elements can safely and efficiently accommodate the movement of heavy trucks.</p>
<p><b>Circulation Policy 3.7:</b> Design interior collector street systems for commercial and industrial subdivisions to accommodate the movement of heavy trucks.</p>	<p>EIR No. 492 evaluates traffic and circulation impacts that may occur upon implementation of this Specific Plan and provides mitigation measures to reduce identified impacts to a level below significance, when feasible. The Planning Commission and County Board of Supervisors will review the EIR to ensure adequate provision of circulation facilities.</p> <p>Therefore, the SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><b>Circulation Policy 4.4:</b> Plan for pedestrian access that is consistent with road design standards while designing street and road projects. Provisions for pedestrian paths or sidewalks and timing of traffic signals to allow safe pedestrian street crossing shall be included.</p>	<p>SERRANO COMMERCE CENTER contains a comprehensive sidewalk and trail system. As illustrated in Figure II-17, sidewalk trails are located along roadways and trails are located adjacent to the flood control channels in Planning Areas 13A through 13D.</p> <p>Therefore, the SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>

**D. MULTIPURPOSE OPEN SPACE ELEMENT**

The Multipurpose Open Space Element is intended to protect and preserve natural resources, agriculture and open space areas, manage mineral resources, preserve and enhance cultural resources, and provide recreational opportunities. The Open Space Element seeks to preserve and protect identified open space areas in order to maintain or improve environmental quality. As part of the proposed Project, approximately 48.77 acres of the SERRANO COMMERCE CENTER located along the eastern boundary (Planning Area 12) will be preserved as an open space conservation area, in conformance with applicable MSHCP criteria affecting the site. Conservation of the eastern portions of the Project site also will ensure consistency with the Multipurpose Open Space Element’s policies pertaining to conservation of Watersheds.

A discussion of the key Multipurpose Open Space Element policies that apply to the SERRANO COMMERCE CENTER Specific Plan is provided below:

POLICY	ANALYSIS
<p><b><i>Open Space Policy 2.3:</i></b> Encourage the use of native, drought-resistant landscaping planting.</p>	<p>The Landscape Design Guidelines for the SERRANO COMMERCE CENTER recognizes and responds to the climate of the region. As described in Section IV.C, these guidelines restrict the commerce center’s plant palette to drought-tolerant and native plants, as required by Riverside County Ordinance No. 859. Water conservation is of primary importance in the area. The SERRANO COMMERCE CENTER is planned to be irrigated through the use of LLWD reclaimed water. Alternatively, the SERRANO COMMERCE CENTER may be irrigated through the Stormwater Recovery and Storage Program (SWRSP), a system that allows for the recovery, treatment, and storage of stormwater runoff for irrigation and other uses.</p> <p>The Landscape Design Guidelines also include numerous hardscape elements that are intended to create a commerce center identity without relying on plant material, thereby reducing the commerce center’s water consumption.</p> <p>Therefore, the SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><b><i>Open Space Policy 18.1:</i></b> Preserve multi-species habitat resources in the County of Riverside through the enforcement of the provisions of applicable MSHCP’s, if adopted.</p>	<p>As described previously, implementation of the SERRANO COMMERCE CENTER Specific Plan will result in the conveyance of 48.77 acres to the Riverside Conservation Authority (RCA) as part of the MSHCP Reserve, maintaining Temescal Wash in its natural condition, preserving habitats, facilitating species mitigation, and allowing for groundwater recharge.</p> <p>Therefore, SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, this policy of the General Plan.</p>

**E. SAFETY ELEMENT**

The primary objective of the Safety Element is to reduce death, injuries, property damage, and economic and social impact from hazards. The goals of the Safety Element are to alleviate the risks associated with identified geologic, seismic, flood, airport safety, electromagnetic fields, fire hazards, and wind erosion hazards.

A discussion of the Specific Plan’s consistency with the Safety Element is provided within EIR No. 492. The Specific Plan is required to comply with the applicable provisions of the California Building Code, the Uniform Building Code, County Ordinance Nos. 457, 489.2, and 547, SCAQMD Rule 403, the Specific Plan’s National Pollution Discharge Elimination System (NPDES) permit, and the Specific Plan’s Storm Water Pollution Prevention Plan (SWPPP). Furthermore, the Specific Plan is required to implement all site-specific recommendations set-forth in the geologic and geotechnical report prepared by Neblett & Associates, Inc., which is contained as *Appendix E1, E2, and E3* to EIR No. 492. Compliance with these requirements and all applicable mitigation measures set forth in EIR



No. 492 reduces hazard-related impacts to a level before significance. Therefore, the SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, any applicable Safety Element policies of the General Plan.

**F. NOISE ELEMENT**

The Noise Element is a mandatory component of the General Plan pursuant to the California Planning and Zoning Law, Section 65302(f). The element must recognize the guidelines adopted by the Office of Planning and Research pursuant to Section 46050.1 of the Health and Safety Code. It also can be utilized as a tool for compliance with the state's noise insulation standards. The General Plan Noise Element provides a systematic approach to identifying and appraising noise problems; quantifying existing and projected noise levels; addressing excessive noise exposure; and community planning for the regulation of noise. This element includes policies, standards, criteria, programs, diagrams, a reference to action items, and maps related to protecting public health and welfare from noise.

A discussion of the Specific Plan’s consistency with the Noise Element is provided within EIR No. 492. The Specific Plan is required to comply with the applicable provisions of the Ordinance No. 457. Furthermore, the Specific Plan is required to implement all site-specific recommendations set forth in the acoustical report prepared by Giroux and Associates, which is contained as *Appendix H* to EIR No. 492. Compliance with these requirements and all applicable mitigation measures set forth in EIR No. 492 would reduce potential noise impacts to a level below significance, as indicated below:

POLICY	ANALYSIS
<p><b>Noise Policy 1.6:</b> Minimize noise spillover or encroachment from commercial and industrial land uses into adjoining residential neighborhoods or noise-sensitive uses.</p>	<p>EIR No. 492 evaluates noise impacts that may occur upon implementation of this Specific Plan and provides mitigation measures to reduce identified impacts to a level below significance, when feasible. The Planning Commission and County Board of Supervisors will review the EIR to ensure adequate provision of circulation facilities.</p> <p>Therefore, the SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.</p>
<p><b>Noise Policy 4.8:</b> Require that the parking structures, terminals, and loading docks of commercial or industrial land uses be designed to minimize the potential noise impacts of vehicles on the site as well as on adjacent land uses.</p>	

**G. HOUSING ELEMENT**

The Housing Element, as required by state law, identifies and establishes the County’s policies with respect to meeting the needs of existing and future residents of Riverside County. The SERRANO COMMERCE CENTER is not designated by the General Plan to provide housing, and the SERRANO COMMERCE CENTER does not propose housing. Because the SERRANO COMMERCE CENTER will implement the land uses contemplated by the Area Plan, and because the Area Plan implements the Housing Element, implementation of the SERRANO COMMERCE CENTER will not result in an inconsistency with the General Plan Housing Element.

**H. AIR QUALITY ELEMENT**

The Air Quality Element provides background information on the physical and regulatory environment affecting air quality. The purpose of the Air Quality Element is to protect residents of Riverside County from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. This Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB).

A discussion of the key Air Quality Element policies that apply to the SERRANO COMMERCE CENTER Specific Plan is provided below:

POLICY	ANALYSIS
<p><b><i>Air Quality Policy 4.1:</i></b> Encourage the use of building materials/methods which reduce emissions.</p>	<p>Energy Efficiency Guidelines are included in Section IV of the SERRANO COMMERCE CENTER Specific Plan. These guidelines were selected based on their ease of applicability and implementation during the design and construction phases, their marketability and/or desirability potential to commerce center tenants, and their cost incentive factor to both the builder and commerce center tenant.</p> <p>The Energy Efficiency Guidelines include recommendations to maximize energy efficiency in buildings, maximize water quality and conservation, and minimize landfill waste. Examples of these guidelines include: a discussion of how building orientation can reduce solar heat gain and reduce the structure’s cooling needs; recommendations for window types and appliances to reduce energy consumption; and a description of various other design features to reduce fuel consumption. These guidelines reduce the energy needs of homes and other structures within SERRANO COMMERCE CENTER.</p> <p>Additionally, the SERRANO COMMERCE CENTER Specific Plan sets forth many requirements for minimizing the release of diesel fumes by trucks. Loading dock and service door location are located away from pedestrian entrances, and idling time is limited by law.</p> <p>As previously described, the SERRANO COMMERCE CENTER Specific Plan also includes an extensive sidewalks system, which encourages employees and other users of the commerce center walk or bicycle in between the commerce center’s various land uses, thereby reducing vehicular emissions and improving air quality.</p> <p>EIR No. 492 evaluates air quality impacts that may occur upon implementation of this Specific Plan and provides mitigation measures to reduce identified impacts to a level below significance, when feasible. The Planning Commission and County Board of Supervisors will review the EIR to ensure adequate provision of circulation facilities. Therefore, the</p>
<p><b><i>Air Quality Policy 4.3:</i></b> Encourage centrally heated facilities to utilize automated time clocks or occupant sensors to control heating.</p>	
<p><b><i>Air Quality Policy 4.4:</i></b> Encourage the use of efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces and boiler units.</p>	
<p><b><i>Air Quality Policy 5.4:</i></b> Encourage the incorporation of energy-efficient design elements, including appropriate site orientation and the use of shade and windbreak trees to reduce fuel consumption for heating and cooling.</p>	
<p><b><i>Air Quality Policy 16.4:</i></b> Collaborate with the EPA, SCAQMD, MDAQMD, and warehouse owners and operators to create regulations and programs to reduce the amount of diesel fumes released due to warehousing operations.</p>	

<b>POLICY</b>	<b>ANALYSIS</b>
	SERRANO COMMERCE CENTER Specific Plan is consistent with, and results in the implementation of, these policies of the General Plan.

**I. ADMINISTRATION ELEMENT**

Administration of the General Plan policies includes establishing, maintaining, and applying tools and procedures for interpreting the intent of the General Plan. The Administration Element also provides the County with a list of steps in which County staff and the Board of Supervisors can use to determine whether a proposed Project is consistent with the General Plan’s intent. This Element also provides the applicant of development proposals with a list of steps to follow when applying for a development permit.