

# **French Valley**

## **Specific Plan No. 312 Amendment No. 2**

*Prepared for:*

**County of Riverside**  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-3200

*Developed by:*

**Riverside Mitland 03, LLC**  
3200 Park Center Drive, Suite 1000  
Costa Mesa, CA 92626  
Contact: Adrian Peters

*Prepared by:*

**T&B Planning, Inc.**  
17542 East 17<sup>th</sup> Street, Suite 100  
Tustin, CA 92780  
(714) 505-6360  
Contact: Joel Morse

Job Number: 292-097

February 2017

## TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
<b>I. Summary .....</b>	<b>I-1</b>
A. Project History.....	I-1
B. Summary of Changes .....	I-1
<b>II. Introduction.....</b>	<b>II-1</b>
A. Document Purpose.....	II-1
1. <i>Specific Plan Format</i> .....	II-1
B. Project Summary .....	II-2
C. Project Location and Setting .....	II-3
1. <i>Project Location</i> .....	II-3
2. <i>Surrounding Land Uses and Development</i> .....	II-5
3. <i>Regional Circulation</i> .....	II-5
4. <i>Physical Site Conditions</i> .....	II-8
D. Discretionary Actions and Approval .....	II-8
<b>III. Specific Plan .....</b>	<b>III.A-1</b>
A. Development Plans and Standards .....	III.A-1
1. <i>Planning Objectives</i> .....	III.A-1
2. <i>Specific Plan Land Use Plan</i> .....	III.A-2
3. <i>Circulation Plan</i> .....	III.A-11
4. <i>Drainage Plan</i> .....	III.A-16
5. <i>Water and Sewer Plans</i> .....	III.A-19
6. <i>Open Space and Recreation Plan</i> .....	III.A-25
7. <i>Grading Plan</i> .....	III.A-30
8. <i>Public Facility Sites and Project Phasing</i> .....	III.A-32
9. <i>Landscaping Plan</i> .....	III.A-36
10. <i>Comprehensive Maintenance Plan</i> .....	III.A-37
B. Planning Area Development Standards.....	III.B-1
1. <i>Planning Area 1: Open Space-Conservation</i> .....	III.B-4
2. <i>Planning Areas 2A-D: Open Space-Water (Drainage)</i> .....	III.B-6
3. <i>Planning Area 3A: Open Space-Water (Detention Basin)</i> .....	III.B-12
4. <i>Planning Area 3B: Open Space-Water (Detention Basin)</i> .....	III.B-13
5. <i>Planning Area 3C: Open Space-Water (Retention/WQMP Basin)</i> .....	III.B-14
6. <i>Planning Area 3D: Open Space-Water (Retention/WQMP Basin)</i> .....	III.B-15
7. <i>Planning Area 3E: Open Space-Water (Retention/WQMP Basin)</i> .....	III.B-17
8. <i>Planning Area 5: Medium Density Residential (6,000 s.f. lots)</i> .....	III.B-20
9. <i>Planning Area 6: Medium Density Residential (6,000 s.f. lots)</i> .....	III.B-21
10. <i>Planning Area 7: Medium Density Residential (8,000 s.f. lots)</i> .....	III.B-22



<u>SECTION</u>	<u>PAGE</u>
11. Planning Area 8: Open Space-Recreation (Park).....	III.B-24
12. Planning Area 9: Medium Density Residential (6,000 s.f. lots).....	III.B-25
13. Planning Area 10: Medium Density Residential (7,200 s.f. lots).....	III.B-27
14. Planning Area 11: Medium Density Residential (6,000 s.f. lots).....	III.B-28
15. Planning Area 12: Medium Density Residential (7,200 s.f. lots).....	III.B-29
16. Planning Area 13: Medium Density Residential (6,000 s.f. lots).....	III.B-30
17. Planning Area 14: Medium Density Residential (6,000 s.f. lots).....	III.B-31
18. Planning Area 15: Open Space-Recreation.....	III.B-32
19. Planning Area 16: Open Space-Recreation (Park).....	III.B-34
20. Planning Area 17A: Medium Density Residential (6,000 s.f. lots).....	III.B-35
21. Planning Area 17B: Medium Density Residential (7,200 s.f. lots).....	III.B-36
22. Planning Area 18A: Open Space-Recreation (Park).....	III.B-37
23. Planning Area 18B: Medium Density Residential (7,200 s.f. lots).....	III.B-38
24. Planning Area 19: Medium-High Density Residential (5,000 s.f. lots).....	III.B-41
25. Planning Area 20/21: Medium Density Residential (6,000 s.f. lots).....	III.B-42
26. Planning Area 22: Medium Density Residential (5,500 s.f. lots).....	III.B-44
27. Planning Area 23: Medium Density Residential (6,000 s.f. lots).....	III.B-45
28. Planning Area 24: Medium-High Density Residential (5,000 s.f. lots).....	III.B-46
29. Planning Area 25: Medium Density Residential (7,200 s.f. lots).....	III.B-48
30. Planning Area 26: Medium-High Density Residential (5,500 s.f. lots).....	III.B-49
31. Planning Area 27: Medium Density Residential (6,000 s.f. lots).....	III.B-51
32. Planning Area 28: Open Space-Recreation (Park).....	III.B-52
33. Planning Area 29: Open Space-Recreation.....	III.B-53
34. Planning Area 30: Medium Density Residential (6,000 s.f. lots).....	III.B-54
35. Planning Area 31: Medium Density Residential (5,500 s.f. lots).....	III.B-55
36. Planning Area 32: Medium Density Residential (7,000 s.f. lots).....	III.B-56
37. Planning Area 33: Medium-High Density Residential (5,500 s.f. lots).....	III.B-57
38. Planning Area 34: Medium Density Residential (5,000 s.f. lots).....	III.B-59
39. Planning Area 35: Medium Density Residential (7,000 s.f. lots).....	III.B-60
40. Planning Area 36: Medium Density Residential (7,000 s.f.).....	III.B-61
41. Planning Area 37: Medium Density Residential (8,000 s.f. lots).....	III.B-62
42. Planning Area 38: Medium Density Residential (6,000 s.f. lots).....	III.B-63
43. Planning Area 39: Medium Density Residential (5,500 s.f. lots).....	III.B-64
44. Planning Area 40: Open Space-Conservation.....	III.B-66
45. Planning Area 41: Open Space-Recreation.....	III.B-67
46. Planning Area 42: Public Facility (Elementary School).....	III.B-68
 <b>IV. Design Guidelines.....</b>	 <b>IV-1</b>
A. Purpose and Intent.....	IV-1
B. General Guidelines.....	IV-1
1. Project Theme.....	IV-3

<u>SECTION</u>	<u>PAGE</u>
2. <i>Project Setting</i> .....	IV-3
C. Community Elements .....	IV-3
1. <i>Streetscapes</i> .....	IV-3
2. <i>Project Entries and Entry Treatments</i> .....	IV-11
3. <i>Land Use Transitions</i> .....	IV-15
4. <i>Community Open Space</i> .....	IV-26
5. <i>Residential Streets</i> .....	IV-40
6. <i>Community Walls and Fencing</i> .....	IV-40
7. <i>Signage</i> .....	IV-43
D. Architectural Design Guidelines .....	IV-47
1. <i>General Residential Criteria</i> .....	IV-47
2. <i>Supplemental Residential Criteria – 5,000 sf lots, 5,500 sf lots, and 6,000 sf lots</i> .....	IV-59
3. <i>School/Education Criteria</i> .....	IV-69
E. Site Grading.....	IV-70
F. Outdoor Lighting .....	IV-71
G. Landscape Planting Guidelines .....	IV-73
1. <i>General Planting Guidelines</i> .....	IV-73
2. <i>Landscape Irrigation</i> .....	IV-74
3. <i>Maintenance</i> .....	IV-75
4. <i>Horticultural Soils Test</i> .....	IV-75
5. <i>Suggested Plant Palette</i> .....	IV-76
V. Specific Plan Zoning Ordinance.....	V-1

## FIGURES

<u>FIGURE</u>	<u>TITLE</u>	<u>PAGE</u>
Figure II-1	Regional Map.....	II-4
Figure II-2	Vicinity Map.....	II-6
Figure II-3	Aerial Photograph.....	II-7
Figure III.A-1	Specific Plan Land Use Plan (Color).....	III.A-3
Figure III.A-2	Specific Plan Land Use Plan (B&W) .....	III.A-4
Figure III.A-3	Circulation Plan .....	III.A-12
Figure III.A-4	Roadway Cross-Sections South of Baxter Road.....	III.A-13
Figure III.A-5	Roadway Cross-Sections North of Baxter Road.....	III.A-14
Figure III.A-6	Master Drainage Plan .....	III.A-17
Figure III.A-7	Regional Water Facilities .....	III.A-20
Figure III.A-8	Master Water Plan .....	III.A-21
Figure III.A-9	Regional Sewer Facilities .....	III.A-23
Figure III.A-10	Master Sewer Plan .....	III.A-24
Figure III.A-11	Open Space and Recreation Plan.....	III.A-26
Figure III.A-12	Grading Concept Plan.....	III.A-31
Figure III.A-13	Conceptual Phasing Plan .....	III.A-33
Figure III.B-1	Planning Area 1 .....	III.B-5
Figure III.B-2A	Planning Areas 2A, 3A, & 8.....	7
Figure III.B-2B	Planning Areas 2A, 5, & 6.....	8
Figure III.B-3	Planning Areas 2B, 3B, 17A, & 17B.....	III.B-9
Figure III.B-4	Planning Areas 2C, 12 & 13.....	III.B-10
Figure III.B-5	Planning Areas 2D, 3C, 14, 22, & 23 .....	III.B-11
Figure III.B-6	Planning Areas 3D, 32, & 34.....	III.B-16
Figure III.B-7	Planning Areas 3E, 36, 37, 38, 40, & 41 .....	III.B-18
Figure III.B-8	Planning Area 7 .....	III.B-23
Figure III.B-9	Planning Areas 9, 10 & 11.....	III.B-26
Figure III.B-10	Planning Areas 15, 16, & 18A.....	III.B-33
Figure III.B-11	Planning Areas 18B & 19 .....	III.B-40
Figure III.B-12	Planning Area 20-21 & 25.....	III.B-43
Figure III.B-13	Planning Areas 24, 29, & 30.....	III.B-47
Figure III.B-14	Planning Areas 26, 27, 28 & 31.....	III.B-50
Figure III.B-15	Planning Areas 33 & 35.....	III.B-58
Figure III.B-16	Planning Areas 39 & 42.....	III.B-65
Figure IV-1	Conceptual Landscape Plan .....	IV-2
Figure IV-2A	Major Highway Streetscape.....	IV-4
Figure IV-2B	Secondary Highway Streetscape (Baxter) .....	IV-5
Figure IV-2C	Secondary Highway Streetscape (Keller).....	IV-6
Figure IV-2D	Collector Road Streetscape.....	IV-7
Figure IV-2E	Local Road Streetscape – Internal Streets .....	IV-8
Figure IV-2F	Spencer’s Crossing Parkway Streetscape .....	IV-9

<u>FIGURE</u>	<u>TITLE</u>	<u>PAGE</u>
Figure IV-3A	Community Monumentation – Type 1.....	IV-12
Figure IV-3B	Community Monumentation – Type 1.....	IV-13
Figure IV-4	Secondary Community Entry Monumentation – Type 2.....	IV-14
Figure IV-5	Neighborhood Entry Monumentation – Type 2.....	IV-16
Figure IV-6	Natural Open Space/Residential Interface.....	IV-17
Figure IV-7	This figure has been intentionally omitted. ....	IV-18
Figure IV-8	Park/Residential Interface.....	IV-20
Figure IV-9	This figure has been intentionally omitted. ....	IV-21
Figure IV-10	This figure has been intentionally omitted. ....	IV-22
Figure IV-11	This figure has been intentionally omitted. ....	IV-23
Figure IV-12	Paseo/Detention Interface.....	IV-24
Figure IV-13	Detention/Residential Interface .....	IV-25
Figure IV-14	Residential/EMWD Facility Interface .....	IV-27
Figure IV-15	This figure has been intentionally omitted. ....	IV-28
Figure IV-16A	Planning Area 8 Park Concept.....	IV-30
Figure IV-16B	Planning Areas 16 & 18A Park Concept .....	IV-31
Figure IV-16C	Planning Area 28 Park Concept.....	IV-32
Figure IV-16D	South Paseo Detail.....	IV-34
Figure IV-16E	South Paseo Trail Concept.....	IV-35
Figure IV-16F	North Paseo Detail.....	IV-36
Figure IV-16G	North Paseo Trail Concept.....	IV-37
Figure IV-16H	Regional Trail Concept.....	IV-38
Figure IV-16I	Planning Area 29 Private Recreation.....	IV-39
Figure IV-17	Conceptual Wall & Fence Plan.....	IV-41
Figure IV-18	Conceptual Theme Walls and Fences.....	IV-42
Figure IV-19	Spanish Architectural Style .....	IV-48
Figure IV-20	Monterey Architectural Style .....	IV-49
Figure IV-21	Italian Architectural Style.....	IV-50
Figure IV-22	Craftsman Architectural Style .....	IV-51
Figure IV-23	Mission Revival Architectural Style.....	IV-52
Figure IV-24	Bungalow Architectural Style.....	IV-53
Figure IV-25	Prairie Architectural Style .....	IV-54
Figure IV-26A	5,000 s.f. Lot Setback Standards .....	IV-61
Figure IV-26B	5,500 s.f. Lot Setback Standards .....	IV-62
Figure IV-26C	6,000 s.f. Lot Setback Standards .....	IV-63
Figure IV-27	Garage Treatments.....	IV-65
Figure IV-28	Garage Articulation .....	IV-66
Figure IV-29	Garage Door – Plan View.....	IV-67
Figure IV-30	Enhanced Driveways .....	IV-68

TABLES

<u>TABLE</u>	<u>TITLE</u>	<u>PAGE</u>
Table II-1	General Land Use Summary .....	II-3
Table III.A-1	Detailed Land Use Summary .....	III.A-5
Table III.A-2	Open Space and Recreation Plan Summary .....	III.A-27
Table III.A-3	Project Phasing Plan .....	III.A-32
Table III.A-4	Public Facilities Phasing .....	III.A-33
Table III.A-5	Maintenance Plan.....	III.A-37
Table III.B-1	Planning Area Land Use Summary .....	III.B-2
Table IV-1	Project-Wide Plant Palette .....	IV-77

## I. SUMMARY

### A. PROJECT HISTORY

On June 5, 2001, the County of Riverside approved FRENCH VALLEY Specific Plan No. 312 and certified its Environmental Impact Report (EIR) No. 411. The originally approved Specific Plan provided for the development of the 607.8-acre site with 1,793 residential units; a 1.7-acre commercial site; two school sites on 20 acres; 16.0 acres of parks; 79.4 acres of open space, greenbelts and detention areas; and 41.3 acres of major roadways.

On March 21, 2006, the County of Riverside approved Substantial Conformance No. 1 to Specific Plan No. 312. The Substantial Conformance reflected a number of changes that were made to Planning Area boundaries and dwelling unit allocations during preparation of five (5) implementing subdivision maps (TR 30694, TR 30695, TR 30696, TR 32289, and TR 32290). The approved pattern of land use and total Specific Plan acreage did not change as part of Substantial Conformance No. 1. The total number of dwelling units permitted within the Specific Plan Area did not change as part of Substantial Conformance No. 1; however, the allocation of dwelling units within individual residential Planning Areas and the physical boundaries of many of the residential Planning Areas were adjusted to match the implementing subdivision maps. In addition, Substantial Conformance No. 1 increased park land within the Specific Plan Area from 16.0 acres to 17.1 acres; decreased the area reserved for open space, greenbelts, and detention from 79.4 acres to 70.6 acres; and increased the area reserved for schools from 20.0 acres to 20.4 acres.

On December 3, 2013, the Riverside County Board of Supervisors approved Amendment No. 1 (SPA No.1) to the FRENCH VALLEY Specific Plan, which decreased the site acreage by 2.1 acres from 607.8 acres to 605.7 acres and reduced the total number of homes within the Specific Plan Area by 122 units, from 1,793 to 1,671. SPA No.1 modified the Specific Plan boundaries to reflect changes in ownership and revised the Land Use Plan to reduce development intensity, reconfigure Planning Area boundaries, and adjust the range of residential lot sizes to be consistent with approved subdivision maps and subdivision maps processed concurrently with Amendment No. 1 (TR 32289M1 and TR 36418), and reflect market conditions at the time. SPA No. 1 also reduced the acreage reserved for schools from 20.4 acres to 10.4 acres, increased the acreage reserved for parks from 17.1 acres to 37.0 acres, and reduced the area designated for stormwater drainage and detention facilities from 50.8 acres to 48.8 acres. Additionally, SPA No.1 removed a 1.7-acre parcel designated Commercial Retail (formerly Planning Area 4) that had been located in the southeastern corner of the Specific Plan Area, due to the annexation of the parcel into the City of Murrieta which resulted in this area being removed from County of Riverside jurisdiction. SPA No. 1 also modified the nomenclature used for land use designations throughout the document to be consistent with the adopted Riverside County General Plan.

This Amendment No. 2 (SPA No. 2) to Specific Plan No. 312 reflects changes to the approved Amendment No. 1 to the Specific Plan No. 312 document.

### B. SUMMARY OF CHANGES

Amendment No. 2 to the FRENCH VALLEY Specific Plan (Specific Plan No. 312) modifies the Specific Plan by increasing the acreage from 605.7 to 628.5 acres (reconfiguring the Specific Plan boundaries adjacent to Keller Road), and increasing the target residential unit count by 147 units, from 1,671 to 1,820 (1,877 if the school site in PA 42 is not developed as a school). Amendment No. 2 also reconfigures the majority of the

---

## Specific Plan No. 312

Planning Areas north of Baxter Road, relocates and expands the school site, increases the total recreational open space acreage north of Baxter Road by 3.4 acres (including the addition of a new 3.5-acre Private Recreation Facility), and relocates and reduces the Public Park acreage from 6.4 to 5.6 acres. The increase in unit count recaptures the originally approved 1,793 units and accommodates additional units associated with the 22.8-acre increase of the Specific Plan boundary.

A summary of the land uses implemented by SPA No. 2 is provided in Table II-1, *Specific Plan No. 312, Amendment No. 2 – Land Use Summary*.

Specifically, FRENCH VALLEY SPA No. 2 provides the following substantive modifications to the approved Land Use Plan:

- The Specific Plan boundary has been increased by 22.8 acres from 605.7 acres to 628.5 acres.
- The total number of residential units within the Specific Plan Area has increased by 149 units, from 1,671 to 1,820 units (1,877 if the school site in PA 42 is not developed as a school).
- The Planning Areas north of Baxter Road (except Planning Areas 14, 20/21, 23 and 25) have been reconfigured and renumbered to accommodate eight new Planning Areas. The number of residential units north of Baxter Road has been increased from 854 to 1,003.
- The Land Use Designations of the Planning Areas north of Baxter Road (except Planning Areas 14, 20/21, 23 and 25) have been modified.
- The elementary school site has been relocated to the northeast corner of the Specific Plan Area (Planning Area 42), and increased by 1.2 acres, from 10.4 acres to 11.6 acres.
- The acreage of Planning Area 3C has been increased from 6.4 acres to 7.1 acres to address changes in Water Quality Management requirements, and the land use designation been changed from “Open Space – Recreation” (OS-R) to Open Space – Water (Drainage) (OS-W).

## II. INTRODUCTION

### A. DOCUMENT PURPOSE

This document is a Specific Plan that has been prepared for the purpose of establishing guidelines for a mixed-use land development plan for FRENCH VALLEY. Authorized by California Government Code §65450 et seq., a Specific Plan is a tool that is used for the systematic implementation of the General Plan for all or part of the area covered by the General Plan. It effectively establishes a link between implementing policies of the General Plan and the individual development proposals in a defined area. As such, this document provides the County of Riverside with a defined set of plans, policies, and regulations to ensure efficient, orderly development of the subject property in accordance with the County's adopted General Plan.

The FRENCH VALLEY Specific Plan establishes guidelines for the development of a master planned community in the French Valley area of unincorporated Riverside County, California. This Specific Plan provides information relative to land uses, site planning, and building intensity, as well as design guidelines that are intended to allow for innovation in architecture, landscaping and building arrangements as future tentative maps and site plans are proposed to implement the Specific Plan. All future implementing actions (development plans, tract maps, site plans, and other similar entitlements) for property located within the boundaries of this Specific Plan are required to be consistent with the standards and guidelines set forth in this document and with all applicable County regulations. Furthermore, all regulations, conditions, standards and guidelines contained herein shall be deemed distinct and independent provisions of the Specific Plan. If any section, clause, phrase, or portion of this document is for any reason to be invalid by the decision of any federal or state court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

This document serves as the Second Amendment to the FRENCH VALLEY Specific Plan (Specific Plan No. 312), which was originally adopted by the Riverside County Board of Supervisors on June 5, 2001 and subsequently amended on December 3, 2013. Amendment No. 2 to the FRENCH VALLEY Specific Plan preserves the concept and overall density of the FRENCH VALLEY Specific Plan, while increasing the acreage and total dwelling units included in the Specific Plan Area.

#### 1. Specific Plan Format

This FRENCH VALLEY Specific Plan is divided into the following sections: 1) Introduction; 2) Specific Plan; 3) Development Standards; 4) Design Guidelines; and 5) Zoning Ordinance. This Specific Plan has been prepared pursuant to the provisions of the California Government Code §65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §65450 through §65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to §65450, a Specific Plan shall include text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered within the specific plan area;



### Specific Plan No. 312

---

- The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the specific plan area;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
- A schematic program of implementation measures indicating how public services will be financed; and
- A statement of the specific plan's relationship to the general plan.

California state law also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the General Plan, such as architectural or landscape design guidelines.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the County of Riverside General Plan. By functioning as a regulatory document, the FRENCH VALLEY Specific Plan provides a means of implementing and detailing the General Plan and tailoring its policies to the subject property. In this regard, all future development plans or other entitlement applications are required to substantially conform to the standards and guidelines set forth in this document, as well as all applicable County regulations. This Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as vehicular and non-vehicular circulation, landscaping, and the provision of utilities. The FRENCH VALLEY Specific Plan also ensures that new development meets or exceeds County standards for environmental protection, infrastructure, site planning, and aesthetic quality.

## B. PROJECT SUMMARY

FRENCH VALLEY Specific Plan Amendment No. 2 (SPA No. 2) provides for the development of 1,820 single-family dwelling units in 31 residential Planning Areas on 455.1 acres, an elementary school site on 11.6 acres (with an additional 57 single-family dwelling units if the school site is not developed as a school), parks and open space on 40.1 acres (gross acreage), stormwater drainage and detention facilities on 43.4 acres, and 54.1 acres of community roadways. In addition, SPA No. 2 provides for the conservation of 24.2 acres as natural open space. A summary of the land uses implemented by SPA No. 2 is provided in Table II-1, *Specific Plan No. 312, Amendment No. 2 – Land Use Summary*.

FRENCH VALLEY residents will enjoy a wide range of amenities in this master planned residential community. Infrastructure and other public facilities are planned to accommodate the build-out requirements of the FRENCH VALLEY Specific Plan and will anticipate the needs of other off-site developments. As part of the Specific Plan, Briggs, Leon, Baxter and Keller Roads would be improved as intended by the General Plan Circulation Element. In addition, Specific Plan design elements including land use compatibility, architecture, landscaping and signage will be consistently applied to assure a varied, yet fully integrated community.

Development of the Specific Plan includes three parks and one school site. A 10.7-acre park is located in Planning Area 8, a 15.0-acre park is provided in Planning Areas 16 and 18A, and a 5.6-acre park is located in Planning Area 28. A private 3.2-acre recreation facility is located in Planning Area 29, in the north-central

### Specific Plan No. 312

portion of the site. These parks, with the exception of the private recreation facility in Planning Area 29, will be available for use both by residents of FRENCH VALLEY and the surrounding off-site areas.

**Table II-1 GENERAL LAND USE SUMMARY**

Land Use	Acres	Density (du/ac <sup>1</sup> )	Dwelling Units
<b>Residential</b>			
Medium Density Residential	399.8	3.8	1,533
Medium-High Density Residential	55.3	5.2	287
<i>Residential Sub-Totals</i>	<i>455.1</i>	<i>--</i>	<i>1,820</i>
<b>Non-Residential</b>			
Public Facility (School)	11.6	--	57
Open Space – Recreation (Parks)	40.1*	--	--
Open Space – Water (Water Quality Basin)	17.9	--	--
Open Space – Water (Drainage)	25.5	--	--
Open Space – Conservation	24.2	--	--
Major Roads	54.1	--	--
<i>Non-Residential Sub-Totals</i>	<i>173.4</i>	<i>--</i>	<i>--</i>
<b>Specific Plan No. 312, Amendment No. 2 Totals</b>	<b>628.5</b>	<b>2.9</b>	<b>1,877</b>

<sup>1</sup>du/ac = dwelling units per acre

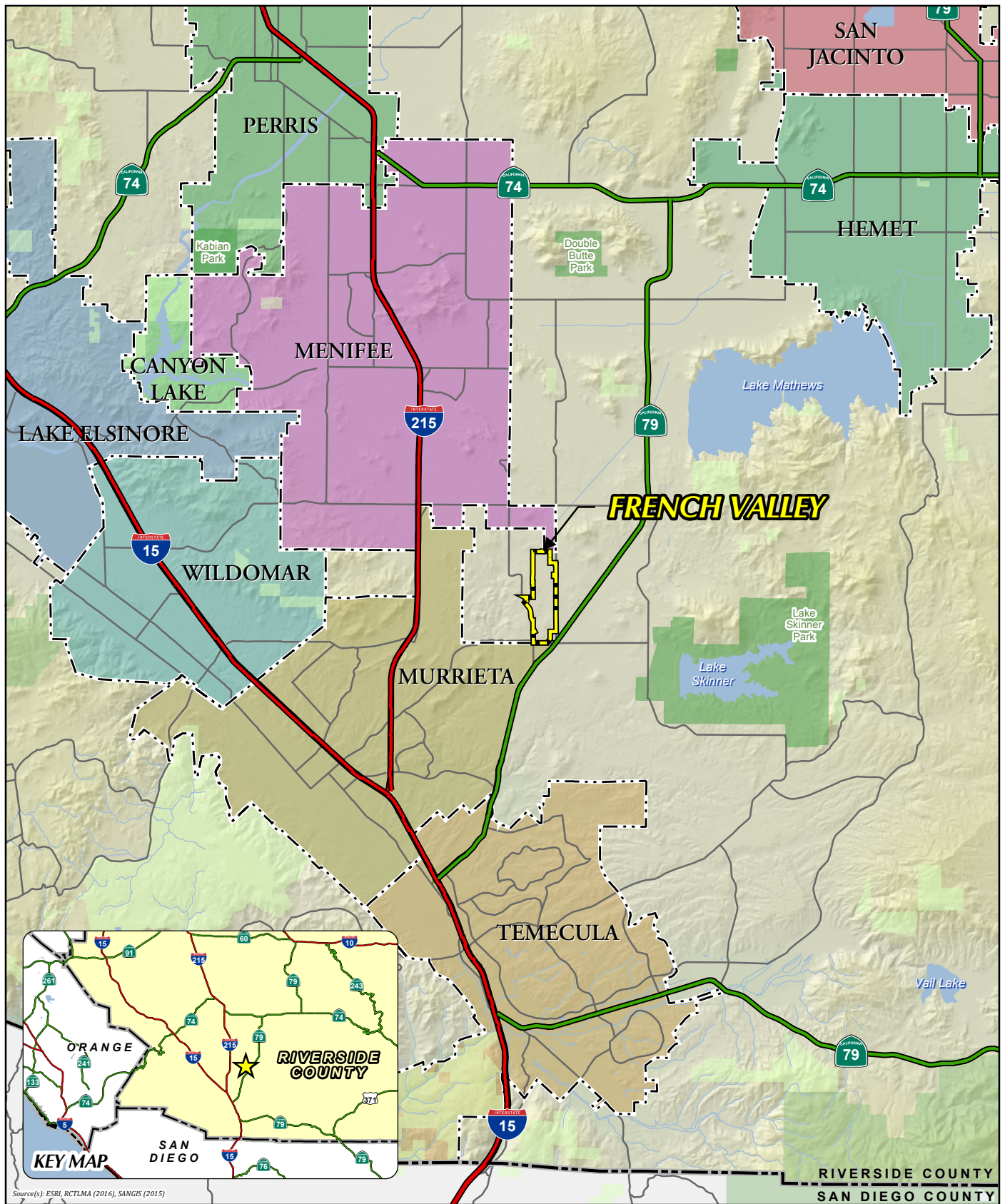
\* = gross acreage

The FRENCH VALLEY Specific Plan is phased in a logical sequence in response to market demands. A total of three (3) development phases are planned to be implemented over a ten-year period. Timing of the school facility will be determined by the Menifee Union School District which currently serves the project site. Development of the on-site parks will occur concurrently with residential development according to the Public Facilities Plan section in the Specific Plan.

## C. PROJECT LOCATION AND SETTING

### 1. Project Location

The 628.5-acre FRENCH VALLEY community is located in the “French Valley” area of unincorporated Riverside County. French Valley is located within the southwestern portion of Riverside County and is defined by scattered unnamed hills on the west and the Tocalota Hills on the east. The southern end of French Valley opens into the Murrieta Valley which is enclosed by the Elsinore and Agua Tibia Mountains. The mountains physically separate western Riverside County from Orange County and the Pacific coast (see Figure II-1, *Regional Map*).



**Regional Map**

Figure II-1

# French Valley SP 312 A-2

### Specific Plan No. 312

---

As depicted on Figure II-2, *Vicinity Map*, and Figure II-3, *Aerial Photograph*, the site lies east of Interstate 215 (I-215), approximately three miles north of the City of Temecula, immediately north of the City of Murrieta, approximately five miles east of the City of Wildomar, and approximately one mile south of the City of Menifee. The project site is located west of Winchester Road and Leon Road, north of Thompson/Benton Road, east of Briggs Road, and south of Scott Road and Keller Road. Access to the project site is available via Leon Road, Keller Road, Baxter Road, and Briggs Road.

## 2. Surrounding Land Uses and Development

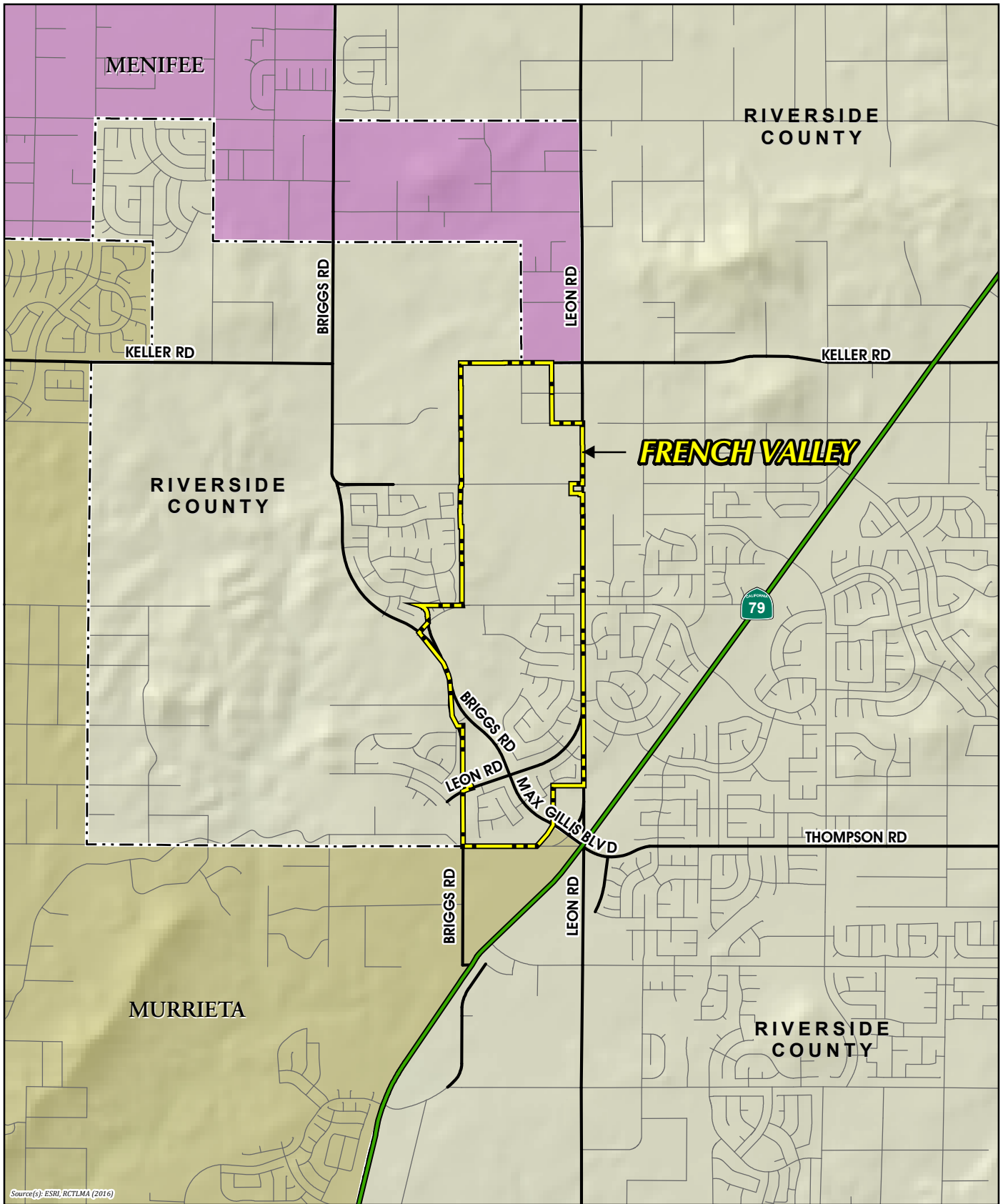
The project lies in an urbanizing area of western Riverside County, just north of the city limits of Temecula and Murrieta. Much of the land to the north and west of the property remains vacant. Several adopted specific plans exist to the north, east and south. These specific plans include Quinta do Lago (SP No. 284), Winchester 1800 (SP No. 286), Dutch Village (SP No. 106C), Borel Airpark Center (SP No. 265), Murrieta Hot Springs (SP No. 103), the Domengioni Specific Plan (SP No. 310), Keller Crossing (SP No. 380), Belle Terre (SP No. 382), Crown Valley Village (SP No. 238), Rancho Bella Vista (SP No. 184), and Johnson Ranch (SP No. 307).

The French Valley Airport is located slightly more than one (1) mile south of the project site. Specifically, the airport is located east of Winchester Road, between Auld and Borel Roads. French Valley Airport is a general aviation airport owned and operated by Riverside County. The airport limits its services to commuter aircraft, light single engines or twin engines, and charter and air taxi services. Comprehensive Land Use Plan (CLUP) was created for the French Valley Airport and was adopted in October 2007. The purpose of the plan is to protect the public health, safety and welfare, to ensure the continued orderly use of the airport, and to prevent the creation of new noise and safety problems. The Specific Plan incorporates design and development standards (refer to Section III.A) intended to address the potential impacts (e.g., light- and noise-related) resulting from proximity of the project site to the French Valley Airport, and ensure the compatibility of the development in the vicinity of the airport.

## 3. Regional Circulation

Southwestern Riverside County is served by major freeways connecting the area to Los Angeles and Orange Counties and to central Riverside County and San Bernardino County. Major east-west access is provided by the Riverside Freeway (State Highway 91) which links the City of Riverside to Los Angeles. Major north-south access is provided by the Interstate 15 and 215 (I-15 and I-215) freeways. These freeways connect the project area to Escondido and San Diego to the south and Riverside and San Bernardino to the north.

The FRENCH VALLEY Specific Plan area is located east of I-215. On- and off-ramps to I-215 exist at Scott Road, Clinton Keith Road and Murrieta Hot Springs Road. These ramps are approximately 3 miles northwest (Scott Road), 2.5 miles southwest (Clinton Keith Road) and 5 miles southwest (Murrieta Hot Springs Road) of the site. Scott Road and Clinton Keith Road will provide access to the site from I-215. The County of Riverside in cooperation with the City of Murrieta has initiated a project to fully extend Clinton Keith Road from the current eastern terminus as a paved road at Whitewood Road in the City of Murrieta, easterly to Highway 79 (Winchester Road). Construction of the extension of Clinton Keith Road from Whitewood Road to Leon Road is anticipated to be completed by Fall 2018. Highway 79 is a State Highway and is an important north-south regional transportation link; it is located just off-site and southeast of the project site.



Source(s): ESRI, RCTLMA (2016)

**Vicinity Map**

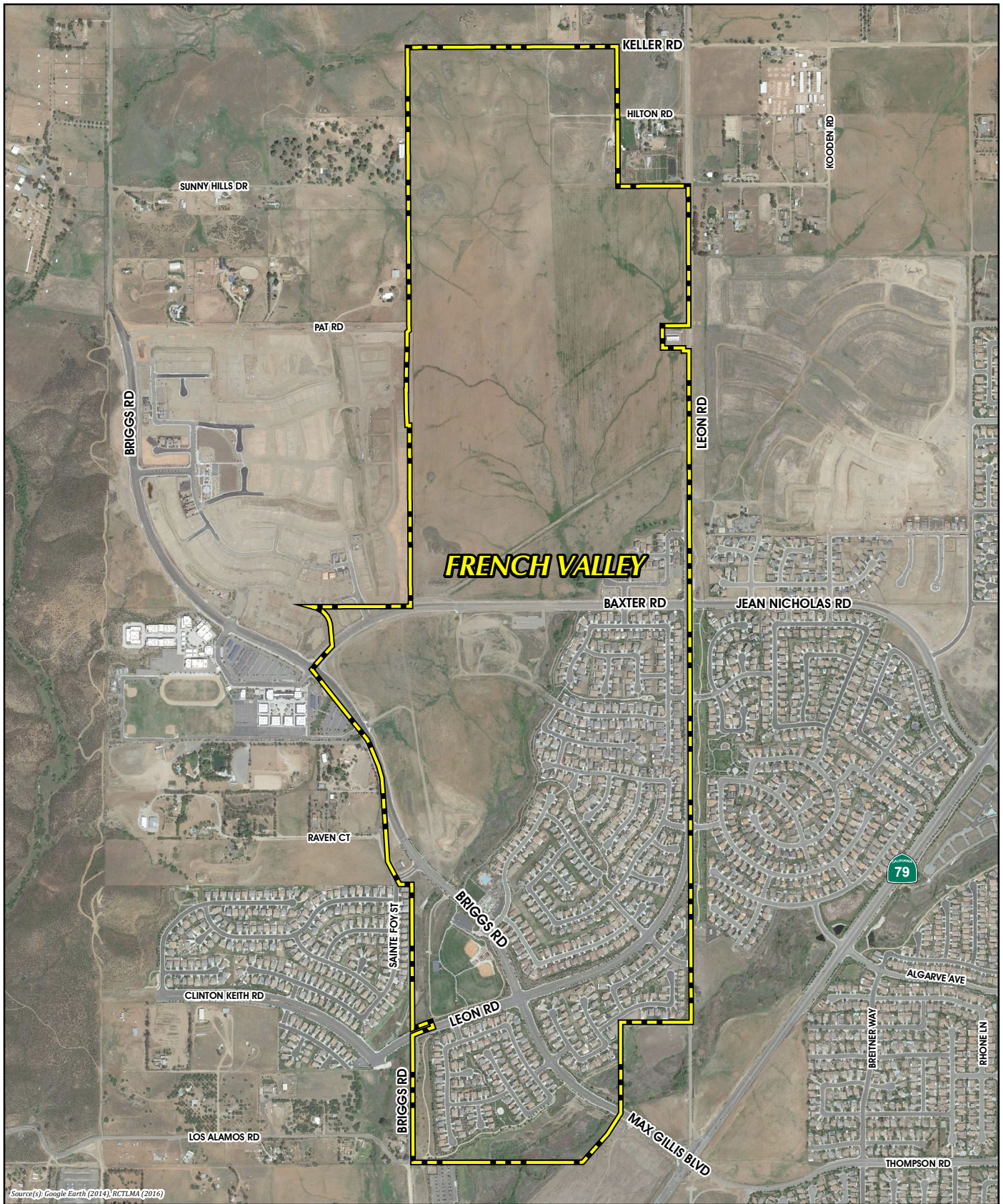
Figure II-2

# French Valley SP 312 A-2

**T&B PLANNING**  
17542 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com







**Aerial Photograph**

Figure II-3

# French Valley SP 312 A-2



#### 4. Physical Site Conditions

The project site consists primarily of flat terrain with small scattered rock outcroppings. The highest elevation, located near the southern border, is approximately 1,426 feet above mean sea level (AMSL) and the lowest elevation, approximately 1,326 feet AMSL, is located in the north-central portion of the property. The Pat Road Water Pump Station is located on the north-eastern portion of the site, and is bound by Planning Area 33 to the north, Leon Road to the east, Planning Area 24 to the south, and Planning Area 30 to the west. The Pump Station is owned in fee by Eastern Municipal Water District (EMWD).

A well-vegetated tributary of Warm Springs Creek traverses the property in the southeast corner of the project site, and is preserved in Planning Area 1. This well-vegetated blue line stream is part of a larger system which runs through the French Valley area.

Easements exist on the site for electric power lines, gas lines, and water and telephone. Several, 30', 44', 50', and 60' electric power easements under Southern California Edison run along Leon Road and throughout the project site. These easements will be abandoned or relocated as development occurs. A 7' and 10' water and telephone easement under California Water and Telephone Company runs along Leon Road and other areas of the site, but will be abandoned or relocated.

#### D. **DISCRETIONARY ACTIONS AND APPROVAL**

The Riverside County Planning Department is the Lead Agency for the FRENCH VALLEY Specific Plan, under whose authority this Specific Plan has been prepared. This document will be used by the County of Riverside in connection with the following decisions:

##### a. Riverside County Planning Commission

- ☐ Recommendation to the Riverside County Board of Supervisors (Board) as to approval of EIR No. XXX.
- ☐ Recommendation to the Board regarding adoption of Amendment No. 2 to Specific Plan No. 312 by Resolution.
- ☐ Recommendation to the Board regarding approval of the General Plan Amendment No. XX.
- ☐ Recommendation to the Board regarding approval of the Change of Zone No. XX.
- ☐ Approval by resolution of Tentative Tract Map No. 37053.

##### b. Riverside County Board of Supervisors

- ☐ Approval of EIR No. XXX.
- ☐ Adoption by resolution of Amendment No. 2 to Specific Plan No. 312.
- ☐ Approval by Ordinance of the Change of Zone No. XX.
- ☐ Receive and File Tentative Tract Map No. 37053.

### Specific Plan No. 312

Subsequent discretionary actions may include, but are not limited to, tentative tract maps, final tract maps, conditional use permits, site plans, plot plans, grading permits, water and sewer system approvals, and encroachment permits.

Certain associated permits may also be required by state and federal agencies (e.g., California Department of Fish and Game and the U.S. Army Corps of Engineers).



### III. SPECIFIC PLAN

#### A. DEVELOPMENT PLANS AND STANDARDS

##### 1. Planning Objectives

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Engineering feasibility, market acceptance, economic viability, County General Plan goals, Southwest Area Plan goals and policies, development phasing, and local community goals all were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity and positive aesthetic impact of this Specific Plan, specific planning and development goals for the project were established and supported by this extensive analysis. With these specific project goals in mind, the FRENCH VALLEY Specific Plan:

- ☐ Furnishes a plan for development that is sensitive to the environment as well as aesthetically pleasing, and is one that provides for the protection of health and safety and the promotion of the people, community, and region.
- ☐ Considers topographic, geologic, hydrologic, and environmental opportunities and constraints to create a design that conforms to the condition of the land by maintaining and using basic landforms where practical.
- ☐ Implements housing type diversity by providing a variety of detached single family residential lots in traditional subdivision layouts that will be marketable within the evolving economic profile of surrounding communities of Temecula and Murrieta, as well as within Riverside County.
- ☐ Establishes a project-wide circulation system that meets regional and local transportation needs and accommodates a variety of transportation modes.
- ☐ Provides a system of public and community facilities, including one school site, two private community recreation centers, three public parks, paseos, and trails to support development in an efficient and timely manner and meet the needs of project residents and residents of surrounding communities.
- ☐ Reinforces the community identity through control of project design elements such as architecture, landscaping, color, paving, walls, fencing, signage, and entry treatments.
- ☐ Develops an environment that is visually attractive as well as efficiently and effectively organized, including a visually pleasing, water conserving, landscape palette.
- ☐ Maintains consistency with the County's Noise Element by properly mitigating noise generating uses that exceed the maximum suggested dBA level.
- ☐ Integrates with the character of surrounding communities and establishes development that results in logical coordinated growth.
- ☐ Provides for a long-range comprehensive planning approach to development which cannot be accomplished on a parcel-by-parcel basis.

### Specific Plan No. 312

---

- ❑ Establishes a land use plan that is consistent with and implements the French Valley Airport Land Use Compatibility Plan to ensure the compatibility of suburban development in the vicinity of the airport.

## 2. Specific Plan Land Use Plan

### a. Project Description

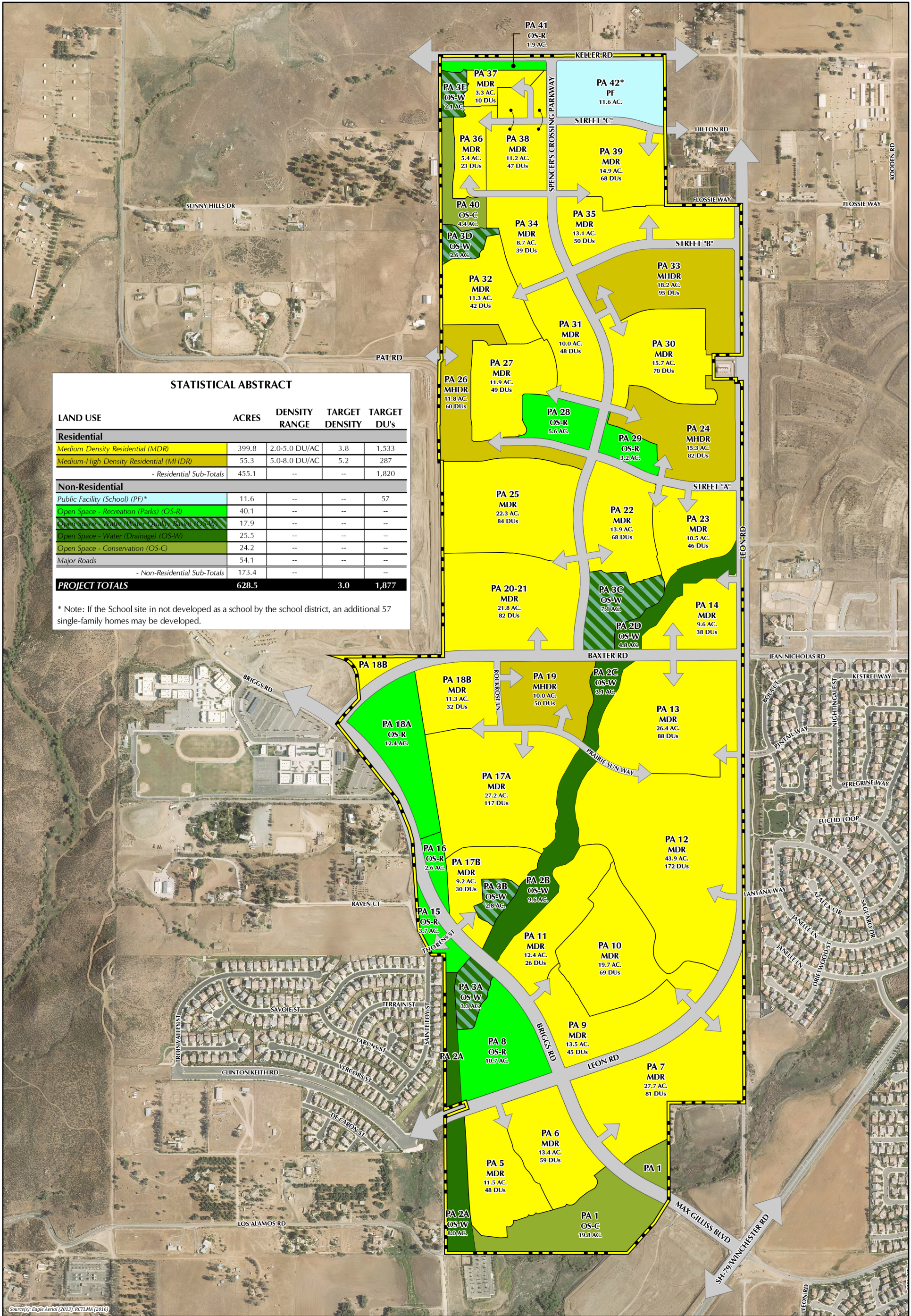
The FRENCH VALLEY Specific Plan is a high quality residential community, composed of residential, school, recreation and open space land uses on 628.5 acres. Residential Planning Areas vary in density from 2.1 du/ac to 5.3 du/ac. The various residential product types are designed to meet the market need in the urbanizing French Valley area of Riverside County, while maintaining a sensitive approach to design relative to sensitive biological resources, existing topography, and additional environmental conditions. When fully developed, a maximum of 1,877 dwelling units will be built in FRENCH VALLEY. These residences are divided among a range of lot sizes as depicted in Figure III.A-1, *Specific Plan Land Use Plan*. The FRENCH VALLEY Specific Plan ensures a well-balanced community by incorporating a school site, recreation, and open space uses into a master-planned residential development.

Specific information on each of the Planning Areas within FRENCH VALLEY is provided in the Detailed Land Use Summary (Table III.A-1), Section III.B (*Planning Area Development Standards*), and on Planning Area Figures III.B-1 through III.B-15.

The proposed land uses within FRENCH VALLEY are as follows:

- ❑ **Residential.** Residential densities within the Specific Plan area average 2.9 dwelling units per acre. In conformance with Specific Plan goals, a variety of housing styles, sizes and values are provided, appealing to a wide range of future FRENCH VALLEY residents. Residential Planning Areas account for 455.1 acres of the Specific Plan area, containing a maximum of 1,820 dwelling units. The residential land uses, densities, and lot sizes contained within the FRENCH VALLEY community are detailed below.
  - **Medium Density Residential (2-5 du/ac):** A maximum of 1,533 Medium Density Residential dwelling units are provided within the community on 399.8 acres of land within 26 of the Planning Areas.
  - **Medium High Density Residential (5-8 du/ac):** The FRENCH VALLEY Specific Plan provides for the development of 287 Medium High Density Residential units in four (4) of the Planning Areas (19, 24, 26 and 33).
- ❑ **Public Facility (School).** One (1) school site is provided on 11.6 acres of land in Planning Area 42. The school site in Planning Area 42 is located on the northeast portion of the Specific Plan area, where it will be accessible from Keller Road to the adjacent north, and Spencer's Crossing Parkway to the adjacent west. The elementary school will be constructed by the Menifee Union School District. If the school site is not developed as a school by the school district, an additional 57 single-family homes may be developed.

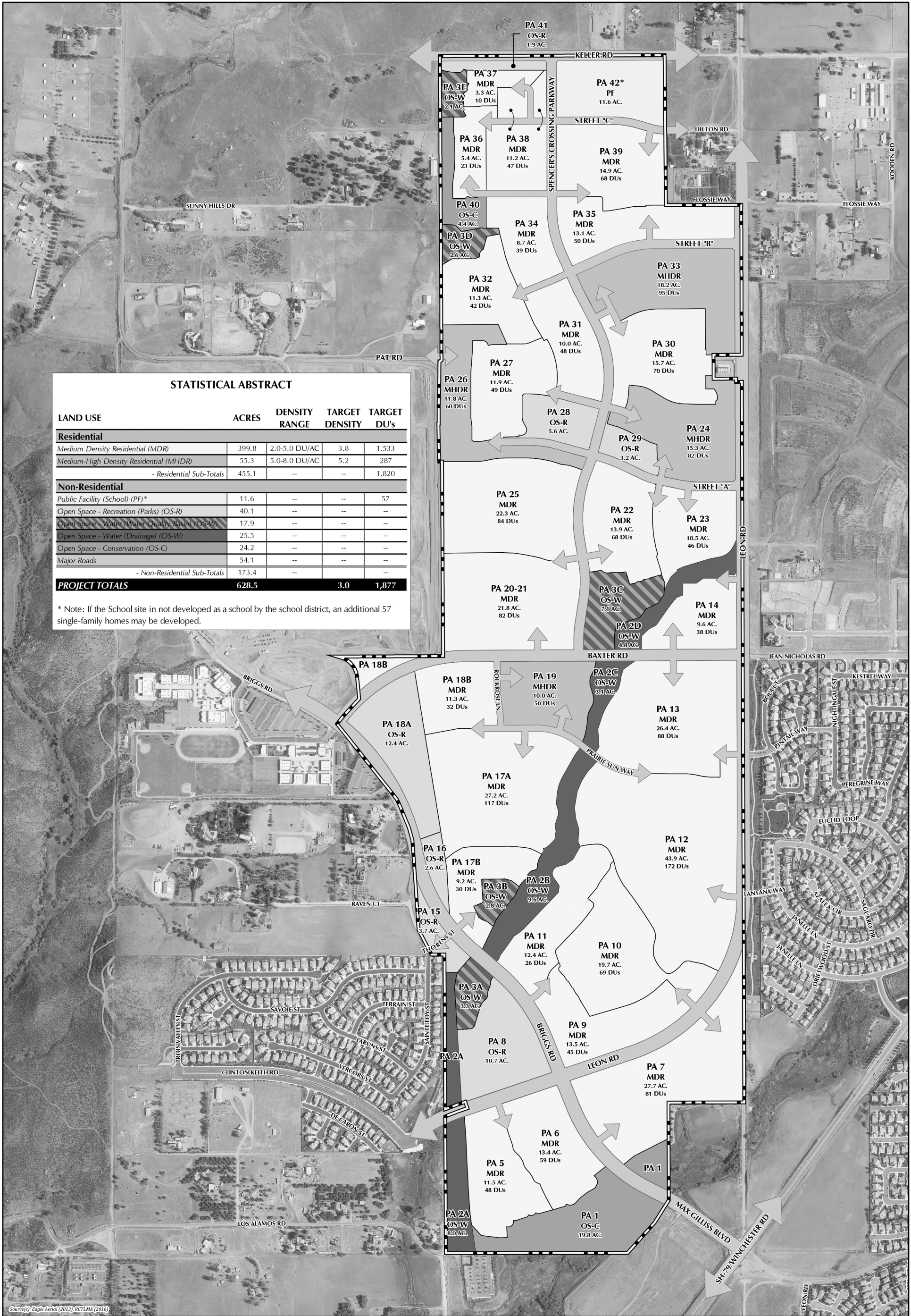




Specific Plan Land Use Plan (Color)

Figure III.A-1





Specific Plan Land Use Plan (B&W)

Figure III.A-2

French Valley SP 312 A-2

**Table III.A-1 DETAILED LAND USE SUMMARY**

Land Use	PA	Acres	Density Range <sup>1</sup>	Target Density	Maximum DUs
<b>Residential</b>					
<b>Medium Density Residential (MDR)</b>					
	5	11.5	2-5 du/ac	4.2	48
	6	13.4	2-5 du/ac	4.4	59
	7	27.7	2-5 du/ac	2.9	81
	9	13.5	2-5 du/ac	3.3	45
	10	19.7	2-5 du/ac	3.5	69
	11	12.4	2-5 du/ac	2.1	26
	12	43.9	2-5 du/ac	3.9	172
	13	26.4	2-5 du/ac	3.3	88
	14	9.6	2-5 du/ac	4.0	38
	17A	27.2	2-5 du/ac	4.3	117
	17B	9.2	2-5 du/ac	3.3	30
	18B	11.3	2-5 du/ac	2.8	32
	20-21	21.8	2-5 du/ac	3.8	82
	22	13.9	2-5 du/ac	4.9	68
	23	10.5	2-5 du/ac	4.4	46
	25	22.3	2-5 du/ac	3.8	84
	27	11.9	2-5 du/ac	4.1	49
	30	15.7	2-5 du/ac	4.4	70
	31	10.0	2-5 du/ac	4.8	48
	32	11.3	2-5 du/ac	3.7	42
	34	8.7	2-5 du/ac	4.5	39
	35	13.1	2-5 du/ac	3.8	50
	36	5.4	2-5 du/ac	4.3	23
	37	3.3	2-5 du/ac	3.6	12
	38	11.2	2-5 du/ac	4.2	47
	39	14.9	2-5 du/ac	4.6	68
<i>Subtotal MDR</i>		<i>399.8</i>	<i>2-5 du/ac</i>	<i>3.8</i>	<i>1,533</i>
<b>Medium-High Density Residential (MHDR)</b>					
	19	10.0	5-8 du/ac	5.0	50
	24	15.3	5-8 du/ac	5.3	82
	26	11.8	5-8 du/ac	5.1	60
	33	18.2	5-8 du/ac	5.2	95
<i>Subtotal MHDR</i>		<i>55.3</i>	<i>5-8 du/ac</i>	<i>5.2</i>	<i>287</i>
<b>Residential Subtotals</b>		<b>455.1</b>	<b>--</b>	<b>2.9</b>	<b>1,820</b>
<b>Non-Residential</b>					
<b>Open Space-Recreation (Parks &amp; Open Space)</b>					
	8	10.7	--	--	--
	15	3.7	--	--	--
	16	2.6	--	--	--
	18A	12.4	--	--	--
	28	5.6	--	--	--
	29	3.2	--	--	--
	41	1.9	--	--	--
<i>Subtotal Open Space-Recreation (Parks)</i>		<i>40.1</i>	<i>--</i>	<i>--</i>	<i>--</i>
<b>Open Space-Water (Detention Basin)</b>					
	3A	3.3	--	--	--
	3B	2.8	--	--	--
<i>Subtotal Open Space-Water (Detention Basin)</i>		<i>6.1</i>	<i>--</i>	<i>--</i>	<i>--</i>
<b>Open Space-Water (Retention/WQMP Basin)</b>					
	3C	7.1	--	--	--
	3D	2.6	--	--	--
	3E	2.1	--	--	--
<i>Subtotal Open Space-Water (Retention/WQMP Basin)</i>		<i>11.9</i>	<i>--</i>	<i>--</i>	<i>--</i>
<b>Public Facility (School)</b>					
	42	11.6	--	--	57
<b>Open Space-Water (Drainage)</b>					
	2A	8.0	--	--	--
	2B	9.6	--	--	--
	2C	3.1	--	--	--
	2D	4.8	--	--	--
<i>Subtotal Open Space-Water (Drainage)</i>		<i>25.5</i>	<i>--</i>	<i>--</i>	<i>--</i>
<b>Open Space-Conservation</b>					
	1	19.8	--	--	--
	40	4.4	--	--	--
<i>Subtotal Open Space-Conservation</i>		<i>24.2</i>	<i>--</i>	<i>--</i>	<i>--</i>
<b>Major Roads</b>					
	--	54.1	--	--	--
<b>Non-Residential Subtotals</b>		<b>173.4</b>	<b>--</b>	<b>--</b>	<b>--</b>
<b>Project Totals</b>		<b>628.5</b>	<b>--</b>	<b>2.9</b>	<b>1,877</b>

<sup>1</sup>du/ac = dwelling unit per acre

- ❑ **Open Space-Recreation (Parks).** Seven Planning Areas (8, 15, 16, 18A, 28, 29, and 41) are designated as recreational open space (OS-R; totaling 40.1 acres of land) in FRENCH VALLEY, which includes three (3) public park sites. The park within Planning Area 8 is located adjacent to the greenbelt, which provides a pedestrian linkage nearby, and offers a variety of passive and active recreational opportunities to residents of the FRENCH VALLEY community. The park site spanning Planning Areas 16 and 18A will provide passive recreational amenities and also includes a dog park. An additional 5.5-acre public park is located in Planning Area 28 in the central portion of the Specific Plan area, and is accessible from Spencer's Crossing Parkway and local streets. All park facilities will be developed according to the Improvement Standards of the Valley-Wide Recreation and Park District. Parks are further delineated in Section IV.A., *Landscape Guidelines*.

Additional recreational amenities are provided within open space areas provided by Planning Areas 15, 29, and 41. Planning Area 41 includes a meandering 10-foot wide decomposed granite multi-use trail and landscaping, is located along the northern community boundary and buffers interior residential land uses from Keller Road. Planning Area 29 provides for a 3.2-acre private recreation center which provides recreational opportunities for members of the homeowner's association. Planning Area 15 provides for the development of a 3.7-acre open space area with natural landscaping. In addition, an approximately 3.7-acre community recreation center is provided in Planning Area 11, a residential Planning Area. The community recreation center provides a pool, spa, tot lots, and open turf area for informal play. The community recreation center also features a community recreation building, barbeque area, picnic area, benches, seating and shade structures to provide residents of the FRENCH VALLEY community opportunities to socialize.

- ❑ **Open Space-Conservation.** In Planning Area 1, a 19.8-acre area is reserved for open space conservation, which provides for the preservation of a tributary to Warm Springs Creek. Planning Area 40 consists of 4.4 acres of open space. An eight-foot wide hard surface trail will traverse Planning Area 40, providing connectivity between the multi-use trail that runs adjacent to Keller Road and interior pedestrian linkages.
- ❑ **Open Space-Water.** A total of 43.4 acres within the FRENCH VALLEY Specific Plan are dedicated for Open Space-Water land uses. Approximately 25.5 acres (Planning Areas 2A through 2D) are provided for the conservation of a drainage course that traverses portions of the community. A greenbelt and pedestrian paseo is provided within Planning Areas 2A through 2D to buffer the drainage course from the developed portions of the community as well as serve as an aesthetic and recreational amenity. Approximately 6.1 acres of the community (Planning Areas 3A and B) will be developed as stormwater detention facilities, and approximately 11.9 acres (Planning Areas 3C through 3E) will be developed as stormwater retention/WQMP basins.
- ❑ **Major Roads.** The project includes the implementation of approximately 54.1 acres of primary roadways. The Riverside County Master Plan of Streets and Highways will adequately serve future traffic volumes for the region. On-site traffic will be conveyed by a hierarchical circulation system which ranges in right-of-way width from 56 feet to 118 feet. On-site roadway improvements will be phased in accordance with this plan.

#### b. Land Use Development Standards

To ensure the orderly and sensitive development of land uses proposed for the FRENCH VALLEY Specific Plan, special development standards have been created for each Planning Area. These area-specific

### Specific Plan No. 312

---

standards, which are thoroughly discussed in Section III.B., *Planning Area Development Standards*, will assist in efficiently implementing the proposed development. In addition to these specific guidelines, project-wide development standards have also been prepared which complement the diverse conditions within each Planning Area. These General Standards include:

1. The total Specific Plan area shall be developed with a maximum of 1,877 dwelling units on 628.5 acres, as illustrated on Figure III.A-1, *Specific Land Use Plan*. General uses permitted will include residential, schools, recreation, and open space as identified on the *Specific Land Use Plan* and on the individual Planning Area figures (Figures III.B-1 through III.B-18). A target number of dwelling units is specified for each residential Planning Area.

The constructed number of homes in any Planning Area may be fewer or greater than the target number contained in the Specific Plan, provided that the residential density in the Planning Area remains within the General Plan density range established for that Planning Area. In no case shall the total number of dwelling units exceed 1,877.

If a transfer of dwelling units is proposed between Planning Areas, the Master Developer or his Assignee shall be responsible for providing the County with a “Development Transfer Status Report” at the time that implementing subdivisions are submitted. This report will specify the entitlement and development status of each Planning Area including the following information:

- a) Specific Plan Planning Area allocation of dwelling units.
- b) Number of dwelling units entitled under an Implementing Subdivision by Planning Area.
- c) Number of dwelling units transferred to or from each Planning Area that is already entitled or proposed to be entitled with an implementing subdivision.

The “Development Transfer Status Report” must demonstrate that the total number of dwelling units for the project will not exceed 1,877, and that the Planning Areas involved in the transfer of dwelling units do not exceed the density range allowed by their Land Use Designation.

Dwelling units may not be transferred out of a Planning Area unless an implementing subdivision is approved (previously or concurrently) for that Planning Area. The “Development Transfer Status Report” will assume that all Planning Areas for which an implementing subdivision has not been filed or approved will develop with the number of dwelling units allocated by the Specific Plan.

The County shall not approve any transfer of dwelling units between Planning Areas unless the Developer submits the “Development Transfer Status Report” with the application for an implementing subdivision. The dwelling unit transfer may be approved by the County without amendment to this Specific Plan provided that the Planning Areas involved in the dwelling unit transfer remain within the density range allowed by their Land Use Designation, and that the total number of dwelling units in the Specific Plan area do not exceed 1,877.

2. Uses and development standards will be in accordance with Riverside County Ordinance No. 348 and the FRENCH VALLEY Specific Plan Zoning Ordinance and will further be defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivisions, plot plans, and conditional use permits.
3. As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, the FRENCH VALLEY project shall provide adequate areas for collection and loading recyclable materials in public

### Specific Plan No. 312

---

facilities, business areas, and single family residential areas, where solid waste is collected and loaded in a location which serves five or more units.

4. Standards relating to signage, landscape, parking and other related design elements will conform to the Ordinance No. 348 of the County of Riverside. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document will exceed the zoning ordinance requirements. In addition, a Specific Plan Zoning Ordinance for FRENCH VALLEY will be processed concurrently with this Specific Plan.
5. All project lighting shall be in accordance with applicable Riverside County standards, including Ordinance No. 655 regarding Mt. Palomar Observatory standards.
6. Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances Nos. 348 and 460. This Specific Plan conforms with State laws.
7. Except for the Specific Plan Zone Ordinance adopted concurrently with Specific Plan, no portion of this Specific Plan which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
8. A land division filed for the purpose of phasing or financing shall not be considered an implementing development application and, as such, shall not be subject to this Specific Plan, provided that if the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
9. Common areas identified in the Specific Plan shall be owned and maintained as follows:
  - a) A permanent master maintenance organization or several masters organizations may be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems, and landscaped areas. The organization(s) may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
  - b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
  - c) The maintenance organization shall be established prior to, or concurrent with, the first land division or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
10. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
11. An environmental assessment shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement the Specific Plan, unless said proposal is determined to be exempt



### Specific Plan No. 312

---

from the provisions of the California Environmental Quality Act. The environmental assessments shall be prepared as part of the review process for these implementing projects.

12. Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
13. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian, and/or bicycle).
14. If necessary, roadways, infrastructure, parks, and open space may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance and management.
15. Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified based upon but not limited to the following: a) adequate availability of services; b) adequate access and circulation; c) innovation in building types and design; d) sensitivity to landforms; e) sensitivity to neighborhood design through lot and street layouts; f) lot sizes as proposed by the Specific Plan Zoning Ordinance; and g) density bonuses for affordable housing.
16. Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
17. Designation and/or dedication of park land and open space acreage within the project site will be based on the final number of dwelling units and corresponding population generated by the FRENCH VALLEY Specific Plan (as adopted by the Riverside County Board of Supervisors, unless otherwise amended) and will satisfy both County and State requirements for park land. In no event shall such acreage be less than that set forth on Figure III.A-1 and Figure III.A-2, *Specific Land Use Plan*, and Table III.A-1, *Detailed Land Use Summary*.
18. Prior to the issuance of building permits, improvement plans for adjacent developed common open space areas, including irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.
19. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
  - a) Circulation for pedestrians, vehicles, and police patrols.
  - b) Lighting of streets and walkways.
  - c) Visibility of doors and windows from the street and between buildings, where practical.
  - d) Fencing heights and materials which are developer's responsibility.The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:
  - a) Addresses which lights automatically illuminate at night.
  - b) Special lighting requirements on any buildings that are grouped in such a way that individual addresses are easy to read.

### Specific Plan No. 312

---

20. Development within the project shall conform to applicable regulations within Title 24 of the California Code of Regulations to ensure adequate accessibility to handicapped individuals.
21. It is anticipated that maintenance associations, if formed, will be established as follows:

The master property owners' association or several associations shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for parking, open space areas, signing, landscaping, irrigation, common areas, and other responsibilities as necessary.
22. Construction of certain public facilities and infrastructural requirements (such as schools, sewers, water, and roadways, among others) may be financed through a community facilities district (CFD) or an Assessment District (AD) as well. Financing of these facilities through a CFD or AD may substitute for the payment of fees that would have financed those facilities.
23. No second story balconies shall face the roadway for units located inside the 60 CNEL impact zone shown on the French Valley Airport Land Use Plan, due to potential noise impacts. If such balconies are planned, additional noise mitigation will be required.
24. A comprehensive geotechnical report shall be submitted for review and approval to the Riverside County Planning Department Engineering Geologist with each Tentative Map or use permit.
25. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and/or No. 787, subject to approval by the Riverside County Fire Department. Fire flows over 3,000 gpm shall be for three (3) hours duration.
26. That portion of a lot used for access on flag lots shall have minimum width of twenty (20) feet.
27. Flag lots shall have a minimum driveway width of twenty (20) feet.
28. Flag lots shall have a minimum frontage of thirty-five (35) feet.
29. Flag lots shall meet all visibility requirements in accordance with the Riverside County Fire Department.
30. Noise attenuation measures shall be incorporated into residential building construction to ensure interior noise levels are at or below 45 dB(A).
31. No building shall exceed 150 feet above the French Valley Airport's field elevation.
32. Uses discouraged within the French Valley Airport's Traffic Pattern Zone (generally south of Baxter Road) include public and semi-public uses involving large concentrations of people. Other prohibited uses in the Airport's Traffic Pattern Zone include uses that manufacture, store, or distribute explosive or hazardous materials, uses that generate smoke or electrical interference, uses that would attract a large concentration of birds, as well as schools, auditoriums, amphitheaters, stadiums, churches and other similar places of public assembly that would attract large concentrations of people.
33. Any uses that would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at French Valley Airport are prohibited. Hooded or shielded outdoor lighting shall be installed to prevent either spillage of lumens or reflections into the sky.

### Specific Plan No. 312

34. Homes shall be constructed with energy efficiencies that surpass applicable 2008 California *Building Energy Efficiency Standards* (Title 24, Part 6) by a minimum of 10 percent (10%). The required energy savings may be achieved through a combination of building techniques, conservation measures, and/or energy-saving technologies, to be selected at the discretion of the home builder. Prior to the issuance of building permits, energy usage calculations shall be submitted to the Building and Safety Department showing the subject homes achieve 10% efficiency beyond the requirements of 2008 California *Building Energy Efficiency Standards* (Title 24, Part 6).
35. The use of electric lawn mowers and leaf blowers shall be encouraged for all Home Owners' Association maintained common areas.
36. All homes shall include exterior electric outlets and natural gas stub outs.

### 3. Circulation Plan

#### a. Circulation Plan Description

The roadway concept for the FRENCH VALLEY community is illustrated on Figure III.A-3, *Circulation Plan*. An efficient on-site roadway network has been designed to accommodate circulation within the project area. Primary access to the project site will be achieved via the realigned Briggs Road and the realigned Leon Road. North-south access through FRENCH VALLEY is provided along the proposed Spencer's Crossing Parkway, the realigned Leon Road, and Winchester Road (Highway 79). Primary west-east traffic through the site will be routed along Baxter Road and along Keller Road adjacent to the property. Additionally, a connection to Pat Road shall be constructed as a 56-foot width local road within Planning Area 26. Roadway classifications within the FRENCH VALLEY Specific Plan Circulation Plan have been designed in accordance with the Riverside County General Plan Circulation Element.







The main objective of the Circulation Plan is to provide direct and convenient access to individual residential clusters, the school site and recreational land uses through a safe and efficient network of major, secondary, collector, and local roadways. *Roadway Cross Sections* are depicted on Figure III.A-3 and Figure III.A-4. Transportation infrastructure funding will be provided through a combination of developer financing, community facilities districts bond sales, the Transportation Uniform Mitigation Fee (TUMF), Southwest Area Road and Bridge Benefit District (RBBD) and other county, state or local funding mechanisms. The type of funding for specific facilities will be determined at a later date in conjunction with all cooperating agencies, including the County of Riverside.

#### b. Circulation Plan Development Standards

1. The proposed Circulation Plan provides an efficient traffic design that meets the needs of the project. The on-site system is depicted on Figure III.A-3, *Circulation Plan*. The illustrated, on-site roadway improvements will be phased in accordance with this plan.
2. Heavy through-traffic volumes will be eliminated from residential neighborhoods. Major, Secondary, and Collector roadways will be implemented as non-access roadways, with residential neighborhoods served by smaller residential collectors and local roads.
3. On-site roads will be constructed as follows:
  - Major (118-foot right-of-way)
  - Secondary (100-foot right-of-way)
  - Modified Collector Street (84-foot or 78-foot right-of-way)
  - Collector Road (74-foot right-of-way)

## Legend








### Trails

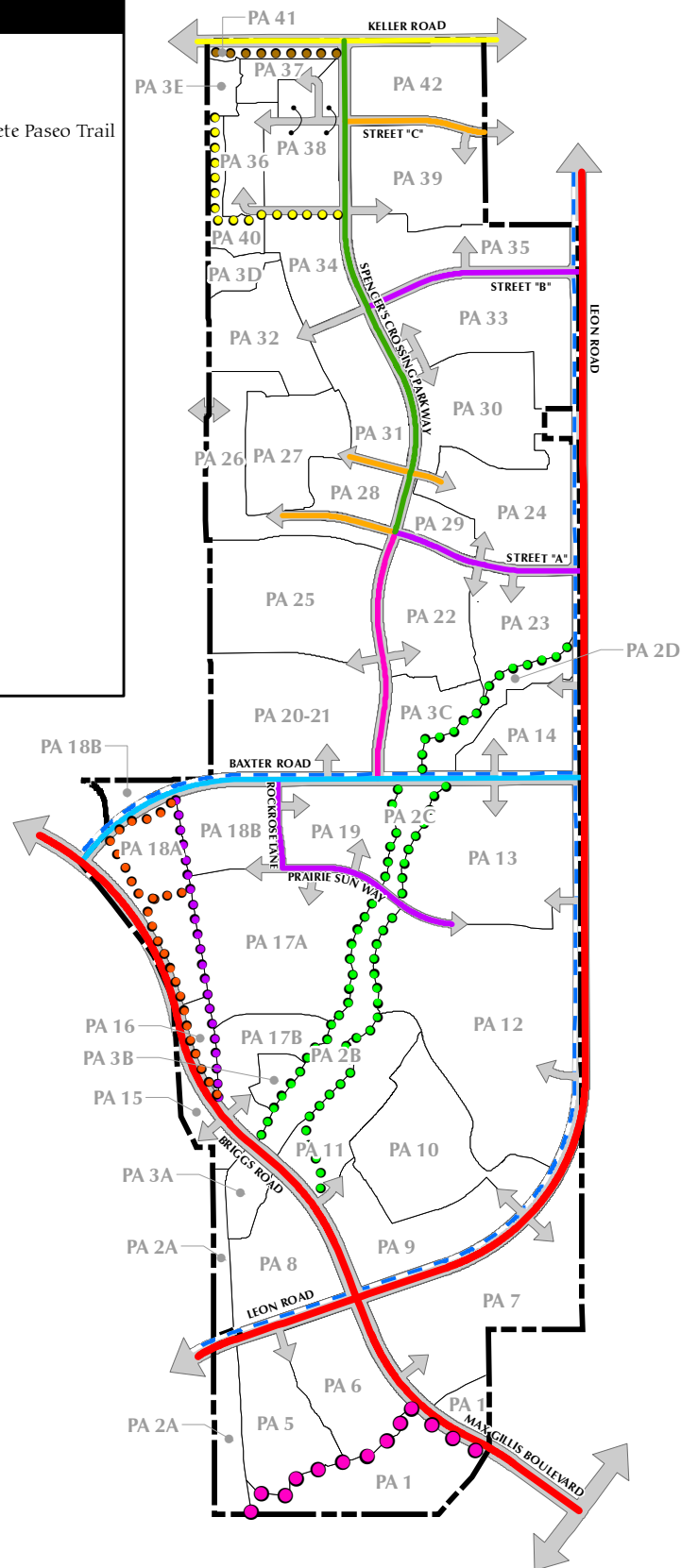
-  Regional Trail
-  4'-10' Decomposed Granite/Concrete Paseo Trail
-  10' Multi-Use Trail
-  8' Hard Surface Trail
-  10' Decomposed Granite Trail
-  4'-7' Decomposed Granite Trail

### Bicycle

-  Class II Bikeway

### Vehicle

-  118' Major Highway
-  100' Secondary Highway
-  84' Modified Collector Street
-  78' Modified Collector Street
-  74' Modified Collector Street
-  74' Collector Road
-  66' Enhanced Local Street



## Circulation Plan

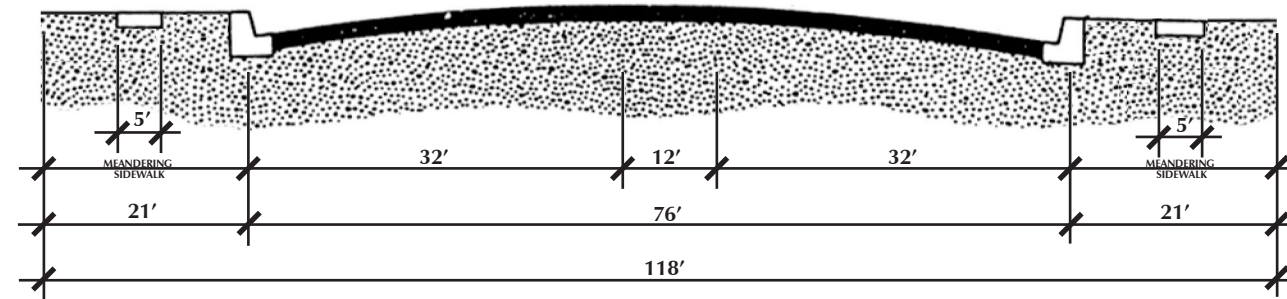
Source(s): RCTLMA (2016)

Figure III.A-3

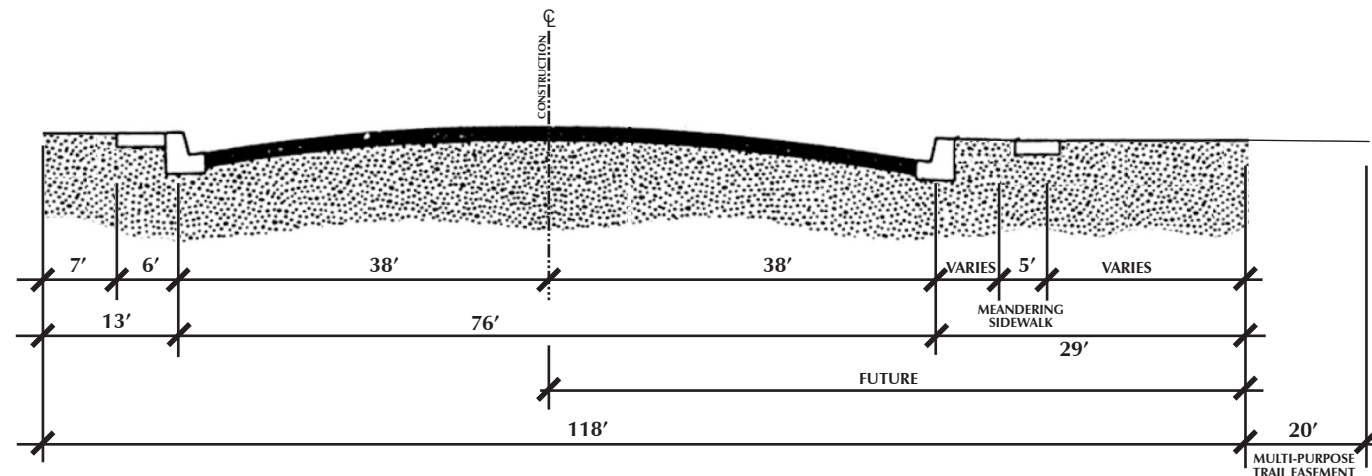
# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com

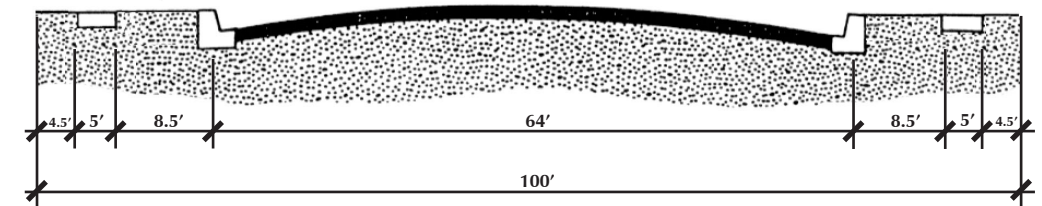




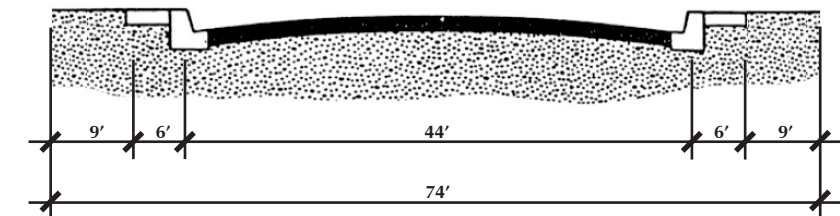
**MAJOR HIGHWAY**  
(BRIGGS ROAD AND LEON ROAD WITHIN PROJECT)



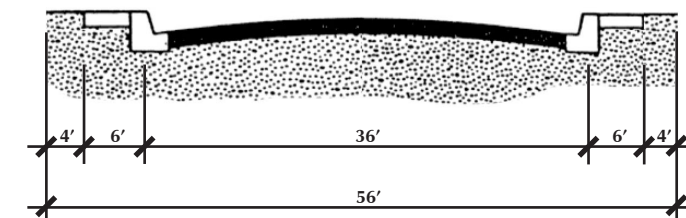
**MAJOR HIGHWAY**  
(LEON ROAD AT PROJECT BOUNDARY)



**SECONDARY HIGHWAY**  
(BAXTER ROAD)



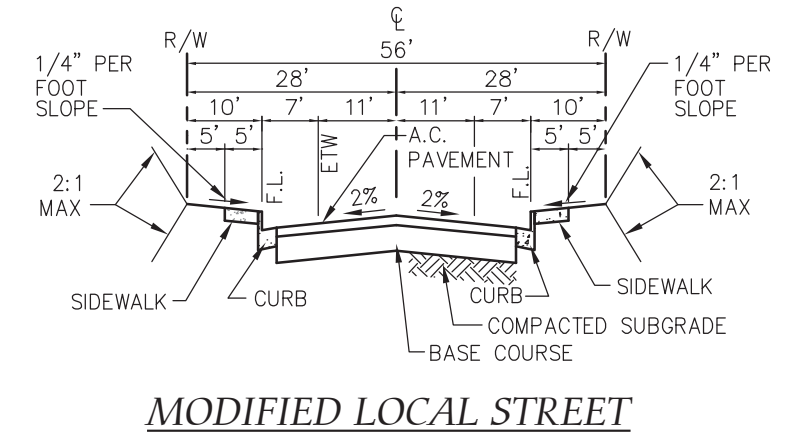
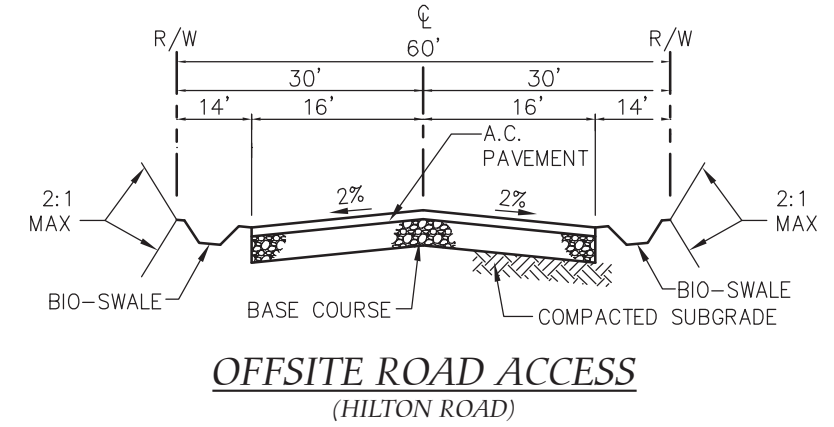
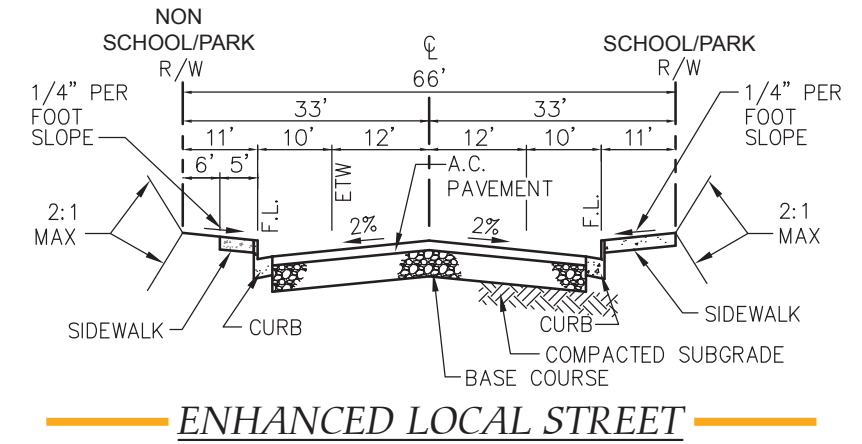
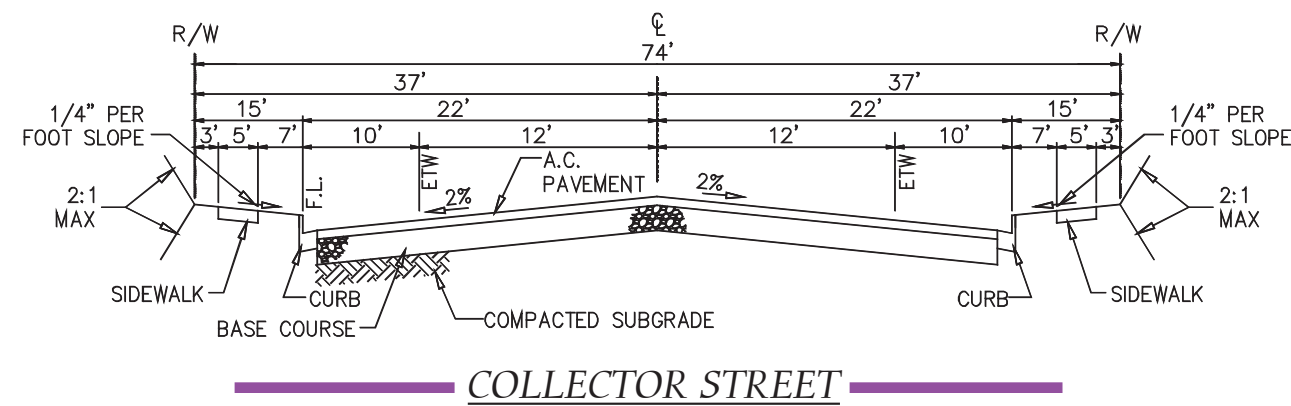
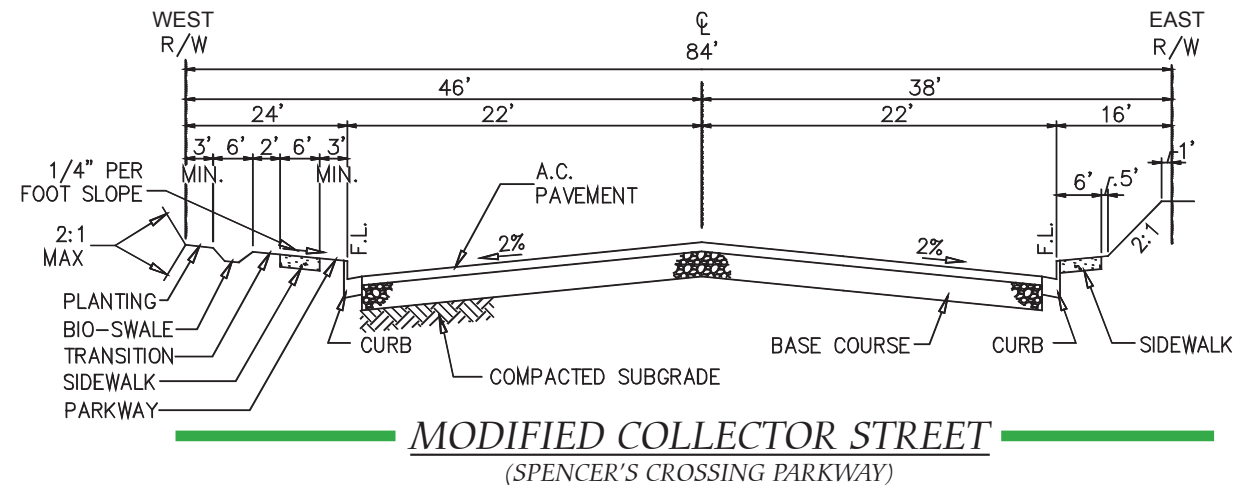
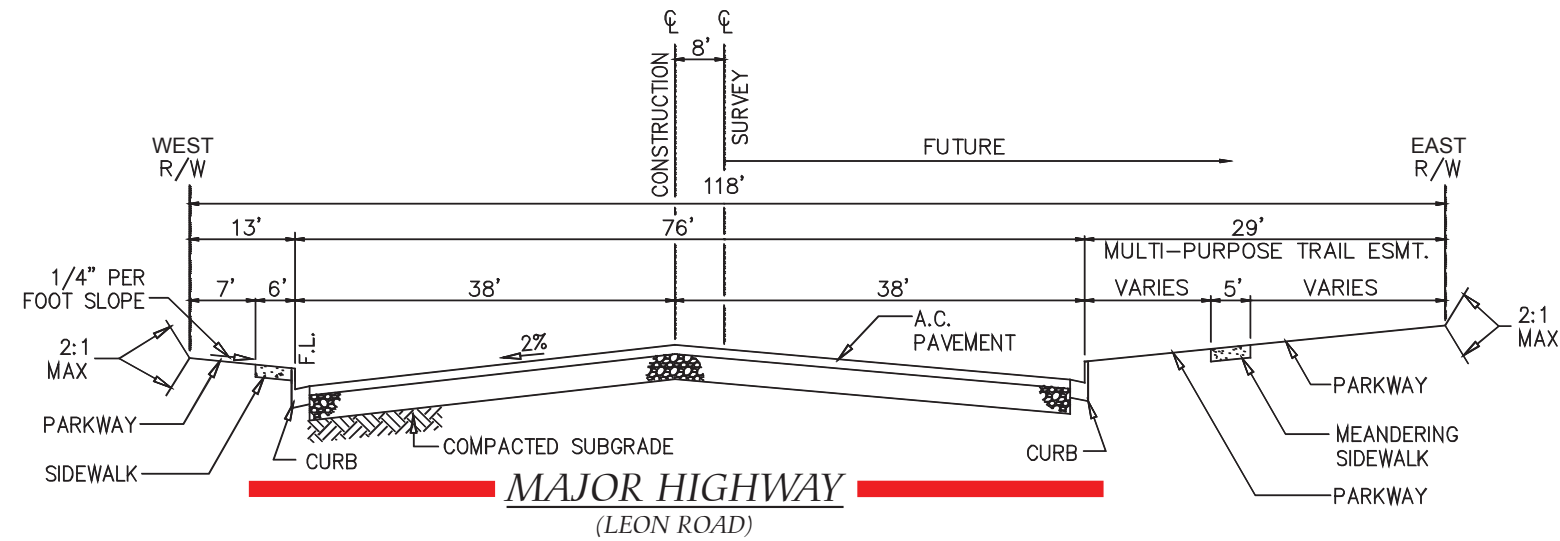
**COLLECTOR ROAD**  
(SPENCER'S CROSSING PARKWAY, STREET "A",  
ROCKROSE LANE & PRAIRIE SUN WAY)



**LOCAL ROAD**  
(INTERNAL STREETS)

**Roadway Cross-Sections South of Baxter Road**

Figure III.A-4



Roadway Cross-Sections North of Baxter Road

Figure III.A-5

### Specific Plan No. 312

- Enhanced Local Street (66-foot right-of-way)
  - Local Road (56-foot right-of-way)
4. Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section IV, *Design Guidelines*. Roadway improvements may be financed through an Assessment District, community facilities district, the Transportation Uniform Mitigation Fee (TUMF), Southwest Area Road and Bridge Benefit District (RBBD) and other county, state or local funding mechanisms.
  5. All roads within the Specific Plan project boundary shall be constructed to appropriate County full or half-widths standards in accordance with Ordinance Nos. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan, subject to approval by the Director of Transportation.
  6. The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
  7. Any application for any subdivision within the Specific Plan boundary (including a Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section. Specific Plan Schedule I Parcel Maps shall design the street system shown thereon.
  8. Each subdivision shall comply with the on-site and off-site street improvement recommendations and mitigation measures outlined in subsequent traffic studies for each individual project.
  9. All typical sections shall comply with Ordinance No. 461, or as approved by the Transportation Department.
  10. All intersection spacing and/or access openings shall be designed in compliance with Standard 114, Ordinance No. 461, or as approved by the Transportation Department.
  11. No textured pavement accents will be allowed within the County right-of-way.
  12. Mid-block crosswalks are not allowed.
  13. Driveways/access points - No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Transportation Department standard access spacing, depending upon the street's classification.
  14. Drainage - Pipes within the road right-of way that have a diameter less than 36 inches shall be maintained by the Transportation Department, while maintenance of all other drainage facilities will be the responsibility of the Flood Control District or a maintenance entity acceptable to the Flood Control District.
  15. School/Parks - The Transportation Department's policy regarding streets adjacent to school and park sites requires a minimum of 66-foot right-of-way (Standard 103).
  16. Any landscaping within public road rights-of-way will require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism, as approved by the Transportation Department.
  17. Any landscaping in expanded landscape parkways outside of the public road rights-of-way shall be maintained by the project's homeowners' association, landscape maintenance district, or similar mechanism.
  18. All Class II bikeways developed as part of this Specific Plan shall be as approved by the Transportation Department.

### Specific Plan No. 312

---

19. No cul-de-sac streets shorter than 150 feet measured to center of bulb are allowed. Also, no cul-de-sac streets longer than 1,320 feet measured to center of bulb shall be permitted.

#### 4. Drainage Plan

##### a. Drainage Plan Description







The FRENCH VALLEY project site lies within the boundaries of the County's Murrieta Creek Area Drainage Plan (ADP), Warm Springs Valley Sub Watershed, Zone 7 and is subject to drainage fees.

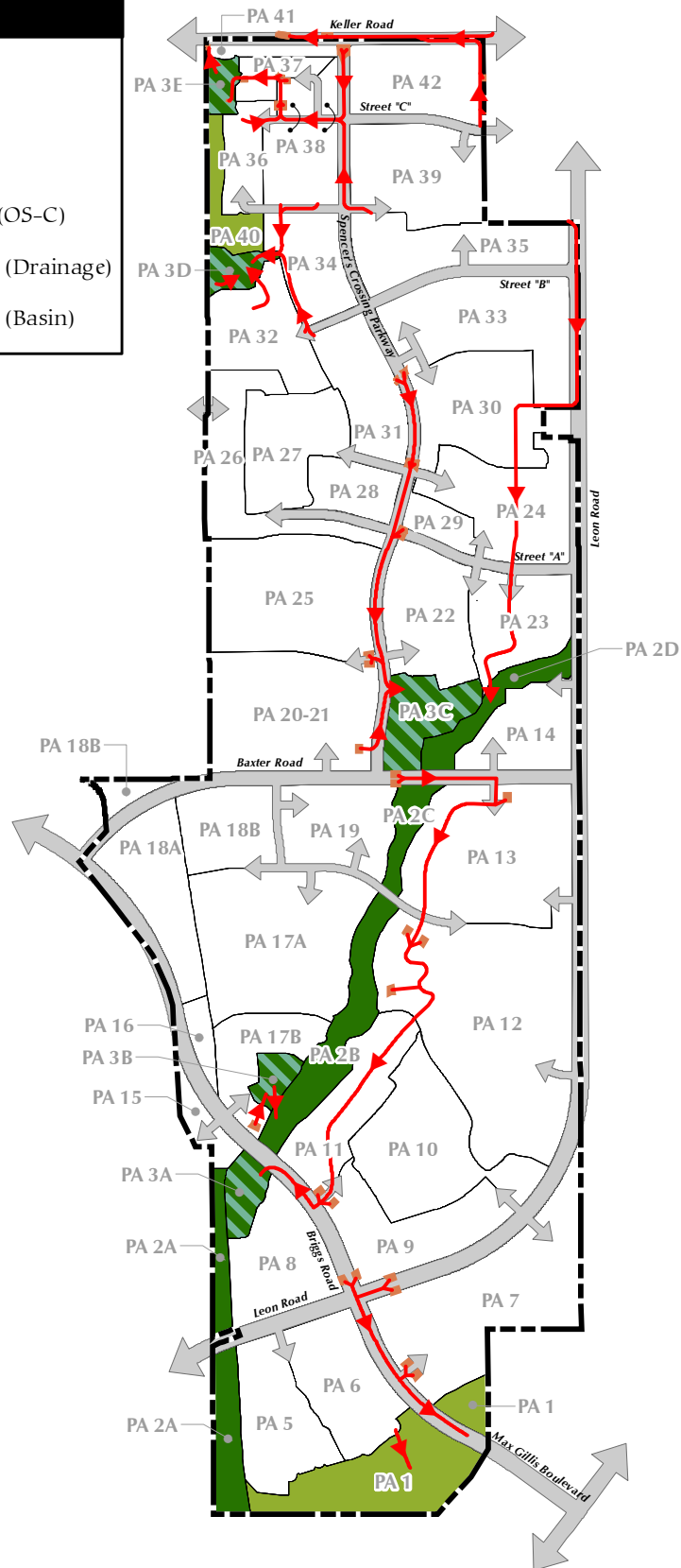
The French Valley Specific Plan drains to two adjacent natural watercourses that will be added to the State Department of Water Resources (DWR) awareness floodplain that was adopted into the County's Floodplain Management Ordinance No. 458. One natural watercourse is located along the southern boundary of the Specific Plan area (Planning Area 1), and a second natural watercourse traverses the central portion of the Specific Plan area (Planning Areas 2A, 2B, 2C, and 2D). Tract maps located on the northwest side of Planning Areas 2B and 2C (i.e., Tract Maps 32289M1 and 36418, processed concurrently with Specific Plan Amendment No. 1) delineate the limits of the floodplain as part of the individual tract map process. Furthermore, Tract Maps 32289M1 and 36418 are designed to avoid encroachment into the floodplain, including residential lots and manufactured fill slopes, except where culverts are necessary to accommodate Specific Plan roadways. Development approved under recorded Final Maps 30694, 30695-1, and 30695-F excludes the encroachment of residential lots into the floodplain of the natural watercourse in Planning Area 1; however, encroachment into the floodplain in Planning Area 1 is permitted for the construction of culverts necessary to accommodate the construction of Briggs Road. Recorded Final Maps 30696-1, 30696-3, 30696-4, and 30696-F permit encroachment into the natural watercourse within Planning Areas 2B, 2C, and 2D (along the southeast side) to accommodate the construction of culverts at street crossings and manufactured fill slopes at small canyons that confluence the stream. In addition, recorded Final Map 30696-1 accommodates the realignment of the natural watercourse in Planning Area 2A to allow for the construction of the park in Planning Area 8 and a detention basin in Planning Area 3A. Manufactured slopes constructed within the limits of the natural course pursuant to recorded Final Maps 30696-1, 30696-3, 30696-4, and 30696-F are protected with rip-rap revetment or other lining as approved by the reviewing agency.

The proposed drainage plan on Figure III.A-6, *Master Drainage Plan*, utilizes the project streets and storm drain pipelines to convey storm water flows through the project. A storm drain system carries storm water that exceeds the streets' capacity. Preliminary storm drain pipeline sizes range from 18-inch to 66-inch diameters. This study represents a regional plan for conveying storm flows and does not detail smaller diameter pipelines that may be required to assist in individual site development or project phasing. A 66-inch diameter pipeline provided in Leon Road collects and conveys off-site flow from the northeast corner of the Specific Plan area to an unnamed natural watercourse in Planning Area 2D, where it ultimately flows through the Specific Plan area to the southwest (via Planning Areas 2A-2D). No detention facility is required at the terminus of this pipeline as there will be no increase in flow by the project development as compared to pre-development conditions. Three major pipeline systems are provided to convey the majority of the flow through the project to the appropriate detention facility. A system of pipelines ranging in diameter from 30-inch to 42-inch pick up run-off from the majority of the area north of Baxter Road and empty into retention/WQMP basins in Planning Areas 3C, 3D, and 3E. Another pipe system ranging in diameters from 18-inch to 66-inch pick up run off south of Baxter Road (west of the natural watercourse in Planning Areas 2B and 2C) and empty into a detention basin in Planning Area 3B. The final pipe system picks up the east 130 acres north of Leon Road between the natural watercourse in Planning Areas 2B and 2C and the eastern project boundary. Pipe diameters range from 18-inch to 66-inch in diameter, and



## Legend

-  Storm Drain
-  Catch Basins
-  Flow Direction
-  Open Space - Conservation (OS-C)
-  Open Space - Water (OS-W) (Drainage)
-  Open Space - Water (OS-W) (Basin)



## Master Drainage Plan

Source(s): RCTLMA (2016)

Figure III.A-6

# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.4360 f. 714.505.4361  
www.tbplanning.com



### Specific Plan No. 312

---

terminate at the detention basin in Planning Area 3A. The portion of the Specific Plan area south of Leon Road drains directly into the natural watercourse in Planning Area 1 (i.e., Warm Springs Creek). Refer to Figure III.A-6, *Master Drainage Plan*, for their approximate locations and limits. Each drainage system will be designed to utilize the natural drainage patterns and courses to the maximum extent possible, while providing required water quality treatment, including erosion control, and 100-year flood protection. This plan has been designed to minimize drainage diversions. No diversion or alteration of drainage patterns outside of the Specific Plan area is contemplated in conjunction with Specific Plan development.

RCFCWCD policy requires that the rate of storm runoff discharged from a project site not be increased as a result of development. As development occurs, the construction of roadways, parking facilities and structures increases the amount of impervious surfaces within the Specific Plan area, preventing rainfall from natural percolation into native soils. By conveying flows in roadbeds and pipelines, the time of conveyance of the flow is shortened as compared to flow in natural watercourses. The result of these two occurrences is an increase in the rate of the storm runoff that discharges at the project limits. This difference in the rate of runoff must therefore be managed on-site through the use of the proposed detention basins, which will be designed to accept the increased flow and discharge only the rate of flow prior to development at all locations discharging from the Specific Plan area.

The final size and location of all the required drainage systems and water quality features are determined at the tract map stage of development, per the requirements of the RCFCWD. The improvements noted on Figure III.A-6 are based upon a preliminary hydrologic analysis and are therefore preliminary and for use in development planning only.

#### b. Drainage Plan Development Standards

1. Drainage and flood control facilities and improvements, including any necessary channelization, shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
2. The on-site tributary to Warm Springs Creek remains natural on-site in Planning Area 1, and shall be maintained either by a public or quasi-public agency, a County Service Area (CSA), a landscape and lighting district, or a Master Homeowners' Association. Facilities to be constructed in road rights-of-way and drainage easements shall be maintained by the Riverside County Flood Control and Water Conservation District, the Riverside County Transportation Department, or other special district. Local drainage devices and channels will be maintained by a similar public/private entity.
3. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least five (5) acres total land area, or activity which is part of a larger common plan of development of five acres or greater, shall obtain the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but are not limited to: covered storage of all outside storage facilities; vegetated swales; monitoring programs; etc.
4. A Notice of Intent will be submitted to the Regional Water Quality Control Board and a site specific Stormwater Pollution Prevention Plan and Water Quality Management Plan will be prepared prior to the commencement of construction and post-development activities of implementing development. The permits will require the applicant to implement best management practices during and after construction activities.

5. The second blue line stream which enters the property from Leon Road and traverses from northeast to southwest shall be preserved as a natural drainage course through the property in Planning Areas 2A-D and buffered from the development by manufactured slopes with trails. The slope and trail areas shall be landscaped with native type vegetation and require minimal maintenance. The slope and trail areas shall be maintained by the public or quasi-public agency responsible for overseeing and protecting sensitive habitats, a County Service Area (CSA), or other entity acceptable to the County.

## 5. Water and Sewer Plans

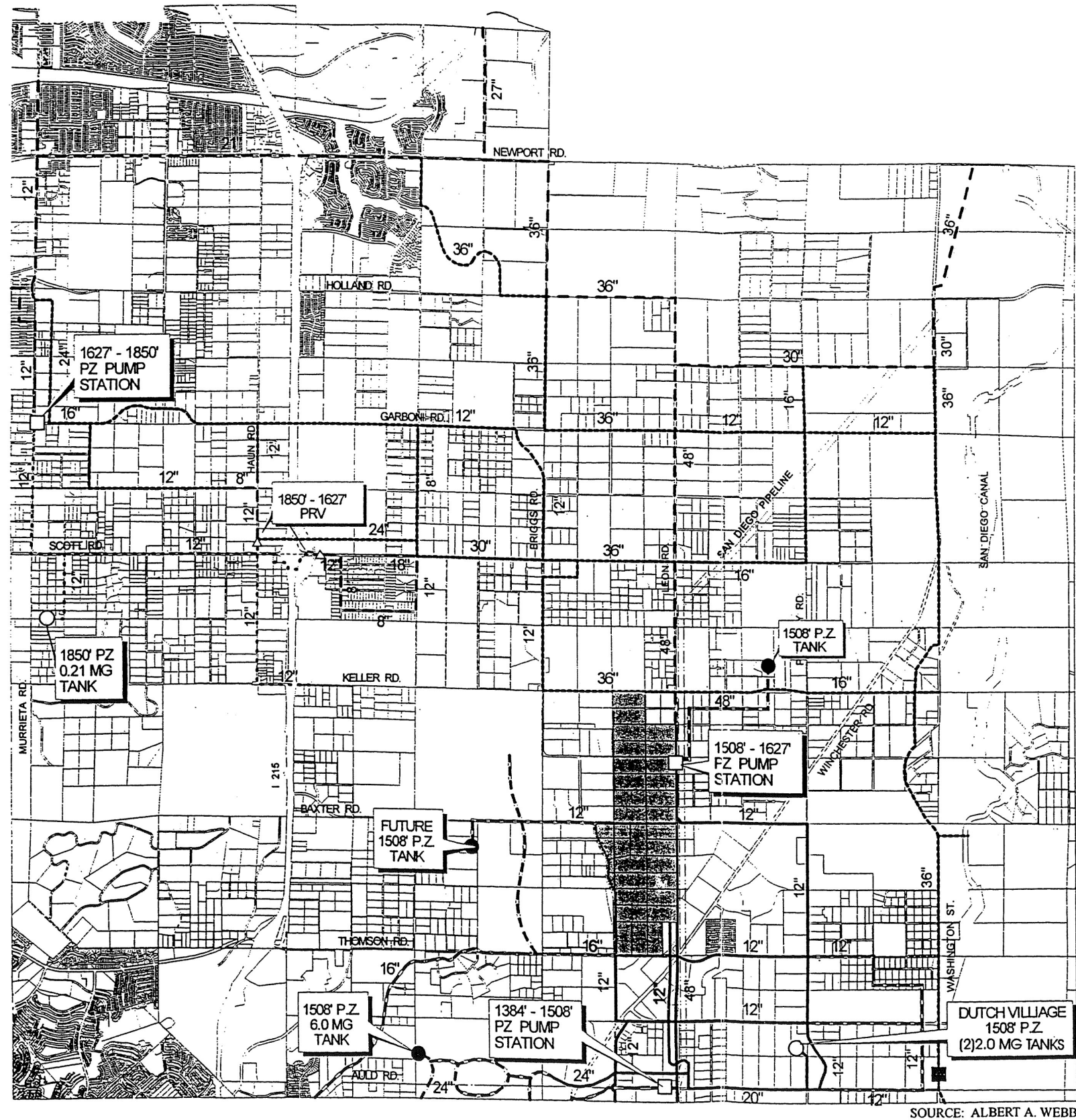
### a. Water Plan Description

The FRENCH VALLEY Specific Plan is within Eastern Municipal Water District's (EMWD) service area. EMWD has indicated that adequate water service can be provided for the proposed project using existing facilities and extending master planned facilities through and along the perimeter of the project site. Water is currently supplied to this region by EMWD from its 75-cfs connection to the Metropolitan Water District's (MWD) Skinner Water Filtration Plant. EMWD also maintains an approximately 155-cfs connection to MWD's Henry J. Mills water filtration plant located north of Alessandro Boulevard west of Interstate 215. In addition to water supplied through connections to MWD facilities, EMWD operates and maintains domestic wells capable of supplying approximately 39-cfs of water within its service area. EMWD has indicated there is sufficient water supply capacity to provide domestic water and fire flow service to the project area as well as other proposed neighboring developments.

South of Baxter Road the project will be served by EMWD's 1627-foot pressure zone. Pressure within this system is maintained by storage from the two 2.0 MG Dutch Village tanks and the 6.8 MG Mountain View tank (located approximately 2 miles southwest of the project near the French Valley Airport). Additional storage is located in the Las Brisas area west of the project. Water facilities available to provide water service to the southern portion of the project include the existing 48-inch diameter regional supply main in Leon Road and a parallel 12-inch distribution main in Leon Road. Existing 12-inch looped lines support the system south and east of the project. Existing water facilities near the project site are shown on Figure III.A-7, *Regional Water Facilities*.

EMWD Master Plan improvements in the vicinity of the project site for the 1627-foot pressure zone are also shown on Figure III.A-7. The EMWD Master Plan shows a 16-inch water main south of the project site in Thompson Road. This project provides for the construction of a 12-inch diameter water main in Baxter Road. These lines will be extended from connections to the existing system in Leon Road, west to the project boundary. An 18-inch water main in Keller Road connects to a 12-inch line (running south) in Spencer's Crossing Parkway which connects to an existing 12-inch line in Baxter Road. An additional 12-inch line is located in Street "A". Additional 1508-foot pressure zone water infrastructure include 18-inch and 12-inch water main connecting the Master Plan lines in Briggs Road, and a 12-inch line in Leon Road between existing Leon and future Clinton Keith Roads. These facilities are shown on Figure III.A-8, *Master Water Plan*.

EMWD has indicated adequate storage and pumping capacity exists within the 1627-foot pressure zone to serve the project. As this project and the surrounding area develops, EMWD will construct additional storage and pumping facilities on an as needed basis. The FRENCH VALLEY project will contribute to construction of Master Planned storage and pumping facilities through payment of connection fees.



### Legend

- STUDY AREA
- EXISTING 1850' P.Z. WATERMAIN
- EXISTING 1627' P.Z. WATERMAIN
- EXISTING 1508' P.Z. WATERMAIN
- EXISTING 1384' P.Z. WATERMAIN
- EXISTING BOOSTER STATION
- EXISTING WATER RESERVOIR
- PRESSURE REDUCER
- MASTER PLANNED BOOSTER STATION
- MASTER PLANNED WATER RESERVOIR
- MASTER PLANNED 1508' P.Z. WATERMAIN
- MASTER PLANNED 1627' P.Z. WATERMAIN

SOURCE: ALBERT A. WEBB





## Regional Water Facilities

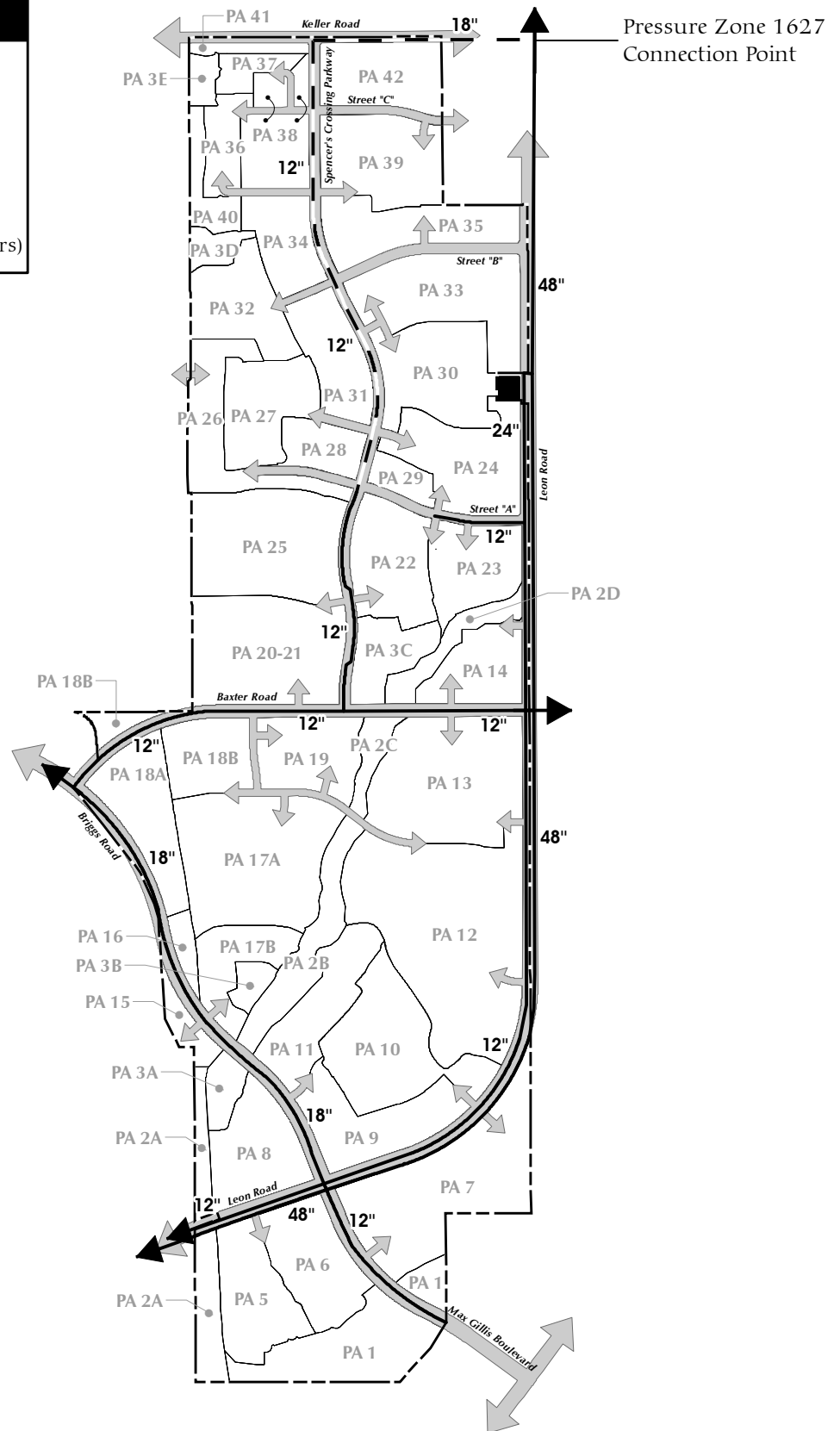
Figure III.A-7

# French Valley SP 312 A-2



## Legend

-  Existing Booster Station
-  Existing Water Main
-  Proposed Water Main
-  Future Local Water Line for Off-Site Areas (By Others)



## Master Water Plan

Source(s): RCTLMA (2016)

Figure III.A-8

# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com



### Specific Plan No. 312

---

North of Baxter Road the project will be served by EMWD's 1627-foot pressure zone system. This system is fed from the south by the 1508-foot pressure zone through an existing regional pump station located along Leon Road north of Baxter Road adjacent to the project. This pump station is supplied by the 48-inch water main in Leon Road, and pumps into the 1627-foot pressure zone through the same 48-inch water main. The 1627-foot pressure zone is also fed from the north by a connection to MWD's Mills Treatment Plant. Water is delivered throughout the 1627-foot pressure zone by a pipe network system made up of large diameter pipelines. The only 1627-foot pressure zone pipelines in the vicinity of the project site are the 48-inch diameter transmission main in Leon Road and a 24-inch main in Leon Road south of the EMWD booster station. Existing water facilities near the project site are shown on Figure III.A-7, *Regional Water Facilities*.

No 1627-foot pressure zone Master Plan storage is proposed in the vicinity of the project site. Master Planned storage sites are located approximately 10 miles northwest of the project site. The 1627-foot pressure zone maintains more than ten million gallons of storage. EMWD has indicated the 1627-foot pressure zone maintains sufficient pumping capacity to meet the needs of the FRENCH VALLEY project. Similar to 1508-foot pressure zone, the FRENCH VALLEY project will contribute to construction of Master Plan storage and pumping facilities through payment of connection fees.

EMWD Master Plan transmission facilities for the 1627-foot pressure zone are also shown on Figure III.A-7. Master Plan transmission facilities to be constructed by this project include an 18-inch diameter transmission main in Keller Road, extending from a connection to the 48-inch main in Leon Road west to Spencer's Crossing Parkway. Additional water infrastructure includes a 12-inch water main extending south within Spencer's Crossing Parkway from the 18-inch main to the pressure zone boundary (Baxter Road), as shown on Figure III.A-8, *Master Water Plan*.

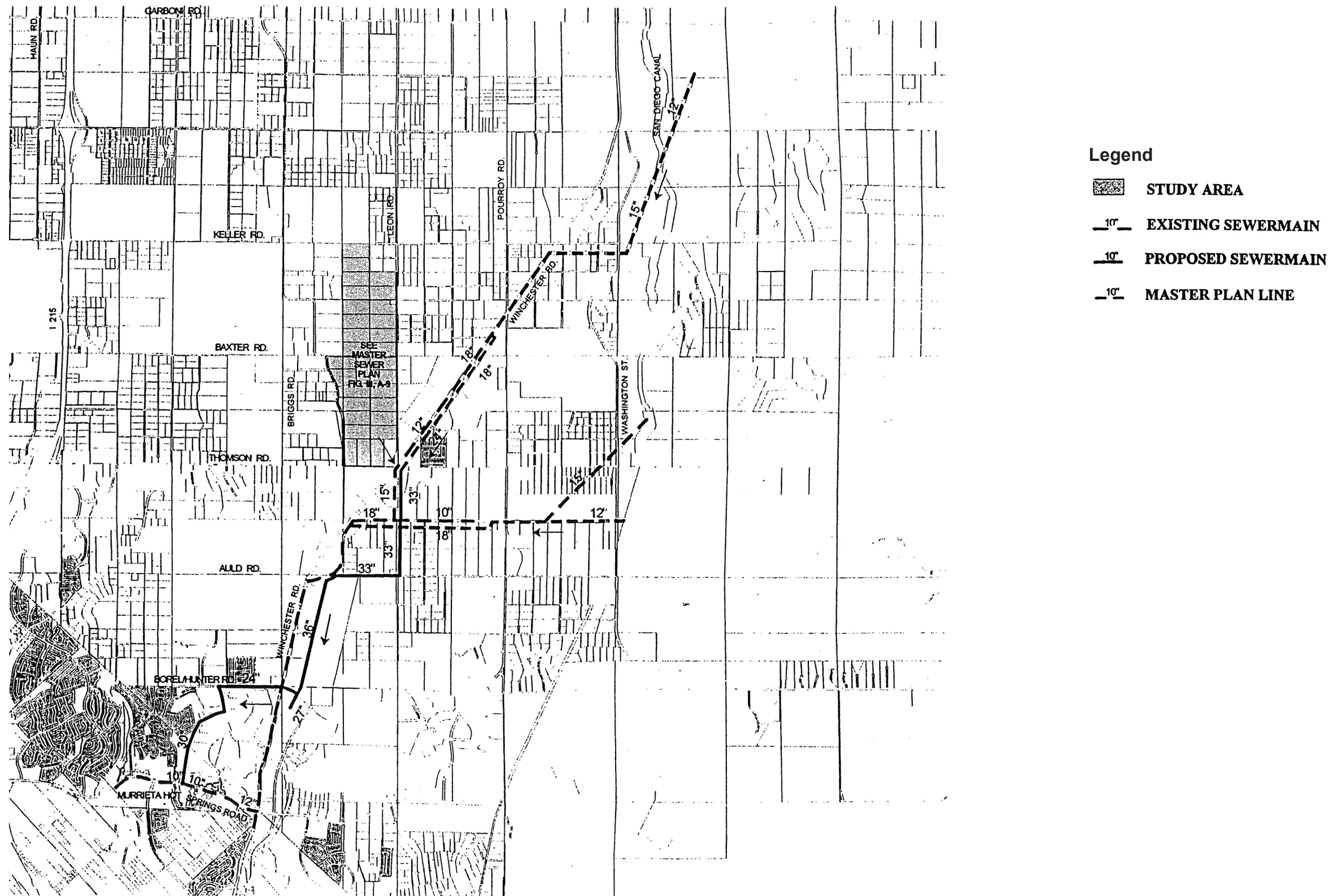
#### b. Sewer Plan Description

The FRENCH VALLEY Specific Plan is within Eastern Municipal Water District's (EMWD) service area. Wastewater generated from the French Valley area is treated at the EMWD's Temecula Valley Regional Water Reclamation Facility. The treatment plant has a daily capacity of 18.0 million gallons per day. EMWD operates and maintains a trunk sewer main in Winchester Road.

Existing and master planned sewer facilities in the vicinity of the project site are shown on Figure III.A-9, *Regional Sewer Facilities*. EMWD Master Plan improvements for the area and facilities needed to serve the project are shown on Figure III.A-10, *Master Sewer Plan*. This regional plan shows a trunk sewer extending through the site to the southeast corner of the project at Winchester Road. This sewer main will vary from 12-inch to 30-inch in diameter, as flow is introduced throughout the project. A master planned 18-inch sewer main in Baxter Road extends from the trunk line west to the project boundary. A 15-inch sewer main in Spencer's Crossing Parkway will connect to the existing 18-inch sewer main in Baxter Road. These proposed facilities are in accordance with current EMWD planning and standards. A portion of the project drains away from the proposed regional trunk line and cannot be served by gravity. A small sewer lift station and short force main will be required to serve this portion of the project.

#### c. Water and Sewer Plan Development Standards

1. All water and sewer lines shall be placed underground and will be designed per the Eastern Municipal Water District's standards and standard specifications.
2. The infrastructure system will be installed to the requirements of the Eastern Municipal Water District.

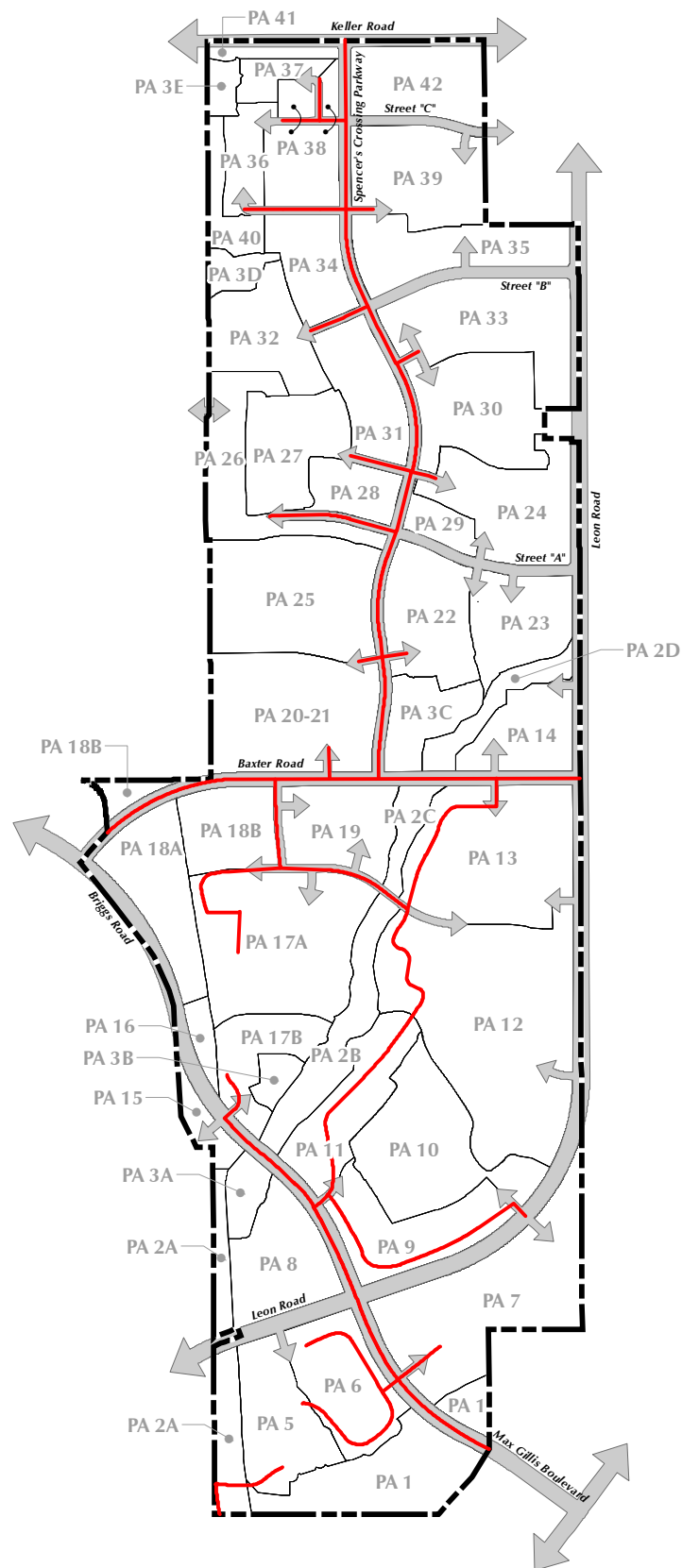


**Regional Sewer Facilities**

Figure III.A-9

# French Valley SP 312 A-2

## Legend



## Master Sewer Plan

Source(s): RCTLMA (2016)

Figure III.A-10

# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com





3. Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the State Department of Health Services and the Riverside County Health Department.
4. A sewer line will be stubbed out to Hilton Road (see Figure III.A-10, *Master Sewer Plan*).
5. A water line will be stubbed out to Briggs Road to provide water service to the off-site properties located to the west of the project site. This water line will extend west to Briggs Road approximately opposite Planning Areas 16, 18A, and 18B (see Figure III.A-8, *Master Water Plan*).

## 6. Open Space and Recreation Plan

### a. Open Space and Recreation Plan Description

An important element of the FRENCH VALLEY Specific Plan community is the Open Space and Recreation Plan, which provides a variety of recreational opportunities which all residents of the FRENCH VALLEY community may enjoy. The park sites offer residents a range of recreational opportunities and further serve to distinguish FRENCH VALLEY from the surrounding communities. In all, 107.7 acres (17.1 percent) of the project site have been set aside for open space and recreational uses.

The overall *Open Space and Recreation Plan* concept is illustrated on Figure III.A-11. The elements and acreage of the program are further identified in Table III.A-2, *Open Space and Recreation Plan Summary*.

The County and Valley-Wide Recreation and Park District require 5.0 acres of park land for each 1,000 residents to satisfy Quimby Act requirements, as expressed in Ordinance No. 460, Section 10.35. With an anticipated 5,678 residents within the FRENCH VALLEY development area, a minimum of 28.4 acres of active park land would be required to satisfy Quimby Act standards. This calculation is based on determining the average number of persons per household, in this case, 3.12 for each single family dwelling unit with an attached garage then multiplying by the total number of dwelling units ( $3.12 \times 1,820 = 5,678.4$ ). The resulting number is divided by 1,000 and then multiplied by 5 acres to establish the required active park land acreage [ $(5,678.4/1,000) \times 5 = 28.4$ ].

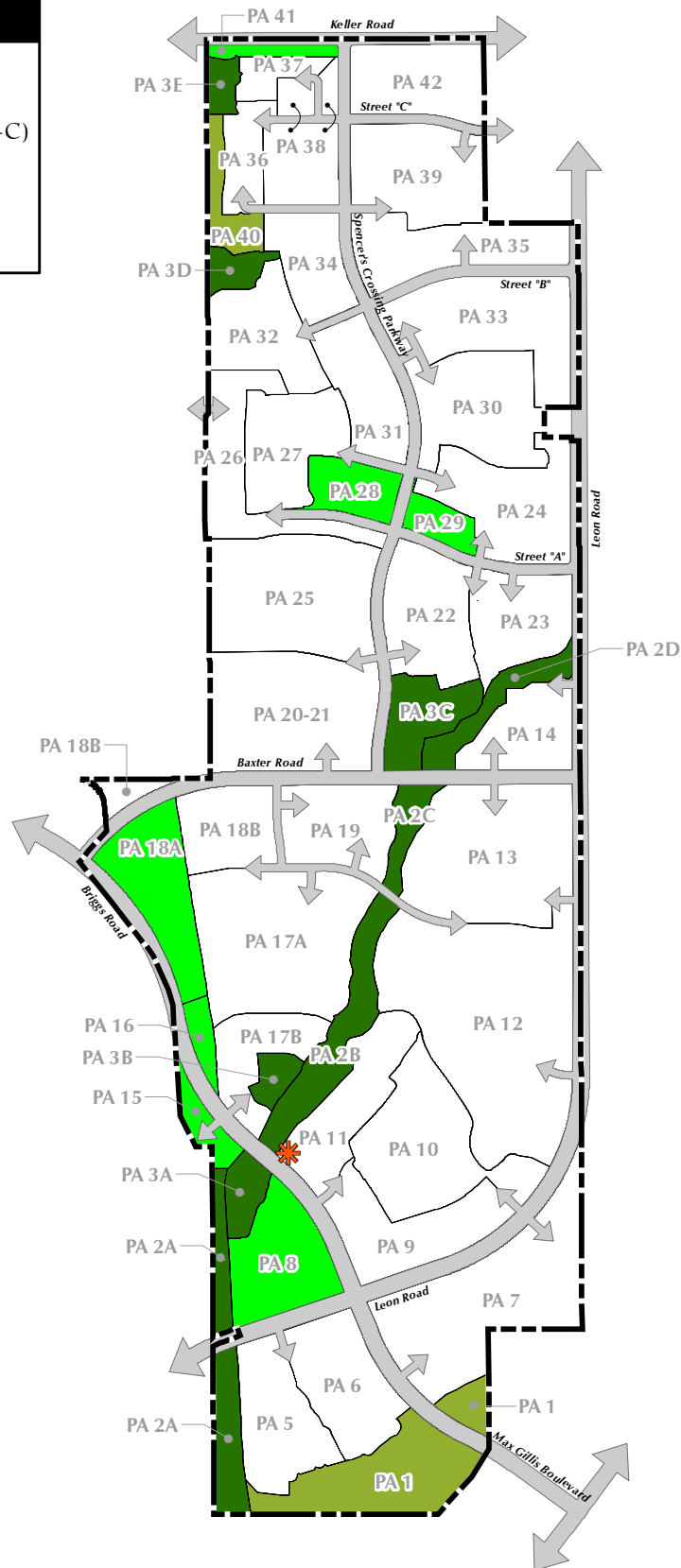
FRENCH VALLEY exceeds this requirement by providing 31.3 gross acres of public active park land (Planning Areas 8, 16/18A, and 28). In addition, FRENCH VALLEY provides an additional 6.9 acres of private park and recreational amenities, including an approximately 3.7-acre community recreation center in Planning Area 11, and a 3.2-acre private recreation facility in Planning Area 29. Private parks and recreation facilities receive half credit towards Quimby Act requirements, per Riverside County Ordinance 460.137 § 10.35, 1997. Therefore, French Valley provides for a total of 34.8 acres of parkland for Quimby credit, which exceeds the requirement for 28.4 acres of parkland. School recreation facilities may also be available for community use during non-school hours, at the discretion of the School Districts. Detailed program elements and acreages of the open space and recreation program for FRENCH VALLEY are described in Table III.A-2 and on the following pages.

### ☐ **Recreation**

- *Planning Area 8 - 10.7 Acre Park:* This 10.7-acre park is located south of Baxter Road, adjacent to the proposed greenbelt (Figure III.B-2A). It is intended to serve the entire FRENCH VALLEY community. The park will include active and passive facilities and will be designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16A is a conceptual design

## Legend

- Parks (OS-R)
- Conservation/Paseo (OS-C)
- Paseo/Detention (OS-W)
- ✱ Community Recreation Center



## Open Space and Recreation Plan

Source(s): RCTLMA (2016)

Figure III.A-11

# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com



**Table III.A-2 OPEN SPACE AND RECREATION PLAN SUMMARY**

<b>Land Use</b>	<b>Planning Area</b>	<b>Acreage</b>
<b><i>Recreation</i></b>		
Open Space-Recreation (Active Park)	8	10.7
Community Recreation Center	11	3.7
Open Space-Recreation	15	3.7
Open Space-Recreation (Active Park)	16	2.6
Open Space-Recreation (Active Park)	18A	12.4
Open Space-Recreation (Active Park)	28	5.6
Open Space-Recreation (Private Recreation Facility)	29	3.2
Open Space-Recreation	41	1.9
<i>Recreation Subtotal</i>		<i>40.1</i>
<b><i>Open Space</i></b>		
Open Space-Conservation	1	19.8
Open Space-Conservation	40	4.4
Open Space-Water (Drainage)	2A	8.0
Open Space-Water (Drainage)	2B	9.6
Open Space-Water (Drainage)	2C	3.1
Open Space-Water (Drainage)	2D	4.8
Open Space-Water (Detention Basin)	3A	3.3
Open Space-Water (Detention Basin)	3B	2.8
Open Space-Water (Retention/WQMP Basin)	3C	7.1
Open Space-Water (Retention/WQMP Basin)	3D	2.6
Open Space-Water (Retention/WQMP Basin)	3E	2.1
<i>Open Space Subtotal</i>		<i>67.6</i>
<b>Open Space and Recreation Total</b>		<b>107.7</b>

that shows how the park may be connected to the proposed greenbelts and parkways. The adjacent detention basin will be available for active recreation uses.

- Planning Area 11 – Community Recreation Center:* The FRENCH VALLEY Specific Plan provides for the development of an approximately 3.7-acre community recreation center within Planning Area 11, a residential Planning Area. The community recreation center provides a variety of recreational amenities for community residents, including a swimming pool, spa, tot lot, and open turf area for informal play. In addition, the community recreation center includes a community recreation building and outdoor spaces, such as a barbeque area, picnic area, gardens, benches and seating, and shade structures, to provide residents with a place to socialize.
- Planning Area 15 – 3.7 Acre Open Space:* The FRENCH VALLEY Specific Plan provides for the development of Planning Area 15 as an open space area with natural landscaping. Storm water detention/water quality basin(s) may be provided in Planning Area 15.

### Specific Plan No. 312

- *Planning Areas 16 and 18A – 15.0 Acre Park:* The 15.0-acre neighborhood park in Planning Areas 16 and 18A is located at the southeast corner of the intersection of Baxter Road and Briggs Road (Figure III.B-10). This public park provides recreational opportunities to residents within the FRENCH VALLEY Specific Plan area, as well as residents within the larger French Valley community. As conceptually depicted on Figure IV-16B, the park within Planning Areas 16 and 18A will feature an open turf area for informal play, a dog park, and trails.
- *Planning Area 28 – 5.6 Acre Park:* This 5.6-acre park is located north of Baxter Road and west of Spencer's Crossing Parkway, adjacent to residential neighborhoods. The park includes active and passive facilities which meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16C is a conceptual design that shows the facilities provided in the park.
- *Planning Area 29 – 3.2 Acre Private Recreation Facility:* The 3.2-acre private recreation center located in Planning Area 29 is located north of Street "A" and east of Spencer's Crossing Parkway, adjacent to residential neighborhoods. The facility is limited to private use by members of the homeowners' association. Figure IV-16I depicts a conceptual design of the private recreation center within Planning Area 29.
- *Planning Area 41 – 1.9 Acre Linear Park:* The linear park in Planning Area 41 comprises 1.9 acres and provides a buffer between Keller Road and residential land uses in Planning Areas 37 and 38. Planning Area 41 includes a multi-use trail that connects to the equestrian staging area in Planning Area 3E. Landscaping is provided within Planning Area 41 to serve as an aesthetic amenity and soften the appearance of the FRENCH VALLEY community from areas north of Keller Road.

❑ **Open Space.** Open Space areas comprise 67.6 acres of the project site. The open space located on site has been categorized in four separate classes to differentiate the distinct types of open space occurring within FRENCH VALLEY.

- *Open Space-Conservation:* Planning Area 1 is comprised of 19.8 acres of natural open space located along the southern boundary of the project site. A blue line stream which is a tributary to Warm Springs Creek passes through Planning Area 1 and will be preserved in its natural state. Planning Area 40 is also designated OS-C, and provides for the conservation of 4.4 acres of open space and includes an 8-foot wide hard surface trail.
- *Open Space-Water (Drainage):* A blueline stream enters the property at Leon Road just north of Baxter Road and traverses in a northeast to southwest direction through Planning Areas 2A-D. It has been preserved in its natural state and provides both aesthetic and recreational qualities. The stream lies within a pedestrian greenbelt to provide a recreational and visually appealing area for residents. Additionally, two paseo trails run along the north and south sides of Planning Areas 2A through 2D, which provide pedestrian linkage between parks and neighborhoods, and minimizes street crossing between those points. These Planning Areas combine for a total of 25.5 acres.
- *Open Space-Water (Detention Areas):* Two detention areas, Planning Areas 3A and 3B, totaling 6.1 acres, will be provided to slow the rate of flow from the FRENCH VALLEY project site. These basins are located on the southwest portion of the site near the natural open space drainage area flowing through the property. All of the detention basins will provide both an aesthetic and recreational element to the FRENCH VALLEY community.

- *Open Space-Water (Retention/WQMP Basins):* Planning Areas 3C through 3E provide for development of 11.8 acres dedicated to retention/WQMP basins. One of the retention sites has been placed along the open space near the natural open space drainage area flowing through the property. The remaining retention areas are within the northwest portion of the project, south of Keller Road, and adjoin the open space conservation area, Planning Area 40, at its northern and southern boundaries. All of the retention basins will provide both an aesthetic and recreational element to the FRENCH VALLEY community.

- **Trails:** The FRENCH VALLEY Specific Plan provides an interconnected trail system to provide residents with convenient access throughout the FRENCH Valley community. A Regional Trail is provided along the tributary of Warm Springs Creek in Planning Area 1. This trail provides a passive scenic corridor for FRENCH VALLEY residents to walk or hike along the existing drainage. In addition, trails are provided within the paseo system which connect residential neighborhoods in the northern and southern portions of the community to the recreational facilities, as well as the school site in Planning Area 42. The FRENCH VALLEY Specific Plan also provides Class II bikeways along Leon Road and Baxter Road.

b. Open Space and Recreation Plan Development Standards

1. The French Valley Specific Plan shall be annexed into either the Valley-Wide Recreation and Park District or a County Service Area (CSA) or a similar entity capable of maintaining park, open space, minor drainage areas, detention basins and trail areas.
2. All public parks within French Valley (Planning Areas 8, 16/18A, and 28) shall be publicly owned and maintained for the benefit of all residents within the French Valley community and the surrounding areas. Ownership and maintenance of all recreational facilities will be the responsibility of a Master Homeowners' Association, Valley-Wide Recreation and Park District, CSA or a similar mechanism. The maintenance mechanism shall be selected at the time that the implementing development application is submitted.
3. All recreation facilities will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
4. All parks will provide parking in accordance with Riverside County and Valley-Wide Recreation and Park District standards.
5. Landscaping within recreation and open space areas will be further governed by the Development Plans and Standards in the Landscaping Plan section of this Specific Plan (Section III.A.8) and the Design Guidelines section (Section IV) of this Specific Plan.
6. In accordance with the County's implementation of the State's Quimby Act (Section 10.35 of Ordinance No. 460), the project will dedicate or convey a 10.7-acre park site, a 15.0-acre park site, and a 5.6-acre park site to the Valley Wide Recreation and Park District as a condition of approval of a tentative map or parcel map.
7. The Specific Plan Land Use Plan has been designed to preserve Native American archeological resources in an undisturbed state within on-site open space areas. The details of the preservation shall be provided for in the mitigation agreement between the Pechanga Indians and the developer. This mitigation agreement shall be completed prior to recordation of any implementing projects in Phase III of the FRENCH VALLEY Specific Plan.

#### 7. Grading Plan

##### a. Grading Plan Description

The FRENCH VALLEY Specific Plan grading is tailored to the existing topography of the project site. The existing terrain is comparatively level over most of the site with a low elevation of approximately 1,326 feet above mean sea level (AMSL) and a high elevation of 1,426 feet AMSL. It is intended that proposed site grading be sensitive to natural landforms. (See Figure III.A-12, *Conceptual Grading Plan*.)

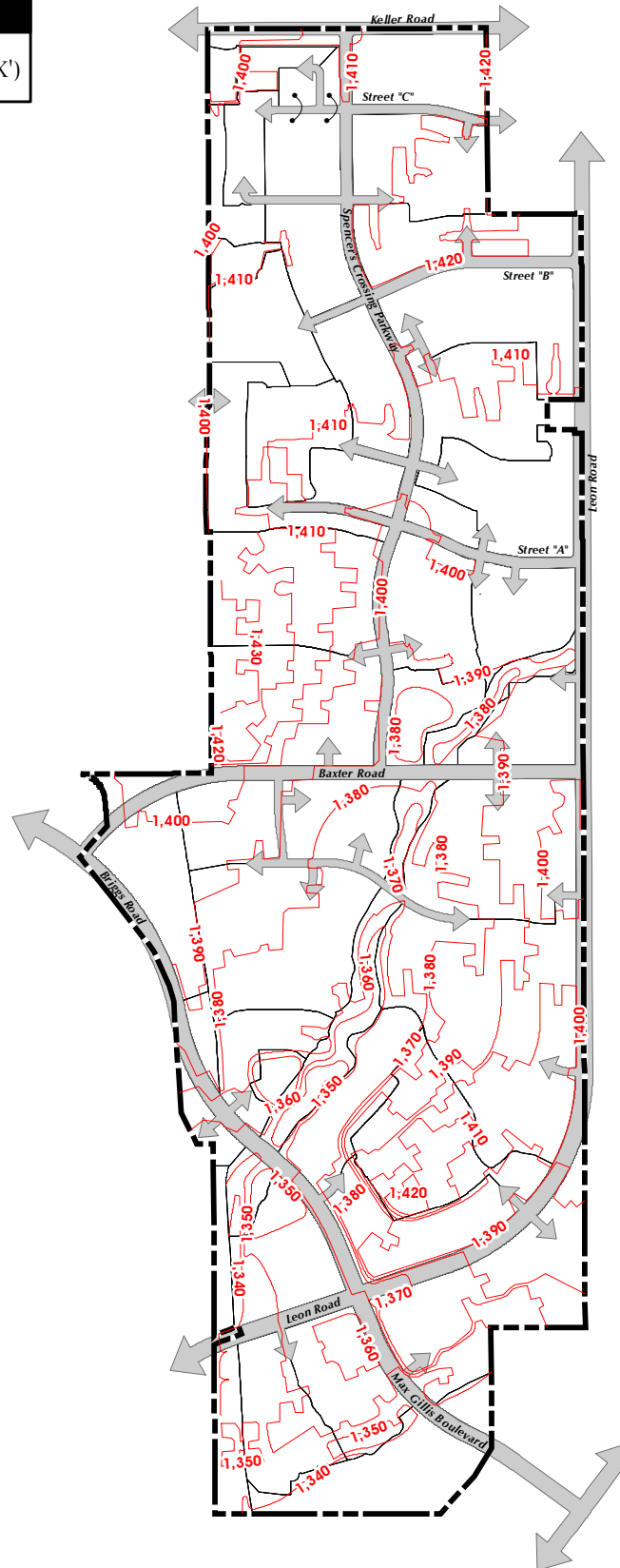
According to an earthwork quantity study conducted by the project engineer, grading is expected to balance on-site. Based on the *Conceptual Grading Plan*, approximately 1.8 million cubic yards of material will be moved to accommodate development of the site. This quantity may vary as final grading plans are developed. The *Conceptual Grading Plan* has been designed to accommodate drainage and a street system that meets County of Riverside standards for acceptable infrastructure gradients.

##### b. Grading Plan Development Standards

1. All grading activities shall conform to Riverside County standards, shall be in substantial conformance with the overall *Conceptual Grading Plan* (Figure III.A-12). Grading shall conform to Riverside County regulations. If County requirements conflict with the project's *Conceptual Grading Plan*, the County regulations shall take precedence.
2. Prior to any development within any Planning Area of the Specific Plan, an overall *Conceptual Grading Plan* for the Planning Area in process shall be submitted for Planning Department approval. The *Grading Plan* for each Planning Area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that Planning Area, and shall include: techniques employed to prevent erosion and sedimentation as well as eliminate source pollutants during and after the grading process; approximate time frames for grading; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced on-site whenever possible.
3. All streets shall have a gradient not to exceed 15 percent.
4. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability and shall include appropriate measures to control erosion and dust.
5. Slopes steeper than 2:1 or exceeding ten feet (10') in vertical height are allowed provided they are recommended to be safe in a slope stability report prepared by a soils engineer or an engineering geologist. The slope stability report shall also contain recommendations for landscaping and erosion control. County Ordinance No. 457 will be observed regarding setback and landscaping requirements with regard to slopes.
6. Where cut and fill slopes are created higher than three feet (3'), detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to *Grading Plan* approval. The plans shall be reviewed for type and density of ground cover, shrubs and trees.
7. The applicant or developer shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties.
8. Potential brow ditches, terrace drains or other minor swales, determined necessary by the County of Riverside at future stages of project review, shall be lined with natural erosion control materials or concrete..

## Legend

 Grading Contour (X,XXX')



## Grading Concept Plan

Source(s): Hunsaker (05-10-16), RCT/LMA (2016)

Figure III.A-12

# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com





### Specific Plan No. 312

10. Graded land that is undeveloped shall be maintained and planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.
11. Pursuant to requirements of the State Water Resources Control Board, a State-wide National Pollution Discharge Elimination System (NPDES) general construction permit will apply to construction activities associated with the proposed project. Construction activities include cleaning, grading, or excavation that results in the disturbance of at least five acres of total land area or activity which is part of a larger common plan of development of five acres or greater. Therefore, the developer or builder for FRENCH VALLEY shall be required to obtain the appropriate State NPDES permits prior to commencing grading activities.

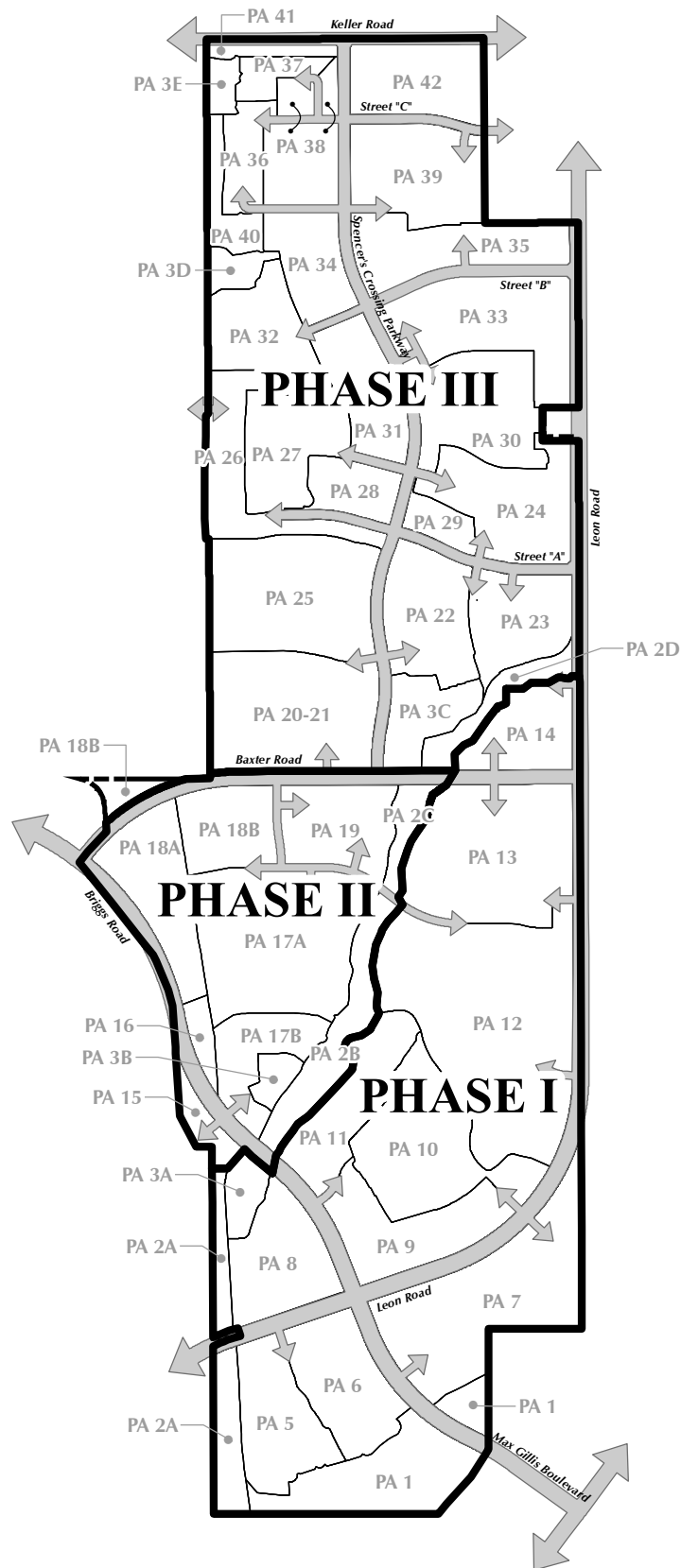
### 8. Public Facility Sites and Project Phasing

#### a. Project Phasing Plan Description

This Specific Plan provides for the French VALLEY to be developed in three phases in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure. (See Table III.A-3, *Project Phasing Plan* and Figure III.A-13, *Conceptual Phasing Plan*.)

**Table III.A-3 PROJECT PHASING PLAN**

Land Use	Planning Area	Acres	Target DUs
<b>Phase I</b>			
Medium Density Residential	5, 6, 7, 9, 10, 11, 12, 13, 14	178.1	626
Open Space-Conservation	1	19.8	--
Open Space-Water (Detention)	3A	3.3	--
Open Space-Recreation	8	10.7	--
<i>Phase I Subtotal</i>		<i>211.9</i>	<i>626</i>
<b>Phase II</b>			
Medium Density Residential	17A, 17B, 18B	47.7	179
Medium-High Density Residential	19	10.0	50
Open Space-Recreation	15, 16, 18A	18.7	--
Open Space-Water (Detention)	3B	2.8	--
<i>Phase II Subtotal</i>		<i>79.2</i>	<i>229</i>
<b>Phase III</b>			
Medium Density Residential	20-21, 22, 23, 25, 27, 30, 31, 32, 34, 35, 36, 37, 38, 39	174.0	728
Medium-High Density Residential	24, 26, 33	45.3	237
Open Space-Conservation	40	4.4	--
Open Space-Recreation	28, 29, 41	10.7	--
Open Space-Water (Retention)	3C, 3D, 3E	11.8	--
Public Facility	42	11.6	--
<i>Phase III Subtotal</i>		<i>257.8</i>	<i>965</i>
Roads	--	54.1	--
Open Space-Water (Drainage)	2A, 2B, 2C, 2D	25.5	--
<b>Total</b>		<b>628.5</b>	<b>1,820</b>



**Conceptual Phasing Plan**

Source(s): RCTLMA (2016)

Figure III.A-13

# French Valley SP 312 A-2



#### b. Public Facilities Phasing

To ensure timely development of public facilities, a Conceptual Phasing Plan has been prepared for the proposed park and school sites. Public facility construction shall be phased as provided by Table III.A-4, *Public Facilities Phasing*.

**Table III.A-4 PUBLIC FACILITIES PHASING**

Planning Area(s)	Public Facility	Acreage	Milestones and Requirements
42	Elementary School	11.6	The school shall be designed and constructed at a time to be determined by Menifee Union School District.
8	Park	10.7	The land shall be dedicated and the park shall be designed prior to the issuance of the 380th residential building permit in Planning Areas 5-14. It shall be constructed and fully operational prior to the issuance of the 400th residential occupancy permit in Planning Areas 5-14, or as determined by the Valley Wide Recreation and Park District. This park was constructed during Phase I.
16	Park	2.6	The neighborhood park within Planning Areas 16 and 18A shall be constructed and fully operational prior to the issuance of the 863 <sup>rd</sup> building permit in FRENCH VALLEY Specific Plan area.
18A	Park	12.4	
28	Park	5.6	To be constructed during Phase III. The land shall be dedicated and the park shall be designed prior to issuance of the 975 <sup>th</sup> building permit in the French Valley Specific Plan. It shall be constructed and fully operable prior to the issuance of the 1,075 <sup>th</sup> residential occupancy permit in the French Valley Specific Plan.
29	Private Recreation Center	3.2	To be constructed during Phase III. The facility shall be designed prior to issuance of the 800 <sup>th</sup> building permit in the French Valley Specific Plan. It shall be constructed and fully operable prior to the issuance of the 850 <sup>th</sup> residential occupancy permit in the French Valley Specific Plan.
41	Linear Park	1.9	The linear park within Planning Area 41 shall be constructed and fully operational prior to the issuance of the 1,815 <sup>th</sup> occupancy permit in the FRENCH VALLEY Specific Plan area.

c. Sewer and Water Phasing

An agreement with the Eastern Municipal Water District (EMWD) shall be made in writing which states that the provision of services to any implementing project shall be available prior to recordation of any tract maps.

d. Transportation Phasing

The project phasing shall ensure that the following provisions are met:

1. The ultimate General Plan network will achieve Level of Service "D" based upon County model projections with project trip ceiling and general plan upgrades.
2. The phasing of on-site and off-site roadway improvements will be determined at each development phase based upon actual conditions with area-wide growth. Traffic studies and/or reports will be required for all subsequent development within the boundaries of the FRENCH VALLEY Specific Plan. Some off-site roadway improvements in the vicinity of the project site shall be funded, and/or have been constructed through the Southwest Area Road and Bridge Benefit District, TUMF or Assessment District 161.
3. Planning areas which are dependent on adjacent Planning Areas for access shall be phased in a manner that demonstrates an ability to provide the necessary infrastructure and access prior to tentative map approval.

e. Project Phasing Standards

1. Preliminary landscape plans prepared in conformance with County Ordinance No. 859 shall be submitted to the County Planning Department in conjunction with implementing tentative subdivision maps.
2. Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract, shall be submitted to the County Planning Department for approval. The improvement plans shall include:
  - Final Grading Plan
  - Irrigation Plans (certified by a landscape architect)
  - Fence Treatment Plans
  - Special Treatment/Buffer Area Treatment Plans
  - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
3. Each Planning Area shall include development of adjacent common open space areas, landscape development zones, and applicable infrastructure.
4. Construction of the development permitted hereby, including recordation of final sub-division maps, may be done progressively in stages, in Phase I, II, or III, provided vehicular access, public facilities, and infrastructure is constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
5. The phasing sequence described herein is conceptual based on current market demand. Certain Planning Areas may be developed out of the expected sequence, or in smaller increments, provided the required infrastructure and services are available at the time of development.

#### 9. Landscaping Plan

##### a. Landscaping Plan Description

As illustrated on Figure IV-1, *Conceptual Landscape Plan*, project landscaping plays an important role in maintaining the overall project theme, while emphasizing community continuity. This section of the Specific Plan provides a general description and development standards for the landscaping concept. Detailed landscaping information is provided in the *Design Guidelines* section (Section IV) of this Specific Plan.

Entry monumentation provides initial definition for the site at key access points. Once within the FRENCH VALLEY community, entry monumentation continues to be used at key intersections. The entry monuments are developed in a hierarchical format that ranges from primary community entry monuments to secondary community entry monuments to neighborhood entry monuments. Neighborhood entry monuments will provide initial identification for each residential Planning Area.

Individual neighborhoods and residential development enclaves are distinguished by varied planting themes that serve to complement and reinforce the overall project theme. Special treatments, including land use transition areas, are provided between certain Planning Areas, as identified in the *Planning Area Development Standards* (Section III.B).

##### b. Landscaping Plan Development Standards

1. Preliminary landscape plans prepared in conformance with County Ordinance No. 859 shall be submitted to the County Planning Department in conjunction with implementing tentative subdivision maps.
2. All detailed landscaping programs for Planning Areas and roadways shall be prepared by a qualified and licensed landscape architect for review by County staff and applicable decision-making agencies.
3. Project entries shall be designed with landscaping and architectural treatments that project a high quality image for the community development.
4. The landscaping design for the project site shall include trees, shrubs, and ground cover compatible with existing natural vegetation where feasible.
5. Special treatment areas shall be designed to provide definition to certain Planning Areas, as identified in Section III.B, *Planning Area Development Standards*.
6. Major entrance roads into FRENCH VALLEY shall have entry monumentation and landscaped shoulders to define the project's design concept. The introductory landscape theme shall include elements such as tree clustering to reinforce the project theme and character.
7. Planted raised medians (according to Ordinance No. 461, Standard No. 113) may be established within any roadway right-of-way as long as access and safety criteria can be met as approved by the County Transportation Department.
8. Prior to approval of any final subdivision map, improvement plans for the respective landscaped areas shall be submitted to the County Planning Department for approval. The improvement plans shall include but not be limited to the following:
  - Final Grading Plan
  - Irrigation Plans certified by a landscape architect

### Specific Plan No. 312

- A Landscaping Plan with seed mixes for mulching and staking methods; locations, types, size and quantity of plants.
  - Fence Treatment Plans
  - Special Treatment/Buffer Area Treatment Plans
9. Prior to approval of any final subdivision map, plans to mitigate an environmental impact for the stage of development shall be submitted to the County Planning Department for approval.
  10. The applicant and/or master developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.
  11. At the time of recordation of any final subdivision which contains a common open space area, the applicant and/or developer shall convey such areas to the appropriate maintenance agency.
  12. All landscape plans shall be prepared in conformance with the requirements of County Ordinance No. 859, *Water Efficient Landscape Requirements*.
  13. For additional landscape development standards, please refer to, Section IV.G, *Landscape Guidelines*.

#### 10. Comprehensive Maintenance Plan

Successful operation of maintenance districts and homeowner associations are important in maintaining the long term quality in a community. Maintenance responsibilities for public roadways will be provided by the County through the Transportation Department. Other common project facilities may be divided among a Master Homeowners' Association, Neighborhood Associations, a County Service Area (CSA), Valley-Wide Recreation and Park District, Community Service District (CSD), and/or similar maintenance mechanisms. Final decisions regarding maintenance entities shall be made at a future stage of project design review and in concert with County agencies. (See Table III.A-5, *Maintenance Plan*, for a summary of maintenance responsibilities.)

**Table III.A-5 MAINTENANCE PLAN**

Facility	Homeowners' Association	Valley-Wide Recreation and Park District, CSA, or Other Public or Quasi Public Agency	Riverside County	EMWD	School District
Landscape Parkways	✓	✓			
Street Lighting		✓	✓		
Public Streets			✓		
Sidewalks and Hardscape		✓	✓		
Storm Drains (in roads)			✓		
Detention Basins		✓	✓		
WQMP Basins		✓	✓		
Roadside Swales			✓		
Public Sewer/Water				✓	
Project Signage	✓	✓			
Parks	✓	✓			
Common Open Space	✓	✓			
School Site					✓
Private Recreation Facilities	✓				

a. Master Homeowners' Association

Common areas identified in the Specific Plan may be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all common recreation, open space, private circulation systems and landscape areas. Areas of responsibility may include open space, project signage, private recreation facilities, and landscape areas located along the project roadways.

b. Open Space and Parks

Maintenance responsibility for any open space or park areas not directly associated with a particular neighborhood or used for stormwater management or water quality management, is the responsibility of a County Service Area (CSA), Valley-Wide Recreation and Park District, or a similar public/quasi-public agency. Maintenance of the private recreational facility located in Planning Area 29 shall be the responsibility of the Master Homeowners' Association.

c. Project Roadways

All public project roadways will be designed and constructed to standards acceptable to the County. All public roadways will be entered into the Riverside County system of roads for operation and maintenance as approved by the Board of Supervisors.

d. Schools

It is anticipated that maintenance responsibilities for the school site will be overseen by the Meniffee Union School District.



### B. PLANNING AREA DEVELOPMENT STANDARDS

Development standards and zoning regulations for FRENCH VALLEY have been established at three levels: *Development Plans and Standards* which were addressed in Section III.A; *Design Guidelines*, which are provided in Section IV; and *Planning Area Development Standards*, to which this section is devoted.

Planning areas were formed on the basis of logical, separate units of development. Criteria considered in this process included the following: uniformity of use as it pertains to zoning, relationship to adjoining product, and relationship to surrounding topography.

The Planning Area graphics for this section were derived from Figures III.A-1 and III.A-2, *Specific Land Use Plan*. Table III.B-1, *Planning Area Land Use Summary*, describes the specific uses planned for each Planning Area. The site plans depicted herein are only conceptual in nature. Although development may conform closely to some elements of the illustrative plans provided in Section IV, *Design Guidelines*, it is anticipated that lotting will not be determined until the tract map stage.

A Specific Plan Zoning Ordinance was prepared and submitted separately from this Specific Plan document. The zoning provisions within that ordinance establish use restrictions for each Planning Area. The zoning provisions should be used in conjunction with the planning standards for each respective Planning Area.

**Table III.B-1 PLANNING AREA LAND USE SUMMARY**

Planning Area <sup>1</sup>	Land Use	Acreage	Density Range	Target Density	Dwelling Units
1	Open Space-Conservation	19.8	--	--	--
2A	Open Space-Water (Drainage)	8.0	--	--	--
2B	Open Space-Water (Drainage)	9.6	--	--	--
2C	Open Space-Water (Drainage)	3.1	--	--	--
2D	Open Space-Water (Drainage)	4.8	--	--	--
3A	Open Space-Water (Detention Basin)	3.3	--	--	--
3B	Open Space-Water (Detention Basin)	2.8	--	--	--
3C	Open Space-Water (Retention/WQMP Basin)	7.1	--	--	--
3D	Open Space-Water (Retention/WQMP Basin)	2.6	--	--	--
3E	Open Space-Water (Retention/WQMP Basin)	2.5	--	--	--
5	Medium Density Residential - 6,000 S.F. Lots	11.5	2-5 du/ac	4.2	48
6	Medium Density Residential - 6,000 S.F. Lots	13.4	2-5 du/ac	4.4	59
7	Medium Density Residential - 8,000 S.F. Lots	27.7	2-5 du/ac	2.9	81
8	Open Space-Recreation (Park)	10.7	--	--	--
9	Medium Density Residential - 6,000 S.F. Lots	13.5	2-5 du/ac	3.3	45
10	Medium Density Residential - 7,200 S.F. Lots	19.7	2-5 du/ac	3.5	69
11	Medium Density Residential - 6,000 S.F. Lots	12.4	2-5 du/ac	2.1	26
12	Medium Density Residential - 7,200 S.F. Lots	43.9	2-5 du/ac	3.9	172
13	Medium Density Residential - 6,000 S.F. Lots	26.4	2-5 du/ac	3.3	88
14	Medium Density Residential - 6,000 S.F. Lots	9.6	2-5 du/ac	4.0	38
15	Open Space-Recreation	3.7	--	--	--
16	Open Space-Recreation (Park)	2.6	--	--	--
17A	Medium Density Residential - 6,000 S.F. Lots	27.2	2-5 du/ac	4.3	117
17B	Medium Density Residential - 7,200 S.F. Lots	9.2	2-5 du/ac	3.3	30
18A	Open Space-Recreation (Park)	12.4	--	--	--
18B	Medium Density Residential - 7,200 S.F. Lots	11.3	2-5 du/ac	2.8	32
19	Medium-High Density Residential - 5,000 S.F. Lots	10.0	5-8 du/ac	5.0	50
20/21	Medium Density Residential - 6,000 S.F. Lots	21.8	2-5 du/ac	3.8	82
22	Medium Density Residential - 5,500 S.F. Lots	14.0	2-5 du/ac	4.9	68
23	Medium Density Residential - 6,000 S.F. Lots	10.5	2-5 du/ac	4.4	46
24	Medium-High Density Residential - 5,000 S.F. Lots	15.5	5-8 du/ac	5.3	82
25	Medium Density Residential - 7,200 S.F. Lots	22.3	2-5 du/ac	3.8	84
26	Medium-High Density Residential - 5,500 S.F. Lots	11.8	5-8 du/ac	5.1	60
27	Medium Density Residential - 6,000 S.F. Lots	11.9	2-5 du/ac	4.1	49
28	Open Space-Recreation (Park)	5.5	--	--	--
29	Open Space-Recreation (Private Recreation Facility)	3.5	--	--	--
30	Medium Density Residential - 6,000 S.F. Lots	15.8	2-5 du/ac	4.4	70
31	Medium Density Residential - 5,500 S.F. Lots	10.0	2-5 du/ac	4.8	48
32	Medium Density Residential - 7,000 S.F. Lots	11.3	2-5 du/ac	3.7	42
33	Medium-High Density Residential - 5,500 S.F. Lots	18.3	5-8 du/ac	5.2	95
34	Medium Density Residential - 5,000 S.F. Lots	8.7	2-5 du/ac	4.5	39
35	Medium Density Residential - 7,000 S.F. Lots	13.2	2-5 du/ac	3.8	50
36	Medium Density Residential - 7,000 S.F. Lots	5.4	2-5 du/ac	4.3	23
37	Medium Density Residential - 8,000 S.F. Lots	2.9	2-5 du/ac	3.4	12
38	Medium Density Residential - 6,000 S.F. Lots	11.2	2-5 du/ac	4.2	47
39	Medium Density Residential - 5,500 S.F. Lots	14.9	2-5 du/ac	4.6	68
40	Open Space-Conservation	4.3	--	--	--
41	Open Space-Recreation (Linear Park)	2.0	--	--	--
42 <sup>2</sup>	Public Facility (Elementary School)	11.6	--	--	57

Specific Plan No. 312

	Major Roads	53.3	--	--	--
Total <sup>2</sup>		628.5	--	2.9	1,877

Notes:

- 1) SPA No.1 removed Planning Area 4 from the FRENCH VALLEY Specific Plan Area due to the annexation of the parcel into the City of Murrieta.
- 2) If PA 42 is not developed as an Elementary School an additional 57 dwelling units may be developed within PA 42.

### Specific Plan No. 312

---

#### 1. Planning Area 1: Open Space-Conservation

##### a. Descriptive Summary

Planning Area 1, as depicted in Figure III.B-1 , provides for 19.8 acres to be dedicated and remain as natural open space.

##### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Special treatment/buffers, as shown on Figure IV-6, *Natural Open Space/Residential Interface*, and Figure IV-16H, *Regional Trail Concept*, are proposed between the adjacent residential uses in Planning Areas 5, 6 and 7.
2. A regional trail will be provided along the southern boundary of Planning Area 1. This trail will tie into proposed trails within the roadway paseos along Briggs Road which cuts across the north-eastern edge of Planning Area 1. See Section III.A.6, Open Space and Conservation, and Section V.C.6, Parks and Recreation, for further details.
3. Planning Area 1 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
4. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

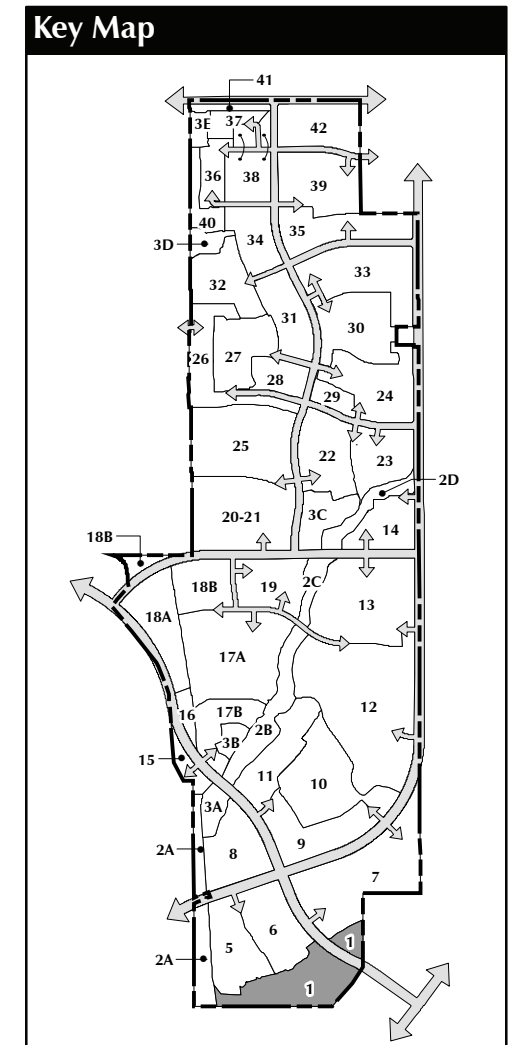
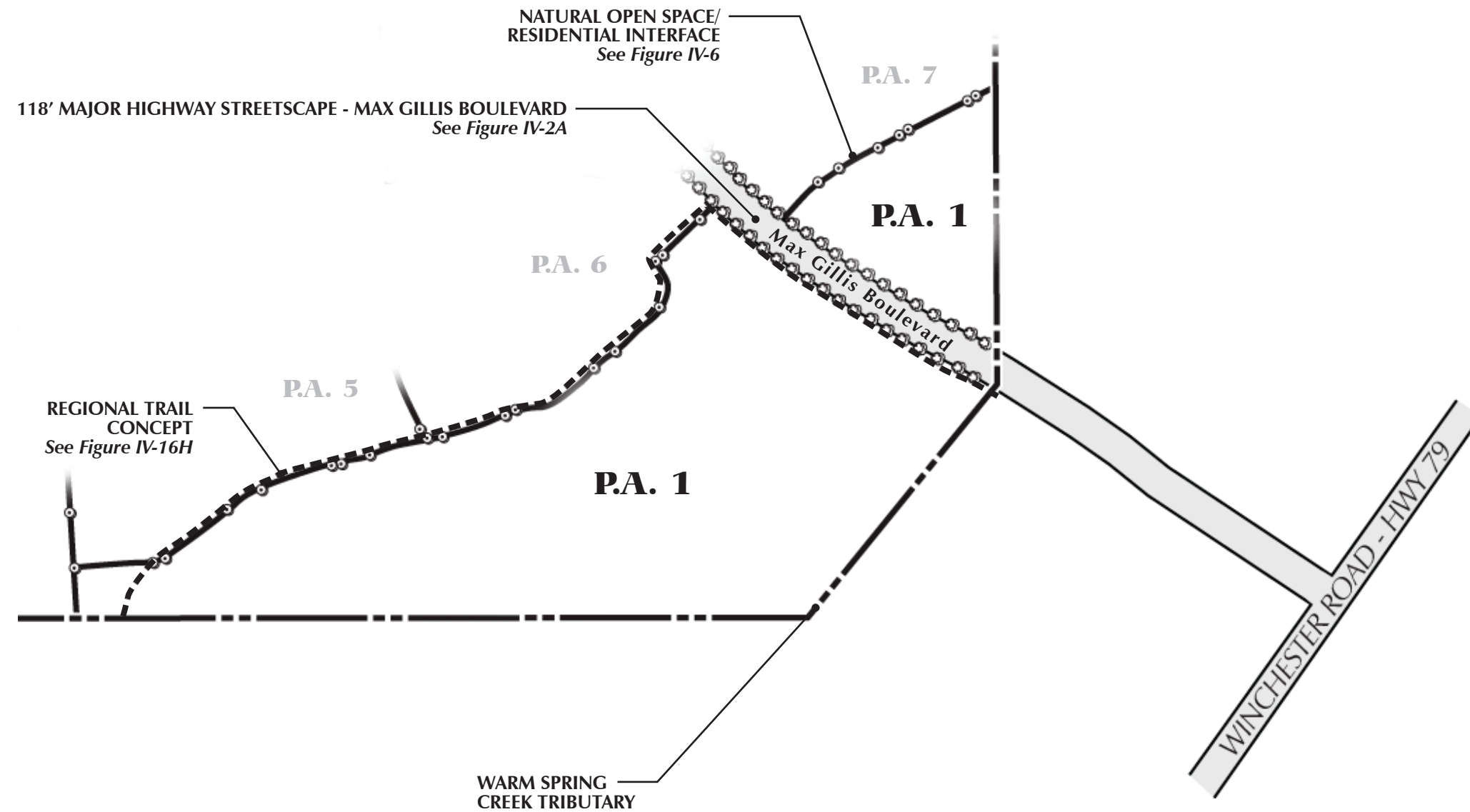
III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

**Legend**  
 PLANNING AREA 1  
 OPEN SPACE-CONSERVATION  
 19.8 ACRES



**Planning Area 1**

Figure III.B-1

# French Valley SP 312 A-2

T&B PLANNING, INC.  
 17541 E. 17th Street, Suite 100, Redwood City, CA 94061  
 P 714.505.6360 F 714.505.6361  
 www.tbplanning.com

not to scale



## 2. Planning Areas 2A-D: Open Space-Water (Drainage)

### a. Descriptive Summary

Planning Areas 2A-D, as depicted in Figures III.B-2A, III.B-2B, III.B-3, III.B-4, and III.B-5, provide for 25.5 acres to be dedicated and remain as Open Space-Water (Drainage). The open space area will consist of a blueline stream, remaining in its natural state, running through a manufactured greenbelt area (Planning Areas 2A-D). The greenbelt buffers the drainage area from the residential development along with a pedestrian paseo located parallel to the edge of the drainage. This area preserves a natural resource and provides recreational and aesthetic/visual amenities for the community.

### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

### c. Planning Standards

1. Special treatment/buffers, as shown on Figures IV-12, *Paseo/Detention Interface*, IV-16E, *South Paseo Trail Concept*, and IV-16G, *North Paseo Trail Concept*, are proposed between Planning Areas 2A-D and adjacent residential and storm water detention uses.
2. An existing Southern California Gas easement traverses through Planning Area 2A. This 30' wide easement will remain accessible.
3. Planning Areas 2A, 2B and 2C are located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
4. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

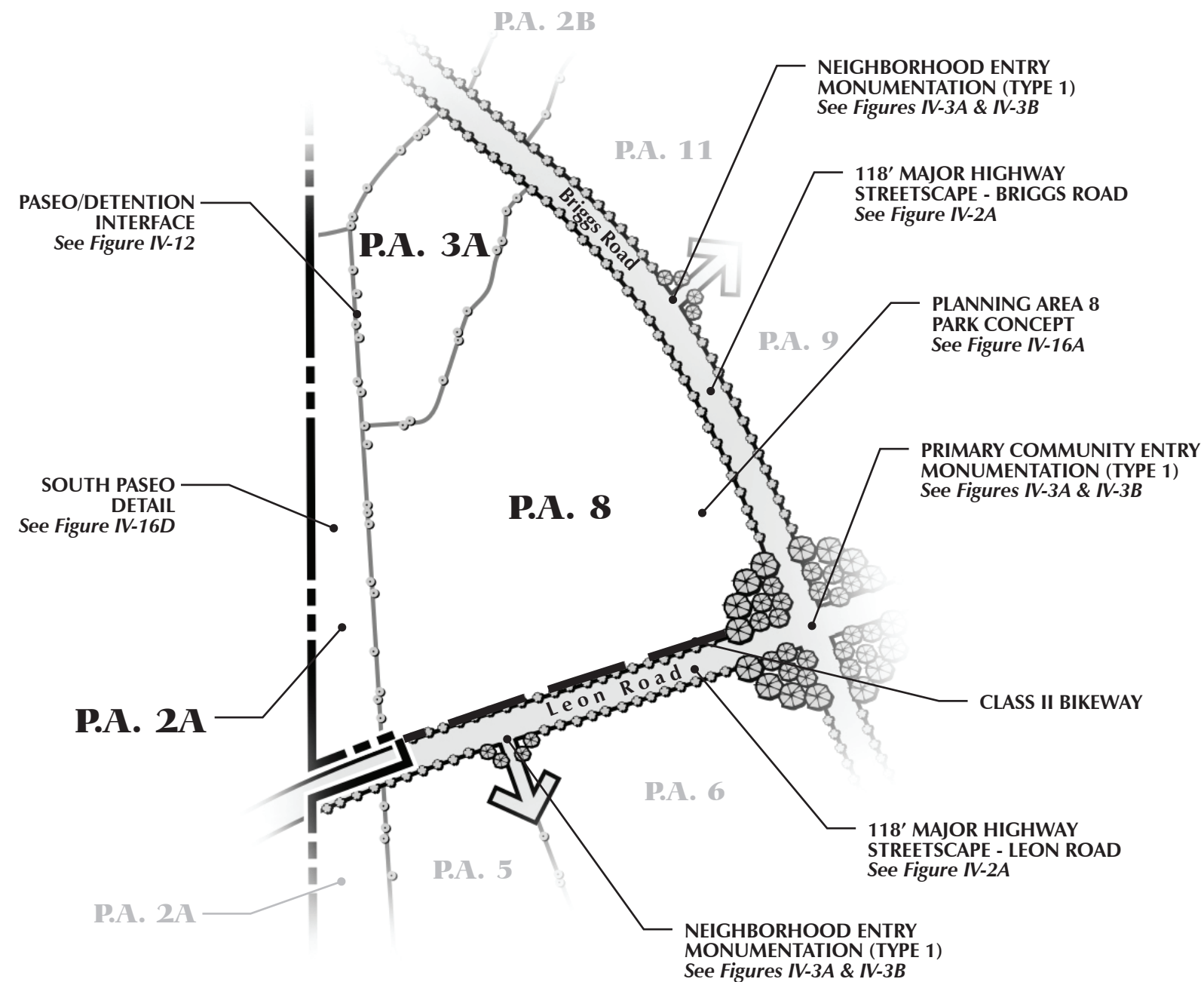
III.A.10: Comprehensive Maintenance Plan

## Legend

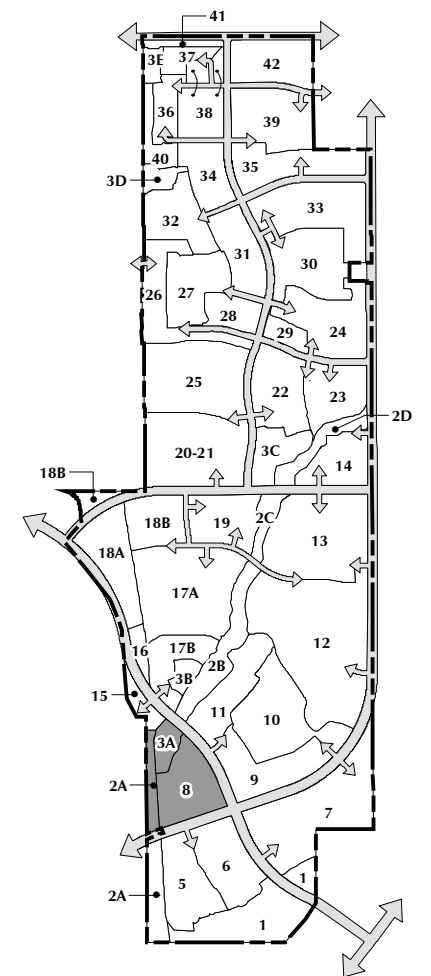
PLANNING AREA 2A (PORTION)  
OPEN SPACE-WATER (DRAINAGE)  
3.0 ACRES

PLANNING AREA 3A  
OPEN SPACE-WATER (DETENTION BASIN)  
3.3 ACRES

PLANNING AREA 8  
OPEN SPACE-RECREATION (PARK)  
10.7 ACRES

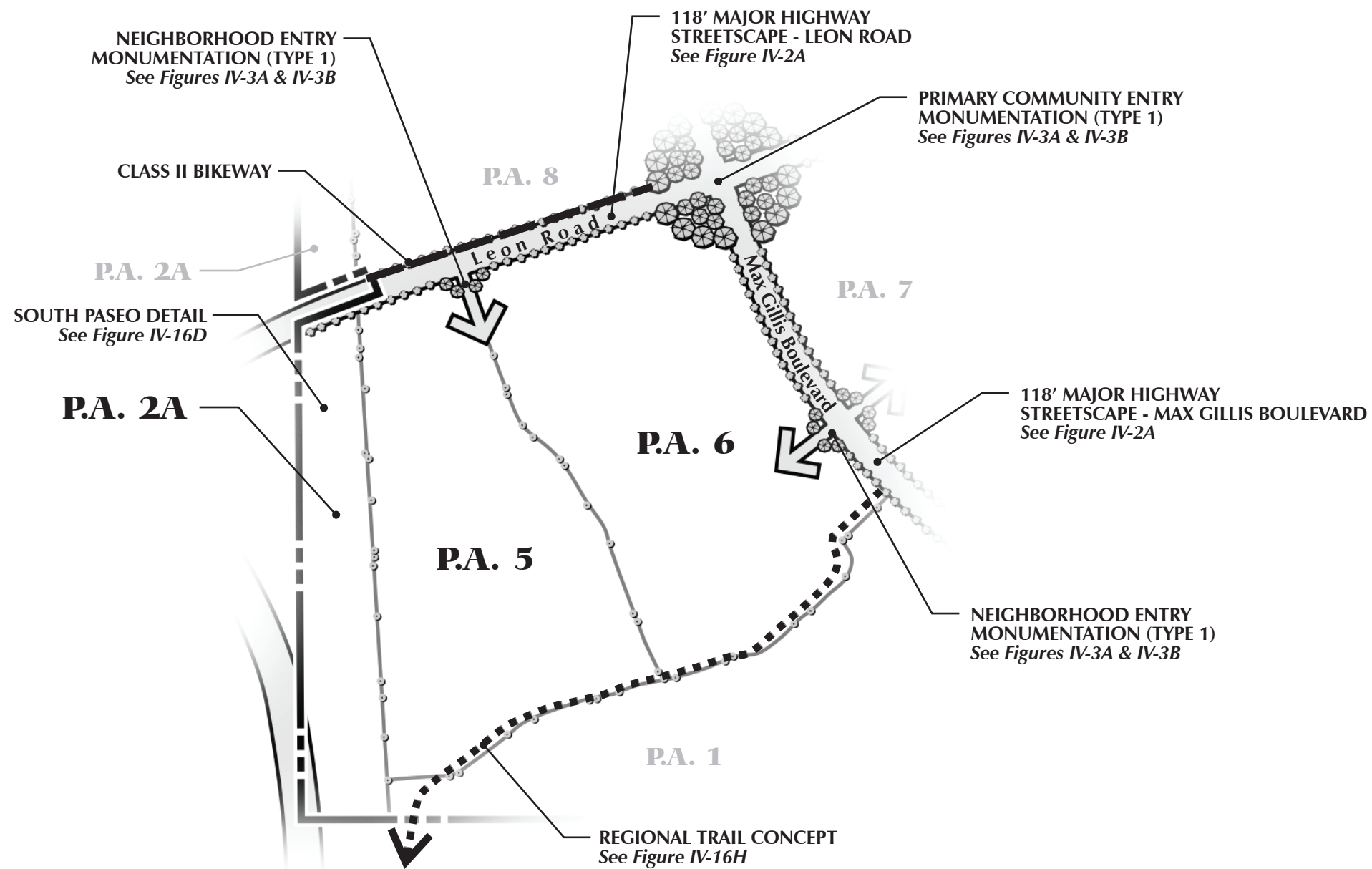


## Key Map



Planning Areas 2A (Portion), 3A, & 8

Figure III.B-2A



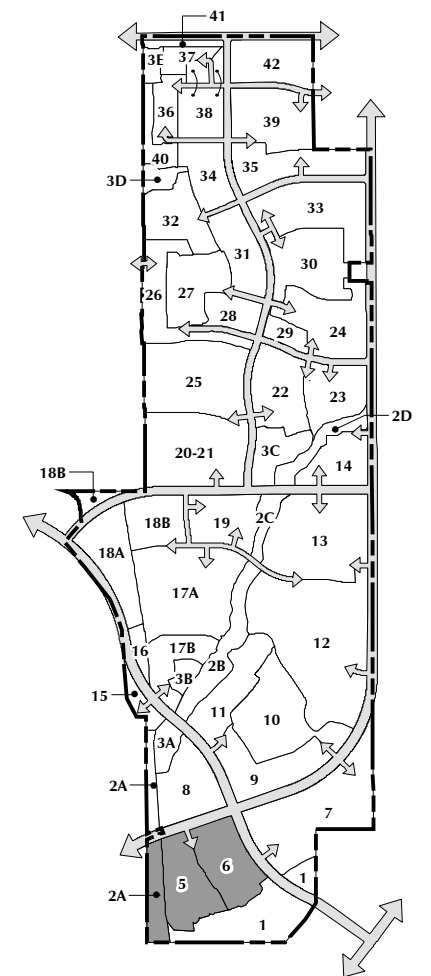
## Legend

PLANNING AREA 2A (PORTION)  
OPEN SPACE-WATER (DRAINAGE)  
5.0 ACRES

PLANNING AREA 5  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
11.5 ACRES  
4.2 DU/AC  
48 DU'S

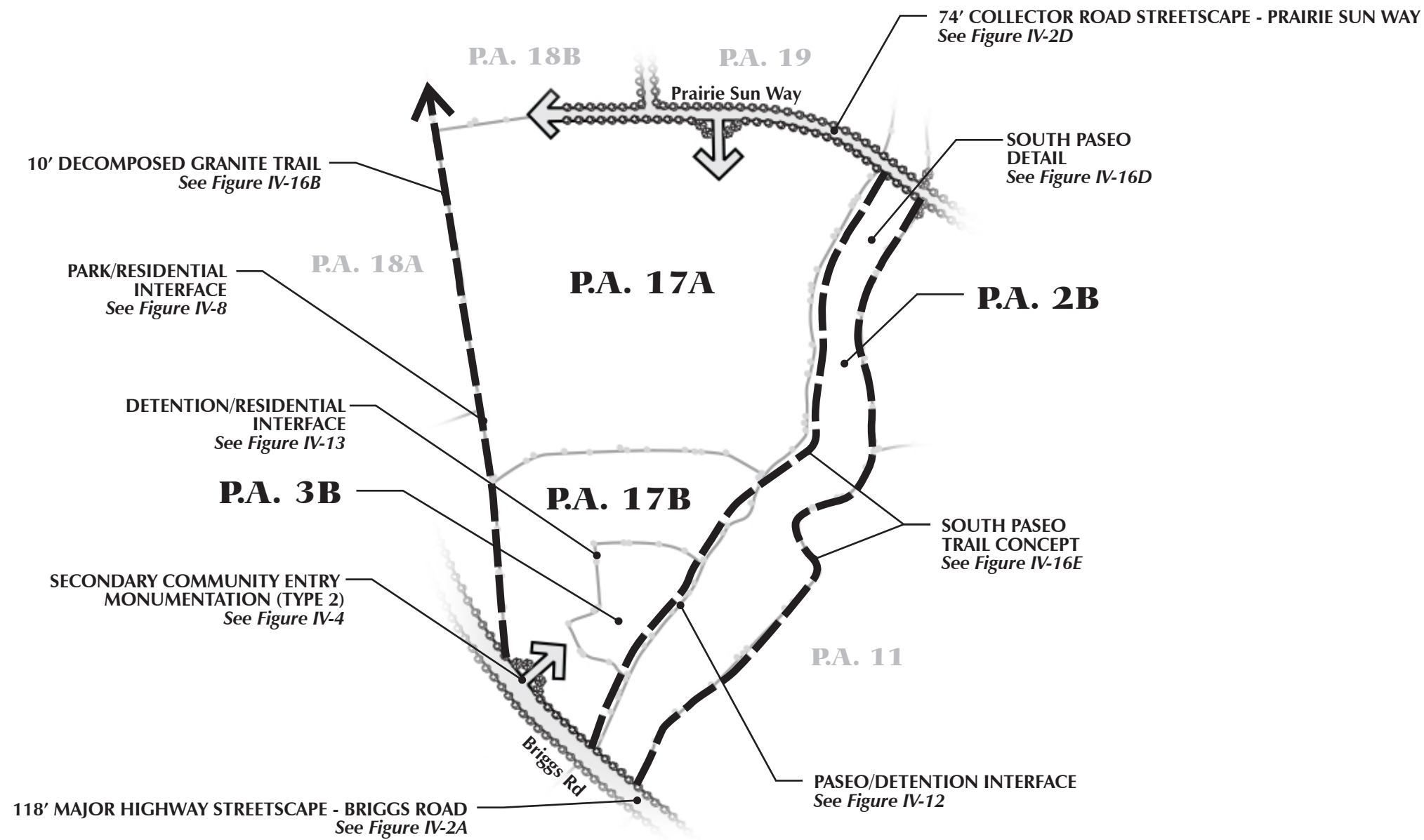
PLANNING AREA 6  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
13.4 ACRES  
4.4 DU/AC  
59 DU'S

## Key Map



Planning Areas 2A (Portion), 5, & 6

Figure III.B-2B



## Legend

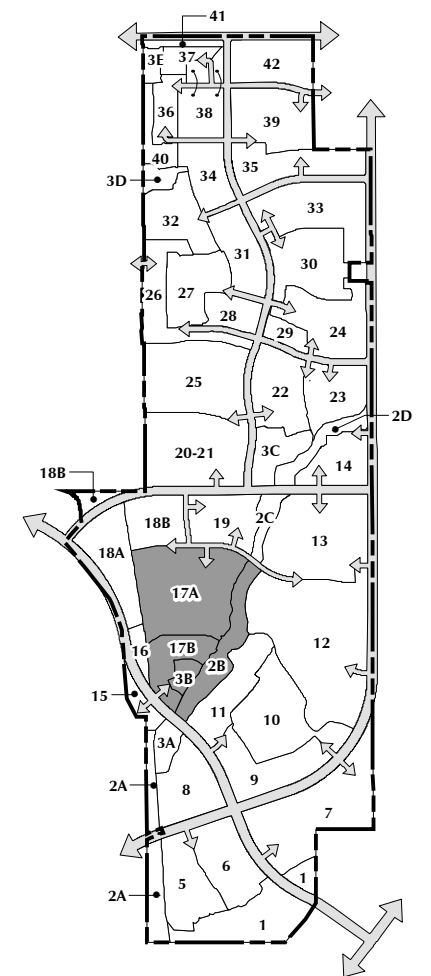
PLANNING AREA 2B  
OPEN SPACE-WATER (DRAINAGE)  
9.6 ACRES

PLANNING AREA 3B  
OPEN SPACE-WATER (DETENTION)  
2.8 ACRES

PLANNING AREA 17A  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
27.2 ACRES  
4.3 DU/AC  
117 DU'S

PLANNING AREA 17B  
MEDIUM DENSITY RESIDENTIAL  
7,200 S.F. LOTS  
9.2 ACRES  
3.3 DU/AC  
30 DU'S

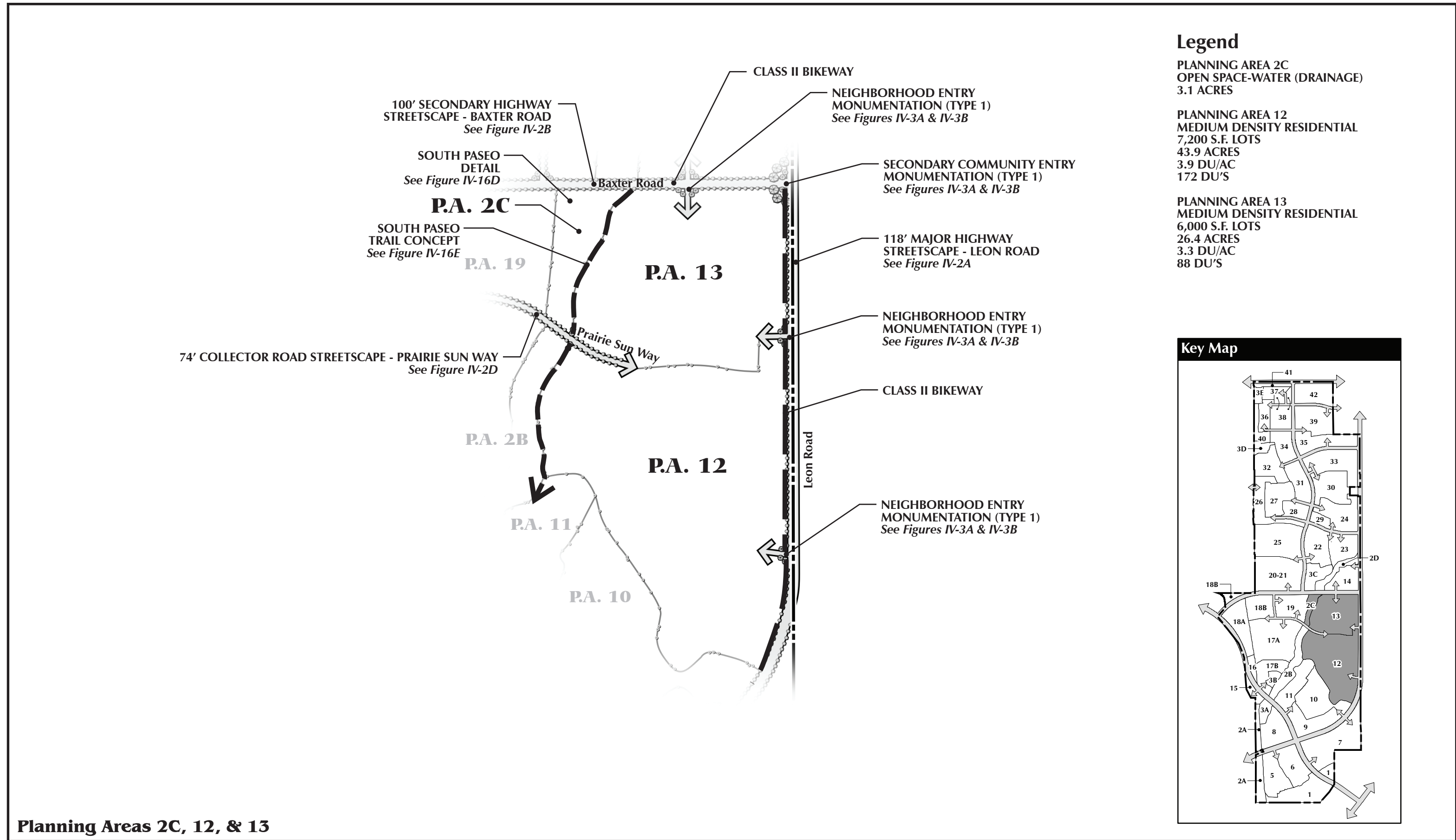
## Key Map



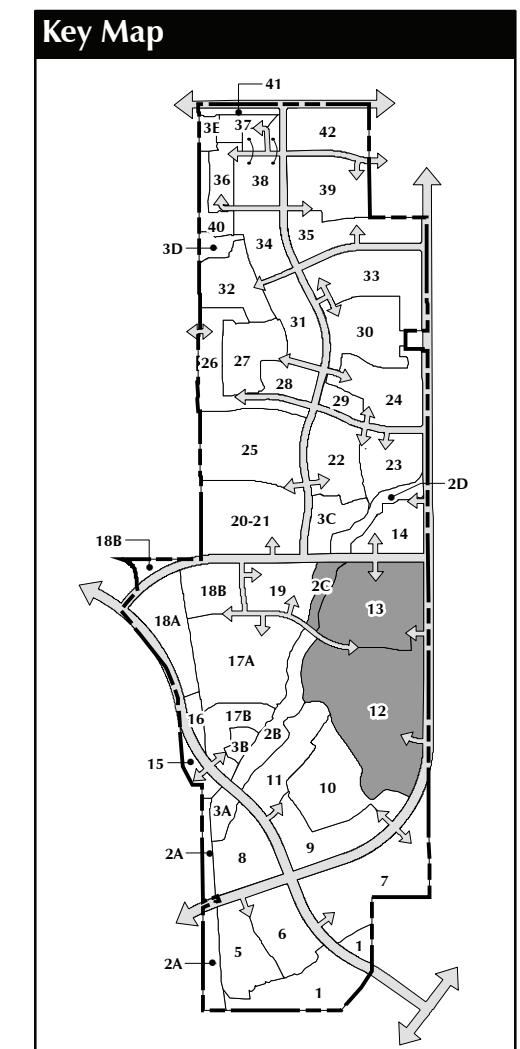
Planning Areas 2B, 3B, 17A, & 17B

Figure III.B-3

# French Valley SP 312 A-2

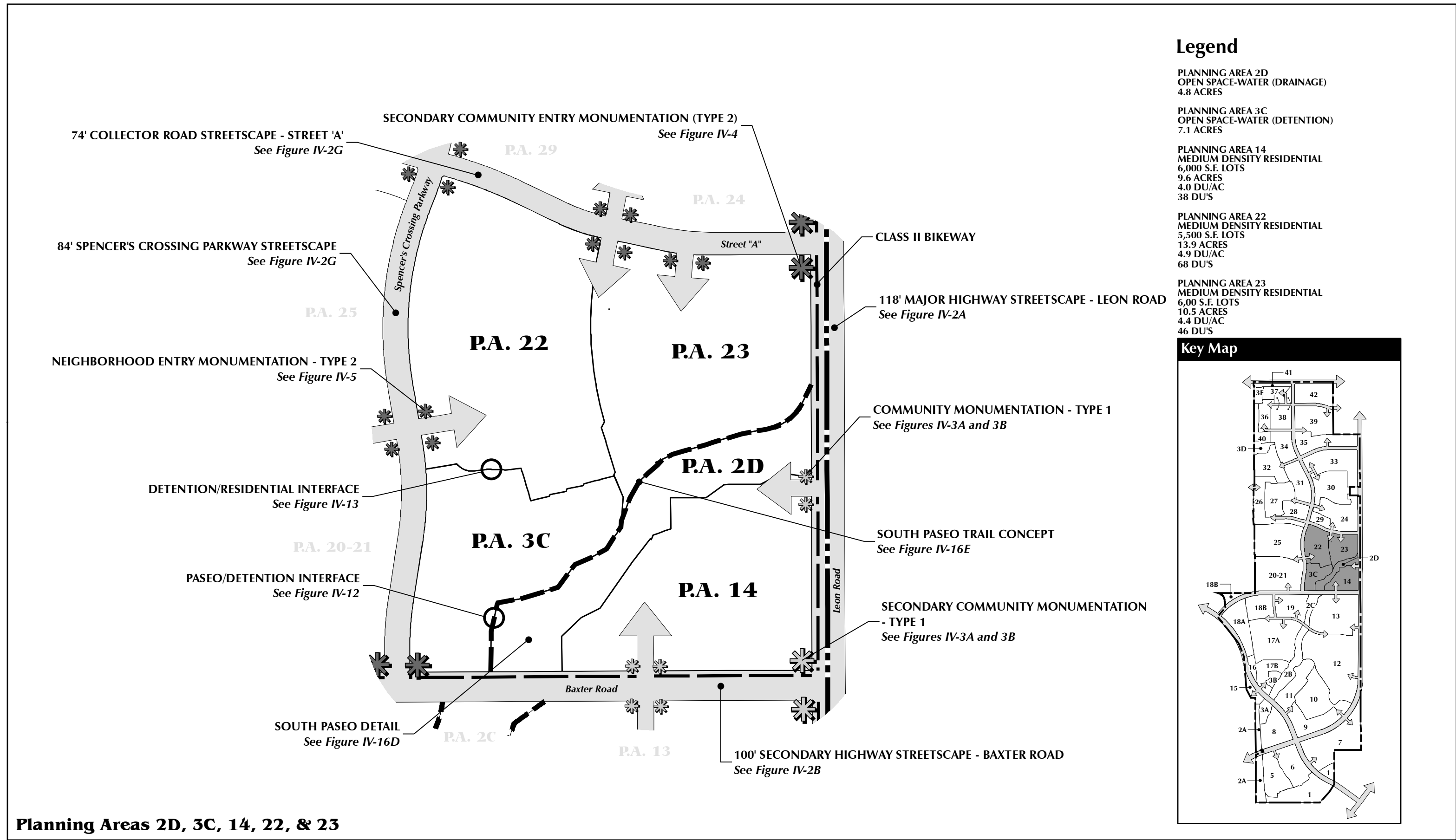


- Legend**
- PLANNING AREA 2C  
OPEN SPACE-WATER (DRAINAGE)  
3.1 ACRES
  - PLANNING AREA 12  
MEDIUM DENSITY RESIDENTIAL  
7,200 S.F. LOTS  
43.9 ACRES  
3.9 DU/AC  
172 DU'S
  - PLANNING AREA 13  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
26.4 ACRES  
3.3 DU/AC  
88 DU'S



Planning Areas 2C, 12, & 13

Figure III.B-4



# Legend

- PLANNING AREA 2D  
OPEN SPACE-WATER (DRAINAGE)  
4.8 ACRES
- PLANNING AREA 3C  
OPEN SPACE-WATER (DETENTION)  
7.1 ACRES
- PLANNING AREA 14  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
9.6 ACRES  
4.0 DU/AC  
38 DU'S
- PLANNING AREA 22  
MEDIUM DENSITY RESIDENTIAL  
5,500 S.F. LOTS  
13.9 ACRES  
4.9 DU/AC  
68 DU'S
- PLANNING AREA 23  
MEDIUM DENSITY RESIDENTIAL  
6,00 S.F. LOTS  
10.5 ACRES  
4.4 DU/AC  
46 DU'S

## Key Map

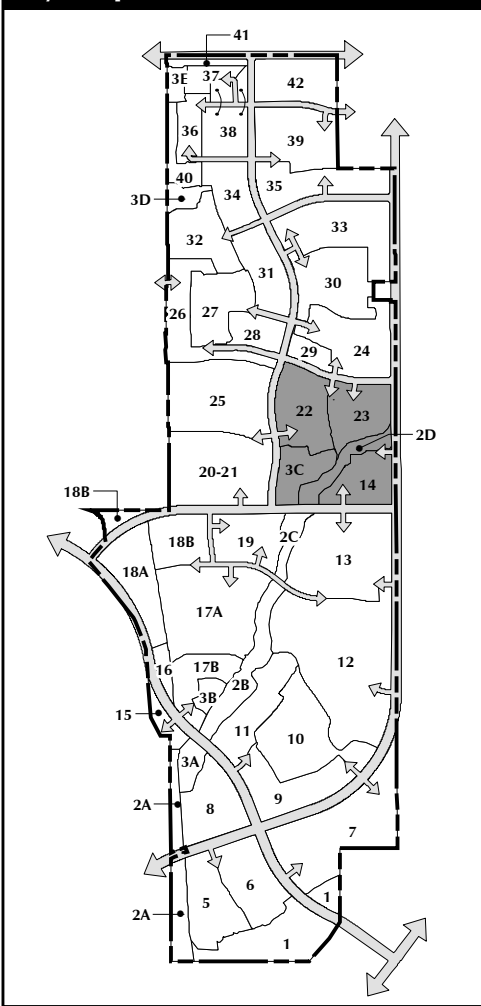


Figure III.B-5



### 3. Planning Area 3A: Open Space-Water (Detention Basin)

#### a. Descriptive Summary

Planning Area 3A, as depicted in Figure III.B-2A , provides for 3.3 acres to be dedicated as Open Space-Water (Detention Basin).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. A special treatment/buffer, as shown on Figure IV-12, *Paseo/Detention Interface*, is proposed between Planning Areas 3A and 2A.
2. A roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Briggs Road.
3. Planning Area 3A is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
4. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
III.A.3: Circulation Plan  
III.A.4: Drainage Plan  
III.A.5: Water and Sewer Plans  
III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
III.A.8: Public Facility Sites & Project Phasing  
III.A.9: Landscaping Plan  
III.A.10: Comprehensive Maintenance Plan

#### 4. **Planning Area 3B: Open Space-Water (Detention Basin)**

##### a. Descriptive Summary

Planning Area 3B, as depicted in Figure III.B-3 , provides for 2.8 acres to be dedicated as Open Space-Water (Detention Basin).

##### b. Land Use and Development Standards

Please refer to Ordinance No. 348.3996. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Special treatment/buffers, as shown on Figure IV-13, *Detention/Residential Interface* and Figure IV-12, *Paseo/Detention Interface*, are proposed between Planning Area 3B the adjacent residential and open space uses in Planning Areas 16, 17B and 2B, respectively.
2. Planning Area 3B is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
3. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 5. Planning Area 3C: Open Space-Water (Retention/WQMP Basin)

#### a. Descriptive Summary

Planning Area 3C, as depicted in Figure III.B-5 , provides for 7.1 acres to be dedicated as Open Space-Water (Retention/WQMP Basin), and provides for the development of the area as a retention/WQMP basin.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. A special treatment/buffer, as shown on Figure IV-12, *Paseo/Detention Interface*, is proposed between Planning Areas 3C and 2D.
2. A Secondary Community entry statement, as shown on Figure IV-3, is planned at the intersection of Baxter Road and Spencer's Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2B, *Secondary Highway Streetscape* and Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are planned along Baxter Road and Spencer's Crossing Parkway (respectively).
4. Planning Area 3C is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
5. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

#### 6. Planning Area 3D: Open Space-Water (Retention/WQMP Basin)

##### a. Descriptive Summary

Planning Area 3D, as depicted in Figure III.B-6 , provides for 2.6 acres to be dedicated as Open Space-Water (Retention/WQMP), and provides for the development of the area as a retention/WQMP basin.

##### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Special treatment/buffers, as shown on Figure IV-13, *Detention/Residential Interface*, occur between the adjacent residential and open space uses in Planning Areas 32, and 34, respectively.
2. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

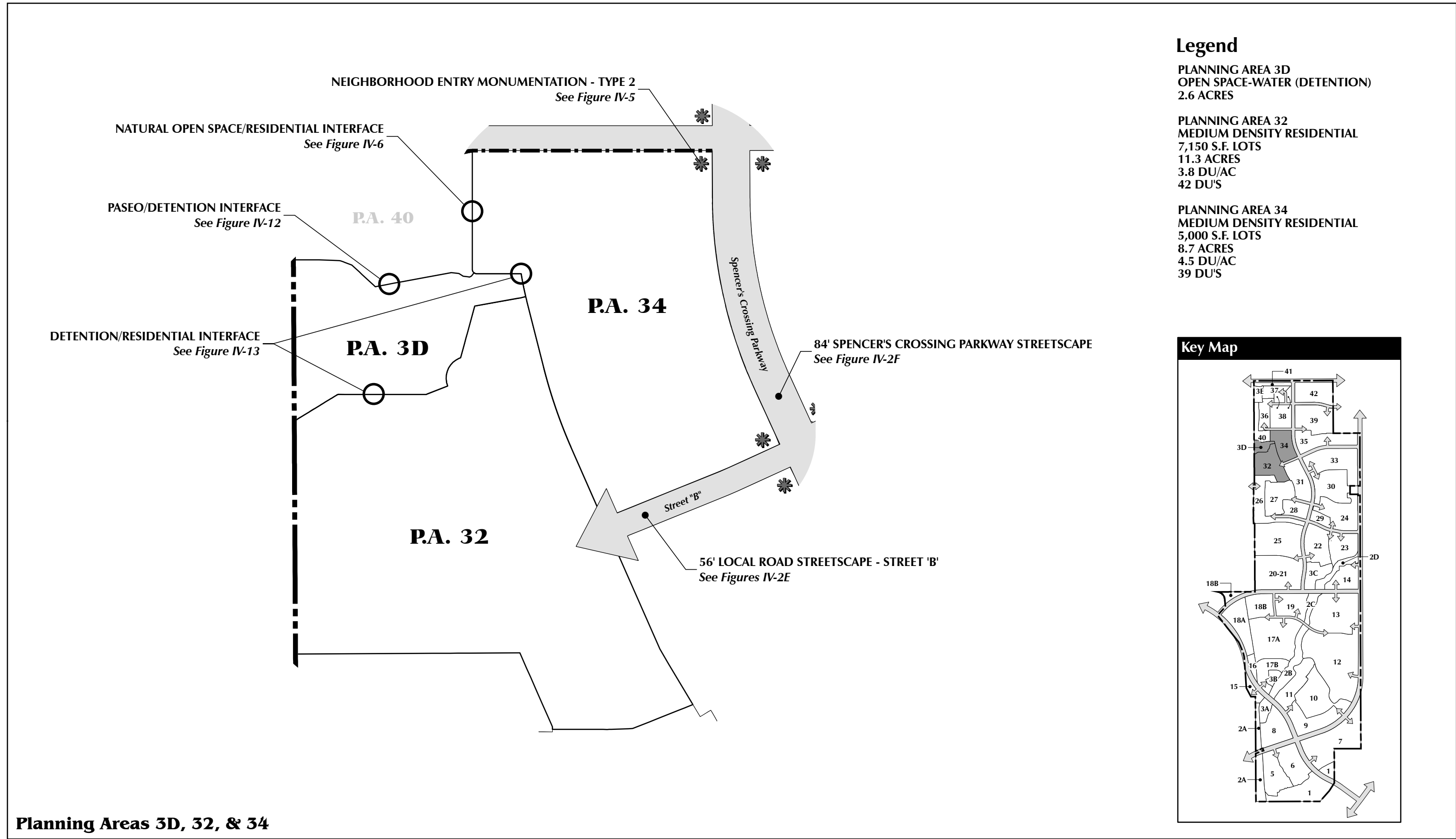
III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan



Planning Areas 3D, 32, & 34

Figure III.B-6

### 7. **Planning Area 3E: Open Space-Water (Retention/WQMP Basin)**

#### a. Descriptive Summary

Planning Area 3E, as depicted in Figure III.B-7 , provides for 2.1 acres to be dedicated as Open Space-Water (Retention/WQMP Basin), and provides for the development of the area as a retention/WQMP basin.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Special treatment/buffers, as shown on Figure IV-12, *Paseo/Detention Interface* and Figure IV-13, *Detention/Residential Interface*, occur between the adjacent residential and open space uses in Planning Areas 36 and 37, and Planning Areas 40 and 41, respectively.
2. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

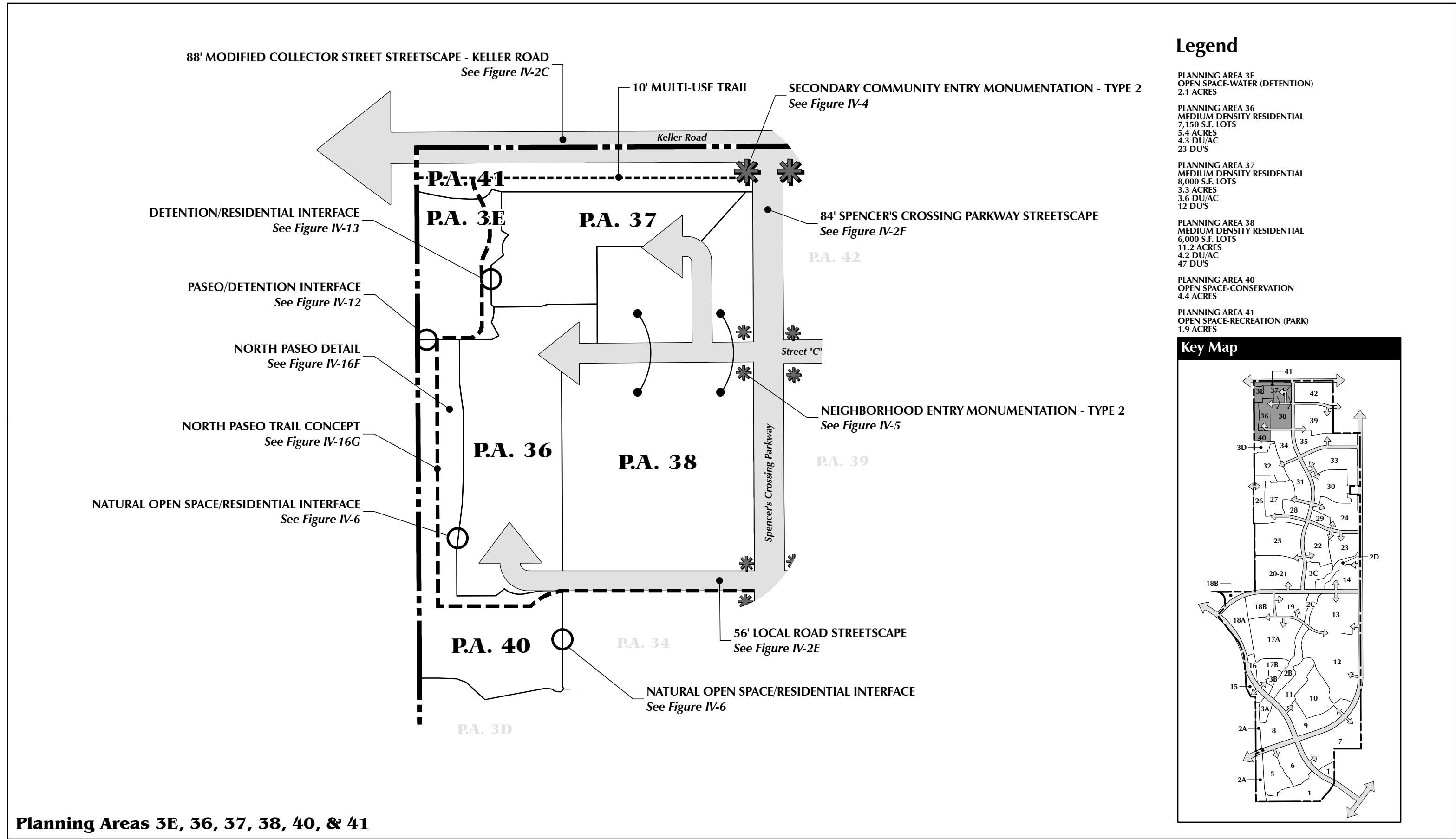
III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

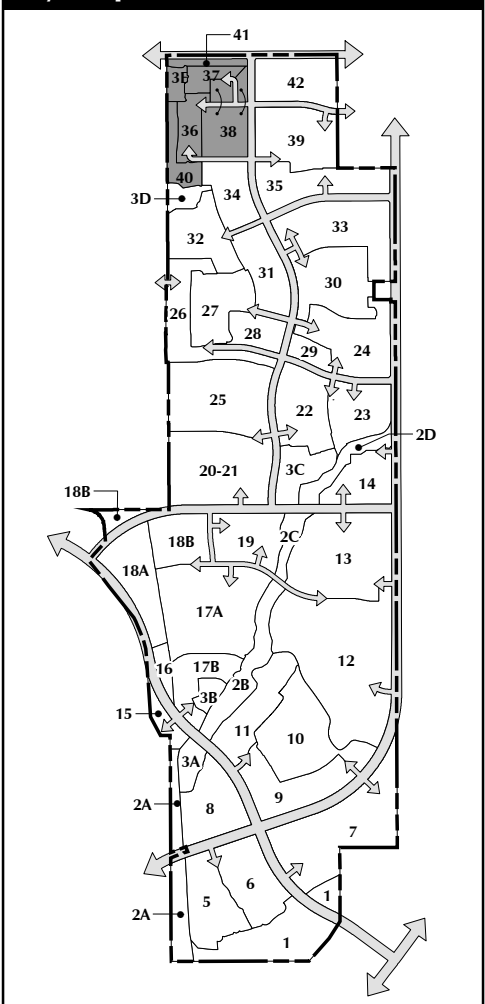




# Legend

- PLANNING AREA 3E  
OPEN SPACE-WATER (DETENTION)  
2.1 ACRES
- PLANNING AREA 36  
MEDIUM DENSITY RESIDENTIAL  
7,150 S.F. LOTS  
5.4 ACRES  
4.3 DU/AC  
23 DU'S
- PLANNING AREA 37  
MEDIUM DENSITY RESIDENTIAL  
8,000 S.F. LOTS  
3.3 ACRES  
3.6 DU/AC  
12 DU'S
- PLANNING AREA 38  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
11.2 ACRES  
4.2 DU/AC  
47 DU'S
- PLANNING AREA 40  
OPEN SPACE-CONSERVATION  
4.4 ACRES
- PLANNING AREA 41  
OPEN SPACE-RECREATION (PARK)  
1.9 ACRES

## Key Map



Planning Areas 3E, 36, 37, 38, 40, & 41

Figure III.B-7

### Specific Plan No. 312

Planning Area 4 has been purposely omitted from Specific Plan No. 312. The 1.7-acre area that originally comprised Planning Area 4 has been annexed into the City of Murrieta and is no longer within County of Riverside jurisdiction. As such, this area has been removed from the Specific Plan area.

#### 8. **Planning Area 5: Medium Density Residential (6,000 s.f. lots)**

##### a. **Descriptive Summary**

Planning Area 5, as depicted in Figure III.B-2B , provides for development of 11.5 acres of Medium Density Residential homes on minimum 6,000 s.f. lots. A maximum of 48 dwelling units will be provided at an average target density of 4.2 du/ac (2-5 du/ac).

##### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. **Planning Standards**

1. Primary access to Planning Area 5 shall be provided from Leon Road. A roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Leon Road.
2. A Neighborhood entry statement, as shown on Figure IV-3, is provided at the entrance into Planning Area 5 from Leon Road.
3. A special landscaped buffer/treatment, as shown in Figure IV-16H, *Regional Trail Concept*, is planned to interface between adjacent natural open space uses in Planning Area 1 and the residential uses in Planning Area 5.
4. An existing Southern California Gas easement runs along the western boundary of Planning Area 5. This 30' wide easement will not be impacted by development. Homes will not encroach into the easement.
5. The use of Planning Area 5 as a school or church site shall be prohibited.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Casitas (small free-standing structures that are ancillary to the main residence) are permitted on all residential lots within Planning Area 5; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
8. Single-story homes shall be constructed on no less than twenty-five percent (25%) of all residential lots smaller than 7,200 square feet in Planning Area 5.
9. Planning Area 5 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans  
 III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

#### 9. **Planning Area 6: Medium Density Residential (6,000 s.f. lots)**

##### a. Descriptive Summary

Planning Area 6, as depicted in Figure III.B-2B , provides for development of 13.4 acres devoted to Medium Density Residential uses. A maximum of 59 dwelling units is planned at a target density of 4.4 du/ac. Lot sizes shall be a minimum of 6,000 square feet (density range 2-5 du/ac).

##### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Primary access to Planning Area 6 shall be provided from Leon and Briggs Roads.
2. A Primary Community entry statement, as shown on Figure IV-3, is provided at the intersection of Briggs and Leon Roads.
3. Neighborhood entry statements, as shown on Figure IV-3, are provided at the entrances into Planning Area 6 from Briggs and Leon Roads.
4. Roadway landscape treatments, as shown on Figure IV-2A, *Major Highway Streetscape*, are planned along Leon and Briggs Roads
5. A special landscaped buffer/treatment, as shown in Figure IV-16H, *Regional Trail Concept*, is planned to interface between adjacent natural open space uses in Planning Area 1 and the residential uses in Planning Area 6.
6. The use of Planning Area 6 as a school or church site shall be prohibited.
7. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
8. Casitas are permitted on all residential lots within Planning Area 6; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
9. Single-story homes shall be constructed on no less than twenty-five percent (25%) of all residential lots smaller than 7,200 square feet in Planning Area 6.
10. Planning Area 6 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
11. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
12. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 10. Planning Area 7: Medium Density Residential (8,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 7, as depicted in Figure III.B-8 , provides for development of 27.7 acres of Medium Density Residential homes on a minimum 8,000 sf lots. A maximum of 81 dwelling units will be provided at an average target density of 2.9 du/ac (2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 7 shall be provided from Briggs Road and Leon Road.
2. A Primary Community entry statement, as shown on Figure IV-3, is provided at the intersection of Briggs and Leon Roads.
3. Neighborhood entry statements, as shown on Figure IV-3, are provided at the entrances into Planning Area 7 from Briggs and Leon Roads.
4. Roadway landscape treatments, as shown on Figures IV-2A, *Major Highway Streetscape*, are planned along Briggs and Leon Roads.
5. A special landscaped buffer/treatment, as shown in Figure IV-6, *Natural Open Space/Residential Interface*, is planned to interface between adjacent natural open space in Planning Area 1.
6. The use of Planning Area 7 as a school or church site shall be prohibited.
7. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
8. Casitas are permitted on all residential lots within Planning Area 7; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
9. Planning Area 7 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

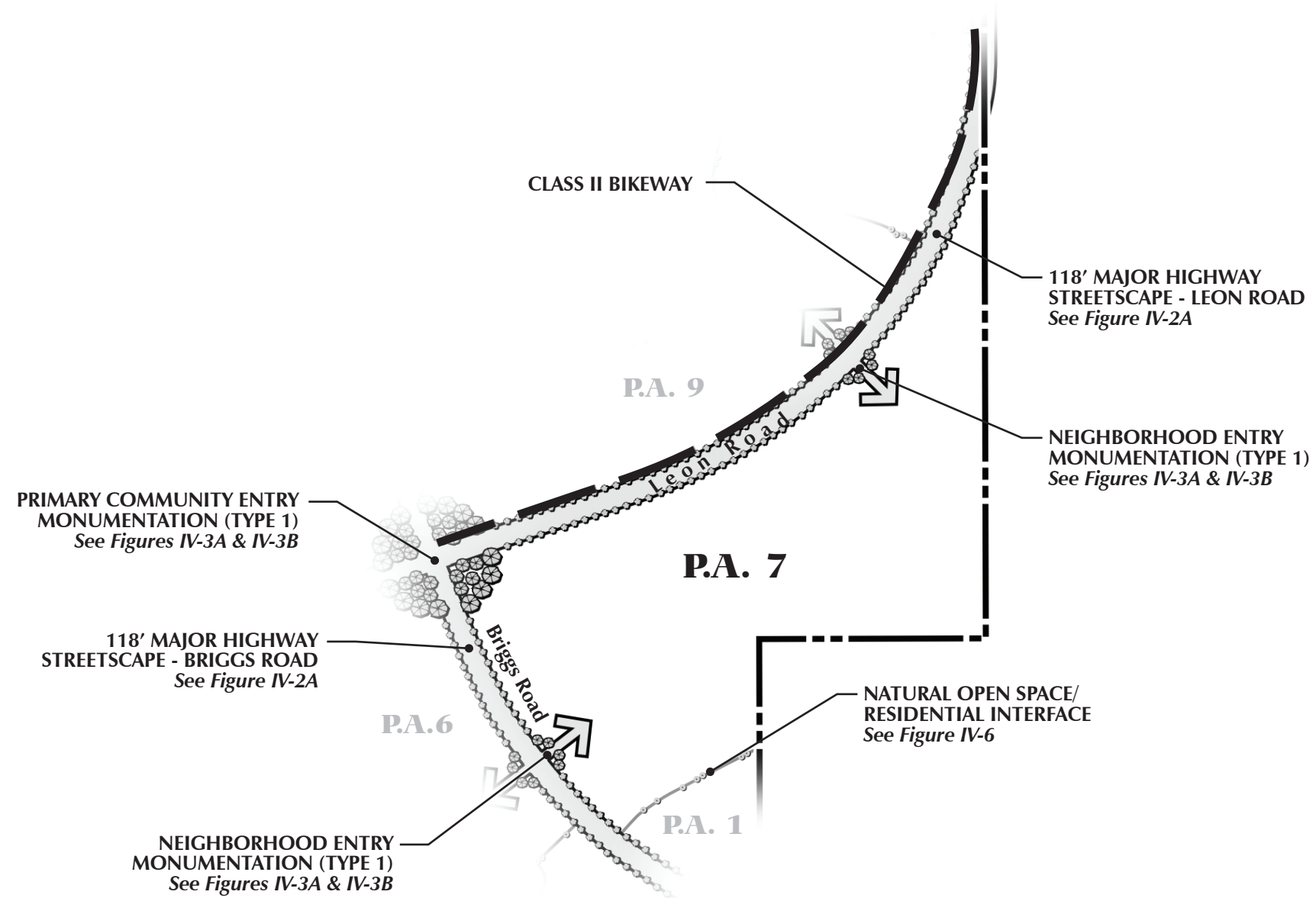
III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

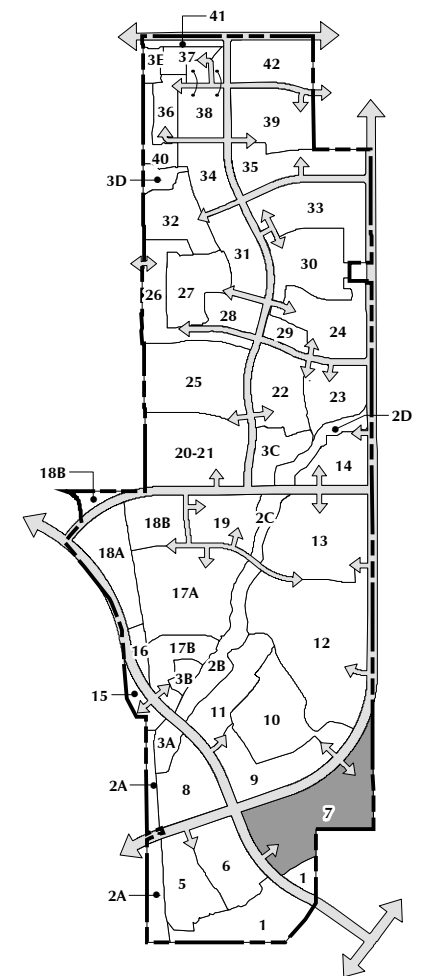
III.A.10: Comprehensive Maintenance Plan

## Legend

PLANNING AREA 7  
MEDIUM DENSITY RESIDENTIAL  
8,000 S.F. LOTS  
27.7 ACRES  
2.9 DU/AC  
81 DU'S



## Key Map



Planning Area 7

Figure III.B-8

French Valley SP 312 A-2



### 11. Planning Area 8: Open Space-Recreation (Park)

#### a. Descriptive Summary

This park is located north of Leon Road, adjacent to the proposed greenbelt, as shown in Figure III.B-2A . It is intended to serve the entire FRENCH VALLEY community. The park will include active and passive facilities and will be designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16A is a conceptual design that shows how the park may be connected to the proposed greenbelts and parkways. The adjacent detention basin also may be available for active recreation uses.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 8 shall be provided from Briggs Road.
2. A Primary Community entry statement, as shown on Figure IV-3, is provided at the intersection of Briggs and Leon Roads.
3. Roadway landscape treatments, as shown on Figures IV-2A, Major Highway Streetscape, are planned along Briggs and Leon Roads.
4. Improvement plans for the park shall be submitted by the developer prior to issuance of the 380th building permit anywhere within Planning Areas 5 through 14, or as determined by Valley-Wide Recreation and Park District standards. The park shall be constructed and fully operable prior to the issuance of the 400th occupancy permit anywhere within Planning Areas 5 through 14, or as determined by Valley-Wide Recreation and Park District standards. The park will include active or passive facilities and will be designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16A is a conceptual design that shows how the park may be connected to the proposed greenbelts and parkways.
5. Amphitheaters, stadiums and other similar high intensity uses are prohibited.
6. Planning Area 8 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 12. Planning Area 9: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 9, as depicted in Figure III.B-9 , provides for development of 13.5 acres of Medium Density Residential homes on minimum 6,000 s.f. lots. A maximum of 45 dwelling units will be provided at an average target density of 3.3 du/ac (2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 9 shall be provided from Briggs and Leon Roads.
2. A Primary Community entry statement, as shown on Figure IV-3, is provided at the intersection of Briggs and Leon Roads.
3. Neighborhood entry statements, as shown on Figure IV-3, are provided at the entrances into Planning Area 9 from Briggs and Leon Roads.
4. Roadway landscape treatments, as shown on Figure IV-2A, *Major Highway Streetscape*, are planned along Briggs and Leon Roads.
5. The use of Planning Area 9 as a school or church site shall be prohibited.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Casitas are permitted on all residential lots within Planning Area 9; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
8. Single-story homes shall be constructed on no less than twenty-five percent (25%) of all residential lots smaller than 7,200 square feet in Planning Area 9.
9. Planning Area 9 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

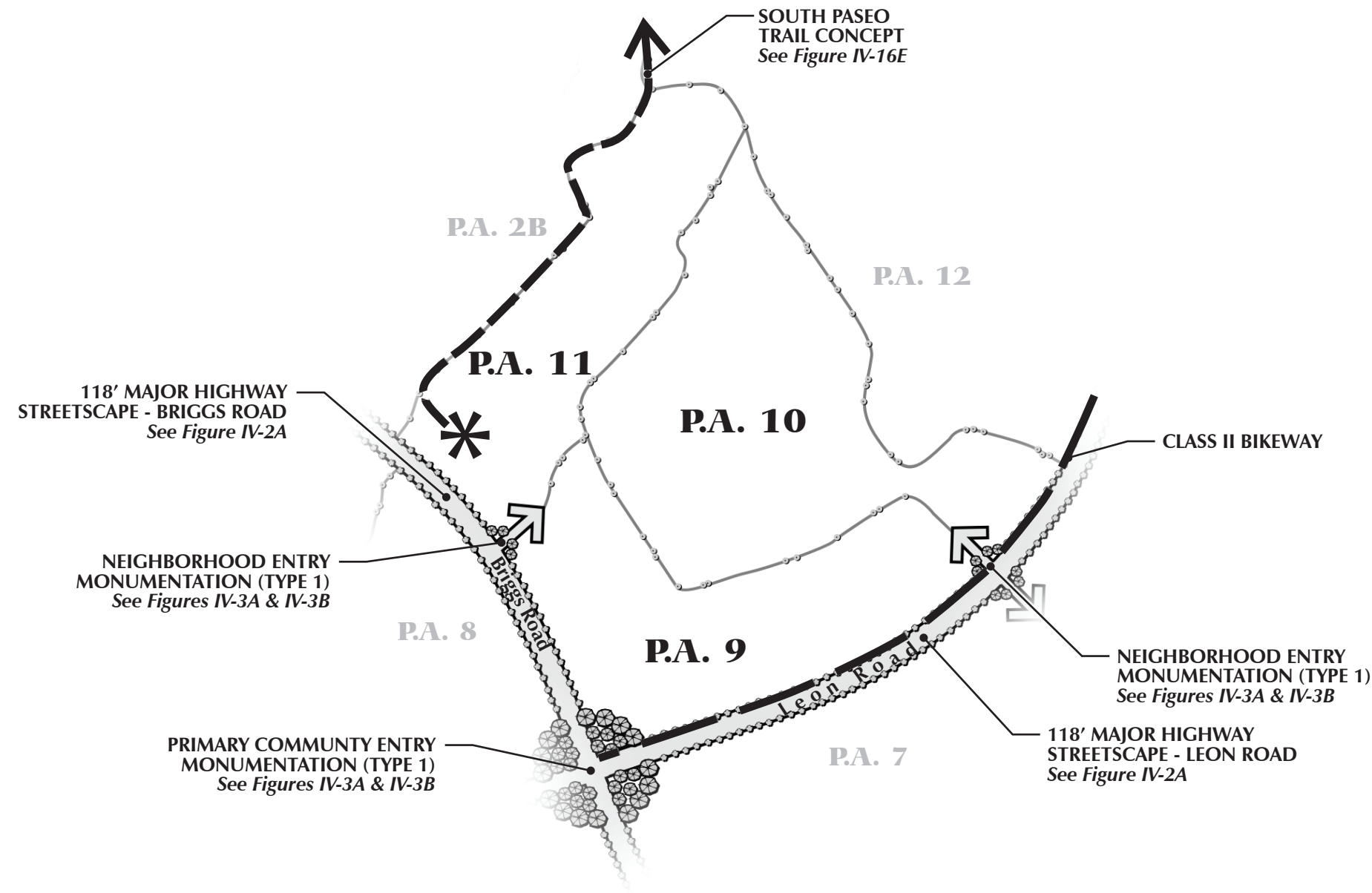
## Legend

**PLANNING AREA 9**  
**MEDIUM DENSITY RESIDENTIAL**  
 6,000 S.F. LOTS  
 13.5 ACRES  
 3.3 DU/AC  
 45 DU'S

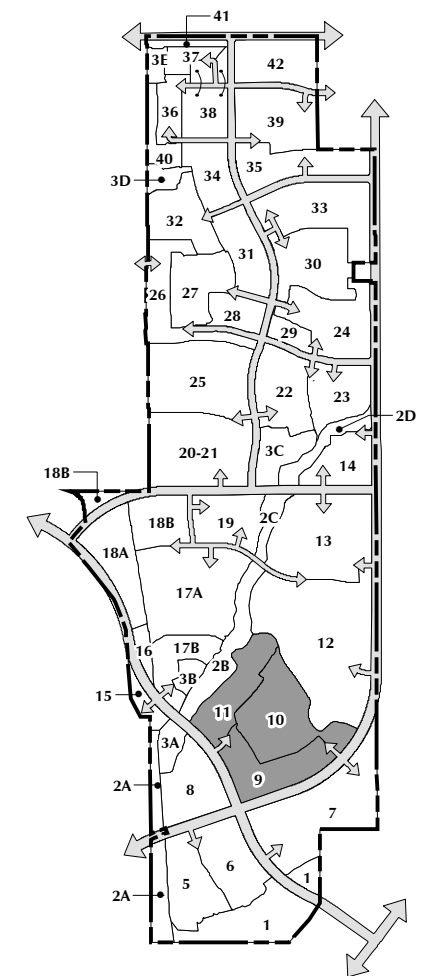
**PLANNING AREA 10**  
**MEDIUM DENSITY RESIDENTIAL**  
 7,200 S.F. LOTS  
 19.7 ACRES  
 3.5 DU/AC  
 69 DU'S

**PLANNING AREA 11**  
**MEDIUM DENSITY RESIDENTIAL**  
 6,000 S.F. LOTS  
 12.4 ACRES  
 2.1 DU/AC  
 26 DU'S

\* Community Recreation Center



## Key Map



Planning Areas 9, 10, & 11

Figure III.B-9

### 13. **Planning Area 10: Medium Density Residential (7,200 s.f. lots)**

#### a. **Descriptive Summary**

Planning Area 10, as depicted in Figure III.B-9 , provides for development of 19.7 acres devoted to Medium Density Residential uses. A maximum of 69 dwelling units is planned at a target density of 3.5 du/ac. Lot sizes shall be a minimum of 7,200 square feet (density range 2-5 du/ac).

#### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. **Planning Standards**

1. Primary access to Planning Area 10 shall be provided from Leon Road.
2. A Neighborhood entry statement, as shown on Figure IV-3, is provided at the entrance into Planning Area 10 from Leon Road.
3. A major roadway landscape treatment, as shown on Figure IV-2A, is planned along Leon Road.
4. The use of Planning Area 10 as a school or church site shall be prohibited.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 10; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Planning Area 10 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 14. Planning Area 11: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 11, as depicted in Figure III.B-9 , provides for development of 12.4 acres devoted to Medium Density Residential uses. A maximum of 26 dwelling units is planned at a target density of 2.1 du/ac. Lot sizes shall be a minimum of 6,000 square feet (density range 2-5 du/ac). In addition to residential uses, an approximately 3.7-acre community recreation center is provided in Planning Area 11. The community recreation center features a community recreation building, pool, spa, tot lots, open turf area for informal play, barbeque, picnic, and seating areas, and gardens.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 11 shall be provided from Briggs Road.
2. A Neighborhood entry statement, as shown on Figure IV-3, is provided at the entrance into Planning Area 11 from Briggs Road.
3. A major roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Briggs Road.
4. A special landscaped buffer/treatment, as shown in Figure IV-16E, *South Paseo Trail Concept*, is planned to interface between the adjacent greenbelt in Planning Area 2B and 2C and the residential uses in Planning Area 11.
5. The use of Planning Area 11 as a school or church site shall be prohibited.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Casitas are permitted on all residential lots within Planning Area 11; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
8. Single-story homes shall be constructed on no less than twenty-five percent (25%) of all residential lots smaller than 7,200 square feet in Planning Area 11.
9. Planning Area 11 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans  
 III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

#### 15. Planning Area 12: Medium Density Residential (7,200 s.f. lots)

##### a. Descriptive Summary

Planning Area 12, as depicted in Figure III.B-4 , provides for development of 43.9 acres devoted to Medium density residential uses. A maximum of 172 dwelling units is planned at a target density 3.9 du/ac. Lot sizes shall be a minimum of 7,200 square feet (density range 2-5 du/ac).

##### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Primary access to Planning Area 12 shall be provided from Leon Road and Street "C."
2. Neighborhood entry statements, as shown on Figure IV-2, are provided at the entrances into Planning Area 12 from Leon Road.
3. A special landscaped buffer/treatment, as shown in Figure IV-16E, *South Paseo Trail Concept*, is planned to interface between the adjacent greenbelt in Planning Area 2B and the residential uses in Planning Area 12.
4. A roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Leon Road.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 12; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. The use of Planning Area 12 as a school or church site shall be prohibited.
8. A Class I multi-purpose trail is planned adjacent to the easterly edge of Leon Road right-of-way (to be constructed by others).
9. Planning Area 12 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan



### 16. Planning Area 13: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 13, as depicted in Figure III.B-4 , provides for development of 26.4 acres of Medium Density Residential homes on minimum 6,000 sf lots. A maximum of 88 dwelling units will be provided at an average target density 3.3 du/ac (2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 13 shall be provided from Leon and Baxter Roads.
2. A Secondary community entry statement, as shown on Figure IV-3, is provided at the intersection of Leon and Baxter Roads.
3. Neighborhood entry statements, as shown on Figure IV-3, are provided at the entrances into Planning Area 13 from Leon and Baxter Roads.
4. Roadway landscape treatments, as shown on Figure IV-2A, *Major Highway Streetscape* and Figure IV-2B, *Secondary Highway Streetscape*, are planned along Leon and Baxter Roads, respectively.
5. A special landscaped buffer/treatment, as shown in Figure IV-16E, *South Paseo Trail Concept*, is planned to interface between the adjacent greenbelt in Planning Area 2C and the residential uses in Planning Area 13.
6. The use of Planning Area 13 as a school or church site shall be prohibited.
7. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
8. Single-story homes shall be constructed on no less than twenty-five percent (25%) of all residential lots smaller than 7,200 square feet in Planning Area 13.
9. Planning Area 13 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

#### 17. **Planning Area 14: Medium Density Residential (6,000 s.f. lots)**

##### a. **Descriptive Summary**

Planning Area 14, as depicted in Figure III.B-5 , provides for development of 9.6 acres devoted to Medium Density Residential uses (density range 2-5 du/ac). A maximum of 38 dwelling units is planned at a target density 4.0 du/ac. Lot sizes shall be a minimum of 6,000 square feet.

##### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. **Planning Standards**

1. Primary access to Planning Area 14 shall be provided from Leon and Baxter Roads.
2. A Secondary community entry statement, as shown on Figure IV-3, is provided at the intersection of Leon and Baxter Roads.
3. Neighborhood entry statements, as shown on Figure IV-3, are provided at the entrances into Planning Area 14 from Leon and Baxter Roads.
4. Roadway landscape treatments, as shown on Figure IV-2A, *Major Highway Streetscape* and Figure IV-2B, *Secondary Highway Streetscape*, are planned along Leon and Baxter Roads, respectively.
5. A special landscaped buffer/treatment, as shown in Figure IV-16E, *South Paseo Trail Concept*, is proposed between the adjacent greenbelt in Planning Area 2D and the residential uses in Planning Area 14.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Casitas are permitted on all residential lots within Planning Area 14; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
8. Single-story homes shall be constructed on no less than twenty-five percent (25%) of all residential lots smaller than 7,200 square feet in Planning Area 14.
9. A Class I multi-purpose trail is planned adjacent to the easterly edge of Leon Road right-of-way (to be constructed by others).
10. Planning Area 14 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
11. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
12. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 18. Planning Area 15: Open Space-Recreation

#### a. Descriptive Summary

As depicted in Figure III.B-10 , Planning Area 15 is reserved for Open-Space Recreation land uses. This Specific Plan provides for the development of the 3.7-acre Planning Area 15 with natural landscaping. Storm water detention/water quality basin(s) may be provided in Planning Area 15.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. A roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Briggs Road.
2. An existing Southern California Gas easement runs through the southern portion of Planning Area 15. This 30' wide easement shall not be impacted by development.
3. The use of Planning Area 15 as a school or church site shall be prohibited.
4. Planning Area 15 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
5. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
6. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

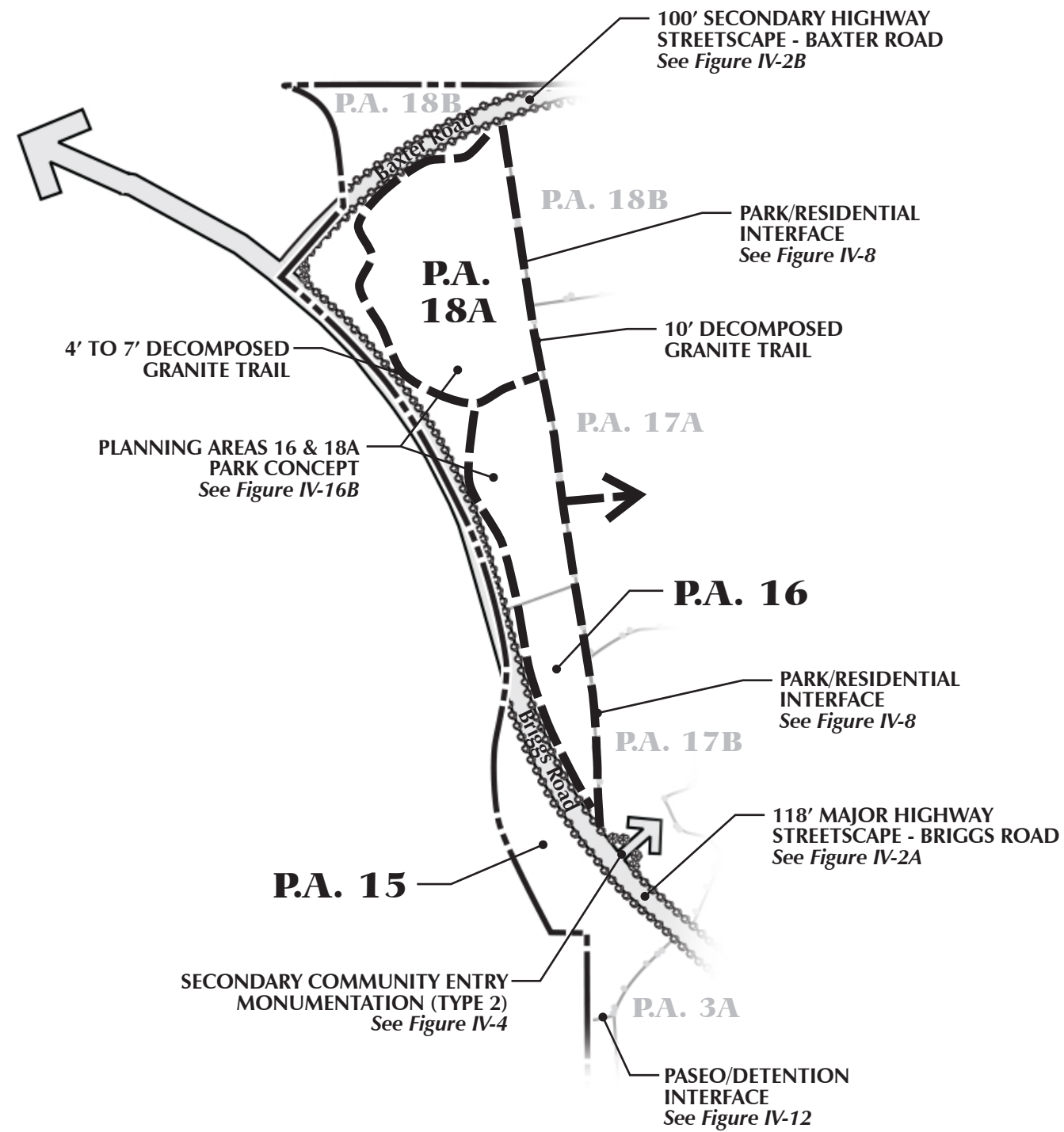
III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan



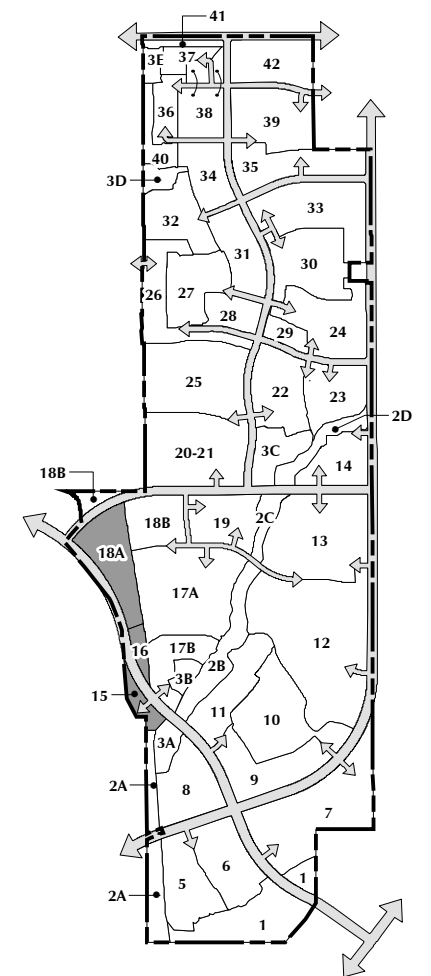
## Legend

PLANNING AREA 15  
OPEN SPACE - RECREATION (PARK)  
3.7 ACRES

PLANNING AREA 16  
OPEN SPACE - RECREATION (PARK)  
2.6 ACRES

PLANNING AREA 18A  
OPEN SPACE - RECREATION (PARK)  
12.4 ACRES

## Key Map



Planning Areas 15, 16, & 18A

Figure III.B-10

### 19. Planning Area 16: Open Space-Recreation (Park)

#### a. Descriptive Summary

As depicted in Figure III.B-10 , a neighborhood park is provided in Planning Area 16 (in conjunction with Planning Area 18A) to provide residents with neighborhood-oriented recreational amenities. This public park will feature an open turf area, a dog park, and trails.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Planning Area 16 shall be designed as conceptually depicted on Figure IV-16B.
2. A major roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Briggs Road.
3. A special landscaped buffer/treatment, as shown in Figure IV-8, *Park/Residential Interface*, is planned to interface between the park use in Planning Area 16 and the residential uses in Planning Area 17B.
4. An existing Southern California Gas easement runs in the western portion of Planning Area 16. This 55' wide easement will not be impacted by development. Homes will not encroach into the easement.
5. Walls and fencing in Planning Area 16 shall be constructed as shown Figure IV-17, *Conceptual Community Wall & Fence Plan*, and shall be consistent with the *Community Walls and Fencing* design criteria in Section IV, *Design Guidelines*.
6. Planning Area 16 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

#### 20. Planning Area 17A: Medium Density Residential (6,000 s.f. lots)

##### a. Descriptive Summary

Planning Area 17A, as depicted in Figure III.B-3 , provides for development of 27.2 acres devoted to Medium Density Residential uses. A maximum of 117 dwelling units is planned at a target density of 4.3 du/ac. Lot sizes shall be a minimum of 6,000 square feet (density range 2-5 du/ac).

##### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Primary access to Planning Area 17A shall be provided from Street “C” to the north.
2. A roadway landscape treatment, as shown on Figure IV-2D, *Collector Road Streetscape*, is planned along Prairie Sun Way (east of Rockrose Lane).
3. A roadway landscape treatment, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, is planned along Prairie Sun Way (west of Rockrose Lane).
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, shall be provided along internal local roads.
5. A special landscaped buffer/treatment, as shown in Figure IV-16E, *South Paseo Trail Concept*, is planned to interface between the adjacent greenbelt in Planning Area 2B and the residential uses in Planning Area 17A.
6. A special landscaped buffer/treatment, as shown in Figure IV-8, *Park/Residential Interface*, is planned to interface between the park use in Planning Area 18A and the residential uses in Planning Areas 17A.
7. The use of Planning Area 17A as a school or church site shall be prohibited.
8. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
9. Casitas are permitted on all residential lots within Planning Area 17A; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
10. Planning Area 17A is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
11. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
12. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 21. Planning Area 17B: Medium Density Residential (7,200 s.f. lots)

#### a. Descriptive Summary

Planning Area 17B, as depicted in Figure III.B-3 , provides for development of 9.2 acres devoted to Medium Density Residential uses. A maximum of 30 dwelling units is planned at a target density of 3.3 du/ac. Lot sizes shall be a minimum of 7,200 square feet (density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 17B shall be provided from Briggs Road.
2. A Secondary Community Entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is planned at the entrance into Planning Area 17B from Briggs Road.
3. A roadway landscape treatment, as shown on Figure IV-2A, *Major Highway Streetscape*, is planned along Briggs Road.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, shall be provided along internal local roads.
5. A special landscaped buffer/treatment, as shown in Figure IV-16E, *South Paseo Trail Concept*, is planned to interface between the adjacent greenbelt in Planning Area 2B and the residential uses in Planning Area 17B.
6. A special landscaped buffer/treatment, as shown in Figure IV-8, *Park/Residential Interface*, is planned to interface between the park use in Planning Area 16 and the residential uses in Planning Areas 17B.
7. The use of Planning Area 17B as a school or church site shall be prohibited.
8. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
9. Casitas are permitted on all residential lots within Planning Area 17B; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
10. Planning Area 17B is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
11. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
12. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan



### 22. Planning Area 18A: Open Space-Recreation (Park)

#### a. Descriptive Summary

As depicted in Figure III.B-10 , a neighborhood park is provided in Planning Area 18A (in conjunction with Planning Area 16) to provide residents with neighborhood-oriented recreational amenities. This public park will feature an open turf area, a dog park, and trails.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Planning Area 18A shall be designed as conceptually depicted on Figure IV-16B.
2. Roadway landscape treatments, as shown on Figure IV-2A, *Major Highway Streetscape*, and Figure IV-2B, *Secondary Highway Streetscape* are planned along Briggs Road, and Baxter Road, respectively.
3. A special landscaped buffer/treatment, as shown in Figure IV-8, *Park/Residential Interface*, is planned to interface between the park use in Planning Area 18A and the residential uses in Planning Areas 17A and 18B.
4. An existing Southern California Gas easement runs through the center of Planning Area 18A. Access to this easement remains available.
5. Walls and fencing in Planning Area 18A shall be constructed as shown Figure IV-17, *Conceptual Community Wall & Fence Plan*, and shall be consistent with the *Community Walls and Fencing* design criteria in Section IV, *Design Guidelines*.
6. Planning Area 18A is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 23. Planning Area 18B: Medium Density Residential (7,200 s.f. lots)

#### a. Descriptive Summary

Planning Area 18B, as depicted in Figure III.B-11 , provides for development of 11.3 acres devoted to Medium Density Residential homes on minimum 7,200 square foot lots. A maximum of 32 dwelling units will occur at an average target density of 2.8 du/ac (2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 18B shall be provided from Rockrose Lane and Prairie Sun Way.
2. A Secondary Community Entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is planned at the entrance into Planning Area 18B at the Baxter Road and Rockrose Lane intersection.
3. Roadway landscape treatments, as shown on Figures IV-2A, *Major Highway Streetscape*, and Figure IV-2D, *Collector Road Streetscape*, are planned along Baxter Road and Rockrose Lane, respectively.
4. A roadway landscape treatment, as shown on Figure IV-2D, *Collector Road Streetscape*, is planned along Prairie Sun Way (east of Rockrose Lane).
5. A roadway landscape treatment, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, is planned along Prairie Sun Way (west of Rockrose Lane).
6. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, shall be provided along internal local roads.
7. A special landscaped buffer/treatment, as shown in Figure IV-8, *Park/Residential Interface*, is planned to interface between the park use in Planning Area 18A and the residential uses in Planning Areas 17A and 18B.
8. An existing Southern California Gas easement runs through the center of Planning Area 18B. This 55' wide easement will not be impacted by development. Homes will not encroach into the easement.
9. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
10. Casitas are permitted on all residential lots within Planning Area 18B; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
11. Planning Area 18B is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
12. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
13. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
III.A.3: Circulation Plan

III.A.7: Grading Plan  
III.A.8: Public Facility Sites & Project Phasing

---

### Specific Plan No. 312

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

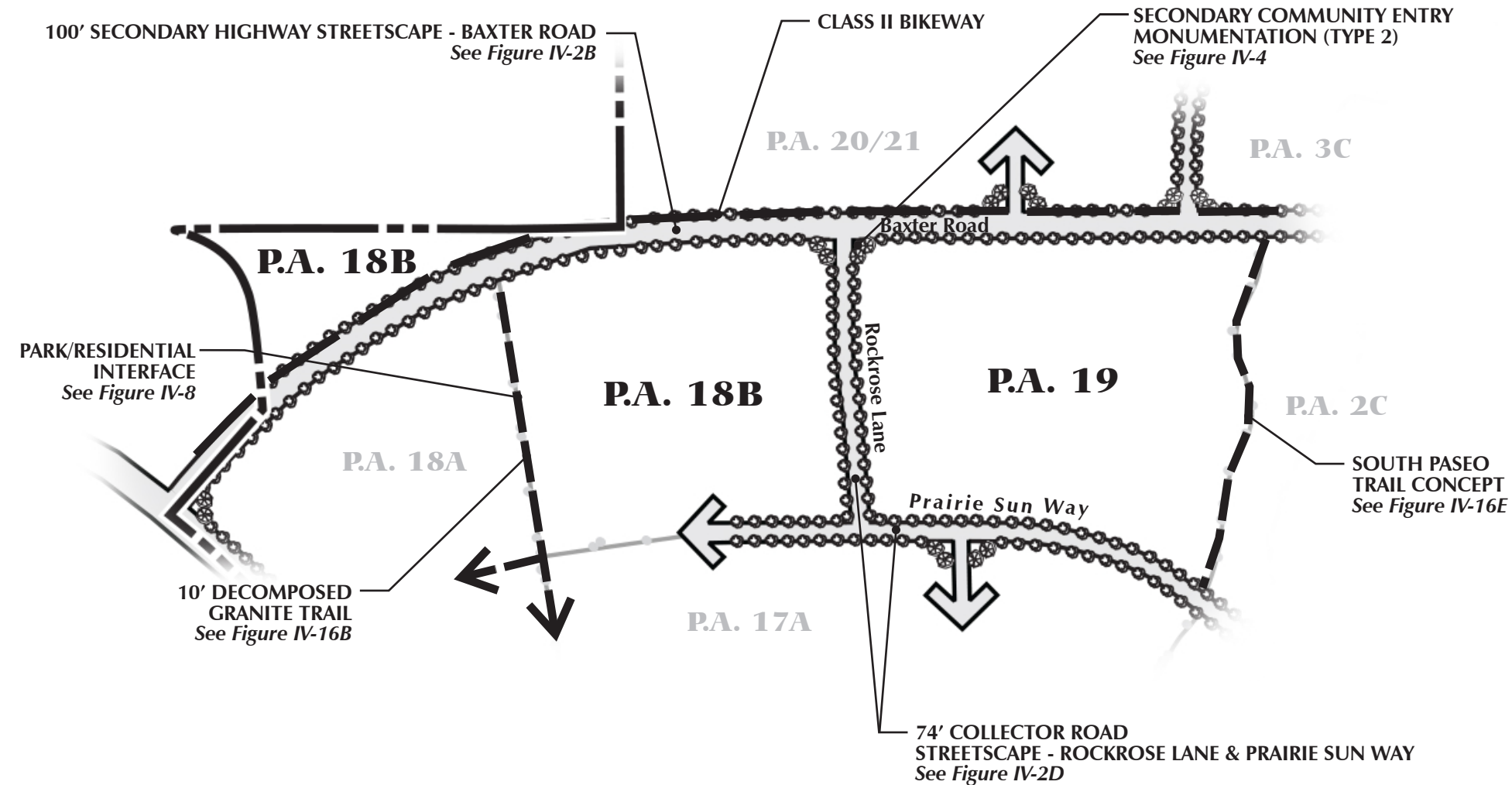
III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

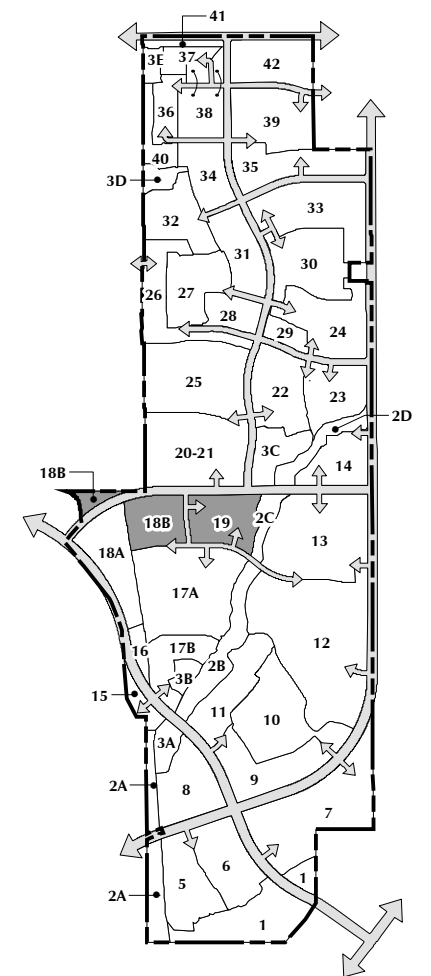
## Legend

**PLANNING AREA 18B**  
**MEDIUM DENSITY RESIDENTIAL**  
 7,200 S.F. LOTS  
 11.3 ACRES  
 2.8 DU/AC  
 32 DU'S

**PLANNING AREA 19**  
**MEDIUM-HIGH DENSITY RESIDENTIAL**  
 5,000 S.F. LOTS  
 10.0 ACRES  
 5.0 DU/AC  
 50 DU'S



## Key Map



Planning Areas 18B & 19

Figure III.B-11

### 24. Planning Area 19: Medium-High Density Residential (5,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 19, as depicted in Figure III.B-11 , provides for development of 10.0 acres with a maximum of 50 Medium-High Density Residential homes. Homes in Planning Area 19 shall be developed on minimum 5,000 s.f. lots at a target density of 5.0 du/ac (density range 5-8 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 19 shall be provided from Rockrose Lane and Prairie Sun Way.
2. A Secondary Community Entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is planned at the entrance into Planning Area 19 at the Baxter Road and Rockrose Lane intersection.
3. A special landscape buffer/treatment, as shown on Figure IV-16E, *South Paseo Trail Concept*, is planned to interface between the adjacent greenbelt in Planning Area 2C and the residential uses in Planning Area 19.
4. Roadway landscape treatments, as shown on Figure IV-2B, *Secondary Highway Streetscape*, is planned along Baxter Road, and a landscape treatment as shown on Figure IV-2D, *Collector Road Streetscape* is planned along Rockrose Lane, and Prairie Sun Way.
5. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, shall be provided along internal local roads.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Planning Area 19 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 25. Planning Area 20/21: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 20/21, as depicted in Figure III.B-12 , provides for development of 21.8 acres of Medium Density Residential homes on minimum 6,000 s.f. lots. A maximum of 82 dwelling units will be provided at an average target density of 3.8 du/ac (Density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 20/21 shall be provided from Baxter Road and Spencer's Crossing Parkway.
2. A Secondary Community Entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is planned at the entrance into Planning Area 20/21 at the intersection of Spencer's Crossing Parkway and Baxter Road.
3. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are planned at the entrance into Planning Area 20/21 from Baxter Road and Spencer's Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2B, *Secondary Highway Streetscape* and Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are planned along Baxter Road and Spencer's Crossing Parkway (respectively).
5. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, shall be provided along internal local roads.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Casitas are permitted on all residential lots within Planning Area 20/21; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
8. Planning Area 20/21 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
9. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
10. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

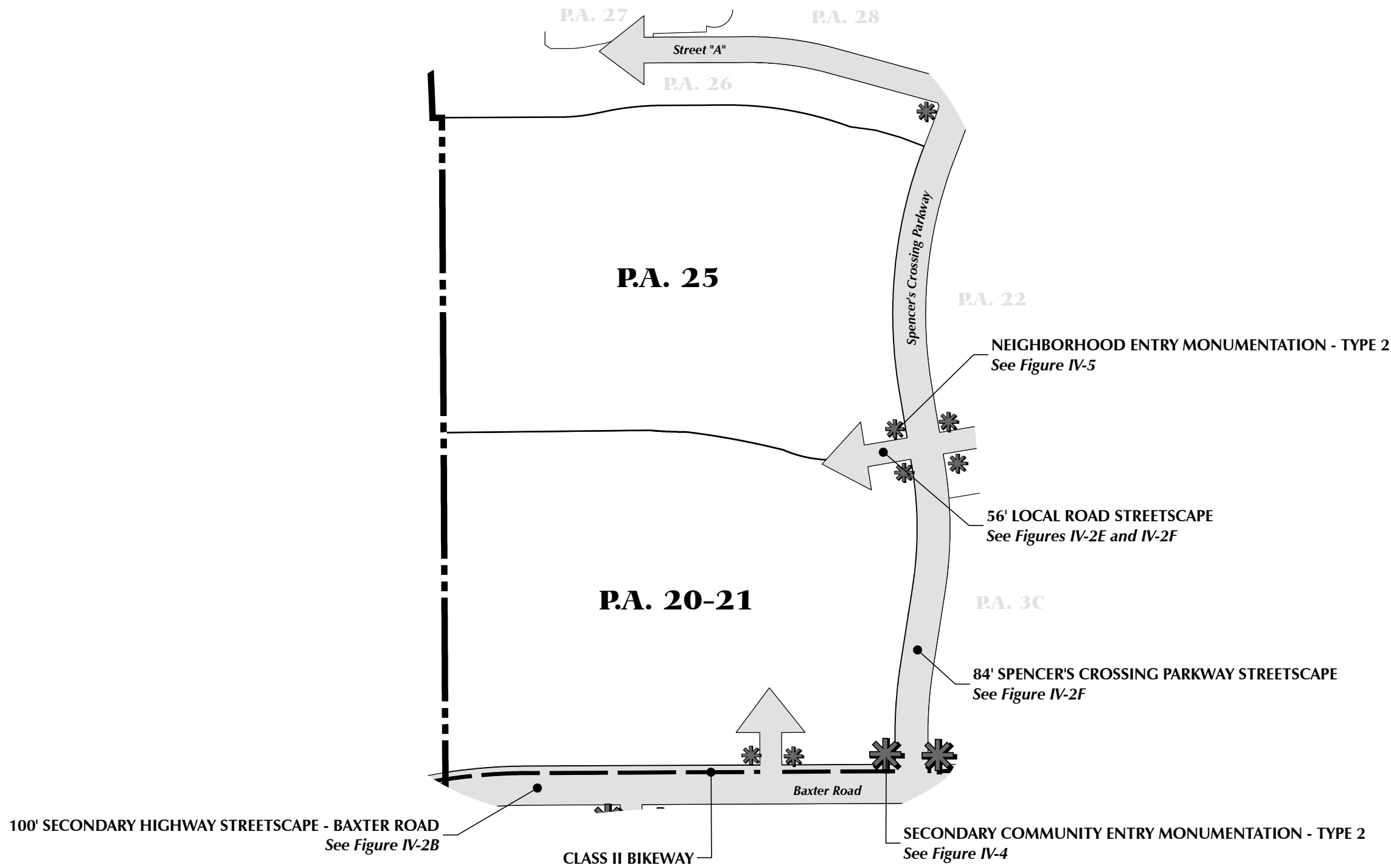
III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

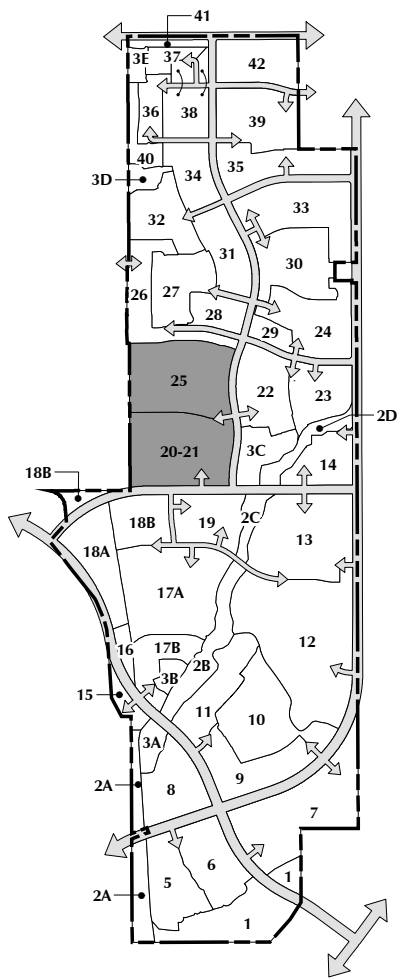
Legend

PLANNING AREA 20-21  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
21.8 ACRES  
3.8 DU/AC  
82 DU'S

PLANNING AREA 25  
MEDIUM DENSITY RESIDENTIAL  
7,200 S.F. LOTS  
22.3 ACRES  
3.8 DU/AC  
84 DU'S



Key Map



Planning Areas 20-21 & 25

Figure III.B-12



### 26. **Planning Area 22: Medium Density Residential (5,500 s.f. lots)**

#### a. **Descriptive Summary**

Planning Area 22, as depicted in Figure III.B-5 , provides for the development of 13.9 acres of Medium Density Residential land uses (density range 2-5 du/ac). A target of 68 dwelling units on minimum 5,500 s.f. lots is planned at an average density of 4.9 du/ac.

#### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. **Planning Standards**

1. Primary access to Planning Area 22 is provided from Street “A” from the north and Spencer’s Crossing Parkway from the west.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monumentation – Type 2*, are located at the entrance into Planning Area 22 from Spencer’s Crossing Parkway and Street “A”.
3. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer’s Crossing Parkway Streetscape*, occur along Spencer’s Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 22; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Planning Area 22 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 27. Planning Area 23: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 23, as depicted in Figure III.B-5 , provides for the development of 10.5 acres devoted to Medium density residential uses. A maximum of 46 dwelling units is planned at an average target density of 4.4 du/ac. Lot sizes shall be a minimum of 6,000 square feet (density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 23 shall be provided from Street “A.”
2. A Secondary Community entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is planned at the intersection of Street “A” and Leon Road.
3. A Neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, is planned at the entrance into Planning Area 23 from Street “A.”
4. Roadway landscape treatments, as shown on Figures IV-2A, *Major Highway Streetscape*, and IV-2D, *Collector Streetscape*, are planned along Leon Road and Street “A,” respectively.
5. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, shall be provided along internal local roads.
6. Special landscaped buffer/treatments, as shown in Figure IV-16E, *South Paseo Trail Concept*, and Figure IV-8, *Park/Residential Interface*, are planned to interface between the residential uses in Planning Area 23 and the adjacent greenbelt in Planning Area 2D.
7. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
8. Casitas are permitted on all residential lots within Planning Area 23; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
9. Planning Area 23 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
10. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
11. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans  
 III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

### 28. Planning Area 24: Medium-High Density Residential (5,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 24, as depicted in Figure III.B-13 , provides for development of 15.3 acres of Medium-High Density Residential homes. A target of 82 dwelling units are provided at an average density of 5.3 du/ac. Lot sizes shall be a minimum of 5,000 square feet (density range 5-8 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 24 is provided from local roads via Street “A” and Spencer’s Crossing Parkway.
2. A Secondary community entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is located at the entrance to Planning Area 24 at the intersection of Street “A” and Leon Road.
3. A Neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monumentation – Type 2*, is located at the entrance into Planning Area 24 from Street “A.”
4. Roadway landscape treatments, as shown on Figure IV-2A, *Major Highway Streetscape*, and Figure IV-2D, *Collector Road Streetscape*, are provided along Leon Road and Street “A,” respectively.
5. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Planning Area 24 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

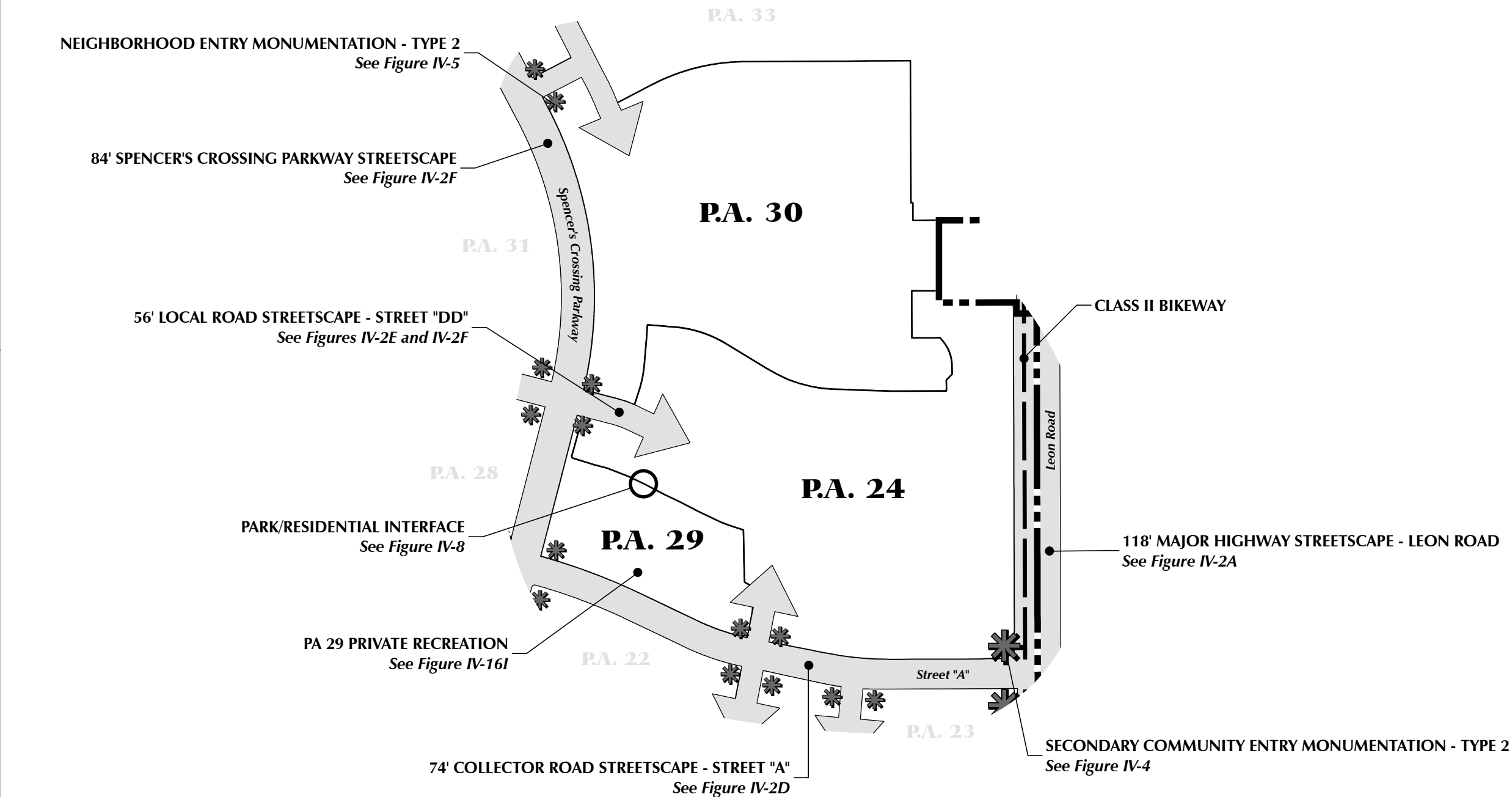
III.A.10: Comprehensive Maintenance Plan

# Legend

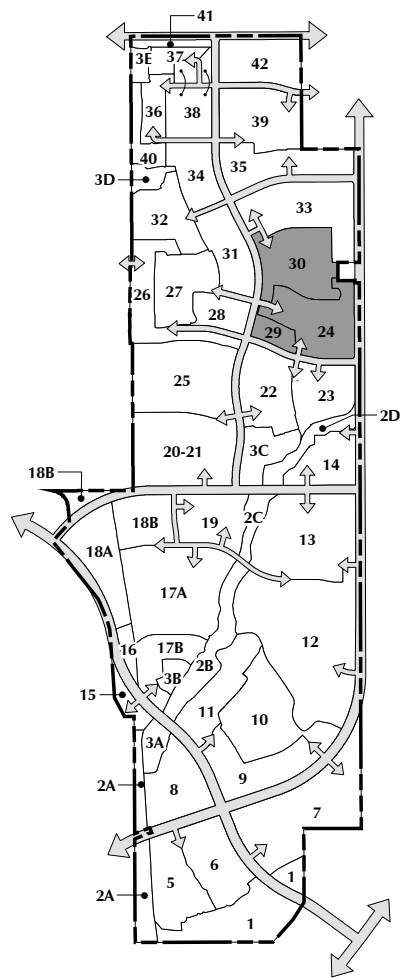
**PLANNING AREA 24**  
 MEDIUM-HIGH DENSITY RESIDENTIAL  
 5,000 S.F. LOTS  
 153 ACRES  
 5.4 DU/AC  
 82 DU'S

**PLANNING AREA 29**  
 OPEN SPACE-RECREATION (PARK)  
 3.2 ACRES

**PLANNING AREA 30**  
 MEDIUM DENSITY RESIDENTIAL  
 6,000 S.F. LOTS  
 15.7 ACRES  
 4.5 DU/AC  
 70 DU'S



## Key Map



Planning Areas 24, 29, & 30

Figure III.B-13

### 29. **Planning Area 25: Medium Density Residential (7,200 s.f. lots)**

#### a. **Descriptive Summary**

Planning Area 25, as depicted in Figure III.B-12 , provides for the development of 22.3 acres of Medium Density Residential homes on minimum 7,200 s.f. lots. A maximum of 84 dwelling units will be provided at an average target density of 3.8 du/ac (2-5 du/ac).

#### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. **Planning Standards**

1. Primary access to Planning Area 25 is provided from Spencer's Crossing Parkway.
2. A neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, is planned at the entrance into Planning Area 25 from Spencer's Crossing Parkway.
3. A roadway landscape treatment, as shown on Figures IV-2F, *Spencer's Crossing Parkway Streetscape*, is planned along Spencer's Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 25; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Planning Area 25 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

#### 30. **Planning Area 26: Medium-High Density Residential (5,500 s.f. lots)**

##### a. Descriptive Summary

Planning Area 26, as depicted in Figure III.B-14 , provides for the development of 11.8 acres devoted to Medium-High Density Residential uses. A maximum of 60 dwelling units is planned at a target density of 5.1 du/ac. Lot sizes shall be a minimum of 5,500 square feet (density range 5-8 du/ac).

##### b. Land Use and Development Standards

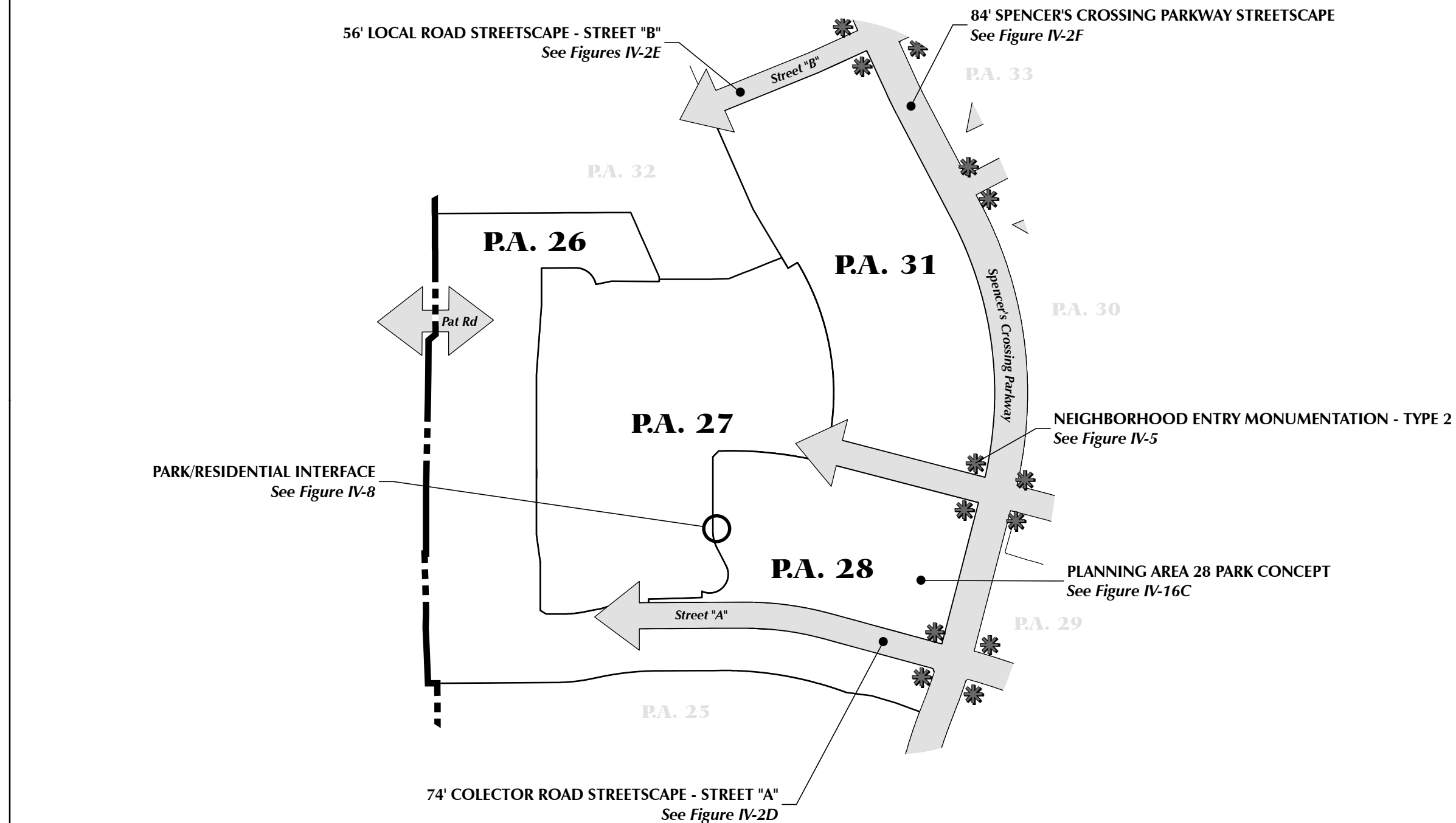
Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. Planning Standards

1. Primary access to Planning Area 26 is provided from Spencer's Crossing Parkway, with secondary access provided via the connection to Pat Road.
2. A neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, is planned at the entrance to Planning Area 26 from Spencer's Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
4. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
5. Planning Area 26 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
6. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
7. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
III.A.3: Circulation Plan  
III.A.4: Drainage Plan  
III.A.5: Water and Sewer Plans  
III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
III.A.8: Public Facility Sites & Project Phasing  
III.A.9: Landscaping Plan  
III.A.10: Comprehensive Maintenance Plan



## Legend

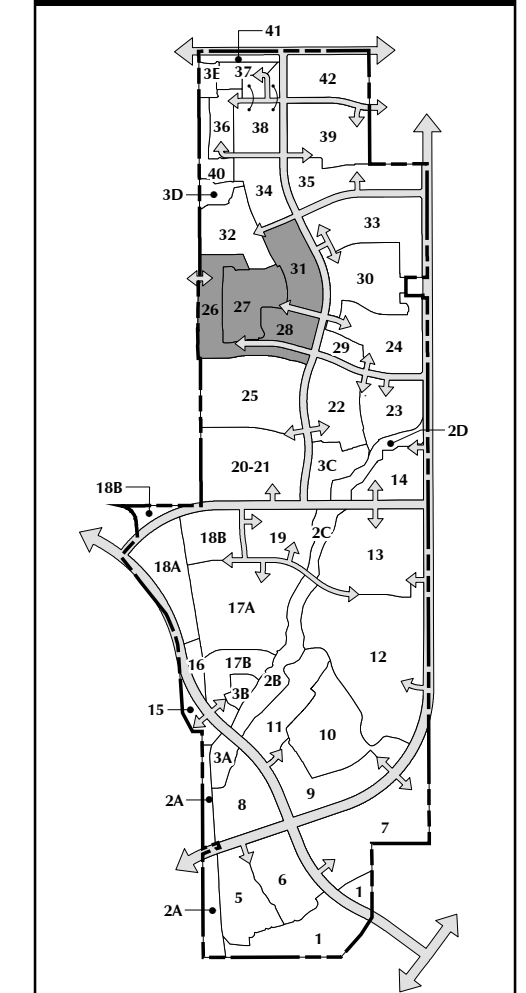
**PLANNING AREA 26**  
MEDIUM-HIGH DENSITY RESIDENTIAL  
5,500 S.F. LOTS  
11.8 ACRES  
5.0 DU/AC  
60 DU'S

**PLANNING AREA 27**  
MEDIUM DENSITY RESIDENTIAL  
6,000 S.F. LOTS  
11.9 ACRES  
4.1 DU/AC  
49 DU'S

**PLANNING AREA 28**  
OPEN SPACE-RECREATION (PARK)  
5.6 ACRES

**PLANNING ARE 31**  
MEDIUM DENSITY RESIDENTIAL  
5,500 S.F. LOTS  
10.0 ACRES  
4.8 DU/AC  
48 DU'S

## Key Map



Planning Areas 26, 27, 28, & 31

Figure III.B-14



### 31. Planning Area 27: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 27, as depicted in Figure III.B-14 , provides for the development of 11.9 acres devoted to Medium Density Residential homes. A maximum of 49 dwelling units will be provided at an average target density of 4.1 du/ac. Lot sizes shall be a minimum of 6,000 square feet (density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 27 is provided from Spencer's Crossing Parkway.
2. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
3. Special landscaped buffer/treatments, as shown in Figure IV-8, *Park/Residential Interface*, are provided to interface between the residential uses in Planning Area 27 and the adjacent Public Park in Planning Area 28.
4. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
5. Casitas are permitted on all residential lots within Planning Area 27; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
6. Planning Area 27 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans  
 III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

### 32. Planning Area 28: Open Space-Recreation (Park)

#### a. Descriptive Summary

This 5.6-acre Public Park is bound by Spencer's Crossing Parkway to the east, as shown in Figure III.B-14 , and includes active and passive facilities designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16C, *Planning Area 28 Park Concept*, is a conceptual design that shows how the park may be connected to the proposed greenbelts and parkways.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 28 is provided from Spencer's Crossing Parkway.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are planned at the entrance into Planning Area 28 from Spencer's Crossing Parkway.
3. A roadway landscape treatment, as shown on Figures IV-2F, *Spencer's Crossing Parkway Streetscape*, is planned along Spencer's Crossing Parkway.
4. Improvement plans for the park shall be submitted by the developer prior to issuance of the 975th building permit anywhere within French Valley Specific Plan, or as determined by Valley-Wide Recreation and Park District standards. The park shall be constructed and completed prior to the issuance of the 1,075th occupancy permit anywhere within French Valley Specific Plan, or as determined by Valley-Wide Recreation and Park District standards. The park will include active or passive facilities and will be designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16C is a conceptual design that shows how the park may be connected to the proposed greenbelts and parkways.
5. Amphitheaters, stadiums and other similar high intensity uses are prohibited.
6. Planning Area 28 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 33. Planning Area 29: Open Space-Recreation

#### a. Descriptive Summary

Planning Area 29 is comprised of a 3.2-acre Private Recreation Facility, which is bound by Planning Area 24 (Medium-High Density Residential) to the north and east, Street “A” to the south, and Spencer’s Crossing Parkway to the west, as depicted in Figure III.B-13 . The Private Recreation Facility will include a pool, tot-lot, open-turf play area, or other similar facilities.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 29 is provided from Spencer’s Crossing Parkway and Street “A”.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are located at the entrance into Planning Area 29 from Spencer’s Crossing Parkway and Street “A.”
3. Roadway landscape treatments, as shown on Figure IV-2D, *Collector Road Streetscape*, and Figure IV-2F, *Spencer’s Crossing Parkway Streetscape*, are featured along Street “A” and Spencer’s Crossing Parkway, respectively.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Improvement plans for the park shall be submitted by the developer prior to issuance of the 800th building permit anywhere within the French Valley Specific Plan. The park shall be constructed and fully operable prior to the issuance of the 850th occupancy permit anywhere within the French Valley Specific Plan. Figure IV-16I, *PA 29 Private Recreation*, illustrates a conceptual design for this Private Recreation Facility.
6. Amphitheaters, stadiums and other similar high intensity uses are prohibited.
7. Planning Area 29 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 34. Planning Area 30: Medium Density Residential (6,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 30, as depicted in Figure III.B-13 , provides for the development of 15.7 acres devoted to Medium Density Residential uses. A maximum of 70 dwelling units is planned at a target density of 4.4 du/ac. Lot sizes shall be a minimum of 6,000 square feet (density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 30 is provided from Spencer's Crossing Parkway.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are provided at the entrance into Planning Area 30 from Spencer's Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are featured along Spencer's Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 30; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Planning Area 30 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

#### 35. **Planning Area 31: Medium Density Residential (5,500 s.f. lots)**

##### a. **Descriptive Summary**

Planning Area 31, as depicted in Figure III.B-14 , provides for the development of 10.0 acres devoted to Medium Density Residential uses. A maximum of 48 dwelling units is planned at a target density of 4.8 du/ac. Lot sizes shall be a minimum of 5,500 square feet (density range 2-5 du/ac).

##### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. **Planning Standards**

1. Primary access to Planning Area 31 is provided from Spencer's Crossing Parkway.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are provided at the entrances into Planning Area 31 from Spencer's Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2D, *Spencer's Crossing Parkway Streetscape*, is planned along Spencer's Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Planning Area 31 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 36. Planning Area 32: Medium Density Residential (7,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 32, as depicted in Figure III.B-6 , provides for the development of 11.3 acres devoted to Medium Density Residential uses. A maximum of 42 dwelling units is planned at a target density of 3.7 du/ac. Lot sizes shall be a minimum of 7,000 square feet (density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 32 is provided from Spencer's Crossing Parkway.
2. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are provided along Spencer's Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
4. Special landscape/buffer treatments, as shown on Figure IV-13, *Detention/Residential Interface*, are proposed to interface between the residential uses in Planning Area 32, and the adjacent retention basin in Planning Area 3D.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 32; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Planning Area 32 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

#### 37. **Planning Area 33: Medium-High Density Residential (5,500 s.f. lots)**

##### a. **Descriptive Summary**

Planning Area 33, as depicted in Figure III.B-15 , provides for the development of 18.2 acres devoted to Medium-High Density Residential uses. A maximum of 95 dwelling units is planned at an average target density of 5.2 du/ac. Lot sizes shall be a minimum of 5,500 square feet (density range 2-5 du/ac).

##### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. **Planning Standards**

1. Primary access to Planning Area 33 is provided from Spencer’s Crossing Parkway and Street “B”.
2. A secondary community entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is located at the entrance to Planning Area 33 from the intersection of Leon Road and Street “B”. A neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, is located at the entrance into Planning Area 33 from Spencer’s Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2D, *Collector Road Streetscape*, and Figure IV-2F, *Spencer’s Crossing Parkway Streetscape*, are provided along Street “B” and Spencer’s Crossing Parkway, respectively.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Planning Area 33 is located in the French Valley Airport Influence Area, and as such shall comply with the County of Riverside Airport Land Use Compatibility Plan Policy Document as adopted by the Riverside County Airport Land Use Commission.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

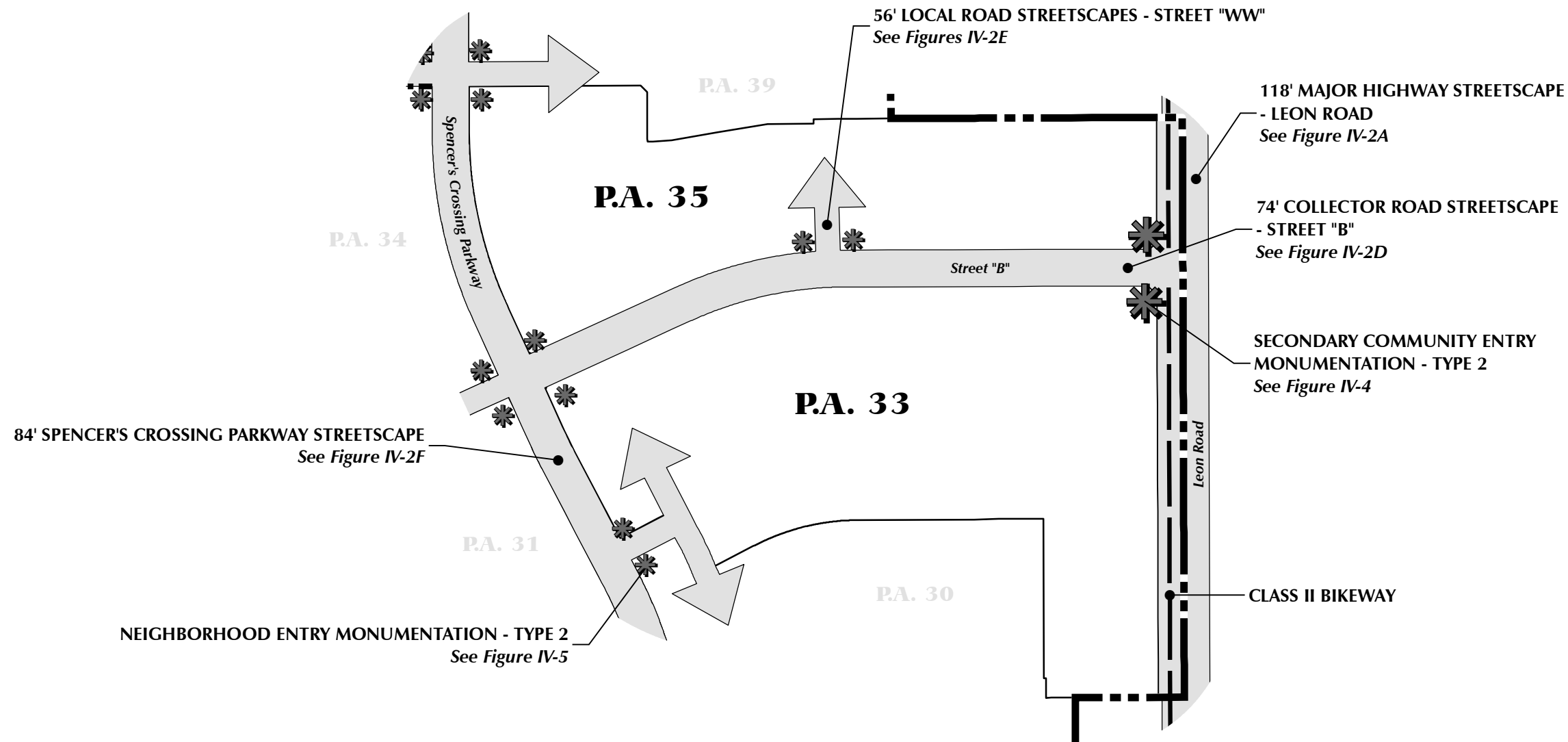
III.A.10: Comprehensive Maintenance Plan



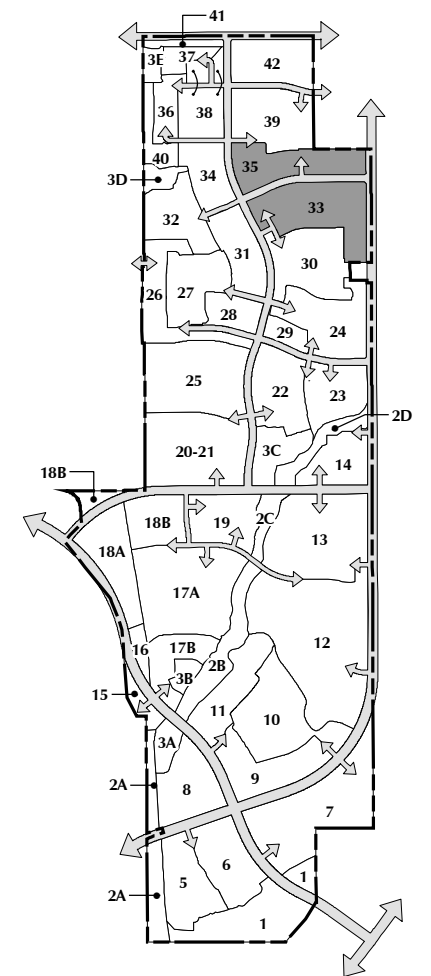
## Legend

**PLANNING AREA 33**  
**MEDIUM-HIGH DENSITY RESIDENTIAL**  
 5,500 S.F. LOTS  
 18.2 ACRES  
 5.2 DU/AC  
 95 DU'S

**PLANNING AREA 35**  
**MEDIUM DENSITY RESIDENTIAL**  
 7,150 S.F. LOTS  
 13.1 ACRES  
 3.8 DU/AC  
 50 DU'S



## Key Map



Planning Areas 33 & 35

Figure III.B-15

#### 38. **Planning Area 34: Medium Density Residential (5,000 s.f. lots)**

##### a. **Descriptive Summary**

Planning Area 34, as depicted in Figure III.B-6 , provides for development of 8.7 acres of Medium Density Residential homes. A maximum of 39 dwelling units will be provided at an average target density of 4.5 du/ac. Lot sizes shall be a minimum of 5,000 square feet (Density range 2-5 du/ac).

##### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. **Planning Standards**

1. Primary access to Planning Area 34 is provided from Spencer's Crossing Parkway via local roads.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are located at the entrance into Planning Area 34 from Spencer's Crossing Parkway.
3. Special treatment/buffers, as shown on Figure IV-6, *Natural Open Space/Residential Interface*, and Figure IV-13, *Detention/Residential Interface*, are provided between the open space uses in Planning Areas 40 and 3D, respectively.
4. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are provided along Spencer's Crossing Parkway.
5. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 39. **Planning Area 35: Medium Density Residential (7,000 s.f. lots)**

#### a. **Descriptive Summary**

Planning Area 35, as depicted in Figure III.B-15 , provides for development of 13.1 acres of Medium Density Residential homes. A maximum of 50 dwelling units will be provided at an average target density of 3.8 du/ac. Lot sizes shall be a minimum of 7,000 square feet (Density range 2-5 du/ac).

#### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. **Planning Standards**

1. Primary access to Planning Area 35 is provided from Spencer’s Crossing Parkway and Street “B”.
2. A Secondary Community Entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is located at the entrance into Planning Area 35 at the intersection of Street “B” and Leon Road.
3. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are located at the entrance into Planning Area 35 from Street “B” and Spencer’s Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2D, *Collector Road Streetscape*, and Figure IV-2F, *Spencer’s Crossing Parkway*, are provided along Street “B” and Spencer’s Crossing Parkway, respectively.
5. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
6. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
7. Casitas are permitted on all residential lots within Planning Area 35; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
8. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
9. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 40. Planning Area 36: Medium Density Residential (7,000 s.f.)

#### a. Descriptive Summary

Planning Area 36, as depicted in Figure III.B-7 , provides for development of 5.4 acres of Medium Density Residential homes. A maximum of 23 dwelling units will be provided at an average target density of 4.3 du/ac. Lot sizes shall be a minimum of 7,000 square feet (density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 36 is provided from Spencer's Crossing Parkway.
2. Special landscaped buffer/treatments, as shown on Figure IV-17, *Natural Open Space/Residential Interface*, and Figure IV-13, *Detention/Residential Interface*, are provided between the residential uses in Planning Area 36 and the adjacent open space conservation area within Planning Area 40 and the water quality retention basin within Planning Area 3E, respectively.
3. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are provided along Spencer's Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 36; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans  
 III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

### 41. Planning Area 37: Medium Density Residential (8,000 s.f. lots)

#### a. Descriptive Summary

Planning Area 37, as depicted in Figure III.B-7 , provides for development of 3.3 acres of Medium Density Residential homes. A maximum of 12 dwelling units will be provided at an average target density of 3.6 du/ac. Lot sizes shall be a minimum of 8,000 square feet (Density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 37 is provided from Spencer's Crossing Parkway.
2. A Secondary Community Entry statement, as shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, is located at the entrance into Planning Area 37 from Spencer's Crossing Parkway.
3. A neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, is located at the entrance into Planning Area 37 from Spencer's Crossing Parkway.
4. Special landscaped buffer/treatments, as shown on Figure IV-17, *Detention/Residential Interface*, and on Figure IV-19, *Park/Residential Interface*, are provided between the residential uses in Planning Area 37 and the water quality retention basin within Planning Area 3E, and the adjacent linear park within Planning Area 41, respectively.
5. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are provided along Spencer's Crossing Parkway.
6. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
7. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
8. Casitas are permitted on all residential lots within Planning Area 37; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
9. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
10. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

#### 42. **Planning Area 38: Medium Density Residential (6,000 s.f. lots)**

##### a. **Descriptive Summary**

Planning Area 37, as depicted in Figure III.B-7 , provides for development of 11.2 acres of Medium Density Residential homes. A maximum of 47 dwelling units will be provided at an average target density of 4.2 du/ac. Lot sizes shall be a minimum of 6,000 square feet (Density range 2-5 du/ac).

##### b. **Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

##### c. **Planning Standards**

1. Primary access to Planning Area 38 is provided from Spencer's Crossing Parkway.
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are located at the entrances into Planning Area 37 from Spencer's Crossing Parkway.
3. Roadway landscape treatments, as shown on Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are provided along Spencer's Crossing Parkway.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Casitas are permitted on all residential lots within Planning Area 38; provided, however, that all casitas shall comply with the applicable yard setback and encroachment standards contained within the FRENCH VALLEY Specific Plan Zoning Ordinance for the appropriate zone.
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 43. Planning Area 39: Medium Density Residential (5,500 s.f. lots)

#### a. Descriptive Summary

Planning Area 39, as depicted in Figure III.B-16 , provides for development of 14.9 acres of Medium Density Residential homes. A maximum of 68 dwelling units will be provided at an average target density of 4.6 du/ac. Lot sizes shall be a minimum of 5,500 square feet (Density range 2-5 du/ac).

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 39 is provided from Spencer's Crossing Parkway and Street "C".
2. Neighborhood entry statements, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, are located at the entrance into Planning Area 37 from Spencer's Crossing Parkway and Street "C".
3. Roadway landscape treatments, as shown on Figure IV-2D, *Collector Road Streetscape*, and Figure IV-2F, *Spencer's Crossing Parkway Streetscape*, are provided along Street "C" and Spencer's Crossing Parkway, respectively.
4. Roadway landscape treatments, as shown on Figure IV-2E, *Local Road Streetscape – Internal Streets*, are provided along internal local roads.
5. Except for the yard encroachments permitted in the FRENCH VALLEY Specific Plan Zoning Ordinance, no reduction in side yard setbacks shall be allowed.
6. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
7. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan



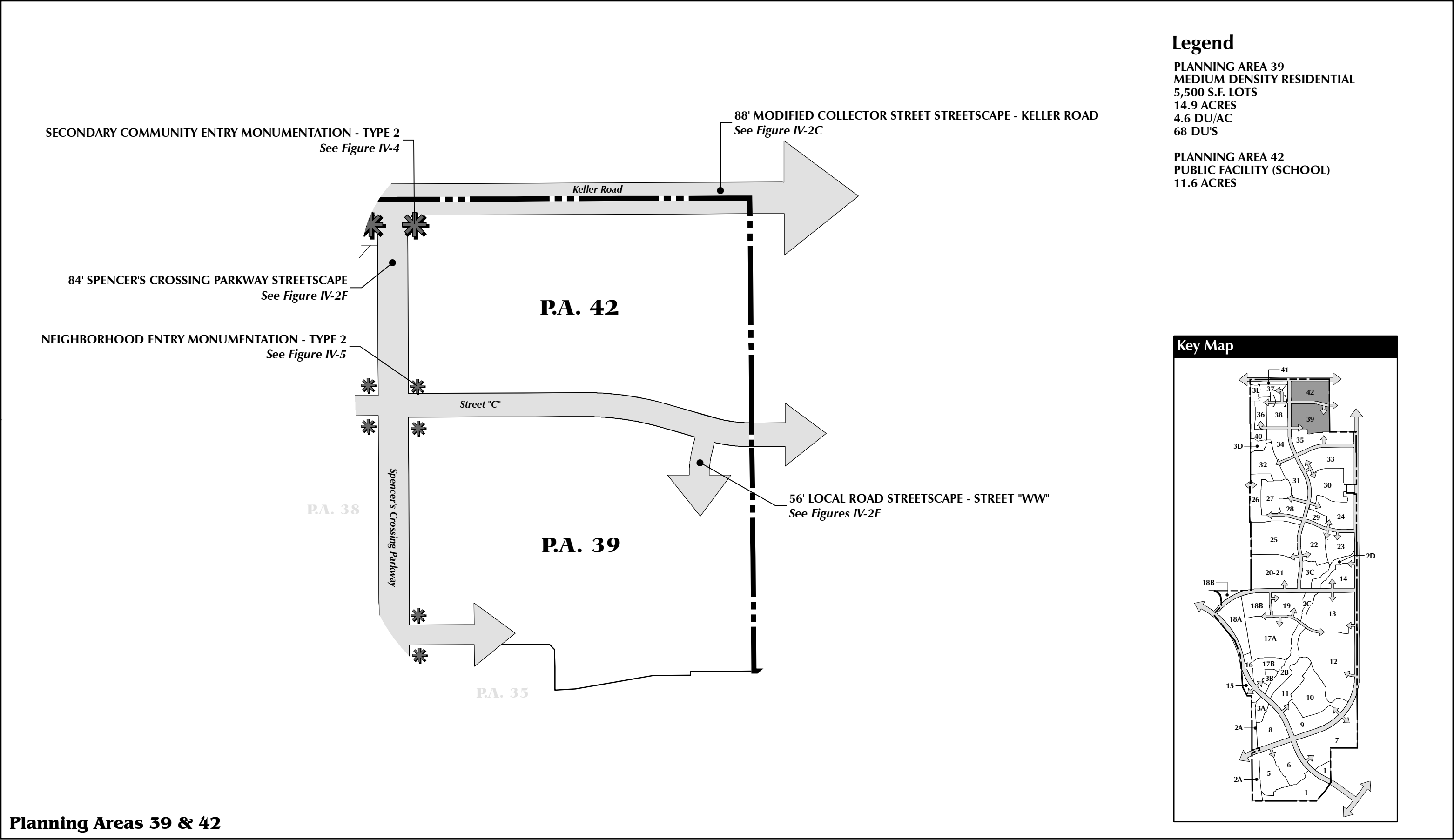


Figure III.B-16

### 44. Planning Area 40: Open Space-Conservation

#### a. Descriptive Summary

Planning Area 40, as depicted in Figure III.B-7 , provides for 4.4 acres as open space. Planning Area 40 shall include an 8-foot wide hard-surface trail that connects to the trail within Planning Area 3E to the north and to Planning Area 34 to the south.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Special treatment/buffers, as shown on Figure IV-6, *Natural Open Space/Residential Interface*, are proposed between the adjacent residential uses in Planning Areas 34 and 36.
2. An 8-foot wide hard surface trail will be provided along the central portion of Planning Area 40, and tie into Planning Areas 3E and 34. See Section III.A.6, *Open Space and Conservation*, and Section V.C.6, *Parks and Recreation*, for further details.
3. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 45. Planning Area 41: Open Space-Recreation

#### a. Descriptive Summary

As depicted in Figure III.B-7 , a linear park is provided in Planning Area 41. This 1.9-acre linear park features a 10-foot wide decomposed granite multi-use trail, which connects to the equestrian staging area in Planning Area 3E, and landscaping connecting Planning Area 41 to the paseo/detention area (Planning Area 3E) to the adjoining south. Planning Area 41 provides a buffer between residential land uses in Planning Area 37 and Keller Road.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 41 is provided from Keller Road.
2. Roadway landscape treatments, as shown on Figures IV-2F, *Spencer's Crossing Parkway Streetscape*, and Figure IV-2C, *Secondary Highway Streetscape (Keller Road)*, are provided along Spencer's Crossing Parkway and Keller Road, respectively.
3. A 10-foot wide decomposed granite meandering multi-use trail is located within Planning Area 41, and connects the equestrian staging area at the west end of Planning Area 41 with the pedestrian circulation system along Spencer's Crossing Parkway and east on Keller Road.
4. Amphitheaters, stadiums and other similar high intensity uses are prohibited.
5. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
6. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan

III.A.3: Circulation Plan

III.A.4: Drainage Plan

III.A.5: Water and Sewer Plans

III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan

III.A.8: Public Facility Sites & Project Phasing

III.A.9: Landscaping Plan

III.A.10: Comprehensive Maintenance Plan

### 46. Planning Area 42: Public Facility (Elementary School)

#### a. Descriptive Summary

Planning Area 42, as depicted in Figure III.B-16 , provides for development of 11.6 acres devoted to an elementary school site. If at some future point in time the Menifee Union School District should decline to acquire this site for development with an elementary school, then the project proponent reserves the right to develop this site with Medium density (2-5 du/ac) residential uses. If residential uses are implemented, this Planning Area would be developed as an extension of Planning Area 39. Access would be taken from local roads via Street “C” and Spencer’s Crossing Parkway. A maximum total of 57 dwelling units, with a minimum lot size of 5,500 square feet, would be allowed at a target density of 5.0 du/ac.

#### b. Land Use and Development Standards

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab).

#### c. Planning Standards

1. Primary access to Planning Area 42 is provided from local roads via Street “C” and Spencer’s Crossing Parkway.
2. The elementary school will be constructed by the Menifee Union School District to their standards and those requirements of the County, in addition to Specific Plan Standards.
3. If the school district does not elect to acquire all or a portion of Planning Area 42 for school purposes, then the developer has the option to develop it as a medium density residential area.
4. A secondary community entry statement, as shown on Figure IV, is located at the intersection of Spencer’s Crossing Parkway and Keller Road.
5. A Neighborhood entry statement, as shown on Figure IV-5, *Neighborhood Entry Monument – Type 2*, is located at the intersection of Spencer’s Crossing Parkway and Street “C.”
6. Roadway landscape treatments, as shown on Figure IV-2D, *Collector Highway Streetscape*, are provided along Spencer’s Crossing Parkway and Street “C.”
7. Please refer to Section IV for specific *Design Guidelines* and other related design criteria.
8. Please refer to Section III.A for the following *Development Plans and Standards* that apply site-wide:

III.A.2: Specific Land Use Plan  
 III.A.3: Circulation Plan  
 III.A.4: Drainage Plan  
 III.A.5: Water and Sewer Plans  
 III.A.6: Open Space and Recreation Plan

III.A.7: Grading Plan  
 III.A.8: Public Facility Sites & Project Phasing  
 III.A.9: Landscaping Plan  
 III.A.10: Comprehensive Maintenance Plan

## IV. DESIGN GUIDELINES

### A. PURPOSE AND INTENT

These Design Guidelines establish standards for the quality of development and to provide an aesthetically cohesive environment for the FRENCH VALLEY Specific Plan community.

More specifically, the purpose of these Design Guidelines is:













- To provide the County of Riverside with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality;
- To provide guidance to County staff, the Planning Commission and the Board of Supervisors in the review of future development projects in the Specific Plan area;
- To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area;
- To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries, and
- To provide development guidelines which permit the FRENCH VALLEY Specific Plan area to develop its own theme and character while allowing it to interface and respond to the character and design fabric of adjacent Specific Plan areas which may be currently under review or are proposed in the future.

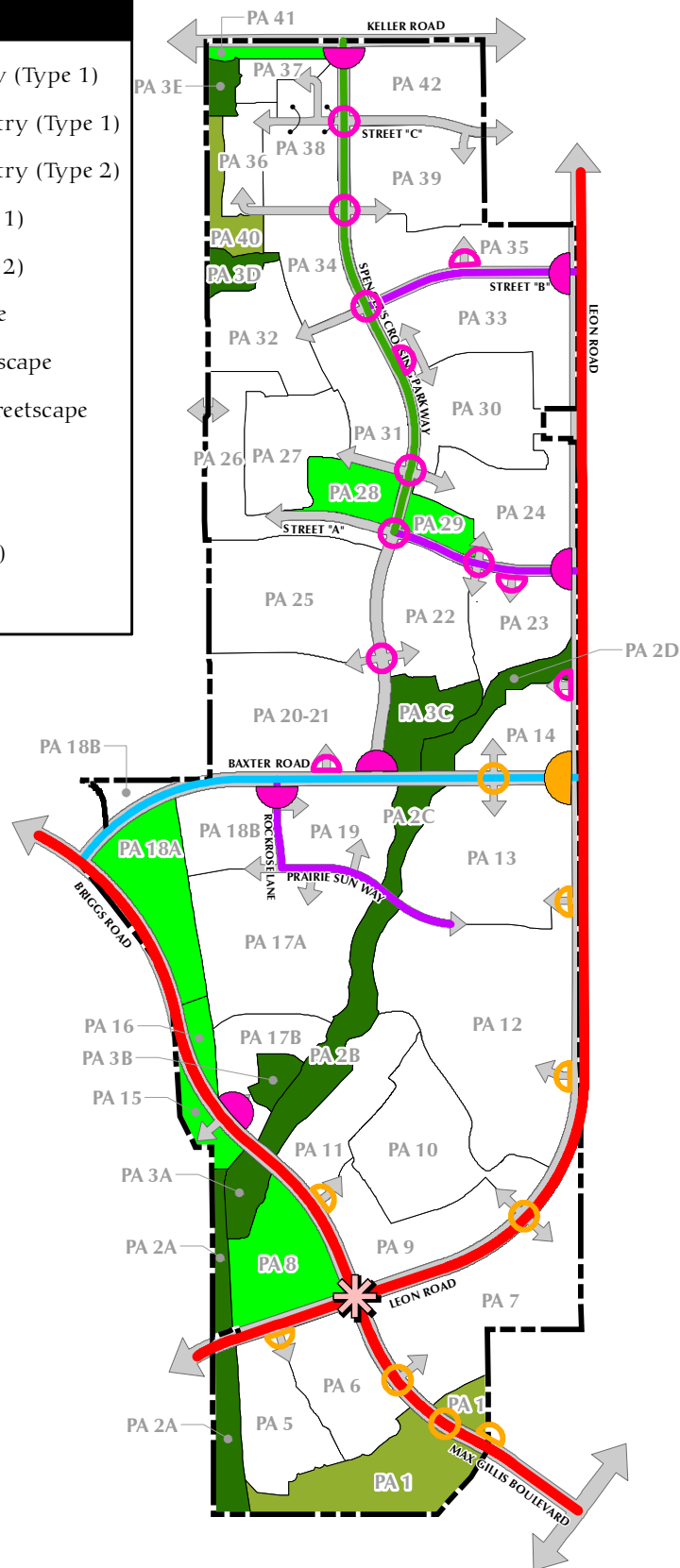
The Design Guidelines provided herein are intended as a living document. They are subject to modification over time so as to allow for response to unanticipated conditions, such as changes in trends, community desires and the marketplace, or significant changes within adjacent specific planning areas. The FRENCH VALLEY Zoning Ordinance provides criteria for lot size, lot coverage, front yard and backyard depths, setbacks, spacing between dwelling units, street frontage and attached garages.

### B. GENERAL GUIDELINES

As demonstrated by the *Conceptual Landscape Plan* (Figure IV-1), careful thought has been given to integrate the structural and aesthetic elements of a balanced, active community. To ensure that this carefully considered plan is implemented in a manner that will bring the FRENCH VALLEY Specific Plan a sense of its own character and ambiance, a central theme has been developed. It is further intended that this theme be expressed in coordination with the project setting, which serves as a basis around which key elements of the community can evolve.

## Legend

-  Primary Community Entry (Type 1)
-  Secondary Community Entry (Type 1)
-  Secondary Community Entry (Type 2)
-  Neighborhood Entry (Type 1)
-  Neighborhood Entry (Type 2)
-  Major Highway Streetscape
-  Secondary Highway Streetscape
-  Modified Collector Road Streetscape
-  Collector Road Streetscape
-  Parks (OS-R)
-  Conservation/Paseo (OS-C)
-  Paseo/Detention (OS-W)



## Conceptual Landscape Plan

Source(s): RCTLMA (2016)

Figure IV-1

# French Valley SP 312 A-2

**T&B PLANNING**  
17542 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com



#### 1. Project Theme

In conceiving a theme for FRENCH VALLEY Specific Plan, the intent is to establish an environment that responds to the increasing urban setting of the French Valley/Rancho California area. For this reason, the French Valley Specific Plan should reflect or draw upon a “California Ranch” theme, which allows for a harmonious blend of Spanish architecture and the historical aspects of Southern California. This theme is reflected in the community elements, signage, landscaping and entry treatments.

#### 2. Project Setting

##### a. Integration of Project into Historic Rancho California Theme

FRENCH VALLEY is an extension of the development patterns created by historic Rancho California. The dominant elements of these patterns include Spanish design influences, “California Ranch” themes, generous open space areas, paseos, and a respect for the historic land uses that preceded urbanization. The prevailing lifestyle of the area is casual, active and responsive to the area’s rustic image. These considerations are woven into the fabric of FRENCH VALLEY through unification of project entries, land use transitions, streetscapes, community open space, project walls and fences, and project signage.

##### b. Creation of Entry Statements and Streetscapes

In designing the land use plan for the FRENCH VALLEY Specific Plan, it was intended that several opportunities be created to provide a sense of arrival and to establish the overall theme. The streetscapes of and community entries to FRENCH VALLEY reinforce the rustic and “country” ambiance of the site. The project and neighborhood entries help to enhance this sense of arrival on a more specific locational basis. As described in the following pages, these entries serve as a logical statement point for the expression of the project’s overall theme.

### C. COMMUNITY ELEMENTS

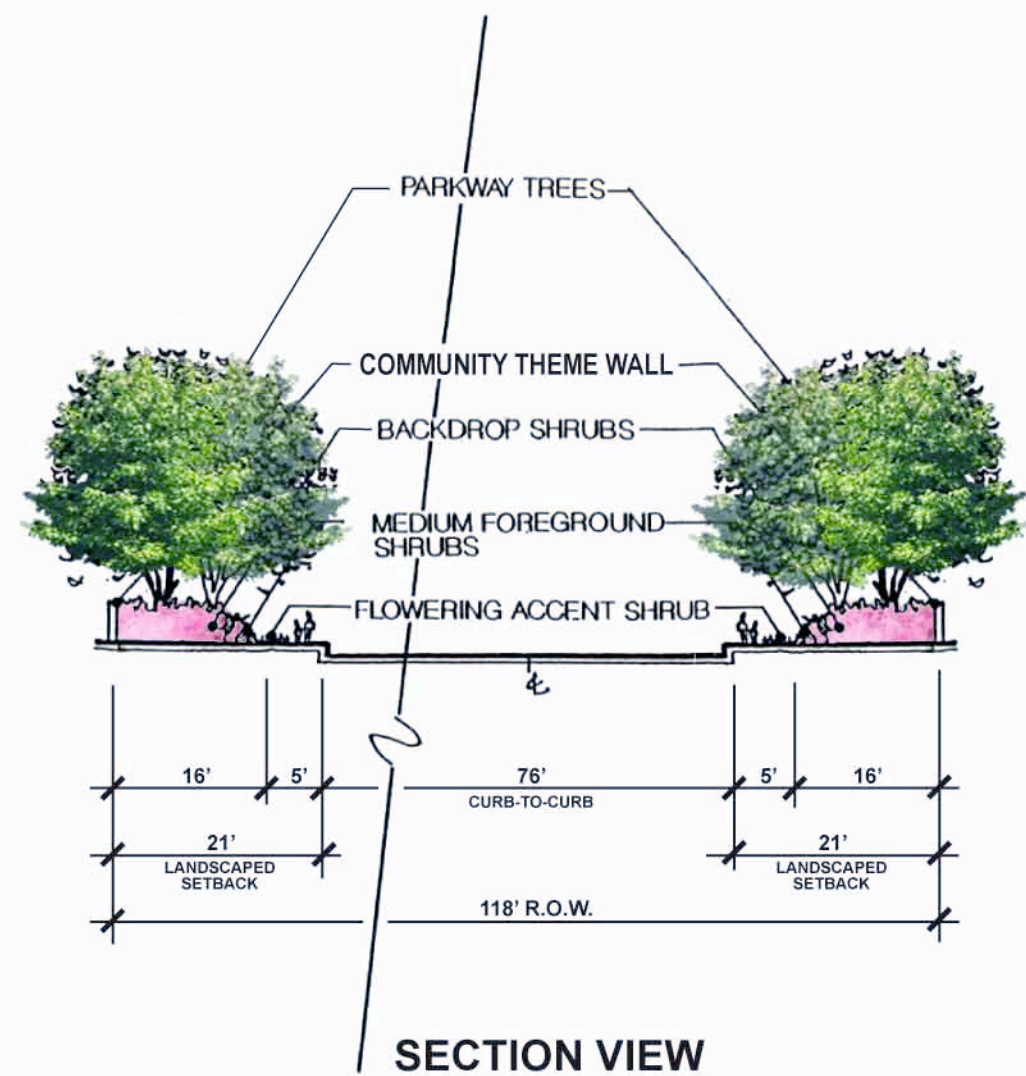
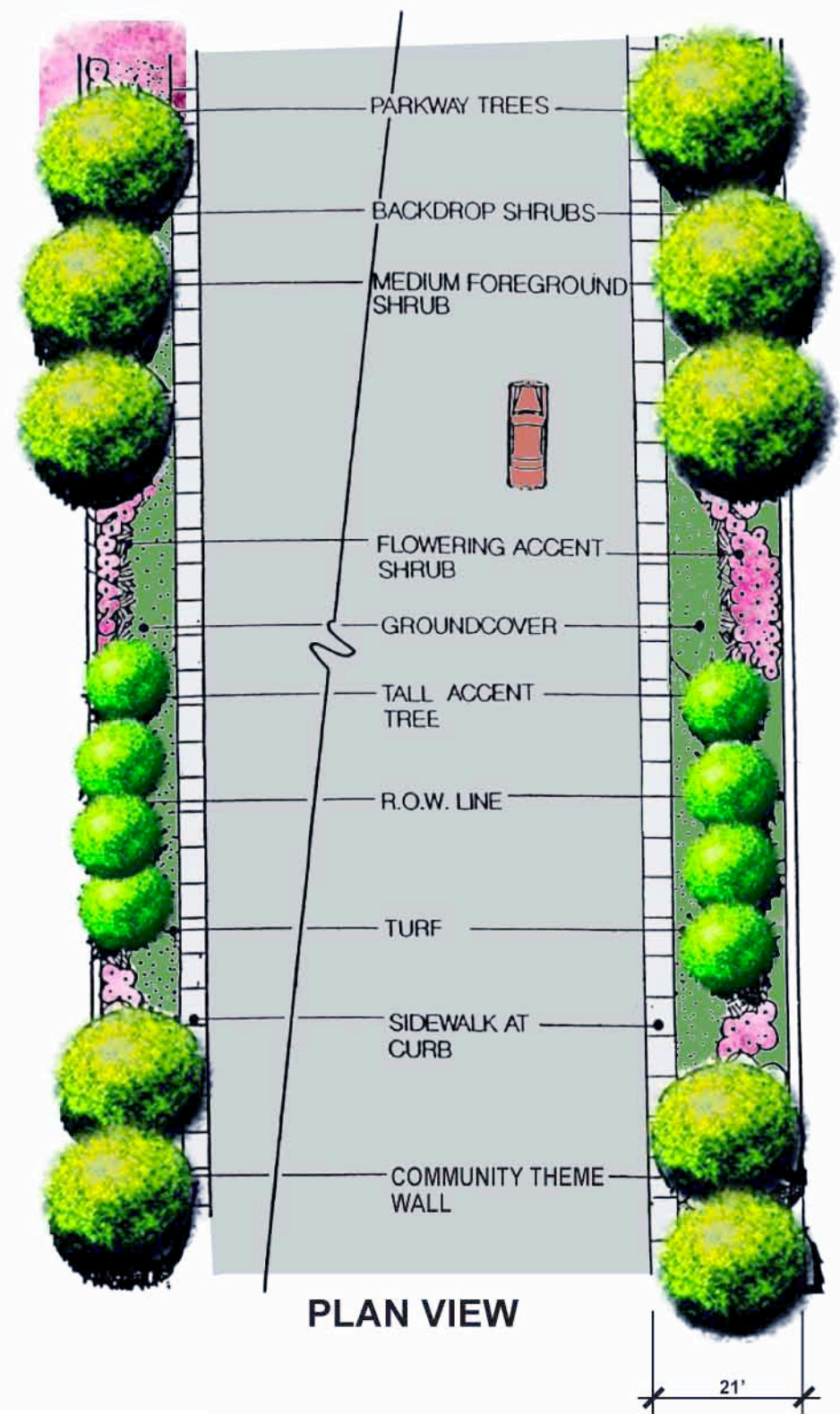
Community elements are major project improvements which occur at the community, sub-community, or neighborhood level and which help to set the overall environmental design theme for the FRENCH VALLEY Specific Plan. These major improvements or theme elements include:

- Streetscapes
- Project Entries
- Land Use Transitions
- Community Open Space
- Residential Streets
- Project Walls and Fences
- Project Signage

These community elements will commonly occur throughout the FRENCH VALLEY Specific Plan area and will unite the project under a common design vocabulary and theme. General design guidelines and design criteria for the community theme elements are contained in the sections that follow.

#### 1. Streetscapes

Seven types of streetscapes are proposed within the FRENCH VALLEY Specific Plan, as shown in Figures IV-2A through IV-2F, *Major Highway*, *Secondary Highway (Baxter Road)*, *Secondary Highway (Keller Road)*,



NOTE: SEE PLANT PALETTE FOR IDENTIFICATION OF PLANT SPECIES

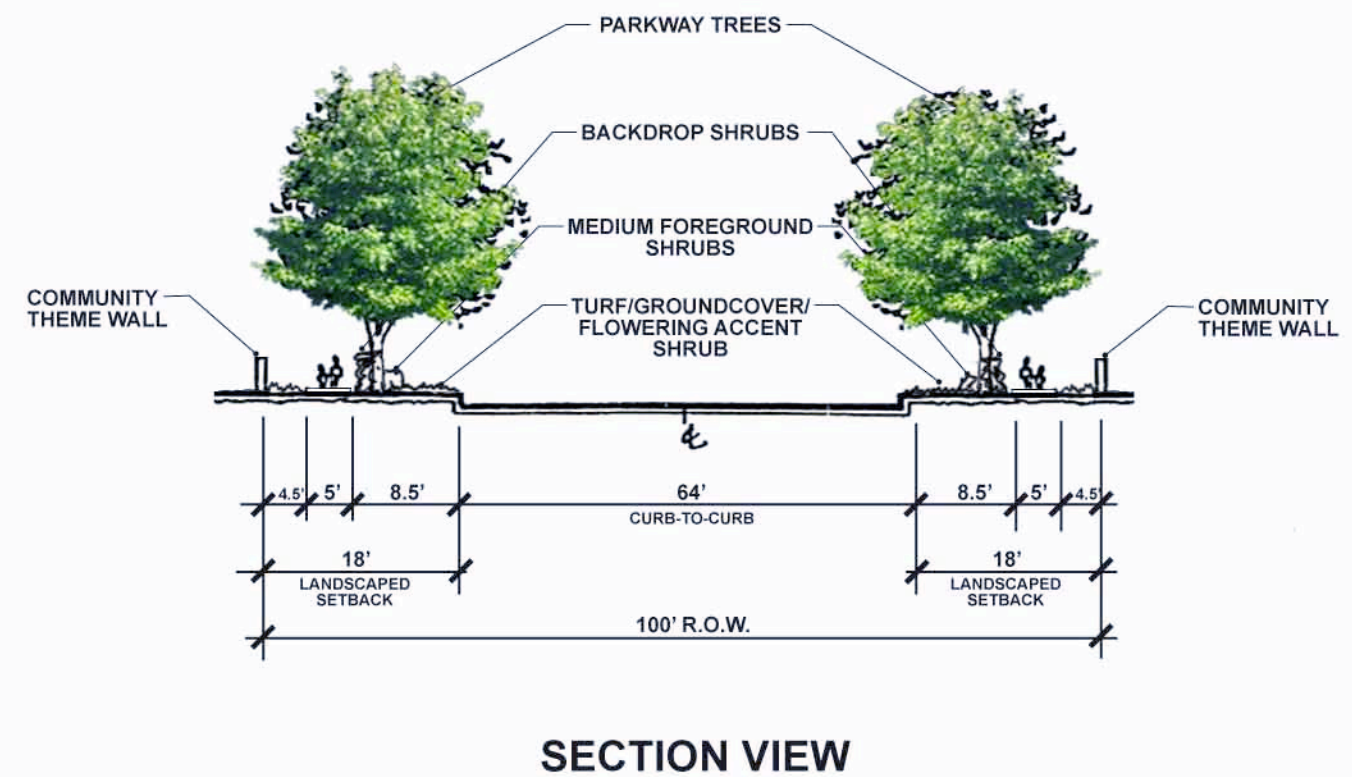
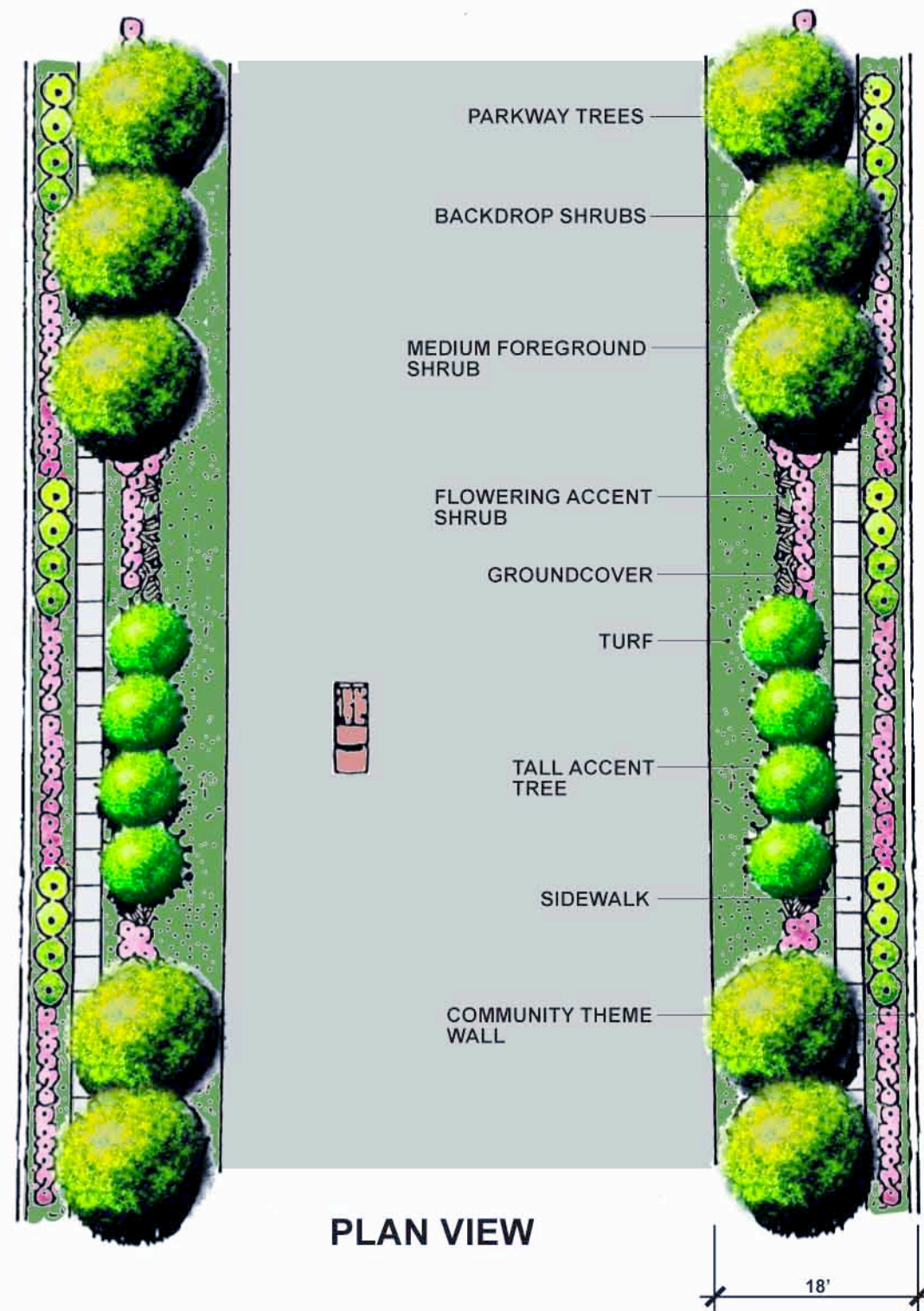
Major Highway Streetscape

Source: Summers/Murphy & Partners, Inc.

Figure IV-2A

# French Valley SP 312 A-2





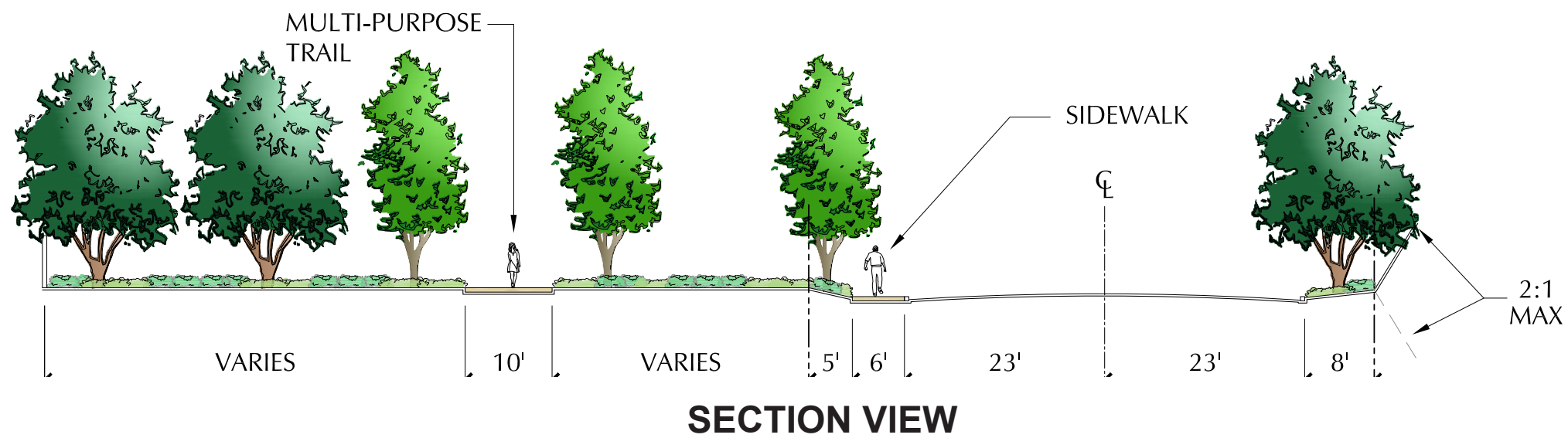
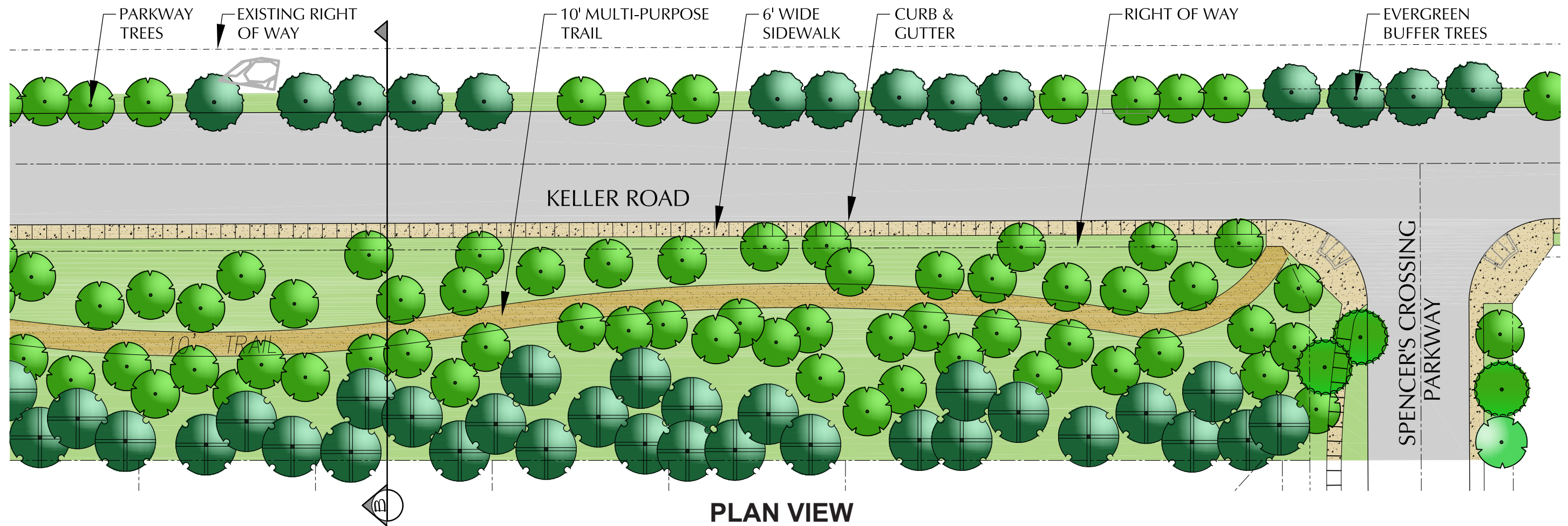
NOTE: SEE PLANT PALETTE FOR IDENTIFICATION OF PLANT SPECIES

Secondary Highway Streetscape (Baxter Road)

Source: Summers/Murphy & Partners, Inc.

Figure IV-2B

**French Valley SP 312 A-2**

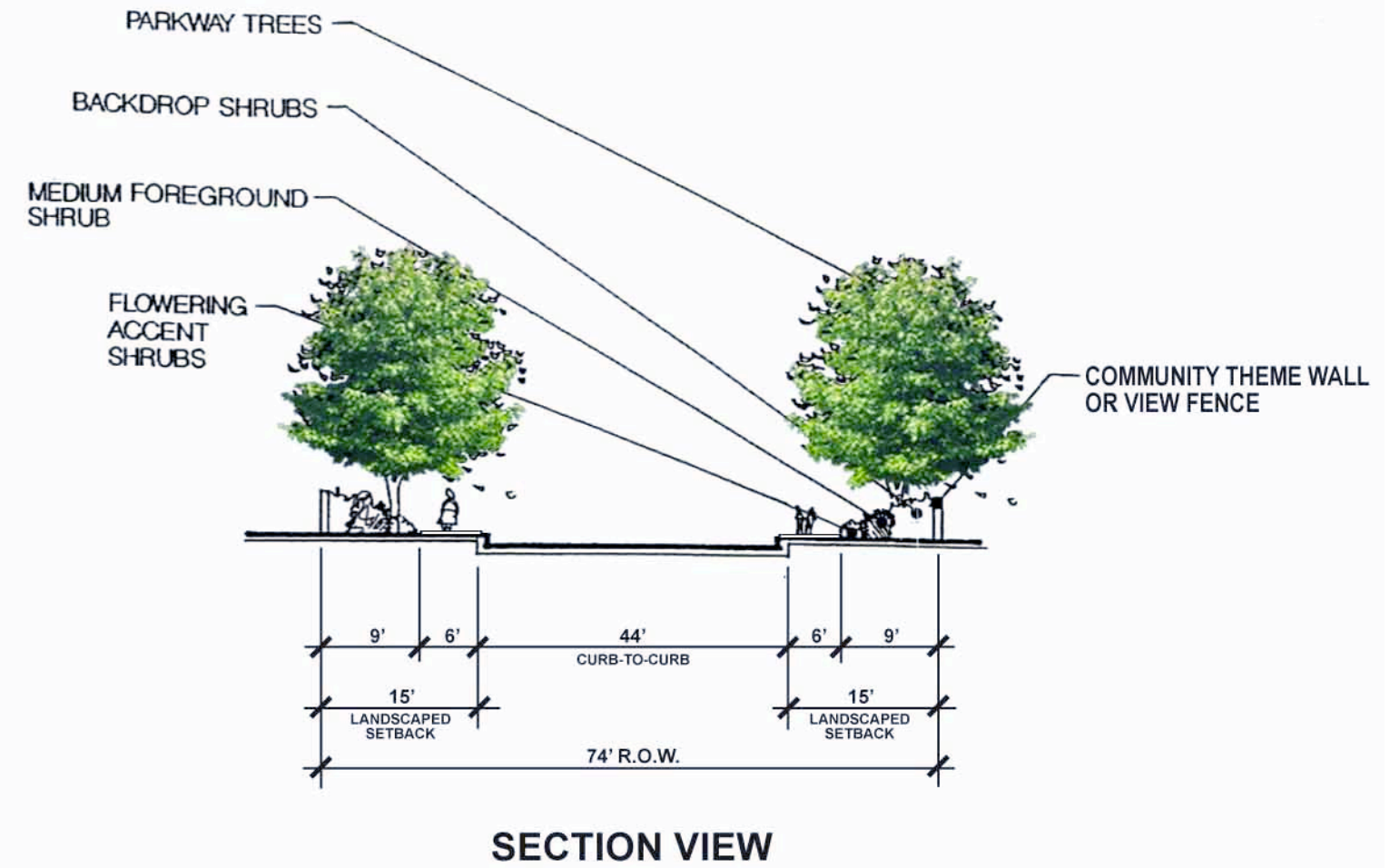
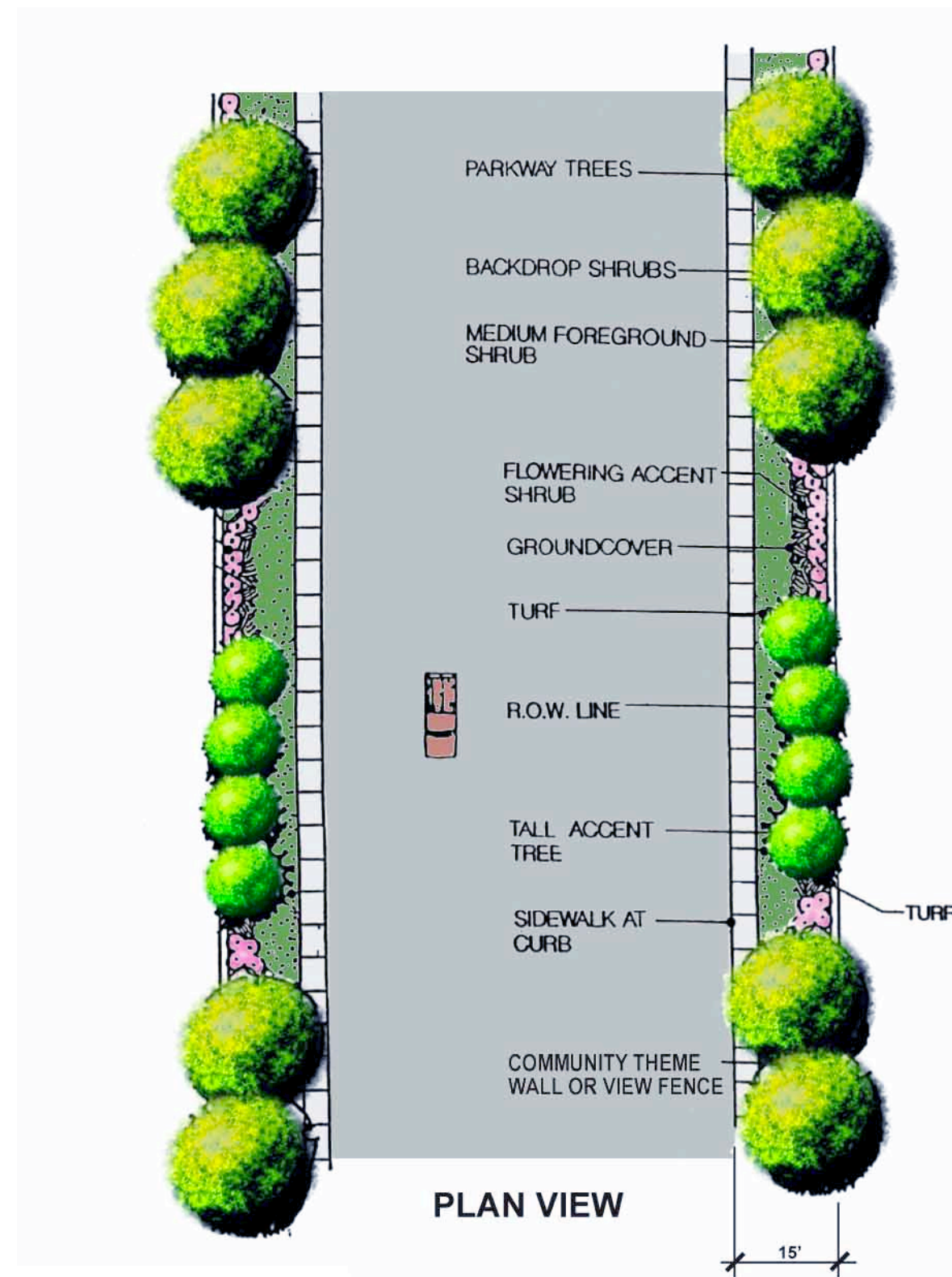


**Secondary Highway Streetscape (Keller Road)**

Source: Clark & Green.

Figure IV-2C





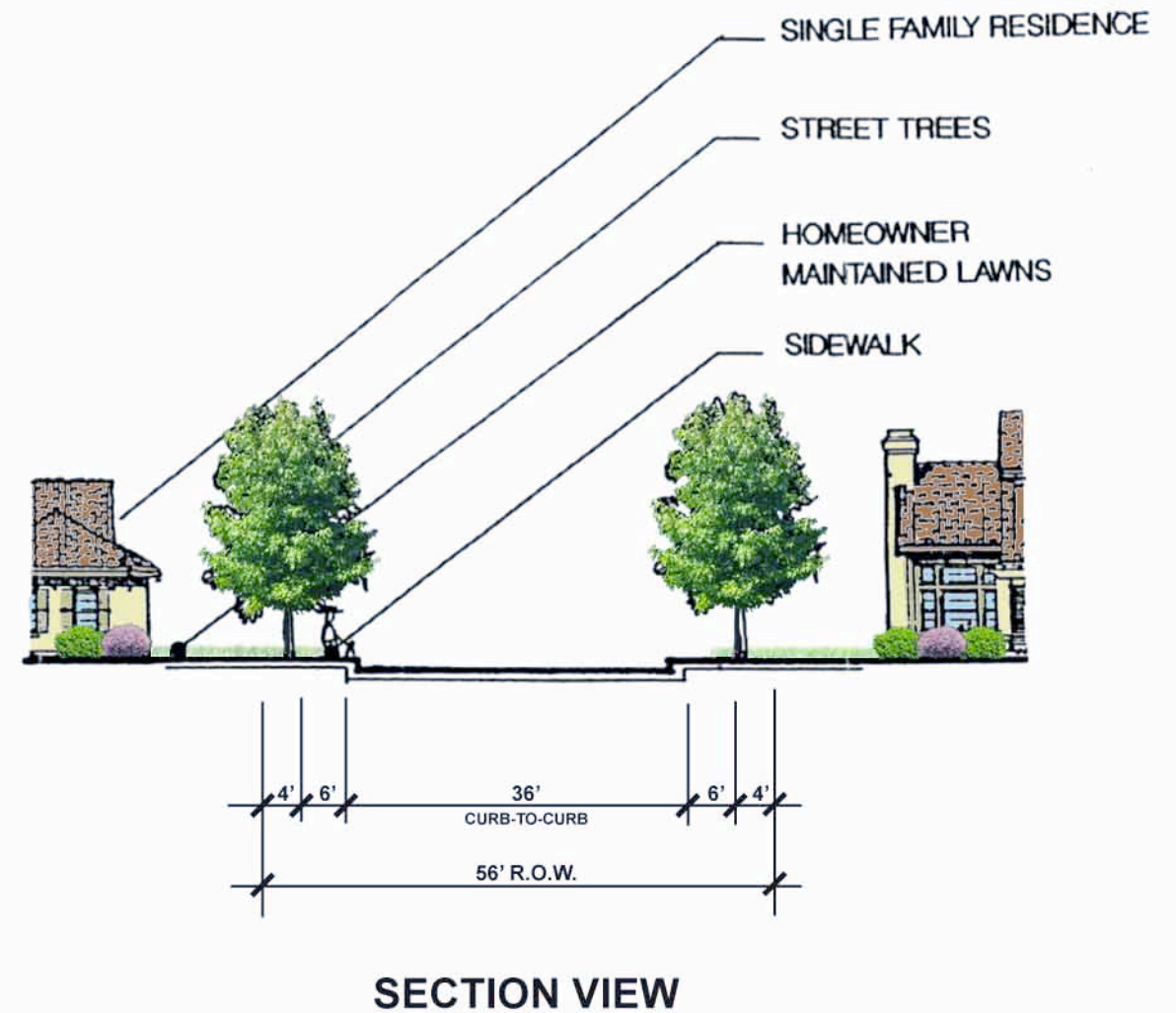
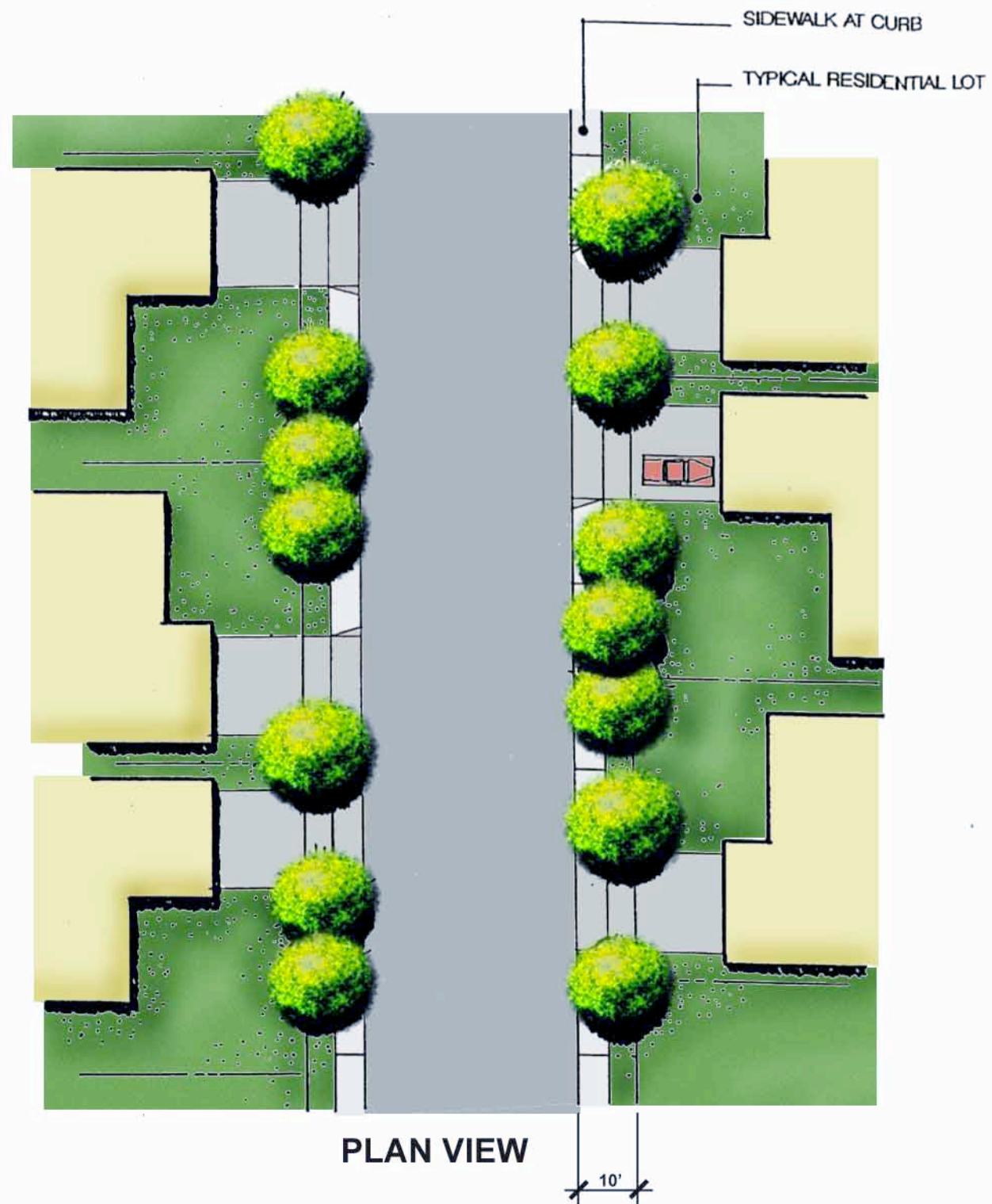
NOTE: SEE PLANT PALETTE FOR IDENTIFICATION OF PLANT SPECIES

Collector Road Streetscape

Source: Summers/Murphy & Partners, Inc.

Figure IV-2D

# French Valley SP 312 A-2



NOTE: SEE PLANT PALETTE FOR IDENTIFICATION OF PLANT SPECIES

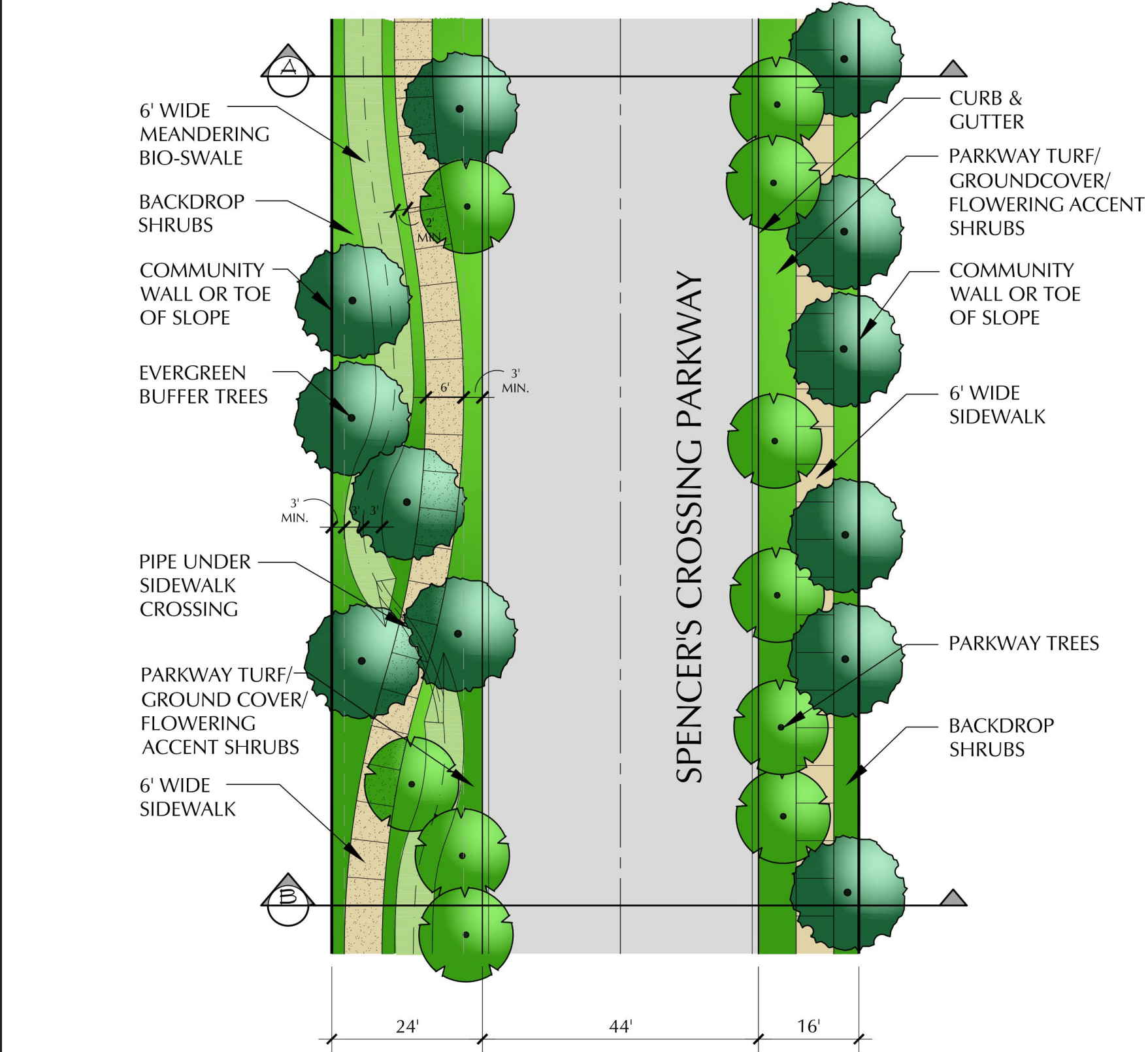
Source: Summers/Murphy & Partners, Inc.

Figure IV-2E

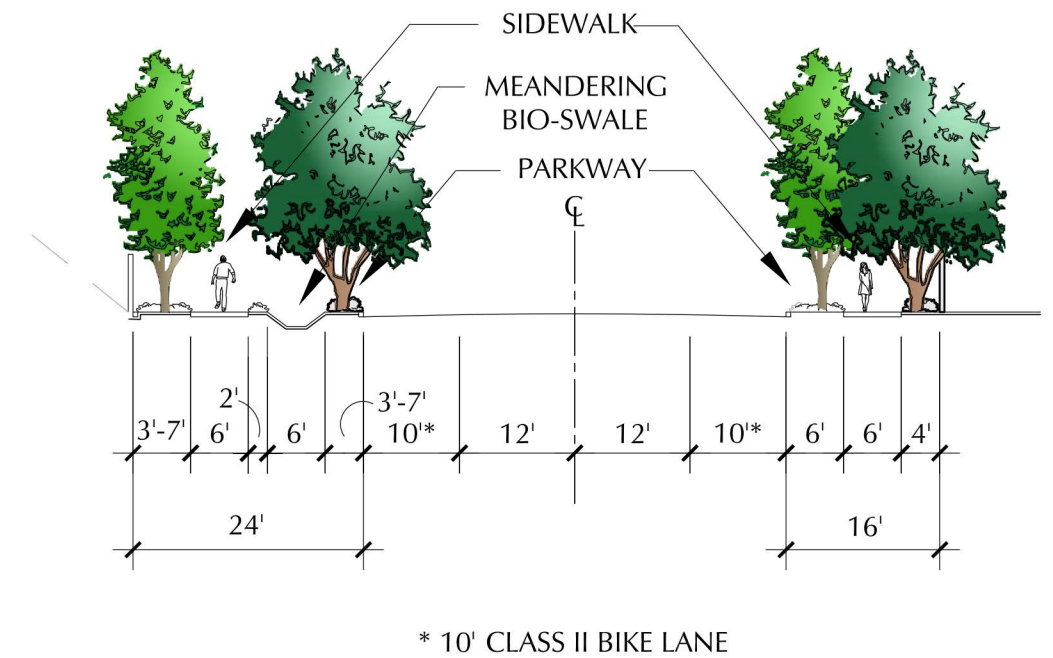
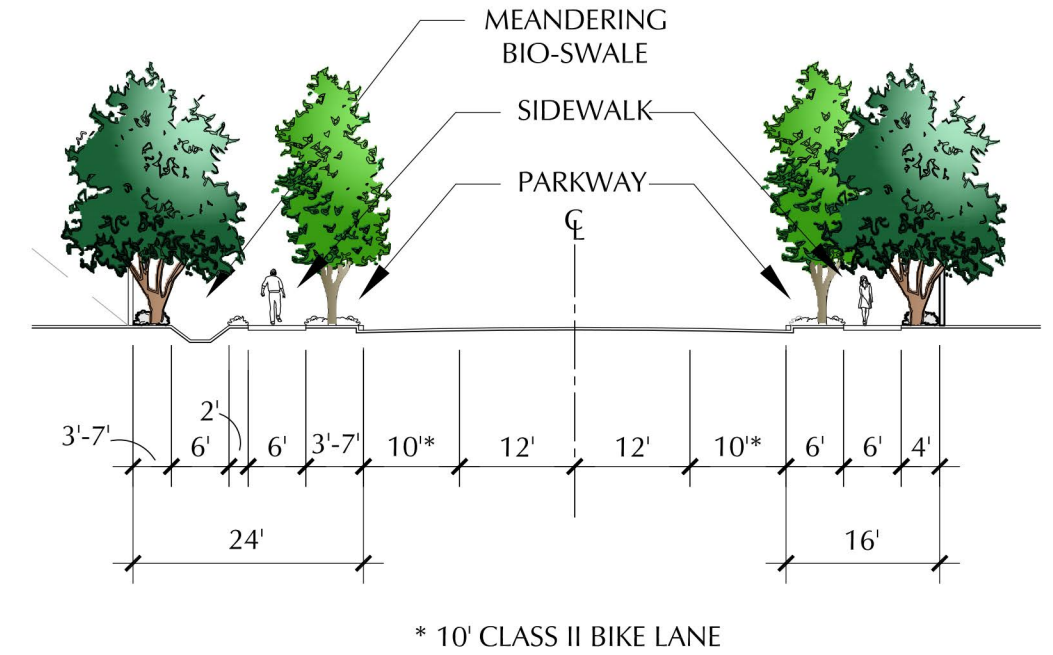
Local Road Streetscape - Internal Streets

French Valley SP 312 A-2





**Spencer's Crossing Parkway Streetscape**



**SPENCER'S CROSSING - SECTION VIEW "B"**

Source: Clark & Greene

Figure IV-2F

# French Valley SP 312 A-2

### Specific Plan No. 312

---

*Collector Road Streetscape, Local Road Streetscape, and Spencer's Crossing Parkway Streetscape.* As shown in the streetscape exhibits, a hierarchy of landscape treatments are provided on the major roadways (major highway, secondary highway, and collector roads) within and adjacent to the Specific Plan area. The type of landscaping proposed for the major roadways within the site is shown in Figure IV-1, *Conceptual Landscape Plan*. Local Road streetscapes, not shown in the *Conceptual Landscape Plan*, are provided on local streets within individual neighborhoods. The Local Road streetscapes are provided within a narrower landscaped area.

Local Road streetscapes are modified from the County standard local roads by providing a curb-adjacent sidewalk within the majority of the FRENCH VALLEY Specific Plan. As discussed in Section IV.D.2, *Supplemental Residential Criteria – 5,000 sf lots, 5,500 sf lots, and 6,000 sf lots*, Planning Areas with minimum lot sizes of 5,000, 5,500, or 6,000 square feet are required to provide curb-adjacent parkways. Curb-adjacent sidewalks are required in all Planning Areas with minimum lot sizes larger than 6,000 square feet in order to maintain a consistent community character with the portions of the FRENCH VALLEY Specific Plan that have already been constructed.

To provide variety and to help define areas within the FRENCH VALLEY Specific Plan, distinctive trees are used in streetscape landscaping. As discussed in Section G., different parkway trees are illustrated for major north-south and east-west collector highways within the project; street trees from other local roadways shall be selected subject to approval by the County of Riverside Transportation Department.

As shown in the illustrations of proposed streetscapes, that landscaping softens the appearance of the streetscape, encourage pedestrian use, and provide visual interest for pedestrians passing vehicles. Major thematic landscape elements, such as grouping of trees and shrubs, are repeated at intervals of approximately 100 feet. The use of this planting pattern reduces distractions for the driver while providing an attractive streetscape which can also be enjoyed by pedestrians.

#### a. Reverse Frontage Treatment

Where reverse frontage (i.e., streetscape consisting of the parkway and sidewalk widths combined) occurs on residential streets, the following guidelines shall apply:

- Wider reverse frontage treatments shall be on Keller Road, Baxter Road, Spencer's Crossing Parkway, Briggs Road and Leon Road.
- Where sufficient width of frontage is available, meandering walks are encouraged to provide a random influence to the rigid geometry of the adjoining streetscene. Adequate parkway widths (at least twenty-one feet) are required to assure that the sidewalks create unique landscaping opportunities and do not take on a cramped, arbitrary appearance.
- The streetscape depicted in Figure IV-2C is only applicable to the portion of Keller Road located to the west of Spencer's Crossing Parkway; the portion of Keller Road located to the east of Spencer's Crossing Parkway that is adjacent to the school site will apply a County-standard cross-section.

## 2. Project Entries and Entry Treatments

Entries within FRENCH VALLEY reinforce the “California Ranch” project theme and sense of community identity, as well as act as strong landmarks that provide a sense of orientation within the FRENCH VALLEY community. Careful consideration has been given to the placement and design of project entries and entry treatments. Three types of entry monuments are provided within FRENCH VALLEY, which are described in detail below.

### a. Primary Community Entry

A Primary Community Entry, is provided at the intersection of Leon Road and Briggs Road (as shown in Figure IV-1, *Conceptual Landscape Plan*), and serves as the primary focal point for persons entering and site. As shown in Figure IV-3A and Figure IV-3B, *Community Monumentation – Type 1*, the Primary Community entry statement has been designed to complement the overall “California Ranch” design theme of the FRENCH VALLEY Specific Plan. The design of the Primary Community Entry incorporates both planting and hardscape features – including colors, forms, and shapes – consistent with the overall design theme. The Primary Community Entry is linked with the streetscape landscaping and pedestrian walkways provided along Leon and Briggs Roads.

### b. Secondary Community Entries

Secondary Community Entries represent the second level of entry monumentation within the FRENCH VALLEY Specific Plan. These entries are similar to the community entries, but are intended to serve as entry points to individual portions of the Specific Plan area, rather than to the project as a whole. Two Secondary Community Entry concepts are provided within the FRENCH VALLEY community (Type 1 and Type 2). To provide continuity throughout the project, the design of both Secondary Project Entry concepts are based on the Primary Community Entry, and essentially provides a smaller reflection of the design used at the larger entries.

A Secondary Community Entry monument (Type 1) has been constructed at the intersection of Leon Road and Baxter Road, as depicted on Figure IV-3A and Figure IV-3B. This Secondary Community Entry includes a stone clad theme wall framed by stone clad columns and accented by canopy trees, flowering shrubs, and ground cover.

A design concept for the Secondary Community Entry monument (Type 2) provided within planning areas north of Baxter Road, as well as in Planning Areas 17B, 18B, and 19, is shown on Figure IV-4, *Secondary Community Entry Monumentation – Type 2*. As shown on Figure IV-4, the Secondary Community Entry (Type 2) includes a six (6)-foot tall free standing wall finished with stone veneer, which features the community name and logo. Background canopy trees, flowering shrubs, groundcover, and landscape boulders are provided to accent the Secondary Community Entries (Type 2).

Locations for Secondary Community Entries, both Type 1 and Type 2, are shown on Figure IV-1, the *Conceptual Landscape Plan*.

### c. Neighborhood Entries

Neighborhood Entries serve as the third level of entry statement within the Specific Plan and are intended to mark the entrances to individual planning areas and to create a visual perception of the residential





Figure IV-3A

# French Valley SP 312 A-2



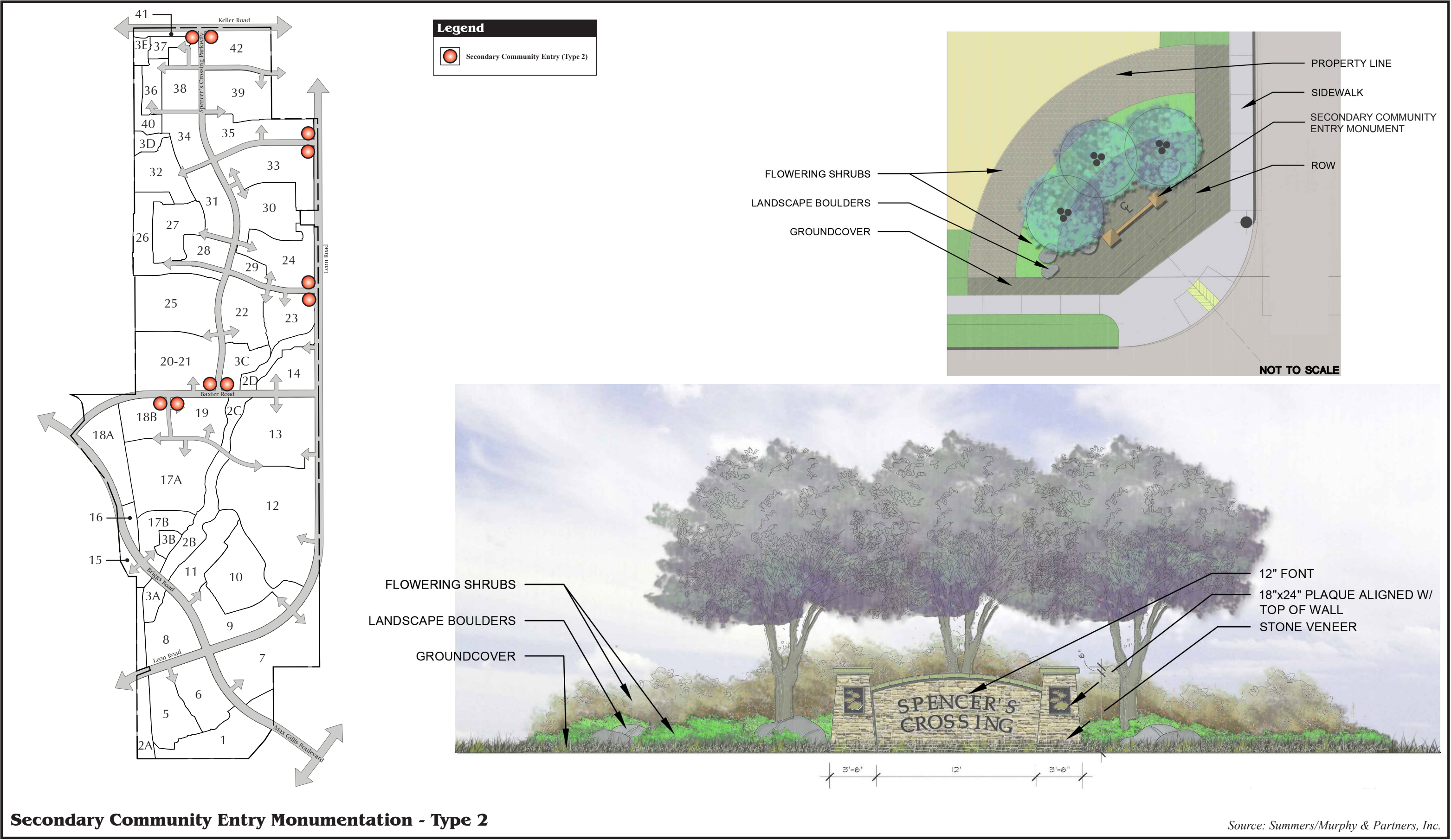


# French Valley SP 312 A-2

Source: Summers/Murphy & Partners, Inc.

Figure IV-3B





### Specific Plan No. 312

---

development. This perception should be distinctive enough for passing motorists to identify the development and attractive enough to complement the overall appearance of the greater community of which it is a part. As shown on Figure IV-3A and Figure IV-3B , Neighborhood Entries (Type 1) are generally constructed within planning areas adjacent to and south of Baxter Road, with the exception of Planning Area 14. These monuments reflect the forms and shapes of the Primary Community Entry and Secondary Community Entries (Type 1) at a smaller scale and also incorporate stone veneer, community logos, and colorful accent shrubs and groundcovers to retain the basic “California Ranch” design theme of the Specific Plan.

Neighborhood Entries (Type 2) provided within planning areas north of Baxter Road (excluding Planning Area 14) incorporate the planting and hardscape elements (including colors and finishes) provided in the Type 1 Neighborhood Entries constructed south of Baxter Road, but differ in shape. As shown on Figure IV-5, *Neighborhood Entry Monumentation-Type 2*, these Neighborhood Entries feature a five (5)-foot tall pillar finished with stone veneer and the community logo to reflect the architectural forms and shapes provided within the Primary Community Entry monument. Landscape elements, including background accent trees, flowering shrubs, groundcover and boulders, are provided complement the entry monument and reinforce the community theme.

Locations for Neighborhood Entry statements, both Type 1 and Type 2, are shown on Figure IV-1, *Conceptual Landscape Plan*.

### **3. Land Use Transitions**

Within the FRENCH VALLEY Specific Plan, transitions between land uses will occur at the boundaries separating the various types of residential uses and open space areas. The following sections and exhibits describe and illustrate the transitions which will occur between various land uses with the FRENCH VALLEY Specific Plan.

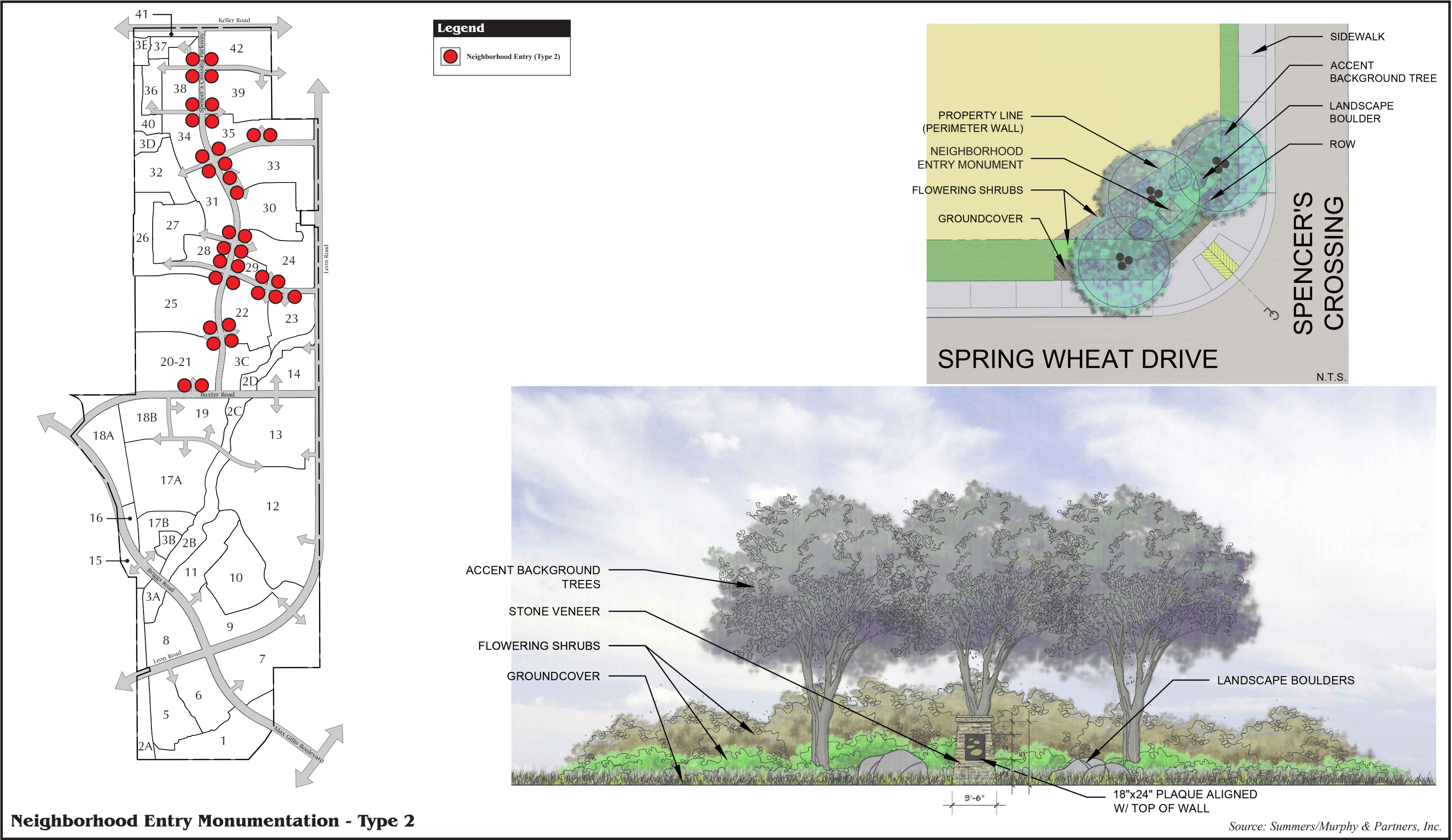
#### **a. Natural Open Space/Residential Interface**

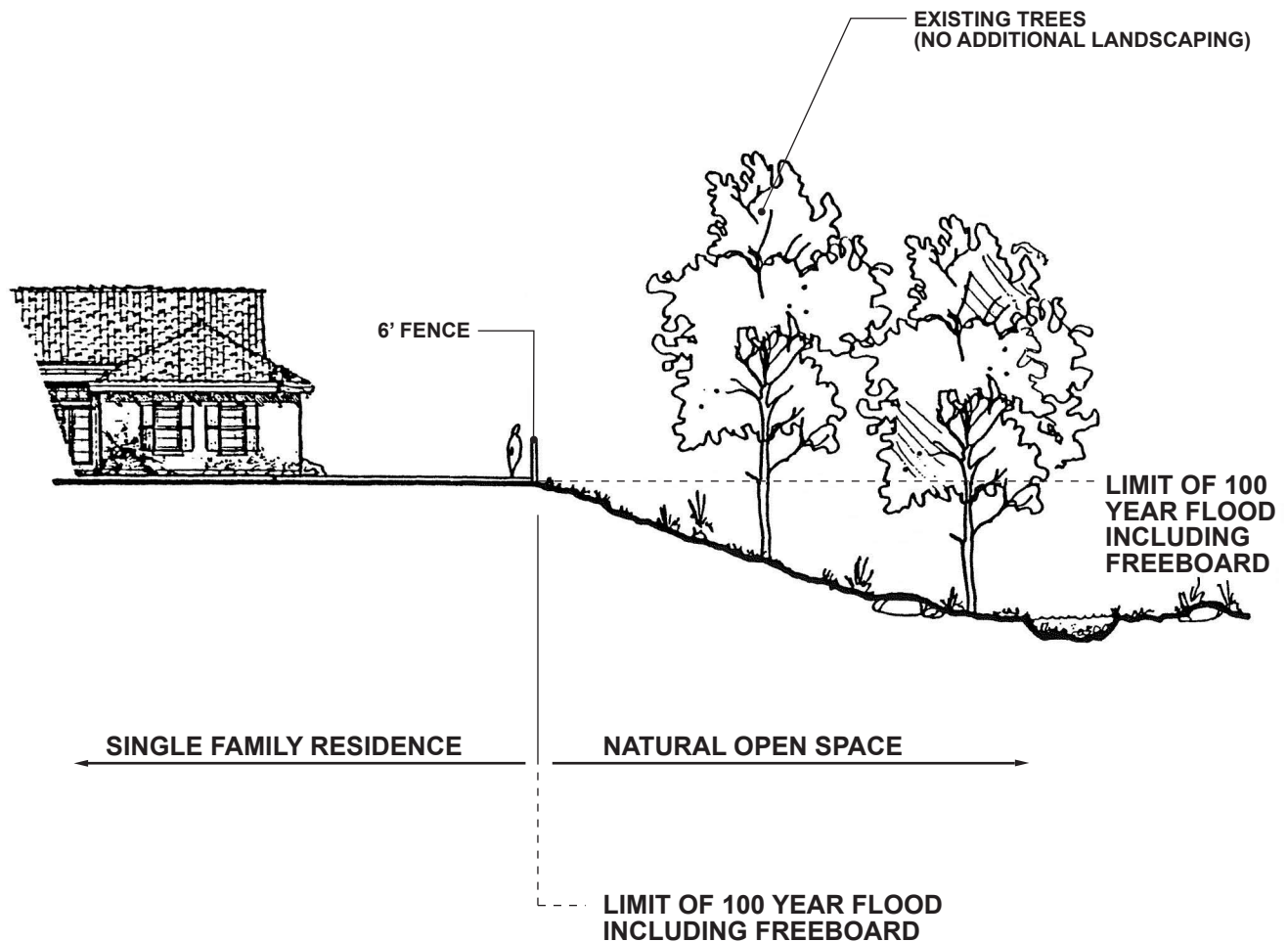
As shown on the *Open Space and Recreation Plan* (Figure III.A-11), a natural open space area is provided in the southeastern portion of the Specific Plan area (Planning Area 1). Therefore, a boundary will be created between this area and homes in adjacent residential Planning Areas 5, 6 and 7. An additional natural open space area is provided in the northwestern portion of the Specific Plan area (Planning Area 40). A boundary between Planning Area 40 and the adjacent residential land uses in Planning Areas 34 and 36 is created through the use of the Natural Open Space/Residential Interface.

The Natural Open Space/Residential Interface to Planning Area 1 ensures that no modification or damage to the existing drainage area occurs as the result of the proposed project. Therefore, as shown in Figure IV-6, *Natural Open Space/Residential Interface*, and Figure IV-16H , *Regional Trail Concept*, all residential development will take place outside drainage areas, which includes all areas currently inundated during a 100-year storm (with appropriate freeboard). No landscaping or construction will take place within the existing channel. Fencing will be provided at the boundary between homes and the existing drainage area to discourage entry into the channel. No attempt will be made to totally restrict entry into the channel, although no attractions (such as paved pathways or landscaping) will be provided which would encourage residents to enter this area.

The Natural Open Space/Residential Interface in Planning Area 40 provides protection and privacy for the residential use provided for in the eastern adjoining Planning Areas 34 and 36, as well as to create an aesthetically pleasing transition from natural open space area to residential neighborhood.







**Natural Open Space/Residential Interface**

Figure IV-6

# French Valley SP 312 A-2

### Specific Plan No. 312

*Figure IV-7 This figure has been intentionally omitted.*

### Specific Plan No. 312

---

#### b. Park/Residential Interface

Residential uses in Planning Areas 24 and 27 will be located directly adjacent to the parks in Planning Area 29 and 28 (respectively), requiring landscape treatments at the boundaries to provide privacy and security. In addition, a landscape treatment is provided at the boundary between the park in Planning Areas 16 & 18A and the adjacent residential land uses in Planning Areas 17A, 17B, and 18B. The park in Planning Area 8 is separated from residential uses by Briggs and Leon Roads, thus, no interface treatment is necessary for the Planning Area 8 park.

Because the parks within the FRENCH VALLEY Specific Plan will provide a significant visual amenity, the basic intent behind the Park/Residential Interface is to use a minimum 10-foot wide landscape buffer (as measured from the residential property line) to buffer homes from active residential uses, while allowing adjacent homes to have sheltered views of the park. The design for this interface is shown in Figure IV-8, *Park/Residential Interface*. As shown, “barrier landscaping,” such as thorny or dense shrubs, will be used to separate more active portions of the park (such as open grass play areas) from adjacent homes. Fencing will be provided in the rear yards of homes adjacent to the park. (“Barrier landscaping” is described in the Landscape Palette.)

#### c. Paseo/Residential Interface

The interface between residential areas and the greenbelt areas located along the unnamed tributary crossing the site from the northeast to southwest (Planning Areas 2A-D) is shown on Figure IV-16E, *South Paseo Trail Concept*. Figure IV-16G, *North Paseo Trail Concept*, depicts the interface between residential areas in Planning Areas 34, 36, and 37, and the 8’ hard surface trail within Planning Area 40.

Because the greenbelt/open space areas within the FRENCH VALLEY Specific Plan provide a recreational and visual amenity, the basic intent behind the Paseo/Residential Interface is to use landscaping and walls to buffer homes, while allowing adjacent homes to have sheltered views of the greenbelt/open space areas. Access to the recreational trails will be frequent, but controlled. Views within the neighborhoods will be encouraged by utilizing site design techniques such as open-ended cul-de-sacs, local frontage roads and vertical separation.

#### d. Paseo/Detention Interface

The interface between the greenbelts (Planning Areas 2A-D, and Planning Area 40) and adjacent detention areas (Planning Areas 3A-E) are shown in Figure IV-12, *Paseo/Detention Interface*.

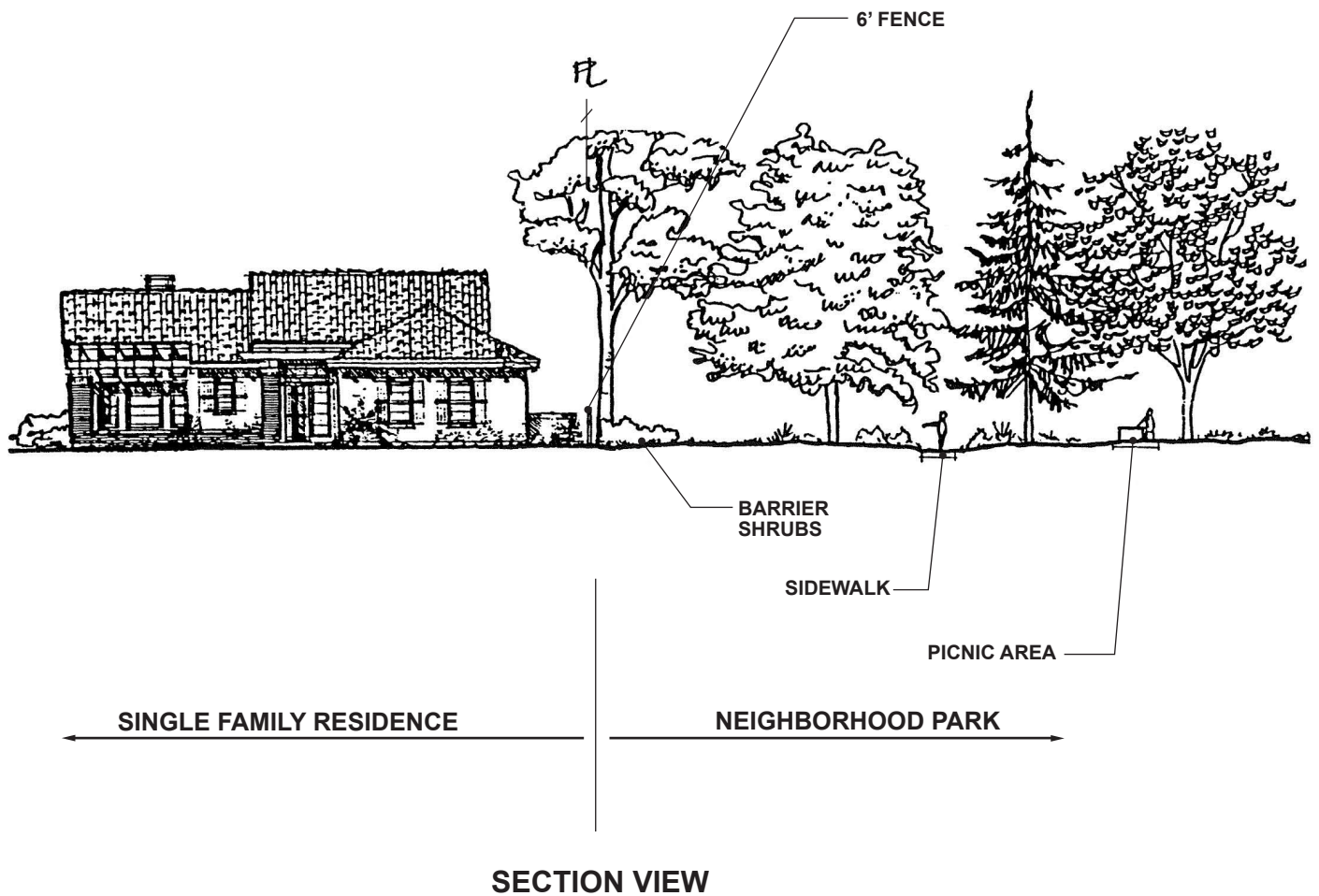
#### e. Detention/Residential Interface

The interface between detention areas in Planning Areas 3B, 3C, 3D and 3E and adjacent residential areas (Figure IV-13, *Detention/Residential Interface*) is intended to provide both security and privacy for homes which abut or are adjacent to the detention areas. The detention areas will be designed as a tree lined swales which will help to lessen stormwater runoff from the Specific Plan development.

#### f. Park/Paseo Interface

A buffer comprised of landscaping, including trees and dense shrubs and groundcover, and fencing (i.e., a six-foot tall tubular steel view fence) is provided at the interface between the parks and the greenbelt in Planning Area 2A to protect and deter an excess of human encroachment into the natural drainage course.





## Park/Residential Interface

Figure IV-8

# French Valley SP 312 A-2

### Specific Plan No. 312

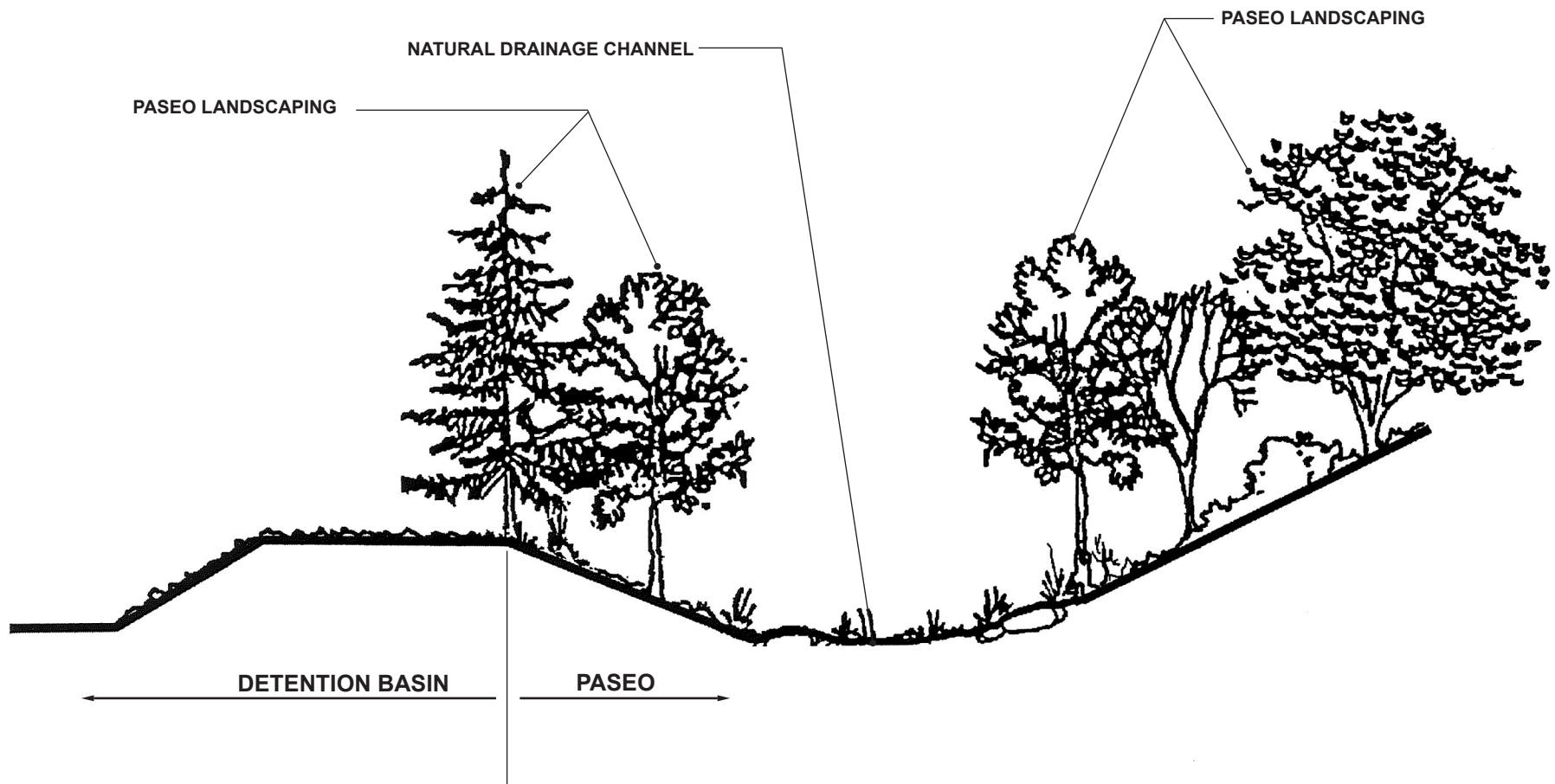
*Figure IV-9 This figure has been intentionally omitted.*

### Specific Plan No. 312

*Figure IV-10 This figure has been intentionally omitted.*

### Specific Plan No. 312

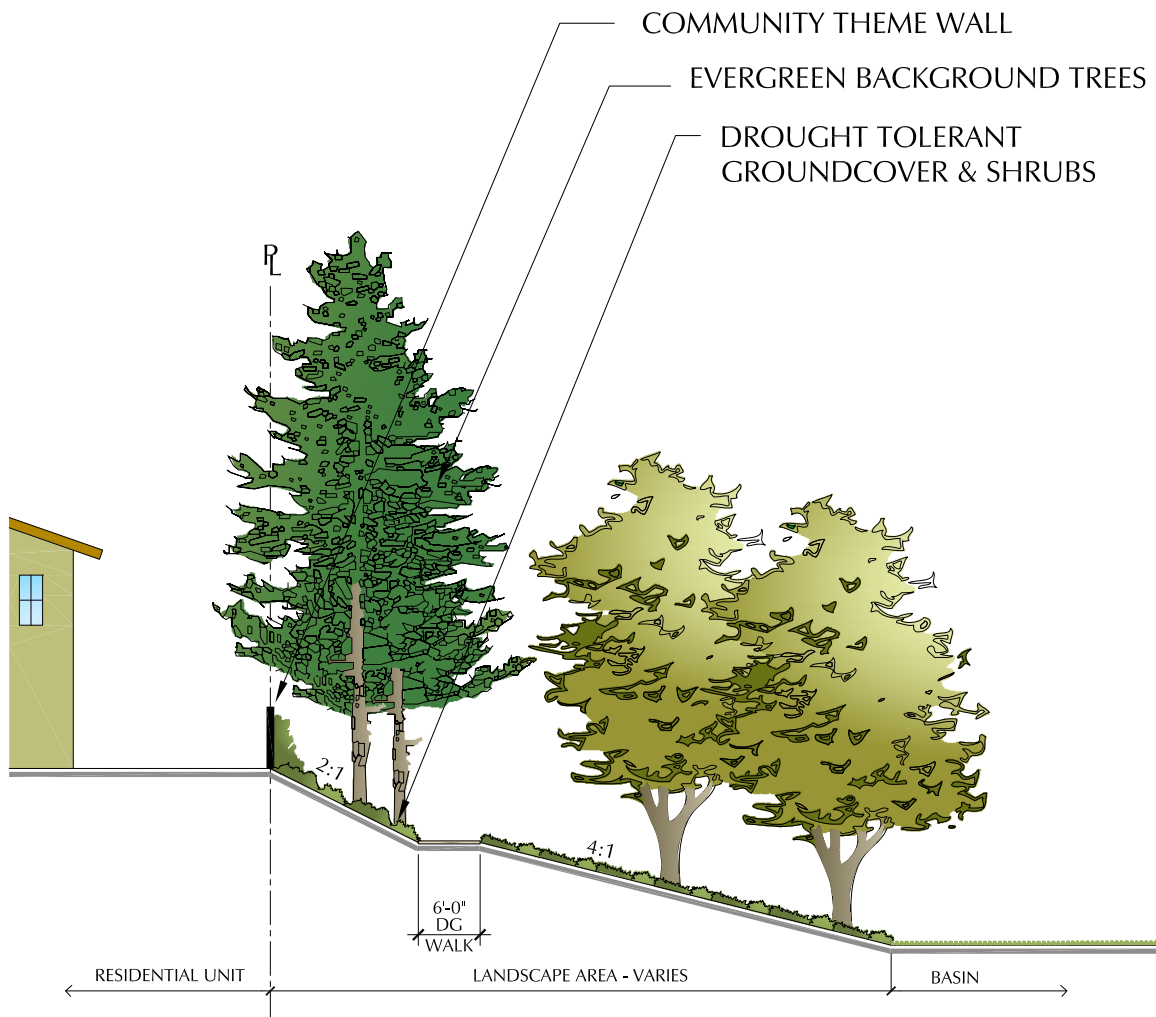
*Figure IV-11 This figure has been intentionally omitted.*



**Paseo/Detention Interface**

Figure IV-12

# French Valley SP 312 A-2



## Detention/Residential Interface

Figure IV-13

# French Valley SP 312 A-2



g. Residential/EMWD Facility Interface

Figure IV-14, *Residential/EMWD Facility Interface*, depicts the interface between the EMWD facility located on the northeastern portion of the Specific Plan and the adjacent residential Planning Areas 24, 30, and 33 to the south, west, and north (respectively). The interface is intended to visually screen and buffer the EMWD facility from the view of adjacent residents, as well as provide security and privacy for homes which abut or are located adjacent to the facility. A 45-foot wide pedestrian greenbelt consisting of a meandering 6-foot wide concrete sidewalk is provided along the northern boundary of the EMWD facility, between Planning Area 33 and the EMWD facility, and connects Leon Road with a local road within Planning Area 30. Lush landscaping is provided along the pedestrian greenbelt, and includes flowering accent trees and evergreen screen trees. Eight-foot tall masonry walls are provided along the western and southern boundaries of the EMWD facility, where it abuts residential lots in Planning Areas 24 and 30.

h. Keller Road/Linear Park/Residential Interface

The linear park in Planning Area 41 provides a buffer between residential land uses in Planning Area 37 and Keller Road. As depicted on Figure IV-2C, *Secondary Highway Streetscape - Keller Road*, the linear park features a 30-foot wide landscape setback from the Keller Road public right-of-way, a 10-foot wide meandering multi-use trail, and an additional 35-foot wide landscape area adjacent to residential uses. The landscape areas within the linear park are planted with trees, shrubs, and groundcovers to visually buffer residential land uses in Planning Area 37 from Keller Road. A six (6)-foot tall split face masonry wall separates the side or rear yards of homes in Planning Areas 37 from the linear park.

#### 4. Community Open Space

As shown in Figure III.A-10, *Open Space and Recreation Plan*, a variety of natural and landscaped open space areas will be provided within the FRENCH VALLEY Specific Plan, providing both aesthetic amenities and recreational opportunities for project area residents.

a. Open Space Areas

As shown in Figure III.A-11, an existing drainage course in the southeastern portion of the Specific Plan area is retained as natural open space in Planning Area 1. As illustrated in Figure IV-6, *Natural Open Space/Residential Interface*, this drainage area (including all areas which would be inundated during a 100-year storm plus freeboard) remains in its natural condition. No new landscaping is provided in this area, and no placement of fill material or removal of earth will occur. Public use of this area shall not be encouraged, and fencing or landscaping to buffer this area and discourage entry will be provided. A public trail is provided, however, on the northeastern and northwestern boundaries of Planning Area 1, as a part of the planned County-required off-site trail system.

An additional open space area is provided in Planning Area 40, which features a meandering 8-foot wide hard surface trail traverses Planning Area 40 (illustrated in Figure IV-16F, *North Paseo Detail*, and Figure IV-16G, *North Paseo Trail Concept*), which provides connectivity between the open space areas and residential uses in the northwest portion of the Specific Plan area. The Specific Plan also provides for the preservation of Native American archeological resources in an undisturbed state within Planning Area 40. No new landscaping will be provided in this area and no placement of fill material or removal of earth will occur.



**Residential/EMWD Facility Interface**

Figure IV-14

# French Valley SP 312 A-2

### Specific Plan No. 312

*Figure IV-15 This figure has been intentionally omitted.*

#### b. Detention/Retention Areas

Five drainage detention/retention facilities will be provided to reduce peak storm flow from the FRENCH VALLEY project. All five of the detention/retention basins have been placed near or adjacent to the proposed parks or open space/greenbelt paseo areas in order to utilize these grass-lined areas for recreational and aesthetic purposes. All five detention/retention basins (Planning Areas 3A, 3B, 3C, 3D and 3E) are located adjacent to residential areas, and provide aesthetic amenities and possibly some passive recreational opportunities.

#### c. Improved Neighborhood Parks

As shown in Figures IV-16A, IV-16B, IV-16C, and IV-2C, three public parks are provided within the FRENCH VALLEY Specific Plan. A private recreation facility is also included in Planning Area 29. A linear park is also provided within Planning Area 41, which will be owned and maintained by the homeowner's association. These parks serve as visual amenities and provide recreation for residents of the proposed project. A summary of uses within each of the proposed parks is provided below.

##### i. Planning Area 8 - 10.7 Acre Park

This park is located south of Baxter Road, adjacent to the proposed greenbelt (Figure III.B-2A). It is intended to serve the entire FRENCH VALLEY community. The park will include active and passive facilities and is designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16A is a conceptual design that shows how the park is connected to the proposed greenbelts and parkways. The adjacent detention basin will be available for passive recreation uses.

##### ii. Planning Areas 16 & 18A – 15.0 Acre Park

The 15.0-acre park in Planning Areas 16 and 18A is located at the southeast corner of the intersection of Baxter Road and Briggs Road (Figure III.B-10). This public park provides neighborhood-oriented recreational opportunities to residents within the FRENCH VALLEY Specific Plan area, as well as residents within the larger French Valley community. As conceptually depicted on Figure IV-16B, the park within Planning Areas 16 and 18A will feature an open turf area, a dog park, and trails.

##### iii. Planning Area 28 – 5.6 Acre Park

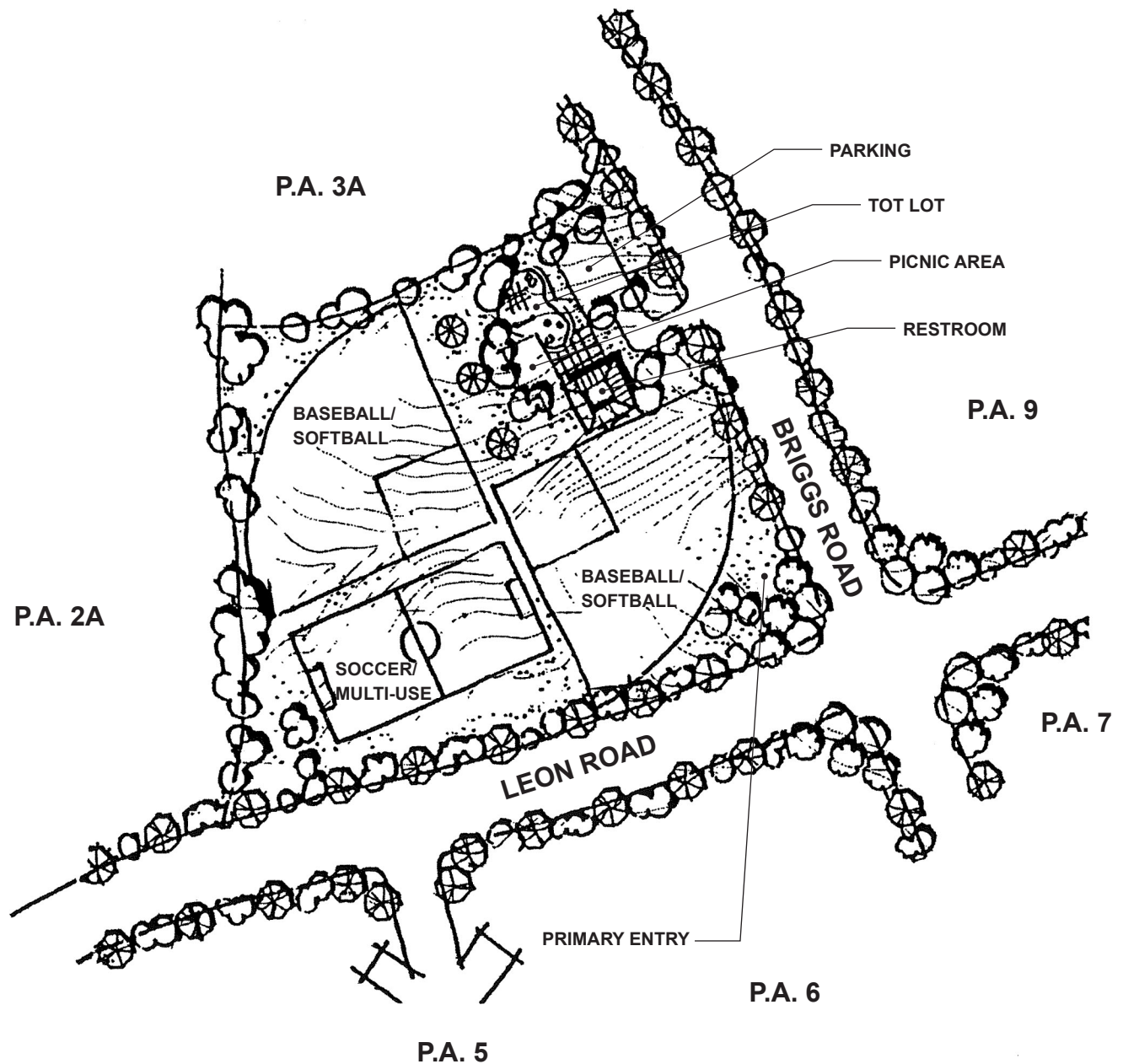
This park is located north of Baxter Road, off the northwest intersection of Street “A” and Spencer's Crossing Parkway (Figure III.B-14). It serves the entire FRENCH VALLEY community. The park includes active and passive facilities and is designed to meet the standards of the Valley-Wide Recreation and Park District. Figure IV-16C provides a conceptual design of the park within Planning Area 28.

##### iv. Planning Area 29 – 3.4 Acre Private Recreation Facility

A Private Recreation Facility is located within Planning Area 29, located off the northeast intersection of Street “A” and Spencer's Crossing Parkway (Figure III.B-13). As conceptually illustrated on Figure IV-16I, the private recreation area may feature community pool facilities, a community room, water play, or other similar recreational amenities.

##### v. Planning Area 41 – 1.8 Acre Linear Park

This park is located north of Planning Areas 3E (drainage detention) and 37 (residential), adjacent to and south of Keller Road. This park is planted with trees (canopy and flowering accent), shrubs, and groundcover to



NOTE: This park illustration is conceptual. Actual designs will be prepared at the time of development pursuant to Valley-Wide Recreation & Park District criteria.

## Planning Area 8 Park Concept

Figure IV-16A

# French Valley SP 312 A-2



**Planning Areas 16 & 18A Park Concept**

Source: Summers/Murphy & Partners, Inc.

Figure IV-16B

# French Valley SP 312 A-2







**Planning Area 28 Park Concept**

Figure IV-16C

# French Valley SP 312 A-2

### Specific Plan No. 312

---

provide a visual buffer between residential land uses within the FRENCH VALLEY community and Keller Road. As conceptually illustrated on Figure IV-2B , this park features a meandering multi-use trail that connects to the trail staging area provided in Planning Area 3E.

#### d. Open Space/Drainage/Greenbelts/Trails

The southern project area contains recreational open space surrounding the main drainage system, which will consist of a greenbelt with trails running parallel to both sides of the stream (see Figure IV-16D , *South Paseo Detail*, and Figure IV-16E , *South Paseo Trail Concept*). The stream will remain in its natural state and is surrounded by a manufactured greenbelt with native vegetation and pedestrian trails (Planning Areas 2A-D). The greenbelt will provide a buffer between the residential development and the natural open space of the drainage course, as well as providing recreational and aesthetic amenities for the project. This will require minimal maintenance and will be conducted by an entity acceptable to the County Flood Control District.

A meandering 8-foot wide hard surface trail connects the multi-use trail (minimum 4-foot width) within Planning Area 41 to the open space areas to the south (Planning Areas 3E and 40) and the residential uses within Planning Area 34 to the east. Figure IV-16F , *North Paseo Detail*, and Figure IV-16G , *North Paseo Trail Concept*, illustrate the landscaping features of the trail, and show how it connects with the surrounding trails, greenbelts, and residential areas.

A public Regional Trail segment is provided as a recreational amenity and a buffer between the Open Space-Conservation area in Planning Area 1 and the residential land uses in Planning Areas 5 and 6. The Regional Trail is comprised of a meandering 14-foot wide stabilized decomposed granite trail and is surrounded by landscape areas planted with background trees, flowering shrubs, and groundcovers. The Regional Trail is depicted on Figure IV-16H , *Regional Trail Concept*.

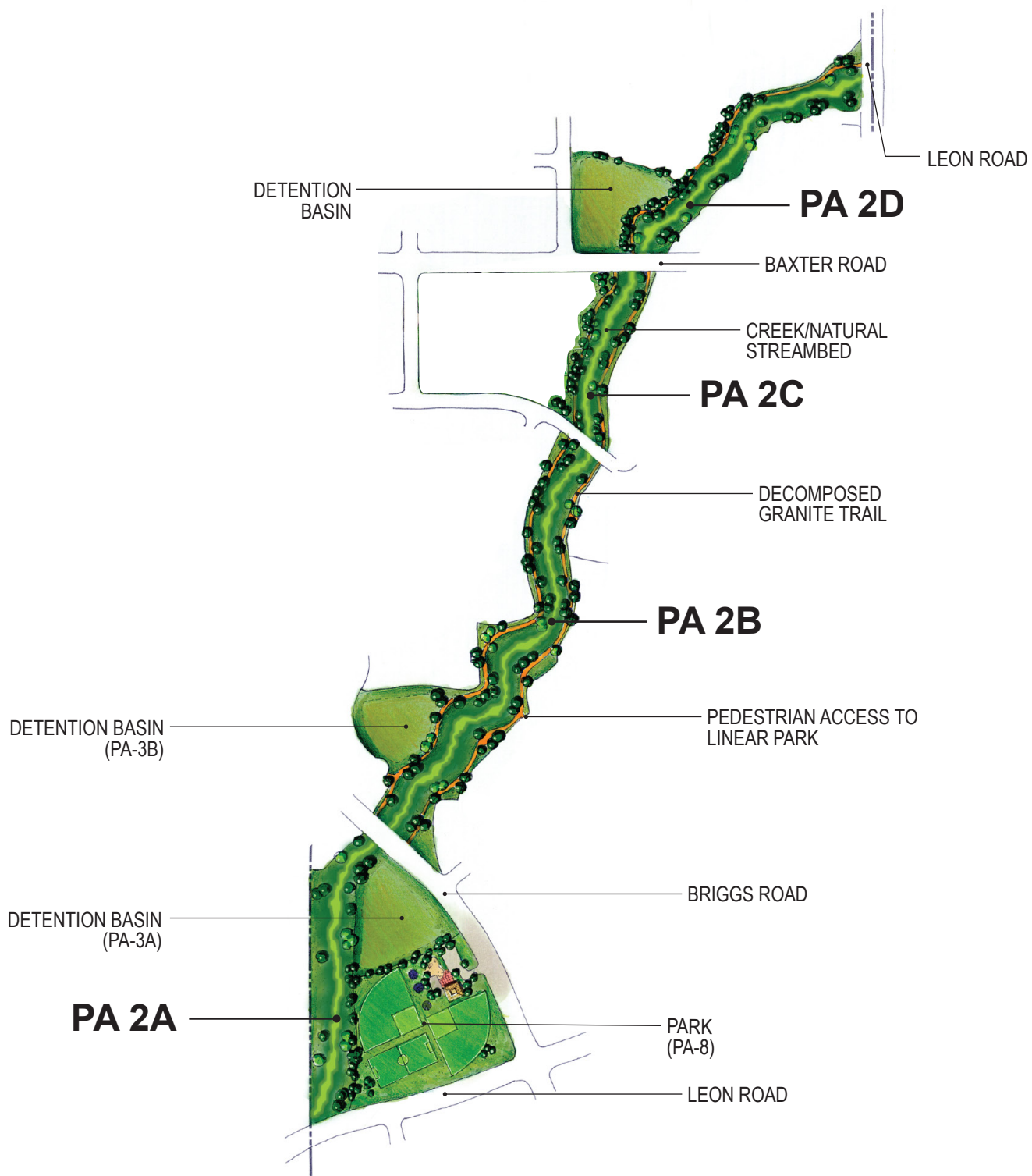
#### e. Roadway Paseos

The FRENCH VALLEY Specific Plan includes a system of roadway paseos, which are illustrated in Figure III.A-11, *Open Space and Recreation Plan*. The sidewalks within these expanded parkways/paseos link parks and the open space greenbelt trail system with residential areas of the Specific Plan area. The landscaping concept for the roadway paseos emphasizes an informal pedestrian environment. Except for along Keller Road, no substantial facilities are proposed to be included as part of the paseo landscaping, although accent trees are used extensively within the paseos to provide an attractive appearance and shade for trail users. The landscaping also offers privacy and security for adjacent homeowners. The paseo along Keller Road includes the same amenities as the other roadway paseos found within the Specific Plan area, but will be wider to include a 10-foot wide multi-use trail (Figure IV-2B ).

#### f. Manufactured Slopes

As part of project development, gentle 4:1 (horizontal:vertical) manufactured slopes may be necessary adjacent to roadways or included in public or private portions of the Specific Plan area. Where slopes are provided, the following criteria should be followed:

- Slopes shall be constructed to undulate both horizontally and vertically, varying between ratios of 4:1 and 2:1. No slope shall exceed a ratio of 2:1 in any part of the Specific Plan area.
- Landscaping shall be installed as quickly as possible upon completion of slope construction to reduce the potential for erosion.

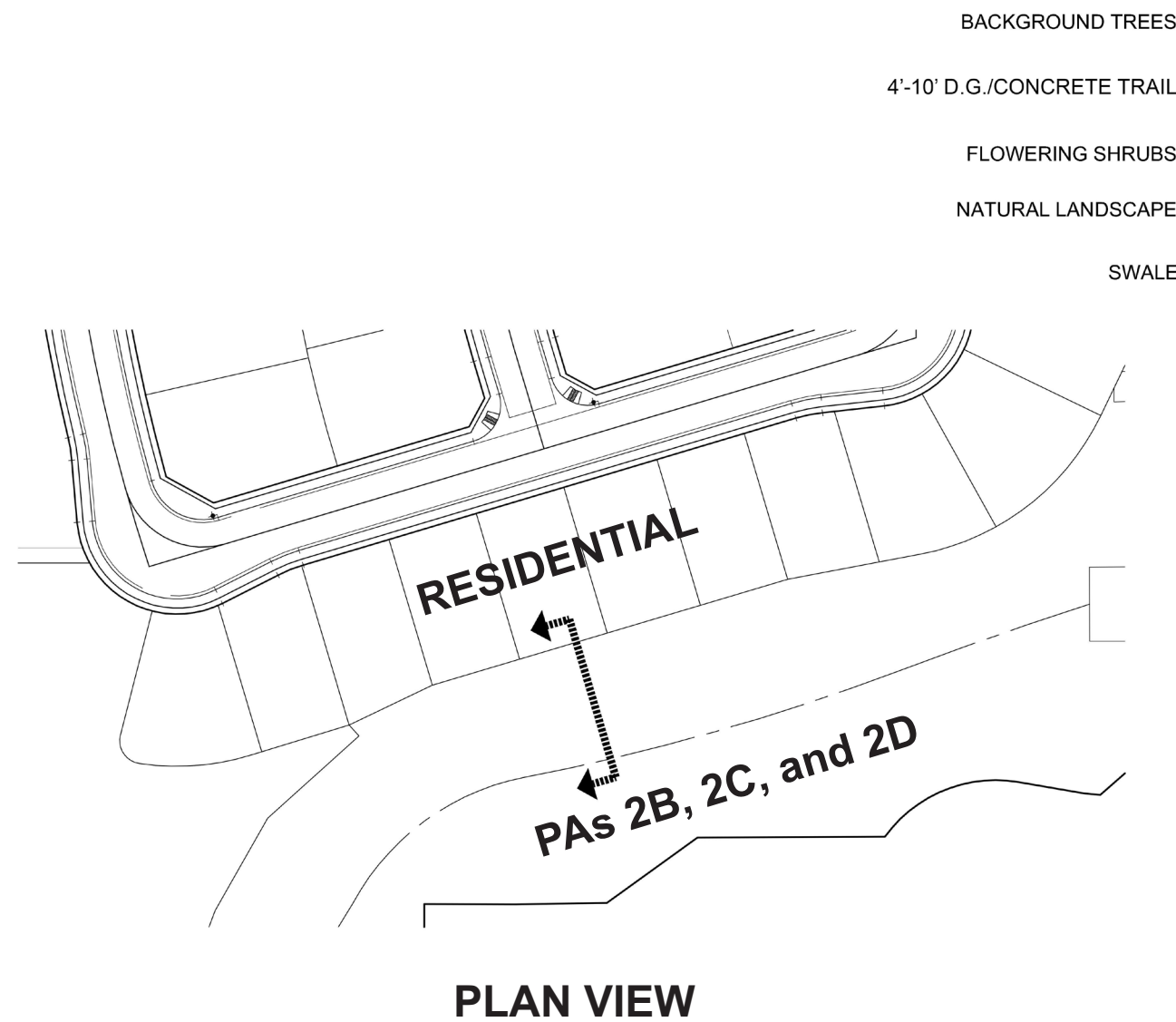


**South Paseo Detail**

Figure IV-16D

# **French Valley SP 312 A-2**





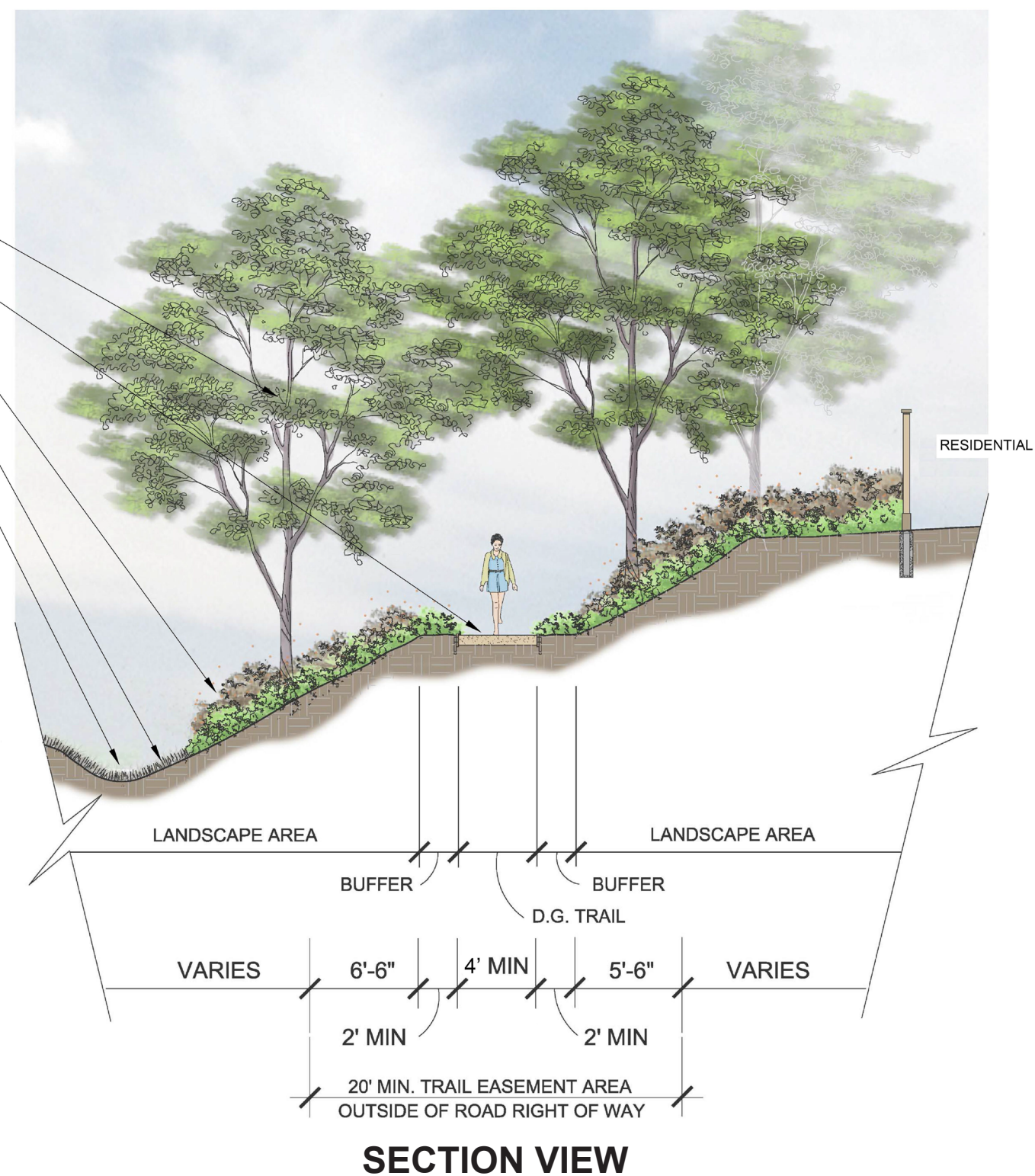
BACKGROUND TREES

4'-10' D.G./CONCRETE TRAIL

FLOWERING SHRUBS

NATURAL LANDSCAPE

SWALE



South Paseo Trail Concept

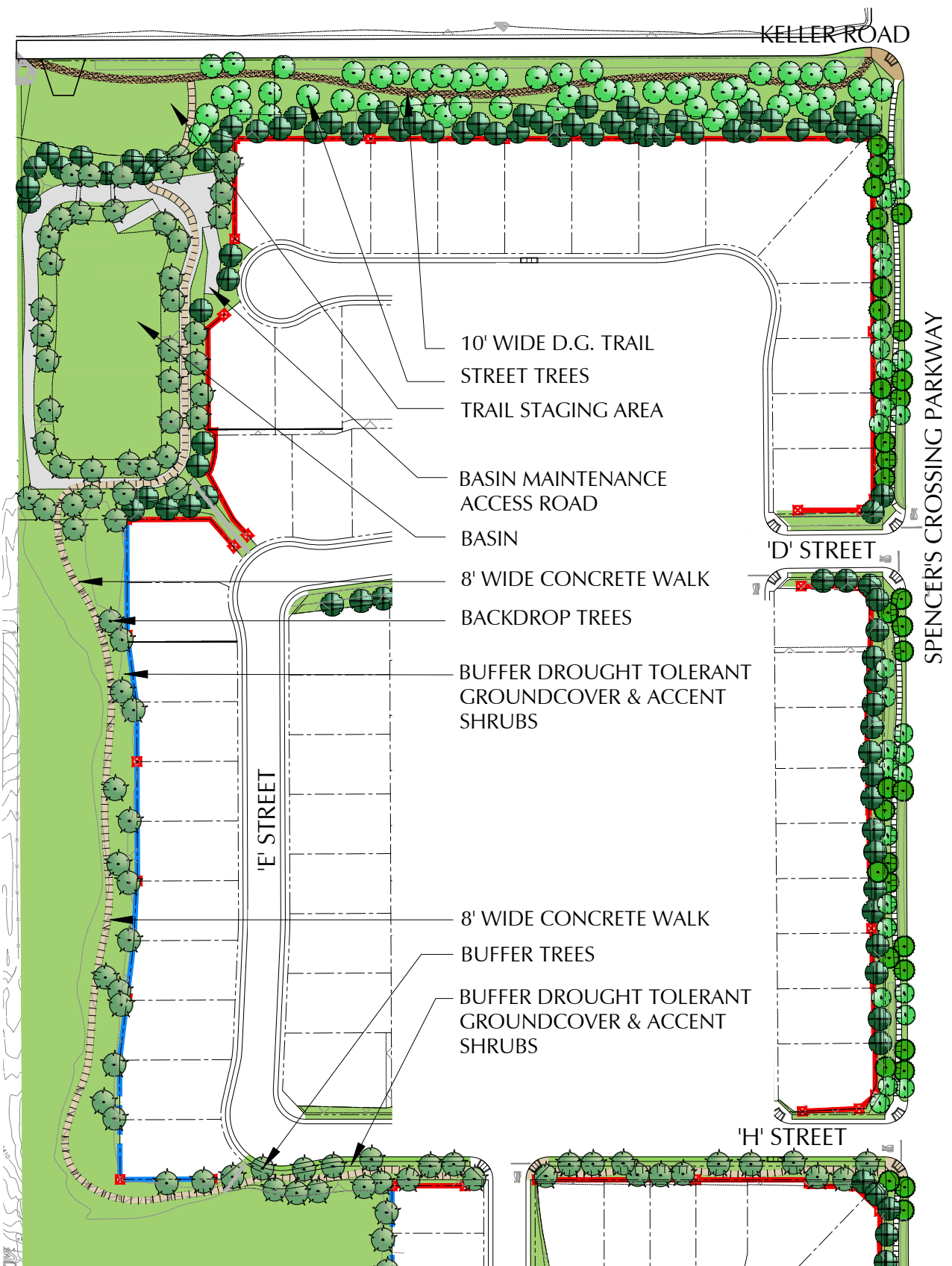
Source: Summers/Murphy & Partners, Inc.

Figure IV-16E

French Valley SP 312 A-2

T&B PLANNING, INC.  
15542 East 17th Street, Suite 100, Torrance, CA 90780  
P 714.505.6360 F 714.505.6361  
www.tbplanning.com

not to scale



North Paseo Detail

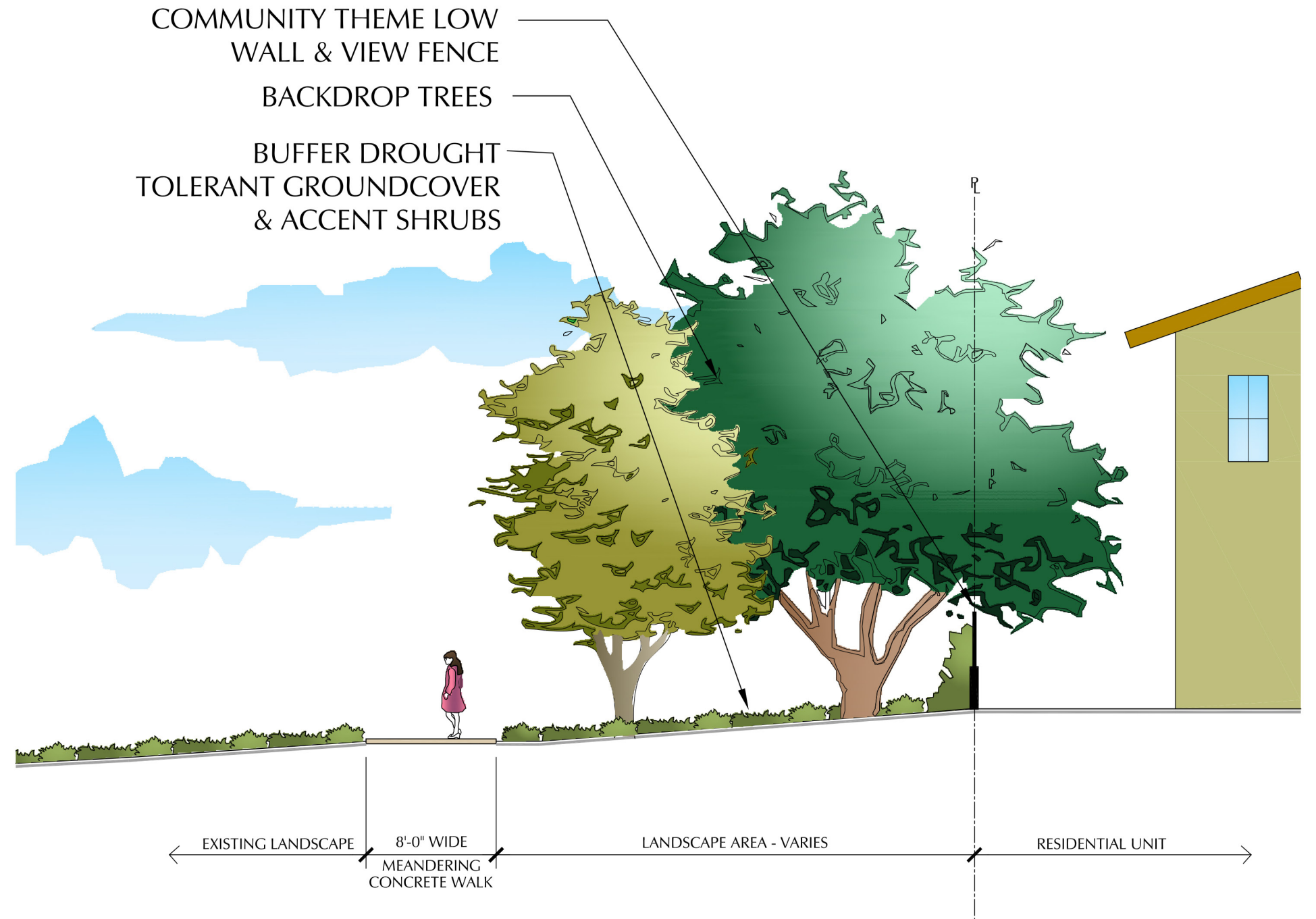
Figure IV-16F

# French Valley SP 312 A-2





PLAN VIEW



SECTION VIEW

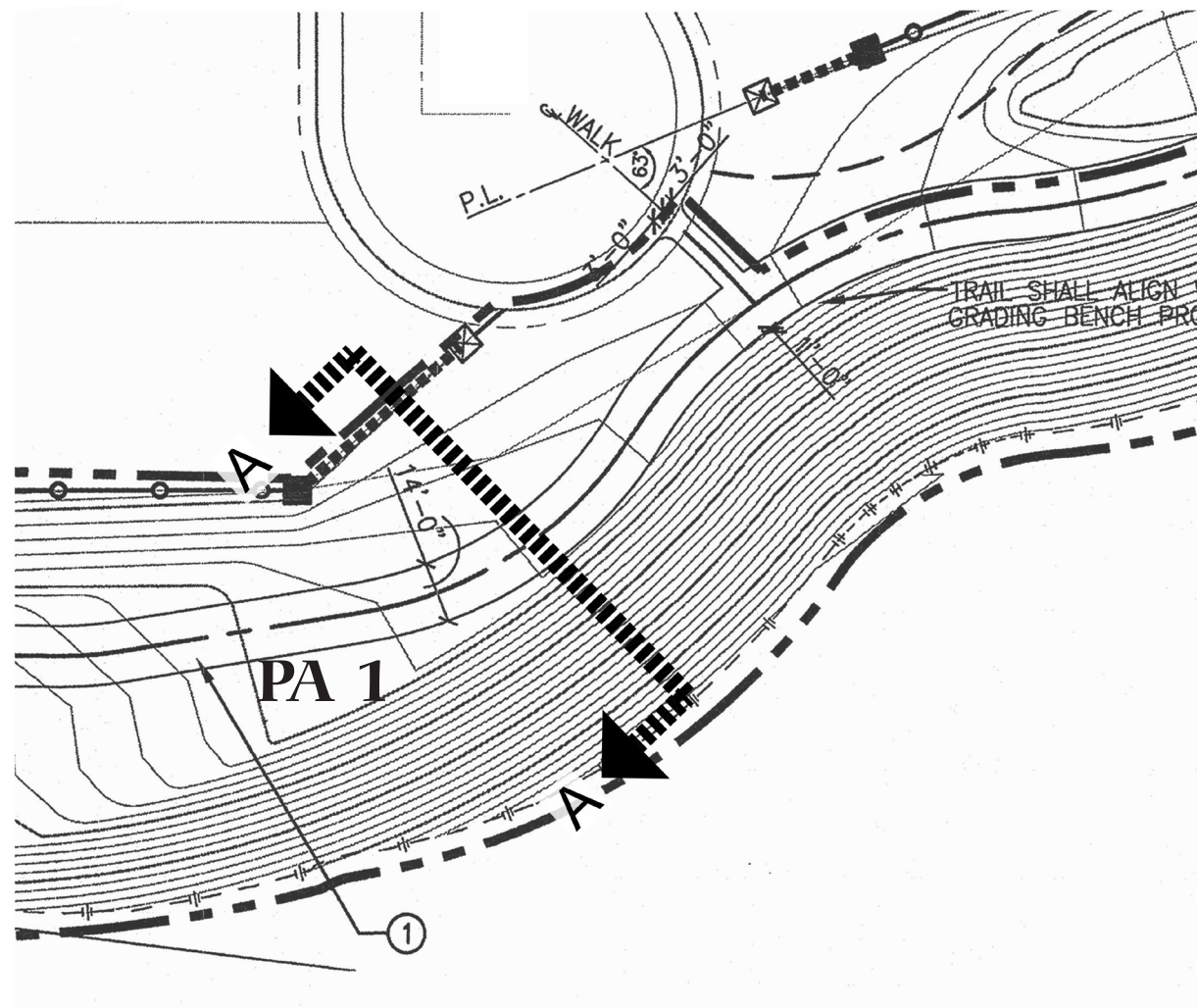
North Paseo Trail Concept

Source: Clark and Greene

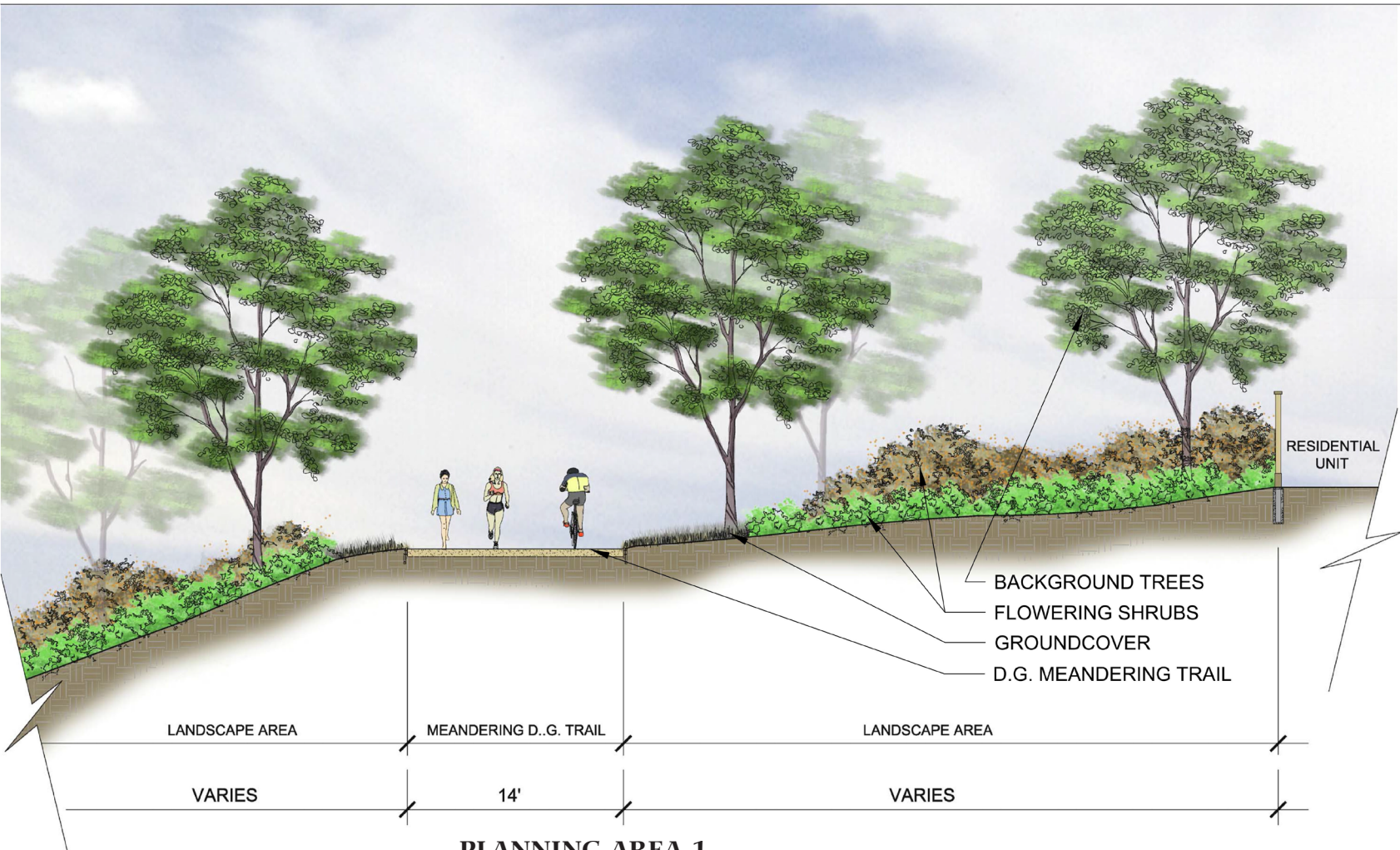
Figure IV-16G

# French Valley SP 312 A-2





PLAN VIEW



SECTION VIEW

Regional Trail Concept

Source: Summers/Murphy & Partners, Inc.

Figure IV-16H

# French Valley SP 312 A-2



## Planning Area 29 Private Recreation

Figure IV-161

# French Valley SP 312 A-2



### Specific Plan No. 312

- The use of plant species from the Plant Palette with the ability to stabilize slopes and prevent erosion, including species which can be quickly planted, shall be encouraged on all manufactured slopes.

#### 5. Residential Streets

Numerous residential streets are provided within the residential planning areas of the FRENCH VALLEY Specific Plan area. These streets serve individual residential neighborhoods and lots. The design of these streets shall implement the following criteria:

- Curvilinear streets are encouraged, recognizing that the amount of “curve” may be slight in some areas because not all Planning Areas will lend themselves to curvilinear street design.
- No cul-de-sac streets shorter than 150 feet measured to center of bulb are allowed. Also no cul-de-sac streets longer than 1,320 feet measured to center of bulb shall be permitted.

#### 6. Community Walls and Fencing

Walls and fencing are used throughout the Specific Plan area to complement the overall design theme, establish community identity, provide protection from roadway and other noise, and allow privacy and security in residential areas. Four types of walls and fencing are proposed to be used in the FRENCH VALLEY Specific Plan, as illustrated in Figure IV-17, *Conceptual Community Wall and Fence Plan*. Proposed locations for the perimeter/theme wall and view fencing are shown in Figure IV-18, *Conceptual Theme Walls and Fences*. In addition, production fencing between lots shall be provided.

##### a. Community Theme Wall

This wall will be used throughout the Specific Plan area along major roadways and in situations where privacy or security is desired or view opportunities are not available, as well as in locations where screening of unattractive views is necessary. As shown in Figure IV-18, the community theme wall is a six-foot-high split face masonry. Pilaster with caps shall be provided at regular intervals, including changes in elevation or direction. The use of ivy or other vegetative material to soften and punctuate the appearance of walls may be applied to reduce the likelihood of graffiti.







Plain concrete block walls are not permitted. Wood, stucco-covered, or other like-material walls are not permitted along reverse frontage areas. Brick, slump stone, split face, tile, textured concrete or other material walls which require little or no maintenance are required.

Where privacy of views is not an issue, powder coated tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities. A combination of 2 to 3-foot high solid wall base with a wrought iron or tubular steel fence section between solid pilasters is a recommended design alternative.

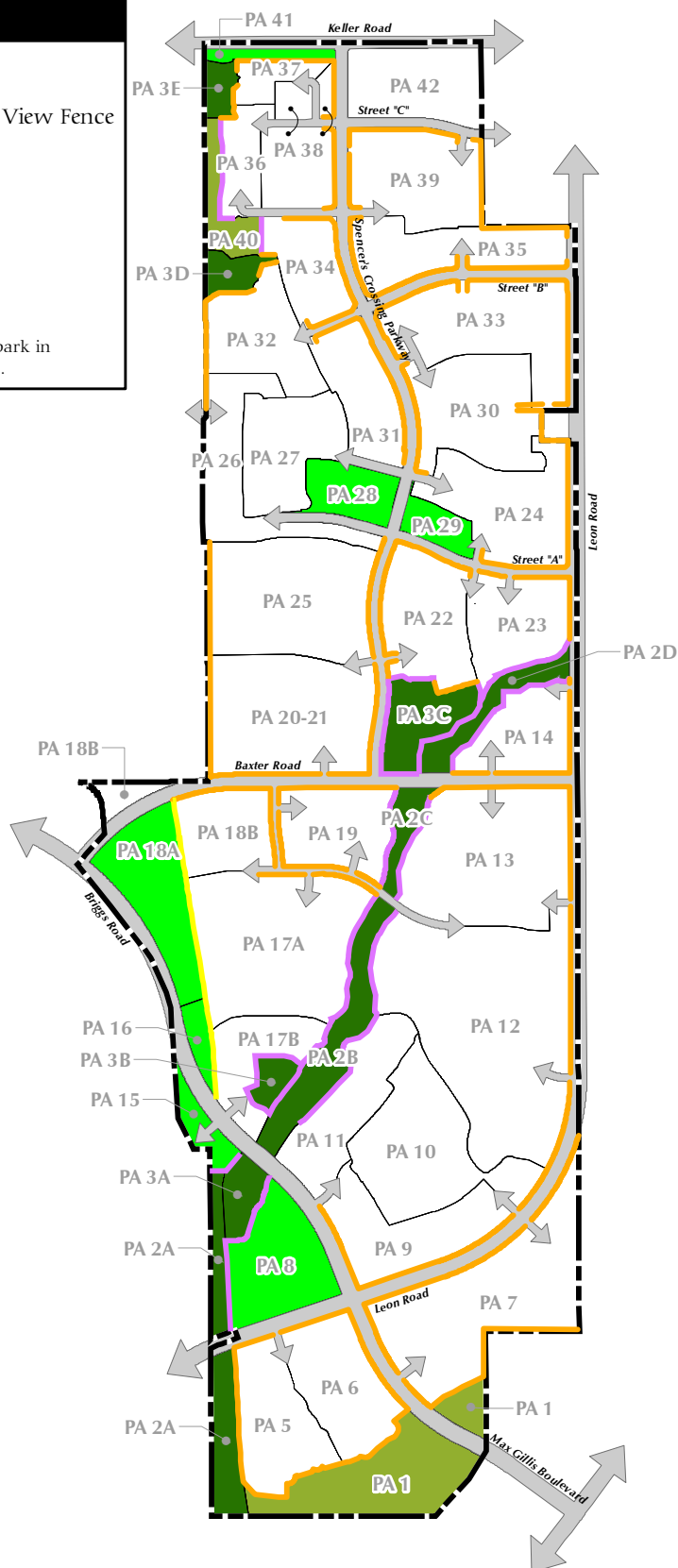
##### b. View Fencing

This fence is be used at parks, schools, and open space areas where some security and privacy is necessary but also where the view is desirable by adjacent neighborhoods, roads, and businesses. As shown in Figure IV-18, view fencing is a 5.5-foot high fence constructed of tubular steel with split face masonry pilasters.

## Legend

-  Community Theme Wall
-  Community Theme Wall or View Fence
-  View Fence
-  Parks (OS-R)
-  Conservation/Paseo (OS-C)
-  Paseo/Detention (OS-W)

Note: Chain link fence is permitted in the dog park in PA 16/18A to enclose the dog play areas.



## Conceptual Wall & Fence Plan

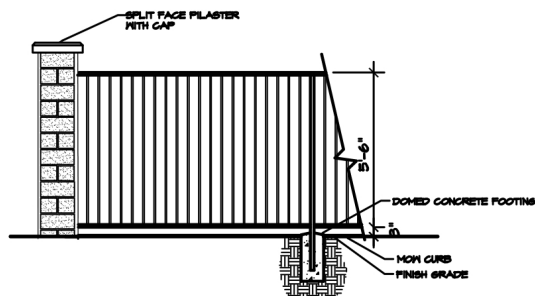
Source(s): RCTLMA (2016)

Figure IV-17

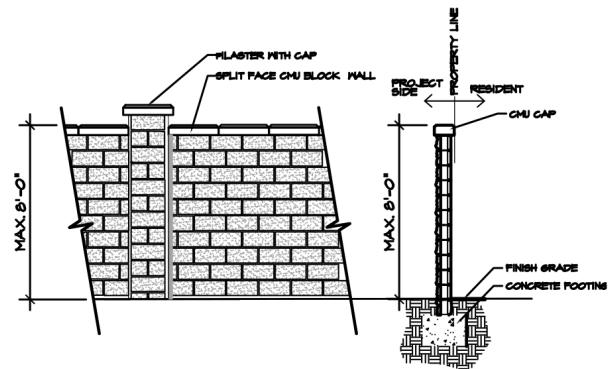
# French Valley SP 312 A-2

**T&B PLANNING**  
1754 2 East 17th Street, Suite 100, Turin, CA 92780  
p. 714.505.4360 f. 714.505.4361  
www.tbplanning.com

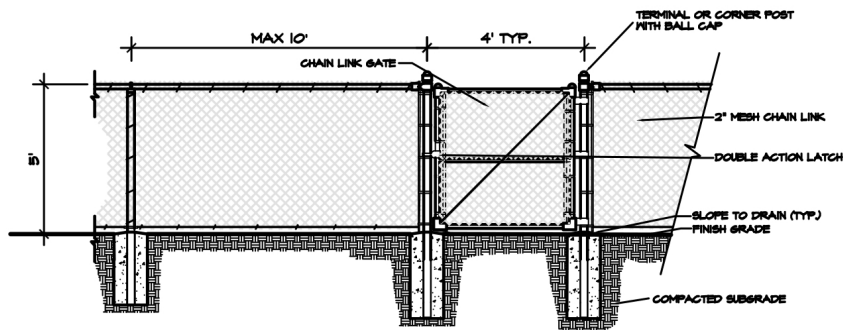




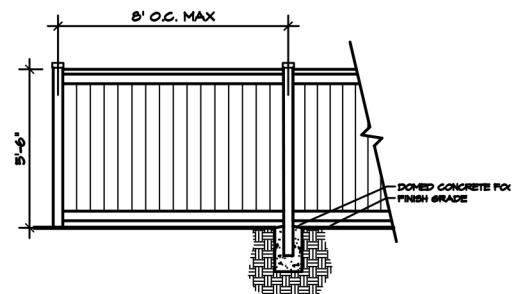
TUBULAR STEEL VIEW FENCE



SPLIT FACE COMMUNITY THEME WALL AND PILASTER



CHAIN LINK FENCE AT DOG PARK



TYPICAL SIDE/REAR YARD FENCING - VINYL

## Conceptual Theme Walls and Fences

Source: Summers/Murphy & Partners, Inc.

Figure IV-18

# French Valley SP 312 A-2

### Specific Plan No. 312

---

#### c. Typical Side/Rear Yard Fencing

This fencing type is used along individual side and rear lot lines and between homes within residential areas. As shown in Figure IV-18, *Conceptual Theme Walls and Fences*, this fencing type will be of vinyl construction and stained to match the colors used within an individual development.

In situations where sound attenuation or additional durability is required in production fencing locations, concrete fencing in wood fencing style (such as Woodcrete products) may be used. If this type of concrete fencing is used, an integral color consistent with the individual project shall be provided. In no instance shall uncolored concrete fencing be used.

#### d. Split Rail Fencing

Split rail fencing is used adjacent to the equestrian trail along Keller Road in the northern portion of the site. As shown in Figure IV-18, *Conceptual Theme Walls and Fences*, this fencing type will be of wood and wrought iron construction to provide separation of the equestrian trail and Keller Road.

#### e. Chain Link Fencing

Chain link fencing shall only be allowed in Planning Areas 16 and 18A to enclose the dog play areas within the dog park. Chain link fencing is five (5)-feet tall with posts provided every 10 feet. Access to the dog park play area shall be provided by a chain link gate. Please refer to Figure IV-18 for an illustration of the chain link fencing permitted within Planning Areas 16 and 18A.

### 7. Signage

The FRENCH VALLEY Specific Plan community has a mixture of residential, institutional and recreational uses. The type of signage discussed below is desirable on a community-wide basis.

#### a. General Intent

- In general, signage should be consistent with the project's image as a high quality, well balanced, residentially oriented project with extensive recreational opportunities. Signage shall be attractive and subdued in keeping with the character of the "California Ranch" theme.
- Signs shall be limited to community identification and direction only. Signs which advertise products and other merchandise are prohibited.
- All signs in recreation and community areas shall be compatible with the architecture of the buildings they identify. Whenever possible, signs in these areas should be low to the ground or attached to building facades.
- All signs shall be of professional quality.
- All ground mounted signs should be well integrated into site landscaping.
- More specific design standards, including dimensional and locational criteria, should be formulated as part of the implementation of the Specific Plan, such as through C.C. & R.'s.



### Specific Plan No. 312

---

- Residential signage shall be controlled through C.C. & R.'s or other appropriate mechanisms.

#### b. Prohibited Signs

- Revolving, rotating or moving signs shall be prohibited.
- Signs with flashing or blinking lights shall be prohibited, except that signs or crosswalks for pedestrians and/or schools shall be allowed.
- Roof signs shall be prohibited.
- Signs shall not project above any roofline.
- Billboards shall be prohibited.
- Portable signs, including vehicles used as billboards, shall be prohibited. However, temporary "For Sale" signs are permitted.
- Signs advertising or displaying any unlawful act, business or purpose shall be prohibited.
- Any strings, pennants, banners, streamers, balloons, inflatable objects, flags, twirlers, propellers, noise-emitting and similar attention getting devices shall be prohibited, except:
  - National, state and local governmental flags should be allowed. Flag pole locations should be shown on the site plan for approval. Only one set of flags shall be allowed on each site. Holiday decorations in season, used for an aggregate of forty-five (45) days in any one calendar year, shall be permitted.
  - Balloons, streamers, temporary signs and other temporary decorations shall be allowed when used during parties such as birthday parties, graduation parties, baby showers or similar such celebrations held by residents in their homes lasting one day or less. The decorations shall be removed at the conclusion of the party or celebration.
  - Pennants, banners or flags used in conjunction with subdivision sales offices and tract entry points shall be permitted during the initial sales period.

#### c. Entry Monumentation Signage

Entry monumentation and signage will be developed in a manner which is consistent with the hierarchy for the establishment of project entry locations previously discussed in the Specific Plan. Entry monumentation and signage will vary in prominence and importance as their locational criteria changes from the more suburban influences of the project core and arterial high traffic circulation routes, to the more informal, rural influences of the project's medium density single family enclave and low traffic, internal collector streets.

The design of all entry monumentation should be coordinated with landscaping. Landscape plantings should transition from formal to informal groupings at monument locations as the monuments move from refined areas such as the parks to the more informal influences of the medium density, single family residential enclaves. Community monument signage should inform viewers through decorative typefaces and symbolic

### Specific Plan No. 312

---

graphics that the planned community is being entered. Project and neighboring signage should direct those who have entered the community to the separate land use components, and the individual residential enclaves. Monuments should be consistent with the “California Ranch” theme of the project but their designs should be flexible enough to respond to the individual project contexts (i.e., suburban or rural). Logos, type styles and color schemes should be consistent throughout the area being identified. Monument signs may, however, vary in size and detail in a manner which reflects their relative importance within the signage hierarchy. All entry statements shall be maintained by a property owner’s association or other mechanism which insures ongoing maintenance at no cost to the County.

Monument entry types for FRENCH VALLEY Specific Plan will be generally divided into three categories: community, project, and neighborhood. The signage types that apply to each of these monumentation types are described below:

#### i. Primary Community Entry Monumentation

The Primary Community entry monument, as shown previously in Figures IV-3A and IV-3B, *Community Monumentation-Type 1*, is the major gateway entry into the FRENCH VALLEY Specific Plan community.

- Primary Community entry monuments may be allowed on one side or both sides of intersecting roads.
- Primary Community entry monument walls should present the most refined and detailed appearance of all monument signs in the sign hierarchy.
- Primary Community entry monuments should be integrated into perimeter walls using decorative columns or wall transitions.
- Primary Community entry monument signage and graphics should not be internally illuminated. External illumination sources which can be screened from view using landscaping are preferred.

#### ii. Secondary Project Entry Monumentation

Secondary Project entry monument signs will announce a visitor’s initial departure from the secondary and major roads which enclose the project and an entry into the project’s residential enclaves and suburban core via the secondary and collector street systems which serve the project’s interior. Secondary Project entries, as shown in Figures IV-3A and IV-3B, and Figure IV-4, *Secondary Community Entry Monumentation – Type 2*, should be consistent with the quality levels established by the community entry signs but with a reduced sense of prominence and scale. Secondary Project entry signs should be scaled and detailed in a manner which makes them appear to be extensions of the project’s primary community walls and more in concert with the informal feel of the residential enclaves. The following guidelines should be considered in the design of project monument signs.

- Secondary Project entry signs should be single-sided and may be allowed on both sides of secondary streets which serve major residential land use areas or enclaves where these streets intersect with enhanced parkway collector streets or major project through circulation collector streets.

### Specific Plan No. 312

---

- Project entry signs should be scaled and detailed in a manner which reflects the architectural influences of the residential enclaves while remaining consistent with the overall theming of other community sign types.
- Project entry monument signs should be externally illuminated. External light sources should be screened from direct view with landscaping.

#### iii. Neighborhood Entry Monumentation

Neighborhood entries will be placed along collector roads where they provide access to individual planning areas. These entry signs will be low monument type sign-walls as shown in Figures IV-3A and IV-3B, and Figure IV-5, *Neighborhood Entry Monumentation – Type 2*. Neighborhood signage should draw substantially from residential architecture for materials, colors and detail. The following guidelines should apply to neighborhood signage.

- Neighborhood signs should be single sided and may be allowed on both sides of residential collector road.
- Neighborhood entry signage should be externally lit using light sources which can be screened from view using landscaping.
- Corner setbacks shall be included at the intersections of Spencer's Crossing Parkway, Baxter Road, Leon Road and Briggs Road designated tract entrances.

### D. ARCHITECTURAL DESIGN GUIDELINES

This section sets forth the architectural and site design guidelines for the planned community of FRENCH VALLEY Specific Plan. They are intended to provide guidance for the expression of development in the community.

Developers, builders, engineers, architects, landscape architects and other design professionals shall utilize the guidelines in order to maintain design continuity, create an identifiable image and develop a cohesive community.

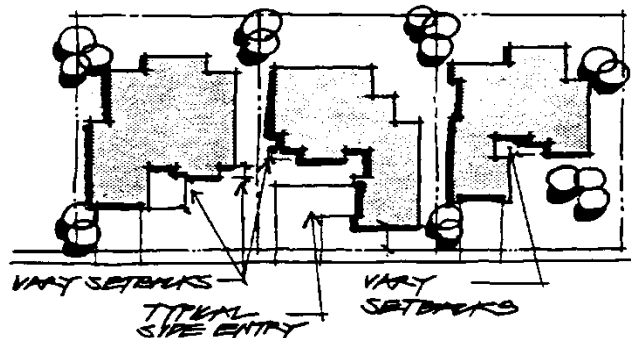
This section also brings to light certain key architectural and site design “elements” that shall be considered in all residential development. It is the intent of these guidelines to establish a consistent architectural expression that reflects the indigenous elements and character of the surrounding environment while at the same time allowing for flexibility in design. In addition, where not set forth in this section, all applicable County standards must be satisfied. Figure IV-19 through Figure IV-25 provide, for illustrative purposes only, representative examples of the selected architectural styles for the FRENCH VALLEY community. The exhibits are intended to convey the mass, form, materials and details associated with the architectural style as applied to the referenced lot size. The photographs, sketches, and other graphic representations provides in these Design Guidelines are offered as general visual aids in understanding the basic intent of the architectural design theme and its key implementing elements. The design goal of FRENCH VALLEY is to achieve contemporary interpretations of historical styles; as such, the community’s architectural design character can be maintained without providing an exact recreation of the graphic representations included in this document.

In addition to the *General Residential Criteria* presented on the following pages, supplemental residential design guidelines for Planning Areas with minimum lot sizes of 5,000 sf, 5,500 sf, and 6,000 sf are provided below in Section IV.D.2, *Supplemental Residential Criteria – 5,000 sf lots, 5,500 sf lots, and 6,000 sf lots.*

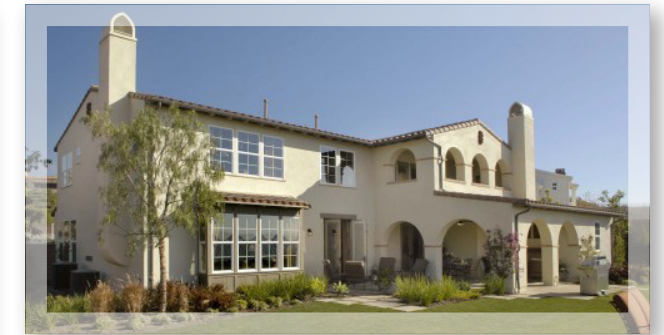
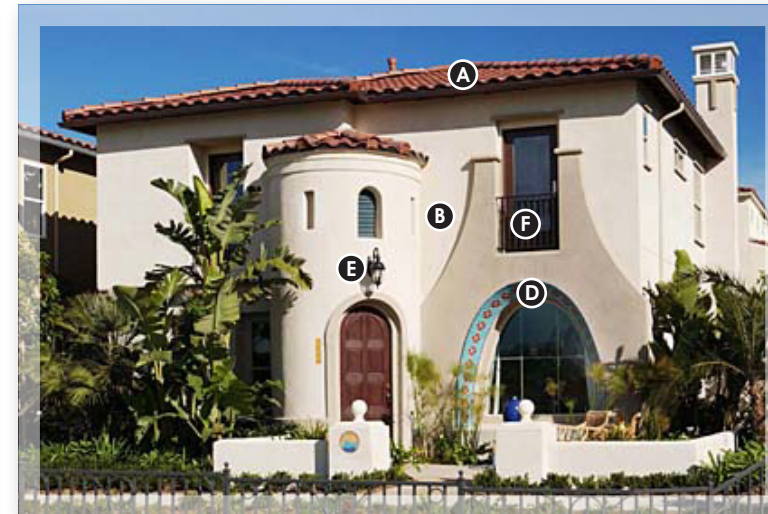
#### 1. General Residential Criteria

##### a. Streetscene

- Vary the front setbacks of both the garage and living space of adjacent buildings to provide visual interest along streetscene.

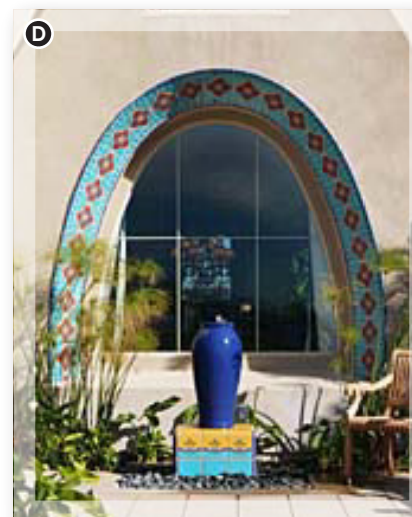






### THE SPANISH STYLE

...is one of several Mediterranean architectural styles that lends itself well to California's climate and culture. The forms and materials of Spanish style were historically a response to the need to provide shelter from the sun. Spanish style homes have thick walls and tile roofs for insulation, light colors for reflection, and recessed windows for shade. Front facades typically have one or more prominent arched elements, either above a principal door or window. The use of courtyards, patios and colonnades enhance the theme. Facades are stucco, and mostly asymmetrical. Walls convey a thick appearance with deep recesses. Ornate decorative details such as wrought iron, tile, or carvings complement the simple massing and can span the entire history of Spanish architecture.



### KEY ELEMENTS

- A** Flat clay tile or concrete "S" tile on predominantly hip roofs
- B** Stucco exterior walls with smooth to light sand finish
- C** Wood fascias, rafters, and soffit brackets
- D** Segmented or elliptical arch shape used as the characteristic shape with divided lines
- E** Wrought iron decorative details
- F** Ornamental details such as small balconies or deep recessed primary windows/doors

### Spanish Architectural Style

## French Valley SP 312 A-2

Figure IV-19



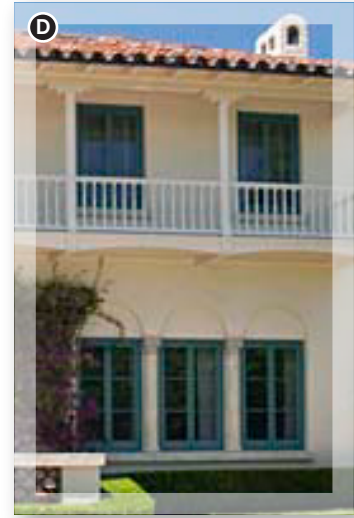


### THE MONTEREY STYLE

...is a revival of the Spanish Colonial houses of northern California, blending adobe construction with English shapes from New England. The most prominent defining feature setting this style apart from its Spanish Colonial relative is the cantilevered second-story balcony covered by the principal roof. Monterey style homes are typically characterized by simple house forms, relatively low-pitched hip or gable roofs, and wide overhangs. Walls convey a thick appearance with recessed door and window openings. Shutters, balconies, verandas, and porches are indicative of the Monterey architectural style. Features such as arches, courtyards, and colonnades are used frequently. The first and second stories may have different materials, with wood siding above and a stucco or brick veneer base below. Large-scale chimneys are often present.

### KEY ELEMENTS

- A** Low-pitched gable roofs with flat roof tiles
- B** Second-story cantilevered balcony
- C** Colonial details such as pedimented window and door openings with shutter accents
- D** Vertical form and multi-paned windows
- E** Rectilinear two-story building forms



Monterey Architectural Style

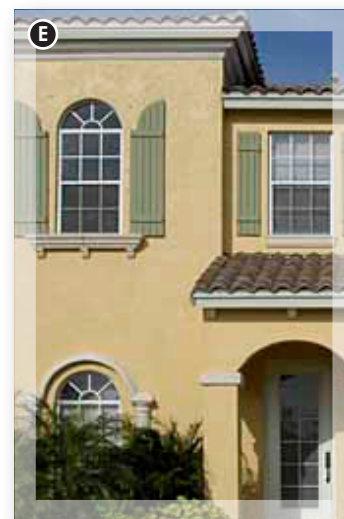
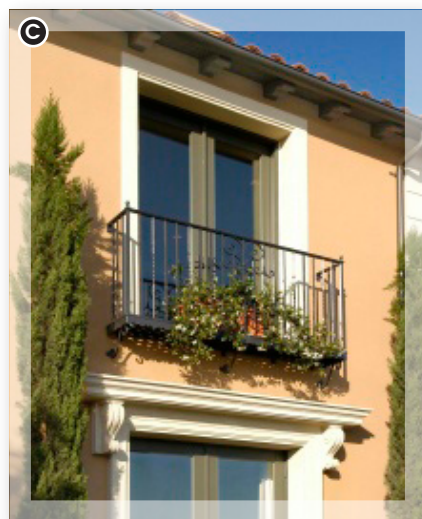
Figure IV-20





### THE ITALIAN STYLE

...is within a family of styles, which includes the Tuscan Style. It began as part of the picturesque movement, a shift away from a more formal direction in art and architecture. Italian Style homes are two-story homes with low-pitched hip roofs. The homes often have a second-story window balcony as an accent feature. The massing of the home is traditionally a two-story rectangular-shape. Occasionally Italian Style homes are L-shaped and U-shaped. Other identifying features include overhanging eaves with decorative brackets underneath, tall windows sometimes with arched or curved top, horizontal belt courses, and feature tower elements.



### KEY ELEMENTS

- A** Low pitched hipped roofs with barrel shaped or flat tiles
- B** Light textured stucco walls or brick walls
- C** Window balcony with wrought iron detailing
- D** Louvered wooden or prefab shutters
- E** Rectangular windows with predominantly arched or curved top at feature windows

Italian Architectural Style

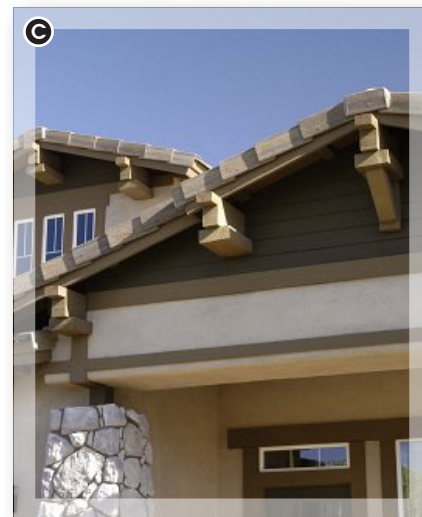
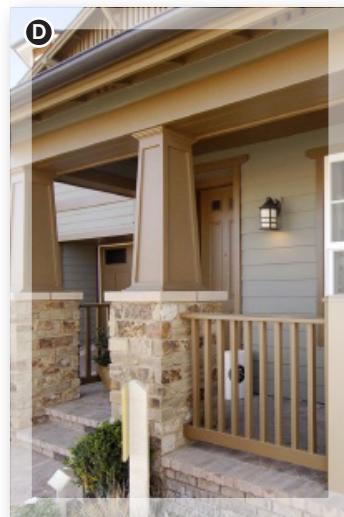
Figure IV-21





### THE CRAFTSMAN STYLE

...is an American architectural style inspired by the Arts and Crafts Movement of the later part of the 19th century, a philosophy that stresses honesty of form, materials, and workmanship. The style is expressed through use of natural or handmade materials with an artful attention to detail, favoring applied decoration rather than a straight-forward expression of the structure. Natural woods, shingles, earth tone colors, brick, stone, river rock, clinker brick, and heavy structural beams signify oneness with nature. Rocks and bricks are often used on foundations, chimneys, and railings to set a unifying theme for the home. The Craftsman design focuses on the harmony of indoor and outdoor life. Porches are prominent features that cover the length of the front elevation, sometimes wrapping onto the sides. These asymmetrical, gabled works of art are a large part of Southern California's architectural heritage.



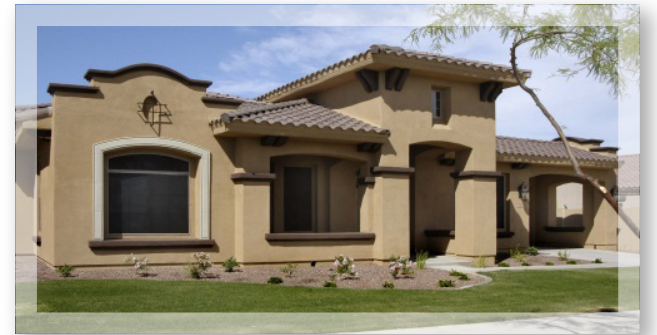
### KEY ELEMENTS

- A** Low-pitched gable roofs with deep overhangs
- B** Deep, broad porch element with expressive structural components such as square, tapered columns
- C** Expressive structural elements such as rafters, brackets, braces, and columns
- D** A mixture of materials such as stucco, brick, stone, shingles, and wood siding
- E** Asymmetrical massing and window and door compositions

Craftsman Architectural Style

Figure IV-22





### THE MISSION REVIVAL STYLE

...is an architectural movement that began in the late 19th century, drawing inspiration from the Spanish missions of the southwestern United States. It originated in California and is regarded as the first architectural style to diffuse eastward from the west coast. It gained popularity in the early 1900s when the Santa Fe and Southern Pacific railways adapted the style for their stations and resort hotels. The Mission Revival style is especially well adapted to the warm climates of California and the deserts. Rooflines extend over arched arcades with large square columns to enclose covered front porches or walkways—a feature that allows building interiors to remain relatively cool in hot climates. Other defining characteristics include curved parapets, clay tile roofs, towers, and stucco finishes that mimic the adobe walls of the Spanish missions. Massing is generally square or rectangular, and ornamental detailing is typically limited to decorative iron work.

### KEY ELEMENTS

- A** Curved or stepped roof parapets
- B** Arched porch with molded banding
- C** Quatrefoil motif
- D** Decorative ironwork
- E** Small, rectangular windows below roofline
- F** Arched or square wooden doors
- G** Thick stuccoed walls
- H** Low-pitched, tiled roofs



Mission Revival Architectural Style

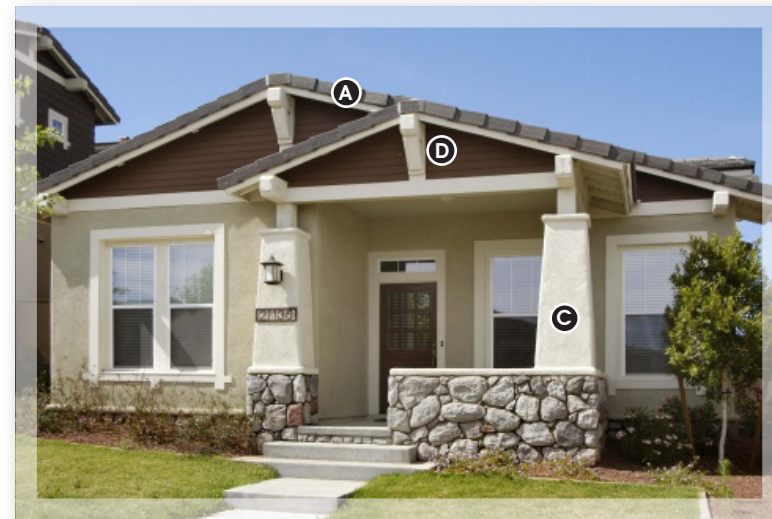
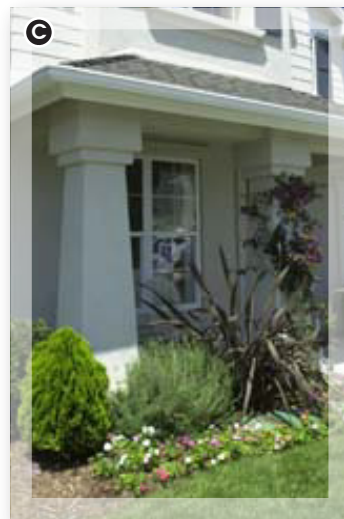
Figure IV-23





#### THE BUNGALOW STYLE

...is an eclectic architectural style comprised of many different influences, notably Spanish, Ranch, and Craftsman. The exterior material is stucco with siding and shutter accents. The massing is either symmetrical or asymmetrical. Porches, if present, feature tapered stucco posts. The roof is usually constructed of composition tile (flat or shingle) and subordinate gables may include vertical siding detail. Other details that may be featured as part of the Bungalow architectural style include vertical window mullion patterns, accent potshelves, accent shutters, and ganged window massing with foam trim accents below the windows.



#### KEY ELEMENTS

- A** Composition tile (flat or shingle)
- B** Vertical multi-paned windows
- C** Tapered stucco porch columns
- D** Vertical/Horizontal siding detail at gables

#### Bungalow Architectural Style

## French Valley SP 312 A-2

Figure IV-24



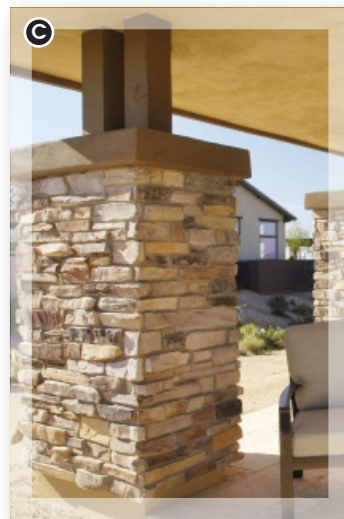


### THE PRAIRIE STYLE

...is one of the few truly American styles of architecture. It was developed in the Midwestern states in the early part of the 20th century. Echoing the uninterrupted horizontal lines of the American prairie, Prairie style homes are usually characterized by low pitched hipped roofs with deep overhangs, front porches with massive porch roof supports, and detailing which emphasizes the horizontal. Decorative details tend to be rhythmic and symmetrical with emphasis placed on the entry and windows. Windows are grouped in horizontal bands with vertical proportions, and trim used to unify window bands. Low walls and planter elements are common. Horizontal projections can be utilized to create interesting outdoor spaces and are characteristic of the Prairie style made famous by Frank Lloyd Wright.

### KEY ELEMENTS

- A** Low pitched hipped roofs with wide overhanging eaves
- B** Strong horizontal form
- C** Massive square columns
- D** Ribbon windows grouped in horizontal bands

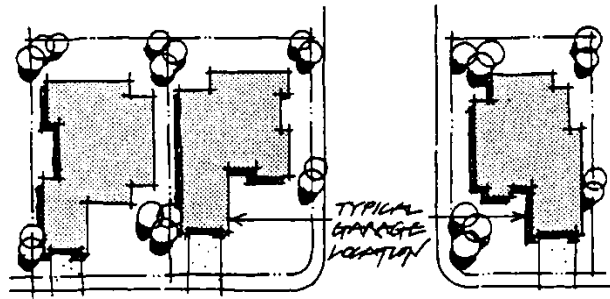


**Prairie Architectural Style**

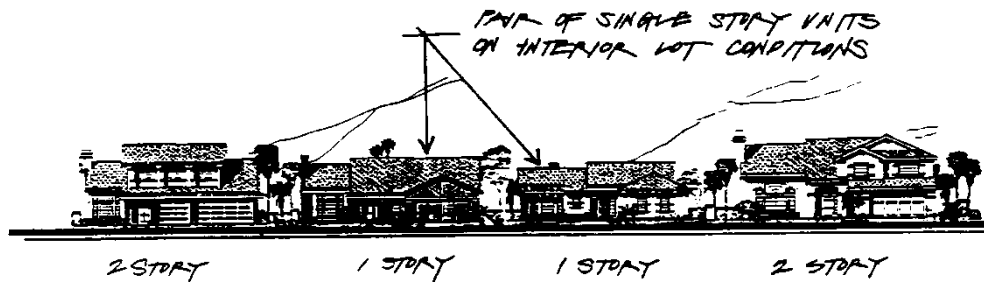
Figure IV-25

## Specific Plan No. 312

- Buildings on corner lots should not have the garage located adjacent to side street.



- To provide for visual interest along the street, side entry or split garages are encouraged. The placement of garages along a street shall vary and continuous, uninterrupted stretches of identically placed garages shall be avoided. This will allow for a varied setback and a pleasant streetscene.
- The mix of dwellings allows one-story plans. When proposed, they should be paired together on interior lot situations, or when not paired these plans shall be located on corners to take advantage of their low mass effect.



- Maximum lot coverage shall be 70%.

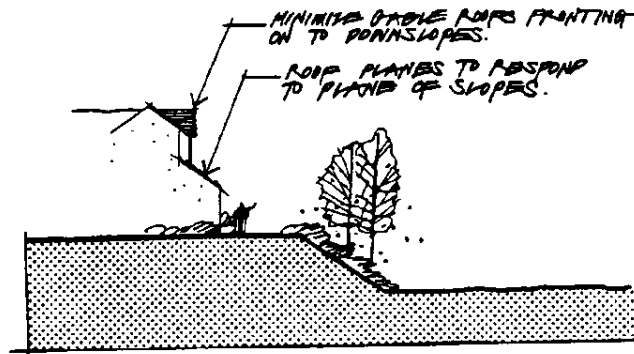
### b. Architectural Guidelines

#### i. Roof Planes and Pitches

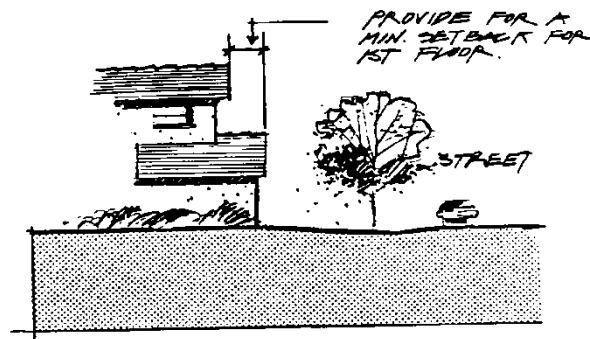
Roof planes and pitches shall be creatively designed to provide visual interest along the streetscene and create manageable building mass and scale. These design goals can be achieved through the implementation of the following recommended design elements:

- Maximize roof planes to respond to predominate site topography, minimize gable roof conditions fronting onto downslopes.

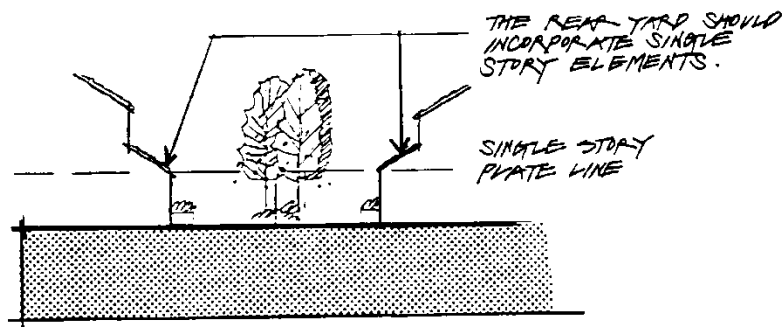




- To provide for a reduced scale along the street, single story plate lines along front and side yard setbacks are encouraged. A minimum of ten percent (10%) of homes in Planning Areas 17A, 23, 27 and 31 shall feature a single-story architectural element.
- Examples of single-story architectural elements include architectural projections, bay windows, porches, balconies, one-story living spaces, and/or a one-story garage element.



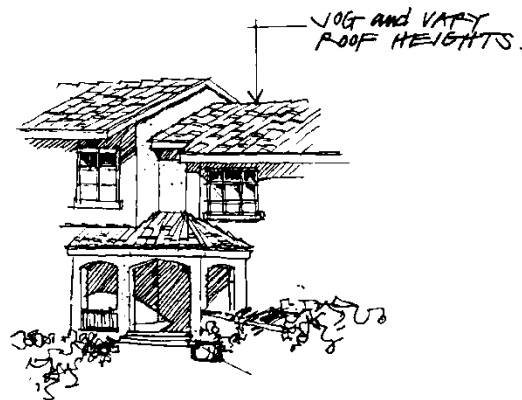
- In order to lessen the effect of the building mass on the rear yards, a single story plate line should be used on a portion of the rear of the building.



- Minimize gable roof conditions along side elevations to allow light into the side yards and to minimize the impact of combined two story components.

### Specific Plan No. 312

- To add interest and variety to the roof line, jogs and variations in height are encouraged.



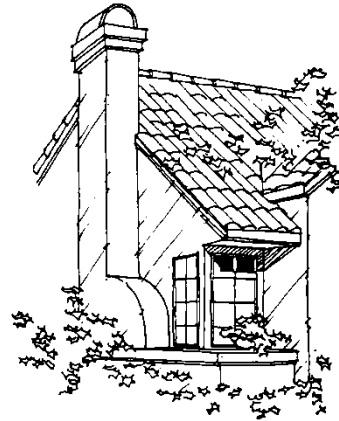
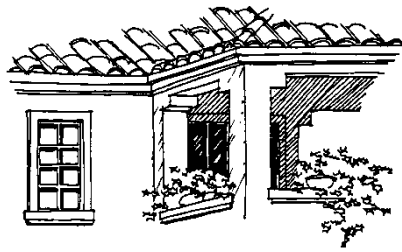
#### ii. Windows and Doors

- Recessed door, window and wall openings are encouraged.
- Divided window lights are suggested to give interest.
- Gold window and door frames are not permitted.

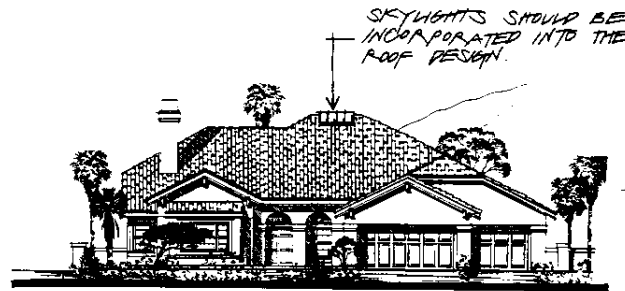


#### iii. Elevations

- Where like floor plans are adjacent to one another, vary the front elevations to provide visual interest and to avoid repetition along the street. This should also be incorporated on rear elevations where visible from the street.
- Articulate various architectural elements such as chimneys, balconies or porches to provide visual relief. To provide for additional visual relief, doors, windows, and garages can be recessed and/or protrusions such as window boxes may be implemented.

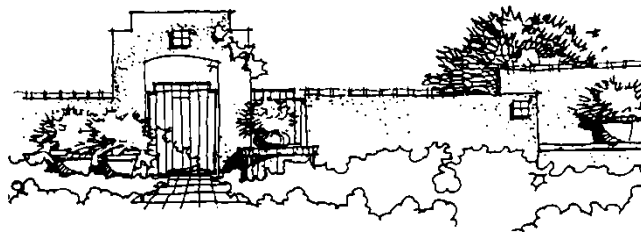


- Skylights should be incorporated into the roof design and not just arbitrarily located. Color of the frames shall compliment the color of the roof.



### iv. Walls and Fences

- All walls and fences between dwellings that are visible from the street shall be of masonry or wood material, having color and treatment consistent with that of the dwelling and shall be architecturally integrated with the dwelling.



### v. Porches

- The use of front porches with a minimum usable width of six feet (6') is encouraged along residential streets, and emphasized in cases where lot sizes between 5,000 and 6,000 s.f. Porches will be utilized to create a visually-welcoming and pedestrian friendly streetscene. Wrap-around porches are encouraged on corner lots.

### Specific Plan No. 312

---

- Front yards may include hardscape elements, such as concrete areas, courtyards, pavers or other pervious materials that complement the home's architectural style and landscape treatment. Front yards are intended to provide outdoor living space; therefore, a wall/fence with a maximum height of three feet (3') may be provided to define the space.

#### vi. Materials and Color

- Exterior building materials shall be of natural appearing materials which are consistent with and reflect the natural character of the surrounding environment. This includes wood, brick masonry, adobe, concrete, stucco or plaster, natural or architectural stone.
- Color is intended as a primary theme element of the community. Consequently, the building materials colors need to be compatible with the indigenous elements of the environment. Accents are encouraged which are darker or lighter to highlight the character of the structure, bright and non-earth tone colors shall only be utilized as accents.
- A palette of color values on all exterior elements should be distinct from one house to the next, with various color tones and textures encouraged to promote variation. This avoids a monotonous appearance of multiple buildings of the same colors and tones.

#### vii. Ancillary Structures

- The design of ancillary structures (guesthouses, cabanas, storage sheds, etc.) shall be compatible with the main structure through the use of architecture, fence connections and/or landscaping. Recreational vehicles and trucks shall be stored in an enclosed area and out of view of any adjacent lot or road.

## 2. Supplemental Residential Criteria – 5,000 sf lots, 5,500 sf lots, and 6,000 sf lots

In addition to the General Residential Criteria described in Section IV.D.1, these *Supplemental Residential Criteria* only apply to Planning Areas that provide for minimum lot sizes between 5,000 sf and 6,000 sf, which require additional care and consideration to ensure that the neighborhood is developed in a manner that is visually appealing, and promotes a pedestrian-friendly neighborhood.

### a. Site Planning Guidelines

#### i. Streetscene

Detached single-family residential product types with minimum lot sizes ranging from 5,000 sf to 6,000 sf shall creatively use varied setbacks, “architecture forward” designs, outdoor spaces, varied garage treatments, landscaping, and other innovative neighborhood design techniques to create a visually interesting streetscene and unique neighborhood character. Varying front yard setbacks and using single-story elements break up long stretches of linear massing, and when combined with private outdoor spaces, such as front porches and front yards, results in a welcoming, interactive streetscene that promotes neighborhood socialization.

- With the exception of Planning Area 19, sidewalks along neighborhood streets in all Planning Areas shall be curb-adjacent. Sidewalks within Planning Area 19 shall be separated from the curb by a landscaped parkway, which shall include a minimum of one (1) street tree per residential lot.

- Front yard setbacks to living spaces, porches, and/or front yards, and the location of garages should vary between adjacent homes to provide streetscene interest (see Figure IV-26A through Figure IV-26C).
- Homes may have a minimum front yard setback to living space of 10 feet, provided that the rear yard setback to living space is a minimum of 20 feet.

#### b. Architectural Design Elements

##### i. Building Mass and Scale

Building facades, rooflines, vertical and horizontal planes should be designed to reduce the visual mass and scale of the home to create street-scale architecture, which is pedestrian-friendly and visually appealing. Special attention should be paid to front yard setbacks, front elevations, front yard treatments, garage placement, and architectural styles to provide variation in mass and scale of buildings.

- A minimum of ten percent (10%) of homes in Planning Areas with minimum lot sizes 6,000 sf and less shall feature a single-story architectural element. Examples of single-story architectural elements include architectural projections, bay windows, porches, balconies, one-story living spaces, and/or a one-story garage element.

##### ii. Building Materials and Colors

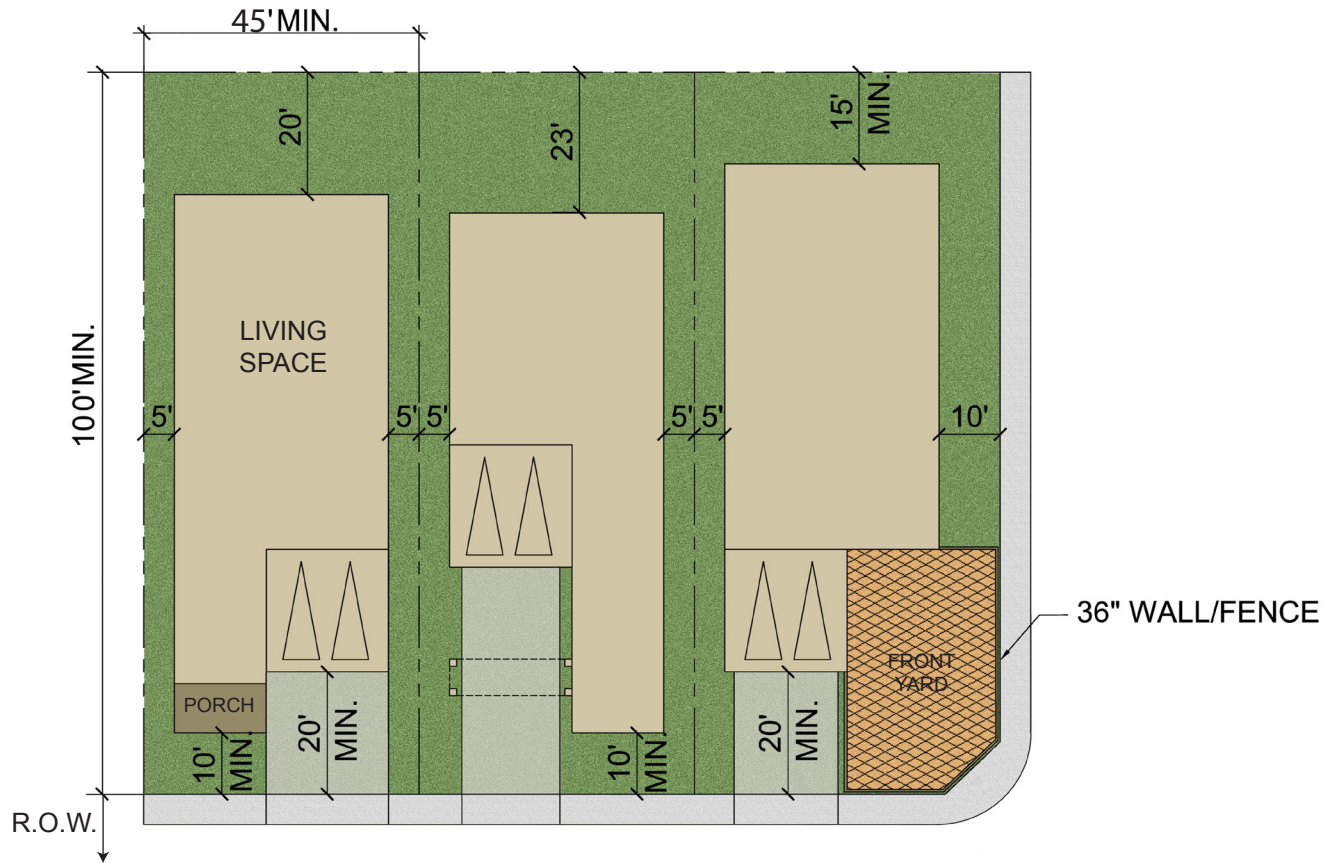
The use of building materials and colors plays a key role in developing community character and ambiance. The character and personality of a residential neighborhood is affected by the composition of the materials and the colors of the homes within it. Colors should be as authentic as possible when compared to the traditional color palette of the selected style; however, consideration must be given to selecting a variety of complementary color and material palettes along any given street.

- Homes with the same or very similar colors should be avoided on adjoining lots.
- A palette of color values on all exterior elements should be distinct from one house to the next, with various color tones and textures encouraged to promote variation. This avoids a monotonous appearance of multiple buildings of the same colors and tones.

##### iii. Porches, Front Yards, and Balconies

Front porches, front yards, and balconies create a visually-welcoming streetscene by breaking up large wall masses and reducing the scale of the house at the street and sidewalk edge. These outdoor living areas are neighborhood friendly.

- The use of front porches with a minimum usable width of six feet (6') is encouraged along residential streets to create a visually-welcoming and pedestrian-friendly streetscene. Wrap-around porches are encouraged on corner lots and may encroach into the street side yard setback a maximum of five feet (5').



#### LEGEND

	Residential Living Space
	Porch
	Garage
	Driveway
	Yard
	Front Yard
	Sidewalk

#### Residential Site Planning Standards - 5,000 Sq. Ft. Lots

Maximum Lot Coverage	
Lot Coverage	70%
Minimum Front Yard Setbacks <sup>1</sup>	
Living Space	10'
Garage	20'
Porches, Courtyards, Balconies	10'
Minimum Side Yard Setbacks <sup>1</sup>	
Street Side	10'
Interior Side	5'
Encroachments (fireplaces, media centers, AC units)	2'
Minimum Rear Yard Setbacks <sup>1</sup>	
Living Space	15' <sup>2</sup>
Covered Porches, Balconies, Decks	10'

Notes:

<sup>1</sup> Measured from property line or right-of-way to main structure.

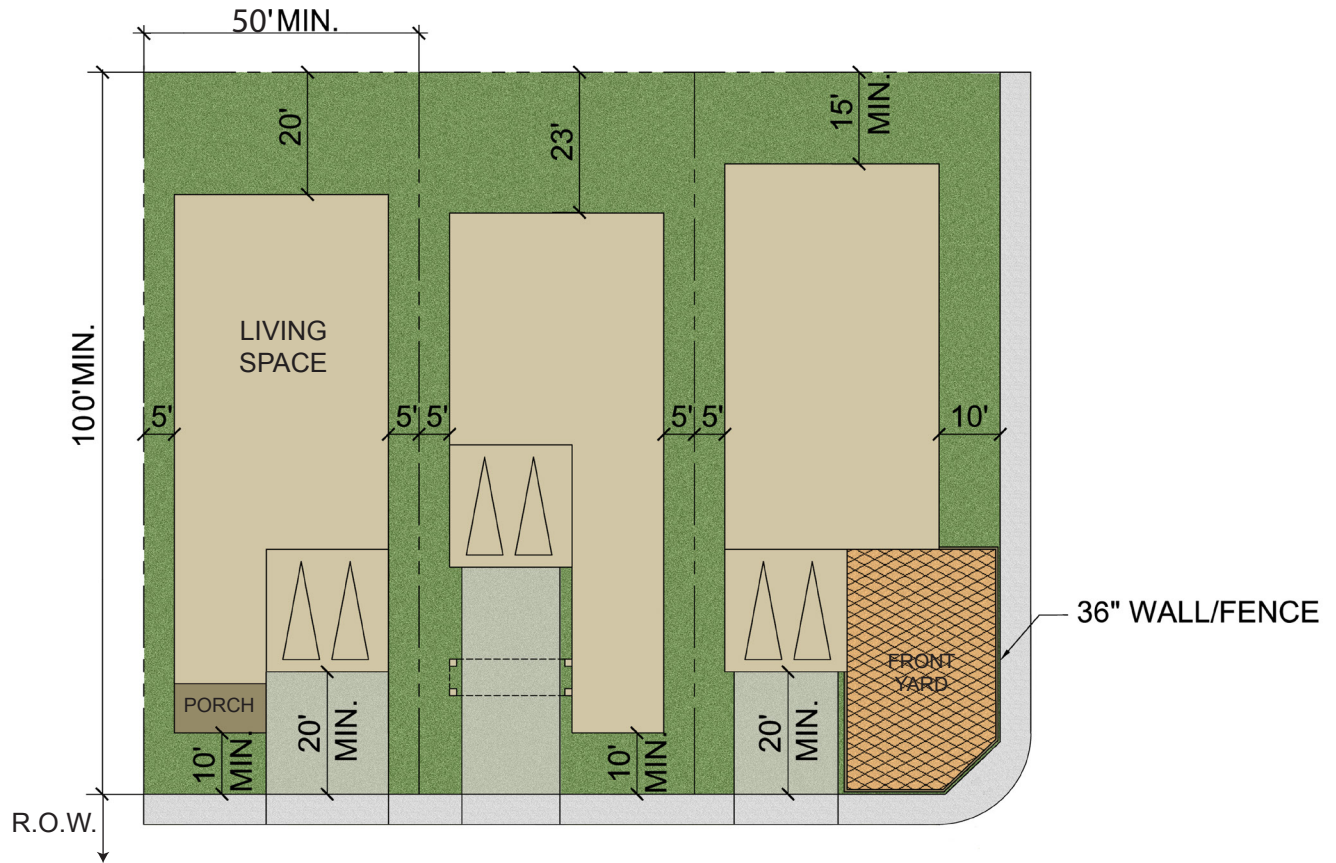
<sup>2</sup> If the front yard setback to living space is 10 feet, then the rear yard setback to living space shall be a minimum of 20 feet.

### 5,000 s.f. Lot Setback Standards

Figure IV-26A

# French Valley SP 312 A-2





#### LEGEND

	Residential Living Space
	Porch
	Garage
	Driveway
	Yard
	Front Yard
	Sidewalk

#### Residential Site Planning Standards - 5,500 Sq. Ft. Lots

Maximum Lot Coverage	
Lot Coverage	70%
Minimum Front Yard Setbacks <sup>1</sup>	
Living Space	10'
Garage	20'
Porches, Courtyards, Balconies	10'
Minimum Side Yard Setbacks <sup>1</sup>	
Street Side	10'
Interior Side	5'
Encroachments (fireplaces, media centers, AC units)	2'
Minimum Rear Yard Setbacks <sup>1</sup>	
Living Space	15' <sup>2</sup>
Covered Porches, Balconies, Decks	10'

Notes:

<sup>1</sup> Measured from property line or right-of-way to main structure.

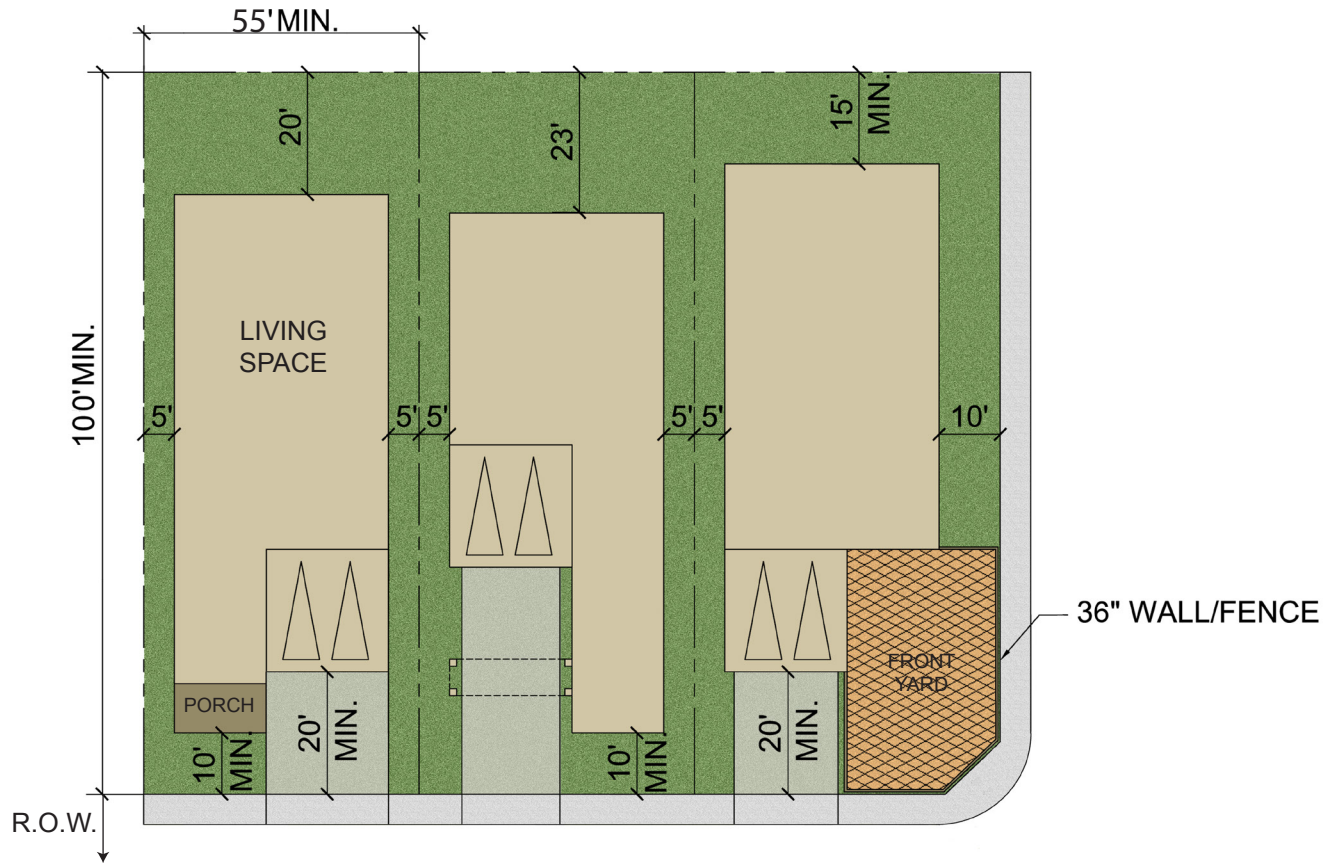
<sup>2</sup> If the front yard setback to living space is 10 feet, then the rear yard setback to living space shall be a minimum of 20 feet.

<sup>3</sup> Planning Area 19 to provide curb adjacent landscape parkway.

### 5,500 s.f. Lot Setback Standards

Figure IV-26B

# French Valley SP 312 A-2



#### LEGEND

	Residential Living Space
	Porch
	Garage
	Driveway
	Yard
	Front Yard
	Sidewalk

#### Residential Site Planning Standards - 6,000 Sq. Ft. Lots

Maximum Lot Coverage	
Lot Coverage	70%
Minimum Front Yard Setbacks <sup>1</sup>	
Living Space	10'
Garage	20'
Porches, Courtyards, Balconies	10'
Minimum Side Yard Setbacks <sup>1</sup>	
Street Side	10'
Interior Side	5'
Encroachments (fireplaces, media centers, AC units)	2'
Minimum Rear Yard Setbacks <sup>1</sup>	
Living Space	15' <sup>2</sup>
Covered Porches, Balconies, Decks	10'

#### Notes:

<sup>1</sup> Measured from property line or right-of-way to main structure.

<sup>2</sup> If the front yard setback to living space is 10 feet, then the rear yard setback to living space shall be a minimum of 20 feet.

### 6,000 s.f. Lot Setback Standards

Figure IV-26C

# French Valley SP 312 A-2

### Specific Plan No. 312

---

- Front yards may include hardscape elements, such as concrete areas, courtyards, pavers or other pervious materials that complement the home's architectural style and landscape treatment. Front yards are intended to provide outdoor living space; therefore, a wall/fence with a maximum height of three feet (3') may be provided to define the space.

#### iv. Garages and Driveways

To achieve an attractive streetscene, particular attention must be given to the design and placement of garages in these residential neighborhoods. Special consideration shall be made to minimize the impact of the garage on the residential streetscene.

- Garage door style, color and design shall reflect the architectural character of the home and should vary between adjacent homes, when appropriate. Acceptable garage door styles include, but are not limited to, raised panel, recessed panel, flush panel in both roll-up and carriage swing door designs. Acceptable garage door styles are presented on Figure IV-27, *Garage Treatments*.
- Architectural treatments, including but not limited to, trellises, corbels, and arches should be incorporated into the garage design to de-emphasize the garage and achieve an attractive streetscene (refer to Figure IV-28).
- Fifty percent (50%) of homes in Planning Areas 19, 24, 26, and 33 shall incorporate windows into the garage door design. Where provided, garage door window styles shall correspond to the window forms of the house (refer to Figure IV-29).
- Architectural features, such as varied rooflines (including height and pitch) and second story setbacks, shall be incorporated into the garage design to reduce building mass and scale and create a visually interesting streetscene, when appropriate for the selected architectural style (refer to Figure IV-28, *Garage Articulation*).
- Two-car garage configurations may be divided into one/one configurations with individual doors to provide visual variety along the streetscape (refer to Figure IV-29, *Garage Door – Plan View*).
- Driveways may include accent paving and a decorative, maintenance-free decorative strip, such as pavers, artificial grass or other pervious materials, as additional options to provide an enhanced streetscene (refer to Figure IV-30, *Enhanced Driveways*).

#### v. Windows

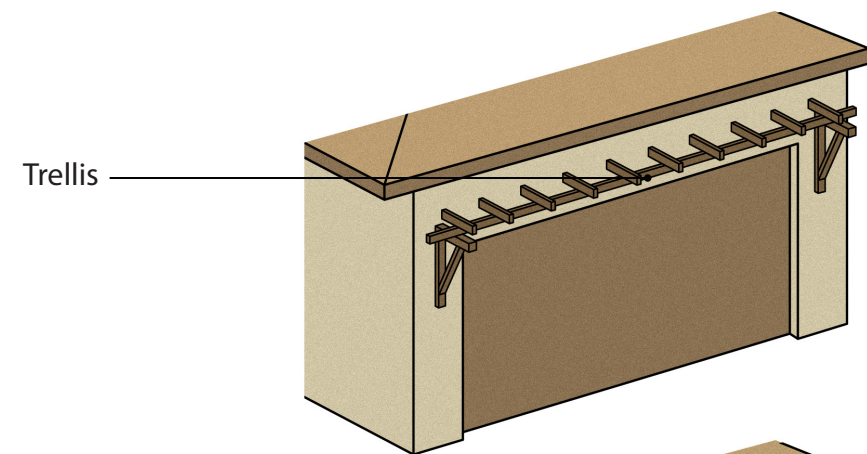
Windows are an important architectural element that complements and reinforces the chosen architectural style; however, special attention must be paid to the placement of windows to ensure residents' privacy.

- Windows on side facades of residential buildings shall not provide a direct, unobstructed view into the windows of adjacent residences.

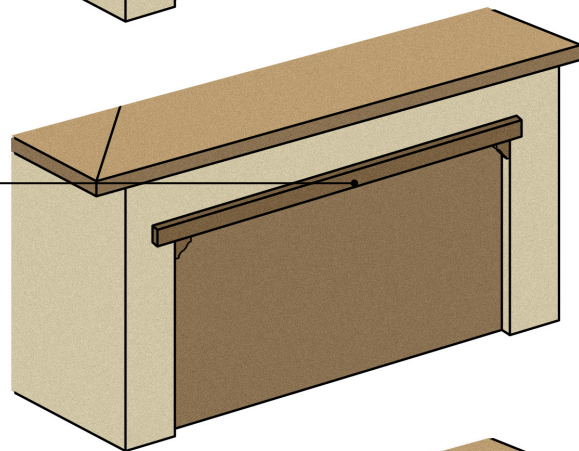
#### vi. Rear and Side Articulation

The design consideration and treatment of rear and side building facades of residential buildings, particularly those facing areas visible to the public, is an important element in the creation of an attractive streetscene.

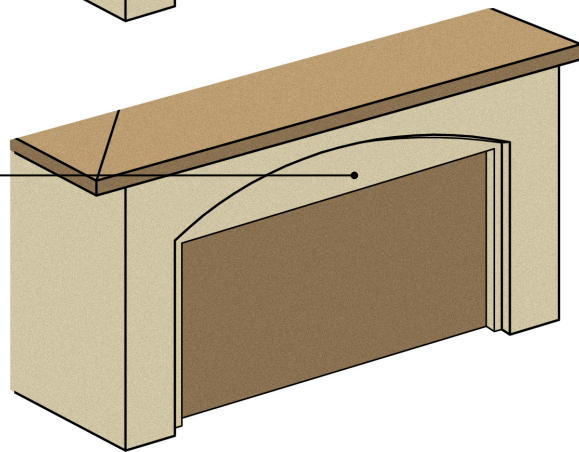




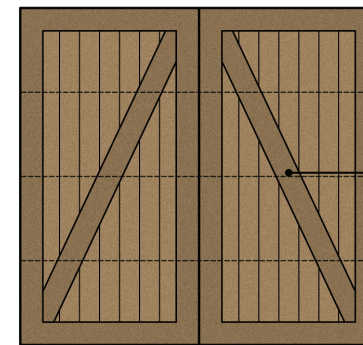
Trellis



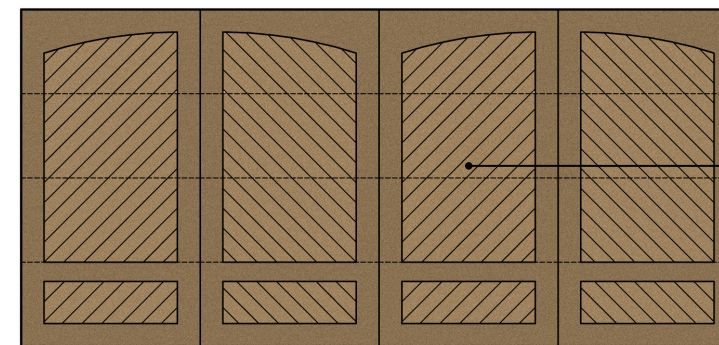
Corbels



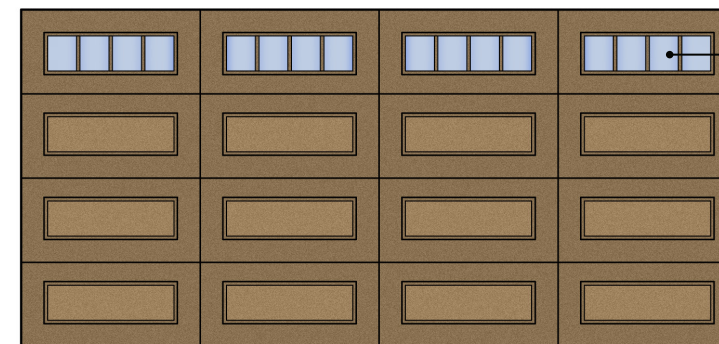
Arch



Carriage type doors  
appropriate to elevation style



Color appropriate  
to elevation styles

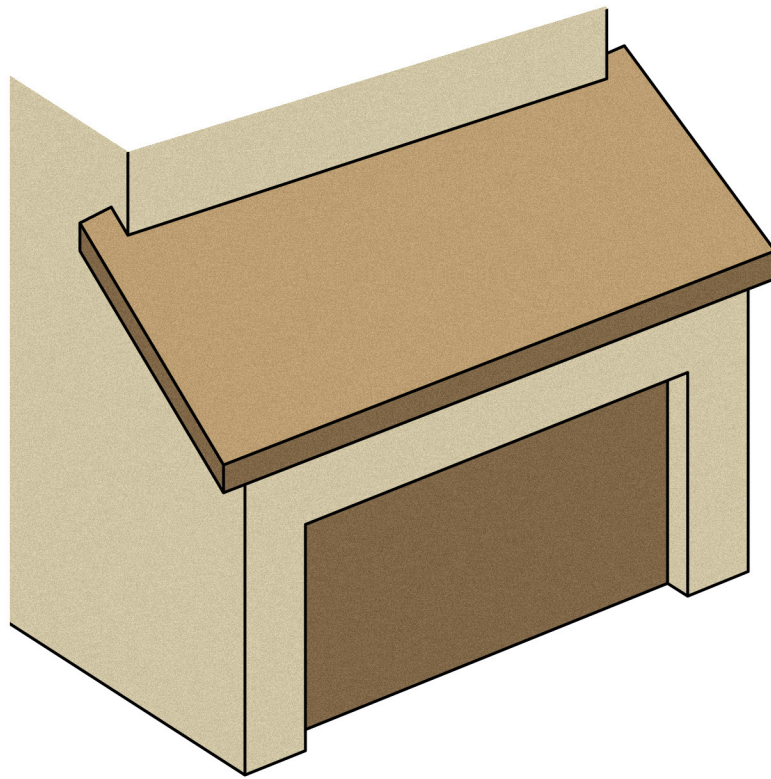


Windows appropriate  
to elevation styles

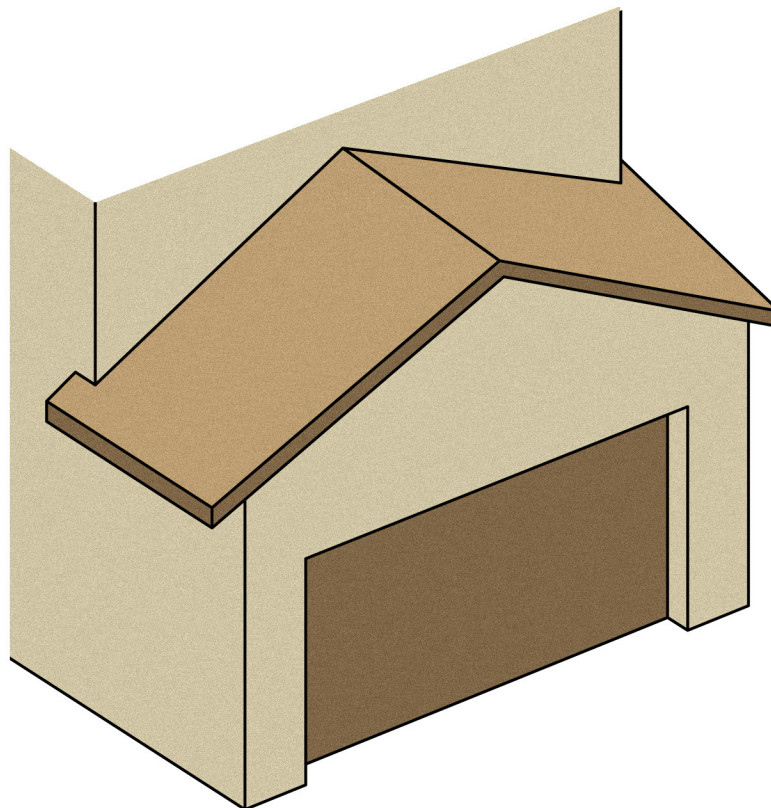
## Garage Treatments

Figure IV-27

# French Valley SP 312 A-2



Setback second floor



Single story roofline

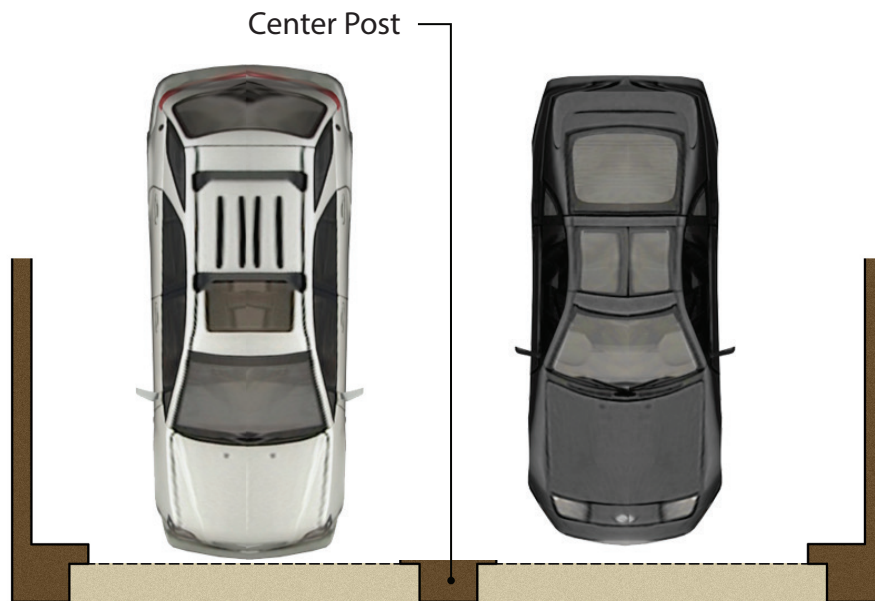
## Garage Articulation

Figure IV-28





One double-car garage door



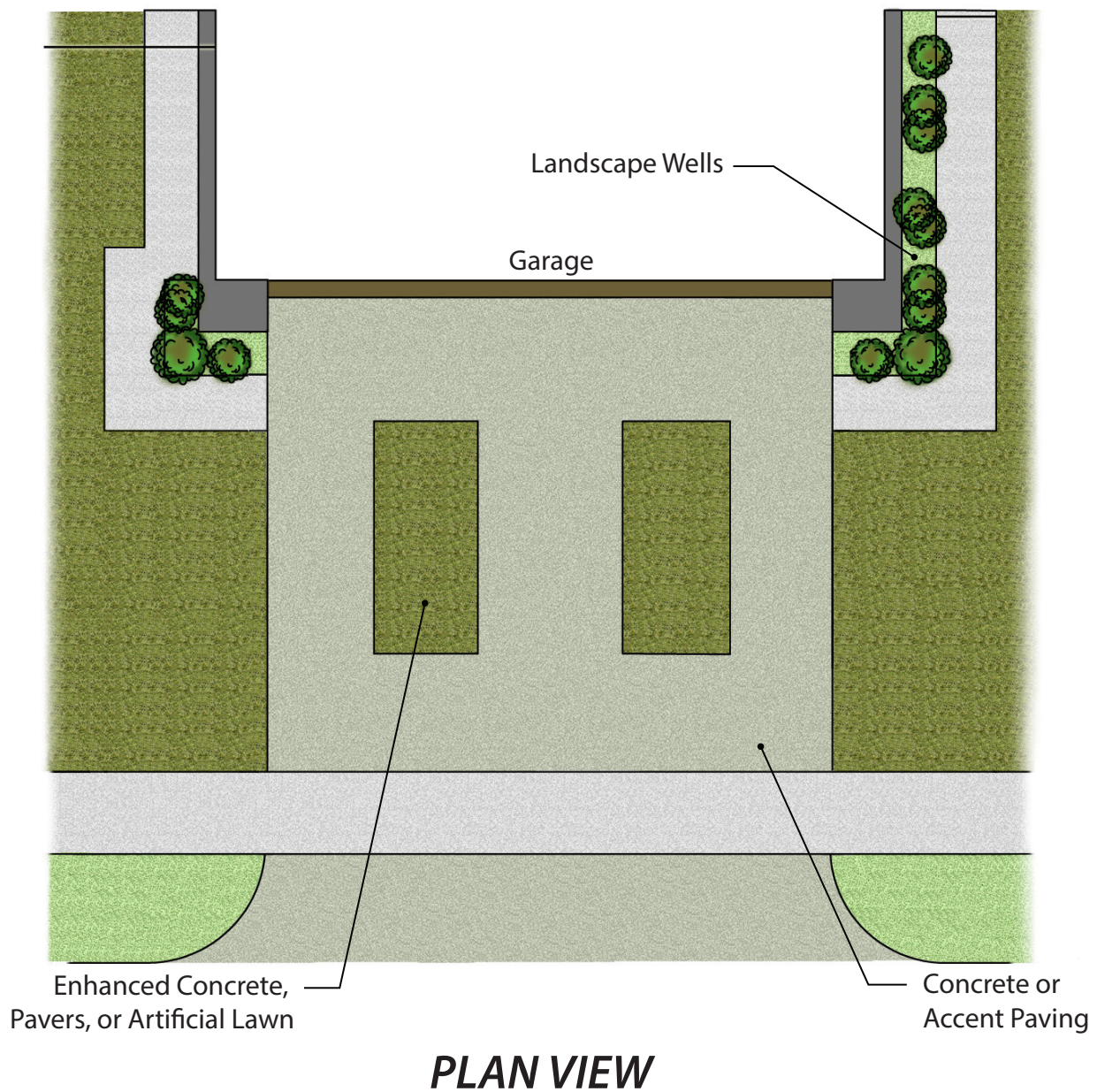
Two single-car garage doors

- Note - Three-car wide garages prohibited

## Garage Door - Plan View

Figure IV-29

# French Valley SP 312 A-2



## Enhanced Driveways

Figure IV-30

# French Valley SP 312 A-2

### Specific Plan No. 312

---

- Where rear or side facades of residential buildings are visible from public areas, buildings should avoid large expanses of flat wall planes and incorporate enhanced architectural features to improve the appearance of the streetscene. Examples of enhanced architectural features include, but are not limited to, color accents and tonal variations; window trim or shutters; rear balconies or wrap-around porches; and/or other design details and amenities as appropriate to the architectural style.

### 3. School/Education Criteria

The determination of the architectural design and site planning for school and educational buildings will be the responsibility of the Menifee Union School District which serve the FRENCH VALLEY Specific Plan community. Because school design will be the responsibility of the school district, no specific architectural design guidelines suggesting materials, finishes or colors are offered in this specific plan. However, it is encouraged that the school districts incorporate the character established by these guidelines when feasible. This plan offers several site planning guidelines which would reinforce the rustic atmosphere of FRENCH VALLEY Specific Plan by blending together the school site with adjacent neighborhood parks, detention areas, and greenbelts/drainages.

#### a. Site Planning Guidelines

- A school site plan should consider providing a campus setting which orients outdoor recreational open space adjacent to community greenbelts/drainages, detention basins, and neighborhood parks.
- The land use interfaces between schools and greenbelts/drainages, detention basins, or parks should provide implied rather than direct physical separation of those open spaces.
- Linkages between pedestrian circulation systems within school sites and parks, detention basins, or greenbelts/drainages should be encouraged.

### E. SITE GRADING

Site grading for FRENCH VALLEY shall be planned in a manner which attempts to retain as much of the topographical character of the project site as possible. The intent of the conceptual grading design is to create and retain views within and beyond the specific plan area. To control the appearance of grading improvements and to limit the potential for any visual impacts as a result of site grading, the following guidelines are recommended:

- Site grading shall be conducted in accordance with an overall master grading plan to avoid a “piecemeal” grading approach.
- Variable slope gradients and “landform” grading concepts shall be incorporated into the final grading plans.
- In general, long continuous “engineered” slopes with hard edges and no transition shall be avoided. In some areas, however, where manufactured slope banks occur between residential units and are not visible from public streets, slopes may be allowed to present a more engineered or geometric form.
- Where soil conditions permit, slope banks should use a combination of slope inclinations (2:1, 3:1, 1-1/2:1) to help create a more natural appearing transition in grades.
- Whenever possible, circulation elements such as roads, walkways, paths and trails shall respond to existing and manufactured topography conditions by meandering in long, graceful curves.
- Where manufactured slopes meet natural grades, slopes should be contour graded, blended, rounded and undulated, whenever feasible, allowing them to visually blend with existing grades.
- All manufactured slope banks shall be effectively revegetated to control the incidence of surficial soil erosion resulting from drainage run-off.
- See Section III.A-12, *Conceptual Grading Plan*, for related issues and development standards.

## F. OUTDOOR LIGHTING

All streets and improved open space areas in FRENCH VALLEY shall have uniform lighting standards with regard to style, materials and colors in order to ensure consistent design. Each residential enclave may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the project. Lighting fixtures shall be well integrated into the visual environment and the appropriate architectural theme. All lighting in the FRENCH VALLEY Specific Plan area shall comply with the following regulations and provisions:

All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property; low intensity, energy-conserving night lighting is preferred.

Outdoor lights, such as streetlights, spot lights, floodlights, and reflector lights, shall be of unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal-proof, yet should not look institutional.

- Neon and similar types of lighting are prohibited in all areas of the FRENCH VALLEY Specific Plan area.
- All exterior lighting design shall develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of streets and recreation areas. Entry areas (both pedestrian and vehicular). Schools, and recreation areas shall be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Parking lots, pedestrian walkways, and dwelling unit entrances shall be well lighted for security reasons.
- All exterior lights shall be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
- No freestanding lighting fixtures shall exceed 25 feet in height. In no case shall overwash occur beyond the property lines.
- All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility or shall be screened with appropriate plant materials, walls and/or fencing.
- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the County of Riverside and of the Mount Palomar Observatory.
- Outdoor lighting systems shall maximize energy conservation and shall provide sufficient nighttime illumination to provide for the safety and security of community residents.
- Within the French Valley Airport Safety Zone, any use that would direct a steady light or flashing light of red, white, green or amber color associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach landing at the French Valley Airport shall be prohibited. All or portions of Planning



---

### Specific Plan No. 312

Areas 1, 4, 6, 7, 9, 10 and 12 are located within the Extended Runway Centerline Zone (ERC). Planning Areas 1, 2A, 2B, 3A, 3B, 5, 6, 7, 8, 9, 10, 11, 16 and portions of Planning Areas 12, 13, 17A 17B, 18A, 18B and 19 are located in the Traffic Pattern Zone (TPZ) of the French Valley Airport.

## G. LANDSCAPE PLANTING GUIDELINES

The following sections detail guideline which should be followed in the installation and maintenance of public landscaped areas (streetscapes, parks, detention basins, and greenbelts/drainages) within the specific plan area.

### 1. General Planting Guidelines

The following sections provide information on general standards which should be followed in the design and installation of project landscaping.

#### a. General Landscape Objectives

The objectives of the landscaped areas within the FRENCH VALLEY Specific Plan are to provide a unified design concept and treatment consistent with the overall design theme, to provide identity for the various portions of the Specific Plan area, and to provide active and passive recreational opportunities.

To achieve these objectives, the following criteria shall be followed:

- Landscaping shall complement the overall design theme through the careful use of flower and leaf color and texture, plant forms and plant masses.
- A simplified palette of plant materials which complements the overall project theme of the landscape shall be used. The use of many unrelated plant varieties shall be avoided in favor of broad plant masses and consistency of landscape character.
- Grouped masses of plant materials shall be designed to complement architectural elevations and roof lines through color, texture, density and form on both the vertical and horizontal planes.
- The spacing of the plant material shall be commensurate with anticipated mature growth in order to promote natural forms without the need for excessive future pruning and maintenance.
- All plant material selected for use shall be of a type known to have been successful in the area or in similar climatic and soil conditions.
- Plant materials known to have invasive or destructive root systems shall be avoided. Plants known to produce excessive litter or pose dangers due to falling limbs shall also be avoided.
- Mulch shall be used wherever appropriate to conserve water.
- Landscaping shall be designed to enhance existing views or provide new view corridor opportunities of open space areas, major land forms, and other visual amenities within the project and vicinity.
- Landscaping shall be used to screen utility enclosures or utility cabinets from view from major streets.

### Specific Plan No. 312

---

- Plant materials selected for the open space/drainage area shall be non-invasive, native vegetation types.

#### b. Landscape Planting

Because of the climate extremes in the Rancho California area, the installation of plant materials during the coldest winter months (December through March) or the hottest summer/fall months (July through September) should be avoided. If planting must be done during these periods, plant establishment may be difficult, and may require a prolonged period of time. In all installation, the use of plant materials acclimated to the Rancho California area should be encouraged.

#### 2. Landscape Irrigation

All landscaped areas within the FRENCH VALLEY Specific Plan area shall be provided with a complete, automatic irrigation system. The system must conform to all requirements of the County of Riverside, and preliminary landscape plans including irrigation systems will be required to be submitted at the tentative map stage.

Irrigation systems for landscape development of single family residential projects shall provide uniform water coverage. Irrigation system design shall provide precipitation rates that avoid saturated soil conditions, cause surficial erosion or discharge excessive amounts of run-off water into public or private streets or adjacent properties.

For parking areas, a low precipitation system will be designed to provide deep watering in all parkway areas where ground cover, shrubs and trees are planned. All irrigation systems will be controlled by an automatic irrigation dual-program controller.

The following general irrigation concepts and site conditions shall be considered in the design and installation of irrigation systems:

- All irrigation systems (with the exception of drip systems) shall be designed with head-to-head 100 percent (100%) double coverage at a minimum time setting of one (1) minute, and be capable of providing multiple repeat and start times.
- Pop-up orientation type sprinkler heads shall be used adjacent to all walks, drives, curbs, parking areas and public right-of-way to avoid breakage and reduce maintenance costs.
- Irrigation sprinkler heads used to water 2:1 slopes shall have application rates which reduce the amount of runoff and shall be of a type, such as stream rotors, which do not apply water in a fixed, steady stream.
- Backflow protection devices shall be installed on all irrigation systems which are connected to a potable water system.
- The design of irrigation systems, particularly the location of controller boxes, valves, and other above-ground equipment, shall be incorporated in the design of overall landscaping. Where above-ground equipment is provided, it shall be screened or otherwise removed from public view to the extent possible.

### Specific Plan No. 312

---

- Sprinklers with proper nozzles shall be selected to provide water to the landscape that is compatible with their respective soils. If soil information is not available, utilize low precipitation sprinklers and program controller to minimize runoff.
- Sprinkler systems shall be separated according to the following criteria:
  - Top, toe and center of slope.
  - Contour along slope, when possible.
  - NE-SW exposures shall generally be on separate circuits.
  - Separation of turn from ground cover and shrub areas.
  - Radical soil differences.
  - Separation of high points from low points (and drainage swales) in general landscaped areas.
  - Separation of slopes from general landscaped areas (slopes are considered steeper than 3:1).
  - The landscape sprinkler irrigation system shall be designed to meet the peak moisture demand of all plant materials used within all landscaped areas.
  - Systems shall be designed considering a 5-10 MPH wind velocity.
  - All systems shall be designed to guarantee no greater than 20% operating pressure differential and no less than the manufacturer's recommendation.
  - Maximum flow velocity through pipes shall be five feet (5') per second.

### **3. Maintenance**

All landscaped public and common areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Regular maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, weeding, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be done on a routine basis. Automatic irrigation systems shall be routinely inspected and repaired and maintained in peak operating condition at all times. All common areas and areas open to the public, including sidewalks, parking areas and service areas, shall be kept routinely free of litter and debris.

### **4. Horticultural Soils Test**

Soil characteristics within the project may be variable. Prior to landscape development, a horticultural soils report shall be completed in order to determine proper planting and maintenance requirements for proposed plant materials. This soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-plant and post-planting recommendations. Special attention should be paid to those area requiring slope stabilizations and erosion control.

### 5. Suggested Plant Palette

The following plant palette was developed to include a variety of plant materials which are compatible with the Rancho California area climate, reflect the overall “California Ranch” theme of the FRENCH VALLEY Specific Plan, and provide opportunities for decreased water consumption.

With some exceptions, all plant materials listed below are appropriate for use throughout the project site; plants inappropriate for use in various situations are listed after the plant palette.

As noted in the *Project-Wide Plant Palette*, the majority of plants proposed for use within the FRENCH VALLEY Specific Plan are “drought tolerant.” For the purposes of this Specific Plan, “drought tolerant” refers to plants which are able to thrive on less water than is typically applied to more traditional plants. Some drought tolerant plants indicated below will become drought tolerant once established and may require conventional levels of irrigation during early phases of growth; others will require lower levels of irrigation throughout their lifetimes.

#### a. Plants Inappropriate for Use in Residential Areas

*Schinus molle* (California Pepper) shall not be used in turf areas.

#### b. Plants Inappropriate for Use in Parks, School Site or School Interface Landscaping

The following plants shall not be used in public parks or school site landscaping, due to poisonous leaves, stems, seeds and other parts:

*Gelsemium sempervirens* (Carolina Jessamine)

*Nerium oleander* (Oleander species)

*Pittosporum species* (Mock Orange)

This list is not comprehensive; the use of any plants with poisonous parts, thorns or other potentially dangerous or harmful characteristics shall be avoided in or adjacent to parks and school areas.

#### c. Plants Appropriate for Use as Barrier Planting

As shown in the interface exhibits, the use of barrier plants is proposed where residential areas require physical screening as well as visual buffering. “Barrier plants” include species which are capable of preventing or discouraging unwanted entry, either by their dense growth or by thorns or serrated foliage. A wide variety of barrier plants is available; the following is a selection of some appropriate species:

*Thorny Stems or Leaves:*

*Berberis* (Barberry)

*Pyracantha* (Firethorn)

*Rosa var.* (Rose)



**Table IV-1 PROJECT-WIDE PLANT PALETTE**

Location and Botanical Name	Common Name	Use
<u>Major Community Entry</u>		
<i>Platanus acerifolia</i>	London Plane Tree	Background tree
<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	Background tree
<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	Background tree
<i>Schinus molle</i>	California Pepper*	Focal tree
<i>Agapanthus</i> 'Peter Pan'	Lily of the Nile	Accent shrub
<i>Elaeagnus pungens</i>	Silverberry	Accent shrub
<i>Salvia</i> 'Furman's Red'	Furman's Red Sage	Accent shrub
<i>Salvia leucophylla</i>	Purple Sage*	Accent shrub
<i>Salvia microphylla</i>	Red Summer Sage	Accent shrub
<i>Distictus buccinatoria</i>	Blood-red Trumpet Vine	Vine
<i>Raphiolepis indica</i>	Indian Hawthorne	Med. foreground shrub
<i>Viburnum tinus</i>	Laurustinus*	Backdrop shrub
<i>Vinca minor</i>	Dwarf periwinkle*	Ground cover
<i>Acacia</i> 'Desert Carpet'	Desert Carpet Acacia	Ground cover
<u>Neighborhood Entry</u>		
<i>Platanus acerifolia</i>	London Plane Tree	Background tree
<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	Background tree
<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	Background tree
<i>Schinus molle</i>	California Pepper*	Focal tree
<i>Distictus buccinatoria</i>	Blood-red Trumpet Vine	Vine
<i>Viburnum tinus</i>	Laurustinus*	Backdrop shrub
<i>Vinca Minor</i>	Dwarf Periwinkle	Ground cover
<i>Acacia</i> 'Desert Carpet'	Desert Carpet Acacia	Ground cover
<i>Elaeagnus pungens</i>	Silverberry	Accent shrub
<i>Salvia</i> 'Furman's Red'	Furman's Red Sage	Accent shrub
<i>Salvia leucophylla</i>	Purple Sage*	Accent shrub
<i>Salvia microphylla</i>	Red Summer Sage	Accent shrub
<u>Special Project Entry</u>		
<i>Prunus cerasifera</i> 'Atropurpurea'	Purple Leaf Plum	Accent tree
<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	Background tree
<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	Background tree
<i>Viburnum tinus</i>	Laurustinus*	Backdrop shrub
<i>Vinca minor</i>	Dwarf Periwinkle*	Ground cover
<i>Acacia</i> 'Desert Carpet'	Desert Carpet Acacia	Ground cover
<i>Elaeagnus pungens</i>	Silverberry	Accent shrub
<i>Salvia</i> 'Furman's Red'	Furman's Red Sage	Accent shrub
<i>Salvia leucophylla</i>	Purple Sage*	Accent shrub
<i>Salvia microphylla</i>	Red Summer Sage	Accent shrub

## Specific Plan No. 312

Location and Botanical Name	Common Name	Use
<u>Major Highway Streetscape</u> ( <i>Leon Road and Briggs Road</i> )		
<i>Alnus rhombifolia</i>	White Alder	Parkway tree
<i>Pinus eldarica</i>	Mondell pine*	Tall background tree
<i>Fraxinus 'Majestic Beauty'</i>	Majestic Beauty Ash	Background tree
<i>Fraxinus oxycarpa 'Raywood'</i>	Raywood Ash	Background tree
<i>Podocarpus gracilior</i>	Fern Pine	Background tree
<i>Pyrus calleryana 'Bradford'</i>	Bradford Pear	Background Tree
<i>Magnolia grandiflora</i>	Southern Magnolia*	Accent tree
<i>Conicera japonica 'Halliana'</i>	Halls Honeysuckle	Ground cover
<i>Doxantha unguis cati</i>	Yellow Trumpet Vine	Vine
<i>Nandina domestica 'Compacta'</i>	Heavenly Bamboo*	Medium foreground shrub
<i>Viburnum tinus</i>	Laurustinus*	Tall backdrop shrub
<i>Baccharis pilularis sp.</i>	Coyote brush*	Accent shrub
<u>Secondary Highway</u> ( <i>Spencer's Crossing Parkway, Baxter, and Keller Roads</i> )		
<i>Pyrus calleryana 'Aristocrat'</i>	Ornamental Pear*	Parkway tree
<i>Pinus eldarica</i>	Mondell Pine*	Tall background tree
<i>Fraxinus 'Majestic Beauty'</i>	Majestic Beauty Ash	Background tree
<i>Fraxinus oxycarpa 'Raywood'</i>	Raywood Ash	Background tree
<i>Podocarpus gracilior</i>	Fern Pine	Background tree
<i>Pyrus calleryana 'Bradford'</i>	Bradford Pear	Background tree
<i>Magnolia grandiflora</i>	Southern Magnolia*	Accent tree
<i>Hedera helix 'Needlepoint'</i>	English Ivy*	Ground cover
<i>Parthenocissus tricuspidata</i>	Boston Ivy*	Vine
<i>Pittosporum tobira 'Wheeleri'</i>	Wheeler's Dwarf Tobira*	Med. foreground shrub
<i>Tulbaghia violacea</i>	Society Garlic	Accent shrub
<i>Xylosma congestum</i>	Xylosma*	Backdrop shrub
<i>Baccharis pilularis sp.</i>	Coyote brush*	Accent shrub
<u>Collector Highway</u> ("A" Street and "B" Street)		
<i>Liquidambar styraciflua 'Palo Alto'</i>	Sweet Gum	Parkway tree*
<i>Pyrus calleryana 'Aristocrate'</i>	Ornamental Pear*	Parkway tree**
<i>Pinus eldarica</i>	Mondell Pine*	Tall background tree
<i>Fraxinus 'Majestic Beauty'</i>	Majestic Beauty Ash	Background tree
<i>Fraxinus oxycarpa 'Raywood'</i>	Raywood Ash	Background tree
<i>Podocarpus gracilior</i>	Fern Pine	Background tree
<i>Pyrus calleryana 'Bradford'</i>	Bradford Pear	Background tree
<i>Lagerstroemia indica</i>	Crape Myrtle*	Accent tree
<i>Hedera helix 'Needlepoint'</i>	English ivy*	Ground cover
<i>Parthenocissus tricuspidata</i>	Boston Ivy*	Vine
<i>Pittosporum tobira 'Wheeleri'</i>	Wheeler's Dwarf Tobira	Med. foreground shrub
<i>Tulbaghia violacea</i>	Society Garlic	Accent shrub
<i>Xylosma congestum</i>	Xylosma*	Backdrop shrub

Location and Botanical Name	Common Name	Use
<i>Baccharis pilularis</i> sp.	Coyote brush*	Accent shrub
<u>Local Street, Greenbelt/Drainage and Park</u>		
<i>Alnus rhombifolia</i>	White Alder	Parks/Greenbelt
<i>Eucalyptus viminalis</i>	Manna Gum*	Parks/Greenbelt
<i>Geijera parviflora</i>	Australian Willow*	Parks/Greenbelt
<i>Ginko biloba</i>	Maidenhair Tree	Parks/Greenbelt
<i>Pinus eldarica</i>	Mondel Pine	Parks/Greenbelt
<i>Pistacia chinensis</i>	Chinese Pistache*	Parks/Greenbelt
<i>Platanus acerifolia</i>	London Plane Tree*	Parks/Greenbelt
<i>Tipuana tipu</i>	Tipu Tree*	Parks/Greenbelt
<i>Chamaerops humilis</i>	Medium Fan Palm	Private Recreation
<i>Chilopsis linearis</i> 'Arts Seedless'	Desert Willow*	Private Recreation
<i>Fraxinus</i> 'Majestic Beauty'	Majestic Beauty Ash	Parks/Greenbelt
<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash	Parks/Greenbelt
<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive	Private Recreation
<i>Phoenix dactylifera</i>	Date Palm	Private Recreation
<i>Podocarpus gracilior</i>	Fern Pine	Parks/Greenbelt
<i>Prosopis</i> 'Phoenix'	Phoenix Mesquite	Private Recreation
<i>Pyrus calleryana</i> 'Bradford'	Bradford Pear	Parks/Local Street
<i>Salix laevigata</i>	Red Willow*	Detention Areas
<i>Salix</i> spp. (So Cal Native Spp.)	Willow*	Detention Areas
<i>Sambucus Mexicana</i>	Mexican Elderberry*	Paseo/Detention Areas
<i>Acacia</i> 'Desert Carpet'	Desert Carpet Acacia	Parks
<i>Anemopsis californica</i>	Yerba Mansa*	Detention Areas
<i>Baccharis centennial</i> 'Starn'	Baccharis Starn	Paseo/Private Recreation
<i>Baccharis emory</i>	Emory's Bachharis	Detention Areas
<i>Baccharis pilularis</i> sp.	Coyote Brush	Private Recreation
<i>Carex spissa</i>	San Diego Sedge	Detention Areas
<i>Eleocharis montevidensis</i>	Spike Rush*	Detention Areas
<i>Eremophila hygrophana</i>	Blue Bells	Paseo
<i>Juncus patens</i>	Common Rush*	Detention Areas
<i>Justicia californica</i>	Chuparosa*	Paseo/Private Recreation
<i>Rhus integrifolia</i>	Lemonade Berry*	Paseo/Private Recreation
<i>Rosa californica</i>	California Wild Rose*	Paseo/Detention
<i>Salvia</i> 'Furman's Red'	Furman's Red Sage	Private Recreation
<i>Salvia leucophylla</i>	Purple Sage	Private Recreation
<i>Simmondsia chinensis</i>	Jojoba*	Paseo
<i>Aristida purpurea</i>	Purple Three Awn*	Paseo
<i>Artemisia douglasiana</i>	Douglas Mugwort*	Paseo/Detention Basin
<i>Eschscholzia californica</i>	California Poppy*	Paseo
<i>Leymus triticoides</i>	Creeping Wild Rye*	Paseo/Detention Basin
<i>Lotus scoparius</i>	Deer Weed*	Paseo
<i>Lupinus</i> spp.	Lupine*	Paseo
<i>Nassella cernua</i>	Nodding Needlegrass*	Paseo

## Specific Plan No. 312

Location and Botanical Name	Common Name	Use
<i>Nassella lepida</i>	Foothill Needlegrass*	Paseo
<i>Nassella pulchra</i>	Purple Needlegrass*	Paseo
<i>Sisyrinchium bellum</i>	Blue-Eyed Grass*	Paseo/Detention Basin
<u>Accent Trees</u>		
<i>Cercidium microphyllum</i>	Palo Alto*	All trees in this category can be used in a variety of situations.
<i>Cercis canadensi</i>	Redbud*	
<i>Prunus cerasifera</i> 'Auto purpurea'	Purple Leaf Plum*	
<i>Pyrus calleryana</i>	Ornamental Pear	
<i>Albizia julibrissin</i>	Silk Tree	
<i>Cercidium</i> 'Desert Museum'	Desert Museum Palo Verde	
<i>Geijera parviflora</i>	Australian Willow	
<i>Lagerstroemia faurei x indica cultivars</i>	Crape Myrtle	
<i>Pinus eldarica</i>	Afghan Pine	
<i>Pistacia chinensis</i>	Chinese Pistache	
<i>Platanus acerifolia</i> 'Columbia'	Columbia London Plane	
<i>Plantanus racemosa</i>	California Sycamore*	
<i>Prunus species</i>	Flowing Plum	
<i>Quercus agrifolia</i>	Coast Live Oak*	
<i>Quercus engelmannii</i>	Engelman Oak*	
<i>Quercus virginiana</i> 'Cathedral'	Cathedral Oak	
<i>Rhus lancea</i>	African Sumac	
<i>Ulmus parvifolia</i> 'Drake'	Chinese Evergreen Elm	
<u>Accent Shrubs/Ground Cover</u>		
<i>Calamagrostis acutiflora</i>	Feather Reed Grass	All shrubs/ground cover in this category can be used in a variety of situations.
<i>Callistemon</i> 'Little John'	Little John Bottlebrush	
<i>Deschampsia cespitosa</i>	Tufted Hair Grass*	
<i>Dietes bicolor</i>	Fortnight Lily	
<i>Hesperaloe parviflora</i>	Red Yucca	
<i>Heteromeles arbutifolia</i>	Toyon*	
<i>Juniper wiltonii</i>	Blue Rug Juniper	
<i>Leucophyllum</i> 'frutescens'	Texas Ranger	
<i>Muhlenbergia capillaris</i> 'Regal Mist'	Regal Mist Muhly	
<i>Muhlenbergia rigens</i>	Deer Grass*	
<i>Olea europaea</i> 'Little Ollie'	Little Ollie	
<i>Pennisetum</i> 'Eaton Canyon'	Eaton Canyon Fountain Grass	
<i>Pennisetum</i> 'Fairy Tails'	FT Fountain Grass	
<i>Rosa</i> 'Flower Carpet'	Flower Carpet Rose	
<i>Rosmarinus prostrates</i>	Prostrate Rosemary	
<i>Simmondsia chinensis</i> 'Vista"	Compact jojoba	

Asterisk (\*) indicates drought-tolerant species.

Dense Foliage:

### Specific Plan No. 312

---

*Ableia grandiflora* (Glossy Abelia)  
*Dodonea viscosa* (Hopseed Bush)  
*Euonymus japonica* (Evergreen Euonymus)  
*Osmanthus fragrans* (Sweet Olive)  
*Photinia* sp. (Photinia)  
*Prunus lyonii* (Catalina Cherry)  
*Xylosma congestum* (No Common Name)  
*Chilopsis linearis* 'Arts Seedless' (Desert Willow)  
*Fraxinus* 'Majestic Beauty' (Majestic Beauty Ash)  
*Fraxinus oxycarpa* 'Raywood' (Raywood Ash)  
*Geijera parviflora* (Australian Willow)  
*Pinus eldarica* (Afghan Pine)  
*Pistacia chinensis*  
*Prunus species* (Flowing Plum)  
*Quercus agrifolia* (Coast Live Oak)  
*Quercus engelmannii* (Engelman Oak)  
*Quercus virginiana* 'Cathedral' (Cathedral Oak)  
*Rhus lancea* (African Sumac)  
*Acacia* 'Desert Carpet' (Desert Carpet Acacia)  
*Baccharis centennial* 'Starn' (Baccharis Starn)  
*Baccharis pilularis* sp (Coyote Brush)  
*Elaeagnus pungens* (Silverberry)  
*Heteromeles arbutifolia* (Toyon)  
*Justicia californica* (Chuprosa)  
*Muhlenbergia capillaris* 'Regal Mist' (Regal Mist Muhly)  
*Muhlenbergia rigens* (Deer Grass)  
*Olea europaea* 'Little Ollie' (Little Ollie)  
*Rhus integrifolia* (Lemonade Berry)  
*Simmondsia chinensis* (Jojoba)  
*Simmondsia chinensis* 'Vista' (Compact Jojoba)

These species represent a sampling of barrier plants which are acclimated to the climate of the Rancho California area. Others are also available and may be suggested by the Landscape Architect preparing plans for individual portions of the project. In general, barrier plants should be attractive as well as functional; unattractive, thorny plants, for instance, should not be used.