

7. Colors should generally be lighter for the basic building façade with darker/brighter colors used as accents, unless the natural color of the materials used is left unchanged.
8. County-Adopted Standards – (See Appendix A)

Prohibited Materials

The following materials are prohibited throughout the specific plan area, unless otherwise approved by Planning Commission:

1. Mirrored, highly reflective, or dark tinted glass comprising more than 50 percent of any building face.
2. Wood shake roofs and siding, or other highly flammable materials
3. County-Adopted Standards – (See Appendix A)

h. Accessory Structures

Accessory structures related to a commercial or resort uses shall be designed in a style and of materials consistent with the style and materials of the primary commercial structure(s).

4. Public Facilities

Public facilities within the BSA Properties Specific Plan include public utility facilities, a local park and roads. Public facilities shall meet the following planning standards:

1. Above-ground utility facilities such as vaults and tanks shall be landscaped to reduce visual impacts.
2. The park shall be developed per Valleywide Park and Recreation District development standards.
3. Public roads shall be constructed to County of Riverside standards and be landscaped per the Landscaping section above.

5. Landscape Design Guidelines

a. Landscape Concept

The community landscape concept for the BSA Specific Plan will help to establish and define the various land use elements of the community as it develops over time. It will create a design vocabulary of both built features and landscape plant materials that will

give an overall community identity. The landscape design concept is based on the rural ranch historic setting, in which the project is located as well as its natural setting and environment. The landscape concept includes:

1. A system of hierarchical project entries that will announce the overall project, its neighborhoods, and commercial uses. These entries will define the project theme and provide a system of “way-finding” for the project visitor as well as community resident and user.
2. Landscape designs for residential streetscapes will require regular street-tree placement creating a unifying element within neighborhoods and shade along the streets and sidewalks. Front yard landscaping is required that is attractive and sustainable. Front yard trees shall be in a minimum 24-inch box.
3. Informal landscape treatments for the commercial areas that will provide visibility and function while relating to the architectural theme.
4. The protection of natural and cultural resources.
5. Subtle transitions between landscape themes and a blending between informal landscaped areas and natural vegetation.
6. Local pedestrian facilities to encourage pedestrian activity, transit use, park access, and open space viewing potential.
7. Conservation of water through the use of reclaimed water and drought-tolerant plant materials where possible.
8. Adequate fuel modification zones for protection from wildland fires.

These landscape design concepts have been incorporated into the BSA Properties Landscape Concept Plan, which is shown on Figure 27.

b. Entry Treatments

Entry treatments provide the first impression of community character. Entries should convey the district sense of arrival and express community themes. Primary and Secondary community entry locations are shown on Figure 6. Primary Entries are located at intersections with major offsite roads, such as along Highway 79 and at Beeler Road and Street “A”. Secondary Entries are located at key entrances to individual planning areas. See County-adopted standards – Appendix A.

Primary Entries

The Primary Entry concept is illustrated on Figure 24. The Primary Entries are located at the major intersections of project arterials with Highway 79. These entries include project signs, a low community theme wall to allow

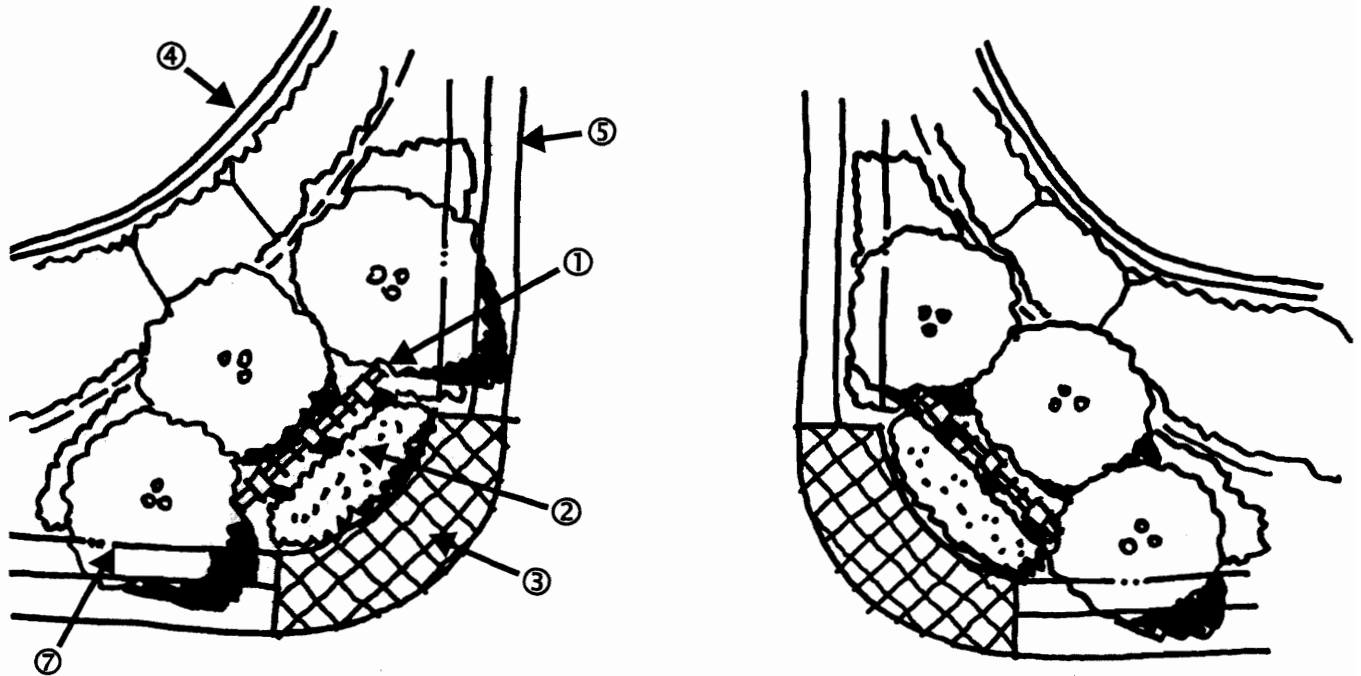
visibility into the development, groupings of vertical evergreen theme trees, such as Brazilian Peppers, and enriched concrete paving that will be repeated at key locations throughout the specific plan.

Secondary Entries

The Secondary Entry concept is illustrated on Figure 25. Secondary Entries provide access into residential neighborhoods and commercial developments along BSA Properties' major internal streets. An arbor flanks each side of the residential entries. As depicted on Figure 26, the Entry Arbor is pedestrian in scale and also may include individual neighborhood or development signage. Where possible, these entries will occur in a symmetrical configuration on both sides of the roadway. The Secondary Entries include similar planting and hardscapes as the Primary Entries to provide a cohesive community landscape experience through repeated materials and design elements.

c. Streetscape Design

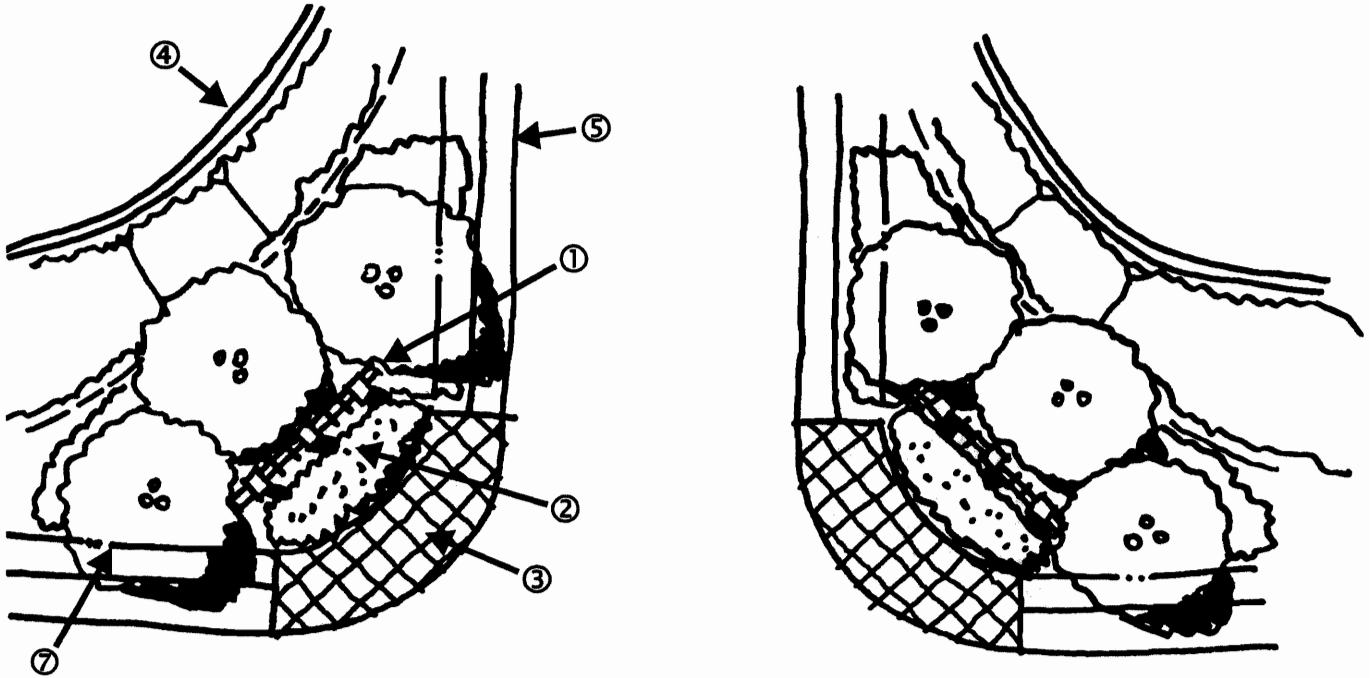
Three different sizes of streets occur within the BSA Properties vehicular system with multiple landscape conditions along the main internal road. The first roadway type is Highway 79. The second is along all 100-foot arterial roads where the landscape treatments vary depending on adjacent land uses. The third landscape treatment is along local streets within residential developments. Typical sections and plantings for these roads are shown on Figures 27 and 28. The individual streetscape concepts and associated roadway classifications are described in the following subsections.



LEGEND

- ① Project Signage
- ② Color Bed
- ③ Enriched Concrete Paving
- ④ Community Wall (Max. height 3 feet)
- ⑤ Sidewalk
- ⑥ Shrubs or Groundcover
- ⑦ Brazilian Pepper Trees

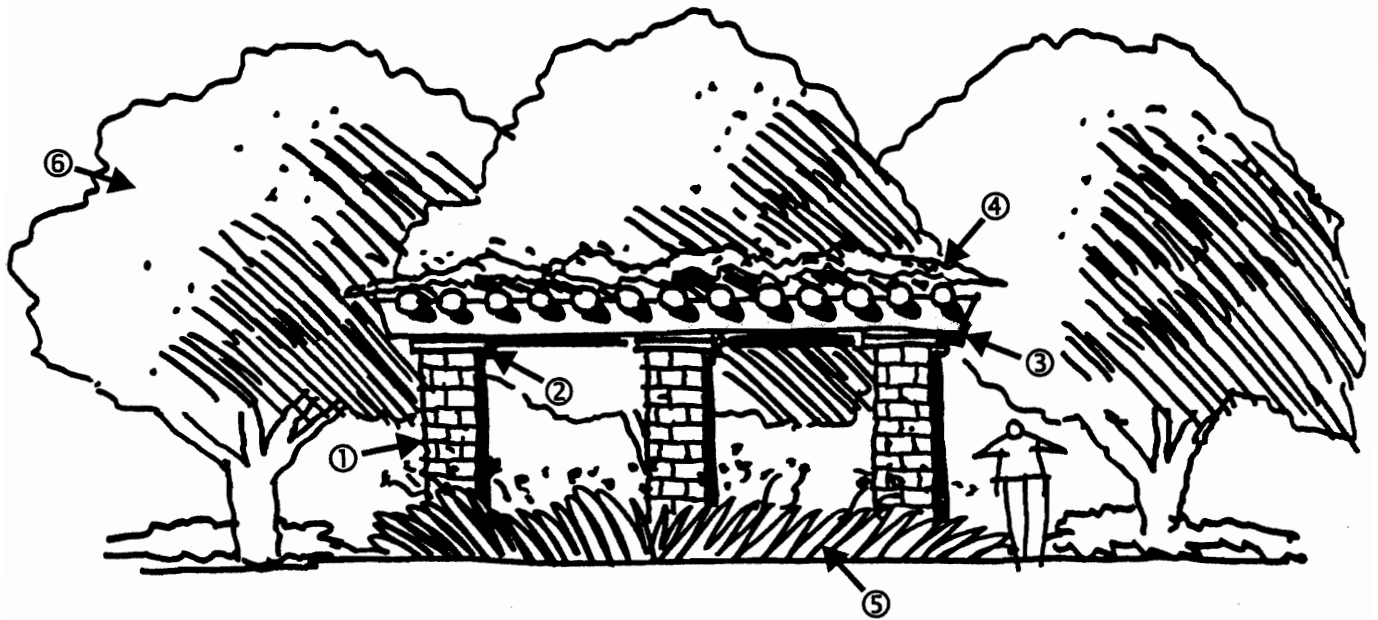
Primary Entry- Figure 24



LEGEND

- ① Entry Arbor or Project Signage
- ② Color Bed
- ③ Enriched Concrete Paving
- ④ Community Wall
- ⑤ Sidewalk
- ⑥ Shrubs or Groundcover
- ⑦ Pepper Trees

Secondary Entry- Figure 25



LEGEND

- ① 32" Sq. Slumpstone Pilaster w/ White Washed Grout Sacked Finish
- ② Concrete Cap
- ③ Wood Arbor Structure
- ④ Flowering Vines
- ⑤ Color Bed
- ⑥ Pepper Trees

Residential Entry Arbor - Figure 26

Highway 79 Streetscape Design

Major views of the project are afforded from Highway 79. These views are especially important to the proposed retail commercial uses to be located along the highway. This corridor also unites the northern and southern components of the Specific Plan. In order to enhance these views and reinforce the unity of the project, the streetscape character will be one of informal groupings or masses of trees separated by more open windows of turf, shrubs and flowering groundcover. A pedestrian walk will meander through the landscape setback area with connections into the commercial center encouraged. Adjacent parking areas should be screened from view with shrub masses or low walls. See also County-adopted standards – Appendix A.

Arterials - 100' ROW Streetscape Designs

Three major conditions exist along the arterial streets within the project. Portions of these roads front commercial and resort uses, residential tracts, and open space areas. The commercial areas will have sidewalks, informal groupings of street trees and no walls to allow for visibility from the street into the developments. The residential frontage will have slightly more formal spacing of trees with sidewalks and a wall at the rear of the landscape area. The stretches of Street A located adjacent to the open space areas within Planning Areas 7 and 8 will include the informal plantings and sidewalks similar to the commercial streetscape with an open fence, such as wrought iron, at the rear of the landscaped area. See also County-adopted standards – Appendix A.

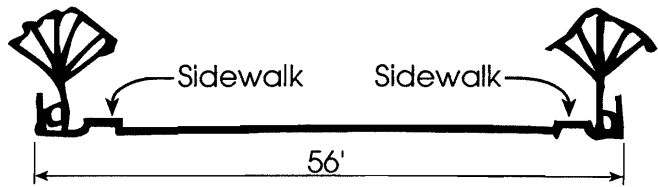
Local Streets – 56' ROW Streetscape Design

The local streets create unified neighborhood landscape themes. Each street is planted continuously with uniform tree species that are related to the overall community theme. The 56-foot right-of-way consists of a 36-foot paved way, with ten-foot landscaped parkways and four-foot sidewalks on both sides of the street. The parkways will feature evergreen canopy trees located 30-feet on center. See also County-adopted District 3 standards – Appendix A.

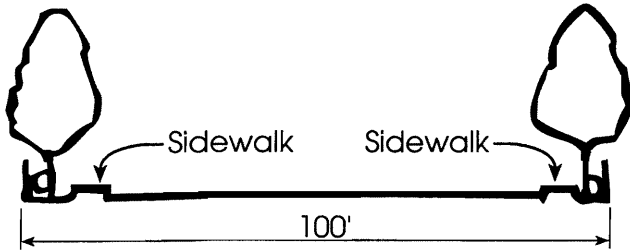
The Valleywide Park and Recreation District or an owners association shall maintain all public rights-of-way and required landscape areas. All manufactured slopes adjacent to the parkways shall not exceed 2:1 in slope gradient, and will be landscaped to prevent erosion, as described in Section V.C.5.e, Slope Treatments.

d. Conceptual Park Plan

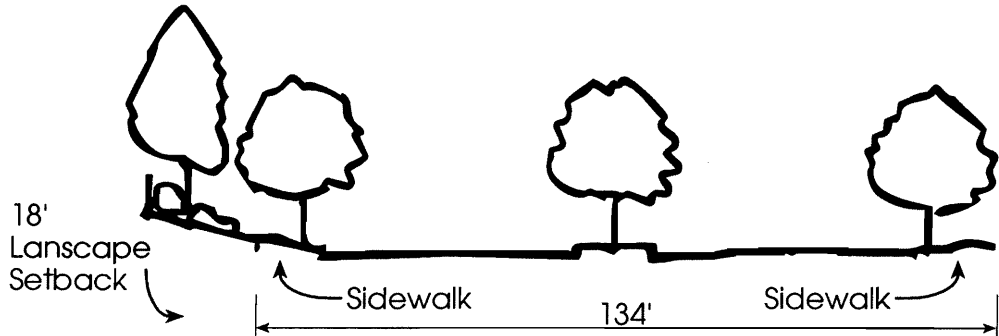
A 5-acre park is proposed within the residential areas of the BSA Properties Specific Plan. The park is proposed to include a baseball field, hard court areas for basketball or tennis, tot lots and picnic tables. Figure 29 illustrates a concept design for the park. The park will be developed in accordance with the standards and requirements of Valleywide Park and Recreation District.



56' Local Street
 Prunus C. 'Frauter Vesuvius'
 Flowering Plum
 Rhus Lancea
 African Sumac



100' Secondary Highway
 Fraxinus O. Raywood
 Raywood Ash
 Platanus Acerifolia
 London Plane Tree
 Quercus Ilex
 Holly Oak



134' R.O.W.
 Eucalyptus Species
 Eucalyptus
 Schinus Molle
 California Pepper
 Platanus Acerifolia
 London Plane Tree
 Quercus Ilex
 Holly Oak

Prepared for:

BSA PROPERTIES

SPECIFIC PLAN Landscape Master Plan

October 2001

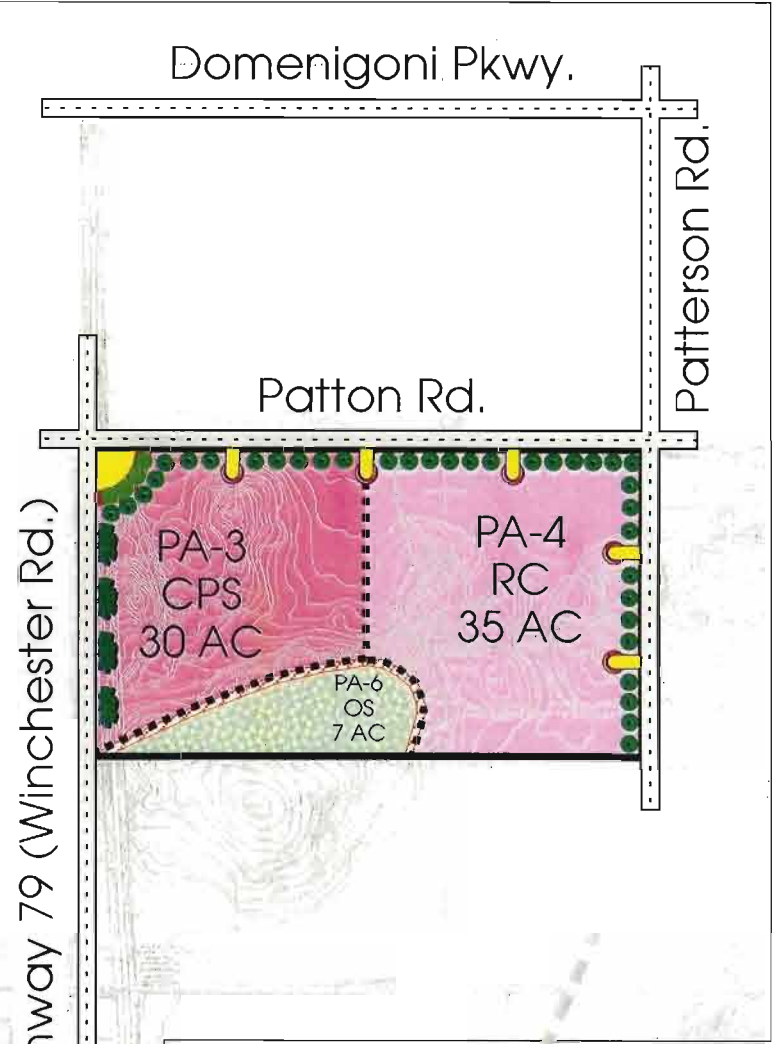
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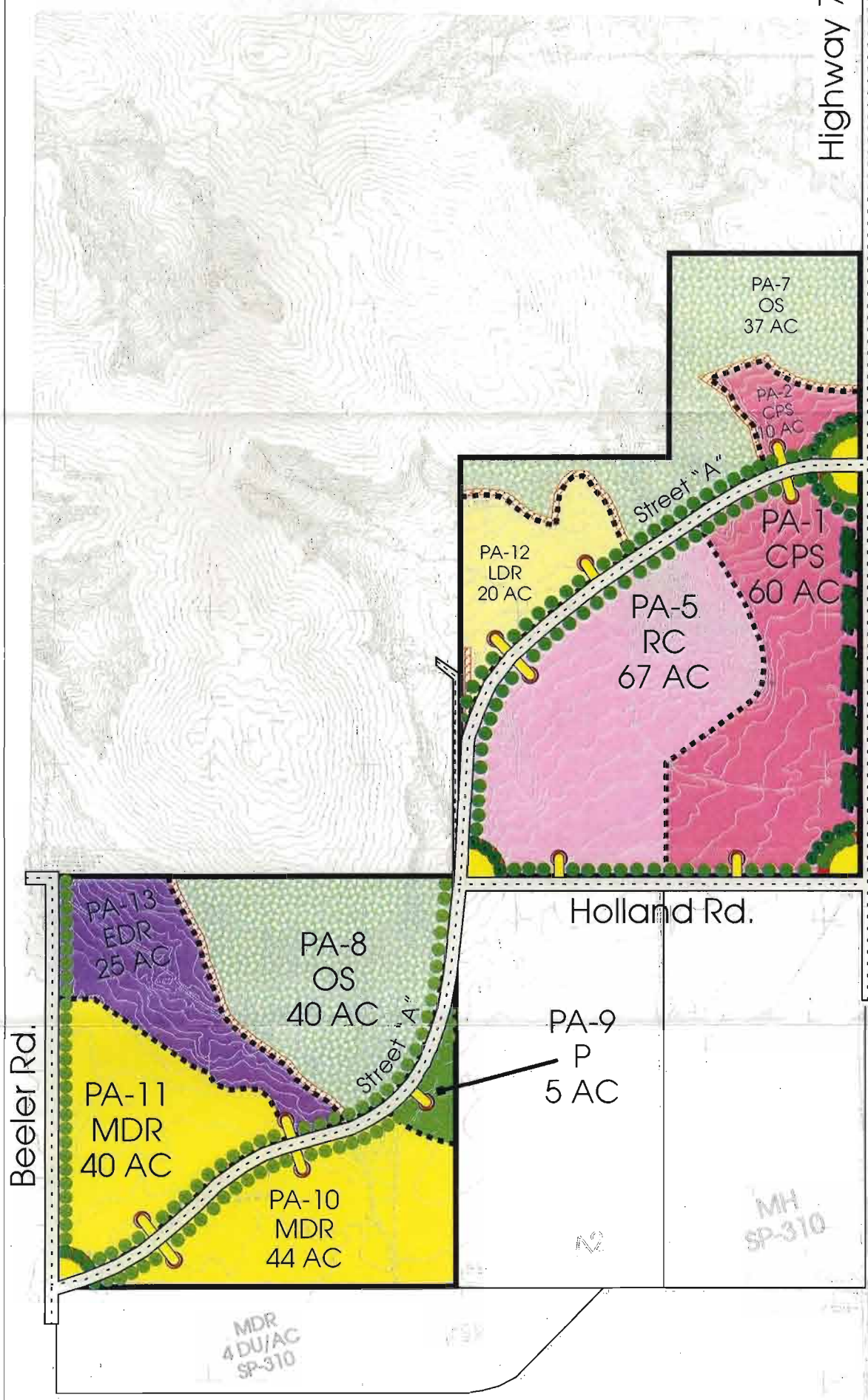
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MEMBER A.S.L.A. - CA REGISTRATION #2651



Highway 79 (Winchester Rd.)



LEGEND

- Entries**
- Primary Project Entry
 - Secondary Project Entry
 - Neighborhood Entry

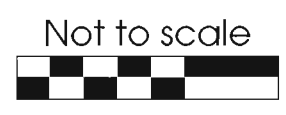
- Street Tree Master Plan**
- Patton, Beeler, Holland and "A" Streets
 - Fraxinus O. Raywood
 - Raywood Ash
 - Platanus Acerifolia
 - London Plane Tree
 - Quercus Ilex
 - Holly Oak
 - Highway 74 (Winchester Road)
 - Eucalyptus Species
 - Eucalyptus
 - Schinus Molle
 - California Pepper
 - Platanus Acerifolia
 - London Plane Tree
 - Quercus Ilex
 - Holly Oak
 - Interior Streets
 - Prunus C. 'Frauter Vesuvius'
 - Flowering Plum
 - Rhus Lancea
 - African Sumac

Figure 28

BSA PROPERTIES

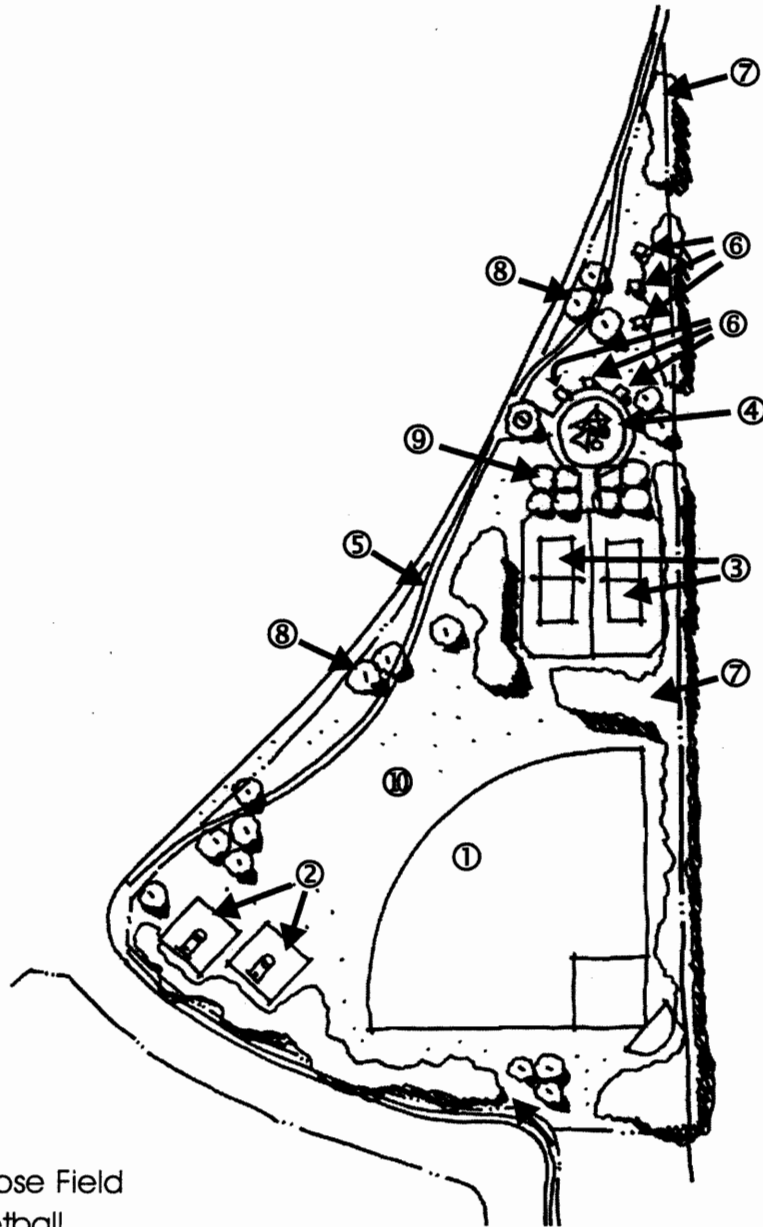
SPECIFIC PLAN Landscape Master Plan

October 2001





Not to Scale



LEGEND

- ① 240' Baseball/Multi-Purpose Field
- ② Two (2) Half Court Basketball
- ③ Two (2) Tennis Courts (w/ lighting)
- ④ Tot Lot (w/ Play-mat Surface)
- ⑤ Sidewalk
- ⑥ Picnic Tables
- ⑦ Vertical Evergreen Trees
- ⑧ Deciduous Accent Trees
- ⑨ Accent Tree Bosque
- ⑩ Open Turfgrass

Park Concept Plan- Figure 29

e. Slope Treatments

The slope treatments are drawn from the surrounding landscape character of the native hillsides adjacent to the site. These slopes are intended to “blend” into this surrounding context. The slope planting will create an informal landscape theme. Plant material should be selected to coordinate in color and texture. The major slope areas will be planted with material of varying heights and character in order to provide a layering effect. Side yard slopes will be planted with a less extensive plant palette. Important views are framed with trees, while less attractive views are screened.

Slope stabilization, erosion control and maintainability, are the primary concerns of manufactured slope areas. The following are design guidelines that will be addressed during detailed design development.

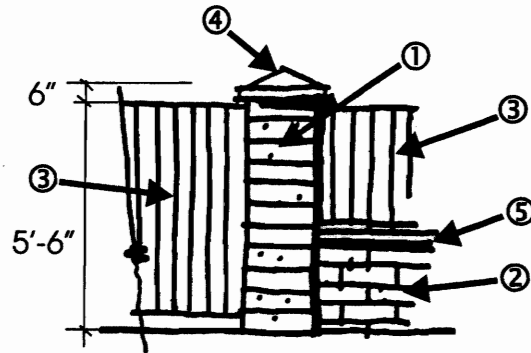
1. All graded and compacted slopes over 4 feet in height with slopes between 1 and 1.5 horizontal to 1 vertical shall be planted prior to final inspection.
2. Groundcovers shall be provided through either hydroseed or plantings from cuttings.
3. Water conserving plants shall be utilized where feasible.
4. All slopes (private interior or common) shall be designed and planted to the County of Riverside’s Landscape Maintenance District standards.
5. All replanted natural slopes shall conform to the Fuel Modification requirements described in Section V.C.6.

f. Walls and Fences

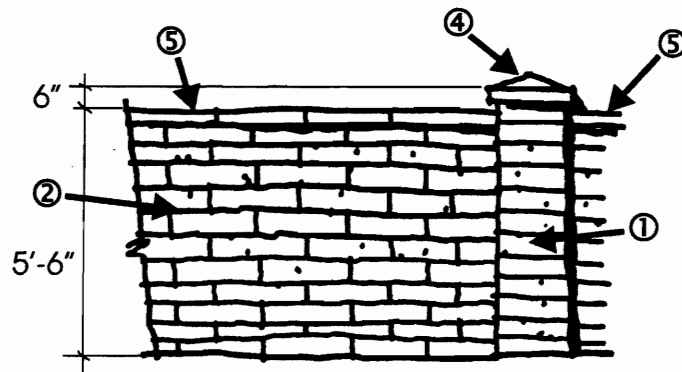
The wall and fence system of BSA Properties creates a distinctive character reminiscent of refined, well-established communities throughout southern California. These walls reinforce the community architectural character. Continuity of materials and details provide a cohesive architectural theme throughout the community. All wall and fence materials, textures, and colors should be selected to complement the design style of the community architectural theme and shall be approved at the time of precise site plan approvals. See also County-adopted standards – Appendix A.

Theme Wall

The community theme wall creates a distinctive rural theme that is incorporated into the community entry monumentation and is also used to define neighborhood edges. The community theme wall is located on rear and side property boundaries along BSA Properties arterials and collector streets, and between different land uses. The wall consists of slumpstone block with a height of five-feet six inches, including concrete cap. The community theme wall includes pilasters with concrete caps, having a maximum height of six feet. An example of the theme wall is shown on Figure 30.



Low Wall Condition

**LEGEND**

- ① 16" Sq. Slumpstone Pilaster w/ White Washed Grout Sacked Finish
- ② Slumpstone Wall w/ White Washed Grout Sacked Finish
- ③ Tubular Steel Fencing
- ④ Concrete Cap
- ⑤ Concrete Wall Cap

Wall/Fence Concept- Figure 30

Theme View Fence

Open community theme view fencing will consist of wrought iron or tubular steel with concrete pilasters in the community theme or masonry block pilasters. Open fencing is typically utilized on hillside slopes, in rear yards where view preservation is desirable, and at the rear of streetscape landscaping adjacent to Planning Areas 7, 8, and 12. This feature consists of a five-foot, six-inch fence with six-foot pilasters located at property corners, and other significant points. A section of theme view fencing is shown on Figure 30. In instances where some privacy is desired while retaining a view, a two-foot, six-inch high section of wall with a two-foot, six-inch high section of tubular steel fence may be used, as shown on Figure View fencing adjacent to arterial streets shall meet noise attenuation standards as identified in a noise study performed at the time of subdivision map. Alternative materials to meet the standards may be approved by the County.

Neighborhood Walls and Fences

Within residential neighborhoods, a variety of wall and fence styles are available. Side and rear yard privacy walls may be of precast concrete, decorative block and cap, or masonry block with stucco finish and concrete cap. The overall wall height shall not exceed six feet.

Perimeter Fencing

Perimeter walls or fences shall be required for all residential developments, with design and materials to be approved at the time of precise site plan review. Also, to prevent intrusion into the adjacent open space areas, perimeter fencing shall be required at the toe of the natural slope adjacent to all planning areas. In the interim condition where agricultural uses may still exist as development occurs, such perimeter fencing of the agricultural areas may be chainlink, at a height no less than 6 feet for residential uses, and wood fencing at a height no less than 6 feet for residential uses..

g. Lighting

The community lighting system shall be designed and located in a manner, which is compatible with the rural character of the area *and in accordance with Riverside County Ordinance 655*. The community lighting system shall adequately illuminate and provide for the safety of vehicular and pedestrian movement. Landscape lighting shall be unobtrusive, and shielded to prevent glare.

The use of lighting, which highlights architectural or landscape features, shall be encouraged. Such lighting should be designed so that it does not fall on adjacent properties. Entry monument lighting will be limited to low-level lights designed to highlight the monuments and make the project names readable.

See also County-adopted standards – Appendix A.

h. Landscape Planting Palette

The following plant list outlines the plant materials necessary to reinforce the rural landscape theme described above. This list provides the species to be utilized for the selection of plant materials for entry statements, streetscapes, and slopes.

**LANDSCAPE PLANT PALETTE
FOR HIGHWAY 79, ARTERIALS AND COMMON AREAS**

TREES - EVERGREEN

<u>Botanical Name</u>	<u>Common Name</u>
Acacia bowline	Bailey Acacia
Ceratonia siliqua	Carob
Eucalyptus citriodora	Lemon Scented Gum
Eucalyptus polyanthemos	Silver Dollar Gum
Eucalyptus sideroxylon "Rosea"	Red Iron Bark
Eucalyptus viminalis	White Gum
Magnolia grandiflora	Southern Magnolia
Olea europaea "fruitless"	Fruitless Olive
Pinus canariensis	Canary Island Pine
Pinus eldarica "Mondell"	Mondell Pine
Pinus halepensis	Aleppo Pine
Podocarpus gracilior	Fern Pine
Quercus agrifolia	California Live Oak
Rhus lancea	African Sumac
Schinus molle	California Pepper
Ulmus parvifolia "Drake"	Evergreen Elm

TREES - DECIDUOUS

<u>Botanical Name</u>	<u>Common Name</u>
Albizia julibrissin	Mimosa Tree
Alnus rhombifolia	White Alder
Bauhinia variegata	Purple Orchid Tree
Cercis occidentalis	Redbud
Gleditsia triacanthos	Honey Locust
Jacaranda acutifolia	Jacaranda
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore

PALMS

<u>Botanical Name</u>	<u>Common Name</u>
Phoenix canariensis	Canary Island Date Palm
Phoenix dactylifera	Date Palm
Washingtonia robusta	Mexican Fan Palm

**LANDSCAPE PLANT PALETTE
FOR HIGHWAY 79, ARTERIALS AND COMMON AREAS**

SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
Abelia grandiflora	Edward Goucher Abelia “Edward Goucher”
Acacia redolens	NCN
Agapanthus africanus	Lily of the Nile
Agave americana	Century Plant
Agave attenuata	NCN
Aloe species	NCN
Arctostaphylos species	Manzanita
Atriplex semibaccata	Creeping Saltbush
Baccharis pilularis	Coyote Bush
Callistemon citrinus	Lemon Bottlebrush
Ceanothus species	California Lilac
Dendromecon rigida	Bush Poppy
Cistus species	Rockrose
Cocculus laurifolius	Snailseed
Coprosma kirkii	Creeping coprosma
Cotoneaster species	Cotoneaster
Cordyline australis	Cordyline
Echium fastuosum	Pride of Madiera
Eleagnus pungens	Silver Berry
Fremontia californicum	California fremontia “California Glory”
Grevillea “Canberra”	Grevillea
Hebe coed	Veronica
Hemerocallis species	Day Lily
Heteromeles arbutifolia	Toyon
Hibiscus rosa-sinensis	Chinese Hibiscus
Ilex species	Holly
Juniperus spp.	Juniper
Kniphofia uvaria	Red Hot Poker
Lavatera assurgentiflora	Tree Mallow
Mahonia nevinii	Nevin Mahonia
Mimulus cardinalis	Monkey Flower
Moraea bicolor	Fortnight Lily
Myoporum parvifolium	Myoporum
Myrtus communis	True Myrtle
Nerium oleander var.	Oleander
Penstemon species	Beard Tongue
Phormium tenax	Flax
Photinia fraseri	Photinia
Pittosporum tobira	Mock Orange “Wheelers Dwarf”
Plumbago capensis	Cape Plumbago
Pyracantha “Santa Cruz”	Pyracantha
Raphiolepis Indica	Pink Indian Hawthorne “Springtime”
Rhamus alaternus	Italian Buckthorn

LANDSCAPE PLANT PALETTE ENTRIES, STREETS AND COMMON AREAS

SHRUBS (con't.)

<u>Botanical Name</u>	<u>Common Name</u>
Rhus integrifolia	Lemonade Berry
Rhus Ovata	Sugar Bush
Ribes sanguineum	Pink Winter Current
Rosmarinus officinalis "Prostrate"	Rosemary
Santolina species	Santolina
Xylosma congestum	NCN

VINES

<u>Botanical Name</u>	<u>Common Name</u>
Ficus pumila	Creeping Fig
Jasminum polyanthum	Pink Jasmine
Lonicera japonica	Japanese Honeysuckle
Pathenocissus tricuspidata	Bosom Ivy

GROUND COVERS

<u>Botanical Name</u>	<u>Common Name</u>
Acacia redolens "Prostrata"	Ungerup Acacia *
Baccharis pilularis "Twin Peaks"	Coyote Bush
Ceanothus griseus horizontalis	Carmel Creeper *
Duchesnea indica	Indian Mock Strawberry
Gazania species "Mitsuwa Yellow"	Gazania "Mitsuwa Yellow"
Rosmarinus officinalis "Prostrate"	Rosemary *
Vinca major and minor	Periwinkle

* Plant with a nurse crop

LANDSCAPE PALETTE FOR INTERIOR RESIDENTIAL STREETS AND FEATURE TREES

Evergreen

<u>Botanical Name</u>	<u>Common Name</u>
Cedrus deodara	Deodar Cedar
Cinnamomum camphora	Camphor Tree
Cupaniopsis anacardioides	Carrot Wood
Eucalyptus sideroxylon	Red Iron Bark "Rosea"
Magnolia grandiflora	Southern Magnolia
Pinus canariensis	Canary Island Pine
Pinus halepensis	Aleppo Pine
Podocarpus gracilior	Fern Pine
Quercus ilex	Holly Oak
Schinus terebinthi folius	Brazilian Pepper
Tristania conferta	Brisbane Box
Ulmus parviflora "Drake"	Evergreen Elm

Deciduous

<u>Botanical Name</u>	<u>Common Name</u>
Gleditsia triacanthos	Honey Locust
Lagerstroemia indica	Crape Myrtle
Liriodendron tulipifera	Tulip Tree
Jacaranda acutifolia	Jacaranda
Platanus acerifolia "Bloodgood"	London Pine Tree