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The Villages of Lakeview

Specific Plan No. 342

December 2017

RIVERSIDE COUNTY PLANNING DEPARTMENT

Project Sponsor: Nuevo Development Company

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THE VILLAGES OF LAKEVIEW
SPECIFIC PLAN No. 342

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A. Community Overview

1. Vision

This plan, located in the Lakeview/Nuevo area of Riverside County, represents a comprehensive planning effort to redefine the pattern of community development in suburban southern California. Four cornerstones provide the foundation for the vision. The four are—environmental stewardship, healthy living, lifelong learning, and community involvement THE VILLAGES OF LAKEVIEW community offers choices in how one can live, how one can get around, how one can increase interaction with people and how one can interact sustainably with nature. Because the plan responds to these aspirations Californians value most, THE VILLAGES OF LAKEVIEW will become the community of choice in Riverside County. The plan, in every detail, is an expression of this vision.

2. Mission

The mission of THE VILLAGES OF LAKEVIEW Specific Plan is to implement many elements of the unprecedented 2003 Riverside County Integrated Project (RCIP), including all three components: habitat, transportation, and land use. Known as, "the blueprint for tomorrow," the RCIP is a groundbreaking, innovative mechanism that can be applied to planning and decision-making in communities across the country.

3. Objectives

Planning efforts at all levels are guided by Smart Growth. The planning and development objectives for THE VILLAGES OF LAKEVIEW project are grounded in Smart Growth Principles[1] as endorsed by Smart Growth Network. Smart Growth Network is a network of private, public, and non-governmental partner organizations seeking to improve development practices. Partners within Smart Growth Network include the United States Environmental Protection Agency, the National Resources Defense Council, the American Planning Association, the Trust for Public Land, and the Environmental Law Institute, among many others.

Why Smart Growth?

- Smart Growth Network was formed in response to increasing community concerns about the need for new ways to grow that boost the economy, protect the environment and public health, and enhance community vitality.

[1] Smart Growth Principles referenced from a Smart Growth Network publication, available at http://www2.epa.gov/smart-growth/about-smart-growth#smartgrowth accessed May 14, 2015.

- By addressing the entire gamut of community development and resource conservation issues, Smart Growth Principles are particularly appropriate in this era of sustainability and green building.
- Smart Growth connects community development with quality of life.

The Smart Growth Network has developed a set of ten basic principles to guide smart growth strategies. The following are the ten Smart Growth Principles which are being met by the Project at varying degrees. Each Smart Growth Principle is followed by the corresponding project objective(s), then a sample of expected outcomes.

a. Smart Growth Network Principle: Provide a mix of land uses

1. Project Objective: To build upon the 2003 RCIP by leveraging the unusually large size of the property and fortuitous location adjacent to a Community and Environmental Transportation Acceptability Process (CETAP) major transportation corridor and develop a mixed-use community within a logical build-out timeframe where residents can live, play, shop, learn, and to the extent possible, work

   Expected Outcome: A large property under a single ownership adjacent to a major transportation corridor—this extraordinary opportunity deserves an extraordinary community to be proposed. Of the 2,883 acres, the proposed community is approximately 12% mixed use and commercial, 25% residential, 5% agricultural and 47% open space (conservation, parks, earthen drainage channels, and open space), with the mixed-use Town Center Village centrally located creating easy access from the surrounding residential villages.

2. Project Objective: To leverage the shape and setting of the site, and create a range of villages that support a variety of lifestyles within a mixed-use framework

   Expected Outcome: The shape and setting affords the ability to create a range of villages. Land use within each village responds to: the land and its setting; existing adjacent uses and the need for buffers; the opportunity to meet housing needs; the economic reality that new development must pay its own way; and the desire to create diverse, yet cohesive villages within a mixed-use framework. The planning process led to the identification of a maximum of 8,725 dwelling units and 1,380,000 square feet of commercial uses within seven villages.

b. Smart Growth Network Principle: Take advantage of compact building design

1. Project Objective: To maximize land use efficiency and conserve land on site as envisioned in the MSHCP and CETAP programs

Expected Outcome: The CETAP is a comprehensive planning process that identifies future placements of highways and transportation corridors, while the Multiple Species Habitat Conservation Plan (MSHCP) determines what land should be set aside for open space and habitat conservation. THE VILLAGES OF LAKEVIEW will implement each by employing compact building designs to create a reduced development footprint, concentrating development along the Mid County Parkway that is proposed along the Ramona Expressway, contributing significant right-of-way to the Ramona Expressway corridor, and avoiding MSHCP high value habitat so it can make a significant contribution to the MSHCP. In doing so, THE VILLAGES OF LAKEVIEW is implementing the General Plan Population Growth Vision: *"New growth patterns no longer reflect a pattern of random sprawl. Rather, they follow a framework of transportation and open space corridors, with concentrations of development that fit into that framework. In other words, important open space and transportation corridors define growth areas."*

2 Project Objective: To conserve a contiguous 900+-acre portion of the Lakeview Mountains, and to avoid sensitive species/habitats and significant cultural resources

Expected Outcome: By utilizing compact building design at the community level, neighborhood level, and house level, more than half of the land will be open space of some sort, including significant buffers to the San Jacinto Wildlife Area, Lakeview Mountains, and existing community of Lakeview/Nuevo. Consequently, over 1,000 acres of various habitats will be conserved and significant cultural resources are being avoided with buffers being provided.

c. Smart Growth Network Principle: Create a range of housing opportunities and choices

1. Project Objective: To create a single ownership master plan that builds upon the principle that "one size does not fit all." The plan will provide a variety of housing opportunities reflective of the County of Riverside's fair share housing need

Expected Outcome: THE VILLAGES OF LAKEVIEW will be composed of individual villages that, by variations in character, will be expressions of the existing community while also providing additional choices. The result will be a multi-generational community and a community reflective of a broad spectrum of lifestyles: from entry level to luxury and from young families to active adult and all in a refined informal setting.

2. Project Objective: To offer a "green" housing choice and support reduced energy consumption within the houses built

Expected Outcome: A broad collection of practices, standards, measures, methods, procedures, techniques, and approaches will be provided. This broad collection is known as "Lakeview Green Design." Among many things, it will offer potential homeowners the opportunity to choose a "green" home, which includes an energy conservation component.

d. Smart Growth Network Principle: Create walkable communities

1. Project Objective: To inspire healthy living and accommodate a pedestrian-friendly lifestyle

   Expected Outcome: THE VILLAGES OF LAKEVIEW is walkable, with sidewalks separated from streets and trail connections at every edge, a 37-mile network of bicycle lanes, trails, and paseos will enable every possible experience: walking, hiking, biking, or equestrian; on-street or off-street; up the mountain or through the open space; from short loops on flat terrain to large loops providing up to 1,200' inclines.

2. Project Objective: To grow a community of trees on site and use potable water efficiently

   Expected Outcome: Given the climate, shade is needed to encourage people to walk. As such, the Project will be a community of trees—over 30,000 are possible. Each new homeowner will receive a tree at closing, either to be planted in their yard, or to be donated and planted within the community. Recycled water will be utilized to the extent possible. To stabilize the system, the Project will provide a site for a recycled water tank. Drought-tolerant landscaping will be used and turf will be used wisely. The 4-mile drainage channel system will be earthen, not lined with concrete, and five miles of roadside swale will be vegetated, rather than concrete curb-and-gutter; in an effort to promote infiltration and groundwater recharge.

e. Smart Growth Network Principle: Foster distinctive, attractive communities with a strong sense of place

1. Project Objective: To develop an attractive community with a strong sense of place in the Lakeview/Nuevo area of Riverside County

   Expected Outcome: Given the Riverside County location, the character of THE VILLAGES OF LAKEVIEW will be inspired by the evocative imagery that brought the first settlers to the area—images of early southern California such as shaded arcades, tree-lined drives, and architecture graced by the beauty of the natural environment as its backdrop. The community core will be the bustling social center of the community and will include a library, public community center,

sports park, other recreation facilities, and schools flanking either side. Through the use of these facilities, a social infrastructure will develop and encourage community involvement.

2. Project Objective: To inspire life-long learning

   Expected Outcome: The concept of life-long learning will be promoted and provided throughout the community which goes hand-in-hand with the extra facilities provided, such as extra classrooms for pre-school, community rooms for after-school programs and weekend health clinics, and the public community center which could provide evening and weekend classes for on-going training.

f. Smart Growth Network Principle: Preserve open space, farmland, natural beauty, and critical environmental areas

1. Project Objective: To avoid, conserve, enhance and/or protect critical environmental areas both on site and adjacent to the Project

   Expected Outcome: The planning effort for THE VILLAGES OF LAKEVIEW reacted to the site's existing natural setting by incorporating a reduced development footprint that will avoid MSHCP high value habitat and enable significant contributions to the MSHCP. As a result, development of the proposed Project enables: avoidance of direct impacts to a vernal pool and other wetlands; expansion of the San Jacinto River floodplain volume; a buffer to the San Jacinto Wildlife Area to be established; natural storm water treatment systems to be built; quality of stormwater runoff to be enhanced; and over 1,000 acres of various habitats to be conserved.

2. Project Objective: To inspire environmental stewardship

   Expected Outcome: An environmental stewardship program will be provided. Its goal is to educate homeowners on the benefits of the environment and inspire them to protect it. Throughout the community, interpretive elements may be provided including signs and sample demonstrations.

g. Smart Growth Network Principle: Strengthen and direct development towards existing communities

1. Project Objective: To strengthen the existing Lakeview/Nuevo community by providing a library and public community center

   Expected Outcome: The Project will provide the general public access to community facilities such as schools, libraries and a public community center; parks and open spaces; and retail shopping and employment opportunities. In

addition, some existing residents will benefit from the installation of flood control facilities and a sanitary sewer system.

2. Project Objective: To protect the existing rural lifestyle adjacent to the site by supporting the Lakeview/Nuevo Design Guidelines

   Expected Outcome: The land plan will provide buffers between rural and suburban uses, equestrian trails, and an equestrian park opportunity. Circulation will be designed to direct anticipated traffic to Ramona Expressway and off existing rural roads. The Project supports the Lakeview/Nuevo Design Guidelines, a document that further protects the existing rural community.

h. Smart Growth Network Principle: Provide a variety of transportation choices

1. Project Objective: To provide residents with a hierarchy of transportation choices

   Expected Outcome: While light rail does not directly connect to this Project, THE VILLAGES OF LAKEVIEW is designed to support a variety of transportation choices, including walking, hiking, biking, mass transit and the automobile. THE VILLAGES OF LAKEVIEW will coordinate transportation with local and regional agencies where possible in order to maximize integration of the Project with local transportation planning and implementation efforts. These efforts include the possibility of extending the Riverside Transit Agency's Bus Rapid Transit System into the area and bus connections to proposed Metrolink stations along the Perris Valley Line, which could provide residents access to Perris, March Air Reserve Base, University of California Riverside, and Riverside, Los Angeles and Orange counties. Bus stops within the community have been tentatively identified.

2. Project Objective: To encourage residents to use their cars less

   Expected Outcome: The mixed-use Town Center Village will be designed to discourage the use of cars. The 37-mile network of bicycle lanes, trails, and paseos leads to destinations such as the library, schools, parks, open space, and bus stops. THE VILLAGES OF LAKEVIEW will include a commute trip reduction program which will include ride matching assistance via the Home Owner Association (HOA) and school trip matching via the HOA, and Parent Teacher Association. Future potential live/work units could encourage working from home. As a whole, these choices encourage residents to use their cars less.

i. Smart Growth Network Principle: Make development decisions predictable, fair, and cost effective

1. Project Objective: To make development decisions predictable, fair, and cost effective for new development since economic reality causes new development to pay its own way

   Expected Outcome: The Master Developer will participate in on-going regional planning efforts. These efforts will include the creation of new funding programs, such as a Community Facilities Fee Program and a Road & Bridge Benefit District. By planning a region for the long term, decisions will be predictable to present and future generations, fair to existing and proposed communities, and cost effective for new development.

j. Smart Growth Network Principle: Encourage community and stakeholder collaboration in development decisions

1. Project Objective: To inspire community involvement through collaboration before, during, and after development

   Expected Outcome: An on-going outreach effort has been established and will continue to encourage collaboration with the local community of Lakeview/Nuevo, environmental community, Native American tribes, and education community. It is an effort that has been and will be accessible and forthright to all stakeholders. Dozens of meetings have occurred. Fruits of the effort are evident. In 2004, Native American monitors representing multiple tribes participated in archaeological testing fieldwork. In addition, this program is intended to assist with the, social infrastructure needed to jump-start community involvement.

4. Project Description

a. Project Summary

Nuevo Development Company, LLC is the Master Developer of THE VILLAGES OF LAKEVIEW Specific Plan No. 342 (Specific Plan). THE VILLAGES OF LAKEVIEW is a proposed full-service master-planned community. “Full-service” means the Master Developer will provide both community facilities and programs which are intended to provide the social infrastructure needed to jump-start the use of these facilities. For example, swimming pools and swimming classes will be provided. Programs such as an environmental stewardship program, and an on-going outreach program, will be established over the life of the Project build-out.

The site is located between the Lakeview Mountains and the 10,000-acre San Jacinto Wildlife Area, covering approximately 2,883 acres in the Lakeview/Nuevo area of unincorporated Riverside County, along the Ramona Expressway. The overall community design concept for THE VILLAGES OF LAKEVIEW is that of a pedestrian-friendly lifestyle that provides elements of varied housing types, parks, recreational facilities, and the convenience to schools, goods, and services—all linked by a network of sidewalks, paseos and trails.

The site has been divided into seven villages and a Lakeview mountain/conservation area on the basis of different land uses and densities in response to the land and its setting, existing adjacent uses, and the need for transitions. The villages vary in character and lifestyle, including a mixed-use Town Center Village.

THE VILLAGES OF LAKEVIEW will allow for a maximum of 8,725 dwelling units to be constructed within a variety of villages. There are several planning applications that are needed for project implementation. The pending applications include:

1. **Specific Plan No. 342:** THE VILLAGES OF LAKEVIEW Specific Plan No. 342 will allow for a maximum of 8,725 dwelling units and 1,380,000 square-feet of commercial uses to be constructed within eight Specific Plan villages. There will be a mix of residential and non-residential uses throughout the entire Project.

2. **General Plan Amendment No. 720:** Proposes the following amendment to the Land Use Element of the General Plan:

   - *Land Use Element Amendment*

     The proposed Project will require a General Plan Amendment to change the land use designations in the Lakeview Area Plan. The Land Use Element Amendment consists of four components. The first component required is a Technical Correction Amendment needed to include the proposed Project in Table 3: Adopted Specific Plans of the Lakeview/Nuevo Area Plan and rectify errors related to mapping, which resulted in inaccuracies related to areas within the Lakeview Mountains and those in the lowlands. The second component will change the various land use designations to Specific Plan. The third component will be a Foundation Amendment to change underlying designations generally within the Rural Community Foundation to the Community Development Foundation. The fourth component will be an Agricultural Foundation Change, utilizing the County's seven percent conversion allowed under the General Plan.

3. **General Plan Amendment No. 721:** Proposes the following amendment to the Circulation Element and Policy Amendment of the General Plan:

   - *Circulation Element Amendment*

     THE VILLAGES OF LAKEVIEW also proposes to modify the Circulation Element of the Riverside County General Plan. The Project will include upgrading and downgrading numerous existing and proposed roadway classifications onsite as shown on the current Circulation Element for the Lakeview/Nuevo Area Plan.

     The Project proposes a General Plan Amendment to Trails so that some trails proposed by the Project can be designated as Community Trails. Generally, the Project proposal for the Community Trail designation would affect the trails proposed within the Metropolitan Water District (MWD) aqueduct property, portions within the center of the Project and north of Ramona Expressway.

   - *Policy Amendment*

     This amendment revises General Plan Policy C2.1, allowing an additional exception to the policy, to allow Specific Plan 342 to exceed minimum LOS targets on County maintained roads as approved by the Board.

4. **Development Agreement No. 73:** A Development Agreement may be processed pursuant to but not concurrent with the Specific Plan; and such an agreement was addressed in the EIR.

5. **Change of Zone No. 7055** proposes to change the zoning classifications of the subject site from Light Agricultural – 10-acre minimum (A-1-10), Heavy Agricultural – 10-acre minimum (A-2-10), Light Agricultural with Poultry (A-P), Commercial Retail (C-R), Manufacturing – Service Commercial (M-SC), Residential Agricultural (R-A), Residential Agricultural – 1-acre minimum (R-A-1), Residential Agricultural – 10-acre minimum (R-A-10), Residential Agricultural – $2^{1/2}$-acre minimum (R-A-$2^{1/2}$), Rural Residential (R-R), and Natural Assets – 640-acre minimum lot size (N-A-640) to Specific Plan (SP), and to adopt a zoning ordinance specially written for this Project.

b. Location

THE VILLAGES OF LAKEVIEW is nestled between the Lakeview Mountains and San Jacinto River, and is adjacent to the San Jacinto Wildlife Area. The Project is situated east of the City of Perris and directly west of the City of San Jacinto. Access to the site is provided via Ramona Expressway, which connects to the regional circulation system via Interstate

215 to the west and State Route 79 to the east. Access to the site is also provided by Hansen and Lakeview Avenues, both of which provide access to Perris via connections to Nuevo Road south of the site (see **Exhibit A.1 – Project Location Map and Exhibit A.2 – Vicinity Map**).

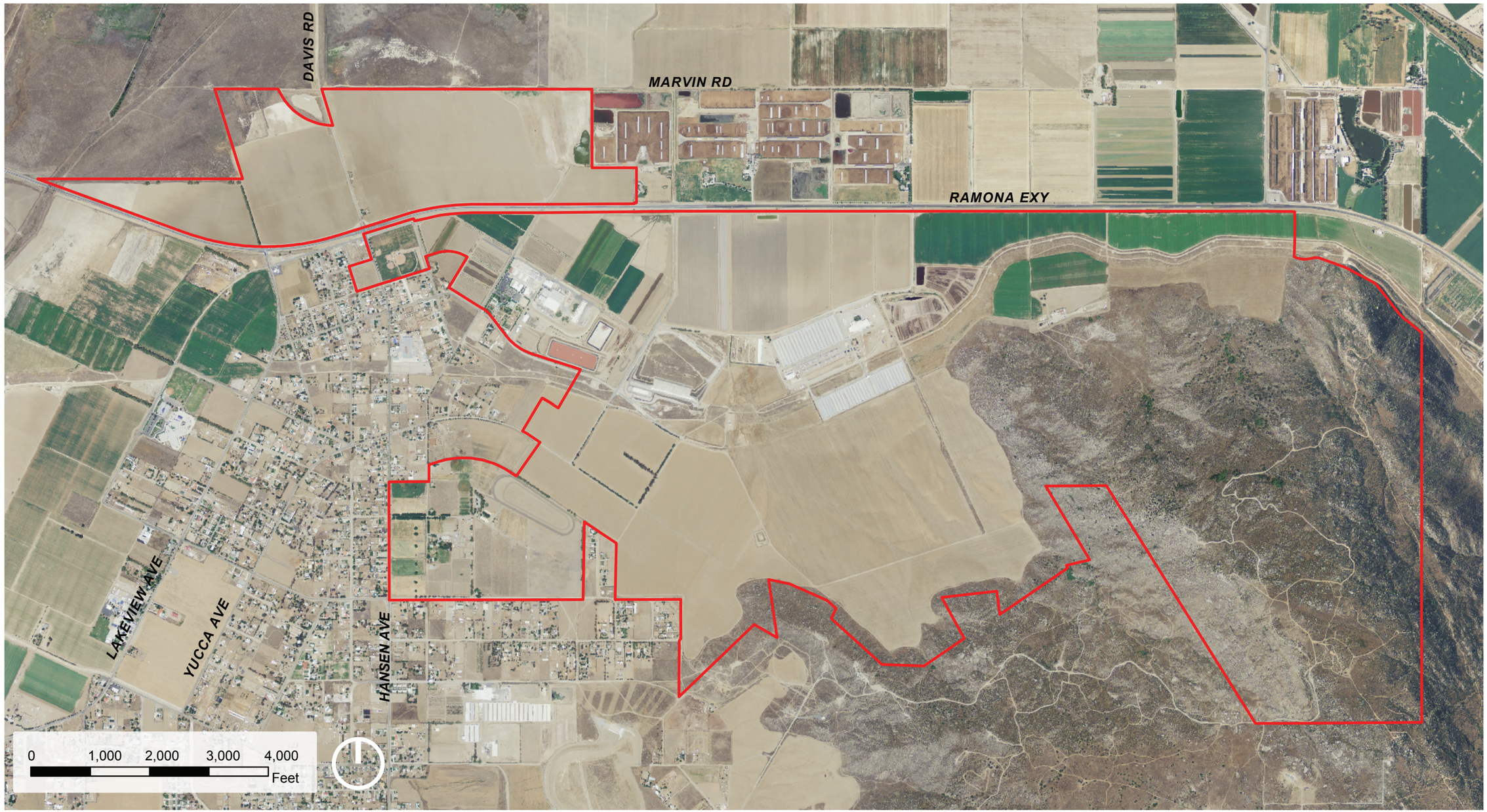
c. Existing Uses

Existing land uses on site include McAnally poultry ranch, MWD aqueduct and basin property, Nutrilite Facility and farmland, a thoroughbred farm, an abandoned RV park, and additional farmland. Surrounding land uses include open farmland and agriculture to the north, vacant hillsides to the east, and rural residential and open space uses to the south and west (see **Exhibit A.3 – Surrounding Land Uses Map**).

d. Local History

Early development of this and other inland areas in southern California depended largely on the advent of the railroad and easy accessibility to water. When these were in place, early developers and water companies enticed people to move west with the promise of fair weather, good health, open space, and prosperity. When settlers came to the Lakeview/Nuevo area, they found it to be an ideal place for orchard crops and dry farming.

Development and farming began in the Lakeview/Nuevo area in the 1880s when water and a Santa Fe Special train were brought into the San Jacinto Valley. Some of the major industries to come into the area were various farming industries, lumbering industries in the nearby San Jacinto Mountains, health resorts, and Lakeview Hot Springs. Early farmers left the area due to the lack of water. However, major subdivisions did not occur until 1914, where the Nuevo Land Company subdivided a considerable portion of the area for apricot, peach, and olive orchards. The land remained substantially undeveloped until December 1989, when Riverside County approved the Lakeview/Nuevo Community Plan. Historically known as the most productive dry farming area of the San Jacinto Valley, the Lakeview/Nuevo area continues to produce eggs, sod, horse and goat breeding, flowers and vegetable seeds.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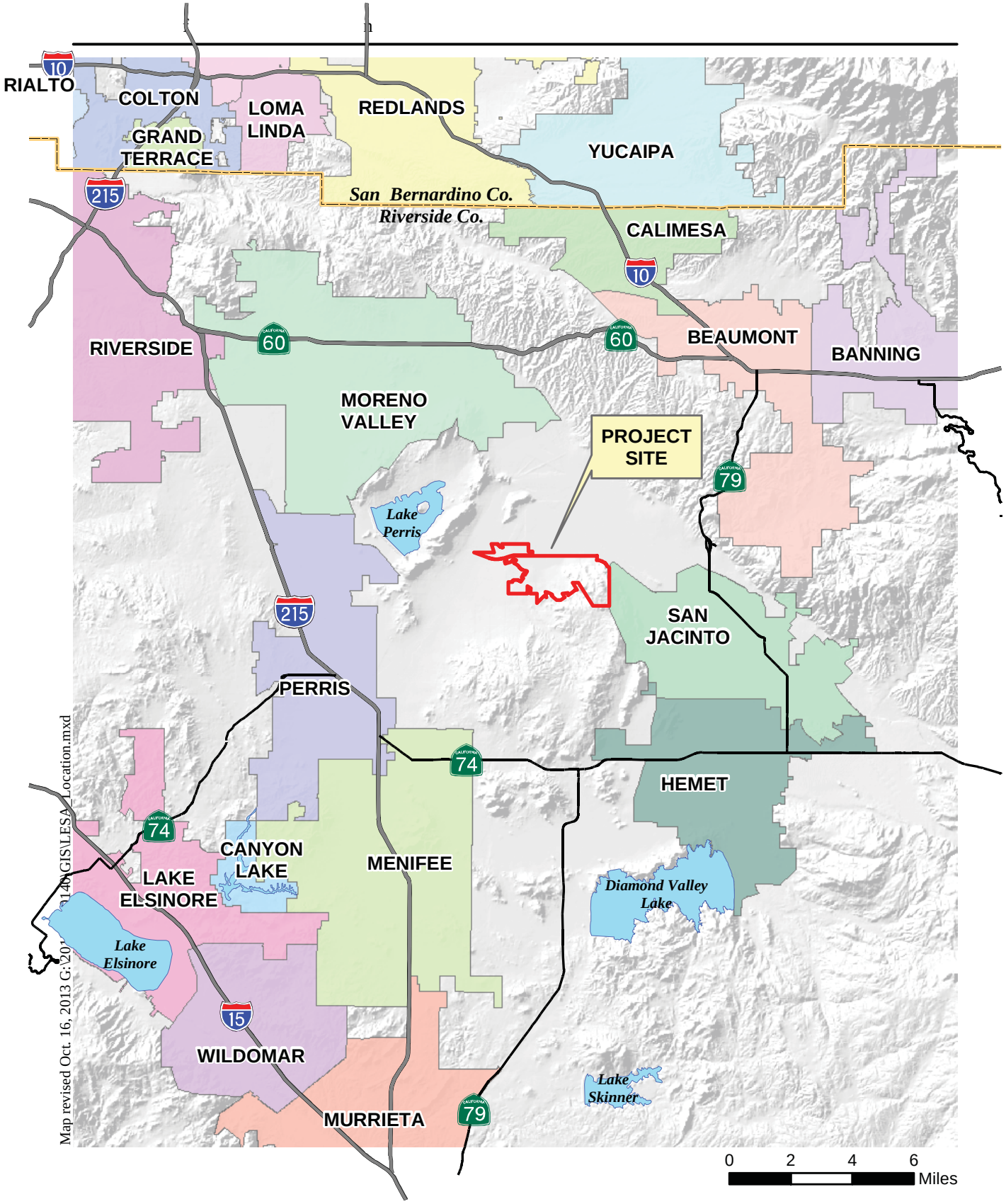
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PERRIS
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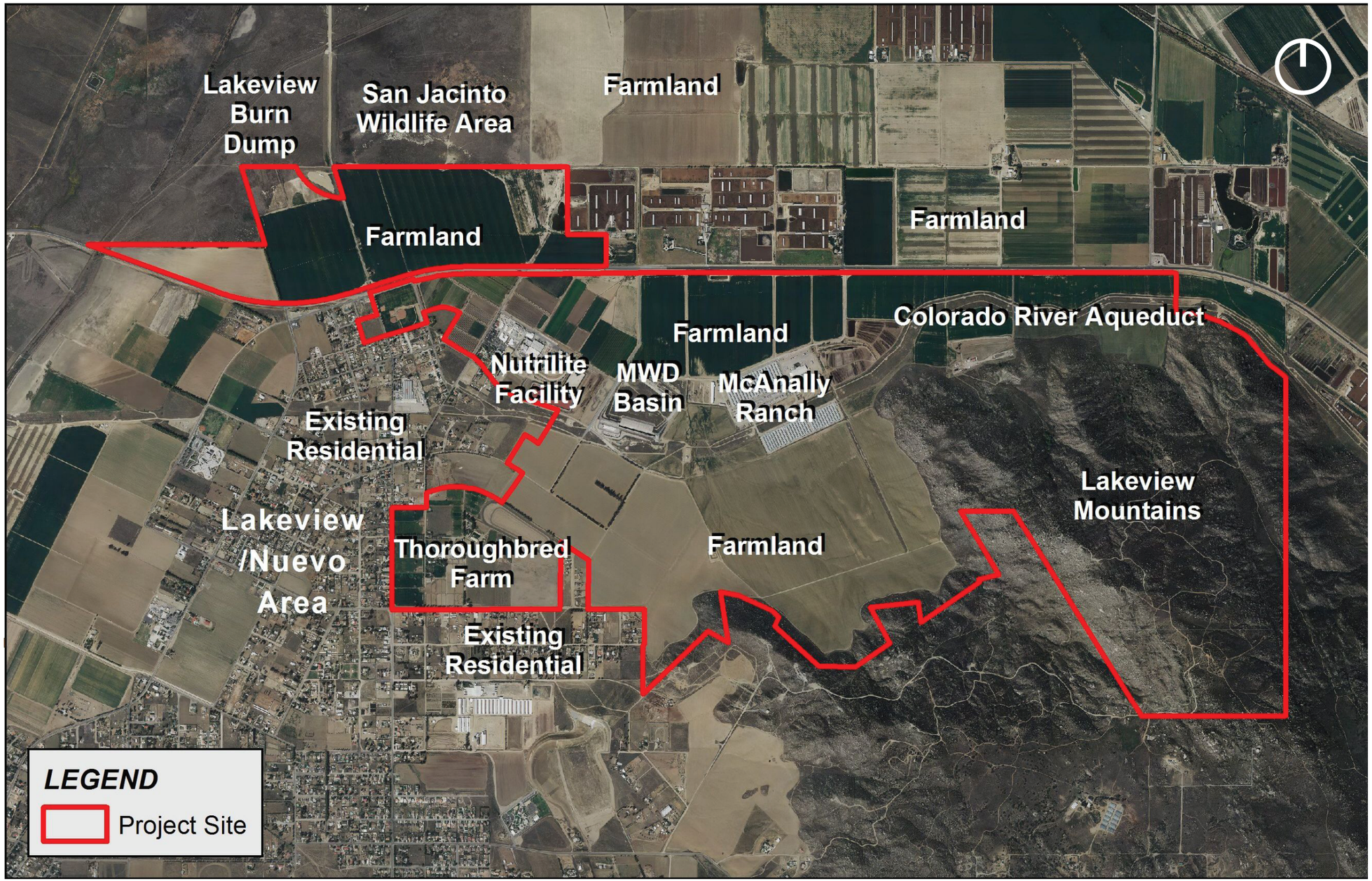
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Farmland
Farmland
Farmland
Colorado River Aqueduct
Nutrilite Facility
MWD Basin
McAnally Ranch
Existing Residential
Lakeview /Nuevo Area
Thoroughbred Farm
Farmland
Lakeview Mountains
Existing Residential
LEGEND
Project Site

5. Specific Plan Purpose and Relationship to the General Plan

a. Document Format

The Specific Plan document includes the required items in the County of Riverside's Form and Content for Specific Plans and Environmental Impact Reports (EIR). The EIR evaluated the potential significant environmental effects of the Project and is bound under a separate cover and analyzed as Alternative 7.

b. Purpose

The Specific Plan is a comprehensive document to guide future development of THE VILLAGES OF LAKEVIEW. The document sets forth a comprehensive set of plans, development standards, design guidelines, and implementation programs designed to produce a project consistent with the goals, objectives, and policies of the County of Riverside General Plan and Lakeview/Nuevo Area Plan, as proposed for the amendments according to General Plan Amendment Nos. 720 and 721.

Flexibility has been designed into the Specific Plan to respond to the changes in society and the economic marketplace which will occur over the 10+ year build-out of the community. Further, the Specific Plan establishes the regulations and standards for the protection of open areas adjacent to the development, along the San Jacinto River, San Jacinto Wildlife Area, and the Lakeview Mountains. More than half of the land will be open space of some sort.

This Specific Plan contains standards, policies, guidelines, and is created with a zoning ordinance. Subsequent development plans and subdivision maps for THE VILLAGES OF LAKEVIEW must be consistent with this Specific Plan; the Specific Plan's zoning ordinance, the Design Guidelines, and the County of Riverside's General Plan. Any condition proposed within THE VILLAGES OF LAKEVIEW not specifically addressed by the provisions contained within this Specific Plan, shall be subject to the regulations of the Riverside County Zoning Ordinance.

Certain modifications to the Specific Plan are permitted and shall occur in accordance with Administrative Procedures set forth in **Section B.11** of the Specific Plan.

c. Consistency with Adopted Plans/Codes

THE VILLAGES OF LAKEVIEW Specific Plan has been prepared in accordance with the requirements of the County of Riverside Policy and Procedures, and the California Government Code (Section 65450 through 65457).

In accordance with Section 65454 of the California Government Code, THE VILLAGES OF LAKEVIEW Specific Plan is consistent with and implements the Riverside County General Plan and the Lakeview/Nuevo Area Plan.

In 2006, a request was filed with the Board of Supervisors to receive permission to proceed with the Foundation Amendment component of the General Plan Amendment. Permission to proceed with the process was granted by the Riverside County Board of Supervisors in June of 2006. Therefore, Specific Plan No. 342 will be a "Community Development" Specific Plan with approximately 820 acres of newly-designated Open Space land, in addition to areas that are currently designated as Open Space in the General Plan. This step is addressed in detail in the *RCIP General Plan Foundation Component Amendment Request and Required & Optional Findings, The Villages of Lakeview (SP 342)*, May 30, 2006.

Required will also be an Agricultural Foundation Change, utilizing the County's seven (7) percent conversion allowed every 2.5 years, which is currently allowed under the General Plan. This Agriculture Foundation Change would generally convert the Agriculture Foundation to Community Development Foundation, with certain areas remaining as agriculture and designated Open Space in the Specific Plan.

The General Plan Land Use Element Amendment proposes to convert Rural and Agriculture Foundations to the Community Development Foundation and by utilizing the Community Development Overlay process, as depicted in the existing General Plan. In the end, THE VILLAGES OF LAKEVIEW Specific Plan will be left with approximately 1,030 acres of designated open space, 145 acres of agriculture and approximately 1,800 acres of development within the Community Development Foundation. After the Project is developed as planned, approximately 38 percent will be residential, commercial, and civic land uses; and 62 percent will remain in various forms of open space (agriculture, conservation, parks, trails, roads, earthen drainage channels, landscape setbacks, terrace slopes, and open space).

The Project proposes to modify the Circulation Element of the Riverside County General Plan to include upgrading and downgrading numerous existing and proposed roadway classifications shown on the current Circulation Element for the Lakeview/Nuevo Area Plan and RCIP General Plan Circulation Element Map. The Project also proposes a General Plan Amendment to the Circulation Element Trails and Bikeways System to include a 10-12' Multi-Purpose Community Trails proposed within the Project boundary. Lastly, the Project proposes a policy amendment to General Plan Policy C.2.1 to authorize an exception to the LOS C traffic congestion threshold for Specific Plan 342 as approved by the Board.

The Specific Plan also incorporates the Healthy Communities Checklist that strives to improve health outcomes through design of the built environment in accordance with Policy HC 2.1 in the Healthy Communities Element of the General Plan. Section B.11 sets forth this checklist.

d. California Environmental Quality Act (CEQA) Reference

In accordance with Section 65463 of the California Government Code, the accompanying EIR was prepared under the County's authority and is intended to serve as the sole environmental document for the Specific Plan, as referenced as Alternative 7, and may also be used as the basis for CEQA clearances for future entitlements.

e. Severability Clause

If any term or provision of this Specific Plan, or the application of any provision of this Specific Plan to a particular situation, shall for any reason be found to be void, invalid, illegal, or unenforceable by a court of competent jurisdiction, such term or provision shall remain in force and effect to the extent allowed by such ruling and all other terms and provisions for this Specific Plan, or the application of this Specific Plan to other situations, shall remain in full force or effect.

B. Project-Wide Development Plans and Standards

1. Land Use Plan

a. Introduction

THE VILLAGES OF LAKEVIEW will be comprised of a wide range of land uses, including various residential types, mixed-uses, commercial, retail, office, high school, K–8 schools with joint-use parks, public facilities, agriculture, parks, trails, and open space. THE VILLAGES OF LAKEVIEW is estimated to be complete in multiple phases over a 20± year build out, depending on market conditions. A Mixed-Use Town Center, which includes a variety of neighborhood and regional retail uses, will be visible along the Ramona Expressway.

The overall plan for the Project is divided into seven (7) villages plus one (1) major conservation area, the Lakeview Mountains. The villages were formed on the basis of logical separate units of residential development, open space needs, and retail/commercial exposure to traffic. Within the 7 villages and conservation area there are a total of 72 planning areas. More detailed discussions of each village and planning area occur within Section C of this document, but **Table B.1.1 – Land Use Summary and Table B.1.2, Detailed Land Use Summary by Planning Area**, presents proposed land use designations, acreages, and dwelling units.

The Specific Plan for THE VILLAGES OF LAKEVIEW has been created with sensitivity to existing environmental resources and surrounding conditions encompassing the San Jacinto Wildlife Area and San Jacinto River, adjacent cities and communities, including the Lakeview/Nuevo community and City of San Jacinto. In addition, the Specific Plan includes policies for the preservation and ongoing viability of the river, mountains, and other natural open spaces within and surrounding the Project.

The Project will be compatible with the existing Lakeview/Nuevo community per the Riverside County Lakeview/Nuevo Design Guidelines. A transition will occur along the southwestern edge of the Project to ensure compatibility between existing and proposed land uses that protect and enhance the existing rural lifestyle. In general, higher densities are proposed within the interior of THE VILLAGES OF LAKEVIEW, while lower densities will be developed towards transition edges adjacent to the Lakeview Mountains, and the existing community of Lakeview/Nuevo. A carefully crafted circulation plan will minimize the impacts from anticipated traffic on existing rural roads, while balancing the need for connectivity to adjacent areas.

Table B.1.1 – Land Use Summary

Land Use Designation	Land Use Designation	Density Range	Gross Acres	Target Dwelling Units/Square Footage	% of Total Acres
Residential					
Medium Density Residential	MDR	2 to 5	140	660 DU	5%
Medium High Density Residential	MHDR	5 to 8	213	1,540 DU	7%
High Density Residential	HDR	8 to 14	384	3,750 DU	13%
Mixed Use					
Mixed Use	MU	8 to 40	282	2,775 DU/555,000 SQFT	10%
Commercial					
Commercial Office	CO	-	70	825,000 SQFT	2%
Agriculture					
Agriculture	AG	-	145	-	5%
Open Space and Recreation					
Open Space - Recreation	OS-R	-	82	-	3%
Open Space- Conservation Habitat	OS-CH	-	1,031	-	36%
Public Facilities					
Schools	PF-schools	-	114	-	4%
Public Facilities - MWD/EMWD	PF	-	50	-	2%
Water-Aqueduct	W-A	-	81	-	3%
Water-Drainage	W-D	-	110	-	4%
Circulation	-	-	181	-	6%
TOTAL	-	-	**2,883**	**8,725 DU/1,380,000 SQFT**	**100%**

The Project will provide upgrades to the regional infrastructure including:

1. Upgrades to the existing road network
2. New circulation improvements
3. New sanitary sewer services
4. New flood control facilities, which will remove existing residences from the floodplain
5. Increased fire protection with the installation of new water storage tanks
6. A new water quality basin(s) to improve the quality of stormwater runoff, thus enhancing the San Jacinto River and Wildlife Area

b. Village Creation and Organization

THE VILLAGES OF LAKEVIEW Specific Plan has been organized into seven (7) villages and an additional open space/conservation area within the Lakeview Mountains, as illustrated in **Exhibit B.1.4 – Village Organization Plan**. These villages will be differentiated by their distinct physical boundaries, land use, landscape treatment and theme, and general lifestyle. These seven (7) villages and an additional open space/conservation do not represent village "phasing." The Phasing Plan for the Project is located within the Public Facility and Phasing section within this Specific Plan **(Section B.6)**.

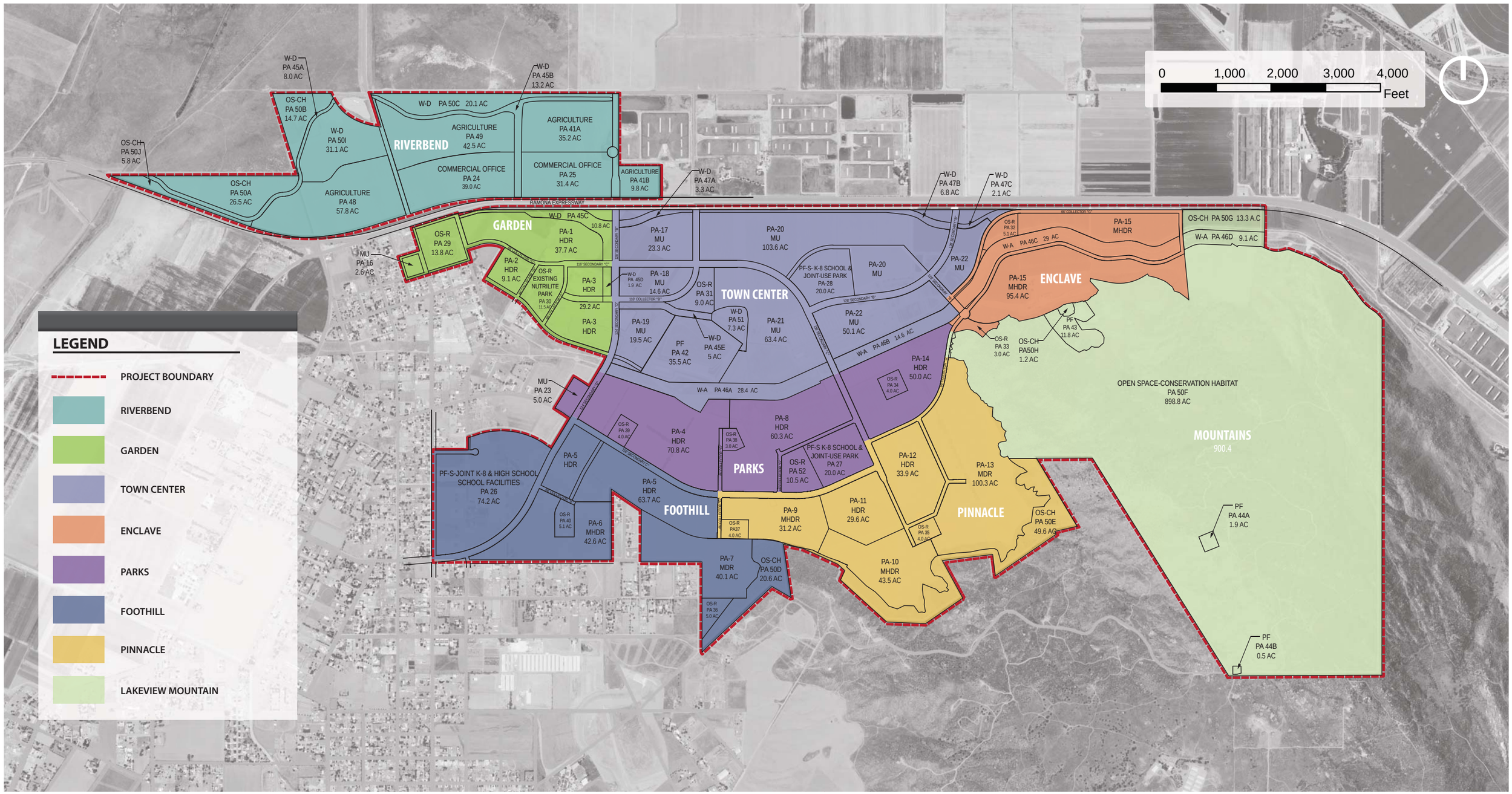
Each village was created organically by responding to the land and its setting, existing adjacent uses and the need for transitions, the opportunity to fill many marketplace segments, the requirement of new development to shoulder the economic burden, and the desire to create diverse yet cohesive villages. A summary of the vision of the villages is described in greater detail in **Section D**. **Design Guidelines**. Below is a brief summary of the villages:

1. River Bend Village

   The River Bend Village is the only village located north of the Ramona Expressway. The River Bend Village includes approximately 336 gross acres, and a target of 825,000 square-feet of commercial office uses. This village includes a variety of land uses including open space, drainage facilities, agriculture and commercial offices. The commercial offices will be the main amenity of the village, as well as the preservation of existing agriculture and open space adjacent to the San Jacinto Wildlife area to the north of the village. **Section C.1** describes the River Bend Village in detail, with specifics for each planning area within the village.

2. Town Center Village

   The Town Center Village lies southeast of the River Bend Village and directly south of the Ramona Expressway. The Town Center Village will provide direct access to the Ramona Expressway and includes approximately 407 gross acres, a target of 2,715 dwelling units, with a target of 555,000 square-feet of commercial development. The Town Center Village will provide for mixed-use development with a K–8 school and joint-use park, residential, professional office, and commercial uses. The Town Center Village will include job-creating uses mixed with residential uses creating a walk-able environment. **Section C.2** describes the Town Center Village in detail, with specifics for each planning area within the village.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LEGEND
PROJECT BOUNDARY
RIVERBEND
GARDEN
TOWN CENTER
ENCLAVE
PARKS
FOOTHILL
PINNACLE
LAKEVIEW MOUNTAIN
RIVERBEND
W-D PA 45A 8.0 AC
W-D PA 45B 13.2 AC
OS-CH PA 50B 14.7 AC
W-D PA 50C 20.1 AC
W-D PA 50I 31.1 AC
AGRICULTURE PA 49 42.5 AC
AGRICULTURE PA 41A 35.2 AC
COMMERCIAL OFFICE PA 24 39.0 AC
COMMERCIAL OFFICE PA 25 31.4 AC
AGRICULTURE PA 41B 9.8 AC
OS-CH PA 50J 5.8 AC
OS-CH PA 50A 26.5 AC
AGRICULTURE PA 48 57.8 AC
W-D PA 47A 3.3 AC
W-D PA 47B 6.8 AC
W-D PA 47C 2.1 AC
RAMONA EXPRESSWAY
GARDEN
W-D PA 45C 10.8 AC
OS-R PA 29 13.8 AC
PA-1 HDR 37.7 AC
PA-2 HDR 9.1 AC
OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
PA-3 HDR 29.2 AC
MU PA 16 2.6 AC
TOWN CENTER
PA-17 MU 23.3 AC
PA-20 MU 103.6 AC
W-D PA 45D 1.9 AC
PA -18 MU 14.6 AC
PF-S- K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
PA-20 MU
OS-R PA 31 9.0 AC
PA-19 MU 19.5 AC
PF PA 42 35.5 AC
W-D PA 51 7.3 AC
W-D PA 45E 5 AC
PA-21 MU 63.4 AC
PA-22 MU 50.1 AC
W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
OS-R PA 34 4.0 AC
MU PA 23 5.0 AC
W-A PA 46A 28.4 AC
ENCLAVE
OS-R PA 32 5.1 AC
W-A PA 46C 29 AC
PA-15 MHDR
OS-CH PA 50G 13.3 A.C
W-A PA 46D 9.1 AC
PA-15 MHDR 95.4 AC
PF PA 43 11.8 AC
OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MOUNTAINS 900.4
PF PA 44A 1.9 AC
PF PA 44B 0.5 AC
PARKS
OS-R PA 39 4.0 AC
PA-4 HDR 70.8 AC
OS-R PA 38 3.0 AC
PA-8 HDR 60.3 AC
OS-R PA 52 10.5 AC
PF-S K-8 SCHOOL & JOINT-USE PARK PA 27 20.0 AC
FOOTHILL
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
PA-5 HDR
PA-5 HDR 63.7 AC
OS-R PA 40 5.1 AC
PA-6 MHDR 42.6 AC
OS-R PA37 4.0 AC
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
OS-R PA 36 5.0 AC
PINNACLE
PA-12 HDR 33.9 AC
PA-13 MDR 100.3 AC
PA-9 MHDR 31.2 AC
PA-11 HDR 29.6 AC
OS-R PA 35 4.0 AC
OS-CH PA 50E 49.6 AC
PA-10 MHDR 43.5 AC

3. Parks Village

The Parks Village lies south of the Town Center Village and the MWD aqueduct property and includes approximately 228 gross acres and will allow for 1,945 residential dwelling units. The Parks Village will include a proposed K–8 school and 5-acre joint-use park, mixed-use development, and four additional parks. **Section C.3** describes the Parks Village in detail, with specifics for each planning area within the village.

4. Garden Village

The Garden Village is located south of the River Bend Village and includes approximately 118 gross acres and a target of 705 residential dwelling units. In addition to residential, the Garden Village includes mixed-use development, the existing Nutrilite Park, Mystic Sports Field, and drainage features. **Section C.4** describes the Garden Village in detail, with specifics for each planning area within the village.

5. Foothill Village

The Foothill Village includes approximately 252 gross acres, and a target of 1,040 dwelling units. The Foothill Village also provides for a Joint K-8 and High School with a 5-acre joint use park, a multi-purpose trail buffering the existing community from THE VILLAGE OF LAKEVIEW Community, several additional parks, and a conservation area. Proposed residential properties bordering existing rural communities will comply with existing Lakeview/Nuevo Design Guidelines in regards to screening and landscaping. **Section C.5** describes the Foothill Village in detail, with specifics for each planning area within the village.

6. Enclave Village

The Enclave Village provides for the development of 132 gross acres of development including Medium High residential with a target of 775 dwelling units. There are two parks proposed, and the MWD property traverses through the Village. **Section C.6** describes the Enclave Village in detail, with specifics for each planning area within the village.

7. Pinnacle Village

The Pinnacle Village includes approximately 297 gross acres which includes a fuel modification area, and a target of 1,545 dwelling units. Residential densities proposed in the Pinnacle Village range from medium to high. The village is nestled in a corner adjacent to the Lakeview Mountains. The Pinnacle Village

also includes open space. **Section C.7** describes the Pinnacle Village in detail, with specifics for each planning area within the village.

8. Lakeview Mountains

Open space, the water tank sites, MWD aqueduct and a conservation area just south of the Enclave Village account for approximately 937 gross acres. The Lakeview Mountains border San Jacinto's city limit to the east. **Section C.8** describes the Lakeview Mountains in detail, with specifics for each planning area within the village.

c. Project-Wide Land Uses

The Land Use Plan for THE VILLAGES OF LAKEVIEW is illustrated in **Exhibit B.1.5 – Conceptual Land Use Diagram**. **Table B.1.2 – Detailed Land Use Summary By Planning Area**, provides a summary of all proposed land uses, including acreages, density ranges, and the target number of dwelling units and commercial square-footage for each planning area.

At Project build-out, this Specific Plan will supplement the existing community by adding to the diversity of lifestyles. Steps are being taken to protect the existing rural atmosphere for the existing communities, including a landscaped buffer between the existing community and proposed development, community trails for the existing equestrian neighborhood, public parks, and landscaped gates.

Additionally, the Project will help meet regional housing needs, provide a wide range of recreational opportunities and trails, mixed commercial/retail/office employment uses, civic facilities, a high school and joint K-8 school, and two K–8 school sites and joint-use parks.

The proposed land uses within THE VILLAGES OF LAKEVIEW are as follows:

1. Residential

Residential densities range from 2 dwelling units per acre to 14 dwelling units per acre. Below are the three density ranges currently anticipated within the Specific Plan:

a. Medium Density Residential (2–5 du/ac)

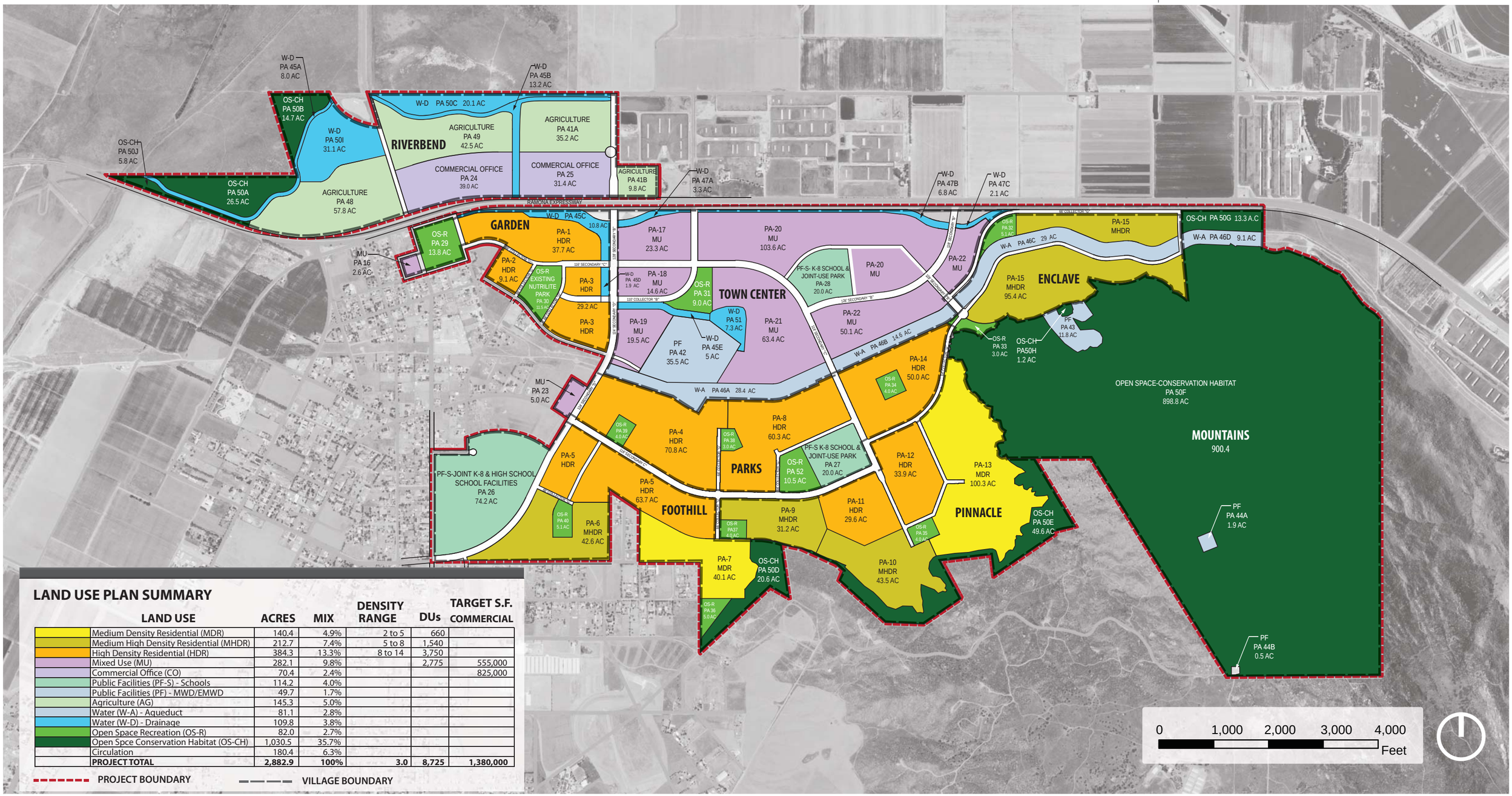
Product types would typically consist of conventional and alley- loaded single-family detached homes and single-family homes with tandem garages.

b. Medium High Density Residential (5–8 du/ac)

Product types would typically consist of conventional and alley-loaded single-family detached homes, z-lot products, and single-family homes with tandem garages.

c. High Density Residential (8–14 du/ac)

Product types would typically consist of detached single-family court and cluster products, as shown in the Design Guidelines.



LAND USE PLAN SUMMARY

LAND USE	ACRES	MIX	DENSITY RANGE	DUs	TARGET S.F. COMMERCIAL
Medium Density Residential (MDR)	140.4	4.9%	2 to 5	660	
Medium High Density Residential (MHDR)	212.7	7.4%	5 to 8	1,540	
High Density Residential (HDR)	384.3	13.3%	8 to 14	3,750	
Mixed Use (MU)	282.1	9.8%		2,775	555,000
Commercial Office (CO)	70.4	2.4%			825,000
Public Facilities (PF-S) - Schools	114.2	4.0%			
Public Facilities (PF) - MWD/EMWD	49.7	1.7%			
Agriculture (AG)	145.3	5.0%			
Water (W-A) - Aqueduct	81.1	2.8%			
Water (W-D) - Drainage	109.8	3.8%			
Open Space Recreation (OS-R)	82.0	2.7%			
Open Spce Conservation Habitat (OS-CH)	1,030.5	35.7%			
Circulation	180.4	6.3%			
PROJECT TOTAL	**2,882.9**	**100%**	**3.0**	**8,725**	**1,380,000**

PROJECT BOUNDARY
VILLAGE BOUNDARY

Table B.1.2, Detailed Land Use Summary by Planning Area

PA #	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
River Bend Village								
24	River Bend	Commercial Office	CO	-	-	39	-	475,000
25	River Bend	Commercial Office	CO	-	-	31	-	350,000
41A	River Bend	Agriculture	AG	-	-	35	-	-
41B	River Bend	Agriculture	AG	-	-	10	-	-
45A	River Bend	Water - Drainage	W-D	-	-	8	-	-
45B	River Bend	Water - Drainage	W-D	-	-	13	-	-
48	River Bend	Agriculture	AG	-	-	58	-	-
49	River Bend	Agriculture	AG	-	-	43	-	-
50A	River Bend	Open Space - Conservation Habitat	OS-CH	-	-	27	-	-
50B	River Bend	Open Space - Conservation Habitat	OS-CH	-	-	15	-	-
50C	River Bend	Water - Drainage	W-D	-	-	20	-	-
50I	River Bend	Water - Drainage	W-D	-	-	31	-	-
50J	River Bend	Open Space - Conservation Habitat	OS-CH	-	-	6	-	-
Town Center Village								
17	Town Center	Mixed Use	MU	8	40	23	-	200,000
18	Town Center	Mixed Use	MU	8	40	15	200	-
19	Town Center	Mixed Use	MU	8	40	20	215	-
20	Town Center	Mixed Use	MU	8	40	104	900	355,000
21	Town Center	Mixed Use	MU	8	40	63	800	-
22	Town Center	Mixed Use	MU	8	40	50	600	-
28	Town Center	Public Facility - K-8 school and joint use park	PF-S	-	-	20	-	-
31	Town Center	Open Space - Recreation	OS-R	-	-	9	-	-
45E	Town Center	Water - Drainage	W-D	-	-	5	-	-
47A	Town Center	Water - Drainage	W-D	-	-	3	-	-
47B	Town Center	Water - Drainage	W-D	-	-	7	-	-
47C	Town Center	Water - Drainage	W-D	-	-	2	-	-
51	Town Center	Water - Drainage	W-D	-	-	7	-	-

PA #	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
Parks Village								
4	Parks	High Density Residential	HDR	8	14	71	700	-
8	Parks	High Density Residential	HDR	8	14	60	650	-
14	Parks	High Density Residential	HDR	8	14	50	555	-
23	Parks	Mixed Use	MU	8	40	5	40	-
27	Parks	Public Facility - K-8 school and joint use park	PF-S	-	-	20	-	-
34	Parks	Open Space - Recreation	OS-R	-	-	4	-	-
38	Parks	Open Space - Recreation	OS-R	-	-	3	-	-
39	Parks	Open Space - Recreation	OS-R	-	-	4	-	-
52	Parks	Open Space - Recreation	OS-R	-	-	11	-	-
Garden Village								
1	Garden	High Density Residential	HDR	8	14	38	340	-
2	Garden	High Density Residential	HDR	8	14	9	90	-
3	Garden	High Density Residential	HDR	8	14	29	255	-
16	Garden	Mixed Use	MU	8	40	3	20	-
29	Garden	Open Space - Recreation	OS-R	-	-	14	-	-
30	Garden	Open Space - Recreation	OS-R	-	-	12	-	-
45C	Garden	Water - Drainage	W-D	-	-	11	-	-
45D	Garden	Water - Drainage	W-D	-	-	2	-	-

PA #	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
Foothill Village								
5	Foothill	High Density Residential	HDR	8	14	64	580	-
6	Foothill	Medium High Density Residential	MHDR	5	8	43	285	-
7	Foothill	Medium Density Residential	MDR	2	5	40	175	-
26	Foothill	Public Facility- Joint K-8 and High School	PF-S	-	-	74	-	-
36	Foothill	Open Space - Recreation	OS-R	-	-	5	-	-
40	Foothill	Open Space - Recreation	OS-R	-	-	5	-	-
50D	Foothill	Open Space - Conservation Habitat	OS-CH	-	-	21	-	-
Enclave Village								
15	Enclave	Medium High Density Residential	MHDR	5	8	95	775	-
32	Enclave	Open Space - Recreation	OS-R	-	-	5	-	-
33	Enclave	Open Space - Recreation	OS-R	-	-	3	-	-
Pinnacle Village								
9	Pinnacle	Medium High Density Residential	MHDR	5	8	31	195	-
10	Pinnacle	Medium High Density Residential	MHDR	5	8	44	285	-
11	Pinnacle	High Density Residential	HDR	8	14	30	265	-
12	Pinnacle	High Density Residential	HDR	8	14	34	315	-
13	Pinnacle	Medium Density Residential	MDR	2	5	100	485	-
35	Pinnacle	Open Space - Recreation	OS-R	-	-	4	-	-
37	Pinnacle	Open Space - Recreation	OS-R	-	-	4	-	-
50E	Pinnacle	Open Space -	OS-CH	-	-	50	-	-

PA #	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
		Conservation Habitat						
Lakeview Mountains								
43	Lakeview Mountains	Public Facility	PF	-	-	12	-	-
44A	Lakeview Mountains	Public Facility	PF	-	-	2	-	-
44B	Lakeview Mountains	Public Facility	PF	-	-	1	-	-
50F	Lakeview Mountains	Open Space - Conservation Habitat	OS-CH	-	-	899	-	-
50G	Lakeview Mountains	Open Space - Conservation Habitat	OS-CH	-	-	13	-	-
50H	Lakeview Mountains	Open Space - Conservation Habitat	OS-CH	-	-	1	-	-
Other - MWD Property								
42	Other	Public Facility	PF	-	-	36	-	-
46A	Other	Water - Aqueduct	W-A	-	-	28	-	-
46B	Other	Water - Aqueduct	W-A	-	-	15	-	-
46C	Other	Water - Aqueduct	W-A	-	-	29	-	-
46D	Other	Water - Aqueduct	W-A	-	-	9	-	-
ROW/CIRCULATION						175	-	-
						2,883	**8,725**	**1,380,000**

These land uses are illustrated on **Exhibit B.1.5 – Conceptual Land Use Diagram**. Residential uses include a total of 15 Planning Areas within five (5) of the eight (8) villages. These varying densities meet a key project goal, which is to provide a wide range of housing styles, sizes, and lifestyles. Residential planning areas account for approximately 737gross acres and a target of 5,950 dwelling units.

2. Mixed-Use Development (8-40 du/ac and 555,000 square-feet of commercial)

Modeled after the Riverside County General Plan, the Mixed-Use land use designation allows for development including a combination of retail/commercial, office, and/or residential uses for THE VILLAGES OF LAKEVIEW residents, existing community residents, and visitors. These uses may be combined with civic, public, and recreational uses.

The Mixed-Use land use designation stands in contrast to traditional planning and zoning which separates residential, commercial, commercial-office, and public/institutional uses into distinct areas or zones. By integrating uses within one mixed-use area, a high level of activity is generated. Housing with retail, work places, medical and civic facilities, and recreational uses encourage pedestrian mobility and makes public spaces more lively and accessible to nearby residents, all of which reinforce smart growth principles. Because the developer needs to be able to respond to the marketplace, development within mixed use planning areas can be horizontal or vertical mixed-use at the developer's discretion, and will be determined at the Village Refinement Process, as described in **Section B.11, Specific Plan Administration**.

There are 8 mixed-use planning areas within the Specific Plan including Planning Areas 16, 17, 18, 19, 20, 21, 22, and 23. These areas total approximately 282 gross acres with a dwelling unit rage of 8-40 dwelling units an acre with a target of 2,775 dwelling units, and 555,000 square-feet of non-residential uses such as commercial/retail/office space. Allowable uses within the Mixed-Use designation are described in detail within the **Specific Plan Zoning Ordinance, Appendix D**. The allowable uses are modeled after the Riverside County's Scenic Highway Commercial zoning ordinance.

3. Commercial Office

Planning Areas 24 and 25 are designated as commercial/office uses. The areas account for approximately 70 acres with a target of 825,000 square-feet. This is the only proposed development planned north of Ramona Expressway. The **Zoning Ordinance, Appendix D**, describe the allowable uses and development standards for these planning areas.

4. Public Facilities

Planning Areas 26, 27, 28, 43, 44A, 44B, 45A, 45B, 45C, 45D, 45E, 47A, 47B, 47C, 50C, 50I, and 51 are made up of various public facilities within the Specific Plan. These public facilities include the Eastern Municipal Water District (EMWD) Facilities, joint use schools, drainage channels and basins, and water tank facilities. In addition, three K-8 schools will be provided within Garden Village, Parks Village and Town Center Village. Final approval of each of the school sites rests with the state of California Department of Education. It shall be the responsibility of the School District to seek such approval and to comply with all applicable regulations and procedures. Within two years after approval of the first tentative map for each village in which a school is located, the school district must either (i) execute a binding, irrevocable agreement to purchase land sufficient for the designated school site in the identified Planning Area, on terms reasonably acceptable to the developer, or (ii) confirm in writing to the developer that it will not utilize the potential school site within the village for development of a school and joint-use park. If written notice is received that the school district does not intend to utilize the school site for development for a school and joint-use park, or in the event the developer does not receive from the school district written confirmation after the two-year period has expired, the Specific Plan land use of the potential school site will become residential, consistent with the land use designation adjacent to the school site described in detail within the Specific Plan Zoning Ordinance. Development of any such residential area may require additional analysis under the California Environmental Quality Act.

5. MWD Aqueduct and Basin Property

Planning Areas 42, 46A, 46B, 46C, and 46D make up the existing MWD aqueduct property and basin. This public facility accounts for approximately 117 gross acres. A multi-purpose community trail is proposed along the aqueduct property. MWD properties are not being proposed for development by the Specific Plan, but are being rezoned by the County to watercourse area, and any proposed trail or landscaping is dependent on approval from MWD.

6. Agricultural Uses

Planning Areas 41A, 41B, 48, and 49 are designated as agriculture. These are existing agriculture uses that will be kept as-is. The four planning areas account for approximately 145 acres. The EIR prepared for THE VILLAGES OF LAKEVIEW

Specific Plan contains a detailed analysis of the agriculture uses and includes specific mitigation measures to protect these uses.

7. Parks

Parks will provide a unifying "green" amenity for the community. According to the Conceptual Land Use Diagram, a total of fourteen Planning Areas have parks planned in the Specific Plan totaling approximately 82 gross acres. Parks are included in Planning Areas 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, and 52. In addition, Planning Areas 26, 27, and 28 each have a 5-acre joint use park.

There are additional proposed small neighborhood parks throughout the Project that are not shown on the Land Use Diagram, but will be shown through the Village Refinement Plan process, as described in **Section B.11, Specific Plan Administration**.

These parks will offer residents of the Project and residents of surrounding communities a variety of passive and active recreational opportunities. Water quality features, detention basins, and public facilities are proposed in some of these Planning Areas. A more detailed description of park types is included in **Section B.8. Open Space, Conservation, and Recreation Plan.**

8. Open Space - Conservation

Open space/conservation in the Specific Plan amounts to approximately 1,031 gross acres in Planning Areas 50A, 50B, 50D, 50E, 50F, 50G, 50H, and 50J. Proposed uses of these Planning Areas include conservation areas and trails. A more detailed description of planned open space is included in **Section B.8. Open Space, Conservation, and Recreation Plan.**

d. Land Use Development Standards

To ensure the orderly development of land uses proposed for THE VILLAGES OF LAKEVIEW, Project-Wide Development Standards have been prepared which apply throughout the Specific Plan. These Project-wide standards are:

1. The total Specific Plan area shall be developed with a maximum of 8,725 dwelling units on approximately 2,883 gross acres, as illustrated on **Exhibit B.1.5, Conceptual Land Use Diagram**. General uses permitted will include residential, mixed-use development, commercial office, agriculture, public facilities, parks, and recreational uses, as described in detail in the **Zoning Ordinance, Appendix D.**

2. Residential planning areas that contain a total number of dwelling units above or below the planning areas' identified dwelling unit target shall comply with the procedures set forth in the **Specific Plan Administration section (B.11)**, provided that the total number of dwelling units within the Specific Plan does not exceed 8,725 dwelling units.

3. Uses and development standards will be in accordance with Riverside County Ordinance No. 348 as amended by the Specific Plan Zoning Ordinance and further defined by the Specific Plan Goals and Objectives, the Specific Plan Design Guidelines, and future detailed development proposals including subdivisions, plot plans, and conditional use permits.

4. Standards relating to signage, parking, lighting, gates, landscaping, and other related design elements will conform to the Village Refinement Plan for each Village, described in **Section B.11, Specific Plan Administration**, and the County of Riverside Zoning Code Ordinance No. 348, unless amended by the guidelines and standards within this Specific Plan.

5. Development shall conform to the adopted Specific Plan as filed in the office of the Riverside County Planning Department, unless otherwise amended. Aspects of development not addressed in the Specific Plan shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance No.'s 348 and 460. This Specific Plan shall conform to all applicable state laws.

6. Prior to the issuance of building permits, improvement plans for developed common open space areas, including landscaping and irrigation plans, shall be submitted to the Planning Department for approval through the Village Refinement Plan process, as described in detail in **Section B.11, Specific Plan Administration.** Landscaping and irrigation plans shall be certified by a landscape architect. These plans shall include, but are not limited to:

    - Final Grading Plans
    - Irrigation Plans certified by a landscape architect
    - Landscape Plans certified by a landscape architect
    - Fence Treatment Plans
    - Special Treatment/Buffer Area Treatment Plans

7. Common areas identified in the Specific Plan shall be owned and maintained as follows:

   a. A permanent Homeowners' Association shall be established, to assume ownership and maintenance responsibility for all private common recreation, open space, private circulation systems, and landscaped areas. The organization will be private.

   b. The Homeowners' Association shall be established prior to or concurrent with recordation of the first land division map or issuance of any building permit for any approved development.

   c. Unless otherwise mentioned in these standards, common areas shall be conveyed to the Homeowners' Association as implementing development is approved or any subdivision is recorded.

   d. The ownership and maintenance responsibility shall be specifically identified for each open space and/or recreation lot at the time implementing development applications, such as subdivisions, plot plans and/or use permits, are filed, which will either be the Homeowners' Association for private space or the County Service Area (CSA) for public space.

8. Parcels and/or lots created pursuant to this Specific Plan and any subsequent parcel or tract maps shall be in conformance with the development standards of the Specific Plan Zoning Ordinance, all other applicable County standards, and the Subdivision Map Act.

9. Designation and/or dedication of park land, necessary to satisfy both county and state requirements, is based on the final number of dwelling units built within THE VILLAGES OF LAKEVIEW Specific Plan, and shall be decided upon in the Village Refinement Plan process, described in **Section B.11, Specific Plan Administration.**

10. For the security and safety of future residents, the applicant shall incorporate the following design concepts within each individual tract:

    a. Lighting of streets, walkways, and bikeways, as appropriate.

    b. Visibility of doors and windows from the street and between buildings, where practical.

    c. Entrances shall be visible from main streets or paseos.

The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:

a. Address displays which light automatically at night.

b. Installation of burglar alarms in all commercial and recreational buildings.

11. One or more product types may be developed within an individual planning area provided that the development is consistent with the Project's design guidelines and the Village Refinement Plan for that Village.

12. A land division filed for the purposes of phasing or financing shall not be considered an implementing development application, provided that, if the Maintenance Organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.

13. Each planning area shall comply with applicable Riverside County recycling requirements.

14. Construction of the Specific Plan, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, public facilities, and infrastructure is constructed to adequately service the dwelling units, or as needed for public health and safety in each stage of development and further provided that each phase of development conforms substantially with the intent and purpose of the **Public Facilities and Phasing Requirements Section (B.6)**.

15. Only the signage, landscape and buffer treatments contained in the Lakeview/Nuevo Design Guidelines will apply to the Specific Plan. The Lakeview/Nuevo Design Guidelines are applicable to the southern boundary of the Pinnacle, Foothill and Garden Villages, and the western boundary of the Foothill, Parks, and Garden Villages.

16. Developers within the Project are urged to incorporate and make available the latest technological advances, such as fiber optics and expanded bandwidth and high-speed internet connections. Developers are also urged to incorporate energy-efficient building techniques to reduce long-term costs to the residents and business owners.

17. Several temporary uses are allowed, with proper permits, within the planning areas when project development is still not complete, and the land is vacant waiting on future development. The uses include the following:

    a. Real estate sales offices for the sale of new homes

    b. Model home sales complexes

    c. Construction offices or trailers associated with the new construction or significant remodeling of homes or businesses

    d. Fruit stands and coffee kiosks

    e. Special community events

    f. Temporary community-wide information centers

    g. Temporary interpretive uses and/or demonstration gardens

    h. Other similar uses determined by the Planning Director subject to conditions such as, but not limited to, location, appearance or temporary facilities, access, parking, signage, provision for sanitary services, duration of use, and provisions to ensure removal of facilities.

2. Circulation Plan

The Circulation Plan for the Specific Plan provides improvement standards intended to promote the efficient and safe movement of people within the Specific Plan area. In addition, it establishes policies which will ensure that all components of the transportation system meet the future transportation needs for the County. The Circulation Plan also establishes Circulation System Development Standards which shall be used by the County as the standards and criteria by which circulation system development in the Specific Plan area will proceed.

The Circulation Plan addresses several aspects of circulation throughout the Specific Plan area, including:

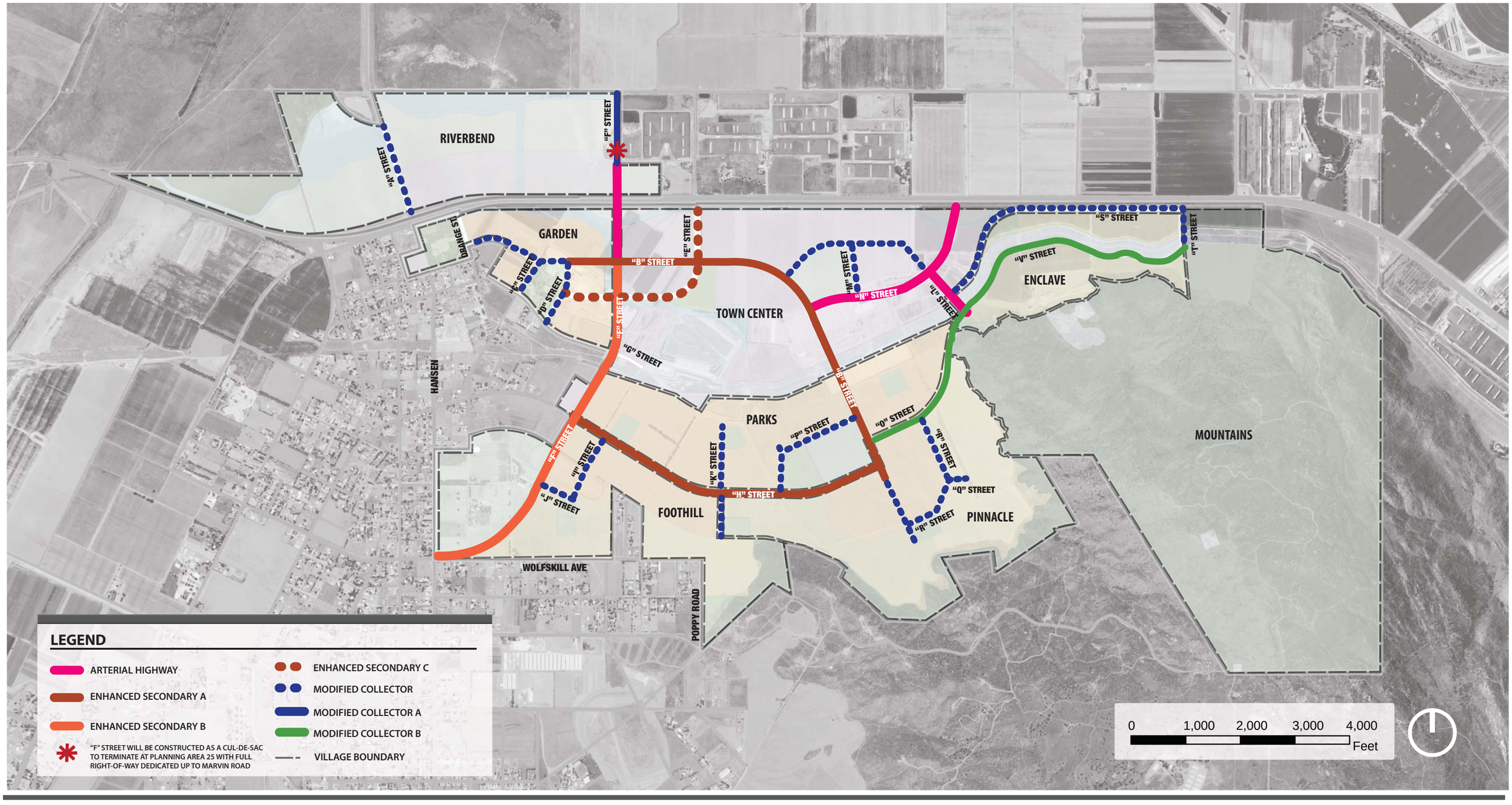
a. Vehicular circulation
b. Bicycle facilities
c. Pedestrian circulation
d. Equestrian trails

The roadway concept for the Specific Plan is illustrated in **Exhibit B.2.6A – Vehicular Community Circulation Plan.**

a. Vehicular Circulation Plan Description

Regional east-west access to the Project area will be provided via the Ramona Expressway. The Ramona Expressway is a transportation facility adjacent to the Project area that provides direct and indirect regional access to I-215, I-15, SR-60, and I-10. Regional north-south access to the Project area will be provided via Reservoir Avenue.

The Community and Environmental Transportation Acceptability Process (CETAP) was established to evaluate the need and the opportunities for the development of new or expanded transportation corridors in western Riverside County to accommodate increased growth and to preserve quality of life. CETAP has identified three priority corridors for the movement of people and goods: Banning/Beaumont to Temecula, Hemet to Corona/Lake Elsinore, and Moreno Valley to San Bernardino County. The Hemet to Corona/Lake Elsinore CETAP Corridor passes through the Project area along Ramona Expressway. This corridor could accommodate a number of transportation options, including vehicular traffic and high occupancy vehicle lanes. The Ramona Expressway is designated by the Riverside County General Plan Circulation Element as an eight-lane expressway with an ultimate 220-foot right-of-way.


RIVERBEND
"M" STREET
"F" STREET
ORANGE ST
GARDEN
"E" STREET
"B" STREET
"A" STREET
"D" STREET
"C" STREET
TOWN CENTER
"N" STREET
"L" STREET
"S" STREET
"T" STREET
"V" STREET
ENCLAVE
HANSEN
"G" STREET
PARKS
"P" STREET
"O" STREET
MOUNTAINS
"K" STREET
"H" STREET
"R" STREET
"Q" STREET
"I" STREET
"J" STREET
FOOTHILL
PINNACLE
WOLFSKILL AVE
POPPY ROAD
LEGEND
ARTERIAL HIGHWAY
ENHANCED SECONDARY A
ENHANCED SECONDARY B
"F" STREET WILL BE CONSTRUCTED AS A CUL-DE-SAC TO TERMINATE AT PLANNING AREA 25 WITH FULL RIGHT-OF-WAY DEDICATED UP TO MARVIN ROAD
ENHANCED SECONDARY C
MODIFIED COLLECTOR
MODIFIED COLLECTOR A
MODIFIED COLLECTOR B
VILLAGE BOUNDARY
0
1,000
2,000
3,000
4,000
Feet

Mid County Parkway is a possible future east-west limited access route that will connect the San Jacinto area with the Perris area. The study for the Mid County Parkway is being conducted by the Riverside County Transportation Commission. Adjacent to the Project, the proposed alignment for the Mid County Parkway matches the Ramona Expressway alignment and also has an ultimate 220-foot right-of-way.

Reservoir Avenue is a north-south road located near the west boundary of the Project area. The Riverside County General Plan Circulation Element identifies Reservoir Avenue south of the Ramona Expressway as an Urban Arterial Highway. Reservoir Avenue provides direct access to Ramona Expressway to the north and indirect access to the I-215 to the south and west.

"F" Street, "N" Street/Park Center Boulevard, "B" Street, and "H" Street are primary roads proposed within the Specific Plan south of the Ramona Expressway. "F" Street and "B" Street connect residential and mixed-use planning areas to each other. Town Center Boulevard/"F" Street also connects directly to the Ramona Expressway and "B" Street connects to the Ramona Expressway via "N" Street/Park Center Boulevard. These roadways are the major circulatory roads.

"F" Street will be developed as an Arterial Highway from the southern right-of-way of the Ramona Expressway to "B" Street, and as an Enhanced Secondary B from "B" Street to the intersection of the existing Hansen Avenue. "F" Street will consist of two through-lanes in each direction and left turn and right turn lanes to accommodate turning movements. North of the Ramona Expressway, "F" Street, will be developed as an Arterial Highway from Ramona Expressway to the northern boundary of Planning Area 41B and dedicated as a Modified Collector A from Planning Area 41B to the northern boundary of the site. "F" Street will be constructed as a cul de sac terminating at Planning Area 25 with full right-of-way dedicated north up to Marvin Road.

"B" Street, from "D" Street to just south of "H" Street, and "H" Street will be developed as an Enhanced Secondary A with two through-lanes in each direction and left and right turning lanes at the intersections.

"E" Street will be developed as an Enhanced Secondary C with two through lanes in each direction. "E" Street does not connect to the Ramona Expressway but will connect mixed use planning areas to each other via "F" Street.

Exhibit B.2.6A – Vehicular Community Circulation Plan, illustrates roadway classifications designated by General Plan Amendment No. 721 and establishes the general alignments and right-of-way sections for the Specific Plan to safely meet the transportation needs of its residents. The circulation system for this Specific Plan will

provide for the efficient movement of people and goods, and vehicular, pedestrian, equestrian, and bicycle movement. The system is compatible with the natural features of the environment and the existing roadway system in the vicinity of the Project area, yet serves the needs of the proposed land uses.

Exhibit B.2.6B – Proposed Roadway Classifications, establishes minimum street section requirements for the Specific Plan based on the average daily traffic (ADT) estimated by the Traffic Impact Study Report for the Specific Plan and the Link Volume Capacities/Level of Service for Riverside County Roadways. **Exhibit B.2.6A – Vehicular Community Circulation Plan**, and **Exhibits B.2.7A–7E – Typical Street Cross Sections**, meet or exceed the minimum requirement set by the County of Riverside as shown on **Exhibit B.2.6B – Proposed Roadway Classifications**.

Exhibit B.2.6C – General Plan Roadway Classifications, illustrates the Riverside County led General Plan Amendment roadway classifications, outside the Project boundaries.

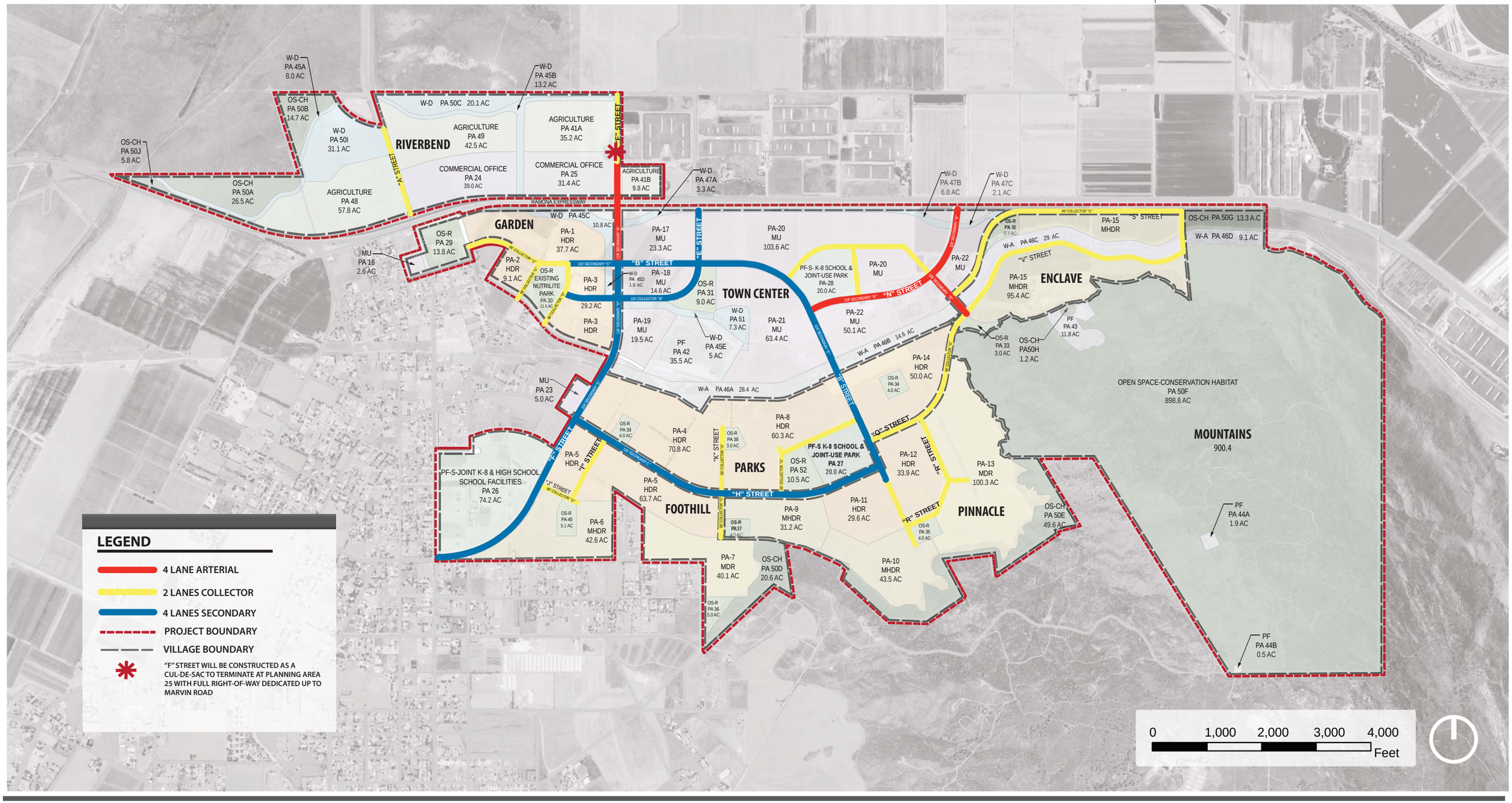
Exhibits B.2.7A–7D – Typical Street Cross Sections, illustrate cross sections for each roadway proposed in the Circulation Plan. These cross sections propose deviations from certain County roadway standards. **Table B.2.3 – Street Section Comparisons Between the County of Riverside and the Specific Plan,** delineates these differences. Deviations from County standards were added in the design of the Specific Plan to improve safety, and enhance the quality of life.

Traffic Calming Measures, such as chokers, traffic circles, and roundabouts are planned to be utilized throughout the Specific Plan. Refer to **Exhibits B.2.8A–8C – Traffic Calming Measures** for choker details. Roundabout standards and details are not included and will be determined prior to approval of applicable tentative maps.

To provide for safe and efficient traffic movement, **Exhibits B.2.9A – Intersection Site Distance** and **Exhibit B.2.9B – Potential Future Signalized Intersections**, show how intersections may be developed within the Project.

The following is a description of the general circulation system proposed for each of the seven (7) villages. All internal roads may be privately owned and maintained by a Homeowners' Association. Street sections will be designed consistent with the Specific Plan, or per Ordinance No. 461, or as approved by the Transportation Department consistent with the Specific Plan development standards.

River Bend will have access to the Ramona Expressway through "A" Street (see **Exhibit B.2.6A** for location of lettered streets). "F" Street from the Ramona Expressway north to the Specific Plan boundary will be developed as an Arterial Highway for the bottom quarter portion of the roadway connecting with the Ramona Expressway, and dedicated as a Modified Collector A for the remaining portion of the roadway to the Specific Plan boundary with a cul de sac terminating at Planning Area 25.


W-D PA 45A 8.0 AC
OS-CH PA 50B 14.7 AC
W-D PA 50C 20.1 AC
W-D PA 45B 13.2 AC
OS-CH PA 50J 5.8 AC
W-D PA 50I 31.1 AC
RIVERBEND
AGRICULTURE PA 49 42.5 AC
AGRICULTURE PA 41A 35.2 AC
"F" STREET
"A" STREET
COMMERCIAL OFFICE PA 24 39.0 AC
COMMERCIAL OFFICE PA 25 31.4 AC
AGRICULTURE PA 41B 9.8 AC
W-D PA 47A 3.3 AC
OS-CH PA 50A 26.5 AC
AGRICULTURE PA 48 57.8 AC
RAMONA EXPRESSWAY
W-D PA 47B 6.8 AC
W-D PA 47C 2.1 AC
W-D PA 45C 10.8 AC
GARDEN
PA-1 HDR 37.7 AC
OS-R PA 29 13.8 AC
MU PA 16 2.6 AC
PA-2 HDR 9.1 AC
OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
PA-3 HDR 29.2 AC
PA-3 HDR
"B" STREET
W-D PA 45D 1.9 AC
PA-18 MU 14.6 AC
PA-17 MU 23.3 AC
"E" STREET
PA-20 MU 103.6 AC
PF-S- K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
PA-20 MU
PA-22 MU
"N" STREET
OS-R PA 31 9.0 AC
TOWN CENTER
PA-19 MU 19.5 AC
W-D PA 51 7.3 AC
PA-21 MU 63.4 AC
PF PA 42 35.5 AC
W-D PA 45E 5 AC
PA-22 MU 50.1 AC
W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
OS-R PA 34 4.0 AC
MU PA 23 5.0 AC
W-A PA 46A 28.4 AC
"P" STREET
"J" STREET
PA-4 HDR 70.8 AC
"K" STREET
OS-R PA 38 3.0 AC
PA-8 HDR 60.3 AC
"Q" STREET
PARKS
OS-R PA 52 10.5 AC
PF-S K-8 SCHOOL & JOINT-USE PARK PA 27 20.0 AC
"R" STREET
PA-12 HDR 33.9 AC
PA-13 MDR 100.3 AC
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
PA-5 HDR
PA-5 HDR 63.7 AC
"H" STREET
FOOTHILL
PA-11 HDR 29.6 AC
PA-9 MHDR 31.2 AC
PINNACLE
OS-CH PA 50E 49.6 AC
PA-6 MHDR 42.6 AC
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
PA-10 MHDR 43.5 AC
OS-R PA 36 5.0 AC
"S" STREET
OS-CH PA 50G 13.3 A.C
W-A PA 46D 9.1 AC
"V" STREET
PA-15 MHDR
PA-15 MHDR 95.4 AC
ENCLAVE
W-A PA 46C 29 AC
OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
PF PA 43 11.8 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MOUNTAINS 900.4
PF PA 44A 1.9 AC
PF PA 44B 0.5 AC
LEGEND
4 LANE ARTERIAL
2 LANES COLLECTOR
4 LANES SECONDARY
PROJECT BOUNDARY
VILLAGE BOUNDARY
"F" STREET WILL BE CONSTRUCTED AS A CUL-DE-SAC TO TERMINATE AT PLANNING AREA 25 WITH FULL RIGHT-OF-WAY DEDICATED UP TO MARVIN ROAD
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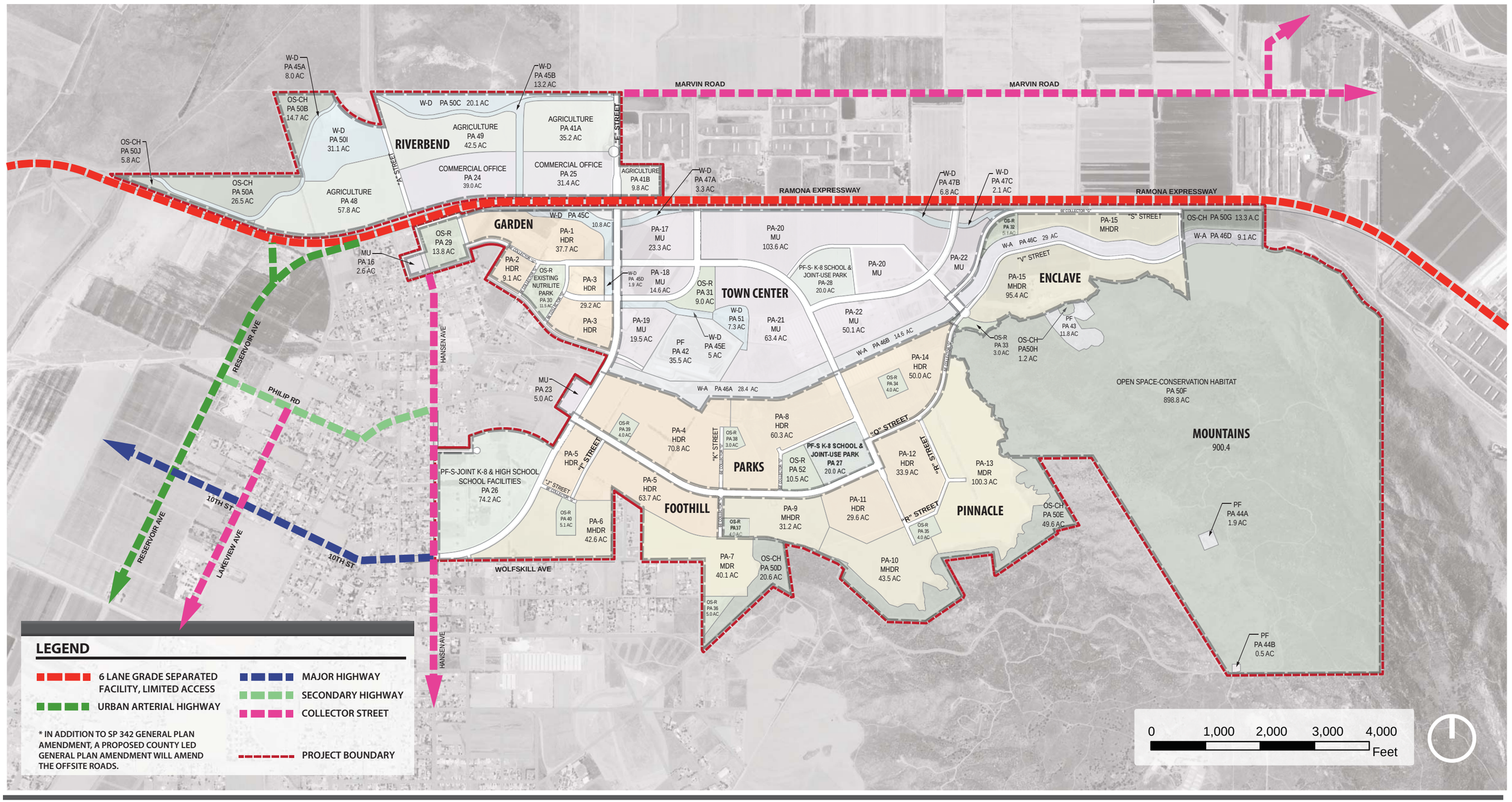
MARVIN ROAD
MARVIN ROAD
RAMONA EXPRESSWAY
RAMONA EXPRESSWAY
RIVERBEND
GARDEN
TOWN CENTER
ENCLAVE
FOOTHILL
PARKS
PINNACLE
MOUNTAINS
W-D PA 45A 8.0 AC
OS-CH PA 50B 14.7 AC
W-D PA 50I 31.1 AC
W-D PA 50C 20.1 AC
W-D PA 45B 13.2 AC
AGRICULTURE PA 49 42.5 AC
AGRICULTURE PA 41A 35.2 AC
COMMERCIAL OFFICE PA 24 39.0 AC
COMMERCIAL OFFICE PA 25 31.4 AC
AGRICULTURE PA 41B 9.8 AC
OS-CH PA 50J 5.8 AC
OS-CH PA 50A 26.5 AC
AGRICULTURE PA 48 57.8 AC
"A" STREET
"E" STREET
W-D PA 47A 3.3 AC
W-D PA 47B 6.8 AC
W-D PA 47C 2.1 AC
W-D PA 45C 10.8 AC
OS-R PA 29 13.8 AC
MU PA 16 2.6 AC
PA-1 HDR 37.7 AC
PA-2 HDR 9.1 AC
OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
PA-3 HDR 29.2 AC
PA-3 HDR
W-D PA 45D 1.9 AC
PA-18 MU 14.6 AC
PA-17 MU 23.3 AC
PA-20 MU 103.6 AC
OS-R PA 31 9.0 AC
PA-19 MU 19.5 AC
PF PA 42 35.5 AC
W-D PA 45E 5 AC
W-D PA 51 7.3 AC
PA-21 MU 63.4 AC
PF-S- K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
PA-20 MU
PA-22 MU
PA-22 MU 50.1 AC
W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
OS-R PA 34 4.0 AC
OS-R PA 32 5.1 AC
PA-15 MHDR
"S" STREET
OS-CH PA 50G 13.3 A.C
W-A PA 46C 29 AC
W-A PA 46D 9.1 AC
"V" STREET
PA-15 MHDR 95.4 AC
OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
PF PA 43 11.8 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MU PA 23 5.0 AC
W-A PA 46A 28.4 AC
OS-R PA 39 4.0 AC
PA-4 HDR 70.8 AC
OS-R PA 38 3.0 AC
"K" STREET
PA-8 HDR 60.3 AC
"O" STREET
PF-S K-8 SCHOOL & JOINT-USE PARK PA 27 20.0 AC
OS-R PA 52 10.5 AC
"R" STREET
PA-12 HDR 33.9 AC
PA-13 MDR 100.3 AC
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
"J" STREET
PA-5 HDR
PA-5 HDR 63.7 AC
OS-R PA 40 5.1 AC
PA-6 MHDR 42.6 AC
OS-R PA37 4.0 AC
PA-11 HDR 29.6 AC
PA-9 MHDR 31.2 AC
OS-CH PA 50E 49.6 AC
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
PA-10 MHDR 43.5 AC
OS-R PA 36 5.0 AC
PF PA 44A 1.9 AC
PF PA 44B 0.5 AC
WOLFSKILL AVE
HANSEN AVE
RESERVOIR AVE
PHILIP RD
10TH ST
LAKEVIEW AVE
LEGEND
6 LANE GRADE SEPARATED FACILITY, LIMITED ACCESS
URBAN ARTERIAL HIGHWAY
MAJOR HIGHWAY
SECONDARY HIGHWAY
COLLECTOR STREET
PROJECT BOUNDARY
* IN ADDITION TO SP 342 GENERAL PLAN AMENDMENT, A PROPOSED COUNTY LED GENERAL PLAN AMENDMENT WILL AMEND THE OFFSITE ROADS.
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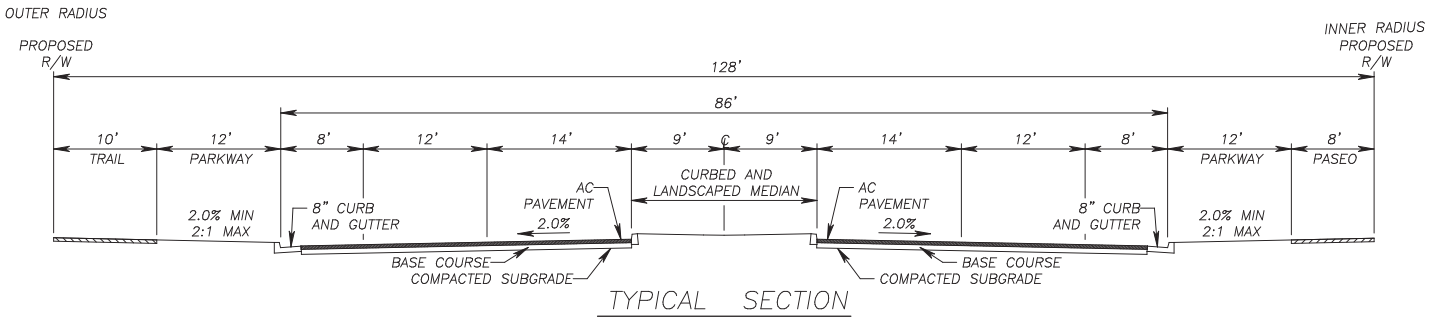
Feet



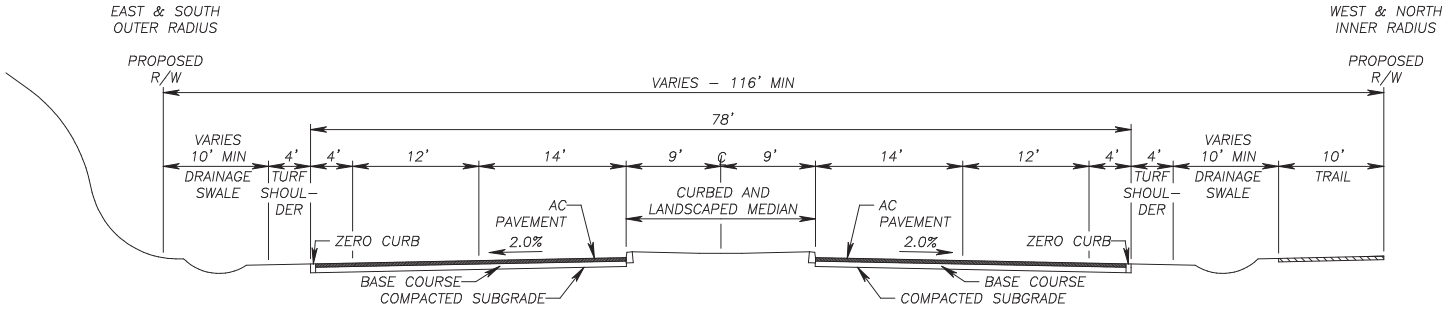
TYPICAL SECTION

ARTERIAL HIGHWAY

NTS

F STREET (FROM B STREET TO NORTHERN BOUNDARY OF PA 41B)
N STREET
L STREET (FROM N STREET TO O STREET)

NOTE:
MAXIMUM 2:1 SLOPE IN MEDIAN.



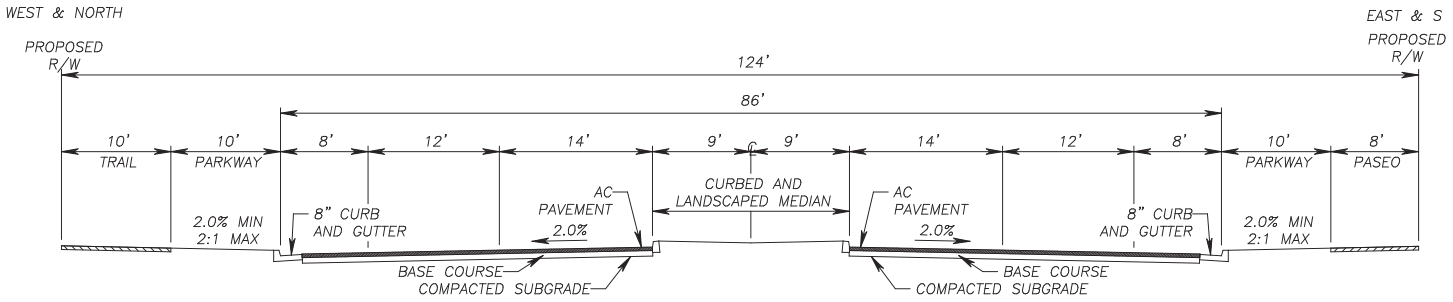
TYPICAL SECTION

ENHANCED SECONDARY A

NTS

H STREET
B STREET (FROM D STREET TO SOUTH OF H STREET)

NOTE:
MAXIMUM 2:1 SLOPE IN MEDIAN.



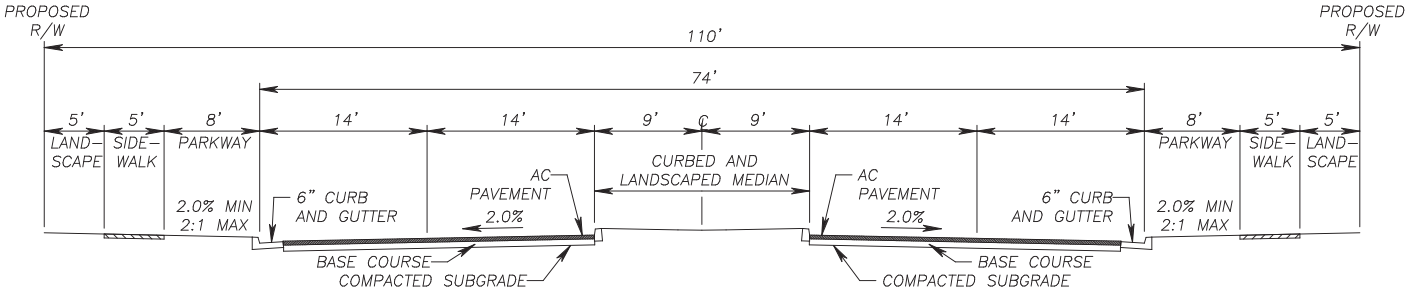
TYPICAL SECTION

ENHANCED SECONDARY B

NTS

"F" STREET (FROM WOLFSKILL AVENUE TO "B" STREET)

NOTE:
MAXIMUM 2:1 SLOPE IN MEDIAN



TYPICAL SECTION

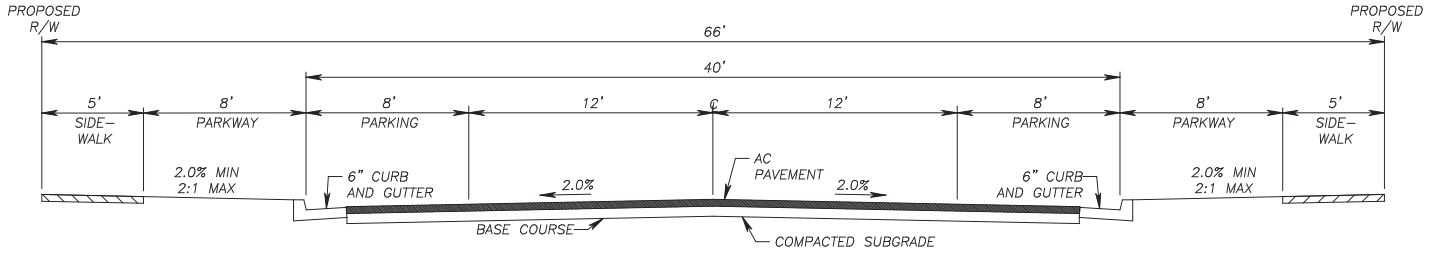
ENHANCED SECONDARY C

NTS

E STREET

(NO ON-STREET PARKING)

NOTES:
MAXIMUM 2:1 SLOPE IN MEDIAN.
CROSS SECTION IS SUBJECT TO CHANGE PENDING POTENTIAL FUTURE INTERCHANGE DESIGN.



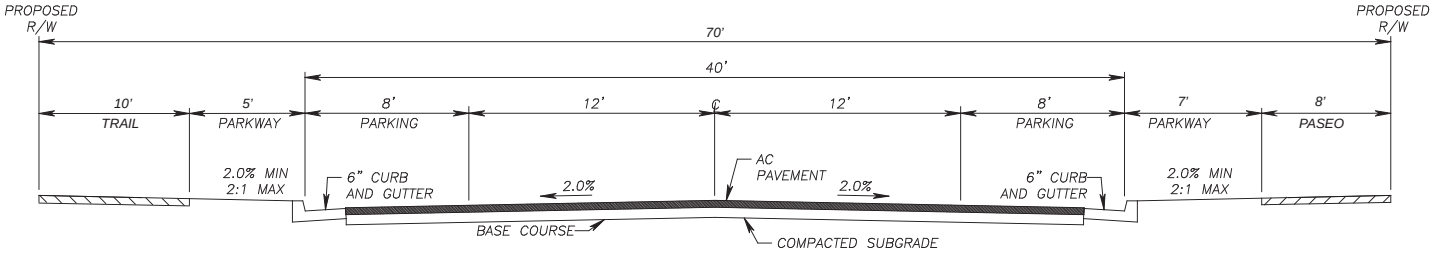
TYPICAL SECTION

MODIFIED COLLECTOR

NTS

A STREET, B STREET (FROM ORANGE STREET TO D STREET), C STREET
D STREET, I STREET, J STREET, K STREET, L STREET (FROM N STREET TO B STREET), M STREET, O STREET, P STREET,
Q STREET, R STREET, S STREET, T STREET, V STREET
(ON STREET PARKING)

NOTES:
USE THIS SECTION FOR ALL UNSPECIFIED COLLECTOR ROADS. FOR STREETS ADJACENT TO SCHOOLS & PARKS, USE COUNTY STANDARD 106, ORDINANCE NO. 461.
8' PASEO WILL BE PROVIDED ADJACENT TO SCHOOL. RIGHT OF WAY WILL BE ADJUSTED TO 69'. NO SIDEWALK ADJACENT TO M.W.D AQUEDUCT WILL BE PROVIDED. RIGHT OF WAY WILL BE ADJUSTED 61'.

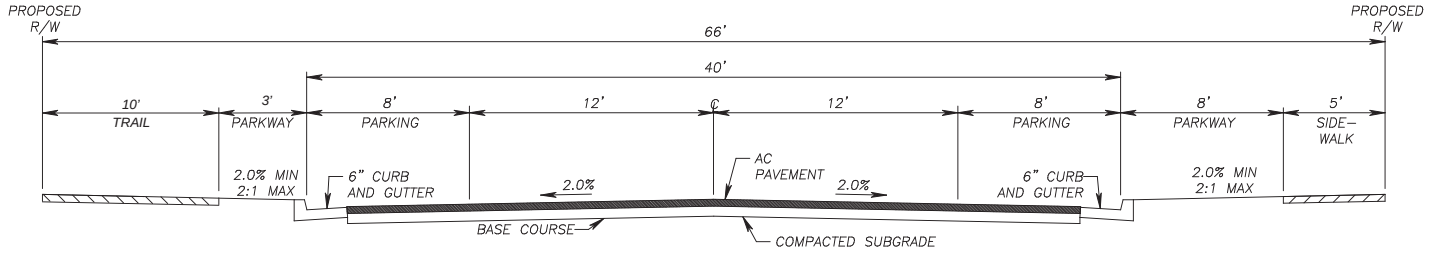


TYPICAL SECTION

MODIFIED COLLECTOR A

NTS

F STREET (FROM NORTHERN BOUNDARY OF PA 41B TO NORTHERN PROJECT BOUNDARY)

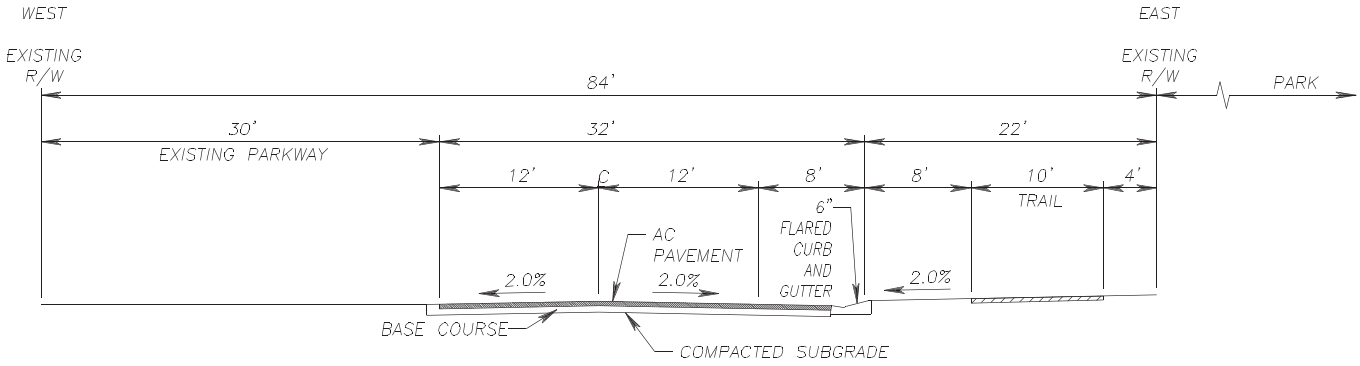


TYPICAL SECTION

MODIFIED COLLECTOR B

NTS

O STREET, U STREET

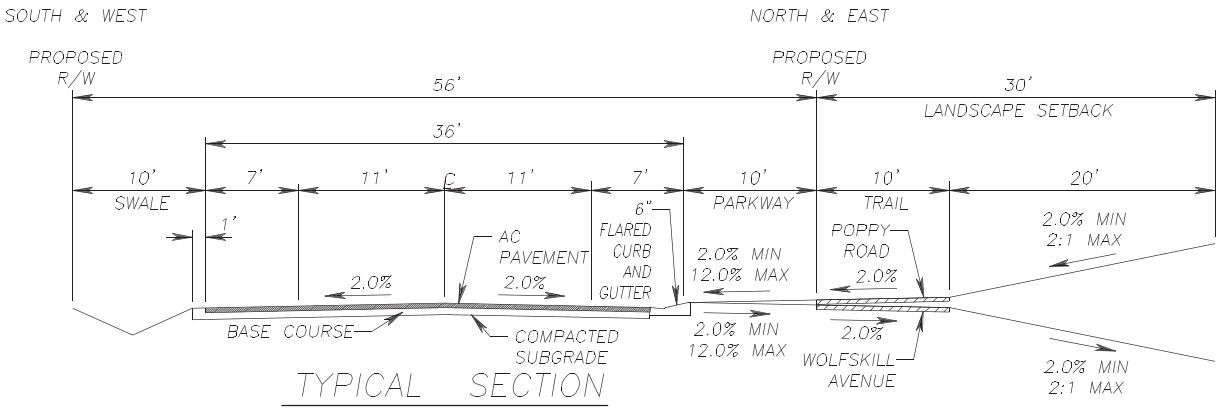


TYPICAL SECTION

STREET A – LAKEVIEW NUEVO DESIGN GUIDELINES

NTS

HANSEN AVENUE



TYPICAL SECTION

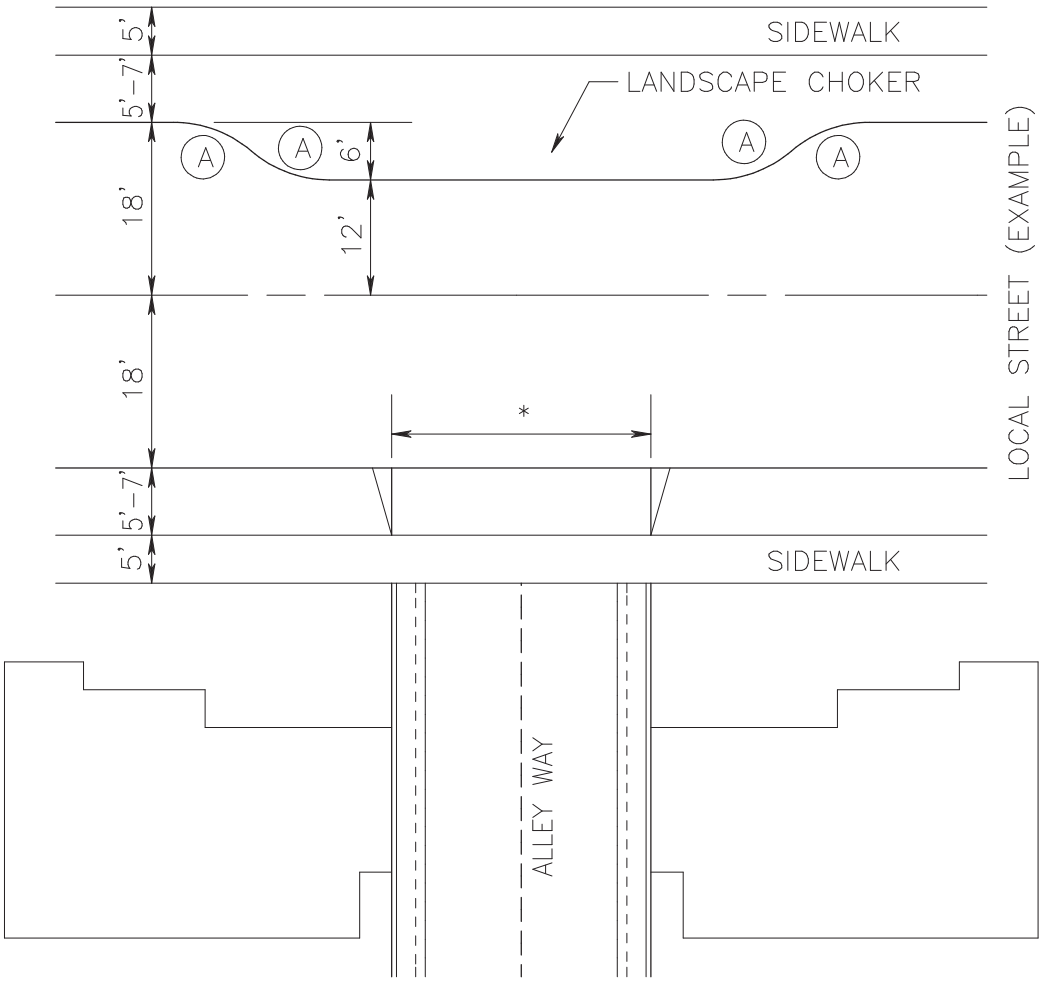
STREET B – LAKEVIEW NUEVO DESIGN GUIDELINES

NTS

WOLFSKILL AVENUE, POPPY ROAD

Table B-2.3 – Street Section Comparisons Between the County of Riverside and the Specific Plan

No.		Classification	Roads	R/W Width	Travel Lanes	Median	Curb to Curb or EOP to EOP Width	Pavement Width	Minimum Radii	MPH	Intersection Intervals	On Street Parking
	County of Riverside Standard No. 92	Arterial Highway		128'	2-14' and 2-12' Lanes	18' Raised Median	86'	68'	2400'	60	1320'	Allowed
1	Specific Plan 342	Arterial Highway	"F" Street (from "B" Street to northern boundary of PA 41B), "N" Street, "L" Street (from "N" Street to "O" Street)	128'	2-14' and 2-12' Lanes	18' Raised Median	86'	68'	2400'	60	1320'	Allowed
	County of Riverside Standard No. 94	Secondary Highway		100'	4-12' Lanes	N/A	64'	64'	1400'	50	330'	Not Allowed
2	Specific Plan 342	Enhanced Secondary A	"B" Street (from "D" Street to south of "H" Street) "H" Street	Varies 116' min	2-14' and 2-12' Lanes	18' Raised Median	78'	60'	1400'	50	330'	Not Allowed
3	Specific Plan 342	Enhanced Secondary B	"F" Street (from Wolfskill Avenue to B Street)	124'	2-14' and 2-12' Lanes	18' Raised Median	86'	68'	1400'	50	330'	Allowed
4	Specific Plan 342	Enhanced Secondary C	"E" Street	110'	4-14' Lanes	18' Raised Medium	74'	56'	1400'	35	200'	Not Allowed
	County of Riverside Standard No. 103	Collector Street		74'	2-12' Lanes	N/A	44'	44'	600'	35	200'	Allowed
5	Specific Plan 342	Modified Collector	"A" Street, "B" Street (from Orange Street to "D" Street), "C" Street "D" Street, "F" Street (from northern boundary of PA 41B to northern Project boundary),"I" Street, "J" Street, "K" Street, "L" Street (from "N" Street to "B" Street), "M" Street, "P" Street, "Q" Street, "R" Street, "S" Street, "T" Street	66'	2-12' Lanes	N/A	40'	40'	600'	35	200'	Allowed
6	Specific Plan 342	Modified Collector A	"F" Street (from PA 41B to the northern boundary)	70'	2-12' Lanes	N/A	40'	40'	600'	35	200'	Allowed
7	Specific Plan 342	Modified Collector B	"O" Street, "V" Street	66'	2-12' Lanes	N/A	40'	40'	600'	35	200'	Allowed
	County of Riverside Standard No. 105	Local Street		56'	2-11' Lanes	N/A	36'	36'	300'	30	200'	Allowed
8	Specific Plan 342	Enhanced Local A		56'-60'	2-11' Lanes	N/A	36'	36'	300'	30	200'	Allowed



TRAFFIC CALMING MEASURES ARE OPTIONAL AND THEIR LOCATIONS WILL BE DETERMINED AT A FUTURE TIME.

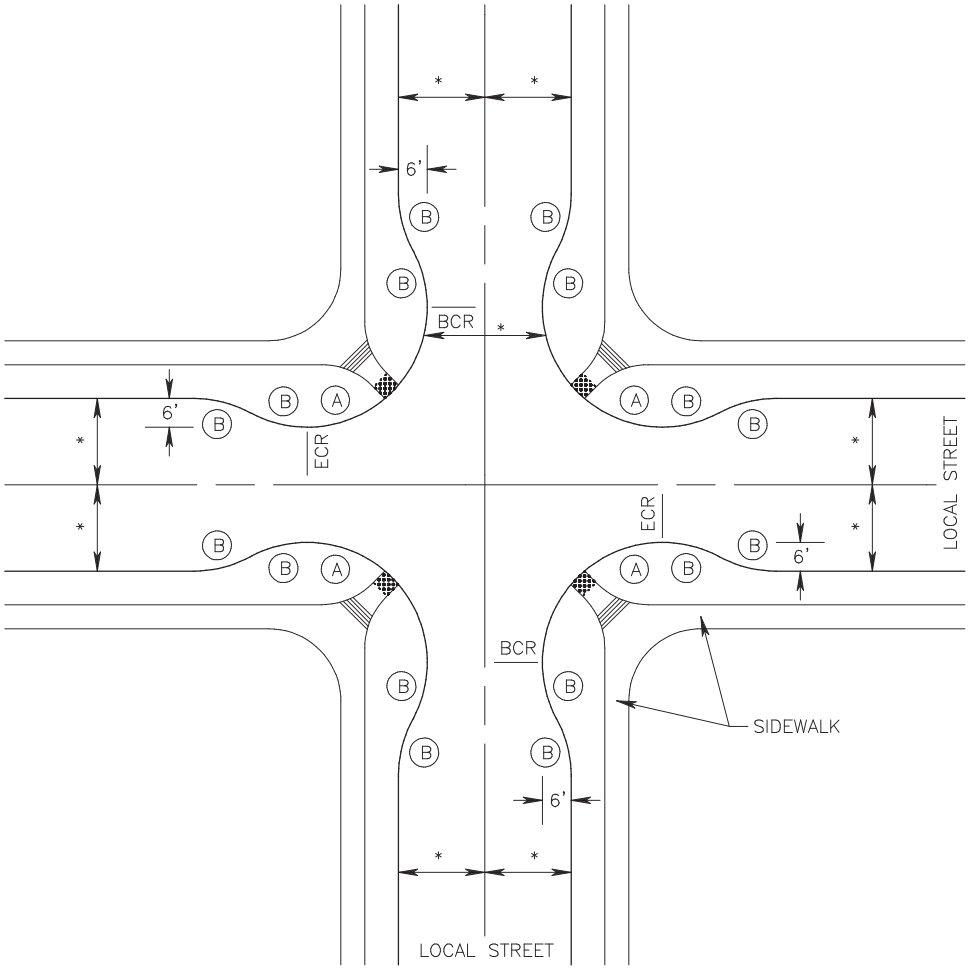
* MAY BE APRON OR CURB RETURN

	CURVE RADIUS
(A)	25' MINIMUM

	CURVE RADIUS
(A)	25' MINIMUM
(B)	25'

NOTE:

STREET DRAINAGE FLOW SHALL FOLLOW THE CURB AND GUTTER.



* – PAVEMENT WIDTH SHALL BE INACCORDANCE WITH SPECIFIC PLAN 342 OR STANDARD PLAN 105

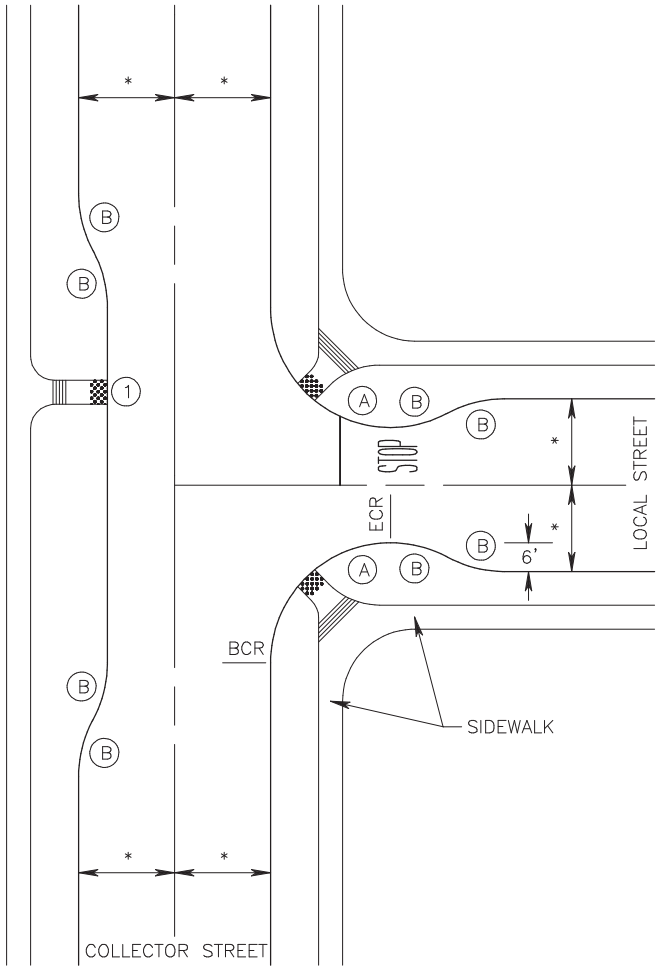
* - WIDTH BETWEEN CURB SHALL BE A MINIMUM 20'

TRAFFIC CALMING MEASURES ARE OPTIONAL AND THEIR LOCATIONS WILL BE DETERMINED AT A FUTURE TIME.

	CURVE RADIUS
(A)	25' MINIMUM
(B)	25'

NOTE:

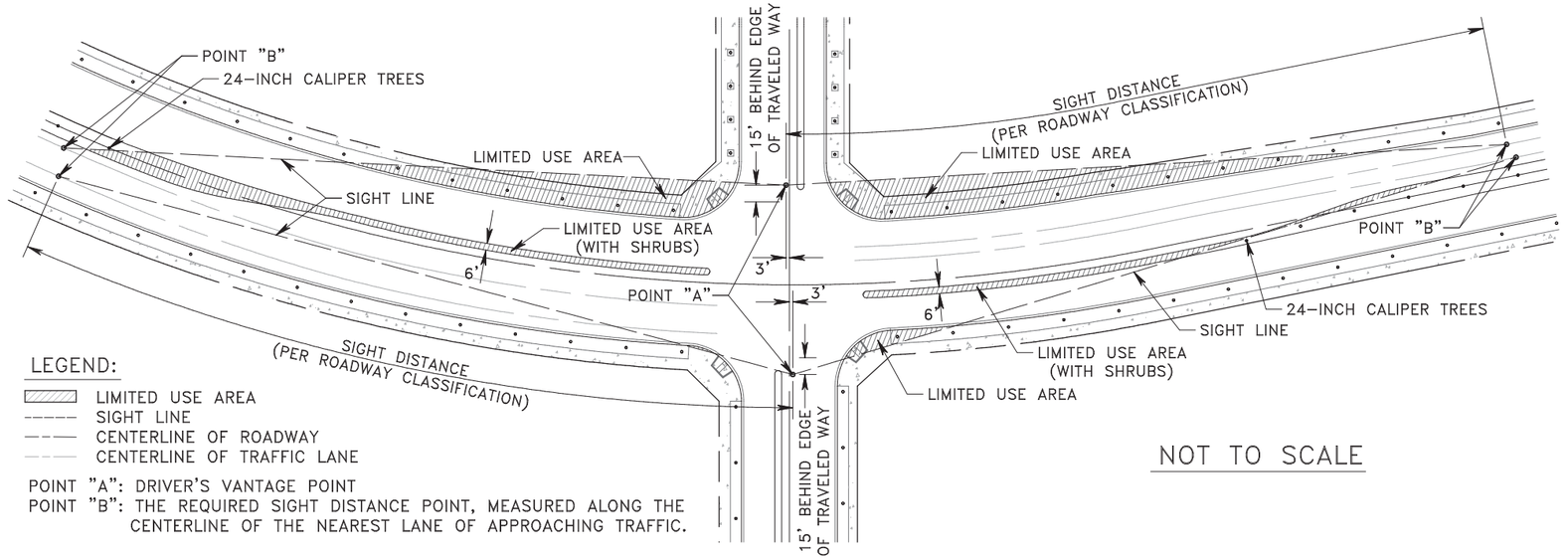
STREET DRAINAGE FLOW SHALL FOLLOW THE CURB AND GUTTER.



1 – ENGINEERING STUDY SHALL BE CONDUCTED FOR THE FEASIBILITY OF CURB RAMP AND MID BLOCK CROSSWALKS

* – PAVEMENT WIDTH SHALL BE INACCORDANCE WITH SPECIFIC PLAN 342 OR STANDARD PLAN 103 AND 105

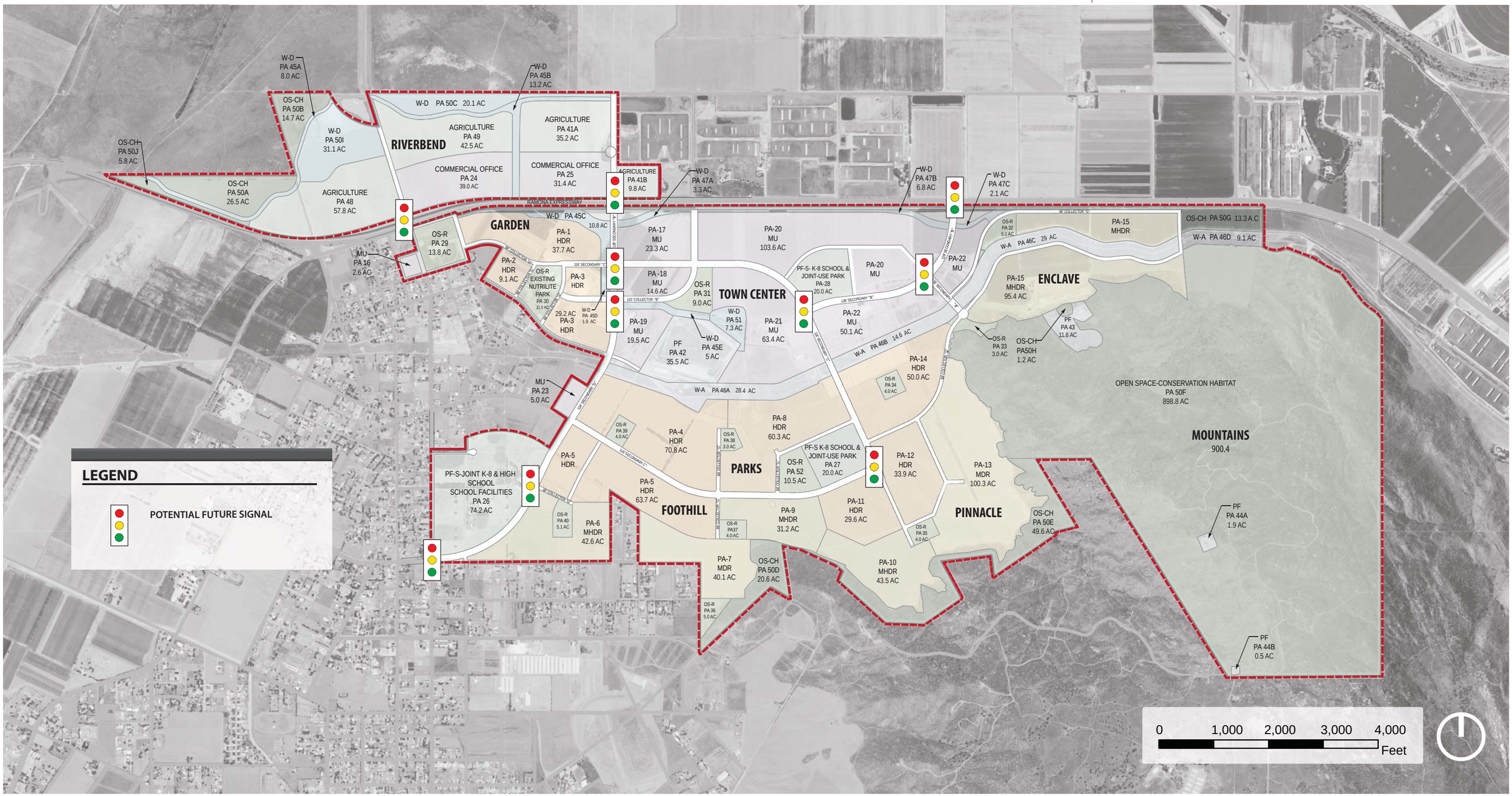
TRAFFIC CALMING MEASURES ARE OPTIONAL AND THEIR LOCATIONS WILL BE DETERMINED AT A FUTURE TIME.



DESIGN SPEED (M.P.H.)	PUBLIC STREETS	PRIV. ROADS & DRIVEWAYS
	CORNER SIGHT DIST. (FT.)	STOPPING SIGHT DIST. (FT.)
20	220	125
25	275	150
30	330	200
35	385	250
40	440	300
45	495	360
50	550	430
55	605	500
60	660	580
65	715	660

NOTES:

1. THE LIMITED USE AREA IS DETERMINED BY THE GRAPHICAL METHOD. IT SHALL BE USED FOR THE PURPOSE OF PROHIBITING OR CLEARING OBSTRUCTIONS TO MAINTAIN ADEQUATE SIGHT DISTANCE AT INTERSECTIONS.
2. PLANTS AND SHRUBS WITHIN THE LIMITED USE AREA SHALL BE OF THE TYPE THAT WILL GROW NO HIGHER THAN 30 INCHES ABOVE THE CURB ADJACENT TO THE LIMITED USE AREA.
3. WALLS OR ANY OBSTRUCTIONS COMPLETELY RESTRICTING THE VIEW WITHIN THE LIMITED USE AREA SHALL NOT BE PERMITTED.
4. THE TOE OF SLOPE SHALL NOT ENCROACH INTO THE LIMITED USE AREA.
5. THE SIGHT DISTANCE SHALL BE MEASURED ALONG THE CENTERLINE OF THE ROAD.
6. POINT "A" IS THE LOCATION OF THE DRIVER'S EYE, MEASURED 15 FEET BACK FROM THE EDGE OF THE TRAVELED WAY. (6 FEET FROM ETW, 1 FOOT STOP BAR, AND 8 FEET FROM FRONT BUMPER TO DRIVER.) IF THE STOP BAR IS MORE THAN 6 FEET FROM THE ETW, ADDITIONAL ALLOWANCE SHOULD BE CONSIDERED.
7. POINT "B" IS THE REQUIRED SIGHT DISTANCE POINT LOCATED ALONG THE CENTER OF THE NEAREST TRAFFIC LANE.
8. CORNER SIGHT DISTANCE IS MEASURED FROM 3.5 FOOT HEIGHT AT THE LOCATION OF THE DRIVER'S EYE ON THE MINOR ROAD, TO A 4.25 FOOT OBJECT HEIGHT IN THE CENTER OF THE NEAREST TRAFFIC LANE OF THE MAJOR ROAD.
9. WHEN AN INTERSECTION IS LOCATED ON A VERTICAL CURVE, A PROFILE OF THE SIGHT LINE SHALL BE PROVIDED.
10. THE MAXIMUM TREE SIZE AND MINIMUM TREE SPACING IN THE LIMITED USE AREA WITHIN THE PARKWAY FOR ALL FOUR LANE OR GREATER STREETS SHALL BE 24–INCH CALIPER TREE TRUNKS (MAXIMUM SIZE AT MATURITY) SPACED AT 50–FEET ON CENTER. THE MAXIMUM TREE SIZE AND MINIMUM TREE SPACING IN THE LIMITED USE AREA WITHIN THE PARKWAY FOR ALL TWO LANE STREETS SHALL BE 24–INCH CALIPER TREE TRUNKS (MAXIMUM SIZE AT MATURITY) SPACED AT 30–FEET ON CENTER. TREES HAVING MATURE TRUNKS GREATER THAN 24–INCH CALIPER TREE TRUNKS (E.G. EXISTING WINDROW CONDITIONS) SHALL REQUIRE SEPARATE REVIEW AND APPROVAL FROM THE COUNTY OF RIVERSIDE. THE ADDITIONAL ANALYSIS MAY BE NEEDED TO DEMONSTRATE THE ABILITY TO MEET MINIMUM SIGHT DISTANCE REQUIREMENTS OF COUNTY OF RIVERSIDE.
11. INTERSECTION SIGHT DISTANCE SHALL BE MINIMALLY CONSISTENT WITH COUNTY ORDINANCE NO. 821, ORDINANCE NO. 461


W-D PA 45A 8.0 AC
W-D PA 45B 13.2 AC
OS-CH PA 50B 14.7 AC
W-D PA 50C 20.1 AC
W-D PA 50I 31.1 AC
RIVERBEND
AGRICULTURE PA 49 42.5 AC
AGRICULTURE PA 41A 35.2 AC
OS-CH PA 50J 5.8 AC
COMMERCIAL OFFICE PA 24 39.0 AC
COMMERCIAL OFFICE PA 25 31.4 AC
OS-CH PA 50A 26.5 AC
AGRICULTURE PA 48 57.8 AC
AGRICULTURE PA 41B 9.8 AC
W-D PA 47A 3.3 AC
W-D PA 47B 6.8 AC
W-D PA 47C 2.1 AC
RAMONA EXPRESSWAY
W-D PA 45C 10.8 AC
GARDEN
PA-1 HDR 37.7 AC
OS-R PA 29 13.8 AC
MU PA 16 2.6 AC
PA-2 HDR 9.1 AC
OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
PA-3 HDR
29.2 AC PA-3 HDR
W-D PA 45D 1.9 AC
PA-17 MU 23.3 AC
PA-20 MU 103.6 AC
PA-18 MU 14.6 AC
OS-R PA 31 9.0 AC
TOWN CENTER
PF-S- K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
PA-20 MU
PA-22 MU
PA-19 MU 19.5 AC
W-D PA 51 7.3 AC
PA-21 MU 63.4 AC
PF PA 42 35.5 AC
W-D PA 45E 5 AC
PA-22 MU 50.1 AC
W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
OS-R PA 34 4.0 AC
MU PA 23 5.0 AC
W-A PA 46A 28.4 AC
OS-R PA 39 4.0 AC
PA-4 HDR 70.8 AC
OS-R PA 38 3.0 AC
PA-8 HDR 60.3 AC
PF-S K-8 SCHOOL & JOINT-USE PARK PA 27 20.0 AC
PA-12 HDR 33.9 AC
PA-5 HDR
PARKS
OS-R PA 52 10.5 AC
PA-13 MDR 100.3 AC
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
PA-5 HDR 63.7 AC
FOOTHILL
PA-11 HDR 29.6 AC
PINNACLE
OS-R PA 40 5.1 AC
PA-6 MHDR 42.6 AC
PA-9 MHDR 31.2 AC
OS-CH PA 50E 49.6 AC
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
PA-10 MHDR 43.5 AC
OS-R PA 36 5.0 AC
OS-R PA 37 4.0 AC
OS-R PA 35 4.0 AC
OS-R PA 32 5.1 AC
PA-15 MHDR
OS-CH PA 50G 13.3 A.C
W-A PA 46C 29 AC
W-A PA 46D 9.1 AC
PA-15 MHDR 95.4 AC
ENCLAVE
OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
PF PA 43 11.8 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MOUNTAINS 900.4
PF PA 44A 1.9 AC
PF PA 44B 0.5 AC
LEGEND
POTENTIAL FUTURE SIGNAL
0 1,000 2,000 3,000 4,000
Feet

The Parks Village is accessed via “F” Street, “H” Street, “B” Street, and “O” Street. “F” Street is the extension of 10th Street east of Hansen Avenue. Internal access roadways include “K” Street and “P” Street. “F” Street will be developed as an Enhanced Secondary “B” from the existing Hansen Avenue to ”B” Street, and as an Arterial Highway from “B” Street to the Ramona Expressway. “F” Street will provide access from the southwestern area of the Project area to Town Center Village and the Ramona Expressway. It will also provide an access from Reservoir Avenue via 10th Street.

“B” Street and “H” Street will be developed as an Enhanced Secondary A. “B” Street will provide access to “F” Street from the areas south of the MWD Aqueduct.

“K” Street will connect the residential area north of “H” Street and south of MWD Aqueduct as well as connect to the Foothill and Pinnacle villages, and “P” Street will connect the residential area between “H” Street and “B” Street. “K” and “P” Streets will be developed as a Modified Collector.

The Foothill Village, located north of Wolfskill Avenue and south of “H” Street. Access to this village will be via “F” Street and “H” Street. Internal access roadways include “J” Street and “I” Street, which will be developed as a Modified Collector.

The mixed-use planning area generally located south of the Ramona Expressway and north of the MWD Aqueduct, east of “F” Street and west of “S” Street, is an urban area known as Town Center Village. “E” Street, “L” Street, “M” Street connect this area to “B” Street and “N” Street. “E” Street will be developed as an Enhanced Secondary “C.” “L” Street will be developed as an Arterial Highway between “O” Street and “N” Street, and as a Modified Collector from “N” Street to “B” Street. “M” Street will be developed as a Modified Collector and connect “L” Street and “N” Street.

“S” Street, “V” Street, and “T” Street connect the Enclave Village to “L” Street. “S” and “T” Streets will be developed as a Modified Collector and “S” Street will be developed as a Modified Collector B.

The Pinnacle Village is located south of “H” Street and “O” Street. Access to this village will be via “B” Street, “H” Street, and “O” Street. Internal access roadways include “R” Street and “Q” Street. “B” Street and “H” Street will be developed as an Enhanced Secondary A, and “R” and “Q” Streets will be developed as a Modified Collector and O Street will be developed as Modified Collector B.

The Garden Village is accessed via “B” Street, “C” Street, “D” Street, “E” Street, and “F” Street. “C” Street and “D” Street will be developed as a Modified Collector. “E” Street will be developed as an Enhanced Secondary C and “B” Street west of “D” Street to the existing Orange Street will be developed as an Enhanced Secondary A.

b. Bicycle, Pedestrian, and Equestrian Trails

In addition to the vehicular circulation plan, an approximately 37-mile network of bicycle lanes, trails and paseos is incorporated into the Specific Plan, along with sidewalks, in locations adjacent to roads. The trail system will promote non-vehicular access to: park and recreational opportunities; regional connections at the edges; open space opportunities in the mountains and along the river; equestrian opportunities; schools and other public community facilities; and retail shopping and job opportunities in the Town Center Village. This trail system is described in more detail in the **Section B.8**, Open Space, Conservation, and Recreation Plan Description, of this document.

c. Circulation System Development Standards

The development standards defined herein apply to all circulation system improvements within the Specific Plan area, and all future development proposals must be consistent with the Specific Plan, including the standards set forth below. Where there is a conflict between the development standards in this Specific Plan and Ordinance No. 461, these development standards shall apply within the Specific Plan area.

1. Any application for any subdivision within the Specific Plan (including a Schedule I Parcel Map) shall cause the design of the Specific Plan master planned infrastructure within the final map boundaries; with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter section. Specific Plan Schedule I Parcel Maps shall design the street system shown thereon.

2. Each subdivision, if required by the Transportation Department on an individual basis, shall conduct a traffic study and comply with the on-site and off-site street improvement recommendations and mitigation measures outlined in the subsequent traffic study to meet level of service requirements.

3. All typical sections shall be as shown in **Exhibits B.2.7A–7D – Typical Street Cross Sections,** or Ordinance No. 461, or as approved by the Transportation Department consistent with these Specific Plan development standards.

4. Landscape requirements shall be in accordance with the roadway landscape treatments described in **Section B.4**., Landscape Plan, **D.7** and **D.8**.

5. All intersection spacing and/or access openings shall be per Standard 114, Ordinance No. 461, as shown on circulation plans, or as approved by the

Transportation Department consistent with these Specific Plan development standards.

6. No textured pavement accents will be allowed within a County-maintained right-of-way.

7. Mid-block crosswalks are not allowed on 4-lane or larger public streets.

8. This Specific Plan proposes no drainage facilities to be maintained by the Transportation Department, with the exception of facilities within road rights-of-way. Therefore, all drainage facilities, other than facilities to be constructed in the road right-of-way, will either be private or be Riverside County Flood Control and Water Conservation District (RCFCWCD) facilities.

9. Primary entrances to neighborhood commercial uses must be located along Secondary or greater highways.

10. The Transportation Department's policy regarding streets adjacent to school sites and public park sites requires a minimum of a 66-foot right-of-way, consistent with County Ordinance No. 461, Standard No. 106.

11. Prior to approval of tentative maps, any landscaping within public road rights-of-way will require approval by the Transportation and Planning Department and assurance of continuing maintenance through the establishment of a landscape maintenance district, CSA, or similar mechanism as approved by the Transportation and Planning Department, in accordance with Ordinance 859 procedures.

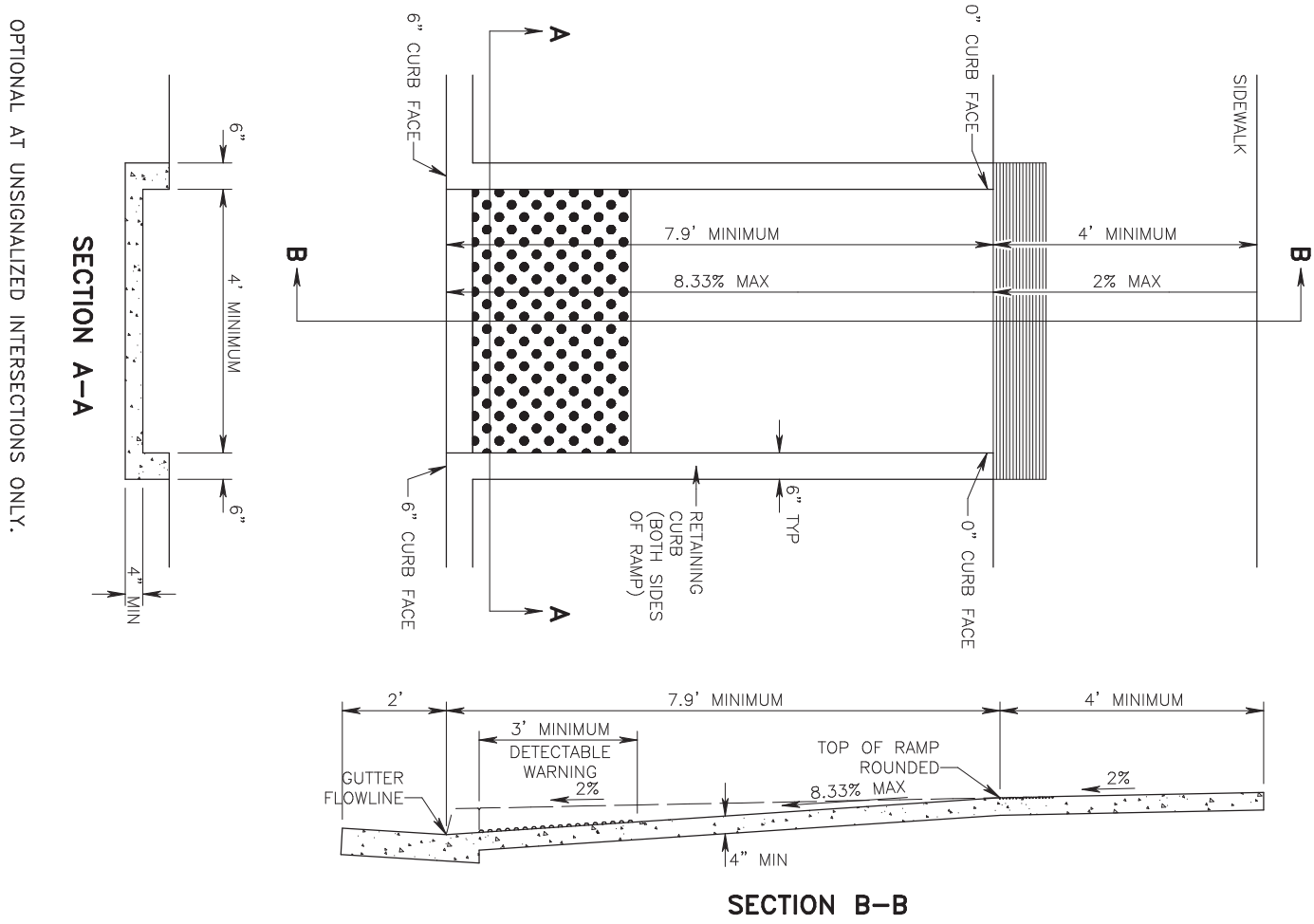
12. All bike lanes within County rights-of-way developed as part of this Specific Plan shall be reviewed and approved by the Transportation Department.

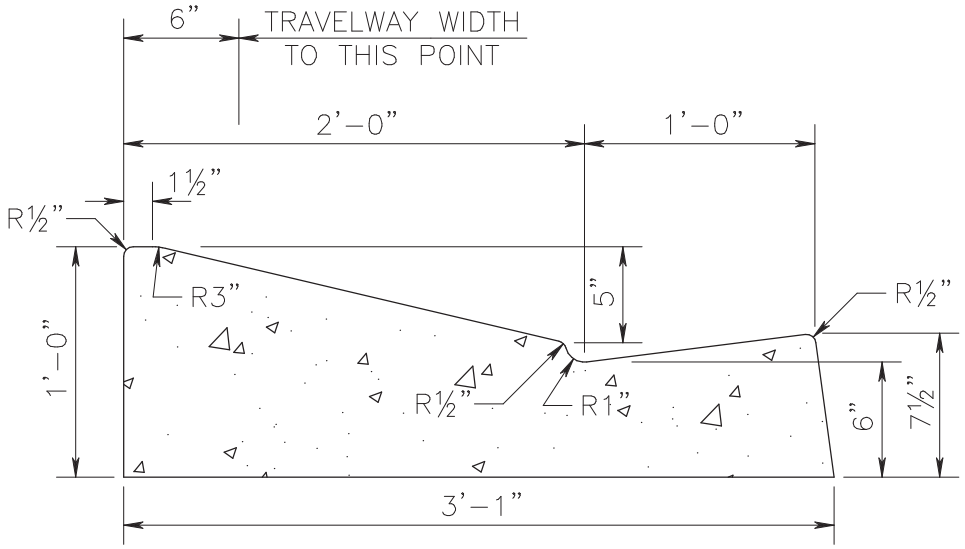
13. To meet fire and emergency services needs, the tentative tract map(s) shall provide adequate access per County Fire Department requirements and/or Ordinance No 460 requirements.

14. The alignment of the internal circulation system, as shown on **Exhibit B.2.6A,** is approximate. Adjustments may be permitted in conjunction with review and approval of tentative maps.

15. Ramps required at intersections or other street crossings may be installed as shown on **Exhibit B.2.10A – Curb Ramp Detail** or as otherwise approved by the Transportation Department.

16. Zero curbs will be allowed under certain circumstances and along roads developed as Enhanced Secondary C or Enhanced Collector A to promote infiltration and ground water recharge.


OPTIONAL AT UNSIGNALIZED INTERSECTIONS ONLY.
SECTION A–A
6"
4' MINIMUM
6"
4" MIN
A
B
6" CURB FACE
0" CURB FACE
SIDEWALK
7.9' MINIMUM
4' MINIMUM
8.33% MAX
2% MAX
6" CURB FACE
RETAINING CURB (BOTH SIDES OF RAMP)
6" TYP
0" CURB FACE
2'
7.9' MINIMUM
4' MINIMUM
3' MINIMUM DETECTABLE WARNING
2%
GUTTER FLOWLINE
TOP OF RAMP ROUNDED
8.33% MAX
2%
4" MIN
SECTION B–B



6 INCH CONCRETE FLARED CURB

17. **Exhibit B.2.10B – 6-Inch Concrete Flared Curb,** will be allowed along local streets in some locations subject to the review and approval of the Transportation Department.

18. **Exhibits B.2.8A–C – Choker Details** and other Traffic Calming measures are planned in certain locations within the Specific Plan and are optional at other locations within the Specific Plan as approved by the Transportation Department. The nature and location of optional measures will be determined as tract maps are approved.

19 Standard Alleys shall have a width of 24 feet – two 12-foot opposing drive lanes. Standard Alleys are limited to 300 feet in length, curb to curb, and are connected to a circulating road at both ends. No portion of any structure shall be more than 150 feet from an approved vehicular travel way. Standard Dead End Alleys shall have a width of 24 feet and shall provide that no portion of any structure be more than 150 feet from the circulating road and alley access intersection. In this case, structures can be no less than 30 feet face of garage door to face of garage door and structures cannot exceed a two-story elevation.

20. Wide Alleys shall have a width of 30 feet. Wide Alleys can exceed 300 feet in length, curb to curb, and are connected to a circulating road at both ends. Wide Dead End Alleys shall have a width of 30 feet with an approved turn-a-round for lengths greater than 150 feet. In this case, structures can be no less than 36 feet face of garage door to face of garage door and structures can exceed a two-story elevation.

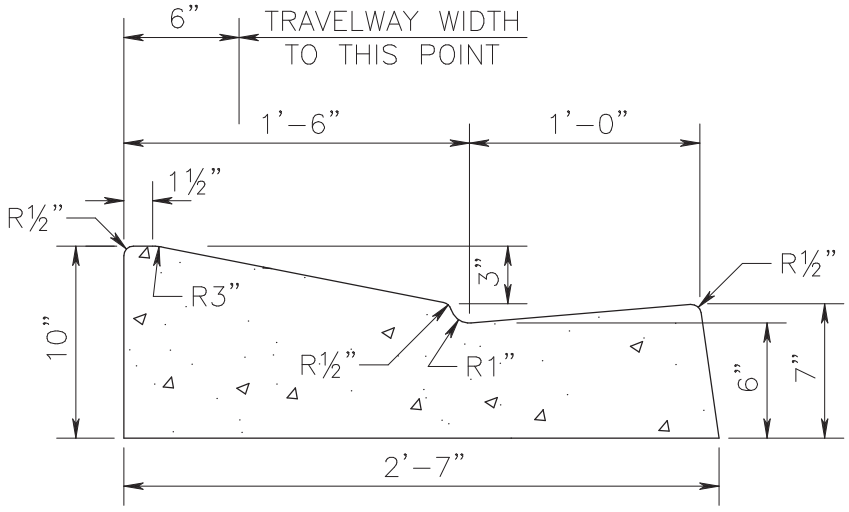
21. An alley access intersection with a circulating road can appear as a driveway apron or as a curb return with the circulating road.

22. **Exhibit B.2.10C – 4-Inch Concrete Flared Curb,** may be used in alleys, such as shown on **Exhibit 8A.**

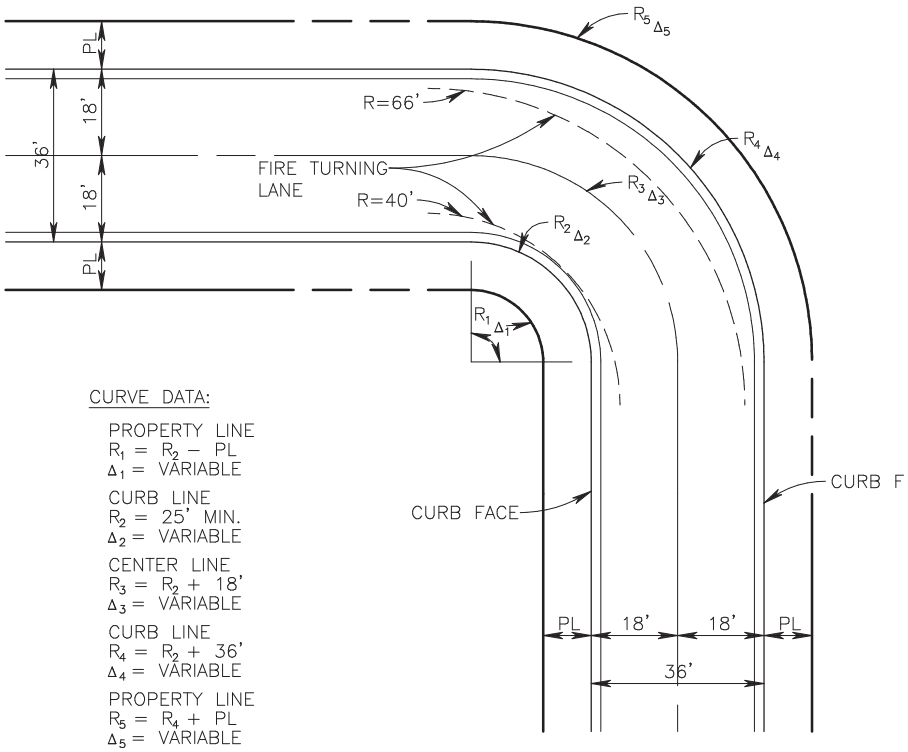
23. **Exhibit B.2.10D – Modified Knuckle on Local Street (Private)**, may be used on privately-maintained local streets subject to review and approval by the Transportation Department.

24. **Exhibit B.2.10E – Modified Knuckle on Collector Street (Private)**, may be used on privately-maintained collector streets subject to review and approval by the Transportation Department.

25. All alleys proposed within the Specific Plan shall be private, and landscaped and maintained by the HOA.



4 INCH CONCRETE FLARED CURB



CURVE DATA:

PROPERTY LINE
$R_1 = R_2 - PL$
Δ_1 = VARIABLE

CURB LINE
R_2 = 25' MIN.
Δ_2 = VARIABLE

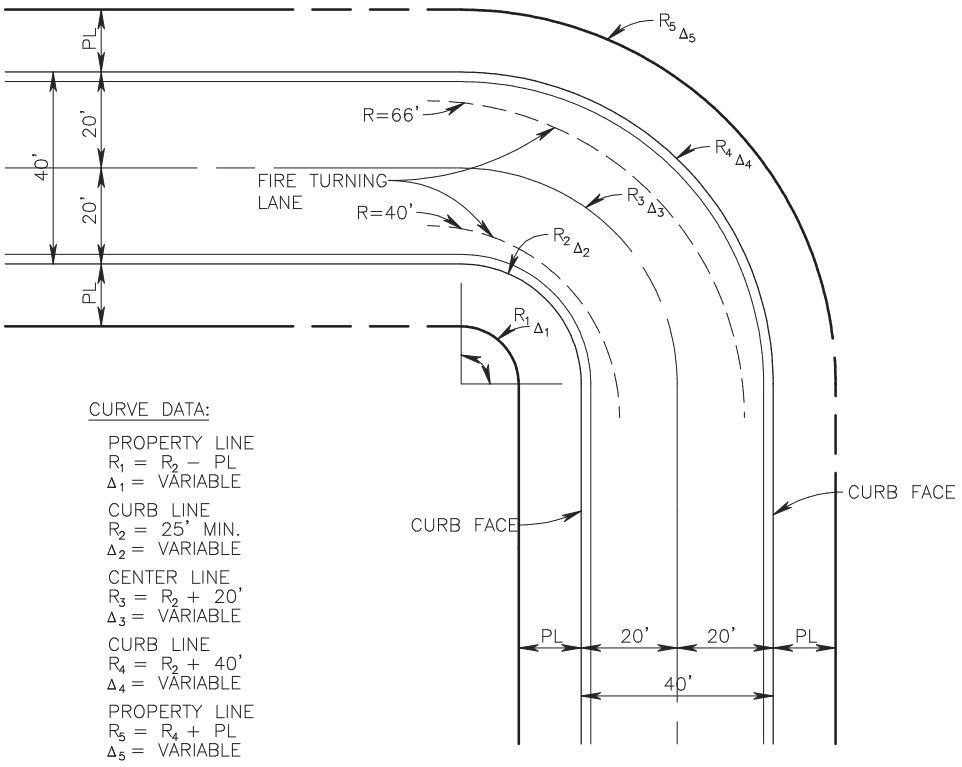
CENTER LINE
$R_3 = R_2 + 18'$
Δ_3 = VARIABLE

CURB LINE
$R_4 = R_2 + 36'$
Δ_4 = VARIABLE

PROPERTY LINE
$R_5 = R_4 + PL$
Δ_5 = VARIABLE

NOTE:

1. USE NORMAL SECTION FROM CURB TO CENTER LINE
2. LOCAL STREET BENDS ARE LIMITED TO LOCAL STREETS
3. LINE OF SITE STUDY REQUIRED TO LOCATE "NO PARKING" LIMITS



CURVE DATA:

PROPERTY LINE
$R_1 = R_2 - PL$
Δ_1 = VARIABLE

CURB LINE
R_2 = 25' MIN.
Δ_2 = VARIABLE

CENTER LINE
$R_3 = R_2 + 20'$
Δ_3 = VARIABLE

CURB LINE
$R_4 = R_2 + 40'$
Δ_4 = VARIABLE

PROPERTY LINE
$R_5 = R_4 + PL$
Δ_5 = VARIABLE

NOTE:

1. USE NORMAL SECTION FROM CURB TO CENTER LINE
2. COLLECTOR STREET BENDS ARE LIMITED TO COLLECTOR STREETS
3. LINE OF SITE STUDY REQUIRED TO LOCATE "NO PARKING" LIMITS

26. All internal village streets will be designed to actively discourage internal vehicle trips through the use of non-through roads, reduced parking provisions, and/or traffic calming strategies, subject to the approval, modification, or denial of County Transportation Department.

27. All internal village streets will be prioritized for bicycles and pedestrians first and for automobiles as a second choice for modal preference subject to the approval, modification, or denial of County Transportation Department.

28. All internal villages streets will strive to reduce lane widths to accommodate bicycle and pedestrian facilities by working with the County to amend roadway standards, subject to County Transportation Department approval, modification, or denial.

29. All internal village streets will strive to achieve a Level of Traffic Stress (LTS) scale of 2 or less as defined by the Mineta Transportation Institute, subject to County Transportation Department approval, modification, or denial.

3. Drainage Plan

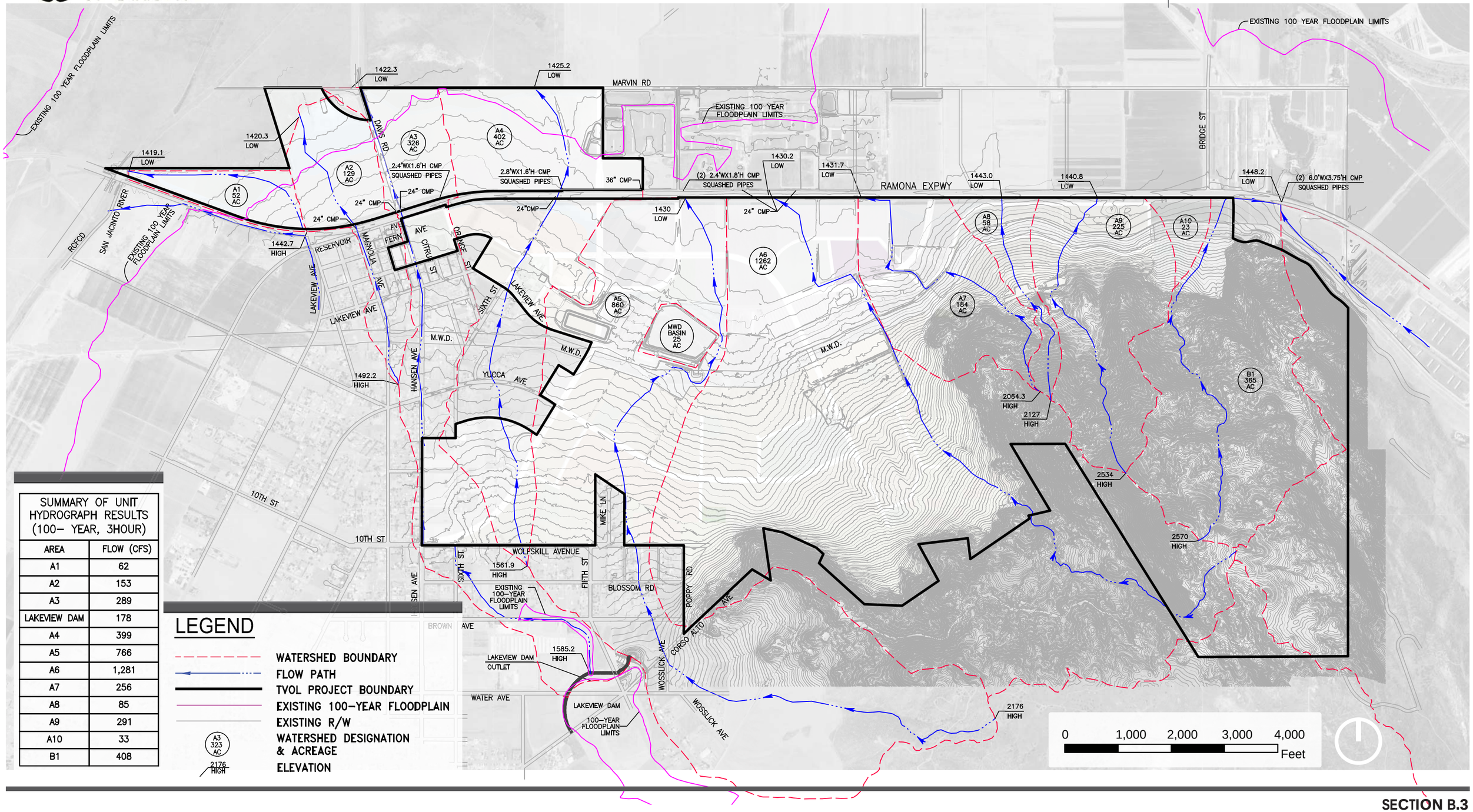
a. Drainage Plan Description

THE VILLAGES OF LAKEVIEW is tributary to the San Jacinto River (SJR) watershed, and is generally located west of Bridge Street, east of Reservoir Avenue, south of Marvin Road, and north of the Lakeview Mountains. The total Project area is approximately 2,883 acres, and divided into south and north areas along the Ramona Expressway. The north Project area involves approximately 336 acres and the south area involves approximately 2,547 aces including 117 acres of Metropolitan Water District's (MWD) property.

South of the Ramona Expressway, the Project site features a distinctive topographic separation; gently sloping bare fields and rugged steep mountain area. The gently sloped areas are mostly active agricultural fields. The rugged steep mountain is a part of the Lakeview Mountain at the Project's southern border. North of the Ramona Expressway, the Project site involves very flat agricultural fields bounded by the San Jacinto Wildlife Area (SJWA). The Project touches the SJR at the northwest corner. An area located east of Bridge Street involves a separate tributary area from the southeast mountainous areas.

1. Existing Hydrology and Drainage

   THE VILLAGES OF LAKEVIEW Specific Plan involves on-site and off-site tributary areas of approximately 10,600 acres including the Lakeview Dam tributary areas. **Exhibits B.3.11A, Existing Hydrology** shows the existing watershed areas, and 100-year storm flow rates leaving the Project boundary. In general, storm runoff sheet flows northerly across the Project site toward the SJR. The Lakeview Mountains and dam in the southern parts of the Project, as well as the Ramona Expressway, play an important part in the existing hydrology of this site. The hills on site and south of the Project are sloped in a northerly and westerly direction. Storm runoff comes into the site from its southerly boundary and continues towards the Ramona Expressway. The area tributary to the east boundary of the Project site is approximately 1,785 acres, most of which is easterly and southerly of the Project.



SUMMARY OF UNIT HYDROGRAPH RESULTS (100– YEAR, 3HOUR)	
AREA	FLOW (CFS)
A1	62
A2	153
A3	289
LAKEVIEW DAM	178
A4	399
A5	766
A6	1,281
A7	256
A8	85
A9	291
A10	33
B1	408

LEGEND

- WATERSHED BOUNDARY
- FLOW PATH
- TVOL PROJECT BOUNDARY
- EXISTING 100–YEAR FLOODPLAIN
- EXISTING R/W
- WATERSHED DESIGNATION & ACREAGE (e.g. A3 323 AC)
- ELEVATION (e.g. 2176 HIGH)

In February 2014, the Federal Emergency Management Agency (FEMA) approved a preliminary map revision for the San Jacinto River floodplain, including portions of the drainage near the Project site. The revised floodplain maps became effective in August 2014. The majority of the Project is above the SJR Q100 flood level, except for an area north of Ramona Expressway (see **Exhibit B.3.11A, Existing Hydrology**). In the existing condition, 140 acres of this Project are within the SJR Q100 floodplain, with 625 acre-feet of floodplain storage. The subwatershed boundaries (numbered A1-A10 and B1 and B2) and flow paths are shown on **Exhibit B.3.11A**. Minimal constructed storm drain infrastructure in general, and no facilities that can convey more than limited and low-levels flows, currently exist within the site.

The Lakeview Dam, constructed in 1994, is located south of the Project. The dam receives and collects storm flows from an area south of the Project and southeast of the dam, shown as the off-site portion of watershed A5 on **Exhibit B.3.11A**. Riverside County Flood Control & Water Conservation District (RCFC & WCD) studied and built the dam to protect the area north and west of the dam from flooding. A small drainage system now collects water from the dam outlet and releases it in a northwesterly direction where it makes its way to the Ramona Expressway along Hansen Avenue. Additionally, RCFC & WCD developed the Lakeview/Nuevo Master Drainage Plan (MDP) in February 1981. The MDP includes a proposed drainage facility that receives storm flows from the dam outlet and delivers them westerly to the existing Nuevo channel, which flows into the SJR.

During larger rainfall events, runoff in the portions of the Project site north of the Lakeview Mountains flows toward the Ramona Expressway. Approximately 14 existing metal culverts ranging in size from 24 inches in diameter to a pair of 72-inch by 45-inch squash pipes at the eastern end of the Project site convey storm flows under the Ramona Expressway to the San Jacinto River. The culverts have limited capacity. **Exhibit B.3.11A** identifies the peak runoff that could occur from each of the primary drainages along the northern boundary of the Project site under the existing conditions during a 100-year storm event, or a storm with a magnitude that historically is expected to occur once every 100 years. Runoff rates would range from approximately 1,500 cubic feet per second (cfs) in the far eastern drainage (B2), which includes flows from off-site locations, to 33 cfs in the smallest drainage (A10). Moreover, during a 100-year storm event, the peak flows from the site would overtop Ramona Expressway, and eventually flow to the San Jacinto River.

2. Proposed Hydrology and Drainage Plan

The Specific Plan's 100-year post-development floodplain, as shown on **Exhibit B.3.11B**, and its master plan of drainage (On-Site), as shown on **Exhibit B.3.11C**, proposes to use streets, underground storm drains, open channels, debris basins, and a detention basin to collect the on-site and off-site storm water, and convey it through the Project toward the SJR floodplain. Closed conduits, man-made earthen channels, a detention basin, debris basins, and roadways will convey developed 100-year storm runoff through the Project, in accordance with RCFC&WCD standards and requirements. This Project proposes to match existing flows as closely as possible along its northerly boundary. The Project will accomplish this goal by regulating overflow with the use of a detention basin, spillover channels, and an open channel that takes runoff westerly to the most northwesterly tip of the Project and into the SJR. Between Town Center Boulevard and the east end crossing, the Project proposes to let Q100 flows cross the Ramona Expressway without exceeding historical peak flows, and in some cases reducing such flow rates from their historical peak flow rates.

The detention basin is located within Planning Area 51; see the Land Use Diagram, **Exhibit B.1.5**. The detention basin is approximately 7.3 acres, and is proposed to be no more than 8 feet deep at its deepest point. Passive park uses will be allowed within the basin. The debris basins are located outside of the Lakeview Mountains conservation area.

The storm drain channel which crosses under Ramona Expressway west of Town Center Boulevard is a large facility which is planned to accommodate both stormwater flows and trails. Construction of this large facility could disrupt traffic on Ramona Expressway if not staged and constructed in such a way as to avoid traffic impacts.

In addition, the Specific Plan proposes diversion structures (**Exhibit B.3.11E),** closed conduits, and an open channel along the Ramona Expressway to capture WQMP flow and convey it to the main open channel, which eventually delivers it to the Water Quality Basin located at the northwest corner of the Project site.

Finally, two water quality basins (WQB) are proposed be located both east and west of the Davis Road near the north edge of the Project site to better match existing hydrology and provide greater flexibility in managing flows to the SJWA. Flows would split between the two basins using adjustable flashboard weirs or similar diversion structures within the drainage channel.

Stormwater treated in the West WQB would discharge to the San Jacinto River. Stormwater treated in the East WQB would discharge to the off-site wetland area in the SJWA.

As shown in **Exhibit B.3.11B, 100-Year Post Development Floodplain**, the Project would slightly reconfigure the floodplain and increase the storage capacity in the floodplain from 625 acre-feet to 750 acre-feet. This represents an increase of about 20 percent. No habitable structures will located within the revised 100-year flood hazard area. Proposed land uses within the floodplain include habitat conservation, drainage and water quality treatment facilities, and passive recreational uses.

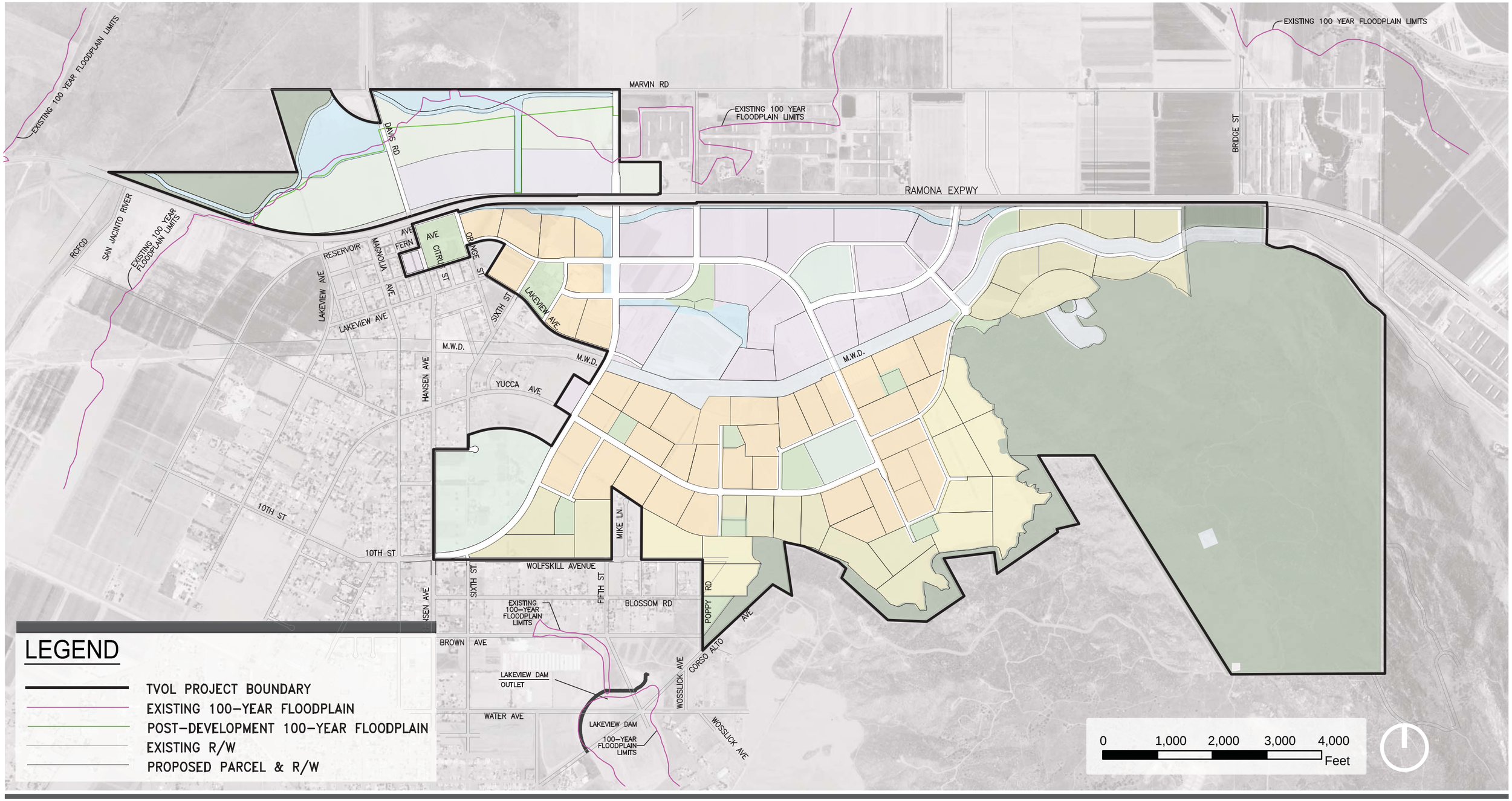
Exhibit B.3.11C – Master Plan of Drainage (On Site), shows a conceptual on-site drainage system that is consistent with the conceptual street alignments and grading plan within the various planning areas of THE VILLAGES OF LAKEVIEW Specific Plan. Storm drain facility alignments and sizes may change during final Project development phases, and during the Ramona Expressway expansion project, which is led by the County of Riverside. Additional facilities may be needed to address the drainage needs within each planning area. These additional facilities may consist of a combination of street flows, storm drain pipes, and man-made earthen channels.

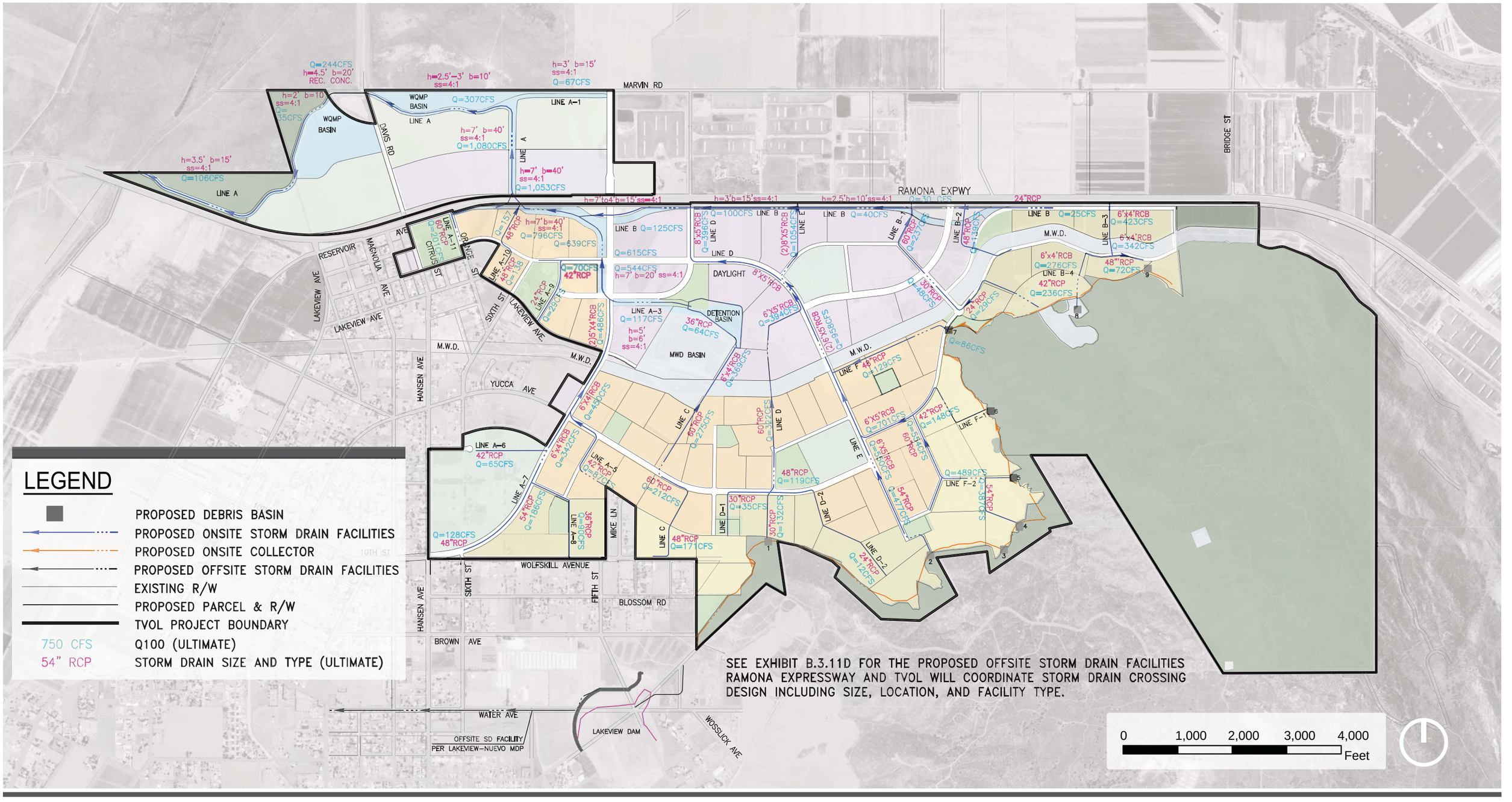
THE VILLAGES OF LAKEVIEW is proposing to build storm drain facilities needed to collect and convey Project storm flows in a manner that will protect the development and nearby downstream properties consistent with the standards and guidelines established by the RCFC&WCD. **Exhibits B.3.11C** and **B.3.11D** summarize facilities planned to be constructed by THE VILLAGES OF LAKEVIEW at build-out. At build-out, THE VILLAGES OF LAKEVIEW drainage system will be connected to the Ramona Expressway drainage system. THE VILLAGES OF LAKEVIEW drainage system has been designed to accommodate future improvements proposed for the Ramona Expressway. A typical Ramona Expressway expansion storm drain crossing would be a culvert crossing that connects to the backbone storm drain facilities from THE VILLAGES OF LAKEVIEW (see **Exhibit B.3.11E**).

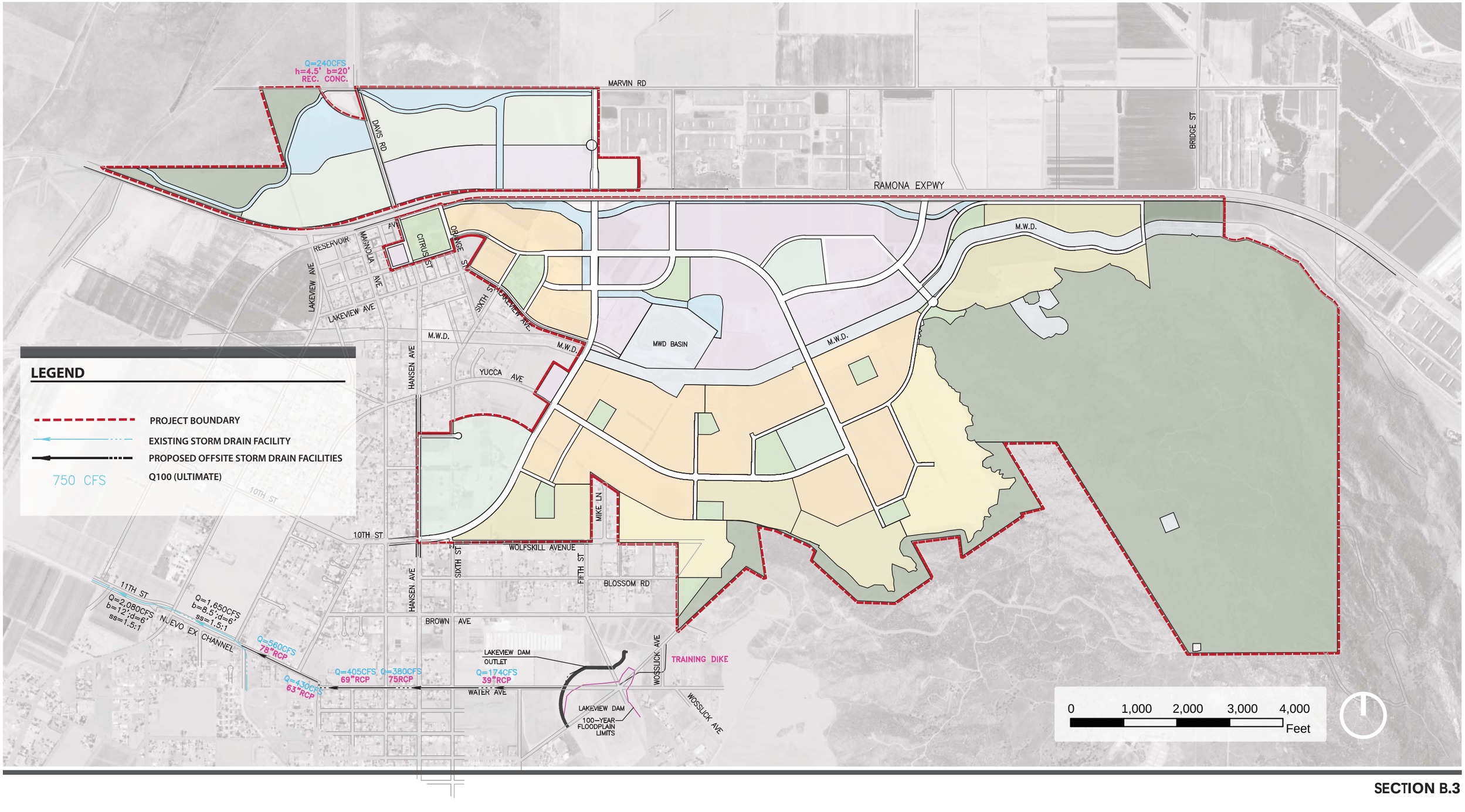
In its existing state, the Ramona Expressway is subject to flooding; however, under the County's General Plan and other concurrent circulation improvement efforts, the Ramona Expressway is proposed to be widened and flood proofed. The existing Riverside County General Plan Circulation Element designates the Ramona Expressway as an expressway with a right-of-way width from 184' to 220'. The General Plan further designates the Ramona Expressway as the Hemet to Corona/Lake Elsinore Community and

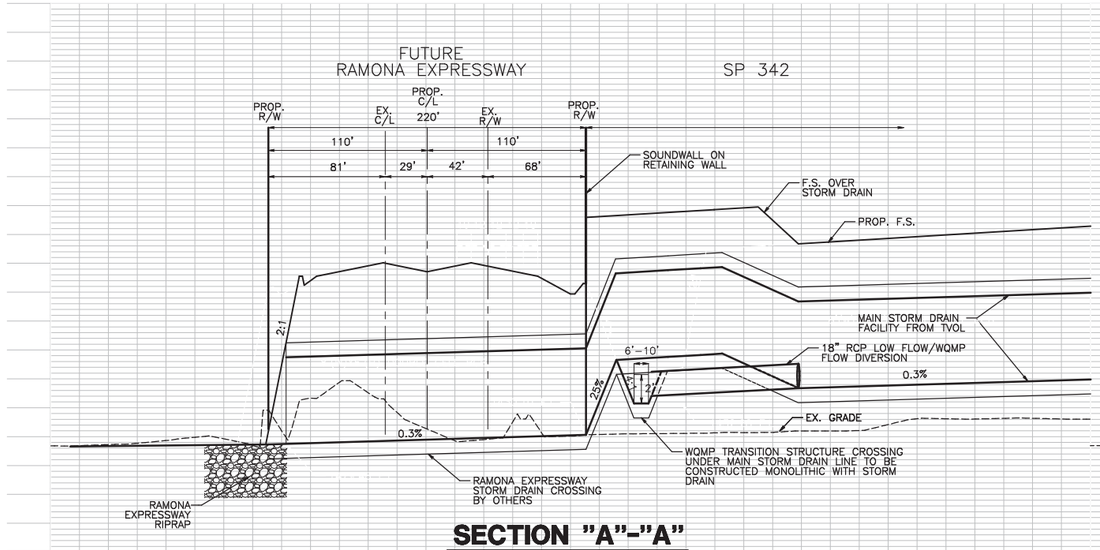
Environmental Transportation (CETAP) Corridor. Subsequent to adoption of the General Plan, the Hemet to Corona/Lake Elsinore CETAP corridor has been designated as the Mid County Parkway. Improvement of the Ramona Expressway will be accomplished by others through one of many possible mechanisms. Currently, the Riverside County Transportation Commission (RCTC) is processing environmental documentation for construction of the Mid County Parkway. THE VILLAGES OF LAKEVIEW and RCTC are collaborating to insure the design of each project's drainage system is consistent such that the connection of the two systems can ultimately be accomplished. In the event THE VILLAGES OF LAKEVIEW develops adjacent to and upstream of the Ramona Expressway prior to improvements to the Ramona Expressway, THE VILLAGES OF LAKEVIEW will construct interim facilities as approved by RCFC&WCD and the Riverside County Transportation Department.

Off site, south of the Project, THE VILLAGES OF LAKEVIEW proposes a training dike east of the Lakeview Dam and a series of RCPs downstream of the Lakeview Dam per the adopted Lakeview/Nuevo Master Drainage Plan. These storm drain facilities will direct all outflows from the dam, westerly to the existing Nuevo channel. A concrete lined rectangular open channel is proposed along the north side of the dump area located at the southwest corner of Davis Road and Marvin Road. This channel connects onsite earthen bottom open channel. A concrete lined open channel is selected to minimize a footprint within the dump area (**Exhibit B.3.11D**).

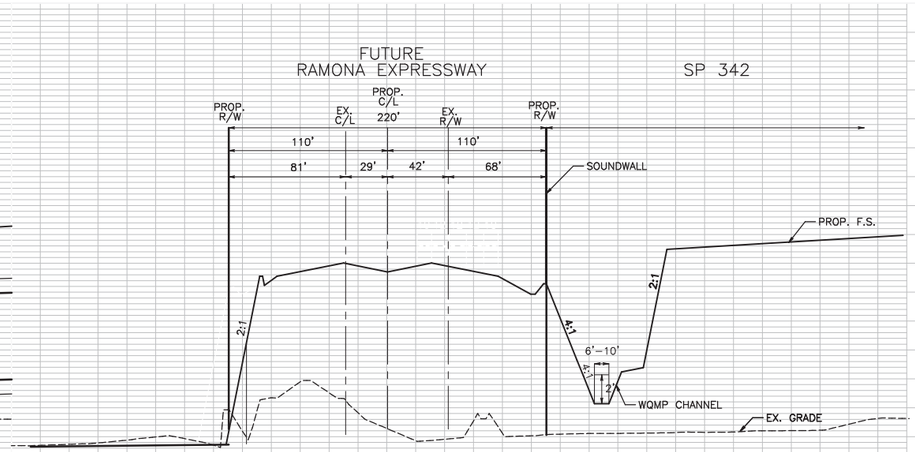

EXISTING 100 YEAR FLOODPLAIN LIMITS
MARVIN RD
EXISTING 100 YEAR FLOODPLAIN LIMITS
EXISTING 100 YEAR FLOODPLAIN LIMITS
BRIDGE ST
DAVIS RD
RAMONA EXPWY
RCFCD
SAN JACINTO RIVER
EXISTING 100 YEAR FLOODPLAIN LIMITS
RESERVOIR
AVE
FERN
AVE
CITRUS ST
ORANGE ST
MAGNOLIA AVE
LAKEVIEW AVE
LAKEVIEW AVE
SIXTH ST
LAKEVIEW AVE
M.W.D.
M.W.D.
M.W.D.
HANSEN AVE
YUCCA AVE
10TH ST
10TH ST
MIKE LN
WOLFSKILL AVENUE
SIXTH ST
FIFTH ST
BLOSSOM RD
POPPY RD
AVE
CORSO ALTO
HANSEN AVE
EXISTING 100-YEAR FLOODPLAIN LIMITS
BROWN AVE
LAKEVIEW DAM OUTLET
WOSSLICK AVE
WATER AVE
LAKEVIEW DAM
100-YEAR FLOODPLAIN LIMITS
WOSSLICK AVE
LEGEND
TVOL PROJECT BOUNDARY
EXISTING 100-YEAR FLOODPLAIN
POST-DEVELOPMENT 100-YEAR FLOODPLAIN
EXISTING R/W
PROPOSED PARCEL & R/W
0
1,000
2,000
3,000
4,000
Feet


MARVIN RD
BRIDGE ST
RAMONA EXPWY
DAVIS RD
LINE A
LINE A-1
WQMP BASIN
Q=244CFS h=4.5' b=20' REC. CONC.
h=2' b=10' ss=4:1 Q=35CFS
h=3.5' b=15' ss=4:1 Q=106CFS
h=2.5'-3' b=10' ss=4:1
Q=307CFS
h=3' b=15' ss=4:1 Q=67CFS
h=7' b=40' ss=4:1 Q=1,080CFS
h=7' b=40' ss=4:1 Q=1,053CFS
h=7'to4'b=15'ss=4:1
h=3'b=15'ss=4:1
h=2.5'b=10'ss=4:1
Q=30 CFS
24"RCP
LINE B Q=25CFS
6'x4'RCB Q=423CFS
6'x4'RCB Q=342CFS
M.W.D.
LINE B-3
LINE B-4
6'x4'RCB Q=276CFS
42"RCP Q=236CFS
48"RCP Q=72CFS
LINE B Q=125CFS
Q=615CFS
LINE B Q=100CFS
LINE B Q=40CFS
8'x5'RCB Q=1054CFS
LINE B-1
LINE B-2
60"RCP Q=237CFS
48"RCP Q=130CFS
LINE D
LINE E
Q=639CFS
Q=796CFS
48"RCP
60"RCP Q=270CFS
CITRUS ST
ORANGE ST
LINE A-10
48"RCP Q=138
Q=70CFS 42"RCP
Q=544CFS h=7' b=20' ss=4:1
DAYLIGHT 8'X5'RCB
24"RCP LINE A-9 Q=25CFS
2)5'X4'RCB Q=486CFS
LINE A-3 Q=117CFS
h=5' b=6' ss=4:1
36"RCP Q=64CFS
DETENTION BASIN
MWD BASIN
6'X5'RCB Q=494CFS
30"RCP Q=48CFS
2)8'X5'RCB Q=3960CFS
6'X4'RCB Q=369CFS
6'X4'RCB Q=430CFS
6'X5'RCB Q=701CFS
LINE F 48"RCP Q=129CFS
42"RCP Q=148CFS
Q=86CFS
LINE F-1
LINE F-2
Q=489CFS
54"RCP Q=538CFS
LINE C
LINE D
60"RCP Q=275CFS
60"RCP Q=327CFS
6'X5'RCB Q=550CFS
60"RCP Q=534CFS
54"RCP Q=477CFS
48"RCP Q=119CFS
LINE A-6 42"RCP Q=65CFS
LINE A-7
LINE A-5 42"RCP Q=97CFS
6'X4'RCB Q=342CFS
54"RCP Q=180CFS
60"RCP Q=212CFS
Q=128CFS 48"RCP
LINE A-8 36"RCP Q=90CFS
MIKE LN
48"RCP Q=171CFS
LINE D-1
30"RCP Q=35CFS
30"RCP Q=132CFS
LINE D-2
24"RCP Q=120CFS
LINE D-2-1
LINE D-2-2
WOLFSKILL AVENUE
SIXTH ST
FIFTH ST
BLOSSOM RD
HANSEN AVE
BROWN AVE
YUCCA AVE
LAKEVIEW AVE
RESERVOIR AVE
MAGNOLIA AVE
WATER AVE
OFFSITE SD FACILITY PER LAKEVIEW-NUEVO MDP
LAKEVIEW DAM
WOSSLICK AVE
10TH ST
LEGEND
PROPOSED DEBRIS BASIN
PROPOSED ONSITE STORM DRAIN FACILITIES
PROPOSED ONSITE COLLECTOR
PROPOSED OFFSITE STORM DRAIN FACILITIES
EXISTING R/W
PROPOSED PARCEL & R/W
TVOL PROJECT BOUNDARY
750 CFS Q100 (ULTIMATE)
54" RCP STORM DRAIN SIZE AND TYPE (ULTIMATE)
SEE EXHIBIT B.3.11D FOR THE PROPOSED OFFSITE STORM DRAIN FACILITIES RAMONA EXPRESSWAY AND TVOL WILL COORDINATE STORM DRAIN CROSSING DESIGN INCLUDING SIZE, LOCATION, AND FACILITY TYPE.
0 1,000 2,000 3,000 4,000 Feet


Q=240CFS
h=4.5' b=20'
REC. CONC.
MARVIN RD
DAVIS RD
RAMONA EXPWY
BRIDGE ST
M.W.D.
MWD BASIN
RESERVOIR AVE
MAGNOLIA AVE
CITRUS ST
ORANGE ST
SIXTH ST
LAKEVIEW AVE
HANSEN AVE
YUCCA AVE
10TH ST
MIKE LN
FIFTH ST
WOLFSKILL AVENUE
BLOSSOM RD
BROWN AVE
11TH ST
Q=2,080CFS
b=12';d=6'
ss=1.5:1
NUEVO EX CHANNEL
Q=1,650CFS
b=8.5';d=6'
ss=1.5:1
Q=560CFS
78"RCP
Q=430CFS
63"RCP
Q=405CFS
69"RCP
Q=380CFS
75RCP
LAKEVIEW DAM
OUTLET
Q=174CFS
39"RCP
WATER AVE
WOSSLICK AVE
TRAINING DIKE
LAKEVIEW DAM
100-YEAR
FLOODPLAIN
LIMITS
LEGEND
PROJECT BOUNDARY
EXISTING STORM DRAIN FACILITY
PROPOSED OFFSITE STORM DRAIN FACILITIES
750 CFS
Q100 (ULTIMATE)
0
1,000
2,000
3,000
4,000
Feet



SECTION "A"-"A"



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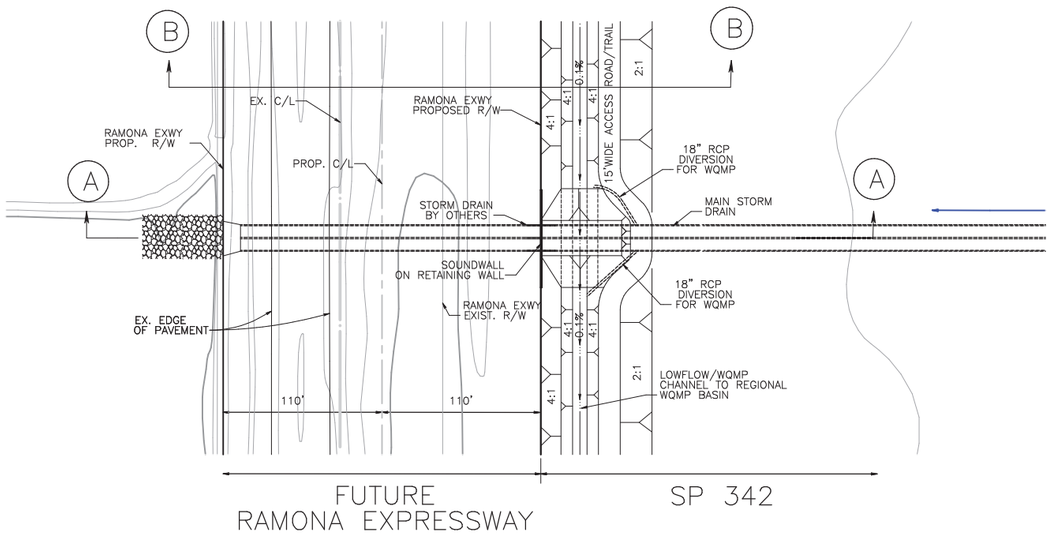
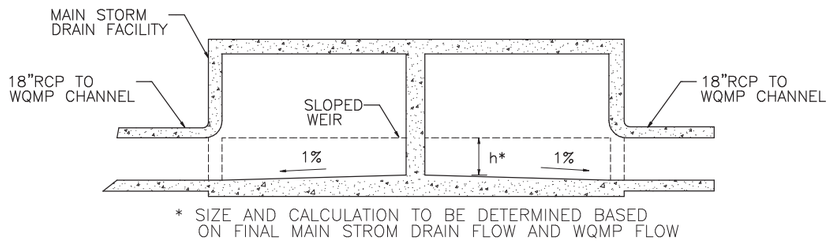




CONCEPT WQMP FLOW DIVERSION STRUCTURE DETAIL WITH RCB

N.T.S.

3. Proposed Drainage Plan with Project Phasing

On-site and off-site storm drain facilities required to serve the Project have been conceptually planned in phases, in conformance with requirements of the RCFC&WCD (see **Exhibits B.3.11F through B.3.11I – Conceptual Storm Drain Phasing**).

Phase 1, which is north of the Ramona Expressway, will build on-site proposed facilities from the Ramona Expressway to the SJR in order to protect the Phase 1 area from off-site runoff south of the Ramona Expressway.

The following collector systems may be proposed along the southerly boundary of Phase 1 (see **Exhibit B.3.11F**):

a. Build permanent onsite storm drain facilities within the phase boundary.

b. Utilize existing off-site ditch from Orange Street to LINE A crossing along south of the Ramona Expressway;

c. Build swale from Hansen Avenue to LINE A located between ultimate right-of-way and existing right-of-way along north of the Ramona Expressway.

d. Build swale from the existing undercrossing at Magnolia Avenue to LINE A crossing PA 49.

Storm drain facilities for Phase 2 may include the following (see **Exhibit B.3.11G**):

a. Build permanent on-site storm drain facilities within the phase boundary.

b. Build permanent off-site storm drain facilities east of the Lakeview Dam and downstream of the Lakeview Dam outlet consistent with the Lakeview/Nuevo MDP. Flow rates and storm drain facility size and type shall be reevaluated during the final design.

c. Build a permanent on-site debris basin and collector system along toe of slope near the south Project boundary.

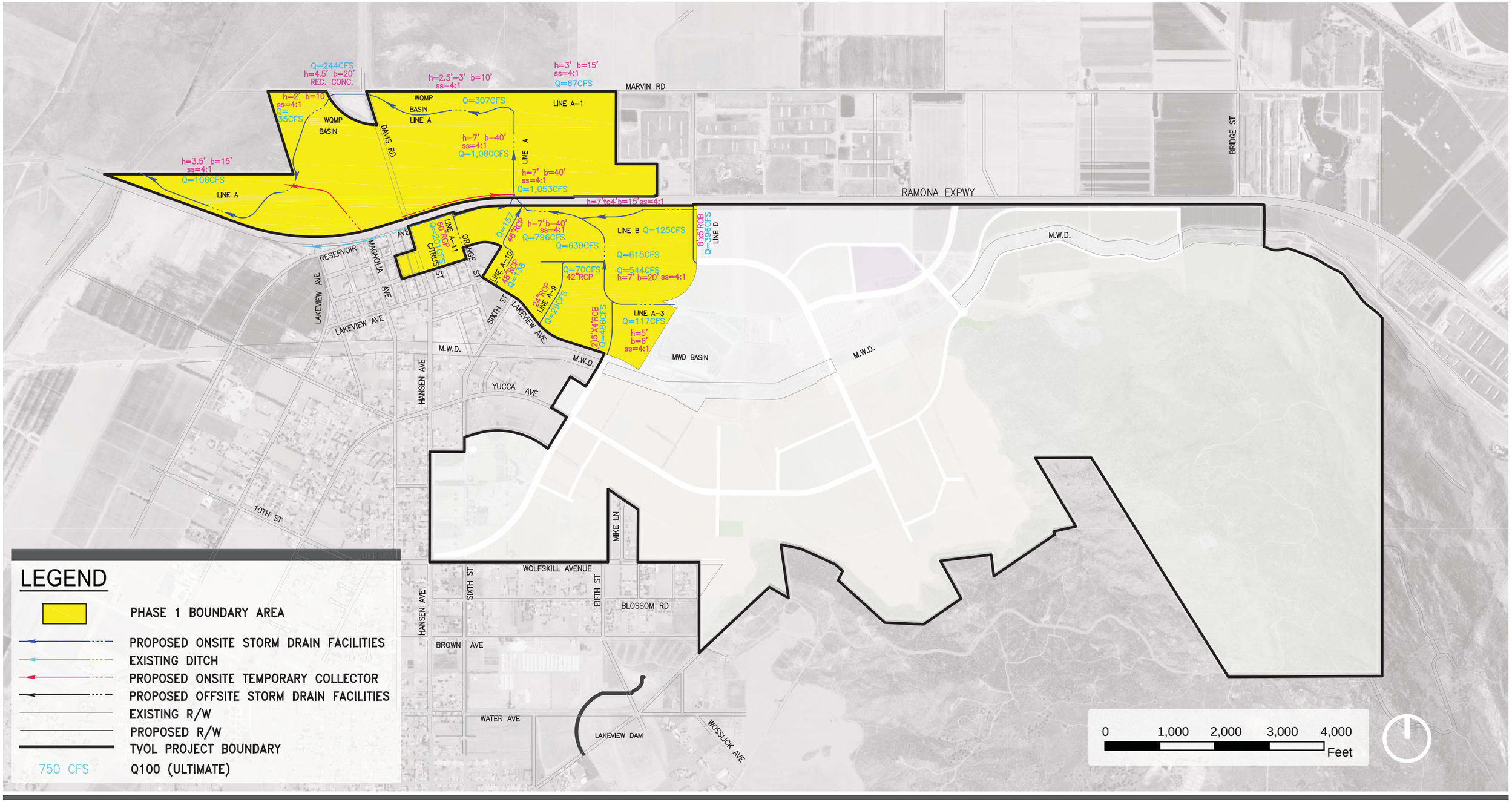
d. Build temporary on-site sump areas south of Ramona Expressway. The sump areas are constructed for the purpose of 1) WQMP flow collection from developed areas, 2) mitigation of hydrological factors including peak flow, volume, and duration to the north of the Ramona Expressway dairy areas, and 3) protection of the

Ramona Expressway as a secondary access road. For the WQMP, the sump areas can be used for the interim WQMP basin, or the WQMP flows can be pumped out to LINE B, which eventually deliver the flow to LINE A and the main WQMP basin. Developers will maintain the sump areas.

e. Build a temporary channel to deliver WQMP and 100-year storm flows to the proposed sump areas.

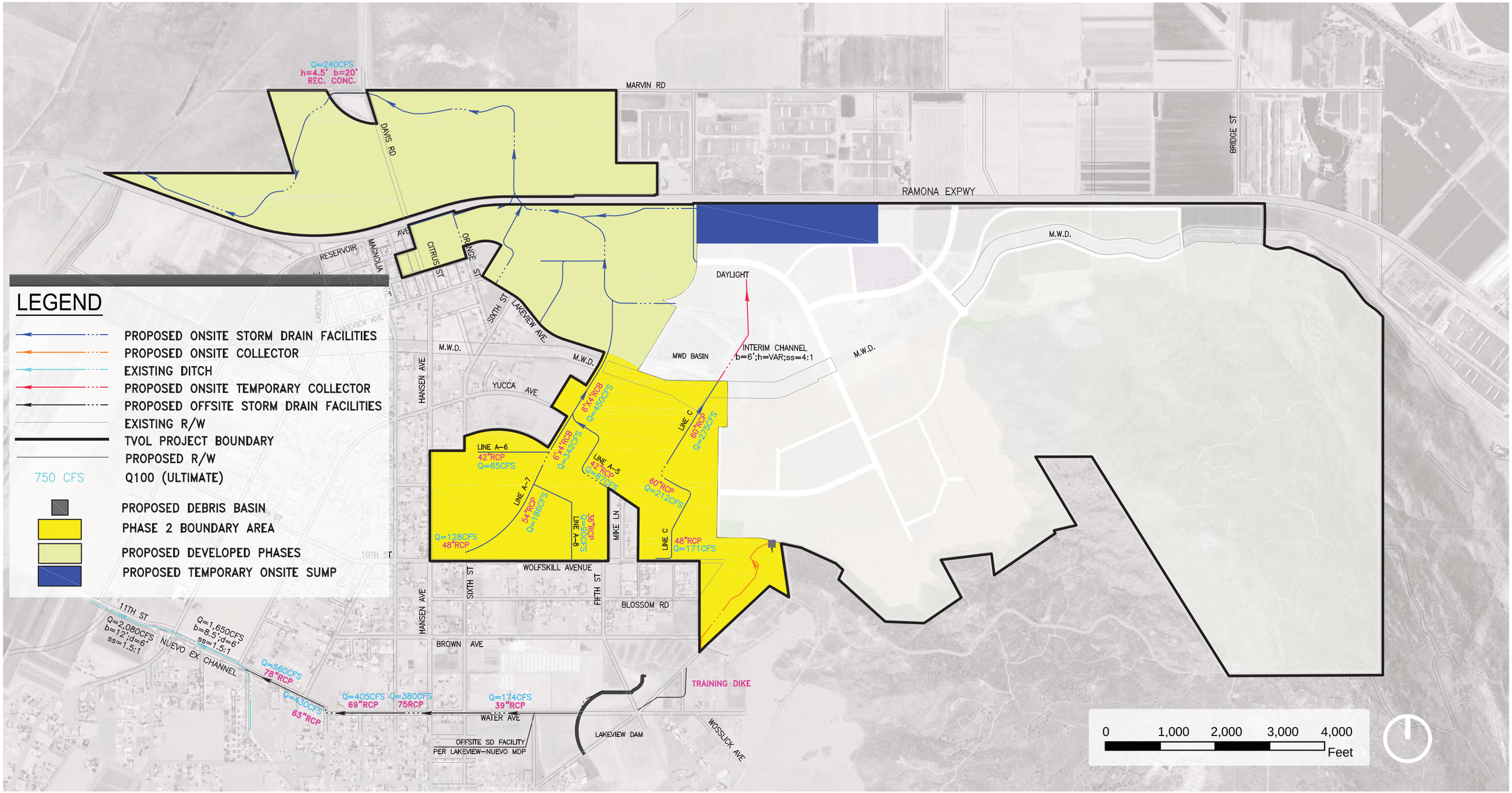
Storm drain facilities for Phase 3 permanent and temporary on-site storm drain facilities including the central detention basin near MWD basin. (see **Exhibit B.3.11H**). Phase 3 involves construction of the interim debris control from the Lakeview Mountains at five collection points. Those five collection points requires the construction of a crossing over the existing MWD's transmission pipeline in order to build a temporary debris basin at south of MWD's right-of-way. A series of temporary collector channel will be constructed to protect the Project boundary along the south outside of MWD's right-of-way.

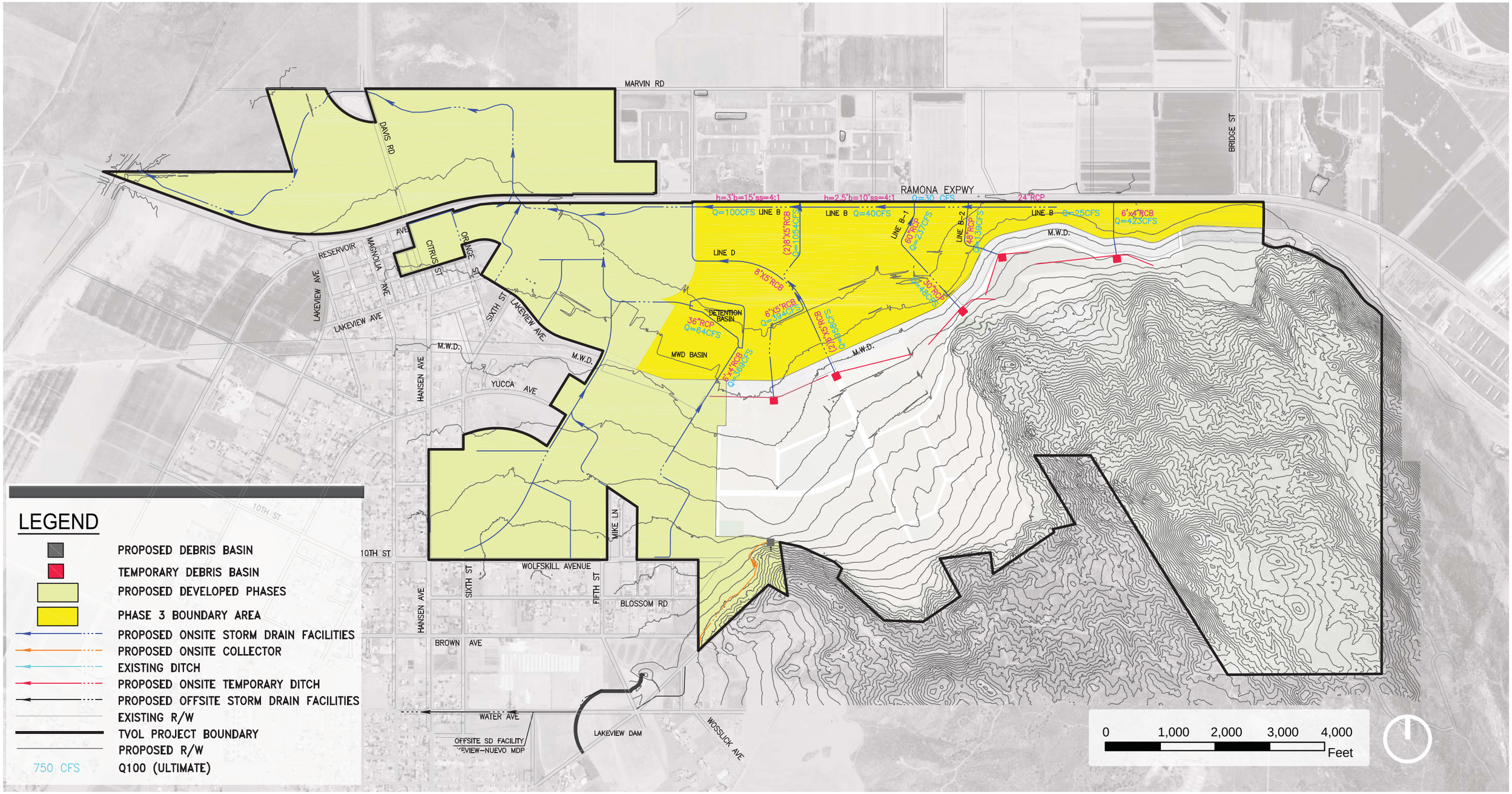
Storm drain facilities for Phase 4 will need to complete the balance of the permanent drainage facilities, including all the collector channels and permanent debris basins along the toe of slope (see **Exhibit B.3.11I**).



LEGEND

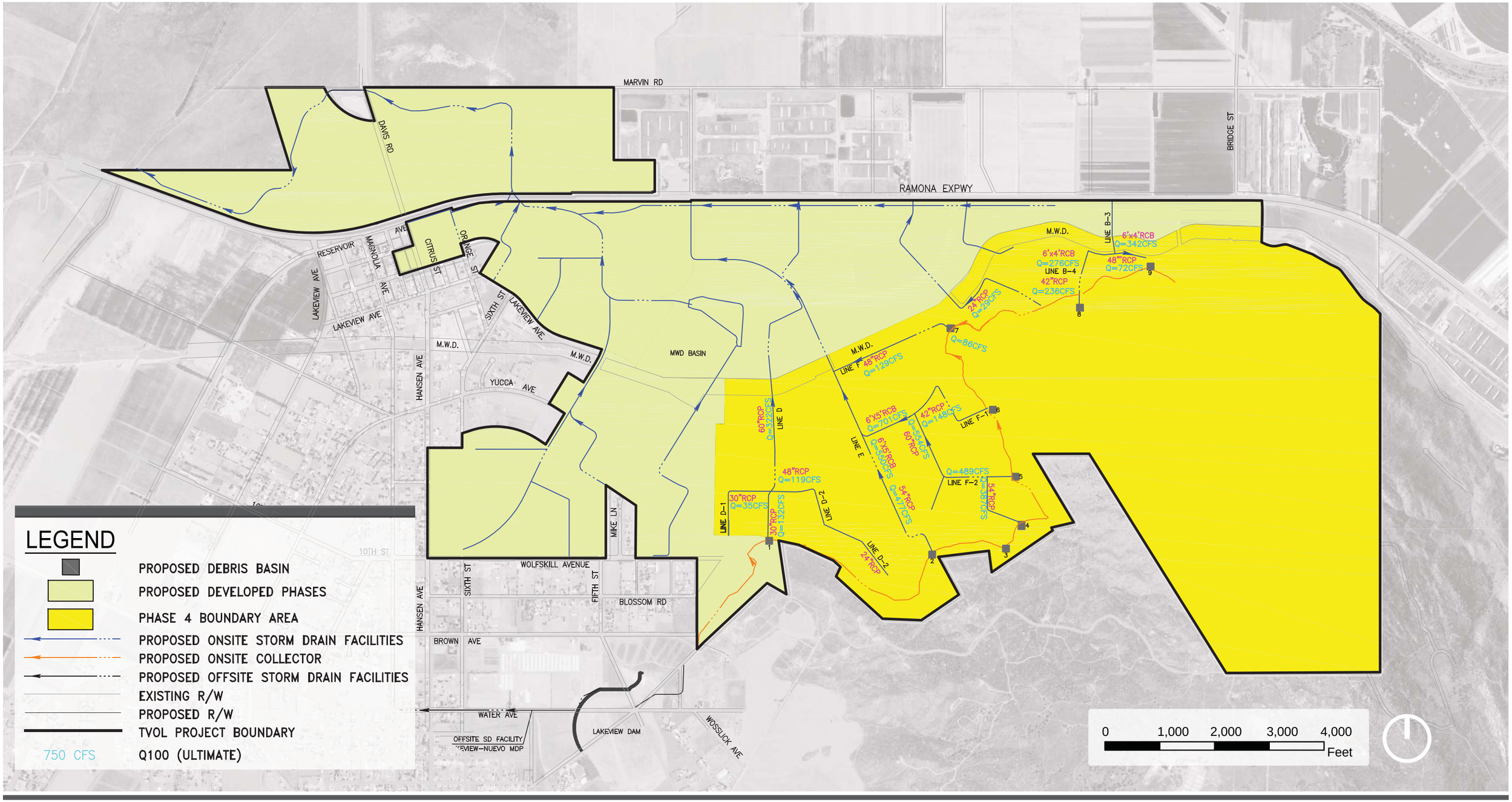
- PHASE 1 BOUNDARY AREA
- PROPOSED ONSITE STORM DRAIN FACILITIES
- EXISTING DITCH
- PROPOSED ONSITE TEMPORARY COLLECTOR
- PROPOSED OFFSITE STORM DRAIN FACILITIES
- EXISTING R/W
- PROPOSED R/W
- TVOL PROJECT BOUNDARY
- 750 CFS — Q100 (ULTIMATE)


LEGEND
PROPOSED ONSITE STORM DRAIN FACILITIES
PROPOSED ONSITE COLLECTOR
EXISTING DITCH
PROPOSED ONSITE TEMPORARY COLLECTOR
PROPOSED OFFSITE STORM DRAIN FACILITIES
EXISTING R/W
TVOL PROJECT BOUNDARY
PROPOSED R/W
750 CFS
Q100 (ULTIMATE)
PROPOSED DEBRIS BASIN
PHASE 2 BOUNDARY AREA
PROPOSED DEVELOPED PHASES
PROPOSED TEMPORARY ONSITE SUMP
Q=240CFS
h=4.5' b=20'
REC. CONC.
MARVIN RD
DAVIS RD
RAMONA EXPWY
BRIDGE ST
M.W.D.
DAYLIGHT
MWD BASIN
INTERIM CHANNEL
b=6';h=VAR;ss=4:1
RESERVOIR
MAGNOLIA AVE
CITRUS ST
ORANGE ST
SIXTH ST
LAKEVIEW AVE.
HANSEN AVE
YUCCA AVE
LINE A-6
42"RCP
Q=65CFS
6'X4'RCB
Q=342CFS
6'X4'RCB
Q=450CFS
LINE A-5
42"RCP
Q=176CFS
LINE A-7
54"RCP
Q=180CFS
LINE A-8
36"RCP
Q=190CFS
LINE C
60"RCP
Q=275CFS
60"RCP
Q=212CFS
48"RCP
Q=171CFS
Q=128CFS
48"RCP
MIKE LN
WOLFSKILL AVENUE
FIFTH ST
BLOSSOM RD
BROWN AVE
WATER AVE
11TH ST
Q=2,080CFS
b=12';d=6'
ss=1.5:1
NUEVO EX CHANNEL
Q=1,650CFS
b=8.5';d=6'
ss=1.5:1
Q=560CFS
78"RCP
Q=430CFS
63"RCP
Q=405CFS
69"RCP
Q=380CFS
75RCP
Q=174CFS
39"RCP
TRAINING DIKE
LAKEVIEW DAM
WOSSLICK AVE
OFFSITE SD FACILITY
PER LAKEVIEW-NUEVO MDP
0
1,000
2,000
3,000
4,000
Feet



LEGEND

- PROPOSED DEBRIS BASIN
- TEMPORARY DEBRIS BASIN
- PROPOSED DEVELOPED PHASES
- PHASE 3 BOUNDARY AREA
- PROPOSED ONSITE STORM DRAIN FACILITIES
- PROPOSED ONSITE COLLECTOR
- EXISTING DITCH
- PROPOSED ONSITE TEMPORARY DITCH
- PROPOSED OFFSITE STORM DRAIN FACILITIES
- EXISTING R/W
- TVOL PROJECT BOUNDARY
- PROPOSED R/W
- 750 CFS — Q100 (ULTIMATE)



LEGEND

- PROPOSED DEBRIS BASIN
- PROPOSED DEVELOPED PHASES
- PHASE 4 BOUNDARY AREA
- PROPOSED ONSITE STORM DRAIN FACILITIES
- PROPOSED ONSITE COLLECTOR
- PROPOSED OFFSITE STORM DRAIN FACILITIES
- EXISTING R/W
- PROPOSED R/W
- TVOL PROJECT BOUNDARY
- 750 CFS — Q100 (ULTIMATE)

b. Water Quality Management Plan

THE VILLAGES OF LAKEVIEW Specific Plan site is located in the SJR watershed, and is generally located between Bridge Street and Reservoir Avenue, along the Ramona Expressway, and north of the Lakeview Mountains. The Specific Plan covers an area of approximately 2,883 acres, a large portion of which is a hilly conservation area to the southeast of the Project. The Project proposes to develop approximately 1,735 acres with a total of 8,725 dwelling units. The existing Ramona Expressway and any related future roadway work and treatment control Best Management Practices (BMPs) are not a part of this Project.

1. Undeveloped Flows

   THE VILLAGES OF LAKEVIEW proposes a number of debris basins (Debris Basins per **Exhibit B.3.12A – Preliminary WQMP**) that will capture debris from their respective mountainous tributary areas. Runoff from the debris basins will flow towards the Water Quality Basins (WQBs), in the northwest portion of the Project site, along with the on-site-generated BMP runoff.

2. Developed Flows

   The Project proposes all developed on-site generated runoff to be conveyed along proposed curb and/or gutters or roadside swales to storm collection inlet points for further conveyance via proposed storm drain systems to earthen channel. Developed on-site generated runoff will then be conveyed by these storm drain systems to the WQBs at the northwest portion of the Project. At the entrance to the basins, there is a proposed weir structure that ensures that all BMP flows from the main storm drain system are routed into the proposed WQBs. The WQBs provides the function of treating all of the Project tributary areas including existing off-site flows and developed on-site generated runoff before it is discharged to downstream receiving water bodies. Even though the WQB provides complete treatment, this Project proposes additional pre-treatment BMP measures, as an added assurance by building redundancy into the WQMP. Therefore, the proposed WQBs and debris basins will fully address the management of the Project water quality to protect receiving waters.

   Other measures that will be proposed are a combination of structural and non-structural source control measures that will target the removal of certain sources of pollutants and organics, in an effort to reduce the Project water quality problems at the source.

3. Proposed Treatment Control BMP

The Project site lies in a watershed that drains to the SJR, and the drainage flow continues to Canyon Lake, then to Lake Elsinore. On very infrequent occasions, flows from Lake Elsinore discharge to Temescal Wash and flow to the Santa Ana River Reach 3, at Prado Dam. From Prado Dam it will be discharged to the Pacific Ocean via the Santa Ana River Reaches 1 and 2.

Pre-existing water quality problems that have been identified based on the Federal 303(d) list of impaired water bodies are Canyon Lake (impaired for nutrients and pathogens); Lake Elsinore (impaired for nutrients, organic enrichments/low dissolved oxygen, sedimentation/siltation and unknown toxicity), and the Santa Ana River Reach 3 (impaired for pathogens). The proposed WQBs on either side of Davis Road located at the northwest corner of the Project site, and the debris basins located at the foothills, provide the function of treating the entire on-site and off-site-generated BMP design runoff before it is discharged to downstream receiving storm drain systems or water bodies. The proposed WQBs will address the management of the Project on-site runoff quality by functioning as a treatment control BMP to meet the requirements of MS4 permit at the Project site (Order No. R8-2010-0033, NPDES No. CAS 618033; Santa Ana Regional Water Quality Control Board).

b. Hydromodification

The Project conducted a hydromodification analysis and addendum to provide a technical evaluation of the potential for THE VILLAGES OF LAKEVIEW to cause hydrologically significant impacts on the existing water balance, geomorphology, and habitat of the site, as well as the potential for the proposed Project Design Features (PDFs) to prevent or minimize those impacts. A long-term, continuous simulation hydrologic model of the Project area was utilized to analyze the pre- and post-development conditions including the existing and planned drainage system and proposed hydrologic source controls and detention basins (flood control and water quality). This approach is necessary to correctly analyze the effects of hydromodification on the water balance and the frequency, duration, and timing of geomorphologically significant flows. In addition to the quantitative modeling approach, the Project has performed a qualitative technical assessment of cumulative impacts to the SJR and the SJWA wetland area, and vernal pool areas north of the Project.

c. Drainage Plan Development Standards

1. Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.

2. Q10 and Q100 flow levels shall be kept within limits set by County Ordinance 460, Article XI. Should water levels exceed such limits, adequate drainage facilities shall be provided.

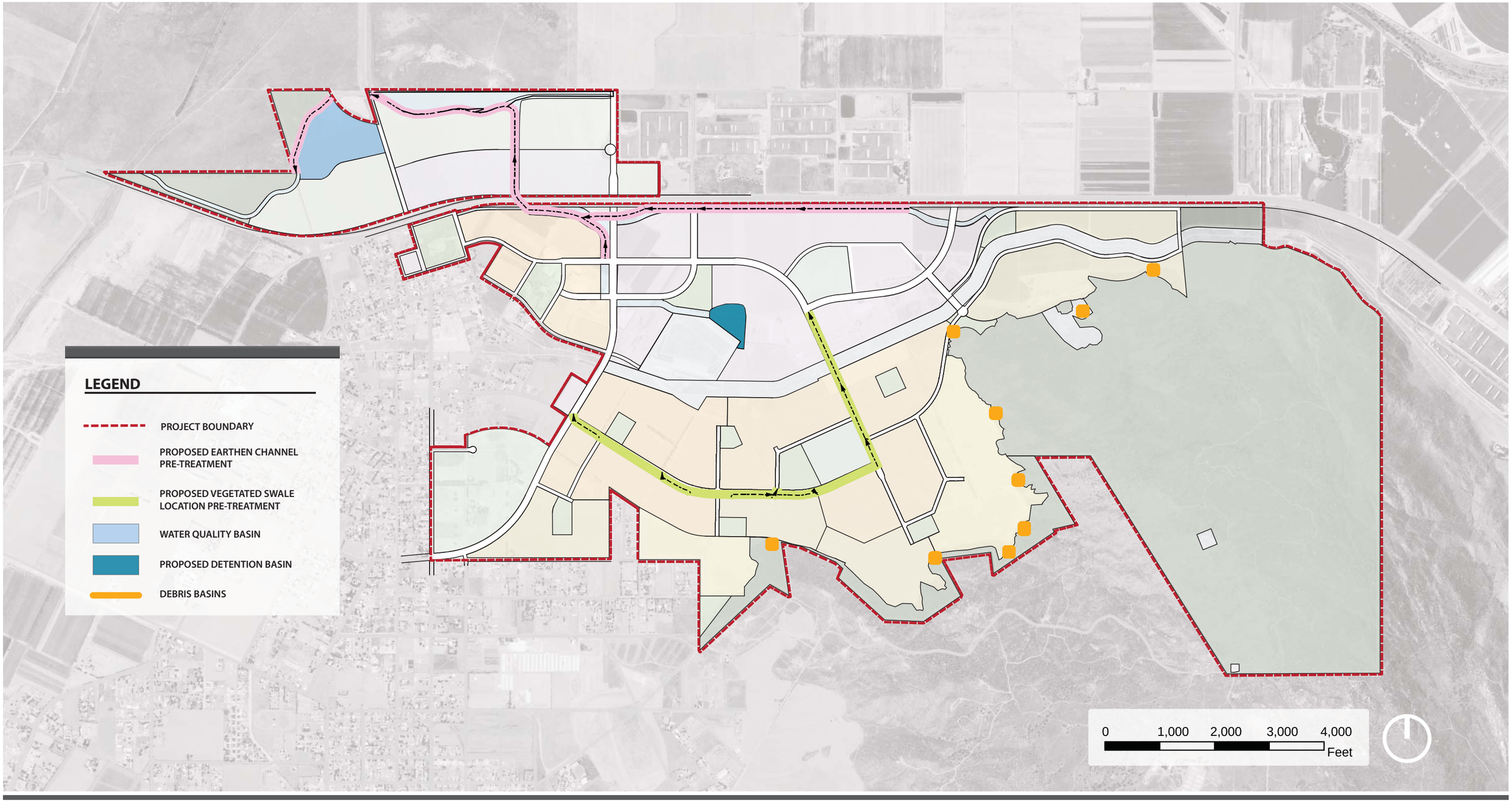
3. Storm drain facilities shall ensure the acceptance and disposal of 100-year storm runoff without damage to adjacent properties.

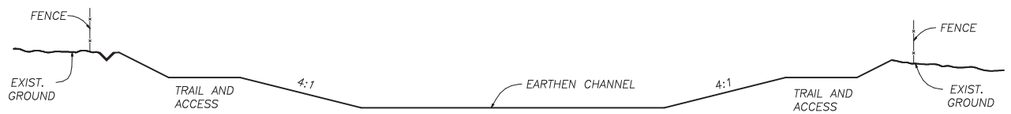
4. All areas within the Specific Plan will be required to prepare a Storm Water Pollutant Prevention Plan (SWPPP) in accordance with the requirements of the National Pollutant Discharge Elimination System (NPDES) standards, as part of a final design of an application.

5. The proposed Preliminary Water Quality Management Plan (PWQMP) water quality and debris basins, as shown in **Exhibits B.3.12A** and **12B – Preliminary Water Quality Management Plan**, will address management of the Project on-site runoff quality by functioning as a treatment control BMP to meet the requirements of MS4 permit at the Project site (Order No. R8-2010-0033, NPDES No. CAS 618033; Santa Ana Regional Water Quality Control Board).

6. All drainage and storm drain facilities may be maintained by one of the following: the RCFC&WCD, Riverside County Transportation Department, or other public agency, a community services mechanism such as a CSA, CSD, or Homeowners' Association (HOA).

7. A traffic control plan shall be submitted for approval to RCFCWCD and the County Transportation Department if the construction of the storm drain channel through Ramona Expressway could potentially affect traffic.

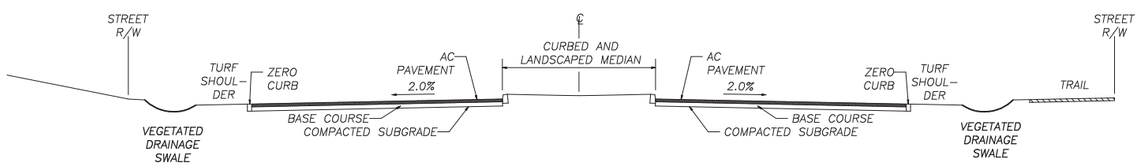

LEGEND
PROJECT BOUNDARY
PROPOSED EARTHEN CHANNEL PRE-TREATMENT
PROPOSED VEGETATED SWALE LOCATION PRE-TREATMENT
WATER QUALITY BASIN
PROPOSED DETENTION BASIN
DEBRIS BASINS
0
1,000
2,000
3,000
4,000
Feet



SECTION "A" – "A"

TYPICAL EARTHEN CHANNEL SECTION

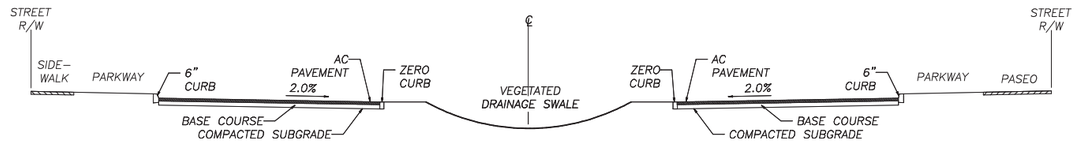
NTS



SECTION "B" – "B"

TYPICAL SECTION WITH BIOSWALE IN THE PARKWAY

NTS



SECTION "C" – "C"

TYPICAL SECTION WITH BIOSWALE IN THE MEDIAN

NTS

4. Landscaping Plan

a. Landscaping Plan Description

THE VILLAGES OF LAKEVIEW Project will use drought-tolerant landscaping techniques, which will include the use of reclaimed water, and the possibility of a partnership with Metropolitan Water District and/or other agencies that promote these types of techniques. The Project will also include the use of innovative irrigation systems that reduce irrigation runoff.

As illustrated on **Exhibits B.4.13A – Conceptual Landscape Plan, B.4.13B – Community Entry Plan,** and **B.4.13C – Street Tree Master Plan**, landscaping will play an important role in maintaining the overall character and theme, while emphasizing village continuity. This section of the Specific Plan provides a general description and development standards for the landscaping concept. Detailed landscaping information is provided in the Design Guidelines section of this Specific Plan. **Appendix B, Master Plant Palette,** lists all the different types of trees, shrubs, and vines that are allowed within the Project according to proposed location, as in entries, parks, trails, street trees, and slopes. **Appendix C, Prohibited Plants,** lists plants that are prohibited within the Project.

Entry monumentation will provide initial definition for the site at key access points. Refer to **Exhibit 13B – Community Entry Plan**, which illustrates the type and location of various entry monuments for the Specific Plan. Examples of landscape entries, village entries, and gated entries are shown in the Design Guidelines. At the time of submittal of the Village Refinement Plan, as discussed in Section B.11 Specific Plan Administration, details of plant types, monuments, and locations will be provided for each village.

1. Landscape Entries

   Entering into The Villages of Lakeview from the Ramona Expressway and the existing communities, visitors will pass through a series of landscaped areas. Because of their visibility from the expressway and surrounding areas, these landscape entries will serve as gateways, marking the site while reinforcing the character of the community through a landscape that respects the adjacent open space. They also serve as community character identifying elements. Appearing at key intersections, these landscape entries will be a distinctive combination of trees and shrub plantings that create the feeling of arriving somewhere special. In addition, they will help express the community's sustainable approach to design. Entry design will also incorporate a gateway element and/or signage consistent in form, material, and logo with the

architectural style of the residences, and the Lakeview/Nuevo Design Guidelines, where appropriate near Project boundaries, throughout the site.

2. Village Entries

Collector streets leading to villages and neighborhoods will be marked with a monument in the parkway and a garden area behind the sidewalk, opening the corners for visibility and way finding. The monument itself will be a wall or pilaster in materials that will reflect the character and architecture of the village, yet designed as part of the family of monuments for the entire community.

3. Gated Entries

Gated entries for private neighborhoods will be set back from the main road providing for a landscape approach. The gates will reflect the architecture of the village and will be placed in a motorcourt. Design of the entry, from the paving to the lighting, will be unique to the respective village in materials. Currently gated entries are not proposed within the Project, but there is the opportunity to add them during the Village Refinement Process.

4. Community Separator

In order to provide a visual separation and buffer between the City of San Jacinto and the Lakeview/Nuevo Community, including The Villages of Lakeview, a Community Separator is provided through open space/conservation provided in Planning Area 50G. In addition, there is a potential for a monument and/or landscaping in Planning Area 15. The Village Refinement Plan for the Enclave Village, as discussed in **Section B.11, Specific Plan Administration**, will define and provide more detail for any planned monument and/or landscaping.

5. Street Landscape

The character of THE VILLAGES OF LAKEVIEW is primarily focused on the street landscape. Parkway widths, consistent canopy trees, and park and entry spaces along the street will set the individual tone for each village. The **B.4.13C – Street Tree Master Plan** illustrates the types of trees planned for each of the main transportation corridors throughout the site, and the Landscape Street Sections, located in Section D, illustrate cross sections for various streets throughout the Project. A description of the proposed street landscaping is described below.

a. Ramona Expressway

Sycamore, Cottonwood, and Oak trees will be planted at the westernmost segment on the north side of the right-of-way to about the intersection of Lakeview Avenue, and on the north side of the right-of-way from the northwestern boundary of the Specific Plan area to the eastern end of the Specific Plan area. The landscaping of this roadway is subject to RCTC and Mid County Parkway project approval.

b. Town Center Boulevard/"F" Street, "B" Street "N" Street and "M" Street

– Arterial Highway, Enhanced Secondary A and Modified Collector

As the primary road into the heart of the community, the Town Center Boulevard/"F" Street will maintain an openness in accordance with the width of the street. Wide parkways will help to bring landscaping to the street edge. It also allows a further separation from the street edge to the multi-use trail on the south and residences on the north. Evergreen Elm with alternating Fan Palm will line Town Center Boulevard/"F" Street from the northern boundary of the River Bend Village to "B" Street, "B" Street from Orange Street to "N" Street, "N" Street from "B" Street to the Ramona Expressway and "M" Street. The median will be planted with the same canopy that is in the parkways providing for shaded driving in both directions. Clusters of succulent plantings may be used to provide accent and interest along the street.

c. "F" Street

– Enhanced Secondary B

The primary north/south axis "F" Street is also a major connection to the adjacent existing communities. From "B" Street to Hansen Avenue, it will be lined with Evergreen Elm and Camphor trees. Wide parkways allow for greater separation from the street edge to the multi-purpose trail to the west and the paseo to the east. Use of low-growing shrubs and groundcovers will characterize the parkways and medians. Clusters of succulent plantings may be used to provide accent and interest along the street.

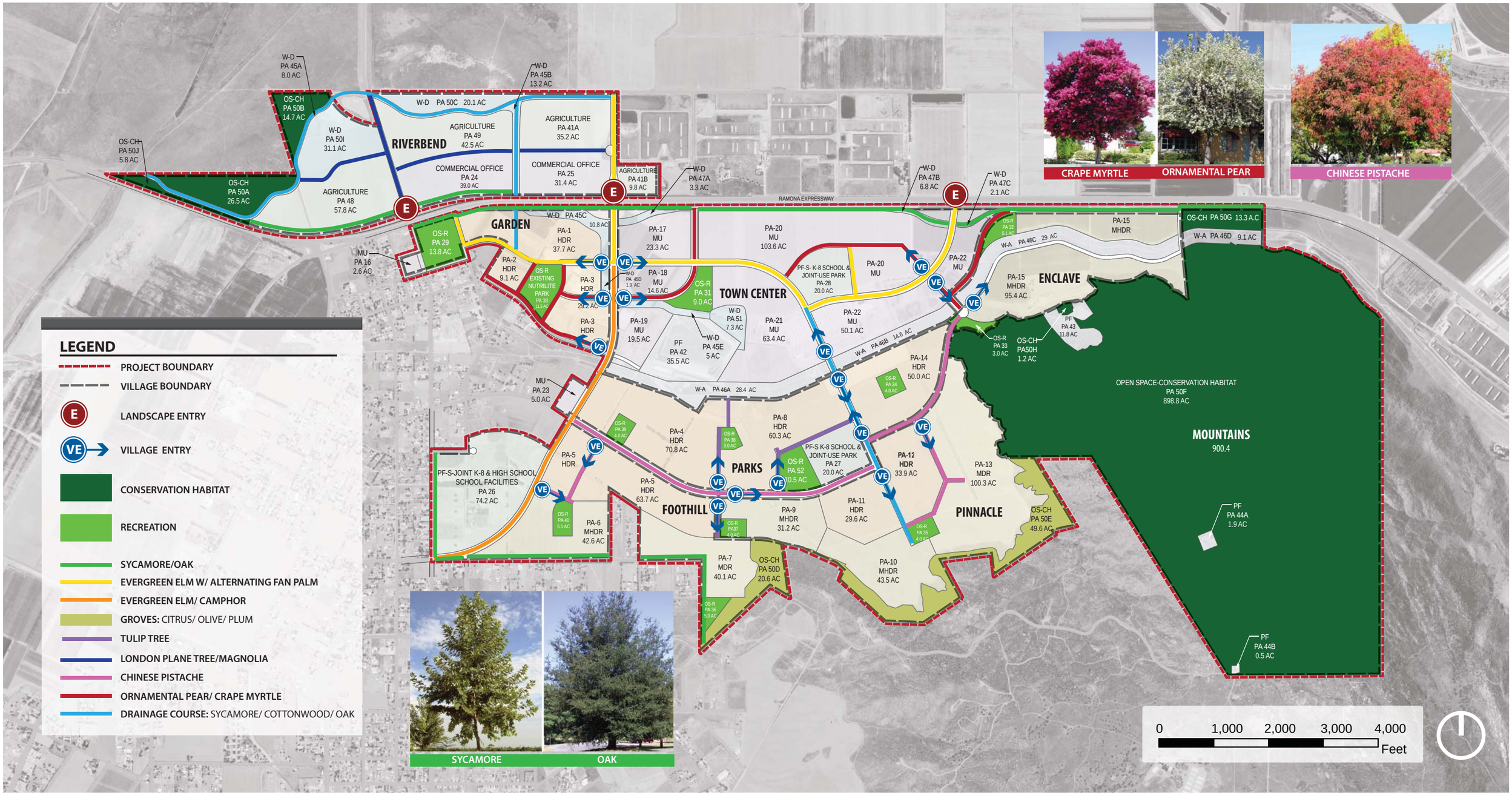
d. "H" Street, "I" Street, "J" Street, "O" Street, "R" Street and "Q" Street

– Enhanced Secondary A, and Modified Collector

Lined with Chinese Pistache trees in the median, "H" Street will begin to integrate the denser villages. Zero-edged curbs along "H" Street's edges and a curbed median will allow for turf-lined swales to take up storm water runoff from each side of the street. Parkways along "I" Street, "J" Street, "O" Street, "R" Street and "Q" Street will also be wide to allow for the swales and trees. Clusters of ornamental grasses may be used to provide accent and interest along the street.

e. Hansen Avenue, Wolfskill Avenue, Poppy Road

These streets will be lined with sycamore and oak trees, and there will be a multi-purpose community trail, which allows equestrian uses, consistent with the Lakeview Nuevo Design Guidelines. Between the trail and the residential property lines there will be at least 100 feet of open space (potential linear park). This open space will allow for adequate separation of the horses from the homes and as an overall community buffer to pre-existing residences to the south. The open space will contain a windrow with a simple textured ground plane.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OS-CH PA 50B 14.7 AC
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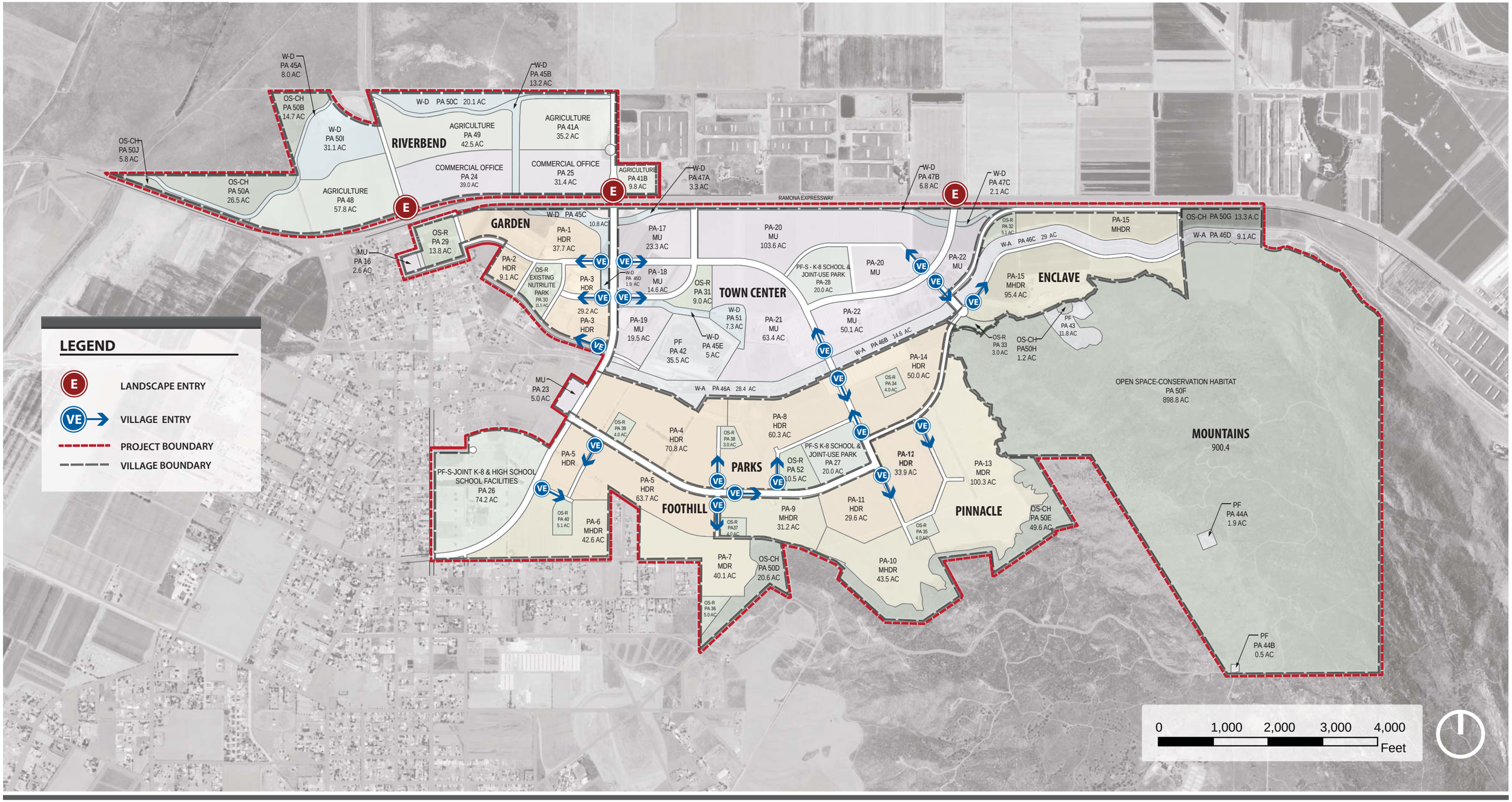
W-D PA 50C 20.1 AC
OS-CH PA 50J 5.8 AC
W-D PA 50I 31.1 AC
RIVERBEND
AGRICULTURE PA 49 42.5 AC
AGRICULTURE PA 41A 35.2 AC
COMMERCIAL OFFICE PA 24 39.0 AC
COMMERCIAL OFFICE PA 25 31.4 AC
OS-CH PA 50A 26.5 AC
AGRICULTURE PA 48 57.8 AC
AGRICULTURE PA 41B 9.8 AC
W-D PA 47A 3.3 AC
RAMONA EXPRESSWAY
W-D PA 47B 6.8 AC
W-D PA 47C 2.1 AC
E
GARDEN
W-D PA 45C 10.8 AC
OS-R PA 29 13.8 AC
MU PA 16 2.6 AC
PA-1 HDR 37.7 AC
PA-2 HDR 9.1 AC
OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
PA-3 HDR 29.2 AC
PA-17 MU 23.3 AC
PA-18 MU 14.6 AC
W-D PA 45D 1.9 AC
OS-R PA 31 9.0 AC
TOWN CENTER
PA-20 MU 103.6 AC
PF-S- K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
PA-20 MU
PA-22 MU
OS-R PA 32 5.1 AC
PA-15 MHDR
OS-CH PA 50G 13.3 A.C
W-A PA 46C 29 AC
W-A PA 46D 9.1 AC
PA-15 MHDR 95.4 AC
ENCLAVE
PF PA 43 11.8 AC
OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
PA-19 MU 19.5 AC
PF PA 42 35.5 AC
W-D PA 51 7.3 AC
W-D PA 45E 5 AC
PA-21 MU 63.4 AC
PA-22 MU 50.1 AC
W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
OS-R PA 34 4.0 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MOUNTAINS 900.4
MU PA 23 5.0 AC
W-A PA 46A 28.4 AC
OS-R PA 39 4.0 AC
PA-4 HDR 70.8 AC
OS-R PA 38 3.0 AC
PA-8 HDR 60.3 AC
PF-S K-8 SCHOOL & JOINT-USE PARK PA 27 20.0 AC
PA-12 HDR 33.9 AC
PA-13 MDR 100.3 AC
PF PA 44A 1.9 AC
PARKS
OS-R PA 52 10.5 AC
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
PA-5 HDR
PA-5 HDR 63.7 AC
FOOTHILL
PA-11 HDR 29.6 AC
PINNACLE
OS-CH PA 50E 49.6 AC
OS-R PA 40 5.1 AC
PA-6 MHDR 42.6 AC
PA-9 MHDR 31.2 AC
OS-R PA 35 4.0 AC
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
PA-10 MHDR 43.5 AC
OS-R PA 36 5.0 AC
PF PA 44B 0.5 AC
CRAPE MYRTLE
ORNAMENTAL PEAR
CHINESE PISTACHE
SYCAMORE
OAK
LEGEND
PROJECT BOUNDARY
VILLAGE BOUNDARY
LANDSCAPE ENTRY
VILLAGE ENTRY
CONSERVATION HABITAT
RECREATION
SYCAMORE/OAK
EVERGREEN ELM W/ ALTERNATING FAN PALM
EVERGREEN ELM/ CAMPHOR
GROVES: CITRUS/ OLIVE/ PLUM
TULIP TREE
LONDON PLANE TREE/MAGNOLIA
CHINESE PISTACHE
ORNAMENTAL PEAR/ CRAPE MYRTLE
DRAINAGE COURSE: SYCAMORE/ COTTONWOOD/ OAK
0 1,000 2,000 3,000 4,000
Feet


LEGEND
LANDSCAPE ENTRY
VILLAGE ENTRY
PROJECT BOUNDARY
VILLAGE BOUNDARY
RIVERBEND
GARDEN
TOWN CENTER
ENCLAVE
FOOTHILL
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RAMONA EXPRESSWAY
W-D PA 45A 8.0 AC
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AGRICULTURE PA 48 57.8 AC
AGRICULTURE PA 41B 9.8 AC
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W-D PA 45C 10.8 AC
OS-R PA 29 13.8 AC
MU PA 16 2.6 AC
PA-1 HDR 37.7 AC
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OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
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W-D PA 45D 1.9 AC
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PA-19 MU 19.5 AC
OS-R PA 31 9.0 AC
W-D PA 51 7.3 AC
PF PA 42 35.5 AC
W-D PA 45E 5 AC
PA-20 MU 103.6 AC
PF-S - K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
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W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
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OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
PF PA 43 11.8 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MU PA 23 5.0 AC
W-A PA 46A 28.4 AC
OS-R PA 39 4.0 AC
PA-4 HDR 70.8 AC
OS-R PA 38 3.0 AC
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OS-R PA 52 10.5 AC
PA-12 HDR 33.9 AC
PA-13 MDR 100.3 AC
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
PA-5 HDR
PA-5 HDR 63.7 AC
OS-R PA 40 5.1 AC
PA-6 MHDR 42.6 AC
PA-9 MHDR 31.2 AC
PA-11 HDR 29.6 AC
OS-R PA 35 4.0 AC
OS-CH PA 50E 49.6 AC
PF PA 44A 1.9 AC
PF PA 44B 0.5 AC
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
OS-R PA 36 5.0 AC
PA-10 MHDR 43.5 AC
0 1,000 2,000 3,000 4,000 Feet

FAN PALM

EVERGREEN ELM

CHINESE PISTACHE

SYCAMORE

OAK

CRAPE MYRTLE

ORNAMENTAL PEAR

LEGEND

- SYCAMORE/OAK
- EVERGREEN ELM W/ ALTERNATING FAN PALM
- EVERGREEN ELM/ CAMPHOR
- GROVES: CITRUS/ OLIVE/ PLUM
- TULIP TREE
- LONDON PLANE TREE/MAGNOLIA
- CHINESE PISTACHE
- ORNAMENTAL PEAR/ CRAPE MYRTLE
- DRAINAGE COURSE: SYCAMORE/ COTTONWOOD/ OAK
- A A ILLUSTRATIVE STREET SECTIONS, REFER TO THE DESIGN GUIDELINES
- PROJECT BOUNDARY
- VILLAGE BOUNDARY

RIVERBEND
GARDEN
FOOTHILL
TOWN CENTER
PARKS
ENCLAVE
PINNACLE
MOUNTAINS
RAMONA EXPRESSWAY

0 1,000 2,000 3,000 4,000 Feet

f. The River Bend Village

– Arterial Highway, Modified Collector and Modified Collector A

The River Bend Village main streets will be lined with London Plane trees along "A" Street and Evergreen Elm with alternating Fan Palm along Town Center Boulevard/"F" Street. Sycamore, Cottonwood, Oak, Magnolia, and London Plane trees will be planted along internal trails and waterways within this village. This village will also include landscape entries, village entries and parks with accent trees to highlight the Village's character of clean and simple forms. Parkways will have accents of succulents and grasses.

g. The Garden Village

– Arterial Highway, Enhanced Secondary A, and C and Modified Collector

The Garden Village will have Evergreen Elm with alternating Fan Palm along "B" Street and Sycamore, Cottonwood, and Oak trees will also be planted along a trail from River Bend Village that traverses Garden Village. Ornamental Pear and Crape Myrtle will be planted along "E" Street. Tulip trees and Liriodendrons will be in the 7-foot parkways with a ground plane of turf, clipped hedges, and flowering shrubs.

h. The Town Center Village

– Arterial Highway, Enhanced Secondary A, B and C, and Modified Collector

The Town Center Village will have Evergreen Elm with alternating Fan Palm lining the main roads, which include "F" Street, "B" Street, and "N" Street/Park Center Boulevard. "F" Street south of "B" Street will be lined with Evergreen Elm and Camphor trees Ornamental Pear and Crape Myrtle trees will line segments of "E" Street and "L" Street. Floss silk and Jacaranda trees will line "M" Street. Sycamore, Cottonwood, and Oak trees will also be planted along a trail from Garden Village that traverses Town Center Village. Moreover, roads will include turf parkways and shaded arcades and trellises at the retail and mixed use interface.

i. The Parks Village

– Enhanced Secondary A and Modified Collector

The Parks Village will be characterized by Evergreen Elm and Camphor trees along "F" Street. Chinese Pistache trees will line "H" Street and "O" Street; and Sycamore, Cottonwood, and Oak trees will line "B" Street through the village. Trails and "K" Street and "P" Street in this village will be lined with Tulip trees Parkways on the "F" Street will be ten feet wide, and eight feet wide on "K" Street, "P" Street, and "O" Street. Parks and garden corners may be accented.

j. The Foothill Village

– Enhanced Secondary A and B, and Modified Collector

The main streets of Foothill Village, which include "F" Street and "H" Street, will be lined with Evergreen Elm and Camphor trees, and Chinese Pistache trees, respectively. "I" Street and "J" Street will also be lined with Chinese Pistache trees, and "K" Street will be lined with Tulip trees. The western and southern boundaries of this village, as established by Hansen Avenue, Wolfskill Avenue, and Poppy Road, will be lined with sycamore and oak trees. Additionally, the southeastern area of the village will be planted with groves including citrus, olive, and plum trees.

k. The Pinnacle Village

– Enhanced Secondary A, Modified Collector and Modified Collector B

The Pinnacle Village will have Chinese Pistache trees along "H" Street, "O" Street, and "R" Street. Sycamore, Cottonwood, and Oak trees will line "B" Street and a trail leading to the southeast corner of the village. E. Groves, including citrus, olive, and plum trees will be planted near the southern boundary of the village. There will be zero-edged curbs with swaled parkways along "H" Street.

l. The Enclave Village

– Modified Collector and Modified Collector B

The Enclave Village will include evergreen elm with alternating fan palm trees along the southern right-of-way of the Ramona Expressway. Sycamore and Oak trees will be planted south of the MWD Aqueduct as well. The 8-foot parkways will be planted with groundcovers accented with succulents.

m. The Lakeview Mountains

The Lakeview Mountains will be maintained as a permanent open space amenity for the greater community. Existing hiking and equestrian uses shall remain within the open terrain as deemed acceptable by local agencies.

b. Landscaping Plan Development Standards

1. All detailed landscaping plans for planning areas and roadways shall be prepared by a qualified and licensed landscape architect for review by County staff and applicable decision-making agencies.

2. The landscaping design for the Project site shall include trees, shrubs, and ground cover compatible with existing natural vegetation, where feasible.

3. Major and minor entrance roads into THE VILLAGES OF LAKEVIEW shall have entry monumentation, planted medians, and landscaped shoulders to define the Project's design character. The introductory landscape theme shall include elements such as tree clustering to reinforce the community character.

4. Planted raised medians (according to Ordinance No. 461, Standard No. 113) may be established within any roadway right-of-way as long as access and safety criteria can be met as approved by the County Transportation Department.

5. Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for the stage of development, shall be submitted to the County Planning Department for approval. Preliminary plans are due at the tentative map stage, and the plans shall include but not be limited to the following:

    - Final Grading Plan
    - Irrigation Plans certified by a landscape architect
    - A Landscaping Plan with seed mixes for mulching and staking methods; locations, types, size and quantity of plantings
    - Fence Treatment Plans

6. The Master Developer and/or builder shall be responsible for maintenance and upkeep of all common area landscaping, including slopes, landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.

7. At the time of recordation of any final subdivision map that contains an open space area, the Master Developer shall convey such areas to the master property owners' association or appropriate public maintenance agency.

8. The Landscaping Plan shall reflect the following water use efficiency methods, whenever feasible: landscape with drought resistant plants, group plants of similar water use to reduce over-irrigation of drought resistant plants; use mulch extensively, since mulch applied on top of soil will improve the water holding capacity of the soil by reducing evaporation and soil compaction; and install efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach plant roots. Drip irrigation, soil moisture sensors, smart controllers, and automatic irrigation systems are a few methods of increasing irrigation efficiency.

9. The developer or homeowner shall comply with the planting, irrigation, implementation, and model home requirements set forth by Ordinance No. 859, Water-Efficient Landscape Requirements.

10. The developer has the opportunity to plant different varieties of trees other than those proposed within the street tree master plan, upon approval through the Village Refinement Process.

11. Planting areas where ethnobotanical gardens will be part of the interpretive gardens shall incorporate Native American design consultation into the landscape review process.

5. Sewer and Water Plan

a. Water, Sewer, and Reclaimed Water Plan Description

The Eastern Municipal Water District (EMWD) was formed in 1950 under the Municipal Water District Act of 1911 as a special water district of the State of California. EMWD presently provides both retail and wholesale water and sewer services to approximately 555-square miles of western Riverside County from the city of Moreno Valley south to the San Diego County line. THE VILLAGES OF LAKEVIEW Specific Plan will be provided retail water and sewer services by EMWD. Proposed improvements and extensions of existing water and sewer facilities will be constructed per The Lakeview/Nuevo Area Wide Master Plan for water, sewer, and recycled water. This master plan details the required system improvements necessary to provide service to this entire Lakeview/Nuevo area of which THE VILLAGES OF LAKEVIEW Specific Plan is a part.

b. Conceptual Water Plan – Existing Condition

The following existing EMWD water facilities will be used to provide water service to THE VILLAGES OF LAKEVIEW Specific Plan:

- Existing 21-inch/24-inch diameter pipeline located in an easement in favor of EMWD (1698 zone)
- Existing 18-inch diameter pipeline in Nuevo Road (1,627 and 1,698 zones)
- Existing 36-inch diameter pipeline near Foothill Avenue (1,627 zone)
- Existing 16-inch diameter pipeline in Warren Street (1,831 zone)
- Existing 12-inch diameter pipeline in Contour Avenue (1,831 zone)
- Existing Olivas Booster Station (1,698 zone)
- Existing Brouseau Booster Station (1,831 zone)
- Existing Nuevo Tank (0.5MG – 1,698 zone)
- Existing Contour Tank (0.48MG – 1,831 zone)

These facilities are currently used to provide retail potable water service to properties neighboring THE VILLAGES OF LAKEVIEW Specific Plan. Water is currently pumped from the existing 36-inch and 18-inch pipelines in Nuevo Road within the 1,627-foot zone by the Olivas Pump Station into the 1,698-foot zone. Water is then served to a number of retail customers in the 1,698-foot zone. Supplemental water is also provided by EMWD to the Nuevo Water Company from the 1,698-foot zone. In addition, water is pumped by the Brouseau Pump Station into the 1,831-foot zone to provide water service for properties at a higher elevation south of THE VILLAGES OF LAKEVIEW Specific Plan.

c. Conceptual Water Plan – Off-site

The Lakeview/Nuevo Area Wide Master Plan provides for all major water facilities required to serve the entire Lakeview/Nuevo area, including THE VILLAGES OF LAKEVIEW Specific Plan. Each property owner or project within the area to be served by the Area Wide Master Plan will construct or pay for a fair share of the improvements required by the Area Wide Master Plan. Per EMWD's requirements, the existing 1,698-foot zone will be incorporated into an expanded 1,720-foot zone. Existing off-site water facilities will be incorporated into the new zone wherever possible. Potable water will be supplied by EMWD to THE VILLAGES OF LAKEVIEW Specific Plan through a series of proposed off-site facilities to be located within other proposed projects westerly of THE VILLAGES OF LAKEVIEW Specific Plan. Off-site water pipeline facilities will be constructed within either existing public rights-of-way or within proposed rights-of-way within neighboring projects. Off-site tanks and pump stations will be constructed on land acquired and dedicated to EMWD. Connections to the Project's on-site water facilities for the 1,720-foot zone will be located near the intersections of Reservoir Avenue/ Lakeview Avenue, Wolfskill Avenue/Hansen Avenue, "N" Street/Ramona Expressway, and "F" Street/Marvin Road.

Although the majority of THE VILLAGES OF LAKEVIEW Specific Plan can be served from the 1,720-foot pressure zone, some areas will require a connection to the existing 1,831-foot pressure zone located near the intersection of Corso Alto Avenue and Poppy Road. Off-site improvements include an 18-inch diameter pipeline extension and an additional 1.0 MG of storage capacity within the 1,831-foot pressure zone. The additional storage capacity will be located at the existing Contour Tank site.

d. Conceptual Water Plan – On-site

The projected average daily potable water demand by THE VILLAGES OF LAKEVIEW Specific Plan is approximately 4.56 MGD (million gallons per day) based on EMWD planning criteria.

EMWD owns and operates several existing water facilities located within the Project boundaries. These are as follows: an existing 24-inch diameter pipeline located in an easement in favor of EMWD (1,698 zone), an existing 12-inch diameter pipeline located in Lakeview Avenue and an existing raw water connection, known as EM-5 (to Metropolitan Water District's Colorado River Aqueduct). The existing 24-inch diameter pipeline will be abandoned due to its existing poor condition and location. A portion of the existing 12-inch diameter pipeline will be abandoned on site due to its location in favor of proposed pipelines within future street rights-of-way. The remaining segments of the existing 12-inch diameter pipeline will be connected to the proposed on-site water system to maintain the interagency connection with Nuevo Water Company. The

existing raw water connection shall be retained by EMWD and either left in place or moved to accommodate surrounding development. None of the raw water facilities will be incorporated into the proposed on-site improvements necessary to serve potable water to THE VILLAGES OF LAKEVIEW Specific Plan.

Proposed Facilities: THE VILLAGES OF LAKEVIEW Specific Plan will be served on site by 8-inch to 36-inch diameter pipelines located within the future street rights-of-way as shown in **Exhibit B.5.14A, Master Plan of Water (On-Site)**. On-site water facilities are consistent with The Lakeview/Nuevo Area Wide Master Plan. Two 5.0 MG tanks for the expanded 1,720-foot zone will be located on site. A proposed booster pump station with a capacity of 2.8 cfs is required to pump water from the 1,720-foot zone to the 1,831-foot zone.

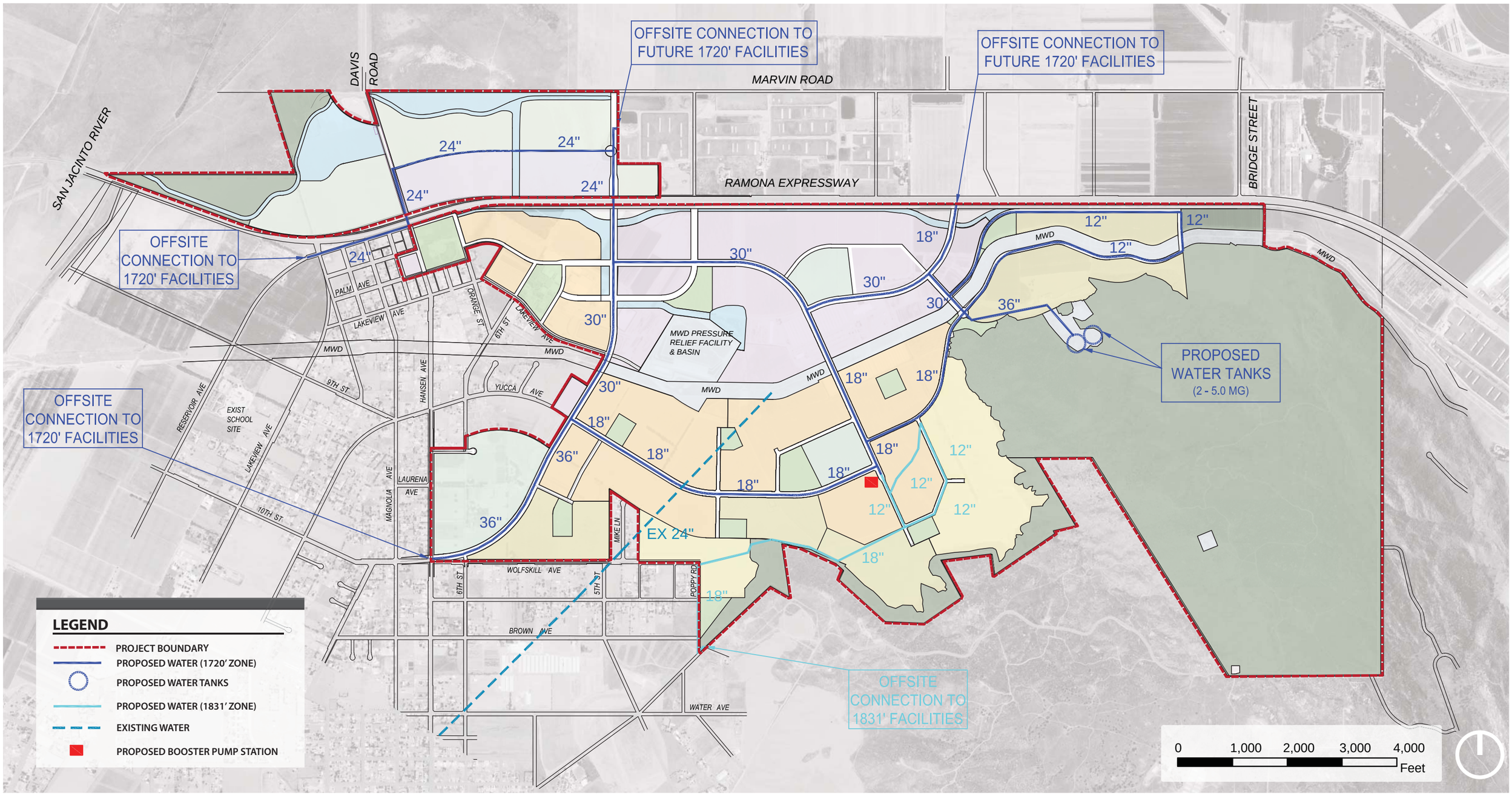
e. Conceptual Recycled Water Plan

In addition to water and sewer, EMWD provides recycled water service to current irrigation customers within its entire service area. Per EMWD's policy, new development is required to provide recycled water from EMWD's existing Recycled Water Transmission System to eligible irrigated lands within the Project boundary. Typically, eligible irrigated lands include parks, schools, parkways, and other public facilities with more than 3,000 square feet of irrigated landscaping.

Existing Condition: EMWD currently operates an existing regional 36-inch diameter recycled water pipeline that is located within the Ramona Expressway right-of-way. Funded by development fees, EMWD is in the process of increasing the pressure in this pipeline to provide recycled water to adjoining properties at an HGL of 1,627 ft.

Proposed Condition: It is anticipated that approximately 148 acres within THE VILLAGES OF LAKEVIEW Specific Plan will be irrigated by recycled water from the Recycled Water Transmission System. These lands include parks, school sites, and landscaped roadway medians. The projected average daily recycled water demand by THE VILLAGES OF LAKEVIEW Specific Plan is approximately 0.60 MGD (million gallons per day) based on a demand of 4.5 ac-ft/acre/year. The proposed Specific Plan will be required to install an on-site distribution system connecting to the existing regional recycled water system. It is anticipated that a looped pipeline will be constructed in proposed public rights-of-way to provide recycled water to all eligible irrigated lands. Various on-site pipeline improvements will be required as shown on **Exhibit B.5.14B – Master Plan of Water (Recycled)**. Booster pump stations or private pumping facilities for each individual service may be required to provide enough pressure to operate irrigation systems depending on EMWD's final development requirements.

In addition to the on-site recycled water facilities, EMWD is proposing to construct a regional recycled water storage facility with associated 24-inch diameter pipeline with THE VILLAGES OF LAKEVIEW Project. EMWD will be the project proponent of this facility and will fully fund the Project through regional development fees. The tentative location of this proposed facility is shown on **Exhibit B.5.14B**.


OFFSITE CONNECTION TO FUTURE 1720' FACILITIES
OFFSITE CONNECTION TO FUTURE 1720' FACILITIES
MARVIN ROAD
DAVIS ROAD
SAN JACINTO RIVER
RAMONA EXPRESSWAY
BRIDGE STREET
OFFSITE CONNECTION TO 1720' FACILITIES
OFFSITE CONNECTION TO 1720' FACILITIES
MWD PRESSURE RELIEF FACILITY & BASIN
PROPOSED WATER TANKS (2 - 5.0 MG)
EXIST SCHOOL SITE
PALM AVE
LAKEVIEW AVE
ORANGE ST
6TH ST
LAKEVIEW AVE
MWD
9TH ST
HANSEN AVE
YUCCA AVE
RESERVOIR AVE
LAKEVIEW AVE
10TH ST
MAGNOLIA AVE
LAURENA AVE
MIKE LN
EX 24"
WOLFSKILL AVE
6TH ST
5TH ST
POPPY RD
BROWN AVE
WATER AVE
OFFSITE CONNECTION TO 1831' FACILITIES
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12"
36"
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PROJECT BOUNDARY
PROPOSED WATER (1720' ZONE)
PROPOSED WATER TANKS
PROPOSED WATER (1831' ZONE)
EXISTING WATER
PROPOSED BOOSTER PUMP STATION
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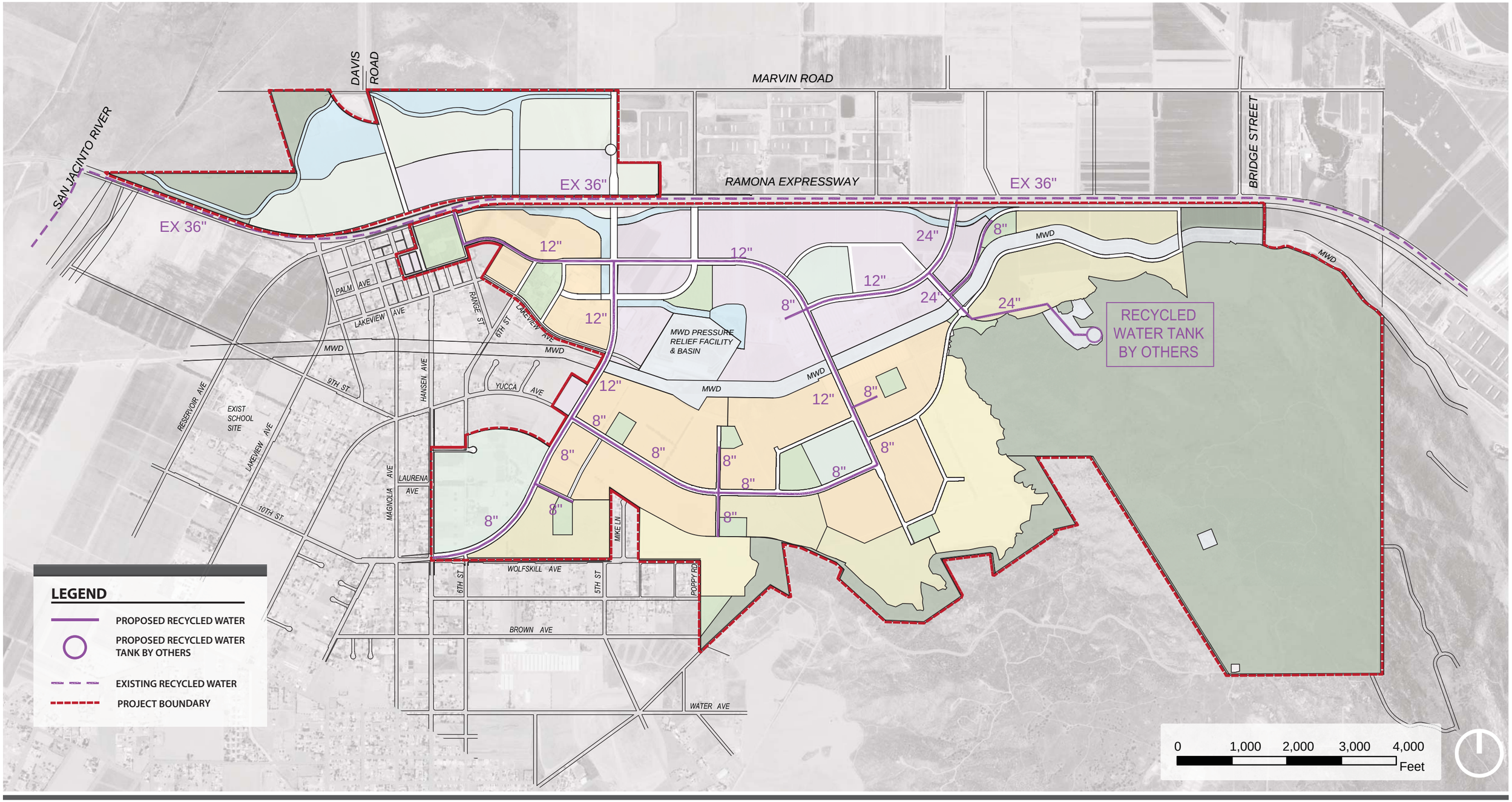
DAVIS ROAD
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PALM AVE
LAKEVIEW AVE
LAKEVIEW AVE
RANGE ST
6TH ST
9TH ST
HANSEN AVE
YUCCA AVE
RESERVOIR AVE
EXIST SCHOOL SITE
LAKEVIEW AVE
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MAGNOLIA AVE
LAURENA AVE
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POPPY RD
BROWN AVE
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PROPOSED RECYCLED WATER
PROPOSED RECYCLED WATER TANK BY OTHERS
EXISTING RECYCLED WATER
PROJECT BOUNDARY
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f. Conceptual Sewer Plan – (Existing Facilities)

EMWD has the authority to provide sewer service to customers within its service area. There are currently no local EMWD sewer system facilities within or adjacent to THE VILLAGES OF LAKEVIEW Specific Plan. The closest facility is an existing 27-inch diameter gravity sewer main located within Pico Avenue just south of Nuevo Road. The sewer flow generated by THE VILLAGES OF LAKEVIEW Specific Plan will ultimately be treated and disposed of by EMWD's existing Perris Valley Regional Water Reclamation Facility (RWRF), located west of I-215 freeway and south of Highway 74.

g. Conceptual Sewer Plan (Off-Site)

The Lakeview/Nuevo Area Wide Master Plan provides for the major sewer facilities required to serve the entire Lakeview/Nuevo area, including THE VILLAGES OF LAKEVIEW Specific Plan. Each property owner or project within the area to be served by the Area Wide Master Plan will construct or pay for a fair share of the sewer improvements required by their individual project contained within the sewer sections of the Area Wide Master Plan. For THE VILLAGES OF LAKEVIEW, the sewage will be pumped off site through two, 12-inch diameter force mains originating at the proposed regional lift station. The force mains will be installed southerly along Lakeview Avenue and cross over the existing MWD facilities to a proposed 36-inch diameter gravity sewer main in Lakeview Avenue. Sewage will then be conveyed by gravity further south through a series of proposed 36- and 39-inch diameter gravity sewer mains in Lakeview Avenue, 12th Avenue, Reservoir Avenue, and Nuevo Road to the existing 27-inch gravity main in Pico Avenue. These facilities have been sized per EMWD's Lakeview/Nuevo Area Wide Master Plan planning requirements. Sewage will then be conveyed by gravity to EMWD's Perris Valley RWRF, located west of I-215 freeway and south of Highway 74 through EMWD's existing sewage conveyance system. Eventually, a future 39-inch diameter gravity sewer main will be required parallel to the existing 27-inch gravity sewer main if the entire sewer service area within the Lakeview/Nuevo Area Wide Master Plan is developed.

h. Conceptual Sewer Plan – (On-Site)

Anticipated Sewer Generation: The projected average daily wastewater that will be generated by THE VILLAGES OF LAKEVIEW Specific Plan is approximately 2.74 MGD (million gallons per day) based on EMWD planning criteria.

Proposed Facilities: The proposed on-site sewer facilities are shown in **Exhibit B.5.15A – Master Plan of Sewer (On-Site)**. The Specific Plan will be required to install this on-site gravity sewage collection system directing sewage to a proposed regional sewer lift station located on-site at the northwest corner of the Ramona Expressway and

Reservoir Avenue. The on-site sewage collection system will include 8- through 27-inch diameter gravity mains to be constructed in planned public rights-of-way or joint easements parallel to proposed storm drain facilities.

i. Potential Wastewater Treatment Facility

There is a potential for an on-site wastewater treatment facility to be constructed north of Ramona Expressway in the western portion of the site within the River Bend Village. There are three possible locations for this wastewater treatment facility under consideration; two locations are within Planning Area 49, which would be designated for agricultural uses, and one location is within Planning Area 24, which would be designated for commercial office uses. All three locations are along Davis Road. The development of an on-site wastewater treatment facility would circumvent the need for the Project to construct a new pump station and pipeline to convey wastewater to an existing EMWD facility located approximately 10 miles southwest from the Project site adjacent to I-215. There is also an existing EMWD 36-inch diameter sewer pipeline within Ramona Expressway that may be utilized by the wastewater treatment facility to accept recycled water from the Project, thereby potentially reducing construction of additional piping.

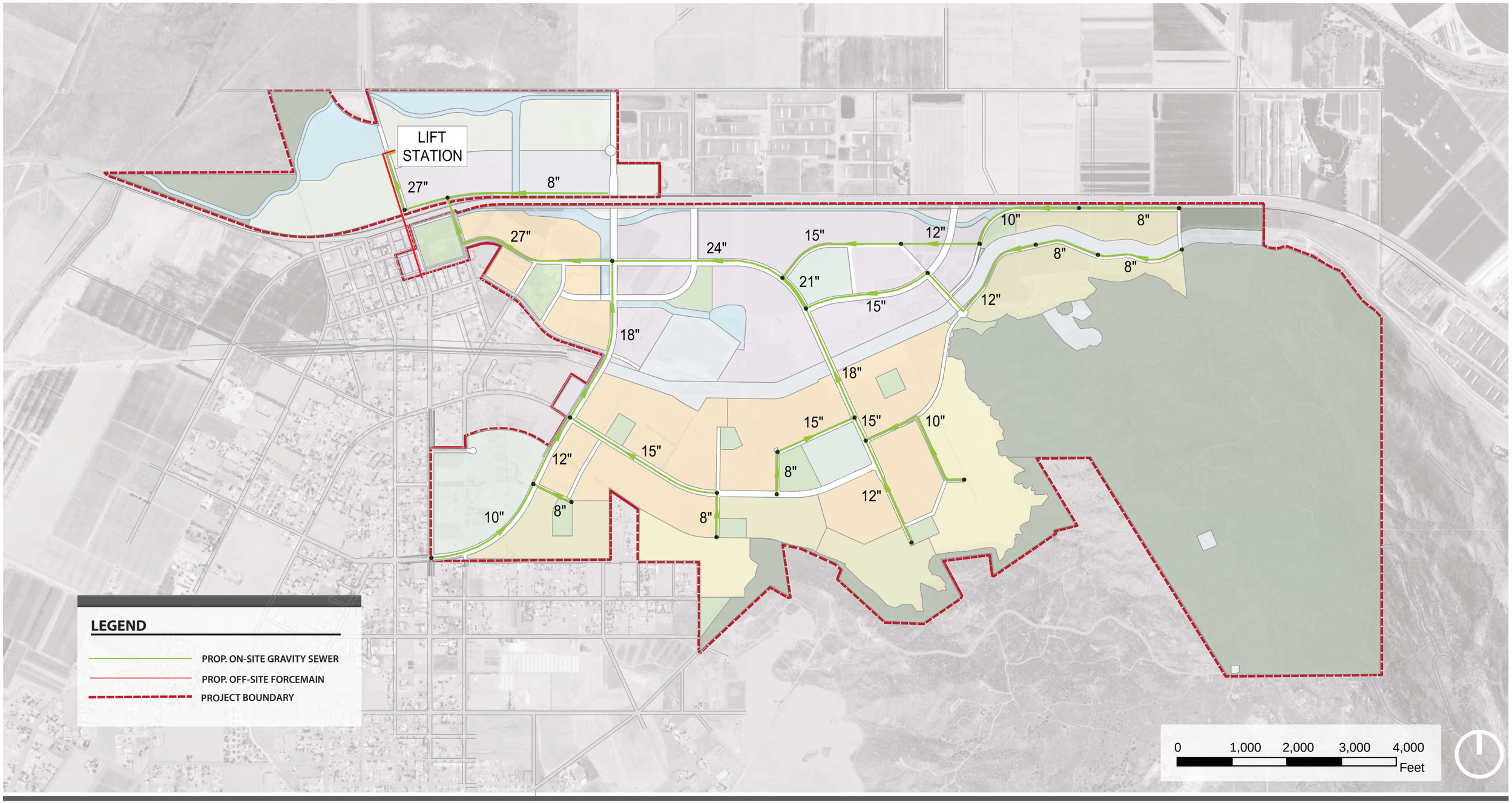
The on-site wastewater treatment facility would be designed to handle the Project's needs with a state-of-the-art facility and treatment process. The Project under this alternative is expected to generate 4.25 million gallons per day (MGD) of wastewater at full build-out, and as such, the wastewater treatment facility would be developed over 4 phases wherein approximately 1 MGD of wastewater could be treated per phase. The wastewater treatment facility would include membrane bio-reactor technology, which allows for ultra-high water quality treatment in a very compact facility as there is no need for separate clarification and filtration. This feature would result in an ease of expansion within a small footprint. Additionally, ultraviolet light would be used to disinfect the wastewater. This process would not result in disinfection byproducts as it is a safe and reliable method of disinfection. Further, wastewater treated at this facility will meet Title 22 standards, qualifying it as "recycled water" per the State Water Resources Control Board.

There are several options available for use of recycled water produced by the on-site wastewater treatment facility. Recycled water could be produced during the winter season (period of non-irrigation) and stored in ponds potentially located in Planning Area 51I, which is designated for water uses, and used for irrigation needs on the Project site during the spring, summer, and fall seasons. Moreover, the any excess recycled water that is not dedicated for reuse at the Project site may be utilized for

groundwater recharge, in compliance to applicable permitting by the appropriate regulatory agency.

j. Water and Sewer Development Standards

1. All water and sewer lines shall be placed underground and inspected, per EMWD standards.
2. All water and sewer lines will be designed per EMWD requirements and standards.
3. All water storage, water booster pump stations, and sewer lift stations will be designed per EMWD requirements and standards.
4. The location of facilities shall conform to EMWD and County of Riverside standards.
5. Water and wastewater facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department and the State of California Department of Public Health.
6. Recycled water facilities shall be constructed per EMWD standards for supplying recycled water to eligible irrigated lands.
7. Water use efficiency measures will be incorporated into the Project which will include water saving devices and systems as well as the use of recycled water for irrigation, where possible.
8. Any design of off-site facilities shall be coordinated with the affected property owners and EMWD.
9. The design of all water facilities shall provide fire protection to the satisfaction of the Riverside County Fire Department.


LIFT STATION
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LEGEND
PROP. ON-SITE GRAVITY SEWER
PROP. OFF-SITE FORCEMAIN
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6. Public Facilities and Phasing Requirements

a. Public Facilities Description

Public facilities, such as fire and sheriff stations, schools, parks, libraries, health care, and a range of other facilities will be developed or provided through various funding mechanisms and programs such as payment of applicable development mitigation fees during the land development process, developer-initiated programs, private enterprise, and agency participation. For example, provision of school and park facilities shall be made through a combination of land reservations, land dedications, fees, and improvements. Health care may be augmented through developer-initiated wellness clinics located in schools while private enterprise may supply medical offices and clinics within the Project. "Dry" utilities such as electricity, natural gas, telephone, and cable television shall be installed during Project construction by appropriate private, public, or quasi-public entities.

1. Schools

   Three school sites, two K-8 schools and one Joint K-8 and High School have been identified in the Conceptual Land Use Diagram, within planning areas (PA): PA 26, 27 and 28. Final approval of the school sites rests with the Nuview Union School District Board and/or California Department of Education.

2. Fire Department Services

   The Riverside County Fire Department, who works in cooperation with the California Department of Forestry (CDF), provides fire protection services to the Project area. The nearest fire station is three miles southwest of the Project site at 30515 10th Street, located within the unincorporated community of Nuevo, in Riverside County. Response times vary due to availability of units. New fire stations have been identified to be located around the Project.

3. Sheriff Department Services

   The Project site will potentially be served by two Riverside County Sheriff Department sheriff stations, one is the Hemet Sheriff Station located at 43950 Acacia Avenue, Suite B, Hemet, CA 92544 (approximately 12 miles southeast of the Project site). The second is the Perris Sheriff's Station, at 137 North Perris, Perris, CA 92570 (approximately 8 miles southwest of the Project site). Response times vary depending on location of sheriff units and the type of call.

4. Libraries

The Project area is located within the jurisdiction of the Riverside County Public Library System. The Nuevo Branch Library, which is located southwest of the Project site, is a small facility. A larger branch is located at 29990 Lakeview Road, Nuevo, Riverside County, and is likely to provide most service to the site. There are other libraries operated by the Riverside County Public Library System in the nearby cities of Hemet, Perris, and San Jacinto. These libraries are located more than five miles from THE VILLAGES OF LAKEVIEW, and would also serve the proposed development. There is a potential for library facilities to be proposed within the Project, including joint-use library facilities associated with schools south of Ramona Expressway.

5. Natural Gas Service

The Southern California Gas Company (SCG), or other natural gas service providers pending the outcome of state energy deregulation, provides natural gas service to THE VILLAGES OF LAKEVIEW Specific Plan area. A large high-pressure gas line runs north-south through the western edge of the River Bend Village. Service gas mains will be sized to provide the backbone service to the Project area. Appropriately sized laterals will be extended throughout the Project area at specific locations based on the land uses. SGC has indicated that natural gas will be provided based upon conditions of gas supply, regulatory agencies, and in accordance with SGC's policies and extension rules on file with the California Public Utilities Commission at the time contractual arrangements are made.

6. Electricity

Southern California Edison Company (SCE) has existing distribution facilities in the general vicinity that can serve this Project. Service to the area originates from the Nuevo Substation located on Lakeview Avenue. As development starts coming to the area, and when needed, SCE has the capacity to provide additional power to this Project and to the area by branching off of an existing 66KV transmission line that crosses Ramona Expressway to the west of this Project, and just east of Lake Perris, and by routing that line to a new substation. SCE will also be expanding the capacity of its existing facilities to accommodate growth by adding 12kV distribution circuits as underground infrastructure is installed by development in the area.

7. Technology

Homes in THE VILLAGES OF LAKEVIEW may feature an advanced internal wiring network that will have the capability to deliver high-speed information services,

interactive entertainment, home management and control systems, educational programs, and home-based medical and health services on a community-wide basis. Guest Home Builders may provide homes with an internal pre-wired network.

8. Public Community Center

   The public community center will be centrally located within THE VILLAGES OF LAKEVIEW, and will encompass a variety of indoor and outdoor amenities, including classrooms to promote lifelong learning, fitness equipment to provide for a healthy community, and a gymnasium. The community center will be owned and maintained through Riverside County.

b. Public Facilities Development Standards

1. All utility lines shall be underground, except for major electrical lines (33kV or larger).

2. The development shall conform to State and local requirements for energy conservation, as well as standards addressed in Section B.12, Lakeview Green Design.

3. The applicant shall mitigate, in accordance with State law and County regulations, Project-related public facility impacts, which may be identified at the tentative tract or building permit stage for this Specific Plan.

4. Fire protection shall be provided in accordance with the applicable sections of Riverside County Ordinance No. 460 and/or Ordinance No. 787 throughout the entire Specific Plan. All water mains and fire hydrants providing required fire flow shall comply with applicable Riverside County standards, subject to approval by the Riverside County Fire Department. The maximum length of any cul-de-sac or other non-circulatory road shall be in accordance with applicable Riverside County ordinances and the County Fire Department, unless an exemption to that requirement is granted by the County of Riverside pursuant to the provisions of Section 3.1 of Ordinance No. 460.

5. The Nuview Union School District (NUSD), in accordance with its pupil demand and funding capability, shall coordinate the construction of the K–8 schools. The Master Developer will negotiate with NUSD to coordinate the construction of the K–8 schools on behalf of the District or shall contribute to the funding of school facilities through the payment of State mandated fees.

6. Final approval of the school site rests with the State of California Department of Education. It shall be the responsibility of the school district to seek such approval, and to comply with all applicable regulations and procedures. Should the Nuview Union School District find it necessary to build a school in a location other than Planning Areas 26, 27 and 28, the placement of a school at the new location shall be considered consistent with the provisions of THE VILLAGES OF LAKEVIEW Specific Plan.

7. Access to schools shall be provided from a public roadway having the size designation as deemed appropriate by the school district and the County of Riverside.

c. Phasing Requirements

It is expected that THE VILLAGES OF LAKEVIEW Specific Plan will generally be developed over an approximately 10+-year period depending on economic cycles. The rate of Project development will be determined by local and regional market demand. A conceptual phasing plan is depicted in **Exhibit B.6.16, Conceptual Phasing Plan**.

Development is anticipated to proceed in accordance with the phases shown, however, in order to respond to market conditions and demands, flexibility will be provided in the Specific Plan such that there may be overlap among the phases. Planning areas within phases may be developed concurrently as opposed to sequentially. For example, development of planning areas within Phase 2 may commence while completion of Phase 1 is still proceeding.

The following outlines the phasing requirements of all public and private facilities needed on- and off-site, and how they will be phased in relationship to development.

1. Residential Phasing

   Development of the residential component of the Project will begin early in the implementation and build-out of the Specific Plan. Construction of the Phase 1 residential areas will begin after approval of the Specific Plan and approval of the subdivision maps for the various planning areas, with sales anticipated to occur within a year after commencement of construction.

The Villages of Lakeview Dwelling Units per Phase	
1	Approximately 1,120 dwelling units
2	Approximately 1,780 dwelling units
3	Approximately 2,690 dwelling units
4	Approximately 3,135 dwelling units
TOTAL	**8,725 dwelling units**

2. Mixed-Use Planning

The mixed use area will be developed over several phases with commercial uses developed as surrounding residential villages are built to support them.

3. Water-System Phasing

The water system will be constructed on site and off site on a phased basis as each planning area develops. The portion of the water system to serve a given area shall be operational for fire safety purposes prior to delivery of combustible framing materials on site, or as approved by the Riverside County Fire Department. Domestic service shall be available prior to final inspection for each home.

4. Sewer System Phasing

On- and off-site sewer facilities required to serve the Specific Plan shall be constructed in phases such that the facilities needed to serve a particular planning area or phase are operational prior to the first final inspection and occupancy for any permanent structure in the planning area or phase.

5. Storm Drain System Phasing

On- and off-site storm drain facilities required to serve the Project will be constructed in phases. Facilities will be phased in conformance with requirements of the Riverside County Flood Control and Water Conservation District (RCFC&WCD), and the Riverside County Transportation Department (RCTD). **Exhibit B.3.11G through 11K** illustrate both permanent and temporary storm drain facilities required to protect each phase Project area. As each phase starts development, these drainage facilities will be more specifically defined, and will need to be designed and built as part of the development application(s) being processed for approval. The nature and timing of each specific development application will determine the scope of the drainage facilities needed to protect the public from flooding. It is expected that the RCFC&WCD and RCTD will use triggers such as rough grading and map recordation to condition development in accordance with applicable Riverside County Ordinances.

6. Street Improvements Phasing

Circulation improvements shall be constructed in accordance with the Traffic Impact Analysis prepared for the Specific Plan.

7. School Phasing

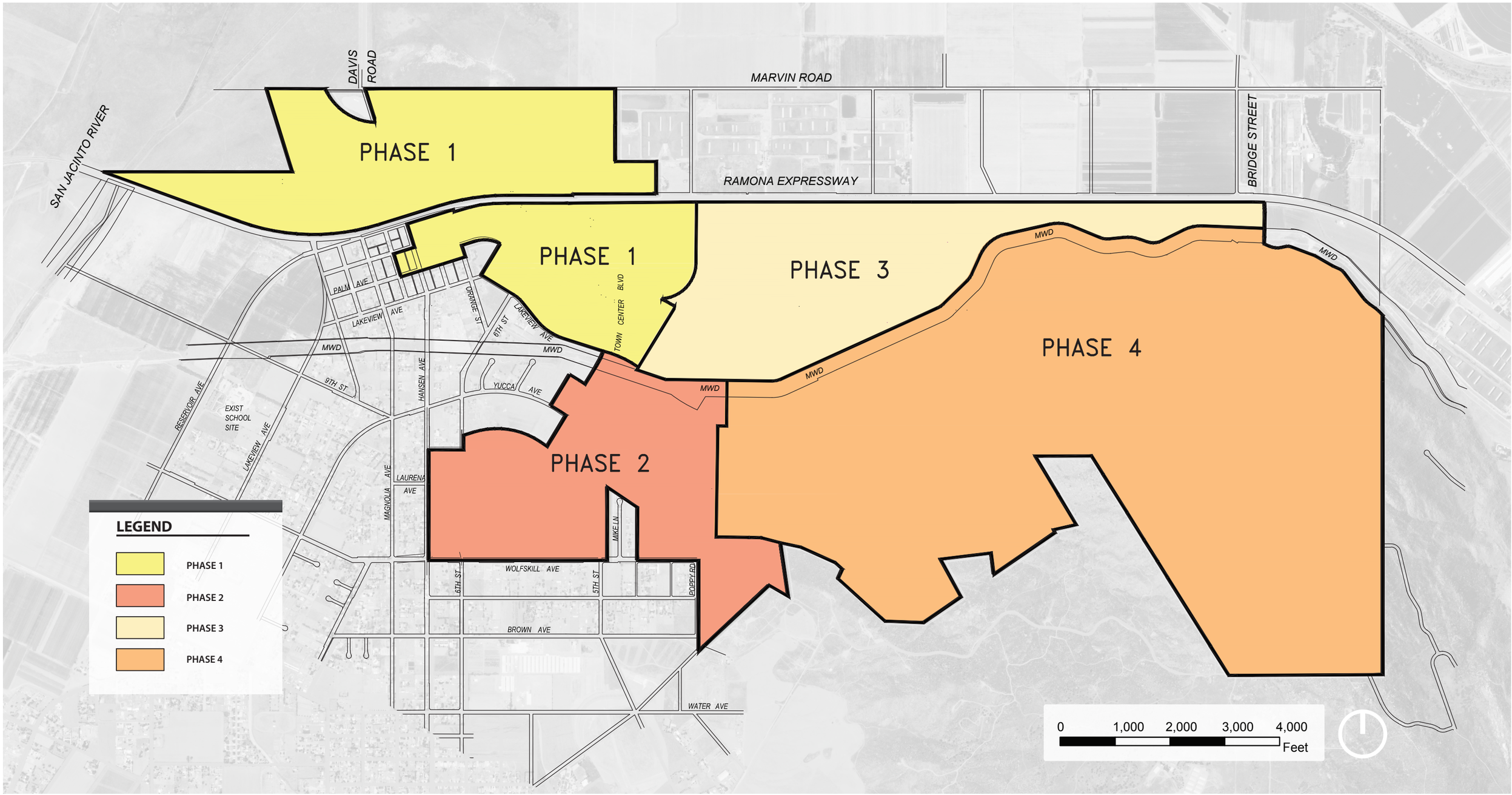
   The Master Developer and the Nuview Union School District are negotiating the planning of schools and anticipated order of schools subject to California Department of Education approval. Schools shall be constructed concurrently with the planning area within which it is located, or as determined by the Nuview Union School District.

8. Parks, Trails, and Recreation Facilities Phasing

   Parks, trails and recreation facilities shall be constructed concurrently with the planning area within which it is located, or as determined by the Planning Director. Specifics on location, size, and amenities of these facilities will be decided at time of the Village Refinement Process, as described in **Section B.11, Specific Plan Administration**.

9. Technology Phasing

   Developers within the Project are urged to incorporate and make available the latest technology advances, such as fiber optics and expanded bandwidth and high-speed internet connections. Developers are also urged to incorporate energy efficient building techniques to reduce long-term costs to the residents and business owners.


DAVIS ROAD
MARVIN ROAD
SAN JACINTO RIVER
PHASE 1
PHASE 1
RAMONA EXPRESSWAY
BRIDGE STREET
PHASE 3
PHASE 4
PHASE 2
TOWN CENTER BLVD
MWD
PALM AVE
LAKEVIEW AVE
ORANGE ST
6TH ST
LAKEVIEW AVE
9TH ST
HANSEN AVE
YUCCA AVE
RESERVOIR AVE
EXIST SCHOOL SITE
LAKEVIEW AVE
MAGNOLIA AVE
LAURENA AVE
MIKE LN
WOLFSKILL AVE
6TH ST
5TH ST
POPPY RD
BROWN AVE
WATER AVE
LEGEND
PHASE 1
PHASE 2
PHASE 3
PHASE 4
0
1,000
2,000
3,000
4,000
Feet

d. Project Phasing Development Standards

1. In compliance with the conditions of approval of any implementing development project, such as subdivisions, plot plans and use permits, improvement plans for the respective landscaped areas and/or plans to implement a mitigation measure relating to the respective development proposal, shall be submitted to the County Planning Department for approval. Minor changes to these plans can be approved by the Planning Director, through a substantial conformance. Refer to **Exhibit B.6.16, Conceptual Phasing Plan**. The improvement plans shall include:
    - Final Grading Plans
    - Irrigation Plans certified by a landscape architect
    - The Village Refinement Plan (as described in **Section B.11**)
    - Landscape Plans certified by a landscape architect
    - Fence Treatment Plans
2. Construction of THE VILLAGES OF LAKEVIEW Specific Plan, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, public facilities and infrastructure is constructed to adequately service the dwelling units as needed for public health and safety in each stage of development.
3. Grading within any planning area may encroach into an area of another planning area in order to achieve an earthwork balance. While these interim situations are allowed, grading plans will be prepared and grading will be performed in a manner consistent with the overall Conceptual Grading Plan for the Project.
4. Certain temporary uses are allowed, with proper permits, within the planning areas when project development is still not complete, and the land is vacant waiting on future development. The uses allowed include the following:
    a. Real estate sales offices for the sale of new homes.
    b. Model home sales complexes
    c. Construction offices or trailers associated with the new construction or significant remodeling of homes or businesses.
    d. Fruit stands and coffee kiosks

e. Other similar uses determined by the Planning Director are subject to conditions such as, but not limited to, location, appearance or temporary facilities, access, parking, signage, provision for sanitary services, duration of use, and provisions to ensure removal of facilities.

f. Continuation of existing uses currently approved by the County.

7. Conceptual Grading Plan

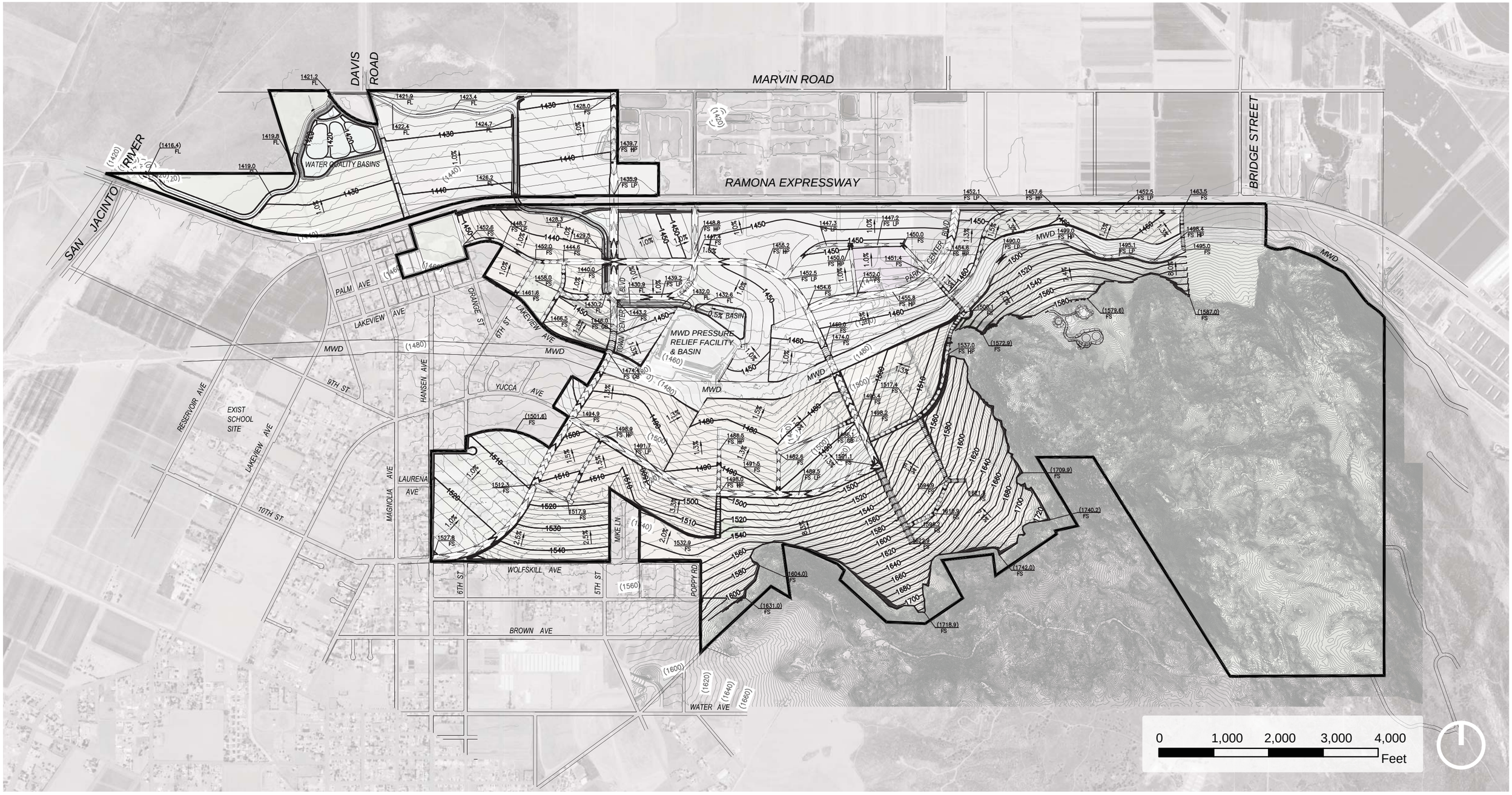
a. Grading Plan Description

THE VILLAGES OF LAKEVIEW existing topography ranges from steep hilly areas that are part of the Lakeview Mountains to the southeast of the Project area to a sloping alluvial fan that extends from the foothills north towards the Ramona Expressway. The steep hills in the southeasterly portion of the Project are being proposed as open space conservation areas with no grading of the site proposed. The central portion of the Project, south of the Ramona Expressway, slopes gently in a northerly direction from the foothills to relatively flat grades towards the Ramona Expressway. The portion of the Project north of the Ramona Expressway has a gradual slope northerly towards Marvin Road.

The Project proposes to develop a grading profile that follows the existing topography, leaving the southerly hills in their natural state, and gradually transitioning into terraced grading along the foothills. The more substantial slopes and grades will be in the south along the foothill areas, transitioning into an area of flatter grades and minimal slopes at the Ramona Expressway. It is estimated that the Project will move approximately 26.7 million cubic yards of dirt that will be balanced on the site.

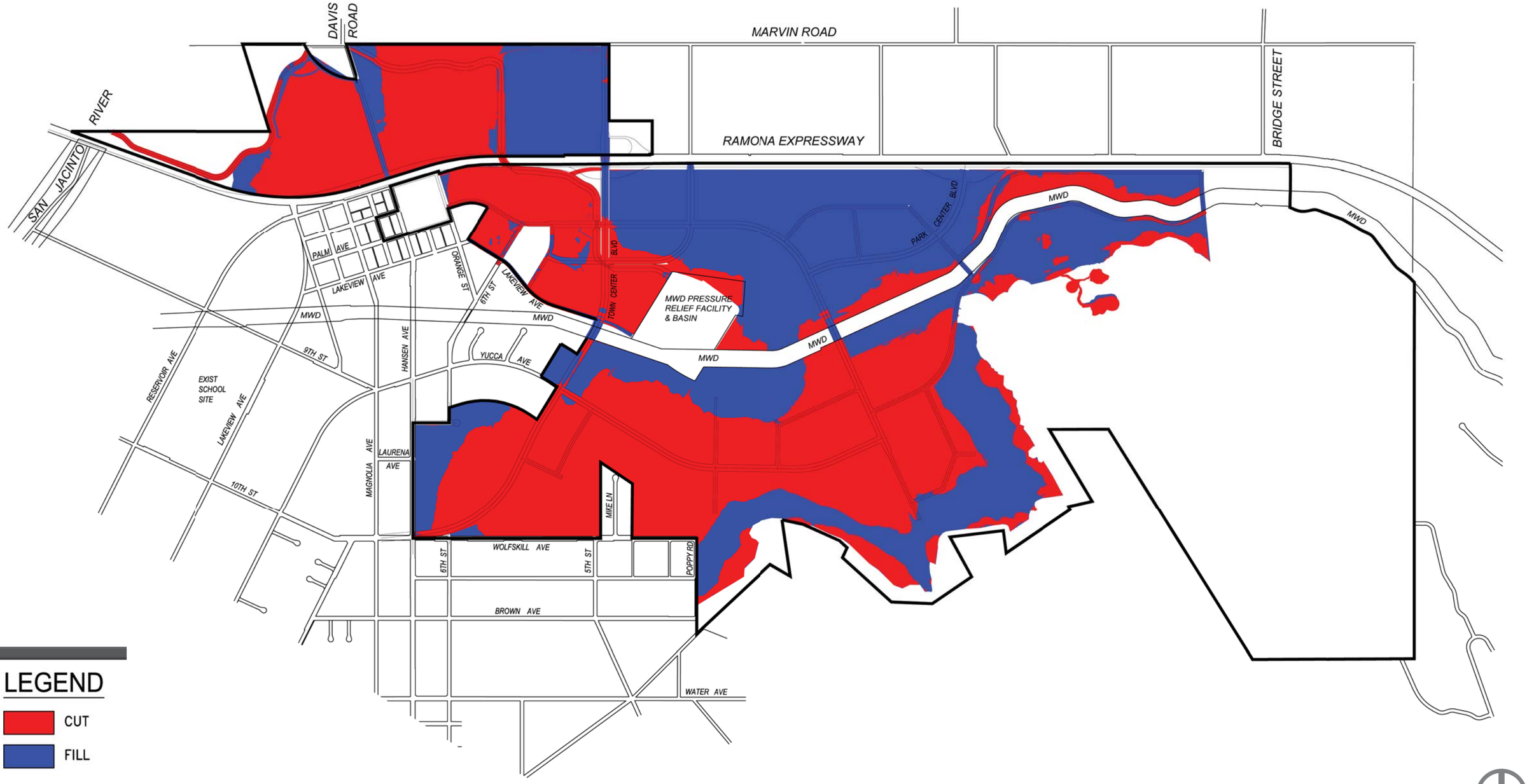
Grading on the site against the foothill areas may require large slopes, terraced areas, and some retaining walls, as a way to resolve issues with the difference in elevation between the existing steep hills and the flatter areas to the north. Grading north of the Ramona Expressway will be proposed at relatively flat grades of one to three percent, consistent with the natural topography south of the floodplain line. Areas north of the floodplain line will include a graded channel, water quality basins, and grading for agricultural use. The conceptual grading plan shows a ridge line toward the east end of the Project approximately at the extension of Bridge Street. The existing ground east of the ridge line is naturally sloping to the north and northeast, where drainage will be crossing under the Ramona Expressway, and will eventually flow into the San Jacinto River. The balance of the Project will slope to the north and to the west following the natural ground patterns from the hills on the south of the Project to the Ramona Expressway.

Grading for the Project will be tailored to existing topography, where lower and gently sloping areas may need to be raised creating fill areas, and the areas along the foothills may need to be lowered creating cut areas, to provide gradual transitions and to balance the Project site. Street grades will range from a flat 0.5 percent in the lower areas to ten percent in the foothills. For the **Project Slope Analysis** refer to **Exhibit B.7.17B**, and for the **Conceptual Grading Plan, and Earthwork Cut-Fill map,** refer to **Exhibits B.7.17A and 17C.**


MARVIN ROAD
DAVIS ROAD
RAMONA EXPRESSWAY
BRIDGE STREET
SAN JACINTO RIVER
WATER QUALITY BASINS
MWD PRESSURE RELIEF FACILITY & BASIN
0.5% BASIN
TOWN CENTER BLVD
PARK CENTER BLVD
PALM AVE
LAKEVIEW AVE
ORANGE ST
6TH ST
HANSEN AVE
YUCCA AVE
9TH ST
10TH ST
LAURENA AVE
MAGNOLIA AVE
RESERVOIR AVE
EXIST SCHOOL SITE
MIKE LN
POPPY RD
WOLFSKILL AVE
BROWN AVE
WATER AVE
MWD
0 1,000 2,000 3,000 4,000
Feet

LEGEND

- 0–15% SLOPE
- 15–20% SLOPE
- 20–25% SLOPE
- >25% SLOPE


DAVIS ROAD
MARVIN ROAD
RIVER
SAN JACINTO
RAMONA EXPRESSWAY
BRIDGE STREET
PALM AVE
LAKEVIEW AVE
ORANGE ST
6TH ST
LAKEVIEW AVE
TOWN CENTER BLVD
PARK CENTER BLVD
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MWD PRESSURE RELIEF FACILITY & BASIN
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RESERVOIR AVE
9TH ST
HANSEN AVE
YUCCA AVE
EXIST SCHOOL SITE
LAKEVIEW AVE
MAGNOLIA AVE
LAURENA AVE
10TH ST
MIKE LN
WOLFSKILL AVE
6TH ST
5TH ST
POPPY RD
BROWN AVE
WATER AVE
LEGEND
CUT
FILL

The Ramona Expressway project led by the Riverside County Transportation Department, proposes to widen the Ramona Expressway to four lanes in the near term through the county area. This project is coupled with a County-led circulation general plan amendment. Additionally, the Mid County Parkway Project, led by the Riverside County Transportation Commission, proposed to create a higher capacity transportation corridor between San Jacinto and Corona in the long term. The alignment of Mid County Parkway happens to coincide with the alignment of Ramona Expressway through this section of the county. Accordingly, this Specific Plan is aware of both projects and is prepared to facilitate the widening of the Ramona Expressway right-of-way to accommodate either project should either come to fruition, all the while allowing for the Specific Plan to be implemented itself. As such, these projects may cause the need for new grading solutions adjacent to the Ramona Expressway that are not currently reflected in the Conceptual Grading Plan of this Specific Plan.

b. Grading Plan Development Standards

1. The Conceptual Grading Plan shall be used as a guide for the integrated grading design for the overall Project and each planning area or a portion of a planning area as it is developed. If a development proposal is submitted for an entire planning area or a portion, a preliminary grading design will be included. The preliminary grading shall include the preliminary pad and roadway elevations and a preliminary drainage plan that will be used in the subsequent preparation of the Rough Grading Plans for that developed area. Development grading plans that will be submitted for review and approval would include a “Mass Grading Plan” for the movement of large quantities of dirt from one area of the development to another, a “Rough Grading Plan” for the movement of dirt to rough grade elevations per an approved tentative map or development plan that will precede the establishment of final finished grades, and a “Precise Grading Plan” for the movement of dirt to a finished grade tolerance required for the construction of structures.

   A grading permit shall be obtained from the County of Riverside, as required by Riverside County Ordinance No. 457, prior to grading.

2. All streets shall have a minimum gradient of 0.5 percent.

3. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability.

4. If slopes steeper than 2:1 and exceeding ten feet in vertical height are necessary, they will need to be deemed safe in a Slope Stability Report prepared by a soils engineer or an engineering geologist and approved by the County Geologist. County Ordinance No. 457 will be observed regarding setback requirements with regard to slopes.

5. Where cut and fill slopes are created higher than ten feet, a landscaping and irrigation plan shall be submitted to the County Building and Safety Department with the Rough Grading Plan submittal. The plans shall be reviewed for type and density of groundcover, shrubs and trees, and system of irrigation.

6. The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties.

7. Potential brow ditches, terrace drains, or other minor swales, as determined necessary by the County of Riverside at future stages of project review, shall be in conformance with Riverside County standards.

8. In order to achieve an earthwork balance within any development phase, grading may encroach into an area of future development. Encroachment into these areas may involve the borrowing or temporary stockpiling of dirt to balance areas in the order of the Project phasing. If such is the case, grading plans shall be prepared for this purpose and grading will be performed in a manner consistent with County requirements. The overall Conceptual Grading Plan for the Project will be used as a guide for the overall Project as well as any grading for an individual planning area. Any grading that is off-site to the Specific Plan shall adhere to all County requirements and these Grading Plan development standards.

9. Graded land that is undeveloped shall be maintained weed-free and shall be treated with soil binder or other approved methods of soil stabilization, to prevent dust and dirt erosion. Planting with interim landscaping shall comply with National Pollutant Discharge Elimination System (NPDES) Best Management Practices for wind and water erosion control.

10. All mass graded slopes shall be treated for weed abatement by sealing, spraying, or other approved mechanism.

11. All grading shall conform with the California Building Code, Riverside County General Plan, and Ordinance 457, and all other laws, rules and regulations governing grading in Riverside County.

12. There shall be no stockpiling of dirt or other materials on top of, or adjacent to, known cultural resources sites.

13. Prior to approval of a tentative parcel or tract map, the County archaeologist shall review the plans to ensure that significant archaeological sites are avoided and preserved.

14. Grading that could affect potential significant cultural archaeological sites shall be evaluated by County staff at the plot plan or tract map review with tribal consultation.

15. Prior to tree removals or planting, test borings, trenching, rough/mass grading, demolitions, and other similar activities shall be reviewed by the County Archaeologist to ensure protection of cultural resources.

8. Open Space, Conservation, and Recreation Plan

Given the large size of the Project, THE VILLAGES OF LAKEVIEW provides a wide array of park experiences. The open space, conservation, and recreation plan contains several major elements explaining each of these experiences. The elements include multi-use parks, club oriented recreational facilities, natural conservation and open space including a wildlife corridor, and a network of paseos and multi-purpose trails connecting the various recreational and community use areas. Together, these trails and paseos create a system of non-vehicular circulation that connects active and passive recreation areas, schools, businesses, and other community destinations for residents.

Important elements of THE VILLAGES OF LAKEVIEW community are the open space and recreation areas as shown on **Exhibit B.8.18A –Conceptual Open Space and Parks Plan, Exhibit B.8.18B – Trails Plan** and **Exhibit B.8.18C – Conceptual Park Plan**. These conceptual plans illustrate the variety of recreational opportunities throughout the Project and the extent of community open space. The proposed park sites and natural open space amenities offer residents passive and active recreational opportunities and further serve to distinguish THE VILLAGES OF LAKEVIEW from the surrounding communities. These areas will meet the many recreational needs of the residents within THE VILLAGES OF LAKEVIEW and the surrounding community.

a. Parks

There are two different types of parks within THE VILLAGES OF LAKEVIEW Specific Plan: (1) Active Parks, and (2) Passive Parks, which can either be private or public. Private parks are defined as parks open and available to residents of THE VILLAGES OF LAKEVIEW only. These parks shall be owned, operated, and maintained by a Homeowner's Association. Public parks are defined as parks open and available to the general public. These parks will be owned, operated, and maintained by the County Service Area or Valley-Wide Recreation and Park District, unless joint use agreements with the school district are present.

THE VILLAGES OF LAKEVIEW will meet the Quimby Act, California Government Code Section 66477, based on the actual number of dwelling units built, pursuant to Riverside County Ordinance 460, and the proposed Lakeview/Nuevo Park Master Plan.

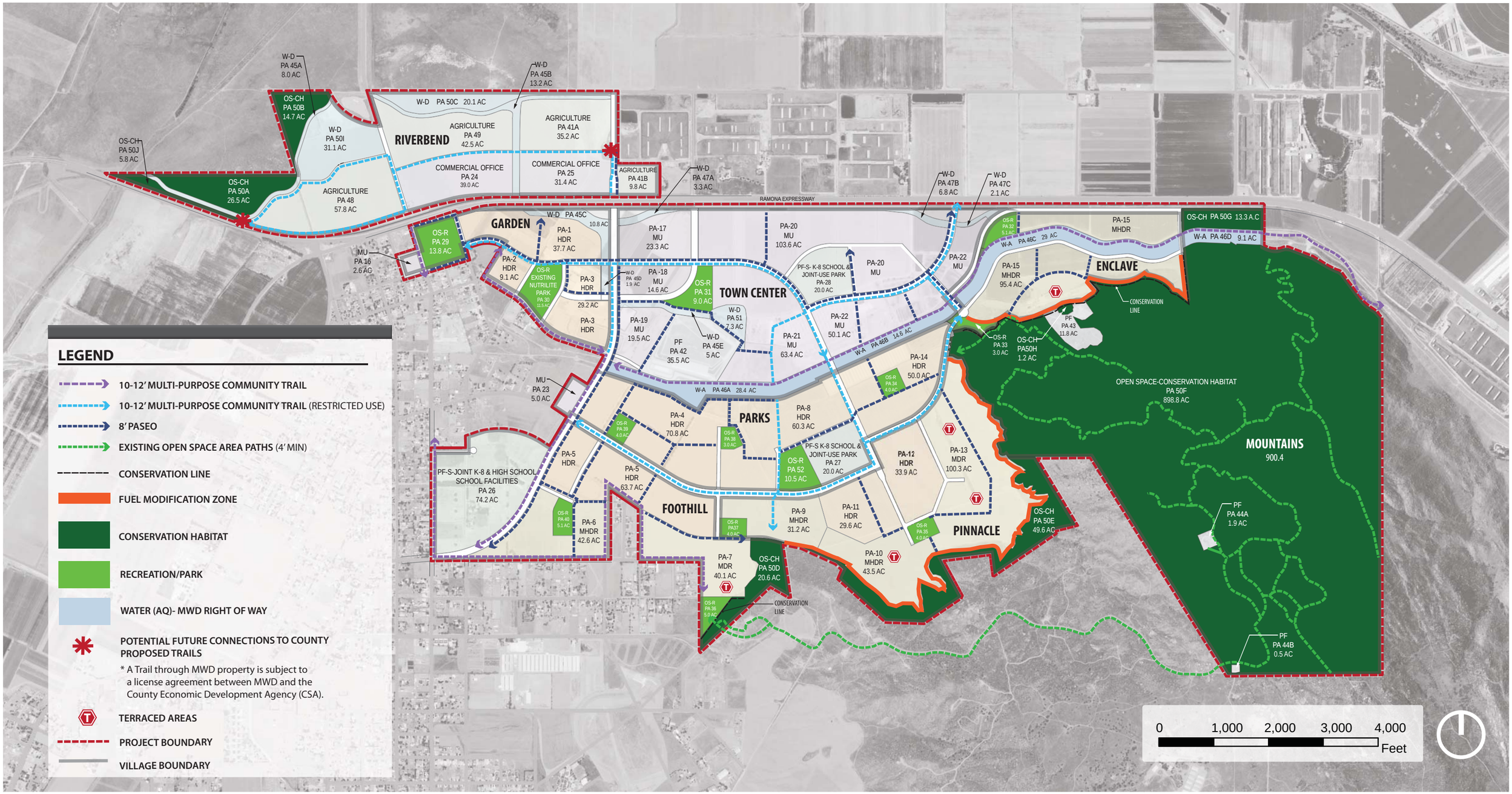
The different park types are described below. **Table B.8.4 – Proposed Parks,** shows the majority of larger parks that are proposed throughout the Project. There are also additional parks proposed throughout the Project that are not shown on the Conceptual Land Use Diagram, or on **Table B.8.4**. These parks are small Neighborhood Parks around 1/3-acre in size and private recreation sites. At the time the Village Refinement Plan for each village is submitted, park locations, sizes, and amenities of the parks will be defined, as explained in **Section B.11, Specific Plan Administration**. Along with the

Village Refinement Plan, a Parkland Tracking Report-will be submitted, and will be updated once dwelling units are constructed, to explain how the Project is meeting County and Quimby Act requirements. In addition, the park program and parkland tracking information are explained in **Section B.11, Specific Plan Administration**.

Table B.8.4 –Proposed Parks

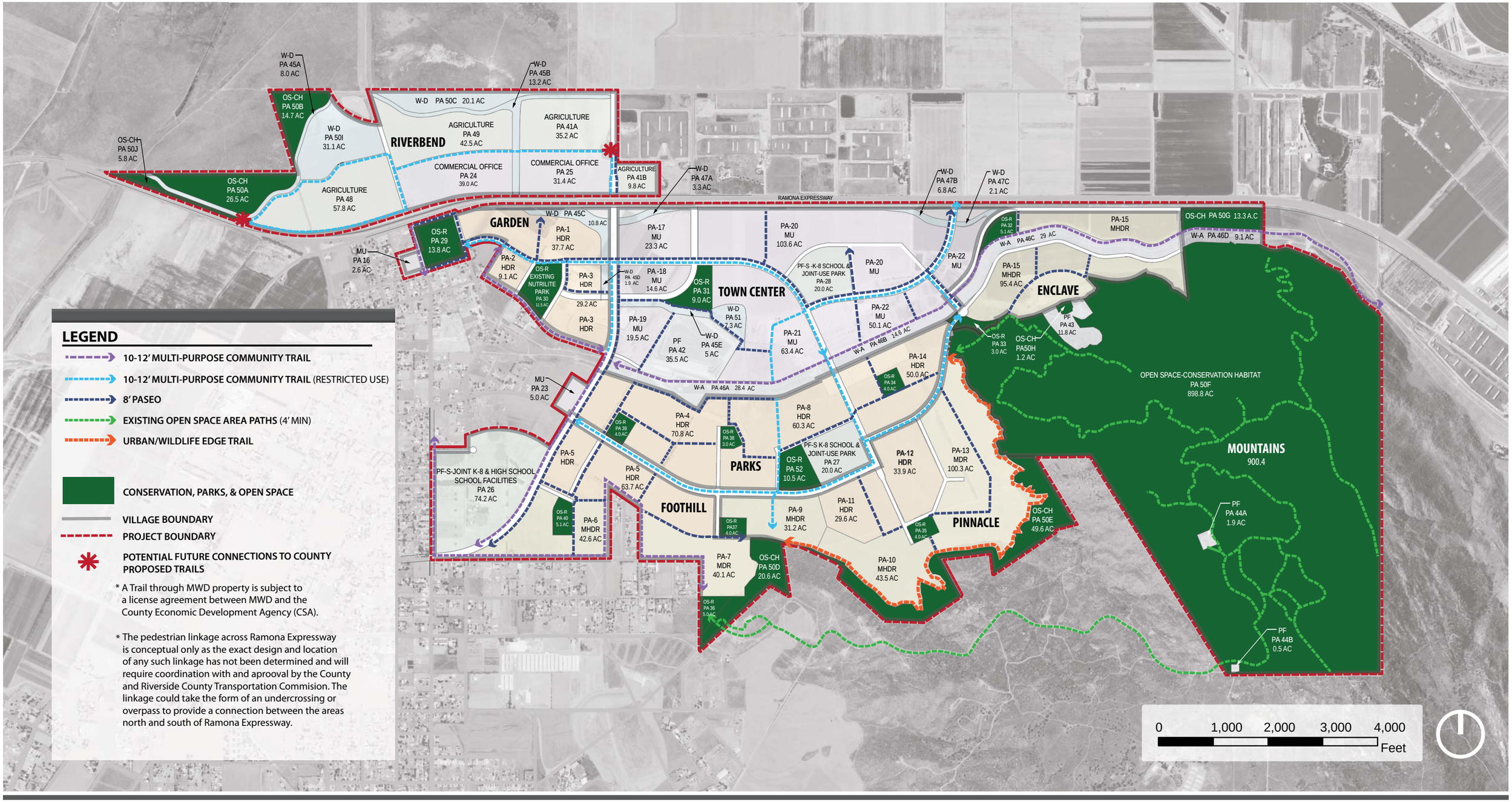
#	PA	Village	Land Use Designation	Public/Private	Gross Acres
1	26	Foothill	PF-S - Joint use School/Park	Public	5
2	27	Parks	PF-S - Joint use School/Park	Public	5
3	28	Town Center	PF-S - Joint use School/Park	Public	5
4	29	Garden	OS-R- Open Space Recreation	Public	14
5	30	Garden	OS-R- Open Space Recreation	Public	12
6	31	Town Center	OS-R- Open Space Recreation	Public	9
7	32	Enclave	OS-R- Open Space Recreation	Public	5
8	33	Enclave	OS-R- Open Space Recreation	Public	3
9	34	Parks	OS-R- Open Space Recreation	Public	4
10	35	Pinnacle	OS-R- Open Space Recreation	Public	4
11	36	Foothill	OS-R- Open Space Recreation	Public	5
12	37	Pinnacle	OS-R- Open Space Recreation	Public	4
13	38	Parks	OS-R- Open Space Recreation	Public	3
14	39	Parks	OS-R- Open Space Recreation	Public	4
15	40	Foothill	OS-R- Open Space Recreation	Public	5
16	52	Parks	OS-R- Open Space Recreation	Public	11
TOTAL					**98**

Note: Gross acres for each planning area from **Exhibit B.1.5** are rounded.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- EXISTING OPEN SPACE AREA PATHS (4' MIN)
- CONSERVATION LINE
- FUEL MODIFICATION ZONE
- CONSERVATION HABITAT
- RECREATION/PARK
- WATER (AQ)- MWD RIGHT OF WAY
- POTENTIAL FUTURE CONNECTIONS TO COUNTY PROPOSED TRAILS
  * A Trail through MWD property is subject to a license agreement between MWD and the County Economic Development Agency (CSA).
- TERRACED AREAS
- PROJECT BOUNDARY
- VILLAGE BOUNDARY



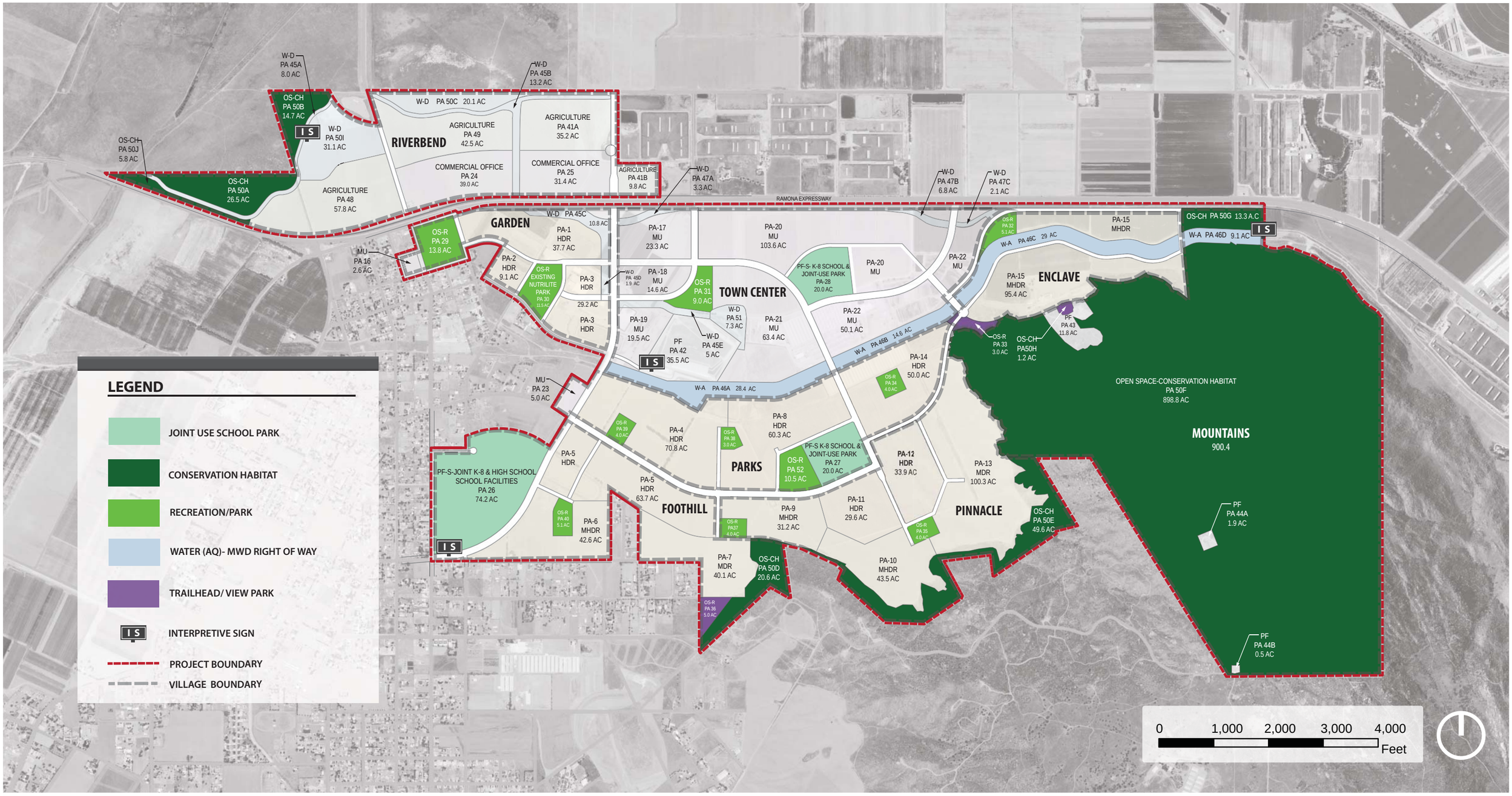
LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- EXISTING OPEN SPACE AREA PATHS (4' MIN)
- URBAN/WILDLIFE EDGE TRAIL

- CONSERVATION, PARKS, & OPEN SPACE
- VILLAGE BOUNDARY
- PROJECT BOUNDARY
- POTENTIAL FUTURE CONNECTIONS TO COUNTY PROPOSED TRAILS

* A Trail through MWD property is subject to a license agreement between MWD and the County Economic Development Agency (CSA).

* The pedestrian linkage across Ramona Expressway is conceptual only as the exact design and location of any such linkage has not been determined and will require coordination with and aprooval by the County and Riverside County Transportation Commision. The linkage could take the form of an undercrossing or overpass to provide a connection between the areas north and south of Ramona Expressway.


W-D PA 45A 8.0 AC
OS-CH PA 50B 14.7 AC
I S
W-D PA 50I 31.1 AC
W-D PA 45B 13.2 AC
W-D PA 50C 20.1 AC
RIVERBEND
AGRICULTURE PA 49 42.5 AC
AGRICULTURE PA 41A 35.2 AC
COMMERCIAL OFFICE PA 24 39.0 AC
COMMERCIAL OFFICE PA 25 31.4 AC
AGRICULTURE PA 41B 9.8 AC
OS-CH PA 50J 5.8 AC
OS-CH PA 50A 26.5 AC
AGRICULTURE PA 48 57.8 AC
W-D PA 47A 3.3 AC
RAMONA EXPRESSWAY
W-D PA 47B 6.8 AC
W-D PA 47C 2.1 AC
OS-R PA 32 5.1 AC
PA-15 MHDR
OS-CH PA 50G 13.3 A.C
I S
W-A PA 46D 9.1 AC
W-D PA 45C 10.8 AC
GARDEN
PA-1 HDR 37.7 AC
PA-17 MU 23.3 AC
PA-20 MU 103.6 AC
OS-R PA 29 13.8 AC
MU PA 16 2.6 AC
PA-2 HDR 9.1 AC
OS-R EXISTING NUTRILITE PARK PA 30 11.5 AC
PA-3 HDR 29.2 AC
W-D PA 45D 1.9 AC
PA-18 MU 14.6 AC
OS-R PA 31 9.0 AC
TOWN CENTER
PF-S- K-8 SCHOOL & JOINT-USE PARK PA-28 20.0 AC
PA-20 MU
PA-22 MU
PA-15 MHDR 95.4 AC
ENCLAVE
W-A PA 46C 29 AC
PA-19 MU 19.5 AC
PF PA 42 35.5 AC
I S
W-D PA 51 7.3 AC
W-D PA 45E 5 AC
PA-21 MU 63.4 AC
PA-22 MU 50.1 AC
PF PA 43 11.8 AC
OS-R PA 33 3.0 AC
OS-CH PA50H 1.2 AC
W-A PA 46B 14.6 AC
PA-14 HDR 50.0 AC
OS-R PA 34 4.0 AC
W-A PA 46A 28.4 AC
OPEN SPACE-CONSERVATION HABITAT PA 50F 898.8 AC
MU PA 23 5.0 AC
OS-R PA 39 4.0 AC
PA-4 HDR 70.8 AC
OS-R PA 38 3.0 AC
PA-8 HDR 60.3 AC
MOUNTAINS 900.4
PA-5 HDR
PF-S-JOINT K-8 & HIGH SCHOOL SCHOOL FACILITIES PA 26 74.2 AC
PARKS
OS-R PA 52 10.5 AC
PF-S K-8 SCHOOL & JOINT-USE PARK PA 27 20.0 AC
PA-12 HDR 33.9 AC
PA-13 MDR 100.3 AC
PF PA 44A 1.9 AC
PA-5 HDR 63.7 AC
FOOTHILL
PA-11 HDR 29.6 AC
PINNACLE
OS-CH PA 50E 49.6 AC
OS-R PA 40 5.1 AC
PA-6 MHDR 42.6 AC
OS-R PA 37 4.0 AC
PA-9 MHDR 31.2 AC
OS-R PA 35 4.0 AC
I S
PA-7 MDR 40.1 AC
OS-CH PA 50D 20.6 AC
PA-10 MHDR 43.5 AC
OS-R PA 36 5.0 AC
PF PA 44B 0.5 AC
LEGEND
JOINT USE SCHOOL PARK
CONSERVATION HABITAT
RECREATION/PARK
WATER (AQ)- MWD RIGHT OF WAY
TRAILHEAD/ VIEW PARK
I S INTERPRETIVE SIGN
PROJECT BOUNDARY
VILLAGE BOUNDARY
0 1,000 2,000 3,000 4,000
Feet

1. Active Parks

Active public parks will be provided within and in proximity to this Specific Plan to fulfill the Quimby Act requirements. These requirements will either be met by the dedication of parkland within the Project site, the installation of extraordinary improvements, the payment of Quimby fees, the development of off-site parkland or a combination of all four. Satisfaction of these requirements will be established by the County Service Area Administrator.

Active parks include recreational facilities, with recreational opportunities including but not limited to open lawns, sports fields, courts, swimming pools, children's play areas, picnic areas, golf activities, recreational gardening and fitness facilities. Examples of active parks are described below:

a. Neighborhood Parks

Neighborhood parks will be developed as part of a standard for providing parks within a quarter-mile distance of all residences. These parks will be designed for active uses and may contain open green areas, pools, playgrounds, garden spaces, shade structures, and small game courts.

Pergolas will divide park uses, acting as a gateway to both the public sports fields and any private Community Recreation Area. Sport fields and courts may accommodate baseball or softball diamonds, soccer fields, an open play green, a skate park, basketball, tennis, sand volleyball, and/or practice fields providing opportunities for a variety of uses.

By providing trail connections to the neighborhood parks, the parks will be linked to both the community network of trails as well as the regional trails extending to the surrounding areas. Pedestrian access from the separate villages will reinforce the recreational facilities importance within the community. Clusters of large shade trees and shrubs from a California-appropriate landscape palette will be arranged surrounding the turf fields providing shade for spectators.

Additional gathering spaces will be provided near pedestrian oriented plazas that feature shade structures, large shade trees, and focal points.

b. Joint-Use Parks

Joint-use parks are intended for enjoyment of the general public and for the neighboring school. The intentions of joint-use parks are to provide

active uses for the schools during the day, and after school hours provide recreational facilities available to the general public.

These parks will be designed for active uses and may contain ball fields and playgrounds. These parks will be subject to joint-use agreements with the school district. These parks will be adjoining the proposed school sites throughout the Project. If the schools do not get built, the parks or park improvements will be developed to meet the needs of the residents and Quimby Act requirements. The intent of a joint-use park is for the County to own the park, both County and School District to operate the park, and for the School District to maintain the park.

c. Trailhead/View Parks

Trailhead/View Parks are located at several locations in the community and are intended for hiking, biking, and equestrian uses. A multi-purpose community trail, allowing equestrian uses, is located adjacent to the community to accommodate the existing rural community. A collection of trails, lookouts and trailheads will provide pedestrians, hikers and equestrians the opportunity to enjoy the open terrain that leads to the Lakeview Mountains.

A staging area for the multi-purpose trail, allowing equestrian uses, is located in the Foothill Village at the base of the existing mountain trail. Trailer parking, shade structures, horse tie-ups, and water troughs may be provided for equestrian uses. An open green field, picnic facilities, and drinking fountains may also be available.

Trailhead/View Parks for hillside walks could potentially be located in the Foothill, Pinnacle, and Enclave Villages. Kiosks with trail guidelines and distance markers, seating, and water may be available.

2. Passive Activities

Passive parks include public parks with recreational uses which do not attract large crowds, open areas, demonstration gardens, trails, parking lots, and other similar “light” uses. The majority of a passive park shall remain a natural open space area. Passive parks can also serve stormwater treatment, stormwater conveyance, and flood control functions for the community. Passive areas may include open lawns, restrooms, shade structures, picnic areas, a community garden, and parking facilities. Passive activities include interpretive areas, interpretive signs, and may include a California-appropriate demonstration

garden, which would be provided to educate home builders and homeowners of the adjacent habitat and the watershed that supports it.

a. Interpretive Areas

Four interpretive areas containing signs will be located in The Villages of Lakeview. These interpretive areas will be located within active, passive, and open space areas, as shown on **Exhibit B.18-C – Conceptual Park Plan**. These areas will be primarily oriented towards educating residents on the ecology, environment, history, and culture of the Lakeview area.

An interpretive sign will educate residents and visitors of the ecology and environment within and surrounding the San Jacinto Wildlife Area and will be located along the multi-purpose community trail in the River Bend Village. With a view structure and interpretive area, residents and students could learn about the migratory birds and their connection to the local ecosystem.

Within the Foothill and Town Center Village interpretive signs will provide ecological, environmental, historical, or cultural information on the existing features at the site.

Located in the Lakeview Mountains Village near the Ramona Expressway, this site will include information about riparian habitats and wildlife movements associated with local watersheds, and would also provide for cultural and historical interpretation, depending on discussion with the Native American tribes.

b. Private Recreational Facilities

1. Primary Recreation Areas

Several primary recreation areas will be planned throughout the Project boundary, and will be identified during the Village Refinement Process, as discussed in **Section B.11**. These facilities may include a building with entertainment and class spaces, an adult lap pool and spa, a children's pool, a splash park, a putting green, outdoor rooms with barbecues and fireplaces, and shaded seating.

2. Secondary Recreation Areas

In addition to the primary recreation areas, all neighborhoods may have access to small neighborhood pool areas located throughout the community. These facilities will include a pool, spa, shaded seating areas, and a restroom building.

c. Open Space and/or Conservation

THE VILLAGES OF LAKEVIEW proposes over 1,000 acres of conservation open space throughout the Project site. The Project is located between two conservation open space areas.

The San Jacinto Wildlife Area is located to the north and provides opportunities for open views from interpretive signs, and a trail along the edge of the property.

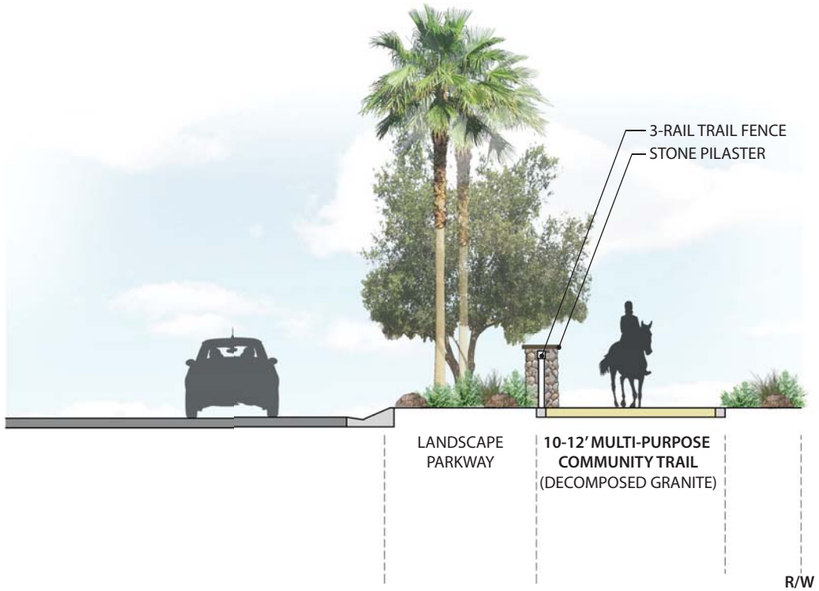
The Lakeview Mountains at the southeast corner of the Project provides approximately 900 acres of conservation, allowing the continued movement of wildlife, and the protection of cultural and scenic resources. This conservation/open space area provides opportunities for pedestrian and equestrian trails on existing dirt paths. Protection of the Lakeview Mountains, provides a permanent scenic vista for residents, the community, and travelers through the Ramona Expressway, and also provides a buffer from the existing rural community.

d. Trails

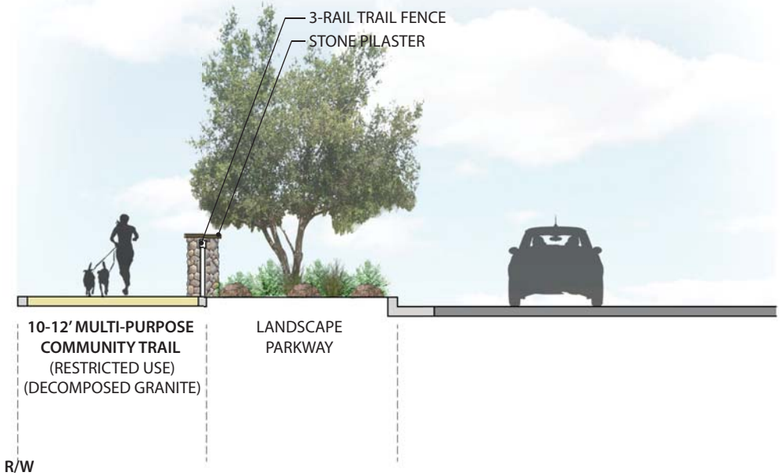
The trail system for THE VILLAGES OF LAKEVIEW is widespread and diverse. The community is accessible to pedestrians and bicyclists with both on- and off-street trails. Refer to **Exhibit B.8.18B – Trails Plan and Exhibit B.8.18D – Trail Sections**. Equestrian uses are permitted along the multi-purpose community trails. The multi-purpose community trails (restricted use), meaning no equestrian uses, and the paseos, are planned for pedestrian and/or bicycle use only.

The pedestrian linkage across the Ramona Expressway shown in these plans is conceptual only as the exact design and location of any such linkage has not been determined and will require coordination with and approval by the County and Riverside County Transportation Commission. The linkage could take the form of an undercrossing or overpass to provide a connection between the areas north and south of the Ramona Expressway.

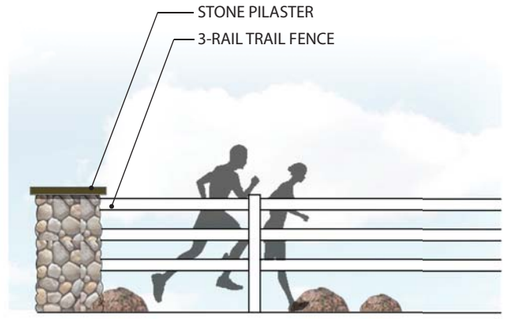
Currently, no trails within the Specific Plan area propose trail lighting. If upon further review, lighting may be necessary or desired within a proposed trail, the Village Refinement Process will identify the details of the lighting.



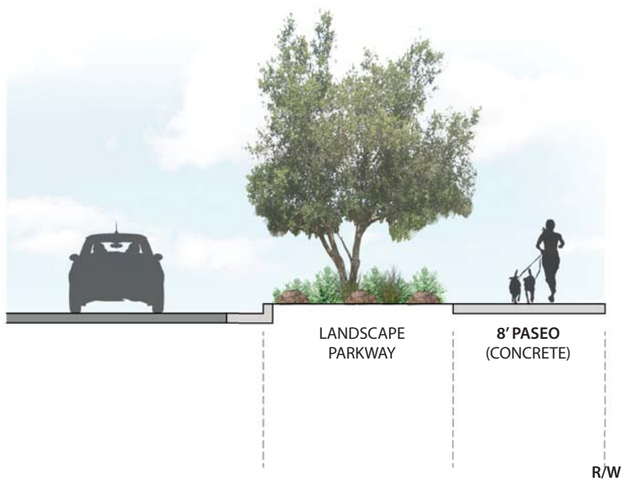
10'-12' MULTI-PURPOSE COMMUNITY TRAIL



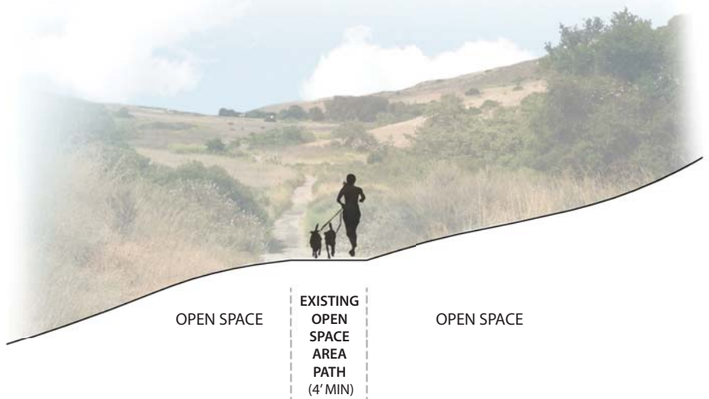
10'-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)



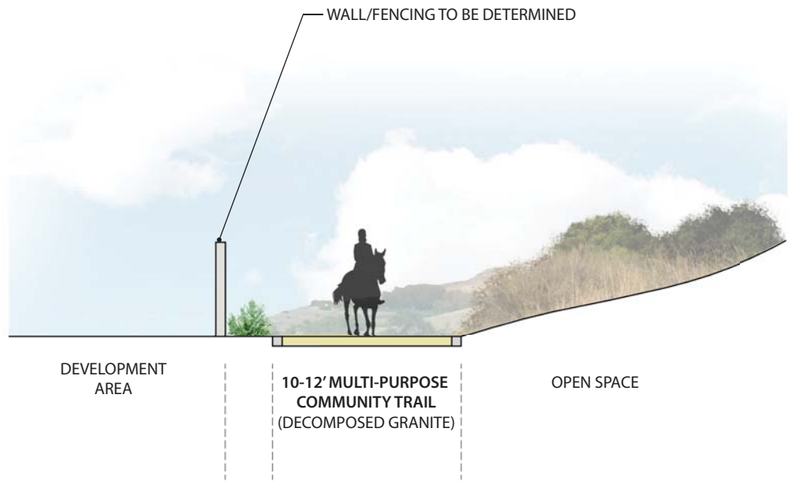
TRAIL FENCE DETAIL



8' PASEO



EXISTING OPEN SPACE AREA PATH (4' MIN)



URBAN/WILDLIFE EDGE TRAIL

1. 10 - 12' Multi-Purpose Community Trail

A multi-purpose community trail, which allows equestrian uses, bicycles, and pedestrians, begins outside of the community and is associated with THE VILLAGES OF LAKEVIEW at the Wolfskill Avenue edge and continues to the trailhead park in the Foothill Village. Between the trail and the residential property lines there will be at least 100 feet of open space (potential linear park). Clusters of shade trees and shrubs from a California-appropriate landscape palette will provide shade as well as possible locations for seating areas or hitching stops along the way. Additionally, windrow groupings along the trail will echo the windrows that can be found throughout the site. Along the trail, a rail fence may be utilized where the trail nears the streets and existing communities per the Lakeview Nuevo Design Guidelines.

A multi-use community trail transverses within the MWD Aqueduct property with links to regional connections. This trail runs from the MWD Aqueduct to San Jacinto and joins the existing open space area paths throughout the Lakeview Mountains. The trail is accessible from all parts of the community from both on- and off-street trails.

The trail through the MWD Aqueduct property may be characterized by a meadow planting that features wildflowers, annual native grasses, and ornamental grasses. These amenities and uses are subject to MWD approval. The trail through the MWD Aqueduct property is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

2. 10 - 12' Multi-Purpose Community Trail (Restricted Use)

The 10- 12' multi-purpose community trail (restricted use) is intended to accommodate bicycles and pedestrians only. The multi-purpose community trail connects both retail centers and all neighborhood parks with residences within each of the villages.

In the River Bend Village, the drainage channel running along portions of the trail may be characterized by a riparian planting that features clusters of shade trees and shrubs from a California-appropriate landscape palette. Potential future connections to County-proposed trails east and west of the Project may occur through consultation and agreement between the County, California Department of Fish and Wildlife (CDFW) and Regional Conservation Authority (RCA).

The section of the trail through the MWD Aqueduct property is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

3. 8' Paseo

   The 8-foot paseos are intended to serve as links to the larger trail system. These concrete paseos radiate throughout the Project linking residential properties to open space, parks, recreational facilities, neighboring villages, and the Town Center Village commercial/mixed use center.

4. Existing Open Space Area Paths (4' min.)

   The Lakeview Mountains conservation/open space land to the south has many existing dirt roads which are currently used as trails. Trails beginning in the Pinnacle and Foothill Villages will provide access to these existing paths. Access to, and designations for, existing trails located within Conservation areas will be subject to coordination with the Regional Conservation Authority (RCA).

5. Urban/Wildlife Edge Trail

   The urban/wildlife edge trail is located along the southern border of the Pinnacle Village. It will be a minimum of 10-12 feet wide and allow equestrian uses.

6. Trail Connections

   Along streets at cul-de-sacs, corner cut-through paseos will provide local connections, to allow residents to access trails from a neighborhood that connect to a school or a playground or park. Unlike other types of trails, these trail connections aren't strictly recreational; these trail connections are utilitarian. In addition to providing a path, these trails connect residents to useful places.

e. Open Space, Conservation, and Recreational Plan Development Standards

1. THE VILLAGES OF LAKEVIEW shall provide 5 acres per 1,000 residents of parkland. The parkland shall be located on- or offsite. At least 3.0 acres per 1,000 residents of parkland shall be provided onsite. Offsite parkland shall be located adjacent to or within close proximity (within 2 miles) of the Project site.

2. THE VILLAGES OF LAKEVIEW shall provide parkland within one-quarter mile of each dwelling unit at project build-out, except in the Town Center Village. Given the density of Town Center, distributing neighboring parks and private recreation facilities is important; therefore, parkland in Town Center shall be provided within 1,000-feet of each dwelling unit, which roughly corresponds to each residential block (see Zoning Ordinance, Appendix D).

3. All common areas and open space within the Specific Plan shall be maintained by a Homeowners' Association, County Service Area or Valley-Wide Recreation and Parks District.

4. All conservation areas and existing trails contained within the Specific Plan shall be maintained by the Regional Conservation Authority or their assignees (for a detail of the maintenance responsibility, see Maintenance **Table B.9-4**).

5. All private park and recreation facilities shall be privately owned and maintained for the benefit of residents within THE VILLAGES OF LAKEVIEW. Ownership and maintenance of recreation facilities will be the responsibility of a Homeowners' Association. The maintenance mechanism shall be selected prior to tentative map approval.

6. All public park and recreation facilities shall be publicly owned and maintained for the benefit of the general public. Ownership and maintenance of recreation facilities will be the responsibility of a County Service Area, or their assignee, or Valley-Wide Recreation and Parks District.

7. Landscaping within recreation and open space areas will be further governed by the Development Standards in the Landscaping Plan section and Design Guidelines section of this Specific Plan.

8. Prior to approval of a tentative parcel or tract map, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.

9. The amount of parkland provided shall be determined based on the actual number of dwelling units built, and the population shall be calculated using the population per dwelling unit parameters identified in **Section B.11**.

10. A Parkland Tracking Report (defined in **Section B.11**) shall be submitted at the time of submittal of a Village Refinement Plan or at the request of the Planning Director.

11. At any point in time before the 3,500th building permit is issued, parkland balance shall not be in a deficit by more than 5 acres. Deficit means parkland acreage provided (or equivalent) is less than parkland acreage required for the cumulative development to date within THE VILLAGES OF LAKEVIEW.

12. At any point in time after the 3,500th building permit is issued, parkland balance shall always be in a surplus. Surplus means parkland acreage provided (or equivalent) is greater than parkland acreage required for the cumulative development to date within THE VILLAGES OF LAKEVIEW. This surplus concept applies until the last 500 dwelling units are ready for development. At that point, parkland shall be brought into balance such that the parkland standard, 5-acres-per-1000 population, is implemented at build-out based on actual number of dwelling units built.

13. Offsite parkland proposed for THE VILLAGES OF LAKEVIEW shall be identified and approved within the Village Refinement Plan.

14. All tot lots shall feature shaded tree plantings and covers for shade.

15. As part of the Village Refinement Plan for the Town Center Village, an area shall be set aside in Planning Area 20 to accommodate a potential pedestrian undercrossing connecting Planning Area 20 to property outside of the Specific Plan and north of Ramona Expressway. If no development has been approved within said property north of Ramona Expressway by 2030, or by the time that entitlements for that planning area have been submitted, the area set aside for a pedestrian undercrossing shall be developed consistent with the Specific Plan's Mixed-Use land use designation.

16. All internal village streets and trails will be designed, to the extent feasible and as approved by the County, to reduce the distance for pedestrian and bicycles between residential and non-residential uses relative to vehicle travel.

9. Comprehensive Maintenance Plan

It is anticipated that certain public facilities will be maintained by the County through the Riverside County Transportation Department (RCTD) and the Riverside County Flood Control and Water Conservation District (RCFC&WCD). Maintenance responsibilities for other common project facilities including parks, landscaped parkways, and common areas will be divided among a Homeowners' Association, the County Service Area (CSA), or Valley-Wide Recreation and Park District. Final decisions regarding maintenance entities shall be made at the tentative stage and with approval of involved County agencies. **Table B.9.5 – Maintenance Table,** provides a tabular summary of Project maintenance responsibilities.

a. Parks and Common Areas

There are three maintenance entities that could be responsible for parks and common open space areas. They include the Homeowners' Association, CSA, and Valley-Wide Recreation and Park District. The Homeowners' Association will be responsible for all private, gated, common open space portions of the Specific Plan. The CSA and Valley-Wide Recreation and Park District will have the responsibility for public parks and open space throughout the Project.

b. Project Roadways

All public roadways and private streets will be designed and constructed to standards acceptable to the County. All public roadways will be entered into the Riverside County system of roads for operation and maintenance as approved by the Board of Supervisors. Private roads and alleys will be owned and maintained by the Homeowners' Association.

c. Trails

The trail system for THE VILLAGES OF LAKEVIEW is widespread and diverse. There are five types of trails throughout the Project area, which include Multi-Purpose Community Trails (restricted use), Multi-Purpose Community Trails, the Urban/Wildlife Edge Trail, Paseos, and Existing Open Space Area Paths, refer to **Exhibit B.8.18b – Trails Plan**. Private trails will be maintained by the Homeowners' Association, and public trails, regardless of classification, will be maintained by the CSA or Valley-Wide Recreation and Park District.

d. Conservation

THE VILLAGES OF LAKEVIEW proposes over 1,000 acres of open space throughout the Project site, including the Lakeview Mountains. The conservation open space areas will be maintained by the Regional Conservation Authority (RCA) or their designees. The RCA will maintain the conservation areas and will establish habitat reserves for the conservation and protection of species covered by the Multiple Species Habitat Conservation Plan (MSHCP) and will implement the MSHCP.

e. Drainage Channels

Closed conduits, man-made earthen channels, a detention basin, and debris basins are proposed to convey developed 100-year storm runoff through the Project, in accordance with RCFC&WCD standards and requirements. The RCFC&WCD will have ownership of the drainage channels, but the CSA will maintain the landscaping in the channels.

f. Library and Public Community Center

The County's Special District Department has expressed interest in utilizing a portion of the existing Nutrilite building for a library use. In this scenario, the County would lease the facility from the developer. However, if this scenario does not materialize in this manner, any free-standing library and Public community center proposed in the Project, will be owned, operated and maintained by the County or its assignee. Any joint-use (school/public) library would be subject to a joint use agreement between the County and the School District regarding operations and maintenance; ownership remains with the School District.

TABLE B.9.5 – MAINTENANCE TABLE

	Homeowners' Association	CSA	Valley-Wide Recreation and Parks District	Riverside County Transportation Department	Riverside County Flood Control and Water Conservation District	Nuview Union School District	Eastern Municipal Water District	Regional Conservation Authority
Landscaped Parkways & Median	X	X						
Street Lighting	X	X						
Traffic Signals		X		X				
Public Streets				X				
Private Streets	X							
Trails	X	X	X					
Sidewalks/Paseos/Trails along Public Streets	X			X				
Sidewalks/Paseos/Trails along Private Streets	X							
Storm Drain Open Channels and Basins Landscape	X	X	X					
Storm Drain Open Channels and Basins Structures					X			
Storm Drains Enclosed Conducts (in Roads)				X	X			
Public Sewer/Water & Recycled Water							X	
Project Signage	X	X						
School Site						X		
Joint Use Facilities		X	X			X		
Public Parks	X	X	X			X		
Private Recreation Facilities	X							
Cultural Resources[1]	X	X						
MWD Aqueduct Trails & Landscaping		X	X					
Conservation Areas								X
Fuel Modification Zone	X	X	X					

[1] Site Preservation Plans for each site will identify the administering party such as Homeowner's Association, Tribe, or other entity approved by the County.

10. Financing of Improvements

A facilities financing program is important for implementation of the Specific Plan. The financing program needs to assure the timely financing of public streets, utilities, and other necessary capital improvements.

Financing for infrastructure improvements encompasses a variety of different mechanisms, processes, and costs that vary based on the type and purpose of an improvement, financial market conditions, debt service considerations, and agency capabilities and policies. A Fiscal Impact Analysis was prepared for THE VILLAGES OF LAKEVIEW, and is available at the County. A brief summary of the analysis is described below.

a. Capital Financing

Major infrastructure, such as water, sewer, and roads, may be financed by a special tax established through the formation of a Community Facilities District (CFD). Another approach may be to create a bond assessment district where tax liens are placed on participating properties to underwrite the sale of bonds to finance specified improvements. A bond assessment district may also be used to finance the design and construction of parkland and possible storm drain improvements. These mechanisms require that the facility to be financed, be a public improvement, and that participating properties receive a benefit from that improvement. The form of financing selected, if any, will be determined based on the type of uses and pace of development that occurs within the Project. Examples include:

1. Community Facility District
2. Other forms of Assessment Districts
3. Facilities Benefit Assessment
4. Landscape and Lighting Districts
5. Reimbursement agreements
6. State and/or federal grants and loans

The developer may elect to use private capital to finance major infrastructure improvements, as well as in-tract improvements to avoid long-term debt assessment upon buyers of improved land.

b. Capital Funding

The method of infrastructure funding will be determined during the engineering review of implementation development plans and in conjunction with the phasing of the infrastructure. Some possible funding mechanisms for the Specific Plan public improvements are listed below:

1. Development Impact fees (Ordinance 659)
2. Transportation fees (e.g., TUMF or RBBD)
3. Community Facility fees
4. Per unit hook-up charges

c. Funding of Maintenance

Funding for on-going maintenance for common areas, trails, parks, and private roads will be funded privately through a Homeowners' Association (HOA) or publically through the County Service Area (CSA) or Landscape and Lighting Districts.

11. Specific Plan Administration

This Administration Section is very unique and was created specifically for THE VILLAGES OF LAKEVIEW Specific Plan. Factors that make this Administrative Section so unique include the Village Refinement Plan, the flexibility given to residential development, and the park program. Several reasons dictated the need for flexibility given to this Specific Plan, including: (1) the large size of the Project, including approximately 2,883 acres with a projected 8,725 dwelling units and 1,380,000 square feet of commercial development and (2) the proposed timeline for Project development of approximately 10+ years.

THE VILLAGES OF LAKEVIEW will provide a maximum of 8,725 dwelling units, throughout the Project boundary. The residential planning areas are anticipated to have three land use categories including: Medium Density Residential (2-5 du/ac), Medium High Density Residential (5-8 du/ac), and High Density Residential (8-14 du/ac). The residential planning areas are anticipated to have 5,950 dwelling units. The mixed-use planning areas are anticipated to have 2,775 dwelling units. The residential planning areas and mixed-use planning areas combined will contain no more than 8,725 dwelling units.

a. Village Refinement Plan

In anticipation of unknown variables that might occur in the future, the Village Refinement Process was designed to bridge the gap between the Specific Plan and project development. The Village Refinement Process complies with the County's Specific Plan Substantial Conformance procedure as outlined in Section 2.11 of County Ordinance No. 348. Ultimate approval resides with the Planning Commission. The refinements made to the Specific Plan as part of this process must be consistent with the adopted Environmental Impact Report for THE VILLAGES OF LAKEVIEW (Specific Plan No. 342, EIR No. 471). Refinements which would result in significant environmental impacts not previously addressed in the EIR shall require a Specific Plan Amendment and further review under the California Environmental Quality Act (CEQA), rather than a Specific Plan Substantial Conformance.

The Village Refinement Process is detailed below:

1. Prior to, or concurrent with, the first subdivision within a village, a Specific Plan Substantial Conformance application shall be filed. The purpose of the Substantial Conformance is to establish a Village Refinement Plan. Upon approval of the Village Refinement Plan by the Planning Commission, the Village Refinement Plan shall be included as an appendix to the Specific Plan. The Village Refinement Plan shall include the following:

a. A preliminary diagram that illustrates how the circulation, uses, and interaction will work within the village as a whole, including but not limited to: links between open space, trails and trail connections, roads and road connections, and landmarks.

b. A discussion of the overarching community character design goals and the village design goals so that both levels of character—overarching community level and village level—are being properly addressed.

c. A narrowed list of architectural styles to be applied within the village, to further define the character of the village. If the village contains a major public building, such as a library, public community center, school (subject to school district approval), or a private Lewis Signature Facility, the Village Refinement Plan shall identify the general location of that building and its architectural style (or narrowed list of styles), and explain how that building contributes to the village character or overarching community character.

d. Preliminary plans for lighting, monuments, the community separator, walls, and fences within the village which include approximate locations, materials, and dimensions.

e. Preliminary park locations, acreages, elements, and layouts. A map with a ¼-mile radius circle around each park proving each dwelling unit is within ¼ mile of a park.

- The Village Refinement Plan shall be accompanied by an updated Parkland Tracking Report.

f. Preliminary landscape plans containing typical hardscape and softscape that address the streetscene in particular which include refined images, approximate dimensions, and locations of walls and fences, and a general materials list. In addition, the preliminary landscape plan shall include refined images of street signs and street lights.

g. Preliminary edge condition plans will address significant external project edges.

2. The County shall ensure that the implementing projects (tract maps, use permits, etc.) comply with the Village Refinement Plan for that particular village.

3. After the Village Refinement Plan has been adopted for any particular village, further modifications may be made during the final engineering/tentative tract map entitlement process. A modification shall be determined to be either major or minor, at the discretion of the Planning Director. Major modifications will require a new Specific Plan Substantial Conformance application, and minor modifications will be approved by the Planning Director.

b. Schools

The following procedures shall apply to the school sites:

Within THE VILLAGES OF LAKEVIEW, there are three potential sites that would allow K–8 schools and a joint high school-K-8 school along with adjacent joint-use parks, based upon projected student generation rates and the cost of construction, to accommodate the projected student population in Planning Areas 26, 27, and 28. Final approval of each of the school sites rests with the State of California Department of Education. It shall be the responsibility of the School District to seek such approval and to comply with all applicable regulations and procedures.

Within two years after approval of the first tentative map for each village in which a school is located, the school district must either (i) execute a binding, irrevocable agreement to purchase land sufficient for the designated school site in the identified Planning Area, on terms reasonably acceptable to the developer, or (ii) confirm in writing to the developer that it will not utilize the potential school site within that village for development of a school and joint-use park. If written notice is received that the school district does not intend to utilize the school site for development for a school and joint-use park, or in the event the developer does not receive from the school district written confirmation after the two-year period has expired, the Specific Plan land use of the potential school site will become residential or mixed use, consistent with the land use designation adjacent to the school site described in detail within the Specific Plan **Zoning Ordinance, Appendix D**.

Developing Planning Areas 26, 27 and 28 with residential dwellings or mixed uses instead of a school will not require an amendment to this Specific Plan or a "determination of substantial project conformance with adopted Specific Plan" as long as the implementing projects such as, but not limited to, plot plans, conditional use permit or subdivision maps are consistent with the Specific Plan text, the Specific Plan zoning ordinance, and do not result in the total number of residential dwellings in the Specific Plan to exceed 8,725 dwelling units. If the proposed project will result in the number of residential dwellings in the overall Specific Plan to exceed 8,725 dwelling units, the County of Riverside will

require an amendment to the Specific Plan. Said amendment will, at a minimum, seek to increase the maximum number of residential dwellings allowed in the Specific Plan along with the necessary environmental analysis in compliance with the California Environmental Quality Act (CEQA). Additionally, any future implementing project will be required to do the appropriate environmental analysis in accordance with CEQA.

c. Residential Planning Area Development Procedures

Any developer proposing residential development within THE VILLAGES OF LAKEVIEW, either through individual or multiple Planning Areas, will be required to report how many dwelling units will be developed within each Planning Area, as shown on **Table B.11.6 – Reporting Mechanism**, and if any modifications to the Land Use Table are necessary. This report will need to be submitted to the County of Riverside Planning Department to ensure the total number of dwelling units will not exceed 8,725. **Table B.11.7 – Master Log**, will be the running tabular record of all proposed and developed dwelling units, for use by the Planning Department.

1. Development within the Dwelling Unit Range

   The Dwelling Unit Range is established at the time of the adoption of the Specific Plan. Any proposed development within the Dwelling Unit Range is in conformance with the Specific Plan. The Dwelling Unit Range for each planning area contains a target number of dwelling units based on adjusted gross density. During the site plan and tentative tract map stage of the development process, the final number of dwelling units for a particular planning area may differ from those identified in the Specific Plan, so long as the density falls within the range specified by the land use designation. Furthermore, an individual site plan or tentative tract map may fall outside of the specified density range, so long as the total density for a particular planning area falls within the range specified by the land use designation.

   When completing the Reporting Mechanism, and if the proposed development is within the dwelling units range, a justification statement is not required, and a Specific Plan Amendment or Specific Plan Substantial Conformance Report is not required as well.

   As it applies to residential Planning Areas, the three density ranges currently anticipated and shown on the Conceptual Land Use Diagram in the Specific Plan include:

- Medium Density Residential (2–5 du/ac)
- Medium High Density Residential (5–8 du/ac)
- High Density Residential (8–14 du/ac)

2. Development outside of Dwelling Unit Range

   If the proposed development is below or above the Dwelling Unit Range, a Specific Plan Amendment will be required.

d. Community Separator

A Community Separator is proposed in order to provide a visual separation and buffer between the City of San Jacinto and the Lakeview/Nuevo Community. The exact definition for the Community Separator has not been defined, and will be defined during the Village Refinement Plan for the Enclave Village, at the discretion of the Planning Commission.

The Community Separator will include open space/conservation included in Planning Area 50G and a potential monument intended to represent the whole Lakeview/Nuevo community, embellished with the Lakeview/Nuevo community logo or other indicator in Planning Area 15.

e. Mixed-Use (MU) Designation

Mixed-use designations indicated on **Exhibit B.1.5 – Conceptual Land Use Diagram**, Planning Areas 16, 17, 18, 19, 20, 21, 22, and 23 provide for residential and commercial uses as defined in **Table B.1.2 – Detailed Land Use Summary**. Any development application within the Mixed-Use Designation may choose from a "menu of opportunity" which includes any combination of commercial, residential, or other public facilities uses, in accordance with the zoning ordinance of this Specific Plan**, Appendix D**.

Any mixed-use development will use allocations from both the residential and commercial uses. Any applications for vertical mixed-use development shall be initially reviewed by the Planning Director. At a minimum, 350,000 square feet of commercial uses will be developed before residential uses eliminate all of the acreage available for development within the Town Center Village, otherwise a Specific Plan Amendment will be required.

It will be the responsibility of each developer to report to the Planning Department how much of each allocation, either residential or commercial uses, they are using, as shown on **Table B.11.6 – Reporting Mechanism.** The mixed-use planning areas target number of dwelling units, as stated on the Conceptual Land Use Diagram, is 2,775. Development of

these planning areas can be less than or can exceed the target, without requiring a Specific Plan Amendment or Substantial Conformance Report, as long as the total number of dwelling units for the Project does not exceed 8,725. It is anticipated that portions of the Town Center Village will be developed last.

f. Partial Planning Area Development

A portion of a planning area may be developed (without any modification to the Specific Plan through an amendment or finding of Substantial Conformance), as long as the overall development of that Planning Area develops in accordance with the established Dwelling Unit Range. It is the responsibility of the property owner to not exceed the remainder of allowed dwelling units within each Planning Area and to ensure that multiple developments within a Planning Area proceed in accordance with the Specific Plan. All development applications shall be tracked by the property owner and reports shall be submitted to the Planning Department in accordance with **Table B.11.6 Reporting Mechanism** and **Table B.11.7, Master Log.**

If multiple, simultaneous modifications to a Planning Area are required (either through a Specific Plan Amendment or Substantial Conformance process); the responsibility of processing that application will be determined by the Planning Department on a case-by-case basis.

g. Residential Architectural and Building Types

Each residential planning area throughout the Specific Plan may be developed with different residential architectural and building types as defined in Section D, Design Guidelines. As building types evolve over time, additional building types can be built if the concept complies with the Specific Plan Zoning Ordinance and Design Guidelines. These potential additional architectural types and building types will need to be described in the Village Refinement Plan and the Planning Director has the discretion to approve new plotting concepts and new architectural styles as they become available.

h. Healthy Communities Checklist

Implementing projects pursuant to the Development Agreement shall utilize the following checklist during the entitlement review and approval process to incorporate healthy community design.

1. Residential projects shall be designed to accommodate a 15 minute walking path to Specific Plan parks or other additional smaller park areas that may be included.

2. Public spaces shall incorporate Crime Prevention Through Environmental Design (CPTED) principles to maximize visibility onto public spaces to enhance security of these spaces. CPTED principles shall be balanced with other good design principles for public spaces.

3. Childcare facilities shall be considered in conjunction with development within or adjacent to commercial, school, and park facilities to provide project and other area residents with a close option for child care. It is encouraged that childcare facilities seek joint use of school and park facilities where feasible and subject to school district or controlling entity approval.

4. Project streets shall incorporate bike trails for recreation and commuting purposes beyond those designated within the Specific Plan to enhance connections between certain land uses where such walking connections may not be close enough to be regularly be served by walking (i.e. within a 15 minute walk). Local serving streets with direct residential access need not have designated, striped bike lanes, but should still generally be designed to accommodate bike use. All other streets shall include striped bike lanes.

5. Commercial shopping areas and any community center facilities should be designed and programmed to accommodate regularly schedule farmers markets that emphasize the sale of fresh produce.

6. Community garden areas shall be provided for any residential projects with densities greater than 8 dwelling units per acre

7. Traffic calming and pedestrian safety measures shall be incorporated to minimize traffic speed and enhance visibility where pedestrian use is projected to be concentrated

8. Sensitive land uses such as schools and parks should be discouraged in areas near high traffic areas that might expose such sensitive uses to high emission levels, in particular from diesel particulate matter, consistent with the analysis in the EIR.

9. Development that includes outdoor seating areas such as plazas and outdoor dining associated with commercial development shall incorporate adequate shading to encourage use during warmer weather. All development shall incorporate adequate shading of pedestrian pathways to encourage walking.

10. The smart shuttle program required by this Development Agreement shall include service to the Commercial Office designated areas of the Specific Plan to serve residents of the project that may work there or for workers in the Commercial Office area that may commute from the Metrolink station.
11. Development shall incorporate spaces designated for electric vehicle charging, in particular for non-residential uses and higher density residential uses that may not include private garage spaces, pursuant to the Riverside County Climate Action Plan Screening Tables included in the EIR.

TABLE B.11.6 -Reporting Mechanism – Application Case #

PA	Acres in PA	Dwelling Unit Range		Proposed Number of Dwelling Units	Justification Statement (required if outside dwelling unit range)

Table B.11.7 – Master Log

Planning Case # or TTP or TPM#	Residential PA	Gross Acres	Target Number of DU	Dwelling Unit Range		Actual DU Implemented at:			Mixed-Use Village DU Balance
						TTM or TTP Approval	Final Map Recordation	Actual Building Permit	
Example #1	9	9	120	72	126	135	130	129	3,091
Example #2	10	23	180	115	184	165			3,106

i. Active Park Program Administration

THE VILLAGES OF LAKEVIEW shall meet or exceed the requirements of Riverside County Ordinance 460 Section 10.35 ("Quimby"), which requires 3.0 acres of parkland per 1,000 residents. THE VILLAGES OF LAKEVIEW will provide 5.0 acres of parkland per 1,000 residents, on- or off-site. Parkland located off site shall be located within 2 miles of the Project boundary, and at least 3.0 acres of parkland per 1,000 residents shall be provided on site. THE VILLAGES OF LAKEVIEW will also provide parkland within one-quarter mile of each dwelling unit at build-out. Through the Village Refinement Process, specific parkland locations shall be identified within or associated with the respective village. Along with the Village Refinement Plan, a Parkland Tracking Report will be included. The Parkland Tracking Report will include parkland credit, Quimby requirements, the parkland baseline, proposed dwelling units, constructed dwelling units, and the required parkland based on dwelling units built.

1. Parkland Credit
    a. Parks 10,000 square feet in size and larger shall be eligible for 100% credit.
    b. Multi-purpose community trail land shall be eligible for 50% credit.
    c. Public parkland shall be eligible for 100% credit
    d. Private parkland shall be eligible for 50% credit
    e. Joint-use parks shall be eligible for 100% credit.
2. Quimby Requirements
    a. Population shall be calculated using the population per dwelling unit parameters identified in the table below, **Table B.11.8**. Based on 100% project buildout, the maximum amount of parkland acreage required would be 67 acres.
    b. The amount of parkland provided shall be determined based on the actual number of dwelling units built.

Table B.11.8 – Population per Dwelling Unit Parameters

Category per Ord. 460	Land Use Designation	Population per DU[1]	Targeted DU[2]	Total Population[3]	Parkland Acreage[3]
SFD Attached Garage	Medium, Medium High & High Density Residential (Detached)	2.59	5,035	13,040	39.1
Duplex	Medium Density Residential (Attached)	2.64	915	2,415	7.3
3-4 Unit Building	Mixed-Use	2.48	2,775	6,882	20.6
5+ Unit Building	Mixed-Use	2.34	0	0	0
TOTAL		**2.57**	**8,725**	**22,337**	**67**

NOTES:

1. Population per Dwelling Unit (DU) factors are based on County ordinance and remain fixed.
2. Targeted DU is a forecasted plan: actual build-out will vary as allowed pursuant to SP 342.
3. Total Population and Parkland Acreage include numbers that have been rounded. Acreage is based on Quimby Requirements.

3. Parkland Baseline

The parkland baseline identifies forecasted parkland acreage per village. The numbers below reflect 100% project buildout. **Table B.11.9,** below, identifies the number of dwelling units targeted per village. **Table B.11.10,** below, identifies the acreage of parks required based on the projected number of dwelling units listed in **Table B.11.9**.

Table B.11.9 – Forecasted Units at Buildout

Land Use Designation	River Bend	Town	Parks	Garden	Foothill	Enclave	Pinnacle	Total
Medium, Medium High & High Density Residential (Detached)	0	0	1,380	685	1,040	385	1,545	5,035
Medium Density Residential (Attached)	0	0	525	0	0	390	0	915
Mixed- Use	0	2,715	40	20	0	0	0	2,7755
TOTAL	**0**	**2,715**	**1,945**	**705**	**1,040**	**775**	**1,545**	**8,725**

Table B.11.10 – Estimated Parkland Acreage Required at Full Buildout by Village (Based on Quimby Requirements: 3 acres per 1,000 Residents)

Land Use Designation	River Bend	Town	Parks	Garden	Foothill	Enclave	Pinnacle	Total
Medium, Medium High & High Density Residential (Detached)	0	0	10.7	5.3	8.1	3	12	39.1
Medium Density Residential (Attached)	0	0	4.2	0	0	3.1	0	7.3
Mixed- Use	0	20.2	0.3	0.1	0	0	0	20.6
TOTAL	**0**	**20.2**	**15.2**	**5.4**	**8.1**	**6.1**	**12**	**67**

Table B.11.11 provides the baseline of forecasted acreage per park planned on-site and identifies the acreage needed to meet the 5 acres per 1,000 residents parkland standard. The numbers listed below are projections, based on 100% project buildout. If less dwelling units are constructed than what is anticipated in **Table B.11.9**, than the following tables will adjust to reflect lower numbers. The parkland baseline is provided for the purpose of reporting parks in the Parkland Tracking Report.

Table B.11.11 – Estimated Parkland Acreage Provided and Required at Full Buildout by Village (Based on 5 acres per 1,000 Residents)

Proposed Parks	River Bend	Town	Parks	Garden	Foothill	Enclave	Pinnacle	Trails	Total
On-and Off-site Trails	0	0	0	0	0	0	0	15.5	15.5
Joint-use Park	0	5	5	0	5	0	0	0	15
Public Park	0	9	21.5	25.3	10.1	8.1	8	0	82
Total Acreage Provided	**0**	**14**	**26.5**	**25.3**	**15.1**	**8.1**	**8**	**15.5**	**112.5**
Required Parkland	**0**	**20.2**	**15.2**	**5.4**	**8.1**	**6.1**	**12**	**--**	**111.7**

NOTE: Forecasted acreages include rounded numbers. Trails include on- and off-site Multi-Purpose Community Trails and Urban Wildlife Edge Trail.

12. Lakeview Green Design

The Project's vision calls for a redefined pattern of community development. The response is a master plan guided by Smart Growth Principles, and a result is Lakeview Green Design. Its purpose is to lay a foundation that will inspire a future generation to support sustainable development practices.

Lakeview Green Design is a broad collection of practices, standards, measures, methods, procedures, techniques, and approaches that can be grouped into three categories: land planning, building standards, and landscaping. Some are required and some are encouraged. The goals include: to use land efficiently, to use water efficiently, to conserve energy, to encourage less automobile use, and to promote a walkable, healthy community. Outreach plays a part as an effort to educate that future generation. The benefits of Lakeview Green Design are highlighted below.

a. Land Use

Because the land is limited, the Smart Growth principal of Compact Building Design was utilized as an approach to plan THE VILLAGES OF LAKEVIEW. Compact Building Design is a planning technique that accounts for the conservation of resources (biological and cultural) and the need for open space, while efficiently using the remaining land for productive purposes. Compact Building Design enables efficient use of water and energy due to the reduced development footprint and it encourages residents to consider alternative transportation, i.e., walking, hiking, and biking, by providing facilities and linkages that make alternative transportation just as or more efficient than transitional auto use.

1. THE VILLAGES OF LAKEVIEW's reduced development footprint enables significant contributions to conservation efforts through MSHCP and transportation efforts through CETAP. In doing so, THE VILLAGES OF LAKEVIEW is implementing the Population Growth Vision Statement of the County General Plan: *"New growth patterns no longer reflect a pattern of random sprawl. Rather, they follow a framework of transportation and open space corridors, with concentrations of development that fit into that framework. In other words, important open space and transportation corridors define growth areas."*

2. The Town Center Village is a walkable, mixed-use development centrally located, creating easy access to surrounding residential villages. As the community core, its walkable design encourages pedestrian mobility—residents can leave their cars behind as they circulate through pedestrian corridors. And once in their cars, the circulation system is also designed to promote efficiency by encouraging residents to complete multiple-stops-per-trip rather than the

one-stop-per-trip found in conventional suburban single-use areas due to the mix of employment, retail, and recreational opportunities.

b. Conservation

1. 47% of THE VILLAGES OF LAKEVIEW is open space which includes, but is not limited to, conservation, parks, trails, earthen drainage channels, landscaped setbacks and terraced slopes.

2. 1,031 acres of habitat including a contiguous 900±acre block of mountains have been avoided and will be conserved on site.

3. Of the significant biological resources found on site, the land use diagram avoids at least 90% of those with long-term conservation value, with 100% avoidance in most cases:

    a. Vernal pools 100% avoided

    b. Wetlands 100 % avoided

    c. L.A. pocket mouse habitat 92% avoided

    d. Sage scrub and chaparral habitat 96% habitat avoided

    e. Sensitive plant populations – Coulter's goldfields and smooth tarplant 100% avoided

4. Living on the Edge concepts shall be applied along the urban-wildlife interface as required by the MSHCP (Vol. 1, Section 6.1.4). For example, street lights will include internal baffles to direct light down and keep it from spilling into conservation areas.

5. The overall plan protects biology. For example, significant setbacks to development are provided where needed, invasive plants are prohibited, limitations on cats and dogs are required, and efforts are being made to partner with California Department of Fish and Wildlife, the owner of the San Jacinto Wildlife Area, on future educational programs.

6. Significant cultural resources have been avoided and buffers are provided, including a 575-foot buffer between development and the most important cultural resource.

7. To inspire environmental sustainability, THE VILLAGES OF LAKEVIEW shall provide an outreach program that includes interpretive elements to educate the public.

c. Circulation

1. Walkable: the land plan is designed to support walking, hiking, and biking via the 37-mile network of bicycle lanes, trails, and paseos with connections to schools, libraries, parks, open space, bus stops, and commercial areas.
2. Priority parking for Electric Vehicles (EV) will be provided in the Specific Plan. Bicycle parking will be provided, as well.
3. Charging facilities for EV will be provided in the residential areas and non-residential areas of the Specific Plan.
4. To support car sharing, up to five spaces will be provided in the Specific Plan for car sharing service.
5. Outreach efforts aimed at informing residents about opportunities to walk, hike, bike, carpool, and use public transportation shall be provided. For example, this effort will be implemented by providing signs along trails, trail maps, and information about shuttle services.

d. Drainage and Water Quality

1. Floodplain: THE VILLAGES OF LAKEVIEW will reconfigure the San Jacinto River floodplain and increase the floodplain storage capacity.
2. Natural treatment systems and engineered drainage controls will be built to enhance the quality of storm water runoff which should help impaired water bodies downstream.
3. Four miles of drainage channel will be earthen (not concrete) and five miles of roadside swales and median swales will be vegetated (not curb-&-gutter) to promote infiltration and groundwater recharge.
4. Because Compact Building Design was utilized to plan THE VILLAGES OF LAKEVIEW, more land is left in open space than would otherwise be available, which means more storm water infiltrates and recharges to groundwater. In its post-developed condition, THE VILLAGES OF LAKEVIEW has an estimated impervious factor of 32% (100% means all storm water runs off the land). That figure is significantly lower than conventional suburban development where a project might exceed 65% imperviousness.

e. Landscape

1. To inspire healthy living, given the climate, shade is needed to encourage people to walk. As such, THE VILLAGES OF LAKEVIEW will be a community of trees—over 30,000.

2. Each new homeowner will receive a tree at closing, either to be planted in their yard or to be donated and planted within the community.

3. Learning gardens are required at the schools to educate students on the life cycle of fruits and vegetables, or the origin of a tree species.

4. To minimize runoff and evaporation and maximize water to the root, the following shall be utilized: drip irrigation systems, smart irrigation systems (computerized systems that employ soil moisture, rain and temperature gauges, some by satellite, to adjust watering), mulch (improves the water holding capacity of soil), and planting techniques (e.g., group plants of similar water use to reduce over-watering).

f. Water

1. THE VILLAGES OF LAKEVIEW shall utilize recycled water to the maximum extent possible.

2. To pressurize and stabilize Eastern Municipal Water District's recycled water system, the Project will provide a site for a recycled water tank. This will dramatically improve reliability of delivery to customers because the current system has no tank and therefore, is not pressurized.

3. Where professional management is available, such as a Homeowners' Association, recycled water shall be used in residential front yards and back yards, i.e., private common areas, and in the adjacent public street parkway.

4. Compared to conventional suburban development, these development standards coupled with Compact Building Design will reduce residential landscape acreage (front and back yards) by an estimated 43%, while potable water demand for residential landscaping will reduce by an estimated 86%.

g. Energy

1. Energy Star rated (or equivalent) appliances shall be installed.
2. Street lighting will be energy-efficient.
3. High efficiency lighting shall be installed.
4. Landscaping is encouraged as a tool to reduce energy consumption, such as placing deciduous trees in front of the south-facing wall to naturally cool the house during the summer while allowing sunlight in during the winter.

h. Recycling

1. Smart Architecture: builders and developers shall plan projects to be resource-efficient and reduce the amount of construction waste where practicable.
2. Builders and developers shall make every reasonable effort to recycle or reuse the amount of construction and demolition materials, i.e., concrete, asphalt, and wood, which would otherwise be taken to a landfill.
3. Concrete from the on-site horse farm and poultry ranch shall be crushed to the appropriate size and used as base material within streets.
4. Homebuilders shall employ efficient building techniques in an effort to reduce waste. For example, the master developer's internal design guidelines will require homebuilders to design framed roof overhangs at 16", not 18", so 100% of the 4'x8' sheet of plywood will be used. Across the Project, this simple concept generates a savings of 55,000 sheets of plywood and prevents 55,000 sheets of 12"x8' plywood from being thrown away.

i. Green Building Development Standards

1. To utilize energy efficiently, homebuilders shall install Energy Star-rated model appliances (or other equivalent technology), if the homebuilder chooses to install major appliances such as a dishwasher, washing machine, and refrigerator in the new home.
2. To utilize energy efficiently, street lights shall be installed with energy-efficient lighting.
3. To utilize energy efficiently, high efficiency light bulbs and lighting fixtures shall be installed in residential and non-residential buildings.

4. Where professional management is available, such as an HOA, recycled water shall be used in residential front-yards and backyards if available, i.e., private common area, and in adjacent street parkways, subject to EMWD and County approvals.

5. To utilize water efficiently, California-appropriate vegetation shall be incorporated into THE VILLAGES OF LAKEVIEW landscape. **Appendix B, Plant Palette**, shall be used as the outline for appropriate plants when incorporating trees, shrubs and groundcover.

6. THE VILLAGES OF LAKEVIEW shall create an "adopt a tree project", where each new homeowner within THE VILLAGES OF LAKEVIEW shall receive a tree, either to be planted in their yard or to be donated and planted within the community.

7. To educate the residents, THE VILLAGES OF LAKEVIEW will engage in public outreach efforts aimed at informing residents about opportunities to utilize walking, public transportation, carpooling, and bicycles. This effort will be implemented through signage and information posted in the Town Center and public community center.

8. To encourage fuel efficient automobile use, THE VILLAGES OF LAKEVIEW will designate parking spaces for Electric Vehicles (EV) in the Specific Plan.

9. To support EV usage in the Specific Plan, EV charging stations will be provided such that:

    - Garages in single family homes are installed with conduit to the garage to the service panel, suitable for future electric car charging devices or service.
    - One electric vehicle charging station is installed for every 15 multi-family dwelling units.
    - Commercial uses to have electric vehicle charging stations for at least 2% of all parking spaces.
    - One 240 kV outlet is installed in the vicinity of every loading dock.

10. To support car sharing, up to five spaces will be provided in the Specific Plan for car sharing services.

11. To encourage less automobile use, the County shall verify that the following Transportation Demand Management (TDM) measures are implemented:

    - Prior to issuance of non-residential building permits, the Project shall provide bicycle parking in recreation, commercial, and public use areas;

- Prior to issuance of all building permits, the Project will include pedestrian access system integrated into the design of the community to encourage pedestrian travel as an alternative to automobile travel; and
- Prior to issuance of residential and school building permits, the Project will include commute trip reduction program which will include ride matching assistance via the Home Owner Association (HOA) and school trip matching via HOA and Parent Teacher Association (PTA).

12. To encourage less automobile use, THE VILLAGES OF LAKEVIEW will coordinate with the transportation department and with local and regional agencies where possible in order to coordinate the location of bus stops to integrate to the Metrolink Station.

13. Separate recycling and waste receptacles will be provided at all public garbage bins along sidewalks and in the Town Center and public community center. Proof of compliance will be required prior to issuance of a building permit. Signage and information regarding the recycling bins and acceptable recyclable materials shall be posted in the Town Center and public community center. Proof of compliance will be required by the Department of Building and Safety prior to the Plot Plan Final Inspection of each the above-listed facilities.

14. The Project developers shall produce or cause to be produced renewable electricity, or secure GHG offsets or credits recognized or validated by the California Air Resources Board or the South Coast Air Quality Management District, that is equivalent to the installation of one photovoltaic (i.e., solar) power system no smaller than a 2-kilowatt (kW) solar panel installation for every single-family detached residence, and for every 1,600 square feet of non-residential roof area available for solar panels, on the Project site. Offsets will be used as a backup for solar up to the equivalent of 2.0kW if the single-family residence is not build with a solar power system. This shall not apply to single-family attached and multi-family residences.

C. Land Use, Planning, and Design Standards

1. River Bend Village

a. Descriptive Summary

Planning Areas: 24, 25, 41A, 41B, 45A, 45B, 48, 49, 50A, 50B, 50C, 50I and 50J

The River Bend Village is the only village located north of Ramona Expressway. The River Bend Village includes approximately 336 gross acres and a target of 825,000 square-feet of commercial/office uses (**Table C.1.13 – River Bend Village Land Use Table**). The River Bend Village does not include any residential uses, but includes open space, trails, drainage channels, existing agricultural uses and commercial/office uses. Access to the village from Ramona Expressway is through "F" Street and "A" Street.

Table C.1.13 – River Bend Village Land Use Table

PA #	Village	Land Use Designation	Land Use Designation	Gross Acres	Target DU	Target Commercial SF
24	River Bend	Commercial Office	CO	39	-	475,000
25	River Bend	Commercial Office	CO	31	-	350,000
41A	River Bend	Agriculture	AG	35	-	-
41B	River Bend	Agriculture	AG	10	-	-
45A	River Bend	Water - Drainage	W-D	8	-	-
45B	River Bend	Water - Drainage	W-D	13	-	-
48	River Bend	Agriculture	AG	58	-	-
49	River Bend	Agriculture	AG	43	-	-
50A	River Bend	Open Space - Conservation Habitat	OS-CH	27	-	-
50B	River Bend	Open Space - Conservation Habitat	OS-CH	15	-	-
50C	River Bend	Water-Drainage	W-D	20	-	-
50I	River Bend	Water - Drainage	W-D	31	-	-
50J	River Bend	Open Space- Conservation Habitat	OS-CH	6	-	-
TOTAL*				**336**	**0**	**825,000**

*This total is rounded and does not include areas that are planned for streets and/or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the River Bend Village followed by **Exhibit C.1.19A – River Bend Village**, which shows the organization of planning areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 24: Approximately 39 acres of commercial office, along the Ramona Expressway, with a target of approximately 475,000 square-feet of office uses. There is a proposed landscape entry at the intersection of the Ramona Expressway and "A" Street.

There is a 10'-12' Multi-Purpose Community Trail (restricted use) along the eastern and western boundary and a drainage channel along the eastern portion of the planning area.

There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

Planning Area 25: Approximately 31 acres of commercial office, along the Ramona Expressway, with a target of approximately 350,000 square-feet of office uses. There is a proposed landscape entry at the intersection of the Ramona Expressway and "F" Street. "F" Street will end in a cul de sac at this planning area.

There is a 10'-12' Multi-Purpose Community Trail (restricted use) along the northern and eastern boundary and a drainage channel along the western portion of the planning area. Potential future connections to County-proposed trails east of the planning area may occur through consultation and agreement between the County, California Department of Fish and Wildlife (CDFW) and Regional Conservation Authority (RCA).

There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

Planning Area 41A: Approximately 35 acres of agriculture, with the plan of keeping the existing agricultural uses present onsite. "F" Street will be constructed as a cul de sac terminating at Planning Area 25 with full right-of-way dedicated north up to Marvin Road.

Planning Area 41B: Approximately 10 acres of agriculture, along the Ramona Expressway. There is an 8' Paseo along the western boundary of the planning area.

There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

Planning Area 45A: Approximately 8 acres of water-drainage, which consists of a drainage channel and may include a 10'-12' Multi-Purpose Community Trail (restricted use) along a portion of the boundary.

Planning Area 45B: Approximately 13 acres of water-drainage, which consists of a drainage channel.

Planning Area 48: Approximately 58 acres of agriculture, along the Ramona Expressway.

"A" Street is along the eastern border of the planning area. There is a proposed landscape entry at the intersection of the Ramona Expressway and "A" Street. There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

A 10'-12' Multi-Purpose Community Trail (restricted use) forms a loop around this planning areas boundaries. Potential future connections to County-proposed trails west of the planning area may occur through consultation and agreement between the County, California Department of Fish and Wildlife (CDFW) and Regional Conservation Authority (RCA).

Planning Area 49: Approximately 43 acres of agriculture.

There is a drainage channel along the eastern and northern edge of the planning area.

Planning Area 50A: Approximately 27 acres of conservation/open space.

Planning Area 50B: Approximately 15 acres of conservation/open space.

Planning Area 50C: Approximately 20 acres of water – drainage, which is a proposed water quality basin located within the floodplain.

Planning Area 50I: Approximately 31 acres of water – drainage, which is a proposed water quality basin. There is an interpretive area proposed along the northern portion of the planning area, near the drainage channel connecting to the 10'-12' Multi-Purpose Community Trail (restricted use), which will educate residents and visitors of the ecology and environment within and surrounding the San Jacinto Wildlife Area.

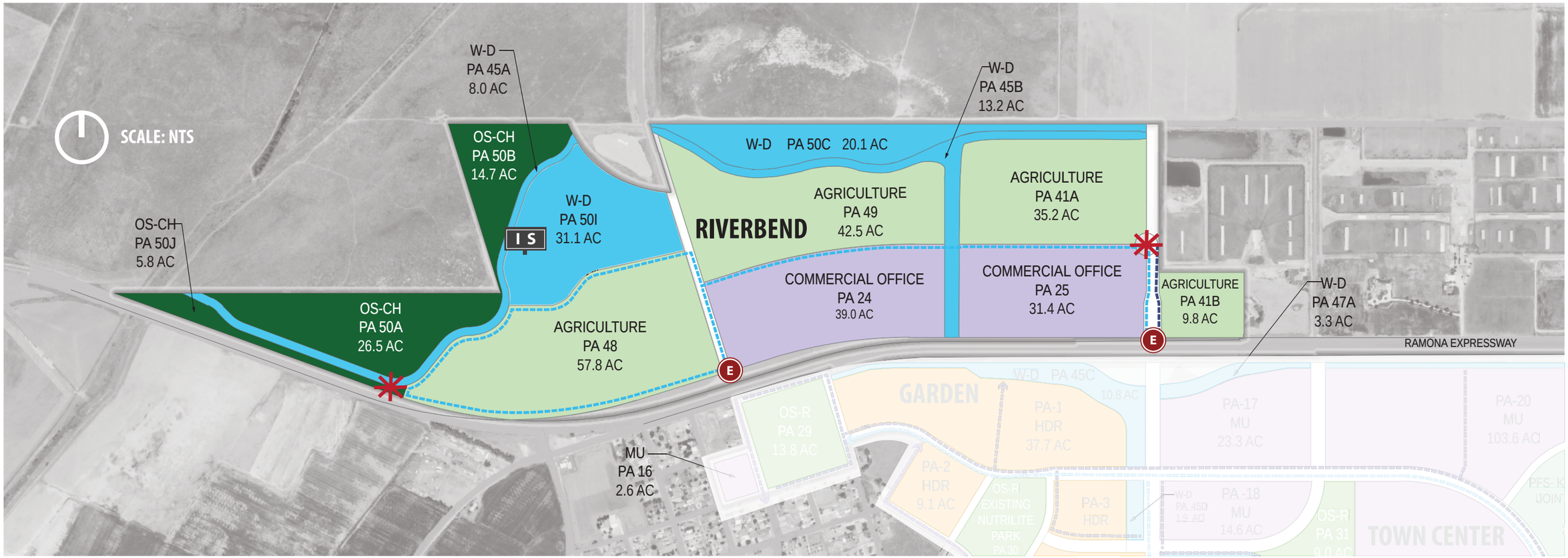
Planning Area 50J: Approximately 6 acres of conservation/open space, located within the floodplain.

b. Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**

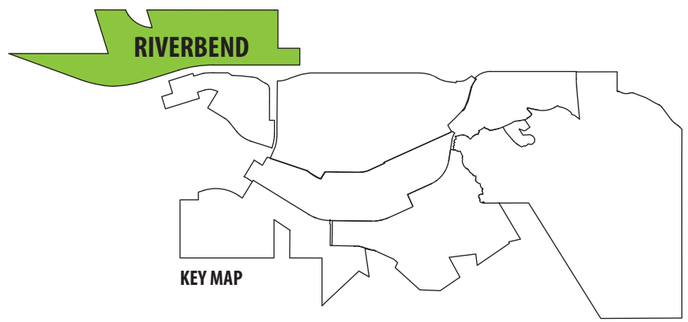
c. Planning Standards

1. Primary access to the River Bend Village shall be provided from the Ramona Expressway, "F" Street and "A" Street.
2. In any Planning Area developed along the Ramona Expressway, there shall be a 50-foot setback from the road to development, as long as the Ramona Expressway is under the eligible scenic highway corridor status.
3. Please refer to the Design Guidelines for specific design related criteria, including landscaping.
4. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide. Commercial/office development standards, including setbacks and building minimums are described in detail in the **Zoning Ordinance**, **Appendix D.**
5. Detailed information regarding monumentation will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration.**
6. Prior to, or concurrent with, the first subdivision or use permit with the River Bend Village, a Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the River Bend Village.
7. Prior to approval of a use permit, tentative parcel or tract map within the River Bend Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- OPEN SPACE CONSERVATION HABITAT (OS-CH)
- WATER (W-D) - DRAINAGE
- LANDSCAPE ENTRY
- INTERPRETIVE SIGN
- POTENTIAL FUTURE CONNECTIONS TO COUNTY PROPOSED TRAILS



2. Town Center Village

a. Descriptive Summary

Planning Areas 17, 18, 19, 20, 21, 22, 28, 31, 42, 45E, 46A, 46B, 47A, 47B, 47C, and 51

The Town Center Village lies southeast of the River Bend Village and includes approximately 407 gross acres, and a target of approximately 2,715 dwelling units, and 555,000 square-feet of commercial buildings. (**Table C.2.14 – Town Center Land Use Table**). The Town Center Village will provide for mixed-use development including residential and commercial uses within The Villages of Lakeview. The Town Center Village will also provide job-creating uses and a civic core for the community.

Table C.2.14 – Town Center Village Land Use Table

PA #	Village	Land Use Designation	Land Use Designation	Gross Acres	Target DU	Target Commercial SF
17	Town Center	Mixed Use	MU	23	-*	200,000*
18	Town Center	Mixed Use	MU	15	200*	-
19	Town Center	Mixed Use	MU	20	215*	-
20	Town Center	Mixed Use	MU	104	900*	355,000*
21	Town Center	Mixed Use	MU	63	800*	-
22	Town Center	Mixed Use	MU	50	600*	-
28	Town Center	Public Facility - K-8 school and joint use park	PF-S	20	-	-
31	Town Center	Open Space - Recreation	OS-R	9	-	-
42	Town Center	Public Facility- MWD/EMWD	PF	36	-	-
45E	Town Center	Water - Drainage	W-D	5	-	-
46A	Town Center	Water - Aqueduct	W-A	28	-	-
46B	Town Center	Water - Aqueduct	W-A	15	-	-
47A	Town Center	Water - Drainage	W-D	3	-	-
47B	Town Center	Water - Drainage	W-D	7	-	-
47C	Town Center	Water - Drainage	W-D	2	-	-
51	Town Center	Water - Drainage	W-D	7	-	-
TOTAL**				**407**	**2,715**	**555,000**

* These numbers could be used throughout each of the Planning Areas, as described in **Section 11. Administration.** Residential density range is between 8-40 dwelling units per acre.

**** This total is rounded and does not include areas that are planned for streets right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the Town Center Village followed by **Exhibit C.2.19B – Town Center Village**, which shows the organization of Planning Areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 17: Approximately 23 acres of mixed-use development with a target of 200,000 square-feet of commercial uses.

Access to the Planning Area is through "B" Street and "F" Street. A 10–12' Multi-Purpose Community Trail (restricted use) and paseo runs along southern boundary of the Planning Area.

There is a landscape entry along the northwestern corner of the Planning Area, from the Ramona Expressway.

There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

Planning Area 18: Approximately 15 acres of mixed-use development with a target of 200 dwelling units.

Access into the Planning Area is through "B" Street and "E" Street, with two village entries located at the western corners of the Planning Area. There is also a 10–12' Multi-Purpose Community Trail (restricted use) along the northern boundary and an eight-foot paseo along the western boundary, connecting visitors and residents to nearby parks, commercial uses, and homes.

Planning Area 19: Approximately 20 acres of mixed-use development with a target of 215 dwelling units.

Access into the Planning Area is through "F" Street and "G" Street. There are eight-foot paseos along the eastern and western boundary of the Planning Area, and a 10–12' Multi-purpose Community Trail along the southern boundary, connecting visitors and residents to nearby parks, commercial uses, and homes. There is also a 10–12' Multi-Purpose Community Trail (restricted use) along the western boundary.

Planning Area 20: Approximately 104 acres of mixed-use development with a target of 355,000 square-feet of commercial uses and 900 dwelling units.

The Ramona Expressway is located at the northern boundary of the Planning Area, "N" Street along the southern and eastern boundary and "L" Street bisects the site. Entrance into the Planning Area is through "L" Street and "E" Street. There is a 10–12' Multi-Purpose Community Trail (restricted use) and 8' paseo located along "B" Street and "N" Street

which form the southern boundary of the Planning Area. There is a village entry located at the southeastern corner of the Planning Area, and a landscape entry located at the northeastern corner, at the Ramona Expressway.

There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

Planning Area 21: Approximately 63 acres of mixed-use development with a target of 800 dwelling units.

Access to the Planning Area is through "B" Street, with a 10–12' Multi-Purpose Community Trail (Restricted Use) north of and through the Planning Area, and an eight-foot paseo through the Planning Area connecting to the community trail. There is a village entry located at the southern edge of the Planning Area and a 10–12' Multi-Purpose Community Trail along the southern boundary of the Planning Area, connecting visitors and residents to nearby parks, commercial uses, and homes.

Planning Area 22: Approximately 50 acres of mixed-use development with a target of 600 dwelling units.

Access to the Planning Area is through "B" Street and "N" Street, with a Village Entry at the north eastern corner and south western corner. There are two eight-foot paseos through the Planning Area and a 10–12' Multi-Purpose Community Trail (Restricted Use) along the northern, eastern, and western boundary and 10–12' Multi-Purpose Community Trail along the southern boundary, connecting visitors and residents to nearby parks, commercial uses, and homes.

Planning Area 28: Approximately 20 acres with a potential K–8 school and a five-acre joint-use park site. Furthermore, the possibility of joint-use facilities such as a library, gym, and/or community rooms could be developed in this Planning Area in conjunction with the school.

Access to the Planning Area is by "L" Street "M" Street and "N" Street. There is a 10–12' Multi-Purpose Community Trail (Restricted Use) and an eight-foot paseos along the west, east and southern boundary of the Planning Area, connecting students to nearby parks, commercial uses, and homes.

Planning Area 31: An approximately 9 acre park.

Access to the park is through "B" Street and "E" Street, with a 10–12' Multi-Purpose Community Trail (Restricted Use) located along "B" Street and an eight-foot paseo along the southern boundary. "B" Street forms the northern boundary of the Planning Area and connects the nearby commercial and residential uses.

Planning Area 42 The Planning Area consists of MWD property and uses.

Planning Area 45E: The Planning Area consists of a 5 acre drainage channel with an eight-foot paseo.

Planning Area 46A The Planning Area consists of MWD aqueduct property. There are is a 10–12' Multi-Purpose Community Trail along the Planning Area boundary.

The trail is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

Planning Area 46B The Planning Area consists of MWD aqueduct property. There are is a 10–12' Multi-Purpose Community Trail along the Planning Area boundary.

The trail is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

Planning Area 47A: The Planning Area consists of a 3 acre drainage channel.

Planning Area 47B: The Planning Area consists of a 7 acre drainage channel.

Planning Area 47C: The Planning Area consists of a 2 acre drainage channel.

Planning Area 51: The Planning Area consists of a 7 acre basin.

b. Land Use and Development Standards

1. For permitted land uses and development standards such as setbacks and yard requirements, refer to the **Specific Plan Zoning Ordinance, Appendix D**.

2. Parking requirements within the Town Center are as follows:

   a. The total number of spaces will be cumulative requirements of all the proposed uses.

   b. Residential parking shall be segregated from retail or commercial parking.

   c. A 15% reduction in parking requirements will be granted for mixed-use projects.

   d. Designated on-street parking stalls may be used to satisfy parking requirements.

   e. No off-street parking is required for nonresidential uses unless such uses exceed 3,000 square feet of gross floor area, in which case off-street parking must be provided for the floor area in excess of 3,000 square feet.

   f. No parking shall be located between the structure and the street, except on-street parking.

   g. (See also **Design Guidelines Section D.5. Residential**, page D.5-2 and **Design Guidelines Section D.8. Non-Residential**, page D.8-4 regarding parking.)

c. Planning Standards

1. Primary access to the Town Center Village shall be provided from the Ramona Expressway and ”F” Street and “N” Street through ”B” Street.

2. In any Planning Area along the Ramona Expressway, there shall be a 50-foot setback from the road to development, as long as the Ramona Expressway is under the Potential Scenic Corridor status.

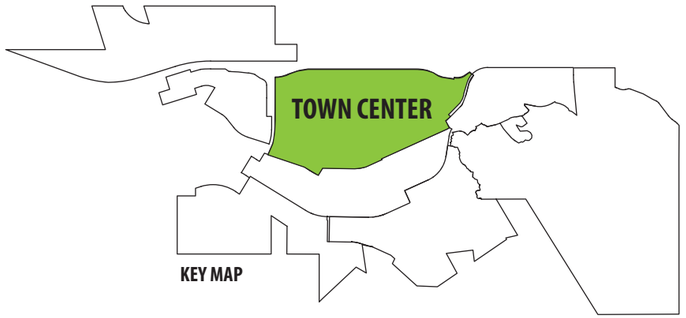
3. Please refer to the Design Guidelines for specific design related criteria, including landscaping, architectural types, and plotting examples.

4. Park size and location, as well as detailed information regarding signage and architectural types will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration.**

5. Village specifics in regards to architectural building types, walls, monuments, and materials will be defined and addressed in the Village Refinement Plan, which will be required before the first subdivision or plot plan within the Town Center Village. A Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the Town Center Village along with the submittal of the Parkland Tracking Report.

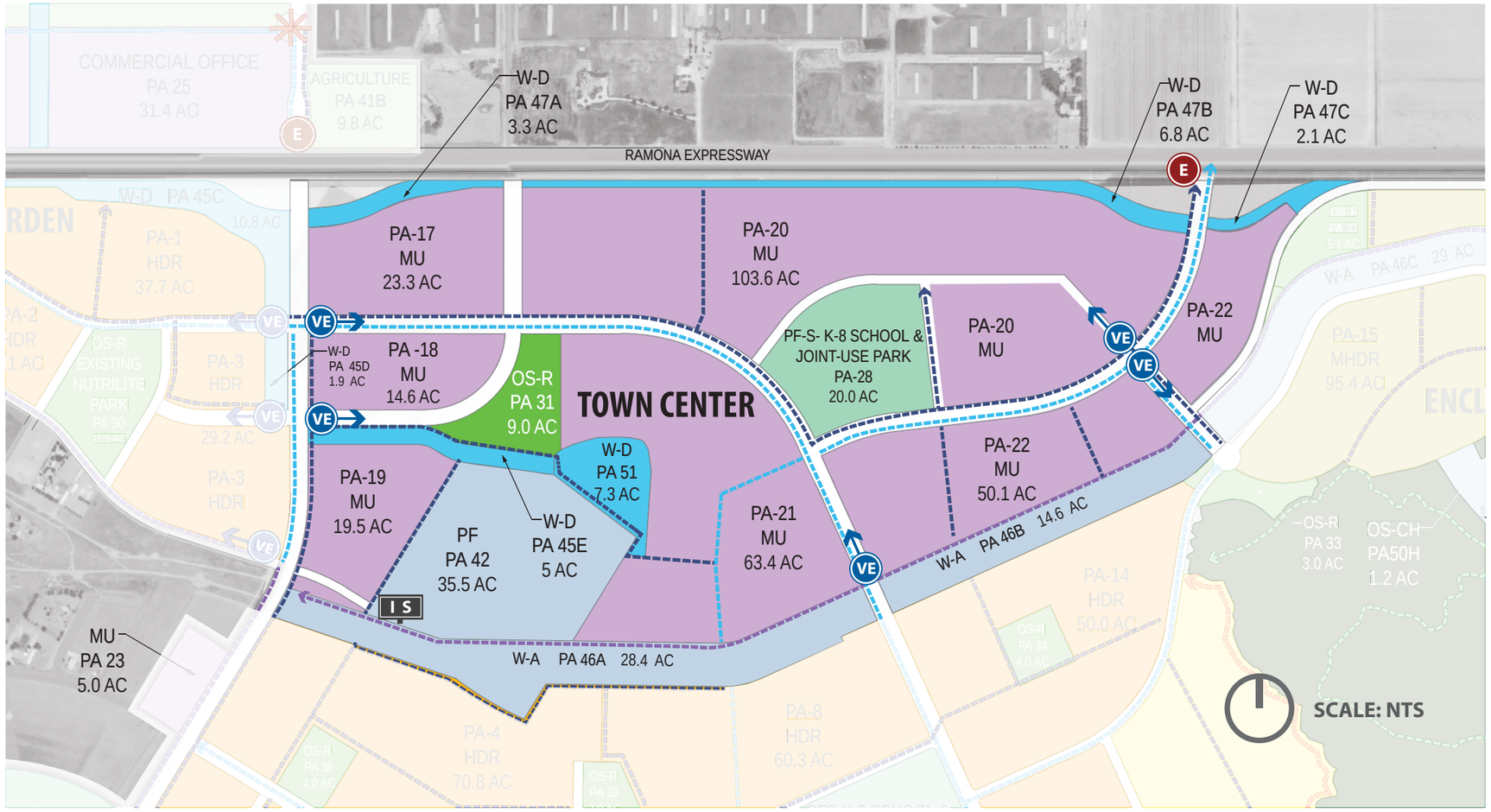
6. Prior to approval of a use permit, tentative parcel or tract map within the Town Center Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.

7. Please refer to **Section B.11**, **Specific Plan Administration** for procedures related to school sites.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- PUBLIC FACILITIES (PF-S) - SCHOOLS
- OPEN SPACE RECREATION (OS-R)
- WATER (W-A) - AQUEDUCT
- WATER (W-D) - DRAINAGE
- MIXED USE (MU)
- I S INTERPRETIVE SIGN
- E LANDSCAPE ENTRY
- VE VILLAGE ENTRY



3. Parks Village

a. Descriptive Summary

Planning Areas 4, 8, 14, 23, 27, 34, 38, 39, and 52

The Parks Village lies south of the Town Center Village and includes approximately 228 gross acres and will allow for 1,945 residential dwelling units (**Table C.3.15 – Parks Village Land Use Table**).

The MWD aqueduct property runs from west to east directly north of the Parks Village. A proposed K–8 school and 5-acre joint-use park, four additional parks and residential uses are located within this village.

Table C.3.15 – Parks Village Land Use Table

PA #	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
4	Parks	High Density Residential	HDR	8	14	71	700	-
8	Parks	High Density Residential	HDR	8	14	60	650	-
14	Parks	High Density Residential	HDR	8	14	50	555	-
23	Parks	Mixed Use	MU	8	40	5	40	-
27	Parks	Public Facility - K-8 school and joint use park	PF-S	-	-	20	-	-
34	Parks	Open Space - Recreation	OS-R	-	-	4	-	-
38	Parks	Open Space - Recreation	OS-R	-	-	3	-	-
39	Parks	Open Space - Recreation	OS-R	-	-	4	-	-
52	Parks	Open Space - Recreation	OS-R	-	-	11	-	-
TOTAL*						**228**	**1,945**	**0**

* This total is rounded and does not include areas that are planned for streets or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the Parks Village followed by **Exhibit C.3.19C – Parks Village**, which shows the organization of planning areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 4: Approximately 71 acres of high density residential development, with a target of 700 units.

Access to the Planning Area is through "H" Street and "K" Street, with a Village Entry at the southeastern corner. A 10–12' Multi-Purpose Community Trail (Restricted Use) is located along the southern and eastern boundary. A 10–12' Multi-Purpose Community Trail is located along western boundary. There are several eight-foot paseos throughout the Planning Area, connecting residences to adjacent parks and the larger trail network.

Planning Area 8: Approximately 60 acres of high density residential development, with a target of 650 units.

Access to the Planning Areas is through "H" Street, with three village entries proposed along the southern boundaries of the Planning Area. There is also a 10–12' Multi-Purpose Community Trail (Restricted Use) along the southern and eastern boundary, connecting residences to adjacent parks and the larger trail network.

Planning Area 14: Approximately 50 acres of high density residential development, with a target of 555 dwelling units.

Access to the Planning Area is through "B" Street with two village entries along "B" Street at the northern and southern boundary of the Planning Area. There is both a 10–12' Multi-Purpose Community Trail (Restricted Use) along the western and southern boundary and several eight-foot paseos through the Planning Area, connecting residences to adjacent parks and the larger trail network.

Planning Area 23: Approximately 5 acres of mixed use development, with a target of 40 dwelling units.

Access to the Planning Area is through "F" Street, with a 10–12' Multi-Purpose Community Trail and 8' Paseo along the eastern boundary of the Planning Area.

Planning Area 27: Approximately 20 acres with a potential K–8 school and a five-acre joint-use park site. Furthermore, the possibility of joint-use facilities such as a library, gym, and/or community rooms could be developed in this Planning Area in conjunction with the school.

Access to the Planning Area is through "B" Street "H" Street and "P" Street, with village entries along the east and west boundaries. There is a 10–12' Multi-Purpose Community Trail (Restricted Use) along the southern and eastern boundary and an eight-foot paseo along the northern boundary of the Planning Area, connecting students to adjacent residences, parks and the larger trail network.

Planning Area 34: An approximately 4 acre park.

This park is connected to the Project through an eight-foot paseo.

Planning Area 38: An approximately 3 acre park.

This park is connected to the Project through an eight-foot paseo.

Planning Area 39: An approximately 4 acre park.

This park is connected to the Project through an eight-foot paseo.

Planning Area 52: An approximately 11 acre park.

This park is connected to the Project through an eight-foot paseo, a 10–12' Multi-Purpose Community Trail (Restricted Use), and access through "P" Street.

b. Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**

c. Planning Standards

1. Primary access to the Parks Village shall be provided from "B" Street, "F" Street and "H" Street.

2. Please refer to the Design Guidelines for specific design related criteria, including landscaping, architectural types, and plotting examples.

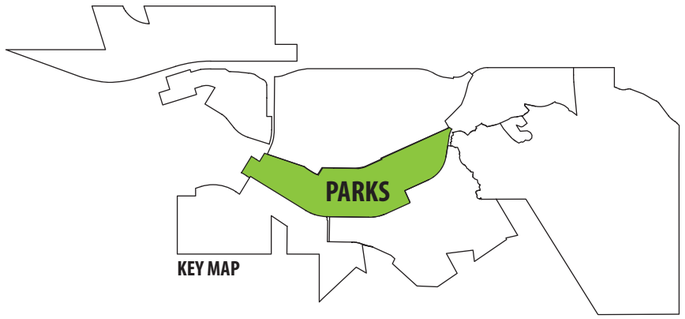
3. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide.

4. Park size and location, as well as detailed information regarding signage and architectural types will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration.**

5. Prior to the first subdivision or use permit with the Parks Village, a Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the Parks Village along with submittal of the Parkland Tracking Report.

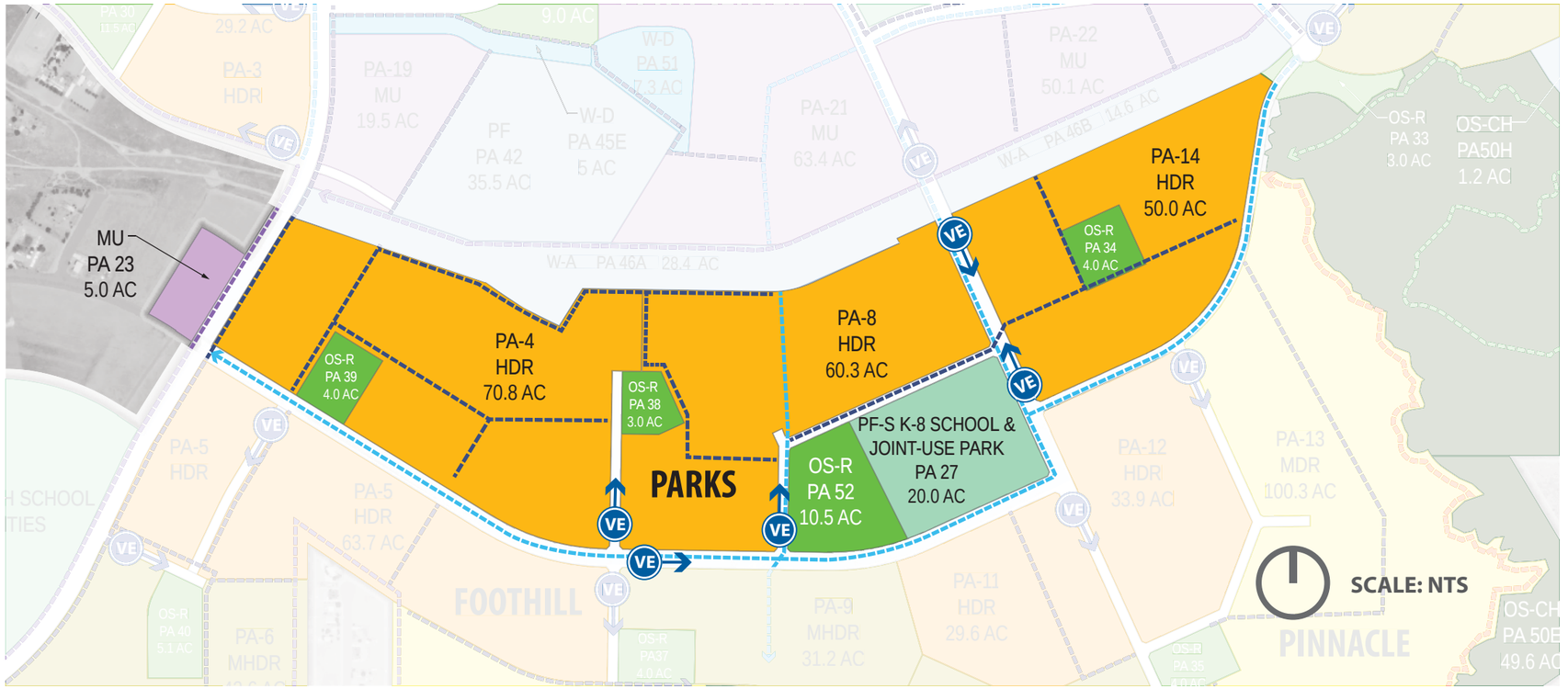
6. Prior to approval of a use permit, tentative parcel or tract map within the Park Center Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.

7. Please refer to Section B.11, **Specific Plan Administration** for procedures related to school sites.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- PUBLIC FACILITIES (PF-S)
- OPEN SPACE RECREATION (OS-R)
- MIXED USE (MU)
- HIGH DENSITY RESIDENTIAL (HDR)
- VILLAGE ENTRY



4. Garden Village

a. Descriptive Summary

Planning Area 1, 2, 3, 16, 29, 30, 45C and 45D

The Garden Village is located in the northwestern corner of the Project area, south of the River Bend Village and the Ramona Expressway and includes approximately 118 gross acres and a total target of 705 dwelling units. High Density residential planning areas, a mixed use area and parks are proposed in the Garden Village (**Table C.4.16 – Garden Village Land Use Table**).

Table C.4.16 – Garden Village Land Use Table

PA #	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
1	Garden	High Density Residential	HDR	8	14	38	340	-
2	Garden	High Density Residential	HDR	8	14	9	90	-
3	Garden	High Density Residential	HDR	8	14	29	255	-
16	Garden	Mixed Use	MU	8	40	3	20	-
29	Garden	Open Space - Recreation	OS-R	-	-	14	-	-
30	Garden	Open Space - Recreation	OS-R	-	-	12	-	-
45C	Garden	Water - Drainage	W-D	-	-	11	-	-
45D	Garden	Water - Drainage	W-D	-	-	2	-	-
TOTAL*						**118**	**705**	**0**

* This total is rounded and does not include areas that are planned for streets or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of the Planning Areas within the Garden Village followed by **Exhibit C.4.19D – Garden Village**, which shows the organization of planning areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 1: The Planning Area consists of approximately 38 acres high density residential development, with a target of 340 dwelling units.

Access to the Planning Area is through "F" Street and "B" Street. There is a village entry at the southeast corner, and a landscape entry at the intersection of the Ramona Expressway and "F" Street. There is a 10–12' Multi-Purpose Community Trail (Restricted Use) located along the southern boundary and there are eight-foot paseos along the Planning Area, connecting residents to nearby parks.

Planning Area 2: The Planning Area consists of approximately 9 acres of high density residential development, with a target of 90 dwelling units.

Access to the Planning Area is through "B" Street. There is a 10–12' Multi-Purpose Community Trail (Restricted Use) along the northern boundary which transitions to a 10–12' Multi-Purpose Community Trail along the western and southern boundary connecting residences to adjacent parks and the larger trail network.

Planning Area 3: The Planning Area consists of approximately 29 acres of high density residential development, with a target of 255 dwelling units.

Access to the Planning Area is through "B" Street "E" Street and "G" Street, with three Village Entries located along the eastern boundary. There is also a 10–12' Multi-Purpose Community Trail (Restricted Use) along the eastern and northern boundary and a 10–12' Multi-Purpose Community Trail along the southern boundary, and an eight-foot paseo along the northern and eastern boundary, connecting residences to adjacent parks and the larger trail network.

Planning Area 16: Approximately 3 acres of mixed-use development, with a target of 20 dwelling units. Access into the Planning Area is through "B" Street and Hansen Ave. There is a 10–12' Multi-Purpose Community Trail along the eastern boundary.

Planning Area 29: An approximately 14 acre existing park, which includes sports fields.

This park is connected to the Project through a 10–12' Multi-Purpose Community Trail along the western boundary and an eight-foot paseo along the north, east, and southern boundaries.

Planning Area 30: An approximately 12 acre existing park, which was part of the Nutrilite Facility.

This park is connected to the Project through a 10–12' Multi-purpose Community Trail (restricted use) along the northern boundary and a 10–12' Multi-Purpose Community Trail along the southern boundary.

Planning Area 45C: The Planning Area consists of an 11 acre drainage channel.

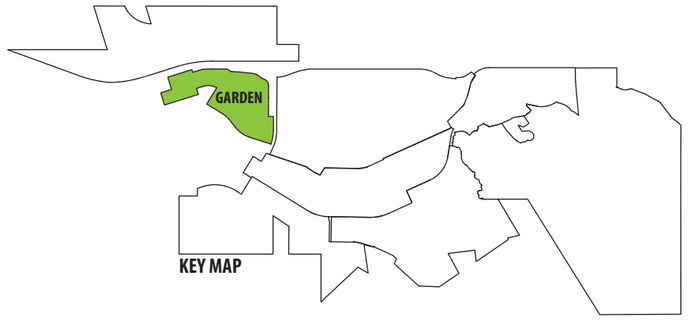
Planning Area 45D: The Planning Area consists of a 2 acre drainage channel.

b. Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**

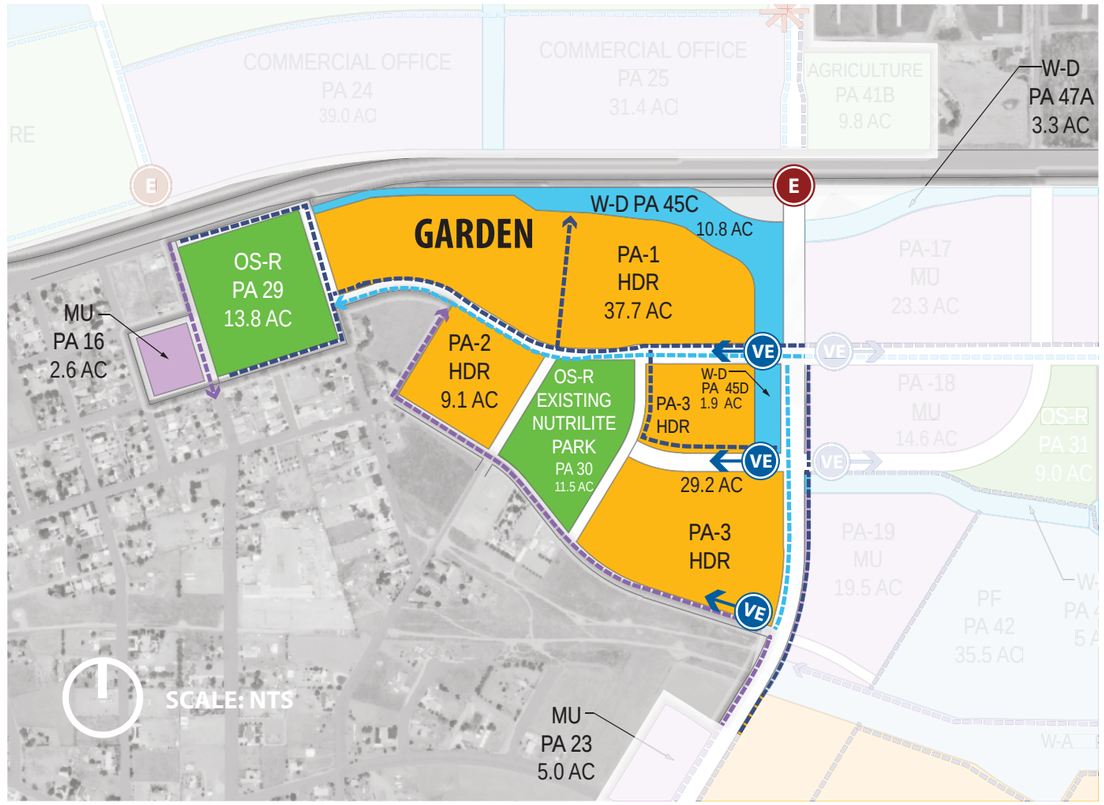
c. Planning Standards

1. Primary access to the Garden Village shall be provided from Hansen Avenue and Town Center Boulevard/"F" Street.
2. Please refer to the Design Guidelines for specific design related criteria, including landscaping, architectural types, and plotting examples.
3. Please refer to the existing Lakeview/Nuevo Design Guidelines for specific design related criteria in regards to development and landscaping bordering existing development.
4. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide.
5. Park size and location, as well as detailed information regarding signage and architectural types will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration.**
6. Prior to the first subdivision or use permit within the Garden Village, a Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the Garden Village and submittal of the Parkland Tracking Report.
7. Prior to approval of a use permit, tentative parcel or tract map within the Garden Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- OPEN SPACE RECREATION (OS-R)
- WATER (W-D) - DRAINAGE
- MIXED USE (MU)
- HIGH DENSITY RESIDENTIAL (HDR)
- VE VILLAGE ENTRY
- E LANDSCAPE ENTRY



5. Foothill Village

a. Descriptive Summary

Planning Areas 5, 6, 7, 26, 36, 40, and 50D

The Foothill Village, located at the southeastern corner of the Project, includes approximately 252 gross acres, and a target of 1,040 dwelling units. The Foothill Village also provides for a joint-use K-8 and high school, an equestrian trailhead park and 21 gross acres of open space (**Table C.5.17, Foothill Village Land Use Table**). The Foothill Village lies north of existing rural development, and will provide a community trail and buffer between the existing development and the Project, consistent with the Lakeview/Nuevo Design Guidelines.

Table C.5.17 – Foothill Village Land Use Table

PA	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
5	Foothill	High Density Residential	HDR	8	14	64	580	-
6	Foothill	Medium High Density Residential	MHDR	5	8	43	285	-
7	Foothill	Medium Density Residential	MDR	2	5	40	175	-
26	Foothill	Public Facility- Joint K-8 and High School	PF-S	-	-	74	-	-
36	Foothill	Open Space - Recreation	OS-R	-	-	5	-	-
40	Foothill	Open Space - Recreation	OS-R	-	-	5	-	-
50D	Foothill	Open Space - Conservation Habitat	OS-CH	-	-	21	-	-
TOTAL*						**252**	**1,040**	

* This total is rounded and does not include areas that are planned for streets or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the Foothill Village followed by **Exhibit C.5.19E Foothill Village**, which shows the organization of planning areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 5: The Planning Area consists of approximately 64 acres of high density residential development, with a target of 580 dwelling units.

Access to the Planning Area is through "F" Street, "H" Street and "K" Street with three Village Entries located at the west, southwest and northeast corners. A 10–12' Multi-Purpose Community Trail and 8' Paseo are located along the western boundary, a 10–12' Multi-Purpose Community Trail (restricted use) is located along the northern boundary and a 10–12' Multi-Purpose Community Trail which allows for equestrian uses is located along the southern boundary near Mike Lane. There are eight-foot paseos along the Planning Area, connecting residents to nearby parks.

Planning Area 6: The Planning Area consists of approximately 43 acres of medium high density residential development with a target of 285 dwelling units.

Access to the Planning Area is through "J" Street with eight-foot paseos throughout the Planning Area. Wolfskill Avenue and existing residential structures of the Lakeview/Nuevo community are along the southern edge of the Planning Area. There is a 10–12' Multi-Purpose Community Trail, which allows equestrian uses, along "F" Street, Wolfskill Avenue and the eastern boundary. There are eight-foot paseos through the Planning Area, connecting residents to nearby parks.

Planning Area 7: The Planning Area consists of approximately 40 aces of medium density residential development, with a target of 175 dwelling units.

Access to the Planning Area is through "H" Street and "K" Street, with eight-foot paseos along northern boundary of the Planning Area, connecting residents to nearby parks. Wolfskill Avenue and existing residential structures of the Lakeview/Nuevo community are south of the Planning Area. There is a 10–12' Multi-Purpose Community Trail, which allows equestrian uses, along the western boundary and Wolfskill Avenue.

Planning Area 26: The Planning Area consists of a 74 acre joint K–8 school and high school and a five-acre joint-use park site. Furthermore, the possibility of joint-use facilities such as a library, gym, and/or community rooms could be developed in this Planning Area in conjunction with the school.

Access to the Planning Area is through Hansen Ave, with a landscape entry into the Planning Area, and through "F" Street. There is a 10–12' Multi-Purpose Community Trail along the eastern and western boundary, and an eight-foot paseo along the eastern boundary, connecting students

to the existing community, adjacent residences, parks and the larger trail network.

Planning Area 36: Approximately 5 acres of a public active trailhead/view park, containing equestrian uses, a potential trail head, and corral. As a result of this Planning Area near the Lakeview Mountains, no lighting shall be allowed in the park.

Poppy Road is along the western edge of the Planning Area. There are also existing open space area paths along the southern edge of the Planning Area.

Planning Area 40: An approximately 5 acre park.

This park is connected to the Project through an eight-foot paseo.

Planning Area 50D: Approximately 21 acres of Open Space, containing a conservation area. Alto Avenue is along the southern boundary of the Planning Area, and there are also existing open space area paths within the southern portion of the Planning Area.

b. Land Use and Development Standards

1. For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**
2. There shall be at least 100 feet of open space (potential linear park) between Wolfskill Avenue/Poppy Road and residential property lines.

c. Planning Standards

1. Primary access to the Foothill Village shall be provided from Hansen Avenue, “H” Street and “F” Street.
2. Planning Area 36 shall not contain lighting, except for shielded lighting in parking lots for safety purposes only.
3. Please refer to the Design Guidelines for specific design related criteria, including landscaping, architectural types, and plotting examples.
4. Please refer to the existing Lakeview/Nuevo Design Guidelines for specific design related criteria, including buffering existing development, landscaping, architectural types, and plotting examples.

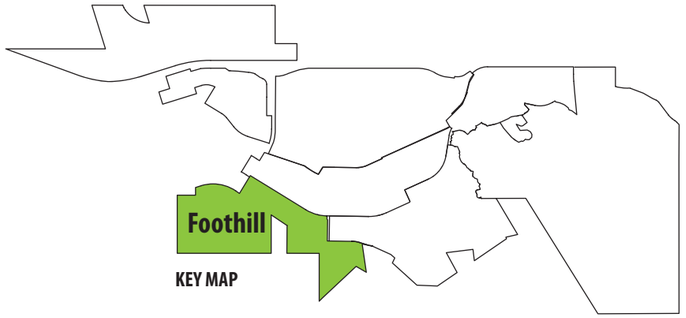
5. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide.

6. Park size and location, as well as detailed information regarding signage and architectural types will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration**.

6. Prior to the first subdivision or use permit with the Foothill Village, a Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the Foothill Village along with submittal of the Parkland Tracking Report.

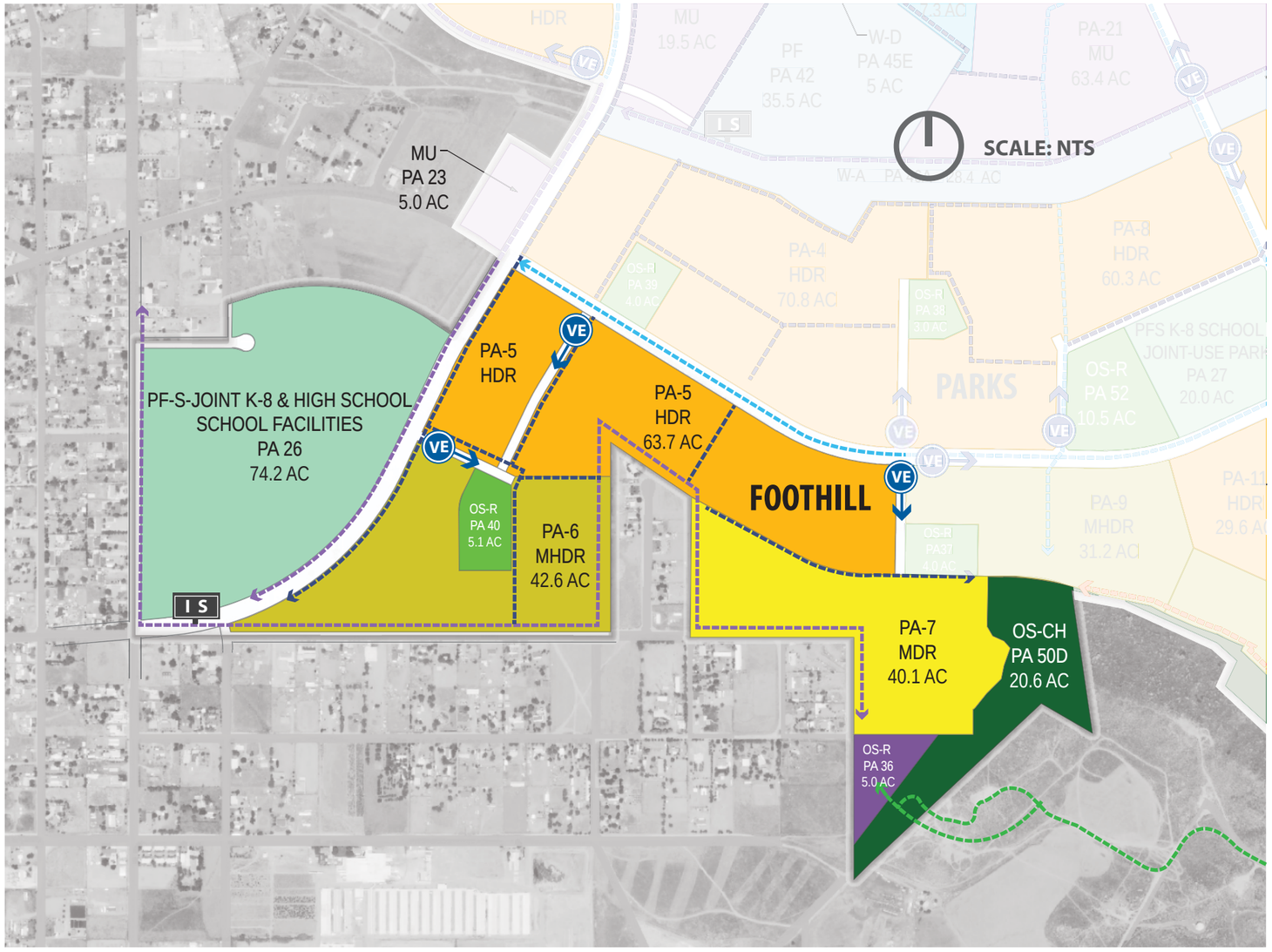
7. Prior to approval of a use permit, tentative parcel or tract map within the Foothill Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.

8. Please refer to Section B.11, **Specific Plan Administration** for procedures related to school sites.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- PUBLIC FACILITIES (PF-S) - SCHOOLS
- OPEN SPACE RECREATION (OS-R)
- OPEN SPACE CONSERVATION HABITAT (OS-CH)
- OPEN SPACE RECREATION (OS-R) - TRAIL HEAD/VIEW PARK
- MEDIUM DENSITY RESIDENTIAL (MDR)
- MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
- HIGH DENSITY RESIDENTIAL (HDR)
- IS INTERPRETIVE SIGN
- VE VILLAGE ENTRY



6. Enclave Village

a. Descriptive Summary

Planning Areas 15, 32, 33, and 46C

The Enclave Village provides for the development of 132 gross acres of development with a target of 775 dwelling units (**Table C.6.18, Enclave Village Land Use Table**). There is also the MWD property that runs through the Village.

Table C.6.18 – Enclave Village Land Use Table

PA	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
15	Enclave	Medium High Density Residential	MHDR	5	8	95	775	-
32	Enclave	Open Space - Recreation	OS-R	-	-	5	-	-
33	Enclave	Open Space - Recreation	OS-R	-	-	3	-	-
46C	Enclave	Water - Aqueduct	W-A	-	-	29	-	-
TOTAL*						**132**	**775**	**0**

* This total is rounded and does not include areas that are planned for streets or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the Enclave Village followed by **Exhibit C.6.19F – Enclave Village**, which shows the organization of planning areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 15: The Planning Area consists of approximately 95 acres, with a target of 775 dwelling units.

Access to the Planning Area is through "S" Street, "T" Street and "V" Street. The MWD aqueduct and 10-12' Multi-Purpose Community Trail run through the Planning Area. The trail is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

There is also a required 50-foot setback from the Ramona Expressway as a result of the eligible scenic highway corridor policy.

Planning Area 32: An approximately 5 acre park.

This park is connected to the Project through an eight-foot paseo, "S" Street and a 10-12' Multi-Purpose Community Trail located along the MWD aqueduct.

Planning Area 33: An approximately 3 acre park.

This park is connected to the Project through "O" Street and a 10-12' Multi-Purpose Community Trail (restricted use).

Planning Area 46C The Planning Area consists of MWD aqueduct property. There is a 10–12' Multi-Purpose Community Trail along the Planning Area boundary.

The trail is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

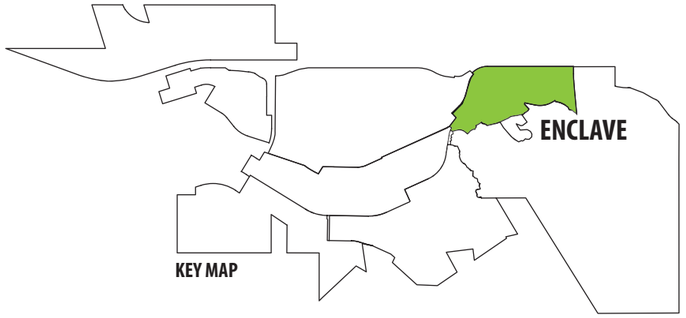
b. Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**

c. Planning Standards

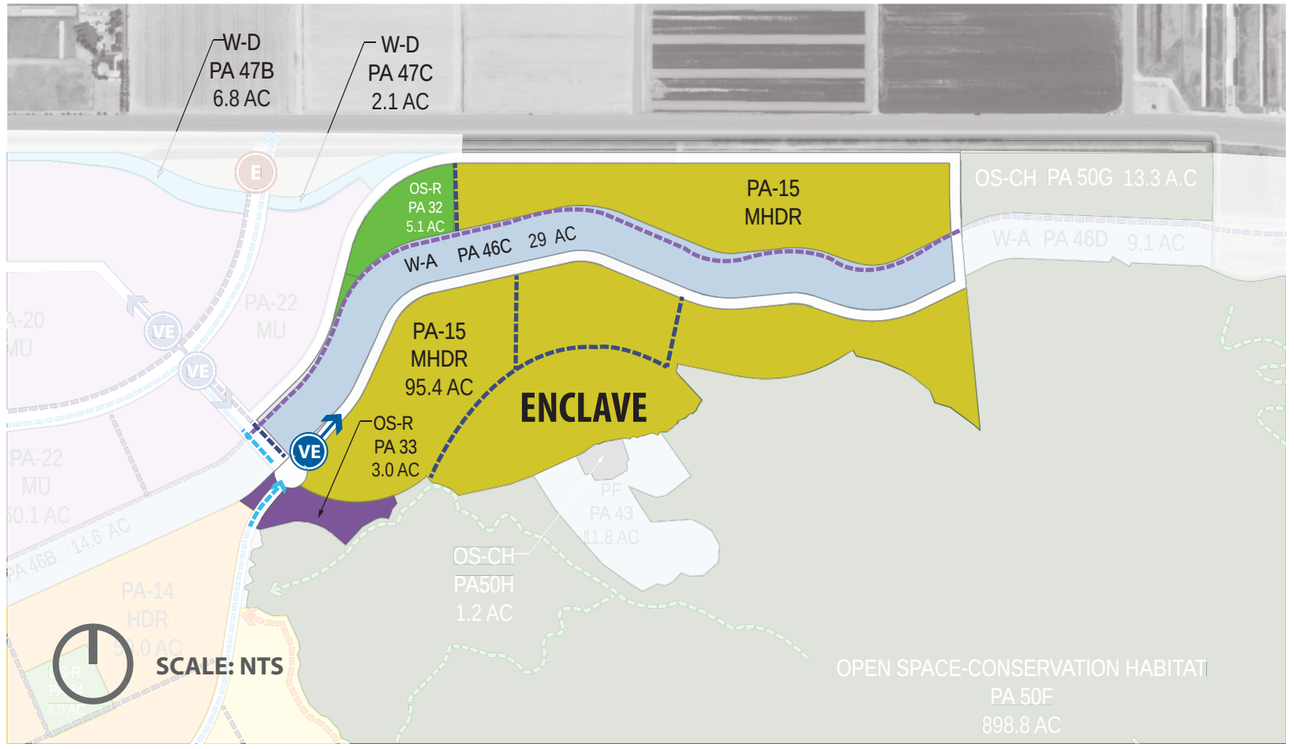
1. Primary access to the Enclave Village shall be provided from the Ramona Expressway.
2. Please refer to the Design Guidelines for specific design related criteria, including landscaping, architectural types, and plotting examples.
3. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide.
4. Park size and location, as well as detailed information regarding signage and architectural types will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration.**
5. Prior to the first subdivision or use permit with the Enclave Village, a Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the Enclave Village along with submittal of the Parkland Tracking Report.

6. Prior to approval of a use permit, tentative parcel or tract map within the Enclave Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- 8' PASEO
- OPEN SPACE RECREATION (OS-R) - TRAILHEAD/ VIEW PARK
- OPEN SPACE RECREATION (OS-R)
- WATER (W-A) - AQUEDUCT
- MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
- VILLAGE ENTRY



7. Pinnacle Village

a. Descriptive Summary

Planning Areas 9, 10, 11, 12, 13, 35, 37, and 50E

The Pinnacle Village provides for the development of approximately 297 gross acres which will include a fuel modification area, with a target of 1,545 dwelling units (**Table C.7.19 – Pinnacle Village Land Use Table**). The Pinnacle Village will provide for residential areas, parks, and open space/conservation.

Table C.7.19 – Pinnacle Village Land Use Table

PA	Village	Land Use Designation	Land Use Designation	Density Range		Gross Acres	Target DU	Target Commercial SF
9	Pinnacle	Medium High Density Residential	MHDR	5	8	31	195	-
10	Pinnacle	Medium High Density Residential	MHDR	5	8	44	285	-
11	Pinnacle	High Density Residential	HDR	8	14	30	265	-
12	Pinnacle	High Density Residential	HDR	8	14	34	315	-
13	Pinnacle	Medium Density Residential	MDR	2	5	100	485	-
35	Pinnacle	Open Space - Recreation	OS-R	-	-	4	-	-
37	Pinnacle	Open Space - Recreation	OS-R	-	-	4	-	-
50E	Pinnacle	Open Space- Conservation Habitat	OS-CH	-	-	50	-	-
TOTAL*						**297**	**1,545**	**0**

* This total is rounded and does not include areas that are planned for streets or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the Pinnacle Village followed by **Exhibit C.7.19G – Pinnacle Village**, which shows the organization of planning areas, trails, entries, parks and open space, and any unique issues within the village:

Planning Area 9: The Planning Area consists of approximately 31 acres of medium high density residential, with a target of 195 dwelling units.

Access to the Planning Area is through "H" Street, with a village entry at the northwest corner. There is a 10–12' Multi-Purpose Community Trail (restricted use) along the northern boundary, and an Urban/Wildlife Edge Trail along the southern boundary, connecting the residences to nearby parks.

Planning Area 10: The Planning Area Consists of approximately 44 acres of medium high density residential, with a target of 285 dwelling units.

Access to the Planning Area is through "B" Street. There is an eight-foot paseo at the northeastern corner, and an Urban/Wildlife Trail along the southern boundary of the Planning Area, connecting the residences to nearby parks and adjacent open space/conservation.

Planning Area 11: The Planning Area consists of approximately 30 acres of high density residential, with a target of 265 dwelling units.

Access to the Planning Area is through "B" Street, with a village entry at the northwestern corner. There is a 10–12' Multi-Purpose Community Trail (restricted use) along the northern boundary and an eight-foot paseo connecting residents to the nearby park.

Planning Area 12: The Planning Area consists of approximately 34 acres of high density residential, with a target of 315 dwelling units.

Access to the Planning Area is through "B" Street, with village entries at the northwest and northeast corners. A 10–12' Multi-Purpose Community Trail (restricted use) is located along the northern boundary

Planning Area 13: The Planning Area consists of approximately 100 acres of medium density residential, with a target of 485 dwelling units.

Access to the Planning Area is through "O" Street and "R" Street. There is a 10–12' Multi-Purpose Community Trail (restricted use) along the northern boundary, an Urban/Wildlife Edge Trail along the southern boundary and an eight-foot paseo through the Planning Area connecting residents to the nearby park and open space/conservation areas.

Planning Area 35: An approximately 4 acre park.

This park is connected to the Project through "B" Street and "R" Street.

Planning Area 37: An approximately 4 acre park.

This park is connected to the Project through an eight-foot paseo and "K" Street.

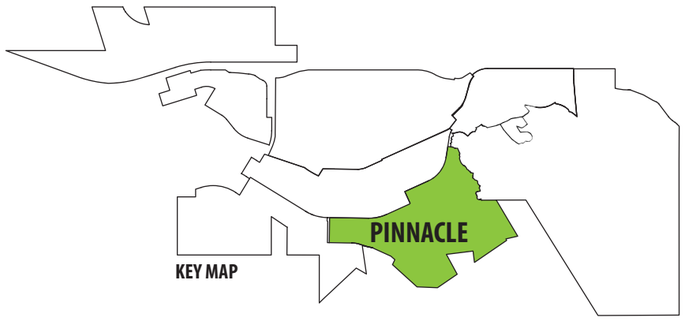
Planning Area 50E: Approximately 50 acres of open space/conservation.

b. Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**

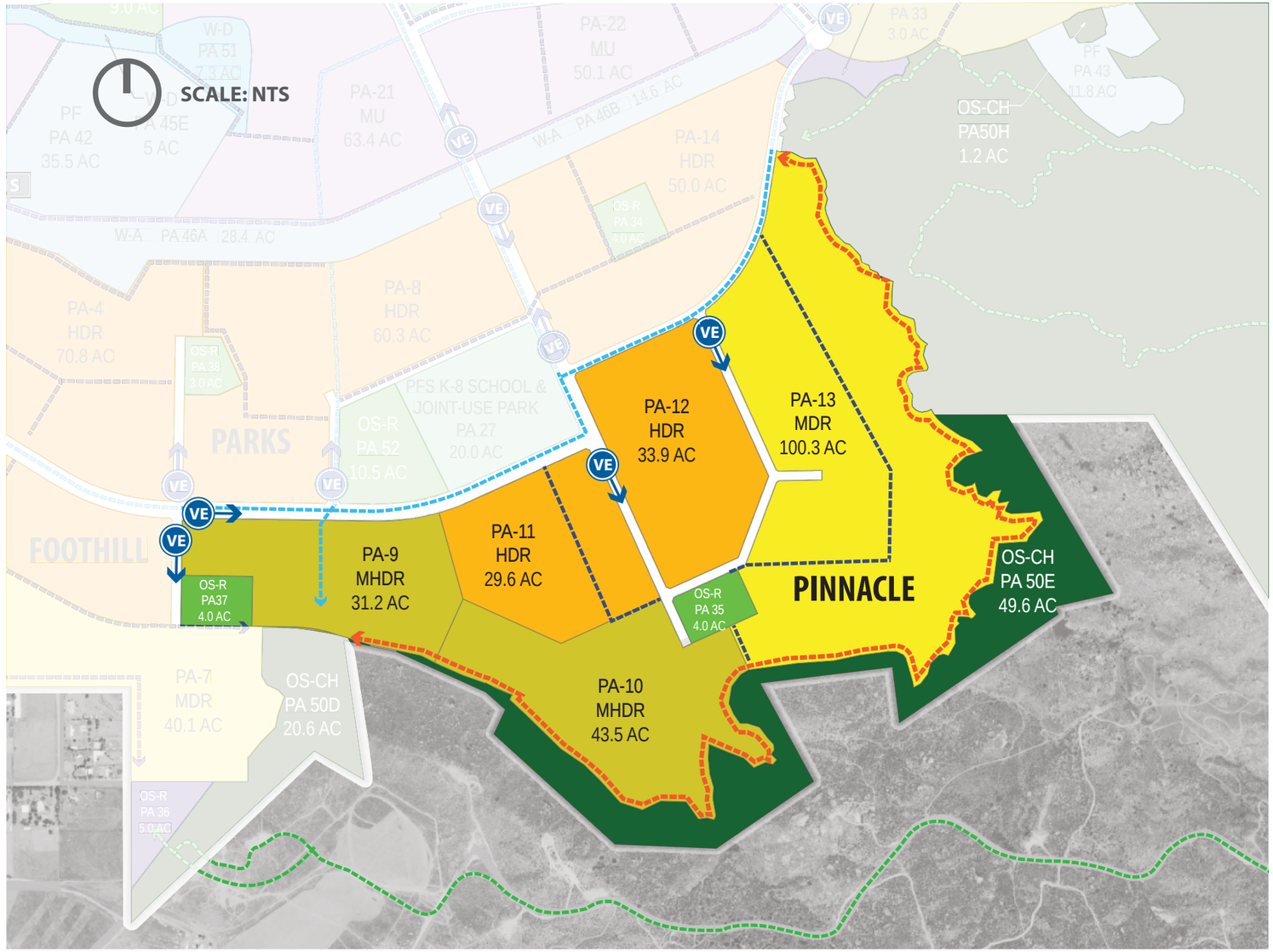
c. Planning Standards

1. Primary access to the Pinnacle Village shall be provided from "B" Street.
2. Street lighting shall be designed with internal baffles to direct lighting towards the ground and with zero side angle cut off to the horizon. Lighting shall be placed 50' away from the Lakeview Mountains conservation area.
3. Please refer to the Design Guidelines for specific design related criteria, including landscaping, architectural types, and plotting examples. However, in no instance shall homes back onto the edge trail as shown in **Figure C.7.19G**
4. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide.
5. Park size and location, as well as detailed information regarding signage and architectural types will be defined during the Village Refinement Plan process, as discussed in **Section B.11, Specific Plan Administration**.
6. Prior to the first subdivision or use permit with the Pinnacle Village, a Specific Plan Substantial Conformance application shall be filed, to establish the Village Refinement Plan for the Pinnacle Village along with the submittal of the Parkland Tracking Report.
7. Prior to approval of a use permit, tentative parcel or tract map within the Pinnacle Village, the County archaeologist shall review plans to ensure that significant archaeological sites are avoided and/or preserved and that proposed landscape plans around an archaeological site should be transmitted to the participating tribes for review and comment, and recorded per the Cultural Resources Management Plan, see EIR 471.



LEGEND

- 10-12' MULTI-PURPOSE COMMUNITY TRAIL (RESTRICTED USE)
- URBAN/WILDLIFE EDGE TRAIL
- 8' PASEO
- OPEN SPACE CONSERVATION HABITAT (OS-CH)
- OPEN SPACE RECREATION (OS-R)
- MEDIUM DENSITY RESIDENTIAL (MDR)
- MEDIUM HIGH DENSITY RESIDENTIAL (MHDR)
- HIGH DENSITY RESIDENTIAL (HDR)
- VE VILLAGE ENTRY



8. Lakeview Mountains

a. Descriptive Summary

Planning Areas 43, 44A, 44B, 46D, 50F, 50G, and 50H

Planning Area 43 is a planned 12 acre water tank site. Planning Area 50F consists of 899 gross acres of conservation open space. Planning Areas 44A and 44B are public facilities under the Eastern Municipal Water District (EMWD). Planning Area 46D is the Metropolitan Water District (MWD) aqueduct property. See **Tables C.8.20, Lakeview Mountains Land Use Table**.

Table C.8.20 – Lakeview Mountains Land Use Table

PA	Village	Land Use Designation	Land Use Designation	Gross Acres	Target DU	Target Commercial SF
43	Lakeview Mountains	Public Facility	PF	12	-	-
44A	Lakeview Mountains	Public Facility	PF	2	-	-
44B	Lakeview Mountains	Public Facility	PF	1	-	-
46D	Lakeview Mountains	Water - Aqueduct	W-A	9	-	-
50F	Lakeview Mountains	Open Space - Conservation Habitat	OS-CH	899	-	-
50G	Lakeview Mountains	Open Space - Conservation Habitat	OS-CH	13	-	-
50H	Lakeview Mountains	Open Space - Conservation Habitat	OS-CH	1	-	-
TOTAL				**937**	**0**	**0**

* This total is rounded and does not include areas that are planned for streets or right-of-way. Refer to Table B.1-2 for a complete summary of land uses that are classified as "other."

Below is a description of each Planning Area within the Lakeview Mountains followed by **Exhibit C.8.19H, Lakeview Mountains**, which shows the organization of planning areas, trails, and open space, and any unique issues within the village:

Planning Area 43: Approximately 12 acres of Public Facility land use designation, containing the proposed water tank site, to supply water for the Project. There are private roads and trails to the tank site, for access, and existing open space area paths, south of the tank site.

Planning Area 44A: Approximately 2 acres of a Public Facilities land use designation, containing a well or tank site.

This planning area's property is owned by EMWD.

Planning Area 44B: Approximately 1 acre of a Public Facilities land use designation, containing a well or tank site.

This planning area's property is owned by EMWD.

Planning Area 46D The Planning Area consists of MWD aqueduct property. There is a 10–12' Multi-Purpose Community Trail along the Planning Area boundary.

The trail is subject to a license agreement between MWD and the County Economic Development Agency (CSA). Said license is subject to MWD's Administrative Code and approval by MWD's Board of Directors.

Planning Area 50F: Approximately 899 acres of Open Space, including a conservation area and several existing open space area paths throughout the Planning Area.

The Lakeview Mountains will be maintained as a permanent open space amenity for the greater community. Existing hiking and equestrian uses shall remain within the open terrain as deemed acceptable by local agencies.

Planning Area 50G: Approximately 13 acres of conservation/open space.

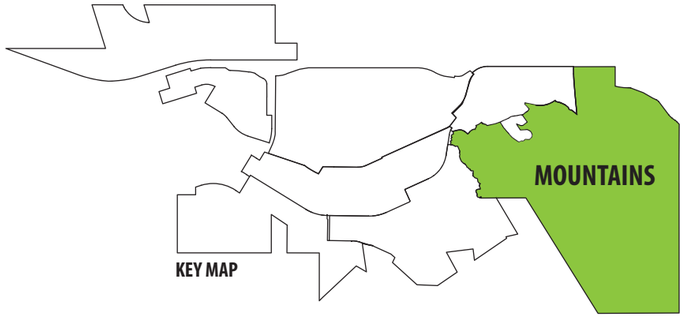
Planning Area 50H: Approximately 1 acre of conservation/open space, with a trailhead/view park.

b. Land Use and Development Standards

For permitted land uses and development standards such as setbacks and yard requirements, refer to the Specific Plan **Zoning Ordinance, Appendix D.**

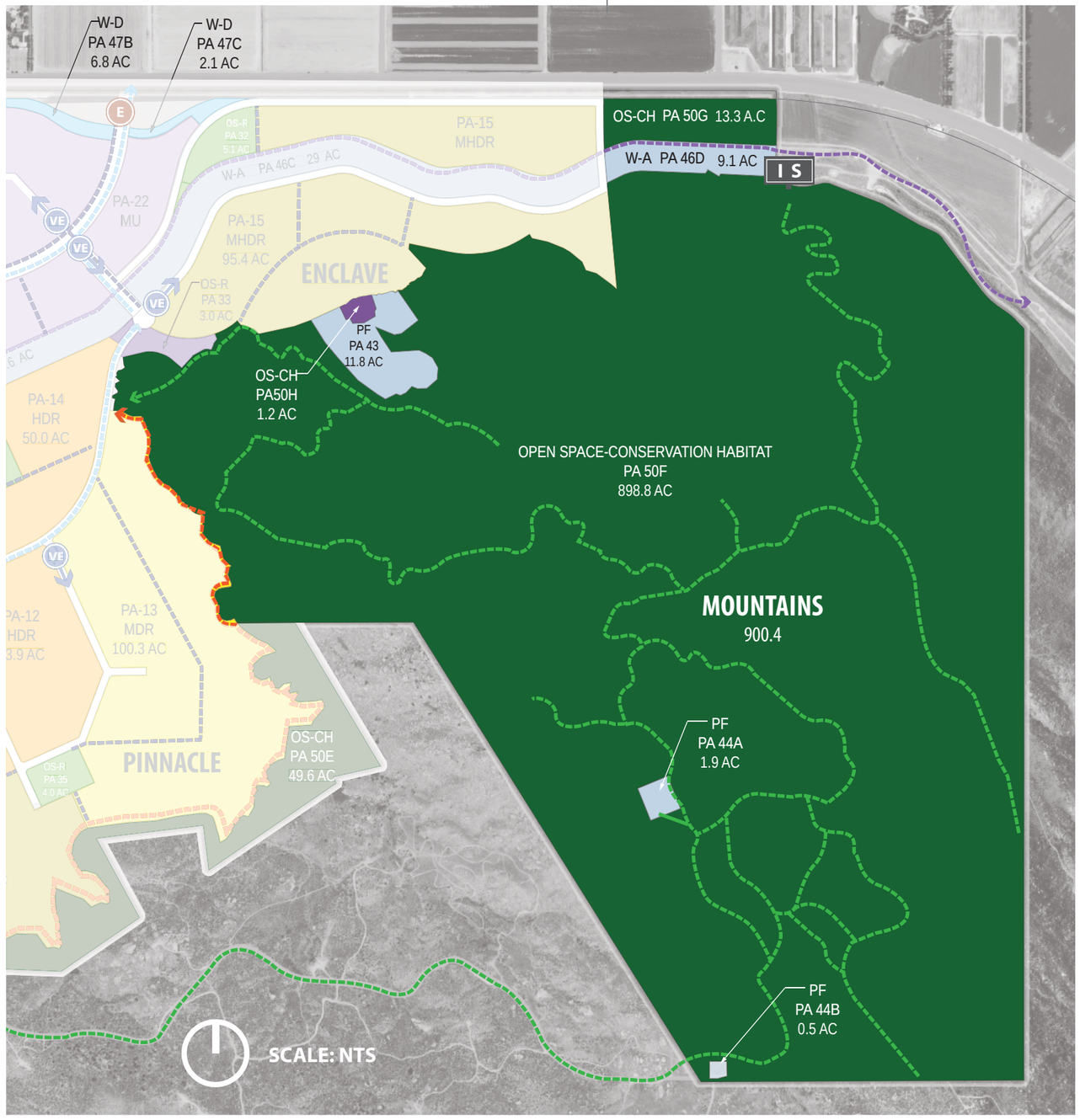
c. Planning Standards

1. Primary access to Planning Areas 43, 44A, 44B, 50F, 50G, and 50H shall be provided from "S" Street and "T" Street.
2. Please refer to the Design Guidelines for specific design related criteria.
3. Please refer to land use plan discussion and Development Plans and Standards that apply site-wide.



LEGEND

- EXISTING OPEN SPACE AREA PATHS (4' MIN)
- 10-12' MULTI-PURPOSE COMMUNITY TRAIL
- URBAN/WILDLIFE EDGE TRAIL
- OPEN SPACE CONSERVATION HABITAT (OS-CH)
- OPEN SPACE CONSERVATION HABITAT (OS-CH) - TRAILHEAD/ VIEW PARK
- WATER (W-A) - AQUEDUCT
- PUBLIC FACILITIES (PF) - MWD/EMWD
- IS INTERPRETIVE SIGN



D. Design Guidelines

1. Introduction

California calls you…

The original California settlers headed west in hopes of finding something new: a new life with a promise of health and prosperity. As they settled into small villages, they brought with them knowledge and traditions from their experiences. As time went on, technological advances afforded the settlers with an opportunity for growth, an opportunity to progress. Soon these villages evolved into towns. As the towns continued to grow, so did the architectural and landscape character. Building materials and construction methods evolved as towns became melting pots for immigrants. While historical precedence set the tone for many of the buildings, voids were filled with an eclectic mix of architecture representing a visible progression of time.

The character envisioned for THE VILLAGES OF LAKEVIEW is inspired by one of these early California towns, in particular the town of Old Riverside. Old Riverside's character is not a snapshot of a specific era rather it continuously evolved over multiple decades of development. At the turn of the century, the streets of Old Riverside were a diverse collection of architectural experiences. The main boulevards in the heart of town featured towering trees that addressed the scale of the architecture while the local roads, that led to the ranch and farmhouses, were lined with canopy trees that evoked and reinforced the rural character. THE VILLAGES OF LAKEVIEW will echo this history through the use of architectural and landscape palettes indicative of Old Riverside. A collection of monuments and way-finding elements, based on the prevalent architectural styles of the same period, will further emphasize the community character. Similar to Old Riverside, the expression of these elements will be directly influenced by the design of the individual villages and the natural surroundings they are set within.

At the core of THE VILLAGES OF LAKEVIEW, the Town Center will serve as the community hub. The Town Center will have the most dense land uses: a mix of both commercial and residential. These land uses will serve as a destination, providing residents with a reason to come to the community core. Because many uses are within walking distance, the goal is for residents to leave their cars behind as they circulate through the Town Center using the well-designed pedestrian pathways and corridors. Adding to the Town Center synergy, an architectural and landscape character will distinguish this village as the activity hub for the surrounding residential villages.

North of the Town Center, is the River Bend Village. This Village will continue to allow agriculture and business related uses, which will provide additional jobs for the community. The rural architectural and landscape character of this Village will provide a transition from THE VILLAGES OF LAKEVIEW to the open space beyond.

Located just south of the Town Center, the Parks Village will serve as the heart of the community. This village is designed around a joint-use neighborhood park that may include a library, public community center, Sports Park, and trails. A school will flank the edge of the neighborhood park. The architecture envisioned for this village will embrace a suburban character, providing transition to the surrounding areas and further enhanced with multipurpose trails that serve as the community's pedestrian spine. The architectural and landscape character along this spine will provide transition to the outlying neighborhoods.

Beyond these two villages, the residential villages will radiate outwards towards the community edges. As the land uses transition from the core through suburban villages to the rural edges, the architectural and landscape character will reflect this progression.

a. Design Character

THE VILLAGES OF LAKEVIEW design character is inspired by Old Riverside and its location within a Mediterranean climate zone. New development in THE VILLAGES OF LAKEVIEW should embrace the design character through an eclectic mix of Old Riverside inspired architectural styles as well as a local palette of trees and landscape. In addition, there shall be a conscious effort to integrate and connect the public and private realm, lending to a more attractive living environment.

The design character envisioned for THE VILLAGES OF LAKEVIEW features two layers of character elements: the overarching community character and village character. While the overarching community character holds the community together by unifying the villages, village character distinguishes each village, providing a unique identity. Each character layer is further explained in the following sections of architecture and landscape architecture. The Village Refinement Plan process, as described in **Section B.11, Specific Plan Administration**, was created to ensure the appropriate community and village character throughout Project construction. Below is a list of steps the Project will take to develop community and village character. The Village Refinement Plan is to the tool to further define specifics and ensure implementation.

2. THE VILLAGES OF LAKEVIEW Character

a. Overarching Community Character

The overarching community character is inspired by Old Riverside and its Mediterranean architecture and landscape palettes. In an effort to execute this character throughout the community, THE VILLAGES OF LAKEVIEW community elements should reflect that of a Mediterranean style and provide a unifying theme that links the more varied characters of the individual villages. The overarching community character will be displayed using similar materials and detailing in elements which may include:

- **Community Architectural Style**

  Using a selection of Old Riverside and Mediterranean styles of architecture including Italian Renaissance, Monterey, Spanish Colonial, and Tuscan, the community architectural style shall apply community buildings, and possibly schools. Further details on architectural styles can be found in Section 7 of the Design Guidelines.

- **Community Monumentation**

  Using a selection of appropriate materials, form, scale, and color of architectural features and landscape areas, the community monumentation shall apply to community announcements and landscape entries. Further details on community monumentation can be found in Section 9 of the Design Guidelines.

- **Community Streetscenes**

  Using a selection of street trees, shrubs, groundcover, and street furnishings, the community streetscenes shall apply to the Town Center Boulevard, “F” Street, and “H” Street. Further details on community streetscenes can be found in Section 9 of the Design Guidelines.

- **Neighborhood Park Landscape**

  Neighborhood park landscape shall include a selection of planting concepts, garden spaces, site furniture, plazas, and shade structures. Further details on park landscaping can be found in Section 9 of the Design Guidelines.

- **Regional and Equestrian Trails**

  Regional and Equestrian Trails shall include a selection of planting concepts, and site furniture. Further details on Regional and Equestrian Trails can be found in Section 9 of the Design Guidelines.

- **Community Walls and Fences**

  Community walls and fences shall apply to wall systems that are adjacent to Town Center Boulevard, the Ramona Expressway, "F" Street, "H" Street, Wolfskill Road, Hansen Road, and Poppy Road. Further details on community walls and fences can be found in Section 9 of the Design Guidelines.

1. Overarching Community Character Design Goals

In an effort to guide development and realize the community vision, the following community-wide design goals have been established:

a. Encourage environmental stewardship through eco-conscious design and development.

b. Develop a cohesive style and material palette for key community architectural, signage, and landscape elements, thus reinforcing the community design concept.

c. Incorporate a variety of land uses such as commercial, residential, public facilities, parks, and open space.

d. Design public spaces with pedestrian connectivity in mind.

e. Orient buildings and homes to address the trails and provide pedestrian connectivity.

f. Consider human-scale in the built environment along pedestrian corridors and community nodes.

g. Incorporate both visual and physical connections to the surrounding open space amenities.

h. Provide connections to recreation areas, trails, scenic vistas, and natural open space buffers.

i. Provide shade, community structure, and visual identity for neighborhoods, parks, and public spaces through the planting of trees.

j. Embrace local soil and climate conditions by incorporating a California-appropriate landscape palette.

b. Village Character

Within THE VILLAGES OF LAKEVIEW, there are eight villages. Each village will have its own character based on physical boundaries: topography, size, shape, and adjacent uses. Beyond the physical boundaries, each village will have its own character based on certain design elements. While some elements may be consistent throughout the community, each village may differentiate using materials unique to the specific village. As mentioned in **Section B.11, Specific Plan Administration**, details, locations, and drawings of design elements will get submitted with the Village Refinement Plan. The village character will be created using similar materials and detailing in elements which may include:

- **Village Monumentation**

  Village Monumentation shall apply to Village Entries and Gated Entries.

- **Village Streetscenes**

  Village Streetscenes shall include all other streets not addressed at the community level.

- **Village Parks**

  Village Parks shall include all neighborhood parks.

- **Village Walls and Fences**

  Village Walls and Fences shall include all other wall systems that are easily visible from all other streets not addressed at the community level.

1. Village Design Goals

In an effort to guide development at the village level, the following village design goals have been established:

a. Differentiate each village character while maintaining the overarching community character.

b. Offer a variety of housing types and lifestyles within the various villages to accommodate diverse demographics.

c. Provide residents with a broad range of housing choices.

d. Offer a blend of styles, materials, and detailing reminiscent of Old Riverside.

e. Encourage builders to incorporate development technology and building innovation.

f. Be innovative with building orientations and plotting configurations and avoid neighborhood monotony.

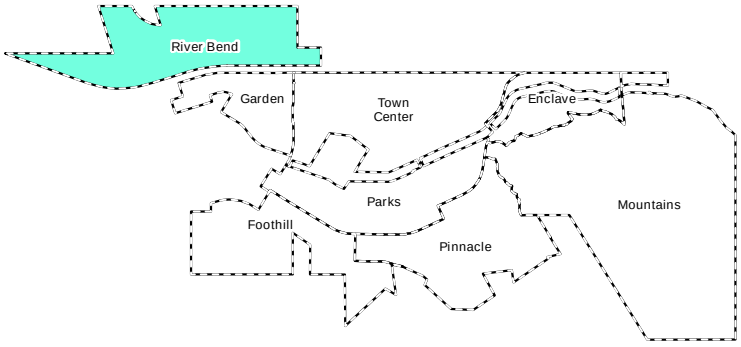
g. Provide pedestrian connections to neighborhood parks.

2. Village-Specific Design Goals

For the ease of identifying the villages, temporary names have been given to each of the villages. By no means are these indicative of future marketing names, rather they are placeholders for the purpose of this document.

Due to the natural parameters of each village, the location, topography, and land uses within each village are unique. In an effort to respond to these individual characteristics, specific village goals have been established.

a. The River Bend Village

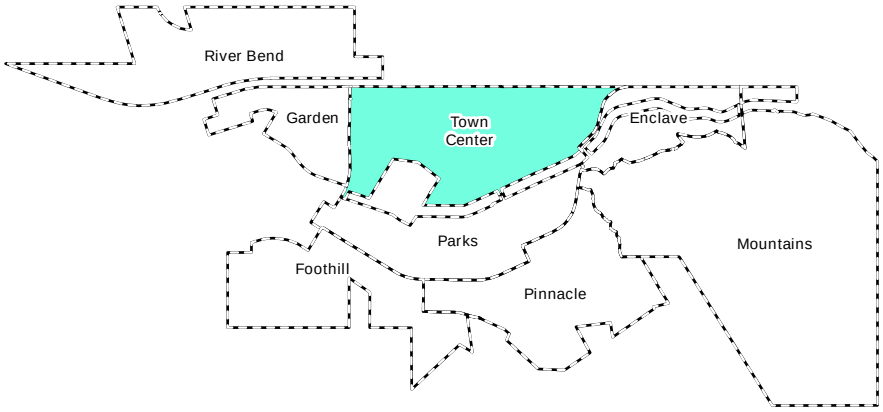


The Village will be primarily characterized by an informal agricultural architectural character and planting style that respects and responds to the surrounding natural areas. The vast San Jacinto Wildlife Area, an open space resource rich in native plants and animals, provides the backdrop. Through its groves, drainage way, trails, and California-appropriate landscape palette, the River Bend Village will embrace a natural feeling of open space as well as community connections. Entry features along the Ramona Expressway, and along the edges of the San Jacinto Wildlife Area, will recall the agricultural history of the area. The seasonal riparian drainage channel will emphasize awareness, as well as serve as a connection to water systems.

Design goals of the River Bend Village include:

1. Providing employment opportunities for residents.
2. Maximize views to the San Jacinto Wildlife Area.
3. Utilizing a formal street tree plan.
4. Respect the natural village edges by incorporating a plant palette that transitions from the built environment to the open space.

b. Town Center Village



The Town Center Village will blend the feel of historic Old Riverside subtle contemporary elements. The plan, density and commercial components will make this Village a destination and the core of the community. Character elements of this village include an eclectic arrangement of

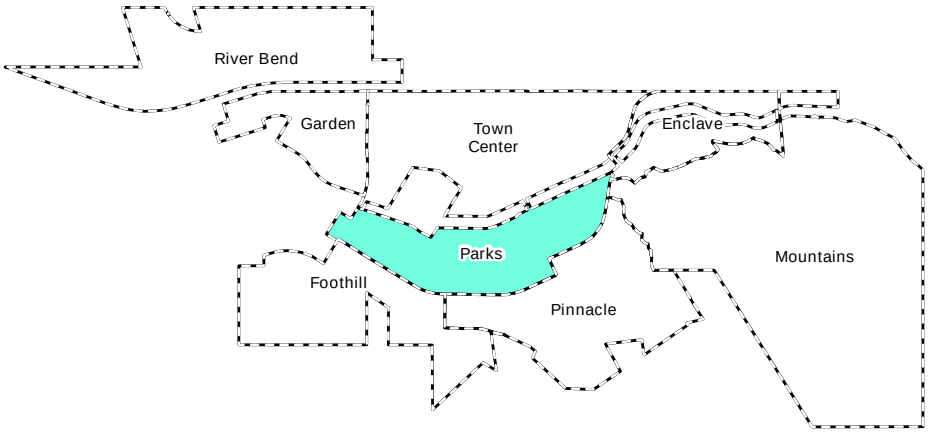
architectural styles, palm and shade tree-lined avenues, shaded arcades, and promenades notable for their flowering trees. Goals for the Town Center include:

1. Create a sense of place by designing the Town Center as the core of THE VILLAGES OF LAKEVIEW.
2. Design neighborhoods that are walkable and provide pedestrian connections to and from adjacent residential villages.
3. Encourage an eclectic mix of architectural styles and building typologies.
4. Create a progression from higher to lower densities adjacent to the residential villages.
5. Encourage mixed-use sites.
6. Encourage urban building forms.

In order to achieve the goals for the Town Center Village, a Village Refinement Plan will be required for portions of the Town Center Village, as outlined in **Section B.11, Specific Plan Administration**. Depending on the development proposed, the items listed below may be applicable to the Village Refinement Plan, as determined by the Planning Director. The items include, but are not limited to the following:

1. A sign program
2. Parking lot standards
3. Public transit integration
4. Street furniture
5. Awning standards
6. Vertical mixed-use standards
7. Lighting standards
8. Private open space requirements and guidelines
9. A wayfinding program
10. A pedestrian access plan

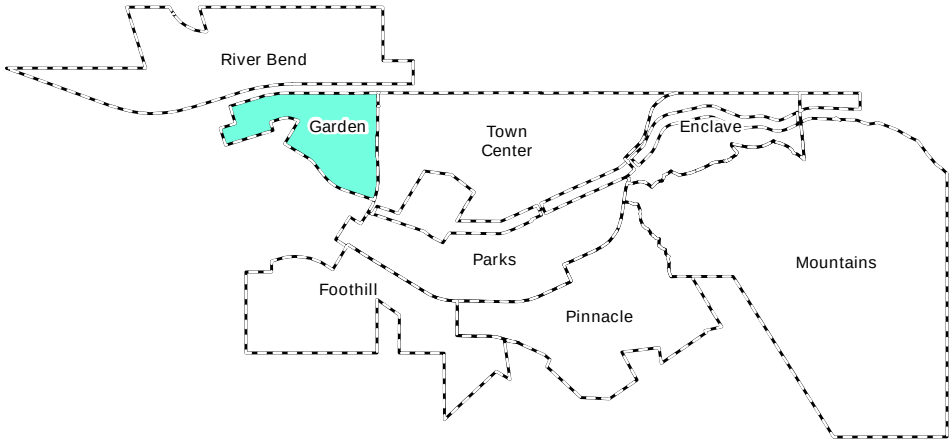
c. The Parks Village



This Village encompasses several neighborhood parks that may include a library, public community center, sports park, and pedestrian greenbelt. A network of trails throughout the Project lead to the neighborhood parks, thus making the Parks Village well connected to the rest of the community. Large shade tree-lined streets, riparian trail plantings, and a meadow-like greenbelt with wildflowers and grasses will further enhance the park-like setting of this Village. Goals of the Parks Village include:

1. Design neighborhoods that are walkable and provide residents with choice in routes.
2. Orient buildings and homes to address the pedestrian greenbelt.
3. Where appropriate, incorporate a mix of wildflowers and grasses into the pedestrian greenbelt.
4. Utilize large shade trees along streets and pedestrian corridors.
5. Encourage an eclectic mix of architectural styles and building typologies.

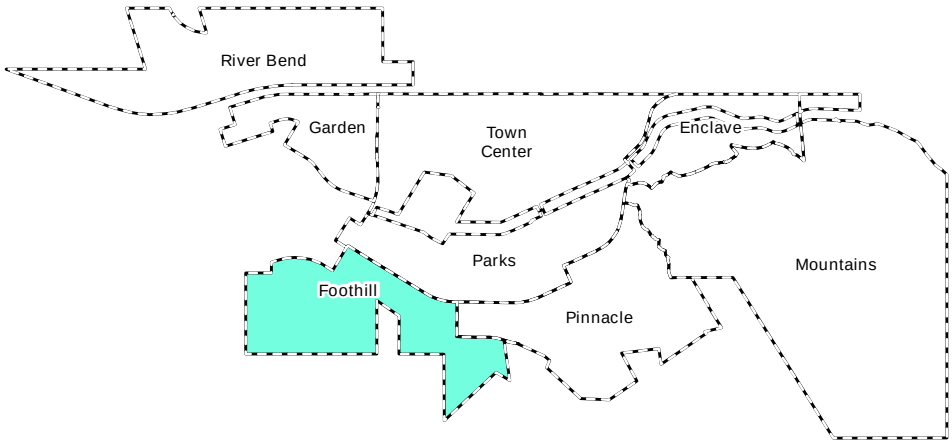
d. The Garden Village



The Garden Village is a suburban garden-oriented village that exudes a relaxed and comfortable lifestyle. Walkways will lead to formal parks and gardens, thus promoting a passive, walkable environment. Single-story residences will be encouraged and shade tree-lined streets will further enhance the pedestrian experience of this village. Goals of the Garden Village include:

1. Design an educational complex that is walkable and provides students with the choice of routes while providing appropriate security.
2. Utilize large shade trees along streets and pedestrian corridors.
3. Select an architectural palette that is responsive to the building typologies and community.
4. Be responsive to the goals of the Lakeview/Nuevo Design Guidelines.
5. Protect the existing surrounding properties by providing a landscaped edge with a multi-use trail.

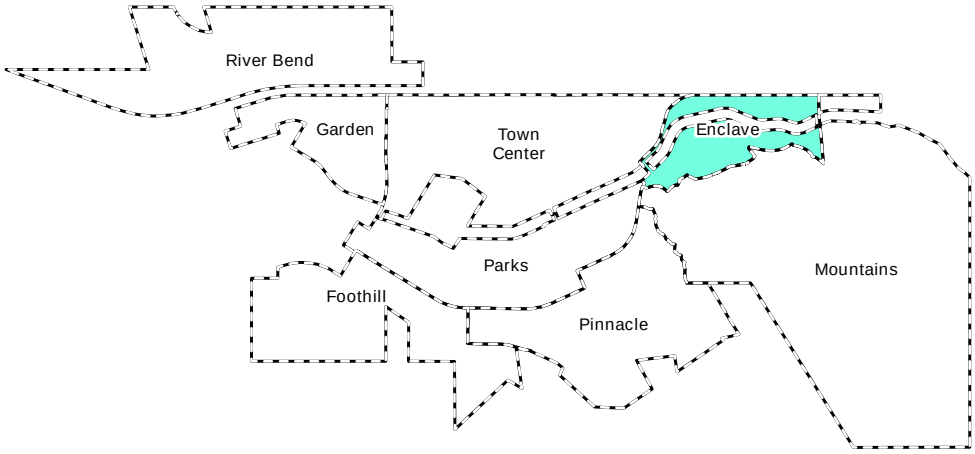
e. The Foothill Village



The Foothill Village will recreate a classic character of farm and ranch homes within an informal planting style. Comprised primarily of a landscape palette appropriate to the California climate, tree-lined streets, windrows, and hillside groves will establish a unique agrarian identity for this village. Entry treatments featuring simple monuments and landmarks will be comprised of natural materials, thus blending into the hills and planting. Goals for the Foothill Village include:

1. Respond to the rural edge with an architectural vernacular that eases the transition from suburban to rural.
2. Be responsive to protecting the rural lifestyle of existing neighbors by providing additional building setbacks, tapered building massing, and a landscaped edge with multi-use trail.
3. Design neighborhoods to connect to adjacent parks and open space through the trail head park.
4. Incorporate a mix of windrows and hillside groves.
5. Feature canopy trees as part of the street tree plan.
6. Utilize informal landscape plantings to emphasize the natural character of this village.
7. Provide an open space setback or linear park with dual use trail along Hansen, Wolfskill, and Poppy frontages. The goal is to provide connectivity to the proposed park and trailhead in Planning Area 36.

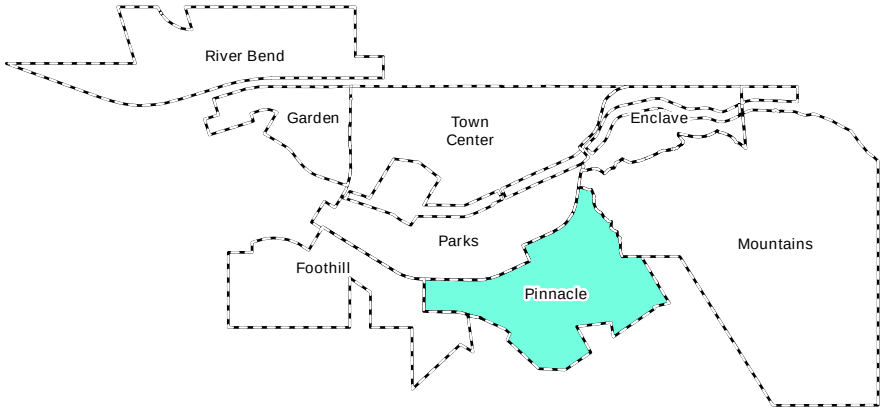
f. The Enclave Village



The Enclave Village has the second highest density and will be characterized by strong vertically-oriented building typologies, accentuated with the linear repetition of windrows. Small scale flowering tree-lined streets in formal rows will provide a pedestrian scale and add visual interest to the street scenes. The pedestrian greenbelt which bisects the community will appear as a meadow with wildflowers and grasses. Together, this architectural and landscape palette will establish a unique character for the Village. Goals of the Enclave Village include:

1. Maximize views to the north.
2. Provide a connection to the adjacent open space through trailheads.
3. Orient buildings and homes to address the pedestrian greenbelt.
4. Utilize the verticality of windrows to accentuate the verticality of the building forms.
5. Feature small-scale flowering trees as part of the street tree plan.
6. Where feasible, incorporate a mix of wildflowers and grasses into the pedestrian greenbelt.
7. Provide a Community Separator that will provide a visual buffer between the City of San Jacinto and the Lakeview/Nuevo Community including The Villages of Lakeview.

g. The Pinnacle Village



The Pinnacle Village is the most exclusive village and will provide an informal design character with an arroyo planted with cottonwoods, sycamores, and riparian species. Stone and wood entry monuments, as well as windrows and hillside groves, further emphasize the Village's natural character. An informal planting style will be comprised primarily of a California-appropriate landscape palette. Goals for the Pinnacle Village include:

1. Provide a higher level of exclusivity for Village residents.
2. Maximize views to the north.
3. Provide a connection to the adjacent open space.
4. Where feasible, incorporate a mix of wildflowers and grasses into the pedestrian greenbelt.
5. Utilize informal landscape plantings to emphasize the natural character of this village.

3. Goals of the Design Guidelines

The Design Guidelines have been prepared to ensure that the community vision and design goals are implemented through build-out. This is achieved by providing builders and designers with planning, architectural, and landscape design criteria.

Sketches and graphic representations contained herein are for conceptual purposes only and are to be used as general visual aids in understanding the basic intent of the guidelines. They are not meant to depict any actual lot or building design. In an effort to encourage creativity and innovation, the guidelines express “intent” rather than “absolute”, thereby allowing certain flexibility in fulfilling the intended design goals and objectives.

4. Residential – Single-Family Detached

a. Site Planning Design

Each single-family detached residential neighborhood within THE VILLAGES OF LAKEVIEW shall create a unique sense of place for residents and visitors. In an effort to achieve this, specific site planning guidelines have been written for the single-family detached neighborhoods.

1. Site Planning Elements

    a. In an effort to accommodate a diverse demographic, the homes designed for THE VILLAGES OF LAKEVIEW shall offer variety in lot size and home square footage.

    b. Throughout THE VILLAGES OF LAKEVIEW, the integration of both traditional and innovative house plan types is encouraged; this includes front-loaded, rear-loaded, courtyards, clusters, etc.

    c. Villages should be designed with pedestrian access to parks, trails, open space, and public facilities.

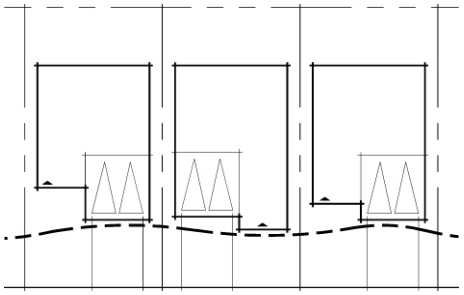
    d. Sidewalks should be designed to establish a safe pedestrian environment by plotting homes with views onto paths and keeping landscaping low to maintain visibility.

    e. Street trees, varied in size, form, and color, should provide shade and beauty as they mature.

    f. Corner lots should allow additional width necessary for single-story and wrap-around architectural elements.

2. Streetscape Massing and Plotting

    a. Repetitious street-front edges should be avoided. This can be achieved through building offsets and staggered front yard setbacks.



b. Neighborhoods are encouraged to provide an array of garage orientations (see Garage Placement and Orientations). Where feasible, architecture forward of the garage wall plane is encouraged.

c. In an effort to promote neighbor interaction, floor plans are encouraged to be plotted with paired front entries except in sloped situations.

d. Homes should express individuality. No two adjacent homes should exhibit the same plan form, architectural style, and color palette.

3. Privacy

Privacy is an important consideration in residential site planning. Innovative site design techniques should be used to preserve privacy while promoting social opportunities in residential neighborhoods.

a. Where appropriate, innovative site design techniques, including landscaping, should be used to provide privacy to residents.

b. An effort should be made to avoid window alignment between adjacent homes. In addition, contiguous mirrored floor plans shall be avoided.

b. Architectural Design

All single-family detached homes located in THE VILLAGES OF LAKEVIEW shall embody variety and compatibility in architectural character and enhance the community's overall value. Architectural styles and detailing reminiscent of traditional Riverside, along with advancements in modern technology and architectural innovation, will provide the residents of THE VILLAGES OF LAKEVIEW with a pleasant, livable community. The goal of the following guidelines is to ensure these qualities are executed throughout the single-family detached developments.

1. Architectural Criteria

The following criteria were developed to guide building design appropriate to the historical Riverside character envisioned for THE VILLAGES OF LAKEVIEW:

a. A variety of architectural styles were selected to ensure individuality while maintaining compatibility. Style specific elements are included as part of the style sheets section of this document and should be used as a guide for residential architectural design.

b. Appropriate massing and roof forms play a major role in defining architectural styles. Massing and roof forms should be appropriate to the selected architectural style for the dwelling.

c. Architectural elements and details should reflect the character of the chosen style.

d. Appropriate color palettes should reinforce the architectural style.

2. 360-Degree Architecture

Homes within THE VILLAGES OF LAKEVIEW community shall be designed with 360-degree Architecture. This design (360-Degree Architecture) refers to the incorporation of architectural enhancements such as decorative or other articulation elements to all sides of the home. There are three levels of enhancement:

a. Elevations with **prominent public visibility** (such as front or corner side elevations) – Enhancements include the use of accent building materials, color blocking, building offsets, window trim surrounds, window grids, shutters or other window enhancements, porches, or decorative detail elements to reflect the architectural style.

b. Elevations with **moderate public visibility** (such as rear elevations adjacent to streets or open space) – Enhancement features shall include the use of color blocking, window trim surrounds, shutters, or other window enhancements, or decorative detail elements to reflect the architectural style.

c. Elevations with **primarily private visibility** (such as interior side or rear elevations) – Enhancement features may include the use of window trim or window grids to reflect the architectural style.

3. Building Form

Building form is an important element of residential architectural design. Building form often drives the architectural style of a home. For example, two-story rectangular building forms generally lend to American Colonial, Monterey, and Farmhouse architectural styles. Whereas a less boxy, more horizontal plan form would be more indicative of Craftsman and Prairie architecture.

a. Where feasible, plan form should be a consideration in selecting the architectural style.

b. Floor plans which offer diversity in garage orientation are encouraged (see Garage Orientations).

c. Architecture-forward plans and floor plans with porches or entry elements forward of the garage plane are encouraged.

4. Building Massing

The following elements are intended to develop architectural variety and provide each home with a sense of individuality. Architectural massing techniques should be used to provide visual relief.

a. Variety in plan forms and architectural styles will provide massing relief to the street scene.

b. Simple plan forms and building massing should be used to provide proportion and scale appropriate to the selected architectural style.

c. Tapered or stepped massing is encouraged. Each street scene should offer variety in second-story stacking arrangements.

5. Building Relief

Shade and shadow are often used to create a sense of depth and provide visual relief to the building elevation. In an effort to maximize such relief, the following techniques should be integrated into the design of homes for THE VILLAGES OF LAKEVIEW:

a. Where appropriate to the architectural style, vertical and horizontal building offsets should be used to provide relief to the front elevation.

b. A variety of garage treatments and orientations which provide shadow and depth are encouraged to be integrated into the design of the homes.

6. Single-Story Elements

In establishing pedestrian scale, single-story elements provide transition from upper stories to sidewalk level. This is particularly important on corner lots where there is street frontage along two exposed elevations.

a. For homes within THE VILLAGES OF LAKEVIEW, a minimum of one-third of all homes in each Medium-High Density Residential single-family detached neighborhood are required to have a significant single-story element. Significant single-story elements should be appropriate to the architectural style of the dwelling and may include:

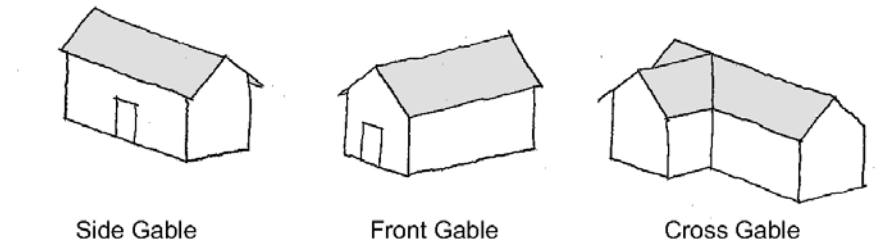
- A single-story dwelling
- Front or wrap-around porch with a minimum of six-foot (6’) depth and ten-foot (10’) width
- Porte-cochere
- Single-story roof element
- Second-story recess of at least five feet (5’) from first story (minimum of one-third façade width or thirteen feet (13’) whichever is less)
- Bay window at least 24 inches deep and 48 inches wide

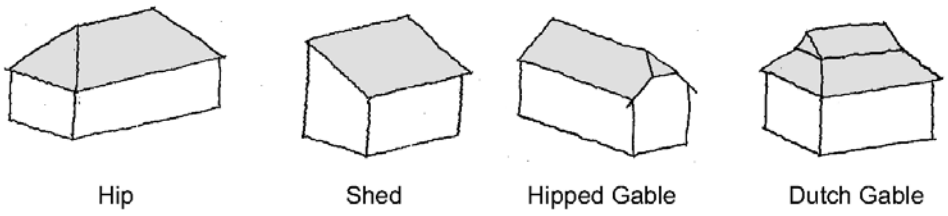
7. Roof Forms

Homes within THE VILLAGES OF LAKEVIEW should incorporate elements that reduce visual boxiness. Such elements include variety in roof forms, direction of slopes, and variety in ridgelines and height. These elements provide diversity and interest to the building form and neighborhood as a whole.

Consistent with the architectural styles of the neighborhood, a variety in roof forms should be employed throughout the design of homes. Such roof forms include:

- Gable (front and side)
- Cross Gable
- Hip
- Shed
- Dutch gable
- Hipped gable





Where consistent with the architectural style of the home, the arrangement of different roof forms (including the introduction of porch roofs, dormers, bays, cross gables, and hips) is encouraged. Repetitious roof lines should be avoided.

8. Building Color and Material Selection

Building color and materials are two of the most dominant visual elements in the architecture of a building. It is important that building materials used on homes in THE VILLAGES OF LAKEVIEW complement the surrounding uses and environment. This can be achieved by incorporating a variety of materials consistent with the traditional Riverside heritage including: stone, masonry, siding, and stucco. Manufactured building materials are permitted.

a. Each neighborhood should exhibit a diverse palette of colors and materials. A minimum of three (3) color palettes should be designed for each elevation style.

b. Individual color and material palettes shall be appropriate to the architectural styles including building color/materials, accent color/ materials, and roof colors/materials (refer to Architectural Style sheets).

c. Roof tile colors should be selected according to architectural styles.

d. Each elevation/color scheme shall have a minimum of three (3) colors (four (4) is preferred). For example, one (1) field color, one (1) trim color, and one (1) or two (2) accent colors.

e. No two (2) adjacent homes shall have the same color palette.

9. Building Color and Material Application

The application of materials is integral to design. In no case shall building materials be applied arbitrarily.

a. All surface treatments or materials should be designed to appear as an integral part of the design, and not merely applied; all materials should wrap columns or posts in their entirety.

b. Material changes should occur at inside corners or other meaningful locations. Furred out edges, enhanced trim elements, fence lines, and alignment with roof changes are examples of acceptable points for material change. Matching columns or base width from front and side is also acceptable.

c. Where appropriate to the style, color blocking is encouraged.

10. Front Entries

Front entries serve as an interface between public and private spaces, identifying the focal point of the home.

a. Front entry doors and entryways should be protected with overhangs, recesses, porches, or trellises.

b. Wherever possible, front entries or principal access points should be oriented toward the public street or entry courtyard.

c. Architectural forms should be used to emphasize the location of individual doorways.

11. Windows

Generally, the location of windows is determined by the practical considerations of room layout, views, and privacy. Because windows play an important role in the exterior architectural character of the building, special emphasis should be given to the way in which windows are used for design effect.

a. All windows should feature trim surrounds, headers or sills consistent with the architectural style of the residence.

b. The use of mirrored or highly reflective glass is not permitted.

c. The size and proportion of window panes should correspond to the overall proportion of the elevation. Within the appropriate style requirements, windows should be grouped and coordinated with other design elements to create a composition and sense of order.

d. Windows on the second and third floor of a building should be treated with detailing of similar quality as those on the ground floor based on visibility (refer to 360-Degree Architecture).

e. Windows shall be metal or vinyl clad, or of equal quality. Aluminum frames are not permitted.

f. Where appropriate to style and window form, the use of windows with grids is encouraged.

12. Accessory Structures

Accessory structures such as gazebos or garden storage buildings should be consistent with the architectural style of the primary structure and should be compatible with the residential character of the neighborhood.

13. Garage Placement and Treatment – Street Facing

In an effort to create an attractive street scene, the home and front yard should be the primary focus of the front elevation. The impact of repetitive, street-facing garages should be reduced by using the following techniques:

a. Garage placement should vary within neighborhood plotting plan. This can be achieved through staggered setbacks or a mix in garage orientations.

b. The use of optional treatments such as porte-cocheres and trellis elements to buffer the view of garage doors are encouraged.

c. Varying garage setbacks are encouraged.

d. Recess garage doors a minimum of six inches (6”) from wall.

e. Vary garage door treatments and windows.

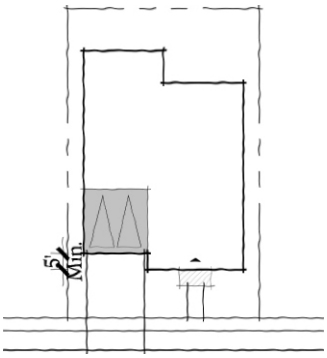
14. Garage Orientation

Each single-family front-loaded neighborhood should feature at least three (3) different garage placements.

- Shallow Recessed Garage
- Mid Recessed Garage
- Deep Recessed Garage (may be detached)
- Corner with Side-Street Entry Garage (may be detached)
- Garage Forward (note: this garage orientation is limited to 33% of homes in each neighborhood or planning area)
- Swing-in Garage (only permitted on lots wider than 55 feet).

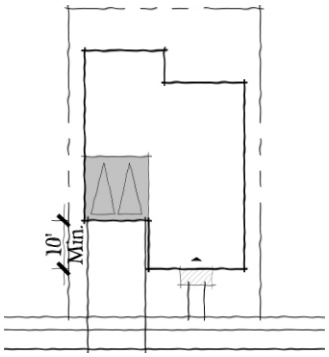
a. Shallow Recessed Garage

Shallow recessed garages are located five (5) feet or more behind the front elevation/living space or porch.



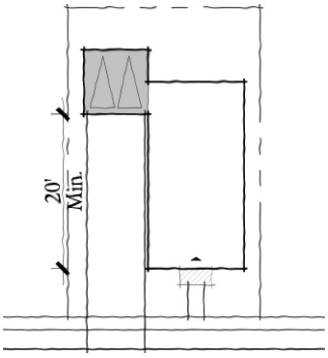
b. Mid Recessed Garage

Mid recessed garages are located ten (10) feet or more behind the front elevation/living space or porch.



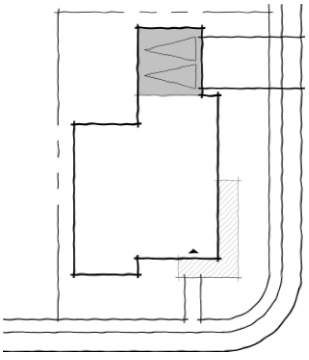
c. Deep Recessed Garage

Deep recessed garages are located twenty (20) feet or more behind the front elevation/living space.



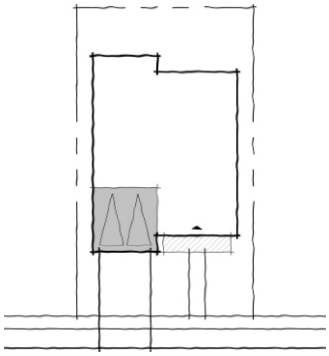
d. Corner with Side-Street Entry Garage

This garage type allows the option of entering from the side street, thereby eliminating the front-facing garage and driveway. Minimum driveway length must be maintained. Swing-in drives are permitted.



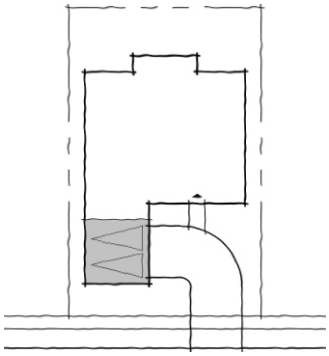
e. Garage Forward

This garage placement is located forward of the home's front facade. Extra attention and treatments should be applied when using this garage location. In an effort to provide some relief to the street scene, all garage forward plans should feature a minimum 12-inch recess. In addition, this garage placement is limited to 33 percent of homes in single-family detached neighborhoods.



f. Swing-in Garage

Swing-in garages greatly reduce the impact of garage door faces on the streetscape. These garage placements can be located at the front, side, or rear of a plan and are limited to lots 55 feet in width or greater.



15. 3-Car Garages

Front-facing 3-car garages are permitted on lots wider than 55’ but will be limited to one (1) plan per neighborhood. Where used, homes with front-facing 3-car garages shall feature one of the following:

- Six-foot by ten-foot (6’ x 10’) porch
- One-foot (1’) offset or fur out between the wall and garage door
- Three (3) single garage doors

In lieu of front-facing 3-car garages, garage orientations such as swing-in or tandem garages are encouraged.

16. Alley Conditions

Although alleys are often thought of as merely a transitional vehicular space, alleys also provide garage and pedestrian access, trash collection and other utility uses. Both functional and aesthetic issues should be considered in alley design.

a. In an effort to facilitate ease of vehicular movement and provide some building relief, alley-facing garages should be set back from the drive area a minimum of 24-inches. This setback allows planting pockets and softens the alley streetscape.

b. In areas where parking is prohibited on driveways, alley aprons should be a maximum of five feet (5’). If driveway parking is intended, alley aprons should be a minimum of eighteen feet (18’).

c. The “canyon effect” should be avoided in alleys. This can be achieved through variation in building massing, color schemes, roof lines, and landscape treatments.

d. Where possible, undulation in the line of garage doors is encouraged. All drive apron and building separation setback requirements shall still be maintained.

e. Alley-facing elevations should be designed for prominent public visibility with style-appropriate window trim, elements and details. In addition, garage door treatments should be appropriate to the architectural style of the dwelling.

f. Rear privacy walls and pedestrian gate entries should be designed and located to provide ease of access to the rear yard. Where refuse containers are not located in the garage, they should be screened with landscaping or other fence or trellis elements.

17. Front-Loaded Small Lot

Front-loaded small lots are planned in an effort to eliminate garage repetition. Example plottings of front-loaded small lots are included in Section D.6 – pages 3 through 6. Front-loaded small lots will be limited in use, but shall include one of the following elements:

a. A well-articulated front porch – with a minimum of five feet deep by eight feet wide

b. A well-articulated front balcony

c. Non-stucco material such as masonry or siding, terminating at an appropriate point.

d. Deep recessed window elements as appropriate to architectural style

e. Use of decorative wing-wall elements as appropriate to architectural styles

f. A minimum of one inch deep recessed garage doors

g. Use of one or two 3-story plans to help provide a variety to the massing along the street scene

h. A minimum of a one-foot minimum overhang of the second floor livable area over the garage entry

i. Wrap porches at corner lots

5. Residential – Single-Family Attached and Multi-Family

a. Site Planning Design

Each single-family attached and multi-family residential neighborhood within THE VILLAGES OF LAKEVIEW shall create a unique sense of place for residents and visitors. In an effort to achieve this, specific site planning guidelines have been written for the single-family attached and multi-family neighborhoods.

1. Site Planning Elements

By the very nature of the housing typologies, single-family attached and multi-family neighborhoods are much like small communities. Each should be designed for compatibility within itself, using a blend of building types within the same product type, compatible architectural styles and a tastefully balanced palette of colors and materials to achieve a restful uniformity within each neighborhood.

a. In an effort to accommodate a diverse demographic, the attached residences in THE VILLAGES OF LAKEVIEW shall offer variety in floor plan design and home square footages.

b. Throughout THE VILLAGES OF LAKEVIEW, the integration of both traditional and innovative house plan types is encouraged; including town homes, condominiums, duplexes, cluster buildings, apartments, etc. However, similar product types are allowed within each neighborhood.

c. Villages shall be designed with pedestrian access to parks, trails, open space, and public facilities.

d. Sidewalks should be designed to establish a safe pedestrian environment by plotting homes with views onto paths and keeping landscaping low to maintain visibility.

e. Street trees, varied in size, form, and color should provide shade and beauty as they mature.

f. Buildings should be oriented around common open spaces, including parks, paseos, and recreational amenities.

g. Wherever possible, higher density neighborhoods should be located near or adjacent to shopping, public facilities, open space, and transportation hubs.

h. Buildings should be designed and sited with a strong physical relationship to public areas of the community.

2. Privacy

Privacy is an important consideration in residential site planning. Innovative site design techniques should be used to preserve privacy while promoting social opportunities in residential neighborhoods.

a. Where appropriate, innovative site design techniques, including landscaping, should be used to provide privacy to residents.

b. An effort should be made to avoid bedroom window alignment between adjacent buildings.

3. Carports

a. The number of continuous carport parking spaces shall not exceed ten (10).

4. Parking

Where attached neighborhoods are adjacent to primary streets, the primary view onto the neighborhood should focus on the buildings, not parking.

a. Parking should be hidden from adjacent primary streets. This can be achieved with landscape screening or other architectural elements.

b. Where feasible, parking courts should be internal to the neighborhood.

c. Resident on-site parking should be distributed to provide close proximity to individual units. On-site parking is encouraged to be within 300 feet of individual units.

d. Unassigned or guest parking should be grouped and located in convenient locations.

(See also C.2 Town Center Village, page C.2-5, for parking requirements in that village.)

5. Trash Enclosures

a. Trash can be handled either by individual pick-up or from centrally convenient trash enclosure areas as required by the disposal company to accommodate the required numbers an types of trash containers.

b. In an effort to minimize impact on adjacent residences and neighborhood developments, trash enclosures should not be located along edges of the community.

c. Trash enclosures shall be constructed in a style and wall finish that is consistent with the overall architectural character of the development.

d. All trash enclosures shall be equipped with complementary gates of durable construction, hinged to self-supporting steel posts and a trellis or other covered structure overhead.

e. Lighted access shall be provided at each enclosure.

b. Architectural Design

All single-family attached and multi-family dwellings located in THE VILLAGES OF LAKEVIEW shall achieve a high level of quality and visual appearance, assure variety and compatibility in architectural character, and enhance the community's overall value. Architectural styles and detailing reminiscent of traditional Riverside, along with advancements in modern technology and architectural innovation, will provide the residents of THE VILLAGES OF LAKEVIEW with a pleasant, livable community. The goal of the following guidelines is to ensure these qualities are executed throughout single-family attached and multi-family development.

1. Architectural Criteria

The following criteria were developed to guide building design appropriate to the historical Riverside character envisioned for THE VILLAGES OF LAKEVIEW:

a. A variety of closely related architectural styles were selected to ensure individuality while maintaining compatibility. Style-specific elements are included as part of the style sheets section of this document and should be used as a guide for residential architectural design.

b. Appropriate massing and roof forms play a major role in defining architecture styles. Massing and roof forms should be appropriate to the selected architectural style for the building.

c. Architectural elements and details should reflect the character of the chosen style.

d. Appropriate color palettes should reinforce the architectural style.

2. 360-Degree Architecture

Residential buildings within THE VILLAGES OF LAKEVIEW community shall be designed with 360-degree architecture. 360-degree architecture refers to the incorporation of architectural enhancements such as decorative or other articulation elements to all sides of the building. There are three levels of enhancement:

a. Elevations with **prominent public visibility** (such as street elevations) – Enhancements may include the use of accent building materials, color blocking, building offsets, window trim, shutters, or other window enhancements, porches, or decorative detail elements to reflect the architectural style.

b. Elevations with **moderate public visibility** (such as alley elevations) – Enhancement features may include the use of the same color as the prominent elevation, window trim, window grids, shutters, or other window enhancements, or decorative detail elements to reflect the architectural style.

c. Elevations with **primarily private visibility** (such as interior side elevations) – Enhancement features may include the use of window trim, or window grids surrounds to reflect the architectural style.

3. Building Form

In the development of single-family attached and multi-family buildings, there is often a tendency to build to the maximum building envelope without articulating treatment on wall planes. Generally, this results in a multi-story box. Unless the architectural style lends to such form, this should be avoided.

4. Building Massing

In an effort to avoid large, overwhelming masses, each building should employ a variety of techniques which help to establish a human scale. This can be achieved through breaking up building shapes into multiple forms.

a. Combinations of one- and two- story and two-and three-story forms can be used to create variety in setback and overall building form.

b. Buildings should employ visual height reducing elements such as stepping down of three-story buildings to two-story elements at prominent corners.

c. Tapered or stepped massing is encouraged. Each street scene should offer variety in second-story stacking arrangements

d. Large open balconies at building corners which provide negative space are encouraged.

e. Variety in plan forms and architectural styles should provide massing relief to the street scene.

f. Simple plan forms and building massing should be used to provide proportion and scale appropriate to the selected architectural style.

g. Variety in second-story stacking arrangements is encouraged.

5. Building Relief

Shade and shadow are often used to create a sense of depth and provide visual relief to the building elevation.

a. Where appropriate to the architectural style, vertical and horizontal building offsets should be used to provide relief to the front elevation.

6. Building Articulation

All elevations visible from public spaces should be treated similar to "front" elevations and may include:

a. Recessed or covered entry doors

b. Window groupings

c. Material changes and color blocking

d. The use of dormers, gables, building offsets, balconies, porches, or other style-appropriate articulation elements

7. Roof Forms

Roof forms, direction of slopes, and variety in ridgelines and height are important considerations for single-family attached and multi-family buildings. These elements provide diversity and interest to the building form and neighborhood as a whole.

Consistent with the architectural styles of the neighborhood, a variety in roof forms should be employed throughout the attached dwelling neighborhoods. Such roof forms include:

a. Gable (front and side)

b. Cross Gable

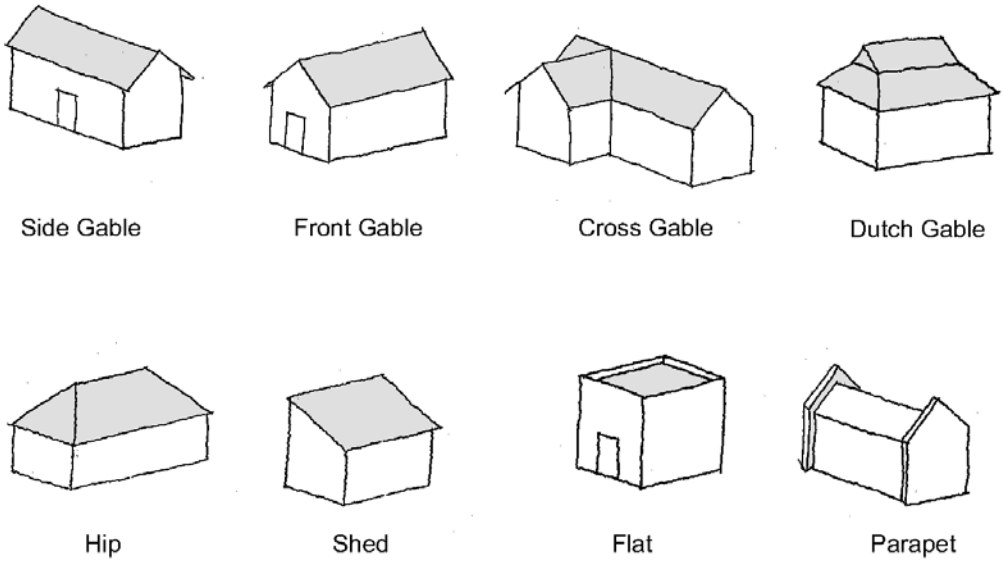
c. Hip

d. Shed

e. Dutch gable

f. Flat

g. Parapet



Where consistent with the architectural style of the building, the arrangement of different roof forms (including the introduction of porch roofs, dormers, bays, cross gables, and hips) is encouraged.

8. Building Color and Material Selection

Building color and materials are two of the most dominant visual elements in the architecture of a building. With this in mind, it is important that building materials used on attached dwellings in THE VILLAGES OF LAKEVIEW complement the surrounding uses and environment. This can be achieved by incorporating a variety of materials consistent with the traditional Riverside heritage including: stone, masonry, siding, and stucco. Manufactured building materials are permitted.

a. Each neighborhood should exhibit a diverse palette of colors and materials. A minimum of two (2) color palettes should be designed for each elevation style.

b. Hue and color variation in adjacent buildings should create diversity while maintaining a comfortable uniformity.

c. Building colors and materials (including primary, accents, and roof materials) should complement the overall architectural character of the building.

d. Each elevation/color scheme shall have a minimum of three (3) colors (four (4) is preferred). For example, one (1) field color, one (1) trim color, and one (1) or two (2) accent colors.

e. No adjacent buildings shall have the same color scheme.

9. Building Color and Material Application

The application of such materials is integral to design. In no case shall building materials be applied arbitrarily.

a. All surface treatments or materials should be designed to appear as an integral part of the design, and not merely applied; all materials should wrap columns or posts in their entirety.

b. Material changes should occur at inside corners or other meaningful location. Furred out edges, enhanced trim elements, and alignment with roof changes are examples of acceptable points for material change. Matching column or base width from front to side is also acceptable.

c. Where appropriate to the style, color blocking is encouraged.

10. Entries

Front entries serve as an interface between public and private spaces, identifying the focal point of the dwelling.

a. Front entry doors and entryways should be protected with overhangs, recesses, porches, or trellises.

b. Wherever possible, front entries or principal access points should be oriented toward the public street or entry courtyard. Otherwise, signage and landscaping should be used to direct visitors.

c. Architectural forms should be used to emphasize the location of individual doorways.

11. Windows

Generally, the location of windows is determined by the practical considerations of room layout, views, and privacy. Because windows play an important role in the exterior architectural character of the building, special emphasis should be given to the way in which windows are used for design effect.

a. All windows should feature trim surrounds, headers, or sills consistent with the architectural style of the residence.

b. The use of mirrored or highly reflective glass is not permitted.

c. The size and proportion of window panes should correspond to the overall proportion of the elevation. Within the appropriate style requirements, windows should be grouped and coordinated with other design elements to create a composition and sense of order.

d. Windows on the second and third floor of a building should be treated with detailing of similar quality as those on the ground floor on all sides where visible from public view (refer to 360-Degree Architecture).

e. Windows shall be metal or vinyl clad, or of equal quality. Aluminum frames are not permitted.

f. Where appropriate to style and window form, the use of windows with inserts is encouraged.

12. Balconies

Balconies provide usable private open space and are also useful in breaking up large wall planes, offsetting floors, creating visual interest and adding human scale to the building.

a. Balconies may be covered or open. They may be either recessed into the mass of the building or function as a projecting element.

b. Balconies should be designed as an integral element of the building with style appropriate details, eaves, supports, and railings.

c. In an effort to provide privacy, balconies on adjacent units are encouraged not be located side by side.

13. Exterior Stairs

Exterior stairs should be designed as an integral part of the architecture.

a. Stair guardrail design should be consistent with the architecture of the building.

b. Exposed metal staircases shall not be permitted. Where used, metal staircase shall be enclosed within the adjacent architecture.

14. Garages

Where detached garages are utilized, they should be designed with a similar level of detail as the primary buildings.

a. Detached garages should utilize the same architectural style, massing elements, wall materials and finish, design details, roof forms, and colors as the residential building.

b. Wall conditions that are visually prominent from the street should receive special architectural attention.

c. Garage mechanisms should be sectional with automatic door openers.

d. Garage door windows are encouraged.

15. Community Recreation and Common Facilities

a. All community recreation and common facilities shall be consistent with the selected architectural character.

b. The design of clubhouses and other common buildings shall incorporate building articulation.

c. Colors, massing, roof pitch, and materials shall be compatible.

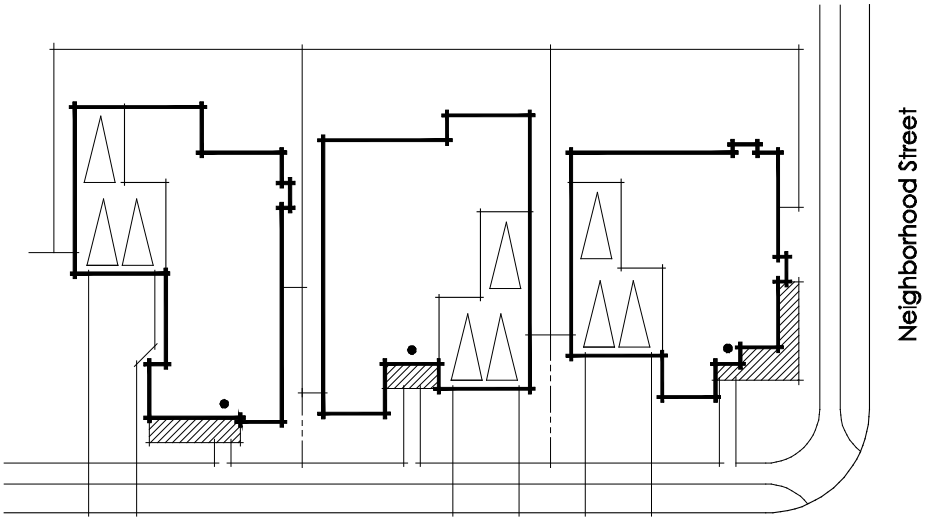
6. Building Typologies

The following section provides conceptual plotting examples for a variety of single-family and multi-family architectural building types, orientations, and lot size ranges. It is the intent of these guidelines not to limit building typologies but to encourage flexibility for innovation and variety, and as long as the intent of these guidelines are met, new building typologies shall be permitted. Refer to the Development Standards for exact setbacks and requirements. The building typologies include, but are not limited to:

a. Single-family detached: Front Loaded Convention Lots
b. Single-family detached: Front Loaded Small Lots
c. Single-family detached: Front Loaded Tandem and Split Garage Lots
d. Single-family detached: Front Loaded Z-Lots
e. Single-family detached: Front Loaded 2/3 Pack Lots
f. Single-family detached: Rear Loaded Lots
g. Single-family detached: Rear Loaded Paseo Clusters – Alternative A
h. Single-family detached: Rear Loaded Paseo Clusters – Alternative B
i. Single-family detached: Front Loaded Court Clusters – Alternative A
j. Single-family detached: Front Loaded Court Clusters – Alternative B
k. Attached: Rear Loaded Duets
l. Attached: Rear Loaded Tri-Plexes
m. Attached: Rear Loaded Cluster Buildings
n. Attached: Rear Loaded Row Townhomes
o. Attached: Rear Loaded Green Courts – Alternative A
p. Attached: Rear Loaded Green Courts – Alternative B
q. Attached: Stacked Flats with Carriage Units

Example Building Type Plotting Concepts—SFD

FRONT LOADED CONVENTIONAL LOTS



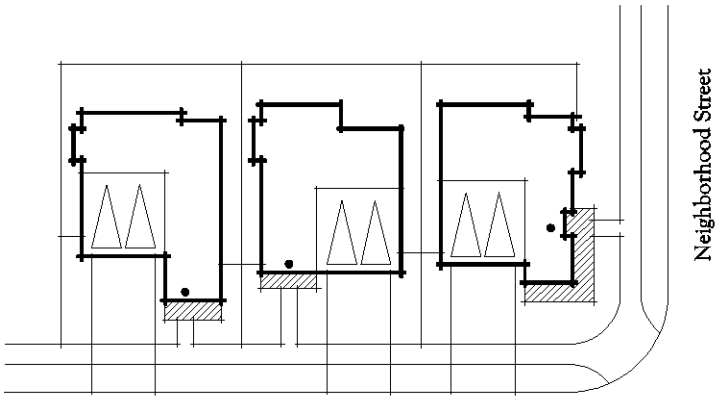
Goals:

- Provide eyes-on-the-street through living-forward floor plan design.
- Promote neighbor interaction with front porches forward of the garage.
- Provide variety through floor plan design and garage orientations.
- Limit garage door dominance on the street scene by utilizing tandem three-car garage options.
- Create articulation in the street scene through front elevation offsets.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD

FRONT LOADED SMALL LOTS



Goals: (Limited Use)

- Provide corner lot elevation enhancement through a side entry or wrap porch on corner lots.
- Provide eyes-on-the-street through living-forward floor plan design.
- Promote neighbor interaction with front porches forward of the garage.
- Create articulation in the street scene through front elevation offsets.

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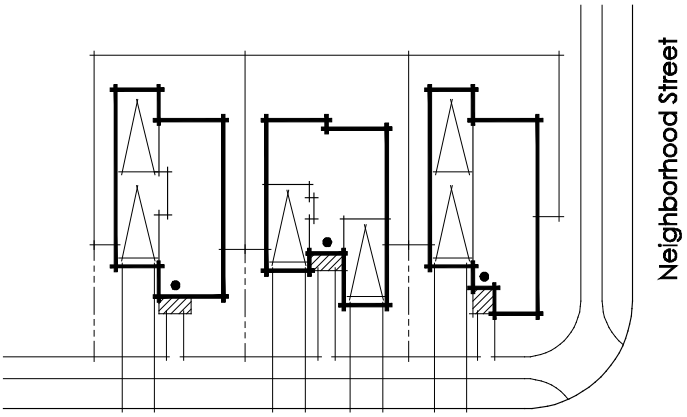
Example Building Type Plotting Concepts—SFD

FRONT LOADED TANDEM AND SPLIT GARAGE LOTS



Goals:

- Limit garage door dominance on the street scene by providing tandem and split-garage orientations.
- Allow a broader demographic of detached home buyers through small floor plan square footage.
- Provide eyes-on-the-street through living-forward floor plan design.
- Avoid repetitious plotting by providing visual relief through floor plan design and garage orientations.
- Create articulation in the street scene through front elevation offsets.
- Provide residents with a traditional backyard configuration.

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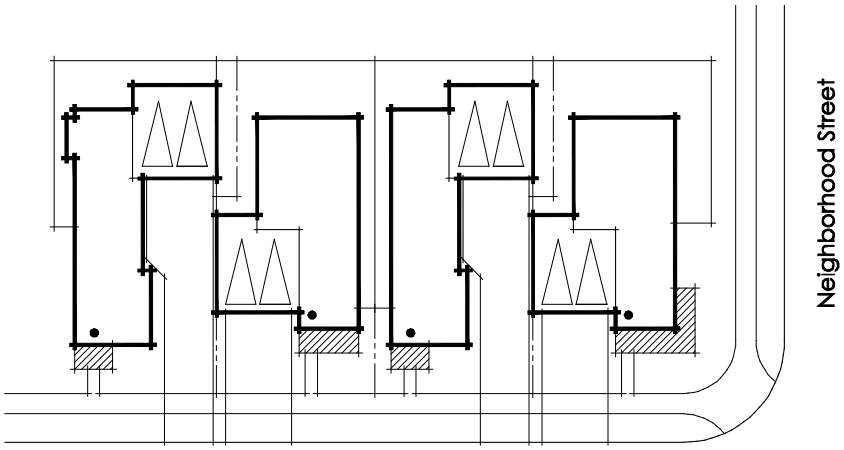
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD
FRONT LOADED Z-LOTS



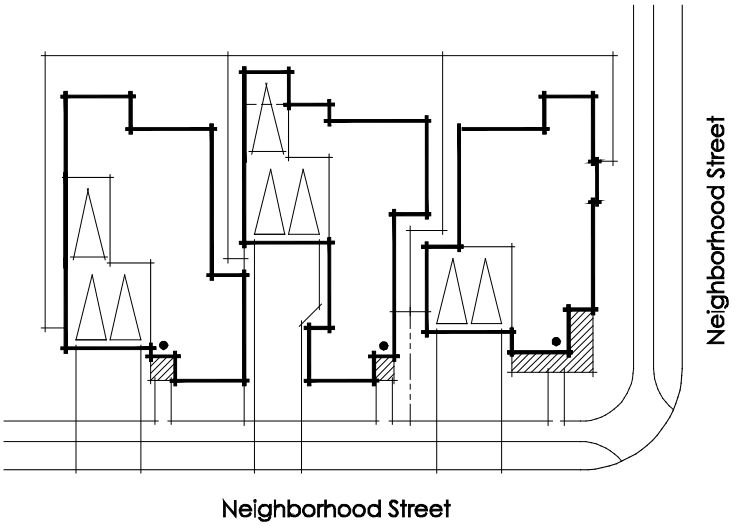
Goals:

- Create an opportunity for push-back garages through the "Z-Lot" configuration.
- Provide eyes-on-the-street through living-forward floor plan design.
- Promote neighbor interaction with front porches forward of the garage.
- Provide variety through floor plan design and garage orientations.
- Create articulation in the street scene through front elevation offsets.
- Provide corner lot elevation enhancement through a side entry or wrap porch on corner lots.
- Utilize reciprocal use easements to maximize side yard usability.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD

FRONT LOADED 2/3 PACK LOTS

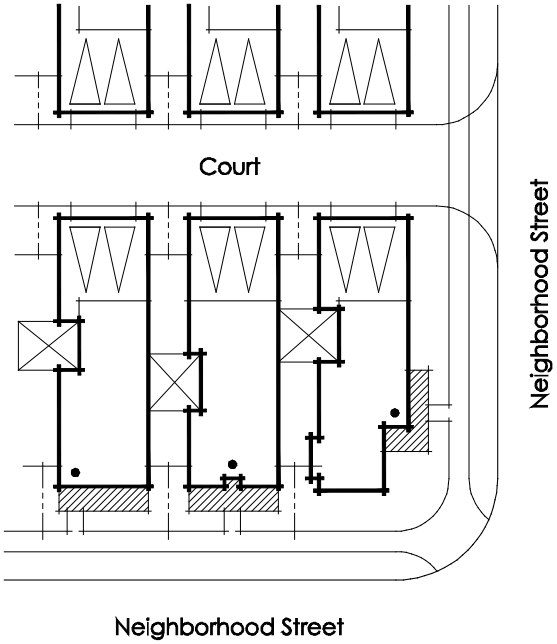


Goals:

- Create an opportunity for push-back garages through the "Z-Lot" configuration.
- Provide corner lot elevation enhancement through a side entry or wrap porch on corner lots.
- Provide eyes-on-the-street through living-forward floor plan design.
- Promote neighbor interaction with front porches forward of garage.
- Provide variety through floor plan design and garage orientations.
- Create articulation in the street scene through front elevation offsets.
- Utilize reciprocal use easements to maximize side yard usability.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD
REAR LOADED LOTS



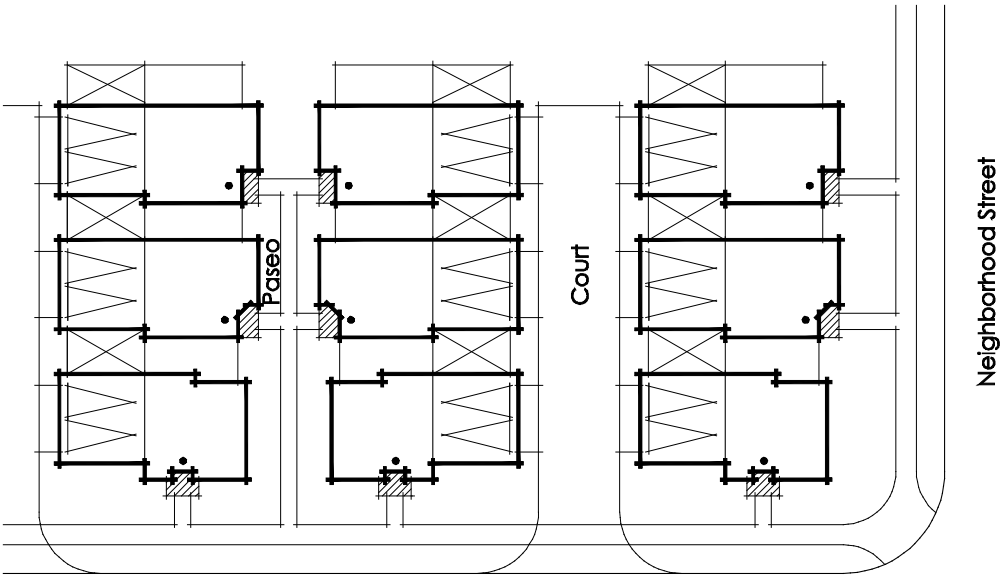
Goals:

- Limit garage door dominance on the street scene by utilizing rear-loaded garages.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street through living-forward floor plan design.
- Use architectural elements such as wide front elevations to articulate the front elevation.
- Provide corner lot elevation enhancement through a side entry or wrap porch on corner lots.
- Create articulation in the street scene through front elevation offsets.
- Utilize reciprocal use easements to maximize side yard usability.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD

REAR LOADED PASEO CLUSTERS - ALT. A



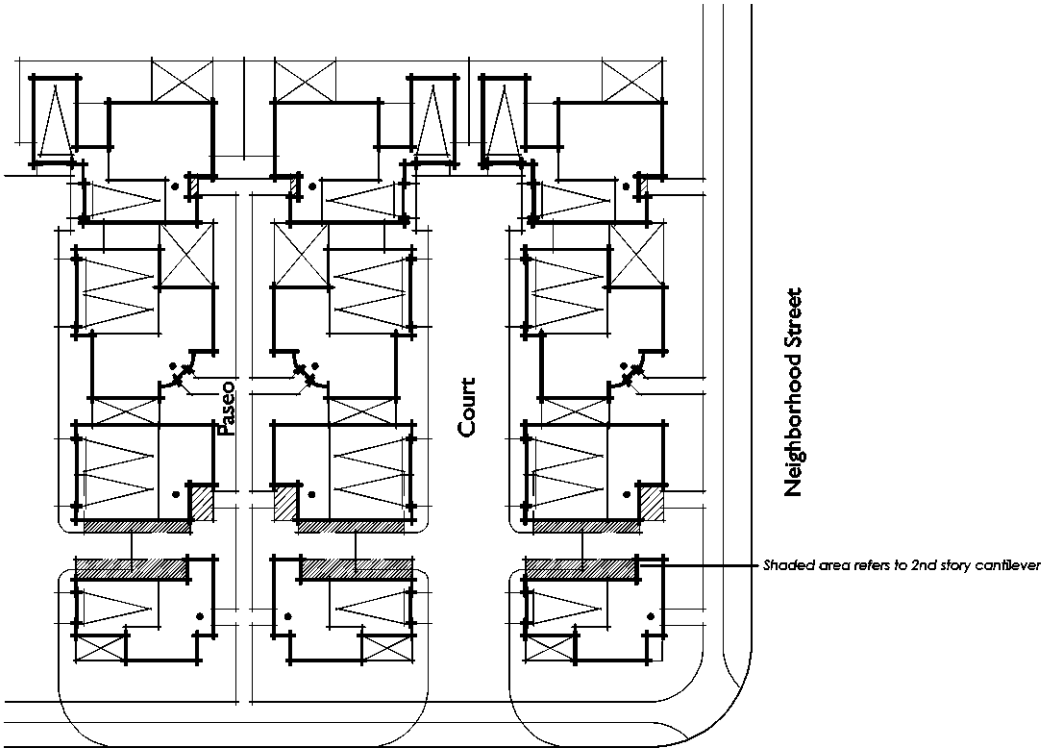
Goals:

- Promote neighbor interaction by orienting front entries around a shared paseo.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.
- Create articulation in the street scene through front elevation offsets.
- Utilize reciprocal use easements to maximize side yard usability.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD

REAR LOADED PASEO CLUSTERS – ALLT.. B



Neighborhood Street

Goals:

- Promote neighbor interaction by orienting front entries around a shared paseo.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Create articulation in the street scene through front elevation offsets.
- Utilize reciprocal use easements to maximize side yard usability.

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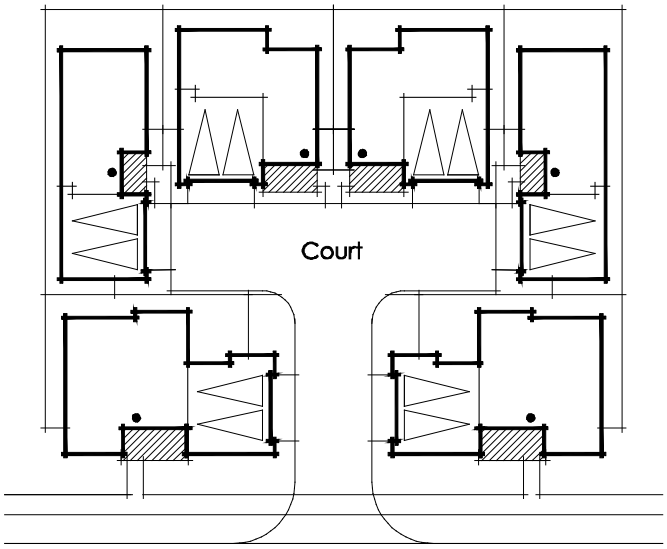
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD

FRONT LOADED COURT CLUSTERS - ALT. A



Neighborhood Street

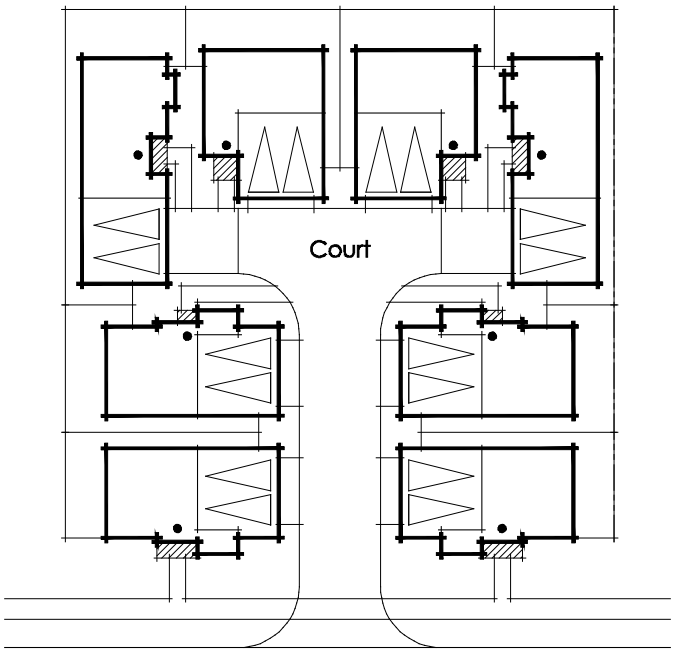
Goals:

- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.
- Create articulation in the street scene through front elevation offsets.
- Provide variety through floor plan design and garage orientations.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—SFD

FRONT LOADED COURT CLUSTERS - ALT. B



Goals:

- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.
- Create articulation in the street scene through front elevation offsets.
- Provide variety through floor plan design and garage orientations.

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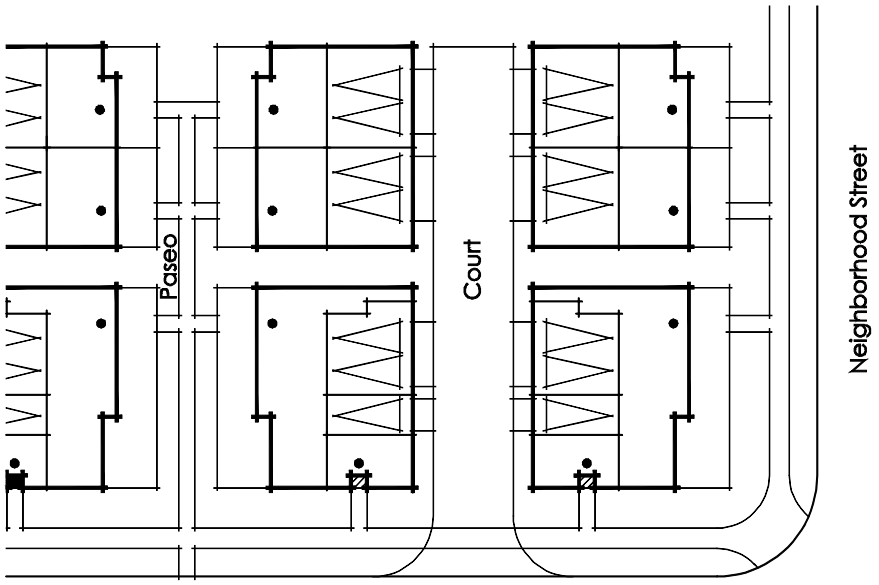
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached Rear Loaded Duets

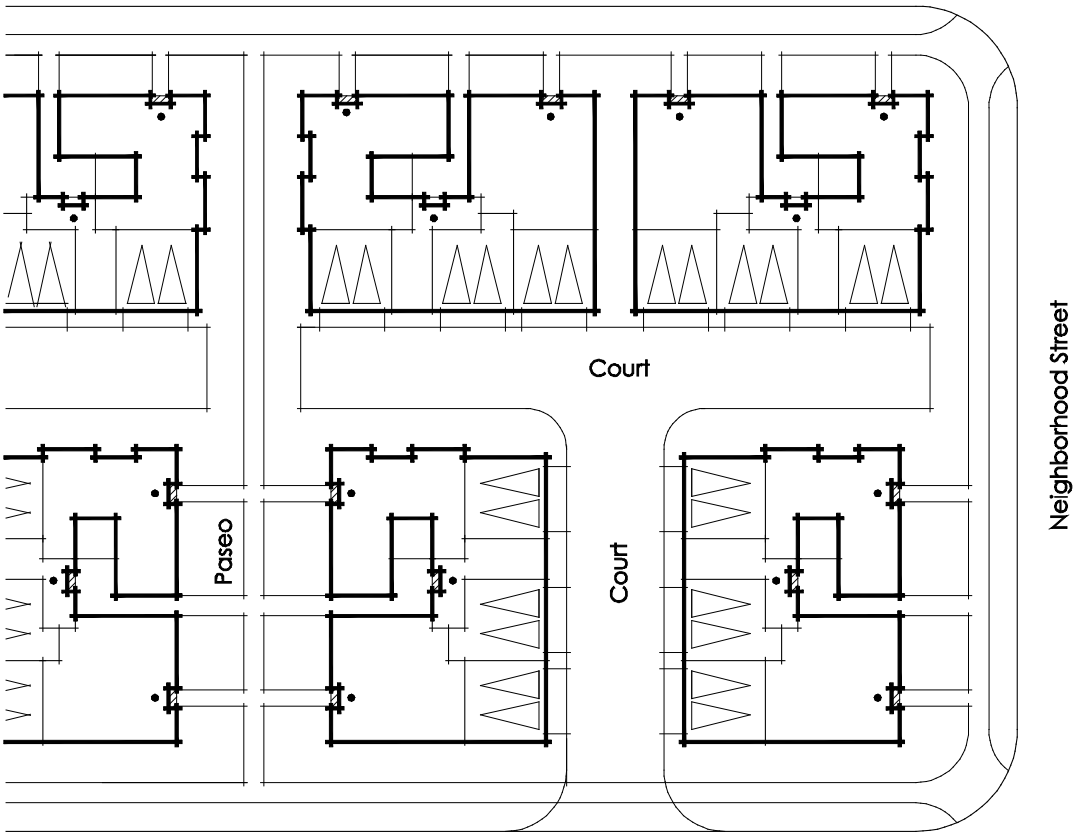


Goals:

- Promote neighbor interaction by orienting front entries around a shared paseo.
- Provide variety through floor plan design and orientation.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.

This diagram is for illustrative purposes only; floor plans and lotting may vary in actual design and additional building types may be permitted.
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached Rear Loaded Tri-plexes



Goals:

- Promote neighbor interaction by orienting front entries around a shared paseo.
- Provide variety through floor plan design and orientation.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.

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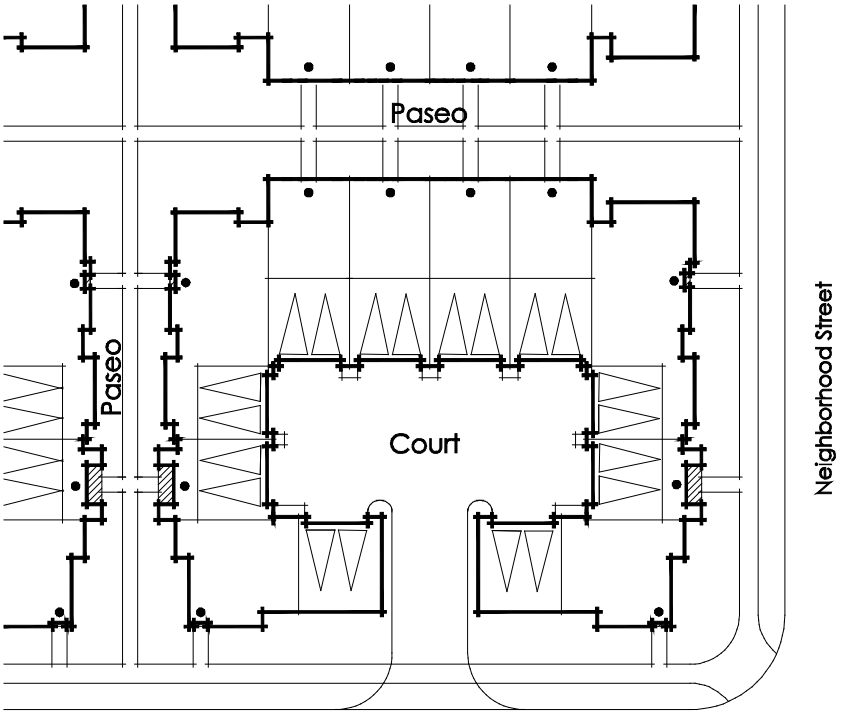
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached Rear Loaded Cluster Buildings



Goals:

- Promote neighbor interaction by orienting front entries around a shared paseo.
- Provide variety through floor plan design and orientation.
- Limit garage door dominance on the street scene by loading garages off a shared court .
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.

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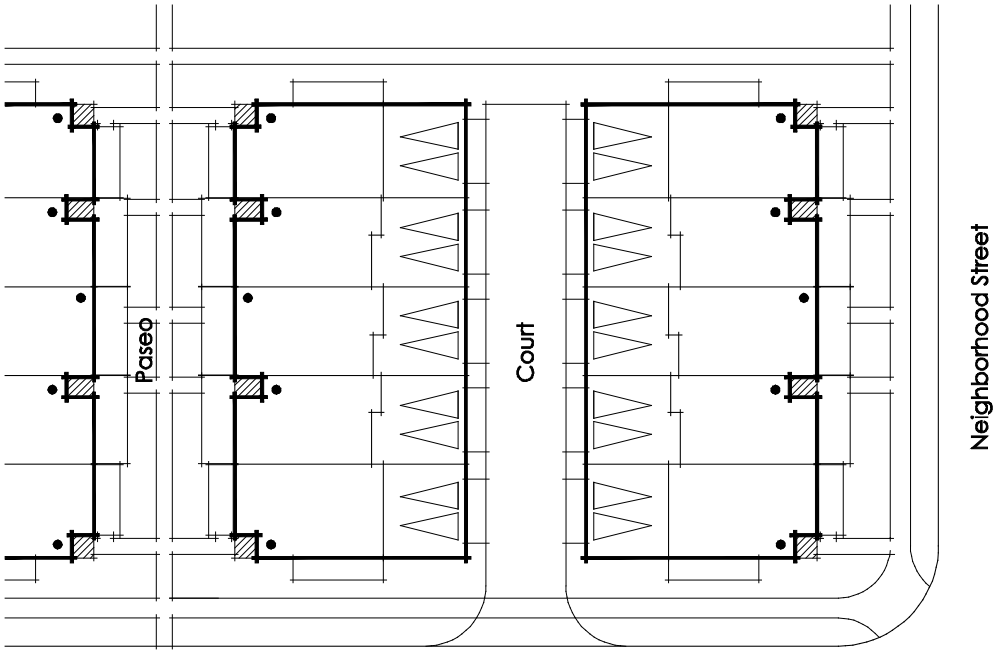
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached Rear Loaded Row Townhomes



Goals:

- Promote neighbor interaction by orienting front entries around a shared paseo.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.
- Use architectural elements such as wide front elevations to articulate the front elevation.

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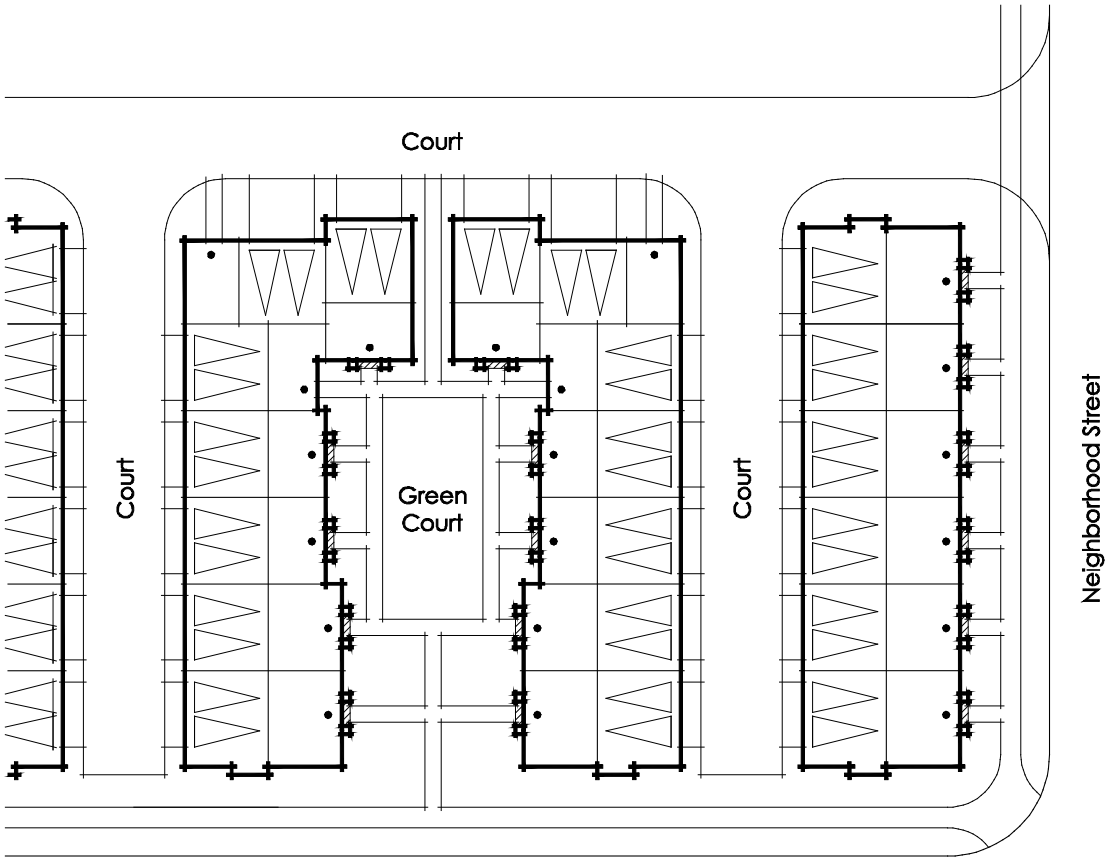
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached Rear Loaded Green Courts - Alt. A



Goals:

- Promote neighbor interaction by orienting front entries around a shared green court .
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.

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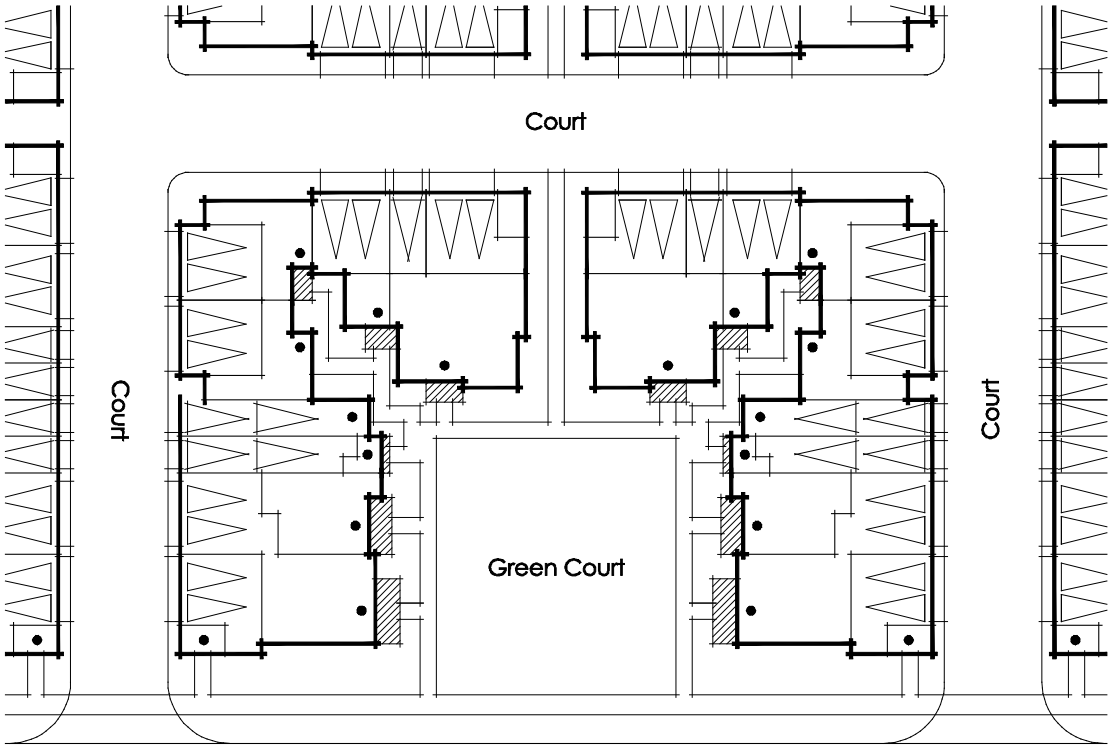
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached

Rear Loaded Green Courts - Alt. B



Goals:

- Promote neighbor interaction by orienting front entries around a shared green court.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide variety through floor plan design and orientation.

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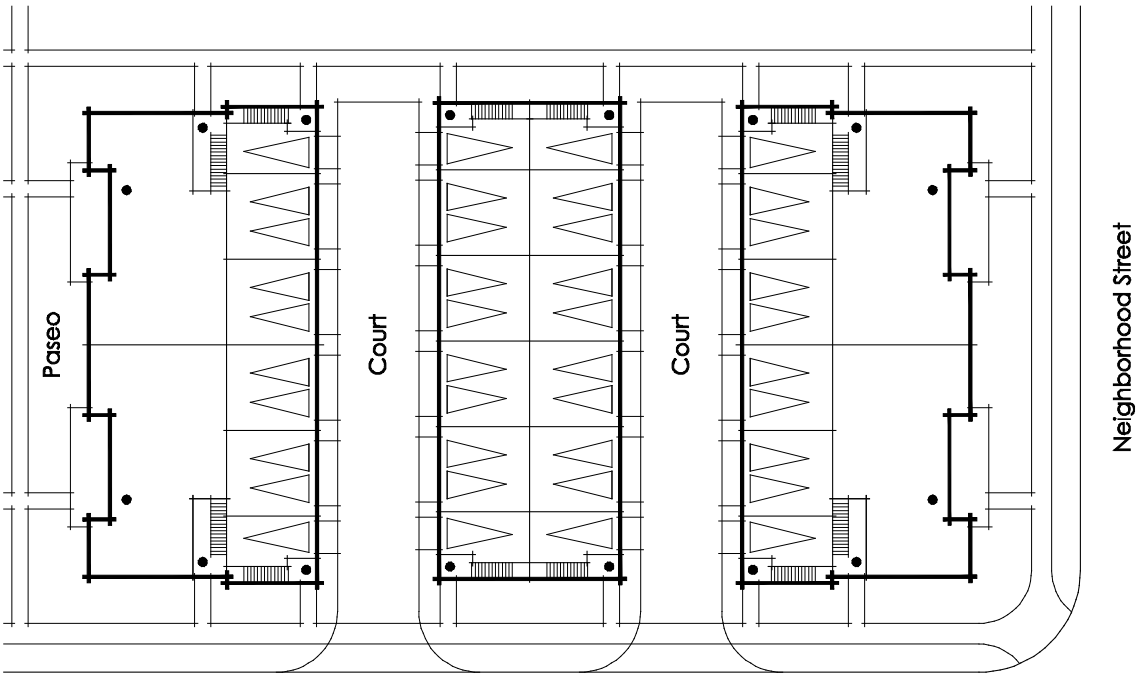
(Drawing is not to scale)

Example Building Type Plotting Concepts—Attached Stacked Flats with Carriage Units



Goals:

- Provide variety through floor plan design and orientation.
- Create opportunities for smaller units through carriage-unit and stacked-flat design.
- Limit garage door dominance on the street scene by loading garages off a shared court.
- Reduce driveway cuts along neighborhood streets to create a safer pedestrian environment.
- Provide eyes-on-the-street for homes fronting neighborhood streets through living-forward floor plan design.
- Use architectural elements such as wide front elevations to articulate the front elevation.

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(Drawing is not to scale)

7. Architectural Styles

The styles selected for THE VILLAGES OF LAKEVIEW provide an eclectic, yet compatible mix of architecture which reflects Riverside County's traditional heritage.

Each residential neighborhood will be comprised of a variety of architectural styles. The styles include, but are not limited to:

a. American Colonial
b. American Farmhouse
c. American Revival
d. California Ranch
e. Cape Cod
f. Craftsman
g. European Cottage
h. Italian Renaissance
i. Monterey
j. Prairie
k. Spanish Colonial
l. Tuscan

As future phases of this community are developed, architectural styles may be added or deleted provided that they reflect Riverside County's traditional heritage. Additional styles shall be approved by the Planning Director. During the Village Refinement Process, individual architectural styles will be further defined for each village.

Individual style sheets are provided on the following pages. Each sheet includes a brief history of the style and goals which embrace the essence of the style, character sketches of key style elements, and a table which includes the style-specific building elements. While standard elements listed in the table are required, the encouraged enhancement column represents optional elements.

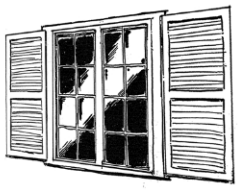
AMERICAN COLONIAL

This classic American style descended directly from the first homes built in the New England colonies in the seventeenth century. Their beginnings were as small and unpretentious as the single story saltbox, favoring the culture and traditions of the settlements. As living functions became more defined and prosperity increased, so did the need for additional space, and second story elements were added, later evolving into classic components of this traditional American style.

Goal:

To craft a simple and functional stacked building form with front facing gabled roof forms, as well as finishing details such as shutters, enhanced entries, and trim.

Pedimented Entry



Louvered Shutters

Square Posts

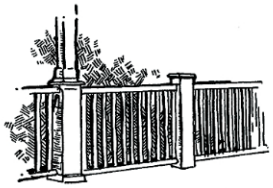
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	◦ Simple front to back gable roof ◦ 4:12 to 6:12 primary roof pitch ◦ Minimum 6" rake overhang ◦ Minimum 12" eave overhang ◦ Flat concrete tiles	◦ Steeper cross gable secondary roof pitch ◦ Shed or pitched roof dormers ◦ 16" to 18" eave overhang ◦ Simplified cornice with or without dentils ◦ Dormers
WALLS	◦ Stucco ◦ Horizontal siding accents (particularly in gable) on elevations with prominent public visibility	◦ Horizontal siding accents on elevations with moderate public visibility ◦ Brick as accent material ◦ Metal roofing bay windows
WINDOWS	◦ Windows with grids on elevations with prominent and moderate public visibility ◦ Stacked windows at front façade ◦ Head, jamb, and sill trim.	◦ Pedimented windows
DETAILS	◦ Shutters on primary single windows ◦ Window and door trim appropriate to style	◦ Simplified cornice return at gable ends ◦ Pedimented entry ◦ Porch with square columns and simple railing ◦ Louvered gable vents ◦ Bay windows

AMERICAN FARMHOUSE

The American Farmhouse represents a practical and picturesque country house. Its beginnings are traced to Colonial styles from New England and later the Mid-west. As railroads expanded across America's heartland, building materials became more readily available. In addition, technological advancements such as balloon framing made two-story house construction quicker and less expensive.

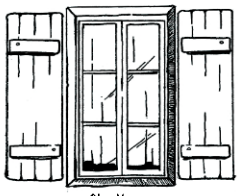
Goal:

To develop an architectural style that blends the New England and Midwestern Farmhouse derivatives, combining a dominant front facing gable feature with two-story massing, and incorporating a front porch designed with simple brackets, posts, and railing.

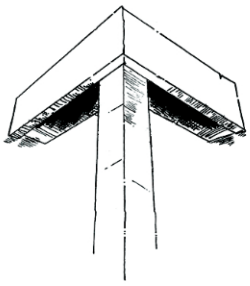


Simple Railings

Dormer Windows



Shutters



Square Posts with Brackets

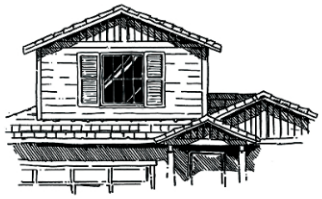
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	◦ Steep front-facing gable at front elevation with moderate front to back gable or hip main roof ◦ 5:12 to 7:12 primary roof pitch ◦ Minimum 12" eave overhang ◦ Minimum 6" rake overhang ◦ Flat concrete tiles	◦ Steeper cross gable roof pitch ◦ 12" to 18" eave overhangs with rafter tails ◦ Dormers
WALLS	◦ Stucco ◦ Vertical or horizontal siding accents on elevations with prominent public visibility	◦ Vertical or horizontal siding ◦ Shingle accent materials in gables
WINDOWS	◦ Horizontal mullion or grid on elevations with prominent and moderate public visibility ◦ Head, jamb and sill trim	◦ Built up header trim at front windows ◦ Single hung windows at front elevation ◦ Enhanced sills
DETAILS	◦ Porch with simple square wood-like posts and brackets	◦ Railings ◦ Shaped columns ◦ Layered header trims at front elevation ◦ Louvered vents ◦ Bay windows ◦ Shutters

AMERICAN REVIVAL

American Revival architecture recalls residential design from America's heartland during the early twentieth century. Materials used in this vernacular are indicative of the resources available during the time of construction, including siding, brick, and stone. The building form is generally simple—a combination of one and two-story elements. Nearly all American Revival homes feature a porch with simple columns. In addition, many of these homes feature dormer windows, shutters, and wide eaves.

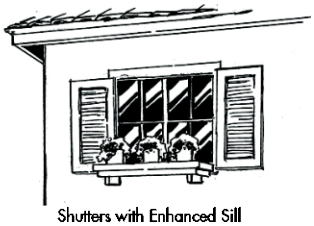
Goal:

To allow design diversity within the American vernacular through a mix of form and materials, while incorporating a front or wrap porch.

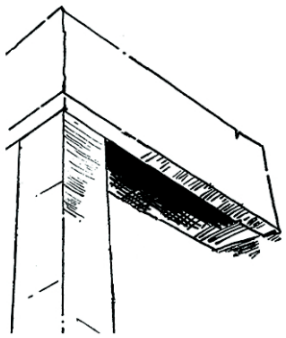


Gable-end Detailing

Dormer



Shutters with Enhanced Sill



Simple Posts

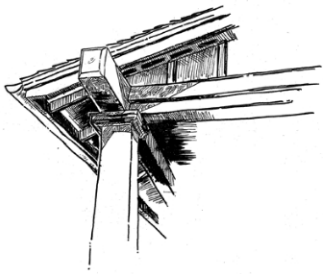
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	◦ Front to back gable or hip roof with intersecting gable or hip ◦ 5:12 to 6:12 primary roof pitch ◦ Minimum 12" eave overhang ◦ Minimum 6" rake overhang ◦ Flat concrete tiles	◦ Steeper cross gable secondary roof pitch ◦ Intersecting hip or gable roofs at first floor ◦ Dormers
WALLS	◦ Stucco ◦ Horizontal siding accents on elevations with prominent public visibility	◦ Horizontal siding on elevations with moderate public visibility ◦ Brick accents (wainscot)
WINDOWS	◦ Windows grids on elevations with prominent and moderate public visibility ◦ Head, jamb, and sill trim	◦ Round top accent window ◦ Window headers with accent trim ◦ Enhanced sills
DETAILS	◦ Shutters ◦ Porch with simple posts ◦ Louvered gable vents	◦ Simplified cornice trim at gable ends ◦ Gable end detailing ◦ Wood or wood-like balconies ◦ Bay windows

CALIFORNIA RANCH

Representing one of California's true vernacular styles, the California Ranch style evolved from the large ranches developed by early Californians in the late nineteenth century when cattle raising was the principal occupation. In the mid-1930s, Cliff May began adapting the ranch house design and layout to the contemporary family lifestyle. His designs maintained much of the character of the early "ranchos" but incorporated contemporary materials, thus initiating the acceptance of the style in today's communities.

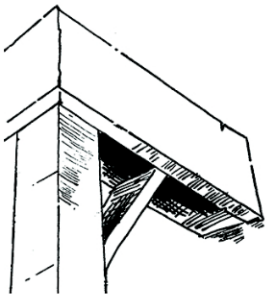
Goal:

To design a home with a low-lying profile and horizontal building form, and provide a strong relationship of indoor and outdoor living spaces through front porch design.



Deep Eaves

Porch



Square Post with Simple Brackets

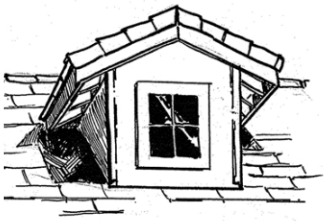
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	• Hip and gable roof forms • 4:12 to 5:12 primary roof pitch • Minimum 12" rake overhang • Minimum 16" eave overhang • Flat concrete tiles	• Broken pitch over porch • 24" to 36" eave overhangs • Exposed rafter tails in select areas • Dormers • Metal roof at bay windows
WALLS	• Stucco • Vertical or horizontal siding accents on elevations with prominent public visibility	• Siding, stone or brick elements • Shingle siding used as an accent treatment
WINDOWS	• One horizontal mullion or grid on elevations with prominent and moderate public visibility • Head, jamb, and sill trim	• Focal or picture window at front elevation • Enhanced sills
DETAILS	• Porch with simple square posts and brackets or corbels	• Shutters on primary windows • Bay windows

CAPE COD

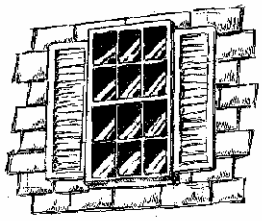
Evolving from the traditional New England home, the Cape Cod style is a blend of architecture dating back to the early seventeenth century. This particular type of folk house blends the simple, yet traditional, New England character with a sense of asymmetry and a roof form variety. While many contemporary Cape Cod homes are wrapped with sidling, many early examples also had a stone veneer base. The use of colonial type columns at wrapping porches, along with traditionally trimmed windows and doors, added to the distinct personality of these oversized "cottages" by the sea.

Goal:

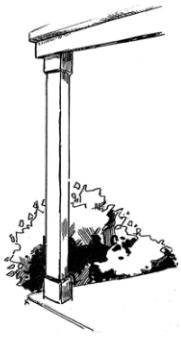
To evoke the original "cottage" feel of the Cape Cod architectural style through the use of simple massing and wrapping porches while retaining design elements, such as shingles and dormers, which echo its New England heritage.



Dormer Windows



Louvered Shutters



Simple Square Column

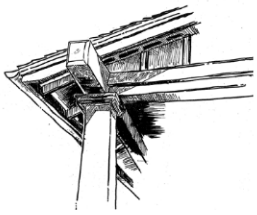
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	• Front to back gable or hip roofs • 4:12 to 5:12 primary roof pitch • Minimum 6" rake overhang • Minimum 12" eave overhang • Flat concrete tiles	• Steeper cross gable secondary roof pitch • Simple cornice • Dormers
WALLS	• Stucco • Shingle accents on elevations with prominent public visibility	• Shingle on elevations with moderate public visibility • Stone or brick veneer accents (wainscot)
WINDOWS	• Windows grids on elevations with prominent and moderate public visibility • Windows used individually or grouped • Head, jamb, and sill trim.	• Enhanced sills
DETAILS	• Simple square columns with unadorned capitals • Louvered shutters	• Wrap porch • Bay windows

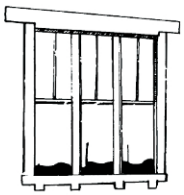
CRAFTSMAN

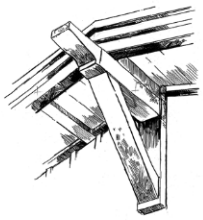
The Craftsman style was strongly influenced by the English Arts and Crafts movement. It is truly an American style which originated in Southern California, and spread across the country during the 1920's and '30's through pattern books and catalogues. Like the Bungalow, Craftsman architecture sought the elimination of superfluous ornamentation, creating beauty through the simplified lines and masses of the building itself.

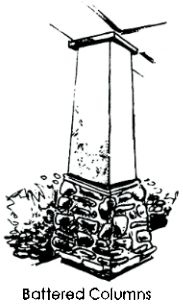
Goal:

To emphasize a strong integration of the structure to the landscape through horizontal massing and the use of rustic materials and exposed roof and window details.


Overhangs


Ribbon Windows


Outlookers


Battered Columns

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	• Front to back gable roof with prominent cross or side-to-side gable. • 4:12 to 5:12 roof pitch • Minimum 12" rake overhang • Minimum 18" eaves overhang • Flat concrete tiles	• Varied shed or gabled porch roofs • 18" to 36" eave overhang • Exposed rafter tails
WALLS	• Stucco • Vertical or horizontal siding accents on elevations with prominent public visibility	• Stone base accents on walls and/or porch • Plain texture shingle siding accent • Vertical or horizontal siding
WINDOWS	• Windows grids on elevations with prominent and moderate public visibility • Shaped header trim • Jamb and sill trim.	• Ribbon windows, generally in groupings of three • Shaped sill trim
DETAILS	• Outlookers at front gable • Entry porches with heavy square columns or posts on stone base	• Tapered or battered columns • Simple knee braces

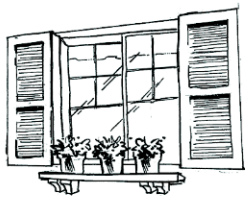
EUROPEAN COTTAGE

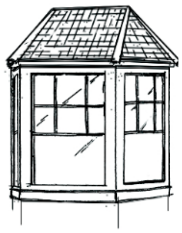
European Cottage architecture is derived from a mixture of French and English architecture. After the adoption of stone and brick veneer techniques of the 1920s, the look became extremely popular across the country. Although the cottage is looked upon as a small plan form, it is considered one of the most recognized styles in suburban America.

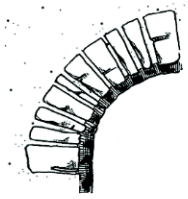
Goal:

To create a representation of the European Cottage style through a strong focus on simple plan and roof form, and integrating functional elements reminiscent of the European countryside such as coach lights, bay windows, and enhanced sills.

Coach Light


Shutters with Enhanced Sill


Bay Window with Roof


Stone Accent

Broken Roof Pitch

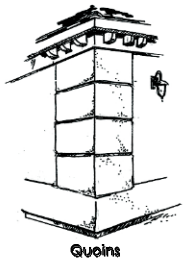
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	• Main hip or gable roof with intersecting gable • 5:12 to 8:12 primary roof pitch • Minimum tight rake overhang • Minimum 8" eave overhang • Flat concrete tiles	• Steeper cross gable secondary roof pitch • Broken roof pitch on front elevation • Metal roofing at bay window
WALLS	• Stucco	• Gable siding • Stone accents
WINDOWS	• Windows grids on elevations with prominent and moderate public visibility • Header trim	• Curved or round top accent windows • Single hung windows at front elevation • Enhanced sills • Recessed windows
DETAILS	• Decorative gable end detailing or vents • Shutters on primary single windows	• Wrought iron or wood-like balconies • Entry accents with real or simulated stone • Bay windows

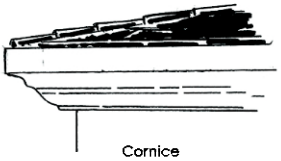
ITALIAN RENAISSANCE

This style is derived from the formal palaces (palazzos) designed during the Italian Renaissance. This style was used for public buildings as well as several notable mansions and other residences. In the United States, the Italian Renaissance style has appeared on architect-designed landmarks in larger cities and is much more faithful to its Italian predecessors than the free interpretations of the other Italian styles.

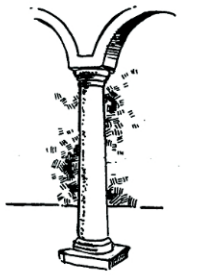
Goal:

To maintain the symmetry and simplicity of the Italian Renaissance style through the restrained use of decorative ornamentation such as cornice details, sculpted sills, and capitals.


Quoins


Cornice

Window with Sculpted Sill


Arches with Round Columns

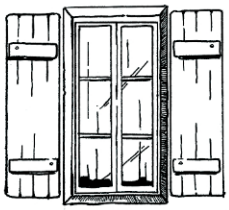
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	• Primary hip roof with interesting hip • 3.5:12 to 4:12 primary roof pitch • Minimum 8" rake overhang • Minimum 12" eave overhang • "S"-shape concrete tiles (low profile)	• 16" to 18" eave overhang • Overhangs with stucco eaves in select areas • Stucco cornice • Dentils along cornice
WALLS	• Stucco	
WINDOWS	• Vertical windows grids on top panes on elevations with prominent and moderate public visibility • Enhanced sill treatment on elevations with prominent public visibility • Head, jamb, and sill trim except at recessed windows	• Arched or curved top windows • Sculpted sill • Tall windows with window crowns • Recessed windows • Feature window with pre-cast or simulated pre-cast trim
DETAILS	• Attached or detached square or round columns at entry	• Horizontal banding • Front courtyard • Wrought iron or concrete baluster balcony • Square posts with capitals • Arches or arcades with round columns • Concrete or concrete-like stacked quoins on corners at the front elevation • Wrought iron accents

MONTEREY

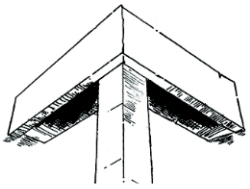
The Monterey style emerged in the mid-nineteenth century when a Boston merchant, Thomas Larkin, came to Monterey, California. The original style combined the two-story New England colonial house with an Adobe brick exterior. Later, the Monterey style was merged with elements from the Spanish Eclectic and Colonial Revival styles. Regardless of this evolution, the defining feature of the Monterey style remained the same: a prominent second-floor balcony.

Goal:

To successfully blend elements of Spanish Colonial materials and the New England massing by creating a unique architectural style that is easily identified by its rectilinear form, symmetrical massing, and second-story balcony.

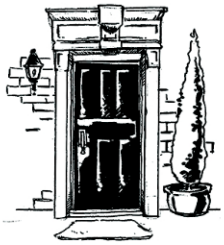


Board and Batten Shutters



Square Posts

Wide Balcony and Covered Porch



Pedimented Entry

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	• Main front-to-back gable roof • 3.5:12 to 5:12 primary roof pitch • Minimum 6" rake overhang • Minimum 12" eave overhang • "S"-shape concrete (low profile) or flat concrete tiles	• Main gable roof front to back with intersecting gable • Shed roof break over balcony with 3:12 to 4:12 roof pitch • Exposed rafter tails
WALLS	• Stucco	• Brick or slump block accents at lower level • Vertical or horizontal siding accents on second story (particularly at balcony)
WINDOWS	• Windows grids on elevations with prominent and moderate public visibility • Head, jamb, and sill trim except at recessed windows	• Enhanced window and door trim • Recessed accent windows
DETAILS	• Front balcony (could be cantilevered or with posts extending to the ground plane) • Wood or wood-like balcony with square posts and simple wood or wrought iron	• Brackets or corbels • Pedimented entry or simple entry located under second story balcony • Shutters

PRAIRIE

Frank Lloyd Wright's Prairie style grew in popularity during the first decade of the twentieth century. The Prairie style spread throughout the country, along with Wright's belief that a building should fulfill its primary function while also exuding character, life, spirit, and beauty. Horizontal massing and clean lines are two important elements of Prairie design.

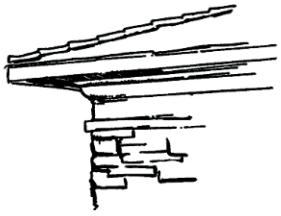
Goal:

To preserve the architectural integrity of the Prairie style through the use of strong horizontal massing and clean lines while incorporating functional elements such as large windows for natural light and deep overhangs to limit direct sun exposure.

Square Columns with Brick Base

Ribbon Windows with Grids on Top Panes

Horizontal Second Story Massing


Overhang without Brackets

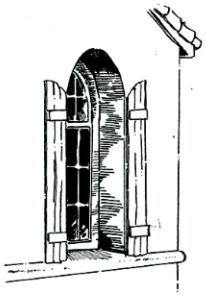
ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	◦ Primary hip roof with intersecting hip ◦ 3.5:12 to 5:12 roof pitch ◦ Minimum 12" rake overhang ◦ Minimum 18" eave overhang ◦ Flat concrete tiles	◦ 24" to 30" eave overhangs in select areas
WALLS	◦ Stucco	◦ Brick or rustic ledger stone accents (wainscot) to emphasize horizontal lines
WINDOWS	◦ Windows grids on top panes on elevations with prominent or moderate public visibility ◦ Head and sill trim at recessed windows ◦ Head, jamb, and sill trim except at recessed windows	◦ Ribbon windows, generally in groupings of three ◦ Stick style grips
DETAILS	◦ Horizontal banding or wainscot	◦ Front porch ◦ Massive square porch columns with brick or stone base ◦ Solid low wall at porch

SPANISH COLONIAL

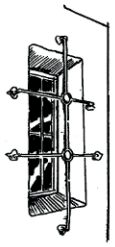
Because of the rich Spanish heritage of the early California settlers, along with the mild Mediterranean climate of the area, the Spanish Colonial style of architecture was very popular in Southern California during the early twentieth century. It is a style which uses decorative details borrowed from historic Spanish architecture. This architectural style lends itself well to the temperate California climate.

Goal:

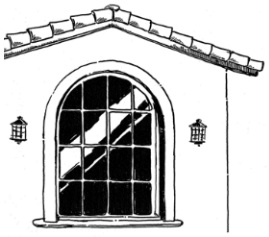
To uphold the charm of the Spanish Colonial style through informal plan forms and simply detailed elevations, including an identifiable feature window on the front elevation, as well as the use of arches, and other historic Spanish vernacular elements.



Shallow Recessed Window



Decorative Wrought Iron



Feature Window

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	◦ Simple hip or gable roof intersecting gable ◦ 3.5:12 to 5:12 primary roof pitch ◦ Minimum tight rake overhang ◦ Minimum 8″ eave overhang ◦ "S"-shape concrete tiles (low profile)	◦ Shed roof over porch ◦ Shaped rafter tails at feature areas ◦ Barrel or Mission style concrete or clay tiles ◦ 12″ to 16″ eave overhang
WALLS	◦ Stucco	
WINDOWS	◦ One horizontal mullion or grid elevations with prominent and moderate public visibility ◦ Head and sill trim at recessed windows ◦ Head, jamb, and sill trim except at recessed windows	◦ Feature window on front elevation ◦ Recessed window ◦ Single or grouped round top windows
DETAILS	◦ Shutters on primary single windows ◦ Pipe vents or other gable treatment ◦ Round top arch elements ◦ Wrought iron accent detail	◦ Wrought iron balconies ◦ Decorative tile ◦ Front courtyards or enclosed patios ◦ Sculptured wing walls

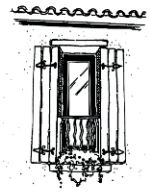
TUSCAN

The Tuscan style home originates from the Tuscany region of Italy and has become a highly sought-after style of architecture. The style represents the unique heritage of the region and is true to its original design created during the Middle Ages. Tuscan style homes incorporate accent materials such as stone, fieldstone, brick, or other rustic materials. Shed and hip roofs or occasional gable or cross gables help identify the Tuscan style as well.

Goal:

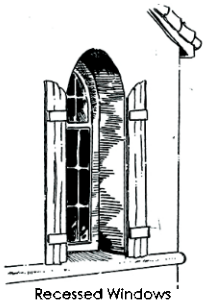
To create a faithful representation of the Tuscan style through the informal arrangement of building forms, choice in color and materials, and use of key architectural elements such as arches, balconies, and recessed windows.

Round Arches



Decorative Balcony

Balconies



Recessed Windows

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
ROOF	◦ Hip roof with occasional gable or cross gable ◦ 3.5:12 to 4:12 primary roof pitch ◦ Minimum 6" rake overhang ◦ Minimum 12" eave overhang ◦ "S"-shape concrete tiles (low profile) or flat concrete	◦ Exposed rafter tails in select areas ◦ Shed roofs ◦ 16" to 18" eave overhang
WALLS	◦ Stucco ◦ Ledger stone accents	◦ Stone used as accent massing element
WINDOWS	◦ Windows with grids on elevations with prominent and moderate public visibility ◦ Head trim	◦ Arched windows and window treatments ◦ Recessed windows
DETAILS	◦ Fully rounded or segmented arch elements ◦ Shutters on primary single windows	◦ Overhead trellis elements projecting a minimum of 12" ◦ Balconies with wrought iron or wood-like railing ◦ Bermuda shutters ◦ Decorative "Lady" wrought iron grille work

8. Non-Residential Guidelines

a. Commercial/Mixed-Use/Office

A variety of non-residential uses will be developed within THE VILLAGES OF LAKEVIEW community. The intent is to create an attractive, well-ordered pattern of development that features lively, interesting pedestrian areas with thoughtfully designed buildings that are integrated with community facilities and open space. Architectural building types, walls, monuments, and materials will be defined and addressed in the Village Refinement Plan, as described in **Section B.11, Specific Plan Administration**.

The objective is to provide a design framework in which developers and designers can express their creativity on individual projects without compromising the overall community character. The key to a successful project is the development of an appropriate architectural image and design palette that conveys community character.

1. Town Center Village Criteria

The primary design components of the non-residential and mixed-use land uses include the building types, pedestrian interface, streetscape elements, and design of the building facade. Sub-components of these categories include the following:

a. Building Types

Mixed-use buildings are strongly encouraged within the Town Center Village. The mixture of office and residential uses with retail contributes to a community space that is active not only on weekdays, but also during evenings and weekends. Mixed-use buildings can be constructed with retail below residential uses or adjacent to one another. These buildings may include:

- Upper-story office spaces above retail
- Upper-story residential units and office space above commercial/retail on ground floors

Office and business park buildings should be arranged in a pleasant manner.

b. Facade Treatments and Materials

The facade is one of the primary exterior elements that define the character of a building. Primary facade elements include windows, doors, base course, wall surfaces, and pitched roofs, or articulated cornices.

The architectural treatment of the front facade and its major features shall be continued around all visibly exposed sides of the building remaining consistent with regard to style, use of material, colors, and details.

Building or shops will appear individual or unique with door and window treatments that differ for individual shops. A variety and spontaneity in the street scene avoids monotony and repetition as this helps to make walking or strolling interesting rather than tedious.

Long monotonous uninterrupted walls or roof planes shall be avoided by incorporating wall offsets, recesses and changing the exterior expression of the second floor plate line.

c. Door/Entries

Entrances to buildings, visible from the street, may be articulated and defined by architectural elements such as pilasters, columns, lintels, pediments, porches, porticoes, balustrades, railings, overhangs, or others where appropriate.

These elements, when utilized, shall be architecturally compatible with the style of the building and its materials, color and details.

d. Roof Forms

Roofs are a dominant architectural element as viewed across the street and from the surrounding area.

Vary materials, apparent floor heights, roof, and parapet designs.

The Project shall provide roof line offsets in order to add architectural interest and variety to the massing of each building and to relieve the effect of a single, long roof.

Parapet roofs may be a solution for commercial/office buildings to provide opportunities for architectural enhancement and transitional heights between buildings.

Other roof types should be appropriate to the character of the architecture. Introduce both gable and hipped conditions to add variety and interest to the roofscape.

Architectural elements such as dormers, belvederes, chimneys, cupolas, clock towers, and other elements which add visual interest to roofs are encouraged.

e. Signage

Building signs should be varied in format, graphic style, shape, and method of lighting according to the function and architectural style of each building.

Signs perpendicular to and extended from the face of the building are allowed. Signage friendly to pedestrians is to be considered throughout the Project including under canopy signs perpendicular to store fronts.

f. Trim

Trim can include, where appropriate to the style, eaves, corner and eave boards, pediments, friezes, lintels, sills, quoins, belt courses, balustrades, soffits, etc.

g. Mechanical Equipment

All mechanical equipment, including air conditioners, satellite dishes, solar panels, etc. shall be located in visually unobtrusive or roof top locations, screened from view, and baffled for noise attenuation where necessary.

h. Building Height

Taller buildings can be effectively used to give a sense of enclosure and human scale to the plaza.

Buildings may be up to 50 feet to top of the parapet to be developed in the Town Center area with architectural elements above 50 feet.

Taller buildings and/or vertical elements should also be introduced at the Ramona Expressway edge to emphasize this central focus of the Village Center as a central focus of the community.

i. Plazas

Public plazas and parks should be designed as social gathering places for the community. Plazas will be located between commercial and residential mixed use areas to serve as a pedestrian connection, thereby making the Town Center Village a model for walkable neighborhoods.

The Project shall create public spaces at the primary street intersections to provide open space, while establishing and reinforcing pedestrian-scale streets.

j. Vehicular Circulation

Development should be compact, and unified by a simple, clear street network which disperses traffic and encourages pedestrian movement in all directions.

The Project shall emphasize pedestrian use in street and parking area designs with numerous crossing points at parking and street intersections.

k. Parking

Public parking lots should be located away from pedestrian-oriented areas, and may provide appropriate pedestrian passageways (“paseos”) between commercial buildings from parking areas to the plaza.

Paseos should have adequate lighting for pedestrian safety and contain visual cues for vehicles at crossings.

(See also C.2 Town Center Village, page C.2-5, for parking requirements in that village.)

i. Pedestrian Circulation

The Town Center should have a lively, attractive, and stimulating pedestrian environment, and shall be developed with wide sidewalks or open plaza spaces to accommodate pedestrian circulation, window shopping, outdoor merchandising, and cafes.

Development of sidewalk cafes and indoor/outdoor restaurants is encouraged.

Outdoor dining areas may encroach up to eight feet (8') into the public plaza or walkway area. Any additional depth required for outdoor dining must be provided outside the public walk area.

Provide varied street furniture and accessories which may include barber poles, street clocks, drinking fountains, etc.

Paseos will be developed throughout the Town Center Village to provide connections to the recreation, commercial and mixed-use areas.

2. Office Park Design Criteria

In general, office park development requires well-designed buildings with a focus on image and corporate identify. Strong entry treatments, visitor access, attractive landscape, clear graphics and signage are important elements to further enhance the aesthetic quality. Plazas and courtyards should be incorporated on-site to provide visual interest, as well as outdoor eating and gathering spaces for employees and visitors. Monolithic masses of singular form, height, wall plane or material should be avoided. Entries for pedestrian/user identification should be articulated.

At least five (5) of the following techniques should be used to enhance building architecture and reduce overall mass:

a. Color variation
b. At least two different materials
c. Change in texture
d. Vertical/horizontal wall plane projections/recesses (min 2-foot offset)

e. Variation of roofline (height or form)

f. Revealed pilasters

g. Architectural elements significantly different from main building in mass or height

h. Trellis or awning element (proportional or massing of building)

i. Balconies

j. Aesthetic window grouping or treatments

3. Light Industrial Design Criteria

Light industrial uses may include multi-tenant, light manufacturing, assembly, ancillary warehousing, and computer-related facilities otherwise known as flex office space. Development and building design should consider building placement and architectural treatment of entries, storage, loading bays, service areas and work spaces as necessary. Architectural design of light industrial buildings may be more utilitarian in materials selection and form; however, consideration should be given to blending the quality of development and façade elevation into the context of THE VILLAGE OF LAKEVIEW design vocabulary.

a. Avoid monotonous building forms through the use of architectural elements, offset wall planes or changes in building massing/height.

b. Highlight and accentuate entries through architectural elements or details such as materials, color, massing or similar.

c. Utilize textured forms, sand blasting or scoring for visual relief on tilt-up panels. Smooth panels, without the above elements, maybe be used in conjunction with color variation.

d. Finish metal panels, elements or wall systems to reduce reflection and glare.

e. Orient loading and storage areas away from major roadways or residential edge conditions. Where this is not feasible, appropriate shielding or landscape should be used to blend with site design vocabulary.

9. Landscape Guidelines

The streets of Riverside at the turn of the century were a diverse collection of experiences. The main boulevards in the heart of town featured towering trees that addressed the scale of the architecture while the local roads that led to the ranch and farmhouses were lined with pepper trees that evoked and reinforced the rural character. THE VILLAGES OF LAKEVIEW will echo this lesson though the use of a landscape palette of commonly used trees and shrubs from early 20th Century Riverside and a collection of monuments and elements based upon the prevalent architectural style of the same period. The expression of these elements will be directly influenced, such as they were in the past, by the urban or rural nature of the village and the surroundings they are set within. Individual villages will be differentiated by entry structures, trailheads or landmarks that take on forms appropriate to the site. Each village, as described below will be unified by a selection of materials and construction that speaks to the greater community.

a. Village Landscape Guidelines

1. The River Bend Village

   This village is characterized by a formal, refined planting style within, while also acknowledging its relationship with the surrounding natural areas and agricultural and commercial uses in the village. Through its riparian planting and heavy use of a California appropriate landscape palette, including Evergreen Elm with alternating Fan Palm, Sycamore, Cottonwood, Oak, Magnolia, and London Plane trees, the village would feature community and regional connections that would be reflective of the natural environment.

2. The Town Center Village

   The urban center of the Project would speak to the feel of historic downtown Riverside while also featuring subtle contemporary elements. A blend of the classic California feel with modern times and aesthetics would feature shaded arcades, an eclectic arrangement of architectural styles, palm and shade tree lined avenues, and promenades notable for their flowering trees. Tree species include Evergreen Elm with alternating Fan Palm, Evergreen and Camphor trees, Ornamental Peak and Crape Myrtle trees, Floss silk and Jacaranda trees, and Sycamore, Cottonwood, and Oak trees. A corner retail plaza would link it to the main thoroughfares and create a community hub.

3. The Parks Village

This village will be well connected to the rest of the development, providing an active, walkable feel. Large, shade tree lined streets lead to a local waterway trail system with riparian planting that descends out of the hills and through the heart of the park. Adjacent to the park and running through the center of the village the MWD aqueduct property would appear as a meadow with wildflowers and grasses where appropriate, preserving a rural feel and providing connections to the rest of the community and overall region. Tree species will include Evergreen Elm and Camphor trees; Chinese Pistache trees; Sycamore, Cottonwood, and Oak trees; and Tulip trees.

4. The Garden Village

The Garden Village is a residential garden community, which exudes a relaxed and comfortable lifestyle. Shade tree lined streets and walkways lead to formal parks and gardens promoting a passive, walkable community. Tree species include Evergreen Elm with alternating Fan Palm; Sycamore, Cottonwood, and Oak trees; and Ornamental Pear and Crape Myrtle trees.

5. The Foothill Village

Bringing back the classic scene of farm and ranch homes connected by tree-lined streets, this village would be characterized by an informal planting style comprised primarily of a landscape palette of drought-tolerant and California-appropriate plants, while also featuring hillside groves common to the area. Equally evocative would be the entry treatments featuring simple monuments and landmarks comprised of natural materials and blending into the hills and plantings. Tree species include Evergreen Elm and Camphor trees; Chinese Pistache trees; Tulip trees; and Brisbane Box and Chinese Flame trees. A grove including citrus, olive, and plum trees will be in the southeastern area of the village.

6. The Pinnacle Village

The first experience upon entering the Pinnacle Village is the arroyo leading up to the entrance and its stone and wood entry monuments found at street level or built into the hillside. The Cottonwoods, Sycamores, and Oak trees, and riparian planting scheme of the arroyo would be integrated into the village to produce a seamless, natural feel. This village would be characterized by an informal planting style comprised primarily of a landscape palette of drought tolerant and California-appropriate plants while also featuring hillside groves common to the area. Tree species will also include Brisbane Box and Chinese Flame trees; Chinese Pistache trees, and a grove including citrus, olive, and plum trees will be near the southern boundary of the village.

7. The Enclave Village

Brisbane Box and Chinese Flame trees relate to the visually interesting, vertical architecture as small scale flowering trees line streets in formal rows. The MWD aqueduct property running through the village would appear as a meadow with wildflowers and grasses where appropriate, including Brisbane Box and Chinese Flame trees, Sycamore and Oak trees, preserving a rural feel and providing connections to the rest of the community and overall region.

b. Village and Community Elements

1. Project Entries

Several types of arrival and entry treatments will announce THE VILLAGES OF LAKEVIEW to arriving residents and visitors. Refer to **Exhibit B.4.13B, Community Entry Plan**. From large landscape treatments to simple neighborhood entry markers, the arrival statements will be a cohesive family of monuments and plantings reflecting the 'Old Riverside' feel of the community and will align with the goals of the Lakeview Nuevo Design Guidelines.

a. Landscape Entries

Entering into THE VILLAGES OF LAKEVIEW from the Ramona Expressway and the existing communities, visitors will pass through a series of landscaped areas. Because of their visibility from the expressway and surrounding areas, these landscape entries will serve as gateways, marking the site while reinforcing the character of the community through a landscape that respects the adjacent open space. They also serve as community

character identifying elements. Appearing at key intersections, these landscape entries will be a distinctive combination of trees and shrub plantings that create the feeling of arriving somewhere special. In addition, they will help express the community's sustainable approach to design.

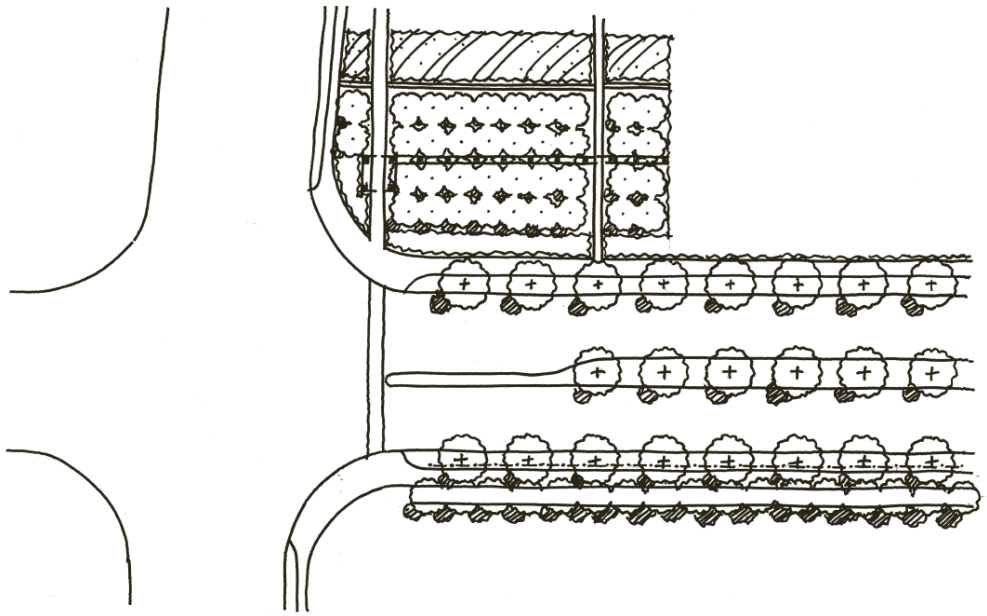
By incorporating landscape elements that appear throughout the community such as groves, windrow groupings, and large shade trees, these monuments' relationship to the community will be reinforced. Formal or informal planting could be implemented at the landscape entries. An architectural feature such as a shade structure or series of arches may be incorporated into these entries as a way of welcoming visitors and residents to the community while providing a shady spot to meet a friend or relax.

Any architectural elements within the Landscape Entries shall comply with the character of the community architectural style. Refer to Italian Renaissance, Monterey, Spanish Colonial, and Tuscan architectural styles in Section 6 of the Design Guidelines. The entry design may also incorporate a gateway element and/or signage consistent in form, material, and logo with the intent of the Lakeview Nuevo Design Guidelines. See images and Concept Site Plan for reference.

Grove

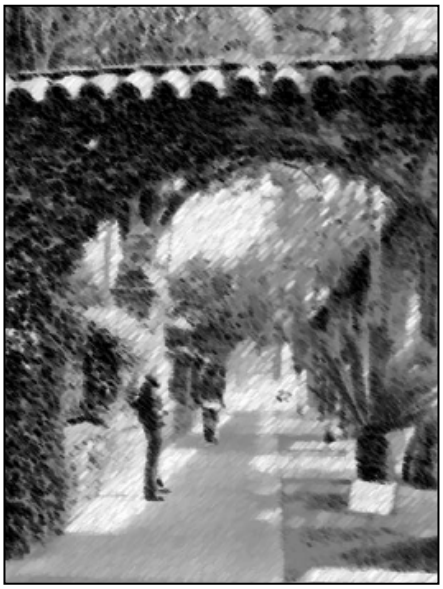
Arcade

Grove


Conceptual Site Plan

b. Village Entries

Collector streets leading to Villages and neighborhoods will be marked with a monument in the parkway and a garden area behind the sidewalk, as shown in the examples below, opening the corners for visibility and way-finding. The monument itself will be a wall or pilaster in materials that reflect the character of the village, yet designed as part of the family of monuments for the entire community.



c. Parks and Open Space Systems

Parks for THE VILLAGES OF LAKEVIEW will be widespread and of varying scales. All parks will provide for the needs of the community, active and passive, and will be designed to complement the surrounding neighborhood. Open space areas will act as buffers, drainage corridors, mitigation, and conservation areas. Refer to **Exhibit 17A, Parks and Open Space Plan**.

1. Parks

a. Neighborhood Parks

Throughout the community, the Neighborhood Parks will be more than just a recreation spaces, they will be community character identifying element. The Neighborhood Parks will provide indoor and outdoor spaces for sports, culture, and learning.

The larger Neighborhood Parks will have as their focus, a community green surrounded by shaded pergolas and community buildings. The pergolas will divide park uses, acting as a gateway to both the public sports fields and private Community Recreation Areas. The sports fields

Open turf

Shade structure

Decorative ironwork

Plaza

and courts may accommodate baseball or softball diamonds, soccer fields, an open play green, a skate park, basketball, tennis, sand volleyball, Frisbee golf and practice fields providing opportunities for a variety of uses. Lighting may be incorporated into the sports fields to accommodate evening use. Multiple trail connections within the neighborhood parks will be linked to both the community network of trails as well as the regional trails extending to the surrounding areas.

Fountain

Planting texture

Garden space

Interpretive garden

Pedestrian access from the separate villages will reinforce the neighborhood parks importance within the community. Clusters of large shade trees and shrubs from a California-appropriate landscape palette will be arranged surrounding the turf fields providing shade for spectators. Several garden spaces featuring more ornamental palettes will provide interest and opportunities for gathering spaces. Additional gathering spaces will be provided near pedestrian oriented plazas that feature shade structures, large shade trees, and focal points. Park furnishings will echo the character of the community architectural style and will be of an appropriate style, color, and material to convey this style. Within the neighborhood parks, any architectural elements shall comply with the character of the community architectural style. Refer to Italian Renaissance, Monterey, Spanish Colonial, and Tuscan architectural styles in Section 6 of the Design Guidelines. These landscape elements will reflect the character of the community buildings and will feature elements such as shaded pergolas and arcades, garden ornamentation, and plazas. See images for reference.

b. Neighborhood Pocket Parks

Neighborhood pocket parks will be located within a quarter mile walking distance of all residences. These parks will be designed for active and passive uses and may contain open green areas, pools, playgrounds, garden spaces, shade structures, and small game courts.

c. Interpretive Signs

Several interpretive signs may be located in THE VILLAGES OF LAKEVIEW. These signs may be primarily oriented towards educating residents on the ecology, environment, history, and culture of the Lakeview area.

d. Trailheads/View Parks

Trailheads/view parks for pedestrian and equestrian uses are located at several locations within the community. Multi-Use Community Trails (restricted use), and Multi-use Community Trail, which allows equestrian uses, are located throughout the community, and connect to these trailhead view parks.

A staging area for Multi-Use Community Trail, which allows equestrian uses, is located in the Foothill Village at the base of the existing open space area paths. Trailer parking, shade structures, horse tie-ups, and water troughs may be available for equestrian uses. An open green, picnic facilities, and drinking fountains may also be available.

Trailheads/view parks for hillside open space walks will be located in parks in three locations in the Foothill, Pinnacle, and Enclave Villages. Kiosks with trail guidelines and distance markers, seating, and water may be available.

e. MWD Aqueduct Property

The MWD aqueduct property is a 300-foot wide area of open space that traverses the entire community. It will primarily serve as a trail corridor and a visual open space amenity. The property will act as a quiet respite with access from all villages and the surrounding community, through a trail. This area may also serve as an area for spillover practice fields or parking from the neighborhood parks. Specific standards and landscaping will be decided and approved by MWD.

2. Private Recreation Areas

a. Primary Recreation Areas

The Town Center, Enclave, Foothill, Parks, Garden, and Pinnacle Villages will have private recreation areas provided for residents of the respective village. These facilities may include a building with entertaining spaces, pool, spa, seating areas with barbecues and a fireplace, open turf, and a putting green.

b. Secondary Recreation Areas

All neighborhoods may have access to small neighborhood pool areas located throughout the community. These facilities will include a pool, spa, shaded seating areas, and a restroom building.

3. Open Space/Conservation

a. Conservation

THE VILLAGES OF LAKEVIEW is located between two conservation open space areas. The San Jacinto Wildlife Area is located to the north and provides opportunities for open views from interpretive elements, and a trail along the edge of the drainage channel. The Lakeview Mountains to the south also contains conservation open space areas and provides opportunities for pedestrian and equestrian uses on existing dirt paths.

b. Re-vegetation

1. Drainage Corridor

Storm water from the Lakeview Mountains will be moved north through a primarily open drainage course and outlet to the San Jacinto River floodplain. This drainage course will be re-vegetated with indigenous plant materials and stones to create a naturalized visual amenity. This drainage course will serve as the primary catchment for storm water from the mountains, but will also serve as a trail corridor and open space amenity. The drainage course will only be boxed when necessary, primarily at significant road crossings.

2. Slopes

Slopes in the Foothill and Pinnacle Villages will be planted with grove trees, which may include olives or citrus with an understory of wildflowers and stone retaining walls at specific trees. The groves will require less water and help maintain the stability of the slope.

d. Streetscape

The character of THE VILLAGES OF LAKEVIEW is primarily focused on the street landscape. Parkway widths, consistent canopy trees, and park and entry spaces along the street will set the individual tone for each village. Refer to Landscape Street Sections, as shown below.

1. Ramona Expressway

Sycamore, and Oak trees will be planted at the westernmost segment on the north side of the right-of-way to about the intersection of Lakeview Avenue, then the Sycamore and Oak trees will continue on the south side of the right-of-way from Town Center Boulevard to the eastern end of the Specific Plan area. The landscaping of this roadway is subject to RCTC and Mid County Parkway project approval.

2. Town Center Boulevard/"F" Street, "B" Street, "N" Street and "M" Street

– Arterial Highway, Enhanced Secondary A and Modified Collector

As the primary road into the heart of the community, Town Center Boulevard/"F" Street and "N" Street/Park Center Boulevard are also community character identifying elements. They will maintain openness in accordance with the width of the street. Twelve-foot parkways will help to bring landscaping to the street edge. The wide parkway also allows a further separation from the street edge to the multi-purpose trail on the south and the paseo on the north. Tall fan palms will alternate with Evergreen Elm canopy trees in both parkways, creating a landmark corridor of a punctuated skyline edge and shade. The median will be planted with the same canopy tree that is in the parkways, providing for shaded driving in both directions. Use of low growing shrubs and groundcovers will characterize the parkways and medians. Turf will be limited in scope. Clusters of succulent plantings may be used to provide accent and interest along the street.

Camphor trees

Succulent accents

Decorative seating areas

Street furnishings will echo the character of the community architectural style and will be of appropriate color and materials to convey this style. Seating areas using decorative materials consistent with the character, may be located at key intersections or transit stops and provide shade and interest for pedestrians. A bench is a possible solution for a repeated element along the streetscape. See images above and Landscape Street Sections for reference.

3. "F" Street

– Enhanced Secondary B

The primary north/south axis "F" Street is also a major connection to the adjacent existing communities. From "B" Street to Hansen Avenue, it will be lined with Evergreen Elm and Camphor trees. Wide parkways allow for greater separation from the street edge to the multi-purpose trail to the west and the paseo to the east. The street tree may be the same or similar tree found lining Town Center Boulevard and "N" Street/Park Center Boulevard to reinforce its role as a major link into the heart of the community. Use of low growing shrubs and groundcovers will characterize the parkways and medians. Clusters of succulent plantings may be used to provide accent and interest along the street.

Street furnishings will echo the character of the community architectural style and will be at an appropriate size, color, and of appropriate materials to convey this style. Seating areas using decorative materials consistent with the character may be located at key intersections or transit stops and provide shade and interest for pedestrians. A bench is a possible solution for a repeated element along the streetscape. See images above and Landscape Street Sections for reference.

4. "H" Street, "I" Street, "J" Street, "O" Street, "R" Street and "Q" Street

– Enhanced Secondary A and Modified Collector

Lined with Chinese Pistache trees in the parkways and median, "H" Street will begin to integrate the denser villages. This transition, as well as its position and importance within the site, makes it another community character identifying element. Zero-edged curbs along "H" Street's edges and a curbed median will allow for turf-lined swales to take up storm water runoff from each side of the street. Parkways along "I" Street, "J" Street, "O" Street, and "R" Street will also be a minimum of eight feet wide to allow for the swales and trees. These parkways provide for separation from the street edge to the sidewalk. Not including the turf swales, the remainder of the parkways and medians will be characterized by the use of low growing shrubs and groundcovers. Clusters of ornamental grasses may be used to provide accent and interest along the street. See images and Landscape Street Sections for reference.

Turf swale

Ornamental grasses accents

California Peppers

5. Hansen Avenue, Wolfskill Avenue, Poppy Road

The east side of Hansen Avenue, north side of Wolfskill Avenue and east side of Poppy Road will be dedicated to Multi-Purpose Community Trail, which allows equestrian uses. Between the trail and the residential property lines there will be at least 100 feet of open space (potential linear park). This open space will allow for adequate separation of the horses from the homes and as an overall community buffer to pre-existing residences to the south. The open space will contain a windrow with a simple textured ground plane.

6. MWD Aqueduct

The Aqueduct will be a meadow-like greenbelt with wildflowers and grasses.

7. The River Bend Village

– Arterial Highway, Modified Collector and Modified Collector A

The River Bend Village main streets will be lined with London Plane trees along “A” Street and Evergreen Elm with alternating Fan Palm along Town Center Boulevard/“F” Street. Sycamore, Cottonwood, Oak, Magnolia, and London Plane trees will be planted along internal trails and waterways within this village. This village will also include landscape entries, village entries and parks with accent trees to highlight the Village’s character of clean and simple forms. Parkways will have accents of succulents and grasses.

8. The Garden Village

– Arterial Highway, Enhanced Secondary A and C, and Modified Collector

The Garden Village will have Evergreen Elm with alternating Fan Palm along “B” Street and Sycamore, Cottonwood, and Oak trees will also be planted along a trail from River Bend Village that traverses Garden Village. Ornamental Pear and Crape Myrtle will be planted along “E” Street. Tulip trees and Liriodendrons will be in the 7-foot parkways with a ground plane of turf, clipped hedges, and flowering shrubs.

9. The Town Center Village

– Arterial Highway, Enhanced Secondary A, B, and C, and Modified Collector

The Town Center Village will have Evergreen Elm with alternating Fan Palm lining the main roads, which include “F” Street, “B” Street, “N” Street/Park Center Boulevard. “F” Street south of “B” Street will be lined with Evergreen Elm and Camphor trees Ornamental Pear and Crape Myrtle trees will line segments of “E” Street, “L” Street. Floss silk and Jacaranda trees will line “M” Street. Sycamore, Cottonwood, and Oak trees will also be planted along a trail from Garden Village that traverses Town Center Village. Moreover, roads will include turf parkways and shaded arcades and trellises at the retail and mixed use interface.

10. The Parks Village

– Enhanced Secondary A and Modified Collector

The Parks Village will be characterized by Evergreen Elm and Camphor trees along “F” Street. Chinese Pistache trees will line “H” Street and “O” Street; and Sycamore, Cottonwood, and Oak trees will line “B” Street through the village. Trails and “K” Street and “P” Street in this village will be lined with Tulip trees Parkways on the “F” Street will be ten feet wide, and eight feet wide on “K” Street, “P” Street, and “O” Street. Parks and garden corners may be accented and Brisbane Box and Chinese Flame trees will line the southern boundary of the MWD Aqueduct right-of-way.

11. The Foothill Village

– Enhanced Secondary A and B, and Modified Collector

The main streets of Foothill Village, which include “F” Street and “H” Street, will be lined with Evergreen Elm and Camphor trees, and Chinese Pistache trees, respectively. “I” Street and “J” Street will also be lined with Chinese Pistache trees, and “K” Street will be lined with Tulip trees. The western and southern boundaries of this village, as established by Hansen Avenue, Wolfskill Avenue, and Poppy Road, will be lined with Brisbane Box and Chinese Flame trees. Additionally, the southeastern area of the village will be planted with groves including citrus, olive, and plum trees.

12. The Pinnacle Village

– Enhanced Secondary A, and Modified Collector

The Pinnacle Village will have Chinese Pistache trees along “H” Street, “O” Street, and “R” Street. Sycamore, Cottonwood, and Oak trees will line “B” Street and a trail leading to the southeast corner of the village. Groves, including citrus, olive, and plum trees will be planted near the southern boundary of the village. There will be zero-edged curbs with swaled parkways along “H” Street.

13. The Enclave Village

– Modified Collector

The Enclave Village will include Brisbane Box and Chinese Flame trees along the southern right-of-way of the Ramona Expressway and MWD Aqueduct. Sycamore and Oak trees will be planted with Brisbane Box and Chinese Flame trees south of the MWD Aqueduct as well. The 8-foot parkways will be planted with groundcovers accented with succulents.

14. The Lakeview Mountains

The Lakeview Mountains will be maintained as a permanent open space amenity for the greater community. Existing hiking and equestrian uses shall remain within the open terrain as deemed acceptable by local agencies.

15. Fuel Modifications

Selected areas within THE VILLAGES OF LAKEVIEW have been identified as fire hazard zones and will be designed in accordance with the Riverside County Fire Department.

e. Trails

The trail system for THE VILLAGES OF LAKEVIEW is widespread and diverse. The entire community is accessible to pedestrians and bicyclists with both on and off street trails. Refer to **Exhibit B.8.18B - Trails Plan**.

1. Open Space Trails

   The Lakeview Mountains conservation open space land to the south has many dirt roads which are currently used as trails. Trails beginning in the Pinnacle, Foothill, and Garden Villages will provide access to these existing roads.

2. Multi-Purpose Community Trail in River Bend

   A 10-12 foot wide multi-use (restricted use) trail runs along the northern side of the commercial office uses and forms a loop around the western agricultural planning area in the River Bend Village with potential links to regional connections. Because it provides so many opportunities for possible connections with off-site areas, it has been chosen as a community character identifying element. The trail is accessible from all parts of the community from both on- and off-street trails.

Riparian planting

Overlook

Drought tolerant landscape

The drainage channel running along portions of the community trail may be characterized by a riparian planting that features clusters of shade trees and shrubs from a California-appropriate landscape palette. Where the shade trees occur rustic seating, gathering areas, or overlooks may be utilized to capitalize on the relationship to the natural open space. Site furnishings will be consistent with the character of the community architectural style. See images above for reference.

3. Multi-Purpose Community Trail at MWD Aqueduct

A 10-12 foot wide multi-use trail transverses the length of the MWD aqueduct property with potential links to regional connections. Because this trail runs through the community, it is close to the neighborhood parks, and it provides possible connections with off-site areas. The trail is accessible from all parts of the community from both on and off-street trails. Uses such as an exercise par-course may be associated with the trail in the areas near the neighborhood parks.

Windrow groupings

Rustic seating areas

Meadow planting

The MWD aqueduct property may be characterized by a meadow planting that features wildflowers, annual native grasses, and ornamental grasses. These amenities and uses are subject to MWD approval.

4. 10-12-Foot Multi-Purpose Community Trail (Equestrian Trails)

A multi-purpose community trail which allows equestrian uses begins outside of the community and is associated with THE VILLAGES OF LAKEVIEW at the Wolfskill Avenue edge and continues to the Equestrian Trailhead Park in the Foothill Village and the MWD aqueduct. This relationship with the existing communities makes this multi-purpose community trail a community character identifying element. The trail may be composed of decomposed granite and will be set within a 30-foot landscape area. Clusters of shade trees and shrubs from a California-appropriate landscape palette will provide shade as well as possible locations for seating areas or hitching stops along the way. Additionally, windrow groupings along the south side of the trail will echo the windrows that can be found throughout the site. Along the trail, a rail fence may be utilized where the trail nears the streets and existing communities per the Lakeview Nuevo Design Guidelines.

5. Community Trails and Paseos

Several on- and off-street trails throughout the Project serve as links to the larger trail systems. The 10-12' multi-purpose community trail

Rail fence

Windrow groupings

Decomposed granite trail

(restricted use) is intended to accommodate bicycles and pedestrians only. The multi-purpose community trail connects both retail centers and all neighborhood parks with residences within each of the villages. The 8-

foot paseos are intended to serve as links to the larger trail system. These concrete paseos radiate throughout the Project linking residential properties to open space, parks, recreational facilities, neighboring villages, and the Town Center Village commercial/mixed use center.

f. Community Walls and Fences

Composed of attractive materials that may include but are not limited to split-face or precision block and tubular steel, community walls and fences will work to provide a unifying element along the major thoroughfares of THE VILLAGES OF LAKEVIEW. Additional architectural detailing, materials, colors, and articulation will echo the Mediterranean theme of the community architectural style, and will be required at the Village Refinement Plan level, along with wall and fence location. The Village Refinement Plan is

Decorative block wall

Wall and fence connection

Tubular steel fence

Sack finish block wall

described in detail in **Section B.11, Specific Plan Administration**.

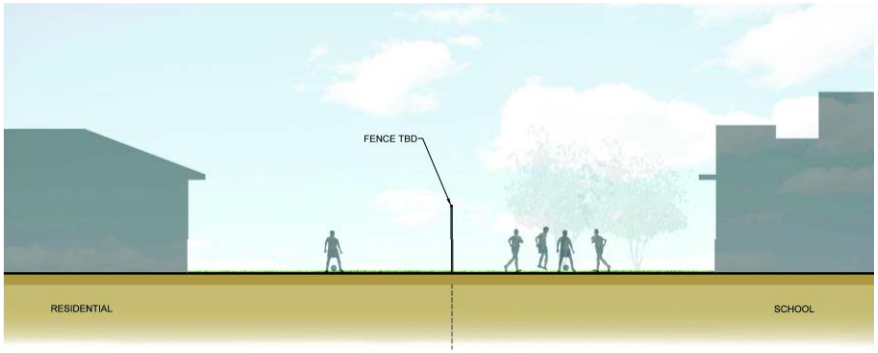
By using trees, vines, and other landscaping from a California-appropriate landscape palette, the visual appearance will be softened so they will not dominate the street scene,

but rather function as a background element. Whenever possible, view fences shall be used to maintain a more open feel for the community and to preserve views both within the villages and to mountains and natural open spaces beyond.

g. Edge Conditions

1. School and Residential Land Uses

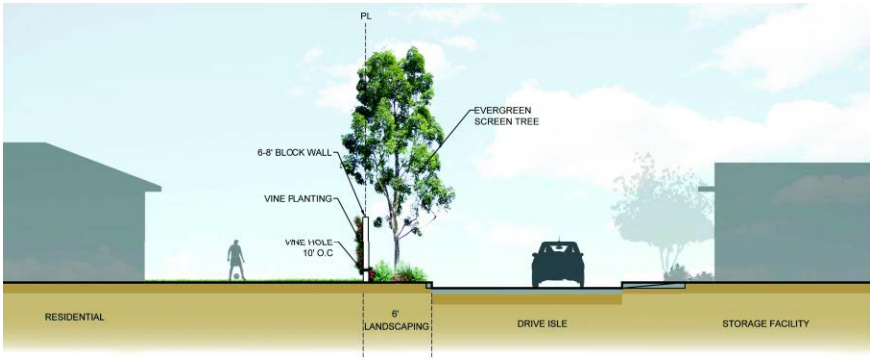
A fence will separate proposed school locations from adjacent residential uses. The fence and setbacks will be described in the Village Refinement Plan.



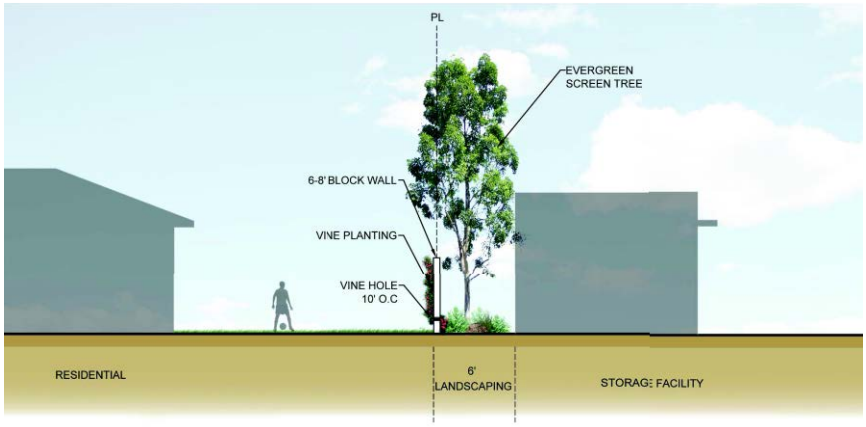
LANDUSE EDGE CONDITION
RESIDENTIAL TO SCHOOL

2. Storage Facility and Residential Land Uses

A fence with vine plants and landscaping buffer, and/or drive isle will separate a storage facility planned in Planning Area 23 from existing and proposed residential uses. Details regarding the fencing and landscaping will be described in detail in the Village Refinement Plan.



LANDUSE EDGE CONDITION
RESIDENTIAL TO STORAGE FACILITY (A)



LANDUSE EDGE CONDITION
RESIDENTIAL TO STORAGE FACILITY (B)

3. Existing Agricultural Uses and Commercial Office

A block wall or a large setback will provide a separation from existing agricultural uses and proposed commercial office uses. Details regarding the wall design and/or setback will be described in the Village Refinement Plan.

LANDUSE EDGE CONDITION
AGRICULTURE TO COMMERCIAL OFFICE

h. Lighting

All public street lighting should comply with the Mount Palomar and Riverside County standards. Commercial, recreational, and private street areas shall conform to a uniform set of criteria established for THE VILLAGES OF LAKEVIEW.

Outdoor lighting within THE VILLAGES OF LAKEVIEW Specific Plan will be required to comply with Riverside County Ordinance No. 655 Zone B requirements. This means that within the proposed Project, all Class II lighting (which includes parking lots, walkways, and security) will be fully shielded low-pressure sodium vapor lights (meaning constructed so light rays emitted are projected below the horizontal plane). Class II uses may remain in use throughout the night. Any Class I lighting (including outdoor advertising or other uses where color rendition is important) will be low-pressure sodium or other type 4050 Lumens or below, partially shielded, or other type above 4050 Lumens, fully shielded. Class I lighting must be turned off between 11:00 pm and sunrise, except for on-premise advertising signs which may remain on while a business is open to the public; on-premise advertising displays which may remain on until midnight; and any commercial, assembly, repair, or industry which may be lighted when actually in use. Class III (decorative) may be low-pressure, sodium vapor lighting or another type of lighting provided it does not exceed 4050 Lumens; shall be fully shielded, and shall not be used between 11:00 pm and sunrise.

i. Signage

Directional signage will be original to THE VILLAGES OF LAKEVIEW and complement community monumentation and neighborhood entries. Signs should extend from walls or pilasters. Accent lighting is encouraged.

j. Irrigation

The community irrigation systems shall comply with the irrigation and implementation requirements set forth by Ordinance No. 859, Water-Efficient Landscape Requirements. These shall include the installation of efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach the plant roots. Drip irrigation, sub surface irrigation, soil moisture sensors, smart controllers, and automatic irrigation systems are a few methods that shall increase irrigation efficiency.

10. Green Design

As part of the Project's vision to create the community of choice, Smart Growth Principles guide the Master Developer in overall community design and builders through the incorporation of ecological practices and green techniques in construction. The vision can be achieved through energy conservation, a reduction of non-renewable resources use, and the application of California-appropriate landscape practices. The development standards for green building design practices can be found in **Section B.12., Lakeview Green Design**.

a. Energy Efficient Design Elements

Homebuilders within THE VILLAGES OF LAKEVIEW are encouraged to incorporate energy efficient design elements. Such elements include, but are not limited to:

1. Natural Ventilation – Window Placement and Home Orientation

   Proper window placement and home orientation allows for natural ventilation, thus lessening the dependence on mechanical cooling systems.

2. Architectural shade elements

   Architectural shade elements (such as overhangs and awnings) protect excess sun from entering the home, keeping the house cool during the hot summer months.

b. Reduction of Non-Renewable Resource Use

The reduction of non-renewable resources is an important aspect of green design. Such reduction practices include, but are not limited to:

1. Utilization of Environmentally Preferable Building Materials

   Environmentally preferable building materials such as non-virgin, renewable, and recyclable materials aid in the reduction of non-renewable resources and are encouraged.

2. Construction Waste Recycling

   Job site recycling and/or donation of scrap materials to local charitable organizations greatly reduce construction waste and are encouraged.

c. California-appropriate Landscape Practices

The Project-specific landscape practices that will evolve within THE VILLAGES OF LAKEVIEW will be guided by Riverside County's bold Water Efficient Landscape Requirements Ordinance (Ord. 859) and associated landscaping guide. The California-appropriate landscape practices promote:

1. Water conservation through the use of water-efficient landscaping (i.e., drought tolerant landscaping), the wise use of turf, and the appropriate use of irrigation technology and management; and
2. Energy conservation through landscape design.

In addition to the requirements of Ordinance 859, THE VILLAGES OF LAKEVIEW will provide the following:

3. Water-Conserving Irrigation Practices

    a. In addition to the required use of smart irrigation controllers by Ordinance 859, point-irrigation systems will be encouraged to allocate more efficient delivery of water to root systems and minimize run-off.

    b. Recycled water shall be utilized to the extent possible. To further the use, the Project will provide a site for a recycled water tank. Using recycled water in large, public open spaces is required.

4. Energy Conservation through Landscape Design

    a. Landscapes are encouraged to be designed to promote energy conservation, including planting deciduous trees next to buildings and along streets to reduce ambient temperature, reduce heat gain, allow for cool natural ventilation, and provide a more pleasant pedestrian environment.

    b. Deciduous trees and vines are encouraged to be planted in front of south-facing walls and windows to further cool buildings by intercepting sunlight during summer months, yet allow direct sunlight during the winter.

c. Green screens (metal lattices planted with vines and/or climbing flowers) are encouraged to shade east- and west-facing walls to reduce interior heat gain and beautify buildings.

d. Trees with appropriate heights and spreads are encouraged to provide ample shade in the summer months for outdoor spaces such as patios and plazas, pedestrian walkways, roadways and parking lots. Structures such as trellises and porticoes should also be considered in the building/landscape edge, especially on east- and west-facing exposures, to provide shade in the summer and allow solar penetration when the sun is at a low angle in the winter.

e. Landscape buffers, screens and windrows are encouraged to be located so they facilitate cooling by prevailing breezes in summer months.

Apartment – Residential rental unit.

Attached – Residences that share common walls, where buildings are intended for use by more than one family.

Board of Supervisors – Riverside County Board of Supervisors

Builder Parcel – A neighborhood of residential homes

Builders – Home builders, apartment builders, and commercial builders

CIMIS – California Irrigation Management Information System. Information can be found at: http://wwdpla.waterca.gov/cimis/cimis/hq/

Common Area – Areas within The Villages of Lakeview that are owned by a cooperative association or group of owners, such as a Home Owner's Association

Corner Home – A home located on a corner lot with both front and side elevations exposed

Corner Lots – A lot located at the intersection of two or more streets at an angle not more than 135°. If greater than 135°, it is considered an interior lot. Corner lots have additional side yard setbacks and wraparound architecture

Corner Plan – A home plan that is designed for a corner lot that has a significant element or massing form located at or wrapping around the front corner of the building

Design Review Committee – Master Developer appointed committee to review project for conformance with the design guidelines and other standards prior to submittal to the County

DU - Dwelling Unit – One or more habitable rooms (including living, sleeping and sanitary facilities and no more than one kitchen) which are intended or designed for occupancy by a single household.

Easement – The granting of one or more property rights by the property owner for use by the public, a corporation or another person or entity.

Elevation – An external building façade, as in front, side or rear elevations. In the case of single-family dwellings these correspond with the relationship of the building to the property line of the lot. In the case of multi-family buildings, this also corresponds to the front, side or rear face of the building regardless of how it relates to the parcel.

Enhanced – In reference to individual style-appropriate requirements refers to added elements or details that exceed those required

Guest Builders – Residential builders selected to prepare sites and construction specific residential product(s).

Home – A for-sale product

Home Occupation – A Home Occupation creates an opportunity for a residential structure to allow for a business use as part of and within the residential structure, but is merely incidental to the primary use of a dwelling unit for residential purposes.

HOA – Homeowners' Association – An organization formed to manage property for more than one owner

Individual Builder – Those parties responsible for the building of individual parcels that include houses, landscapes, local residential streets, and neighborhood parks.

Key Lots – A lot with a side lot line that abuts the rear line of any one or more adjoining lots.

Live/Work Units – means those units that occur within a residential structure that are constructed to also to house a limited amount of commercial or industrial use. These units are allowed to contain a broad mix of uses, which will likely change of number of times during their usable lifetimes.

Living Space – Habitable living space, not including garages

Master Developer – Nuevo Development Corporation.

Master Plan – The overall plan for all of Lewis Holdings within The Villages of Lakeview, to include all phases shown in this document.

Mid-Block Pass Through – Paseo pedestrian connections between building lots or within a block that allow access to parks and other amenities.

Mixed Use – The combining of retail, commercial and medium to high density residential within one localized area.

Multi-Family – Buildings intended for use by several families

Neighborhood Parks – Parks that include tot lots, free play, and flex play area. Generally serves residents within a two block area. They also play an important role in creating individual neighborhood identity and "place making."

Open Space – Land designated by Riverside County as Open Space

Overall Density – A ratio of total dwelling units and gross acreage.

Parkway – The area of a public street right-of-way that lies between the curb or edge of a street and the adjacent property line.

Paseo – A walkway or path meant for pedestrians and bicycles that provides connectivity within a neighborhood. Paseos are typically landscaped and are enjoyed by the entire community.

Plan Package – A collection of architectural floor plans provided by a builder for each neighborhood parcel.

Planning Area – A designated area made up of multiple parcels

Planning Director – The Riverside County Planning Director or his/her designee

Planning Commission – Riverside County Planning Commission

Porte Cochere – A vehicular parking area covered by a solid roof that projects over the driveway at the entrance to a building, providing shelter for those getting in and out of vehicles.

Project – Specific Plan 342, The Village of Lakeview

Sensitive Edges – Certain residential edges which are highly visible from perimeter streets and external view points

SFA – Single-family Attached – Single-family attached residential product type.

SFD – Single-family Detached – A residential product type.

Sidewalk – Public walkway within the public right-of-way.

Specific Plan – The Villages of Lakeview – Riverside County Specific Plan No. 342.

Streetscape/Street Scene – The visual image one perceives looking down the front facing street of a neighborhood including homes, sidewalks, streets and landscape.

The Villages of Lakeview Specific Plan – The adopted zoning document for the area. It includes development standards and guidelines, establishes the planning concept, design and development guidelines as well as administrative procedures necessary to achieve an orderly and compatible development or project area.

Trail – A designated corridor that provides recreational, aesthetic, alternate transportation, or educational opportunities.

Uniform Building Codes – State of California currently adopted code governing practices and standards for building construction.

Master Plant Palette
In The Villages of Lakeview

Botanical Names	Common Names	Location				
		Entry	Parks	Trails	Street Trees	Slopes
Trees						
Alnus rhombifolia	White Alder		X	X		X
Arbutus unedo	Strawberry Tree	X	X			X
Brahea armata	Mexican Blue Palm	X	X			
Cercis occidentalis	Western Redbud		X	X		X
Chorisia speciosa	Floss Silk Tree	X	X		X	
Cinnamomum camphora	Camphor Tree	X	X		X	
Citrus sp.	Citrus	X	X	X		X
Eriobotrya japonica	Bronze Loquat	X	X	X		
Feijoa sellowiana	Pineapple Guava		X			X
Gleditsia triacanthos	Honey Locust		X			
Jacaranda mimosifolia	Jacaranda	X			X	
Juglans californica	California Black Walnut			X		X
Koelreuteria bipinnata	Chinese Flame Tree		X		X	
Lagerstroemia indica	Crape Myrtle	X	X			
Laurus nobilis	Sweet Bay		X	X		
Ligustrum lucidum	Glossy Privet	X	X			
Liquidambar styraciflua	American Sweet Gum		X	X		X
Liriodendron tulipifera	Tulip Tree	X	X		X	
Magnolia grandiflora	Southern Magnolia	X	X		X	
Magnolia g. 'St. Mary'	NCN	X	X			
Pistachia chinensis	Chinese Pistache		X		X	
Platanus acerifolia	London Plane Tree				X	
Platanus racemosa	California Sycamore		X	X		X
Podocarpus gracilior	Fern Pine				X	
Populus fremontii	Western Cottonwood		X	X		
Prunus caroliniana	Carolina Laurel Cherry	X	X			X
Prunus cerasifera 'Atropurpurea'	Purple Leaf Plum	X	X	X		

Botanical Names	Common Names	Location				
		Entry	Parks	Trails	Street Trees	Slopes
Prunus ilicifolia	Holly Leaf Cherry		X			
Prunus lyonii	Catalina Cherry		X	X		X
Pyrus calleryana	Ornamental Pear	X			X	
Punica granatum	Pomegranate	X	X			
Quercus agrifolia	Coast Live Oak	X	X	X	X	X
Quercus engelmanii	Engelman Oak	X	X	X		X
Quercus lobata	Valley Oak	X	X	X		X
Quercus suber	Cork Oak	X	X	X		X
Rhus lancea	African Sumac	X	X			
Rhapiolepis i. 'Majestic Beauty'	Indian Hawthorne	X	X			
Tristania conferta	Brisbane Box	X	X			
Ulmus parvifolia	Evergreen Elm		X		X	
Umbellularia californica	California Laurel			X		X
Washingtonia filifera	California Fan Palm	X	X		X	
Washingtonia robusta	Mexican Fan Palm	X			X	
Shrubs:						
Agave americana	Century Plant	X	X			X
Aloe sp.	Aloe	X	X			
Alyogyne huegelii	Blue Hibiscus	X	X			
Anzigozanthos flavidus	Kangaroo Paw	X	X			
Arbutus unedo 'Compacta'	Strawberry Tree	X	X	X		X
Baccharis salicifolia	Mulefat		X	X		
Bougainvillea sp.	Bougainvillea	X	X			X
Buddleia davidii	Butterfly Bush		X	X		X
Buxus m. japonica 'Green Beauty'	Japanese Boxwood	X				
Camellia japonica	Japanese Camellia	X	X			
Camellia sasanqua	Sasanqua Camellia	X	X			
Carissa m. 'Boxwood Beauty'	Natal Plum	X	X	X		X
Carpenteria californica	Bush Anemone			X		
Chamaerops humilus	Mediterranean Fan Palm	X	X			
Dendromecon rigida	Bush Poppy		X	X		X

Botanical Names	Common Names	Location				
		Entry	Parks	Trails	Street Trees	Slopes
Dietes bicolor	Fortnight Lily	X	X	X		
Diosma pulchrum	Pink Breath of Heaven	X	X			
Echium candicans	Pride of Madeira		X	X		X
Elaeagnus pungens	Silverberry		X	X		X
Encelia californica	California Sunflower			X		
Escallonia sp.	Escallonia		X			X
Euonymous japonica	Evergreen Euonymous					
Fremontodrendron californicum	California Flannel Bush			X		X
Garrya eliptica	Silk Tassel	X	X			
Grevillea sp.	Grevillea		X			X
Hemerocallis spp.	Daylily	X	X	X		
Hesperaloe parviflora	Red Yucca	X	X			
Heteromeles arbutifolia	Toyon			X		X
Ilex vomitoria 'Stokes'	Stokes Dwarf Yaupon Holly	X	X			
Juncus acutus	Spiny Rush			X		
Keckelia cordifolia	Heart Leafed Penstemon	X	X			
Kniphofia uvaria	Red Hot Poker					
Lavatera assurgentifolia	Tree Mallow		X			X
Lavandula stoechas	Spanish Lavender	X	X			
Leptospermum scoparium	New Zealand Tea Tree		X			X
Leymus condensatus	Giant Wild Rye	X	X	X		X
Ligustrum japonicum 'Texanum'	Texas Wax Leaf Privet	X	X			
Liriope gigantea	Giant Lily Turf	X	X			
Mahonia aquifolium	Oregon Grape					
Melaleuca nesophila	Pink Melaleuca		X			X
Muhlenbergia rigens	Deer Grass	X	X	X		X
Myrtus communis	Myrtle	X	X			
Ochna serrulata	Bird's Eye Bush			X		
Opuntia littoralis	Coastal Prickly Pear			X		
Phormim tenax	New Zealand Flax	X	X			X
Pittosporum tobira	Mock Orange	X	X	X		X

		Location				
Botanical Names	Common Names	Entry	Parks	Trails	Street Trees	Slopes
Prunus carolina 'Bright 'n' Tight'	Bright 'n' Tight Carolina Laurel		X			X
Pyracantha sp.	Firethorn		X			X
Quercus berberidifolia	California Scrub Oak			X		X
Rhamnus californica	California Coffeeberry		X	X		
Rhamnus ilicifolia	Hollyleaf Redberry			X		
Rhaphiolepis i. 'Clara'	Indian Hawthorne	X	X			X
Rhaphiolepis i. 'Majestic Beauty'	Indian Hawthorne	X	X			
Rhus ovata	Sugar Bush			X		
Ribes speciosum	Fuschia Flowering Gooseberry		X	X		
Ribes viburnifolium	Evergreen Current		X	X		
Romneya coulteri	Matilija Poppy			X		
Rosa banksiae	Lady Banks' Rose					X
Rosa sp.	Rose	X	X			
Rosmarinus o. 'Prostratus'	Prostrate Rosemary	X	X	X		X
Rosmarinus o. 'Tuscan Blue'	Tuscan Blue Rosemary	X	X			X
Salvia greggi 'Furman's Red'	Furman's Red Autumn Sage		X	X		X
Salvia leucantha 'Santa Barbara'	Santa Barbara Sage		X	X		X
Scirpus californica	California Bullrush			X		
Stachys byzantina	Lamb's Ear	X	X			
Tecoma stans	Yellow Bells			X		
Trachelospermum jasminoides	Star Jasmine	X	X	X		
Viburnum sp.	Laurustinus	X	X			
Westringia rosmariniformis	Coast Rosemary	X	X			X
Yucca whipplei	Our Lord's Candle			X		X
Ground Cover						
Artemisia caucasica	Caucasian Artemisia			X		
Baccharis p. 'Pigeon Point'	Twin Peaks		X	X		X
Carissa macrocarpa 'Green Carpet'	Green Carpet Natal Plum	X	X	X		
Dianella	Flax Lily	X	X			

Botanical Names	Common Names	Location				
		Entry	Parks	Trails	Street Trees	Slopes
Elymus condensatus	Blue Lyme Grass	X	X	X		
Eriodictyon trichocalyx	Yerba Santa			X		
Eschscholzia californica	California Poppy			X		X
Festuca maueri	Atlas Fescue		X	X		X
Festuca ovina 'Glauca'	Blue Fescue	X	X			
Lupinus nanus	Sky Lupine			X		
Marathon II or Medallion II	Turf	X	X	X		
Nassella lepida	Foothill Needle Grass		X	X		X
Nassella pulchra	Purple Needle Grass		X	X		X
Sisyrinchium bellum	Blue Eyed Grass			X		
Thymus vulgaris	Common Thyme	X	X			
Trachelospermum jasminoides	Star Jasmine	X	X	X		
Vines and Espaliers:						
Calliandra haematocephala	Pink Powder Puff	X	X			
Distictus buccinatoria	Blood-Red Trumpet Vine	X	X			
Gelsemium sempervirens	Carolina Jessamine	X	X			
Jasminum polyanthum	Pink Jasmine	X	X			
Osmanthus fragrans	Sweet Olive	X	X			
Parthenocissus tricuspidata	Boston Ivy	X	X			X
Passiflora alatocaerulea	Passion Vine	X	X			
Podocarpus gracilior	Fern Pine	X	X			
Pyracantha 'Graberi'	Firethorn	X	X			
Trachelospermum jasminoides	Star Jasmine	X	X	X		

PROHIBITED PLANTS
In The Villages of Lakeview

BOTANICAL NAME	COMMON NAME
Acacia spp (all species)	Acacia
Achillea millefolium	Millefolium Common Yarrow
Ailanthus altissima	Tree of Heaven
Aptenia cordifolia	Red Apple
Arctotheca calendula	Cape Weed
Arctotis spp. (all species & hybrids)	African Daisy
Arundo donax	Giant Reed or Arundo Grass
Asphodelus fistulosus	Aspholdel
Atriplex glauca	White Saltbush
Atriplex semibaccata	Australian Saltbush
Carex spp. (all species*)	Sedge
Carpobrotus chilensis	Ice Plant
Carpobrotus edulis	Sea Fig
Centranthus ruber	Red Valerian
Chrysanthemum coronarium	Annual Chrysanthemum
Cistrus ladanifer	Gum Rockrose (Incl. Hybrids/Varieties)
Cortaderia jubata [syn. *C. Atacamensis*]	Jubata Grass, Pampas Grass
Cortaderia dioica[syn.*C. sellowana*]	Pampas Grass
Cotoneaster spp (all species)	Cotoneaster
Cynodon dactylon	(Incl.Hybrids Varieties) Bermuda Grass
Cyperus spp. (all species*)	Nutsedge, Umbrella Plant
Cytisus spp. (all species)	Broom
Delosperma "Alba"	White Trailing Ice Plant
Dimorphotheca spp. (all species)	African Daisy, Cape Marigold
Drosanthemum floribumndum	Rosea Ice Plant
Drosanthemum hispidum	Purple Ice Plant
Eichhornia crassipes	Water Hyacinth
Elaegnus angustifolia	Russian Olive

BOTANICAL NAME	COMMON NAME
Eucalyptus spp (all species)	Eucalyptus or Gum Tree
Eupatorium coelestinum [syn. Ageratina sp.]	Mist Flower
Festuca arundinacea	Tall Fescue
Festuca rubra	Creeping Red Fescue
Foeniculum vulgare	Sweet Fennel
Fraxinus uhdei	Evergreen Ash, Shamel Ash (And Cultivars)
Gaura (spp.) (all species)	Gaura
Gazania spp (all species & hybrids)	Gazania
Genista spp. (all species)	Broom
Hedera canariensis	Algerian Ivy
Hedra helix	English Ivy
Hypericum spp. (all species)	St. John's Wort
Ipomoea acuminata	Mexican Morning Glory
Lampranthus spectabilis	Trailing Ice Plant
Lantana camara	Common Garden Lantana
Lantana montevidensis [syn. L. sellowiana]	Lantana
Limonium perezii	Sea Lavender
Linaria bipartita	Toadflax
Lolium multiflorum	Italian Ryegrass
Lolium perenne	Perennial Ryegrass
Lonicera japonica	(incl. 'Halliana') Japanese Honeysuckle
Lotus corniculatus	Birdsfoot Trefoil
Lupinus arboreus	Yellow Bush Lupine
Lupinus texanus	Texas Blue Bonnets
Malephora crocea	Ice Plant
Malephora luteola	Ice Plant
Mesembryanthemum nodiflorum	Little Ice Plant
Myoporum laetum	Myoporum
Myoporum pacificum	Shiny Myoporum

BOTANICAL NAME	COMMON NAME
Myoporum parvifolium	(incl. 'Prostratum') Ground Cover Myoporum
Oenothera berlandieri	Mexican Evening Primrose
Olea europea	European Olive Tree
Opuntia ficus-indica	Indian Fig
Osteospermum spp. (all species)	Trailing African Daisy, African Daisy
Oxalis pes-caprae	Bermuda Buttercup
Parkinsonia aculeata	Mexican Palo Verde
Pennisetum clandestinum	Kikuyu Grass
Pennisetum setaceum	Fountain Grass
Phoenix canariensis	Canary Island Date Palm
Phoenix dactylifera	Date Palm
Plumbago auriculata	Cape Plumbago
Polygonum spp. (all species)	Knotweed
Populus nigra 'italica'	Lombardy Poplar
Prosopis spp. (all species*)	Mesquite
Ricinus communis	Castor Bean
Robinia pseudoacacia	Black Locust
Rubus procerus	Himalayan Blackberry
Sapium sebiferum	Chinese Tallow Tree
Saponaria officinalis	Bouncing Bet, Soapwart
Schinus molle	Peruvian Pepper Tree, California Pepper
Schinus terebinthifolius	Brazilian Pepper Tree
Spartium junceum	Spanish Broom
Tamarix spp. (all species)	Tamarisk, Salt Cedar
Trifolium tragiferum	Strawberry Clover
Tropaelolum majus	Garden Nasturtium
Ulex europaeus	Prickly Broom
Vinca major	Periwinkle
Yucca gloriosa	Spanish dagger

ORDINANCE NO. 348.4876

AN ORDINANCE OF THE COUNTY OF RIVERSIDE

AMENDING ORDINANCE NO. 348 RELATING TO ZONING

The Board of Supervisors of the County of Riverside Ordains as Follows:

Section 1. Section 4.1 of Ordinance No. 348, and Official Zoning Plan Map Nos. 2, 17 and 55, as amended, are further amended by placing in effect in the Lakeview, Nuevo, Homeland, Juniper Flats and North Perris Areas, the Hemet-San Jacinto District and the Perris Reservoir District, the zone or zones as shown on the map titled "Change of Official Zoning Plan Amending Ordinance No. 348, Map No. 2.2422, Map No. 17.107, Map No. 55.040, Change of Zone Case No. 7055", which map is made a part of this ordinance.

Section 2. Article XVIIa of Ordinance No. 348 is amended by adding thereto a new Section 17.114 to read as follows:

"Section 17.114 SP ZONE REQUIREMENTS AND STANDARDS FOR SPECIFIC PLAN NO. 342.

a. Planning Areas 50A, 50B, 50D, 50E, 50F, 50G, 50H, and 50J.

(1) The uses permitted in Planning Areas 50A, 50B, 50D, 50E, 50F, 50G, 50H, and 50J of Specific Plan No. 342 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348, except that the uses permitted in Section 8.100.A.(1), (2), (3), (4), (5), (6), (8), and (9); B.(1); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for Planning Areas 50A, 50B, 50D, 50E, 50F, 50G, 50H, and 50J of Specific Plan No. 342 shall be the same standards as those identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIIIe of Ordinance No. 348.

b. Planning Areas 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, and 52.

(1) The uses permitted in Planning Areas 29, 30, 31, 32, 33, 34, 35 ,36, 37, 38, 39, 40, and 52 of Specific Plan No. 342 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348, except that the use permitted in Section 8.100.A.(8) shall not be permitted. In addition, the uses permitted in Section 8.100.A. shall include amphitheaters with non-acoustic amplifications and shielded lighting, community gardens, community theaters and arboretums, skateboard parks, driving ranges not associated with a golf course, libraries, miniature golf facilities, museums and parks. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as development within Planning Areas 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, and 52 of Specific Plan No. 342 occurs except that interim uses permitted in Section 13.1.A.(10), (11), (14), and (15); B.(1), (2), (3), (4), (8), (9), and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for the non-interim uses in Planning Areas 29, 30, 31, 32, 33, 34, 35, 37, 38, 39, 40, and 52 of Specific Plan No. 342 shall

be the same standards as those identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

(3) The development standards for the non-interim uses in Planning Area 36 of Specific Plan No. 342 shall be the same standards as those identified in Article VIIIe, Section 8.101 of Ordinance No. 348 except that the following development standard shall also apply:

A. There shall be no lighting other than shielded lighting located in parking areas.

(4) The development standards for the interim uses in Planning Areas 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, and 52 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(5) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIIIe and Article XIII of Ordinance No. 348.

c. Planning Areas 6, 9, 10, 15

(1) The uses permitted in Planning Areas 6, 9, 10, and 15 of Specific Plan No. 342 shall be the same as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses permitted in Section 8.1.A.(2), (3), (6), (7), (9), (11), (13), (14,) (15), (16), (17), (19), (20), (21), (22), (23), (24), (25), (27), and (28); B.; and C. shall not be permitted. In addition, the uses permitted in Section 8.1.A. shall include community association facilities, community gardens, playgrounds, temporary real estate tract offices located within a subdivision to be used only for and during the original sale of the subdivision, not to exceed five years. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as develop within Planning Areas 6, 9, 10, and 15 of Specific Plan No. 342 occurs except that interim

uses permitted in Section 13.1.A.(10), (11), (14), and (15); B.(1), (2), (3), (4), (8), (9), and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for detached one family residential development within Planning Areas 6, 9, 10, and 15 of Specific Plan No. 342 shall be the same standards as those identified in Article VIII, Section 8.2. of Ordinance No. 348 except that the development standards set forth in Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand (2,000') square feet with a minimum average width of thirty five feet (35') and a minimum average depth of fifty eight feet (58').

B. The front yard shall be not less than five feet (5'), measured from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard shall be not less than three feet (3'), except that second floor living space and balconies located in the rear yard shall be permitted within one foot (1') of the rear property line. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to

the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen-feet (18').

C. Side yards on interior and through lots shall be not less than four feet (4'). Side yards on corner and reverse corner lots shall not be less than five feet (5') from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure, upon which the main building sides.

D. In no case shall more than seventy-five percent (75%) of any lot be covered by a dwelling.

F. The height of buildings shall not exceed forty five feet (45').

In addition, the following development standards shall also apply:

AA. The minimum frontage of a lot shall be thirty five feet (35'), except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage of thirty feet (30').

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of one foot (1') into setbacks on one side so that one side still maintains a minimum four foot (4') setback. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of one foot (1') into setbacks. Cornices and canopies shall be allowed to encroach a maximum of one foot (1') into setbacks. Eaves shall be allowed to encroach a maximum of three feet (3') into setbacks. No second floor structural encroachments shall be permitted within one foot (1') of the rear property line. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. Applications for subdivisions for detached one family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited to, elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval. Planned Residential Development applications shall not be required.

DD. The minimum private open space area for each lot or dwelling shall be one hundred fifty (150) square feet with minimum dimensions of ten feet (10') by eight feet (8'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions.

EE. A minimum six foot (6') high screen wall shall be located adjacent to any lower density Planning Area within Specific Plan No. 342 or any residential zone outside the boundary of Specific Plan No. 342.

FF. Tandem garages are permitted.

(3) The development standards for attached multiple family residential development and non-residential development in Planning Areas 6, 9, 10, and 15 of Specific Plan No. 342 shall be the same as those standards identified in Article VIII, Section 8.2. of Ordinance No. 348 except that the development standards set forth in Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand (2,000') square feet with a minimum average width of thirty five feet (35') and a minimum average depth of fifty eight feet (58').

B. The front yard shall be not less than five feet (5'), measured from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the

proposed structure. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard shall be not less than three feet (3'), except that second floor living space and balconies located in the rear yard shall be permitted within one foot (l') of the rear property line. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen-feet (18').

C. Side yards on interior and through lots shall be not less than four feet (4'). Side yards on corner and reverse corner lots shall not be less than five feet (5') from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure, upon which the main building sides.

D. In no case shall more than seventy-five percent (75%) of any lot be covered by a dwelling.

F. The height of buildings shall not exceed forty five feet (45').

In addition, the following development standards shall also apply:

AA. The minimum frontage of a lot shall be twenty five feet (25'), except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage of twenty feet (20').

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of one foot (1') into setbacks on one side so that one side still maintains a minimum four foot (4') setback. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be

allowed to encroach a maximum of one foot (1') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. No second floor structural encroachments shall be permitted within one foot (1') of the rear property line. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot, dwelling, or dwelling unit on the ground floor shall be eighty (80) square feet with minimum dimensions of eight feet (8') by five feet (5'). The minimum private open space area for each lot, dwelling, or dwelling unit on second stories or greater shall be forty (40) square feet with minimum dimensions of seven feet (7') by four feet (4'). These minimum private open space areas and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions.

DD. A minimum six foot (6') high screen wall shall be located adjacent to any lower density zone.

EE. The maximum number of units within a building shall not exceed eighteen (18).

FF. Tandem garages are permitted.

(4) The development standards for the interim uses in Planning Areas 6, 9, 10, and 15 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(5) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII and Article XIII of Ordinance No. 348.

d. Planning Areas 1, 2, 3, 4, 5, 8, 11, 12, and 14.

(1) The uses permitted in Planning Areas 1, 2, 3, 4, 5, 8, 11, 12, and 14 of Specific Plan No. 342 shall be the same as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses permitted in Section 8.1.A. (1), (2), (3), (10), (11), (13), (14), (15), (17), (19), (20), (21), (24), (25), (27) and (28); B.(1), (2), and (3); and C. shall not be permitted. In addition, the uses permitted in Section 8.1.A. shall include community association facilities, community gardens, and temporary real estate tract offices located within a subdivision to be used only for and during the original sale of the subdivision, not to exceed a total of five years. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as development within Planning Areas 1, 2, 3, 4, 5, 8, 11, 12, and 14 of Specific Plan No. 342 occurs except that interim uses permitted in Section 13.1.A.(10), (11), (14), and (15); B.(1), (2), (3), (4), (8), (9) and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for detached multiple family residential development and non-residential development within Planning Areas 1, 2, 3, 4, 5, 8, 11, 12, and 14 of Specific Plan No. 342 shall be the same as those standards identified in Article VIII, Section 8.2. of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. There is no minimum lot area, average lot width or average lot depth.

B. The minimum front and rear building setbacks from exterior or interior streets and boundary lines shall be five feet (5'). The minimum front and rear building setbacks from interior private streets or driveways shall be five feet (5') as measured from the curb. Garages opening to the front or rear of lots shall be setback a minimum of three feet (3') from interior private streets or driveways or from the curb of an alley. Garages opening to the front or rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. The minimum side yard building setbacks from exterior or interior streets and boundary lines shall be five feet (5'). The minimum side yard building setback from an interior private streets or driveways shall be five feet (5') as measured from the curb. Garages opening to the side of lots shall be setback a minimum of three feet (3') from the interior private streets or driveways or from the curb of an alley. Garages opening to the side of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

D. In no case shall more than ninety-five percent (95%) of any lot be covered by a dwelling.

F. The height of buildings shall not exceed three (3) stories or fifty feet (50').

In addition, the following development standards shall also apply:

AA. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of one foot (1') into setbacks on one side so that one side still maintains a minimum four foot (4') setback. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings

shall be allowed to encroach a maximum of one foot (1') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

BB. The minimum private open space area for each lot, dwelling, or dwelling unit shall be fifty (50) square feet with minimum dimensions of six feet (6') by six feet (6'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

CC. The distance between buildings shall be no less than six feet (6').

DD. A minimum six foot (6') high screen wall shall be located adjacent to any lower density Planning Area within Specific Plan No. 342 or any residential zone outside the boundary of Specific Plan No. 342.

EE. Tandem garages are permitted.

(3) The development standards for the interim uses in Planning Areas 1, 2, 3, 4, 5, 8, 11, 12, and 14 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(4) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII and Article XIII of Ordinance No. 348.

e. <u>Planning Areas 7 and 13.</u>

(1) The uses permitted in Planning Areas 7 and 13 of Specific Plan No. 342 shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance

No. 348, except that the uses permitted in Section 6.1.B.(1) and (2); and C.(1) shall not be permitted. In addition, the uses permitted in Section 6.1.A. shall include multiple family dwellings, community association facilities, parks, community gardens, and temporary real estate tract offices located within a subdivision to be used only for and during the original sale of the subdivision, not to exceed five years. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as development within Planning Areas 7 and 13 occurs except that uses permitted in Section 13.1A. (10), (11), (14), and (15); B.(1), (2), (3, (4), (8), (9) and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for detached one family residential development within Planning Areas 7 and 13 of Specific Plan No. 342 shall be the same standards as those identified in Article VI, Section 6.2. of Ordinance No. 348 except that the development standards set forth in Article VI, Section 6.2. B., C., D., E., and G. shall be deleted and replaced, respectively, with each of the following:

B. Lot area shall be not less than two thousand eight hundred (2,800') square feet.

C. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

D. The minimum frontage of a lot shall be thirty five feet (35'), except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage of thirty feet (30').

E. The front yard shall be not less than eight feet (8'), measured from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach five feet (5') into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). Side yards on interior and through lots shall be not less than five feet (5'). Side yards on corner and reverse corner lots shall not be less than five feet (5') from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure, upon which the main building sides. The rear yard shall be not less than ten feet (10'), except that second floor living space and balconies located in the rear yard shall be permitted to encroach one foot (1') into the setback. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen-feet (18').

G. In no case shall more than sixty percent (60%) of any lot be covered by a dwelling footprint.

In addition, the following development standards shall also apply:

AA. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2½') into setbacks. At least one side of the

structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach a maximum of one foot (1') into setbacks. Eaves shall be allowed to encroach a maximum of three-feet (3') into setbacks. No second floor structural encroachments shall be permitted within one foot (1') of the rear property line. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

BB. The minimum private open space area for each lot or dwelling shall be two hundred (200') square feet with minimum dimensions of ten (10') feet by eight (8') feet. This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions.

CC. Applications for subdivisions for detached one family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited to, elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval. Planned Residential Development application shall not be required.

DD. Tandem garages are permitted.

(3) The development standards for attached multiple family residential development in Planning Areas 7 and 13 of Specific Plan No. 342 shall be subject to the standards set forth in Article VI, Section 6.2 of Ordinance No. 348 except that the standards set forth in Section Article VI, Section 6.2. B.,

C., D., E., and G. shall be deleted and replaced, respectively, with each of the following:

B. Lot area shall be not less than two thousand eight hundred (2,800') square feet.

C. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

D. The minimum frontage of a lot shall be thirty five (35') feet, except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage of thirty feet (30').

E. The front yard shall be not less than three feet (3'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). Side yards on interior and through lots shall be not less than five feet (5'). Side yards on corner and reverse corner lots shall not be less than five feet (5') from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure, upon which the main building sides. The rear yard shall be not less than three feet (3'), except that second floor living space and balconies located in the rear yard shall be permitted to encroach one foot (1') into the setback. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

G. In no case shall more than sixty percent (60%) of any lot be covered by a dwelling footprint.

In addition, the following development standards shall also apply:

AA. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2½') into setbacks. At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

BB. The minimum private open space area for each lot or dwelling shall be one hundred twenty (120') square feet with minimum dimensions of ten feet (10') by eight feet (8'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by dwelling unit.

CC. The distance between buildings shall be no less than six feet (6').

DD. Internal walkways shall be installed at a minimum width of four feet (4') between dwelling units and recreational areas.

EE. A minimum six foot (6') high screen wall shall be located adjacent to any lower density Planning Area within Specific Plan No. 342 or any residential zone outside the boundary of Specific Plan No. 342.

FF. Tandem garages are permitted.

GG. Applications for subdivisions for multiple family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited to, elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval. Planned Residential Development application shall not be required.

(4) The development standards for the interim uses in Planning Areas 7 and 13 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(5) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VI and Article XIII of Ordinance No. 348.

f. Planning Areas 16, 18, 19, 21, 22, and 23.

(1) The uses permitted in Planning Areas 16, 18, 19, 21, 22, and 23 of Specific Plan No. 342 shall be the same as those uses permitted in Article IX, Section 9.1 of Ordinance No. 348 except that the uses permitted in Section 9.1.A. (1), (6), (7), (17), (18), (19), (23), (29), (33), (42), (44), (54), (61), (72), (84), (92), and (93); B.(3), (4), (6), (7), (8), (9), (11.a), (13), (19), and (20); and D.(2), (3), (5), (6), (7), (9), (10), (11), (18), (19), and (20) shall not be permitted. In addition, used permitted in Section 9.1.A shall also include: art gallery, museum, library, coffee shops, community association facilities, growing produce for non-commercial use, hardware and home improvement centers, health and exercise centers, home occupations, one family dwellings,

multiple family dwellings, postal store, party supply stores, studios for fine arts, fire stations, and temporary real estate tract offices used only for and during the original sale of the subdivision not to exceed five years. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as development within Planning Areas 16, 18, 19, 21, 22, and 23 occurs except that interim uses permitted in Section 13.1A. (10), (11), (14), and (15); B.(1), (2), (3), (4), (8), (9) and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for detached one family residential development within Planning Areas 16, 18, 19, 21, 22, and 23 of Specific Plan No. 342 shall be the same standards as those identified in Article VIII, Section 8.2 of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800') square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages

opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall have no minimum setback requirement. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2.5') into setbacks. At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard

setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot or dwelling shall be one hundred (100) square feet with minimum dimensions of eight feet (8') by six feet (6'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than six feet (6').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and balconies shall be permitted within one foot (1') of the rear property line.

FF. Internal walkways shall be installed at a minimum width of four feet (4') between dwelling units and recreational areas.

GG. Tandem garages are permitted.

HH. Applications for subdivisions for detached one family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited to, elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval.

(3) The development standards for attached multiple family residential development and combined multiple family residential/non-residential development in Planning Areas 16, 18, 19, 21, 22, and 23 of Specific Plan No. 342 shall be subject to the standards set forth in Article VIII, Section 8.2 of Ordinance No. 348 except that the standards set forth in Section 8.2. A.,

B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800') square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall have no minimum setback requirement. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty-five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2.5'). At least one side of the

structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot, dwelling, or dwelling unit on the ground floor shall be eighty (80) square feet with minimum dimensions of eight feet (8') by five feet (5'). The minimum private open space area for each lot, dwelling, or dwelling unit on second stories or greater shall be forty (40) square feet with minimum dimensions of seven feet (7') by four feet (4'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than ten feet (10').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and balconies shall be permitted within one foot (1') of the rear property line.

FF. A minimum six foot (6') high screen wall shall be required for non-residential development that is located adjacent to any existing or potential detached one family residential development.

GG. Tandem garages are permitted.

(4) The development standards for non-residential development in Planning Areas 16, 18, 19, 21, 22, and 23 of Specific Plan No. 342 shall be the same as those standards identified in Article IX, Section 9.4 except that the development standards set forth in Article IX, Section 9.4 B. and C. shall be deleted and replaced, respectively, with each of the following:

B. Building setbacks from exterior streets and boundary lines shall be a minimum of ten feet (10'). Any portion of a building which exceeds forty feet (40') in height shall be set back from the front, rear, and side lot lines not less than one foot (1') for each foot by which the height exceeds forty feet (40').

C. Buildings shall not exceed fifty five feet (55') in height, with architectural projections allowed to extend to sixty feet (60') in height.

In addition, the following development standards shall also apply:

AA. There shall be no minimum distance required between buildings.

BB. Internal walkways shall be installed at a minimum width of four feet (4').

CC. A minimum six foot (6') high screen wall shall be required to be located adjacent to any existing or potential residential development.

(5) The development standards for the interim uses in Planning Areas 16, 18, 19, 21, 22, and 23 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(6) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII, Article IX and Article XIII of Ordinance No. 348.

g. Planning Area 17.

(1) The uses permitted in Planning Area 17 of Specific Plan No. 342 shall be the same as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses permitted in Section 8.1.A. (1), (2), (3), (10), (11), (13), (14), (15), (17), (19), (20), (21), (24), (25), (27) and (28); B.(1), (2), and (3); and C. shall not be permitted. In addition, the uses permitted in Section 8.1.A shall also include, brewery, distillery, winery, clinics, art gallery, museum, library, coffee shops, community recreation facilities, growing produce for non-commercial use, hardware and home improvement centers, health and exercise centers, non-commercial community association facilities, postal store, party supply stores, and studios for fine arts. In addition, the uses permitted in Section 8.1.B shall also include dance halls. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as development within Planning Area 17 occurs except that interim uses permitted in Section 13.1A. (10), (11), (14), and (15); B.(1), (2), (3, (4), (8), (9) and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for attached multiple family residential development and combined multiple family residential/non-residential

development in Planning Area 17 of Specific Plan No. 342 shall be subject to the standards set forth in Article VIII, Section 8.2 of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800) square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall be have no minimum setback requirement. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty-five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2½'). At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot, dwelling, or dwelling unit on the ground floor shall be eighty (80) square feet with minimum dimensions of eight feet (8') by five feet (5'). The minimum private open space area for each lot, dwelling, or dwelling unit on second stories or greater shall be forty (40) square feet with minimum dimensions of seven feet (7') by four feet (4'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than ten feet (10').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and

balconies shall be permitted within one foot (1') of the rear property line.

FF. A minimum six foot (6') high screen wall shall be required for non-residential development that is located adjacent to any existing or potential detached one family residential development.

GG. Tandem garages are permitted.

(3) The development standards for non-residential development in Planning Area 17 of Specific Plan No. 342 shall be the same as those standards identified in Article IX, Section 9.4 except that the development standards set forth in Article IX, Section 9.4 B. and C. shall be deleted and replaced, respectively, with each of the following:

B. Building setbacks from exterior streets and boundary lines shall be a minimum of ten feet (10'). Any portion of a building which exceeds forty feet (40') in height shall be set back from the front, rear, and side lot lines not less than one foot (1') for each foot by which the height exceeds forty feet (40').

C. Buildings shall not exceed fifty five feet (55') in height, with architectural projections allowed to extend to sixty feet (60') in height.

In addition, the following development standards shall also apply:

AA. There shall be no minimum distance required between buildings.

BB. Internal walkways shall be installed at a minimum width of four feet (4').

CC. A minimum six foot (6') high screen wall shall be required to be located adjacent to any existing or potential residential development.

(4) The development standards for the interim uses in Planning Areas 17 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(5) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII, Article IX and XIII of Ordinance No. 348.

h. Planning Area 20.

(1) The uses permitted in Planning Area 20 of Specific Plan No. 342 shall be the same as those uses permitted in Article IX, Section 9.1 of Ordinance No. 348 except that the uses permitted in Section 9.1.A.(29), (42), and (93); B. (4), (9), and (11.a); and D.(3), (7), (9), (10), (18), (19), and (20) shall not be permitted. In addition, the permitted uses in Section 9.1.A shall also include: body and fender shops, including spray painting, brewery, distillery, winery, clinics, art gallery, museum, library, coffee shops, community recreation facilities, growing produce for non-commercial use, hardware and home improvement centers, health and exercise centers, multiple family dwellings, non-commercial community association facilities, one family dwellings, postal store, party supply stores, pharmacy, studios for fine arts, jewelry sales and repair, manufacture and repair of electrical or electronic equipment, manufacture and repair of office and computing machines, appliance manufacture and repair, post offices, fire and police stations. In addition, the permitted uses in Section 9.1.D shall also include dance halls. In addition to the permitted uses provided above, uses permitted in Article XIII, Section 13.1 shall be permitted on an interim basis until such time as development within Planning Area 20 of Specific Plan No. 342 occurs except that interim uses permitted in Section 13.1A. (10), (11), (14), and (15); B.(1), (2), (3, (4), (8), (9), and (12); and C.(1) shall not be permitted. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a

use is subject to the permit process which governs the category in which it falls.

(2) The development standards for detached one family residential development within Planning Area 20 of Specific Plan No. 342 shall be the same standards as those identified in Article VIII, Section 8.2 of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2; A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800') square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall have no minimum setback requirement. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18 ').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs.

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2½') into setbacks. At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot or dwelling shall be one hundred (100') square feet with minimum dimensions of eight feet (8') by six feet (6'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than six feet (6').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and balconies shall be permitted within one foot (1') of the rear property line.

FF. Internal walkways shall be installed at a minimum width of four feet (4') between dwelling units and recreational areas.

GG. Tandem garages are permitted.

HH. Applications for subdivisions for detached one family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited, to elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval.

(3) The development standards for attached multiple family residential development and combined multiple family residential/non-residential development in Planning Area 20 of Specific Plan No. 342 shall be subject to the standards set forth in Article VIII, Section 8.2 of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2; A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800') square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall be have no minimum setback requirement. Garages opening to the rear of lots shall be setback a

minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs.

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2½'). At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot, dwelling, or dwelling unit on the ground floor shall be eighty (80) square feet with minimum dimensions of eight feet (8') by five feet (5'). The

minimum private open space area for each lot, dwelling, or dwelling unit on second stories or greater shall be forty (40) square feet with minimum dimensions of seven feet (7') by four feet (4'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than ten feet (10').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and balconies shall be permitted within one foot (1') of the rear property line.

FF. A minimum six foot (6') high screen wall shall be required for non-residential development that is located adjacent to any existing or potential detached one family residential development.

GG. Tandem garages are permitted.

(4) The development standards for non-residential development in Planning Area 20 of Specific Plan No. 342 shall be the same as those standards identified in Article IX, Section 9.4 except that the development standards set forth in Article IX, Section 9.4 B. and C. shall be deleted and replaced, respectively, with each of the following:

B. Building setbacks from exterior streets and boundary lines shall be a minimum of ten feet (10'). Any portion of a building which exceeds forty feet (40') in height shall be set back from the front, rear, and side lot lines not less than one foot for each foot by which the height exceeds forty (40') feet.

C. Buildings shall not exceed fifty five feet (55') in height, with architectural projections allowed to extend to sixty feet (60') in height.

In addition, the following development standards shall also apply:

AA. There shall be no minimum distance required between buildings.

BB. Internal walkways shall be installed at a minimum width of four feet (4').

CC. A minimum six foot (6') high screen wall shall be required to be located adjacent to any existing or potential residential development.

(5) The development standards for the interim uses in Planning Area 20 of Specific Plan No. 342 shall be the same standards as those identified in Article XIII, Section 13.2 of Ordinance No. 348.

(6) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII, Article IX and Article XIII of Ordinance No. 348.

i. Planning Areas 24 and 25.

(1) The uses permitted in Planning Areas 24 and 25 of Specific Plan No. 342 shall be the same as those uses permitted in Article IXd, Section 9.72 of Ordinance No. 348. except that the use permitted in Section 9.72.B.(6) shall not be permitted. In addition, the uses permitted in Section 9.72.A shall also include ambulance services, antique shops, art supply shops and studios, auction houses, auditoriums, conference rooms, automobile parts and supply store, auto repair garages, not including body and fender shops or spray painting, bakery goods distributor, bakery shops, barber and beauty shops, bicycle shops, blueprint and duplicating services, boat and marine sales, book stores, bowling alleys, brewery, distillery, winery, building materials sales yard, catering services, ceramic sales and manufacturing (not including outdoor storage and display), dry cleaning shops, clinics, clothing stores,

coffee shops, market and food stores including wholesale, community recreation facilities, confectionary and candy stores, convenience stores with no gas sales, costume design studios, day care centers, delicatessens, department stores, drug stores, fine art studios, non-drive-in movie theaters, tire sales and services but not capping, tobacco stores, toy stores, tourist centers, storage within an enclosed building for boats, trailers and recreational vehicles, travel agencies, truck and trailer sales and rentals, vehicle and motorcycle repair shops, dry goods stores, employment agencies, equipment rental services, feed and grain stores, fishing and casting pools, florist shops, food market, gasoline service stations (not including sales of beer and wine), gift shops, golf cart sales and service, growing produce for non-commercial use, hardware and home improvement centers, health and exercise centers, hobby shops, household goods sales and repair, ice cream shops, restaurants including drive-in and take-out restaurants, post offices, fire and police stations, parcel delivery services, interior decorating stores, laundromats, leather good stores, locksmith shops, mortuaries, music stores, novelty stores, nursery and garden supply stores, paint and wall paper stores, party supply stores, pawn shops, pet stores, pharmacy, photograph shops and studios, plumbing shops, recording studios, radio and television studios, recycling collection facilities, business and professional schools, shoe stores including repair, sporting goods stores, stained glass assembly, stationary stores, tailor shops; stations for buses, railroad and taxi; dental, medical, research and testing laboratories, manufacturing and repair of the following: office and computing machines, jewelry, electrical equipment and systems, television and radio equipment, photographs, data processing equipment, appliances, lighting fixtures, and self-storage facilities. In addition, the uses permitted in Section 9.72.B shall also include animal hospitals, bars and

cocktail lounges, billiard and pool halls, auto body and fender shops including spray painting, car and truck washes, dance halls, drive-in theaters, and automobile service stations with or without the concurrent sale of beer and wine for off-premises consumption. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) Except for self-storage facilities, the development standards for Planning Areas 24 and 25 of Specific Plan No. 342 shall be the same as those standards identified in Article IXd, Section 9.73 except that the development standard set forth in Section 9.73.C. shall be deleted and replaced, respectively, with the following:

C. The height of buildings and structures shall not exceed forty feet (40'). Architectural elements such as spires, minarets, chimneys or similar structures may exceed this height limitation up to an additional ten feet (10'). The architectural elements shall not provide additional floor space.

(3) The development standards for self-storage facilities within Planning Areas 24 and 25 of Specific Plan No. 342 shall be the same as those standards identified in Article XVIII, Section 18.46.D.

In addition, the following development standard shall also apply:

AA. The height of buildings and structures shall not exceed forty feet (40'). Architectural elements such as spires, minarets, chimneys or similar structures may exceed this height limitation up to an

additional ten feet (10'). The architectural elements shall not provide additional floor space.

(4) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article IXd of Ordinance No. 348.

j. Planning Areas 26, 27, 28, and 43

(1) The uses permitted in Planning Areas 26, 27, 28 and 43 of Specific Plan No. 342 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348, except that the uses permitted in Section 8.100.A.(1), (2), and (8), shall not be permitted. In addition, the uses permitted in Section 8.100.A. shall include amphitheaters with non- acoustic amplifications and shielded lighting, community theaters and arboretums, libraries, museums, parks, community gardens, and schools. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) If a school is not constructed in Planning Area 26, then the uses permitted in Planning Area 26 shall be the same as those permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses permitted in Section 8.1.A.(2), (3), (6), (7), (9), (11), (13), (14,) (15), (16), (17), (19), (20), (21), (22), (23), (24), (25), (27), and (28); B.; and C. shall not be permitted. In addition, the uses permitted in Section 8.1.A. shall include community association facilities, community gardens, playgrounds, temporary real estate tract offices located within a subdivision to be used only for and during the original sale of the subdivision, not to exceed five years. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director –

Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(3) If a school is not constructed in Planning Area 27, then the uses permitted in Planning Area 27 shall be the same as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses permitted in Section 8.1.A. (1), (2), (3), (10), (11), (13), (14), (15), (17), (19), (20), (21), (24), (25), (27) and (28); B.(1), (2), and (3); and C. shall not be permitted. In addition, the uses permitted in Section 8.1.A. shall include community association facilities, community gardens, and temporary real estate tract offices located within a subdivision to be used only for and during the original sale of the subdivision, not to exceed a total of five years. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(4) If a school is not constructed in Planning Area 28, then the uses permitted in Planning Area 28 shall be the same as those uses permitted in Article IX, Section 9.1 of Ordinance No. 348 except that the uses permitted in Section 9.1.A. (1), (6), (7), (17), (18), (19), (23), (29), (33), (42), (44), (54), (61), (72), (84), (92), and (93); B.(3), (4), (6), (7), (8), (9), (11.a), (13), (19), and (20); and D.(2), (3), (5), (6), (7), (9), (10), (11), (18), (19), and (20) shall not be permitted. In addition, used permitted in Section 9.1.A shall also include: art gallery, museum, library, coffee shops, community association facilities, growing produce for non-commercial use, hardware and home improvement centers, health and exercise centers, home occupations, one family dwellings,

multiple family dwellings, postal store, party supply stores, studios for fine arts, fire stations, and temporary real estate tract offices used only for and during the original sale of the subdivision not to exceed five years. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(5) If a school is constructed in Planning Areas 26, 27, 28 and 43, the development standards for the uses set forth in subsection h.(1) above within Planning Areas 26, 27, 28, and 43 of Specific Plan No. 342 shall be the same standards as those identified in Article VIIIe, Section 8.101 of Ordinance No. 348 except that the development standards set forth in Article VIIIe, Section 8.101.B. shall be deleted.

(6) If a school is not constructed in Planning Area 26, the development standards for detached one family residential development within Planning Area 26 of Specific Plan No. 342 shall be the same standards as those identified in Article VIII, Section 8.2. of Ordinance No. 348 except that the development standards set forth in Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand (2,000') square feet with a minimum average width of thirty five feet (35') and a minimum average depth of fifty eight feet (58').

B. The front yard shall be not less than five feet (5'), measured from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Garages opening to the front of lots shall be

setback a minimum of eighteen feet (18'). The rear yard shall be not less than three feet (3'), except that second floor living space and balconies located in the rear yard shall be permitted within one foot (l') of the rear property line. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen-feet (18').

C. Side yards on interior and through lots shall be not less than four feet (4'). Side yards on corner and reverse corner lots shall not be less than five feet (5') from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure, upon which the main building sides.

D. In no case shall more than seventy-five percent (75%) of any lot be covered by a dwelling.

F. The height of buildings shall not exceed forty five feet (45').

In addition, the following development standards shall also apply:

AA. The minimum frontage of a lot shall be thirty five feet (35'), except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage of thirty feet (30').

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of one foot (1') into setbacks on one side so that one side still maintains a minimum four foot (4') setback. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of one foot (1') into setbacks.

Cornices and canopies shall be allowed to encroach a maximum of one foot (1') into setbacks. Eaves shall be allowed to encroach a maximum of three feet (3') into setbacks. No second floor structural encroachments shall be permitted within one foot (1') of the rear property line. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. Applications for subdivisions for detached one family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited to, elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval. Planned Residential Development applications shall not be required.

DD. The minimum private open space area for each lot or dwelling shall be one hundred fifty (150) square feet with minimum dimensions of ten feet (10') by eight feet (8'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions.

EE. A minimum six foot (6') high screen wall shall be located adjacent to any lower density Planning Area within Specific Plan No. 342 or any residential zone outside the boundary of Specific Plan No. 342.

FF. Tandem garages are permitted.

(7) If a school is not constructed in Planning Area 26, the development standards for attached multiple family residential development and non-residential development in Planning Area 26 shall be the same as those standards identified in Article VIII, Section 8.2. of Ordinance No. 348 except that the

development standards set forth in Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand (2,000') square feet with a minimum average width of thirty five feet (35') and a minimum average depth of fifty eight feet (58').

B. The front yard shall be not less than five feet (5'), measured from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard shall be not less than three feet (3'), except that second floor living space and balconies located in the rear yard shall be permitted within one foot (1') of the rear property line. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen-feet (18').

C. Side yards on interior and through lots shall be not less than four feet (4'). Side yards on corner and reverse corner lots shall not be less than five feet (5') from the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure, upon which the main building sides.

D. In no case shall more than seventy-five percent (75%) of any lot be covered by a dwelling.

F. The height of buildings shall not exceed forty five feet (45').

In addition, the following development standards shall also apply:

AA. The minimum frontage of a lot shall be twenty five feet (25'), except that lots fronting on knuckles or cul-de-sacs shall have a minimum frontage of twenty feet (20').

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of one foot (1') into setbacks on one side so that one side still maintains a minimum four foot (4') setback. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of one foot (1') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. No second floor structural encroachments shall be permitted within one foot (1') of the rear property line. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot, dwelling, or dwelling unit on the ground floor shall be eighty (80) square feet with minimum dimensions of eight feet (8') by five feet (5'). The minimum private open space area for each lot, dwelling, or dwelling unit on second stories or greater shall be forty (40) square feet with minimum dimensions of seven feet (7') by four feet (4'). These minimum private open space areas and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions.

DD. A minimum six foot (6') high screen wall shall be located adjacent to any lower density zone.

EE. The maximum number of units within a building shall not exceed eighteen (18).

FF. Tandem garages are permitted.

(8) If a school is not constructed in Planning Area 27, the development standards for detached multiple family residential development and non-residential development within Planning Area 27 of Specific Plan No. 342 shall be the same as those standards identified in Article VIII, Section 8.2. of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. There is no minimum lot area, average lot width or average lot depth.

B. The minimum front and rear building setbacks from exterior or interior streets and boundary lines shall be five feet (5'). The minimum front and rear building setbacks from interior private streets or driveways shall be five feet (5') as measured from the curb. Garages opening to the front or rear of lots shall be setback a minimum of three feet (3') from interior private streets or driveways or from the curb of an alley. Garages opening to the front or rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. The minimum side yard building setbacks from exterior or interior streets and boundary lines shall be five feet (5'). The minimum side yard building setback from an interior private streets or driveways shall be five feet (5') as measured from the curb. Garages opening to the side of lots shall be setback a minimum of three feet (3') from the interior private streets or driveways or from the curb of an alley. Garages opening to the side of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

D. In no case shall more than ninety-five percent (95%) of any lot be covered by a dwelling.

F. The height of buildings shall not exceed three (3) stories or fifty feet (50').

In addition, the following development standards shall also apply:

AA. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of one foot (1') into setbacks on one side so that one side still maintains a minimum four foot (4') setback. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of one foot (1') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

BB. The minimum private open space area for each lot, dwelling, or dwelling unit shall be fifty (50) square feet with minimum dimensions of six feet (6') by six feet (6'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

CC. The distance between buildings shall be no less than six feet (6').

DD. A minimum six foot (6') high screen wall shall be located adjacent to any lower density Planning Area within Specific Plan No. 342 or any residential zone outside the boundary of Specific Plan No. 342.

EE. Tandem garages are permitted.

(9) If a school is not constructed in Planning Area 28, the development standards for detached one family residential development within Planning Area 28 of Specific Plan No. 342 shall be the same standards as those identified in Article VIII, Section 8.2 of Ordinance No. 348 except that the development standards set forth in Article VIII, Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800') square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall have no minimum setback requirement. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2.5') into setbacks. At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot or dwelling shall be one hundred (100) square feet with minimum dimensions of eight feet (8') by six feet (6'). This minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than six feet (6').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and balconies shall be permitted within one foot (1') of the rear property line.

FF. Internal walkways shall be installed at a minimum width of four feet (4') between dwelling units and recreational areas.

GG. Tandem garages are permitted.

HH. Applications for subdivisions for detached one family residential development shall also submit a plot plan application which will include the conceptual design of dwellings including, but not limited to, elevations and floorplans. The plot plan shall also include the design of any other common buildings and facilities for conceptual design approval.

(10) If a school is not constructed in Planning Area 28, the development standards for attached multiple family residential development and combined multiple family residential/non-residential development in Planning Area 28 of Specific Plan No. 342 shall be subject to the standards set forth in Article VIII, Section 8.2 of Ordinance No. 348 except that the standards set forth in Section 8.2. A., B., C., D., and F. shall be deleted and replaced, respectively, with each of the following:

A. Lot area shall be not less than two thousand eight hundred (2,800') square feet. The minimum average width of each lot shall be forty feet (40') and the minimum average depth shall be seventy feet (70').

B. The front yard shall be not less than ten feet (10'), measured from the exterior door to the existing street right of way or from any future street right of way as shown on any specific plan of highways, whichever is nearer to the proposed structure. Porches in the front of the structure may encroach into the front yard setback. Garages opening to the front of lots shall be setback a minimum of eighteen feet (18'). The rear yard and second floor living space and balconies located in the rear yard shall have no minimum setback requirement. Garages opening to the rear of lots shall be setback a minimum of three feet (3') from the existing street right of way, from any future street right of way, as shown on any specific plan of highways, or

from the curb of an alley. Garages opening to the rear of lots shall not be set back greater than five feet (5'), unless the setback exceeds eighteen feet (18').

C. Side yards shall have no setback requirements.

D. There shall be no maximum lot coverage.

F. The height of buildings shall not exceed fifty-five feet (55').

In addition, the following development standards shall also apply:

AA. There shall be no minimum frontage of a lot including lots fronting on knuckles or cul-de-sacs

BB. Fireplaces, media niches, bay windows, porches, window boxes, and similar architectural features shall be allowed to encroach a maximum of two and one half feet (2.5'). At least one side of the structure shall maintain a four foot (4') setback regardless of encroachments. Media niches shall be a maximum of eight feet (8') in width. Stairways and landings shall be allowed to encroach a maximum of three feet (3') into setbacks. Cornices and canopies shall be allowed to encroach with no maximum requirement into setbacks. Eaves shall be allowed to encroach with no maximum requirement into setbacks. Second floor structural encroachments shall be permitted with no maximum setback. No other structural encroachments shall be permitted in the front, rear or side yard setback except as provided for in Section 18.19 of Ordinance No. 348.

CC. The minimum private open space area for each lot, dwelling, or dwelling unit on the ground floor shall be eighty (80) square feet with minimum dimensions of eight feet (8') by five feet (5'). The minimum private open space area for each lot, dwelling, or dwelling unit on second stories or greater shall be forty (40) square feet with minimum dimensions of seven feet (7') by four feet (4'). This

minimum private open space area and dimensions shall be relatively flat and not encumbered by retaining walls, slopes, or other obstructions. Open space may be located on rooftop if accessible directly by unit.

DD. The distance between buildings shall be no less than ten feet (10').

EE. The minimum building setback from interior roads, drives, and alleys shall be three feet (3'), except that second floor living space and balconies shall be permitted within one foot (1') of the rear property line.

FF. A minimum six foot (6') high screen wall shall be required for non-residential development that is located adjacent to any existing or potential detached one family residential development.

GG. Tandem garages are permitted.

(11) If a school is not constructed in Planning Area 28, the development standards for non-residential development in Planning Area 28 of Specific Plan No. 342 shall be the same as those standards identified in Article IX, Section 9.4 except that the development standards set forth in Article IX, Section 9.4 B. and C. shall be deleted and replaced, respectively, with each of the following:

B. Building setbacks from exterior streets and boundary lines shall be a minimum of ten feet (10'). Any portion of a building which exceeds forty feet (40') in height shall be set back from the front, rear, and side lot lines not less than one foot (1') for each foot by which the height exceeds forty feet (40').

C. Buildings shall not exceed fifty five feet (55') in height, with architectural projections allowed to extend to sixty feet (60') in height.

In addition, the following development standards shall also apply:

AA. There shall be no minimum distance required between buildings.

BB. Internal walkways shall be installed at a minimum width of four feet (4').

CC. A minimum six foot (6') high screen wall shall be required to be located adjacent to any existing or potential residential development.

(12) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIII, Article VIIIe and Article IX of Ordinance No. 348.

k. Planning Areas 44A and 44B

(1) The uses permitted in Planning Areas 44A and 44B of Specific Plan No. 342 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348, except that the uses permitted in Section 8.100.A.(1), (2), and (8) shall not be permitted. In addition, the uses permitted in Section 8.100.A. shall include water treatment and storage facilities. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for Planning Areas 44A and 44B of Specific Plan No. 342 shall be the same standards as those identified in Article VIIIe, Section 8.101 of Ordinance No. 348 except that the development standards set forth in Article VIIIe, Section 8.101.B. shall be deleted.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIIIe of Ordinance No. 348.

l. Planning Areas 45A, 45B, 45C, 45D, 45E, 47A, 47B, 47C, 50C, 50I, and 51.

(1) The uses permitted in Planning Areas 45A, 45B, 45C, 45D, 45E, 47A, 47B, 47C, 50C, 50I, and 51 of Specific Plan No. 342 shall be the same as those

uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348, except that the uses permitted in Section 8.100.A.(1),(2), and (8); B.(1); and C.(1) shall not be permitted. In addition, the uses permitted in Section 8.100.A. shall include lakes, including noncommercial fishing. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for Planning Areas 45A, 45B, 45C, 45D, 45E, 47A, 50C, 47B, 47C, 50I, and 51 of Specific Plan No. 342 shall be the same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article VIIIe of Ordinance No. 348.

m. Planning Areas 41A, 48, and 49

(1) The uses permitted in Planning Areas 41A, 48, and 49 of Specific Plan No. 342 shall be the same as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348 except that the uses permitted in Section 13.1.A. (11), (14), and (15); B.(1), (2), (3), (4), (8), (9), and (12); C.(1) shall not be permitted. In addition, the uses permitted in Section 8.100.A. shall include lakes, including noncommercial fishing, parks, and community gardens.

(2) The development standards for Planning Areas 41A, 48 and 49 of Specific Plan No. 342 shall be the same as those standards identified in Article XIII, Section 13.2 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article XIII of Ordinance No. 348.

n. Planning Area 41B

(1) The uses permitted in Planning Area 41B of Specific Plan No. 342 shall be the same as those uses permitted in Article XIII, Section 13.1 of Ordinance No. 348 except that the uses permitted in Section 13.1.A. (11), (14), and (15); B.(1), (2), (3), (4), (8), (9), and (12); C.(1) shall not be permitted. In addition, the uses permitted in Section 8.100.A. shall include lakes, including noncommercial fishing, parks, and community gardens. Any use that is not specifically listed herein may be considered a permitted or conditionally permitted use provided that the Assistant TLMA Director – Community Development finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

(2) The development standards for Planning Area 41B of Specific Plan No. 342 shall be the same as those standards identified in Article XIII, Section 13.2 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article XIII of Ordinance No. 348.

o. Planning Areas 42, 46A, 46B, 46C, and 46D

(1) The uses permitted in Planning Areas 42, 46A, 46B, 46C, and 46D of Specific Plan No. 342 shall be the same as those uses permitted in Article XVI, Section 16.2 of Ordinance No. 348 except that the uses permitted in Section 16.2.A.(1), (2), (3), (4), (6), and (7); B.; C.; D. and E. shall not be permitted. In addition, the uses permitted in Section 16.2.C. shall include public water facilities.

(2) The development standards for Planning Areas 42, 46A, 46B, 46C and 46D of Specific Plan No. 342 shall be the same as those standards identified in Article XI, Section 11.4 of Ordinance No. 348.

(3) Except as provided above, all other zoning requirements shall be the same as those requirements identified in Article XVI and XI of Ordinance No. 348."

Section 3. This ordinance shall take affect 30 days after its adoption.

BOARD OF SUPERVISORS OF THE COUNTY
OF RIVERSIDE, STATE OF CALIFORNIA

By: _____
Chairman, Board of Supervisors

ATTEST: KECIA HARPER-IHEM
CLERK TO THE BOARD

By: _____
(Deputy)

(SEAL)

APPROVED AS TO FORM:
December 5, 2017

By _____
MICHELLE CLACK
Supervising Deputy County Counsel

STATE OF CALIFORNIA)
) ss
COUNTY OF RIVERSIDE)

I HEREBY CERTIFY that at a regular meeting of the Board of Supervisors of said county held on December 12, 2017, the foregoing ordinance consisting of 3 Sections was adopted by the following vote:

AYES:	Jeffries, Tavaglione, Perez and Ashley
NAYS:	None
ABSENT:	Washington

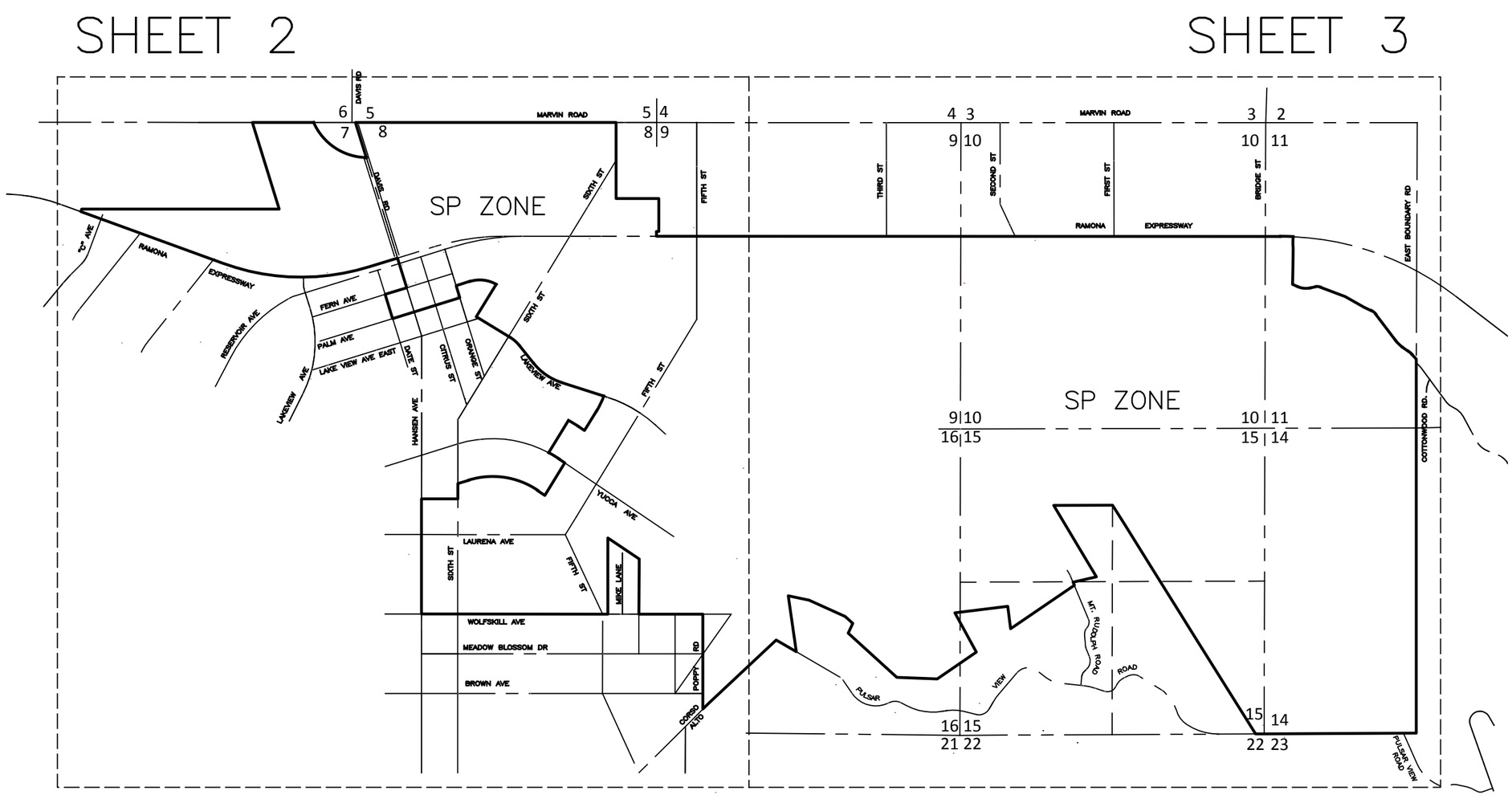
DATE: December 12, 2017

KECIA HARPER-IHEM
Clerk of the Board
BY: _____ Deputy

SEAL

Item 3.38

LAKEVIEW,
NUEVO, HOMELAND, JUNIPER FLATS AND NORTH PERRIS ZONING AREAS
SECTIONS 7, 8, 9, 10, 11, 14, 15, 16 & 17, T.4S.,R.2W.
RANCHO SAN JACINTO NUEVO



INDEX MAP
SCALE: 1"=2000'

ASSESSOR'S PARCEL NUMBERS

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425–140–006 thru 012,
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thru 006, 425–170–011 thru 022, 425–170–027 thru 031,
425–170–033 thru 036, 425–180–001 & 002,
425–190–001 & 002, 425–190–009, 425–190–016,
425–230–004 thru 014, 425–230–017 & 018.
425–230–020 thru 022,
425–240–001 thru 005, 425–240–010,
425–240–015 thru 018 & 024
425–250–017 & 018
425–260–010, 012, 014 & 016,
426–020–009 & 013, 426–030–002 thru 007,
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426–040–001 thru 004, 426–040–007,
426–050–001 thru 003, 426–050–009,
426–071–001 thru 003,
426–084–004 thru 006, 426–085–004 thru 006,
426–101–003 & 004
426–102–004 thru 006
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426–200–052 & 053
426–390–001 & 002, 426–400–015.

LEGEND

SP ZONE — SPECIFIC PLAN (SP 342)
MAP NO. 2.2422
MAP NO. 17.107
MAP NO. 55.040

CHANGE OF OFFICIAL ZONING PLAN
AMENDING
MAP NO. 2 ORDINANCE NO. 348
AND
HEMET–SAN JACINTO AND PERRIS RESERVOIR DISTRICTS

CHANGE OF ZONE CASE NO. 07055
ADOPTED BY ORDINANCE NO. 348.4876
ADOPTION DATE: DECEMBER 12, 2017
RIVERSIDE COUNTY BOARD OF SUPERVISORS

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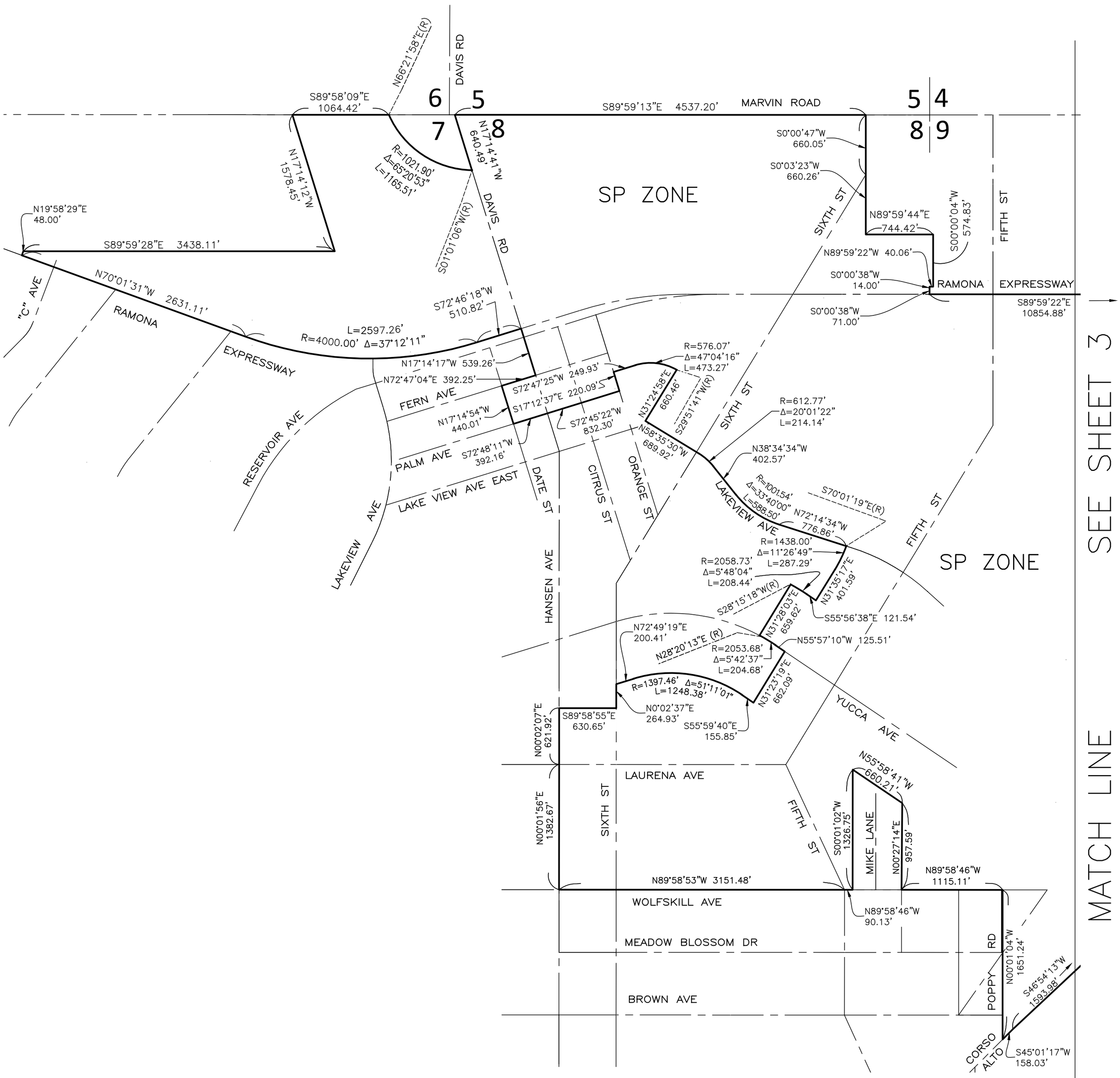
LAKEVIEW,
NUEVO, HOMELAND, JUNIPER FLATS AND NORTH PERRIS ZONING AREAS
SECTIONS 7, 8, 9, 10, 11, 14, 15, 16 & 17, T.4S.,R.2W.
RANCHO SAN JACINTO NUEVO



ASSESSOR'S PARCEL NUMBERS

425–100–002 & 015, 425–120–002, 425–120–005,
425–120–007 thru 012, 425–140–001 & 002,
425–140–006 thru 012,
425–160–002, 003 thru 008, 425–170–001
thru 006, 425–170–011 thru 022, 425–170–027 thru 031,
425–170–033 thru 036, 425–180–001 & 002,
425–190–001 & 002, 425–190–009, 425–190–016,
425–230–004 thru 014, 425–230–017 & 018.
425–230–020 thru 022,
425–240–001 thru 005, 425–240–010,
425–240–015 thru 018 & 024
425–250–017 & 018
425–260–010, 012, 014 & 016,
426–020–009 & 013, 426–030–002 thru 007,
426–030–009 thru 013, 426–030–016 thru 018,
426–040–001 thru 004, 426–040–007,
426–050–001 thru 003, 426–050–009,
426–071–001 thru 003,
426–084–004 thru 006, 426–085–004 thru 006,
426–101–003 & 004
426–102–004 thru 006
426–103–003 & 004
426–150–008, 015 thru 017, 019, 020, 023, 025 & 027
426–160–003, 007, 426–160–020 thru 022, 426–160–024
thru 031, portion 034, 035 & 036
426–200–013 thru 018, 022 thru 032, 034 thru 036
426–200–052 & 053
426–390–001 & 002, 426–400–015.

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LEGEND

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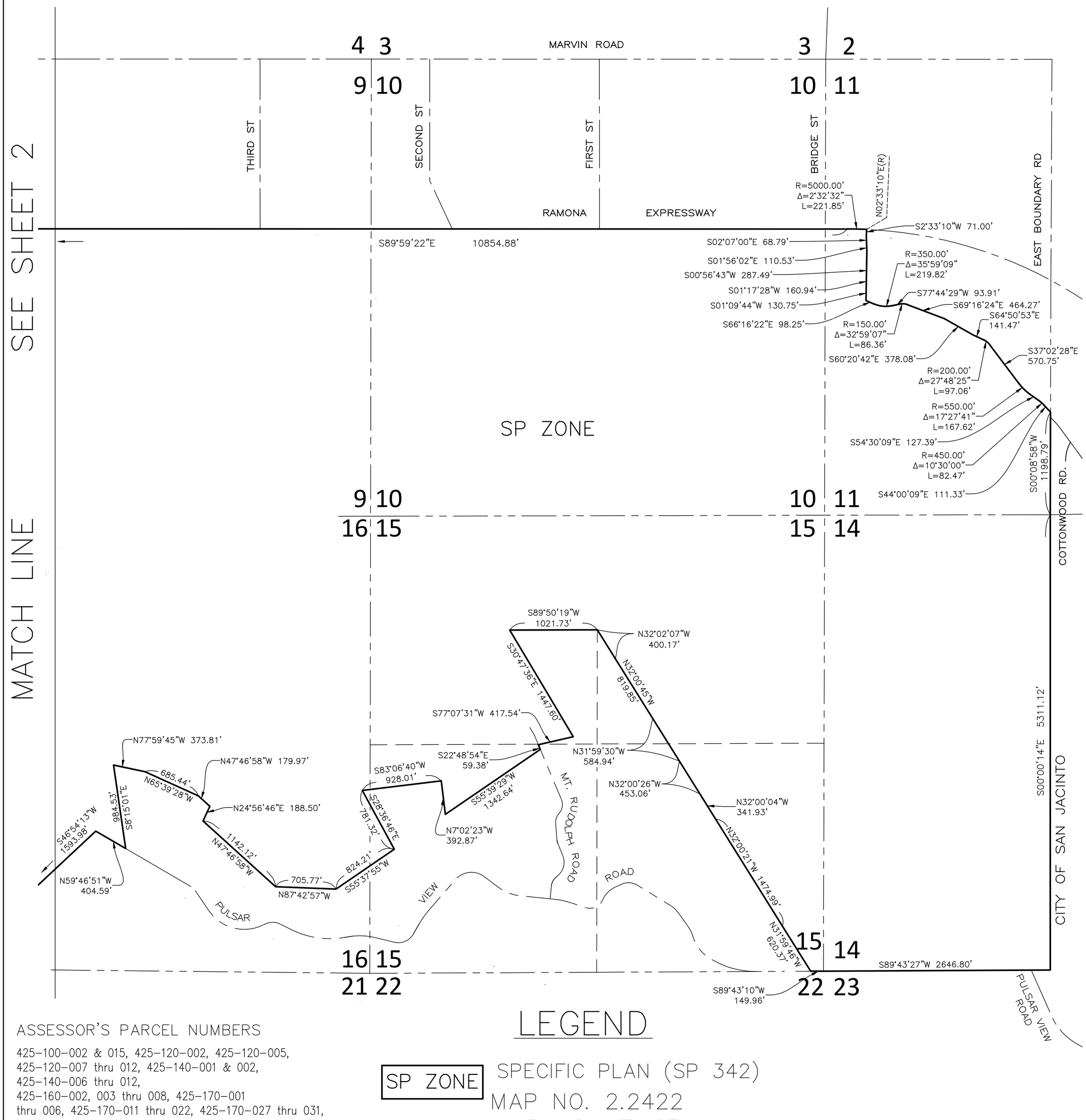

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425–120–007 thru 012, 425–140–001 & 002,
425–140–006 thru 012,
425–160–002, 003 thru 008, 425–170–001
thru 006, 425–170–011 thru 022, 425–170–027 thru 031,
425–170–033 thru 036, 425–180–001 & 002,
425–190–001 & 002, 425–190–009, 425–190–016,
425–230–004 thru 014, 425–230–017 & 018.
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425–240–001 thru 005, 425–240–010,
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