

### **III. SPECIFIC PLAN**

#### **A. DEVELOPMENT PLANS AND STANDARDS**

##### **■ Planning Objectives**

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan No. 270 Amendment No. 1. Engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals, development phasing and local community goals all were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic impact of this Specific Plan No. 270 Amendment No. 1, specific planning and development goals for the project were established, and are supported by this extensive analysis. With these specific project goals in mind, Victoria Grove Specific Plan No. 270 Amendment No. 1:

- \* Furnishes a plan for development that is sensitive to the environment as well as aesthetically pleasing, and one that provides for protection of health and safety, and the promotion of the people, community, and region along with the advantages of being a vehicular access-controlled community.
- \* Considers topographic, geologic, hydrologic, and environmental opportunities and constraints to create a design that essentially conforms to the condition of the land by maintaining and using basic existing landforms where practical.
- \* Anticipates marketing needs and public demand by providing varying housing types, styles, sizes and values that will be marketable within the evolving economic profile of surrounding communities as well as within Riverside County.
- \* Provides direct and convenient access to neighborhoods within the project by use of an efficient roadway and pedestrian circulation system. Additionally, on community roadways the landscaped parkway separates the sidewalk from traffic providing a safer environment for residents to walk and ride bicycles.
- \* Creates a unique residential character that provides for a distinct community by utilizing the natural terrain and viewshed, the citrus heritage of the surrounding neighborhood, and by providing distinctive architectural treatments, and a coordinated thematical landscape program.
- \* Provides detailed design guidelines for site planning, as well as for landscape and building architecture, that will ensure that development of Victoria Grove produces a cohesive, balanced community.
- \* Integrates with the character of surrounding communities.



- \* Appeals to both young move-up families from the central Inland Empire and fringe areas of Orange and Los Angeles Counties as well as mature move-down families and couples from the local area.
- \* Victoria Grove Specific Plan No. 270 Amendment No. 1 provides for a long-range comprehensive planning approach to development which cannot be accomplished on a parcel-by-parcel basis.
- \* Provides for development of a 12.0 acre local elementary school serving Victoria Grove and the surrounding community which is strategically located adjacent to the proposed park, enabling the school to take advantage of additional recreational opportunities. A child care center is planned as a part of the school site. The park offers active recreational opportunities for the residents of the Victoria Grove community.

## 1. Specific Land Use Plan

### a. **Project Description**

Upon completion, Victoria Grove Specific Plan No. 270 Amendment No. 1 will contain a high quality, design intensive mixture of primary residential planning areas that will vary in density from 0.9 du/ac to 3.4 du/ac. The various residential product types offered will meet a market need in the urbanizing Riverside and Lake Mathews area of Riverside County. The residences will be constructed maintaining a sensitive approach to developing relative to existing topography. When fully developed, a maximum of 1,144 homes will be built in Victoria Grove. The residences will be built across a range of lot sizes as depicted in the Specific Land Use Plan (Figure III-1A) and Illustrative Land Use Plan (Figure III-1B).

Specific information on each of the planning areas within Victoria Grove is provided within Section III.B.; Planning Area Development Standards, in the Detailed Land Use Summary (Table II), and in Planning Area Figures III-12 through III-15.

The proposed land uses within the plan are as follows:

- \* **RESIDENTIAL** - Residential density within the project will consist of about 2.2 dwelling units per acre overall. The Specific Plan No. 270 Amendment No. 1 was developed based on the goal of providing a variety of housing styles, sizes, and values to appeal to a range of home buyers. The primary residential element of the plan accounts for 434.7 acres of the project site, containing 1,144 dwelling units. The housing mix will fall within the low and medium density residential designations. The overall "concept" for residential density in Victoria Grove is the same. The added new land to the Specific Plan is being designated as medium density, mirroring Planning Area 11 to the south and adjacent to the centrally located school and park. Victoria Grove is planned around a school and park, a focal point for community activity. Immediately surrounding the school and park are the medium-density executive homes with medium-density ¼ acre lots, and then larger low-density half-acre lots on the perimeter of the Specific Plan.



- **Low Density Residential** (0.5-2 du/ac) - will consist of 124 dwelling units on 94.7 acres of land (1.3 du/ac). These units are proposed for Planning Areas 1, 5, 6, 12, and 14. These planning areas will consist of half-acre lots with minimum lot sizes of 15,000 square feet and average lot sizes of 20,000 square feet.
- **Medium Density Residential** (2-5 du/ac) - will consist of 287 dwelling units on 113.4 acres of land (2.5 du/ac). The units are proposed for Planning Areas 2, 7, and 9. Lot sizes in these planning areas will be a quarter-acre with minimum lot sizes of 8,000 square feet and average lot sizes of 15,000 square feet.
- **Medium Density Residential (Executive Homes)** (2-5 du/ac) - will consist of 733 dwelling units on 226.6 acres of land (3.2 du/ac). The units are proposed for Planning Areas 3 and 11. Minimum lot sizes in these planning areas will be 7,200 square feet.
- \* **PARK** - There is one 9.0 acre park site proposed for Victoria Grove. This park site is proposed for Planning Area 10B and is centrally located within the project adjacent to a 12.0 acre elementary school site (Planning Area 13), Open Space/Riparian Paseo and MWD Open Space Paseo (Planning Area 8B), and a public road (Blackburn Road). This park is large enough to offer active recreational opportunities for the residents of the Victoria Grove community, including prior approved Tracts 28873 and 28878 adjacent to, but not within the Specific Plan. This area will develop as part of the Victoria Grove community and is within the gates of the community.
- \* **OPEN SPACE/RIPARIAN** - 26.7 acres of the site, Planning Areas 4A, 4B, 4C and 4D, 4E, and 4F will remain as riparian open space (containing natural, non-irrigated vegetation) or natural open space. The predominant feature of areas 4A, 4B, and 4C is the existing streambed/drainage courseway that traverses the site from north to south. In addition, many of the half-acre lots will contain deed restricted slope areas that will be preserved as open space. These deed restricted areas contain approximately 64 acres of open space.
- \* **MWD/OPEN SPACE PASEO** - An existing underground utility pipeline of the Metropolitan Water District and one for Western Municipal Water District traverse the project site on 23.6 acres. Designated as Planning Areas 8A and 8B, this Open Space Paseo area will have naturalized, non-irrigated vegetation, a meandering pathway in accordance with MWD criteria and approval, and will provide for collector and local streets.
- \* **TRAILS** - Multiple types of trails will exist on the project site. One acre of land within Planning Area 11 along El Sobrante Road, is established to serve as a right-of-way for two trails: a Class I concrete bike trail (running along the northern side of El Sobrante Road), and a regional hiking and riding trail consisting of 10' wide decomposed granite surface, in accordance with Riverside County General Plan and Parks and Recreation District policies. A 12' wide un-paved MWD maintenance road serves as a trail along the MWD Open Space Paseo. In Planning Area 3, the interior side of the Primary Collector road will have a 5' wide decomposed granite surface pedestrian trail. A 10' wide concrete multipurpose trail walkway will run along Blackburn Road in front of the park and a portion of the elementary school for



use by pedestrians and bikes. There is also an un-paved fire access trail north of Planning Areas 5 and 6 which will extend through Planning Area 4A and end at the community road and which can be used for hiking.

- \* **MAJOR PUBLIC ROADS** - 3.4 acres of major public roads will be implemented in conjunction with the proposed plan. The Riverside County Master Plan of Streets and Highways will adequately serve future traffic volumes for the region. Oleander Road, an east-west secondary (88' ROW) highway that bisected the adopted Specific Plan, was deleted in 1999 from the County's Master Plan of Arterial Highways based on updated traffic data for future build-out of the area. As a result, Oleander was eliminated from the Specific Plan and has been replaced by a collector roadway, Blackburn Road. On-site traffic will be conveyed by a hierarchical roadway system containing roadways that will provide local project residents access to the surrounding public roadway system. Secondary, arterial, and collector roadways will carry traffic on and off site.

**b. Land Use Development Standards**

To ensure the orderly and sensitive development of the residential and recreational land uses proposed for Victoria Grove, special mitigations have been created for each planning area. These area-specific standards, which are thoroughly discussed in Section III.B., Planning Area Development Standards, will assist in efficiently implementing the proposed development.

In addition to these specific guidelines, project wide development standards also have been prepared which complement the diverse conditions within each planning area. These general standards are:

1. The total Specific Plan No. 270 Amendment No. 1 shall be developed with a maximum of 1,144 dwelling units on 511.4 acres, as illustrated on the Specific Land Use Plan (Figure III-1). General uses permitted will include residential, recreational, educational, open space, riparian and circulation as prescribed on the Land Use Plan and in the individual planning areas (Figures III-12 through III-15).
2. Uses and development standards will be in accordance with the County of Riverside Ordinance No. 348.3904 and will be defined by Specific Plan No. 270 Amendment No. 1 objectives, future detailed plot plans and potential conditional use permits as appropriate.
3. Standards relating to signage, landscaping, parking and other related design elements will conform to the County of Riverside Ordinance No. 348. When appropriate and necessary to meet the goals of this Specific Plan No. 270 Amendment No. 1, the standards will exceed Ordinance No. 348 requirements. In addition, a Specific Plan Zoning Ordinance 348.3904 was processed concurrently with this Specific Plan No. 270 Amendment No. 1 incorporating the new acreage into the SP standards.



4. All project street lighting shall be minimized to intersections and cul-de-sacs in accordance with modified Riverside County standards, consistent with the more rural setting of the areas citrus heritage.
5. The development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances No. 348 and 460 and State laws; and shall conform substantially with Specific Plan No. 270 Amendment No. 1 and any amendments thereto as filed in the office of the Riverside County Planning Department, unless otherwise amended.
6. Except for the Specific Plan Zoning Ordinance 348.3904 adopted concurrently with this Specific Plan Amendment No. 1, no portion of this Specific Plan No. 270 Amendment No. 1 which purports or proposes to change, waive or modify any ordinance (except Ordinance 348 as modified by the Specific Plan Zone for Victoria Grove) or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
7. A land division filed for the purpose of phasing or financing shall not be considered an implementing development application, and as such shall not be subject provided that if the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
8. Common areas identified in the Specific Plan No. 270 Amendment No. 1 shall be owned and maintained as follows:
  - a. A permanent master maintenance organization shall be established for the Specific Plan No. 270 Amendment No. 1 area, to assume ownership and maintenance responsibility for all common recreation, open space and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
  - b. Unless otherwise provided for in these standards, common areas shall be conveyed, when improved, to the maintenance organization as implementing development of associated residential lots are annexed into the master maintenance organization.
  - c. The maintenance organization shall be established prior to, or concurrent with the issuance of the first Certificate of Occupancy for any approved land division.



9. The applicant shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attach, set aside, void, or annul an approval of the County of Riverside, its advisory agencies, appeal boards or legislative body concerning the Specific Plan No. 270 Amendment No. 1. The County of Riverside will promptly notify the applicant of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the applicant of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the County of Riverside.
10. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan No. 270 Amendment No. 1 approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan No. 270 Amendment No. 1 approval have been satisfied for the phase of development in question.
11. An environmental assessment shall be conducted for each Tract, Plot Plan, Specific Plan Amendment or any other discretionary permit required to implement the Specific Plan No. 270 Amendment No. 1. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for this Specific Plan No. 270.
12. Lots created pursuant to this Specific Plan No. 270 Amendment No. 1 and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan No. 270 Amendment No. 1 zone herein applied to the property.
13. Flag lots shall not be permitted except as approved by the Fire Department and the Planning Director.
14. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular and pedestrian and/or bicycle).
15. Passive solar heating techniques may be employed whenever practical within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated and installing simple heat storage systems.
16. Roadways, infrastructure, parks and open space may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance and management.



17. Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified based upon but not limited to, the following: a) adequate availability of services; b) adequate access and circulation; and c) innovation in housing types and design.
18. Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open space area by the homeowner.
19. Designation and/or dedication of park land and open space acreage, necessary to satisfy both County and State requirements, will be based on the final amount of dwelling units and subsequent population generated by Victoria Grove Specific Plan No. 270 Amendment No. 1 as adopted by the Riverside County Board of Supervisors.
20. Prior to the issuance of building permits, improvement plans for adjacent developed common open space area, including irrigation plans, shall be submitted for Planning Department approval. Irrigation plans shall be certified by a landscape architect.
21. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
  - a. Circulation for pedestrians, vehicles and police patrols.
  - b. Lighting of streets, walkways and bikeways.
  - c. Visibility of doors and windows from the street and between buildings, where practical.
  - d. Fencing heights and materials which are developer's responsibility.
22. It is anticipated that maintenance associations, if formed, will be established as follows: The master property owners' association shall be charged with the unqualified right to assess individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for the maintenance of parking areas, open space area, signing, landscaping, irrigation, common areas and other responsibilities as necessary.
23. Construction of certain public facilities and infrastructural requirements (such as schools, sewers, water, roadways, among others) may be financed through a community facilities district (CFD). Financing of these facilities through a CFD may substitute for the payment of fees that would have financed those facilities.



**TABLE II  
VICTORIA GROVE  
DETAILED LAND USE SUMMARY**

Land Use Designation	Planning Area	Acres	Target Range	Dwelling Density	Dwelling Units
Low (½ Acre Lots)	1	61.7	0.5-2	1.4	87
	5	11.8	0.5-2	1.0	12
	6	14.6	0.5-2	1.2	18
	12*	5.5	0.5-2	0.9	5
	14	1.1	0.5-2	1.8	2
<b>LOW (½ ACRE LOTS) SUBTOTAL</b>		<b>94.7</b>	<b>0.5-2</b>	<b>1.3</b>	<b>124</b>
Medium (¼ Acre Lots)	2*	80.3	2.0-5	2.4	193
	7	18.5	2.0-5	2.6	49
	9	14.6	2.0-5	3.1	45
<b>MEDIUM (1/4 ACRE LOTS) SUBTOTAL</b>		<b>113.4</b>	<b>2.0-5</b>	<b>2.5</b>	<b>287</b>
Medium- Executive Homes (7,200 Sq. Ft. Lots)	3*	111.9	2.0-5	3.1	347
	11	114.7	2.0-5	3.4	386
<b>MEDIUM (7,200 SQ. FT.) SUBTOTAL</b>		<b>226.6</b>	<b>2.0-5</b>	<b>3.2</b>	<b>733</b>
<b>SUBTOTAL</b>		<b>434.7</b>		<b>2.6</b>	<b>1,144</b>
Open Space/Riparian	4(A-F)	26.7			
MWD Open Space Paseo	8 (A-B)	23.6			
Passive Open Space/ Private Recreation	10A-C	2.0			
Park	10B	9.0			
Elementary School	13	12.0			
Major Public Roads		3.4			
<b>PROJECT TOTAL</b>		<b>511.4</b>		<b>2.2</b>	<b>1,144</b>

\* The dwelling unit counts for Planning Area 2, 3, and 12 include a total of existing dwelling units, one each Planning Areas 2, 3 and 12.



## **2. Circulation Plan**

### **a. Circulation Plan Description**

As the result of a thorough traffic study conducted by RKJK, (see Technical Appendices), a project roadway concept has been prepared as illustrated in the Circulation Plan (Figure III-2).

Primary east-west access to the project site will be achieved either via El Sobrante Road which borders the south side of the site or Blackburn Road which runs through the project from the east to the west. Oleander Avenue, once designated as an east-west secondary highway bisecting the Specific Plan, was deleted from the Master Plan of Highways. It is replaced with Blackburn Road, a collector roadway, connecting La Sierra Avenue to McAllister Street across the site. Principal north-south access to the site will be achieved via La Sierra Avenue. McAllister Street is not a suitable north-south access to the site because it is inconvenient and will not carry significant amounts of traffic. Victoria Grove design redirects traffic to La Sierra Avenue away from this street. Avocado Lane is an existing road adjacent to Planning Area 12 which will have no access to the project. An efficient network of private, gated roadways is designed to accommodate on-site circulation. The project's circulation system is specifically designed with no direct connections to the roadway system for the Orchards project to the north. Each street's location and size (Figure III-2) are designed to facilitate an efficient and safe flow of traffic throughout the site. The primary goal of the Circulation Plan is to provide direct and convenient access to the individual residential clusters and to the recreation and open space areas using a hierarchy of arterial, collector and private roadways (called community roads and neighborhood roads). Roadway cross-sections are shown on Figures III-3, III-4, and III-5.

In addition to the vehicular circulation system, a portion of the Riverside County Regional Secondary Trail as well as a Class I bike trail, as proposed in the County's General Plan will traverse the southern portion of the site adjacent to El Sobrante Road (see Figure III-2).

The original project traffic analysis estimated that the proposed project would generate approximately 10,770 daily trips. (Please refer to Technical Appendices Traffic Study, prepared by Kunzman Associates.) RKJK and Associates has verified that this number is still valid.

### **b. Circulation Development Standards**

1. The proposed Circulation Plan provides an efficient traffic design that meets the needs of the project. The on-site system depicted on the Circulation Plan (Figure III-2) has been derived from the Master Circulation Plan outlined in the Traffic Analysis and will serve as the composite Circulation Plan for Victoria Grove Specific Plan No. 270 Amendment No. 1 (see Technical Appendices). The illustrated, on-site roadway improvements will be phased in accordance with this plan.
2. All project public roadways within the Specific Plan No. 270 Amendment No. 1 project boundaries are to be constructed to ultimate County right-of-way standards for dedication.

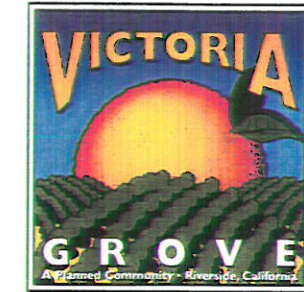


3. By design, heavy through-traffic volumes have been eliminated from residential neighborhoods. Major roadways should be implemented as non-access roadways, with residential neighborhoods served by smaller residential collectors.
4. The subdivision shall comply with the on-site street improvement recommendations/mitigations outlined in the project traffic analysis including internal design. (Please refer to Technical Appendices, Traffic Analysis.)
5. On-site public roads will be constructed as:
  - \* Arterial (110-foot R.O.W.)
  - \* Collector (66-foot R.O.W.)
  - \* Local (60-foot R.O.W.)
6. Private Roads
  - \* Community Roads (66-foot R.O.W.)
  - \* Neighborhood Roads (60-foot R.O.W.)
7. Landscape requirements will be based on street width in accordance with the Roadway Landscape Treatments as depicted in Section IV.
8. Major roadway improvements may be financed through an assessment district or similar financing mechanism.
9. All roads within the Specific Plan No. 270 Amendment No. 1 project boundary shall be constructed to appropriate County full or half-widths standards in accordance with Ordinance No. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan No. 270 Amendment No. 1, subject to approval by the Transportation Director.
10. The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
11. The project shall comply with the conditions and requirements set forth by Riverside County Transportation Department.
12. All projects, including subdivisions within the Specific Plan No. 270 Amendment No. 1 boundary, shall be subject to the Development Monitoring Program as described in Section II.D, Development Monitoring Program for Traffic Impacts.



13. Any application for any subdivision within the specific plan boundary (including a Schedule I Parcel Map) shall cause the design of the specific plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section. Specific Plan Schedule I Parcel Maps shall design the street system shown thereon, or as approved by the Transportation Department..
14. Each subdivision shall comply with the on-site and off-site street improvement recommendations and mitigation measures outlined in the subsequent traffic studies for each individual project, or as approved by the Transportation Department..
15. All roadways intersecting four lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with Standard 103, Ordinance 461 from the four lane facility to the nearest intersection, or as approved by the Transportation Department.
16. All typical sections for public roadways shall be per Ordinance 461, or as approved by the Transportation Department.
17. All intersection spacing and/or access openings shall be per Standard 114, Ordinance 461, or as approved by the Transportation Department.
18. No textured pavement accents will be allowed within County right-of-way.
19. Mid-block cross-walks are not allowed.
20. Driveways - access points - no driveways or access points as shown in the specific plan are approved. All access points shall conform to Transportation Department standard access spacing, depending upon the street's classification.
21. Schools/Parks - the Transportation Department's policy regarding streets adjacent to school sites and park sites requires a minimum of 66' right-of-way (Standard 103) where automobile access is proposed.
22. Any landscaping within public road rights-of-way will require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the Transportation Department.
23. All bike trails developed as part of this specific plan shall be as approved by the Transportation Department.





## CIRCULATION ELEMENTS

	ARTERIAL HIGHWAY 110' R.O.W.
	SEGMENT I - COLLECTOR ROADWAY 72' R.O.W. (WITH 50' PAVED WIDTH)
	SEGMENT II - COLLECTOR ROADWAY 66' R.O.W. (WITH 46' PAVED WIDTH AND SIDEWALK ON ONE SIDE)
	SEGMENT III - COLLECTOR ROADWAY 66' R.O.W. (WITH 46' PAVED WIDTH AND SIDEWALK ON BOTH SIDES)
	PRIVATE COMMUNITY ROAD #1 66' R.O.W. (SECTION "A-A")
	PRIVATE COMMUNITY ROAD #2 66' R.O.W. (SECTION "B-B")
	PRIVATE COMMUNITY ROAD #3 66' R.O.W. - ADJACENT TO OPEN SPACE/ RIPARIAN (SECTION "C-C")
	PRIVATE COMMUNITY ROAD #4 66' R.O.W. - ADJACENT TO SCHOOL/ OPEN SPACE (SECTION "D-D")
	PRIVATE COMMUNITY ENTRY ROAD 66' R.O.W. (SECTION "E-E")
	PRIVATE INTERIOR STREET (SECTION "F-F")
	PRIVATE NEIGHBORHOOD ROAD (PHASE I & II ADOPTED TRACT MAP AREAS) 60' R.O.W.
	McALLISTER STREET PUBLIC COLLECTOR ROAD 66' R.O.W. 44' PAVED SECTION



# VICTORIA GROVE

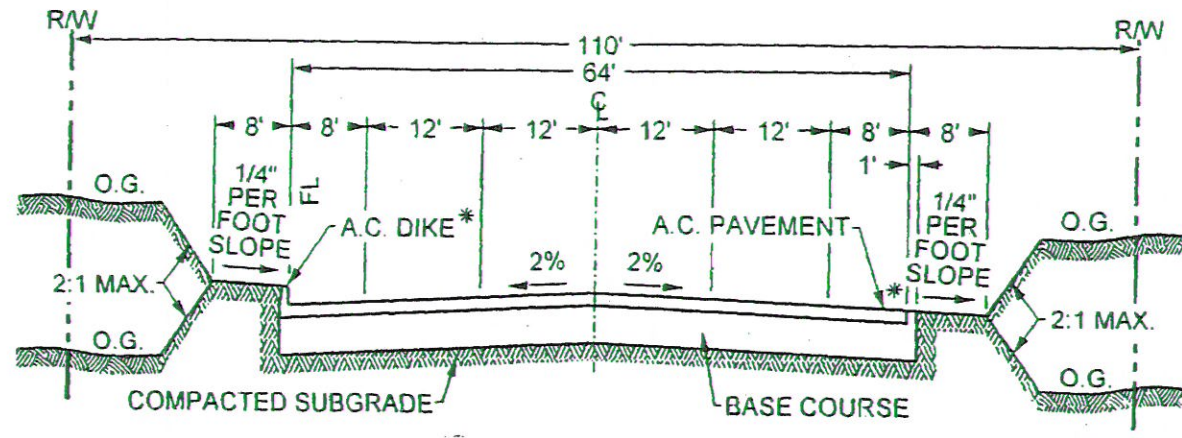
(formerly the Sierra Collection)

Specific Plan 270 Amendment No. 1

Figure III-2  
Circulation Plan

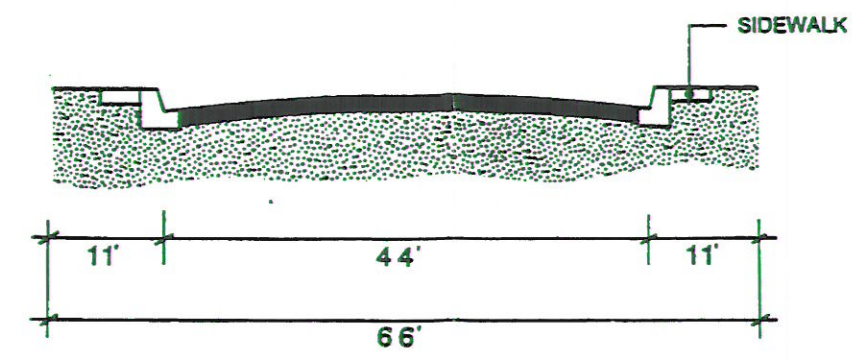






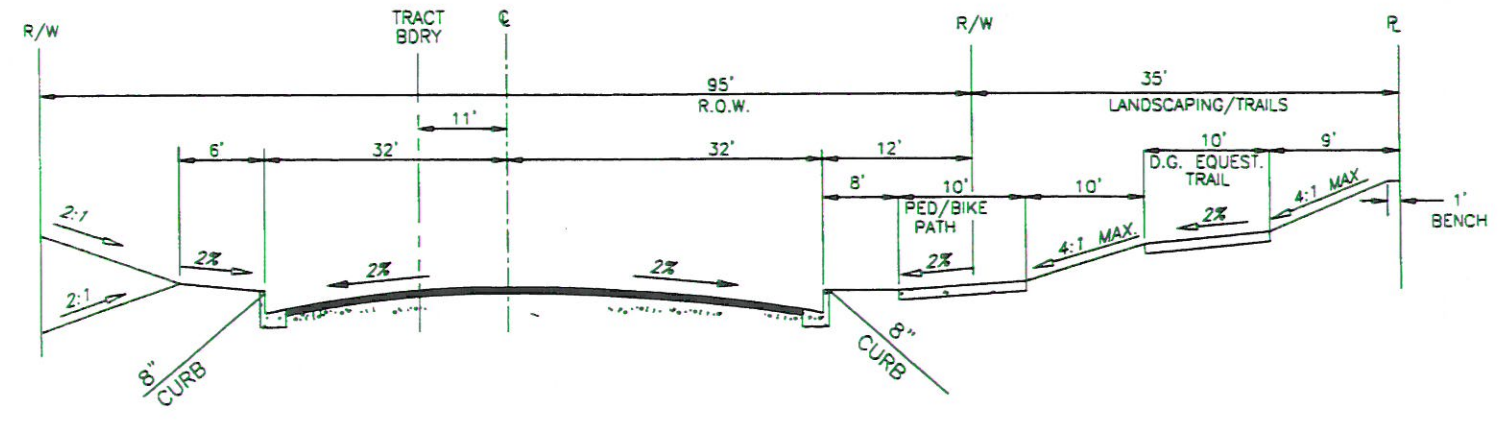
**MOUNTAIN ARTERIAL HIGHWAY**  
(LA SIERRA AVENUE - 110' R.O.W.)

N.T.S.



**COLLECTOR ROAD**  
(McCALLISTER STREET - 66' R.O.W.)

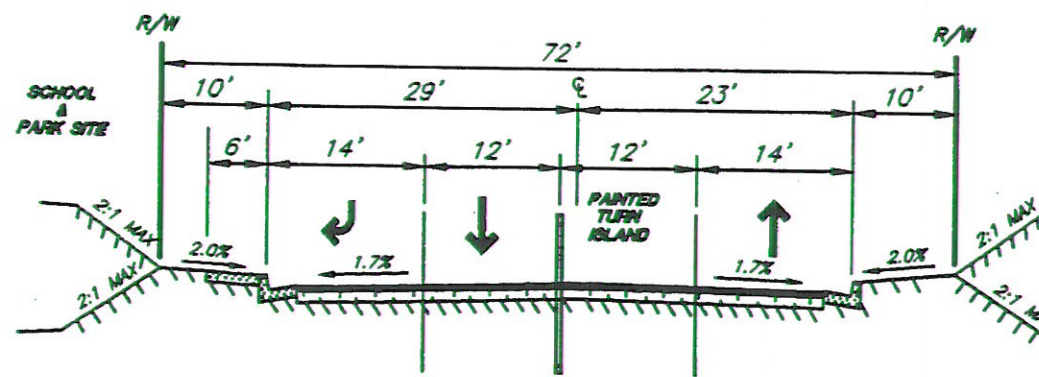
N.T.S.



**MODIFIED ARTERIAL HIGHWAY**  
(EL SOBRANTE ROAD - 55' R.O.W. - HALF SECTION)  
(LANDSCAPE EASEMENT OCCURS ON NORTH SIDE ONLY)

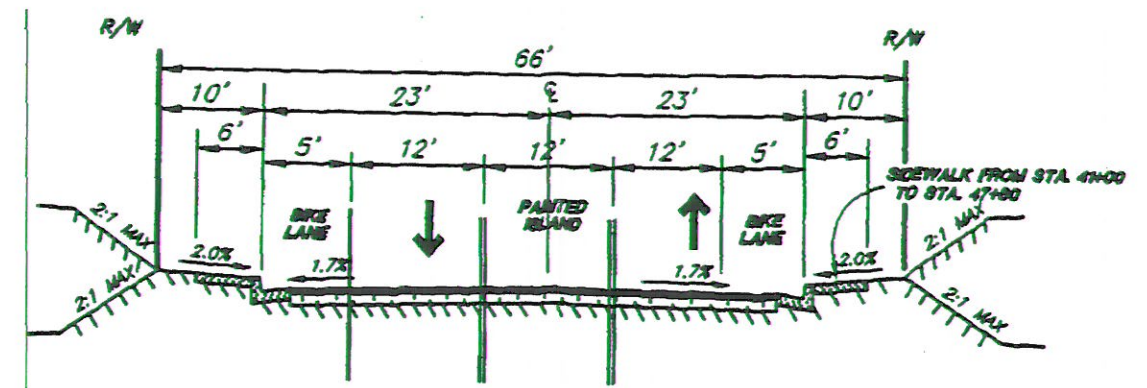
N.T.S.





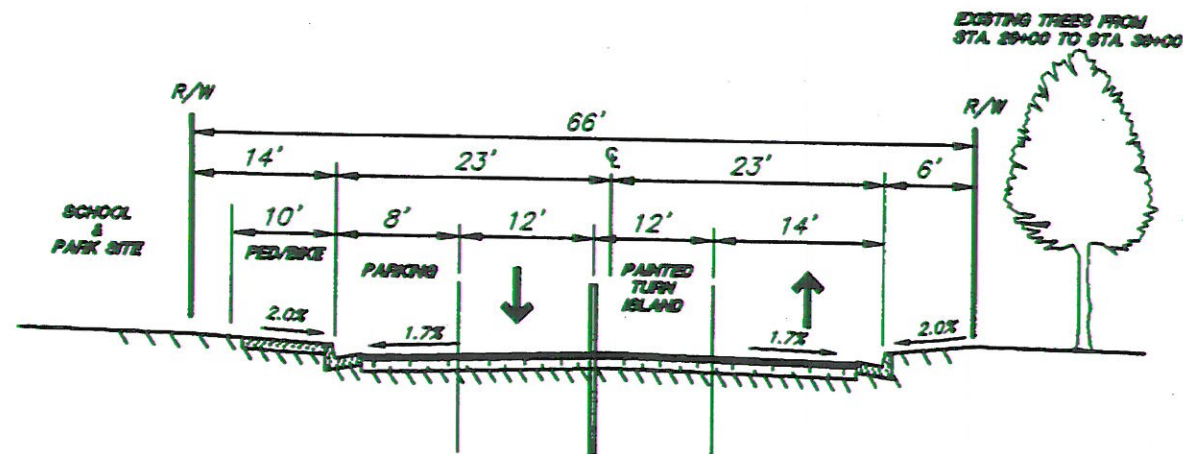
**COLLECTOR ROAD**  
(BLACKBURN ROAD - 72' R.O.W.)  
**SEGMENT I**

N.T.S.



**COLLECTOR ROAD**  
(BLACKBURN ROAD - 66' R.O.W.)  
**SEGMENT III**

N.T.S.



**COLLECTOR ROAD**  
(BLACKBURN ROAD - 66' R.O.W.)  
**SEGMENT II**

N.T.S.



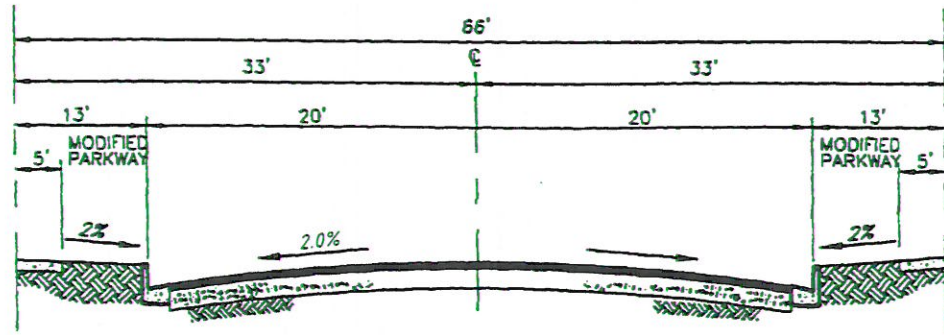
**VICTORIA GROVE**  
(formerly the Sierra Collection)

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Figure III-4  
**Roadway Cross-Sections**

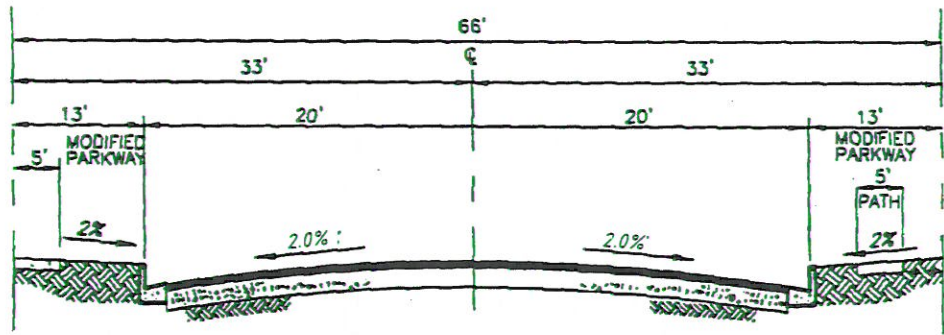






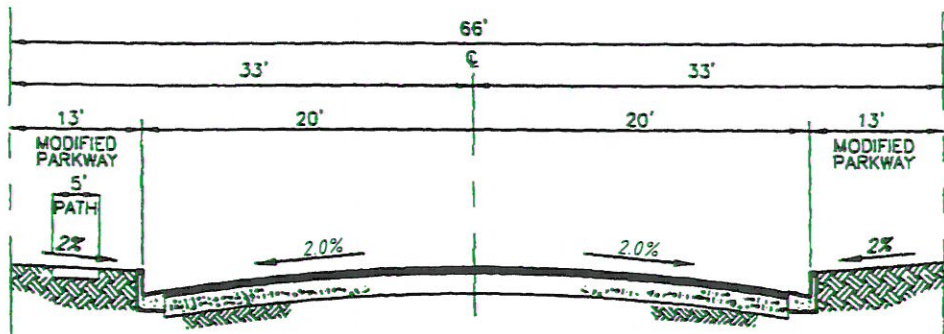
PRIVATE COMMUNITY ROADS #1 "A-A"

N.T.S.



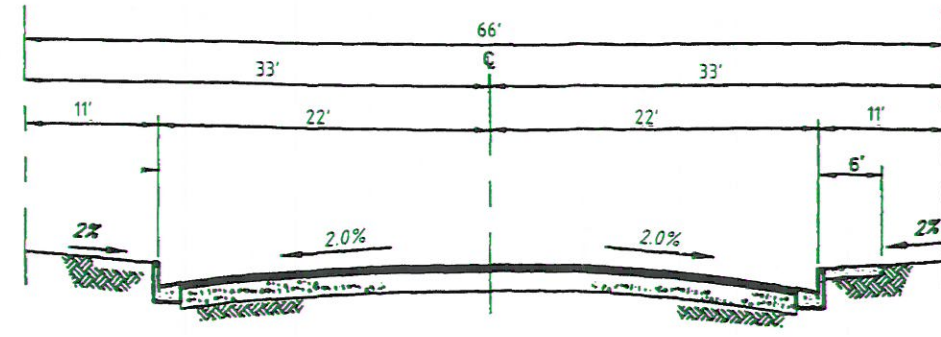
PRIVATE COMMUNITY ROADS #2 "B-B"

N.T.S.



PRIVATE COMMUNITY ROAD #3  
(ADJACENT TO OPEN SPACE / RIPARIAN) "C-C"

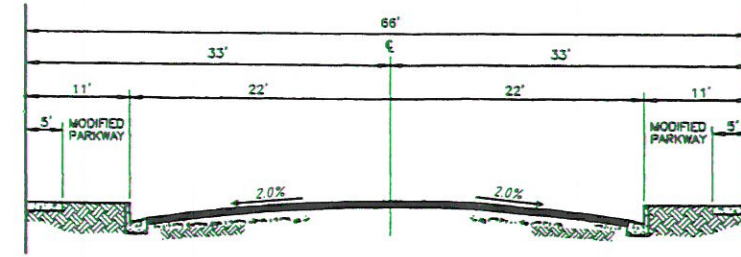
N.T.S.



PRIVATE COMMUNITY ROAD #4  
(ADJACENT TO SCHOOL/OPEN SPACE) "D-D"

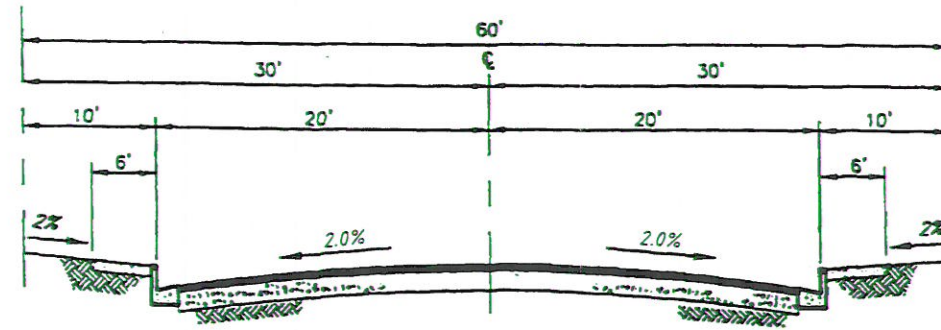
N.T.S.

SCHOOL



PRIVATE COMMUNITY ENTRY ROAD "E-E"

N.T.S.



TYPICAL PRIVATE INTERIOR STREET "F-F"

N.T.S.



**VICTORIA GROVE**  
(formerly the Sierra Collection)





### **3. Drainage Plan**

#### **a. Drainage Plan Description**

Victoria Grove Specific Plan No. 270 Amendment No. 1 is located within the boundaries of the Southwest Area Drainage Plan of the County of Riverside (see Figure III-6a). This drainage plan proposes the master storm drain facilities which will be required to provide flood protection for all lands within the plan area. Victoria Grove Specific Plan No. 270 Amendment No. 1 site is located in the southerly portion of the plan area. The plan does not propose any master drainage facilities to be constructed on the project site; however, if downstream facilities are not adequate, an on-site retention basin will be provided, as required, to reduce off-site flow.

There are three off-site drainage areas which discharge to the project site. These areas are located along the eastern and southern boundaries. Off-site tributary flows will be conveyed through areas that will remain in a natural open space condition. Drainage within the project area will also be directed to the riparian area to be conveyed off-site. (See Figure III-6b, Drainage Plan.) Only minimal improvements, such as catch basins, are proposed for the site. The facilities will serve to direct flows from future streets to the riparian area. No diversion is anticipated on the site. Final engineering of the site will address any possible concentration of flow. Any diversion greater than one (1) acre will be coordinated with and approved by affected land owners and flood control district.

Victoria Grove site is located north of Lake Mathews and is protected from flooding by means of a dike on the northern boundary of Lake Mathews. The seismic stability evaluation of the dam, dikes and headworks embankments performed by Harding-Lawson Associates in December of 1978 (and updated annually by the Department of Dam Safety in coordination with MWD) concluded that they will perform satisfactorily during a maximum credible earthquake. Nonetheless; portions of Victoria Grove site are affected by the dam inundation area as shown on the Dam Inundation Areas map (Figure III-6c). Figure III-6c indicates approximate boundaries of dam inundation areas with respect to the project site.

#### **b. Drainage Plan Development Standards**

1. Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County's Flood Control and Water Conservation District requirements.
2. It is anticipated that drainage/flood control and natural drainage facilities will be maintained by the County Flood Control District, County Transportation Department or Homeowners' Association.



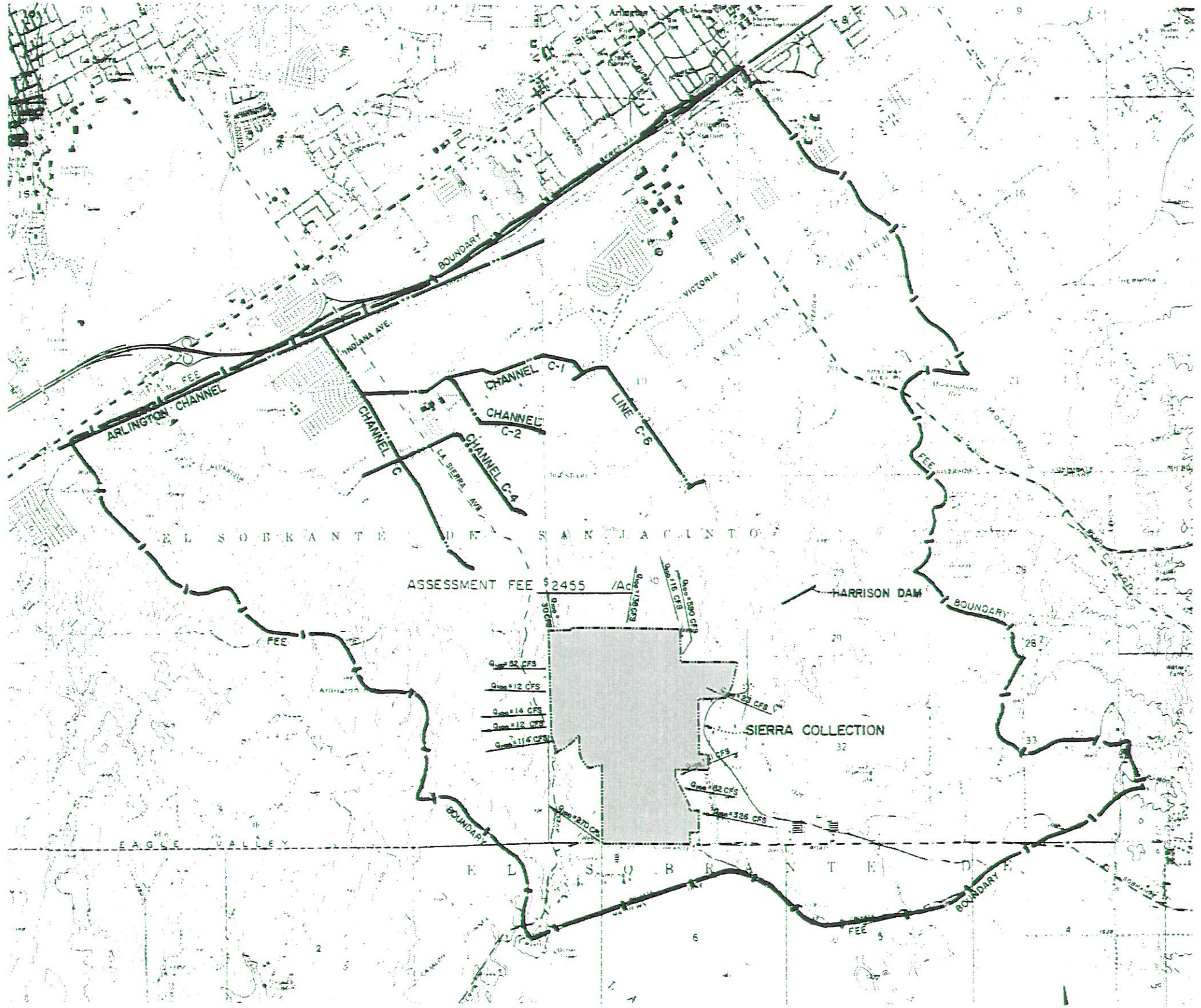
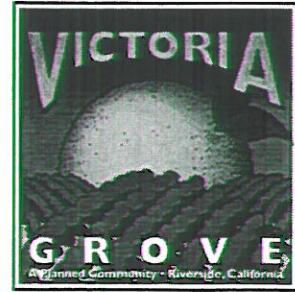
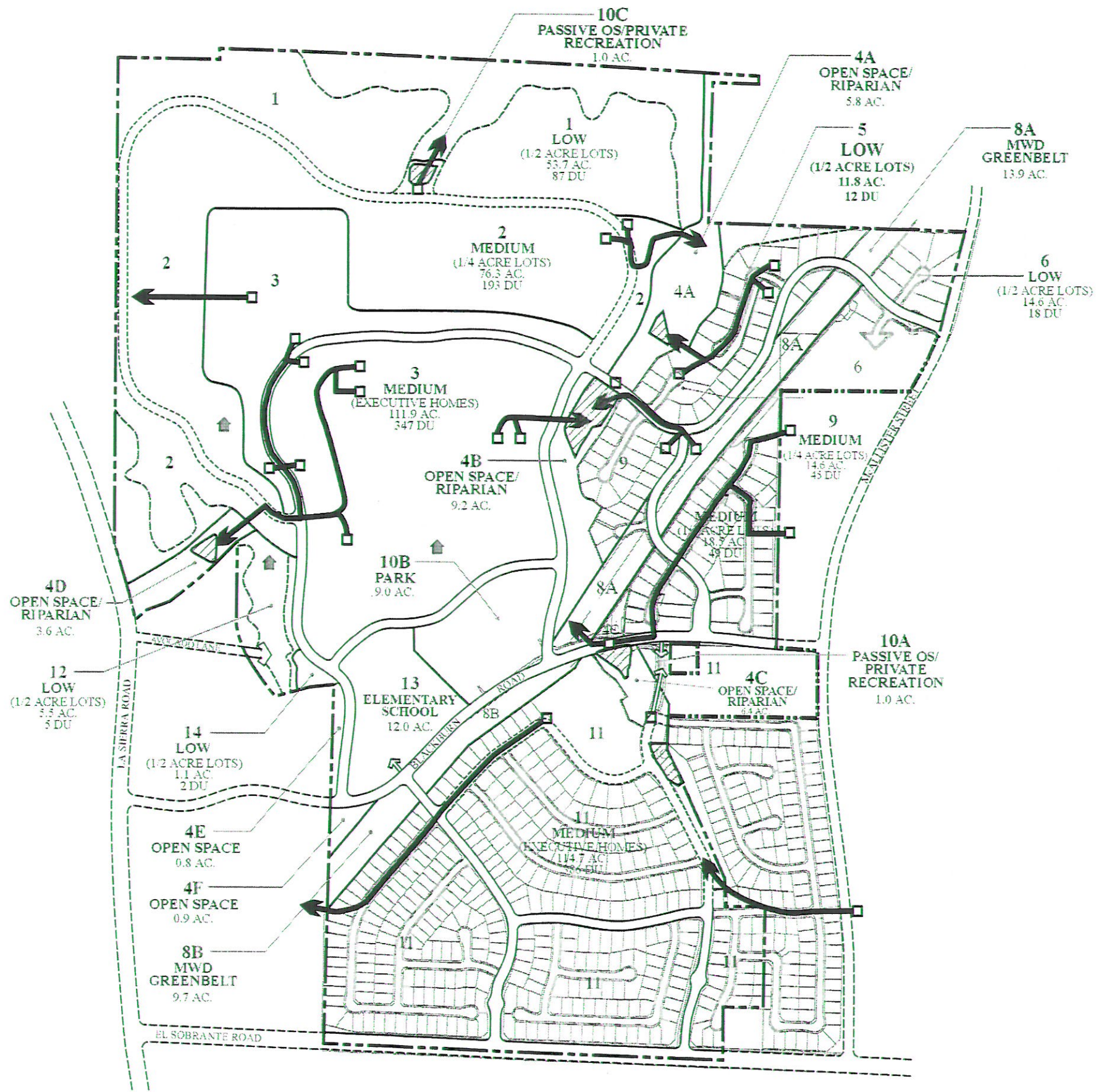
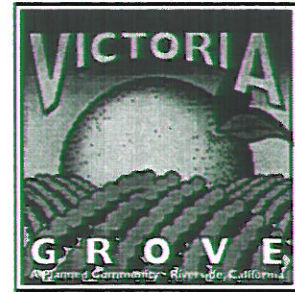





Figure III-6A  
 Southwest Riverside  
 Master Drainage Plan





### DRAINAGE ELEMENTS

-  DIRECTION OF FLOW
-  REINFORCED CONCRETE PIPE
-  DETENTION BASIN

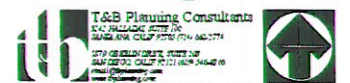


# VICTORIA GROVE

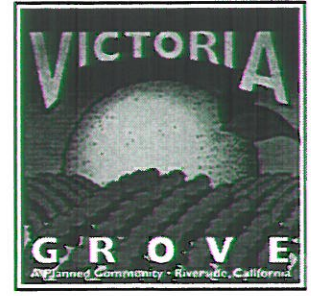
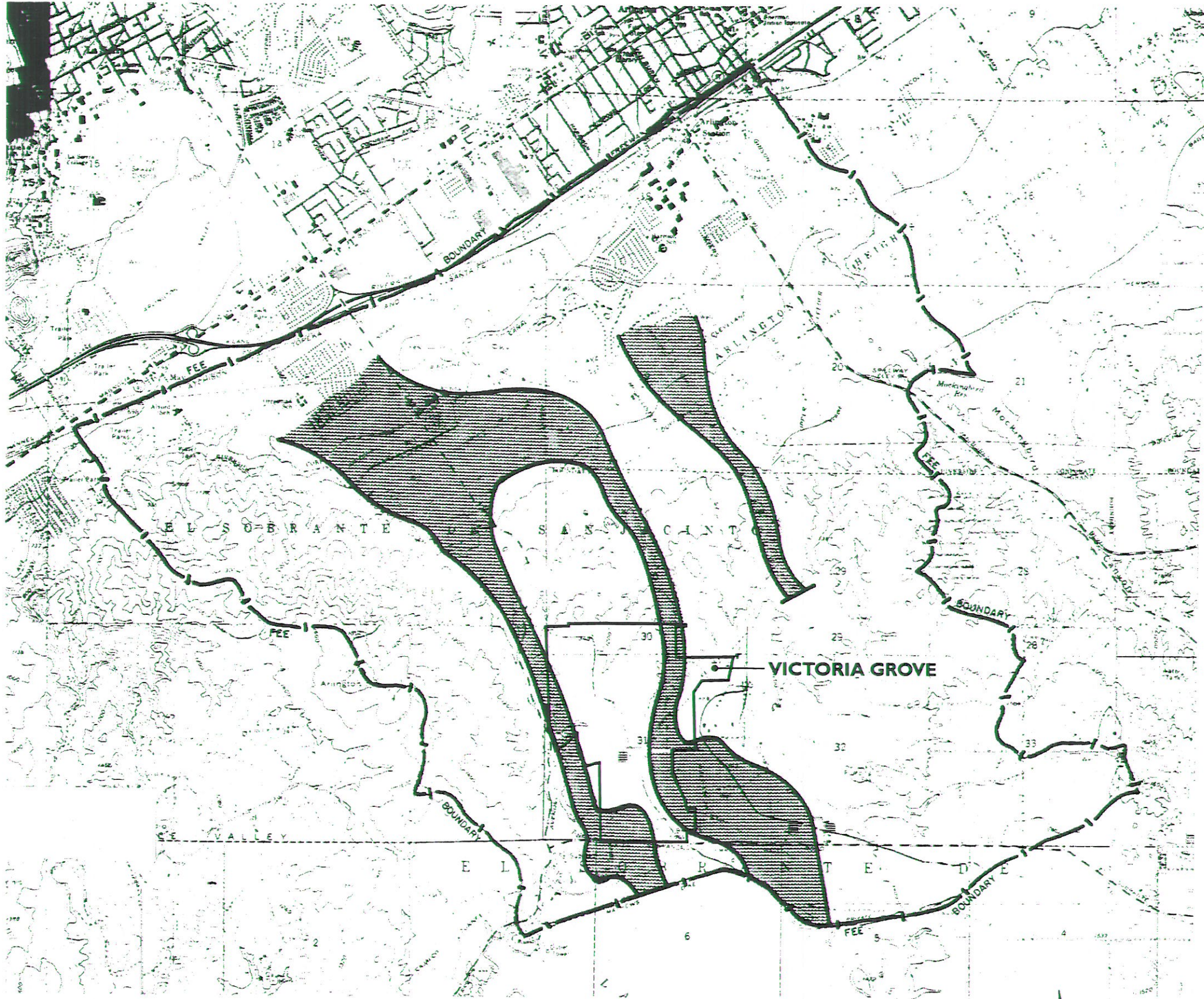
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Specific Plan 270 Amendment No. 1

Figure III-6B  
Drainage Plan







**LEGEND**

 DAM INUNDATION AREAS

**Figure III-6C**  
**Dam Inundation Areas**



#### **4. Water and Sewer Plan**

##### **a. Water and Sewer Plan Descriptions**

The Western Municipal Water District is the current governing agency regarding water and sewer facilities for Victoria Grove Specific Plan No. 270 Amendment No. 1. Currently there are water facilities within the project site that will serve the needs of the proposed development. A 54-inch water line, known as Reach 'C' of the Woodcrest Pipeline, traverses the site in a north-east to south-west direction and will be used as the primary source of water for the project. This line is supplied with water by the Mills Filtration Plant in the City of Riverside and there is an existing unused outlet on the project site that will be used in supplying water to the project. Running parallel to the Woodcrest Pipeline is the Metropolitan Water District of Southern California's 140-inch upper feeder. Current water storage facilities in the vicinity include a 10-million gallon reservoir to the west that is filled from the 54-inch Woodcrest Pipeline via a 48-inch extension. This tank is part of the Western Municipal Water District's 1515 zone which can service elevations up to about 1,370 feet.

The Master Water Plan (Figure III-7), illustrates improvements necessary to provide the project site with an adequate supply of water. The plan calls for a 12-inch main to be constructed from the existing outlet at the 54-inch Woodcrest Pipeline west of Planning Areas 2 and 3, where it will be reduced to an 8-inch line which will extend to the western property boundary. These lines will serve as the major backbone facility for the Specific Plan No. 270 Amendment No. 1 project. A 12-inch line to the southern section of the site is also planned to ensure adequate fire flow protection.

Irrigation water was historically supplied to the project area by El Sobrante, which later was absorbed by Western Municipal Water District. As a result of Victoria Grove development, water will be rerouted throughout the area, allowing potable water to be available for existing residents on La Sierra Avenue and El Sobrante Road. The availability of potable water to these residents prevents a violation of the Clean Water Act.

In addition to the on-site improvements, extension of the backbone water line off-site to the west along Lake Crest Drive, where it would tie into the existing 1515 zone at the 16-inch line in Lake Point Parkway, is also planned. This would provide a secondary source for service to the project. It should, however, be noted that improvements indicated on the Master Water Plan (Figure III-7) were sized assuming only service from the on-site 54-inch line. It is assumed that water storage for the project will be handled by the existing 10 million gallon reservoir located west of the site.

There are no existing sewer facilities on the project site. The nearest available facility is a 24-inch line located approximately 3 miles north-west at the intersection of Filmore and the Atchison Topeka and Santa Fe Railroad. This line is a part of the Santa Ana Regional Interceptor (SARI). This line will be used for permanent disposal of project flows.



The Master Sewer Plan (Figure III-8) illustrates the planned sewerage facilities for the project site. As shown, two lift stations will be required to pump flows to the western gravity drainage basin to allow gravity flow from the project down La Sierra Avenue. Although the southern section of the project is in two drainage basins, on-site grading is expected to allow gravity flow north to the eastern lift station. The Master Sewer Plan identifies the downstream off-site facilities in La Sierra Avenue required to convey flow to the existing SARI line.

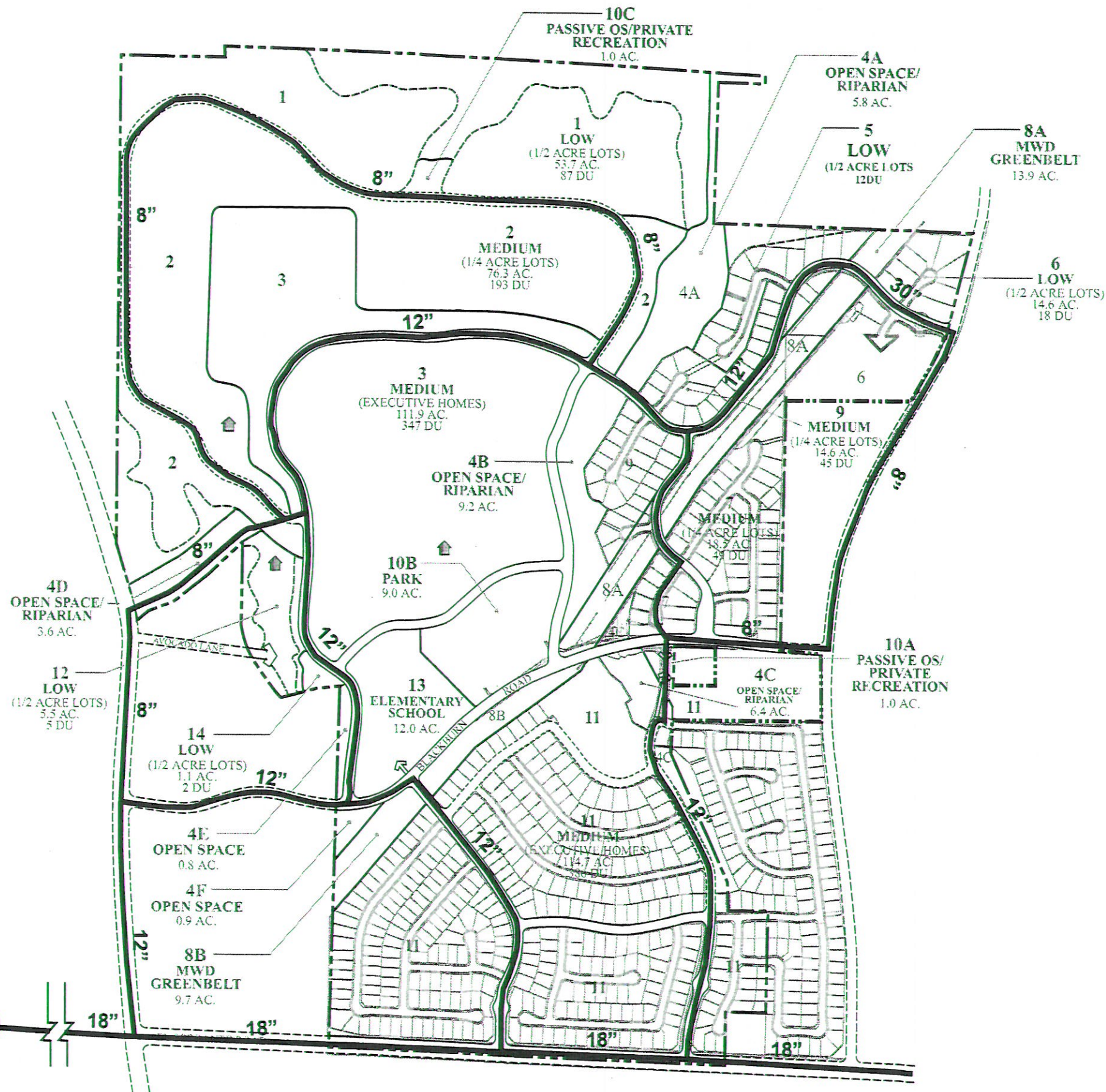
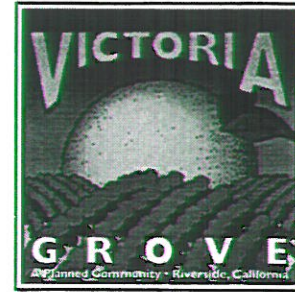
The Master Sewer Plan provides two sizes for the planned facilities. The first is the size required to serve the Victoria Grove project alone. The second is the facility size to accommodate flows from the project and the off-site tributary areas. Although these facilities are oversized for off-site flows, they are outside the project and will have to apply separately to Western Municipal Water District for capacity in the SARI line. Western Municipal Water District is aware of the project and has purchased capacity in the SARI line. A new plant accommodating Victoria Grove has been completed and Western Municipal Water District will be reimbursed for a portion of the construction cost.

Planned water and sewer facilities are explained in greater detail in the report prepared by Wilson Engineering which is contained in the Technical Appendices of this document.

**b. Water and Sewer Plan Development Standards**

- 1) All water and sewer lines shall be placed underground.
- 2) All lines will be designed per the Western Municipal Water District's requirements.
- 3) The infrastructural system will be installed to the requirements of the Riverside County Health Department and Western Municipal Water District.
- 4) Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department and WMWD.
- 5) The project will comply with WMWD requirements for installment of on-site reclaimed water lines.





### WATER ELEMENTS

- PROPOSED WATER LINES (SIZE AS NOTED)
- OFF SITE WATER STORAGE TANK

# VICTORIA GROVE

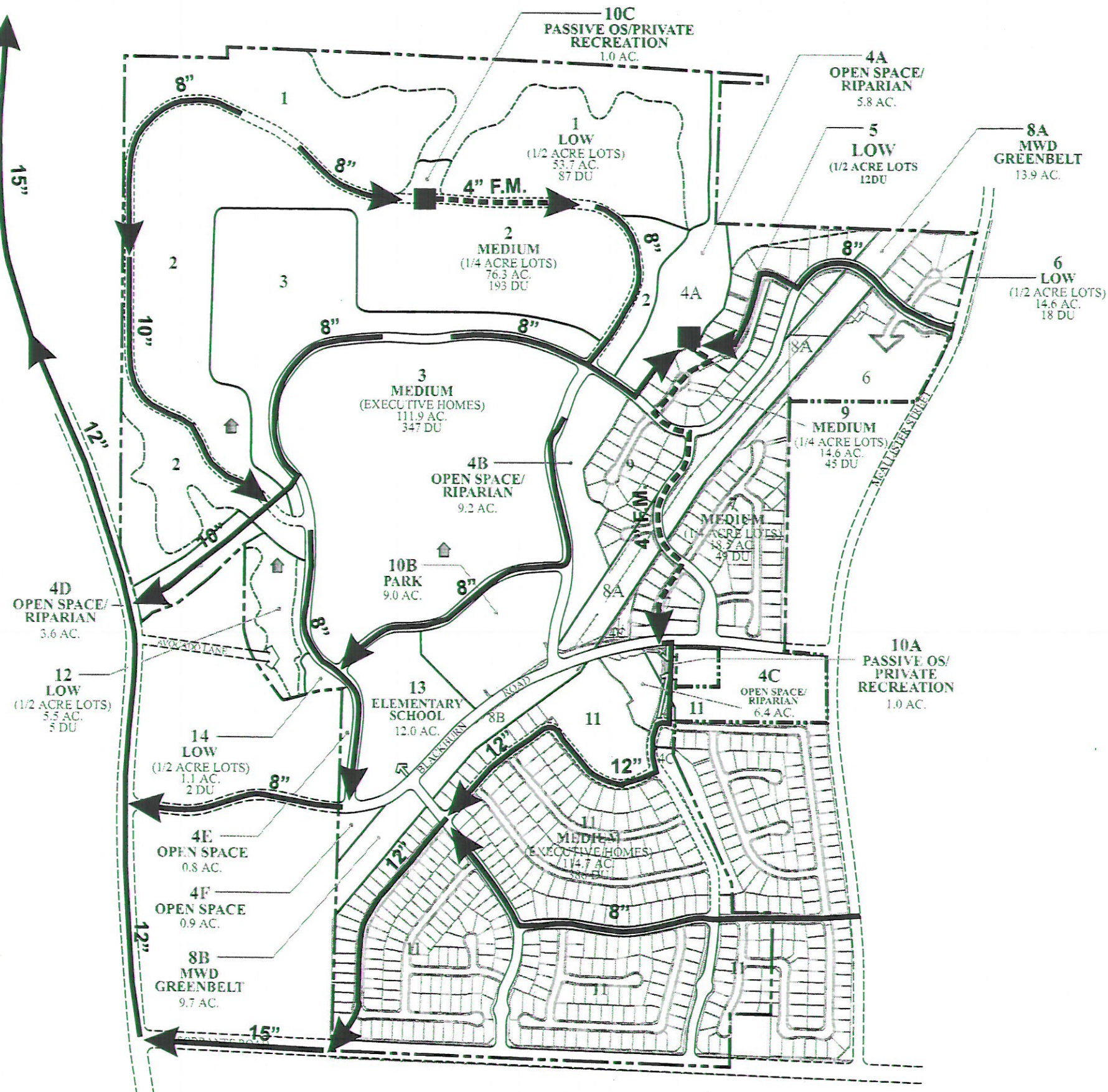
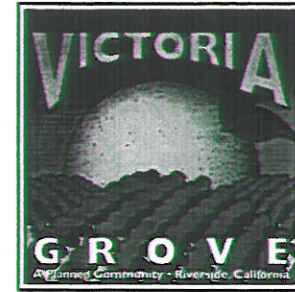
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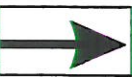
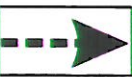

Figure III-7  
Water Plan







### SEWER ELEMENTS

-  GRAVITY SEWER (SIZE AS NOTED)
-  FORCE MAIN (F.M.) (SIZE AS NOTED)
-  LIFT STATION



# VICTORIA GROVE

(formerly the Sierra Collection)

Specific Plan 270 Amendment No. 1

Figure III-8  
Sewer Plan





**5. Public Facility Sites and Project Phasing**

**a. Public Facility Phasing Description**

In order to ensure timely development of public facilities, a Phasing Plan has been prepared for the proposed park site (Planning Area 10 B), and the MWD open space sites (Planning Areas 8A and 8B).

**b. Public Facility Phasing Schedule**

Public facility construction shall be phased as provided by the public facilities phasing table (Table III) below:

**TABLE III  
PUBLIC FACILITIES PHASING**

<u>Planning Area</u>	<u>Public Facility</u>	<u>Size of Site</u>	<u>Milestones and Requirements</u>
4 A	Open Space/Riparian	5.8 AC	Planning Area 4A shall be preserved in conjunction with development of Planning Areas 1, 2, 5 and 9. The relevant area of Planning Area 4A that falls within implementing tract maps shall be shown as a lettered open space lot.
4 B	Open Space/Riparian	9.2 AC	Planning Area 4B shall be preserved in conjunction with development of Planning Areas 3 and 9. The relevant area of Planning Area 4B that falls within implementing tract maps shall be shown as a lettered open space lot.
4 C	Open Space/Riparian	6.4 AC	Planning Area 4C shall be preserved in conjunction with development of Planning Areas 7 and 11. The relevant area of Planning Area 4C that falls within implementing tract maps shall be shown as a lettered open space lot.
4 D	Open Space/Riparian	3.6 AC	Planning Area 4D shall be preserved in conjunction with adjacent development of Planning Area 2. The relevant area of Planning Area 4D that falls within the implementing tract map shall be shown as a lettered open space lot.
4 E	Open Space	0.8 AC	Planning Area 4E shall be preserved in conjunction with development of Planning Area 3. The relevant area of Planning Area 4E that falls within the implementing tract map shall be shown as a lettered open space lot.



<u>Planning Area</u>	<u>Public Facility</u>	<u>Size of Site</u>	<u>Milestones and Requirements</u>
4 F	Open Space	0.9 AC	Planning Area 4F shall be shown on the Tentative Tract Map for Planning Area 3. A minor plan approval will be necessary prior to the implementation of any use and/or facilities.
8 A	MWD/Open Space Paseo	13.9 AC	To be constructed during Phase II by the Master Developer <sup>1</sup> .
8 B	MWD/Open Space Paseo	9.7 AC	To be constructed during Phase III by the Master Developer <sup>1</sup> .
10 A	Passive Open Space/Private Recreation	1.0 AC	Site to be developed during Phase I by the Master Developer <sup>1</sup> or builder. Planning Area 10A shall be developed in conjunction with Planning Area 11. Prior to the approval of a building permit for the 365 <sup>th</sup> dwelling unit in Planning Area 11, detailed park plans shall be designed by the Master Developer <sup>1</sup> . The Passive Open Space/Private Recreation shall be constructed and fully operational prior to the issuance of the 385 <sup>th</sup> building permit in Planning Area 11.
10 B	Park	9.0 AC	Site and improvements to be designed by the Master Developer <sup>1</sup> prior to the issuance of a building permit for the 150 <sup>th</sup> dwelling unit in Planning Area 3 or the 500 <sup>th</sup> dwelling unit within the overall Specific Plan, whichever occurs first. The Community Park shall be constructed and fully operational prior to the issuance of the 250 <sup>th</sup> building permit in Planning Area 3 or the 600 <sup>th</sup> dwelling unit overall.
10 C	Passive Open Space/Private Recreation	1.0 AC	To be constructed during Phase IV by the Master Developer <sup>1</sup> or builder when Planning Area 1 is developed. Prior to the approval of a building permit for the 65 <sup>th</sup> dwelling unit in Planning Area 1, detailed park plans shall be designed by the Master Developer <sup>1</sup> . The Passive Open Space/Private Recreation shall be constructed and fully operational prior to the issuance of the 75 <sup>th</sup> building permit in Planning Area 1.
13	Elementary School	12.0 AC	To be constructed by the School District at such time as the District deems appropriate.

<sup>1</sup>. or one assigned by the Master Developer



**c. Project Phasing Plan Description**

The proposed project has four phases to be developed over a 6+-year period in response to market demands, according to a logical and orderly extension of roadways, public utilities and infrastructure. (See Figure III-9, Phasing Plan and Table IV, Project Phasing Plan.)

**d. Project Phasing Standards**

1. Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for the respective tract, shall be submitted to the County Planning Department and the Metropolitan Water District of Southern California, as appropriate, for approval. The improvement plans shall include:
  - Final grading plan.
  - Irrigation plans certified by a landscape architect.
  - Fence treatment plans.
  - Special treatment/buffer area treatment plans.
  - Conformance with Metropolitan's "Guidelines for Developments in the Area of Facilities, Fee Properties, and/or Easements of the Metropolitan Water District of Southern California."
2. Each Planning Area shall include development of adjacent landscape development zones and applicable infrastructure.
3. Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, provided adequate vehicular access, public facilities and infrastructure is constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan No. 270 Amendment No. 1 Phasing Program.
4. Designation and/or dedication of park land and open space acreage, necessary to satisfy both County and State requirements, will be based on the final amount of dwelling units and subsequent population generated by Victoria Grove Specific Plan No. 270 Amendment No. 1 as adopted by the Riverside County Board of Supervisors.



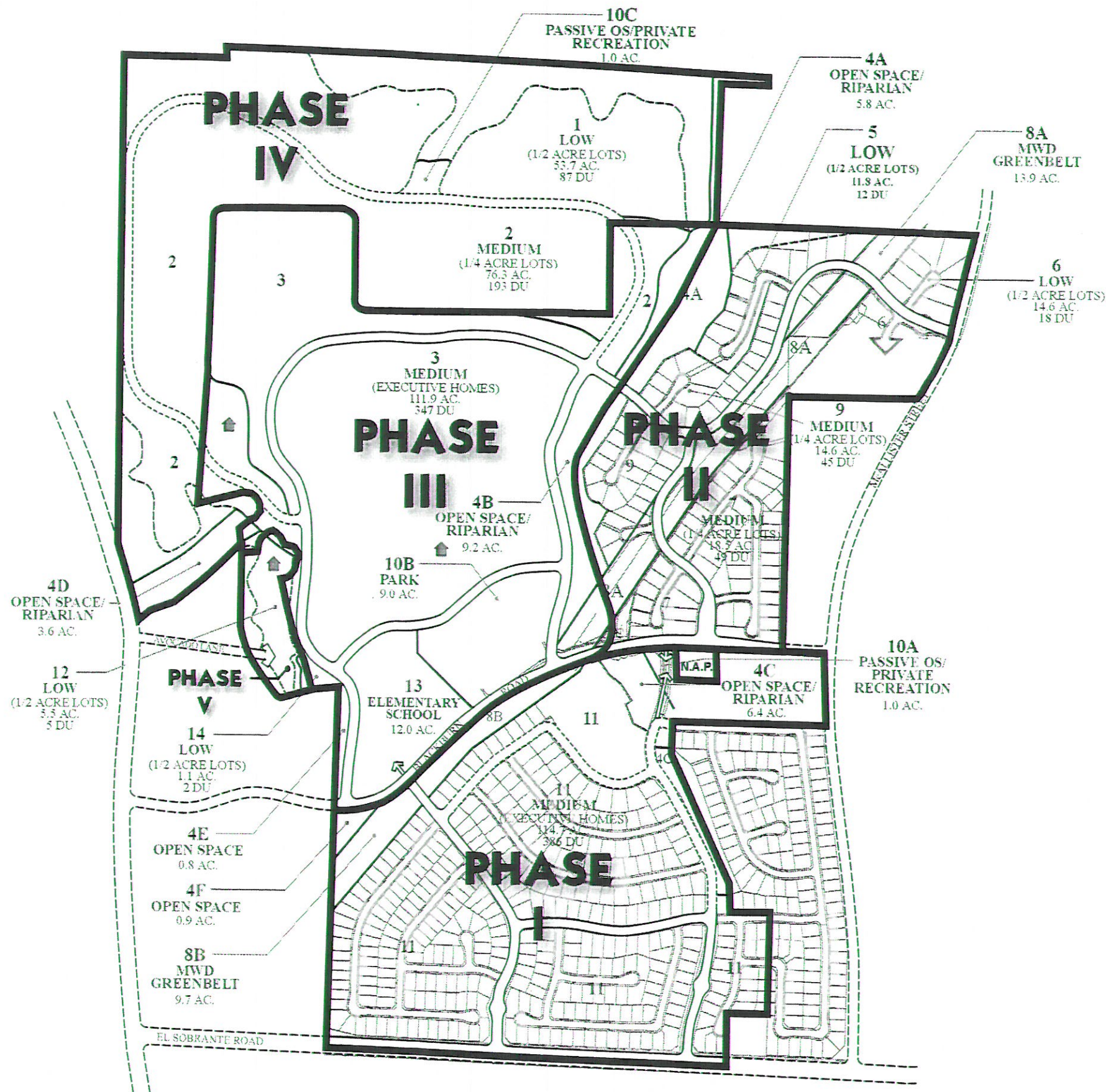
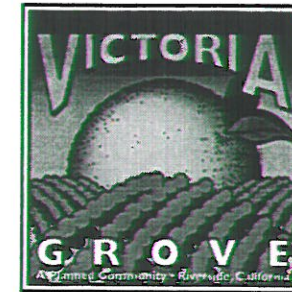
**TABLE IV  
PROJECT PHASING PLAN**

<u>Land Use</u>	<u>Planning Area</u>	<u>Acres</u>	<u>Maximum Dwelling Units</u>
<b><u>PHASE I</u></b>			
Passive Open Space/ Private Residential	10A	1.0	--
Medium Residential (7,200 s.f. Lots)	11	114.7	386
Natural Open Space/Riparian	4C (portion)	4.8	--
<b>SUBTOTAL</b>		<b>129.2</b>	<b>386</b>
<b><u>PHASE II</u></b>			
Low Residential (½ Acre Lots)	5	11.8	12
	6	14.6	18
Medium Residential (¼ Acre Lots)	7	18.5	49
	9	14.6	45
Open Space/Riparian	4 A,B,C (portion)	8.9	--
MWD Open Space Paseo	8A	13.9	--
<b>SUBTOTAL</b>		<b>83.3</b>	<b>124</b>
<b><u>PHASE III</u></b>			
Medium Residential (¼ Acre Lots)	2 (portion)	15	36.1
Medium Residential (7,200 s.f. Lots)	3	111.9	347
Open Space/Riparian	4A (portion)	2.0	--
	4B (portion)	4.9	--
	4E	0.8	--
	4F	0.9	--
MWD Open Space Paseo	8B	9.7	--
Park	10B	9.0	--
Elementary School	13	12.0	--
<b>SUBTOTAL</b>		<b>157.6</b>	<b>385.1</b>



<u>Land Use</u>	<u>Planning Area</u>	<u>Acres</u>	<u>Maximum Dwelling Units</u>
<b><u>PHASE IV</u></b>			
Low Residential (½ Acre Lots)	1	61.7	87
	12	5.5	5
Medium Residential (¼ Acre Lots)	2 (portion)	65.3	156.9
Open Space/ Riparian	4A (portion)	0.8	--
	4D	3.6	--
Passive Open Space/ Private Recreation	10C	1.0	--
<b>SUBTOTAL</b>		<b>137.9</b>	<b>248.9</b>
<b><u>PHASE V</u></b>			
Low Residential (½ Acre Lots)	14	1.1	2
Major Public Roads		3.4	--
<b>TOTAL</b>		<b>511.4</b>	<b>1,144</b>

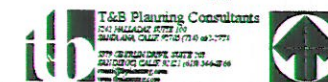




**VICTORIA GROVE**  
(formerly the Sierra Collection)

Specific Plan 270 Amendment No. 1

Figure III-9  
Phasing Plan





## **6. Grading Plan**

### **a. Grading Plan Description**

Victoria Grove Specific Plan No. 270 Amendment No. 1 grading is tailored to the existing topography of the project site. It is intended that the proposed plan be sensitive to natural landforms where practical. (See Figure III-10, Grading Plan)

According to an earthwork quantity take-off study conducted by the project engineer, the project site will not require any import or export to balance. Based on the conceptual Grading Plan, approximately 3,600,000 cubic yards of material will be moved. This figure may vary as final grading plans are developed. The Grading Plan has been designed to accommodate drainage and a street system that meets County of Riverside standards for acceptable infrastructure gradients.

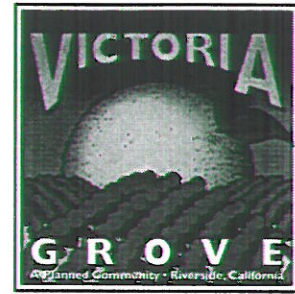
### **b. Grading Plan Development Standards**

1. All grading activities shall be in substantial conformance with the overall conceptual Grading Plan (Figure III-10), and shall implement any grading-related mitigation measures outlined in: Seismic Safety (Sec. V.C.1) Slopes and Erosion (Sec. V.C.2), Preliminary Geotechnical Investigations (see Technical Appendices).
2. Prior to any development within any planning area of the Specific Plan No. 270 Amendment No. 1, an overall conceptual Grading Plan as shown on a Tentative Tract Map for the planning area in process shall be submitted for Planning Department approval. The Grading Plan for each such planning area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area, and shall include: (i) Techniques employed to prevent erosion and sedimentation during and after the grading process; (ii) approximate time frames for grading; (iii) identification of areas which may be graded during higher probability rain month (January through March), and (iv) preliminary pad and roadway elevations.
3. All streets shall have a gradient not to exceed 15%.
4. The toes and tops of all slopes higher than ten (10) feet shall be rounded with curves with radii designed in proportion to the total height of the slope, where drainage and stability permits such rounding.
5. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared that analyze on-site soil conditions and slope stability and include appropriate measures to control erosion and dust. (See Preliminary Geotechnical Investigations in Appendices.)
6. All dwelling units shall have a minimum five feet (5') side set-back and a minimum ten (10') rear setback from the toe of slopes higher than ten feet (10'). County Ordinance Nos. 348 and 457 will be observed regarding setback requirements.

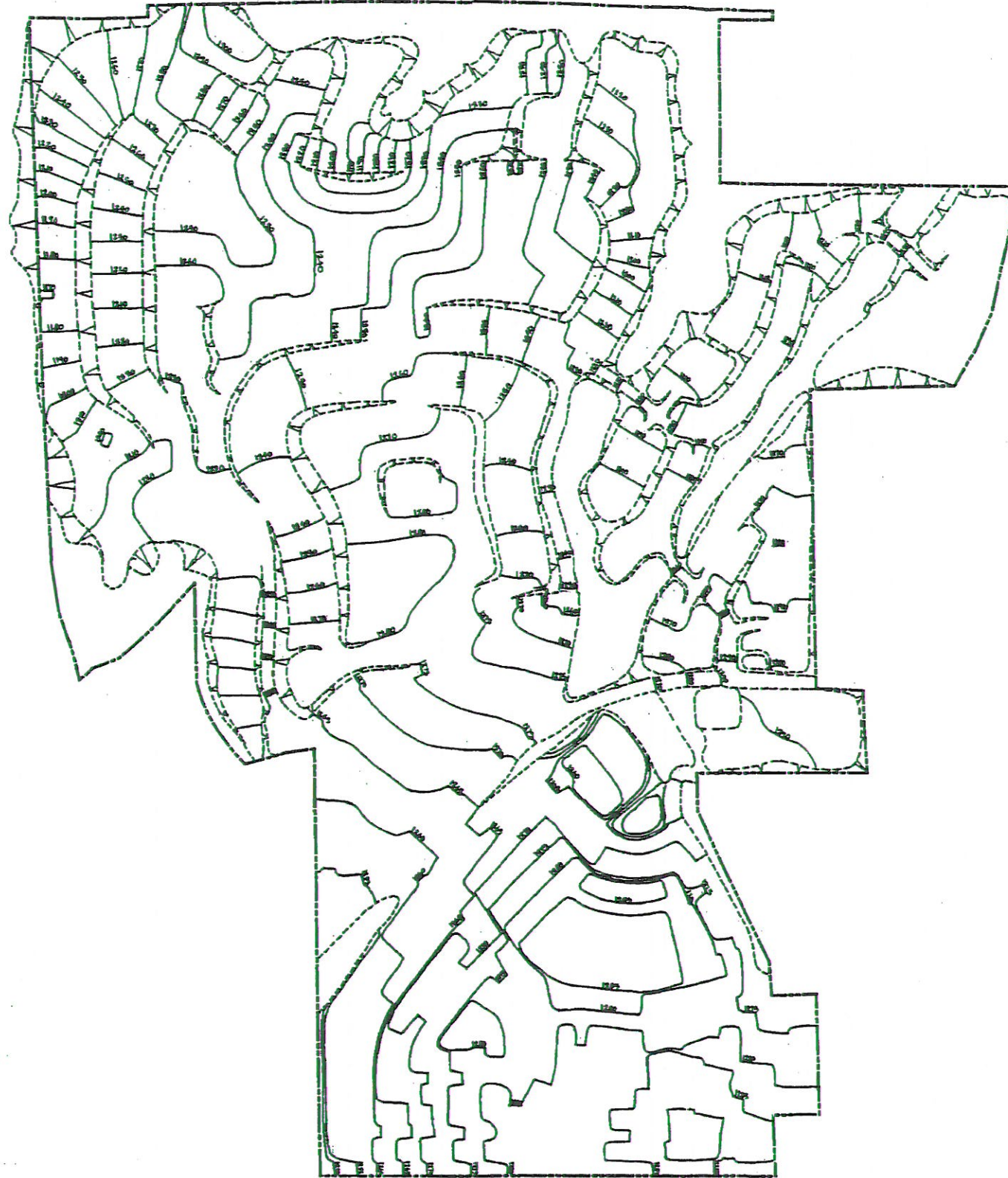


7. Where cut and fill slopes are created higher than ten feet (10'), detailed erosion control plan shall be submitted to the Planning Department prior to grading plan approval. The plans shall be reviewed for type and density of ground cover, shrubs and trees.
8. The applicant or his/her designee shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties.
9. The graded form shall reflect natural terrain, where practical.
10. Potential brow ditches, terrace drains or other minor swales, determined necessary by the County of Riverside at future stages of project review, shall be lined with natural erosion control materials or concrete.
11. Grading work on the entire project site shall be balanced on-site whenever possible.
12. Graded, but undeveloped land shall be maintained weed-free and planted with interim landscaping within 90 days of completion of grading, unless building permits are obtained.
13. Natural features such as significant rock outcrops shall be protected as practical in the siting of individual lots and building pads.
14. A grading permit shall be obtained from the County of Riverside, as required by the Ordinance No. 457 prior to grading.
15. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance.
16. Soil stabilizers should be used to control dust as required by SCAQMD (Southern California Air Quality Management District) Rule 403.





## GRADING ELEMENTS



**VICTORIA GROVE**  
*(formerly the Sierra Collection)*

Specific Plan 270 Amendment No. 1

Figure III-10  
**Grading Plan**





**7. Open Space and Recreation Plan**

**a. Open Space and Recreation Plan Description**

The large lots and rolling terrain of Victoria Grove Specific Plan No. 270 Amendment No. 1 provide for a unique community atmosphere. The proposed park and natural and improved open space further serve to distinguish Victoria Grove. The open space and recreation plan for the project serves to provide residents with active and passive recreational opportunities while, at the same time, emphasizing the citrus heritage of the project. The plan provides for one park site, two passive open space private recreation sites, one elementary school site, as well as 50.3 acres of natural and developed open space areas. In addition, a section of the Riverside County Regional Trail will be implemented via development adjacent to Planning Area 11 along El Sobrante Road. This decomposed granite Regional Trail is planned to be built between two rows of orange trees and will provide access through the area for hiking and riding. It will also supplement the proposed Class I trail for bicycle riding which will run parallel to El Sobrante Road. In addition, many of the one-half acre lots will contain deed restricted as open space areas, adding 64 acres as open space (see Figure III-11, Open Space and Recreation Plan).

Victoria Grove is a private vehicular-controlled community with tree-lined streets and walkways that allow residents to enjoy the 26.7 acre open space/riparian areas or walk along the 23.6 acre Metropolitan Water District Open Space Paseo which traverses the project. Both areas will be maintained by the homeowners association and available for the residents to enjoy. Community roads will connect to open space trails within and along the arroyo and MWD easement area to allow for easy access.

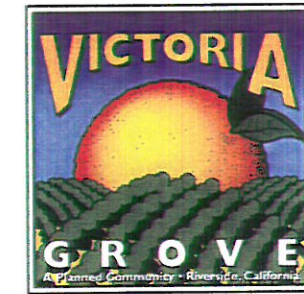
Fruit stands currently exist on adjacent citrus groves near Victoria Grove which promote local citrus growers. To integrate this tradition into the Victoria Grove community, a fruit stand representative of the historic stands, is an allowed use in Planning Area 4F.

**TABLE V**

**VICTORIA GROVE  
OPEN SPACE/RECREATION PLAN**

<b><u>Community Recreation Opportunities</u></b>	<b><u>Acreage</u></b>
A. Neighborhood Park	9.0
B. Open Space/Riparian	26.7
C. Improved Open Space (MWD Open Space Paseo)	23.6
D. Elementary School	12.0
E. Passive Open Space/ Private Recreation	2.0
<b>TOTAL</b>	<b>73.3</b>





### OPEN SPACE ELEMENTS

- PASSIVE OPEN SPACE/  
PRIVATE REC./PARK
- OPEN SPACE/  
RIPARIAN
- MWD OPEN SPACE PASEO
- OPEN SPACE



## **Neighborhood Park**

One park site is planned for Victoria Grove. This park, Planning Area 10B, is centrally located and designed to offer both active and passive recreational opportunities to all residents of Victoria Grove, areas outside the Specific Plan, and surrounding communities. Approximately 8.9 acres of parkland are required under the Quimby Act based on 1,144 dwelling units at 3 acres per 1,000 in population. The 9.0 acre park, Planning Area 10B, combined with 50% Quimby credit for the 2.0 acres of Passive Open Space/ Private Recreation in Planning Areas 10A and 10C (1.0 acre) total 10.0 acres, which exceeds the 8.9 acre Quimby requirement for the entire Victoria Grove community. Included in the Victoria Grove community are properties adjacent to Specific Plan No. 270 (at the east side of Planning Area 11, for example) and all residential areas within the Specific Plan. Proposed amenities for the park may include a tot lot, basketball court, 2 soccer fields, 2 softball fields, picnic areas, and shade structure, as well as parking and restroom facilities. More detailed park designs are shown in the Section IV, Design Guidelines.

## **Open Space/Riparian**

Portions of the project site will remain in natural open space. These areas are primarily located along an existing riparian area in the eastern half of the project site. The project's proposed park located adjacent to this open space which can serve as an extension of the park for walking and biking. An additional 64 acres of open space will be provided in the form of deed restricted, open space in abutting ½ acre lots.

## **Improved Open Space**

The existing MWD property that crosses the site also has been designated as open space. This area will be improved to include naturalized, non-irrigated landscaping, a collector roadway, a community road, and a meandering trail located adjacent to the park and can serve as an extension of park land for walking and biking. Subject to approval by MWD, "Victory" community garden plots may be established here as well. Improvements to the MWD area will be in accordance with all MWD policies.

## **Trail System**

A conceptual alignment of the proposed Riverside County Regional trail runs parallel to the project along the south side of El Sobrante Road. To supplement this proposed trail, Victoria Grove Specific Plan No. 270 Amendment No. 1 provides for the development of a Class I Community Bike Trail which will run adjacent to the southern section of the project site adjacent to El Sobrante Road. Running along the northern side of El Sobrante Road, a regional trail consisting of 10' wide decomposed granite surface will be constructed along with the adjacent Class I (10' wide) concrete pedestrian and bike trail. A 12' wide non-paved MWD maintenance trail follows along the MWD Open Space Paseo serving as maintenance for MWD to Planning Areas 8A and 8B. On the interior side of the small loop road in the center of the project, there will be a 5' wide decomposed granite surface pedestrian trail. Along Blackburn Road a short 10' wide concrete multipurpose trail is proposed near the park and a portion of the elementary school. To allow access for emergency fire



vehicles to the arroyo in Planning Area 4A, an unpaved Fire Access road connecting with MWD access road in Planning 8A and the community road in Planning Area 9 is designed. This will also serve residents as a trail for walking and running.

### **Elementary School**

A 12.0 acre elementary school site including a child care center is planned for Planning Area 13. It is adjacent to the 9.0 acre park in Planning Area 10B to promote the sharing of recreational amenities. A joint-use agreement with the school district is intended to provide for the joint-use of the park ball fields by the school during school hours and the school playground plus a community meeting room by the Victoria Grove residents during non-school hours.

### **b. Open Space and Recreation Plan Development Standards**

1. The neighborhood park will be provided for the benefit of all residents within Victoria Grove Community.
2. All recreational facilities will be landscaped and where necessary, irrigated, excluding MWD facilities.
3. All recreational facilities will provide parking in accordance with Riverside County standards.
4. Landscaping within recreation and open space areas will be further governed by the Development Standards in the Landscaping Plan section of this Specific Plan No. 270 Amendment No. 1 (Section III.B.8.) and the Design Guidelines Section (Section IV) of this Specific Plan No. 270 Amendment No. 1.
5. Designation and/or dedication of park land and open space acreage, necessary to satisfy both County and State requirements, will be based on the final amount of dwelling units and subsequent population generated by Victoria Grove Specific Plan No. 270 Amendment No. 1 as adopted by the Riverside County Board of Supervisors.



## **8. Landscaping Plan**

### **a. Landscaping Plan Description**

As illustrated on Figure IV-1, Conceptual Landscape Plan, project landscaping will play an important role in maintaining the overall project theme, while emphasizing community continuity. This section of the Specific Plan No. 270 Amendment No. 1 report will provide a general description and development standards for the Landscaping Concept; however, detailed landscaping information is provided in the Design Guidelines Section of this Specific Plan No. 270 Amendment No. 1 (Section IV.A.).

Entry monumentation will provide initial definition for the site at key access points. Once within the Victoria Grove community, entry monumentation will continue to be utilized at all key entry intersections. Each of these entry points will have vehicular control access gates. The entry monuments will be developed in a hierarchical format that ranges from major entry monuments to minor community entry monuments to neighborhood community entry monuments. A neighborhood entry monument will provide initial identification for each residential planning area.

Individual neighborhoods and residential development enclaves will be distinguished by varied planting themes that will serve to compliment and reinforce the overall project theme. Special treatments, including land use transition areas, will be provided between certain planning areas as identified in the Planning Area Development Standards (Section III.B.).

### **b. Landscaping Plan Development Standards**

1. All detailed landscaping plans for Planning Areas and roadways will be prepared by a qualified and licensed landscape architect for review by County staff, departments and applicable decision making agencies.
2. Project entries will be designed with landscaping and architectural treatments that project a high quality image for the residential development.
3. The landscaping design for the project site will include trees, shrubs and ground cover compatible with existing natural vegetation where feasible.
4. Special treatment areas will be designed to provide definition to certain Planning Areas as identified in Section III.B.
5. Major entrance roads into Victoria Grove will be gated and have entry monumentation and planted medians and landscaped shoulders to define the project's design concept. The introductory landscape theme will include elements such as tree clustering to reinforce the project theme and character.



6. Planted raised medians (according to Ordinance No. 461, Standard No. 113) may be established within any roadway right-of-way as long as access and safety criteria can be met as approved by the County Transportation Director.
7. Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for the stage of development, shall be submitted to the County Planning Department for approval. The improvement plans shall include, but not be limited to the following:
  - Final grading plan.
  - Irrigation plans certified by a landscape architect.
  - A landscaping plan with seed mixes for mulching and staking methods; locations, types, size and quantity of plantings.
  - Fence treatment plans.
  - Special treatment/buffer area treatment plans.

The applicant and/or developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.

8. In accordance with the Department of Real Estate regulations for any subdivision which contains a common greenbelt or open space areas, the applicant and/or developer shall convey such areas to the master property owners association or appropriate public agency.
9. The landscaping plan shall reflect the following water conservation methods, whenever feasible: landscape with low water-using plants, grouping plants of similar water use to reduce over-irrigation of low water using plants; using mulch extensively, as mulch applied on top of soil will improve the water holding capacity of the soil by reducing evaporation and soil compaction; installing efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach the plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods of increasing irrigation efficiency.
10. For further landscape development standards, please refer to Section IV.A. Landscape Guidelines.



## **9. Comprehensive Maintenance Plan**

Successful operation of maintenance districts and property owners' associations is important in maintaining the high quality of the Victoria Grove community. It is anticipated that maintenance responsibilities for common project facilities will include, but be not limited to a master homeowner's association, Community Service Area, or similar assessment supported mechanism. The decision regarding the choice of associations, assessment district or districts will be made at a future stage of project design and review in concert with the County of Riverside.

If the project annexes into an existing Community Service Area, such as C.S.A. No. 132, or a future C.S.A. is established, the types of extended services provided, pursuant to Sections 25210.1-25211.33, Government Code, may be any one or more of the following: extended police protection; structural fire protection; local park; recreation or parking facilities and services; extended library facilities and services; television translator station facilities and services; water service; sewer service; pest or rodent control; street and highway sweeping; street and highway lighting; refuse collection; garbage collection and ambulance service.

### **a. Common Areas**

Common areas identified in the Specific Plan No. 270 Amendment No. 1 shall be owned and maintained by a permanent public, such as Community Service Area No. 132 (CSA 132), or private master maintenance organization, which will assume ownership and maintenance responsibility for all common recreation, open space and landscaped areas. Areas of responsibility may include the landscaped areas along the private roads within Victoria Grove, El Sobrante Road, McAllister Street, and portions of Blackburn Road as well as the landscaped MWD Open Space Paseo areas, the riparian naturalized landscaped area, and park site.

All open space and park areas which are not directly associated with a particular neighborhood will be the responsibility of a master homeowner's association, Community Service Area No. 132 (CSA 132), or a future community service area. These areas may include all natural open space areas. Open space areas may also be maintained by a land trust.

### **b. Project Roadways**

All public project roadways will be designed and constructed to standards acceptable to the Transportation Department of the county and will, therefore, be entered in to the county system of roads for operation and maintenance. Private streets will also be designed and constructed to standards acceptable to the Transportation Department and shall be privately maintained by the Homeowners Association (HOA).



## **B. PLANNING AREA DEVELOPMENT STANDARDS**

Development standards and zoning regulations for Victoria Grove have been established at three levels: General Development Provisions, which were addressed in Section III.A; Design Guidelines, which are provided in Section IV; and Planning Area Development Standards, to which Section III.B is devoted.

Planning Areas were formed on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning and relationship to adjoining product and surrounding topography.

The Planning Area graphics for this section (Figures III-12 through III-15) were derived from the Conceptual Landscape Plan (Figure IV-1). The site plans depicted herein are only conceptual in nature. Although development may conform closely to some elements of the illustrative plans provided in Section IV it is anticipated that actual lotting will not be determined until the tract map stage.

A Specific Plan Zoning Ordinance is included within the Specific Plan Zone Tab of this document. The zoning provisions within that ordinance establish use restrictions for each Planning Area. The zoning provisions should be used in conjunction with the planning standards for each respective Planning Area.



**1. Planning Area 1: Low Residential**

**a. Descriptive Summary**

Planning Area 1, as depicted in Figure III-12, provides for development of 61.7 acres devoted to low density residential uses (generally ½ acre lots). A maximum total of 87 dwelling units are planned at a target density of 1.4 du/ac with lot areas not less than 15,000 square feet and with a minimum overall average of 20,000 square feet.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 1 will be provided from the abutting community road between Planning Areas 1 and 2 and connecting to community road in Planning Area 3.
- 2) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, is planned on certain slopes.
- 3) A special Landscaped Interior Slope Treatment, as shown in Figure IV-29, is planned on certain slopes.
- 4) Certain lots will contain deed restricted areas to remain in an open space condition.
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



## 2. Planning Area 2: Medium Residential

### a. Descriptive Summary

Planning Area 2, as depicted in Figure III-12, provides for development of 80.3 acres devoted to medium density residential uses (generally ¼ acre lots). A maximum total of 193 dwelling units are planned at a target density of 2.4 du/ac with lot areas not less than 8,000 square feet and with a minimum overall average of 10,000 square feet.

### b. Land Use and Development Standards

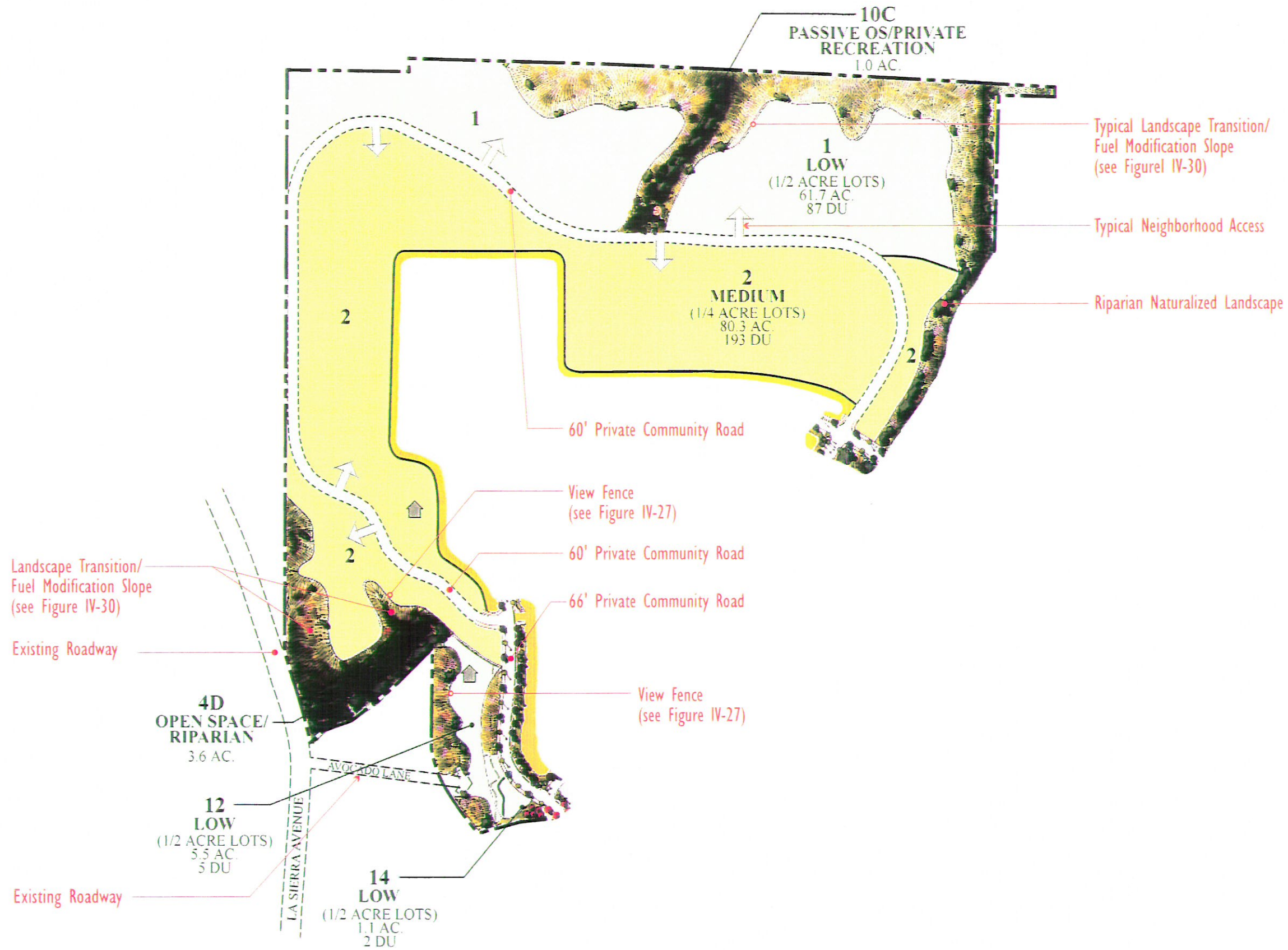
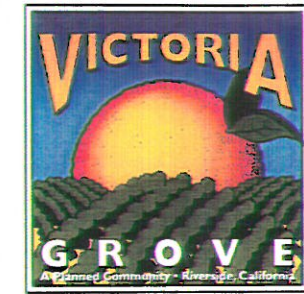
Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

### c. Planning Standards

- 1) Primary access to Planning Area 2 will be provided from the community road south of Planning Area 1 and north of Planning Area 2.
- 2) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, is planned on certain slopes.
- 3) A special Landscaped Interior Slope Treatment, as shown in Figure IV-29, is planned on certain slopes.
- 4) Certain lots will contain deed restricted areas to remain in an open space condition.
- 5) The existing private residence within this planning area is not subject to the implementing procedures set forth in the adopted Victoria Grove Specific Plan No. 270, Amendment No. 1. However, any subsequent subdivisions, implementing maps and/or development requests filed on this private residence shall be subject to all development standards and/or implementing procedures contained within Specific Plan No. 270, Amendment No. 1.
- 6) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan





**KEY MAP**



**Figure III-12**  
**Planning Areas**  
**I, 2, 4D, 10C, 12 & 14**



### **3. Planning Area 3: Medium Residential - Executive Homes**

#### **a. Descriptive Summary**

Planning Area 3, as depicted in Figure III-13, provides for development of 111.9 acres devoted to medium density residential uses (minimum 7,200 square ft. lots). A maximum total of 347 dwelling units are planned at a target density of 3.1 du/ac.

#### **b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

#### **c. Planning Standards**

- 1) Primary access to Planning Area 3 will be provided from Blackburn Road, the public collector road that runs from McAllister Street to La Sierra Avenue. (see Figures IV-18 through IV-20).
- 2) A Roadway Landscape Treatment, as shown in Figures IV-21, is planned along the community road within Planning Area 3.
- 3) A special Landscaped Interior Slope Treatment, as shown in Figure IV-29, is planned on certain slopes.
- 4) The existing private residence within this planning area is not subject to the implementing procedures set forth in the adopted Victoria Grove Specific Plan No. 270, Amendment No. 1. However, any subsequent subdivisions, implementing maps and/or development requests filed on this private residence shall be subject to all development standards and/or implementing procedures contained within Specific Plan No. 270, Amendment No. 1.
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



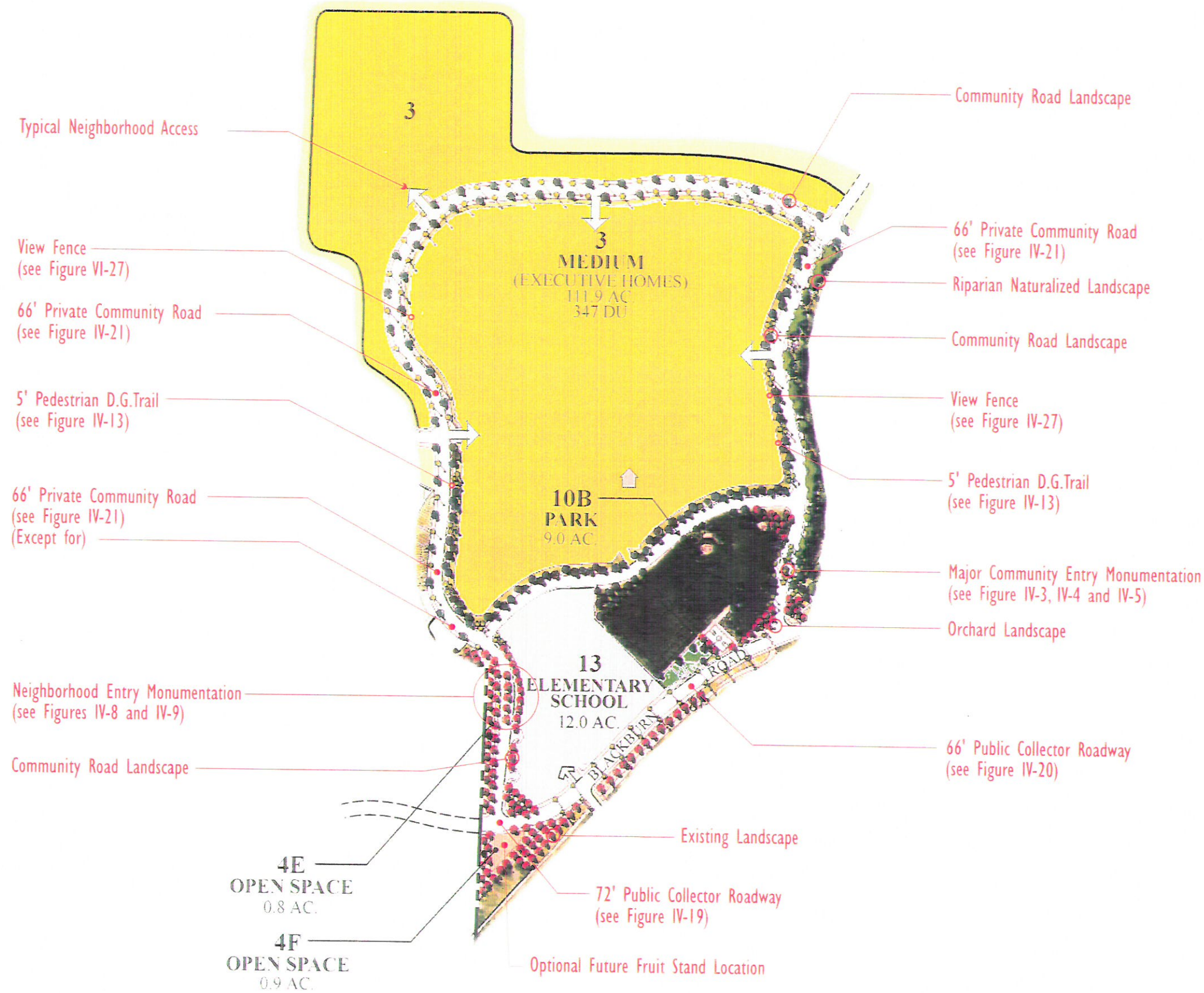
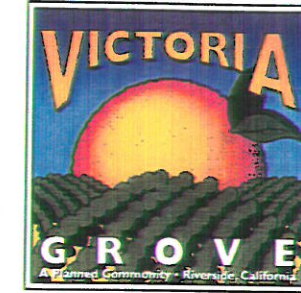


Figure III-13  
**Planning Areas  
 3, 4E, 4F, 10B & 13**





**4. Planning Area 4A: Open Space/Riparian**

**a. Descriptive Summary**

Planning Area 4A, as depicted in Figure III-14, provides for development of 5.8 acres devoted to remain as natural riparian open space. This area acts as part of a drainage courseway for the project site. The open space will be owned by a master homeowners' association or Community Services Area (C.S.A.).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-25, is planned along the community road north of Planning Area 2 and south of Planning Area 1.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Pursuant to permits issued under the Army Corps of Engineers 404 permitting process, access to certain portions of the open space/riparian area may be restricted or prohibited.
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



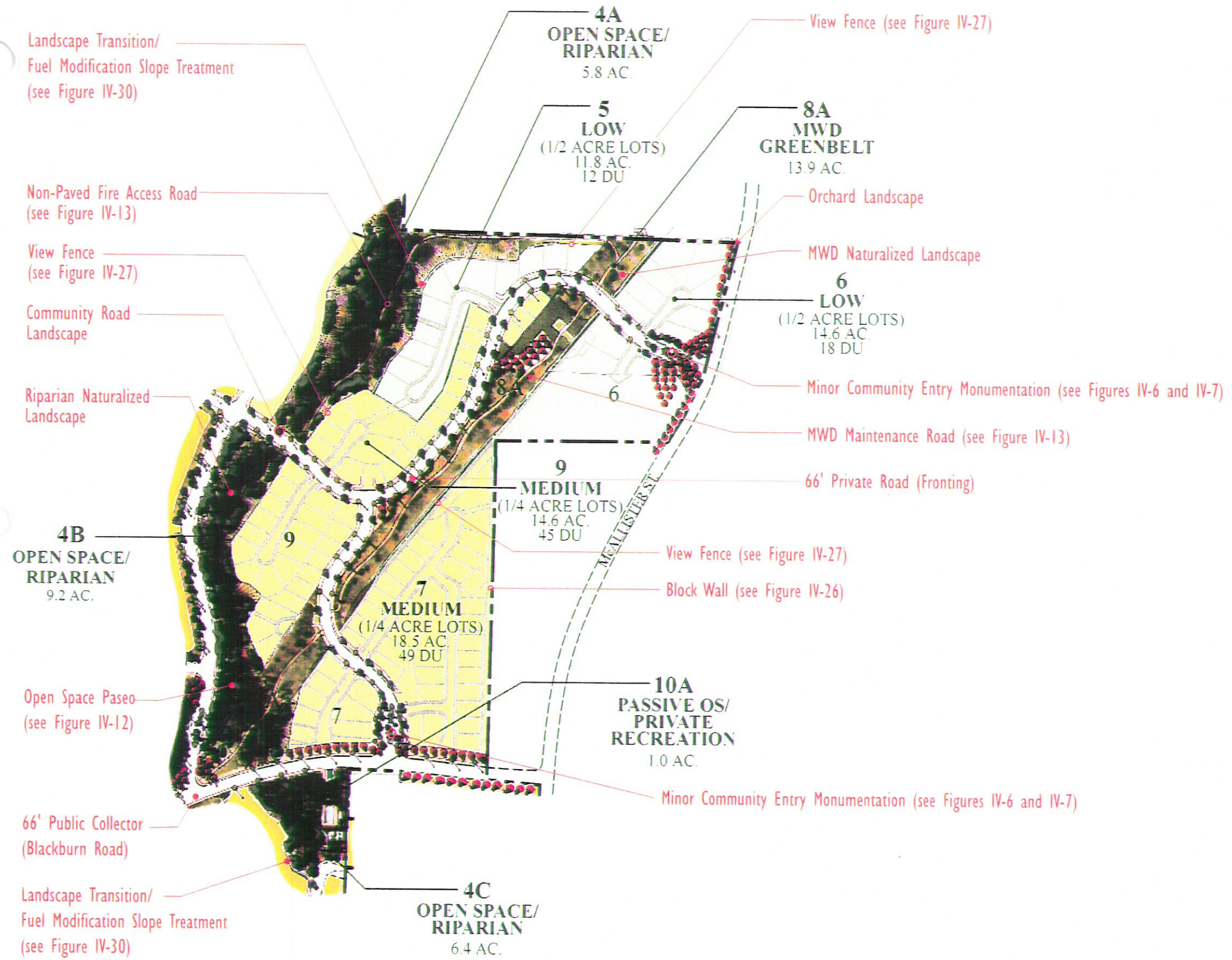
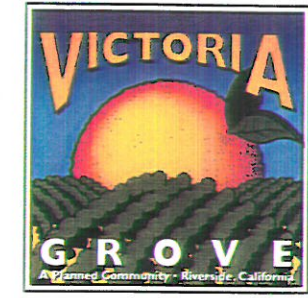


Figure III-14  
**Planning Areas**  
**4A, 4B, 4C, 5, 6, 7, 8A, 9 & 10A**

**VICTORIA GROVE**  
*(formerly the Sierra Collection)*



**5. Planning Area 4B: Open Space/Riparian**

**a. Descriptive Summary**

Planning Area 4B, as depicted in Figure III-14, provides for development of 9.2 acres devoted to natural riparian open space. This area acts as part of a drainage courseway for the project site. The open space will be owned by a Master Homeowners' Association or Community Services Area (C.S.A.).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-25, is planned along the private community road.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Pursuant to permits issued under the Army Corps of Engineers 404 permitting process, access to certain portions of the open space/riparian area may be restricted or prohibited.
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**6. Planning Area 4C: Open Space/Riparian**

**a. Descriptive Summary**

Planning Area 4C, as depicted in Figure III-14, provides for development of 6.4 acres devoted to remain as natural open space. This area acts as part of a drainage courseway for the project site. The open space will be owned by a Master Homeowners' Association or Community Service Area (C.S.A.).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-20, is planned along Blackburn Road.
- 2) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, will be used as indicated on Figure III-14.
- 3) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 4) Pursuant to permits issued under the Army Corps of Engineers 404 permitting process, access to certain portions of the open space/riparian area may be restricted or prohibited.
- 5) Please refer to Section III.A, for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**7. Planning Area 4D: Open Space**

**a. Descriptive Summary**

Planning Area 4D, as depicted in Figure III-12, provides for 3.6 acres to remain as open space. The open space will be owned by a Master Homeowners' Association or Community Service Area (C.S.A.). It may also contain a storm drain detention facility.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, will be used as indicated on Figure III-12.
- 2) Please refer to Section IV, for specific Design Guidelines and other related design criteria.
- 3) Pursuant to permits issued under the Army Corps of Engineers 404 permitting process, access to certain portions of the open space/riparian area may be restricted or prohibited.
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**8. Planning Area 4E: Open Space**

**a. Descriptive Summary**

Planning Area 4E, as depicted in Figure III-13, provides for 0.8 acres to remain as open space. The open space will be owned by a Master Homeowners' Association or Community Service Area (C.S.A.).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-22, is planned along the 66' private community road.
- 2) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, will be used as indicated on Figure III-13.
- 3) A Neighborhood Community Entry Monument, as shown in Figures IV-8 & IV-9, will be located along the private community road adjacent to Planning Area 4E.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**9. Planning Area 4F: Open Space**

**a. Descriptive Summary**

Planning Area 4F, as depicted in Figure III-13, provides for 0.9 acres to remain as open space. The open space will be owned by the developer, a Master Homeowners' Association or Community Service Area (C.S.A.). A commercial fruit stand is allowed within this Planning Area.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-19 is planned along Blackburn Road.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**10. Planning Area 5: Low Residential**

**a. Descriptive Summary**

Planning Area 5, as depicted in Figure III-14, provides for development of 11.8 acres devoted to low density residential uses. A maximum total of 12 dwelling units are planned at a target density of 1.0 du/ac with lot areas not less than 15,000 square feet and with a minimum overall average of 20,000 square feet.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 5 will be provided from the private community road that runs from McAllister Road through Planning Area 6.
- 2) A Roadway Landscape Treatment, as shown in Figure IV-24, is planned along the community road that runs from McAllister Road through Planning Area 6.
- 3) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, is planned on certain slopes.
- 4) Certain lots will contain deed restricted areas to remain in an open space condition.
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



## **11. Planning Area 6: Low Residential**

### **a. Descriptive Summary**

Planning Area 6, as depicted in Figure III-14, provides for development of 14.6 acres devoted to low density residential uses. A maximum total of 18 dwelling units are planned at a target density of 1.2 du/ac with lot areas not less than 15,000 square feet and with a minimum overall average of 20,000 square feet.

### **b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

### **c. Planning Standards**

- 1) Primary access to Planning Area 6 will be provided from the private community road that connects to McAllister Road.
- 2) A Roadway Landscape Treatment, as shown in Figures IV-17, is planned along McAllister Street.
- 3) A special Landscape Transition/Fuel Modification Slope Treatment, as shown in Figure IV-30, is planned on certain slopes.
- 4) A Minor Community Entry Monument, as shown on Figures IV-6 and IV-7, is planned at McAllister Street.
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



## **12. Planning Area 7: Medium Residential**

### **a. Descriptive Summary**

Planning Area 7, as depicted in Figure III-14, provides for development of 18.5 acres devoted to medium density residential uses (generally ¼ acre). A maximum total of 49 dwelling units are planned at a target density of 2.6 du/ac with lot areas not less than 8,000 square feet and with a minimum overall average of 10,000 square feet.

### **b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

### **c. Planning Standards**

- 1) Primary access to Planning Area 7 will be provided from Blackburn Road.
- 2) A Minor Entry Monument, as shown on Figures IV-6 and IV-7, is planned off of Blackburn Road.
- 3) A Roadway Landscape Treatment, as shown in Figure IV-18, is planned along Blackburn Road.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**13. Planning Area 8A: MWD Open Space Paseo**

**a. Descriptive Summary**

Planning Area 8A, as depicted in Figure III-14, provides for development of a 13.9 acre section of Metropolitan Water District and Western Municipal Water District pipeline right-of-way that crosses the project. The area will be partially landscaped in accordance with Metropolitan's "Guidelines for Developments in the Area of Facilities, Fee Properties, and/or Easements of the Metropolitan Water District of Southern California." This area will be controlled under a license agreement with MWD. Subject to approval by MWD, "Victory" community garden plots may be established within this fee/easement area by the Victoria Grove Homeowners Association.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-22 is planned along the community road that runs from McAllister Road through Planning Area 6.
- 2) A Roadway Landscape Treatment, as shown in Figure IV-18, is planned off of Blackburn Road.
- 3) A special Open Space Paseo Landscape Treatment, as illustrated in Figure IV-12, is planned for the area.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Public vehicular access will be restricted from this planning area in accordance with MWD vehicle access restriction standards and policies per Section 3 of Metropolitan's "Guidelines for Developments in the Areas of Facilities, Fee Properties, and/or Easements of MWD of Southern California." MWD shall have vehicular access as needed for operations, maintenance, and any construction activities that are required to maintain or enhance MWD's facilities.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:
  - III.A.1.: Specific Land Use Plan
  - III.A.2.: Circulation Plan
  - III.A.3.: Drainage Plan
  - III.A.4.: Water and Sewer Plans
  - III.A.5.: Public Facility Sites and Project Phasing
  - III.A.6.: Grading Plan
  - III.A.7.: Open Space and Recreation Plan
  - III.A.8.: Landscaping Plan



**14. Planning Area 8B: MWD Open Space Paseo**

**a. Descriptive Summary**

Planning Area 8B, as depicted in Figure III-15, provides for development of the 9.7 acre section of Metropolitan Water District pipeline right-of-way that crosses the project. The area will be partially landscaped in accordance with Metropolitan's "Guidelines for Developments in the Area of Facilities, Fee Properties, and/or Easements of the Metropolitan Water District of Southern California." This area will be controlled under a license agreement with MWD. Subject to approval by MWD, "Victory" community garden plots may be established within this fee/easement area by the Victoria Grove Homeowners Association.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A Roadway Landscape Treatment, as shown in Figure IV-18, is planned along Blackburn Road.
- 2) A special Open Space Paseo Landscape Treatment, as illustrated in Figure IV-12, is planned for the area.
- 3) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 4) Public vehicular access will be restricted from this planning area in accordance with MWD vehicle access restriction standards and policies per Section 3 of Metropolitan's "Guidelines for Developments in the Areas of Facilities, Fee Properties, and/or easements of MWD of Southern California. MWD shall have vehicular access as needed for operations, maintenance and any construction activities that are required to maintain or enhance MWD's facilities.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



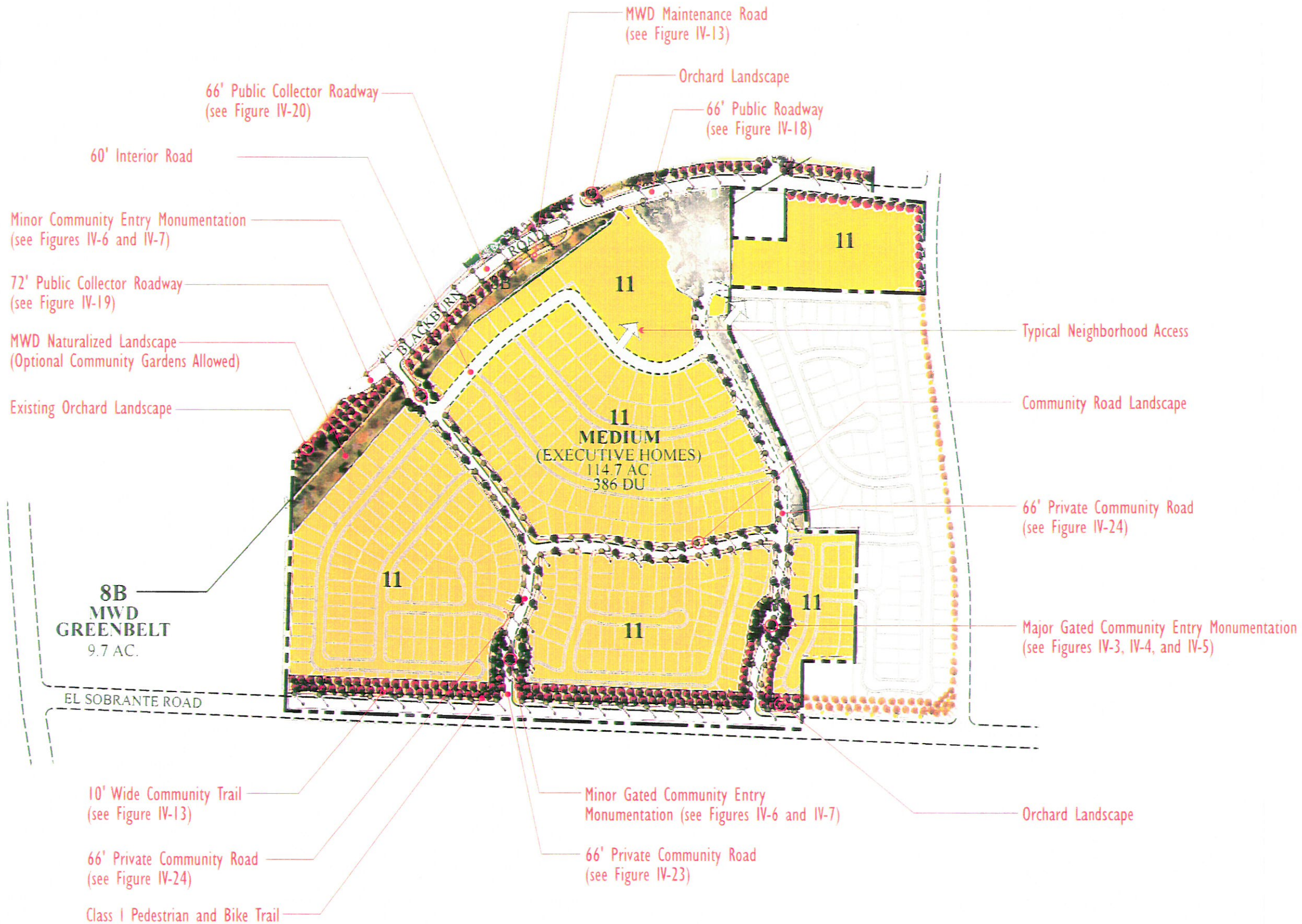
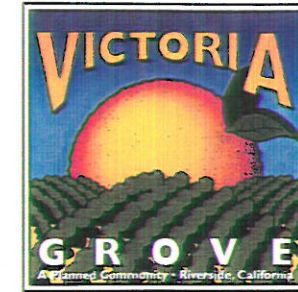


Figure III-15  
**Planning Areas  
 8B & 11**



# VICTORIA GROVE

(formerly the Sierra Collection)



**15. Planning Area 9: Medium Residential**

**a. Descriptive Summary**

Planning Area 9, as depicted in Figure III-14, provides for development of 14.6 acres devoted to medium density residential uses. A maximum total of 45 dwelling units are approved at a target density of 3.1 du/ac with lot areas not less than 8,000 square feet and with a minimum overall average of 10,000 square feet.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 9 will be provided from the private community road that runs from McAllister Road through Planning Areas 5, 6 and 7 to Blackburn Road.
- 2) A Roadway Landscape Treatment, as shown in Figure IV-22, is planned along the private community road.
- 3) A special Landscaped Interior Slope Treatment, as shown in Figure IV-29, is planned on certain slopes.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**16. Planning Area 10A: Passive Open Space/Private Recreation**

**a. Descriptive Summary**

Planning Area 10A, as depicted on Figure III-14, provides for the development of 1.0 acre as a Passive Open Space/Private Recreation area containing a restroom building, a pool, and activity lawns.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 10A will be from Blackburn Road and local streets within Planning Area 11. Access for pedestrians will also be available from the adjoining open space.
- 2) A Community Recreation Area, as shown in Figure IV-11, is planned for Planning Area 10A and will exist south of Blackburn Road.
- 3) A Roadway Landscape Treatment, as shown in Figure IV-18, is planned along Blackburn Road.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**17. Planning Area 10B: Park**

**a. Descriptive Summary**

Planning Area 10B, as depicted on Figure III-13, provides for the development of 9.0 acres as a park. Planning area 10B will be landscaped and may include any of the following amenities: tot lot, basketball court, soccer/softball field, play field, bleacher, picnic area, restroom facility and parking facilities (see Figure IV-10).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 10B will be from Blackburn Road and abutting private community roads. Access for pedestrians will also be available from the adjoining school site.
- 2) A Major Community Entry Monument, as shown in Figure IV-3, IV-4, and IV-5, is planned at Blackburn Road.
- 3) Please refer to Section IV, for specific Design Guidelines and other related design criteria.
- 4) Please refer to Section III.A, for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**18. Planning Area 10C: Passive Open Space/ Private Recreation**

**a. Descriptive Summary**

Planning Area 10C, as depicted on Figure , provides for the development of 1 acre as Passive Open Space/Private Recreation. It may also contain a storm drain detention facility.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 10C will be from abutting community roads.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



## **19. Planning Area 11: Medium Residential**

### **a. Descriptive Summary**

Planning Area 11, as depicted in Figure III-15, provides for development of 114.7 acres devoted to medium density residential uses (minimum 7,200 square ft lots). A maximum total of 386 dwelling units are planned at a target density of 3.4 du/ac.

### **b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

### **c. Planning Standards**

- 1) Primary access to Planning Area 11 will be from El Sobrante Road or Blackburn Road.
- 2) Minor Community Entry Monuments, as shown in Figures IV-6 and IV-7, will be located at the western access into Planning Area 11 from El Sobrante Road and at the western access to Planning Area 11 from Blackburn Road.
- 3) A Major Community Entry Monument, as shown in Figures IV-3, IV-4 and IV-5 will be located at the eastern access into Planning Area 11 from El Sobrante Road.
- 4) A Roadway Landscape Treatment, as shown in Figures IV-14 through IV-16 is planned along El Sobrante Road.
- 5) A special Landscaped Interior Slope Treatment, as shown in Figure IV-29, is planned on certain slopes.
- 6) A section of the Riverside County Regional Class I Bike Trail and a Community Trail will cross the Planning Area adjacent to El Sobrante Road (as depicted in Figures IV-15 & IV-16).
- 7) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:
  - III.A.1.: Specific Land Use Plan
  - III.A.2.: Circulation Plan
  - III.A.3.: Drainage Plan
  - III.A.4.: Water and Sewer Plans
  - III.A.5.: Public Facility Sites and Project Phasing
  - III.A.6.: Grading Plan
  - III.A.7.: Open Space and Recreation Plan
  - III.A.8.: Landscaping Plan

**20. Planning Area 12: Low Residential**

**a. Descriptive Summary**

Planning Area 12, as depicted in Figure III-12, provides for development of 5.5 acres devoted to low density residential uses (generally ½ acre lots). A maximum total of 5 dwelling units are planned at a target density of 0.9 du/ac with lot areas not less than 15,000 square feet and with a minimum overall average of 20,000 square feet.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 12 shall be provided via Avocado Lane. Due to grading constraints, the private community nature of the Victoria Grove development (of which Planning Area 12 is not a part) and in order to avoid vehicular usage of Avocado Lane by Victoria Grove residents, there shall be no roadway connection between Planning Area 12 and the community Road along the western edge of Planning Area 3.
- 2) A Roadway Landscape Treatment, as shown in Figure IV-21, is planned along the community road.
- 3) A special Landscaped Interior Slope Treatment, as shown in Figure IV-29, is planned on certain slopes.
- 4) The existing private residence within this planning area is not subject to the implementing procedures set forth in the adopted Victoria Grove Specific Plan No. 270, Amendment No. 1. However, any subsequent subdivisions, implementing maps and/or development requests filed on this private residence shall be subject to all development standards and/or implementing procedures contained within Specific Plan No. 270, Amendment No. 1.
- 5) In order to provide a proper transition to the existing adjacent residences on Avocado Lane to the west of Planning Area 12, an open space lot with special slope area landscape treatment, as shown in Figure IV-29, shall be required. No grading of residential pads or lots shall occur west of the limits of residential development line. View fencing shall be provided between residential lots and the common open space, as shown on Figures IV-2 and IV-27.
- 6) Please refer to Section IV., for specific Design Guidelines and other related design criteria.



7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan

**21. Planning Area 13: Elementary School**

**a. Descriptive Summary**

Planning Area 13, as depicted in Figure III-13, provides for development of a 12.0 acre local elementary school serving Victoria Grove and the surrounding community which is strategically located adjacent to the proposed park, enabling the school to take advantage of additional recreational opportunities. A child care center is planned as a part of the school site.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 13 will be provided from Blackburn Road.
- 2) A Roadway Landscape Treatment, as shown in Figures IV-19 and IV-20, is planned along Blackburn Road.
- 3) A Neighborhood Entry Monument, as shown in Figure IV-8 and IV-9, is planned west of the school.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan



**22. Planning Area 14: Low Residential**

**a. Descriptive Summary**

Planning Area 14, as depicted in Figure III-12, provides for development of 1.1 acres devoted to low density residential uses (generally ½ acre lots). A maximum total of 2 dwelling units are planned at a target density of 1.8 du/ac with lot areas not less than 15,000 square feet and with a minimum overall average of 20,000 square feet.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.3904. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Primary access to Planning Area 14 will be provided from the community road that runs along the western section of Planning Area 3 and east of Planning Area 12.
- 2) A Roadway Landscape Treatment, as shown in Figure IV-21 is planned along the community road that runs along the western section of Planning Area 3 and east of Planning Area 12.
- 3) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

- III.A.1.: Specific Land Use Plan
- III.A.2.: Circulation Plan
- III.A.3.: Drainage Plan
- III.A.4.: Water and Sewer Plans
- III.A.5.: Public Facility Sites and Project Phasing
- III.A.6.: Grading Plan
- III.A.7.: Open Space and Recreation Plan
- III.A.8.: Landscaping Plan

#### **IV. DESIGN GUIDELINES**

##### **A. LANDSCAPE GUIDELINES**

##### **1. Community Landscape Design Concepts**

###### **a. Introduction**

The theme for the Victoria Grove is early Riverside and its citrus heritage. The landscape plays a significant role in establishing this distinctive character. This is a community that has an individual identity and, at the same time, will promote a feeling of aesthetic continuity with adjacent communities, existing land uses, and the County of Riverside. Through the retention and enhancement of strong existing site features, this community will have a unique character and a distinctive feeling of place that is Victoria Grove.

The landscape development concept for Victoria Grove has three (3) main characteristics. First is the use of orange trees to maintain ties to its citrus history and Mexican Fan Palms along major roads. Second, an open space/ riparian system in the existing riparian channel traverses Victoria Grove from south to north and intersects with the MWD Open Space Paseo. Last, the community streetscenes and major interior slopes are designed to recreate an early Riverside agrarian character.

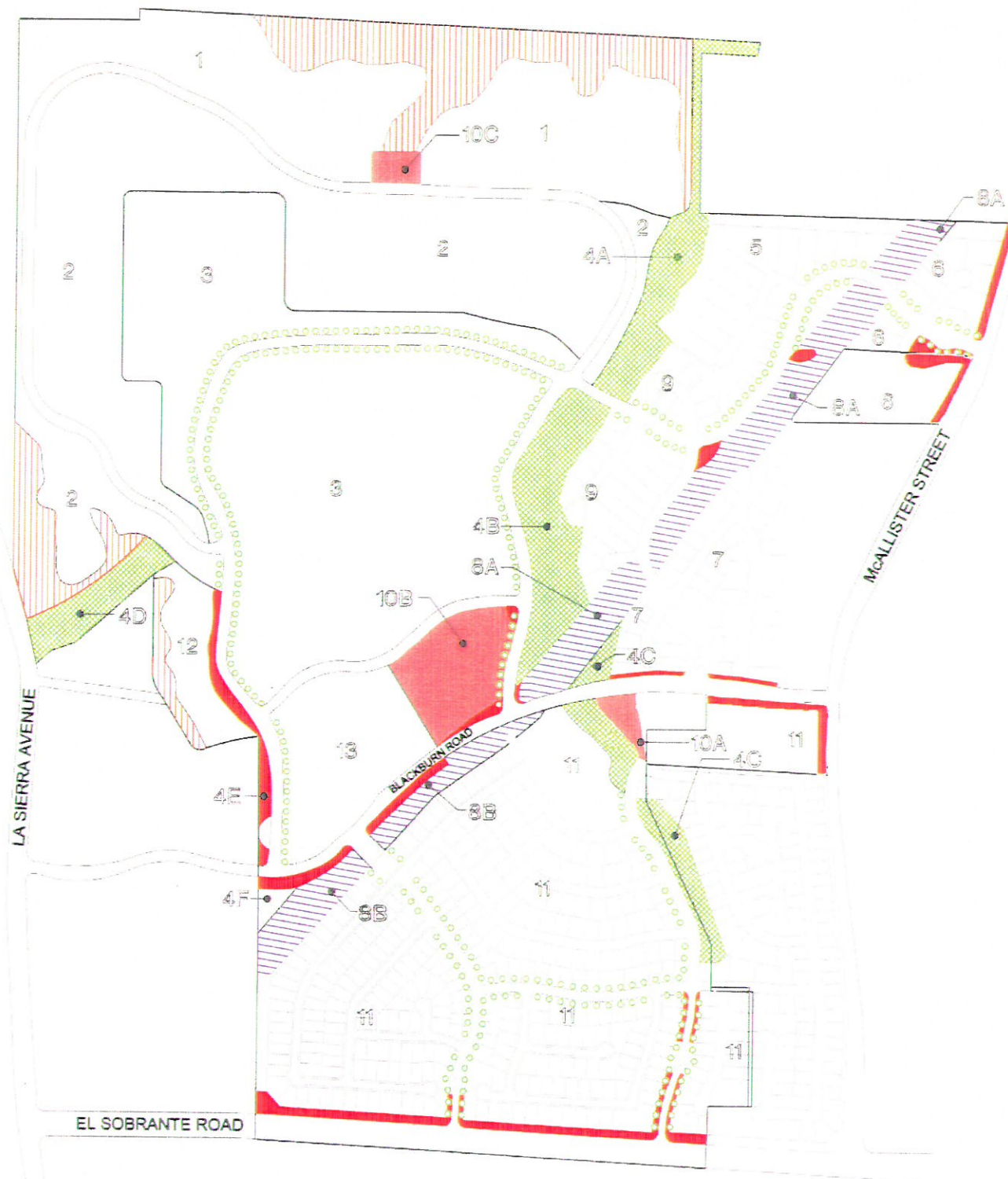
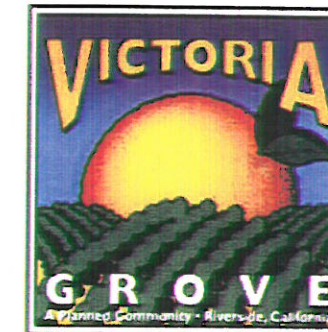
A simple, consistent palette of plant materials set in a naturally occurring decomposed granite ground is utilized throughout all streetscenes and open space system, supporting the community identity and promoting the feeling of early Riverside. In general, the landscape palette includes a mixture of orange trees, existing specimen trees such as Canary Island Date Palm and California Pepper Trees at entrees, wild rose with other flowering vines, plants such as Bougainvillea to add color, Washingtonia palms, set in the native soil, soldiering along public and private collector roads in a Riverside tradition. These plant materials are identified with traditional early California landscapes which are acclimatized to Victoria Grove, weather, and soil types.

Entry monumentation combines elements of architecture, walls, landscape and signage to introduce the project to Victoria Grove and establish its character.






One recreation concept unique to Victoria Grove is the open space system and trails. The open space and trails connect the individual neighborhoods, recreation focal points and community boundaries. The 9.0 acre park is planned next to the school and in the center of Victoria Grove. Passive open space/private recreation areas totaling 2.0 acres support the community recreation needs at satellite locations.

Please refer to "Conceptual Landscape Plan", Figure IV-1 for specific locations.





**LEGEND**

-  M.W.D. NATURALIZED LANDSCAPE
-  RIPARIAN NATURALIZED LANDSCAPE
-  PARK LANDSCAPE
-  OPEN SPACE
-  PRIMARY COLLECTOR LANDSCAPE
-  ORCHARD LANDSCAPE
-  APPROVED TENTATIVE TRACT MAPS WITH CURB ADJACENT WALKS

**b. Entry Monumentation**

Entry monumentation will introduce the project and establish its character within the community. A hierarchy of monumentation has been developed composed of the following elements:

- Major Community Entry Monument
- Minor Community Entry Monument
- Neighborhood Entry Monuments

Please refer to the "Entry Monument, Wall and Fence Plan", Figure IV-2, for specific locations.

**c. Streetscape**

The streetscape is an integral element in the establishment of the project character, combining entries, community walls and landscape to recreate an early Riverside atmosphere. The perimeter streetscape of Orange trees and Mexican Fan Palms frames the community while the interior streets connect individual neighborhoods and establish a sense of scale appropriate to the local collector streets. Community entries welcome residents with a clustering of specimen trees such as California Pepper trees and Canary Island Date Palms, transplanted from within the property and ranch style gates controlling vehicle access. Community roads lead through the Victoria Grove with eight foot parkways lined with Mexican Fan Palms separated sidewalk. Neighborhood roads have curb adjacent sidewalks. Street trees will be in the front yards and vary in type by neighborhood.

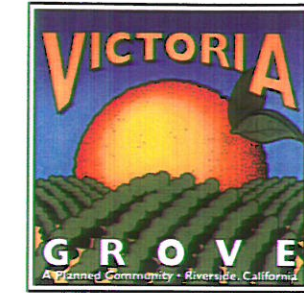
**d. Open Space Paseo and Park System**

Victoria Grove is a community designed to serve active lifestyles of young growing families. To meet these needs, an extensive open space system is provided. The backbone of this system is an open space spine which runs the length of the community along the major community roads, riparian channel and MWD Open Space Paseo.

Other open space amenities connect with this spine, including one (1) active neighborhood park, two (2) passive open space/ private recreation and open space riparian areas. Additionally, Victoria Grove provides a segment of Riverside County community trail along El Sobrante Rd.








The open space system integrates the natural rural character and the enhanced recreational features to support the recreational needs of young families.



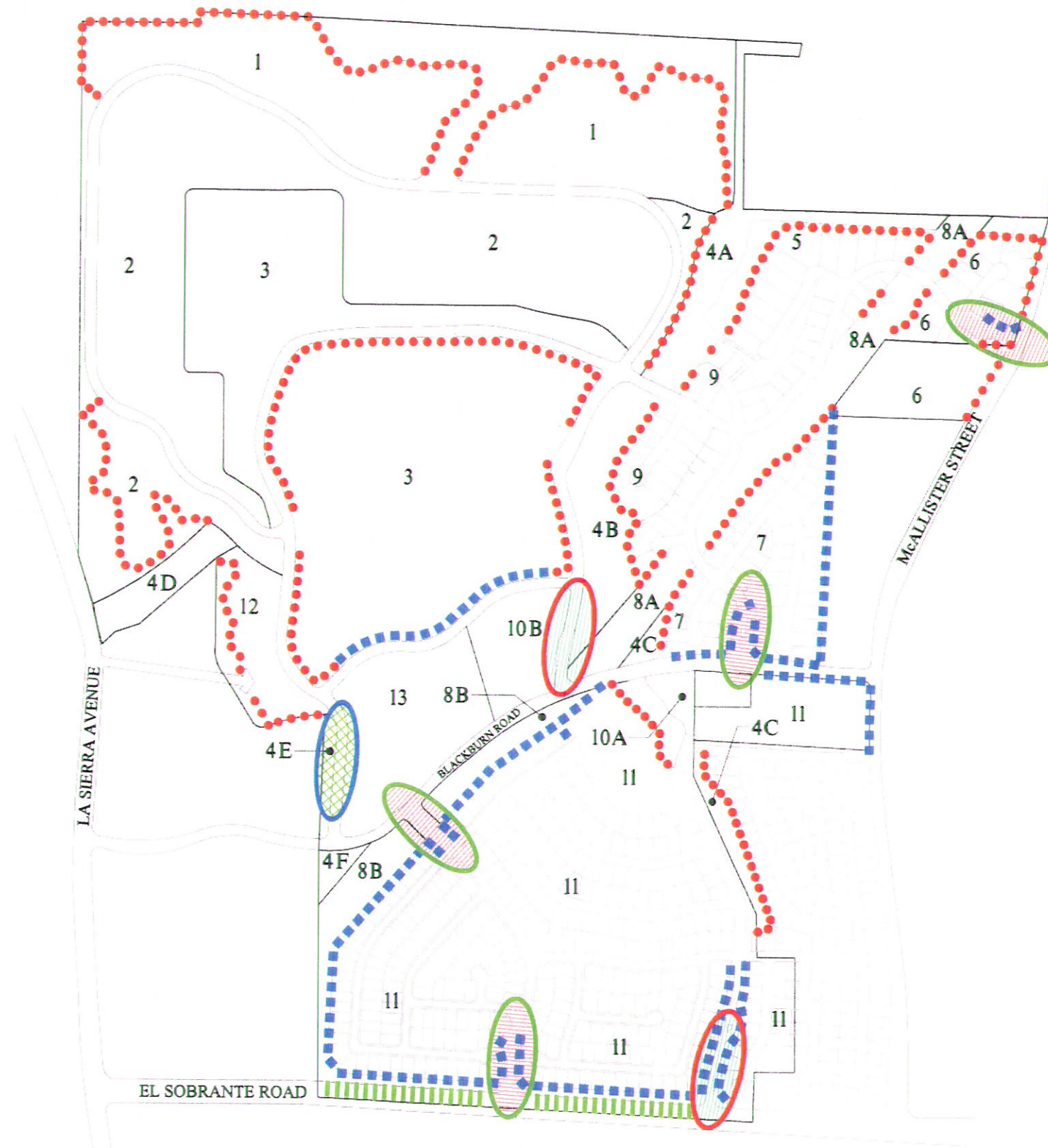


## ENTRY MONUMENT, WALL, AND FENCE PLAN

### LEGEND

-  BLOCK WALL
-  SPLIT RAIL FENCE
-  VIEW FENCE
-  MAJOR GATED COMMUNITY ENTRY MONUMENTATION
-  MINOR GATED COMMUNITY ENTRY MONUMENTATION
-  NEIGHBORHOOD ENTRY
-  APPROVED TENTATIVE TRACT MAPS WITH CURB ADJACENT WALKS

NOTE: BLACK VINYL CHAIN LINK MAY BE USED AS PERIMETER FENCE FOR SECURITY PURPOSES



## 2. Design Elements

### a. **Entry Monuments**

#### 1) **Major Community Entry**

Located on of El Sobrante Road and Blackburn Road are major community monument entries (See Figure IV-2). They consist of:

- Clustering of California Sycamore, Deodar Cedar, California Pepper, and Canary Island Date Palms as accent trees surrounded by a dirt ground plane and flowering shrubs.
- Groving of orange trees along the roads behind a procession of Mexican Fan Palms introduce Victoria Grove.
- Ranch style gates and split rail fences guard the vehicular entry.
- Stone clad theme monument pilasters with tile sign logo and uplighting announce the entry.

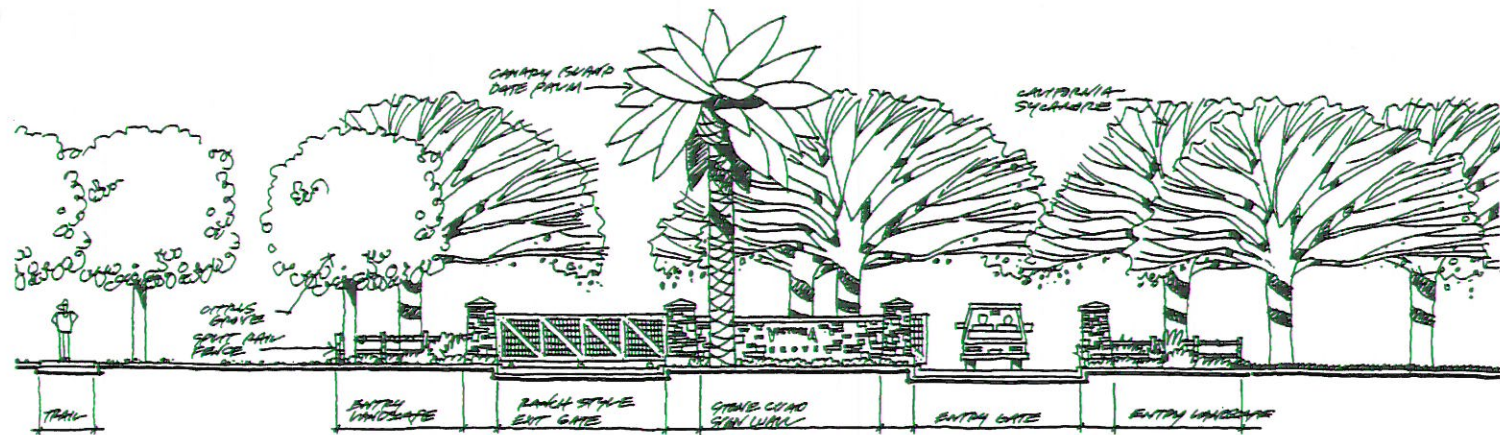
Please refer to Figures IV-3, IV-4 and IV-5, "Major Community Entry Elements" for specific locations.

#### 2) **Minor Community Entry**

All remaining entries, with the exception of one, are secondary entry monuments (See Figure IV-2). Figures IV-6 and IV-7 provide typicals for these entries which are comprised of:

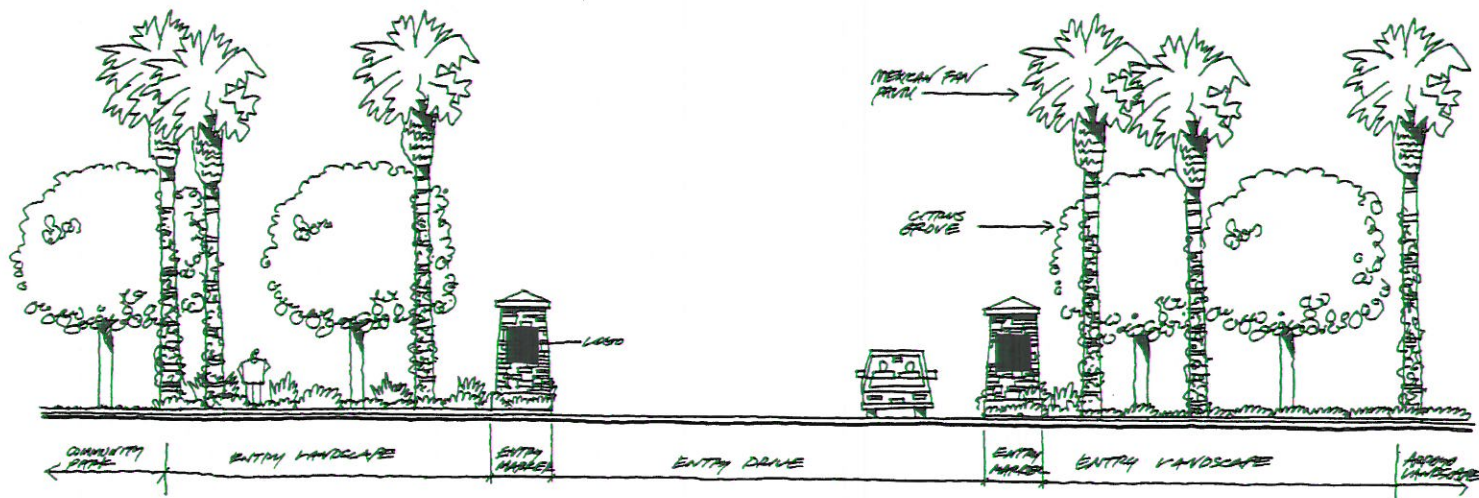
- Landscape islands, ranch style gates and split rail fences.
- Accent palms (Canary Island Date Palms).
- Evergreen accent trees (Orange, Deodar Cedar, California Pepper).
- 2 stone clad theme monument pilasters with tile sign logo uplit at the bottom on both sides of entry.
- 6' community theme wall with pilasters.





**SECTION/ELEVATION**

Figure IV-3



**SECTION/ELEVATION**

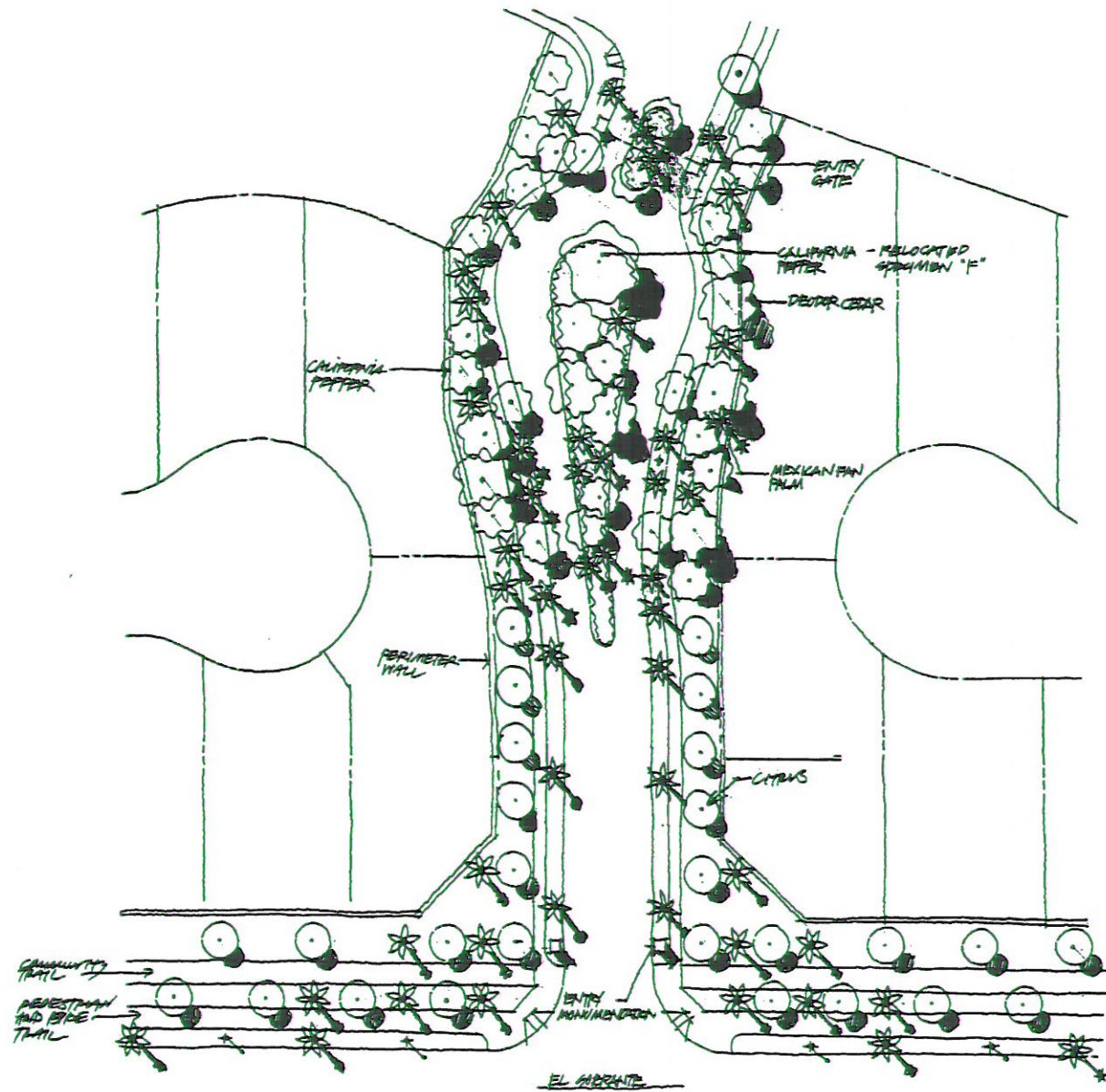
Figure IV-4



**PLAN VIEW**

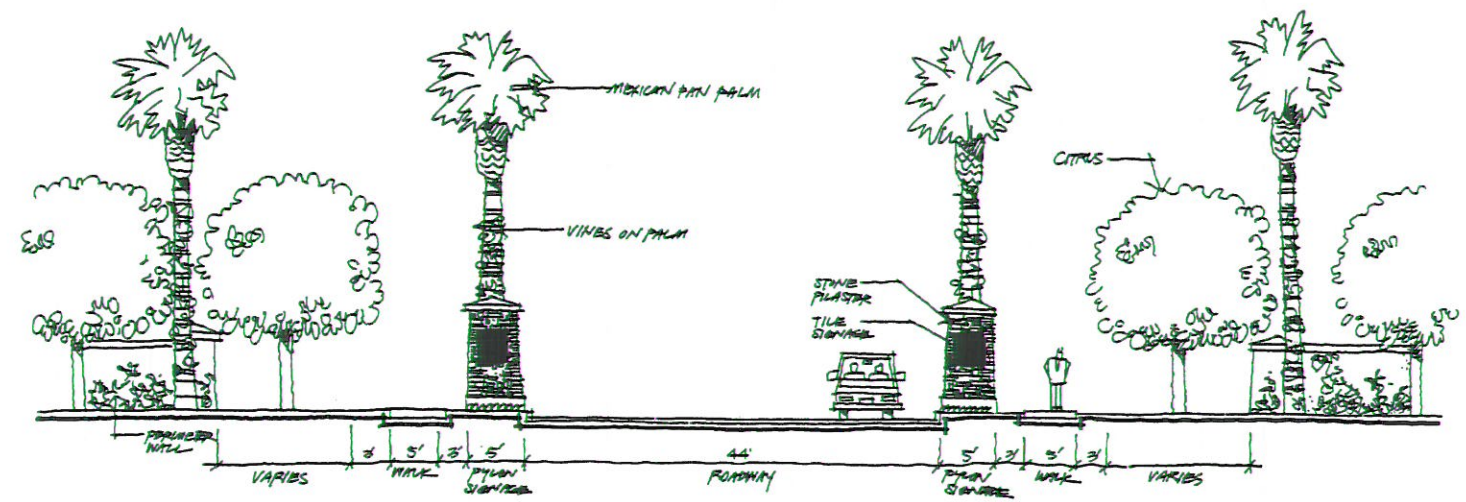
Figure IV-5





PLAN VIEW

Figure IV-6



SECTION/ELEVATION

Figure IV-7



# VICTORIA GROVE

(formerly the Sierra Collection)

Specific Plan 270 Amendment No. 1

Figures IV-6 & IV-7  
Minor Community Entry





### **3) Neighborhood Community Entry**

The neighborhood entry monuments is located north of Blackburn Road and west of the school (See Figure IV-2). The neighborhood entry monument is composed of the following elements:

- Landscape islands, ranch style exit gates and split rail fences.
- Accent trees (citrus grove).

Please refer to "Neighborhood Community Entry Monument", Figures IV-8 and IV-9.

#### **b. Parks**

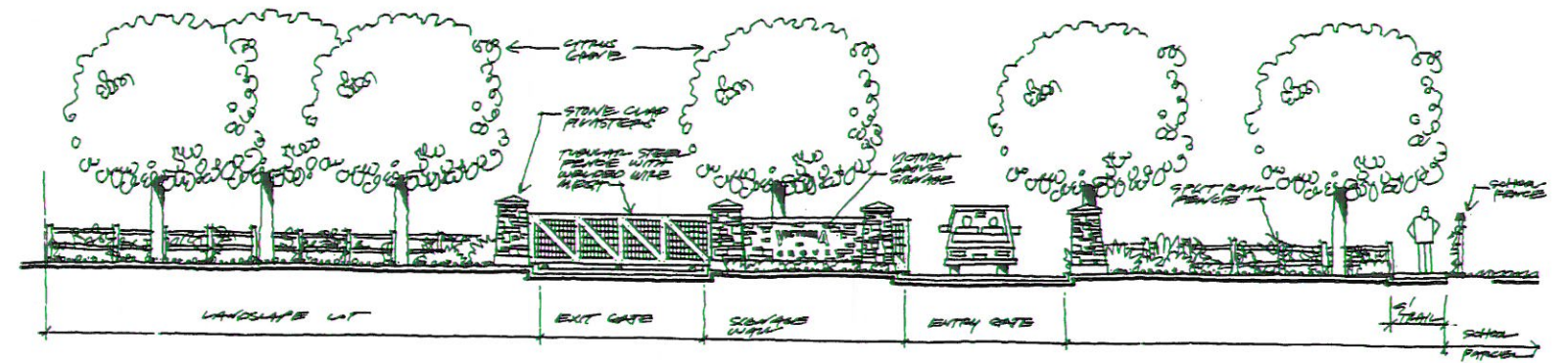
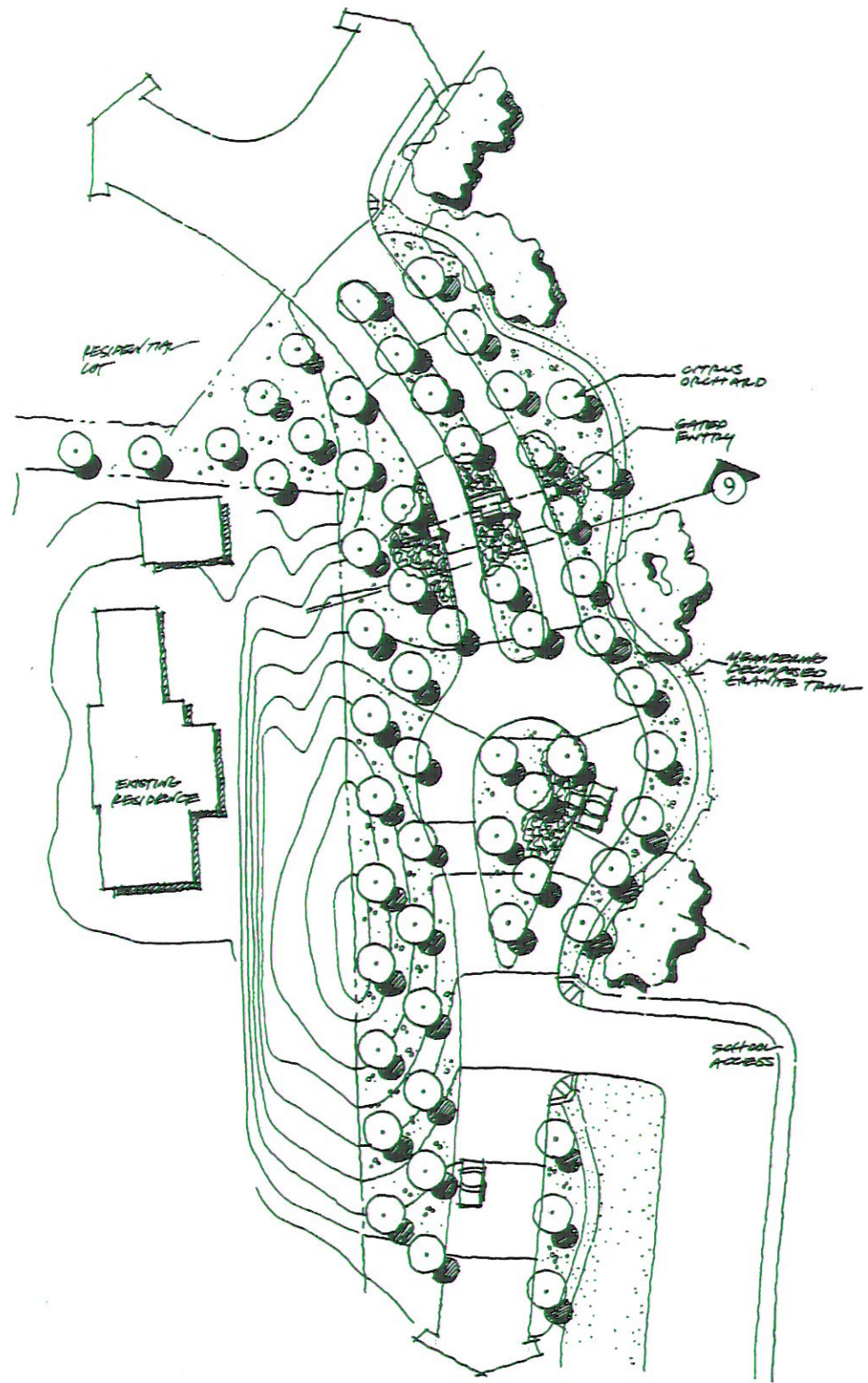
One (1) park has been incorporated into the community. This neighborhood park is located on Blackburn Road east of the school (See Figure IV-2). The park will consists of at least:

- Basketball court
- Parking lot
- Activity Lawn
- Restroom building
- Shade structures (gazebo)
- Two (2) soccer and two (2) softball fields
- One (1) tot lot
- Citrus orchards
- Group picnic areas

Please refer to "Community Park", Figure IV-10.

#### **c. Recreation Center**

The recreation center is planned for Planning Area 10A, as depicted on Figure IV-11, and provides for the development of 1.0 acre as a Passive Open Space/Private Recreation area containing a restroom building, a pool, and activity lawns.



**SECTION/ELEVATION**

Figure IV-9

**PLAN**

Figure IV-8



**VICTORIA GROVE**

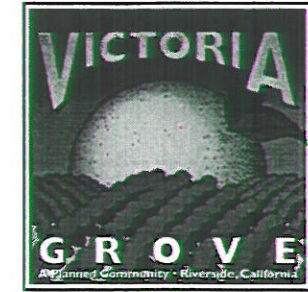
(formerly the Sierra Collection)

Specific Plan 270 Amendment No. 1

Figures IV-8 and IV-9  
**Neighborhood Entry**



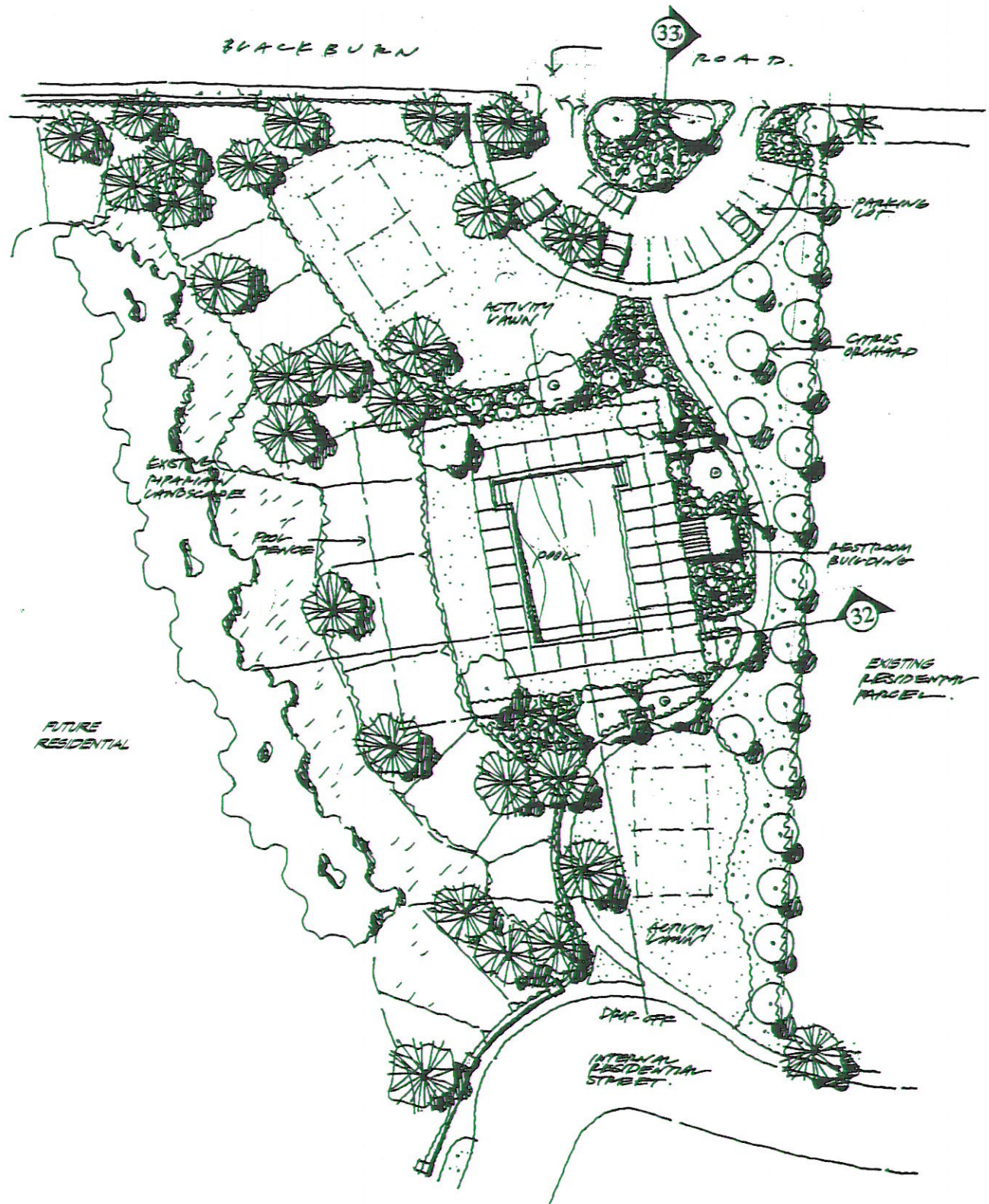
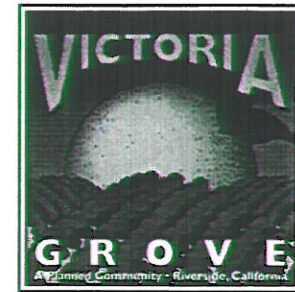




**COMMUNITY PARK**  
**Planning Area 10B**

Figure IV-10  
**Community Park**





**RECREATION CENTER**  
**Planning Area 10A**



**VICTORIA GROVE**  
*(formerly the Sierra Collection)*

Specific Plan 270 Amendment No. 1

Figure IV-11  
**Recreation Center**





**d. MWD Open Space Paseo**

The MWD Open Space Paseo is incorporated into existing MWD land that runs through the community and will function primarily as a passive linear park, which support the trail system. The design features proposed within the area are:

- Existing meandering un-paved trail
- Low growing naturalized and non-irrigated shrub and groundcover areas
- Existing riparian vegetation

All development within the MWD land must be done in accordance with MWD policies, procedures and approvals.

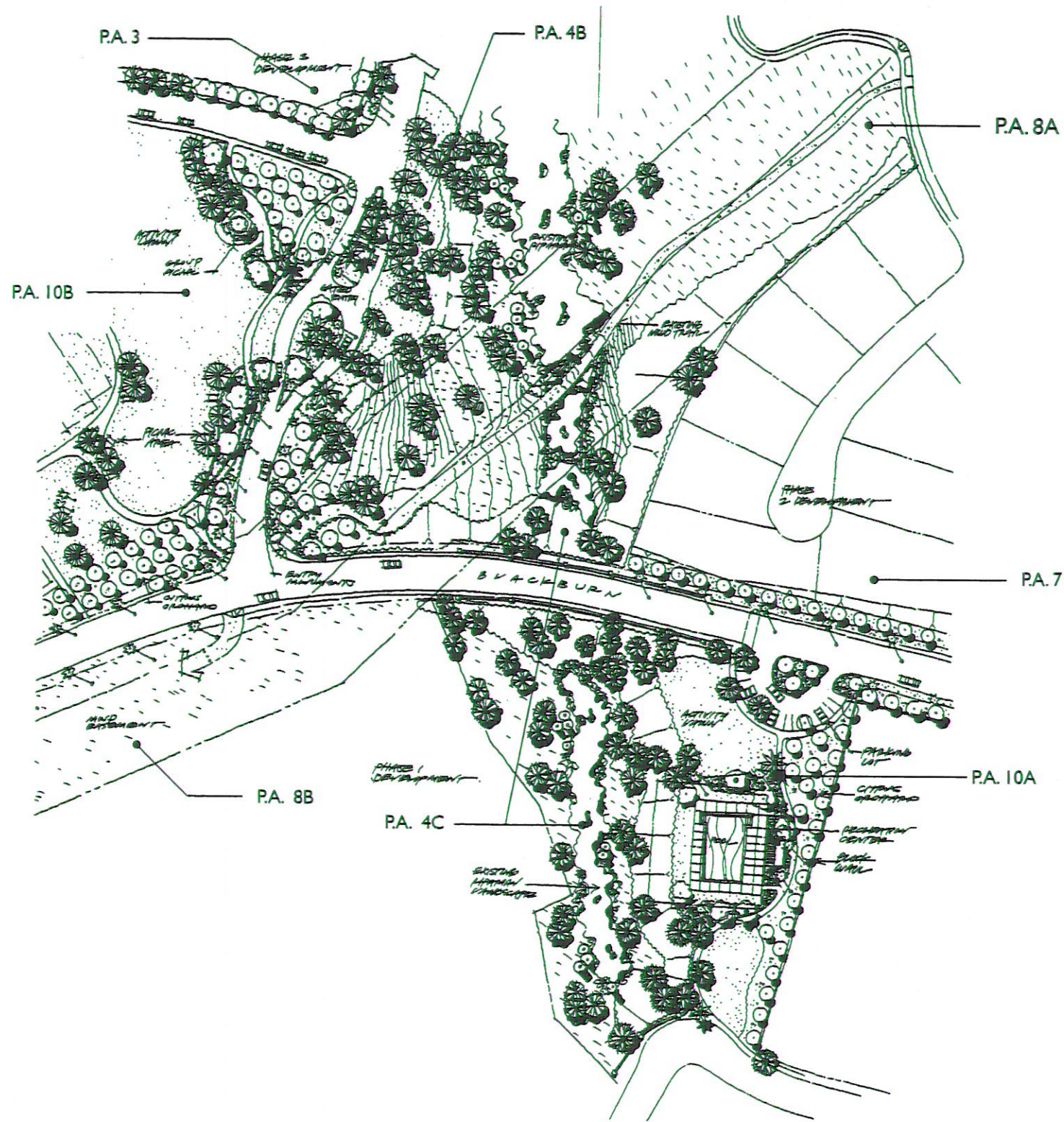
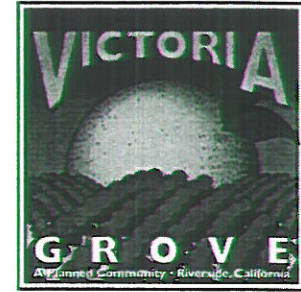
**e. Trail System**

An extensive trail system has been incorporated into the community. These trails traverse the site and connect various neighborhoods with the parks and open space, consisting of:

- Pedestrian trail - designed to be in harmony with the natural environment. Trail is 5' wide and constructed of decomposed granite surface looping within Planning Area 3.
- Regional community riding and hiking trail - located behind right-of-way along El Sobrante Road and connects to a larger county wide system. Community trail is 10' wide and made of decomposed granite surface.
- Class I biking and pedestrian trail - The biking/hiking trail shall be hard surfaced with concrete per normal County requirements and is on the north side of El Sobrante Road.
- MWD Open Space Paseo maintenance road - 12' wide un-paved surface running the entire length of the MWD right of way. All trails developed shall conform with Section 5 of Metropolitan's "Guidelines for Developments in the Area of Facilities, Fee Properties, and/or Easements of the Metropolitan Water District of Southern California."
- 6 foot curb adjacent and curb separate concrete walks along most of the neighborhood and community roads.
- Multi-purpose trail - 10' wide concrete Class 1 pedestrian/bicycle trail running the length of community park providing bike access to school along Blackburn Road.
- Fire access road - an un-paved access road for emergency fire vehicles along the northern project boundary and to the arroyo in Planning Area 4A.

Please refer to "Trail and Sidewalk Plan", Figure IV-13 for specific locations.

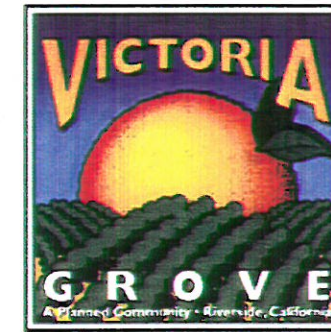




## OPEN SPACE PASEO PLAN












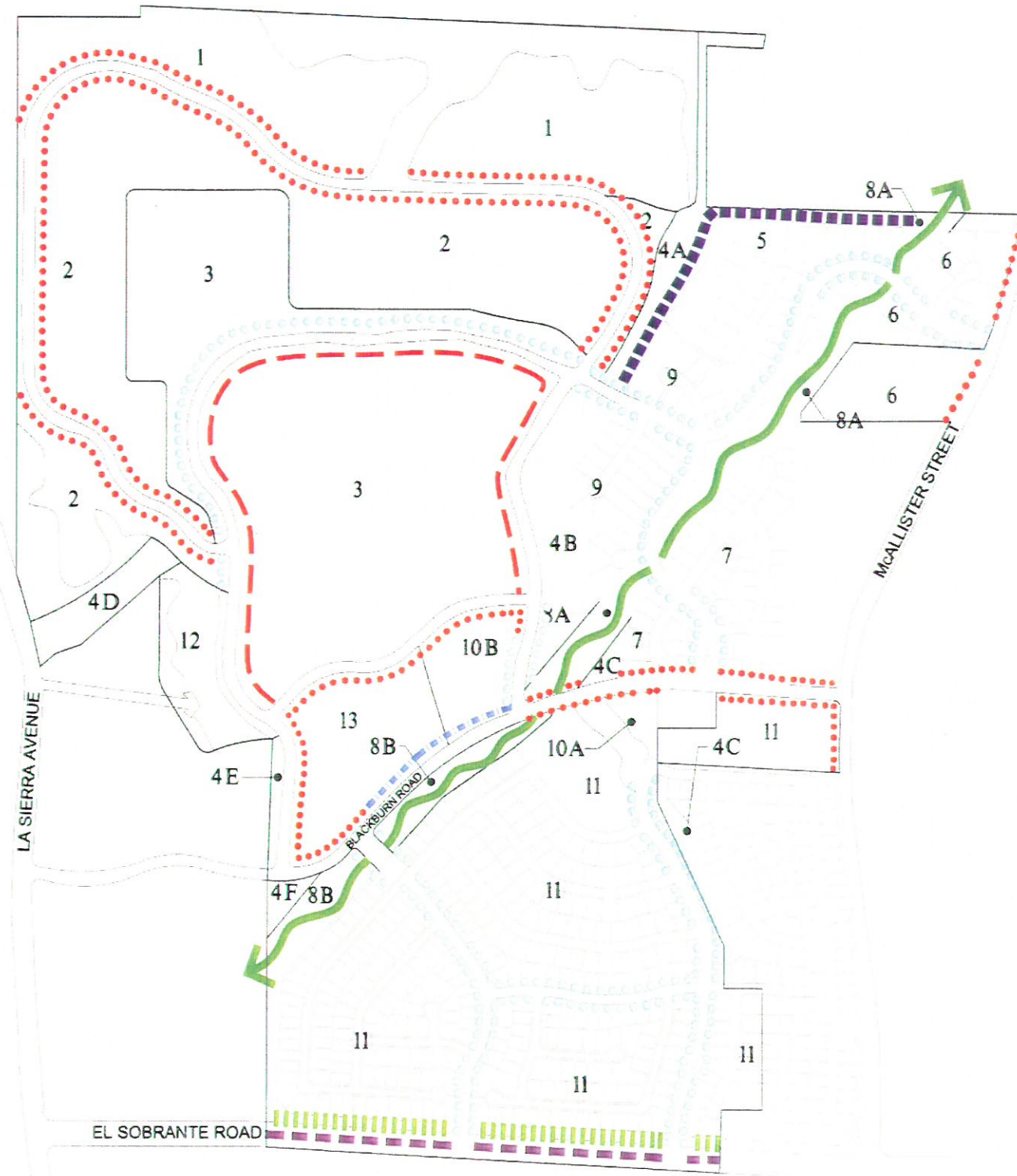




## TRAIL AND SIDEWALK PLAN

### LEGEND

-  M.W.D. MAINTENANCE  
12' WIDE NON PAVED SURFACE.
-  CURB SEPARATE CONCRETE WALK
-  CURB ADJACENT CONCRETE WALK
-  PEDESTRIAN TRAIL 5' WIDE  
DECOMPOSED GRANITE SURFACE
-  MULTIPURPOSE 10' WIDE  
CONCRETE WALK
-  COMMUNITY TRAIL 10' WIDE  
DECOMPOSED GRANITE SURFACE
-  PEDESTRIAN & BIKE TRAIL  
10' WIDE CONCRETE WALK
-  FIRE ACCESS  
SURFACE
-  APPROVED TENTATIVE TRACT MAPS  
WITH CURB ADJACENT WALKS





**f. Community Streetscenes**

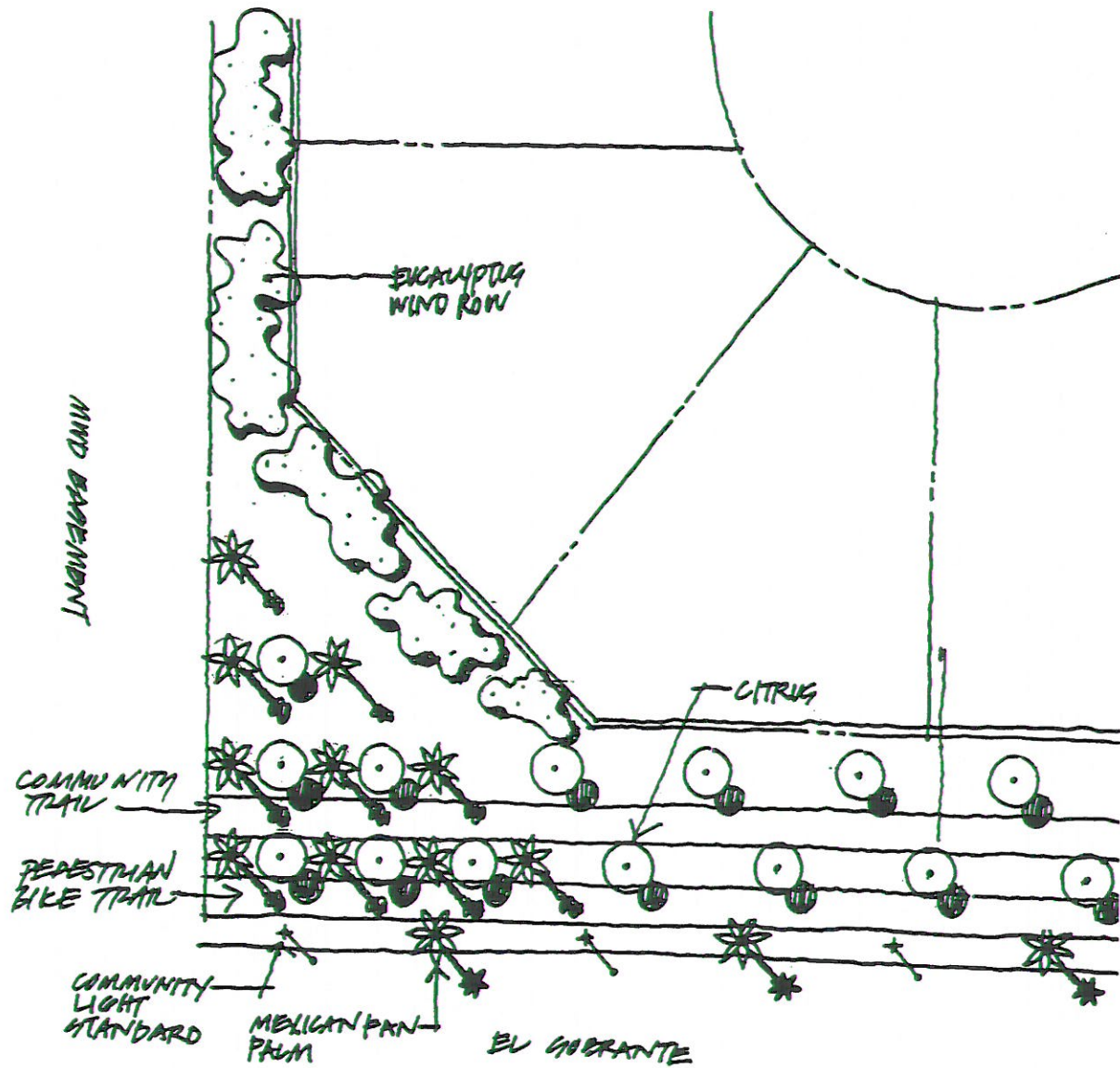
**1) El Sobrante Road**

The southern project boundary streetscape along public El Sobrante Road will be composed of the following elements:

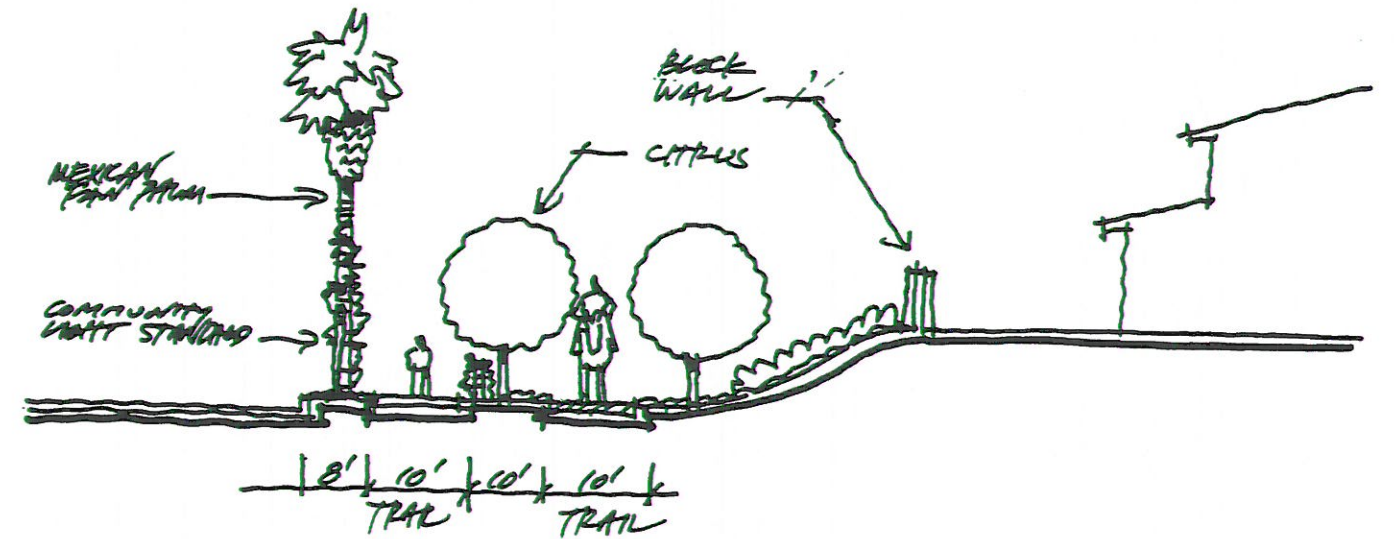
- 47' landscape zone with trails as measured from face of curb to perimeter wall.
- Two rows of orange trees with native soil understory.
- 10' combination Class I pedestrian/bicycle trail.
- 8' wide vegetation area including skyline Mexican Fan Palms and Community Light standards.
- 10' decomposed granite community trail in a 10' easement.
- 6' Community theme perimeter block wall.

Please refer to "El Sobrante Road ", Figures IV-14, IV- 15, and IV-16 for specific locations.

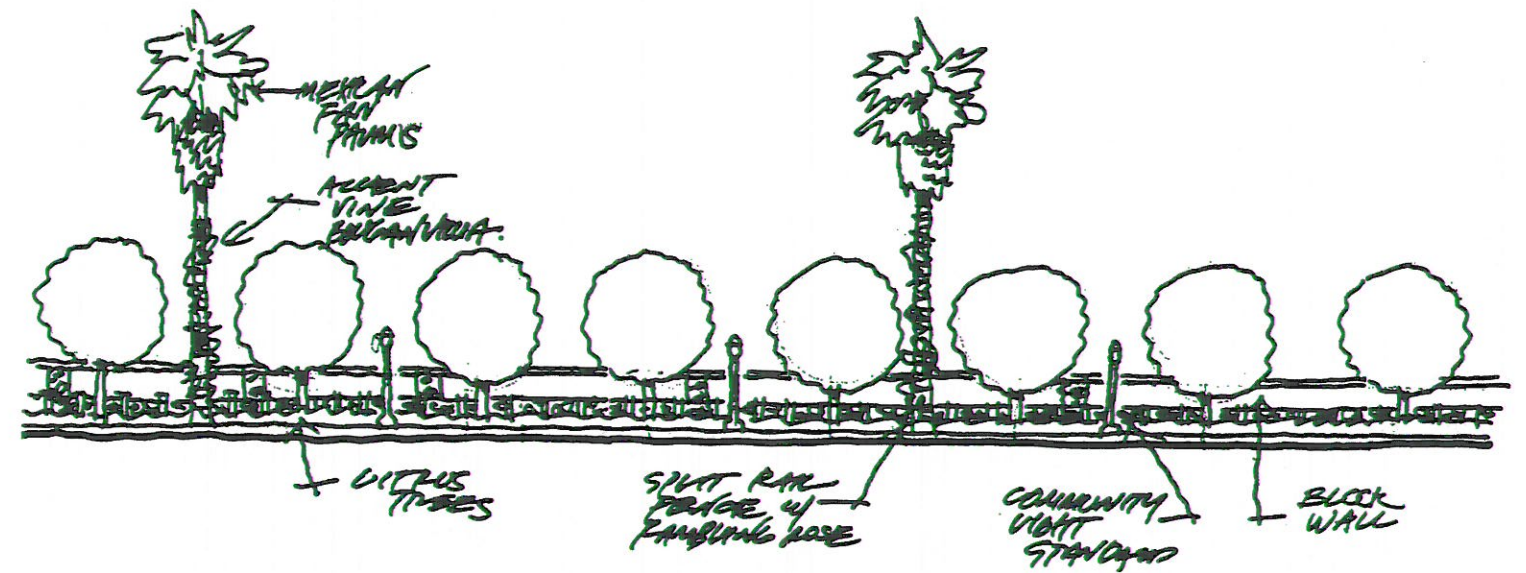




**EL SOBRANTE ROAD - PLAN**  
Figure IV-14



**EL SOBRANTE ROAD - SECTION**  
Figure IV-15



**EL SOBRANTE ROAD - ELEVATION**  
Figure IV-16

## 2) **McAllister Street**

The eastern project boundary public streetscape along McAllister Street will combine components of the project with that of adjacent properties and will be composed of the following elements:

- 5' public sidewalk behind curb.
- Mexican Fan Palms and street lights lining the road.
- 6' community theme perimeter block wall or top of slope wrought iron view fence
- Row of Orange trees.

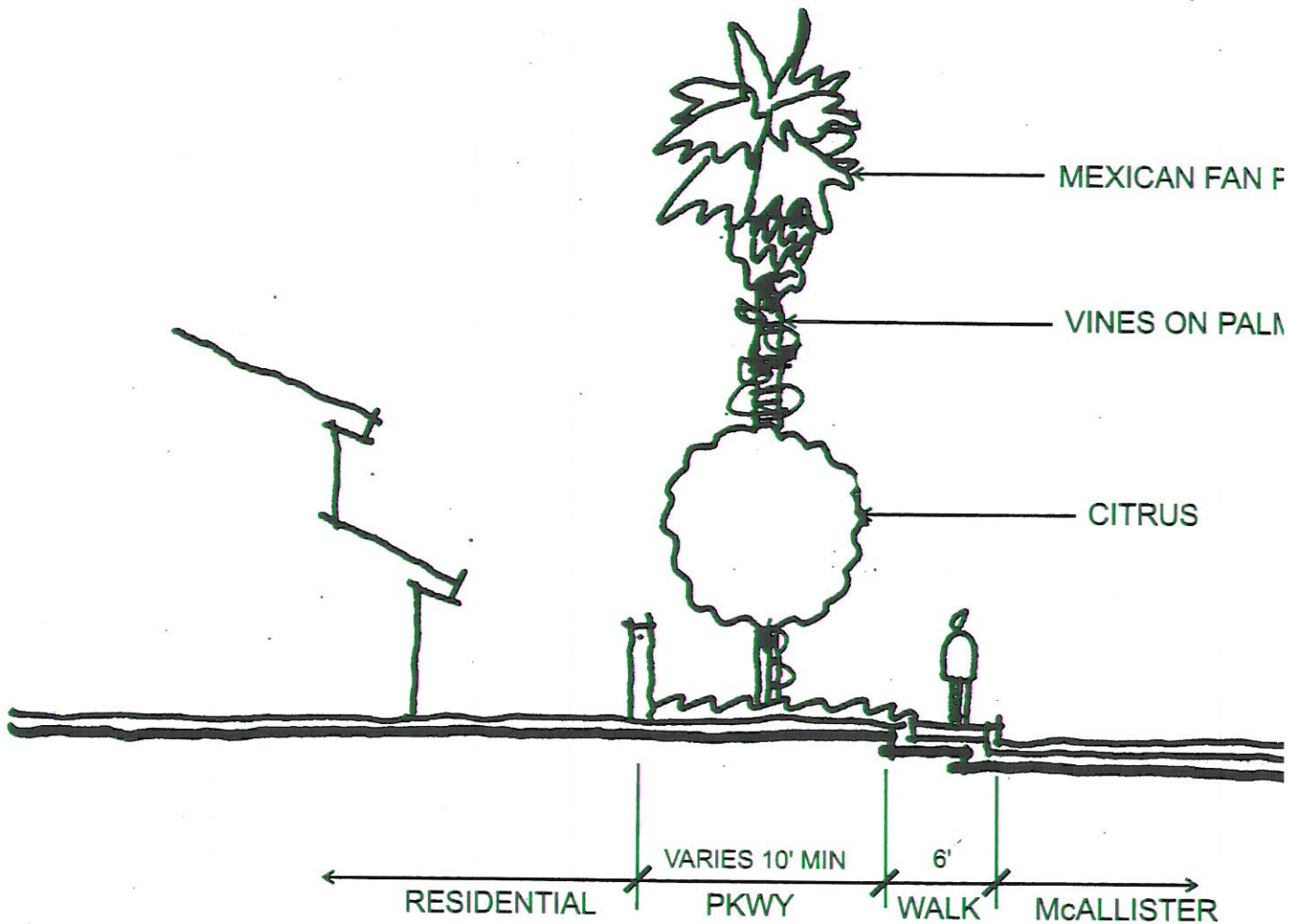
Refer to "McAllister Road", Figure IV-17 for specific locations.

## 3) **Public Collector Road (Blackburn Road)**

Blackburn Road connects McAllister Street throughout Victoria Grove to La Sierra Avenue. Blackburn Road will be constructed as a minimum 66' wide public collector road. Some sections will be 72' wide to allow for double turn lanes, and are shown on Figure IV-19. Figures IV-18 and IV-20 show other typical 66' individual cross-sections of Blackburn Road. The collector road streetscape consists of the following:

- 6' wide public sidewalk on north side of Blackburn Road, as shown in Figure IV-19, on both sides at Figure IV-18, and a multi-purpose trail will occur, with the location shown as Figure IV-20.
- 4'-10' wide (depending on section) parkway with a skyline planting of Mexican Fan Palms within native soil.
- 6' high block wall on north side (per Figure IV-26).
- One to three rows of an existing orange grove with native soil understory (south side of Blackburn Road).
- A row of orange trees and Mexican Fan Palms planting at Phase 2 (north side of Blackburn Road) and along Planning Area 11.



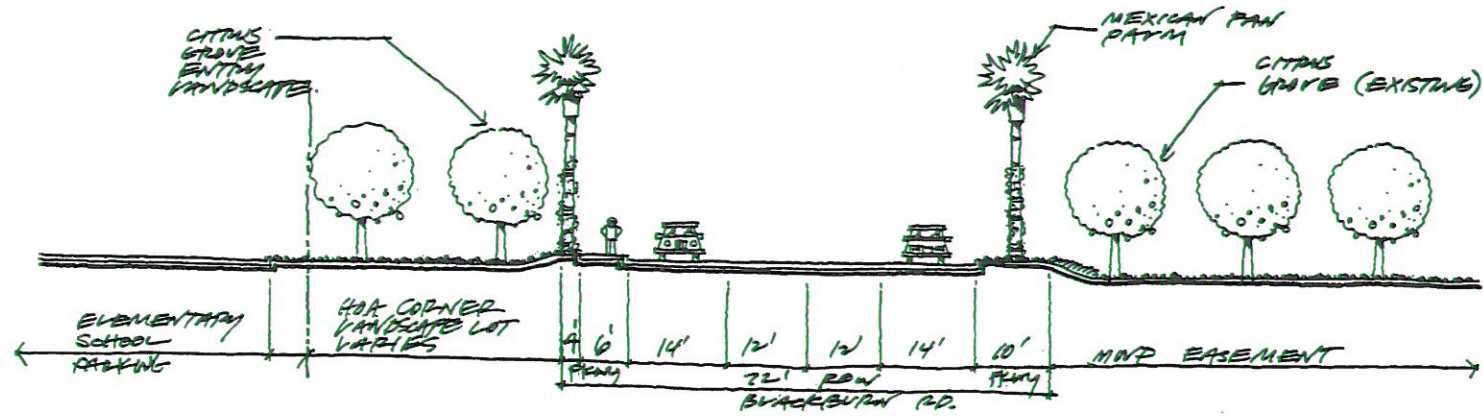
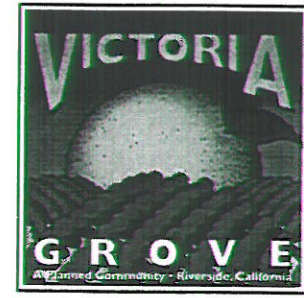


**McALLISTER STREET**



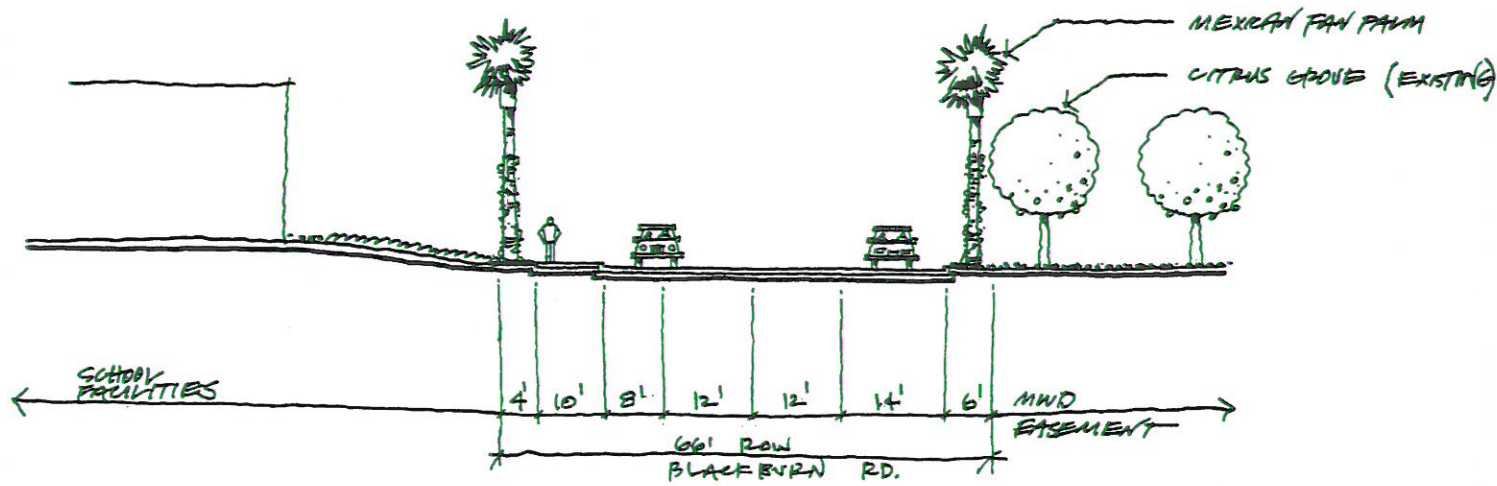
**VICTORIA GROVE**

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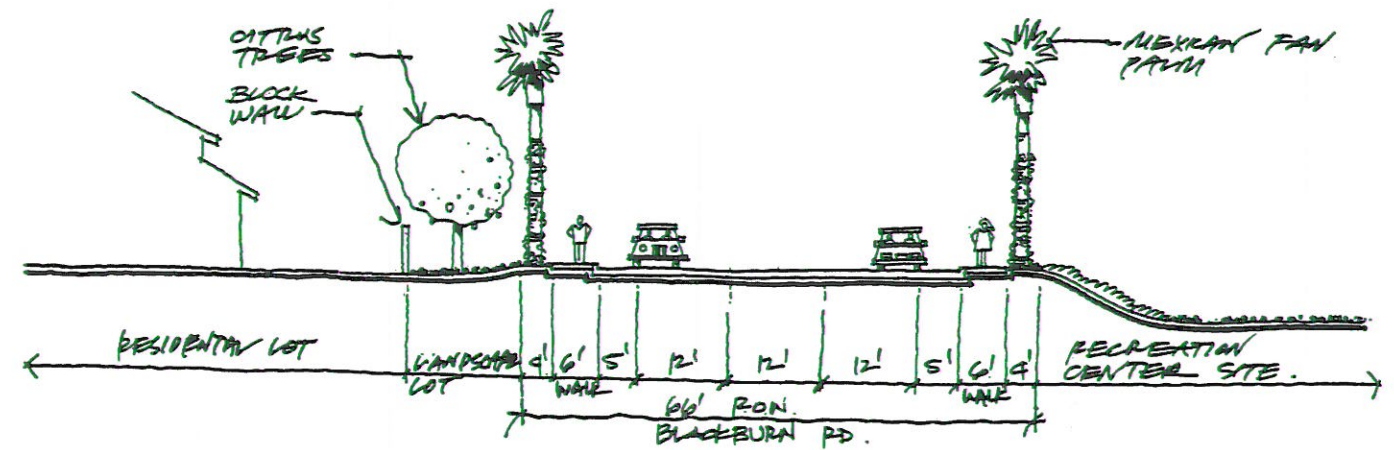
**PUBLIC COLLECTOR ROAD**

Figure IV-19



**PUBLIC COLLECTOR ROAD**

Figure IV-20



**PUBLIC COLLECTOR ROAD**

Figure IV-18



#### 4) Private Streets

The typical private local streetscene will include the following elements (Please refer to "Community Road and Private Interior Street Sections", Figures IV-21 through IV-25):

##### a. Community Roads

Unloaded community roads are free of home frontage and driveways in Victoria Grove and are required at entries. They are also designed in Planning Area 3 to encourage residents to use Blackburn Road and El Sobrante Road and to avoid McAllister Street. These roads are improved with curb separated trails/walks and landscaped parkways. Please refer to "Community Roads", Figure IV-21.

- 66" wide Right of Way (ROW) with a 40' paved section.
- 6' curb separated trail with an eight foot parkway of Mexican Fan Palms, alternating shade trees or informal clustering of palms and shade trees and exposed native soil.

##### b. Community Roads

Community Roads serve as collector roads inside Victoria Grove (Refer to Figure IV-22).

- 66' wide Right of Way (ROW) with 44' paved section.
- 6' separated sidewalk with five foot parkway planted with alternating shade trees and wild rose and flowering vines are proposed for color.

##### c. Community Roads

Community Roads serve as collector roads inside Victoria Grove (Refer to Figure IV-24).

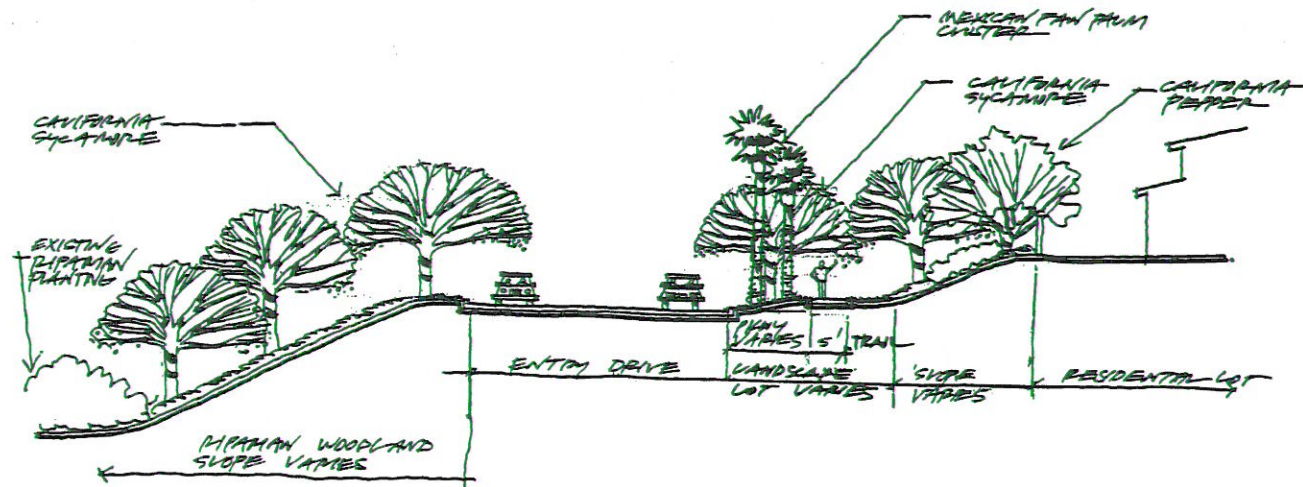
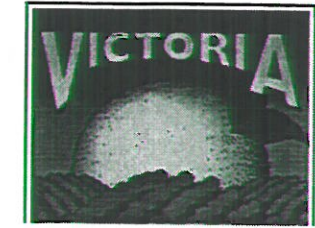
- 66' wide Right of Way (ROW) with 40' paved section.
- 6' separated sidewalk with eight foot parkway planted with Mexican Fan Palms, alternating shade trees and exposed native soil. Wild rose and flowering vines are proposed for color.

##### d. Private Community Entry Roads

Private Community Entry Roads serve as focal roads inside Victoria Grove neighborhoods (Refer to Figure IV-23).

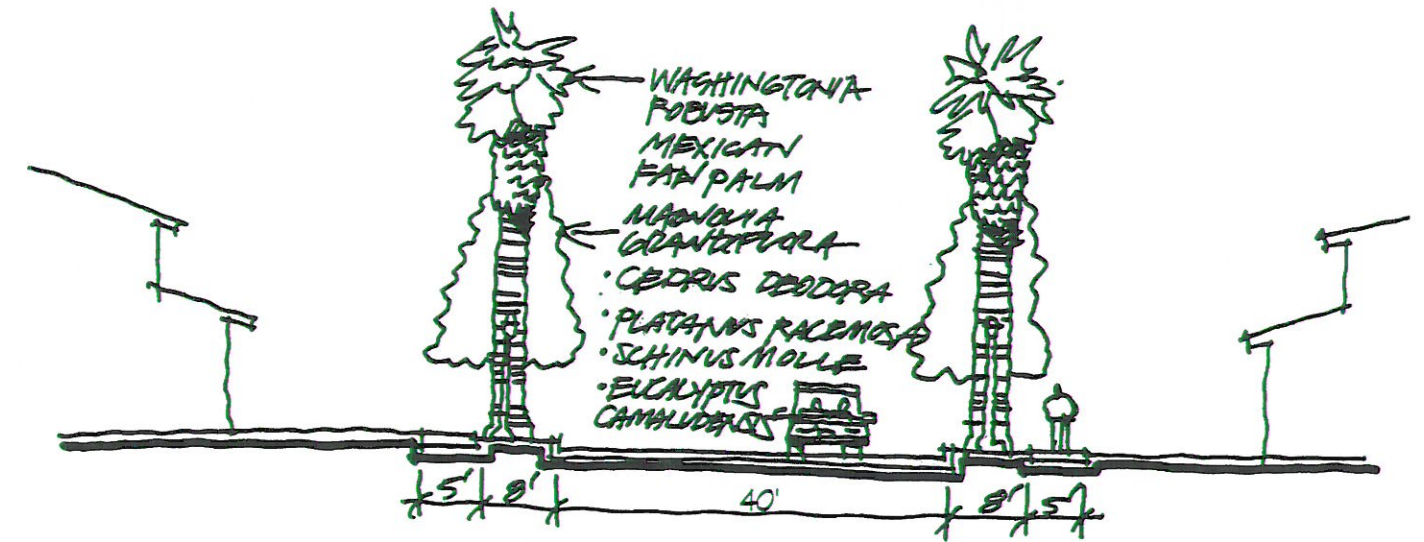
- 66' wide Right of Way (ROW) with 44' paved section.





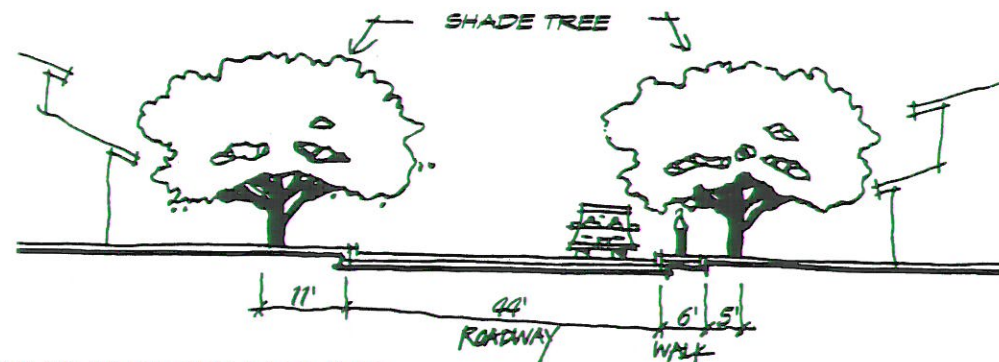
**COMMUNITY ROAD**

Figure IV-21



**COMMUNITY ROAD**

Figure IV-24



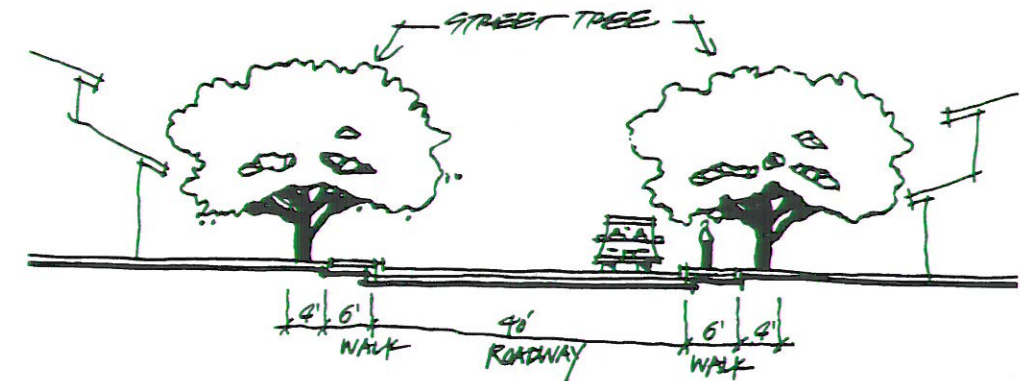
**COMMUNITY ROAD**

Figure IV-22



**PRIVATE COMMUNITY ENTRY ROAD**

Figure IV-23



**PRIVATE INTERIOR STREET**

Figure IV-25

Figures IV-21, IV-22, IV-23, IV-24 and IV-25

**Community Roads and Private Streets**

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- 5' separated sidewalk with six foot parkway planted with Mexican Fan Palms, alternating shade trees and exposed native soil. Wild rose and flowering vines are proposed for color.

**e. Private Interior Streets and Local Neighborhood Roads**

These roads are lined with houses and serve the neighborhood with minimal through traffic.

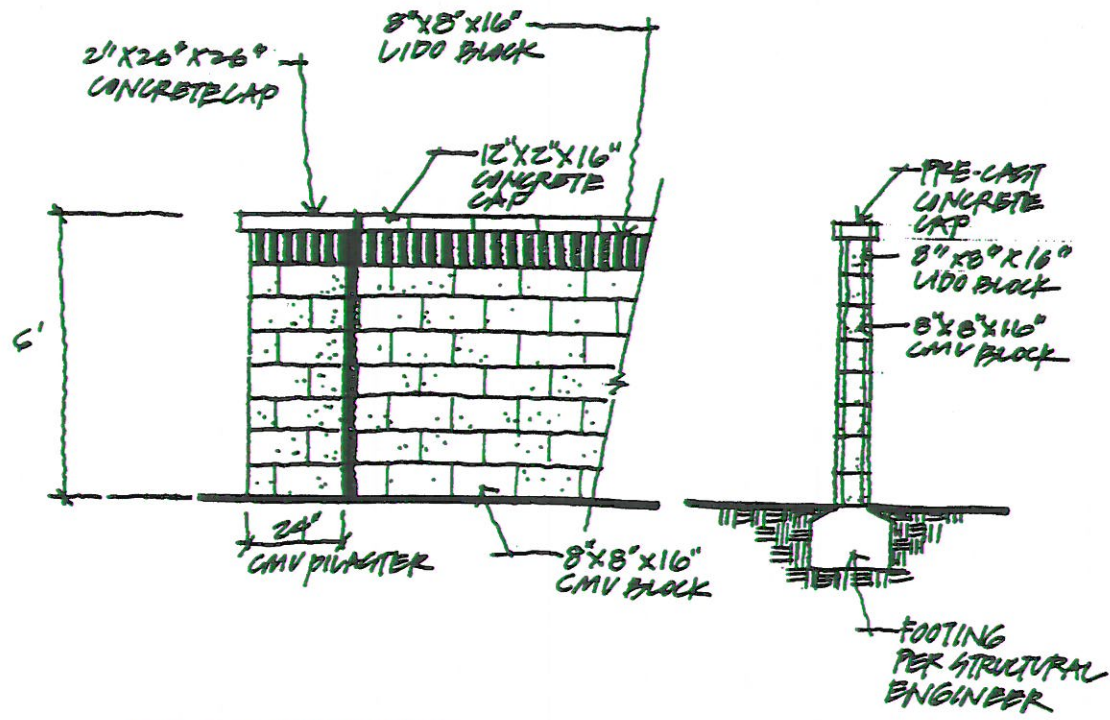
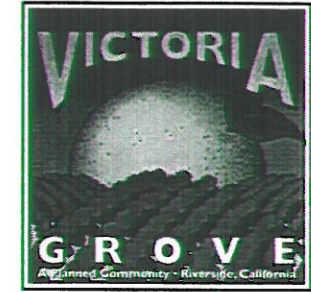
- 6' curb adjacent sidewalk. Community theme trees will be planted in the front yards. Further details are provided within the section that follows under 3. Softscape Elements, b. Landscape Zone, 3) Community Streetscapes.
- 60' wide Right of Way (ROW) with 40' paved section.
- Each neighborhood will have distinctive street trees that define each unique neighborhood.

**f. Walls & Fences**

Block walls and tubular steel fences are used throughout Victoria Grove to secure the community and allows views out from elevated lots. Architectural design and placement of walls and fences support the early Riverside theme, citrus heritage, and the unique characteristics of the site, including views and screening. The walls and fences consist of (Figure IV-2):

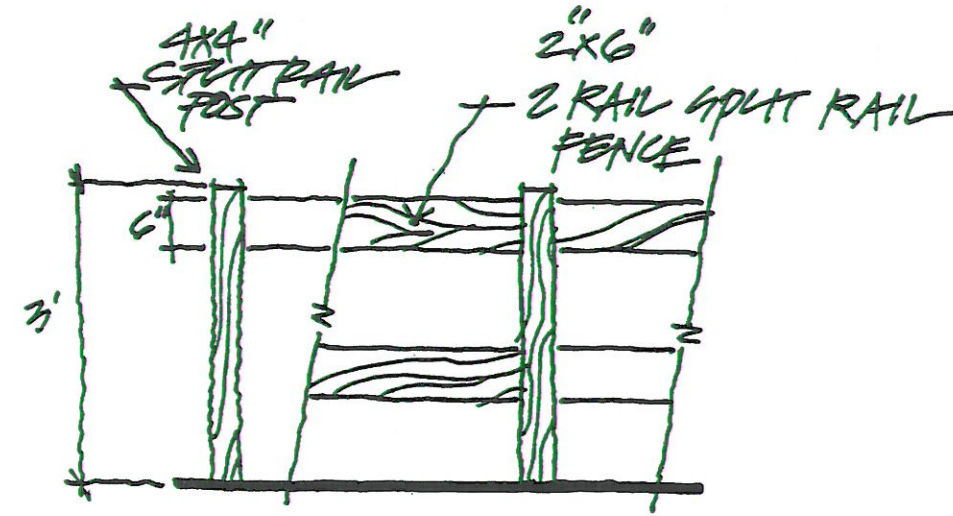
1. 6' high community block wall mainly along the perimeter with integral color and flush joints, pilaster accents and concrete cap.
2. 5' painted tubular steel view fences mainly along the rear of view lots.
3. Split rail fence along El Sobrante community trail.
6. Black vinyl chain link security fence (Figure IV-2)

Please refer to "Block Wall, View Fence, and Split Rail Fence", Figures IV-26 through IV-28 for specific locations.



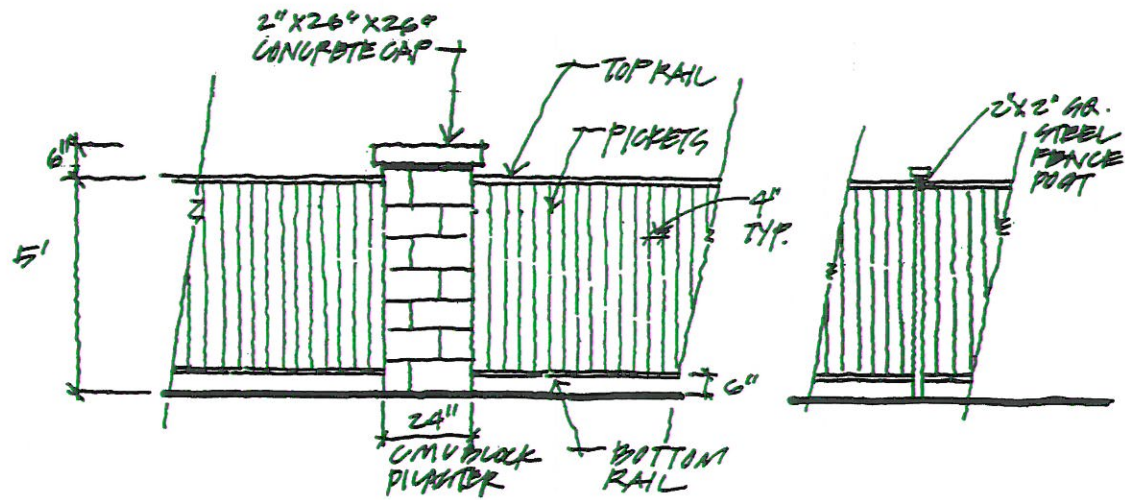
**BLOCK WALL**

Figure IV-26



**SPLIT RAIL FENCE**

Figure IV-28



**VIEW FENCE**

Figure IV-27



### **3. Softscape Elements**

#### **a. Planting Guidelines**

##### **1) Community Landscape Theme**

The landscape theme at Victoria Grove is early Riverside with an emphasis on retaining the appearance of the citrus groves that occupy the site. The major entry and street tree theme are taken from the skyline rows of the Mexican Fan Palm and the spreading canopy of the Date Palm characteristic to the area. Groves of orange trees will provide a backdrop to the entrance and major public roads around the project.

##### **2) General Landscape Requirements**

All native soil areas desired to be landscaped may be planted with groundcover, turf (where multi-purpose lawn activities or parks exist), shrub or tree materials selected from the plant palette. The use of decomposed granite around trees, shrubs, and vines is seen as desirable in maintaining rural character and could be used in parkways, trails, and other landscaped areas. Turf shall be minimized and used mainly where activity lawn use is appropriate.

For slopes, planting shall commence as soon as slopes are completed on any portion of the site and shall provide for rapid short term coverage, as well as long term establishment cover per County standards. The developer shall provide a landscape bond to the County at the time that the landscape plan is approved. The bond is to guarantee the installation of interim erosion control planting in the event that the grading operation is performed and building construction does not commence within ninety (90) days.

Cut slopes equal to or greater than five (5) feet in vertical height and fill slopes equal to or greater than three (3) feet in vertical height shall be planted with a groundcover to protect the slope from erosion and instability. Slopes exceeding fifteen (15) feet in vertical height shall be planted with shrubs, spaced not to exceed twenty (20) feet on center, in addition to the groundcover.

Reference should be made to the County of Riverside for erosion control methods for slopes and other landscaped areas.

All planting within any public street right-of-way should be in conformance with the County of Riverside Standards. Landscape located within the MWD area must meet with the approval of that agency.

Riparian planting must be done sensitively so as not to disturb existing native vegetation and should be planted at the correct time of year. (See climate constraints). All plants selected from Victoria Grove Plant Palette shall be verified suitable for each particular soil and climatic conditions within the project.

## **b. Landscape Zone**

### **1) Landscape Development Zone Tree Palette**

Please refer to "Overall Plant Palette"

### **2) Landscape Slopes**

As outlined in General Landscape Requirements, all graded slopes shall be landscaped and irrigated above the specified heights. These slopes, which surround much of the project or bisect through the project separating land uses, will add to the generous amount of landscaped open space already provided within the project.

These landscaped slopes act as open space fingers running through the project creating a wonderful opportunity to generate aesthetically pleasing buffers between land uses, while providing for extensive pedestrian access to open space trails and park, linking the entire project together.

The overall concept is to provide a unifying cohesive slope landscape plan that strengthens the community identity.

Please refer to "Landscape Interior Slope Plan", Figure IV-29 for specific locations.

#### **a) Slopes**

All interior slopes that are not adjacent to undisturbed/natural areas and where fuel modification is not an issue, are considered "Slopes". These slopes are generally highly visible from or adjoining to major streets and should be planted in an aesthetically pleasing manner. The overall planting scheme is to provide color with textural and form diversity.

#### **b) Transition/Fuel Modification Slopes**

These slopes line the northern and westerly perimeters of the project, and are on the leading edge of the development. These slopes should reflect both the community landscape theme and address the transition back to natural open space. Slopes will be landscaped with predominantly naturalized plant materials to soften the development edges by blending it with the undisturbed native slopes.

Please refer to "Transition/Fuel Modification Slopes, Figure IV-30 for specific locations.

These plants should require sufficiently less water than the "Slope" plant material. Community safety from fire hazard will also be promoted by a fuel modification zone.



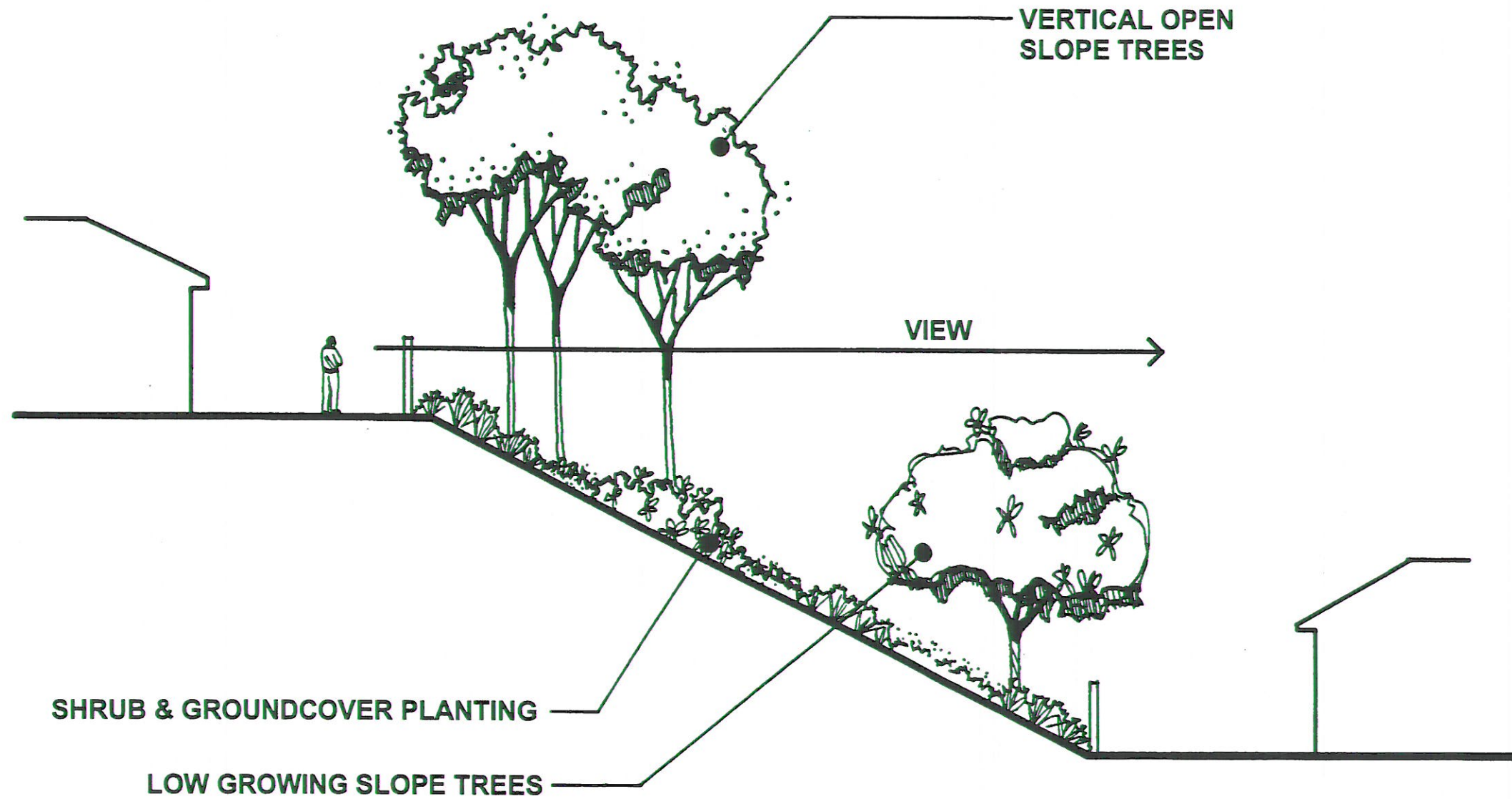
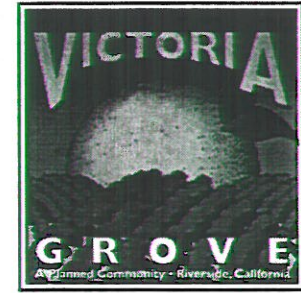
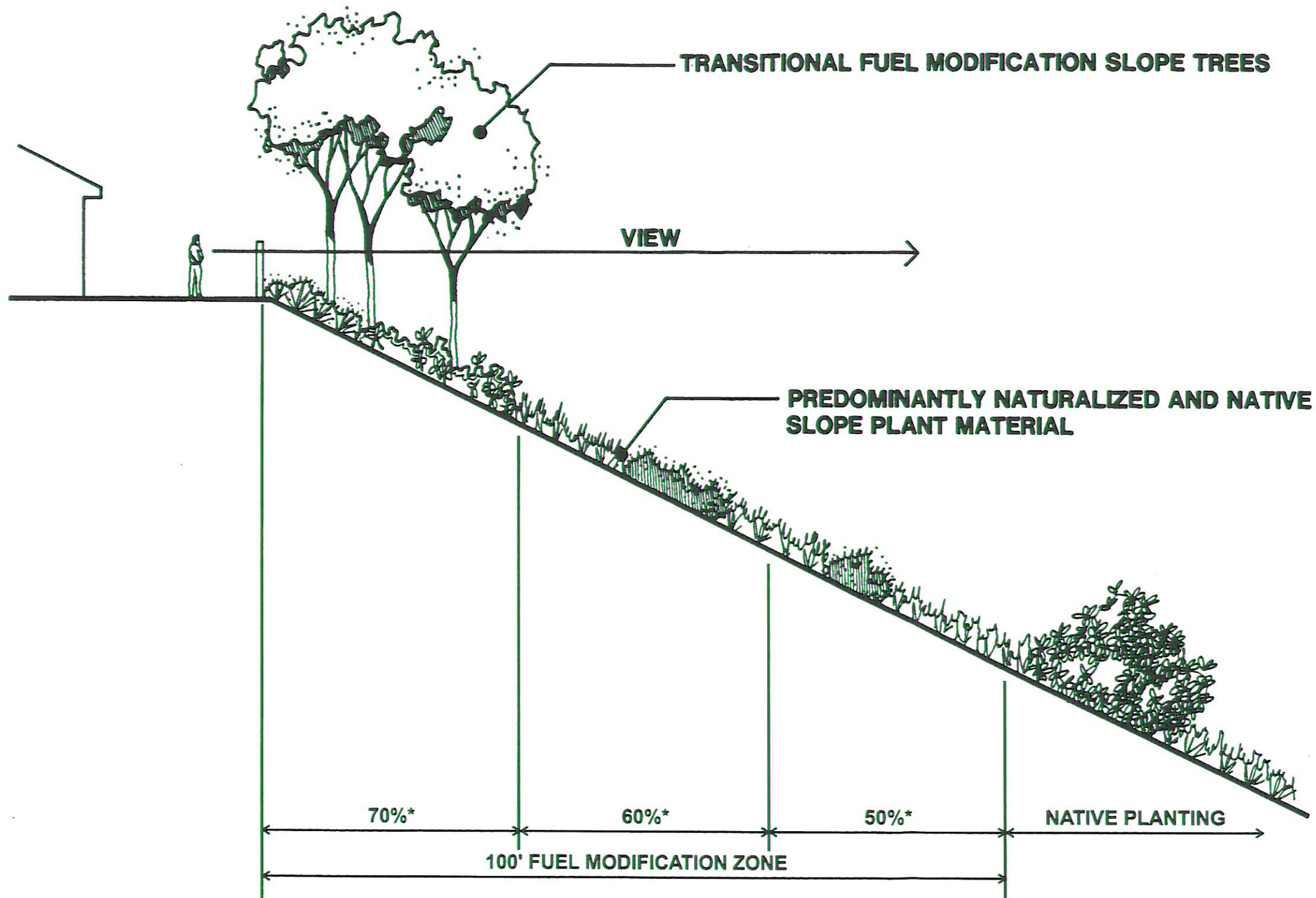
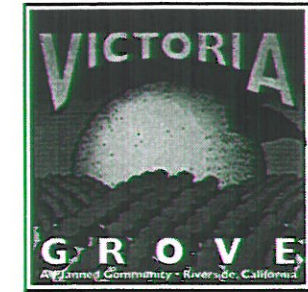


Figure IV-29  
Landscape Interior Slope Section



**\* SELECTIVELY REMOVE HIGHLY FLAMMABLE PLANT SPECIES AND THIN OUT LARGE DENSE GROUPINGS OF PLANT MATERIAL PER THE PERCENTAGES LISTED.**



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Figure IV-30  
Transition/Fuel Modification Slope Section





### **3) Community Streetscapes**

The intent is to establish two different types of neighborhood streetscenes within Victoria Grove. This will be accomplished by varying the street tree species, their location, grouping and the understory plant material.

#### **a) Executive Lots**

A streetscene shall be developed for this area incorporating canopy trees. Per County of Riverside ordinance, each residential lot shall receive a minimum of (1) - 15 gallon street tree planted in the right-of-way. Corner lots shall receive a minimum of (2) - 15 gallon street trees also planted in the right-of-way. Tree variety shall be chosen from Victoria Grove Plant Palette contained herein. Trees are uniformly spaced near property lines periodically to maximize their growing effect and street scene impact. One species of tree shall be selected and approved for each residential street to maximize visual neighborhood identity. (Refer to Plant Palette for tree choices).

#### **b) One-Half & One-Quarter Acre Development Area**

Trees are to be planted in clusters meandering in and out of the street right-of-way. These trees are to be of a rustic, rural character chosen from the Plant Palette. All lots shall receive (2) - 24" box street trees with at least one planted within 15' of the back of walk. Corner lots shall receive a minimum of (3) - 24" box street trees with two planted within 15' of the back of walk. Tree species will be defined by neighborhoods for continuity and planting will be completed by homeowners. The understory within the parkways along the community roads will be native soil. The HOA maintained slopes will be planted with low growing drought tolerant shrubs and groundcover.

### **4) Open Space**

Throughout Victoria Grove there are generous amounts of open space, which offer a variety of uses and settings. The majority of the open space is found in four (4) different areas which are connected by pedestrian circulation trails. The four (4) principal open space areas are: the park , passive open space/ private recreation, riparian areas, and the MWD Open Space Paseo.

#### **a) Park**

The neighborhood park site, which is located in the center of the development along Blackburn Road, has been created to provide active recreation areas for the residents of Victoria Grove and surrounding community. The park will include a number of athletic facilities, including softball and soccer fields. In addition, there is a tot lot play area, basketball court, restroom facility, and numerous picnic areas with open turf play fields and shaded seating areas adjacent.

Planting will consist of ornamental shrubs and large evergreen and deciduous canopy shade trees grouped throughout the park for shade. Tall vertical and flowering trees ( including palms) will be used for accents.



Access to the park is provided by abutting public and private roads and pedestrian walkways. It is adjacent to an elementary school and is being designed to share facilities with school.

**b) Passive Open Space/ Private Recreation**

The passive open space/private recreation areas exist in two locations in Victoria Grove. One lies to the north of Planning Area 11 and the other north of Planning Area 2. Planning Area 10A provides residents with recreational opportunities by containing a pool, activity lawns, a restroom building, and Orange trees bordering along the eastern side.

**c) Riparian Area**

The open space riparian area, which runs through the center of Victoria Grove and north of Avocado Lane, will offer residents the opportunity to enjoy the passive, riparian channel. Portions of the riparian areas will be enhanced to meet US Army Corps 404 Permit requirements under a comprehensive revegetation program incorporating species typically found in riparian areas in Southern California.

**d) MWD Open Space Paseo**

The Open Space Paseo area is a strip of land which runs from the southwest corner to the northeast corner of Victoria Grove. A meandering path is proposed to run the distance of the Open Space Paseo and will be located primarily along the edges, where it will connect with neighborhood access points, as well as intersect the parks and riparian area.

The majority of the planting will consist of naturalized, non-irrigated landscape. Newly created major slope areas created by adjacent development will have mass planting of low growing drought tolerant shrubs and groundcover. All landscape plantings in the MWD area must be done in accordance with their policies, procedures and approval.

**e) Plant Material Palette**

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic and soil conditions, and concern for maintenance and water requirements.

A limited selection of materials utilized in simple, significant composition complimentary to adjacent common landscape areas while reinforcing the individual architectural and site setting is encouraged. Overall plant material selection for given landscaped areas, wherever possible, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.



1) **Overall Plant Palette**

BOTANICAL NAME

COMMON NAME

Trees - Evergreen

Arbutus unedo	Strawberry Tree
Brachychiton populneus	Bottle Tree
Cedrus deodara	Deodar Cedar
Cinnamomum camphora	Camphor Tree
Citrus aurantium	Seville Orange
Citrus 'Marsh'	Grapefruit Tree
Citrus 'navel'	Orange
Citrus 'Valencia'	Valencia Orange
Eucalyptus camodulensis	Red Gum
Eucalyptus lamarii	Bushy Yate
Eucalyptus polyanthemos	Red Box Gum
Eucalyptus rudis	Flooded Gum
Eucalyptus sideroxylon 'Rosea'	Red Iron Bark
Eucalyptus viminalis	Manna Gum
Ficus retusa 'Nitida'	Indian Laurel Fig
Geijera parviflora	Australian Willow
Laurus nobilis	Sweet Bay
Magnolia grandiflora	Southern Magnolia
Olea europaea 'Fruitless'	Fruitless Olive
Pinus canariensis	Canary Island Pine
Pinus eldarica	Mondell Pine
Pinus halepensis	Aleppo Pine
Podocarpus gracilior	Fern Pine
Quercus agrifolia	California Live Oak
Quercus ilex	Holly Oak
Rhus lancea	African Sumac
Schinus molle	California Pepper
Schinus terebinthifolius	Brazilian Pepper Tree
Ulmus parvifolia 'Drake'Chinese	Evergreen Elm
Umbrellularia californica	California Bay

BOTANICAL NAME

COMMON NAME

Trees - Deciduous

Albizia julibrissin  
Alnus cordata  
Alnus rhombifolia  
Bauhinia variegata  
Fraxinus velutina 'Modesto'  
Fraxinus uhdei 'Tomlinson'  
Jacaranda acutifolia  
Koelreuteria bipinnata  
Koelreuteria paniculata  
Liquidambar styraciflua  
Malus floribunda  
Morus alba 'Fruitless'  
Populus fremontii  
Pyrus callerana  
Pyrus kawakamii  
Pistacia chinensis  
Platanus acerifolia  
Platanus racemosa  
Prosopis chilensis  
Prunus cerasifera  
Robinia ambigua 'Idahoensis'  
Salix babylonica  
Salix lasiolepis  
Sapium sebiferum  
Zelkova serrulata

Silk Mimosa  
Italian Alder  
White Alder  
Purple Orchid Tree  
Modesto Ash  
Tomlinson Ash  
Jacaranda  
Chinese Flame Tree  
Golden Rain Tree  
American Sweet Gum  
Japanese Crabapple  
Fruitless Mulberry  
Freemont Cottonwood  
Ornamental Pear  
European Pear  
Chinese Pistache  
London Plane Tree  
California Sycamore  
Hybrid Mesquite  
Purple Leaf Plum  
Idaho Locust  
Weeping Willow  
Arroyo Willow  
Chinese Tallow Tree  
Sawleaf Zelkova

Palms

Brahea armata  
Chamaerops humilis  
Phoenix canariensis  
Phoenix dactylifera  
Washingtonia robusta

Mexican Blue Palm  
Mediterranean Fan Palm  
Canary Island Date Palm  
Date Palm  
Mexican Fan Palm



BOTANICAL NAMECOMMON NAMEShrubs

Abelia 'Edward Goucher' (S)	Edward Goucher Abelia
Acacia longifolius	Sidney Golden Wattle
Acacia redolens (S)*	N.C.N.
Agave spp	Agave
Aloe spp	Aloe
Berberis species (SH)	Barberry
Bougainvillea 'La Jolla' (S)*	Bougainvillea
Camellia species (SH)	Camellia
Cistus spp	Rock Rose
Cocculus laurifolius (S)	Snailseed
Cotoneaster species (S)	Cotoneaster
Elaeagnus pungens (S)	Silver Berry
Euonymus japonica (S)	Evergreen Euonymus
Feijoa sellowiana (S)	Pineapple Guava
Gamolepis chrysanthemoides (S)	Gamolepis
Gardenia jasminoides (SH)	Gardenia
Hetermeles arbutifolia	Toyon
Lavendula spp	Lavender
Leptospermum scoparium (S)	New Zealand Tea Tree
Ligustrum japonicum (S, SH)	Japanese Privet
Myoporum lacturn	Myoporum
Nandina domestica (S, SH)	Heavenly Bamboo
Nerium oleander (S)	Oleander
Osmanthus fragrans (S, SH)	Sweet Olive
Phominium tenax	Flax
Photinia fraseri (S)	Photinia
Pittosporum tobira species (S, SH)	Mock Orange
Plumbago auriculata (S)	Cape Plumbago
Podocarpus macrophyllus (S, SH)	Yew Pine
Prunus caroliniana 'Bright'n'Tight'(S)	Carolina Laurel Cherry
Prunus ilicifolia (S)	Hollyleaf Cherry
Pyracantha species (S, SH)	Firethorn
Raphiolepis indica species (S, SH)	Pink Indian Hawthorn
Salvia greggii	Autumn Sage
Salvia lucanthea	Mexican brush sage
Tecomaria capensis (S)	Cape Honeysuckle
Viburnum tinus	Spring Bouquet
Lauretinus	Westringia fruitcosa
Xylosma congestum (S)	Xylosma
Yucca Spp	Yucca

BOTANICAL NAMECOMMON NAMESub Shrubs

Asparagus sprengeri (S, SH)	Sprenger Asparagus
Agapanthus africanus (S, SH)*	Lily-of-the-Nile
Arctostaphylos species (S)	Manzanita
Escallonia fradesii (S, SH)*	Escallonia
Hemerocallis species (S)	Day Lily
Lonicera japonica 'Halliana' (S)	Hall's Honeysuckle
Moraea bicolor (S)	Fortnight Lily
Trachelospermum jasminoides (S,SH)	Star Jasmine

Vines/Espaliers

Bougainvillea 'Barbara Karst'(S)*	Bougainvillea
Calliandra inaequilatera (S, SH)	Pink Powder Puff
Doxantha unguis-cati (S)	Cat's Claw Vine
Ficus pumila (S, SH)	Creeping Fig
Grewia caffra (SH)	Lavendar Star Vine
Gelsemium sempervirens (S)	Carolina Jasmine
Jasminum polyanthum (S)	N.C.N.
Parthmociscus tricuspidada	Boston ivy
Wisteria floribunda (S)	Wisteria

Groundcovers

Baccharis pilularis 'Twin Peaks' (S)	Coyote Brush
Erigeron karvinskianus	Mexican Daisy
Festuca ovina 'glauca'	Blue Fescue
Fragaria chiloensis (S, SH)	Wild Strawberry
Gazania species (S)	Gazania
Hedera helix (SH)	English Ivy
Limonium perezii	Statice
Lonicera japonica (S)	Honeysuckle
Mulenbergia rigens	Deer Grass
Myoporum parvifolium (S)	Myoporum
Onithera berlandieri	Mexican Primrose
Optunia robusta	Optunia
Potentilla verna (S, SH)	Spring Cinquefoil
Rosemarinus officinalis (S)	Rosemary
Senecio mandraliscae	Senecio
Verbina spp	Verbina

## Notes:

\* Will freeze in unprotected exposure area, but will generally rejuvenate from undamaged parts. Use with caution.

(S) Tolerates sun in this planting zone.

(SH) Tolerates shade in this planting zone.



## **2) Climate Constraints**

Plant material within Victoria Grove Plant Palette shall be compatible with the climatic setting of the area. The utilization of some material is dependent upon their site location, exposure and relationship to other influential factors and may not be appropriate.

The following is a climatological factor summary to assist in determining the appropriateness of plant material.

### **a) Temperature**

Generally the extreme summer temperature is 110 degrees Fahrenheit with an average summer daytime temperature of 90 degrees Fahrenheit. Over a (20) year period, winter lows have ranged from 27 - 22 degrees F, with an all time low of 10 degrees F. Cold air does drain off the slopes and hillsides at night and collects in the basins creating varying winter nighttime lows through the project.

### **b) Wind**

The prevailing summer wind direction is northwest at an average mean of (5) knots. Santa Ana conditions can exist and generate wind velocity exceeding (50) knots.

## **3) Horticultural Soil Test Requirements**

Soil characteristics with Victoria Grove may vary. All major graded areas shall procure a horticultural suitability soil report in order to determine proper planting, soil preparation and maintenance requirements. Such soil test shall be performed by a qualified agricultural laboratory.

## **4) Irrigation**

All landscaped areas shall be watered with a permanent automatic irrigation system. Major slopes will be allowed to have on-grade "brownline" pipes, all other areas will have an underground system.

All irrigation systems shall be designed with low volume, low angle heads with matching precipitation rates.

Shrub and groundcover areas with similar water requirements shall be valved together to reduce water consumption.

In addition, irrigation controllers should have a minimum time setting of (1) minute, be capable of providing multiple starting times and have an auto shut-off when it rains.

Backflow prevention devices and controllers shall be placed in protective enclosures located in minimum public visibility, or shall be screened with appropriate plant material.

## **B. ARCHITECTURAL GUIDELINES**

The creation of and commitment to a set of architectural guidelines establishes a hierarchy of priorities. Design image, use of materials, and appropriate massing and scale are all key issues in the public's perception of the community. The goal is to establish and promote a high quality and consistent appearance within "Victoria Grove.

The Victoria Grove project site, with its rolling terrain and existing citrus trees, is reminiscent of early California and Mediterranean settings. In order to further enhance the desired Early Riverside Heritage theme for the project, architectural styles have been selected which are typical of this theme, including American Farmhouse, California Ranch, Cottage, Craftsman, Monterey, Prairie, Spanish Colonial and Traditional. This style, coupled with the proposed project landscaping, will result in a relaxed, informal, agrarian atmosphere while maintaining a certain cohesiveness that will unify the community. The product type for Victoria Grove is single family detached housing.

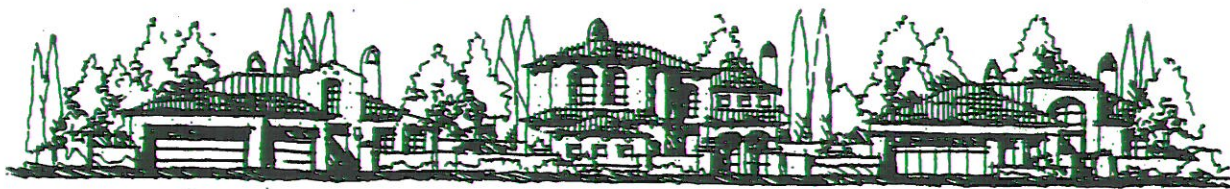
While it is not intended that all structures in Victoria Grove appear identical, and thus mundane, certain materials, details, and forms shall be consistent throughout the project. This consistency will reinforce the overall community atmosphere while allowing for some degree of individuality among the various neighborhoods. The specific materials used to establish the Early Riverside theme shall include:

- Stucco
- Clay, Concrete, and Other S-type Material Tiles (Red, Terra Cotta, Beige, etc. to provide variety)
- Heavy Timber and Trim
- Slump Block
- Brick
- Stone Veneer

It is the intent of these guidelines to establish a consistent architectural expression in the character of Victoria Grove. The provided illustrations are conceptual in nature and are only intended to depict concepts, not actual design. Finalized floor plans and elevations will be determined at a later stage of development.



## TYPICAL FRONT ELEVATIONS

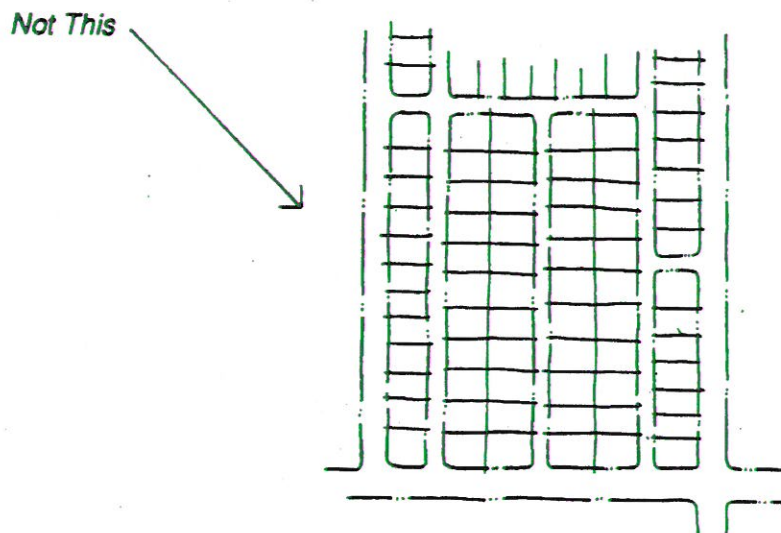
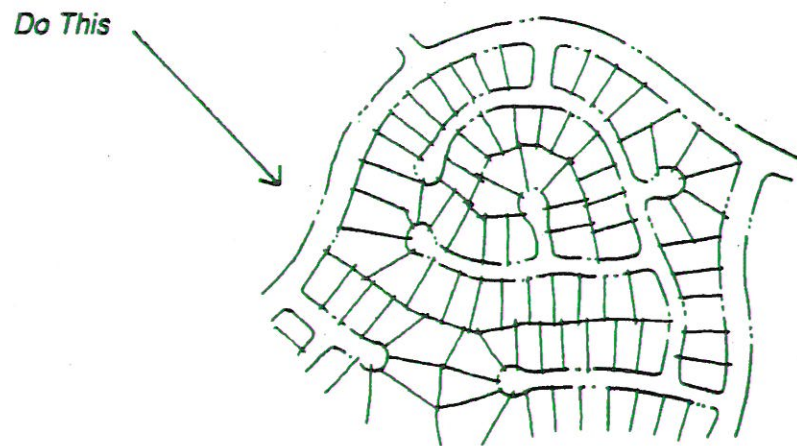


1. **Residential Criteria**

a. **Site Planning Guidelines**

1) Street Layout

Encourage the formation of cul-de-sacs and the use of curvilinear streets on long stretches. Avoid long, straight streets wherever possible.



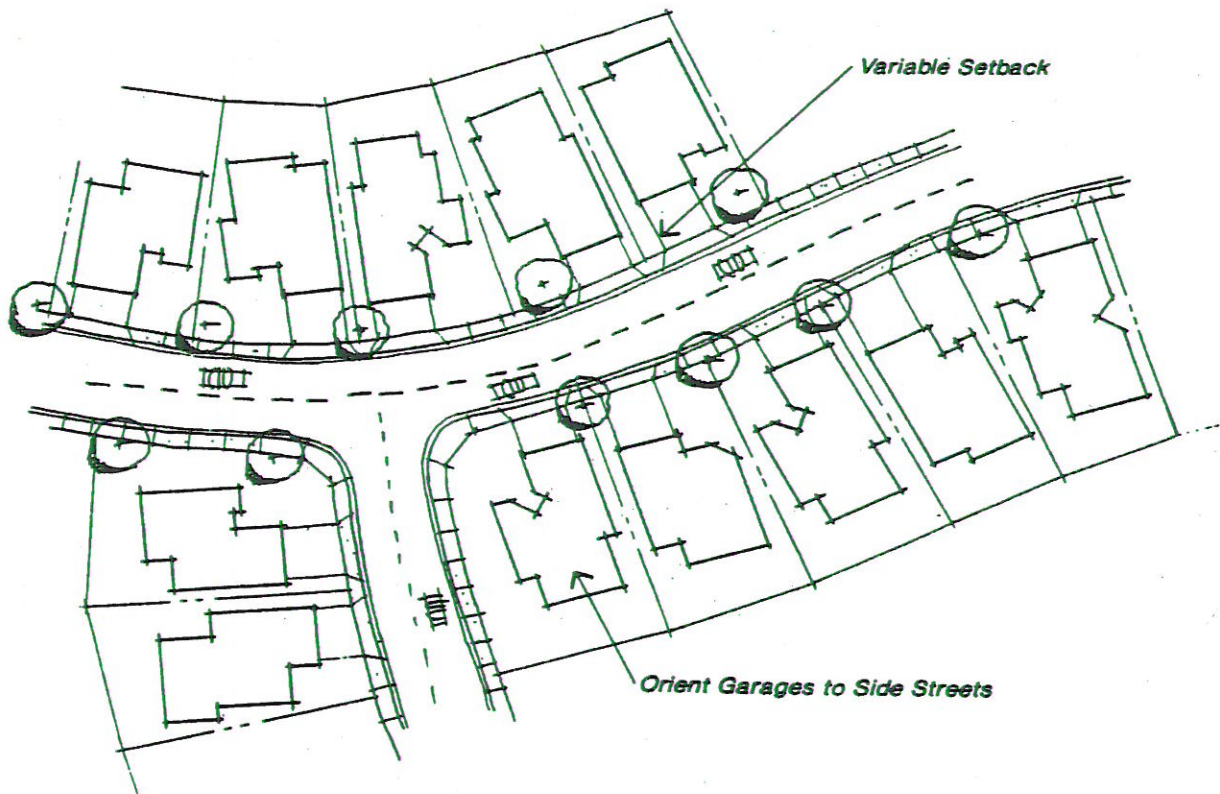


## 2) Streetscene

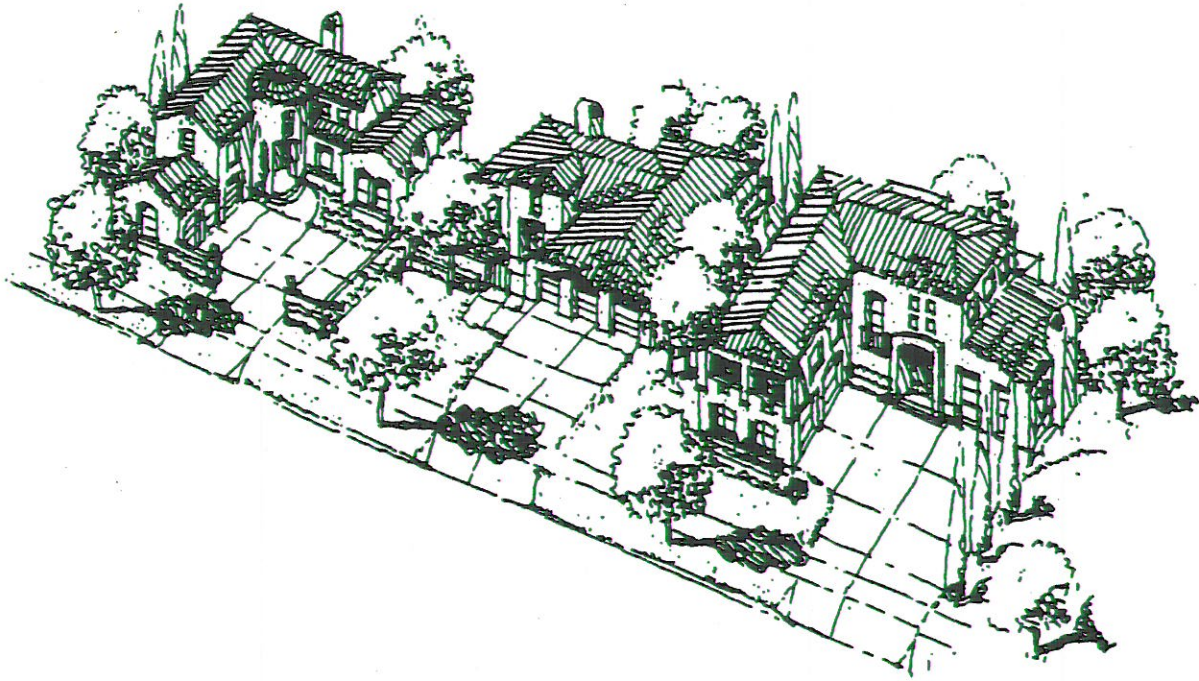
Vary the front setbacks and orientation of the garage and living space of adjacent buildings to avoid a monotonous streetscene.

Houses on corner lots should not have the garage sited adjacent to the side street.

There should be increased sideyard setbacks for houses on corners.



In order to take advantage of the low mass of single story structures, one story houses should be located on corners where possible and feasible.



### 3) General Site Design

General Setback Guidelines - 7,200 square foot lots.

Front - 20'

Rear - 20'

Sides - 5' (on interior and through lots) & 10' (on corner and reversed corner lots)

General Setback Guidelines - ¼-acre lots.

Front - 20'

Rear - 20'

Sides - 5' (on interior and through lots) & 10' (on corner and reversed corner lots)

General Setback Guidelines - ½- acre lots.

Front - 20'

Rear - 20'

Sides - 5' (on interior and through lots) & 15' (on corner and reversed corner lots)



**b. Architectural Details**

1) Roof Planes and Pitches

Whenever possible, roof planes should correspond to surrounding site topography. Gable roof conditions fronting onto downslopes should be minimized.

To avoid overbearing streetscapes the majority of the two story dwellings should incorporate single story roof element on front elevations.

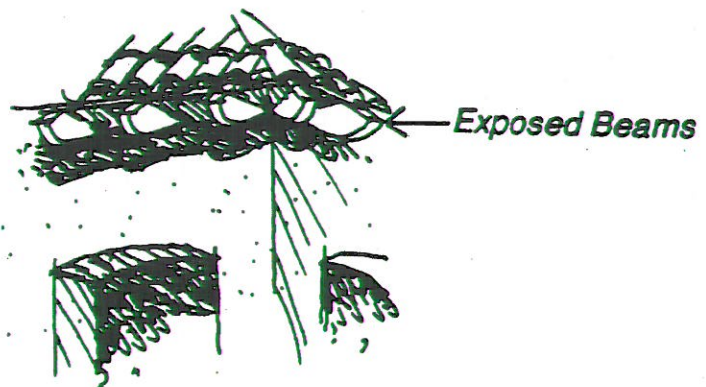
Flat, unbroken, two-story wall surfaces on the front and rear elevations are discouraged.



Gable roof conditions along side elevations should be minimized to provide maximum daylight between houses.

Jogs and variations in roof height are encouraged to add visual interest to rooflines.

*Built-up "Cornice" Fascia*



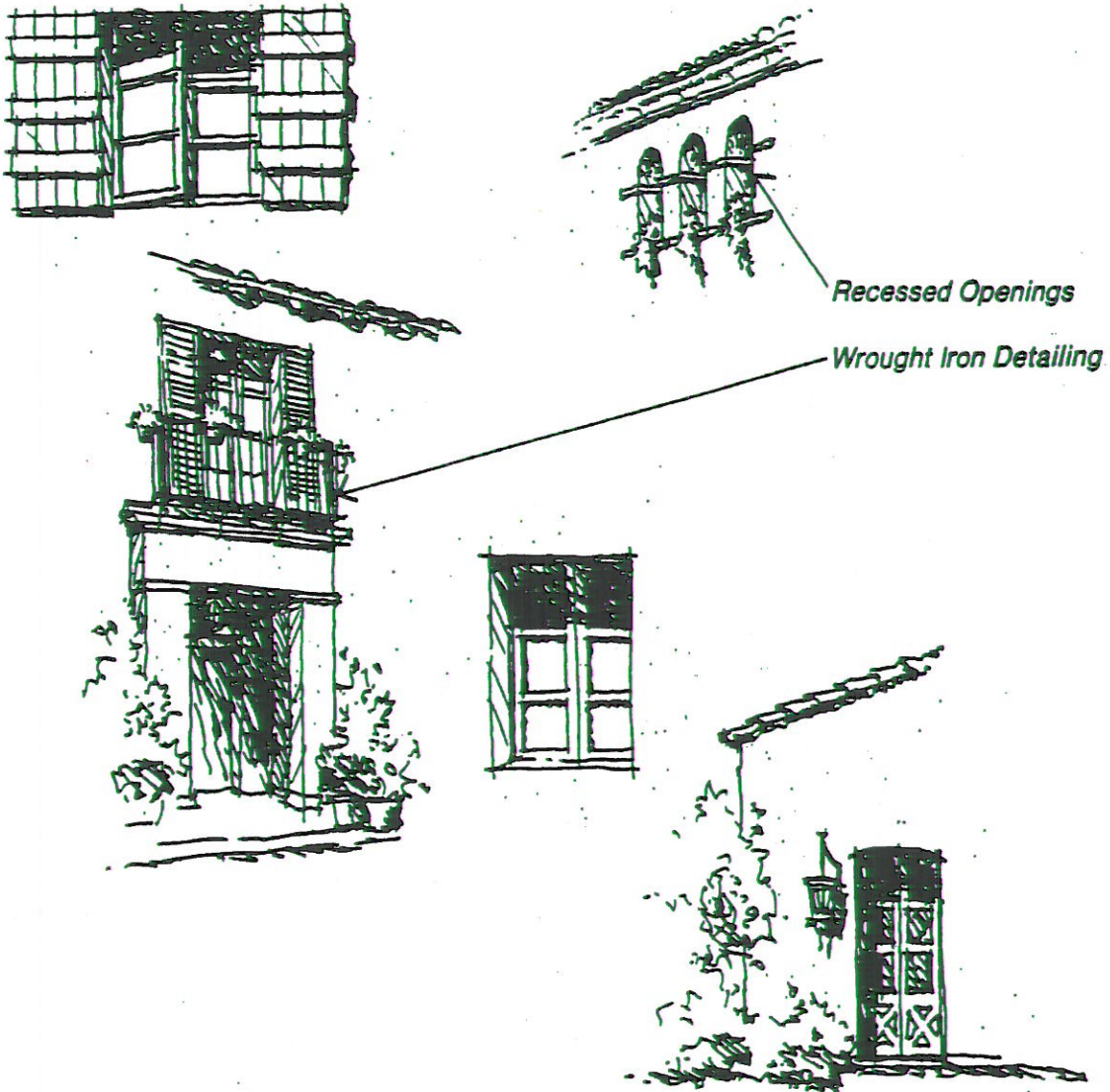


## 2) Windows and Doors

Doors and windows should be recessed where possible.

Divided window lights, which add interest, are suggested.

Arched, character, greenhouse, and bay windows are encouraged.



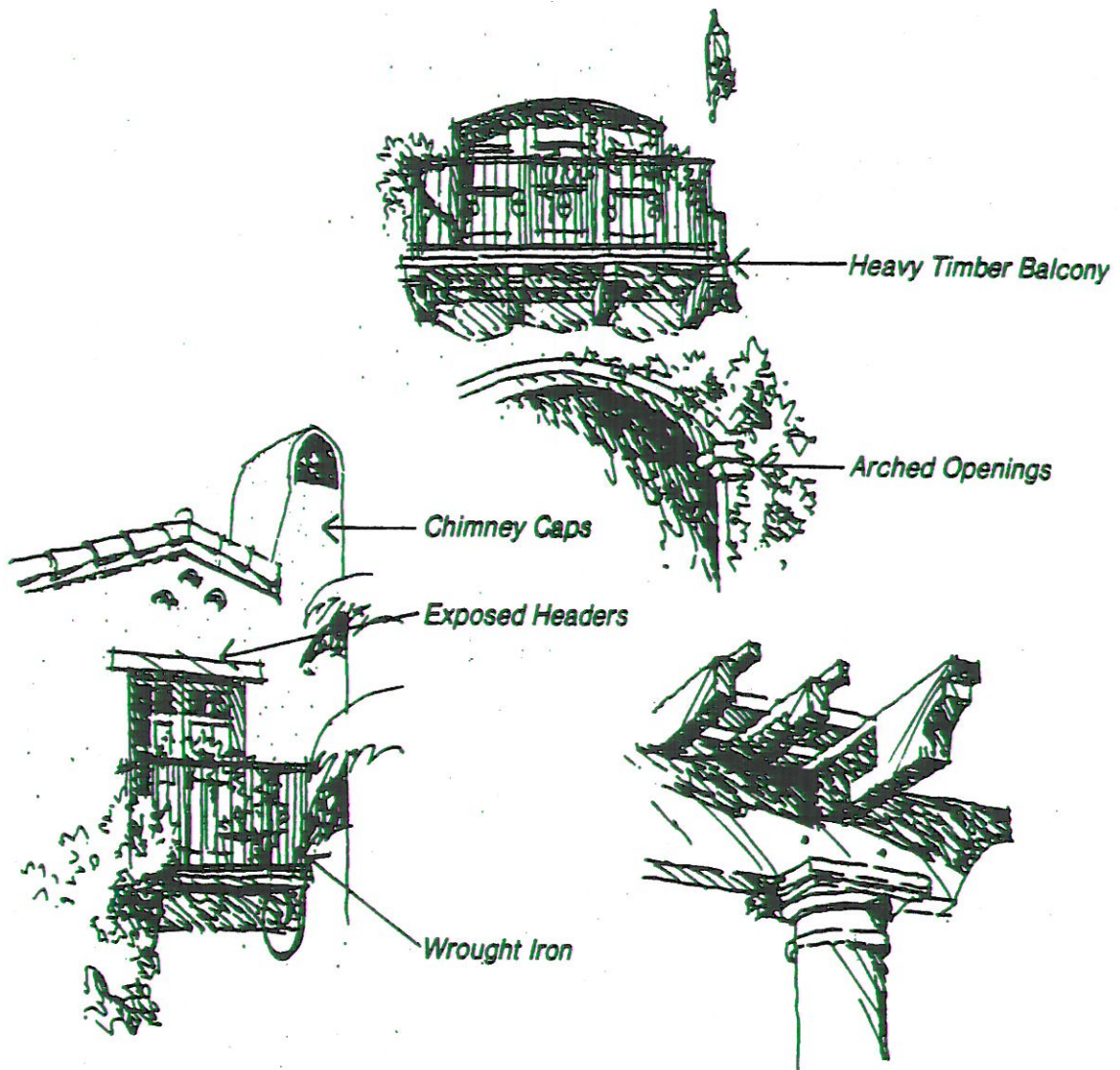
3) Exterior Elevations

Repetition of architectural elements on adjacent buildings should be avoided.

Emphasize and vary certain architectural elements such as balconies, porches and chimneys to provide visual relief.

Ledges and potshelves may also be used to offer variety to the elevations.

Chimneys as an integral part of the building architecture are encouraged.







#### 4) Materials

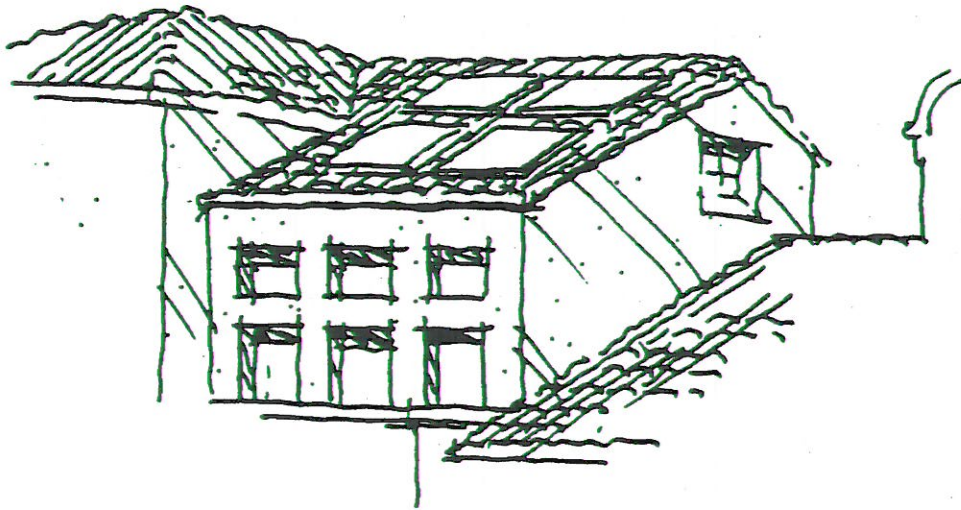
Exterior building materials should be consistent with the proposed Modern Mission architectural style. Consistent use of materials such as stucco, clay and concrete tile, slump block, heavy timber and trim, brick, and stone veneer will reinforce the overall community theme.

#### 5) Mechanical Equipment

The rolling terrain of Victoria Grove naturally results in some houses having views that include the rooftops of other houses. Special care should be taken to insure that mechanical equipment doesn't distract from the vistas.

Rooftop mounted equipment such as air conditioning condensers, furnaces, ducts, water chillers, water heaters, evaporative coolers, storage tanks, and antennas is not permitted.

Any solar panels mounted on the roof must be installed on the roof plane.



Any satellite dish antennae must be approved by the homeowner's association and placed within the enclosed portion of the yard. Antennae are not allowed on slopes outside the enclosed yard.

6) Lighting

It is recommended that light sources which spill over into streets and adjacent lots not be used.

Exterior lighting should either be screened or directed, so as to avoid undue illumination of adjacent lots and roads.

