

## H. Grading

The following outlines guidelines for the grading of the Domenigoni-Barton Properties.

- a. Grading practices are intended to respect, preserve, or maintain the major natural features of the project area by minimizing grading on slopes, ridges, and canyons where applicable. Contour grading techniques should be utilized, wherever possible.
- b. A balance between cut and fill within the total community should be maintained. Any excess earth should be utilized on-site.
- c. All grading and drainage system plans would be prepared under the direction of a licensed Civil Engineer.
- d. Variation and undulation of the slopes should be utilized where possible to retain

- e. Slopes that are created over 30 feet (30') in vertical height should be treated with special aesthetic techniques to reduce visual impact. These techniques may include variable gradients, clustered landscaping, and rounded edges of slopes.
- f. Existing dominant landforms should be incorporated into the design of the Domenigoni Ranch through the use of sensitive grading plans.
- g. Existing landforms may be contoured, as necessary, to provide a smooth and gradual transition to the graded slopes, while preserving the site's basic form.
- h. Grading should emphasize and accentuate scenic vistas and natural landforms, where possible.
- i. Recontoured slopes adjacent to roadways and development areas should be graded in such away that a natural undulating appearance is created (varied slopes).
- j. A manufactured appearance to slopes should be avoided by creating smooth flowing contours of varying gradients, preferably with slopes of 2:1 to 5:1. Sharp cuts and fills and long linear slopes that have uniform grades should be avoided, where possible.

## I. Landscape Concept

Together with the open space plan, the landscape concept for the Domenigoni-Barton Properties is a central element in the

establishment of the overall community identity. The landscape concept for the Domenigoni-Barton Properties is to create an environment that derives its character from the Southern California landscape. This landscape is one which emphasizes rustic landscape qualities, recognizes the native landscape, and utilizes more formal accent and focal plantings within development areas to create an interesting and vibrant landscape. The landscape concept transcends all individual parcel boundaries and unifies the community "edges" comprised of areas along roadways, areas adjacent to schools and parks, mixed use/commercial enclaves, undisturbed open space, trails, the Central Paseo, and residential neighborhoods.

The landscape concept is intended to provide a common thread through the community which: (1) links the improved portions of the project area together; (2) focuses attention on key project amenities and identifies community activity areas; and (3) distinguishes developed areas and residential neighborhoods from natural areas. The purpose is to establish a unified landscape framework that provides continuity throughout the project area and integrates elements representative of the surrounding natural environment. The concept has been developed to present a memorable image for the Domenigoni-Barton Properties project and highlight important places and junctures within the community. The landscape concept should foster the following key objectives:

- The form and composition of the landscape materials should direct and guide the resident and visitor to the development, screen sensitive views,

and frame or create focal points and views as the motorist, pedestrian or bicyclist moves through and around the project.

- The Domenigoni-Barton Properties project should create a landscape theme that is in harmony with the surrounding natural environment, appears lush and green, provides shade, includes the use of ground covers or turf in limited quantities, and which supports architectural and site planning concepts.
- The landscape is intended as a tool to work in association with the architectural guidelines and grading concept to create screens and buffers where needed, articulate focal points, and maintain views where the opportunity exists.
- The landscape should serve to augment sound attenuation efforts made with the landform or hardscape elements.
- Plant material selection for streetscapes, entry areas and development areas should be limited to those plants listed in the recommended plant palette.
- The base plant materials used to form the landscape framework should be permanent in nature and "long lived", accented by flowering annuals and perennials with seasonal characteristics.

- Landscape elements within non-residential front building setbacks visible from the public right-of-way should blend with street edge landscaping.
- All common landscaped areas shall be designed with the objective of reducing long term water use. Native and drought tolerant plant materials, augmented by water efficient irrigation practices shall be used where applicable. Water efficient landscaping shall be encouraged in the "rough" and peripheral areas of the golf course.
- Use of recycled water and Domenigoni Basin groundwater to supply water demands is encouraged.

The landscape concept provides criteria for the application of landscape materials to define major project roadway right-of-way and easements, the internal circulation system, development edges, major community entries, individual project entries and specialized intersections.

## 1. General Criteria

- Landscaping plans shall be prepared by a landscape architect registered to practice in the State of California;
- Landscape should contrast rather than blend with the natural areas through placement and clustering of plant materials, although use of native and native compatible plant materials is encouraged;
- Concentrate landscape resources in those areas receiving the most intense human use, such as parks, golf course, mixed-use/commercial recreation/entertainment enclaves, streetscapes, active parks, and project entries;
- In various areas, such as active parks, golf course, project entries, and mixed use/commercial enclaves, shrub planting may take on a more manicured appearance, while still retaining the characteristics of the overall planting theme;
- Ornamental non-native plant materials must be carefully chosen and sited to prevent invasion into adjacent areas. Limit use of exotic species which are not in context with the historic California theme and which may require extensive maintenance;
- Utilize native plant materials and drought tolerant plant materials, as well as non-native species with low water usage characteristics which are adaptable to hot, dry climates such as applicable;
- Retain expanses of rock outcroppings wherever practicable to provide a strong character to the streetscapes and community entries/focal points;
- Landscape areas will be designed with the objective of reducing long-term water use. Plants shall be chosen,

where appropriate, that can be gradually weaned from water as they mature, so that eventually, water use may be significantly reduced;

- Turf areas shall be concentrated in the potential golf course, parks, detention basins, streetscapes and certain manicured and/ or ornamental locations at entries or other centers of activity;
- Avoid use of trees which drop excessive fruit, flowers or other staining materials adjacent to streets, and avoid use of trees and shrubs with thorns in parks and other active areas, as well as plants with poisonous characteristics;
- Trees and shrubs shall be planted so that at maturity they do not interfere with service lines, traffic safety sight lines, and basic property rights of adjacent property owners;
- Trees planted near public walks or curbs shall be installed in such a manner as to prevent physical damage to sidewalks, curbs, gutters and other public improvements, such as with the use of root barriers;
- When non-vegetative groundcover is used, such as gravel or bark, it shall be in combination with live plants.

## **2. Non-Residential Landscaping**

- In commercial designations, a minimum of 10 percent of the net site area (exclusive of public rights-of-way and easements where applicable), shall be landscaped with trees, shrubs and turf or ground covers.
- Off-site public rights-of-way contiguous with site landscaping can be counted as a part of the overall required landscape area with respect to Specific Plan Design Guideline requirements, but not with respect to zoning requirements.
- New non-residential development shall have all required landscaping installed at the time of occupancy on a lot by lot basis. Said landscaping shall be provided with irrigation systems which comply with the criteria described in the following subsection of this chapter.
- All landscaping and irrigation systems shall be maintained in good condition for as long as the use on the property continues.
- Plant materials should be used to alter or modify microclimates by providing shade or wind control
- Use of potted plants in clay or wood containers is encouraged. Container planting in half-oak barrels, watering troughs, clay or wood flowering boxes can add color and charm. Annuals and perennials can be mixed with permanent shrubs, small trees and

vines to add year round color and interest.

### 3. Installation and Maintenance

- Generally, permanent automatic irrigation systems shall be installed for all landscaped areas, including single family lots.
- All required landscaping shall be properly installed, irrigated and maintained prior to issuance of certificate of occupancy.
- All public areas, rights-of-way and commercial project landscaping, if irrigated shall have an automatic irrigation system.
- Non-permanent irrigation systems, such as above ground water supply lines or manually operated systems may be used at the developer's discretion for areas that are being revegetated and will eventually be reverted to natural conditions, or for areas which will be irrigated by others with a permanent, underground system in the future.
- Maintenance of approved landscaping shall consist of regular watering, pruning, fertilizing, clearing of debris and weeds, pruning, the removal and replacement of dead plants within 30 days, and the repair and replacement of faulty irrigation systems.
- Lawn and groundcovers are to be trimmed or mowed regularly. All planting areas are to be kept free of weeds and debris.
- Irrigation systems shall be kept in working condition. Adjustments, replacements, repair and cleaning shall be a part of regular maintenance. Drip irrigation systems shall be used for appropriate plants.
- Stakes, guys and ties on trees shall be checked regularly for correct function. Ties are to be adjusted to avoid creating abrasions or girdling on trunks or branches.

### 4. Streetscapes

In order to achieve a cohesive overall circulation system for the Domenigoni properties community and promote a strong community structure with a visible identity, a consistent streetscape treatment will be implemented throughout the project as well as for arterials passing through the site (ie. Winchester Road, Scott Road and Washington Avenue). Primary objectives of the streetscape concept are:

- Create a unifying landscape element found throughout the community;
- Provide a landscape backdrop to special landscape treatments;

- Establish a hierarchy of roadway functions through landscape treatment;
- Provide screening and scale to the architectural facades of the residential neighborhoods;
- Frame and emphasize views of open space features

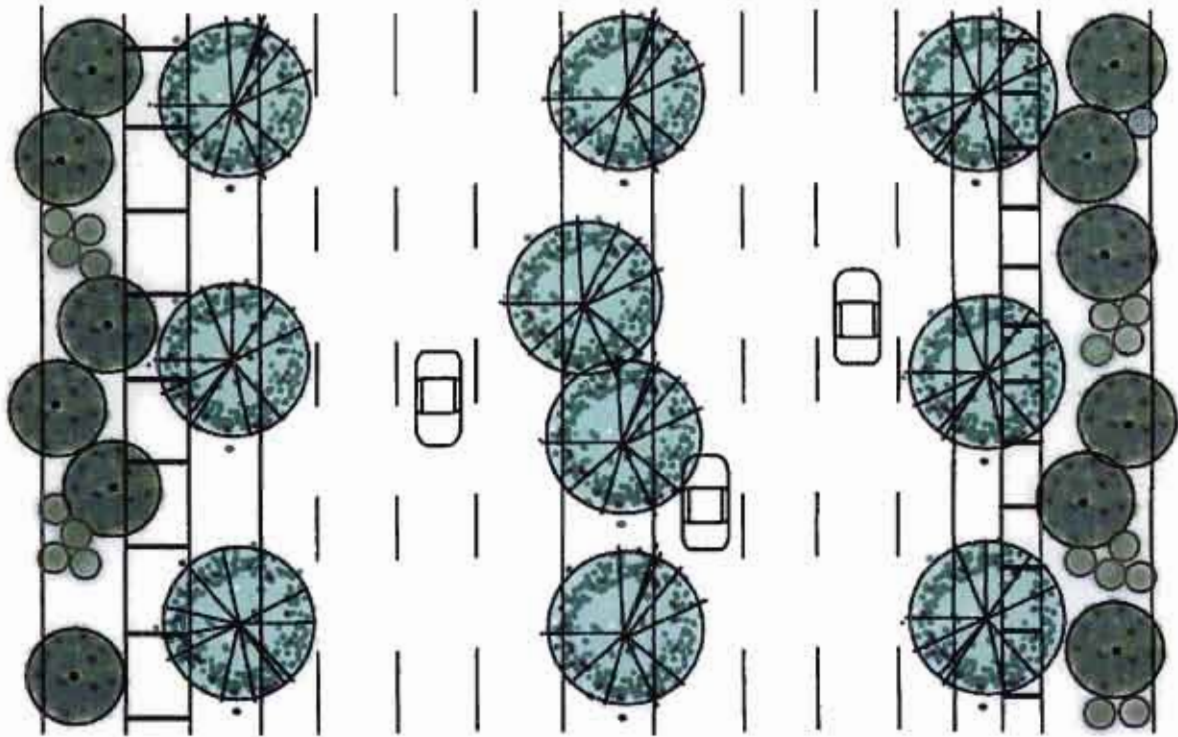
The general streetscape concept combines the use of formal and modified formal treatments. Formal treatments provide a stately progression into the site, and apply in concept (based on varied right-of-way dimensions) to the two major project entry roads off of Winchester Road, the Village Center Loop Road, and Scott Road, typified by canopy tree plant materials that are symmetrically arranged at specified intervals within the parkway and the median. A version of the formal streetscape concept without a landscaped median which employs the use of canopy trees spaced at regular intervals in the parkway is applied to Craig, Holland, Garbani, and Wickerd Roads. Modified formal treatments which utilize project theme trees spaced at regular intervals in the parkway, supported by informal groupings of background trees, is applicable to the Residential Loop Road, the Loop Connector and Washington Avenue. Opportunities for pedestrian and bicycle access are incorporated into the streetscapes to promote an interrelationship between the recreation corridors, residential neighborhoods and mixed-use commercial areas, as well as provide access to Winchester Road and the Diamond Valley Lake recreation area to the east. Several of the following elements are

repeated within each streetscape concept, although dimensions may vary among the different streetscapes in accordance with function.

- On all arterials within the project, pedestrian access is accommodated on both sides of the road, separated from the curb by a landscaped parkway, and from development by a landscape buffer;
- With the exception of the Township District retail streetscapes, major streets within the project area include an enhanced parkway, consisting of a bicycle/pedestrian path separated from the curb by a landscaped parkway. The width of the landscape buffer separating the path from development varies according to roadway right-of-way.
- Median treatments consist of formal canopy trees spaced at 30 ft on center, with an understory of accent shrubs;
- Use of exotics and ornamental species shall be concentrated at focal points created at the primary entries or neighborhood intersection features;
- Tree species such as California Sycamore, which are an indigenous element within the Southern California landscape, as well as Eucalyptus and California Pepper, which are introduced species compatible with the Southern California naturalistic landscape concept, may be utilized as theme trees;

# Winchester Road/Scott Road Streetscape

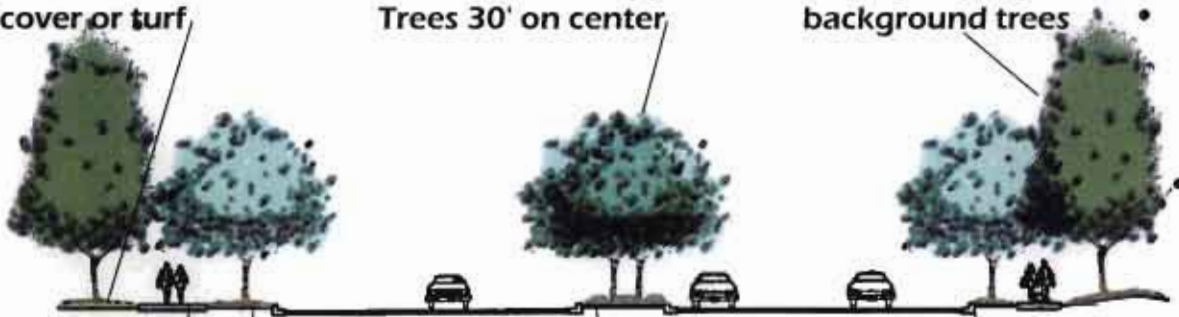
Figure VI-6



Earth berm with shrubs, groundcover or turf

Formal Canopy Trees 30' on center

Informal grouping of background trees



Bicycle/Pedestrian trail offset from curb

Turf Parkway

Accent shrubs

Sidewalk offset from curb

- Understory material in the landscaped medians may be either turf, low groundcover, or accent shrubs. Where understory materials are not specified, low groundcover or turf is the standard material.
- Background trees typically consist of informal groupings of a mixture of deciduous and evergreen trees of various shapes and color characteristics.

The streetscapes are broken down into the following major categories with special features and plant forms as indicated, and are applied to the hierarchy of project roadways as follows:

#### *Winchester Road / Scott Road Streetscape*

Winchester Road and Scott Road provide the major access routes to the Domenigoni-Barton Properties community. As the major project access road, a formal "grand estate" treatment is proposed which is continued in the Village Loop Road. Key features include:

- On the golf side of the roadway, an enhanced 30 ft. parkway providing a 10 ft. bicycle/pedestrian trail separated from the roadway by a 10 ft. landscaped parkway and buffered from adjacent uses by a 10 ft. landscape buffer is proposed.
- On the East side of Winchester, and the south side of Scott, a 6 ft. sidewalk is separated from the road by a 6 ft. landscaped parkway and from adjacent residential uses by an 18 ft

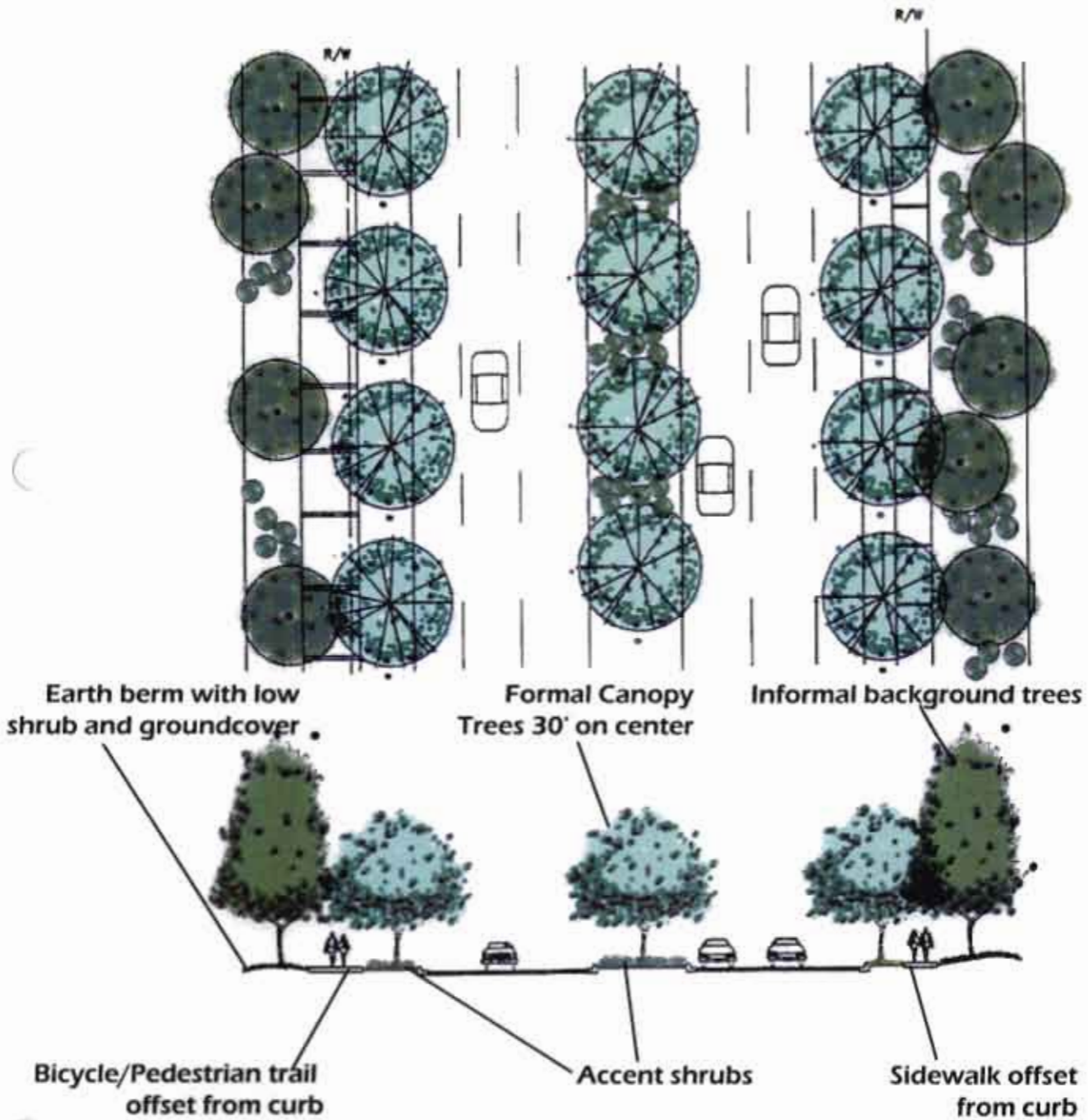
- landscape buffer;
- Landscaping in the landscape parkway consists of turf planted with a formal spacing of dome shaped canopy trees;
- A formal 30 ft on center spacing of dome shaped canopy trees is proposed in the median, supported by accent shrubs;
- Plant materials within the landscape buffer areas consist of informal clustered groupings of a mixture of deciduous and evergreen background trees with varied form and size characteristics with an understory of a mix of groundcover and shrubs on the earthen berms.

#### *Village Loop Road – Primary Entry*

This streetscape is intended for the primary project entry providing access from Winchester Road into the Township District via the northern and southern portion of the Loop Road. At the Loop Connector, it transitions into the Village Loop Road – Residential Streetscape. This Streetscape serves as an automobile oriented formal procession into the site in the tradition of a "grand estate" roadway to emphasize and direct the visitor and resident to major project features. This is achieved by uniform spacing of dome shaped trees on both sides of the road and within the median which form a canopy, providing an overhead plane which imparts a feeling of enclosure and provides dappled shade, supported by informal cluster groupings of background trees, surrounded by turf and planting of accent shrubs and annual color. Key features include:



# Village Loop Road -Primary Entry Streetscape Figure VI-7



- On the south side of the roadway, an enhanced 30 ft. parkway providing a 10 ft. bicycle/pedestrian trail separated from the roadway by a 10 ft. landscaped parkway and buffered from adjacent mixed-uses by a 10 ft. landscape buffer is proposed;
- On the north side of the roadway, a 6 ft. sidewalk is separated from the road by a 6 ft. landscaped parkway and from adjacent mixed-uses by an 18 ft landscape buffer;
- Landscaping in the landscape parkway consists of accent shrubs and annual color planted with a formal spacing of dome shaped canopy trees;
- A formal 30 ft on center spacing of dome shaped canopy trees is proposed in the median, supported by accent shrubs;
- Plant materials within the landscape buffer areas consist of informal clustered groupings of background trees with varying form and size characteristics with an understory of low shrubs or groundcover on the earthen berms.

***Garbani / Village Loop Road – Residential***

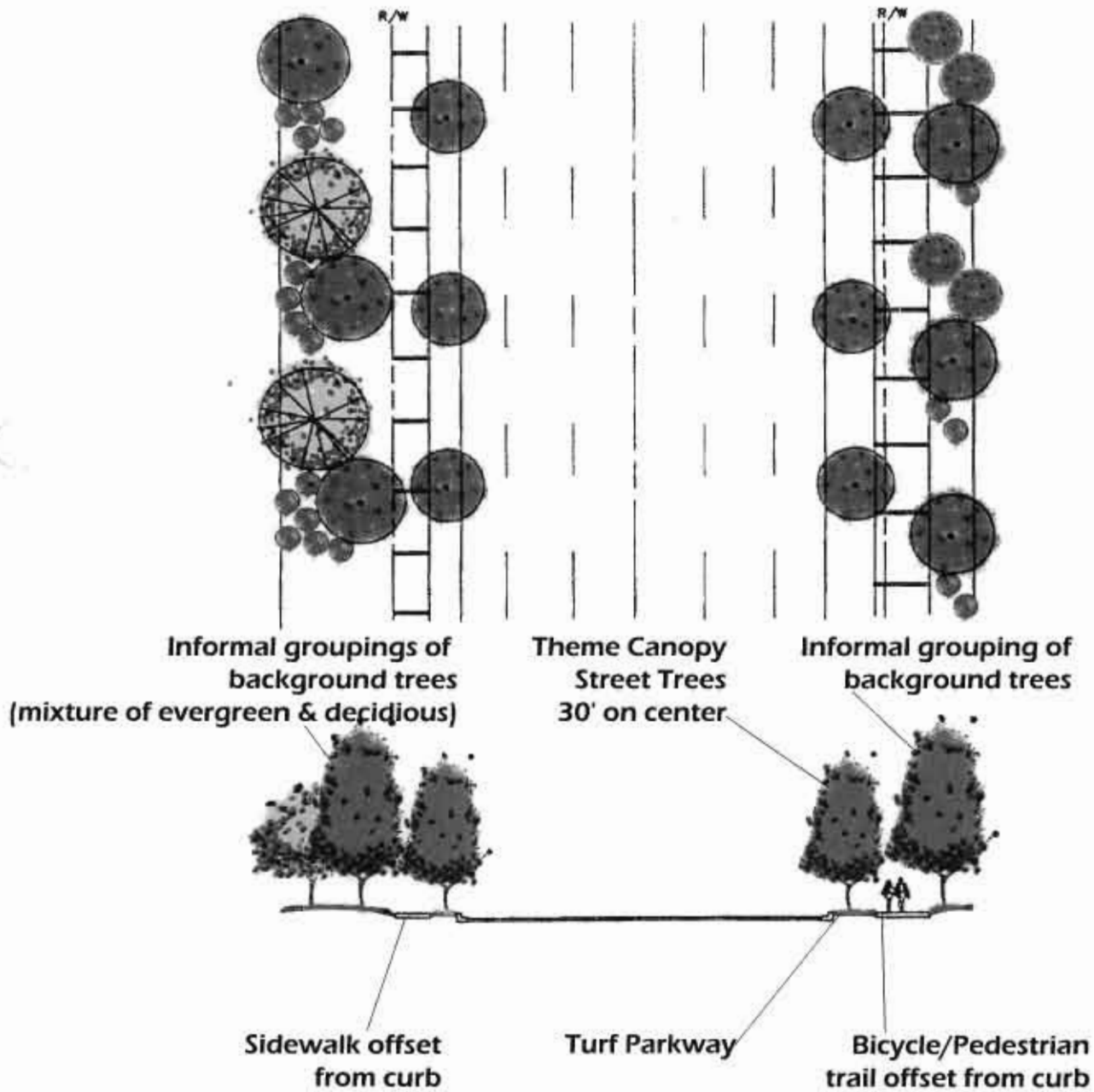
The modified Garbani Road and the Residential Loop Road Streetscape is proposed to accommodate a multi-purpose Regional Trail, provide access to the residential zones and is intended to provide shade, screening, architectural accents and landscape continuity at maturity as well as define development areas within the Domenigoni Properties community. The Village Loop roadway serves

to collect traffic from the residential neighborhoods and distribute it to either: Holland; Wicker; Craig; Garbani; the Loop Connector; or Winchester Roads. The landscape treatment is intended to be less structured than the streetscape adjacent to the Township District, yet still instill the feeling of formality. Plant materials shall be thick and full, although care shall be taken when selecting plant materials to ensure that desirable views are not blocked. Key features include:

- An enhanced parkway treatment is proposed on the exterior side of the roadway, consisting of a 10 ft. bicycle/pedestrian trail offset from the curb by a 10 ft. landscaped parkway, and separated from the mixed uses by a 10 ft. landscape buffer planted with varied shaped forms supported by an understory of small shrubs, groundcover and annuals;
- On the interior side of the loop, a six (6) ft. sidewalk is offset from the curb by a six (6) ft parkway. An 18 ft. landscape buffer planted with a clustered mix of deciduous and evergreen trees in varied forms and is proposed to provide privacy and screening;
- Parkway planting consists of a theme street tree equally spaced at 30 ft. on center, supported by an understory of low groundcover or turf.;
- Understory the trees in the bermed landscape buffers on both sides of roadway with low mounding groundcover and small shrubs, giving consideration to variation in color and

# Garbani/Village Loop Road Streetscape

Figure VI-8



form. On the Mixed-Use/Very Low Density residential side, turf or groundcover shall be planted adjacent to the sidewalk.

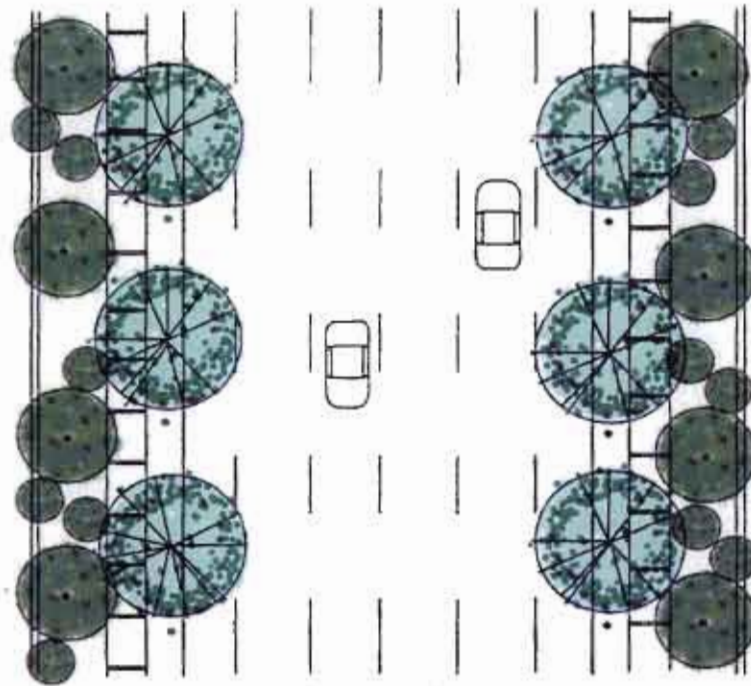
- A community theme wall shall be provided when residential uses abut the landscape buffer. No wall is required adjacent to Mixed-Use Planning Areas.

#### *Secondary Project Access Routes Streetscape*

The Secondary Project Access Route Streetscape is applied to General Plan roadways with an 88 ft. right-of-way which provide primarily automobile oriented access to the Domenigoni Properties community from off-site, as well as the South Village loop road. This streetscape is intended as a scaled down "grand estate" treatment through the repetition of the theme tree in the parkway. Each roadway will establish a different identity through the use of a particular theme tree. Key features include:

- A 27 ft. landscape area is proposed on both sides of the roadway, divided into a six (6) ft. sidewalk offset from the curb by a six (6) ft. planted parkway, and separated from the residential enclaves by a 15 ft. landscape buffer and community theme wall;

# Secondary Project Access Roads Streetscape Figure VI-9



Community Theme  
Wall

Theme Canopy Street  
Trees 30' on center

Low shrubs/  
groundcover



Informal groupings of  
background trees  
(mixture of evergreen and deciduous)

Turf Parkway

### *Loop Connector*

The Loop Connector provides an alternate link between the northern and southern portions of the Loop Road. This treatment is similar to the Secondary Access Road Streetscape with the addition of an enhanced parkway and multi-purpose paseo. This streetscape utilizes equal spacing of individualized theme street trees consistent with the secondary access roads theme. A different landscape buffer is proposed on each side of the road to respond to the type of adjacent use. Screening techniques with denser clusters of deciduous and evergreen landscape materials are used where the road is adjacent to Residential zones, whereas more open spacing of a mix of deciduous and evergreen background trees adjacent to the mixed-uses allows for visual exposure into the commercial areas. Key features include:

- An enhanced parkway treatment is proposed on the north side of the roadway, consisting of a 10 ft. bicycle/pedestrian trail offset from the curb by a 10 ft. landscaped parkway, and separated from the mixed uses by a 10 ft. landscape buffer planted with varied shaped forms supported by an understory of small shrubs, groundcover and annuals;
- On the south side adjacent to the Very Low Density Residential and Mixed-Use enclaves, a six (6) ft. sidewalk is offset from the curb by a six (6) ft parkway. An 18 ft. landscape buffer planted with a clustered mix of deciduous and evergreen trees in varied forms and sizes is proposed to

- provide privacy and screening; Parkway planting consists of a theme street tree equally spaced at 30 ft. on center, supported by an understory of low groundcover or turf.;
- Understory the trees in the bermed landscape buffers on both sides of roadway with low mounding groundcover and small shrubs, giving consideration to variation in color and form. On the Mixed-Use/Very Low Density residential side, turf or groundcover shall be planted adjacent to the sidewalk.
- A community theme wall shall be provided when residential uses abut the landscape buffer. No wall is required adjacent to Mixed-Use Planning Areas.

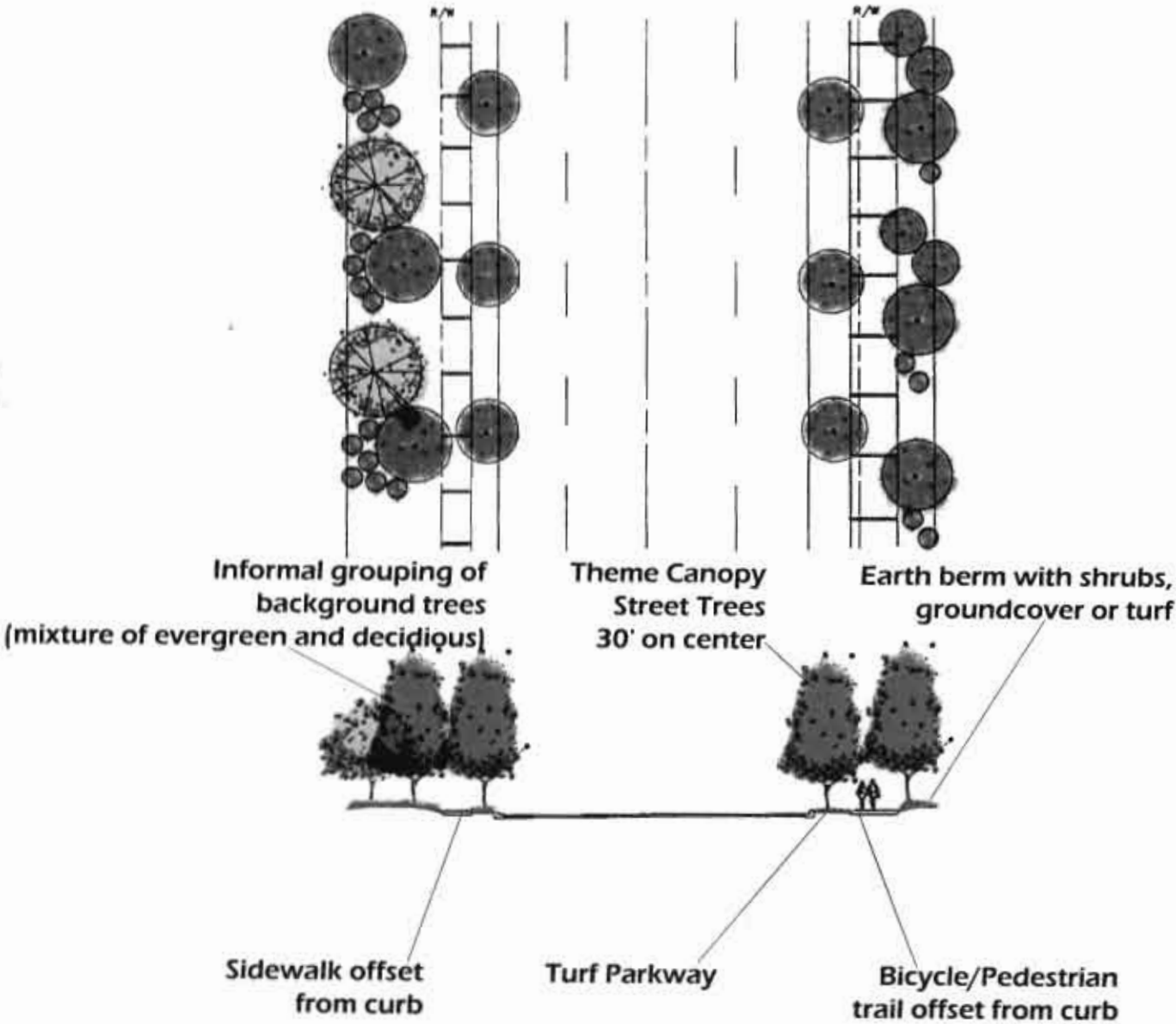
### *Washington Avenue Streetscape*

The Washington Avenue Streetscape receives a less formal treatment associated with a roadway which provides secondary access to the project from off-site. Key features include:

- A six (6) ft. sidewalk offset from the curb by a six (6) ft. planted parkway and separated from the community theme wall when adjacent to Low Density Residential uses (no wall adjacent to the Commercial enclave) by a 15 ft. landscape buffer planted with informal clusters of background trees of varied form and size.
- A 10 ft. bicycle/pedestrian path offset from the curb by a 10 ft. parkway area, separated from the

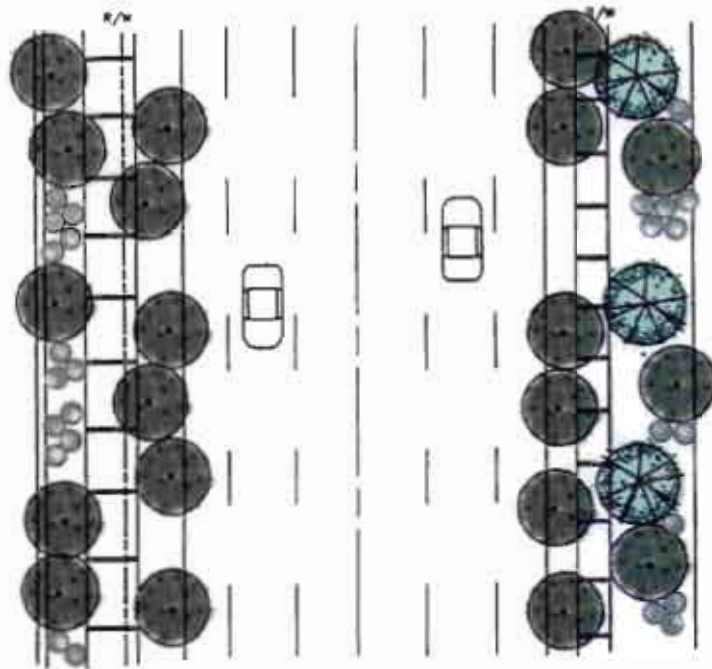
# Loop Connector Streetscape

Figure VI-10



# Washington Road Streetscape

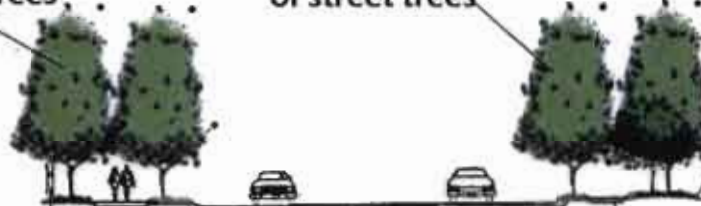
Figure VI-11



Informal groupings of background trees

Informal grouping of street trees

Berm with groundcover/turf and shrub



Community Theme Wall  
(No wall at commercial location)

Turf Parkway

Sidewalk offset from curb



community theme wall when adjacent to Low Density Residential uses (no wall where adjacent to Commercial enclave) by a seven (7) ft. landscape buffer planted with informal clusters of background trees of varied form and size.

- Parkway landscape consists of the establishment of "theme" street trees evenly spaced at 30 feet on center, supported by an understory of turf grasses or low groundcover;
- Understory the landscape buffer with low shrubs and groundcover.

#### *Township District Primary Streetscape*

Two intimately scaled retail-oriented "Main Streets" provide a legible framework to the Mixed Use Township District. The primary east-west axis road runs from the arterial-oriented commercial center retail anchors westward to the Village Green. The second "Main Street" runs a curvilinear route from the Heritage Park at its northern terminus towards its southern visual anchor at the Golf Clubhouse. It bisects the northern Village Loop Road and ends at the Southern Loop Road. These streets are designed to accommodate pedestrians, slow traffic, provide on-street parking, and create pleasant shopping environments. Wider sidewalks, street trees, limited curb cuts, awnings, and arcades should be used to accommodate this active, pedestrian environment. Shops should front onto the street with minimal setbacks to form a relatively continuous street front. Key features include:

- A 15-20 foot wide sidewalk, which varies in width due to evenly spaced 5 foot wide tree planting areas spaced at 20 feet on

center.

- Angled parking along both sides of the street to provide a buffer between moving vehicles and pedestrians.
- Enhanced paving at crosswalks.

## **5. Focal Points/Entries**

Focal points are those key areas along the roadway where change in travel direction or attention is drawn. Often at these points a change in land use may occur and the landscape treatment is the medium which announces this change, working in concert with signage, lighting and hardscape elements. Locations of the entries/focal points are depicted on the Illustrative Landscaping Plan, Figure IV-11.

#### *Primary Project Entries*

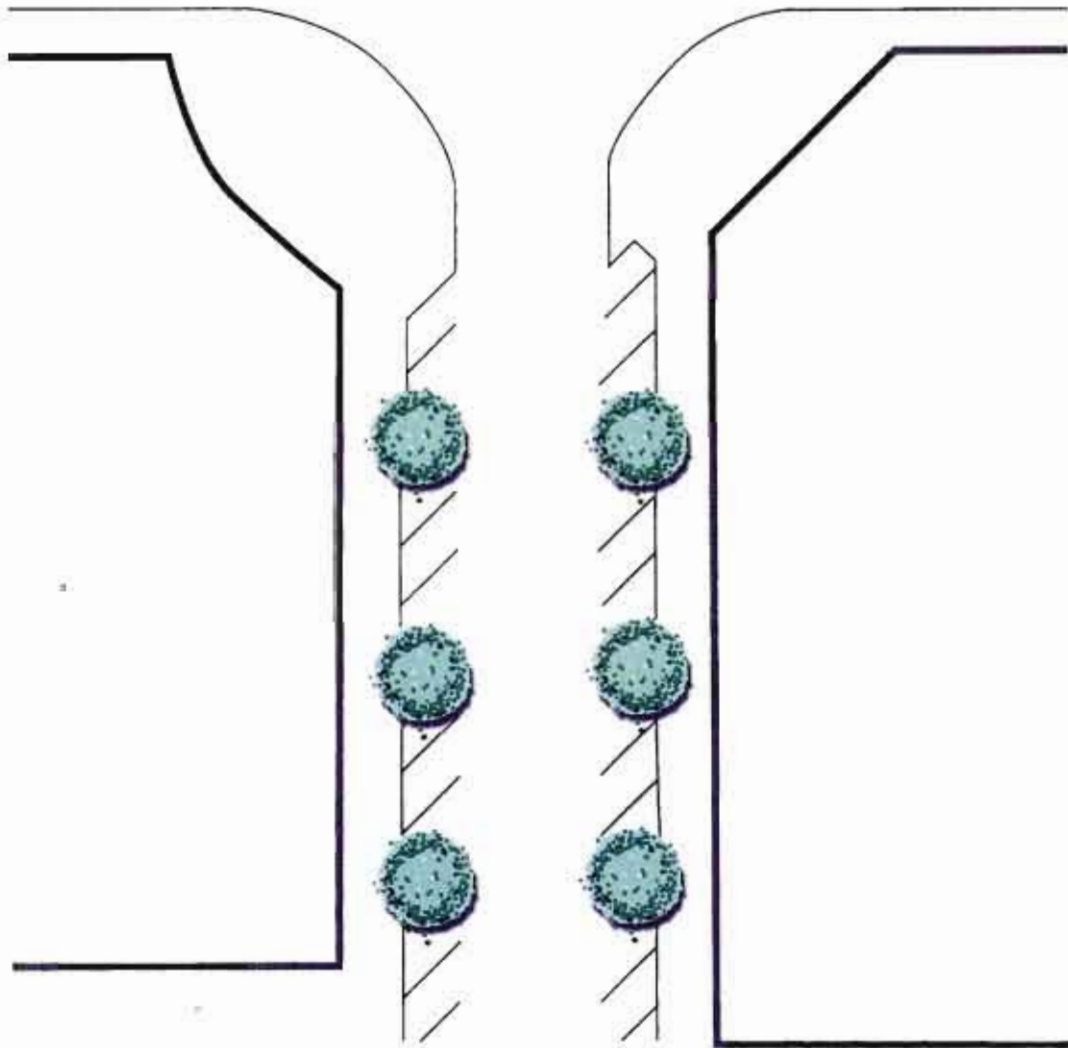
The Domenigoni Properties community is served by three major project entries. The landscapes at the project entries along with the signage, lighting and hardscape elements will form the gateways into the project area and establish the community identity. The entry monumentation and landscape treatment should draw views into the site and toward important features. The project entries are located at the following intersections:

- Winchester Road and the northern Village Loop Road.
- Southern Village Loop Road and Winchester Road
- Winchester Road and Scott Road.

Emphasis should be placed in the use of naturally occurring materials in the entry/focal

# Township District Primary Streetscape

Figure VI-12



point design and a simulation of natural landform in the landscape treatment, particularly through berming and in the integration of stone and layering of plant materials. Thematically aged architectural elements, naturalistic water features, and lush landscaping evoke the heritage and rugged permanence of the land (Figure IV-13). Paving materials should reflect the materials used on the monumentation, including cobblestone, stamped concrete and exposed aggregate. Plant materials at the project entries will be oriented more towards high speed viewing from automobiles than from pedestrians and bicycles.

#### *Secondary Entries*

Within the project site, certain key intersections will have special landscape treatments to denote the entry into the project. The Secondary entries will have the same objectives as the Primary Entries, but on a more intimate scale. As these are intensely visible areas, these entry zones should be treated with highly developed elements of color, texture and design which give special identity to each project. To create visual interest, treatment at the pedestrian level includes: clustered theme trees with emphasis paid to color and seasonal characteristics flanking the monument; placement of the monument signage at the top of a 4:1 sloped berm; special enriched paving such as cobblestones, stamped or colored concrete, or interlocking pavers within a widened sidewalk area; flowering accents and shrubs.

## **6. Land Use Edge Conditions**

Landscape edges are the landscape treatment areas that create an envelope around the interface of differing land uses, softening and buffering their effects through placement of plant materials and hardscape elements. These edge treatments are very important in exemplifying the community theme, and elements of the community edges should be compatible with the architectural and design character of the land uses they buffer. Key elements of the community land use edge treatments include:

- Landscape plantings are used as screens to block views or as architectural space articulation elements. Plant materials should be thick and full, defining an edge of space or thick elongated masses. These screens may occur along the edges of development or within development parcels.
- Landscape transitions between one use to another should be a careful blending of edges of plant material from one treatment type to another. These transitions may be abrupt or gradual, depending on the desired effect.
- Smaller structures can be buffered with shrubbery and berms, larger structures can be buffered through a combination of berming on which clustered trees are established. All plants should be chosen from the plant matrix. Care should be taken when selecting plants to consider their size, form and seasonal characteristics.

**Project Entry Treatments**  
Figure VI-13



**Primary Project Entry Treatment**



**Secondary Project Entry Treatment**

- In certain cases, buffering may be achieved by building a wall or fence in addition to landscape materials. Material selection must be compatible with adjacent architecture and the historic California community theme.

#### ***Residential to Commercial Use***

Where residential uses are adjacent to commercial uses, a minimum 10 ft. side yard or 20 ft. rear yard setback, separated from a 10 ft wide landscape buffer by a community theme wall and a 30 ft. commercial building setback, inclusive of a 20 ft. drive setback is required. The landscape buffer zone will be installed on the commercial side of the community theme wall, consist of a sloping berm planted with clustered trees and shrubs at the upslope position, and will be privately maintained.

#### ***Residential to School Use***

Where residential uses adjoin a school or other public use, a minimum residential 10 ft. side yard or 20 ft. rear yard, separated from a 10 ft. wide landscape buffer by a community theme wall shall be required. The landscape buffer shall be located on the public facility side, supplemented by a minimum 30 ft. building setback (or per school district requirements) which may combine a drive with landscaping and walkways. The landscape buffer shall be comprised of trees surrounded by a 10 ft. minimum shrub coverage. Turf and groundcover are not proposed in this application.

#### ***Residential to Park Site***

Where residential uses adjoin a public park, a minimum residential 10 ft. side yard or 20 ft.

rear yard, separated by a 10 ft. wide landscape buffer and a community theme wall / view fence shall be required. The landscape buffer shall be located on the park side, and consist of clustered trees supported by a minimum 10 ft. shrub coverage. Landscape materials may be chosen to seamlessly blend with the park landscaping.

#### ***Residential to Central Paseo Recreation Corridor***

Where residential uses abut the Central Paseo, the recreational corridor consists of: 1) a varied width landscape buffer with a minimum 10 ft. shrub buffer zone on the residential side; and 2) a 16 ft wide access road and multi-use recreational corridor adjacent to the landscape buffer. A community theme view fence constructed at the property line separates the required residential 10 ft. side yard or 20 ft. rear yard from the corridor. The landscape buffers will be planted with a mixture of deciduous and evergreen trees, with low maintenance groundcover and shrubs as understory.

#### ***Residential to Golf***

The landscape treatment along this edge is designed to establish aesthetic view corridors from residences to golf course features and to direct the flow of play around the golf course and define fairway edges. The edge will be defined along residential property lines with a wrought iron view fence. This will allow residents to maximize views of this open space amenity while maintaining privacy. At a minimum, a varying (3' minimum) low growing shrub / groundcover area along a varying slope will separate turf / fairways from rear yard fencing.

### *Mixed-Use/Commercial to Central Paseo*

The Central Paseo has a minimum width of 150 feet, and may vary to wider widths as appropriate. A 50 foot right-of-way is reserved in the center of the greenbelt for the underground aqueduct pipelines. Where MixedUse / Commercial uses abut the Central Paseo recreational corridor, a minimum 50 ft. recreational corridor is required on each side of the reserved right-of-way, consisting of: 1) a varied width landscape buffer with a minimum 10 ft. shrub buffer zone on the mixed-use/commercial side; 2) a 15 ft wide access road and multi-use recreational corridor adjacent to the landscape buffer; 3) and a minimum 10 ft wide landscape buffer between the recreational corridor/service road and the 50 ft. San Diego Aqueduct right-of-way. A community theme view fence or solid wall constructed at the property line separates a required 30 ft building setback consisting of a minimum 10 ft. landscape buffer and a 20 ft. setback (which may be used as an access road or parking) from the corridor. The landscape buffers will be planted with a mixture of deciduous and evergreen trees, with low maintenance shrubs as understory adjacent to the fence, and turf or groundcover abutting the recreational corridor.

### *Fuel Modification Zones Adjacent to Residential*

Fuel modification procedures will be required as an element of site plan design where inhabited structures are proposed adjacent to natural open space, or when site planning creates open space adjacent to structures which is retained in its natural state and deemed of

sufficient size to allow significant fuel load, per Riverside County Fire Department criteria. Fuel modification zones within the community will be carefully developed to complement the overall community character. The fuel modification areas will be maintained by a homeowner's association or maintenance district.

A fuel modification zone is a strip of land between combustible structures and natural vegetation where combustible vegetation has been thinned and supplemented with fire-resistant plants to reduce the level of risk from wildland fires. Individual application of fuel modification requirements will be designed to respond to topography, uphill or downhill location, presence of boulders or scattered rocks, type of vegetation, wind patterns, and other factors.

The required 100 ft. fuel modification zone is comprised of two elements: a wet zone and a secondary zone. The wet zone represents a variable setback from the edge of any structure, where all native vegetation is to be removed and replaced with primarily irrigated material. In addition to a minimum 10 ft. setback from any residential structure, a 25 ft. irrigated zone is required outside of the community theme wall or fence at the property line. The fuel modification secondary zone involves a selected thinning of highly flammable species of vegetation or large, dense groupings of vegetation, with up to 50 to 70 percent removal depending on distance from the structure. Plant material shall be removed in a manner that will promote a natural appearance to modified areas. Preservation of rocks within this zone aids in the thinning process and decreases potential flammable fuel resources. Care should be taken not to denude

slope areas and create erosion hazards.

#### *Fuel Modification Zones Adjacent to Roadways*

Where residential uses are separated from natural open space by a 60 ft. minimum roadway, a 10 ft. minimum irrigated zone shall be required on the side of the road adjacent to the natural area. Within this zone, all native vegetation shall be removed and replaced with low fire fuel groundcover.

## **7. Community Theme Walls / Fencing**

Walls and fences are important features of the Domenigoni-Barton Properties design guidelines. They establish enclosure, delineate site areas, offer visual and physical privacy, provide for views in and out of a site, buffer uses which may be incompatible from one another, and provide security. Walls and fences should be used to reinforce the historic / rural theme, reflecting the characteristics of the major project entry monumentation in terms of configuration and materials. Where such elements face public streets and view corridors, they shall appear consistent in style, material, and height, therefore serving as a unifying element throughout the community.

#### *General Guidelines*

- Long stretches of unrelieved walls and fences should be broken up with varied

setbacks and recesses for plantings.

- Sound attenuation walls or berm techniques are required adjacent to residential enclaves which have frontage visible from Highway 79 and Scott Road.
- No fence should exceed 6 feet in height unless it is used for noise attenuation adjacent to the future ultimate right-of-way for Highway 79 where a combination of berming and wall up to 6 feet may not be sufficient.
- Solid walls and fences should be used sparingly so as not to detract from accessibility to open space, or to be used simply as demarcation of property lines.
- When barriers are required for security, decorative open view fences should be used.
- All walls and fences should end in a pilaster. The design of the pilaster should reflect the shape of the supports used in entry monumentation. Specific use of materials may vary from those used in the entry monumentation; however, emphasis is on use of the same natural materials of rock, stone, or wood in a different configuration.
- All community and perimeter fencing are to be provided by the individual project builders at the time of development.
- Where practical, plant material should be used as a barrier in lieu of wall and fence structures.
- If retaining walls are necessary they should be terraced and not exceed a 6 foot height limit per terrace.
- When changes in pad elevation occur, the wall or fence should be stepped in equal vertical intervals. No step should exceed

12 inches in height.

- Residential development edges visible from Winchester Road, Scott Road, the Village Loop Road, and the secondary project access roads (Craig, Garbani, Holland, Wickerd, etc.) should be treated with solid walls screened with landscaping.
- Chain link fencing is to be avoided with the exception of tennis courts within any of the community recreation facilities within residential subdivisions, or school playgrounds.

#### *Solid Walls and Fences*

These walls will provide community identity, security, privacy and sound buffering for residential units adjacent to streets or incompatible land uses. Solid walls may be required along side and rear lot lines of residences along Winchester Road, Scott Road, the Village Loop Road, and the secondary project access roads (Craig, Garbani, Holland, Wickerd, etc.) or other access roads where privacy and sound attenuation are required, as well as between residential areas and such uses as schools, commercial centers, and office and business park complexes. Solid walls are also used to screen mechanical equipment, parking lots, and other support facilities.

- Wall materials shall consist of masonry construction finished with stucco, masonry, stone, rock, or wood. Pilasters should incorporate the use of special accent materials such as rock and natural stone.
- The horizontal mass of the walls shall be interrupted by pilasters, landscape

plantings, and vines. Trees shall be provided every 25 feet on center. If vines are used in lieu of trees, they shall be sited every 10 feet on center.

- Construction materials of walls built to screen ancillary structures adjacent to buildings, such as trash enclosures and transformers, should be consistent with the main buildings and other walls.
- Solid walls to screen views of parking lots from streets shall not exceed 3 feet in height.

#### *View Fences*

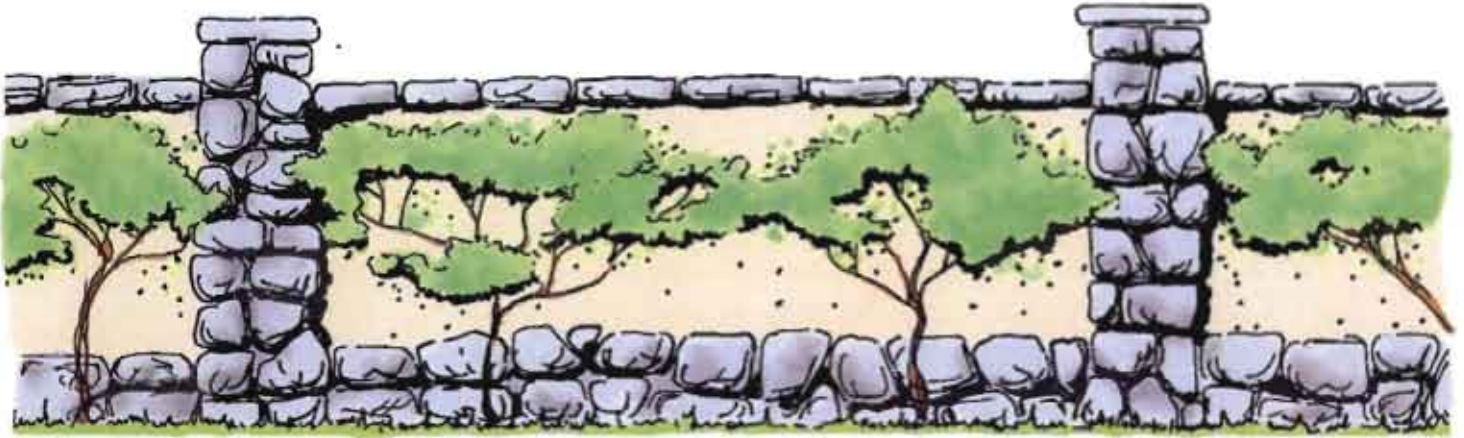
View fences are intended to allow views into open space / recreation areas, Mixed Use / Commercial enclaves, the golf course, and other uses which do not require protection of privacy. View fences may also serve as security fencing where visibility of the screened use is not an issue. View fences should also be used to increase a sense of openness in rear yards adjacent to golf course and open space territories, the Paseo system, and the recreational amenities within residential subdivisions.

- View fence panels should be interrupted by pilasters of stone, rock, masonry, or stucco with decorative accent material, or by accent stakes of similar metallic or wood materials as the view fence.
- The base of the view fence may be constructed of block as high as 36 inches, covered with stone or rock, with wrought iron above. Spikes, spires, caps or other decorative detailing consistent with the community theme may be used.

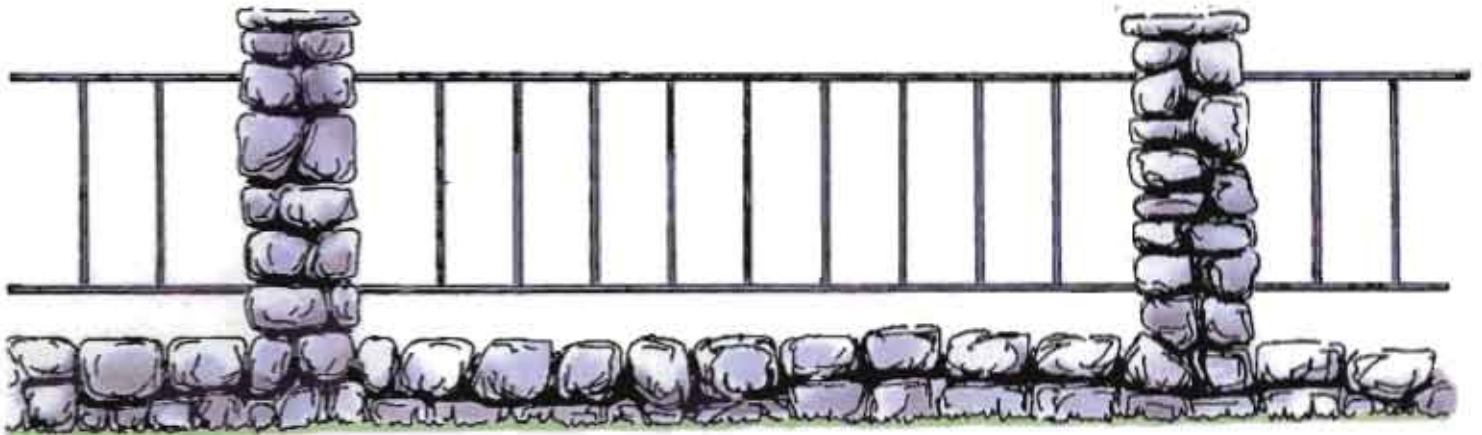


# Community Theme Wall Concepts

Figure VI-14



Community Wall



View Fence

### *Theme Fencing*

In certain instances such as project entries and at restaurants, thematic fences or walls may be appropriate. Special conditions which warrant thematic uses should be approved by the County of Riverside. Materials may include wood pickets, split rail or welded wire on wood posts.

## **8. Plant Selection Palette**

This section is intended to assist in the selection of plant material to be used within the Specific Plan area. It contains plant selection matrices for groundcovers, shrubs, and trees. These matrices may be used to identify the specific plant material that may be used to satisfy the landscape requirements defined in the plans and cross sections contained in the Specific Plan. The matrices also indicate the character of the plant and where and how it should be used to achieve the objectives of the Design Guidelines. Within the matrices, an "X" indicates that the particular plant is acceptable for indicated use or has the quality indicated (in the case of the portion of the matrix which describes the plant's character). The absence of an "X" generally means that the plant should not be used for the specified situation. It is also acceptable to occasionally use plants not listed in the matrices. However, plants from the matrices should comprise at least 80% of the area to be landscaped, and 80% of the total list of plants to be used. Limiting the variety of plants will strengthen the overall unity of the Domenigoni-Barton project.

# Plant Palette

## Table VI-1

GROUNDCOVERS (Genus and species, Common Name)	APPLICATIONS																							
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS				SAFETY		RESOURCE EFFICIENT					
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS	TRANSITIONS	ACCENT/BACKGROUND/SPEC.			COLOR/SHOWY FOLIAGE	VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION		
Acacia Redolens.	X	X														X	H	X	X	X	X	X	X	
Achillea species, Yarrow				X							X					X	M	X	X			X	X	
Artemisia caucasica, Silver Spreader																		L	X	X			X	X
Artemisia pycnocephala, Coast Sagebrush	X	X		X		X								X		X	H	X	X					
Atriplex glauca												X						L	X	X				
Atriplex semibaccata, Australian Saltbush	X					X										X	L	X	X				X	X
Centaurea cineraria, Dusty Miller				X							X		X	X			M	X	X				X	
Cotoneaster buxifolius, Bright Bead Cotoneaster	X								X								M	X	X					
Erigonium crocatum, Saffron Buckwheat	X	X										X	X	X			H	X	X					
Erigonium fasciculatum, Common Buckwheat	X	X														X	H	X	X				X	
Gazania species, Gazania	X											X	X	X			X	L	X	X				
Grevillea 'anigera, Woolly Grevillea	X				X								X		X		M	X	X					
Grevillea 'Noell'	X							X	X			X			X	X	M	X	X					
Grevillea rosmarinifolia Rosemary Grevillea					X					X		X				X	M	X	X					
Helianthemum species, Sunrose	X	X								X				X		X	M	X	X				X	
Juniperus species, Juniper	X	X										X	X			X	H	X	X					
Lantana montivedensis Trailing lantana	X				X							X	X			X	M	X	X					
Lippia canescans, Lippia	X															X	L	X	X					
Lobularia maritima, Sweet Alysum				X		X				X						X	M	X	X				X	

# Plant Palette

## Table VI-1 continued

GROUNDCOVERS (Genus and species, Common Name)	APPLICATIONS																					
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL			PUB SPACE			TRANSITIONS	BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS			SAFETY		RESOURCE EFFICIENT					
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS				ACCENT/BACKGROUND/SPEC.	COLOR/SHOWY FOLIAGE	VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION
Lupinus nanus, Annual Lupine	X	X		X	X							X			X	L	X	X		X		
Myoporum parvifolium				X	X							X	X		X	L	X	X		X		
Osteospermum species, African daisy												X	X			L	X	X				
Pyracantha species, Firethorn									X						M	X	X					
Rosemarinus officinalis 'Prostratus' Prostrate Rosemary	X				X			X				X	X	X	M	X	X					
Santolina chamaecyparissus Lavender Cotton	X								X			X		X	M	X	X					
Santolina virens	X								X					X	L	X	X					
Trifolium frageriferum O'Conner's O'Conner's Legume															X	L	X	X				
Zauschneria californica																						
California Fuschia	X	X		X	X			X						X	M	X	X					

# Plant Palette

## Table VI-1 continued

SMALL SHRUBS 3-5 FEET (Genus and species, Common Name)	APPLICATIONS																						
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				TRANSITIONS	BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS				SAFETY		RESOURCE EFFICIENT			
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS	ACCENT/BACKGROUND/SPEC.	COLOR/SHOWY FOLIAGE				VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION	
<i>Achillea</i> species, Yarrow	X		X								X		X	X	X	H	X	X	X		X		
<i>Artemisia californica</i> , California Sagebrush	X	X			X												X	H	X	X			H
<i>Calliandra californica</i>	X				X								X				X	M	X	X			
<i>Calliandra eriophylla</i> , False Mesquite	X	X									X						X	M	X	X			
<i>Cassia</i> species, Senna			X										X					M	X	X			
<i>Ceanothus purpureus</i> , Hollyleaf Ceanothus	X	X										X	X		X	X	M	X	X				X
<i>Cistus</i> species, Rockrose	X		X	X						X			X				X	L	X	X			X
<i>Convolvulus cneorum</i> , Bush Morning Glory	X				X								X	X				M	X	X			
<i>Cotoneaster buxifolius</i> , Bright Bead Cotoneaster	X		X								X	X						M	X	X			
<i>Cotoneaster congestus</i>												X	X					M					
<i>Encelia farinosa</i> , Desert Encelia	X	X			X								X		X	X	M	X	X				X
<i>Eriogonum giganteum</i> , St Catherines Lace			X	X		X						X					X	M	X	X			X
<i>Eriogonum latifolium rubescens</i> , Red Buckwheat	X	X	X								X		X				X	M	X	X			X
<i>Eriophyllum confertiflorum</i> , Golden Yarrow	X	X			X								X				X	L	X	X			X
<i>Juniperus</i> species, Juniper	X	X									X	X			X	X	H	X	X				
<i>Lavandula</i> species, Lavender	X										X		X					M	X	X			
<i>Leptodactylon californicum</i> , Prickly Phyllox	X	X	X	X								X						M	X	X			X
<i>Leucophyllum frut. 'Compactum'</i> , Texas Ranger	X	X									X		X					M	X	X			
<i>Lotus scoparius</i> , Deerweed	X	X															X	L					X

# Plant Palette

## Table VI-1 continued

SMALL SHRUBS 3-5 FEET (Genus and species, Common Name)	APPLICATIONS																					
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS			SAFETY		RESOURCE EFFICIENT				
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS	TRANSITIONS	ACCENT/BACKGROUND/SPEC.			COLOR/SHOWY FOLIAGE	VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION
Lupinus albibrons, Silver Lupine	X	X		X		X								X			M	X	X		X	
Lupinus arboreus, Tree Lupine	X	X												X			M	X	X		X	
Mimulus species, Monkey Flower	X	X				X							X	X			L	X	X			
Pennisetum setaceum Fountain Grass	X	X								X	X			X	X			X	H	X	X	X
Penstemon centranthifolius Scarlet Bugler	X	X				X					X			X			X	L	X	X		X
Penstemon heterophyllus Blue Bugler	X	X				X							X					M	X	X		
Penstemon Spectabilis Showy Penstemon	X	X				X								X				L	X	X		X
Pittosporum tobira 'Wheeler' Wheeler's dwarf				X							X			X				M	X	X		
Pyracantha species, Firethorn											X			X	X			X	L	X	X	
Rosemarinus officinalis 'Prostratus' Prostrate Rosemary	X									X				X	X			X	M	X	X	
Salvia clevelandii, Cleveland Sage	X	X		X		X					X						X	H	X	X		
Salvia leucantha Mexican Bush Sage	X	X															X	H	X	X		X
Salvia leucophylla Purple Sage	X	X				X							X				X	H	X	X		X
Salvia mellifera Black Sage	X	X				X											X	H	X	X		X

# Plant Palette

## Table VI-1 continued

MEDIUM SHRUBS 5-10 FEET (Genus and species, Common Name)	APPLICATIONS																									
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS				SAFETY		RESOURCE EFFICIENT							
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS	TRANSITIONS	ACCENT/BACKGROUND/SPEC.			COLOR/SHOWY FOLIAGE	VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION				
Acacia cultriforma, Knife Acacia	X	X									X	X				X	X	H	X						X	
Acacia redolens	X	X															X	H	X	X						
Acacia verticillata, Star Acacia	X	X															X	H	X	X						
Arctostaphylos spec., Manzanita	X	X		X		X							X	X		X	X	L	X							X
Artemisia tridentata Big Basin Sagebrush	X	X											X				X	M	X	X						
Atriplex canescens Four-Wing Saltbush	X	X									X						X	M	X	X					X	
Atriplex lentiformis Quail Bush	X	X				X					X						X	M	X	X					X	
Atriplex lentiformis breweri Brewer Lenscale	X	X									X							H	X	X				X	X	
Baccharis pilularis consanguinea Coyote Bush	X	X				X					X					X	X	L	X	X				X		
Baccharis viminea, Mulefat	X	X														X	X	M						X	X	
Bougainvillea Species	X			X	X	X	X						X	X	X			M	X	X						
Calliandra Tweedii, Trinidad Flame Bush	X	X									X		X	X				M	X	X						
Callistemon citrinus, Lemon Bottlebrush				X					X				X	X		X	X	M	X	X						
Callistemon pallidus, Fiery Bot.	X								X		X		X	X		X	X	M	X	X						
Callistemon rigidus, Stiff bottlebrush	X											X	X			X	M	X	X							
Cassia species, senna				X									X			X	M	X	X							
Cercocarpus ledifolius, Curl-leaf Mountain Mahogany	X	X				X												M	X	X				X	X	
Chamaelium uncinatum, Geraldton Waxflower						X						X	X					M	X	X						
Cotoneaster lacteus, Red Clusterberry	X								X			X	X				X	M	X	X						

# Plant Palette

## Table VI-1 continued

MEDIUM SHRUBS 5-10 FEET (Genus and species, Common Name)	APPLICATIONS																					
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL			PUB SPACE			TRANSITIONS	BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS			SAFETY	RESOURCE EFFICIENT						
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS				ACCENT/BACKGROUND/SPEC.	COLOR/SHOWY FOLIAGE	VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION
Cytisus species, Broom			X	X					X	X	X	X		M	X	X						
Dendromecon rigida, Bush Poppy	X	X									X	X		X	M	X	X					
Dodonea viscosa, Hopseed Bush	X				X						X			X	H	X	X					
Eleagnus pungens, Silverberry	X	X								X	X			X	M	X	X					
Eucalyptus macrocarpa, Desert Malee	X										X		X	H	X	X		X				
Eucalyptus rhodantha				X									X	H	X	X						
Feijoa sellowwiana, Pineapple Guava				X						X	X	X		M	X	X						
Grevillea Aromas	X									X	X		X	X	M	X	X					
Grevillea lanigera, Wooly Grevillea	X													M	X	X						
Grevillea 'noellii'	X						X			X	X		X	X	M	X	X					
Grevillea thefemariniana, Hummingbird Bush									X		X			M	X	X						
Isomeris arborea, Bladderpod		X		X										X	L	X	X	X				
Juniperus species, Juniper	X	X							X	X	X		X	H	X	X						
Laurus nobilis, Sweet Bay														M	X	X						
Mahonia nevinii, Nevine Mdhonia	X	X		X		X			X	X	X		X	H	X	X						
Penstemon antirrhinoides, Yellow Penstemon	X	X						X			X			X	M							
Pittosporum tobira, Tobira				X					X				X	L	X	X						
Rhamnus Californica, California Coffeeberry	X	X									X	X	X	X	M	X	X	X				
Rhamnus crocea, Redberry	X	X							X				X	M	X	X		X				
Ribes aureum, Golden Currant	X	X	X	X							X	X		M	X	X						
Romneya coulteri, Matilija Poppy	X	X									X	X		H	X	X		X				







# Plant Palette

## Table VI-1 continued

LARGE SHRUBS 10-18 FEET (Genus and species, Common Name)	APPLICATIONS																					
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS				SAFETY		RESOURCE EFFICIENT			
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS	TRANSITIONS	ACCENT/BACKGROUND/SPEC.			COLOR/SHOWY FOLIAGE	VINES/TREL./WALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION
<i>Eucalyptus macrocarpa</i> , Desert Malee	X											X			X	H	X	X		X		
<i>Eucalyptus niphophila</i> , Snow Gum												X			X	X	H			X		
<i>Juniperus</i> species, Juniper		X	X							X	X	X			X	H	X	X				
<i>Mahonia higginsae</i>	X	X			X			X							X	H	X	X				
<i>Melaleuca elliptica</i>	X		X									X	X			M	X	X				
<i>Nerium oleander</i> , Oleander			X	X			X			X	X	X		X	X	X	X	X	X			
<i>Pistacia vera</i> , Pistachio Nut			X	X								X				M	X	X				
<i>Pittosporum rhombifolium</i> , Queensland Pittosporum	X			X			X			X		X	X		X	M	X	X				
<i>Plumbago auriculata</i> , Cape Plumbago	X									X	X		X	X		X	M	X	X			
<i>Punica granatum</i> , Pomegranate			X	X								X	X			M	X	X				
<i>Rhamnus alaternus</i> , Italian Buckthorn	X	X		X						X					X	L	X	X		X		
<i>Rhus ovata</i> , Sugar Bush	X	X	X				X					X	X	X	X	M	X	X		X		
<i>Sambucus</i> species, Elderberry	X	X			X		X								X	M	X	X				
<i>Schinus Molle</i> , California Pepper	X		X	X	X		X					X		X	X	M	X	X		90		

# Plant Palette

## Table VI-1 continued

SMALL TREES 15-25 FEET (Genus and species, Common Name)	APPLICATIONS																																			
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				TRANSITIONS	BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS				SAFETY		RESOURCE EFFICIENT																
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING			PARKS/GREENBELTS	ROADWAYS/MEDIANS						ACCENT/BACKGROUND/SPEC.	COLOR/SHOWY FOLIAGE	VINES/TREL/MALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION										
Callistemon rigidus, Stiff Bottlebrush	X												X	X		X	X	M	X	X																
Cercideum species, Palo Verde	X	X						X					X	X				X	M	X	X															
Dalea Spinosa, Smoke Tree	X												X						M	X	X															
Elaeagnus angustifolia, Russian Olive	X	X			X			X				X	X						M	X	X															
Eucalyptus lehmannii, Bushy Yate								X				X				X		M	X	X																
Eucalyptus niphophila, Snow Gum													X			X	X	M	X	X																
Geijera parvifolia, Australian Willow	X				X													X	M	X	X															
Koelreuteria paniculata, Goldenrain Tree					X	X		X	X						X				M	X	X															
Lagerstromia indica, Crape Myrtle					X	X							X	X					M	X	X															
Laurus nobilis, Sweet Bay					X	X		X				X							M	X	X	X														
Pistacia vera, Pistachio Nut					X	X							X						M	X	X															
Rhus lancea, African Sumac	X	X			X	X	X	X	X							X	X	M	X	X															X	
Schinus terebinthifolius, Brazilian Pepper Tree	X				X	X		X	X				X	X	X		X		L	X	X															



# Plant Palette

## Table VI-1 continued

MEDIUM TREES 25-40 FEET (Genus and species, Common Name)	APPLICATIONS																								
	WESTERN /SPANISH MISSION	CALIFORNIA NATIVE	RESIDENTIAL				PUB SPACE				TRANSITIONS	BARRIER/HEDGE/BORDER	VERTICAL SCREEN	AESTHETICS				SAFETY		RESOURCE EFFICIENT					
			ENTRY FOCAL TREE	YARD/GARDEN	PATIO/COURTYARD	NATURALIZING	PARKS/GREENBELTS	ROADWAYS/MEDIANS	ACCENT/BACKGROUND/SPEC.	COLOR/SHOWY FOLIAGE				VINES/TREL/MALL CASCADE	EVERGREEN	SLOPE BANK/STABILIZATION	FIRE HAZARD (LOW, MED, HI)	DROUGHT TOLERANT	HI INLAND VALLEY SUITABILITY	SHADE	SEEDING/HYDROSEEDING	WATERSHED PROTECTION			
<i>Olea europaea</i> , Olive			X	X					X				X	X		M	X	X							
<i>Parkinsonia aculeata</i> , Jerusalem Thorn	X		X								X						M	X	X						
<i>Pistacia chinensis</i> , Chinese Pistache			X	X				X	X								M	X	X						
<i>Prunus Lyonii</i> , Catalina Cherry	X	X			X				X		X		X	X	X	M	X	X	X						
<i>Quercus ilex</i> , Holly Oak	X		X	X				X	X				X		X	M	X	X							X
<i>Quercus suber</i> , Cork Oak	X							X	X			X		X		M	X	X							X
<i>Robinia pseudoacacia</i> , Black Locust	X				X			X	X				X			M	X	X							
<i>Schinus species</i> , Peruvian Pepper Tree	X		X								X	X	X		X	X	M	X	X	X					
<i>Tamarix aphylla</i> , Athel Tree			X					X				X				M	X	X							
<i>Zxelkova serrata</i> , Sawleaf Zelkova			X					X	X			X	X			M	X	X	X						
<i>Zizyphus jujuba</i> Chinese Jujube								X				X				M	X	X							



