

## D. LANDSCAPE DESIGN GUIDELINES

### 1.0 INTRODUCTION

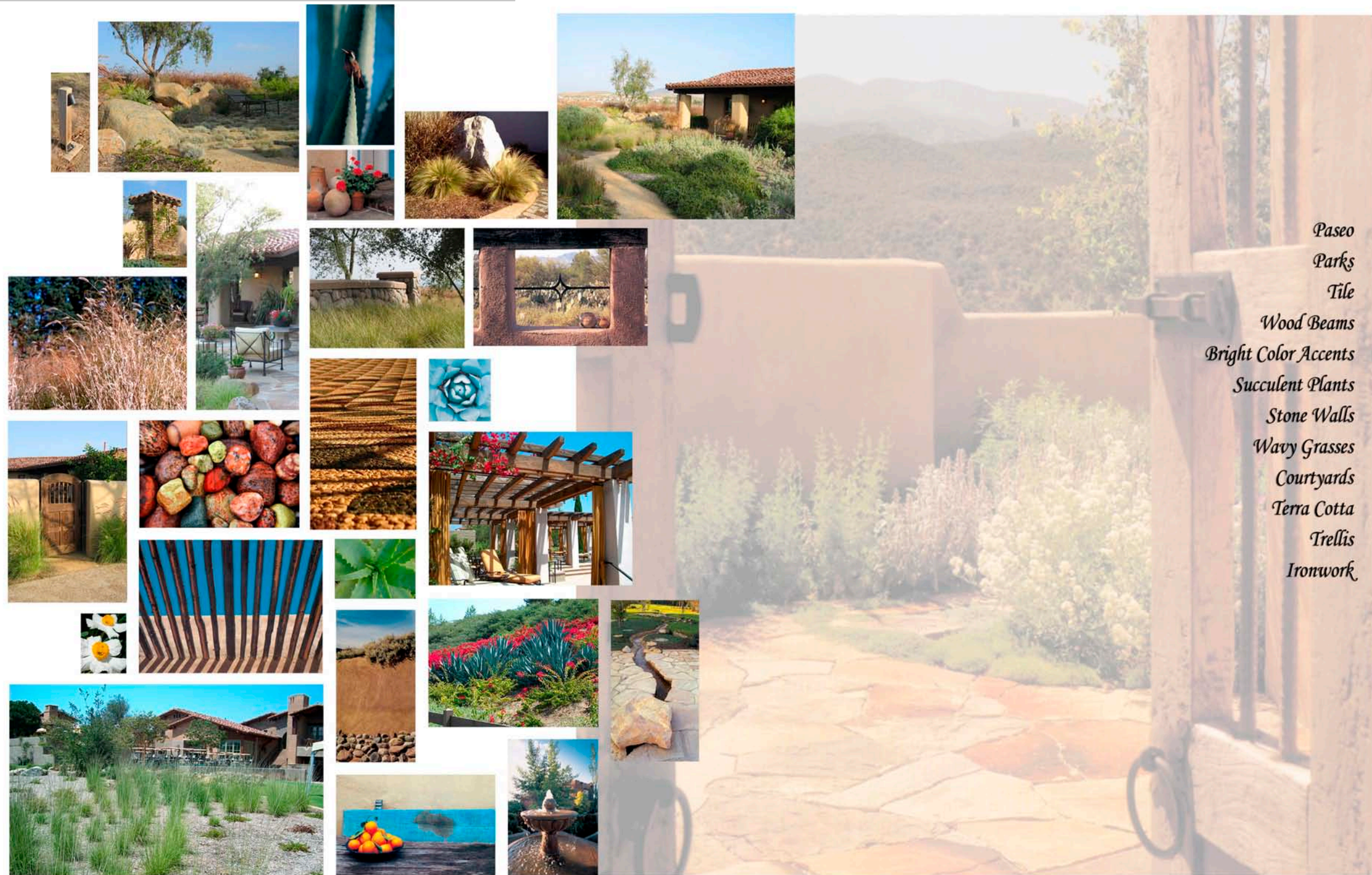
The TRAILMARK Landscape Design Guidelines establish a landscape theme for the community and set forth general criteria for landscaping. The purpose of the landscape design guidelines is to establish landscape standards that contribute to the thematic development of the TRAILMARK community identity. Therefore, TRAILMARK promotes elements from a Southwestern Ranch Landscape Development Theme, as depicted on Figure 5-17, *Landscape Development Theme – Southwestern Ranch*, Figure 5-18, *Community Identity and Amenities*, and Figure 5-19, *Conceptual Landscape Plan*. The landscape design guidelines complement the architectural guidelines. Together they combine to form a distinctive community offering a high quality environment and sense of identity. These guidelines establish landscape criteria for entry monumentation, streetscapes, recreational amenities, plant palette, front yard landscaping, landscape maintenance responsibility, and walls and fences to create a unifying fabric for the community.

The landscape plan consists of community elements that form the basic structure of the plan. Individually, the elements identify specific conditions of the plan and promote a coordinated landscape treatment. Collectively, all the elements are coordinated with the selection of building and plant materials that provide reinforcement of the overall community theme. These features include community entries, streetscapes, parks, recreation facilities, paseos, trails and open space. Figure 5-20, *Plant Palette*, and other plans and supporting graphics are provided as a key for the community elements that are developed and constructed as part of the TRAILMARK Specific Plan. These integral community landscape features and other elements are described in further detail within this section.

Landscape and streetscape elements are used to create visual continuity throughout TRAILMARK. Community elements such as entries, streetscapes, and walls establish the design theme for the community by reinforcing the design hierarchy and by providing a reassurance of the community areas and boundaries. These features are created through a thematic blend of hardscape and planting elements. Plant material guidelines provide guidance as to the proper plant materials for certain community settings such as entries, streetscapes, and open space areas. The landscaping plan of TRAILMARK calls for a compatible plant palette of trees, shrubs, and ground covers and a specialized application for each community element (i.e. streetscapes, entries, etc.) The following section provides a description of landscape elements envisioned for the TRAILMARK development.



Landscape Development Theme - Southwestern Ranch



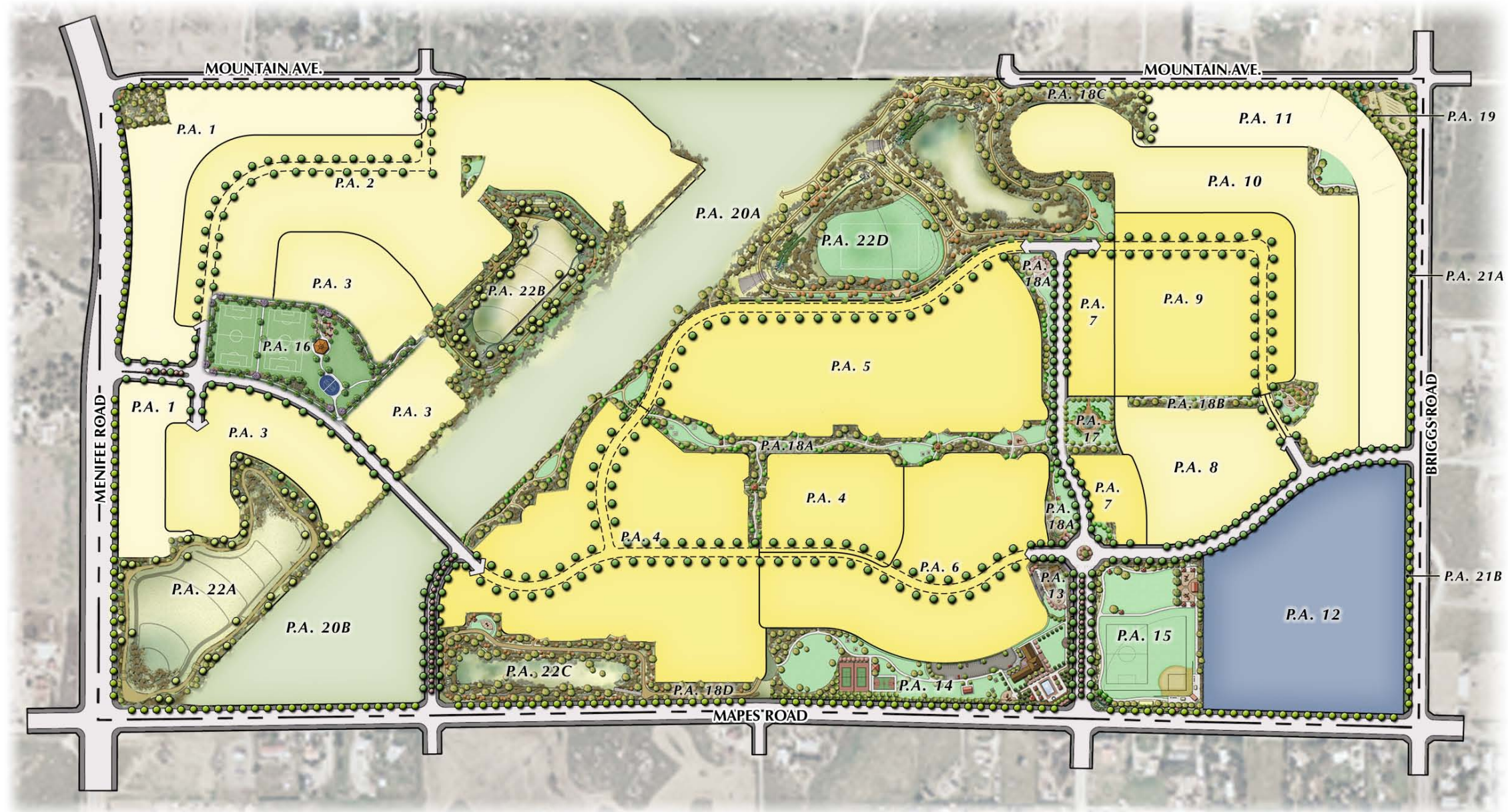
- Paseo*
- Parks*
- Tile*
- Wood Beams*
- Bright Color Accents*
- Succulent Plants*
- Stone Walls*
- Wavy Grasses*
- Courtyards*
- Terra Cotta*
- Trellis*
- Ironwork*





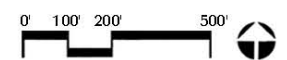


Conceptual Landscape Plan



LEGEND

- |                                 |   |              |
|---------------------------------|---|--------------|
| Medium High Density Residential | Open Space - Recreation                         | School       |
| Medium Density Residential      | Open Space - Det. Basin/Recreation/Passive Park | Street Trees |
| Low Density Residential         | Open Space - Conservation                       |              |





# Plant Palette

Trailmark Development Specific Plan Plant Palette

Botanical Name	Common Name	Entry Feature	Arterial Streets	Local Streets	Community Promenade	Parks	Detention Basins
Albizia julibrissin	Silk Tree	*			*	*	
Alnus rhombifolia	White Alder				*		*
Brachychiton populneus	Bottle Tree		*	*			
Brahea armata	Mexican Blue Fan Palm	*			*		
Cercidium microphyllum	Foothills Palo Verde					*	*
Chitalpa tashkentensis	Chitalpa	*	*	*	*	*	
Eriobotrya deflexa	Bronze Loquat	*			*	*	
Fraxinus oxycarpa 'Raywood'	Raywood Ash	*	*	*		*	*
Fraxinus uhdei	Shamel Ash					*	*
Fraxinus velutina	Arizona Ash	*	*	*			
Geijera parviflora	Australian Willow						*
Gleditsia triacanthos	Honey Locust				*	*	*
Lagerstroemia indica	Red Crape Myrtle	*	*	*		*	
Liquidambar styraciflua	American Sweet Gum		*	*			
Liriodendrom tulipifera	Tulip Tree				*	*	
Magnolia grandiflora	Southern Magnolia	*				*	
Olea europaea 'Swan Hill'	Fruitless Olive Tree	*	*	*			
Phoenix dactylifera	Date Palm	*	*		*		
Pinus eldarica	Afghan Pine		*				
Pistacia chinensis	Chinese Pistache	*	*	*		*	
Platanus x. acerifolia	London Plane Tree					*	*
Platanus racemosa	California Sycamore					*	*
Podocarpus gracilior	Fern Pine		*	*		*	*
Populus fremontii 'Nevada'	Western Cottonwood						*
Populus nigra 'Italica'	Lombardy Poplar	*	*				
Prunus caroliniana	Carolina Laurel Cherry				*	*	*
Prunus cerasifera 'Atropurpurea'	Purple Leaf Plum	*				*	
Pyrus calleryana 'Bradford'	Ornamental Pear	*	*	*		*	
Quercus agrifolia	Coast Live Oak	*				*	*
Quercus virginiana	Southern Live Oak					*	
Rhus lancea	African Sumac		*	*	*	*	*
Robinia species	Locust					*	
Salix babylonica	Weeping Willow						*
Schinus molle	California Pepper Tree	*					
Ulmus parvifolia	Evergreen Elm	*	*	*		*	
Washingtonia robusta	Mexican Fan Palm	*			*	*	*

Botanical Name	Common Name	Ornamental	Slope	Detention Basins
Berberis thunbergii	Japanese Barberry	*		
Bignonia violacea	Lavender Trumpet Vine	*		
Bougainvillea species	Bougainvillea	*	*	
Buddleja spp.	Butterfly Bush	*		
Caesalpinia gilliesii	Yellow Bird of Paradise	*	*	
Caesalpinia pulcherrima	Red Bird of Paradise	*	*	
Chrysactinia mexicana	Damianita	*	*	
Chysothamnus nauseosus	Golden Rabbit Bush		*	
Ceanothus spp.	Wild Lilac		*	
Cistus x. purpureus	Orchid Rock Rose		*	
Cordia parvifolia	Little Leaf Cordia	*	*	
Dalea frutescens	Black Dalea	*	*	
Dalea greggii	Trailing Dalea		*	
Dodonaea viscosa 'Purpurea'	Hop Bush	*	*	*
Echium candicans	Pride of Madeira	*		
Elaeagnus spp.	Elaeagnus		*	*
Euonymus japonicus	Evergreen Euonymus	*		
Festuca ovina var. glauca	Blue Fescue	*	*	
Ficus pumila	Creeping Fig	*	*	
Gazania splendens	Gazania	*	*	
Grewia occidentalis	Lavender Star-Flower	*	*	
Heuchera sanguinea	Coral Bells		*	
Juniperus sabina 'Buffalo'	Buffalo Juniper		*	
Juniperus sabina 'Tamariscifolia'	Tam Juniper	*		
Lantana camara	Bush Lantana	*	*	
Lantana velutina	White Lantana	*	*	
Lavandula species	Lavender	*		
Leptospermum 'Ruby Glow'	Australian Tea Tree	*	*	*
Leucophyllum spp.	Texas Ranger		*	*
Lonicera japonica	Japanese Honeysuckle	*	*	
Myoporum parvifolium 'Pink'	Pink Myoporum	*	*	
Myrtus communis 'Compacta'	Compact Myrtle	*		*
Nerium oleander 'Petite Pink'	Petite Pink Oleander	*	*	*
Osteospermum hybrid	African Daisy	*		
Perlargonium peltatum	Ivy Geranium	*		
Perovskia atriplicifolia	Russian Sage	*		
Photinia x. fraseri	Fraser's Photinia	*		
Pittosporum tobira	Mock Orange	*	*	
Plumbago auriculata	Cape Plumbago		*	
Podocarpus macrophyllum 'Maki'	Shrubby Yew Pine	*		*
Punica granatum	Pomegranate		*	
Pyracantha species	Firethorn	*	*	*
Rhaphiolepis indica	Indian Hawthorn (Pink)	*	*	*
Rosa banksiae	Lady Banks' Rose		*	
Rosmarinus officinalis 'Huntington Carpet'	Prostrate Rosemary	*	*	
Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	*		*
Ruellia spp.	Ruellia	*	*	
Trachelospermum jasminoides	Star Jasmine		*	
Viburnum suspensum	Sandankwa Viburnum	*	*	
Vinca major	Periwinkle	*	*	

Botanical Name	Common Name	Ornamental	Slope	Detention Basins
Agave geminiflora	Twin Flower Agave	*		
Agave parryi huachucensis	Huachuca Agave	*		
Agave salmiana	Salm's Agave	*		
Agave vilmoriniana	Octopus Agave	*		
Aloe arborescens	Giant Aloe	*	*	
Centaurea cineraria	Dusty Miller	*	*	
Helictotrichon sempervirens	Blue Oat Grass	*	*	*
Hesperaloe spp.	Hesperaloe	*	*	
Miscanthus spp.	Silver Grass	*	*	*
Miscanthus sinensis	Japanese Silver Grass	*		*
Phormium tenax 'species'	Flax	*		
Sesleria caerulea	Blue Moor Grass	*		



## 2.0 ENTRY MONUMENTATION

TRAILMARK shall have entry statements that create a distinctive image for the community. Entry features should be designed to assist passing motorists to easily identify the development, and should complement the overall appearance of the greater community of which it is part. Entry monuments serve several important purposes and therefore careful consideration should be given to the design of primary and secondary community entries. The intent of community entry monumentation design is to create visual gateways into TRAILMARK and to provide aesthetically pleasing entry statements that highlight the distinctiveness of the community. Figure 5-21, *Monument Master Plan*, depicts conceptual locations of primary, secondary, neighborhood, park, trail, equestrian staging area and school monuments within the TRAILMARK community.

Specifically, two primary entry monuments are established along Meniffee Road and Mapes Road. The primary entry on from Mapes Road is located adjacent to the community park that serves as a focal point within the TRAILMARK community.

Additionally, the community provides a secondary entry at Mapes Road. The secondary entry is located in an area that defines a more intimate and related grouping of streets and homes. Described on the following pages are the landscape and hardscape designs envisioned for primary and secondary community entries within TRAILMARK. The design and architectural elements of the entries shall be compatible and consistent with the architectural design guidelines. Each entry statement consists of a combination of signage, lighting and landscaping. Where necessary and appropriate, onsite boulders are incorporated as part of the entry monumentation.

### □ PRIMARY COMMUNITY ENTRIES

The primary community entry monumentation along Meniffee Road and Mapes Road provide strong landmarks which reinforce the major entries, while also establishing a unique and tasteful landscape theme for TRAILMARK. The primary community entry monumentation is intended to utilize plant palettes and hardscape materials which contribute to the consistent implementation of the TRAILMARK landscape design theme. Figure 5-22, *Primary Entry Monumentation – Mapes Road*, Figure 5-23, *Perspective Rendering for Entry Monumentation – Mapes Road*, Figure 5-24, *Primary Community Entry Monumentation – Meniffee Road* and Figure 5-25, *Perspective Rendering for Entry Monumentation – Meniffee Road*, provide conceptual illustrations of the elements and details that should be incorporated into primary community entries.

### □ SECONDARY COMMUNITY ENTRIES

In addition to the primary community entries, a secondary entry is located along Mapes Road. The secondary community entry monumentation conveys the overall TRAILMARK identity by selectively repeating the plant palette and theme used at the primary community entries, but at a reduced scale and level of architectural detailing. Conceptual designs are provided on Figure 5-26, *Secondary Entry Monumentation – Mapes Road*



Monument Master Plan



LEGEND

- Primary Entry Monument
- Secondary Entry Monument
- Neighborhood Monument
- Park Monument
- ▲ Trail Monument
- ◻ Equestrian Staging Area Monument
- ◻ School Monument





Primary Community Entry Monument - Mapes Road



PLAN

ENLARGEMENT



ELEVATION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.



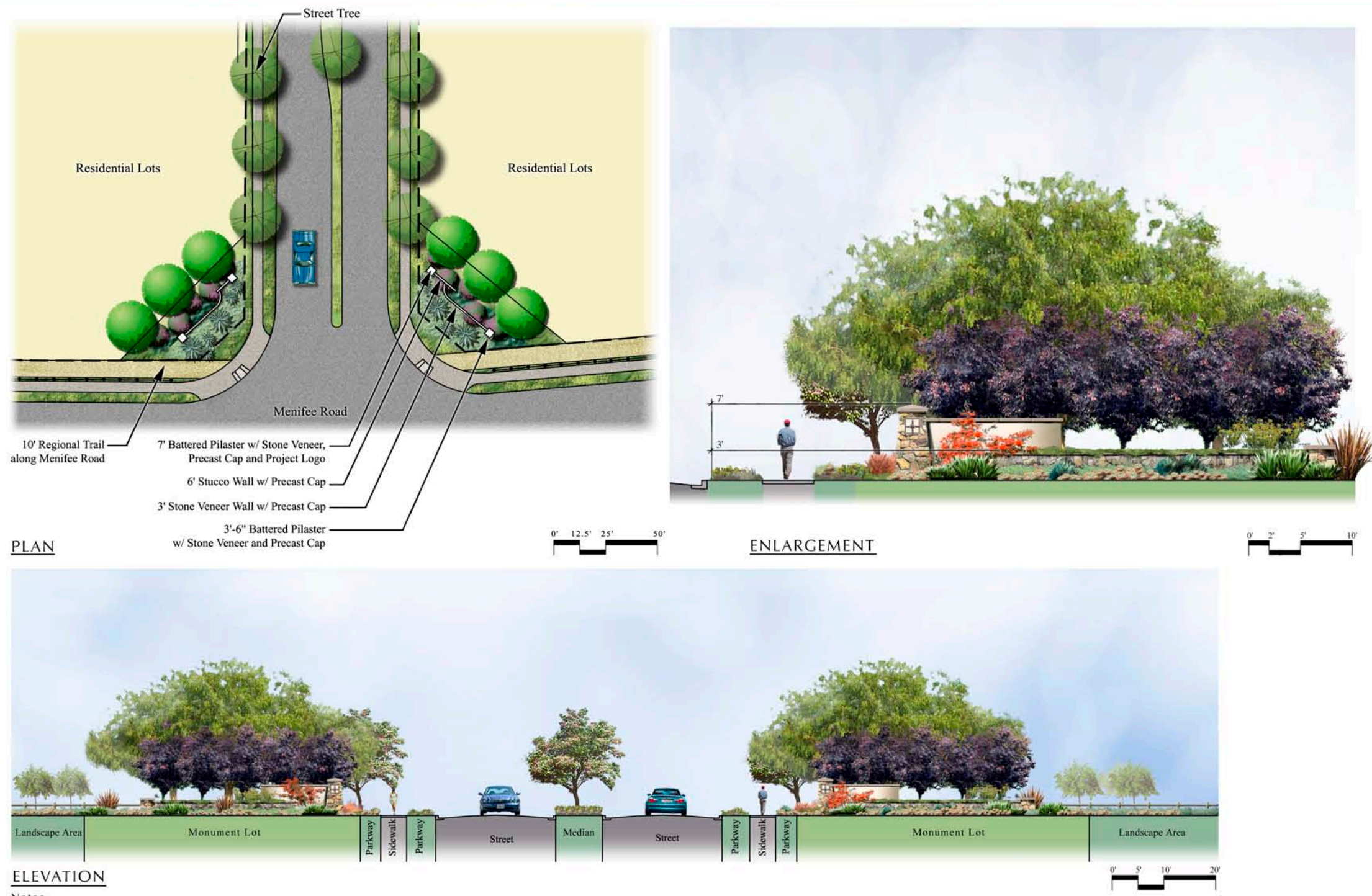
Perspective Rendering for Entry Monumentation - Mapes Road



The depicted rendering is intended to show design concept. Plant material size and features may vary at the time of construction.



Primary Community Entry Monumentation - Menifee Road



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.



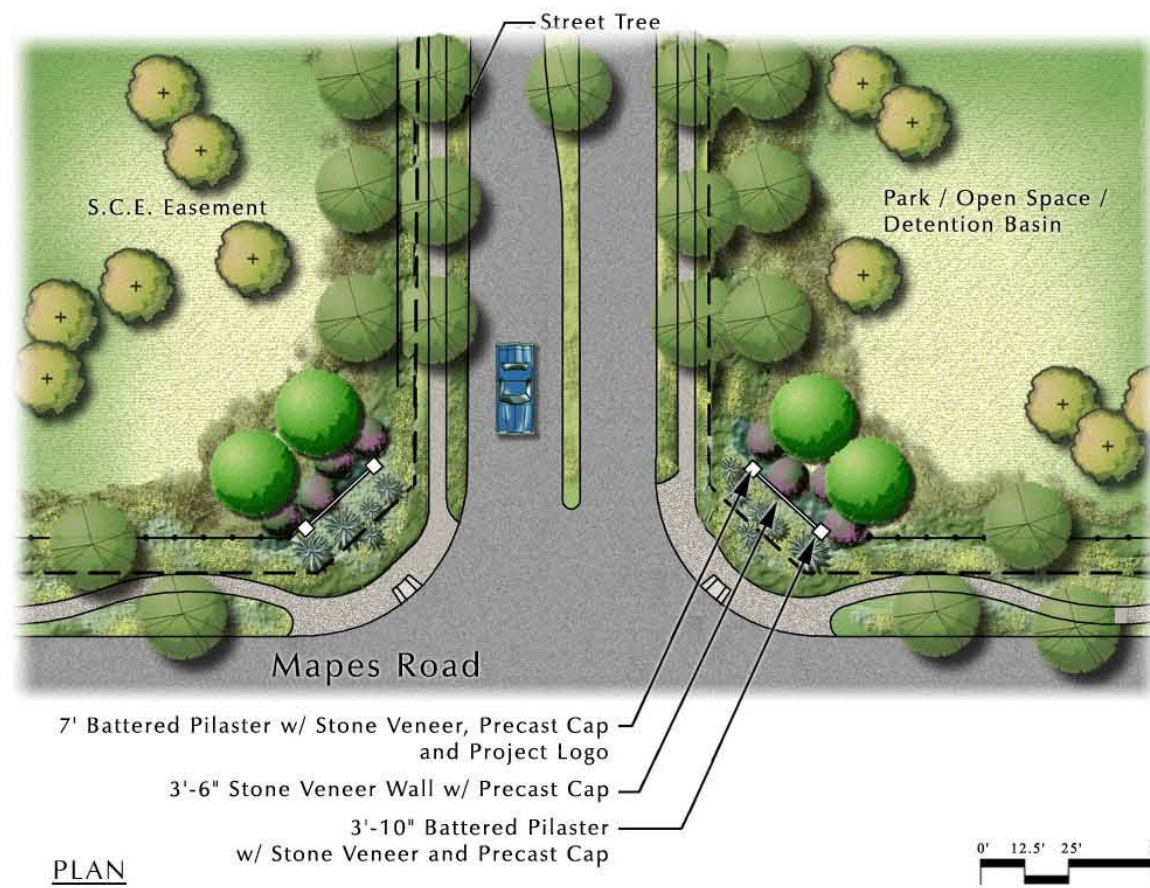
Perspective Rendering for Entry Monumentation - Menifee Road



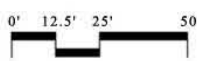
The depicted rendering is intended to show design concept. Plant material size and features may vary at the time of construction.



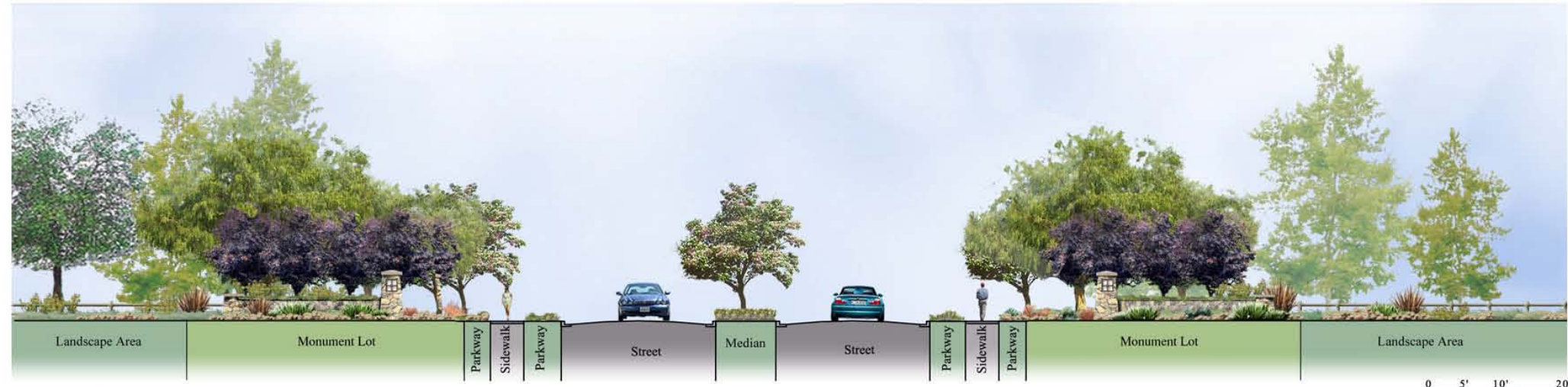
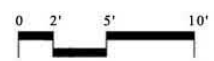
Secondary Entry Monument - Mapes Road



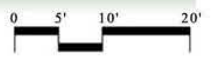
PLAN



ENLARGEMENT



ELEVATION



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.



#### ❑ NEIGHBORHOOD ENTRIES

Additional monumentation is established to highlight the specific neighborhoods within TRAILMARK as depicted on Figure 5-27, *Neighborhood Entry Monument*. Neighborhood monumentation should consist of consistent stone veneer pilasters, with the flexibility for a varying “coordinated family of wall options”, allowing individual variety of walls for different neighborhoods, all enhanced by accent lighting and a thematic blend of landscaping.

#### ❑ PARKS, TRAILS, AND EQUESTRIAN STAGING AREA

Park, equestrian and trail monumentation are established to highlight specific equestrian, park and trail amenities located within TRAILMARK (see Figure 5-28, *Park, Equestrian Staging and Trail Monumentation*). These monuments become somewhat smaller and less elaborate, as they and have a lower hierarchy within the overall “family of monuments”. Where necessary and appropriate, onsite boulders are incorporated as part of trails.

#### ❑ ENTRY MONUMENTATION GUIDELINES

##### Countywide Design Standards and Guidelines:

- Corner cutbacks or cutoffs shall be included at all intersections of General Plan roads classified as Secondary Highway or higher with all designated tract entrances. A minimum curb radius of 35 feet shall be provided at these intersections.
- At all designated residential tract entrances from roadways classified as Secondary Highways or higher, a landscaped median shall be installed.
- Decorative trees, shrubs, and drought tolerant landscaping planted in medians should be clustered in random patterns rather than planted in evenly spaced locations.

##### Community Design Standards and Guidelines:

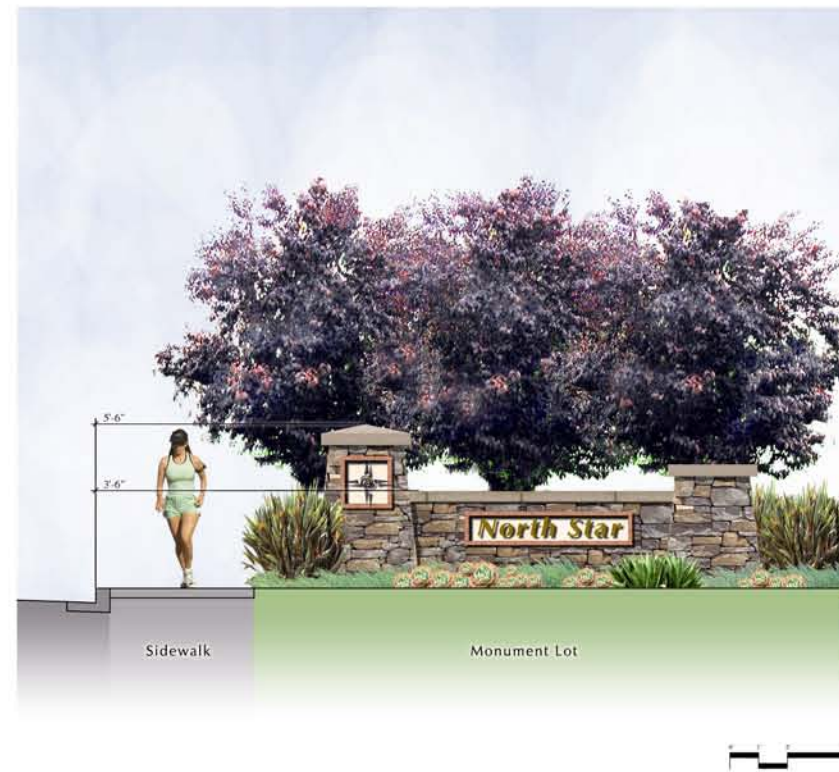
- Entry monumentation should be anchored by walls, pilasters, planters, and signage.
- Specimen trees as well as flowering shrubs, vines, and ground covers should be planted to further enhance the entry statements.
- Accent lighting should be provided to illuminate the entry monumentation and landscape elements.



Neighborhood Entry Monument



OPTION 1



OPTION 2

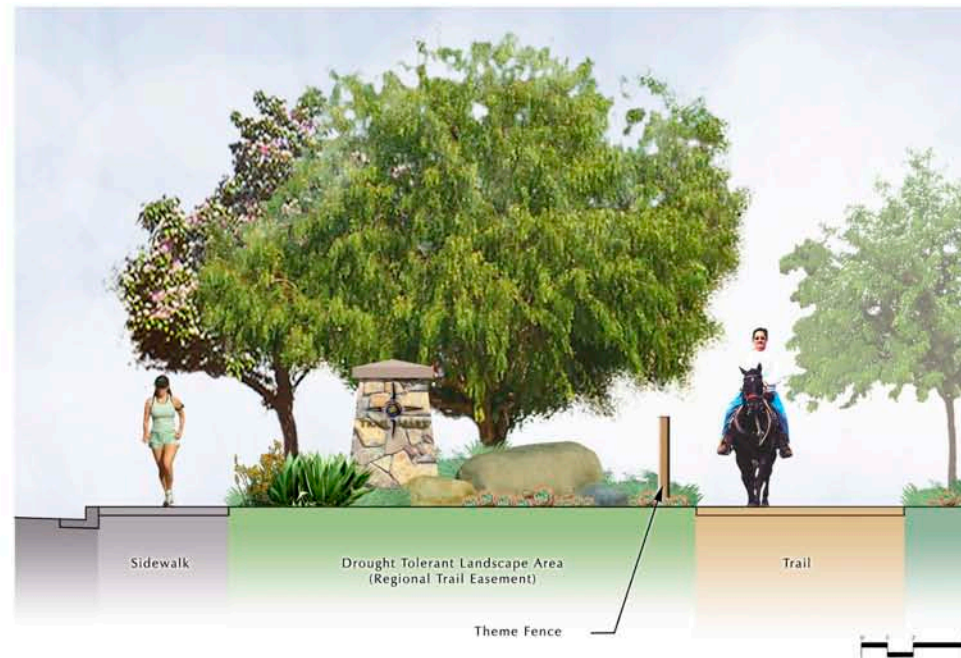


OPTION 3

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.



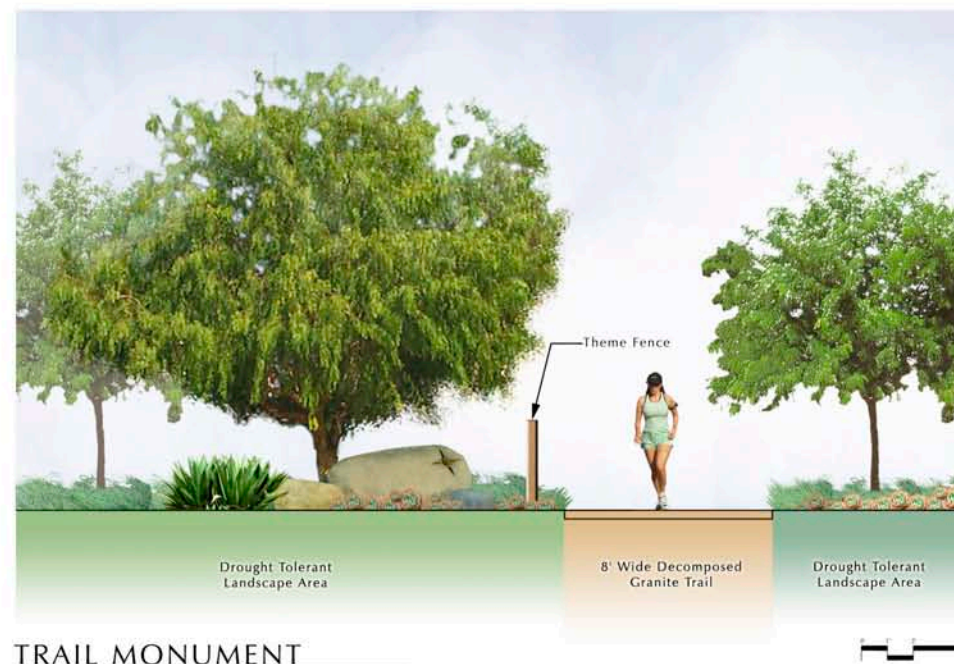
Park, Equestrian Staging and Trail Monumentation



EQUESTRIAN MONUMENT



PARK MONUMENT



TRAIL MONUMENT

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.



### 3.0 STREETSAPES

Landscaping of perimeter and internal streets provide continuity throughout the community and create an appropriate link with adjacent areas. Important to the development of a coordinated community image and identity are the community-wide enhancement of roadways both within and adjacent to TRAILMARK. These elements are designed to establish levels of hierarchy that provide a varied and high quality experience at the pedestrian and vehicular level within the community. Street trees within the TRAILMARK community area should reflect the community's design theme and be selected from the community's plant palette. Where necessary and appropriate, onsite boulders are incorporated as part of the parkways.

Figure 5-29, *Streetscape Concept Plan*, along with supporting cross-section graphics, has been created to provide a thematic variety between the streetscapes of TRAILMARK. Street tree placement and design may include a single street tree used along all the streets in a neighborhood or may include a dominant street tree along with accent street trees used at strategic points along the street, such as clustered at intersections or at curves to break up long uninterrupted lines.



# Streetscape Concept Plan



**LEGEND**

<p> <b>Urban Arterial Highway (154' R.O.W.)</b> County of Riverside Std. 91 - 5' non-contiguous parallel sidewalk - Landscaped median - Canopy &amp; ornamental trees - 10' D.G. Trail on east side</p> <p> <b>Secondary Highway (100' R.O.W.)</b> County of Riverside Std. 95 - 5' non-contiguous parallel sidewalk - Canopy &amp; ornamental trees</p>	<p> <b>Collector Street (74' R.O.W./87' R.O.W.)</b> County of Riverside Std. 103 (Modified) - Canopy trees</p> <p> <b>Primary Entry Road (86' R.O.W.)</b> County of Riverside Std. 103 (Modified) - 5' non-contiguous sidewalk - Ornamental parkway trees - Landscape Median</p>	<p> <b>Modified Local Street (74' R.O.W.)</b> County of Riverside Std. 105 (Modified) - 5' non-contiguous sidewalk - Ornamental parkway trees</p> <p> <b>Local Street (56' R.O.W.)</b> County of Riverside Std. 105/Modified - 5' non-contiguous sidewalk - Ornamental parkway trees - D.G. Trail for Equestrian Connection (Mountain Ave. at PA 11)</p>	<p> <b>Enhanced Local Street Adjacent to School or Park (66' R.O.W.)</b> County of Riverside Std. 104 - 5' non-contiguous sidewalk - Ornamental parkway trees</p>
--	--	--	---

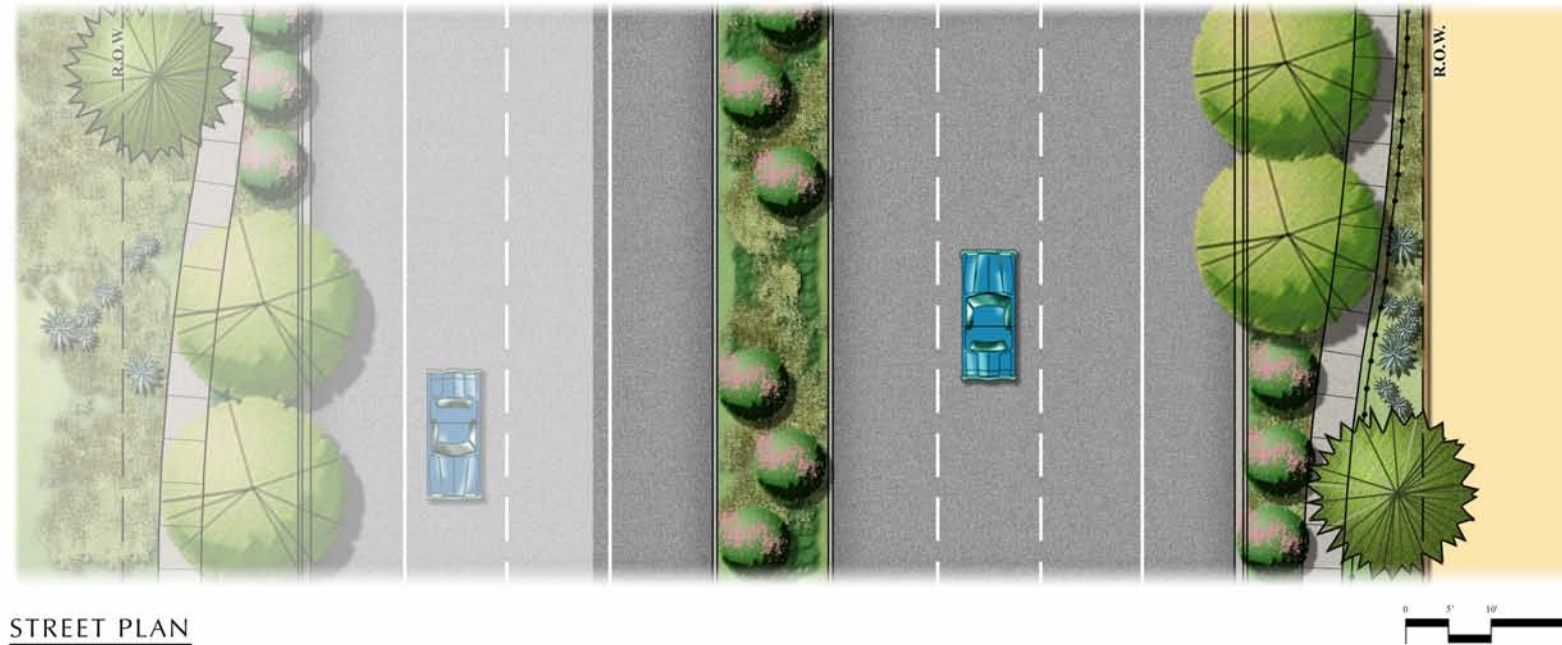


□ **MENIFEE ROAD STREETScape**

Meniffee Road forms a western edge of TRAILMARK in a north-south alignment and consists of a 152-foot right-of-way condition, serving as an Urban Arterial Highway. Figure 5-30, *Meniffee Road Streetscape*, Figure 5-31, *Meniffee Road Perspective* and Figure 5-32, *20,000 s.f. Residential Lot and Meniffee Road Interface* includes streetscape improvements such as 5-foot meandering sidewalk, varying width landscape parkway, and a varying width landscape transition zone planted with native and / or drought tolerant low shrubs and trees. On the east side of Meniffee Road, a theme fence and 5' meandering view fence are located behind the sidewalk and serve to physically separate the public streetscape from low-density residential frontage. Landscaping along Meniffee Road includes an informal planting theme for the perimeter of the TRAILMARK community, consistent with existing community character.



Menifee Road Streetscape



STREET PLAN

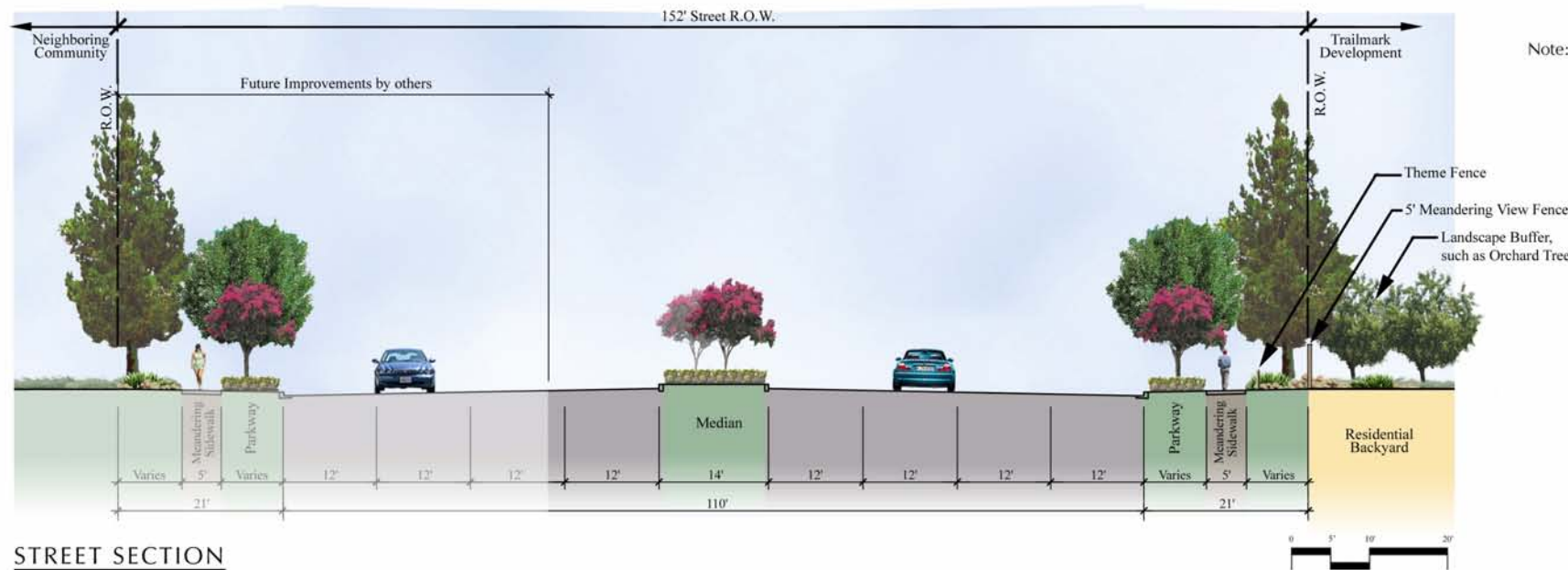
Menifee Road

- Urban Arterial Highway (152' R.O.W.)  
 100% 24" Box Trees in Parkway  
 at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Albizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Crape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pinus eldarica - Afghan Pine
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurpurea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak
  - Schinus molle - California Pepper Tree

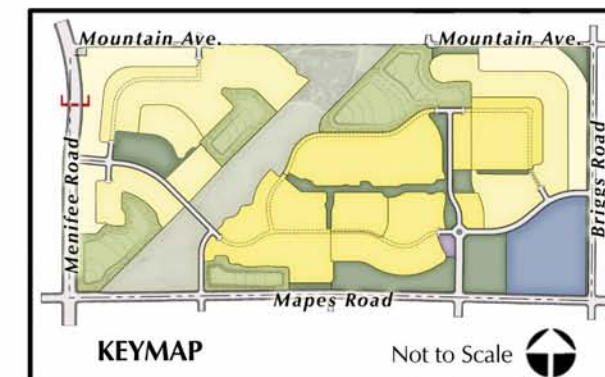
Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.



STREET SECTION

Notes:  
 This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.





Menifee Road Perspective





20,000 Minimum S.F. Residential Lot and Menifee Road Interface



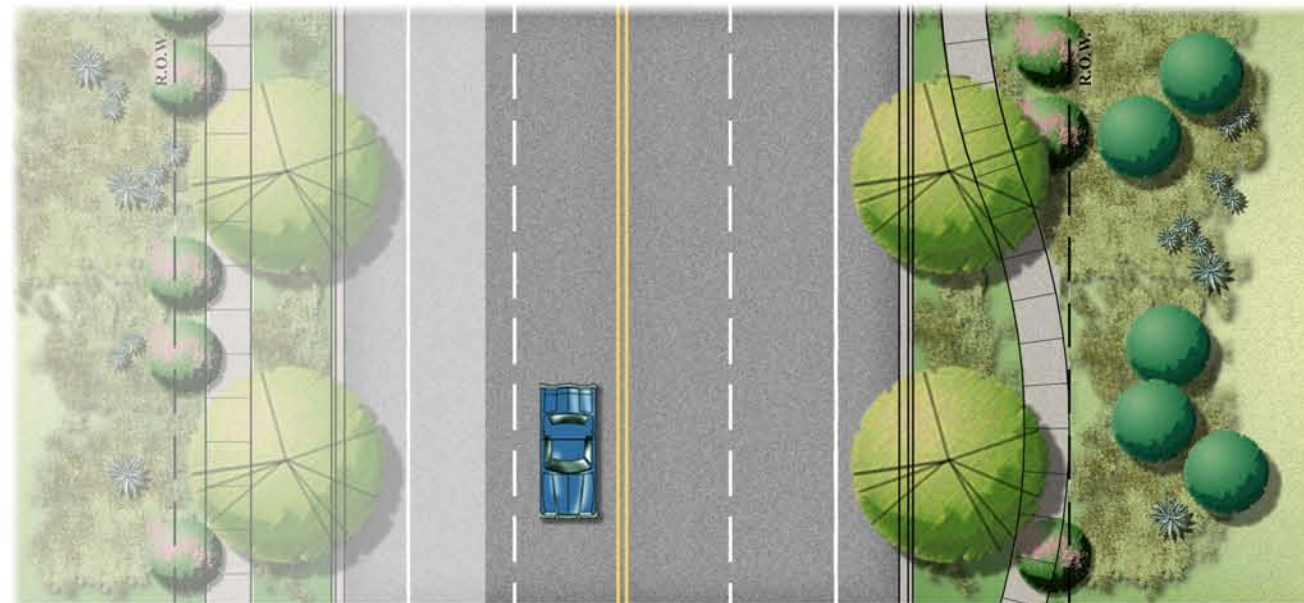


#### □ MAPES ROAD STREETScape

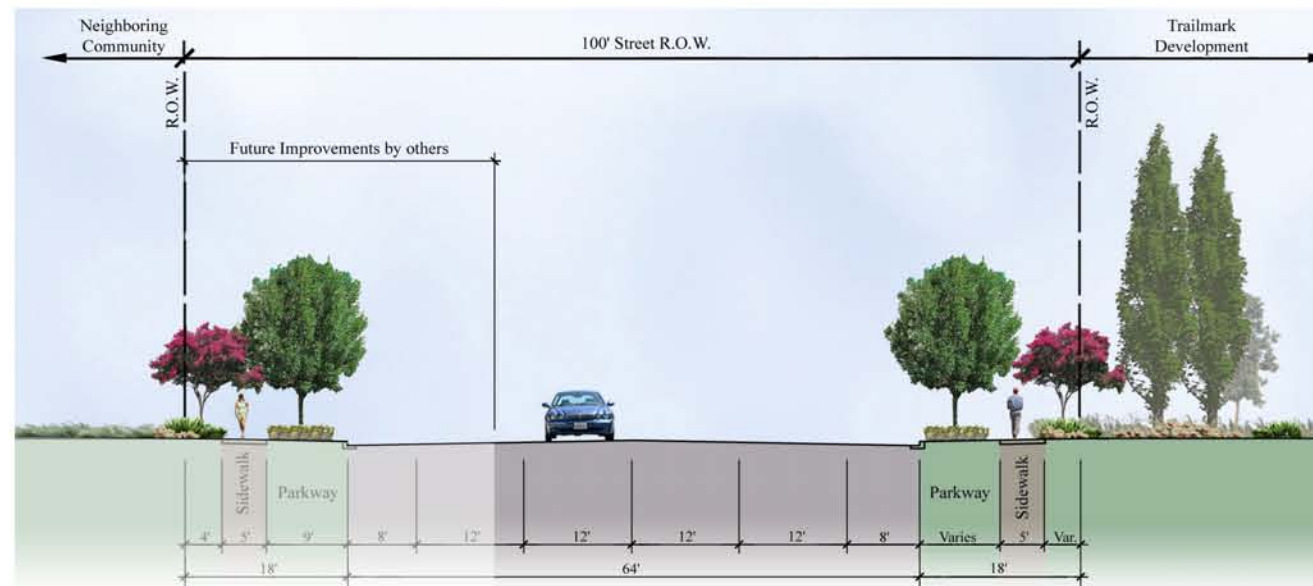
Mapes Road forms a southern edge of TRAILMARK in an east-west alignment and consists of a 100-foot right-of-way condition, serving as a Secondary Highway. The Mapes Road frontage at TRAILMARK consists almost entirely of open space, including parks, a recreation center, detention basins and a school site. Figure 5-33, *Mapes Road Streetscape*, Figure 5-34, *Mapes Road Perspective* and Figure 34a, *Medium Density Residential Lot and Mapes Road Interface*, includes streetscape improvements such as a 5-foot non-contiguous sidewalk, a landscaped parkway and landscape transition zone that is adjacent to various site conditions. A theme fence is planned behind the sidewalk along areas adjacent to detention basins, parks, recreation center and the school site (safety or security fencing for the recreation center, school site or community park areas occur on private property). Landscaping along Meniffee Road consist of native and/or drought-tolerant trees, shrubs and groundcovers. Large-scale street trees provides a “rural-country lane” effect along this road, with smaller scale flowering trees providing variety and accent. Spacing of street trees comply with County standards and are grouped in natural and informal planting arrangements (where feasible) that blend well with open spaces and the existing rural character of Mapes Road. Tree planting at adjacent open spaces, detention basins, parks, etc. reflect natural and informal design principles but also incorporate traditional “rural wind row” tree arrangements where appropriate.



Mapes Road Streetscape



STREET PLAN



STREET SECTION



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

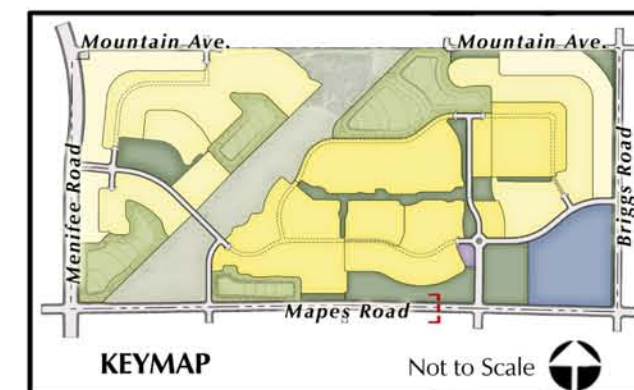
Mapes Road

- Secondary Highway (100' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Alibizia julibrissin - Silk Tree
  - Caesalpinia cacalaco - Cascalote
  - Chitalpa tashkentensis - Chitalpa
  - Chorisia speciosa - Pink Floss Silk Tree
  - Eucalyptus papuana - Ghost Gum
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash**
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Crape Myrtle**
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Phoenix dactylifera - Date Palm
  - Pistacia chinensis - Chinese Pistache
  - Populus nigra 'Italica' - Lombardy Poplar**
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurpurea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak
  - Schinus molle - California Pepper Tree
  - Sophora secundiflora - Texas Mountain Laurel

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.



KEYMAP

Not to Scale



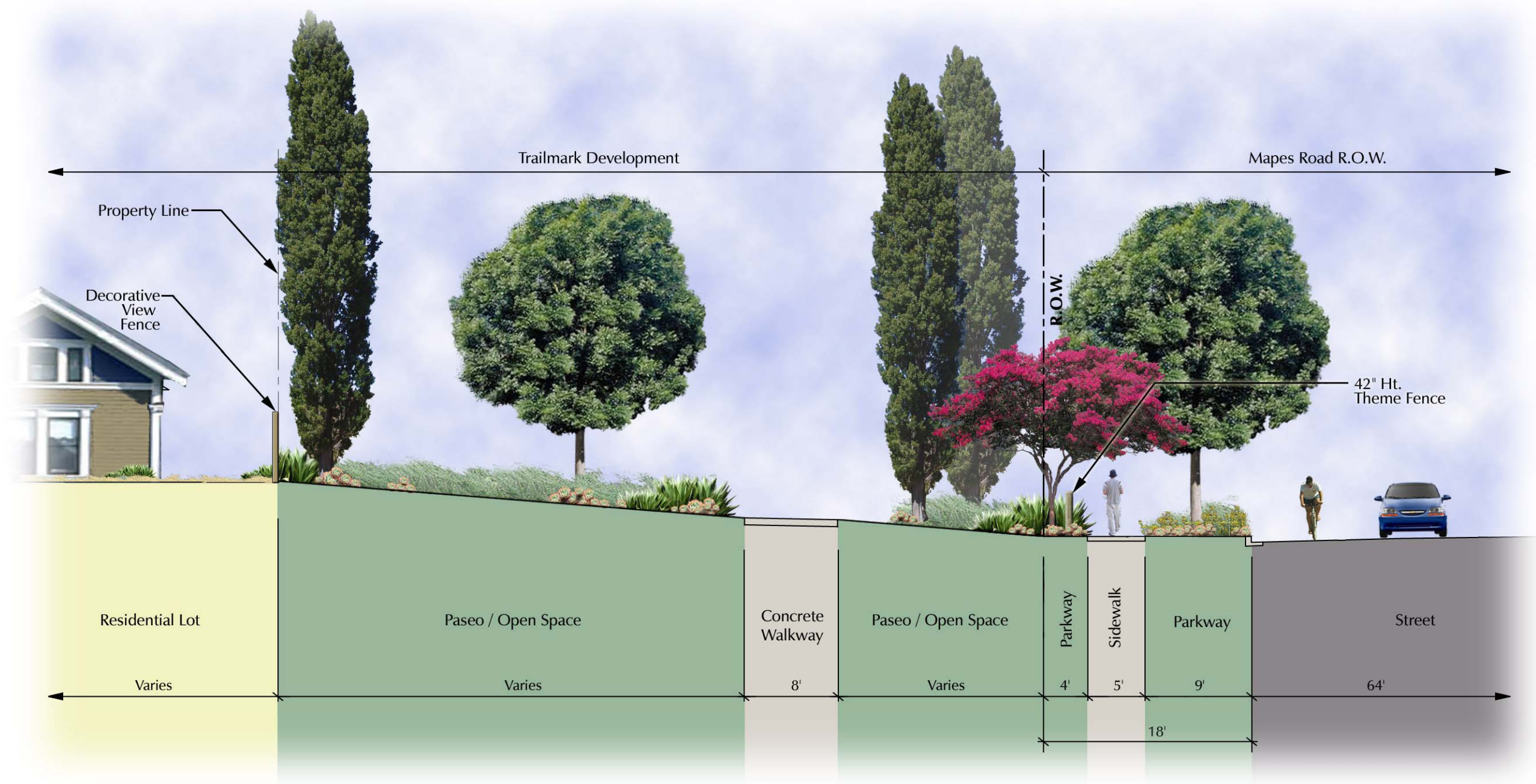
Mapes Road Perspective



The depicted rendering is intended to show design concept. Plant material size and features may vary at the time of construction.



Medium Density Residential Lot and Mapes Road Interface



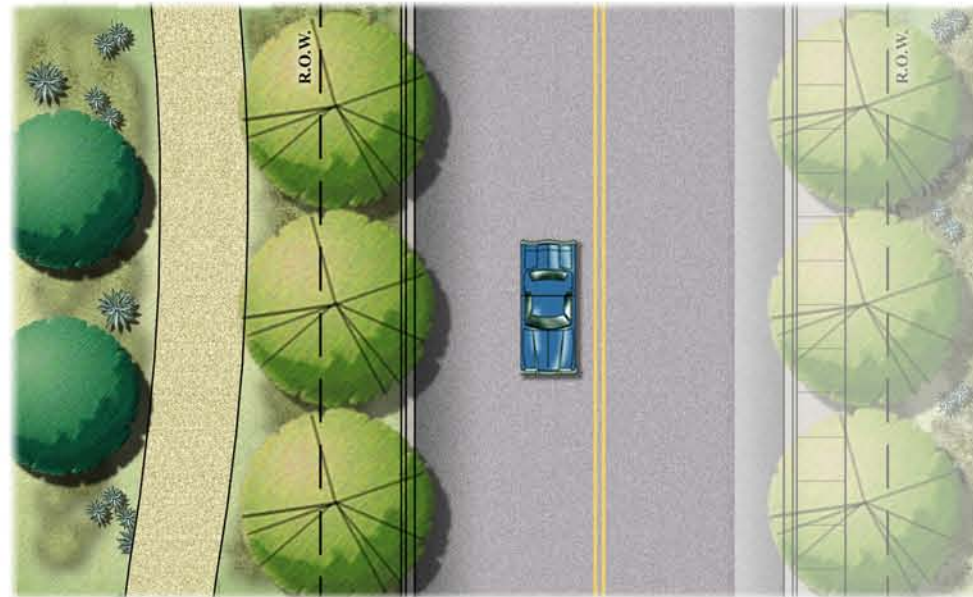


❑ **BRIGGS ROAD STREETScape**

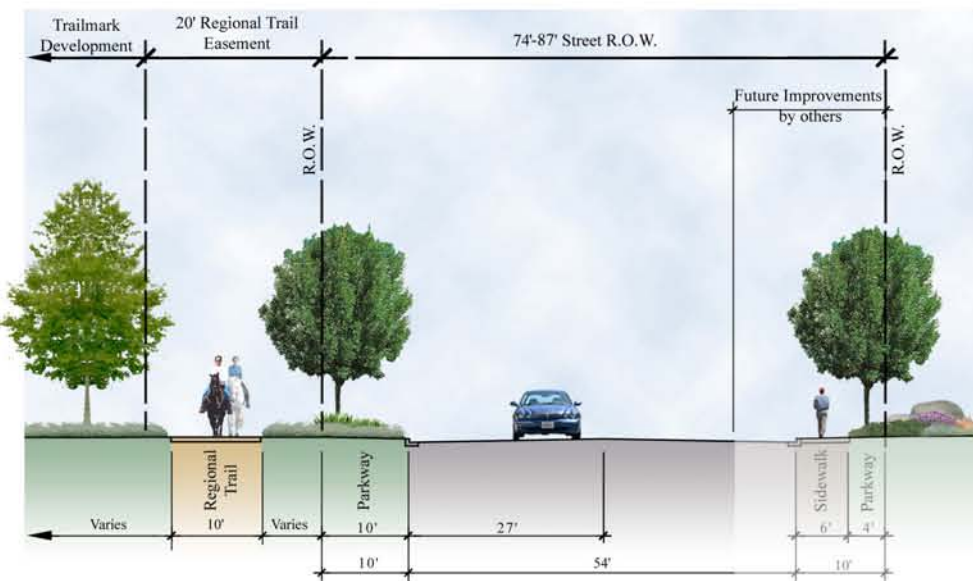
Briggs Road is located along the eastern community boundary and is primarily classified as a Collector Road (modified) consisting of an 87-foot right-of-way condition. An approximately 600-foot segment of Briggs Road (immediately south of the Mountain Avenue/Briggs Road intersection) is classified as a Collector Road consisting of a 74-foot right-of-way condition. Figure 5-37, *Briggs Road Perspective*, Figure 5-37, *Briggs Road Perspective* and Figure 5-38, *20,000 s.f. Residential Lot and Briggs Road Interface*, indicate a 20' Regional Trail Easement (with a 10' decomposed granite meandering trail suitable for equestrian use) to a 5-foot landscape transition zone. Theme fencing separates the regional trail from the road right-of-way and from adjacent private property. Landscaping along Briggs Road consists of native and/or drought-tolerant trees, shrubs and groundcovers that blend well with open spaces, the existing rural character and the regional trail equestrian use. Additionally, an Equestrian Staging Area has been provided at the northeast corner of TRAILMARK at Briggs Road and Mountain Avenue. Large-scale street trees provide a "rural-country lane" effect along this road. Additionally, spacing of street trees comply with County standards and are grouped in natural and informal planting arrangements (where feasible) that blend well with open spaces and the existing rural character of Briggs Road. Tree planting at adjacent open spaces reflect natural and informal design principles but and also incorporate traditional "rural wind row" arrangements where appropriate.



Briggs Road Streetscape



STREET PLAN



STREET SECTION



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

Briggs Road

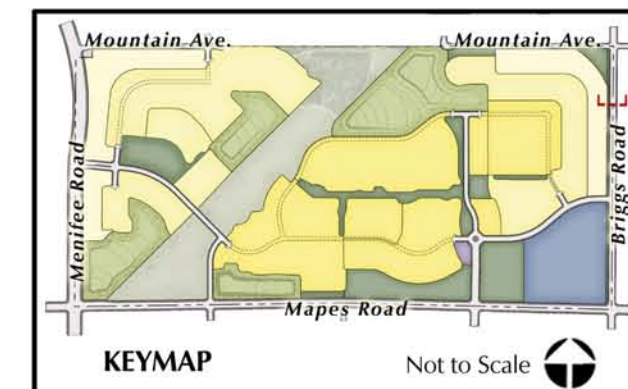
- Modified Collector Street (74'-87' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

Parkway Tree Such As:

- Acacia aneura - Mulga
- Acacia salicina - Willow Acacia
- Acacia smallii - Sweet Acacia
- Caesalpinia cacalaco - Cascalote
- Chitalpa tashkentensis - Chitalpa
- Chorisia speciosa - Pink Floss Silk Tree
- Eucalyptus papuana - Ghost Gum
- Fraxinus oxycarpa 'Raywood' - Raywood Ash
- Fraxinus velutina - Arizona Ash
- Jacaranda mimosifolia - Jacaranda
- Lagerstroemia indica - Red Crape Myrtle
- Olea europaea - Fruitless Olive Tree
- Pistacia chinensis - Chinese Pistache
- Platanus racemosa - California Sycamore
- Populus nigra 'Italica' - Lombardy Poplar
- Prosopis glandulosa - Honey Mesquite
- Quercus agrifolia - Coast Live Oak
- Quercus ilex - Holly Oak
- Schinus molle - California Pepper Tree
- Sophora secundiflora - Texas Mountain Laurel

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.



KEYMAP

Not to Scale





Briggs Road Perspective



The depicted rendering is intended to show design concept. Plant material size and features may vary at the time of construction.



20,000 Minimum S.F. Residential Lot and Briggs Road Interface



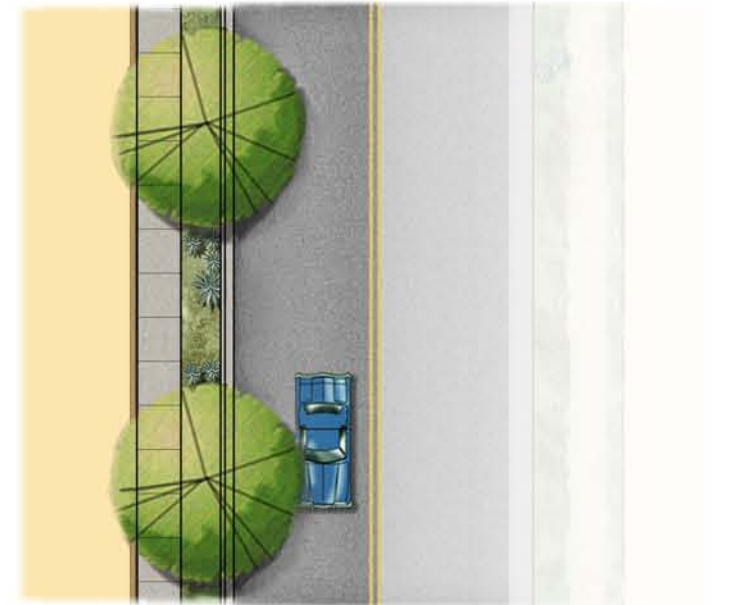


❑ **MOUNTAIN AVENUE STREETScape**

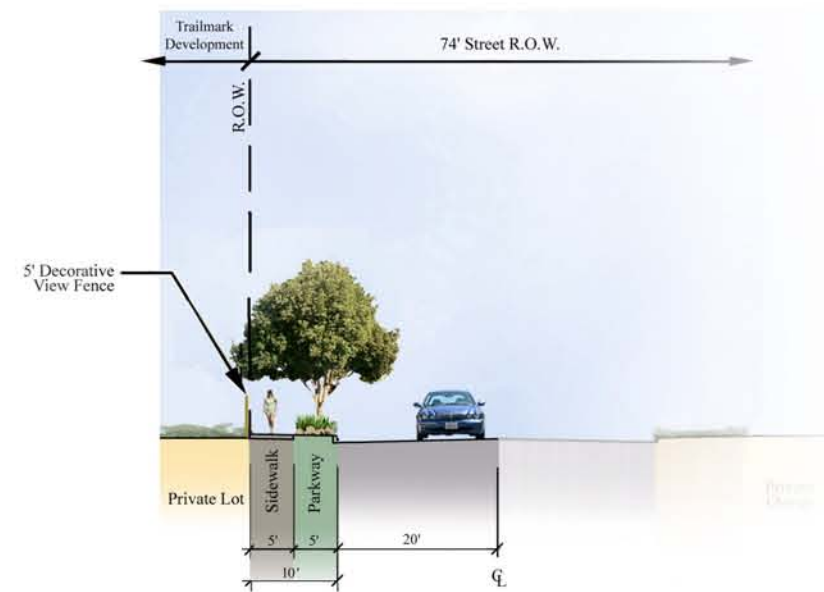
Mountain Avenue is located along the northern community boundary and is classified as a Modified Local Street (modified) consisting of a 74-foot right-of-way condition. Figure 5-39, *Mountain Avenue Streetscape* indicates a 5-foot curb-separated sidewalk adjacent to a 5-foot parkway with a 5' decorative view fence on the southern side of the street. A drainage channel would be located within the parkway on the northern side of the street. Landscaping along Mountain Avenue consists of native and/or drought-tolerant trees, shrubs and groundcovers. Large-scale street trees provide a “rural-country lane” effect along this road, with flowering trees interspersed for variety and accent. Spacing of street trees comply with County standards and are grouped in natural and informal planting arrangements (where feasible) that blend well with open spaces and the existing rural character of Mountain Avenue. Tree planting at adjacent open spaces reflect natural and informal design principles and also incorporate traditional “rural windrow” arrangements where appropriate.



# Mountain Avenue Streetscape



**STREET PLAN**



**STREET SECTION**



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

## Mountain Avenue

- Modified Local Street (74' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia aneura - Mulga
  - Acacia salicina - Willow Acacia
  - Albizia julibrissin - Silk Tree
  - Caesalpinia cacalaco - Cascalote
  - Chitalpa tashkentensis - Chitalpa
  - Chorisia speciosa - Pink Floss Silk Tree
  - Eucalyptus papuana - Ghost Gum
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurprea' - Purple leaf Plum
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak**
  - Schinus molle - California Pepper Tree
  - Sophora secundiflora - Texas Mountain Laurel

Red text indicates species shown in rendering

Note: All trees shall comply with Riverside County Transportation Department Guidelines.

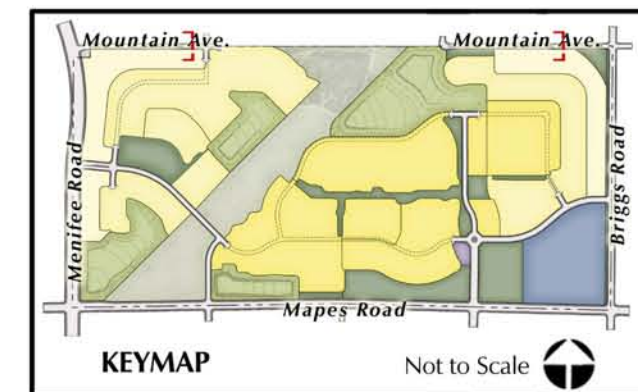




Figure 5-40 has been purposely omitted from the Final Trailmark Specific Plan.



Figure 5-41 has been purposely omitted from the Final Trailmark Specific Plan.



20,000 Minimum S.F. Residential Lot and Mountain Avenue Interface

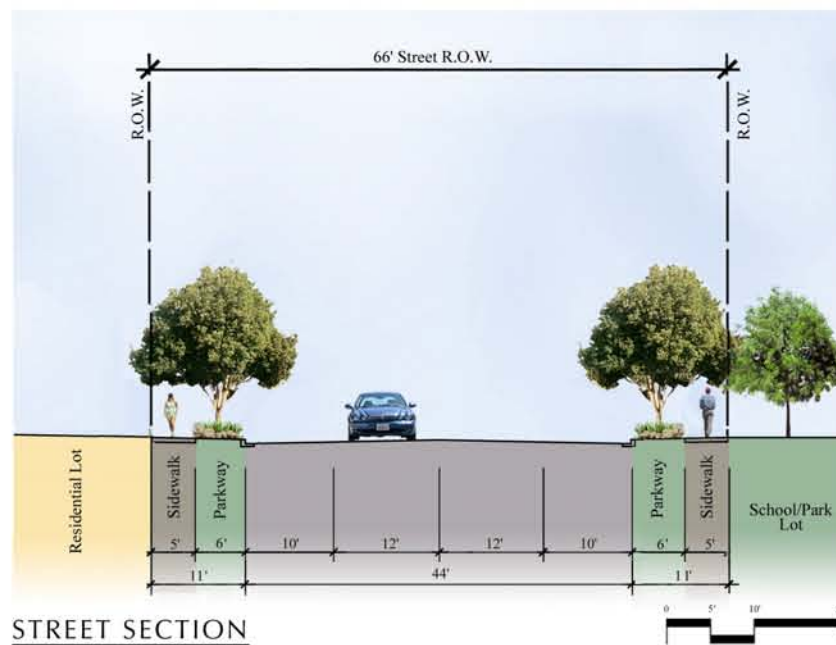
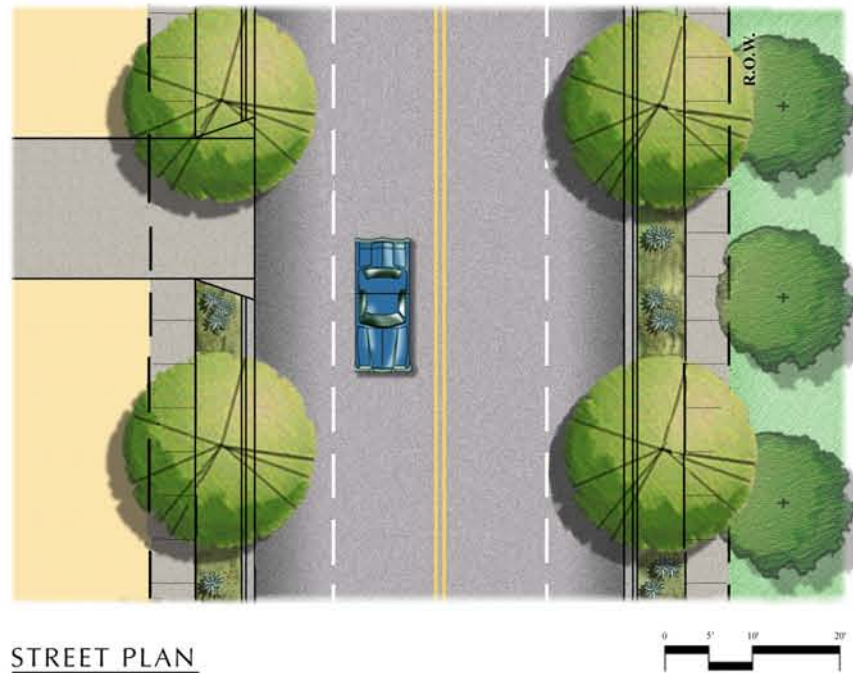


□ **ENHANCED LOCAL STREETScape**

A 66-foot wide right-of-way condition is incorporated for the enhanced local street. The Enhanced Local Street within TRAILMARK is located northerly of the community park and school site, as shown on Figure 5-43, *Community Collector Streetscape at Park and School*, and indicates an 11' parkway on each side of the street, featuring a 5' sidewalk with a 6' landscape transition zone. An Enhanced Local Street is also provided along the perimeter of the neighborhood park in Planning Area 16.



# Enhanced Local Streetscape at Park and School



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

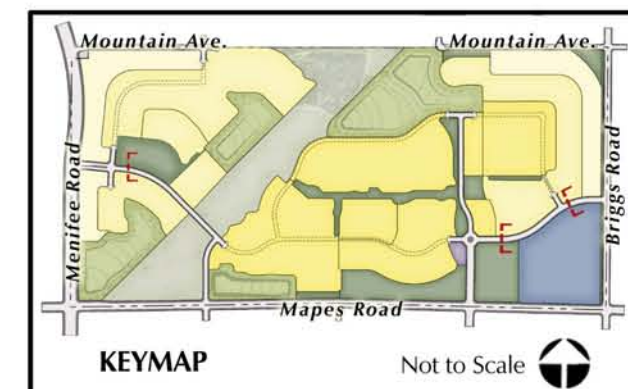
## Interior Streetscape along Park & School

- Modified Local Street (66' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Alibizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Crape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurprea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak
  - Schinus molle - California Pepper Tree

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.

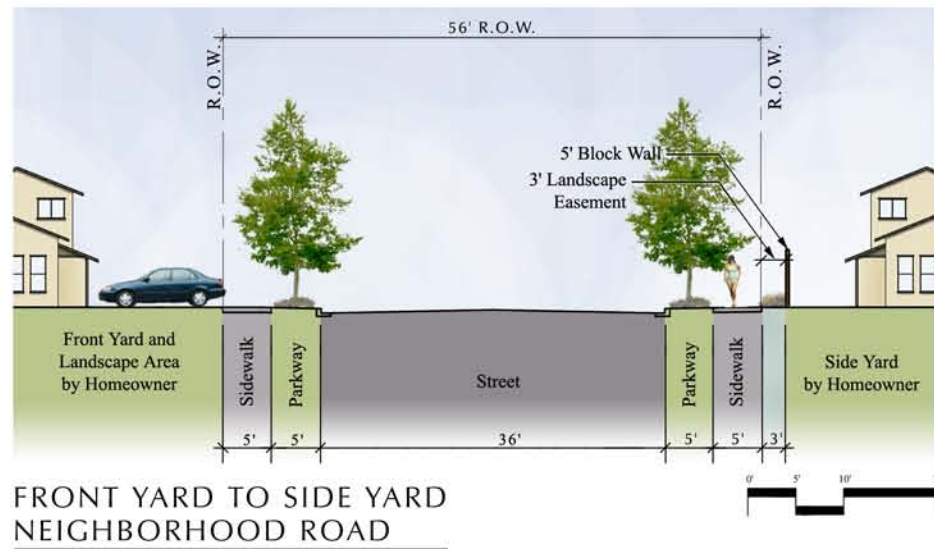


□ **INTERIOR NEIGHBORHOOD AND PRIVATE DRIVE STREETScape**

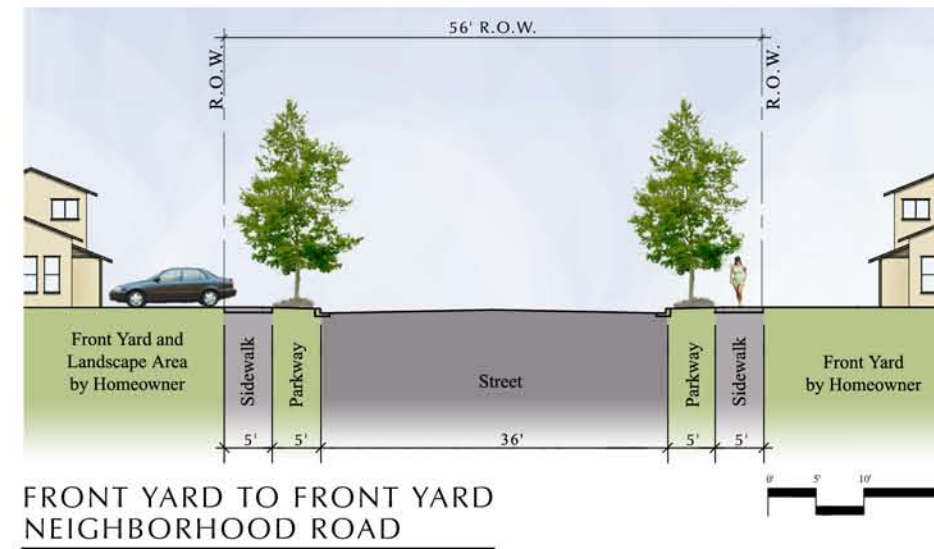
Figure 5-44, *Interior Neighborhood Road and Private Drive Streetscape*, provides streetscape improvements for interior neighborhood roads and private drives ranging in width from 35-56 feet. Private Drives are also planned as access to low-density residential lots that face Briggs Road, Menifee Road and Mountain Avenue. Figure 5-45, *Interior Streetscape at Utility Easement* depicts the interior streetscape along the Southern California Edison easement at Planning Areas 20A and 20B. Figure 5-46, *Interior Streetscape along Park / Open Space* depicts the interior streetscape along the greenbelt in Planning Area 18A. Figure 5-47, *Interior Streetscape along Detention Basins* depicts the interior streetscape along the detention basin in Planning Area 22D.



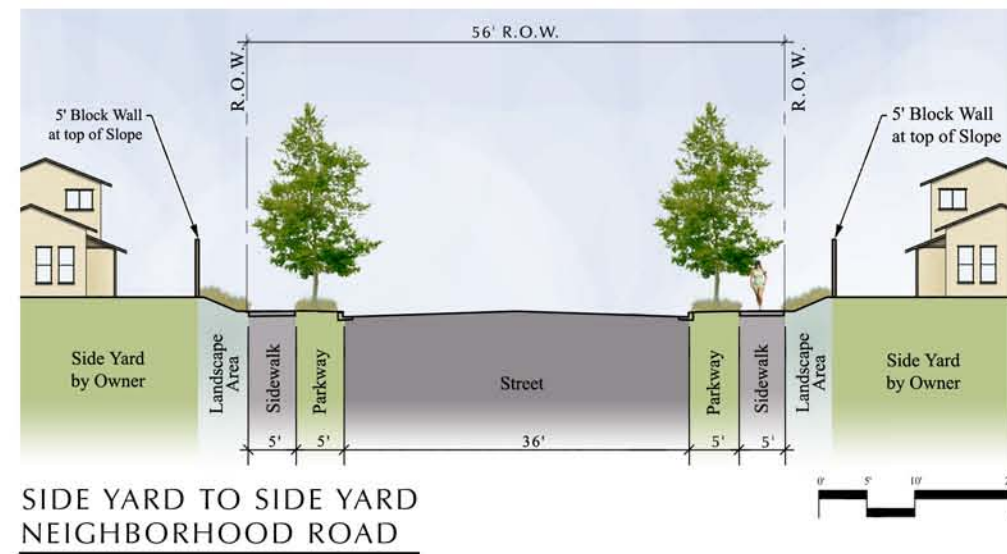
Interior Neighborhood Road/Private Drive Streetscape



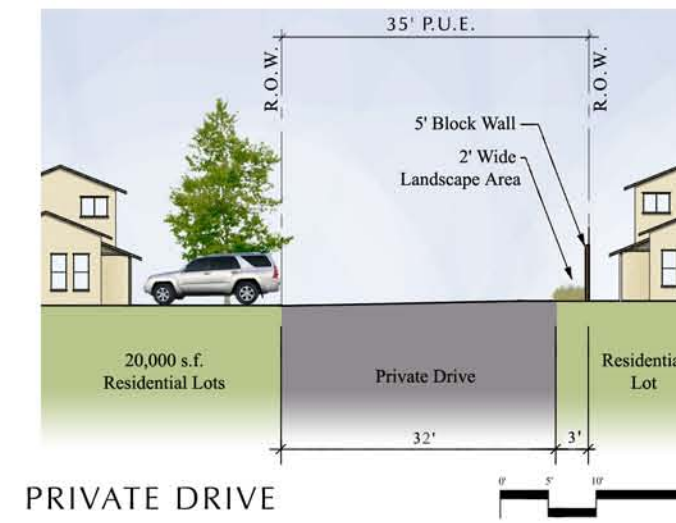
FRONT YARD TO SIDE YARD NEIGHBORHOOD ROAD



FRONT YARD TO FRONT YARD NEIGHBORHOOD ROAD

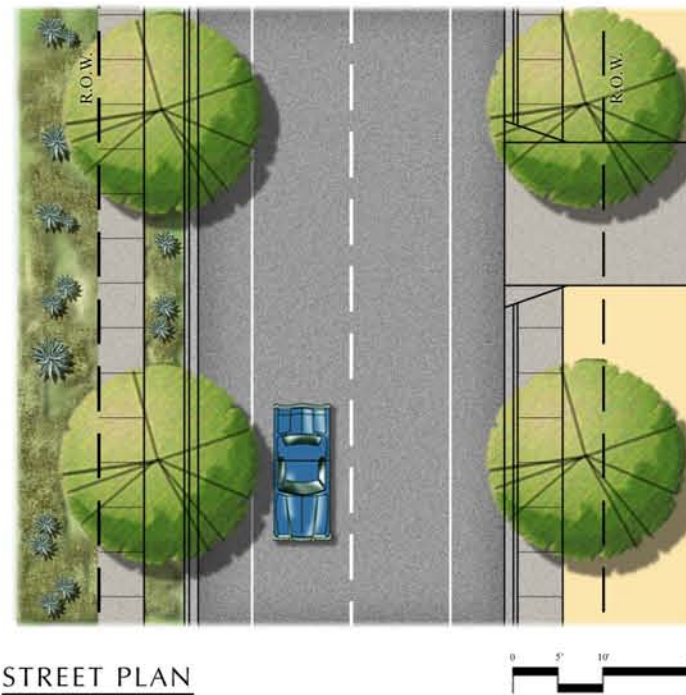


SIDE YARD TO SIDE YARD NEIGHBORHOOD ROAD

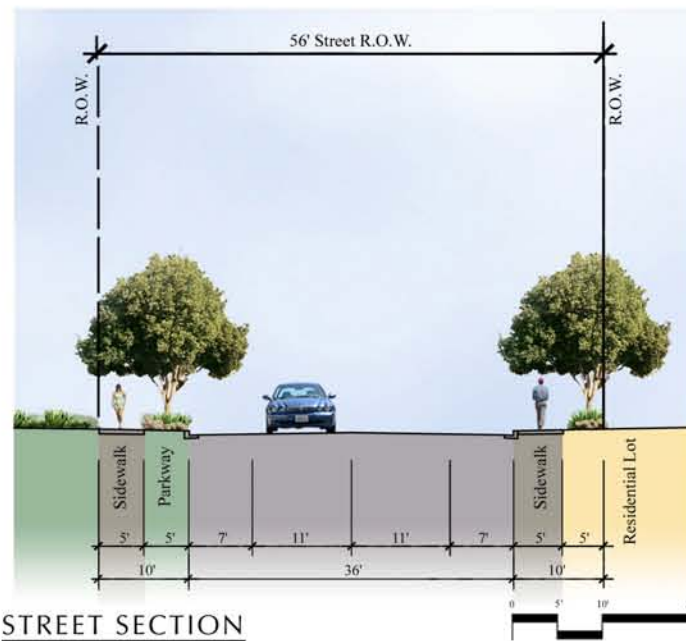


PRIVATE DRIVE

# Interior Streetscape at Utility Easement



STREET PLAN



STREET SECTION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

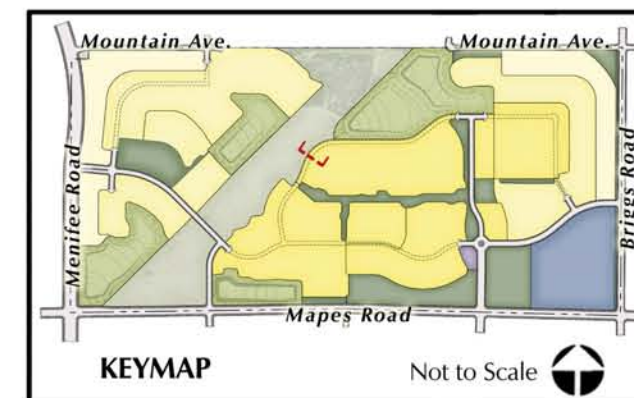
## Interior Streetscape along Utility Easement

- Local Street (56' R.O.W.)
- 100% 24" Box Trees in Parkway
- at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Albizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Crape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurpurea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak**
  - Schinus molle - California Pepper Tree

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.

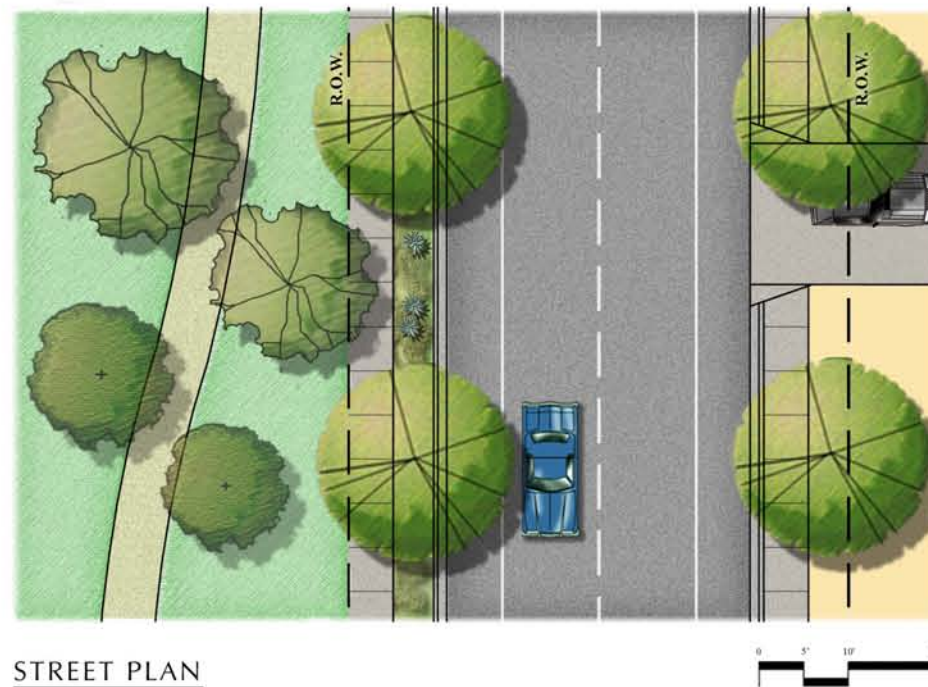


KEYMAP

Not to Scale



# Interior Streetscape along Park / Open Space



STREET PLAN



STREET SECTION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

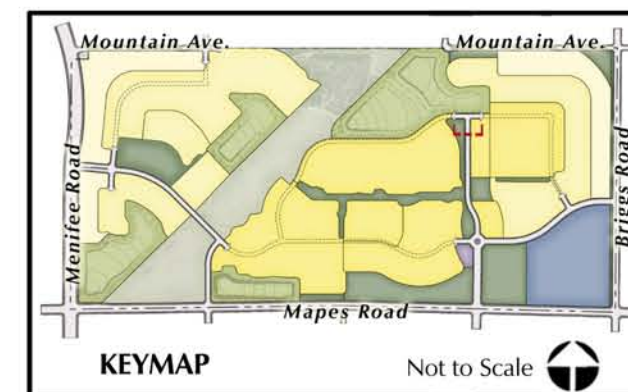
## Interior Streetscape along Park / Open Space

- Local Street (56' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Alibizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa**
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Crape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurpurea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear**
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak**
  - Schinus molle - California Pepper Tree

Red text indicates species shown in rendering.

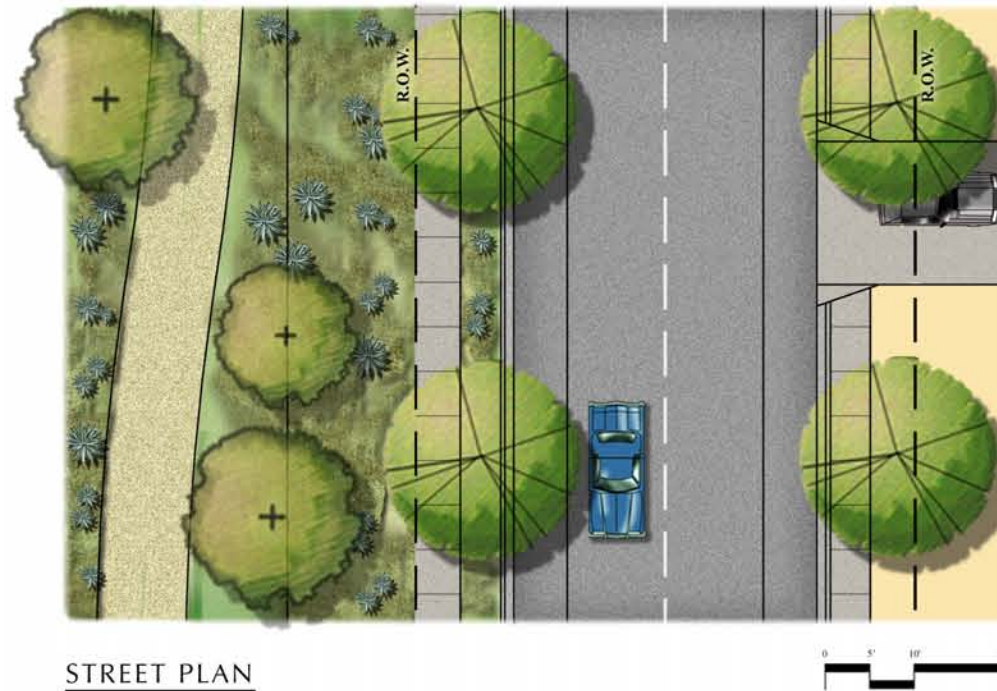
Note: All trees shall comply with Riverside County Transportation Department Guidelines.



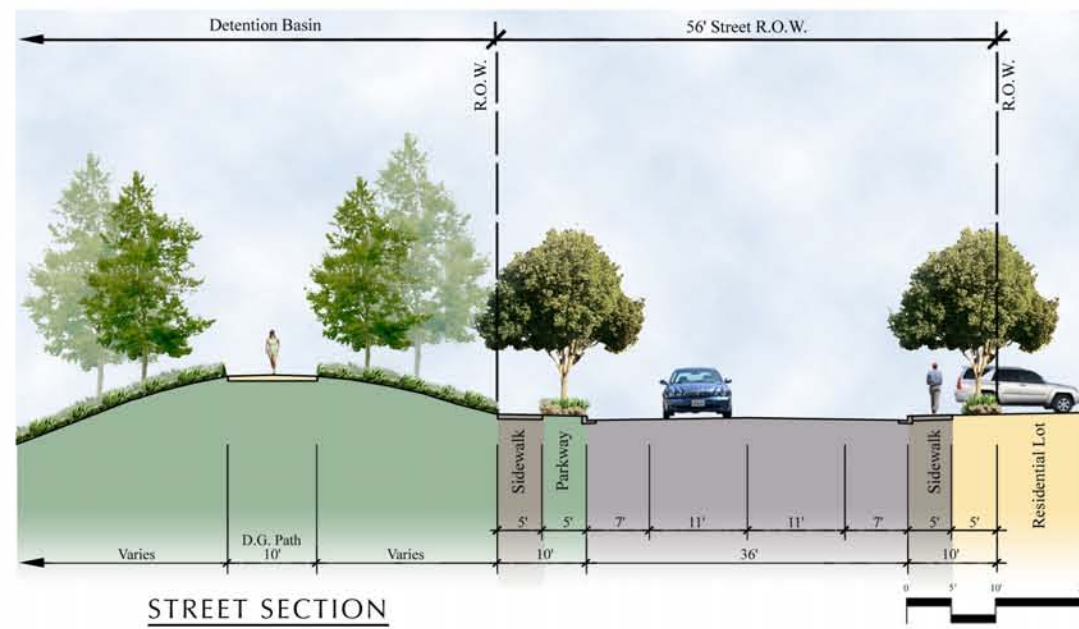
KEYMAP

Not to Scale

# Interior Streetscape along Detention Basins



STREET PLAN



STREET SECTION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

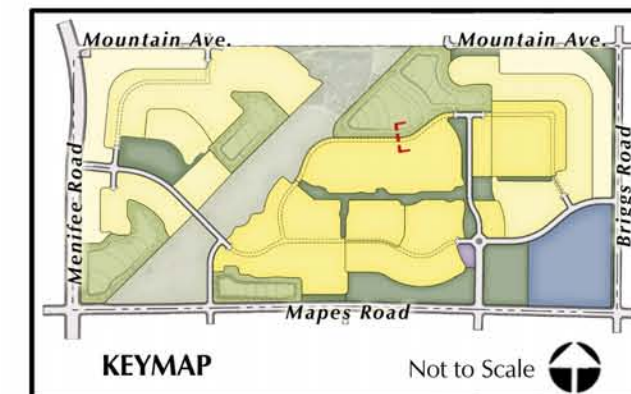
## Interior Streetscape along Detention Basins

- Local Street (56' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Alibizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Cape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurprea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak**
  - Schinus molle - California Pepper Tree

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.



KEYMAP

Not to Scale



## □ PRIMARY AND SECONDARY ENTRY ROAD STREETScape

The design of community entry roads has been given careful consideration in order to provide functional and safe community entries. A primary goal is to create an aesthetically pleasing arrival into TRAILMARK, while blending well with the surrounding existing community at an appropriate scale and character.

Figure 5-48, *Primary Entry Road Streetscape – Mapes Road*, incorporates an 86-foot right-of-way condition and includes streetscape improvements such as a 5-foot non-contiguous sidewalk, a 6-foot landscape parkway, and a 4-foot landscape transition zone that is adjacent to a recreation center / day care site and community park site. Large-scale street trees provide a “shade-lined avenue” effect, with flowering trees interspersed for variety and accent. Spacing of street trees comply with County standards and are regularly spaced to signify the entry zone to the community. A 5’ decorative view fence is planned behind the sidewalk along areas adjacent to the park and recreation center sites. The theme fence ties into the Entry Monument features at the intersection of Mapes Road.

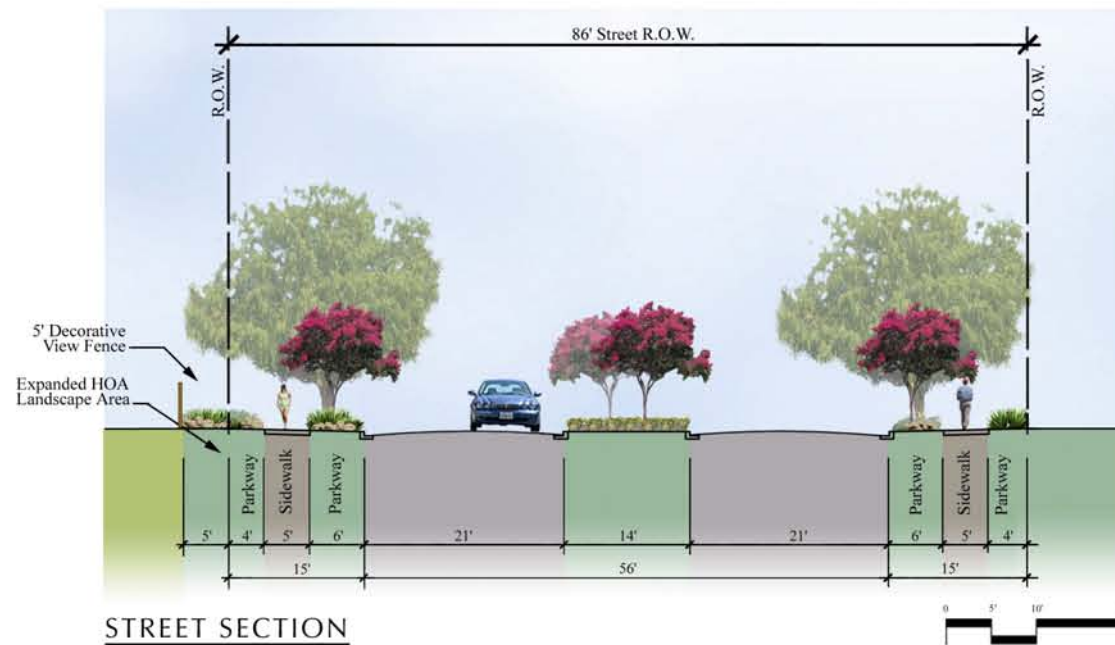
Figure 5-49, *Primary Entry Roundabout Concept Plan*, depicts a roundabout with a landscaped median at the intersection of the Primary Entry Road and Enhanced Local Road. This roundabout includes enhanced paving at pedestrian crossings as well as sidewalk connections to the community park, day care facility and private recreation center as well as the paseo.

Figure 5-50, *Primary Entry Road Streetscape – Meniffee Road*, incorporates an 86-foot right-of-way condition and includes streetscape improvements such as a 5-foot non-contiguous sidewalk, a 6-foot landscape parkway, a 4-foot landscape transition zone that is adjacent to low-density residential lots, and a 10-foot landscaped median. Large-scale street trees provide a “shade-lined avenue” effect, with flowering trees in the median for variety and accent. Spacing of street trees comply with County standards and are regularly spaced to signify the entry zone to the community.

Primary Entry Road Streetscape - Mapes Road



STREET PLAN



STREET SECTION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

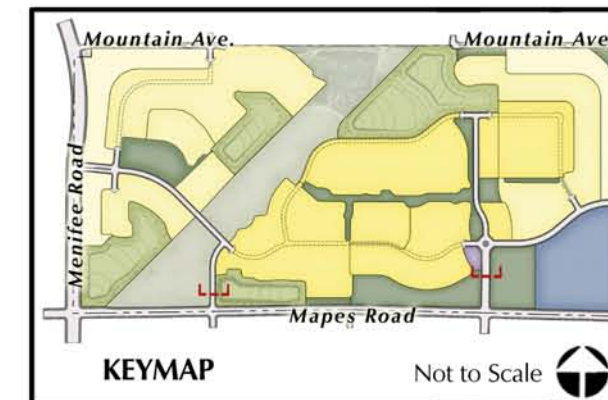
Primary Entry Road

- Modified Local Street (86' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Albizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Crape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurprea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak
  - Schinus molle - California Pepper Tree

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.

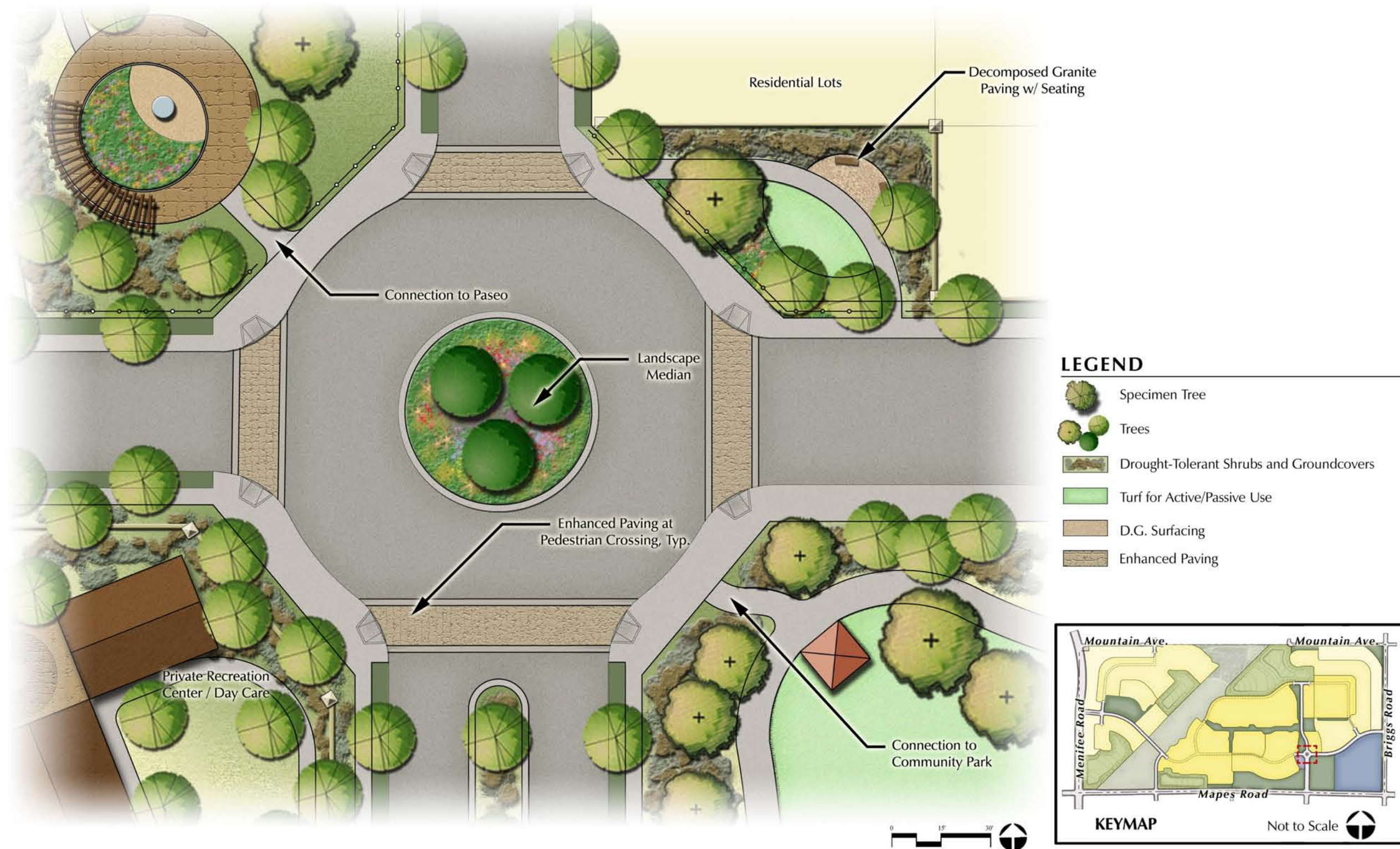


KEYMAP

Not to Scale

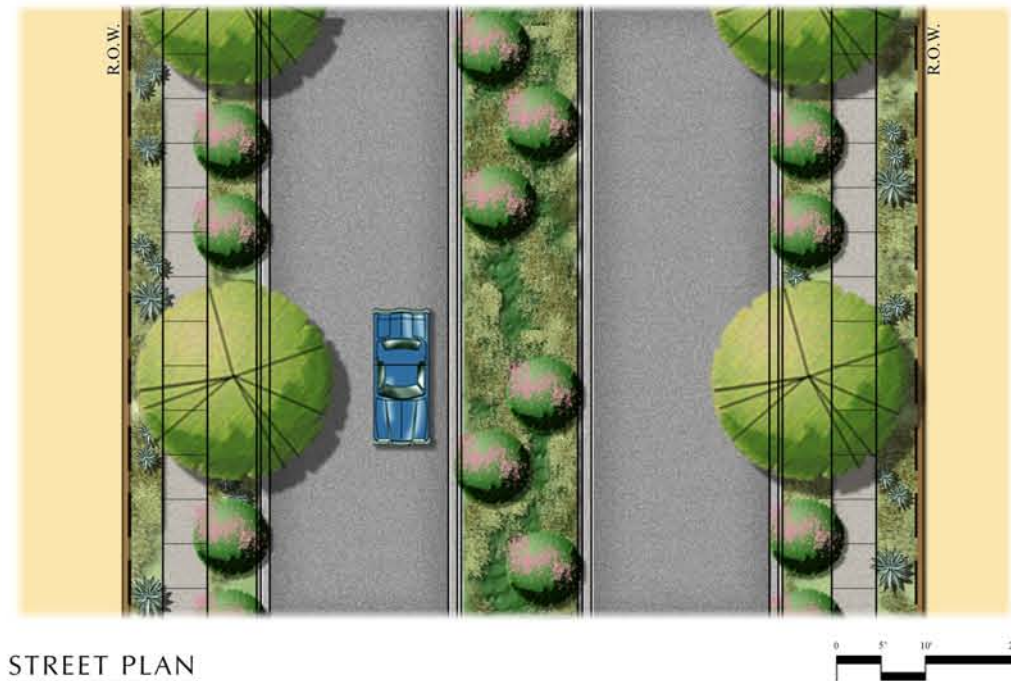


Primary Entry Roundabout Concept Plan

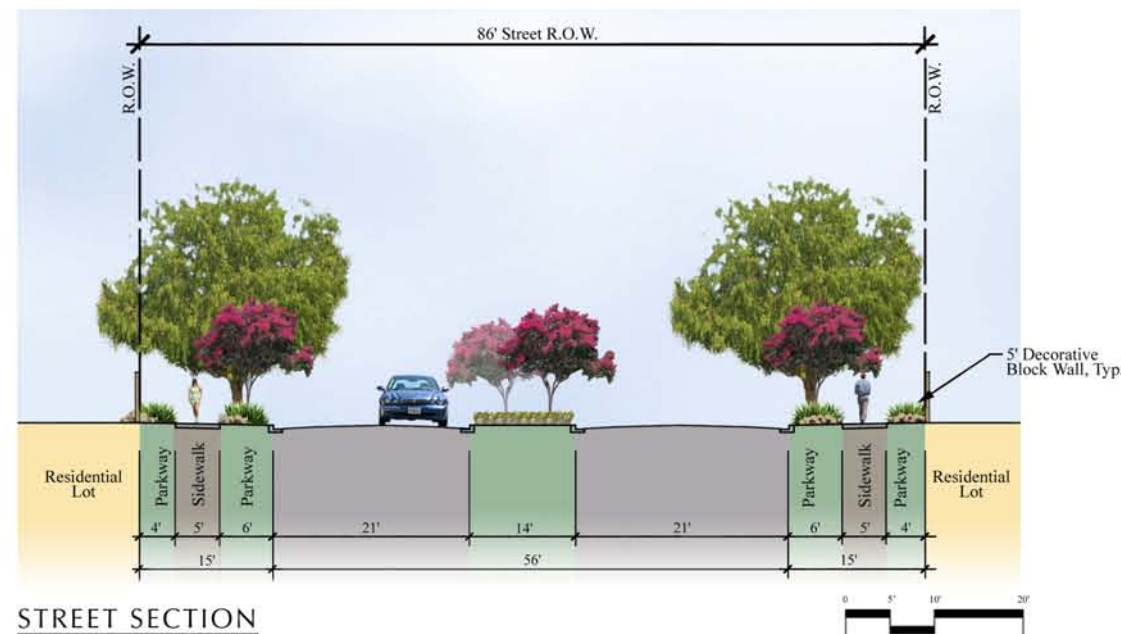




Primary Entry Road Streetscape - Menifee Road



STREET PLAN



STREET SECTION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

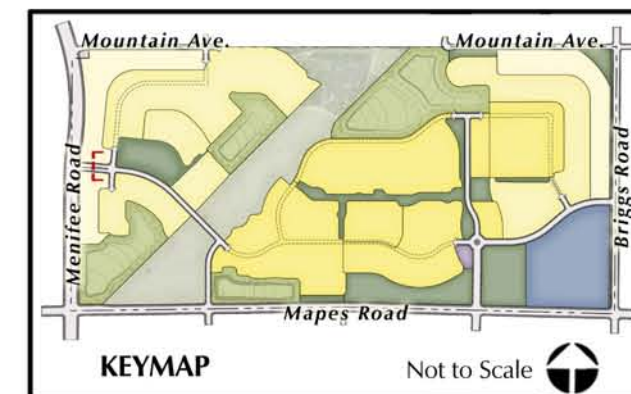
Primary Entry Road

- Modified Local Street (86' R.O.W.)  
100% 24" Box Trees in Parkway  
at an average of 30' on center spacing

- Parkway Tree Such As:
- Acacia salicina - Willow Acacia
  - Albizia julibrissin - Silk Tree
  - Chitalpa tashkentensis - Chitalpa
  - Fraxinus oxycarpa 'Raywood' - Raywood Ash
  - Fraxinus velutina - Arizona Ash
  - Jacaranda mimosifolia - Jacaranda
  - Lagerstroemia indica - Red Cape Myrtle
  - Laurus nobilis 'Saratoga' - Sweet Bay
  - Magnolia grandiflora - Southern Magnolia
  - Olea europaea 'Swan Hill' - Fruitless Olive Tree
  - Pistacia chinensis - Chinese Pistache
  - Prosopis glandulosa - Honey Mesquite
  - Prunus cerasifera 'Atropurpurea' - Purple leaf Plum
  - Pyrus calleryana - Callery Pear
  - Quercus agrifolia - Coast Live Oak
  - Quercus ilex - Holly Oak
  - Schinus molle - California Pepper Tree

Red text indicates species shown in rendering.

Note: All trees shall comply with Riverside County Transportation Department Guidelines.



KEYMAP

Not to Scale



Figure 5-51 has been purposely omitted from the Final Trailmark Specific Plan

#### 4.0 OPEN SPACE AND RECREATION

An important element of TRAILMARK is the provision of recreation and open space to enhance the quality of living for residents of the community. The comprehensive recreation and open space as illustrated in Figure 5-52, *Open Space and Recreation Concept Plan*, has been created to retain and enhance the rural character of TRAILMARK through the provision of parks, paseos, a private recreation center and open space. The *Open Space and Recreation Plan* calls for an interconnected system that consists of a series of pedestrian-friendly paseos providing linkages to a larger community parks, school site, neighborhood park, private recreation center, pocket parks and passive uses in usable detention basin facilities. Individual components of the *Open Space and Recreation Plan* are discussed and graphically depicted in greater detail on the following pages. Concept plans of the open space and recreation areas are provided to present initial designs and amenities that should be included in future design proposals.



# Open Space and Recreation Concept Plan



Note: The program elements depicted in this graphic represent a preliminary concept of recreational uses. Further refinement is anticipated.

❑ **6.0-ACRE COMMUNITY PARK**

A 6.0-acre community park provides active sports and recreational opportunities for residents of TRAILMARK, as depicted on Figure 5-53, *6.0-acre Community Park Concept Plan – Planning Area 15*. This community park is strategically located adjacent to a designated school site and near a primary community entry, thereby enhancing the identity and character of TRAILMARK. The *Park and School Interface*, as illustrated on Figure 5-54, indicates the conceptual relationship of shared parking facilities for the park and a conceptual use diagram of the school site. Initial design concepts include a softball field with sports storage, bleachers and players benches, a multi-purpose field, a tot lot with a shade shelter and comfort station with age-appropriate play equipment, ample picnic areas and facilities, and a large “free play” turf area that can be utilized for passive or other recreation related uses. A meandering concrete sidewalk connects various areas of the park. The community park will be further enhanced through the integration of various landscape and hardscape elements to create a highly amenitized recreational facility for residents of TRAILMARK.

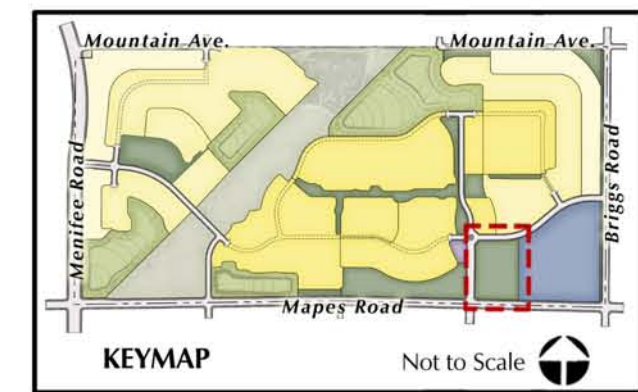
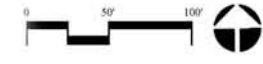


6.0-acre Community Park Concept Plan - Planning Area 15

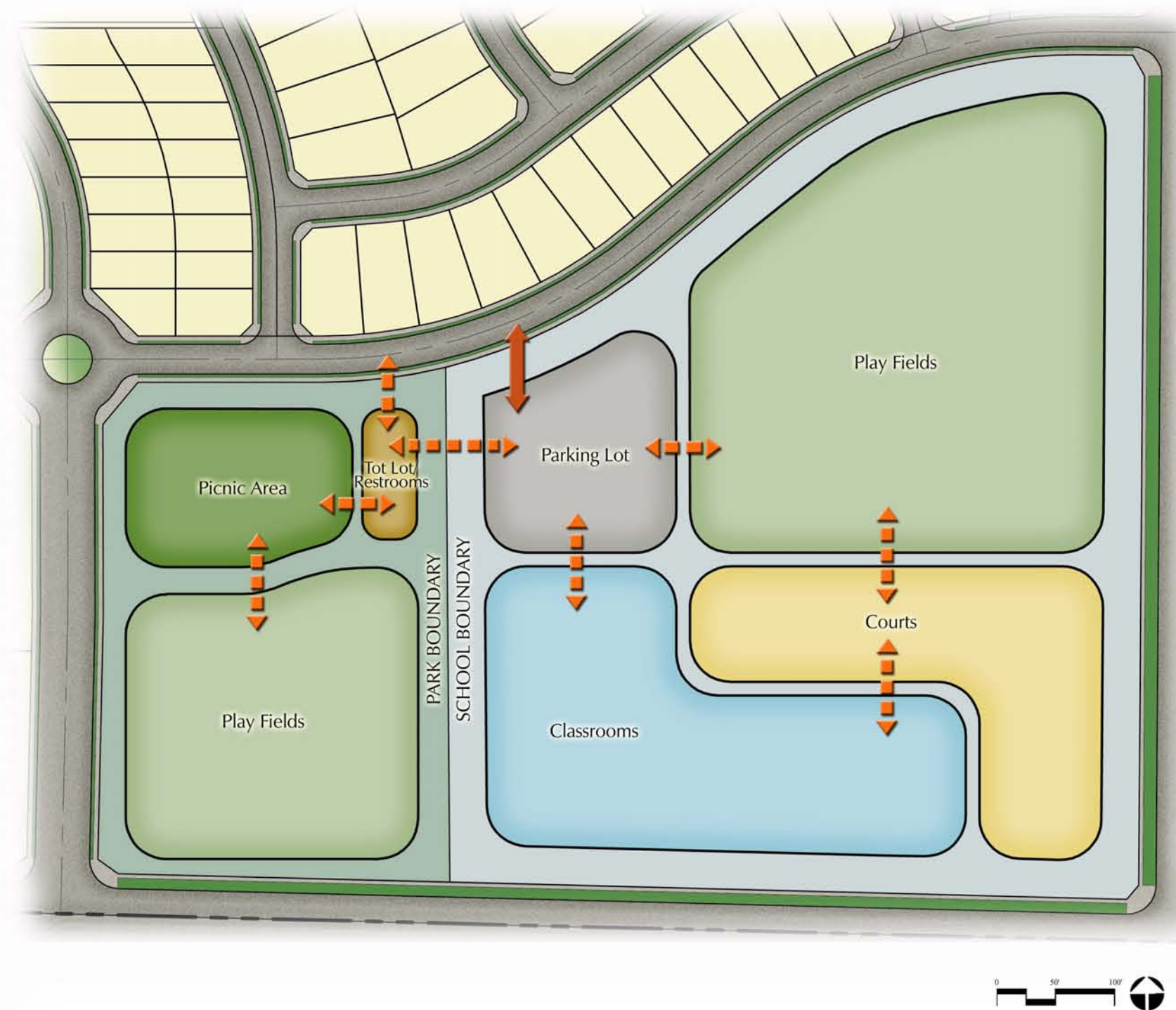


**LEGEND**

- Specimen Tree
- Trees
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active/Passive Use
- D.G. Surfacing
- Play Surfacing

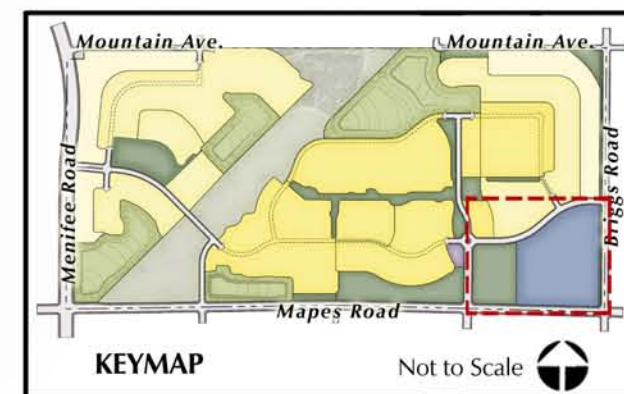


Park and School Interface



LEGEND

- Vehicular Access
- Pedestrian Access





□ **5.1-ACRE NEIGHBORHOOD PARK**

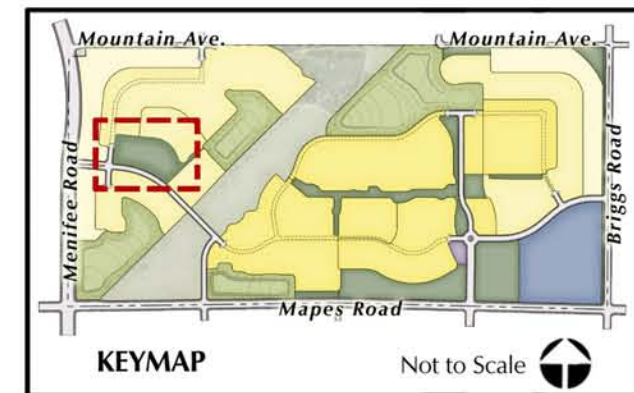
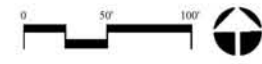
A 5.1-acre neighborhood park is conveniently located within the western neighborhoods of TRAILMARK and connects to the paseos and neighborhoods to the east. As illustrated in Figure 5-55, *5.1-acre Neighborhood Park Concept Plan – Planning Area 16*, proposes initial design concepts for this neighborhood park, which may include soccer fields, half-court basketball courts, age-appropriate play equipment/tot-lots, shade shelters, ample picnic areas, and restrooms. Additionally, a pavilion or large gazebo provides a focal point at the east end of a large “free play” turf area that can be utilized for passive activities, community events or other recreation related uses. Sidewalks and pathways are also planned to connect the neighborhood park to other open spaces and neighborhoods.

5.1-acre Neighborhood Park Concept Plan - Planning Area 16



LEGEND

- Specimen Tree
- Trees
- Accent Tree
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active/Passive Use
- Play Surfacing





❑ **POCKET PARKS**

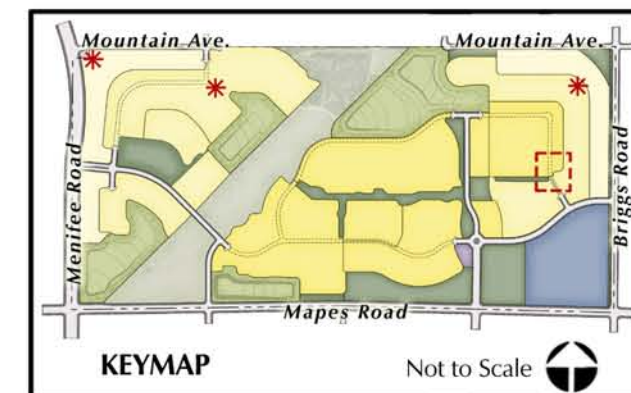
Smaller “pocket parks” are located strategically throughout the TRAILMARK community with Planning Areas 1, 2, and 10, as depicted on Figure 5-56, *Neighborhood Pocket Park Concept Plan – Planning Area 10*. The pocket parks serve adjacent neighborhoods and may include an open lawn area for picnic and passive uses, tot lot with small play structure, and a shaded trellis with picnic tables and barbeques.

Neighborhood Pocket Park Concept Plan



LEGEND

- Trees
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active/Passive Use
- Enhanced Concrete Paving
- Play Surfacing

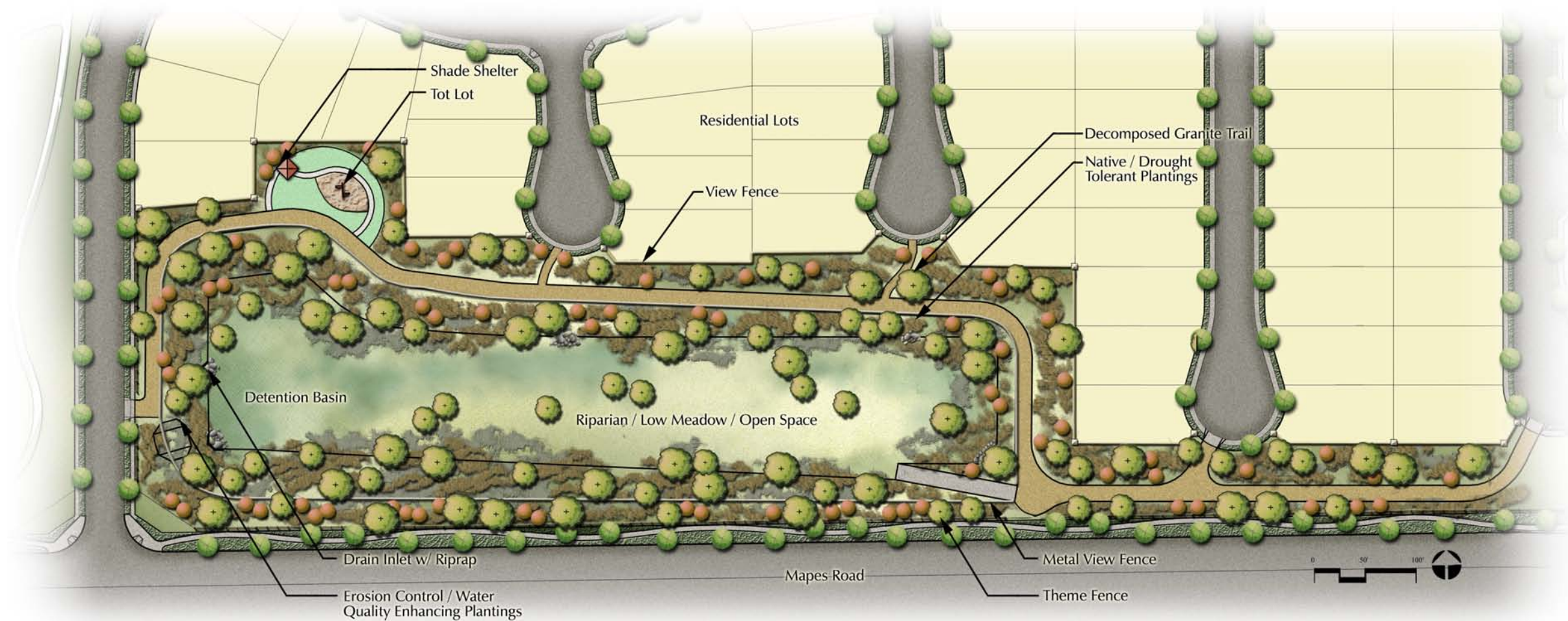








□ **DETENTION BASINS**

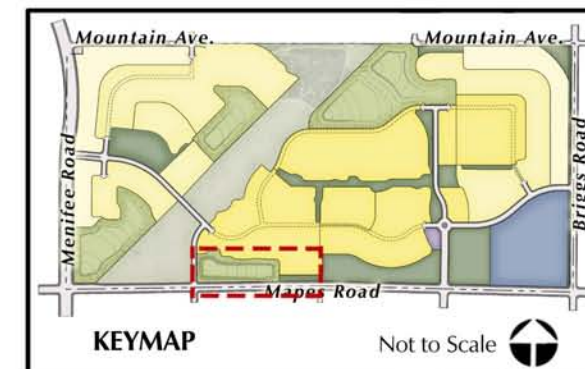
Detention basins are incorporated as part of the TRAILMARK community's comprehensive greenbelt system. The basins are designed and envisioned to serve as additional active and/or passive recreational spaces, as well as their function as drainage facilities. The various configurations and design concepts envisioned for the detention basins are depicted in Figure 5-57, *Detention Basin Concept Plan – Planning Area 22C*, Figure 5-58, *Detention Basin / Passive Park Concept Plan – Planning Areas 18D and 22D* and Figure 5-59, *Residential / Detention Basin Interface*. A special landscape treatment is provided between residential uses and detention basin. Low flow areas shall be included to provide for sustainable landscaping and passive recreation uses.

Detention Basin Concept Plan - Planning Area 22C



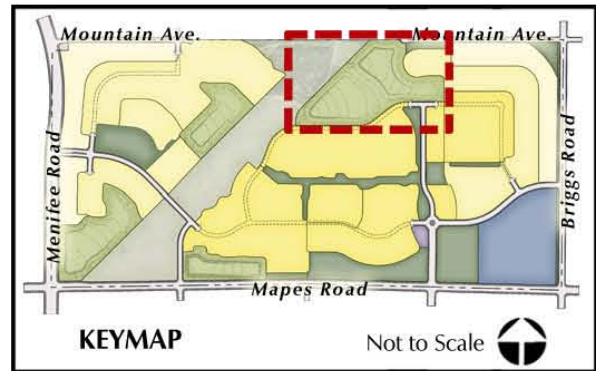
LEGEND

-  Trees
-  Shrubs
-  Turf
-  D.G. Surfacing





Detention Basin / Passive Park Concept Plan - Planning Areas 18D and 22D



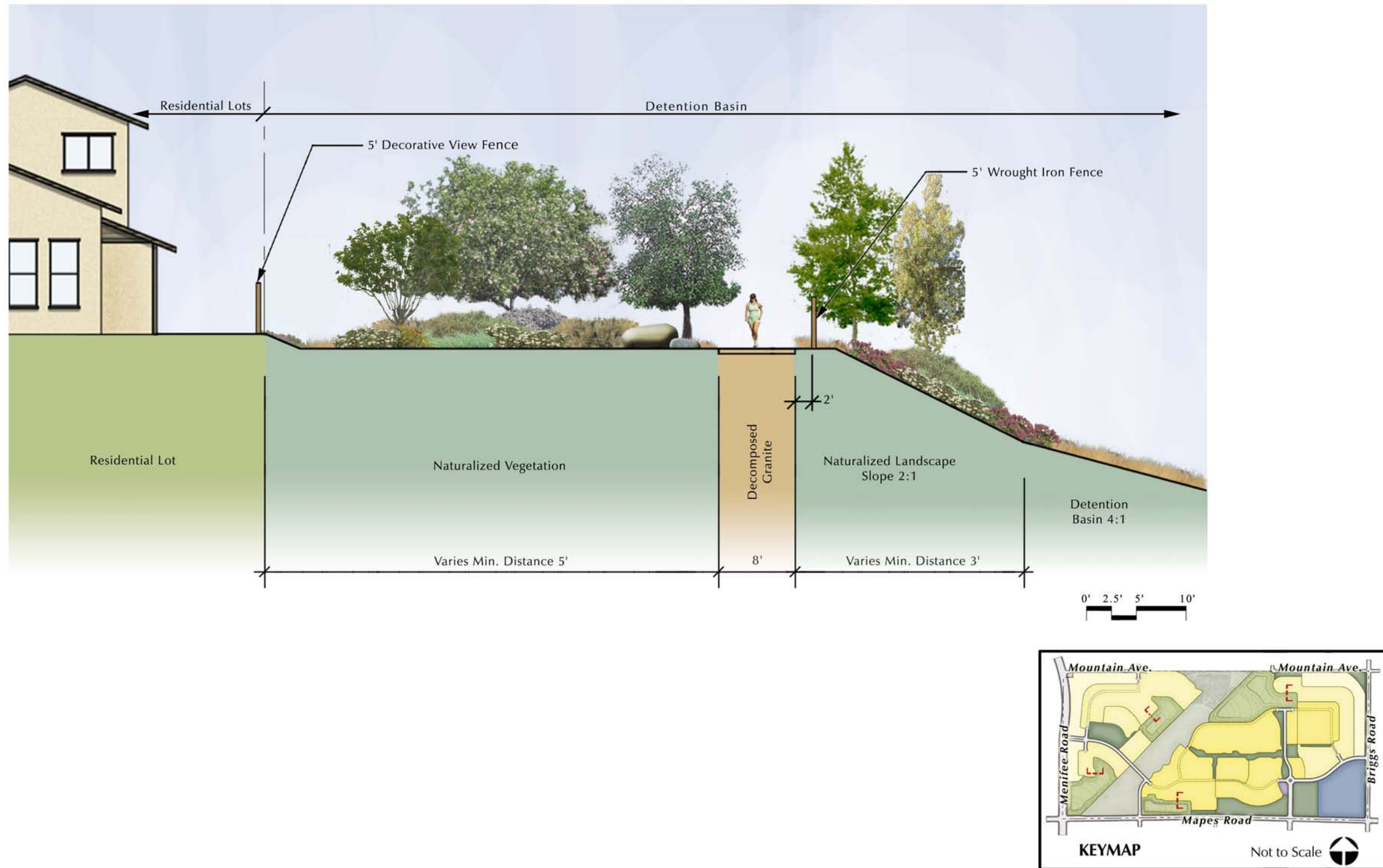
LEGEND

- Trees
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active / Passive Use
- D.G. Surfacing





Residential/Detention Basin Interface





❑ **PRIVATE RECREATION CENTER**

As illustrated in Figure 5-60, *Private Recreation Center and Day Care Concept Plan – Planning Areas 13 and 14* and Figure 5-61, *Private Recreation Center Perspective*, the Private Recreation Center is strategically located along the primary entry at Mapes Road, providing family-friendly high quality amenities and recreational facilities for residents of TRAILMARK. Initial design concepts include a community center building, swimming pool, spa, pool equipment room, multi-use / outdoor area, age-appropriate play equipment/tot-lots, shade shelters, ample picnic areas and facilities, restroom, basketball and tennis courts, open lawn and passive use areas and sufficient on-site parking (50 spaces).

Private Recreation Center and Day Care Concept Plan - Planning Areas 13 and 14





Private Recreation Center Perspective



The depicted rendering is intended to show design concept. Plant material size and features may vary at the time of construction.

□ **PLAZA**





Located strategically at the intersecting axis of the community promenade and paseo, a park serves as a community focal point and potential gathering area for community events (see Figure 5-62, *Plaza Concept Plan – Planning Area 17*). The plaza is configured in a traditional “town square” arrangement, featuring a central plaza with a potential water feature or sculpture. The plaza is envisioned to be surrounded by a shade trellis covered with flowering vines, ample seating and gathering spaces, and open lawn areas suitable for passive uses. The concept for the plaza includes drought-tolerant shrubs and groundcovers that visually anchor the location as the terminus of the community promenade and as a central focal point for the TRAILMARK community.

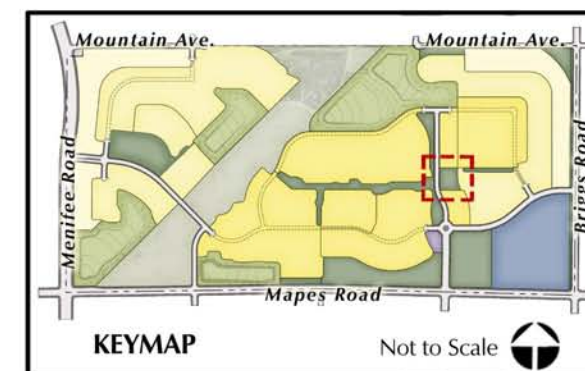


Plaza Concept Plan - Planning Area 17



LEGEND

-  Trees
-  Drought-tolerant Shrubs and Groundcovers
-  Turf for Active/Passive Use
-  Enhanced Concrete Paving



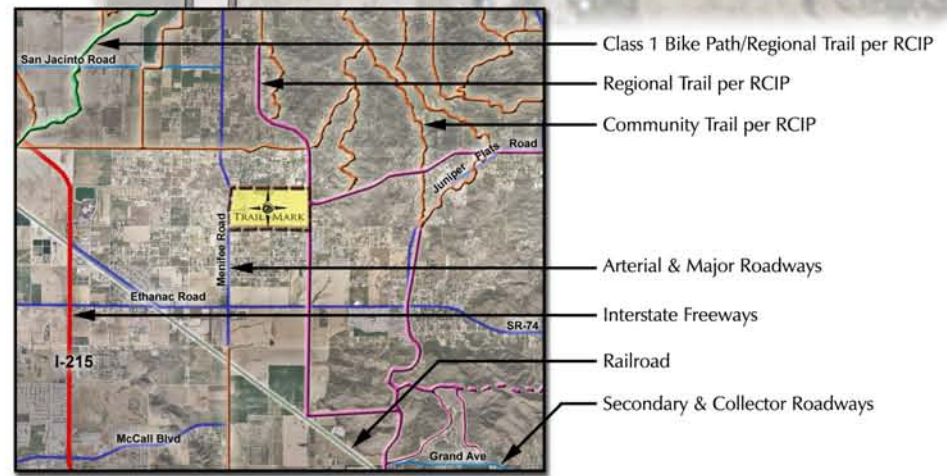
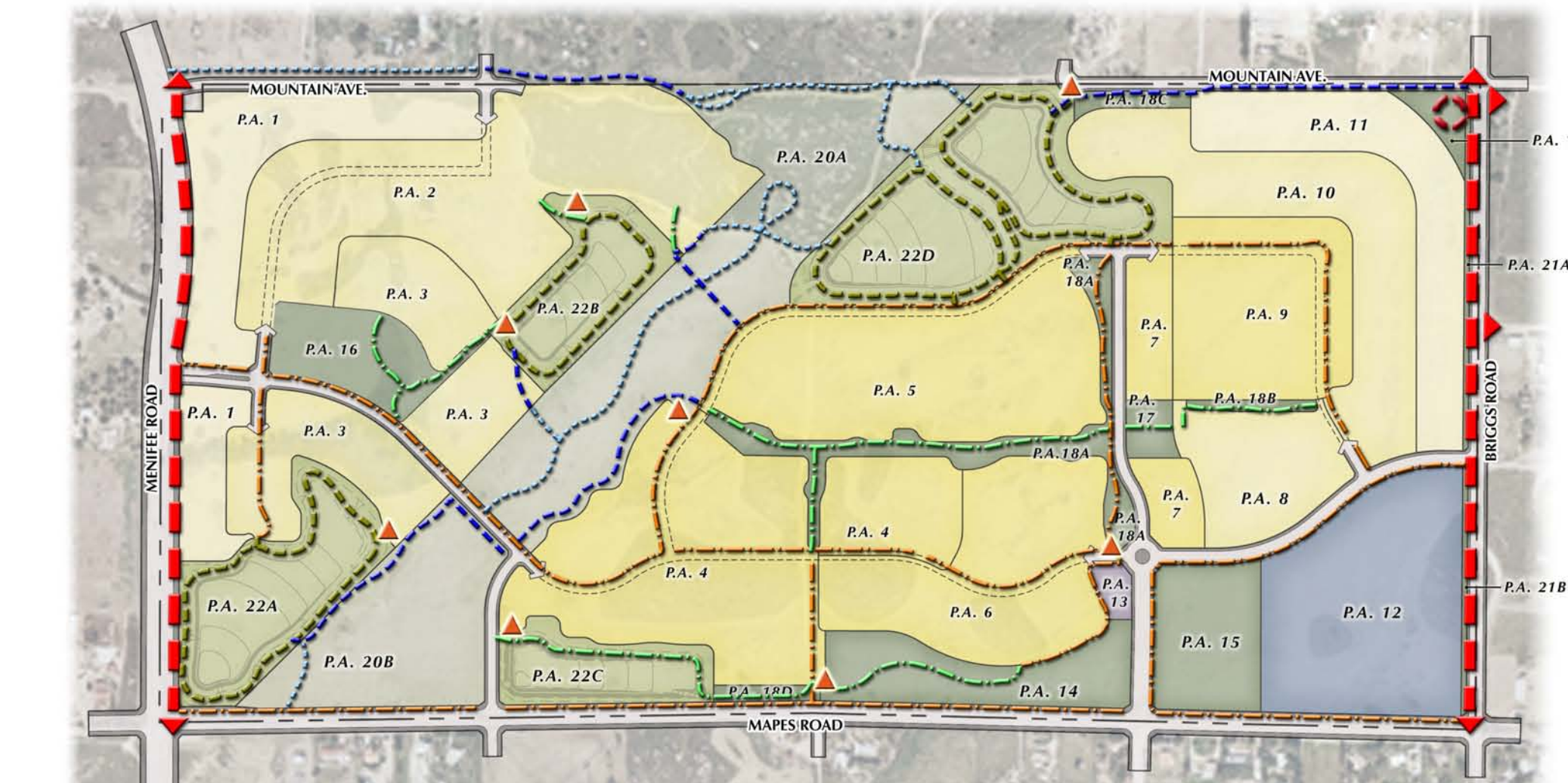
## ❑ PASEOS AND TRAILS

A comprehensive paseo system has been designed to facilitate pedestrian movement and interconnect the recreational amenities, neighborhoods, and school site within the TRAILMARK community (see Figure 5-63, *Trails Concept Plan*). Pedestrians can traverse a variety of sidewalks, paseos and pathways throughout the community. In the eastern portion of TRAILMARK, a special paseo serves to facilitate pedestrian movement in a north-south direction and connects neighborhoods to the park, 6.1-acre community park and school site (see Figure 5-64, *Paseo Concept Plan West – Planning Area 18*, Figure 5-65, *Paseo Concept Plan East – Planning Area 18*, Figure 5-66, *Paseo Concept Plan North – Planning Area 18* and Figure 5-67, *Paseo Concept Plan South – Planning Area 18*). Pedestrians can also connect to the paseo at cul-de-sac “access courts” and via street sidewalks. The paseo serves to connect pedestrians along a major east-west axis. Trails from the western neighborhood of TRAILMARK also connect to the promenade. While providing direct connection to community parks and the recreation center, the paseos act as amenities on their own merit, via the inclusion of such items as community kiosks, shade trellis or shelters, tot-lots, fitness stations, picnic areas, and open turf areas.

An important element of TRAILMARK is the provision of interconnecting trails that serve residents and the surrounding communities and region. Paved walkways, paseos and decomposed granite paths, as depicted in Figure 5-68, *Decomposed Granite Trails* and Figure 5-69, *Paved Paseo - Walkway*, provide ample trails opportunities interior to the TRAILMARK community. The County’s designated Regional Trail are located along Briggs Road on the eastern boundary of TRAILMARK. Equestrian users in the region utilize this trail and access this from the south and west on trails provided within the community through the Southern California Edison easement (see Figure 5-70, *Nature Park along S.C.E. Easement Concept Plan – Planning Area 20A*, Figure 5-71, *Nature Park along S.C.E. Easement Section*, Figure 5-72, *Nature Park Perspective* and Figure 5-73, *Residential and S.C.E. Easement Interface*) that are part of the designated open space of TRAILMARK. Additionally, a special *Equestrian Staging Area* are provided as a vital community amenity, as depicted in Figure 5-74, *Equestrian Staging Area Concept Plan – Planning Area 19* and Figure 5-75, *20,000 Minimum S.F. Resident Lot and Equestrian Staging Area Interface*.



Trails Concept Plan



LEGEND

- 10' wide Regional Trail (Decomposed Granite)
- 8' wide Paseo Trail (Concrete Pavement)
- 8' wide Community Trail (Decomposed Granite)
- 8' wide Detention Basin Trail (Decomposed Granite)
- Varied width Existing Unimproved Natural Trail
- Community Sidewalks (Concrete Pavement, Varies 5'-6')
- Residential Area
- Park / Greenbelt
- Detention Basin / Park
- Open Space
- School / Public Facility
- Equestrian Staging Area
- Trail Monument



**Open Space**  
Park at overlooks to easement provide passive play opportunities.



**Easement**  
Meandering decomposed granite trails provide passive recreation opportunities and community linkages.



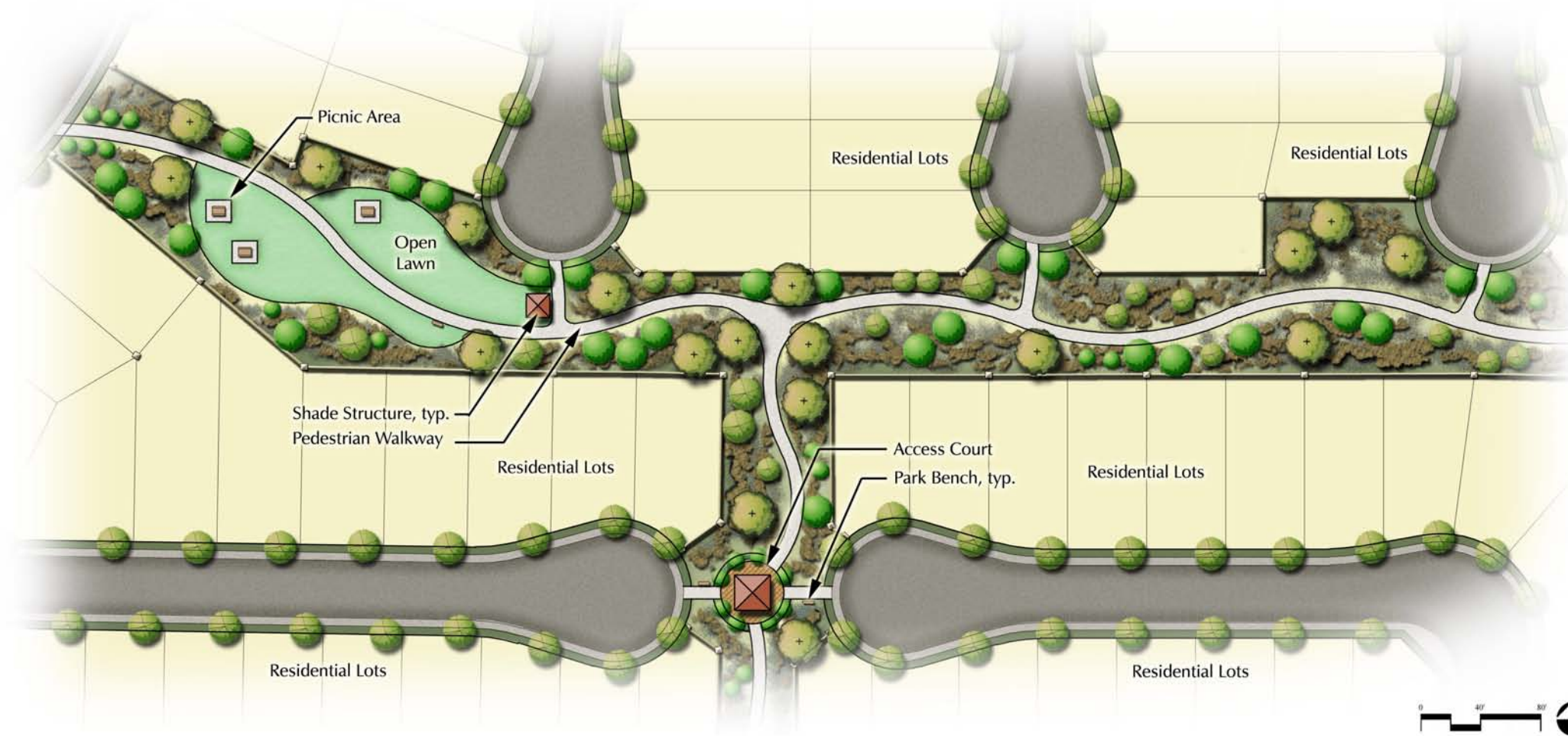
**Trails**  
Boulder groupings and theme plantings provide natural trailhead identity.



**Detention Basin**  
Theme fencing, stone walls and naturalized plantings provide barrier or definition of edge conditions where required.

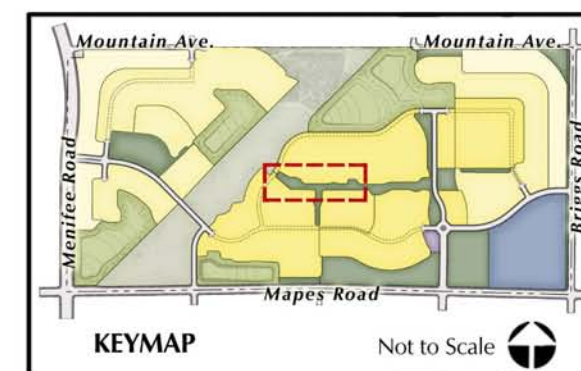


Paseo Concept Plan West - Planning Area 18A



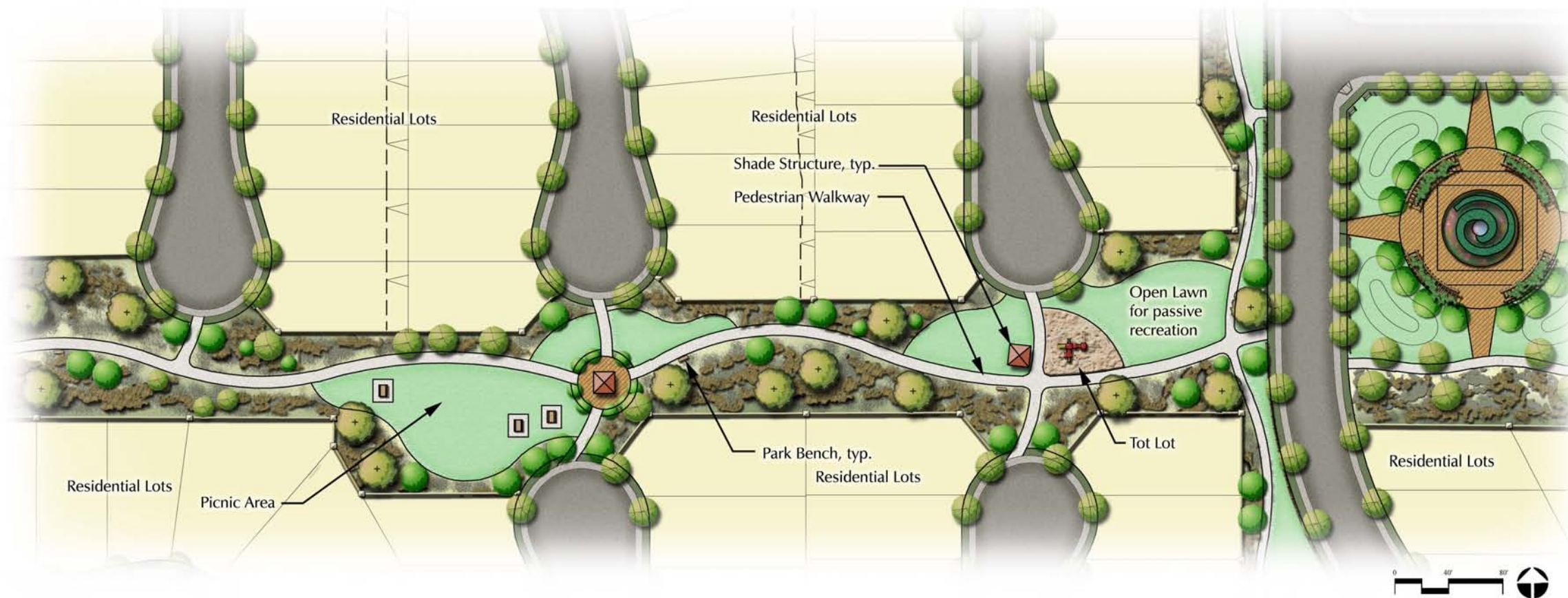
LEGEND

- Trees
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active/Passive Use
- Enhanced Concrete Paving



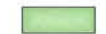




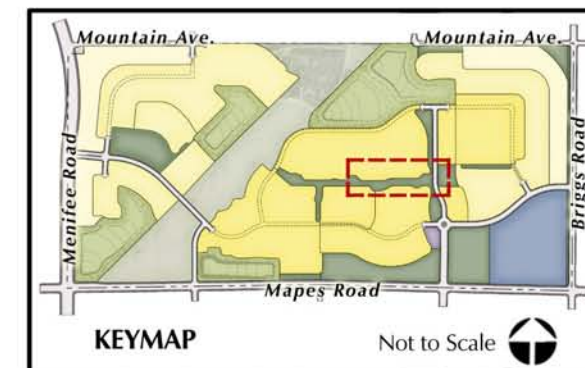


Paseo Concept Plan East - Planning Area 18A



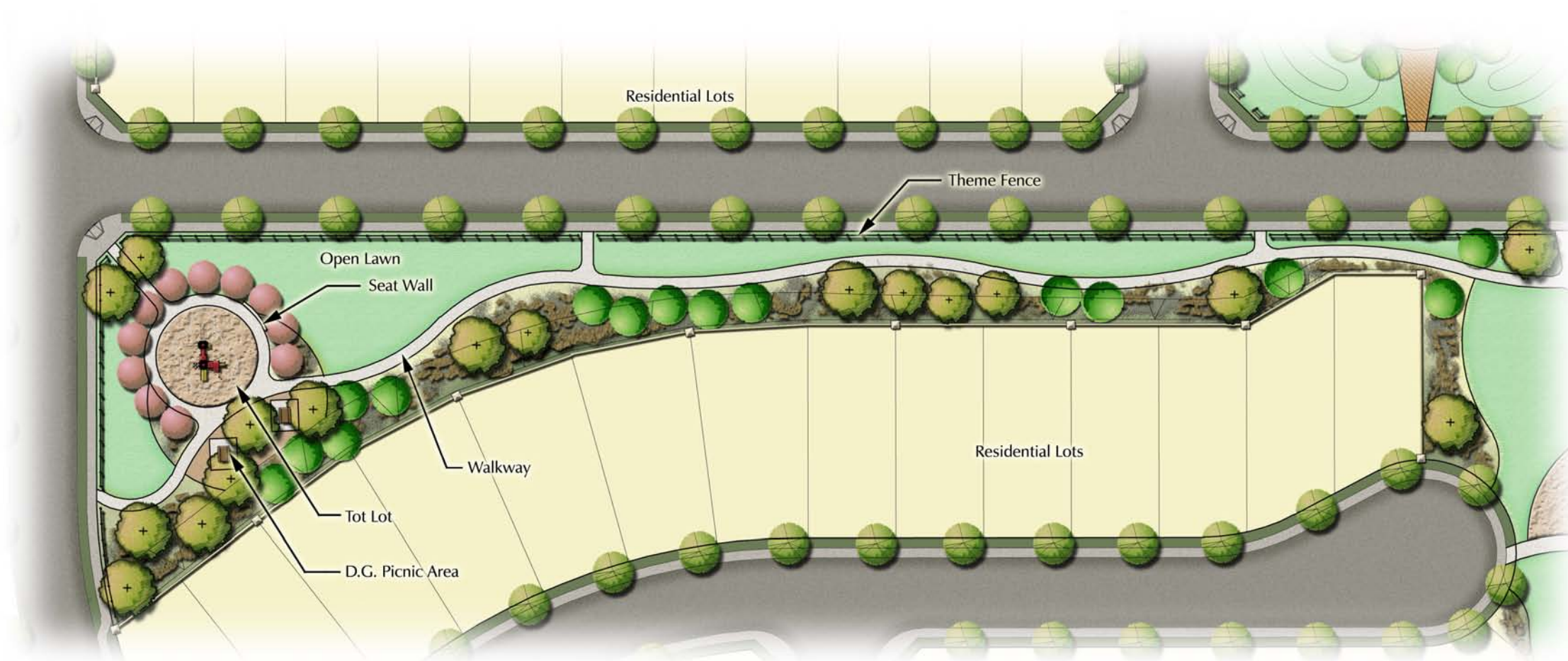
LEGEND

-  Trees
-  Drought-Tolerant Shrubs and Groundcovers
-  Turf for Active/Passive Use
-  Enhanced Concrete Paving
-  Play Surfacing



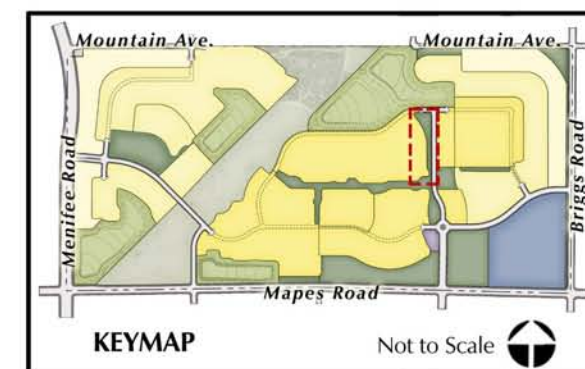
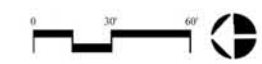


Paseo Concept Plan North - Planning Area 18A



LEGEND

- Trees
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active/Passive Use
- Enhanced Concrete Paving
- Play Surfacing
- Decomposed Granite Surfacing



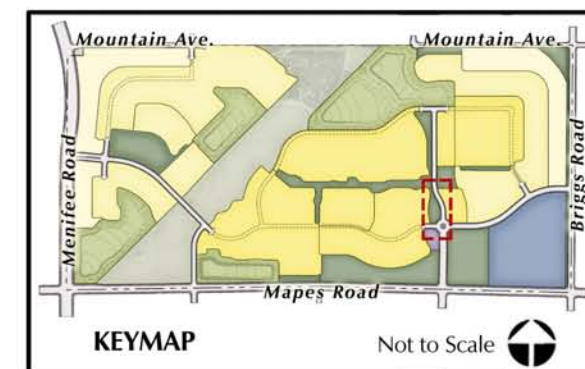


Paseo Concept Plan South - Planning Area 18A

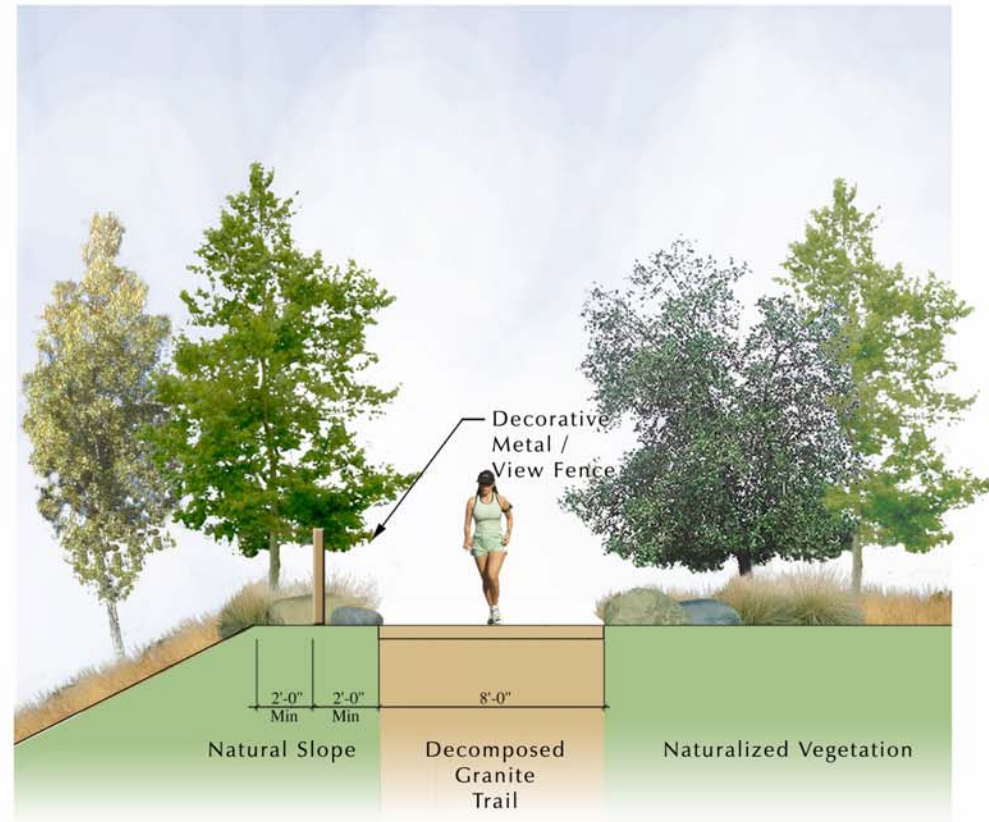


LEGEND

- Trees
- Drought-Tolerant Shrubs and Groundcovers
- Turf for Active/Passive Use
- Enhanced Concrete Paving
- Decomposed Granite Surfacing



# Decomposed Granite Trails



**TRAIL BY DETENTION BASIN**

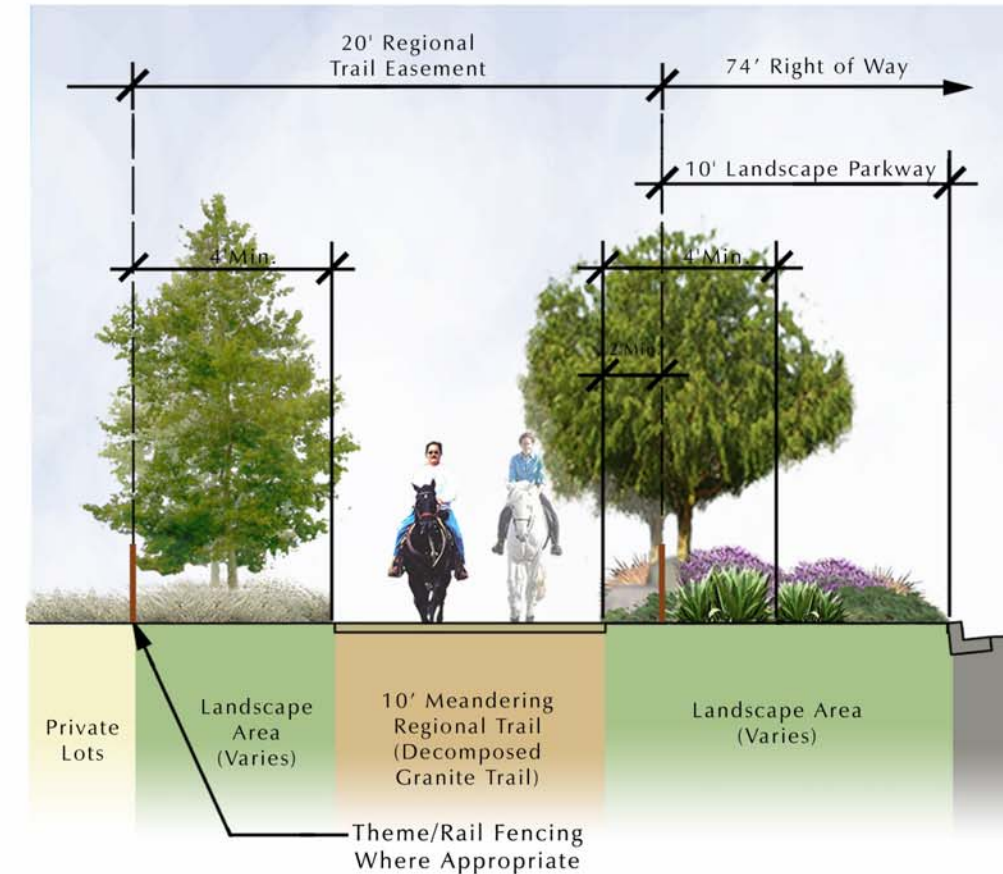


Design Guidelines:

- Drought tolerant plant material like low growing grass by the trail.
- Strategic locations of boulders define edges of the trail.
- Trail surface shall be a minimum of 3" thick decomposed granite, flush with adjacent finished grade.
- Theme fence at accent locations.

Notes:

This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.



**REGIONAL TRAIL**



Design Guidelines:

- Trail grade to follow street grade.
- Trail surface shall be a minimum of 3" thick decomposed granite, flush with adjacent finished grade.
- Theme fence at accent locations.



Paved Paseo - Walkway



PASEO THROUGH COMMUNITY

Design Guidelines:

- Accent planting by paseo w/ intermittent turf areas.
- Semiformal planting schemes at accent locations.
- Paseo surface shall be ADA compliant concrete paving.






Notes:

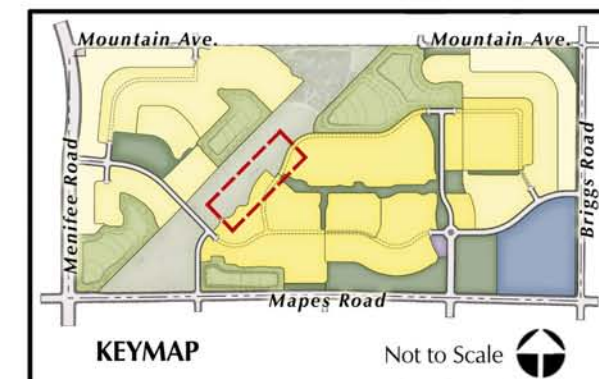
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.

Nature Park along S.C.E. Easement Concept Plan - Planning Area 20A



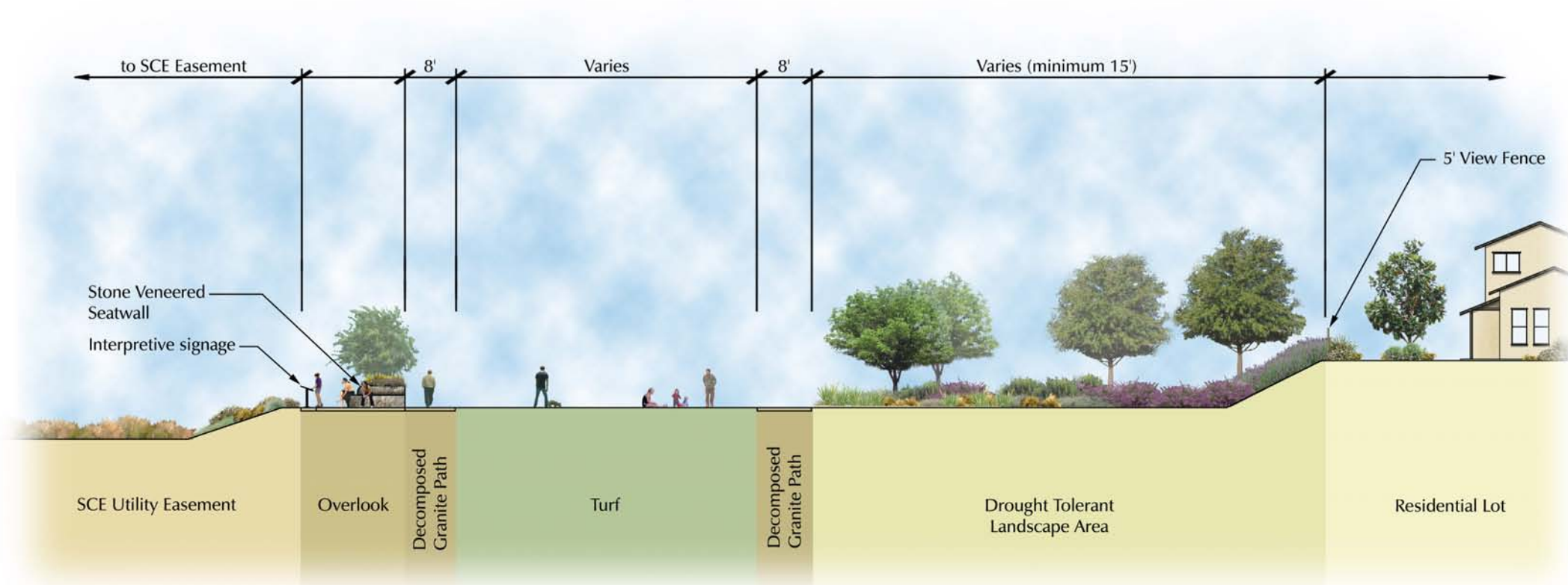
LEGEND

-  Trees
-  Drought-Tolerant Shrubs and Groundcovers
-  Drought-Tolerant landscape within easement
-  Turf for Active/Passive Use
-  Decomposed Granite Surfacing



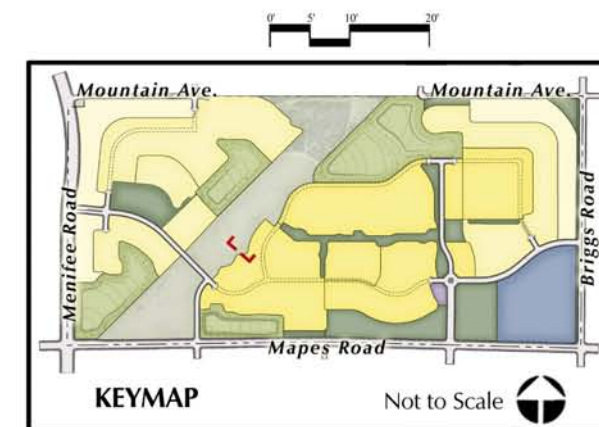


Nature Park along S.C.E. Easement Section



NATURE PARK SECTION

Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.





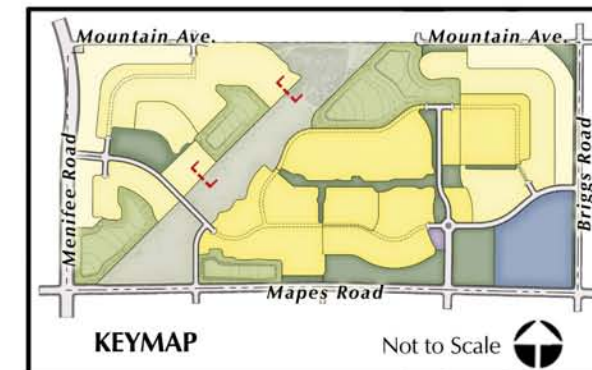
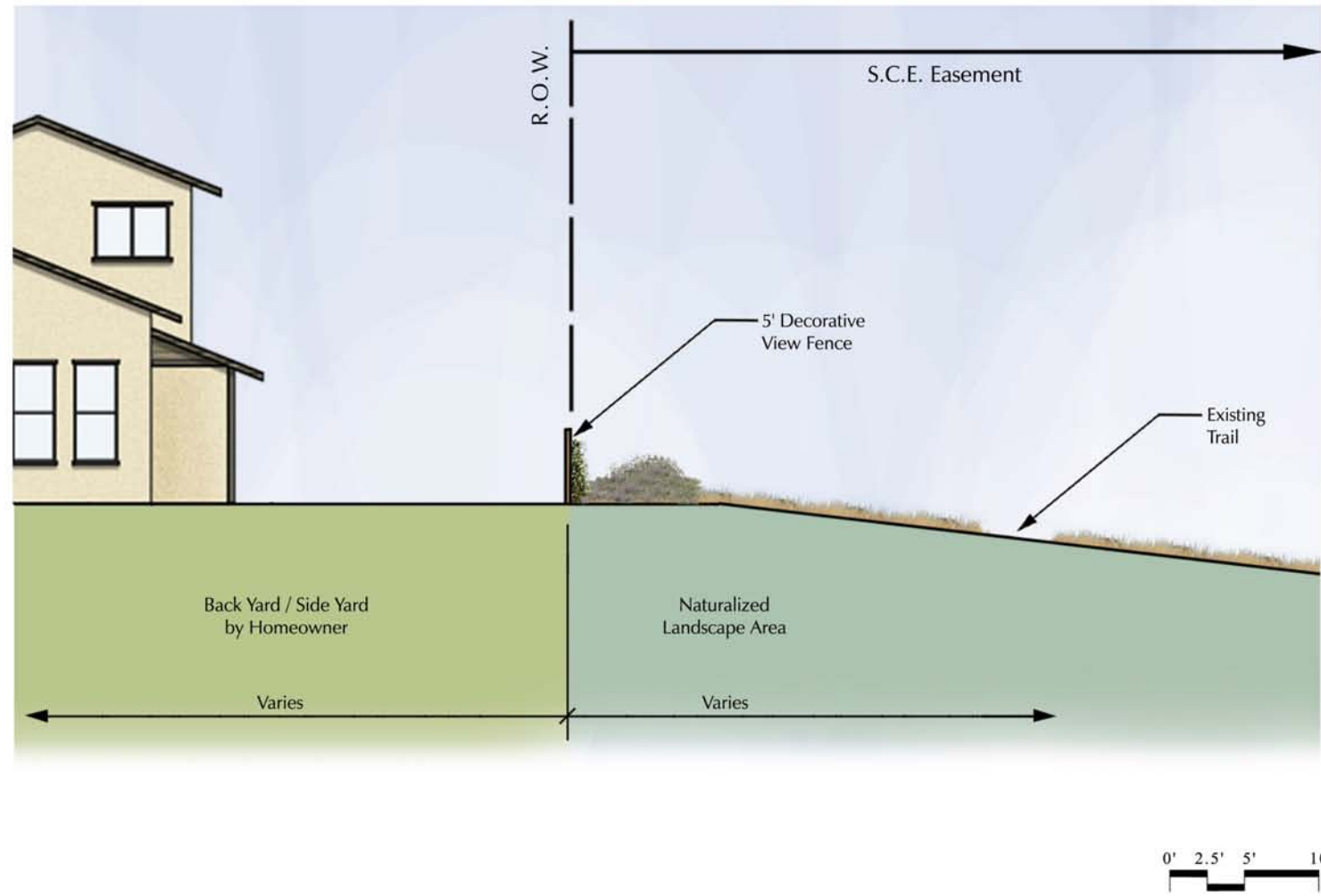
Nature Park Perspective



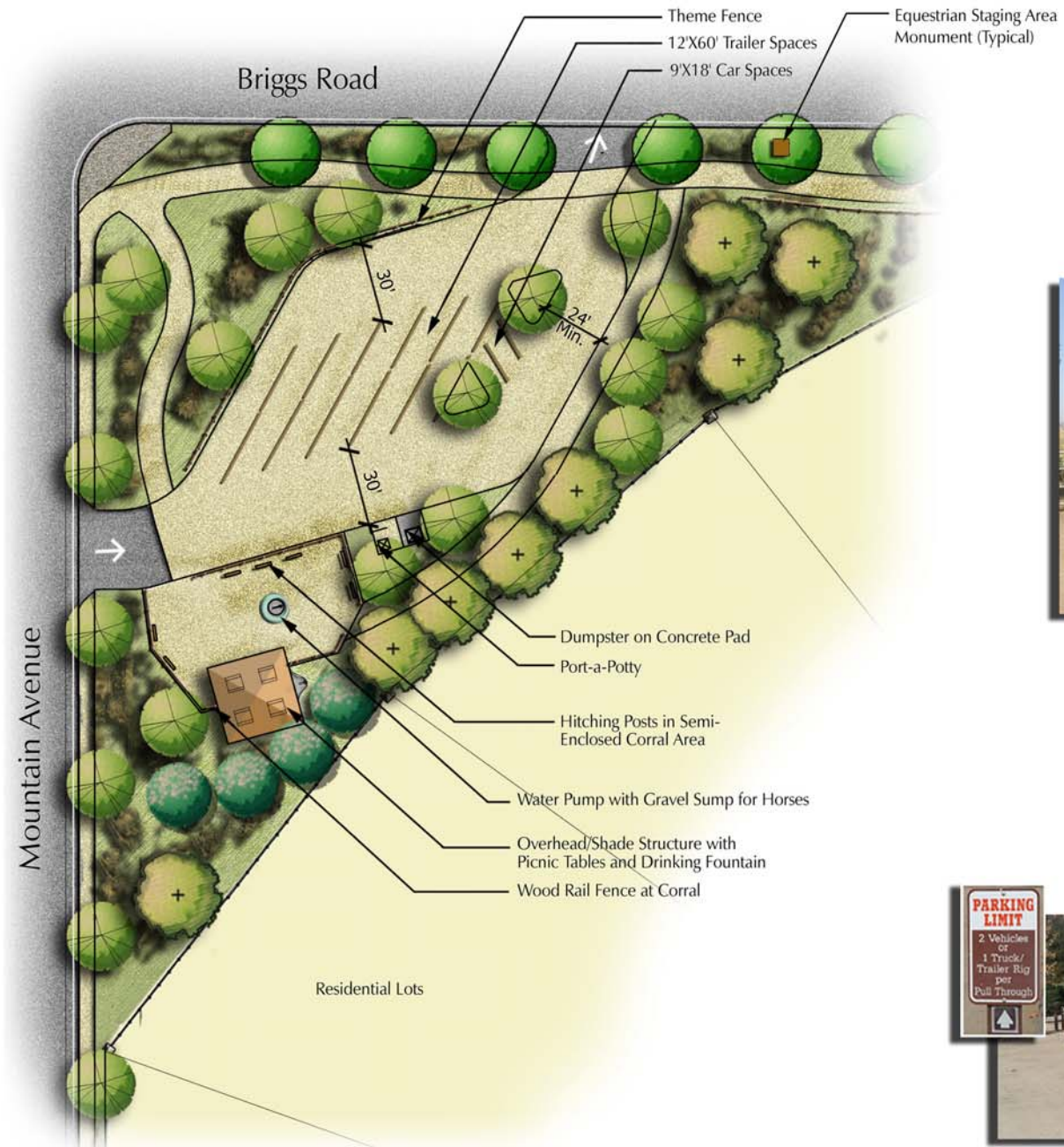
The depicted rendering is intended to show design concept. Plant material size and features may vary at the time of construction.



Residential/SCE Easement Interface



# Equestrian Staging Area Concept Plan - Planning Area 19



Notes:  
This is a conceptual design for illustrative purposes only. Plant material size and features may vary and shall be determined at the time of construction.





20,000 Minimum S.F. Residential Lot and Equestrian Staging Area Interface



## 5.0 FRONT YARD LANDSCAPING

The landscaping of front yards for residences within TRAILMARK assist in creating a dramatic street scene through the consistent application of residential landscape treatments identified on Figure 5-76, *Typical Front Yard Landscaping Plan*, Figure 5-77, *Typical 20,000 Min. S.F. Residential Lot at Menifee Road – Planning Area 1*, Figure 5-78, *Typical 20,000 Min. S.F. Residential Lot at Mountain Avenue – Planning Area 1* and Figure 5-79, *Typical 20,000 Min. S.F. Residential Lot at Briggs Road and Mountain Avenue – Planning Area 11*. Where necessary and appropriate, onsite boulders are incorporated as part of the front yard landscaping.

### Countywide Design Standards and Guidelines:

- A minimum of six, five gallon shrubs, one 24” box tree (minimum 2” caliper), and one 15 gallon or larger tree (minimum 1” caliper) shall be planted along the front of all homes (garage and side yard gate areas are excluded).
- Creative community design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
- Landscaping should also consider the often high wind conditions of many portions of the county, providing hedges and windbreaks where appropriate, such as in common areas, and the strong securing of recently planted trees.
- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
- Additional street facing common landscape planters should be encouraged in subdivision design for bikeways, recreational trails, neighborhood entry statements, and noise buffering.
- An appropriate maintenance entity shall be required for landscaping installed outside of the street right-of-way.
- Location of landscaping shall be in accordance with applicable County Ordinances.
- Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.

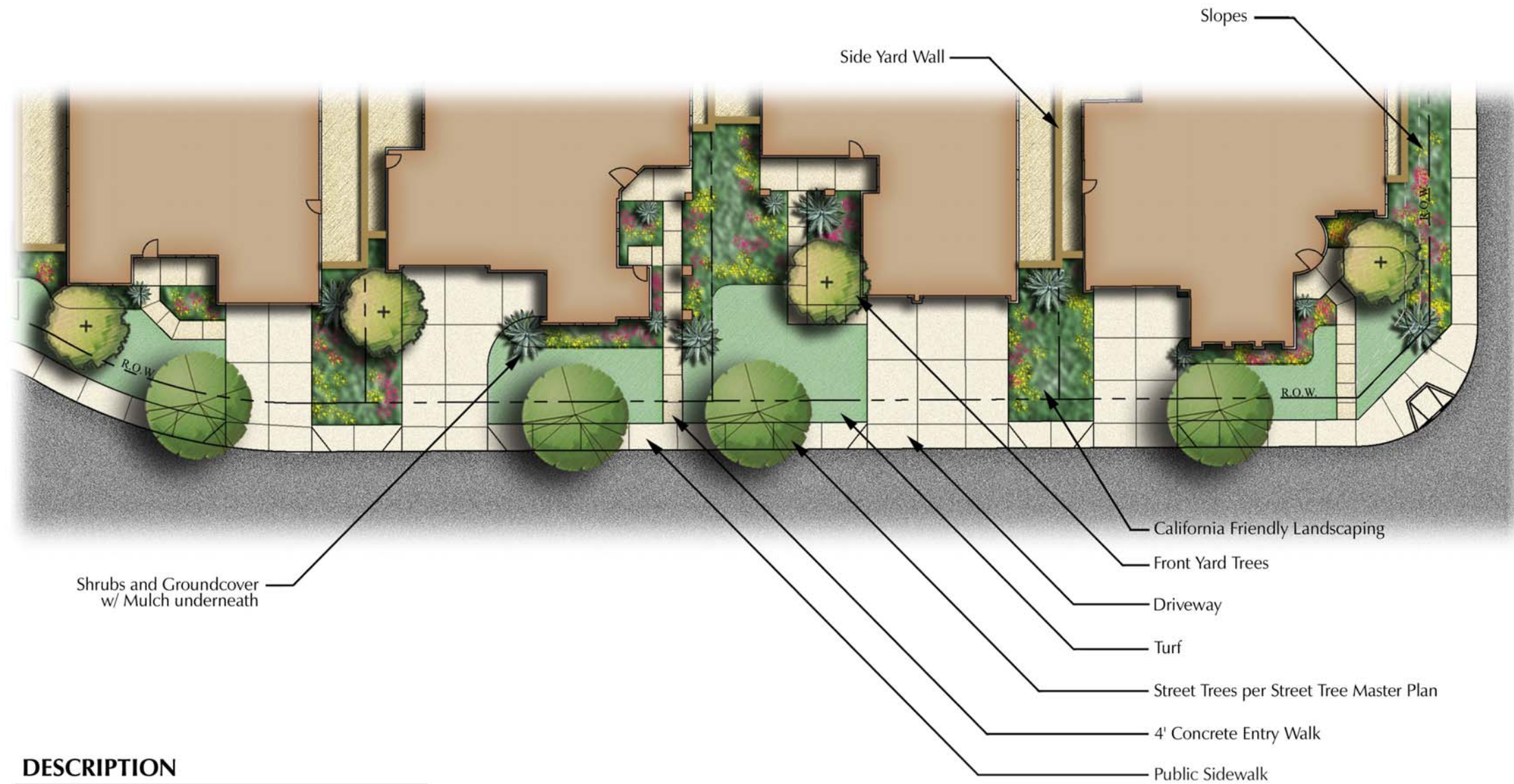


*Community Design Standards and Guidelines:*

Each front yard within TRAILMARK shall be fully landscaped by the developer to include the following:

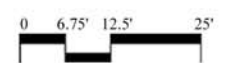
- Finish grading, soil preparation, and automatic irrigation;
- Plant materials including trees, shrubs, and groundcovers;
- Plant materials arranged in a similar hydro-zones; and
- Seeded or sodden turf and mulch topdressing in all plant beds.

Typical Front Yard Landscaping Plan



**DESCRIPTION**

A 4' wide concrete walk provides access to the main entrance of the house. A themed front yard tree and plant materials including foundation and accent shrubs and groundcovers will be planted along with the designated street tree.





Typical 20,000 Min. S.F. Residential Lot at Menifee Road - Planning Area 1





Typical 20,000 Min. S.F. Residential Lot at Mountain Avenue - Planning Area 1





Typical 20,000 Min. S.F. Residential Lot at Briggs Rd. and Mountain Av. - Planning Area 11





## 6.0 MAINTENANCE RESPONSIBILITY

The rural character of TRAILMARK allows for numerous views opportunities within the community. Landscaping slopes are important to provide soil stability and enhance the community by establishing maintenance responsibility of areas identified by these design guidelines. The TRAILMARK community recognizes that portions of the Specific Plan area are devoted to open space and proper maintenance of these areas are essential in maintaining an aesthetically pleasing community. As shown in Figure 5-80, *Maintenance Responsibility Master Plan*, a Maintenance Responsibility Master Plan, has been established to designate areas to be maintained by the school district, Valley Wide Maintenance District, Homeowners' Association (HOA), or private lot/homeowner.



# Maintenance Responsibility Master Plan



**LEGEND**

- Home Owners Association  
- Entry Monument Areas, Recreation Center, Pocket Parks, and Sideyard Right of Way
- Private Property Owner
- Valley-Wide Maintenance District  
- Detention Basin / Passive Park, Naturalized Detention Basins, Sport Parks, Regional Trail, Equestrian Staging Area, SCE Easement, Open Spaces and Street Right of Way
- School District



## 7.0 PLANT PALETTE

A plant material palette (see Figure 5-20, *Plant Palette*) has been selected for its appropriateness to the community theme, climatic conditions, soil conditions and concern for maintenance. Wherever possible, overall plant material groupings shall be designed to minimize water application for the entire landscape setting. Consideration should be given to the location of trees to avoid plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to TRAILMARK. It is the intent of these guidelines to provide flexibility and diversity in potential long term problems with tree roots and shall be consistent with applicable County landscaping standards. Use of existing plant materials in key areas, including open space and manufactured slopes, is a listing of plant material identified for use in the streetscapes, entries, slopes, and other special areas of TRAILMARK. Other species can also be used as long as they are consistent with the landscape theme established by these design guidelines.

## 8.0 PLANTING GUIDELINES

This section provides general guidelines for various planting applications within the TRAILMARK community and should be implemented to achieve the desired quality and maintenance of the master planned community.

### □ IRRIGATION

- All landscaped areas shall be watered with a permanent underground irrigation system, except for slopes which may have a permanent above-ground drip irrigation system.
- Irrigation systems which adjoin a separate maintenance responsibility area shall be designed in a manner to ensure complete water coverage between the areas.
- Irrigation for both public and private landscapes should be designed to be as water-efficient as possible.
- Native and drought tolerant shrub areas shall use a combination of spray, drip or bubbler irrigation to shrubs and trees as appropriate.
- All irrigation systems shall have automatic controllers designed to properly water plant materials given the site's soil conditions, and irrigation systems for all public landscapes shall have automatic rain shut-off devices.
- Overhead spray irrigation systems for turf areas shall be designed with head to head, 100 percent coverage at a minimum.
- Spray system shall have low-gallonage, matched-precipitation nozzles.
- All irrigation heads adjacent to walks, drives and curbs (car overhangs) shall be the pop-up type.



- Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials.
- Irrigation systems designed for use with both domestic and reclaimed water are encouraged.
- Drip and/or bubbler irrigation shall be used where appropriate.
- Use of moisture sensors and/or central irrigation systems may be incorporated where appropriate and feasible.

**CLIMATE CONSTRAINTS**

Plant material palettes for TRAILMARK contained herein are compatible with the climatic setting of the area. The utilization of some materials, depending upon their site location, exposure, and relationship to other influential factors may not be appropriate. Final design shall address these factors.

**PLANTING TIME**

Due to the relative climate extremes of Riverside County, the installation of plant materials during the coldest winter months (December through March) and the hottest summer/fall months (July through September) can be more difficult than in coastal areas. Container plant materials not acclimated to the area can easily suffer from damage or sun/heat exposure resulting in partial or entire foliage loss even through such materials are perfectly suited to the temperature ranges once established. If planting must be done during these difficult periods, plant establishment may be more difficult and require a prolonged period of time.

**DROUGHT TOLERANCE/WATER CONSERVING PLANT MATERIAL**

Although a plant may be considered as drought tolerant or water conserving, that plant requires proper care, installation, watering and maintenance to maintain an optimum healthy condition.

- Degrees of Drought Tolerance/Water Conservation: There are degrees of drought tolerance with some plants able to withstand or go without water for a greater period of time than others. Water conserving plant material may not be drought tolerant but can thrive on low water amounts throughout the year once established.
- Deep Watering Practices: Drought tolerant plants like most plants need the proper deep watering practices to encourage deep root system development. Drought tolerant plants with a shallow root system resulting from frequent light applications of water shall develop to proper tolerance.

- Warmer Months Water Application: Although a plant is labeled drought tolerant, that does not necessarily mean it can survive without summer water, the plant may have low water requirements. Depending upon the plant, drought tolerant plants shall have a better appearance and health during the warmer months with infrequent deep watering.
- Full Season Plant Water Requirements: After drought tolerant plants have grown a full season, the water application rate should be diminished and the drought tolerant plant allowed to survive on less water.
- Maintenance: Drought tolerant and California native plants still need regular maintenance such as pruning, fertilizing, deep watering and checking for pests and diseases.

**INVASIVE SPECIES**

Non-native invasive plant species shall not be used in landscape plans, fuel modification zones or buffer zones that interfere with preserved natural open areas.

**PLANT PEST AND DISEASE CONTROL**

A consistent problem in ornamental and native planting schemes is the disease and pest which patterns through a community. Recent well documented problems include oleander scorch blight and several eucalyptus problems, however, a series of other problems have occurred on an annual basis. There is no way to predict the occurrence of new pests or diseases, however, there are useful methods to limit the impact of outbreaks. These include the following:

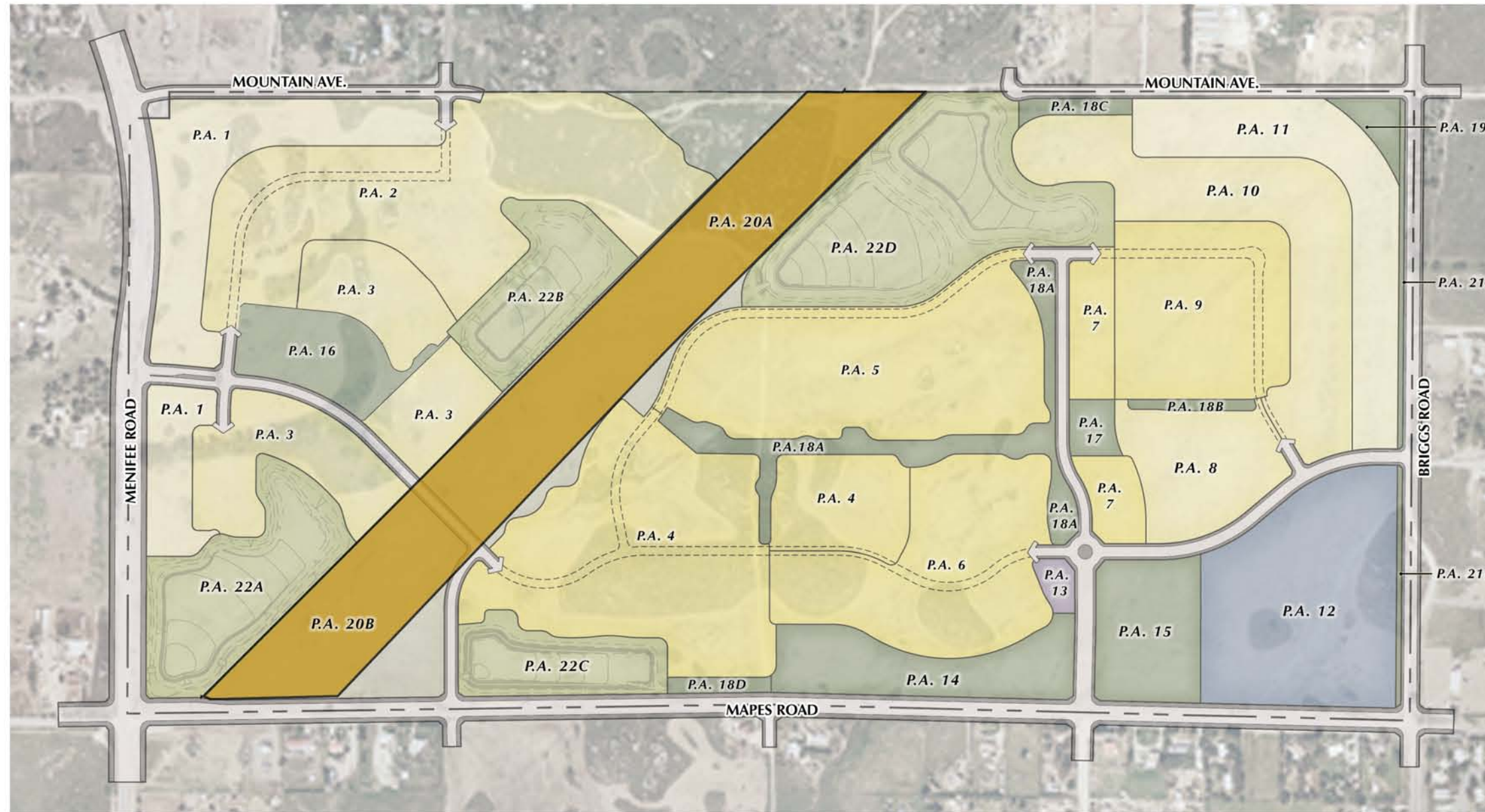
- Maintain optimum plant health through soil preparation, water management and nutrient monitoring.
- Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
- Avoid a mono-culture approach to plant material design. This buffers the spread of plant problems and limit the concentration of host plant problems thus diluting the breeding capacity of pest or disease problems. Also, damage is less obvious and devastating to the appearance of the community landscape.
- Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
- Place plants in similar hydro zone groupings to maximize efficient water use.



## 9.0 FUEL MODIFICATION

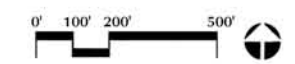
There is a significant amount of native and naturalized vegetation on-site that could potentially act as a conduit for fire. In addition to the presence of flammable vegetation, the site's topography necessitates an effective fuel management program in the interest of fire safety. The intent of the TRAILMARK fuel management program is to minimize potential fuel, particularly in areas which are near development. The community's fuel management program has been reviewed and approved by the Riverside County Fire Department and is subject to final review by the Fire Marshall at the tentative subdivision map stage. The fuel management program shall conform to mitigation measures identified in the project's Environmental Impact Report. Figure 5-81, *Fuel Modification Master Plan*, delineates the Fuel Modification Master Plan for the TRAILMARK community.

Fuel Modification Master Plan



LEGEND

- Existing Dry-Farming Operation with Weed Abatement Program





## 10.0 WALLS AND FENCES

Walls and fences are used throughout the community area to complement the overall design theme, establish community identity, provide protection from roadway and other noise, allow privacy and security in residential areas and promote view corridors. Proposed locations for theme walls and fencing are depicted in Figure 5-82, *Wall and Fence Plan*. Varying types of walls and fencing are proposed, as illustrated in Figure 5-83, *Wall and Fence Plan Details – Block Wall / Privacy Fence*, Figure 5-84, *Wall and Fence Details – View Fence* and Figure 5-85, *Wall and Fence Details – Theme Fence*.

Walls and fences can form a unifying element of design. While a community without walls may be a desirable objective, it is recognized that walls and fences cannot be completely avoided for reasons of privacy, public health, safety, and community identity. Walls and fences within TRAILMARK should reflect an appropriate balance of function and aesthetic quality. All walls and fences within the community should be designed as integral elements of building architecture or complementary to the architecture and landscape character.

The intent of TRAILMARK is to maintain views and encourage access throughout the community. Where walls and fencing are required (e.g., noise attenuation, privacy) or desirable (e.g., entry monumentation and residential buffers), the improvements shall be designed and constructed in a manner compatible with the scale, texture and color of the surrounding environment. Where walls or fences are necessary, designs shall integrate walls and fences with other site components including signage, structure, landscape and hardscape.

### ❑ PERIMETER WALLS

Walls shall be provided along rear yard residential property boundaries abutting the main perimeter roadways of the community, and at certain interfaces of residential rear yards to interior streets, open space and parks. If residential rear yards are 5' higher in grade from adjacent interior roadways, parks or open space, then partial or full view fencing may be utilized (see View Fencing).

TRAILMARK has been designed so that open space and parks occur along a significant portion of the community perimeter, thereby eliminating the need for perimeter walls immediately adjacent to main perimeter roadways. This design avoids excessive perimeter walls that might otherwise exude a sense of “confinement” with little or no visual relief.

Perimeter walls shall be constructed of a 5-foot minimum height block wall with either a smooth stucco finish or a slurry-coated finish over slump block. Color shall be in the light tan to creamy white range. At periodic intervals, pilasters with stucco finish or stone-veneer shall be provided. Walls and pilasters shall feature a cap of decorative block, concrete or stone. Side and rear yard walls shall be constructed either as solid privacy walls or view fencing depending on the location. Pilasters shall be listed at periodic intervals if the walls abut public roads, open space or parks.

#### **THEME FENCING**

Theme fencing is used to provide added identity for the TRAILMARK community, including areas adjacent to roadways, parks and open space areas. Theme fencing shall consist of double or triple rail 'woodcrete' achieving a minimum height of 3 feet, with periodic pilasters of slump block or stone veneer.

#### **VIEW FENCING**

View fences shall be constructed of decorative tubular steel, other metal, or transparent material interspersed at periodic intervals by pilasters of slump block or stone veneer. This type of fencing should be installed in the side or rear yards of those properties abutting natural open space, scenic vistas, and parks that are at a lower elevation than the residential yard. As with the solid privacy walls, the pilasters shall be capped with decorative concrete, block or stone. The height of the view fencing shall not exceed 6 feet.

#### **SIDE YARD WALLS**

A minimum 5-foot high block wall shall be located on the side yard lot property lines to separate residential rear and side yards. A side yard return wall with a gate is provided to enclose the lot and provide additional security. Certain strategic locations at side yards exposed to interior streets may feature corner pilasters of slump block or stone veneer.

#### Countywide Design Standards and Guidelines:

- Front yard return walls shall be constructed of masonry (slump stone or material of similar appearance, maintenance and structural durability) and shall be a minimum of five feet in height.
- A side yard gate or fence is required on one side of the front yard and shall be constructed of wrought iron, wood, vinyl or tubular steel.
- Side and rear yard fencing shall be masonry, slump stone, or other material or similar appearance, maintenance, and structural durability.
- Chain linked fences are not permitted.
- All construction must be of good quality and sufficient durability with an approved stain and/or sealant to minimize water staining. (The builder shall provide specifications prior to the issuance of building permits, which shall be approved by the Planning Department.)
- All new residences constructed on lots of less than 20,000 square feet shall include rear and side yard fencing constructed of masonry block which is a minimum of 5-feet in height. The maximum height of walls or fencing shall be seven (7) feet in height.



- All lots having rear and/or side yards facing local streets or otherwise open to public view shall have fences or walls constructed of decorative block, stucco, or other attractive and durable material.
- Corner lots shall be constructed with wrap-around decorative block wall returns.
- Side yard gates are required on one side of the home and shall be constructed of powder-coated wrought iron or tubular steel.
- Side yard walls for corner lots shall be a maximum length of 60% of the side yard depth.
- Wrought iron or tubular steel fence sections may be included within tracts where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.
- Wood fencing shall be constructed with galvanized steel posts set in concrete to a minimum depth of 24 inches with domed caps. Wood fencing shall only be permitted at the rear and side of 20,000 s.f. lots and within park areas and shall not be permitted on any residential lot smaller than 20,000 s.f.
- Community perimeter or theme wall shall be solid walls located where view opportunities are not available. Plain concrete block walls are not permitted along reverse frontage areas. Brick, slump stone, tile, textured concrete, stucco on masonry or steel framing or other material walls which require little or no maintenance are required. Use of ivy or other vegetative material to soften and punctuate the appearance of walls and reduce the likelihood of graffiti is strongly encouraged. The use of capping in conjunction with other vertical design elements to temper the top line of the wall is also encouraged.
- Swimming pool fencing shall meet all County safety provisions of the Building Code. Fences around swimming pools shall have an outside surface free of provisions, cavities, or other physical characteristics that would serve as handholds or footholds that could enable a child below the age of five to climb.

Community Design Standards and Guidelines:

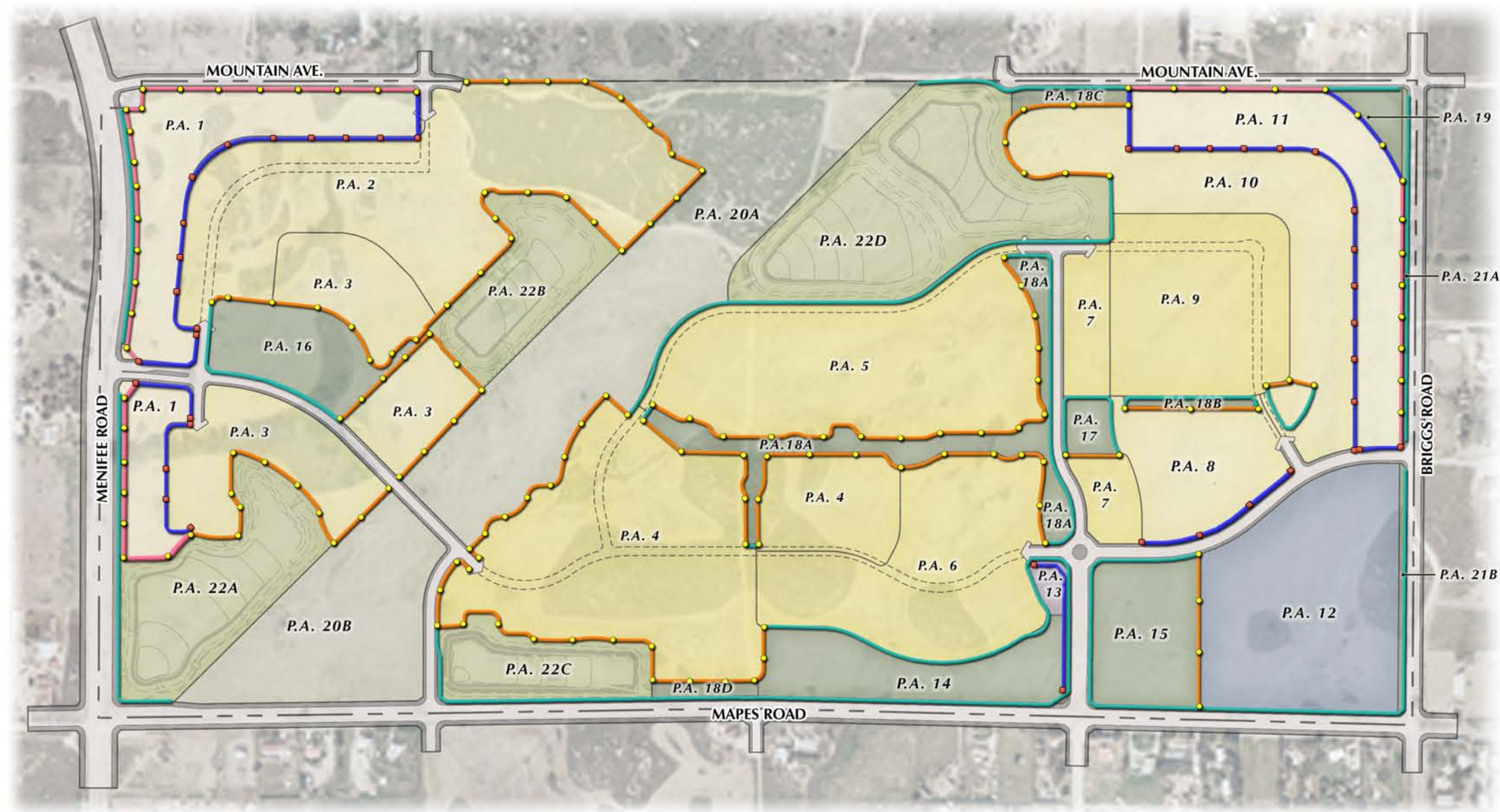
- All residential lots shall be enclosed to provide security and privacy for the homeowners.
- A minimum 5-foot high split face block wall shall be provided at side property lines.
- A 5-foot 6-inch tubular steel fence with 5-foot 6 inch stone veneer pilaster shall be provided at the rear side property line where a view condition exists. Pilasters shall be spaced at average intervals of 50'.
- A tubular steel or wood side yard gate shall be located on the garage side of each house.

- Appropriate materials for community walls and fences include stone, stone veneer, split face/precision block, tubular steel, concrete, stucco pilasters and cap, wood, woodcrete, and wrought iron.
- Solid walls which are visible from public roadways shall incorporate design elements to reduce monotony. These elements should include pilasters paced at average intervals of 100 feet.
- Walls shall be treated as extensions of the residential structures and use materials and colors complimentary of the overall architectural design.
- The use of full dimension caps, pilasters, and changes in wall surfaces (staggering) is required where walls are visible from public rights-of-way.
- Pilasters should be spaced at average interval of 50'.

Wood fencing shall only be permitted at the rear and side yards of 20,000 min. s.f. lots and within park areas and shall not be permitted on any residential lot less than 20,000 s.f.



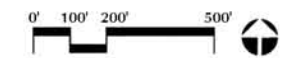
Wall and Fence Plan



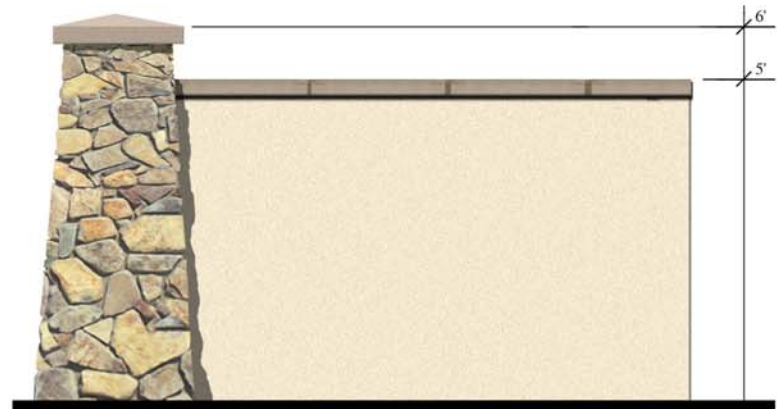
LEGEND

- |  |             |  |                     |  |                  |
|--|-------------|--|---------------------|--|------------------|
|  | Block Wall  |  | Decorative Pilaster |  | Residential Area |
|  | Theme Fence |  | Block Wall Pilaster |  | Open Space       |
|  | View Fence  |  |                     |  |                  |
|  | View Fence  |  |                     |  |                  |

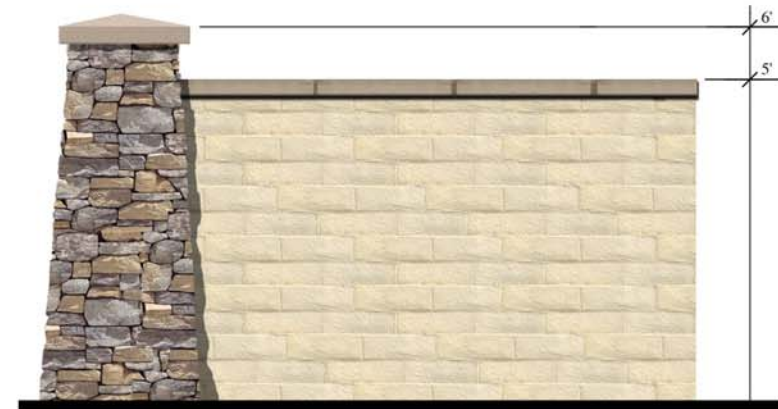
Notes:  
Community walls will be provided at lots as required with tentative map layout.



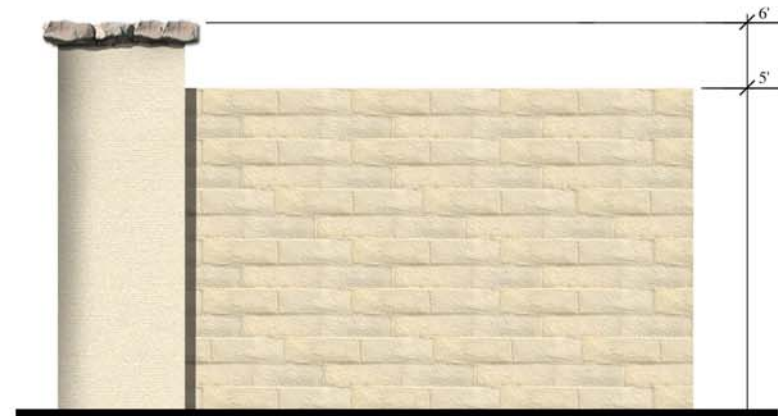
Wall and Fence Details - Block Wall / Privacy Fence



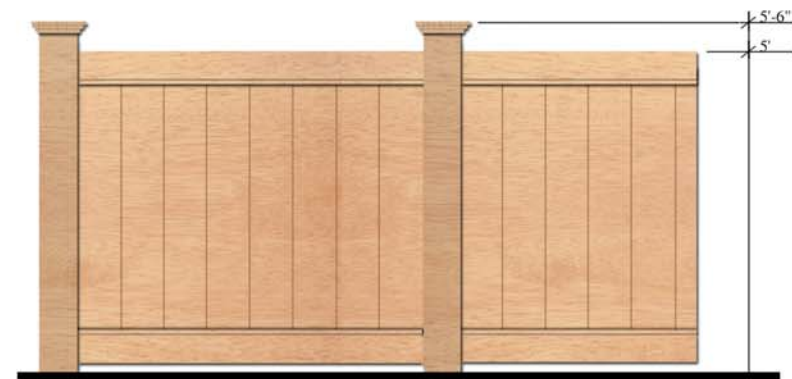
**Option #1**  
 Description:  
 -Battered Pilaster with Stone Veneer and Precast Cap  
 -Stucco Wall with Precast Cap



**Option #2**  
 Description:  
 -Battered Pilaster with Stone Veneer and Precast Cap  
 -Slump Block Wall with Slurry Finish and Precast Cap



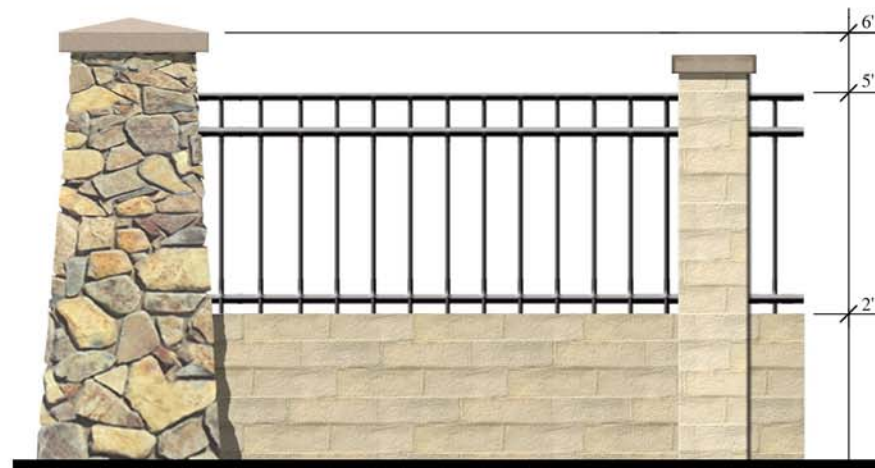
**Option #3**  
 Description:  
 -Stucco Pilaster with Stone Cap  
 -Slump Block Wall with Slurry Finish, No Cap



**Option #4**  
 Description:  
 -Vinyl Wood Grain Style Panel, Post and Cap

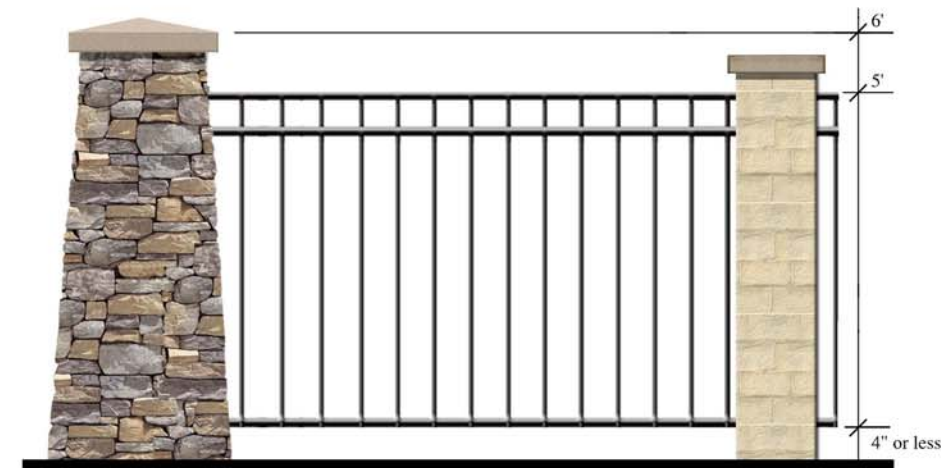


Wall and Fence Details - View Fence



Option #1

- Description:
- Battered Pilaster with Stone Veneer and Precast Cap
  - 2' Slump Block Wall with Slurry Finish, No Cap
  - Tubular Steel View Fence
  - Battered Pilasters to be placed at Key Locations of High Visibility
  - Slump Block Pilasters with Precast Cap to be placed at Low Visibility Locations that requiring Pilasters due to Significant Vertical Grade Changes and/or Horizontal Changes in Wall Layout Greater than 15 Degrees



Option #2

- Description:
- Battered Pilaster with Stone Veneer and Precast Cap
  - Tubular Steel Full View Fence
  - Battered Pilasters to be placed at Key Locations of High Visibility
  - Slump Block Pilasters with Precast Cap to be placed at Low Visibility Locations that requiring Pilasters due to Significant Vertical Grade Changes and/or Horizontal Changes in Wall Layout Greater than 15 Degrees

Wall and Fence Details - Theme Fence



**Option #1**  
 Description:  
 -Triple Rail Vinyl Theme Fence  
 -White, Tan or Black Integral Color  
 -CMU Pilaster with Field Stone Veneer and Concrete Cap



**Option #2**  
 Description:  
 -Double Rail Vinyl Theme Fence  
 -White, Tan or Black Integral Color  
 -CMU Pilaster with Field Stone Veneer and Field Stone Cap



**Option #3**  
 Description:  
 -Two Rail Vinyl Theme Fence.  
 -Slump Block Pilaster with Slurry Finish and Brick Cap



**Option #4**  
 Description:  
 -Three Rail Vinyl Theme Fence  
 -CMU Pilaster with Decorative Stone Veneer and Concrete Cap



## 11.0 LIGHTING

The design issue of “lighting” includes street lighting, as well as building and landscape accent lighting, and sign illumination. Appropriate lighting is a key ingredient for livable, urban communities. A well-orchestrated lighting program enhances the TRAILMARK community by providing an inviting evening atmosphere, which includes safe streets, lighted walkways, and architectural and landscape accents. The following basic principles shall be considered in the provision of lighting.

### County Design Standards and Guidelines:

- Outdoor lighting, other than street lighting, shall be low to the ground or shielded and hooded to avoid shining onto adjacent properties and streets.
- Illuminated street address lighting fixtures shall be installed on the front yard side of each dwelling to facilitate location of the street address numbers for safety and public convenience and to compensate for the dark sky lighting considerations.

### Community Design Standards and Guidelines:

- All streets within the community area shall have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design.
- All arterial streets shall have a continuous pole-mounted street lighting installed by the Master Developer. Residential neighborhoods shall have Master Developer installed street lighting at intersections only and short poles at all sidewalk intersections. Additional illumination shall be provided along neighborhood streets and alleys by dusk-to-dawn lighting from porch lights, decorative wall scones, and architectural pole lights in the yards of residences. These lights should be controlled by a photocell located at each residence.
- Lighting fixtures shall be well integrated into the visual environment and the appropriate theme.
- All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed and arranged to minimize glare and illumination of streets or adjoining property.
- Low intensity, energy conserving night light is preferred and should be shielded and directed away from open space areas.
- Lights shall be unbreakable plastic, recessed or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
- Neon and similar types of lighting are prohibited in the TRAILMARK community.

- All exterior lighting designs should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of streets; and also distinguishes vehicular and pedestrian circulation patterns. Community entry areas (both pedestrian and vehicular), community facilities and highly used recreation areas shall be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Pedestrian walkways and building entrances shall be well lighted for security reasons.
- All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
- The lighting concept of the entry monument features is to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features should be illuminated by concealed uplight fixtures.
- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the County of Riverside, including the Mount Palomar Observatory. Energy conservation, safety and security should be emphasized when designing any light system.
- Community landscape common areas, streetscapes, and other areas at the discretion of the project developer or builders may contain area, accent or other night lighting features.