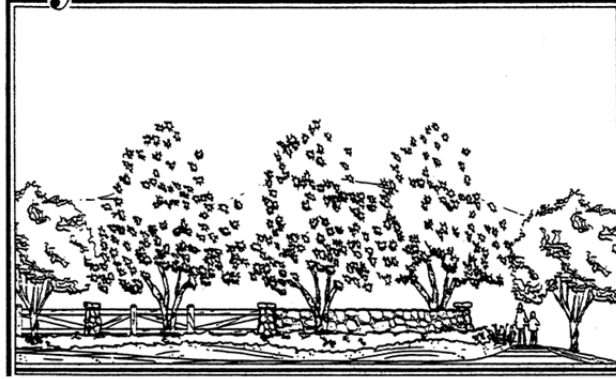


# Sycamore Creek



## Specific Plan 256 Amendment No. 2

February 27, 2013

# SYCAMORE CREEK SPECIFIC PLAN 256 AMENDMENT No. 2

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## II. INTRODUCTION

## **II. Introduction**

### **A. PROJECT HISTORY**

On November 8, 1994, the Riverside County Board of Supervisors adopted SYCAMORE CREEK Specific Plan #256 (Resolution 94-329) and certified Environmental Impact Report (EIR) #325 pertaining to 717.1 acres immediately adjacent to the west side of I-15 at Indian Truck Trail. As adopted, SYCAMORE CREEK, was designed to be consistent with the Temescal/El Cerrito Community Plan, and provided for the development of 1,764 single family and multifamily dwelling units along with a 10.4-acre elementary school, 43.9 acres of parks, 29.0 acres of commercial uses and 153.6 acres of greenbelts, riparian and open space uses.

On July 18, 2000, the Riverside County Board of Supervisors adopted Substantial Conformance Number 1 to the SYCAMORE CREEK Specific Plan. Substantial Conformance No. 1 was a response to changing market conditions, as well as updated local infrastructure master plans. The resulting modifications to the plan included the relocation of residential uses within the Specific Plan area, as well as the relocation of the school and several parks. In addition, roadway configurations were adjusted, both in size and location, to respond to the County's updated master circulation plan. Through these refinements, the total number of homes provided by the Specific Plan was reduced from 1,764 to 1,733. The area devoted to commercial uses was reduced from 29.0 acres to 27.9 acres. Park land within the Specific Plan Area was increased from 43.9 acres to 47.5 acres, while open space was reduced by 11.0 acres. A fire station also was added to the Community Park as part of Substantial Conformance Number 1. The County of Riverside determined that the refinements to the land use plan were in substantial conformance with the adopted Specific Plan and certified EIR, and no additional environmental mitigation measures were required.

On June 10, 2003, the Riverside County Board of Supervisors adopted Amendment No. 1 to the SYCAMORE CREEK Specific Plan and certified an addendum to EIR #325. The Amendment was required due to the identification of more than 80 acres of natural open space within the Specific Plan area that contained sensitive wetland habitat and endangered plants in a configuration considerably different than that shown in the approved SYCAMORE CREEK Specific Plan or Substantial Conformance No. 1. As part of the SYCAMORE CREEK Specific Plan Amendment No. 1, planning areas south and west of Mayhew Canyon Road were redesigned and Sycamore Creek Road was eliminated as a backbone circulation facility in order to accommodate a new open space plan. In addition, the land use plan for the community was modified to reflect the precise location of an earthquake fault originally identified during the preparation of the EIR for the original SYCAMORE CREEK Specific Plan. Detailed geotechnical site evaluations showed the on-site fault was located traversing the site farther to the south-west than originally expected, which allowed for the provision of additional residential land uses. Approval of Amendment No. 1 increased the total number of homes allowed within the SYCAMORE CREEK community from 1,733 homes to 1,765 homes. Amendment No. 1 also reduced the area devoted to commercial land uses from 27.9 acres to 14.6 acres. Park land was reduced from 47.5 acres to 41.7 acres by Amendment No. 1; however, open space areas were increased from 118.5 acres to 154.6 acres. Revisions to the open space configuration, elimination of Sycamore Creek Road, redesign of planning areas and the relocation of the earthquake fault were the driving forces behind Amendment No. 1 to the SYCAMORE CREEK SPECIFIC PLAN.

Amendment No. 2 to the SYCAMORE CREEK Specific Plan reduces the total number of permitted residential units and modifies land uses in response to changes in market conditions, to incorporate previous subdivision map approvals within the Specific Plan area, and to accommodate the adoption of the Multiple Species Habitat Conservation Plan (MSHCP). It should be noted that at the time of the preparation of Amendment No. 2, only two residential planning areas remained unmapped, with substantial portions of the community constructed and occupied by residents. The specific modifications included as part of this Specific Plan Amendment are detailed in the “*Project Summary*” that follows.

## **B. PROJECT SUMMARY**

SPA No. 2 provides a comprehensive planning tool for development of the undeveloped residential portions of the SYCAMORE CREEK community. SPA No. 2 updates the Land Use Plan to be consistent with previously approved subdivision maps and a subdivision map processed concurrently with SPA No. 2 (TM 36316). In addition, SPA No. 2 re-configures natural open space areas to be consistent with adopted TMs and the MSHCP, accommodates the precise location of an earthquake fault which traverses the site (including a limited building buffer), and represents an updated development program that reflects current market conditions.

As noted on the Regional Map (Figure 1) and illustrated on the Vicinity Map (Figure 2), the project is located on approximately 717.1 acres in the Temescal Canyon area of south-western Riverside County. The SYCAMORE CREEK community is generally located west of and adjacent to the Indian Truck Trail exit of Interstate 15, south of Glen Ivy Hot Springs. As depicted on Figure 2A, *Aerial Photograph*, numerous neighborhoods within Sycamore Creek are built-out and occupied by residents, with the remaining portions of the community at various stages of completion (*e.g.*, Tentative Tract Map application/approval, grading permit issuance, construction permit issuance).

Interstate 15 is located immediately north and east of the SYCAMORE CREEK community. Land farther to the north (on the east side of Interstate 15) is generally vacant, with a few scattered rural residences. Undeveloped, natural habitat and hillsides of the Cleveland National Forest and the Gavilan Hills are located south and east, respectively, of SYCAMORE CREEK. An aggregate quarry is located immediately adjacent to and west of the community. The Cleveland National Forest is located farther to the west of the community.

The overall acreage of the SYCAMORE CREEK community remains unchanged; however, SPA No. 2 decreases the total residential acreage within the Specific Plan area from 440.2 acres to 426.2 acres, and reduces the total number of homes permitted from 1,765 to 1,737; increases Open Space-Recreation from 120.6 acres to 123.1 acres; re-designates 12.7 acres of land as Public Facilities; increases areas designated for Open Space-Conservation from 85.3 acres to 90.2 acres; and re-designates 9.6 acres as Open Space-Conservation Habitat. The acreage for areas proposed for commercial retail, schools, and roadways remain unchanged. Table I, *Sycamore Creek Land Use Summary*, sets forth the land uses for SYCAMORE CREEK SPA No. 2.

Sycamore Creek  
REGIONAL MAP

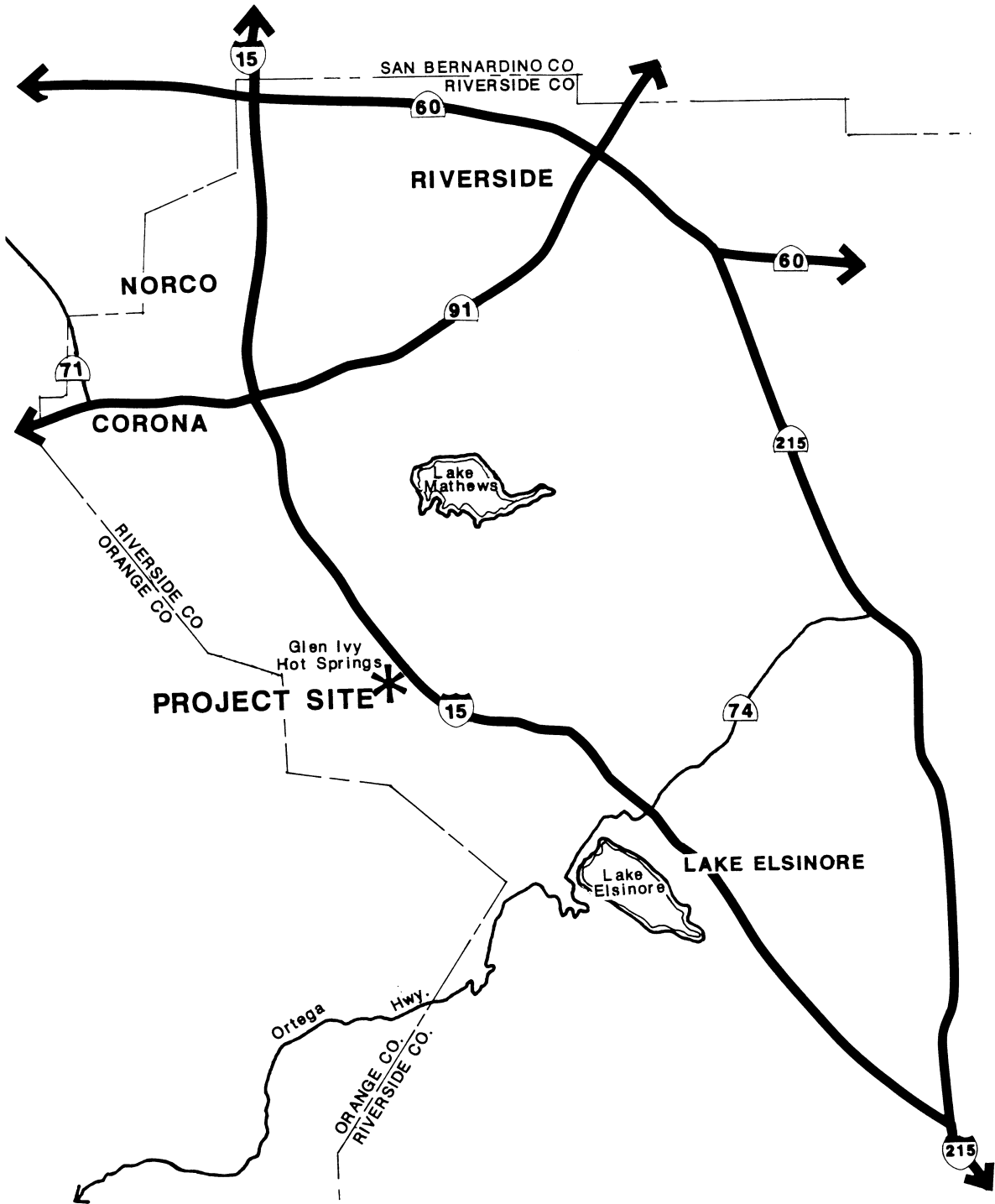


Figure 1



Sycamore Creek  
VICINITY MAP

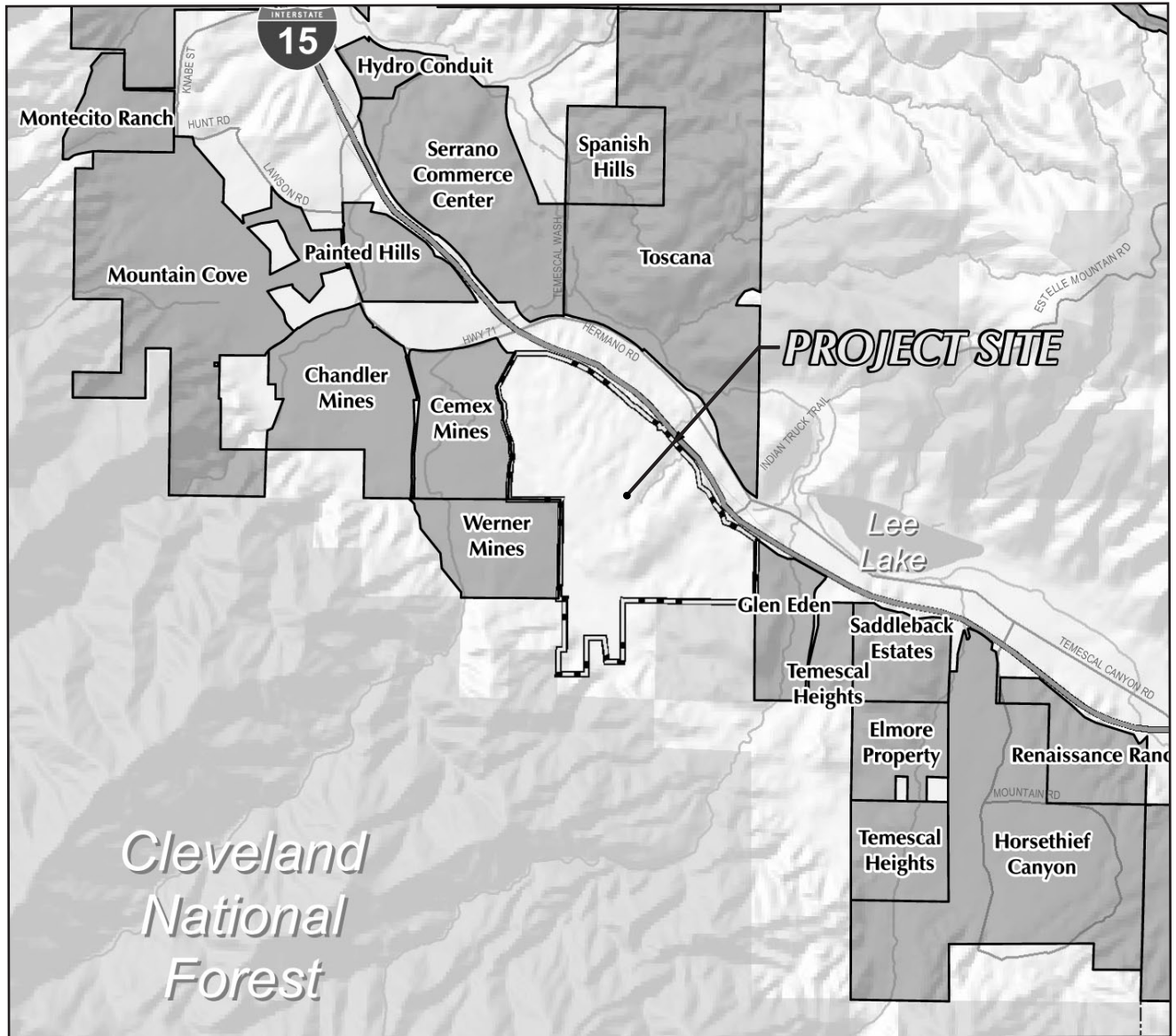


Figure 2

Sycamore Creek  
AERIAL PHOTOGRAPH



Figure 2A

**Table I**  
**SYCAMORE CREEK**  
**Land Use Summary**

| <b>LAND USE</b>                   | <b>ACREAGE</b> | <b>DWELLING UNITS</b> | <b>PERCENTAGE*</b> |
|-----------------------------------|----------------|-----------------------|--------------------|
| Very Low Residential              | 6.7            | 2                     | 0.9%               |
| Medium Residential                | 402.7          | 1,646                 | 56.2%              |
| Medium High Residential           | 16.8           | 89                    | 2.3%               |
| Public Facility                   | 12.7           | --                    | 1.8%               |
| Open Space – Recreation           | 123.1          | --                    | 17.2%              |
| Open Space – Conservation         | 90.2           | --                    | 12.6%              |
| Open Space – Conservation Habitat | 9.6            | --                    | 1.3%               |
| Commercial Retail                 | 14.6           | --                    | 2.0%               |
| Project Roadway Circulation       | 40.7           | --                    | 5.7%               |
| <b>PROJECT TOTALS</b>             | <b>717.1</b>   | <b>1,737</b>          | <b>100.0%</b>      |

\* Percentage of Project Acreage devoted to this use.

Specifically, SYCAMORE CREEK Specific Plan Amendment No. 2 provides the following modifications to the adopted Amendment No. 1:

- Planning Area 7/9 has been re-labeled as Planning Area 7, and the acreage, number of units and land use designation for this planning area have been modified. The total acreage was reduced from 22.0 acres to 20.6 acres; the number of units has been reduced from 232 to 87; and the land use designation has been changed from High Density Residential to Medium Density Residential.
- Planning Area 11A has been re-labeled as Planning Area 9. In addition, the land use designation for this planning area has been changed from “School” to “Public Facility” in order to be consistent with the land use designations within the Riverside County General Plan.
- Planning Area 11B has been re-labeled as Planning Area 11. In addition, the land use designation for this planning area has been changed from “Park” to “Open Space – Recreation” in order to be consistent with the land use designations within the Riverside County General Plan.
- The acreage of Planning Area 14 has been reduced from 32.0 acres to 22.4 acres, and the total number of dwelling units has been reduced from 96 to 59 to reflect a previously approved subdivision map (TM 31908). The remaining 9.6 acres of this area were used to create Planning Area 22, which is designated as Open Space-Conservation Habitat and will be dedicated to the

Western Riverside County Regional Conservation Authority (RCA) to accommodate a wildlife corridor.

- The acreage of Planning Area 15A was increased from 21.7 acres to 23.3 acres to reflect the boundary of a previously approved subdivision map (TM 31908). There was no change to the number of dwelling units allocated to Planning Area 15A. By expanding the boundaries of Planning Area 15A, the residential density within this area was lowered from 5.3 dwelling units per acre (du/ac) to 4.9 du/ac. The land use designation for this planning area was changed from “Medium High Density Residential” to “Medium Density Residential” in order to be consistent with the density allowances within the Riverside County General Plan.
- The boundary of Planning Area 16 has been modified and the acreage increased from 5.0 acres to 6.7 acres to reflect the true size of the recorded lot for this area (with no change to the land use designation or number of allocated dwelling units);
- The acreage, number of units and land use designation for Planning Area 17A has been modified. Additionally, Planning Area 17A has been re-configured into six separate planning areas (17A, 17B, 17C, 17D, 27, and 29). The number of homes in this area has been increased from 37 to 193; and the land use designation has been changed from Low Density Residential to Medium Density Residential (PAs 17A, 17B, 17C, and 17D), Open Space - Recreation (Planning Area 27), and Public Facility (Planning Area 29).
  - Planning Area 17A provides for the development of 25 Medium Density Residential dwelling units on 6.9 acres;
  - Planning Area 17B provides for the development of 82 Medium Density Residential dwelling units on 22.0 acres;
  - Planning Area 17C provides for the development of 31 Medium Density Residential dwelling units on 7.5 acres;
  - Planning Area 17D provides for the development of 55 Medium Density Residential dwelling units on 15.1 acres;
  - Planning Area 27 accommodates a 4.2-acre passive park, and is intended to provide a pedestrian connection between to a Regional Trail within the SYCAMORE CREEK community and a future off-site trail system provided by others; and
  - Planning Area 29 accommodates a 2.3-acre detention basin to capture, treat, and temporarily detain storm water runoff flows originating from the southwestern portion of the SYCAMORE CREEK community during peak storm events.
- Planning Area 17B has been re-labeled as Planning Area 24D and the total acreage for this Planning Area has been increased from 15.2 acres to 16.7 acres. In addition, the land use designation for this planning area has been changed from “Open Space” to “Open Space – Recreation” to be consistent with the land use designations within the Riverside County General Plan.
- Planning Area 18A has been re-labeled as Planning Area 18. In addition, the land use designation for this planning area has been changed from “Commercial” to “Commercial Retail” to be consistent with the land use designations within the Riverside County General Plan. In addition, the Zoning and Planning Area Development Standards for Planning Area 18 have been revised to include a fire station as a permitted land use in this area. This revision accommodates the existing, 1.2-acre Sycamore Creek Fire Station #64, which has been constructed within a portion of Planning Area 18.

- Planning Area 18B, 21, 22 & 24A has been re-labeled as Planning Area 21. In addition, the land use designation for this planning area has been changed from “Open Space” to “Open Space – Conservation” to be consistent with the land use designations within the Riverside County General Plan. In addition, the boundaries of this planning area have been adjusted to reflect a subdivision map processed concurrently with this Amendment (TM 36316); however, there is no net change in acreage for this planning areas.
- The land use designation for Planning Area 19 has been changed from “Commercial” to “Commercial Retail” to be consistent with the land use designations within the Riverside County General Plan.
- The land use designation for Planning Area 20A has been changed from “Swim Park” to “Open Space – Recreation” to be consistent with the land use designations within the Riverside County General Plan.
- The land use designation for Planning Area 20B has been changed from “Park” to “Open Space – Conservation” to reflect the conservation of natural vegetation. In addition, the acreage of this planning area has been reduced from 5.3 acres to 4.9 acres to reflect a previously approved subdivision map (TM 31908).
- The land use designations for Planning Areas 23A through 23D and Planning Area 25 have been changed from “Greenbelt” to “Open Space – Recreation” in order to be consistent with the land use designations within the Riverside County General Plan.
- Planning Areas 23E has been re-labeled as Planning Area 28. In addition, the land use designation this planning area has been changed from “Greenbelt” to “Open Space – Recreation” in order to provide a neighborhood-oriented recreation facility. In addition, the acreage of this planning area has been increased from 1.0 acre to 1.2 acres to reflect a previously approved subdivision map.
- Planning Area 24B has been re-labeled as Planning Area 24A, and the total area of this planning area has been reduced from 20.8 acres to 3.5 acres. Additionally, the land use designation for this planning area has been changed from “Open Space” to “Open Space – Recreation” to be consistent with the land use designations within the Riverside County General Plan.
- Planning Areas 24C and 24D have been re-labeled as Planning Areas 24B and 24C, respectively. In addition, the land use designations for these planning areas have been changed from “Open Space” to “Open Space – Recreation” to be consistent with the land use designations within the Riverside County General Plan.
- A new planning area, Planning Area 26, has been created in the western portion of the SYCAMORE CREEK community. Planning Area 26 includes an open space area as well as a segment of the community’s Secondary Trail system.
- Minor adjustments were made to the boundaries, dwelling unit allocations, and/or permitted uses within Planning Areas 1 and 12 to reflect approved subdivision maps or other actions.
  - The dwelling unit allocation for Planning Area 1 has been reduced from 102 dwelling units to 101 dwelling units to reflect a previously approved subdivision map (TM 29335).
  - The dwelling unit allocation for Planning Area 12 has been reduced from 153 dwelling units to 152 dwelling units to reflect previously approved subdivision maps (TMs 29335 and 30440).

The Sycamore Creek Land Use Plan has been designed to mitigate, to a level below significant, any visual, noise and fugitive dust impacts resulting from the adjacent mining operation and freeway. The impacts were mitigated with the carefully designed use of berms, soundwalls, landscaping and setback areas. Thoughtful consideration has been given in the design of an interior pedestrian circulation system that links the paseo greenbelts and parkway paseos to the neighborhood parks and the elementary school site.

The homes to be provided will meet area housing demands, while maintaining a sensitive approach to development. In marketing SYCAMORE CREEK, the objective will be to provide a unique living opportunity in a range of dwelling units consistent with the current development trends of the area. Many of the future residents, who are anticipated to be first-time buyers and move-up purchasers, will be able to take advantage of many amenities at SYCAMORE CREEK as well as the recreational opportunities in the surrounding Cleveland National Forest.

### III. SPECIFIC PLAN

### **III. Specific Plan**

#### **A. DEVELOPMENT PLANS AND STANDARDS**

##### **■ Planning Objectives**

Amendment No. 2 to the SYCAMORE CREEK Specific Land Use Plan has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further insure the environmental compatibility, aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified. With this analysis and the site goals and objectives in mind, the SYCAMORE CREEK Specific Plan Amendment No. 2:

- Considers topographic, geologic, hydrologic and biological opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms where practical
- Examines existing and proposed land uses that are adjacent to the project site and mitigates any environmental impacts from these uses to a level of non-significance
- Reflects anticipated marketing needs and public demand by providing a range of housing types which will be marketable within the developing economic profile of the Temescal Canyon area as well as the County of Riverside
- Provides residential uses with specific emphasis on employing natural and man-made open space for a heightened aesthetic environment
- Provides direct and convenient access to clustered neighborhoods via a convenient and efficient circulation system including a paseo system
- Creates a unique residential character that provides for a distinct living environment through architectural treatment, a coordinated thematic landscape program, and preservation of viewshed and natural terrain

#### **1. Specific Land Use Plan**

##### **a. Project Description**

When completed, SYCAMORE CREEK Specific Plan Amendment No. 2 will be composed of a high-quality mix of 1,737 dwelling units, commercial uses, active and passive recreation uses, open space uses, trails, paseos and roadways (see Figure 3, *Specific Land Use Plan*). The mix of uses and the acreages devoted to each is indicated on Table II, *Detailed Land Use Summary*.

Residential uses include a maximum of 1,737 single-family detached homes, with densities ranging from “Very Low” (0.0-0.4 dwelling units per acre) to “Medium High” (5.0-8.0 dwelling units per acre). The gross residential density for the SYCAMORE CREEK community is 2.4 dwelling units per acre (du/ac). The homes will be constructed in compliance with a site design that is



# Sycamore Creek

## SPECIFIC PLAN LAND USE PLAN

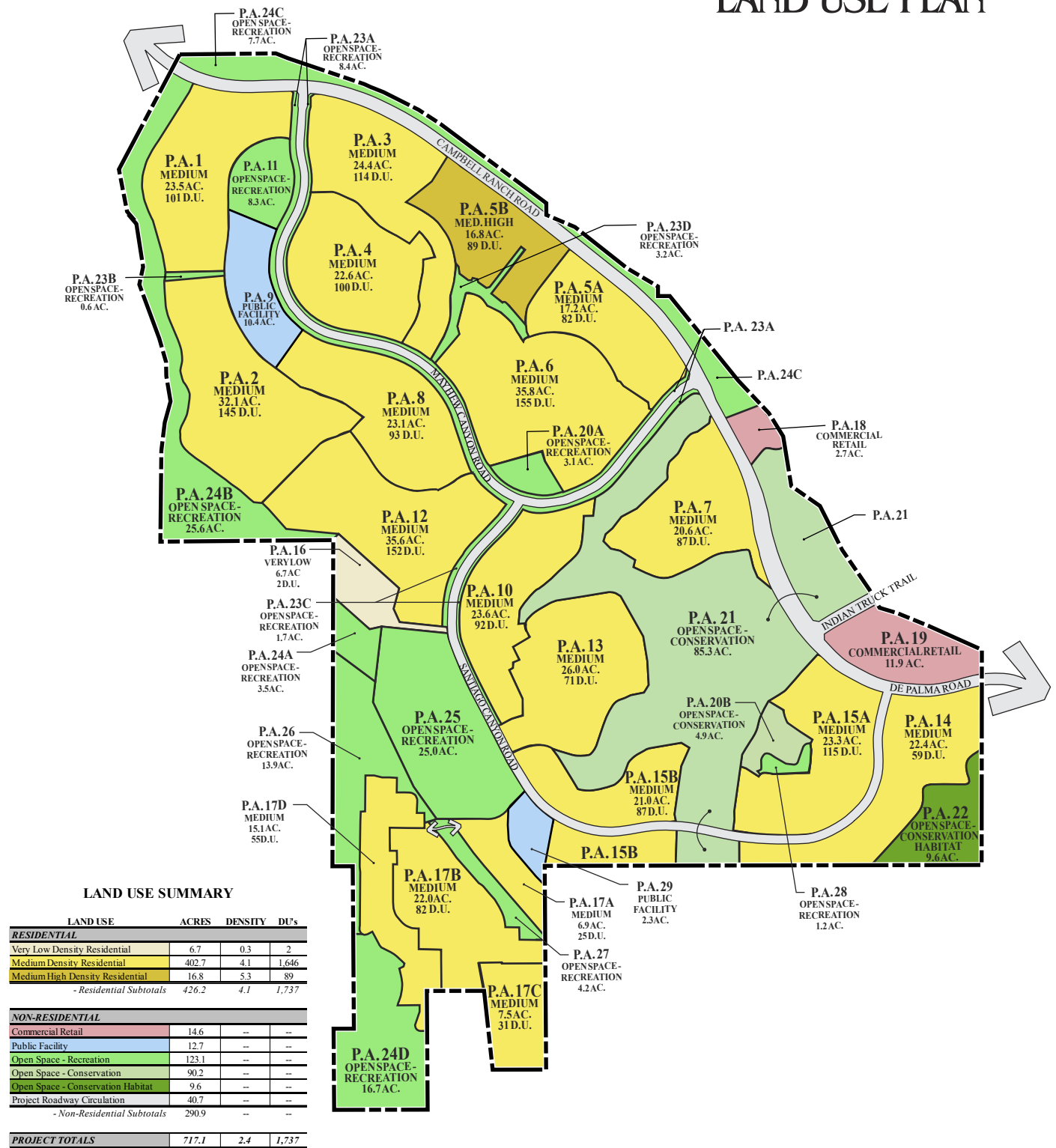


Figure 3

**TABLE II  
DETAILED LAND USE SUMMARY**

| <b>Designation</b>        | <b>Planning Area</b> | <b>Gross Acres</b> | <b>Density Range</b> | <b>Maximum Density</b> | <b>Maximum D.U.</b> |
|---------------------------|----------------------|--------------------|----------------------|------------------------|---------------------|
| <b>Residential</b>        |                      |                    |                      |                        |                     |
| Very Low Density          | 16                   | 6.7                | 0-0.4 du/ac          | 0.3 du/ac              | 2                   |
| <b>SUBTOTAL</b>           |                      | <b>6.7</b>         | <b>0-0.4</b>         | <b>0.3 du/ac</b>       | <b>2</b>            |
| Medium Density            | 1                    | 23.5               | 2-5 du/ac            | 4.3 du/ac              | 101                 |
|                           | 2                    | 32.1               | 2-5 du/ac            | 4.5 du/ac              | 145                 |
|                           | 3                    | 24.4               | 2-5 du/ac            | 4.7 du/ac              | 114                 |
|                           | 4                    | 22.6               | 2-5 du/ac            | 4.4 du/ac              | 100                 |
|                           | 5A                   | 17.2               | 2-5 du/ac            | 4.8 du/ac              | 82                  |
|                           | 6                    | 35.8               | 2-5 du/ac            | 4.3 du/ac              | 155                 |
|                           | 7                    | 20.6               | 2-5 du/ac            | 4.2 du/ac              | 87                  |
|                           | 8                    | 23.1               | 2-5 du/ac            | 4.0 du/ac              | 93                  |
|                           | 10                   | 23.6               | 2-5 du/ac            | 3.9 du/ac              | 92                  |
|                           | 12                   | 35.6               | 2-5 du/ac            | 4.3 du/ac              | 152                 |
|                           | 13                   | 26.0               | 2-5 du/ac            | 2.7 du/ac              | 71                  |
|                           | 14                   | 22.4               | 2-5 du/ac            | 2.6 du/ac              | 59                  |
|                           | 15A                  | 23.3               | 2-5 du/ac            | 4.9 du/ac              | 115                 |
|                           | 15B                  | 21.0               | 2-5 du/ac            | 4.1 du/ac              | 87                  |
|                           | 17A                  | 6.9                | 2-5 du/ac            | 3.6 du/ac              | 25                  |
|                           | 17B                  | 22.0               | 2-5 du/ac            | 3.7 du/ac              | 82                  |
|                           | 17C                  | 7.5                | 2-5 du/ac            | 4.1 du/ac              | 31                  |
|                           | 17D                  | 15.1               | 2-5 du/ac            | 3.6du/ac               | 55                  |
| <b>SUBTOTAL</b>           |                      | <b>402.7</b>       | <b>2-5 du/ac</b>     | <b>4.1 du/ac</b>       | <b>1,646</b>        |
| Medium High Density       | 5B                   | 16.8               | 5-8 du/ac            | 5.3 du/ac              | 89                  |
| <b>SUBTOTAL</b>           |                      | <b>16.8</b>        | <b>5-8 du/ac</b>     | <b>5.3 du/ac</b>       | <b>89</b>           |
| <b>RESIDENTIAL TOTALS</b> |                      | <b>426.2</b>       |                      | <b>4.1 du/ac</b>       | <b>1,737</b>        |
| <b>Non-Residential</b>    |                      |                    |                      |                        |                     |
| Commercial Retail         | 18                   | 2.7                | --                   | --                     | --                  |
|                           | 19                   | 11.9               | --                   | --                     | --                  |
| <b>SUBTOTAL</b>           |                      | <b>14.6</b>        | --                   | --                     | --                  |
| Public Facility           | 9                    | 10.4               | --                   | --                     | --                  |
|                           | 29                   | 2.3                | --                   | --                     | --                  |
| <b>SUBTOTAL</b>           |                      | <b>12.7</b>        | --                   | --                     | --                  |

**TABLE II  
DETAILED LAND USE SUMMARY  
(continued)**

| Designation                          | Planning Area | Gross Acres  | Density Range | Maximum Density  | Maximum D.U. |
|--------------------------------------|---------------|--------------|---------------|------------------|--------------|
| <b>Non-Residential (cont.)</b>       |               |              |               |                  |              |
| Open Space –<br>Recreation           | 11            | 8.3          | --            | --               | --           |
|                                      | 20A           | 3.1          | --            | --               | --           |
|                                      | 23A           | 8.4          | --            | --               | --           |
|                                      | 23B           | 0.6          | --            | --               | --           |
|                                      | 23C           | 1.7          | --            | --               | --           |
|                                      | 23D           | 3.2          | --            | --               | --           |
|                                      | 24A           | 3.5          | --            | --               | --           |
|                                      | 24B           | 25.6         | --            | --               | --           |
|                                      | 24C           | 7.7          | --            | --               | --           |
|                                      | 24D           | 16.7         | --            | --               | --           |
|                                      | 25            | 25.0         | --            | --               | --           |
|                                      | 26            | 13.9         | --            | --               | --           |
|                                      | 27            | 4.2          | --            | --               | --           |
| 28                                   | 1.2           | --           | --            | --               |              |
| <b>SUBTOTAL</b>                      |               | <b>123.1</b> | --            | --               | --           |
| Open Space –<br>Conservation Habitat | 22            | 9.6          | --            | --               | --           |
| <b>SUBTOTAL</b>                      |               | <b>9.6</b>   | --            | --               | --           |
| Open Space –<br>Conservation         | 20B           | 4.9          | --            | --               | --           |
|                                      | 21            | 85.3         | --            | --               | --           |
| <b>SUBTOTAL</b>                      |               | <b>90.2</b>  | --            | --               | --           |
| Project Roadway<br>Circulation       |               | 40.7         |               |                  |              |
| <b>NON-RESIDENTIAL TOTALS</b>        |               | <b>290.9</b> | --            | --               | --           |
| <b>PROJECT TOTALS</b>                |               | <b>717.1</b> | --            | <b>2.4 du/ac</b> | <b>1,737</b> |

consistent with the Riverside County General Plan, Temescal Canyon Area Plan, the MSHCP, and this Specific Plan, thereby fulfilling the market needs in this area, while maintaining a sensitive approach to developing relative to existing topography, natural habitat and surrounding land uses.

In order to create a balanced community consistent with the Temescal Canyon Area Plan, the project also will provide freeway-oriented commercial uses, a school site, six parks, a secondary trail and large areas of natural open space. Specific information on each of the planning areas within SYCAMORE CREEK is provided within Section III.B., *Planning Area Development Standards*, in the *Detailed Land Use Summary* (Table II) and in Planning Area Figures (14A through 14P).

The proposed land uses within the Specific Plan include:

- **RESIDENTIAL** - Overall residential density within the residential component of the Specific Plan will consist of about 4.1 dwelling units per acre. The gross density for the entire SYCAMORE CREEK Community is 2.4 du/ac. The housing mix will be spread over three density ranges varying from “Very Low” to “Medium High.” A total of 426.2 acres of residential uses are provided within the SYCAMORE CREEK community.
  - **Very Low Density Residential (1 acre minimum)** is planned within Planning Area 16. These lots will be located off local residential streets. A total of two (2) dwelling units on 6.7 acres are planned adjacent to open space and greenbelts in the western portion of the community.
  - **Medium Density Residential (2-5 du/ac)** includes 1,646 dwelling units on 402.7 acres located throughout the Specific Plan area. Medium Density Residential land uses are proposed for Planning Areas 1, 2, 3, 4, 5A, 6, 7, 8, 10, 12, 13, 14, 15A, 15B, 17A, 17B, 17C, and 17D.
  - **Medium High Density Residential (5-8 du/ac)** is planned for Planning Area 5B. A total of 89 dwelling units on 16.8 acres are planned. Medium Density Residential land uses are planned adjacent to Campbell Ranch Road.
- **COMMERCIAL RETAIL** - SYCAMORE CREEK will contain two freeway-oriented commercial retail planning areas consisting of a total of 14.6 acres. One commercial retail planning area (Planning Area 18) consists of 2.7 acres and is located southeast of the intersection of Campbell Ranch Road and Mayhew Canyon Road. A second commercial retail planning area (Planning Area 19) consists of 11.9 acres and is located at the intersection of De Palma Road and Santiago Canyon Road. Primary access to these commercial retail sites is provided via Indian Truck Trail, Campbell Ranch Road and De Palma Road. In addition to commercial land uses, a fire station is provided within Planning Area 18 (Riverside County Fire Station #64 – Sycamore Creek).
- **PUBLIC FACILITY** - Two public facility planning areas are provided within the SYCAMORE CREEK community. A 10.4-acre elementary school site is provided in Planning Area 9, and is accessible by way of Mayhew Canyon Road. The school is located next to an 8.3-acre park (Planning Area 11). The second public facility planning area, Planning Area 29, includes a stormwater detention/water quality basin to temporarily detain stormwater runoff during peak storm events.

- **OPEN SPACE - RECREATION** - The SYCAMORE CREEK Specific Plan Land Use Plan provides over 123 acres of open space for active and passive recreational opportunities and visual buffers from surrounding land uses. Planning Area 25 is reserved for development as a large regional sports park on 25.0 acres, and is planned to provide numerous active and passive recreational opportunities for community residents and residents of the surrounding area, including sports fields. Planning Areas 11, 20A, and 28 provide neighborhood-oriented recreational amenities. Planning Area 11 is located along Mayhew Canyon Road and consists of an 8.3-acre neighborhood park adjacent to the school in Planning Area 9. Planning Area 20A consists of a 3.1-acre neighborhood swim park, and is located near residential uses in Planning Areas 6, 10, and 12. A 1.2-acre neighborhood park is provided in the southeastern portion of the community, adjacent to the residential land uses in Planning Area 15A. In addition to active recreational amenities, passive recreational amenities, including trails, paseos, greenbelts, and landscape buffers are provided in Planning Areas 23A through 23D, 24A through 24D, 26 and 27. In addition, the passive park in Planning Area 27 serves as a limited building zone buffer from an earthquake fault that traverses a portion of the SYCAMORE CREEK community.
- **OPEN SPACE – CONSERVATION/** - Approximately 90.2 acres of the SYCAMORE CREEK Specific Plan Land Use Plan is reserved for conservation as natural habitat (Planning Areas 20B and 21) in order to protect sensitive vegetation communities, and plant and animal species located on-site.
- **OPEN SPACE – CONSERVATION HABITAT** – Planning Area 22 (9.6 acres) will be preserved as natural habitat and will be dedicated to the Western Riverside County Regional Conservation Authority to contribute to the formation of Constrained Linkage 3, as outlined in the MSHCP.
- **PROJECT ROADWAY CIRCULATION** – The Specific Plan Land Use Plan provides 40.7 acres of major roadways. These circulation routes range from private streets with 40-foot wide rights-of-ways to public local streets with 56-foot wide rights-of-ways and major public roadways with rights-of-ways up to 143 feet in width.

**b. Development Standards**

In order to ensure the orderly and sensitive development of the residential and recreational uses proposed for SYCAMORE CREEK, special techniques or mitigations have been created for each planning area. These area-specific standards, discussed in detail in Section III.B., *Planning Area Development Standards*, will assist in accommodating the proposed development and provide adequate transitions to neighboring residential types (refer to Page III-57).

In addition to these specific techniques, project wide development standards also have been prepared which complement the unique conditions within each planning area. These general standards are:

- 1) The Sycamore Creek Specific Plan Area shall be developed with a maximum of 1,737 dwelling units on 717.1 acres, as illustrated on the Specific Land Use Plan (Figure 3) and Table II, *Detailed Land Use Summary*. General uses permitted will include residential, commercial, parks, school, recreation, open space and circulation as delineated on the

*Specific Land Use Plan*, Figure 3, and in the individual planning areas, Figures 14A through 14P.

- 2) Uses and development standards will be in accordance with the County of Riverside Zoning Code and the SYCAMORE CREEK Specific Plan Amendment No. 2 Zoning Standards and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.
- 3) Standards relating to signage, landscaping, parking and other design elements will conform to the County of Riverside Zoning Code Ordinance No. 348. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the zoning code requirements. In addition, a Specific Plan Zoning Ordinance will be processed concurrently with this Specific Plan Amendment No. 2.
- 4) The development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances No. 348 and 460 and state laws; and shall conform substantially to Specific Plan No. 256 Amendment No. 2 as filed in the office of the Riverside County Planning Department, unless otherwise amended.
- 5) No portion of the Specific Plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- 6) The County may initiate an amendment or revocation proceeding on all or any portion of this Specific Plan if a development application has not been approved within five years of the Board of Supervisors' approval.
- 7) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application; provided that if the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 8) Common areas identified in the Specific Plan shall be owned and maintained as follows:
  - a) A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space areas (excluding conservation areas dedicated to the Western Riverside County Regional Conservation Authority or areas where conservation easements have been granted in favor of the Riverside-Corona Resource Conservation District), circulation systems and landscaped areas (including those in commercial areas). The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

- b) Unless otherwise provided for in these standards, common areas shall remain in the ownership of the Homeowners Association while improvements may be maintained by a CSA or other public or private maintenance organization.
  - c) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division or issuance of any building permits for any approved development permit (use permit, plot plan, etc.).
- 9) The permittee shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attach, set aside, void or annul an approval of the County of Riverside, its advisory agencies, appeal boards or legislative body concerning the Specific Plan. The County of Riverside will promptly notify the permittee of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the County of Riverside.
- 10) Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan Amendment No. 2 approval have been satisfied for the phase of development in question.
- 11) An environmental assessment shall be conducted for each tract, plot plan, specific plan amendment or any other discretionary permit required to implement the Specific Plan Amendment No. 2. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for Specific Plan No. 256.
- 12) Lots created pursuant to this Specific Plan Amendment No. 2 and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
- 13) Flag lots shall not be permitted except in Planning Areas 13 and 16 as approved by the Planning Director and the Fire Chief.
- 14) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, general irrigation system specifications, structures and circulation (vehicular and pedestrian).
- 15) If necessary, roadways, infrastructure and open space may be coordinated by and paid for through an assessment or community services district or area facilitating construction, maintenance and management.
- 16) Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified, based upon but not limited to the following: a) Adequate availability of services; b) Adequate access and circulation; c) Sensitivity to landforms; and d) Sensitivity to neighborhood design through

appropriate lot and street layouts including minimization in the use of flag lots for Planning Areas 13 and 16.

- 17) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchases shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open space.
- 18) Prior to the issuance of building permits, landscape improvement plans for the development of the common open space area, including construction, planting and irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. These landscape improvement plans shall be prepared by and reviewed for substantial conformance by a licensed landscape architect.
- 19) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
  - a) Circulation for pedestrians, vehicles and police patrols.
  - b) Lighting of streets and walkways.
  - c) In an effort to provide visibility of doors and windows from the street and between buildings, where practical.
  - d) Fencing heights and materials.
- 20) It is anticipated that maintenance associations, if formed, will be established as follows: The master property owners' association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for private roads, parking, open space area, signing, landscaping, irrigation, common areas and other responsibilities as necessary.
- 21) The Noise Assessment for SYCAMORE CREEK recommends that an additional analysis of exterior and interior noise impact on-site be prepared prior to the issuance of precise grading and building permits. At the time of building permit application, the design should again be reviewed to ensure that sound mitigation is included in the design, if needed. It should be noted that rear yard setbacks may eliminate the need for noise mitigation within many of the Planning Areas potentially impacted by the 65 CNEL contour.
- 22) Structures for human occupation shall not be permitted within the fault setback zone established in Fault Study Report approved by the County.
- 23) Proposed on-site commercial retail areas (Planning Areas 18 and 19) shall contain enclosures for recycled materials. These commercial areas are felt to be the proper location for such facilities given their anticipated high use by project residents and their proximity to the primary point of project access.



- 24) Removal of native oaks from their present location on the site will be avoided or mitigated through relocation or replacement in accordance with recommendations in a study prepared by an expert certified as qualified by the County of Riverside. In those areas where removal is unavoidable, the possibility of transplanting to another location on site will be investigated during the review of grading plans pursuant to the recommendations of the study.
- 25) Areas designated as open space within Planning Area 22 shall be dedicated to and maintained by the Western Riverside County Regional Conservation Authority.
- 26) Development within the SYCAMORE CREEK Specific Plan shall comply with the applicable requirements of the 2010 California Green Building Standards Code (CalGreen, California Code of Regulations, Title 24, Part 11).

## 2. Circulation Plan

### a. **Plan Description**

As the result of an original traffic analysis conducted by Robert Kahn, John Kain and Associates (see EIR Technical Appendices) and supplemental traffic analyses conducted by Urban Crossroads, Inc., a project roadway plan has been developed that is consistent with the County's Master Plan of Highways. The project roadway network is illustrated in the *Master Circulation Plan* (Figure 4).

Principal north-south access to the site is provided from Interstate 15 via the Indian Truck Trail exit. The right-of-way widths on Indian Truck Trail between Temescal Canyon Road and Campbell Ranch Road vary in size in order to accommodate landscaped medians, left-hand turn lanes, and stacking distances (see Figures 5, 6A, 6B and 6C for graphical depictions). Temescal Canyon Road, which is located off-site on the eastern side of Interstate 15, provides indirect north-south access to the site as it parallels Interstate 15. This master planned Arterial Highway connects with Indian Truck Trail by way of the underpass at the Indian Truck Trail exit. Campbell Ranch Road is planned as a Major Roadway adjacent to the project site north of Indian Truck Trail. At its intersection with Indian Truck Trail, Campbell Ranch Road turns into De Palma Road and is planned as a Major Road. The northern section of Campbell Ranch Road is an 86' R.O.W. Major Road and will provide interior circulation to SYCAMORE CREEK as it parallels Interstate 15. This road will eventually link with Temescal Canyon Road off-site in the Glen Ivy Hot Springs area. On-site circulation will be accommodated efficiently by a network of roadways. The combination of Campbell Ranch Road, Mayhew Canyon Road (66' R.O.W. enhanced collector road), Santiago Canyon Road (66' R.O.W. collector road and enhanced collector adjacent to Planning Area 12) and a local street network (40', 46', 50', 56', and 60' R.O.W.'s) provides SYCAMORE CREEK with a looped circulation system to facilitate the efficient movement of traffic within the project.

The Riverside County General Plan Circulation Element depicts several master-planned roadways that run adjacent to or through the SYCAMORE CREEK project site.

The General Plan currently shows the following roads in the Circulation Element which affect the project site.

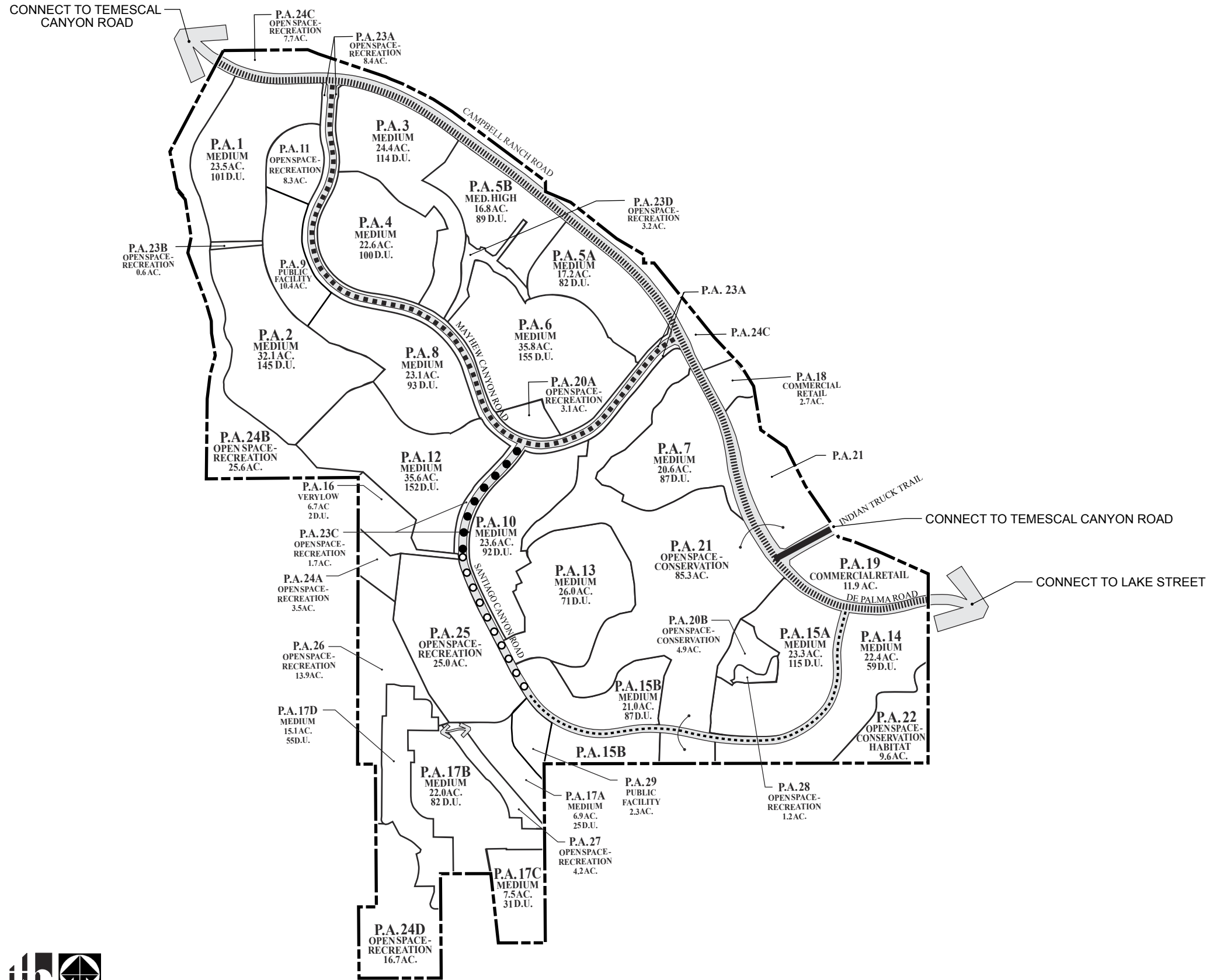
Temescal Canyon Road is an Arterial Highway.

Indian Truck Trail is an Urban Arterial roadway between Campbell Ranch/De Palma Roads and Temescal Canyon Road.

De Palma Road/Campbell Ranch Road between Temescal Canyon Road and Glen Eden Road is designated as a Major roadway and will be constructed as a Major frontage road in accordance with Transportation Department Standards, except adjacent to commercial sites where the standards shown on Figure 5 will apply.

Based on updated traffic analyses for Specific Plan Amendment No. 2, changes to the circulation element of the general plan or the Temescal Canyon Area Plan circulation element are not needed.

# MASTER CIRCULATION PLAN



## LEGEND

- ENHANCED COLLECTOR\* (SANTIAGO CANYON RD - ADJACENT TO P.A. 12) 116' R.O.W.
- MAJOR ROAD R.O.W. VARIES
- ENHANCED MODIFIED COLLECTOR\* (SANTIAGO CANYON RD - ADJACENT TO P.A. 25) 66' R.O.W.
- ENHANCED COLLECTOR (MAYHEW CANYON ROAD) 66' R.O.W.
- COLLECTOR\* (SANTIAGO CANYON RD - ADJACENT TO P.A.s 14, 15A, 15B, & 29) 74' R.O.W.\*\*
- URBAN ARTERIAL R.O.W. VARIES

\* SEE FIGURE 19B FOR SANTIAGO CANYON ROAD CROSS SECTIONS.  
 \*\* R.O.W. ADJACENT TO P.A. 29 IS 76'.

NOTES:  
 INDIAN TRUCK TRAIL, BETWEEN THE FREEWAY (I-15) AND THE PROJECT, IS DESIGNATED AS AN URBAN ARTERIAL AND SHALL BE DEVELOPED ACCORDING TO THE SPECIFICATIONS SHOWN ON FIGURE 5.  
 CAMPBELL RANCH ROAD AND DE PALMA ROAD IS DESIGNATED AS A MAJOR ROAD AND SHALL BE DEVELOPED TO "MAJOR HIGHWAY" STANDARDS PER THE REQUIREMENTS OF THE COUNTY TRANSPORTATION DEPARTMENT.



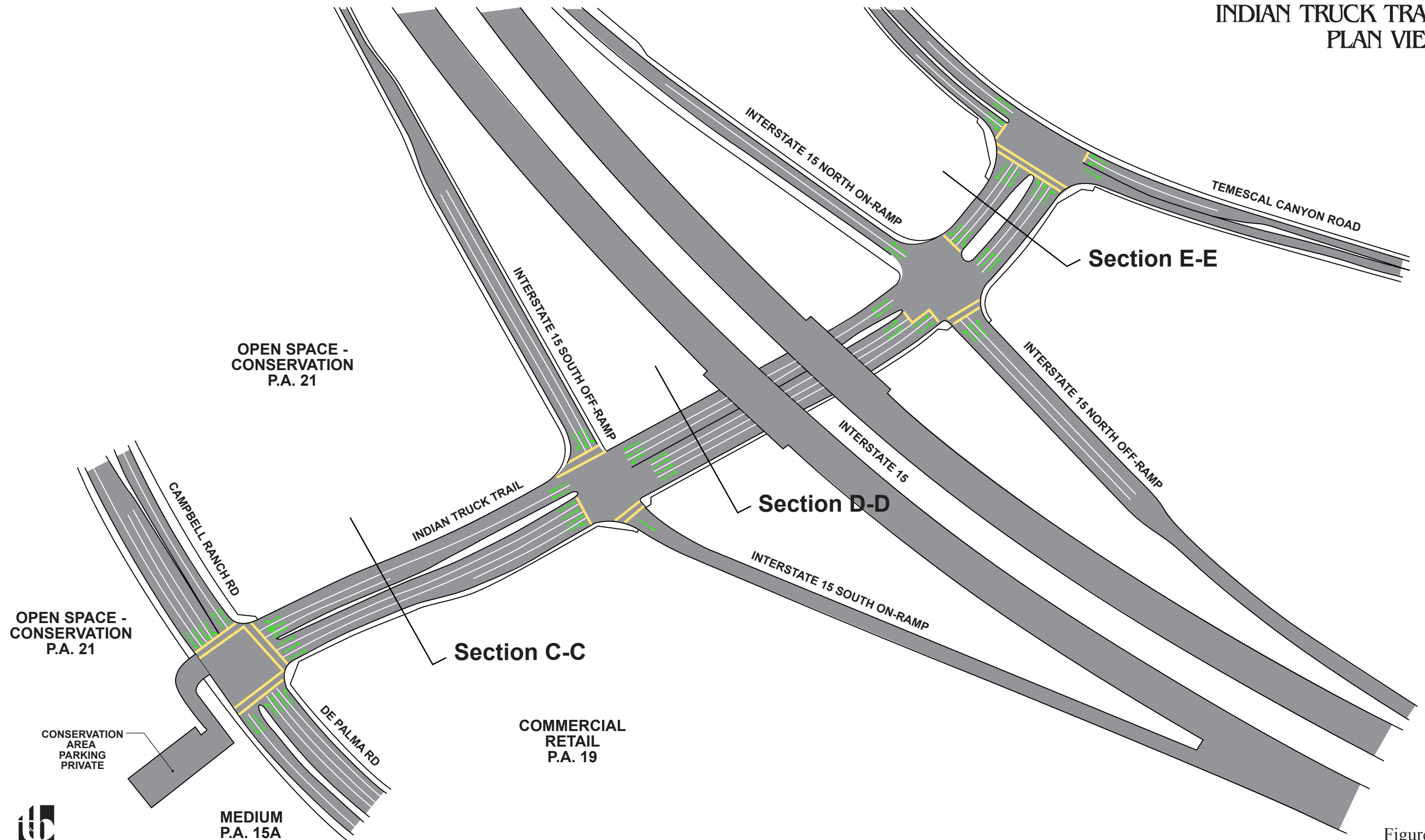


Figure 5

**Table II-A  
CIRCULATION ELEMENT ROADWAYS**

| Circulation Element<br>Roadway Name                                 | Circulation<br>Element<br>Classification | Temescal Canyon Area Plan<br>Circulation Element Classification |
|---|--|---|
| Indian Truck Trail (between Temescal Canyon Road and De Palma Road) | Urban Arterial Road                      | Urban Arterial Road   |
| De Palma Road (At Planning Area 19)                                 | Major Road                               | Major Road  |
| Campbell Ranch Road   | Major Road                               | Major Road  |

Because of the build-out traffic volumes on Indian Truck Trail between Temescal Canyon Road and Campbell Ranch Road/De Palma Road, the traffic consultant recommends that this roadway be classified as an Urban Arterial Road. The purpose of this classification is so that this roadway can accommodate necessary improvements, including turn lanes and medians, and provide appropriate stacking distances. Please refer to Figures 5 and 6C. Figure 5 has been conceptually approved by the Transportation Department.

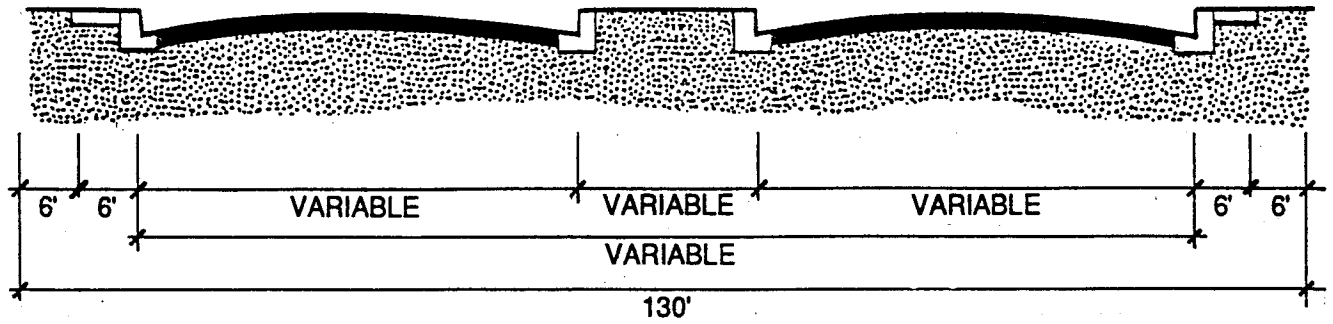
The following is a list of infrastructure improvements that will occur on-site and immediately off-site adjacent to SYCAMORE CREEK. Preliminary costs for each improvement are shown. These costs are strictly preliminary and conceptual and are not based on design drawings or bids and are subject to change. These costs reflect curb/gutter and pavement only.

|   |                     |                |
|---|---------------------|----------------|
| * | Campbell Ranch Road | \$1,070,000.00 |
| * | Indian Truck Trail  | \$ 460,000.00  |
| * | Mayhew Canyon Road  | \$ 590,000.00  |

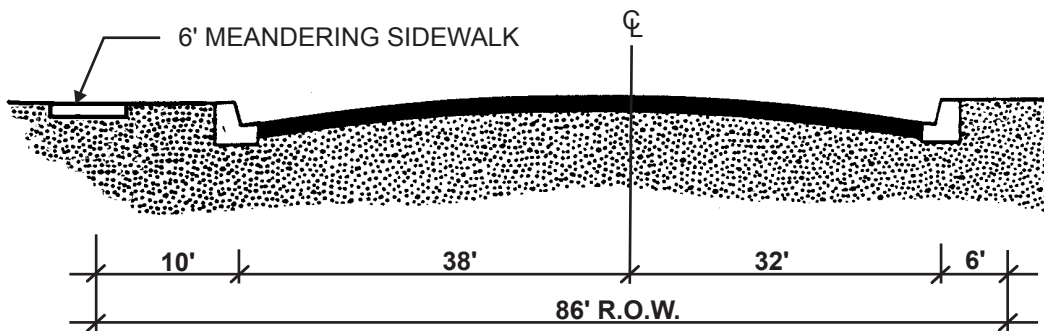
Transportation infrastructure funding may be provided through a combination of developer financing, community facilities districts bond sales, and bridge and thoroughfare benefit district fees (if such a district is formed). The type of funding for specific facilities will be determined during formation of the community facilities districts in conjunction with all cooperating agencies including the County of Riverside, the Lee Lake Water District, and the Corona-Norco School District.

The main objective of the Circulation Plan is to provide direct and convenient access to individual residential neighborhoods, the school, recreational areas and commercial facilities through a safe and efficient network including Urban Arterial Roads, Major Roads, Collector Roads, and Local Streets. Roadway cross-sections are shown on Figures 6A, 6B, 6C and 6D.

# ROADWAY CROSS SECTIONS (A)



**URBAN ARTERIAL**  
(Portions of Indian Truck Trail)  
See Figures 5 & 6C for specifications

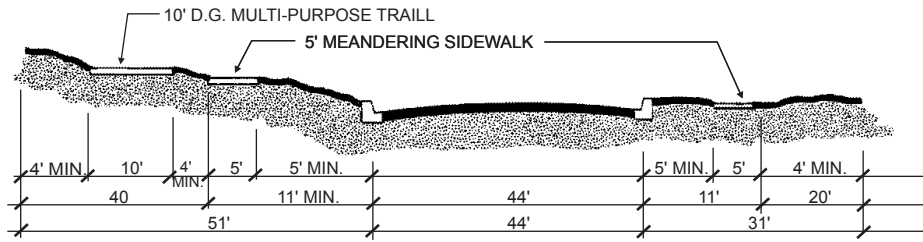


**MAJOR ROAD**  
Campbell Ranch Road  
(From Indian Truck Trail to Temescal RD.)

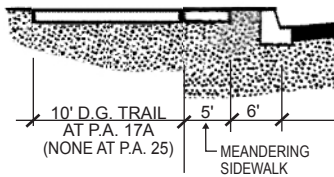
NOTE: All typical sections shall be per Ordinance 461, or as approved by the Transportation Department.



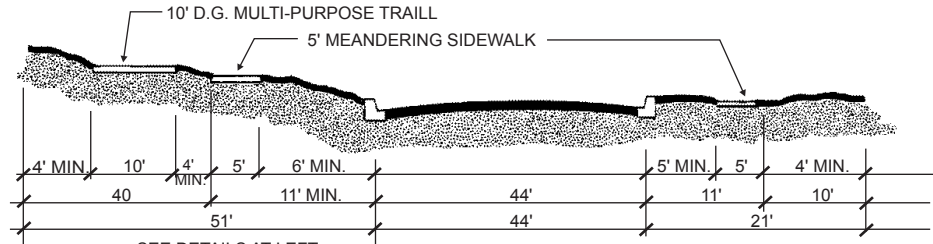
# ROADWAY CROSS SECTIONS (B)



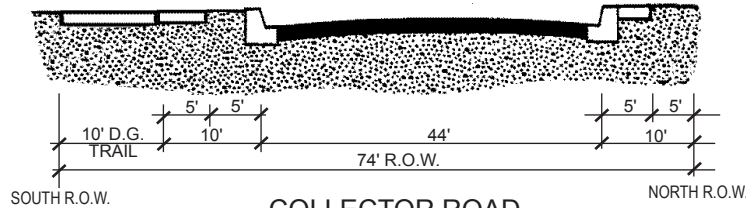
ENHANCED COLLECTOR ROAD  
(Mayhew Canyon Road)



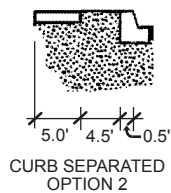
MODIFIED CONDITION  
(Santiago Canyon Road at  
P.A.s 25 and 29)



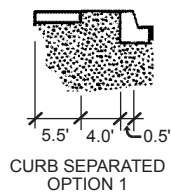
ENHANCED COLLECTOR ROAD  
(Santiago Canyon Road at P.A. 12)



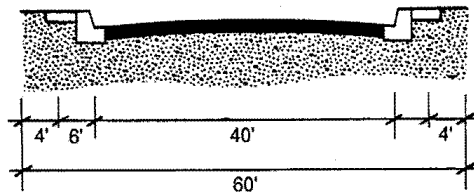
COLLECTOR ROAD  
(Santiago Canyon Road at P.A. 14, 15A, & 15B)



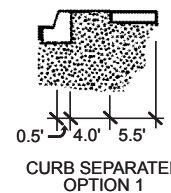
CURB SEPARATED  
OPTION 2



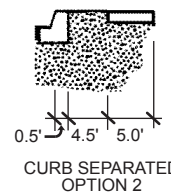
CURB SEPARATED  
OPTION 1



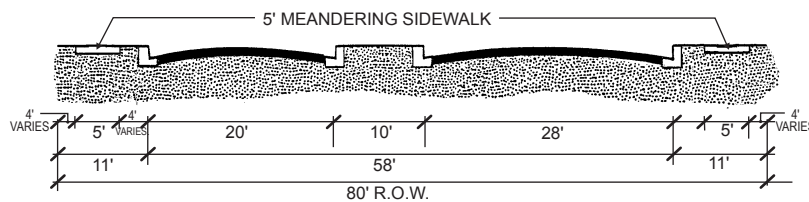
LOCAL STREET



CURB SEPARATED  
OPTION 1



CURB SEPARATED  
OPTION 2



GATED ENTRY DETAIL  
(P.A. 10 & 13)

NOTE: All typical sections shall be per Ordinance 461, or as approved by the Transportation Department.



ROADWAY CROSS SECTIONS (C)

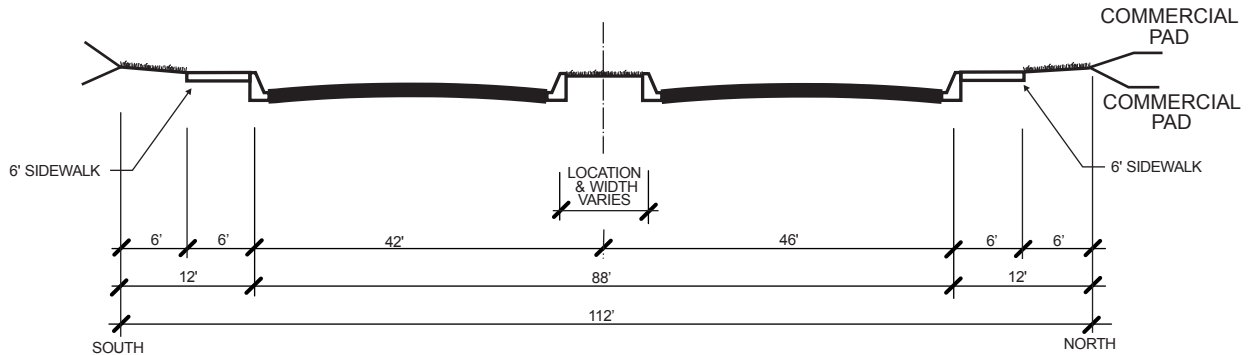
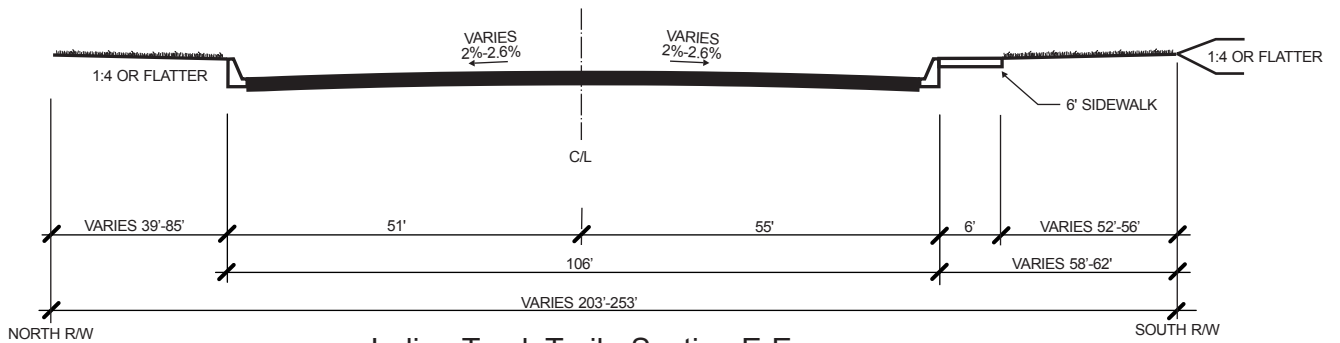
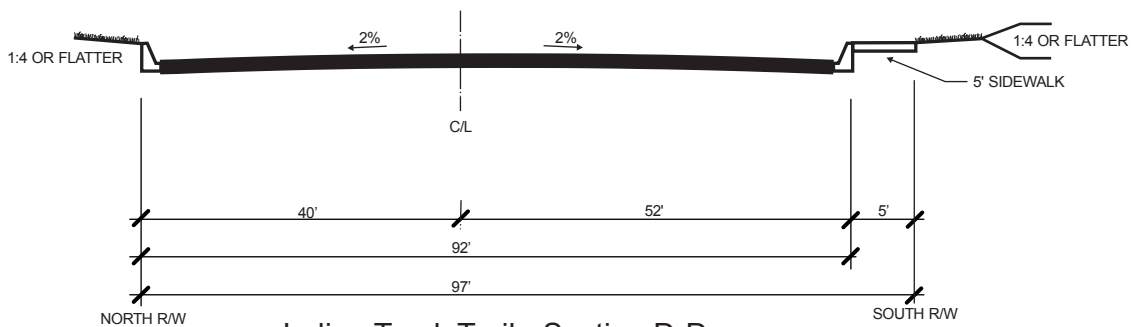
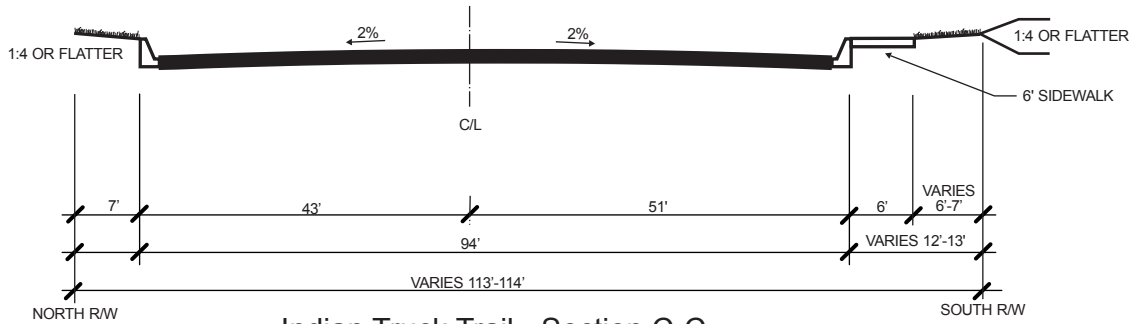
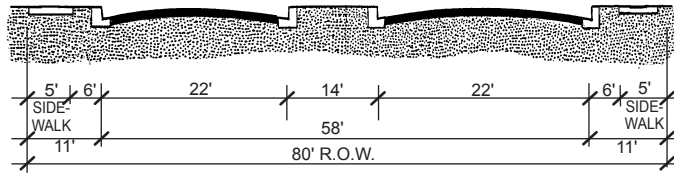


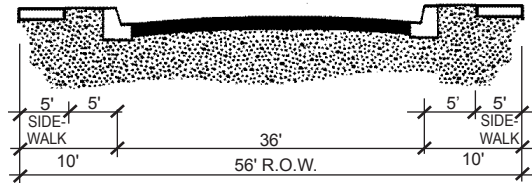
Figure 6C



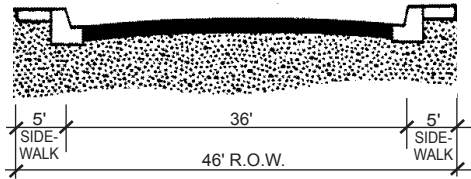
# ROADWAY CROSS SECTIONS (D)



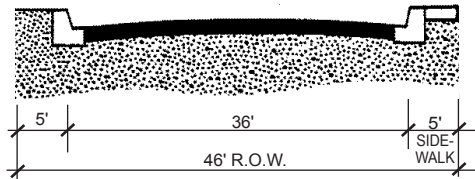
ENTRY DETAIL  
(P.A. 29)



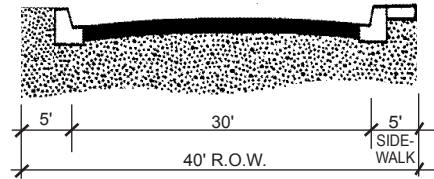
LOCAL STREET



PRIVATE STREET  
(P.A. 7)



PRIVATE ENTRY STREET  
(P.A. 7)



PRIVATE EXIT STREET  
(P.A. 7)

NOTE: All typical sections shall be per Ordinance 461, or as approved by the Transportation Department.



Figure 6D

The project traffic analysis contained in the Final EIR 325 analyzed the traffic impacts resulting from 1,786 dwelling units and 280,000 square feet of commercial uses on 29 acres and estimated that 36,020 daily vehicle trips will be generated by the approved SYCAMORE CREEK project. Amendment No. 1 reduced the total number of dwelling units to 1,765 and reduced the area devoted to commercial uses to 14.6 acres. Based on a review by the Transportation Department, it was determined that Specific Plan Amendment No. 1 would result in fewer daily trips than estimated in the certified FEIR and no additional circulation improvements or mitigation measures were warranted. Specific Plan Amendment No. 2 further reduces the intensity of residential development within SYCAMORE CREEK and increases the total area designated for parks and open space, which results in an overall reduction in the amount of daily vehicle trips generated by the community.

**b. Development Standards**

- 1) The proposed Circulation Plan provides an efficient traffic design that meets the needs of the project. The on-site system depicted on the Circulation Plan (Figure 4) has been derived from the circulation recommendations outlined in the project Traffic Analysis and will serve as the composite Circulation Plan for the SYCAMORE CREEK Specific Plan Amendment No. 2. The illustrated, on-site roadway improvements will be phased in accordance with this plan.
- 2) Heavy through traffic should be eliminated from residential neighborhoods. Major roadways such as Campbell Ranch Road, Mayhew Canyon Road and Santiago Canyon Road should have limited residential access, with residential neighborhoods served by smaller residential collectors.
- 3) Each subdivision shall comply with the on-site and off-site street improvement recommendations and mitigation measures outlined in the subsequent traffic studies for each individual project.
- 4) On-site roads will be constructed as:
  - \* Urban Arterial Road (Variable R.O.W.)
  - \* Major Road (86' R.O.W.)
  - \* Enhanced Collector Road (Variable R.O.W.)
  - \* Collector Road (66' R.O.W.)
  - \* Local Streets (40', 46' 50', 56', and 60' R.O.W.)

Figures 5, 6A, 6B, 6C, and 6D depict roadway cross sections for each of the on-site roads.

- 5) Landscape requirements will be based on street width in accordance with the Roadway Landscape Treatment as depicted in Figures 16 through 20. Any landscaping within public road rights-of-way will require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the Transportation Department.
- 6) Major roadway improvements may be financed through an assessment district, Community Facilities District (CFD) or similar financing mechanisms.

- 7) All typical sections shall be per Ordinance 461, or as approved by the Transportation Department. All intersection spacing and/or access openings shall be per Standard 114, Ordinance 461, or as approved by the Transportation Department.
- 8) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
- 9) The project shall comply with the conditions and requirements set forth by the County Transportation Department.
- 10) Any application for any subdivision within the Specific Plan boundary (including a Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
- 11) All roadways intersecting four lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with Standard 103, Ordinance 461 from the four lane facility to the nearest intersection.
- 12) No textured pavement accents will be allowed within County right-of-way.
- 13) General - mid-block crosswalks are not approved.
- 14) Driveways - access points - no driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Transportation Department standard access spacing, depending upon the street's classification.
- 15) Drainage - this Specific Plan proposes no facilities to be maintained by the Transportation Department. Therefore, all facilities will be either private Home Owner Association, maintained by a CSA or be Flood Control District facilities.
- 16) Schools/Parks - the Transportation Department's policy regarding streets adjacent to school sites and park sites requires a minimum of 66' right-of-way (Standard 103).
- 17) All projects, including subdivisions within the Specific Plan boundary, shall be subject to the Development Monitoring Program as described in the attached pages.

## **DEVELOPMENT MONITORING PROGRAM FOR TRAFFIC IMPACTS FOR SPECIFIC PLAN NO. 256**

The Development Monitoring Program will be an on-going informational process. Its purpose is to establish a formal process whereby the Riverside County Transportation Department can collect and assimilate data regarding proposed development within the area covered by Specific Plan No. 256, which was approved by the Board of Supervisors on November 8, 1994. The program will remain in force until full build-out of the Specific Plan occurs, or may terminate sooner if the Director of Transportation determines it is no longer necessary. The parties who will be involved in the development monitoring program will be:

- 1) The Riverside County Transportation Department, who will maintain current records and information during the program. The County will collect data normally obtained by County forces, and will make this information available to all participants of the program on request.
- 2) Any entity, public or private, which from time to time proposes to develop any portion of the property included under the jurisdiction of Specific Plan No. 256. The extent of the involvement of the developer entities shall be limited to those occasions identified in these procedures, and shall be occasioned only by the presentation of an active development plan to Riverside County, in which case the developer shall be responsible for preparing and submitting to the Riverside County Transportation Department the information specified in these procedures.

The Development Monitoring Program will accomplish its intended purpose with regards to traffic impacts by including the requirement that each development proposal within the Specific Plan boundary be accompanied by a traffic impact study. The traffic impact study will provide information regarding the type of development as well as specific data sufficient for the Transportation Department to readily evaluate the cumulative impact of the proposal. In addition to the following, the study will clarify the proposal's conformance to the Specific Plan and whether the proposed traffic facilities are in substantial agreement with the pertinent elements of the Specific Plan approved for the area. In general, the traffic impact study should compile as much information as possible regarding the facilities within the development proposal, including an analysis of the impact on regional transportation facilities in the area. An important part of the traffic impact study will be the applicant's determination of the following:

- 1) The cumulative existing and committed traffic impact and levels of service at all intersections, prior to consideration of the development increment in question. The cumulative impact will include all those developments which have received approval for development.
- 2) The cumulative existing traffic impact and levels of service at all affected intersections including the proposed development added to existing conditions as defined above. This will present the actual effect of the subject development and reflect an accurate determination of the traffic impact.

The inputs to the process shall consist of:

- A Traffic Impact Study Report to be filed on each increment of development at the time any activity requiring subsequent County approval is initiated, i.e., tentative tract map, or land use approvals.
- Information relating to traffic improvements within the Specific Plan area, whether public or private, will be maintained on file by the Riverside County Transportation Department. This information will be available to participants of the monitoring program.

The outputs from the process will consist of:

- A composite plan of the Specific Plan area will be maintained by the Transportation Department to identify which portions of land have been processed through the monitoring program. A copy of this plan will be available to participants of the program when initiating a new development proposal.

The composite plan will be initially supplied to the Transportation Department by the property owner at 1"= 200' scale, and will accurately show the following items as identified in the Specific Plan:

- Proposed street locations, including right-of-way widths.
- Drainage facilities (existing and proposed).
- Existing street improvements.
- Street facilities as required by the Specific Plan.
- Street facilities which are already required by other development proposals, but construction is not yet guaranteed.
- Street facilities to be built by the proposed development submittal.

The cycle of activity in the traffic impact monitoring process is as follows:

As a project or development proposal with the Specific Plan area is initiated, the Transportation Department will make the determination as to whether or not the formal monitoring process is applicable. If it is, then the following steps will proceed:

- The Transportation Department provides the applicant with the printed guidelines for the monitoring program with one (1) copy of the composite map and the required standard impact report forms for traffic studies.
- The applicant completes the appropriate reports with professional engineering input to identify all pertinent aspects of the development proposal. This draft report, accompanied by supporting technical data is submitted for review to the County.

- The Transportation Department reviews the draft for completeness and content and returns comments to the applicant. At this point, the Transportation Department's review can only be preliminary, and conformance with the comments returned will establish only approval of the concept proposed by the applicant. The Transportation Department's comments may very well contain a request to gather further information or to more specifically identify mitigation to a known deficiency, in which case, an amended draft review would be required.
- After the applicant has received concurrence from the Transportation Department on the scope of improvements to be included within the development proposal, the Transportation Department will issue a letter identifying such and the applicant will proceed with the development review process in the normal manner.
- As an attachment to the subsequent development plan submittal to the County, the applicant will supply a final impact report which will reflect the precise character of the development proposal as approved.

It should be noted that the monitoring process is intended to enhance communication with the County during development phasing within the Specific Plan area. The applicant's statements contained in the impact reports, as well as the County's letter of concurrence, both are to be regarded as intentions rather than binding commitments. The final impact report will be arriving at the Transportation Department at the same time as the detailed development plan submittal. Only then will all the required information be available for Transportation Department review on the development which may lead to modifications of subjects covered in the preliminary impact reports.

- Upon approval of the development proposal, the applicant will update the composite map to reflect the area being developed, designating which improvements to street facilities are planned, which are conditions of approval for various projects, which are guaranteed by bonding or other forms of security, and which are actually constructed.

### **3. Drainage Plan**

#### **a. Plan Description**

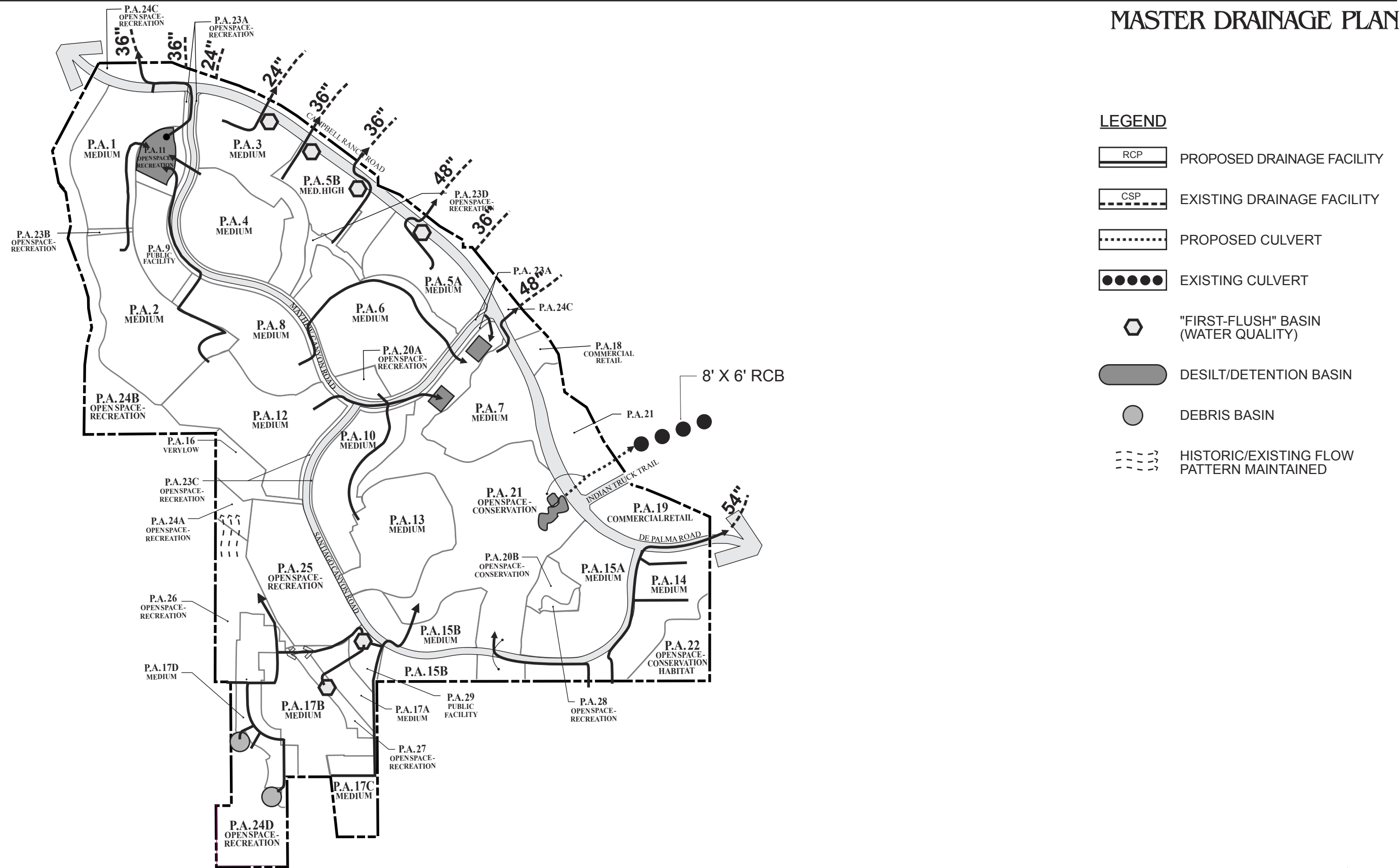
The site is under the jurisdiction of the Riverside County Flood Control District (RCFCD), but is not included in any District Master Drainage Plan. However, the applicant has developed a Master Drainage Plan (see Figure 7, *Master Drainage Plan*) for the site, designed to protect it from 100-year flood potential.

The proposed drainage plan utilizes the project streets and storm drains to carry storm water to the existing natural drainage courses and to the drainage facilities under the freeway. A storm drain system is proposed to carry storm water that exceeds surface street capacity. Please refer to Figure 7, *Master Drainage Plan*, for the size and location of all storm drain facilities.

#### **b. Development Standards**

- 1) Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County's Flood Control and Water Conservation District requirements.
- 2) It is anticipated that major backbone drainage/flood control facilities will be maintained by the County Flood Control District. Local drainage devices will be maintained by a County Service Area, Riverside County Flood Control District, Riverside County Transportation Department or a similar public/private entity.
- 3) All projects proposing construction activities including: clearing, grading or excavation that results in the disturbance of at least one acre of total land area or activity which is part of a larger common plan of development of five acres or greater, shall obtain the appropriate State general permit for National Pollution Discharge Elimination System (NPDES) permits and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but not be limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; monitoring programs, etc.

MASTER DRAINAGE PLAN



**LEGEND**

|  |   |
|--|---|
|  | PROPOSED DRAINAGE FACILITY                |
|  | EXISTING DRAINAGE FACILITY                |
|  | PROPOSED CULVERT                          |
|  | EXISTING CULVERT                          |
|  | "FIRST-FLUSH" BASIN (WATER QUALITY)       |
|  | DESILT/DETENTION BASIN                    |
|  | DEBRIS BASIN                              |
|  | HISTORIC/EXISTING FLOW PATTERN MAINTAINED |



Figure 7



#### **4. Water and Sewer Plans**

The SYCAMORE CREEK Specific Plan Amendment No. 2 is located within the jurisdiction of the Lee Lake Water District (L.L.W.D.), for water and sewer service.

##### **a. Water Plan Description**

Figures 8A and 8B represent the off-site and on-site water facilities required to serve the project. The 16" on-site and 20" off-site mains supply the project site with water and sewer services. The following discussion explains this system.

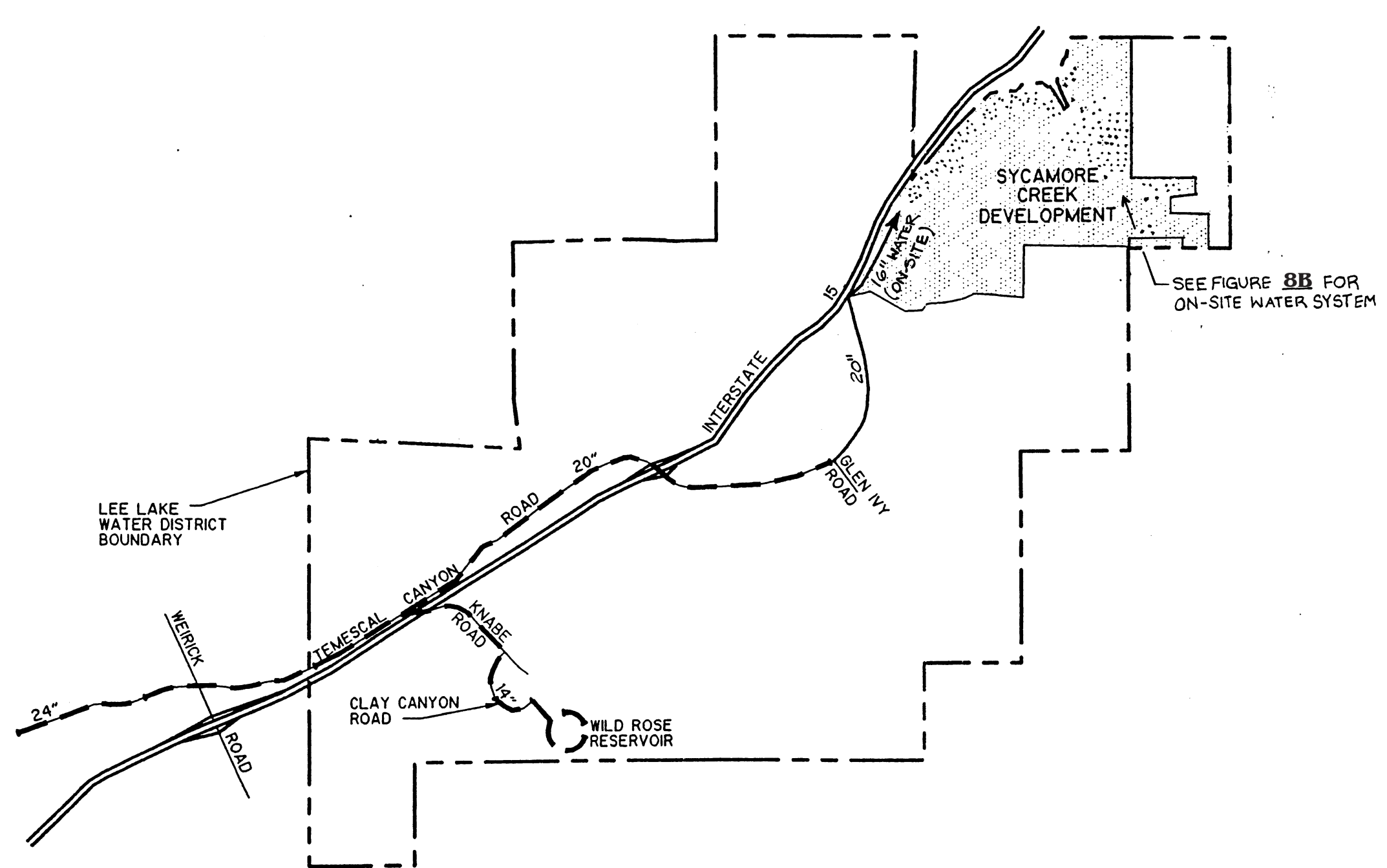
The 20" off-site water mainline, located along Temescal Canyon Road, provides a connection into the project site. The proposed project mainlines, ranging from 12" to 16", are fed by the existing off-site water main which is looped along Mayhew Canyon Road, Campbell Ranch Road, De Palma Road and Santiago Canyon Road, as shown on Figure 8B. A 16" transmission main leading from Santiago Canyon Road will travel, southwesterly through Planning Areas 17A, 17B, and 17D, before ultimately connecting to a 3.8 mg reservoir located in Planning Area 24D. The reservoir is located at a pad elevation of 1,470 feet and have a high water line of 1,500 feet.

##### **b. Sewer Plan Description**

Figures 9A and 9B show the proposed off-site and on-site Sewer Plans for the project. The project flows by gravity northwesterly to the future intersection of Temescal Canyon Road and Campbell Ranch Road. From here a sewage lift station has been constructed near Temescal Canyon Road, which conveys flows through a L.L.W.D. force main. The force main travels westerly to Temescal Canyon Road and Glen Ivy Road, where it connects to the existing 15-inch line and gravity flow to the wastewater treatment plant.

##### **c. Development Standards**

- 1) All water and sewer lines shall be placed underground.
- 2) All lines will be designed per Lake Lee Water District's requirements.
- 3) The infrastructural system will be installed to the requirements of Riverside County.
- 4) Assessment districts will be developed to manage development of infrastructure.
- 5) Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.



**LEGEND**

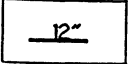
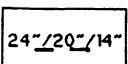

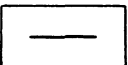
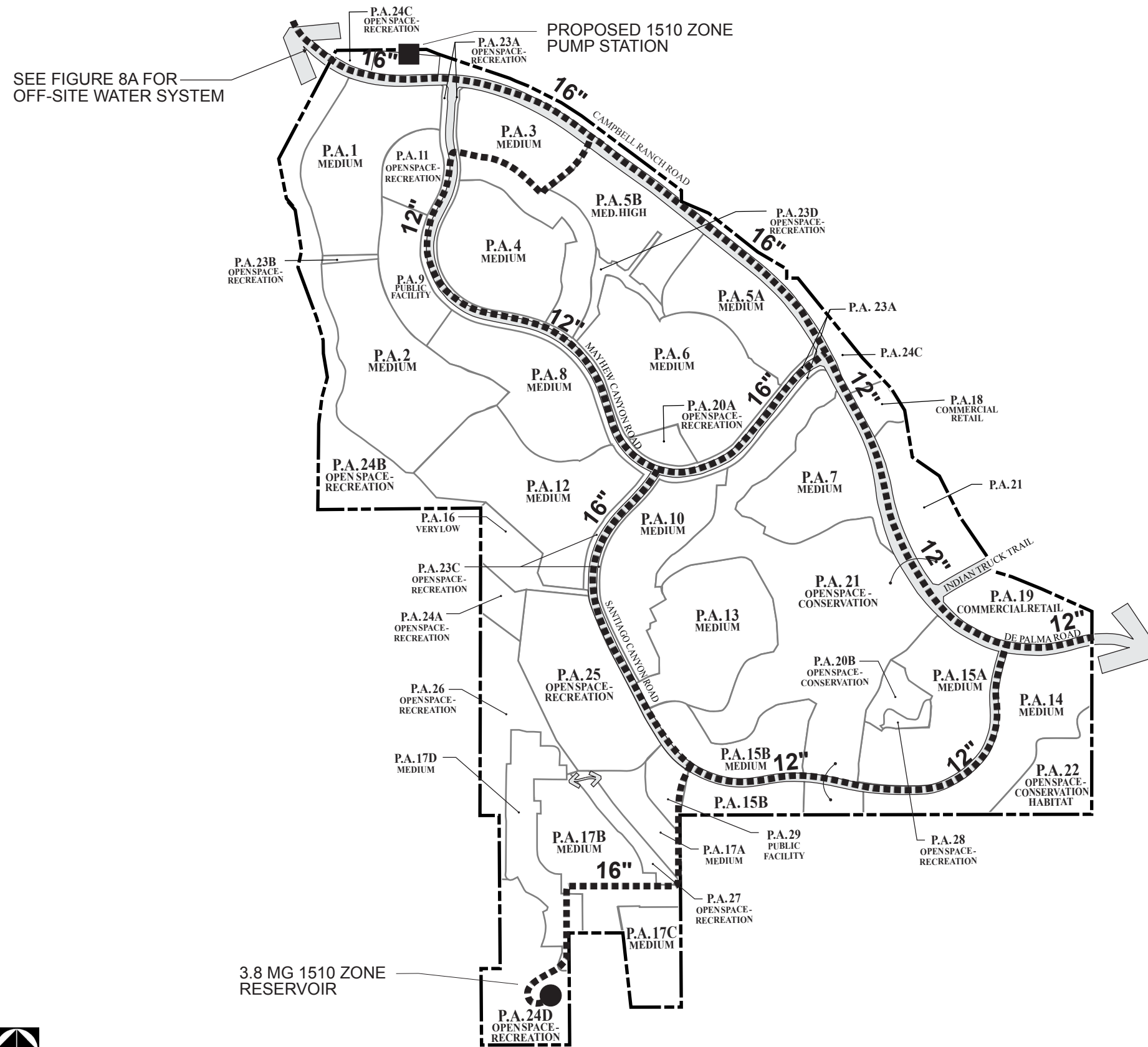
-  PROPOSED PIPELINE
-  EXISTING PIPELINE
-  EXISTING RESERVOIR
-  EXISTING ROADWAY



Figure 8A



**LEGEND**




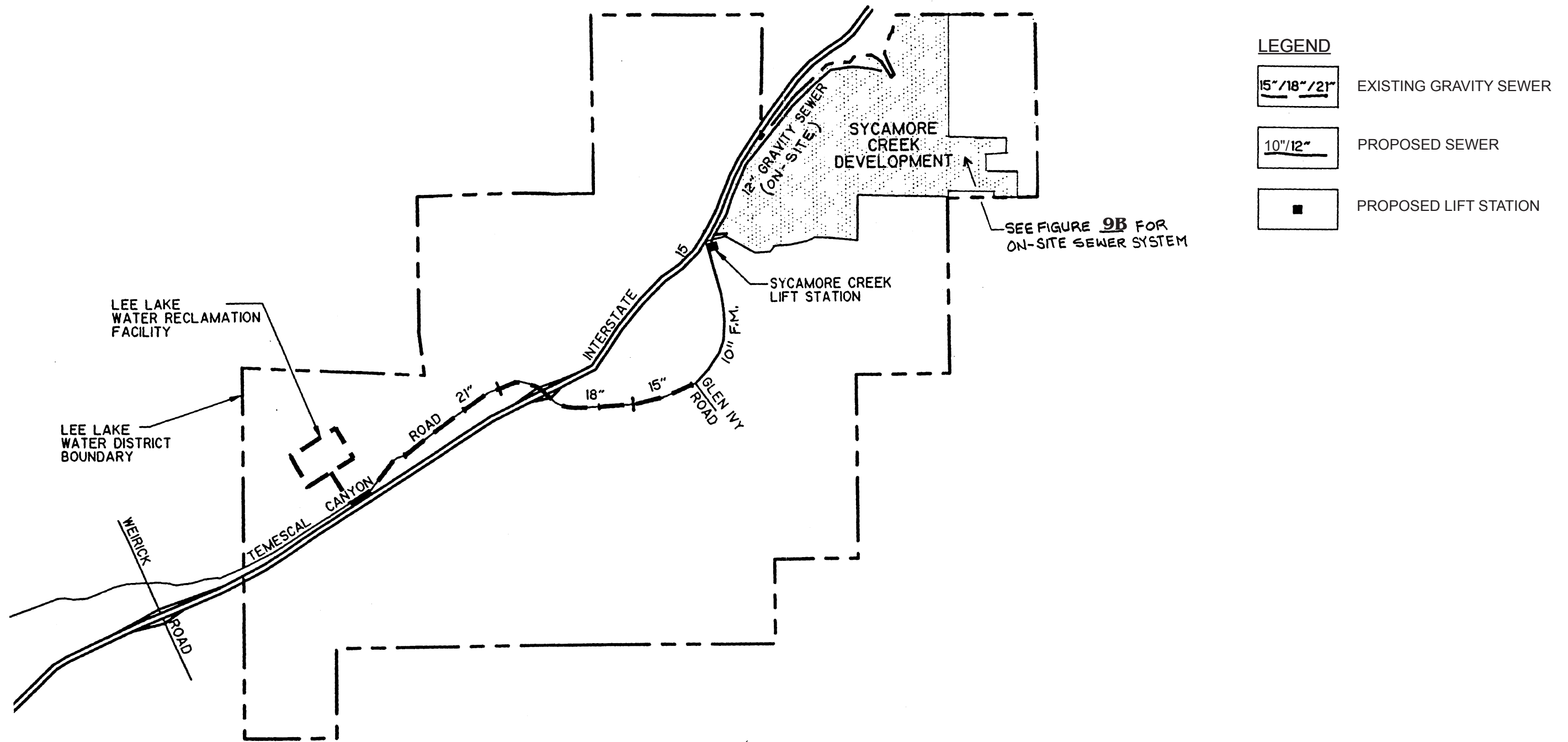
-  WATER MAIN (SIZES AS NOTED)
-  PUMP STATION
-  RESERVOIR




Figure 8B



SEE FIGURE 9A FOR  
 OFF-SITE SEWER SYSTEM

**LEGEND**

8"  SEWER MAIN  
 (SIZES AS NOTED)

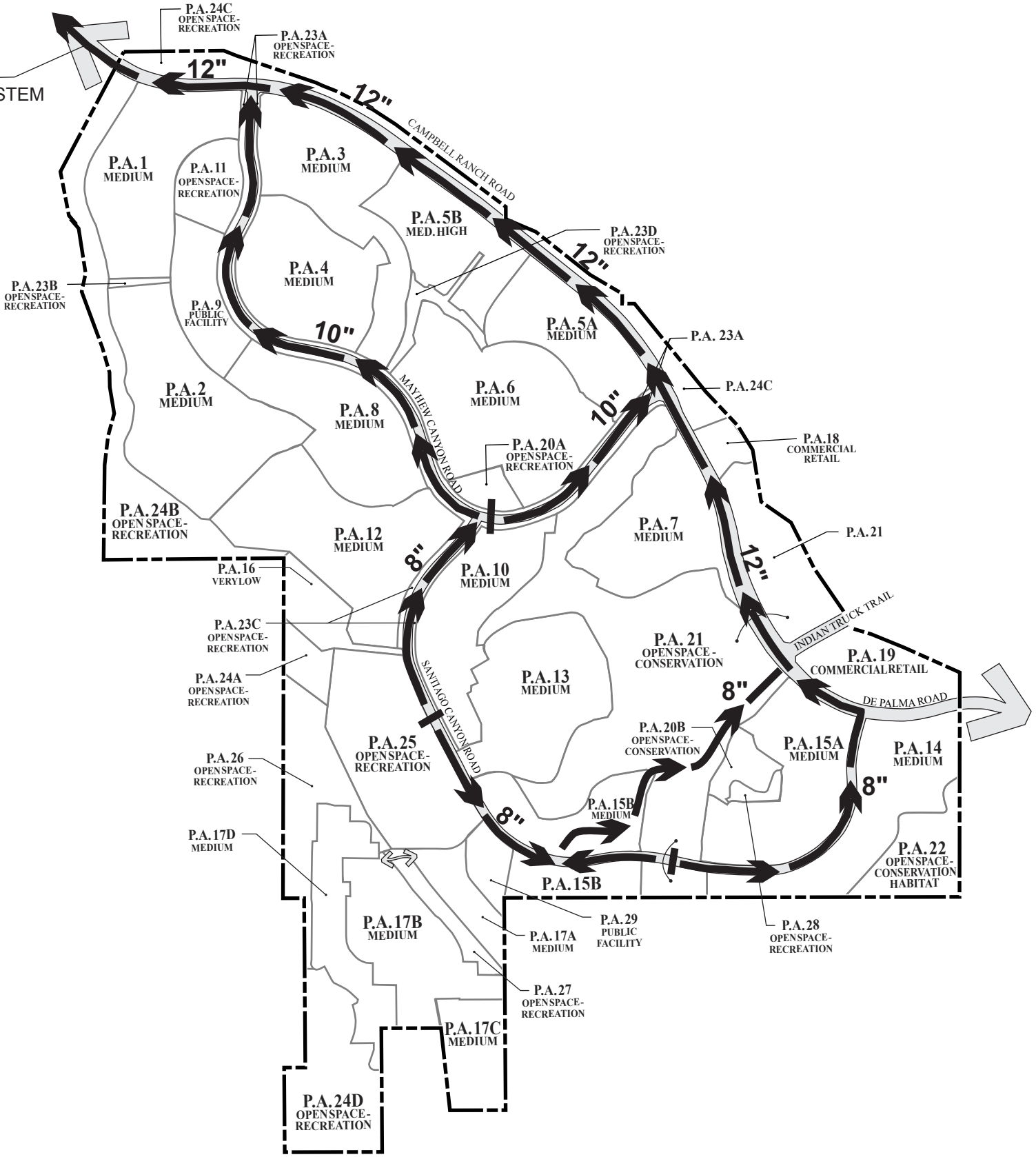


Figure 9B

**5. Public Facility Sites and Project Phasing Plan**

**a. Public Facility Phasing Description**

In order to insure timely development of public facilities, a phasing plan has been prepared for the parks and passive recreation areas including Planning Areas 11, 20A, 25, 26, 27, and 28; for the school site, Planning Area 9; for the paseo greenbelts, Planning Areas 23A, 23B, 23C, and 23D; the secondary trail, and for the dedication of all open space – conservation and conservation habitat areas, Planning Areas 20B, 21, 22. Please see Figure 10, *Conceptual Phasing Plan*.

**b. Public Facility Phasing Schedule**

Public facility construction shall be phased as provided by the *Public Facilities Phasing Table*, Table III.

**Table III  
PUBLIC FACILITIES PHASING**

| <u>PLANNING AREA</u> | <u>PUBLIC FACILITY</u> | <u>SIZE OF SITE</u> | <u>MILESTONES AND REQUIREMENTS</u>   |
|----------------------|------------------------|---------------------|--|
| 9                    | Elementary School      | 10.4 ac             | Planning Area 9 has been dedicated to the Corona-Norco Unified School District. The Dr. Bernice Jameson Todd Elementary School opened for students in August 2007.   |
| 11                   | Park                   | 8.3 ac              | The park in Planning Area 11 was constructed as part of Phase II and is operational.   |
| 20A                  | Park                   | 3.1 ac              | The Sycamore Creek Clubhouse was constructed as part of Phase I and is operational.  |
| 25                   | Regional Sports Park   | 25.0 ac             | All preliminary park improvements, including grading and stubbing of utilities, were completed by the master developer as part of Phase II. All final design and improvements will be completed by the County in accordance with their finance and funding mechanisms.   |
| 26                   | Open Space             | 13.9 ac             | Prior to the issuance of the 63rd building permit within Planning Areas 17A, B, C, and/or D, plans for the open space within Planning Area 26 shall be submitted to the County for review. Prior to the issuance of the 150th building permit within Planning Areas 17A, B, C, and/or D, the open space within Planning Area 26 shall be constructed, planted and operational (Phase III). |
| 27                   | Passive Park           | 4.2 ac              | Prior to the issuance of the 21st building permit within Planning Areas 17A, B, C, and/or D, plans for the passive park within Planning Area 27 shall be submitted to the County for review. Prior to the issuance of  |

| <u>PLANNING AREA</u> | <u>PUBLIC FACILITY</u>            | <u>SIZE OF SITE</u> | <u>MILESTONES AND REQUIREMENTS</u>  |
|----------------------|-----------------------------------|---------------------|---|
| 28                   | Park                              | 1.2                 | the 42nd building permit within Planning Areas 17A, B, C, and/or D, the passive park within Planning Area 27 shall be constructed, planted and operational (Phase III).<br>Prior to the issuance of the 1,308th building permit within the Specific Plan area, the park within Planning Area 28 shall be constructed and operational (Phase III).                                     |
| 23A, 23B<br>23C, 23D | Paseo Greenbelt System            | 13.9 ac             | The paseo greenbelt system has been constructed and is operational.   |
| 20B                  | Open Space - Conservation         | 4.9                 | The open space area in Planning Area 20B shall be dedicated to a Master Homeowners' Association or similar public/private entity prior to the issuance of the 1,308th building permit within the Specific Plan area (Phase III).  |
| 21                   | Open Space - Conservation         | 85.3 ac             | The open space-conservation area in Planning Area 21 was dedicated to a Master Homeowners' Association as part of Phase I.  |
| 22                   | Open Space – Conservation Habitat | 9.6                 | Will be dedicated to the Western Riverside County Regional Conservation Authority prior to the issuance of the 1,350 <sup>th</sup> building permit within the Specific Plan area (Phase III).   |
| 24A                  | Open Space                        | 3.5 ac              | Prior to the issuance of the 63rd building permit within Planning Areas 17A, B, C, and/or D, plans for the open space within Planning Area 24A shall be submitted to the County for review. Prior to the issuance of the 150th building permit within Planning Areas 17A, B, C, and/or D, the open space Planning Area 24A shall be constructed, planted and operational (Phase III). |
| 24B                  | Open Space                        | 25.6 ac             | Open space in Planning Area 24B was dedicated to the Master Homeowners' Association during development of Phase II.   |
| 24C                  | Open Space                        | 7.7 ac              | Open space in Planning Area 24C was dedicated to the Master Homeowners' Association during development of Phase I.  |
| 24D                  | Open Space                        | 16.7 ac             | Prior to the issuance of the 105th building permit within Planning Areas 17A, B, C, and/or D, plans for the open space within Planning Area 24D shall be submitted to the County for review. Prior to the issuance of   |

| <u>PLANNING AREA</u> | <u>PUBLIC FACILITY</u>                   | <u>SIZE OF SITE</u> | <u>MILESTONES AND REQUIREMENTS</u>   |
|----------------------|--|---------------------|--|
|                      | Interpretive Center                      |                     | the 126th building permit within Planning Areas 17A, B, C, and/or D, the open space within Planning Area 26 shall be constructed, planted and operational (Phase III).<br>Prior to the issuance of the 1,237th building permit, plans for the Interpretive Center, shall be approved by the County and the Riverside-Corona Resource Conservation District. Prior to the issuance of the 1,737th building permit, the Interpretive Center shall be constructed and operational.  |
|                      | Regional Trail                           |                     | To be completed concurrently with development of Planning Area 15B and 25.   |
|                      | Secondary Trail                          |                     | To be completed concurrently with development of Planning Areas 14, 15A, 26, and 27.   |
|                      | Temescal Valley Community Entry Monument |                     | In accordance with the Temescal Valley Design Guidelines, a Secondary Entry Monument shall be constructed near the Indian Truck Trail /Campbell Ranch Road intersection. The Secondary Entry Monument shall be constructed in accordance with the design standards established in the Temescal Valley Design Guidelines. Prior to the issuance of the 1,309th building permit within the Specific Plan area, plans for the Secondary Entry Monument shall be approved by the County. The Secondary Entry Monument shall be constructed prior to issuance of the 1,455th building permit within the Specific Plan area. |
| 29                   | Water Quality Basin                      |                     | Prior to the issuance of the 15th building permit within Planning Areas 17A, B, C, and/or D, the water quality basin in Planning Area 29 shall be constructed..  |



**c. Project Phasing Plan Description**

The proposed project will be developed in three phases, in response to market demands, and according to a logical and orderly extension of roadways, public utilities and infrastructure. (See Figure 10, *Conceptual Phasing Plan*; Table IV, *Phasing Plan*.)

Phase I included medium and medium high residential development in Planning Areas 3, 4, 5A, 5B and 6. In addition to residential development, a 2.7-acre commercial site (Planning Area 18) was developed along Campbell Ranch Road southeast of the intersection of Campbell Ranch Road and Mayhew Canyon Road. Planning Area 18 also features a fire station that is owned and operated by the County of Riverside. In Planning Area 21, an 85.3-acres open space-conservation area was dedicated to the Master Homeowner's Association. The 25.6-acre open space area in Planning Area 24B, which runs parallel to the western boundary of the community, and the 7.7-acre open space site in Planning Area 24C, which runs parallel with Campbell Ranch Road, also were dedicated to the Master Homeowners Association. A 3.2-acre paseo greenbelt (Planning Area 23D), 5.0-acre paseo greenbelt (portion of Planning Area 23A) and a 3.1-acre park site (Planning Area 20A) will was developed during this phase.

Phase II included very low, and medium density residential development in Planning Areas 1, 2, 8, 10, 12, 13, and 16. An 11.9-acre commercial site was developed in Planning Area 19, located southeast of the intersection of Campbell Ranch Road and Indian Truck Trail. In Planning Area 9, a 10.4-acre Elementary School site was dedicated to the Corona-Norco Unified School District (The Dr. Bernice Jameson Todd Elementary School opened for students in August 2007). Three paseo greenbelts totaling 5.7 acres (Planning Areas 23B, 23C and a portion of 23A) and one park site totaling (Planning Area 11) were developed. All preliminary improvements to Planning Area 25, including grading and stubbing of utilities, were completed by the master developer during Phase II, and this area was conveyed to the County, which is responsible for all remaining improvements for the park. A portion of the regional trail system was developed during this phase.

Phase III will include medium and medium high density residential development in Planning Area 7, 14, 15A, 15B, 17A, 17B, 17C, and 17D. The 3.5-acre open space site in Planning Area 24B and the 16.7-acre open space site in Planning Area 24D shall be dedicated to a Master Homeowner's Association. The 4.9 open space-conservation area in Planning Area 20B shall be dedicated to the Master Homeowners' Association prior to the issuance of the 1,350<sup>th</sup> building permit. The 9.6-acre open space-conservation habitat area within Planning Area 22 also shall be dedicated to the Western Riverside County Regional Conservation Authority prior to the issuance of the 1,350<sup>th</sup> building permit. Planning Area 26, which consists of open space, Planning Area 27, which includes a greenbelt, and PA 29, which includes a stormwater detention/water quality basin, will be developed as part of Phase III. The facilities within Planning Areas 26 and 27 shall be constructed prior to the issuance of the 1,737<sup>th</sup> building permit, and these areas shall be dedicated to and maintained by the Master Homeowners' Association. One park site totaling 1.2 acres (PA 28) will be constructed in this Phase, prior to the issuance of the 1,350<sup>th</sup> building permit. The remaining segments of the regional and secondary trail systems will be completed during this phase.

**d. Project Phasing Standards**

- 1) Prior to the approval of any tentative subdivision map conceptual landscape improvement plans shall be submitted to the County Planning Department for approval. In addition, prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for that stage of development, shall be submitted to the County Planning Department for approval. The improvement plans shall include, but not be limited to the following:
  - Grading plan.
  - Landscape and irrigation plans certified by a landscape architect.
  - A hardscaping plan with location, type and quantity of potential recreational amenities/facilities.
  - Fence treatment plans.
  - Special treatment/buffer area treatment plans.
  
- 2) Each Planning Area shall include development of adjacent common open space areas and requisite infrastructure.
  
- 3) Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, provided adequate vehicular access is constructed for all dwelling units in each phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.

**Table IV  
PROPOSED PHASING PLAN<sup>1</sup>**

| LAND USE                        | PLANNING AREA    | ACRES        | DWELLING UNITS |
|---------------------------------|------------------|--------------|----------------|
| <b>PHASE I</b>                  |                  |              |                |
| Medium Density Residential      | 6                | 35.8         | 155            |
| Medium Density Residential      | 3                | 24.4         | 114            |
| Medium Density Residential      | 4                | 22.6         | 100            |
| Medium Density Residential      | 5A               | 17.2         | 82             |
| Medium High Density Residential | 5B               | 16.8         | 89             |
| Commercial Retail               | 18               | 2.7          | 0              |
| Open Space - Recreation         | 23D              | 3.2          | 0              |
| Open Space – Conservation       | 21               | 85.3         | 0              |
| Open Space – Recreation         | 24C              | 7.7          | 0              |
| Open Space - Recreation         | 20A              | 3.1          | 0              |
| Open Space - Recreation         | 23A (portion of) | 5.0          | 0              |
| <b>SUBTOTAL</b>                 |                  | <b>223.8</b> | <b>540</b>     |

| <b>Table IV<br/>PROPOSED PHASING PLAN<sup>1</sup><br/>(Continued)</b> |                      |              |                       |
|---|----------------------|--------------|-----------------------|
| <b>LAND USE</b>   | <b>PLANNING AREA</b> | <b>ACRES</b> | <b>DWELLING UNITS</b> |
| <b>PHASE II</b>   |                      |              |                       |
| Very Low Density Residential  | 16                   | 6.7          | 2                     |
| Medium Density Residential  | 13                   | 26.0         | 71                    |
| Medium Density Residential  | 8                    | 23.1         | 93                    |
| Medium Density Residential  | 10                   | 23.6         | 92                    |
| Medium Density Residential  | 1                    | 23.5         | 101                   |
| Medium Density Residential  | 2                    | 32.1         | 145                   |
| Medium Density Residential  | 12                   | 35.6         | 152                   |
| Commercial Retail   | 19                   | 11.9         | 0                     |
| Open Space - Recreation   | 11                   | 8.3          | 0                     |
| Open Space - Recreation   | 25                   | 25.0         | 0                     |
| Public Facility   | 9                    | 10.4         | 0                     |
| Open Space - Recreation   | 24B                  | 25.6         | 0                     |
| Open Space - Recreation   | 23B                  | 0.6          | 0                     |
| Open Space - Recreation   | 23C                  | 1.7          | 0                     |
| Open Space - Recreation   | 23A (portions of)    | 3.4          | 0                     |
| <b>SUBTOTAL</b>   |                      | <b>257.5</b> | <b>656</b>            |
| <b>PHASE III</b>  |                      |              |                       |
| Medium Density Residential  | 17A                  | 6.9          | 25                    |
| Medium Density Residential  | 17B                  | 22.0         | 82                    |
| Medium Density Residential  | 17C                  | 7.5          | 31                    |
| Medium Density Residential  | 17D                  | 15.1         | 55                    |
| Medium Density Residential  | 14                   | 22.4         | 59                    |
| Medium Density Residential  | 15B                  | 21.0         | 87                    |
| Medium Density Residential  | 15A                  | 23.3         | 115                   |
| Medium Density Residential  | 7                    | 20.6         | 87                    |
| Open Space - Recreation   | 28                   | 1.2          | 0                     |
| Open Space – Recreation   | 24A                  | 3.5          | 0                     |
| Open Space – Conservation Habitat                                     | 22                   | 9.6          | 0                     |
| Open Space – Recreation   | 24D                  | 16.7         | 0                     |
| Open Space – Conservation   | 20B                  | 4.9          | 0                     |
| Open Space – Recreation   | 26                   | 13.9         | 0                     |
| Open Space – Recreation   | 27                   | 4.2          | 0                     |
| Public Facility   | 29                   | 2.3          | 0                     |
| <b>SUBTOTAL</b>   |                      | <b>195.1</b> | <b>541</b>            |
| <b>OTHER LAND USES</b>  |                      |              |                       |
| Roads (not by Phase)  |                      | 40.7         | -                     |
| <b>PROJECT GRAND TOTAL</b>  |                      | <b>717.1</b> | <b>1,737</b>          |

1) Phasing Plan may be subject to change based upon market conditions and physical boundaries.

# Sycamore Creek CONCEPTUAL PHASING PLAN

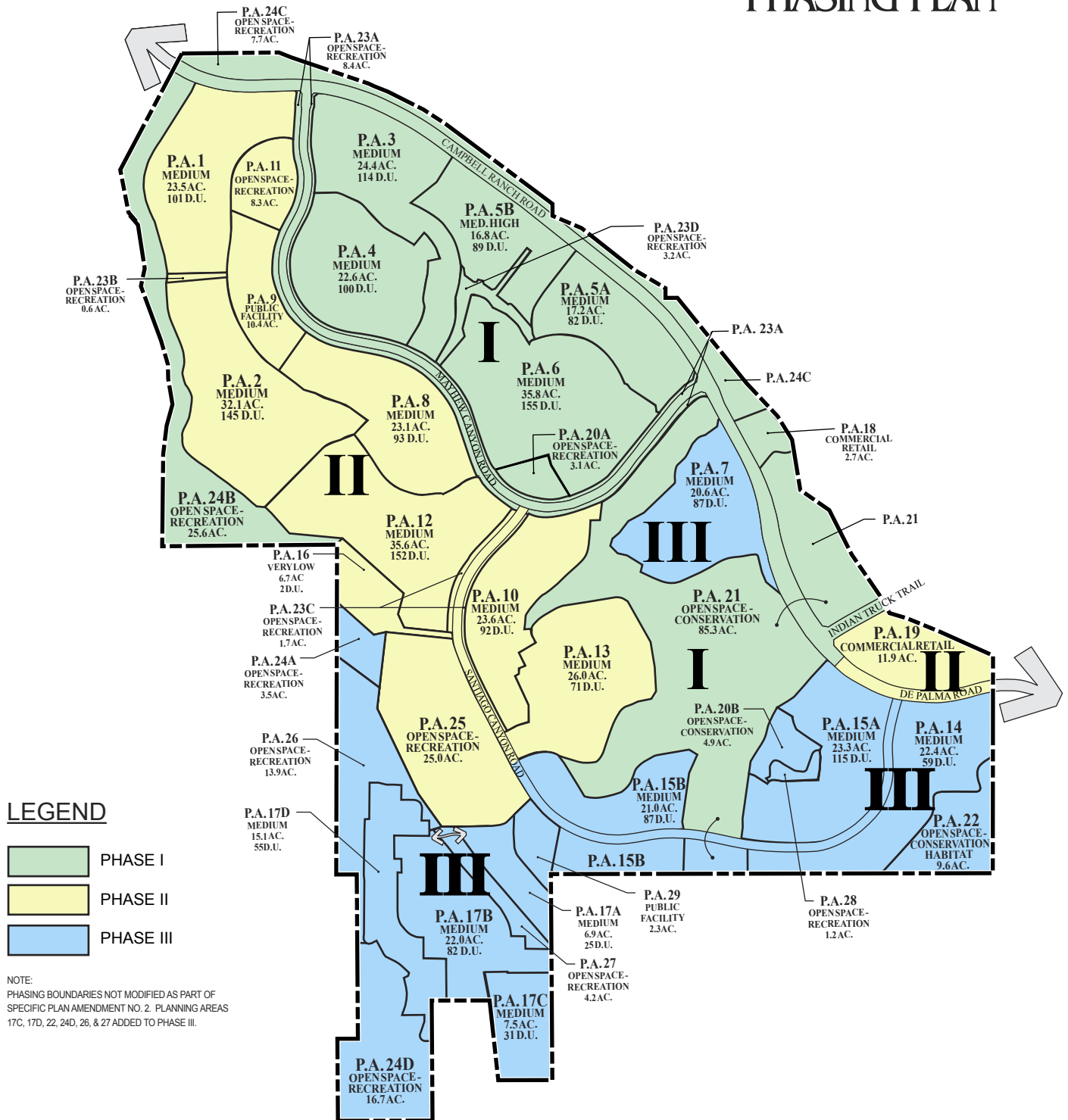


Figure 10

## **6. Grading Plan**

### **a. Plan Description**

The SYCAMORE CREEK Specific Plan Amendment No. 2 grading is tailored to the existing topography of the project site. It is intended that the proposed plan be sensitive to and reflect natural landforms where possible, so that different, residential, commercial and recreational areas are distinguished and separated by topographic features. (See Figure 11, *Grading Plan*.)

According to an earthwork quantity take-off conducted by the project engineer, it appears that the project site will balance and will not require import or export. As discussed in the Engineering Report, (Technical Appendices), this Grading Plan also establishes a basis for appropriate treatment of drainage requirements and accommodates a street system that meets County of Riverside standards for acceptable grades.

### **b. Development Standards**

- 1) All grading activities shall be in substantial conformance with the overall Grading Plan (Figure 11), and shall implement any grading-related mitigation measures outlined in: Seismic Safety (EIR), Slopes and Erosion (EIR) and Preliminary Geotechnical Investigations (EIR Technical Appendices).
- 2) Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include: Techniques employed to prevent erosion and sedimentation during and after the grading process; approximate time frames for grading; identification of areas which may be graded during higher probability rain months (January through March), and preliminary pad and roadway elevations.
- 3) All streets shall have a gradient not exceeding 15%.
- 4) Prior to initial grading activities, a soils report and geotechnical study shall be performed that further analyze on-site soil conditions and slope stability and include appropriate measures to control erosion and dust. (See Preliminary Geotechnical Investigations in EIR Technical Appendices.)
- 5) Slopes exceeding ten (10') feet in vertical height shall be hydromulched, prior to final acceptance and prior to the beginning of the rain season (October-March).
- 6) All on-site grading will be done in accordance with all applicable County codes, standards, and regulations.
- 7) Where cut and fill slopes are created higher than ten (10') feet, detailed landscaping and irrigation plans shall be submitted to the Planning Department when grading plans are submitted for approval. The plans shall be reviewed for type and density of ground cover, shrubs and trees. Slopes exceeding 15 feet in vertical height shall be maintained by the Master Homeowners' Association.

- 8) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- 9) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- 10) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
- 11) The overall shape, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
- 12) Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 13) Grading work shall be balanced on-site wherever possible.
- 14) Graded but undeveloped land shall be maintained weed-free and planted with interim landscaping, such as hydroseed, within ninety (90) days of completion of grading, unless building permits are obtained.
- 15) Unless otherwise approved by the County of Riverside all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot. The Grading Plan will reflect a contouring and landscaping program intended to control slope erosion.
- 16) Prior to commencing any grading, including clearing and grubbing, approval shall be obtained from Riverside County Building and Safety and any permits required shall have been issued.
- 17) If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance.
- 18) Soil stabilizers should be used to control dust as required by SCAQMD Rule 403.
- 19) All grading shall conform to the County General Plan and Ordinance No. 457.
- 20) If mass grading of the entire Specific Plan site is proposed at the same time that application for further subdivision of its parcels is being made, an exception to ordinance 460, Section 4.4.b shall be obtained from the Planning Director prior to issuance of the mass grading permit (Ordinance 460, Section 3.1).
- 21) In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department - this may require a written clearance from the Planning Department.
- 22) Slopes steeper than 2:1 and higher than ten feet (10') are allowed provided they are recommended to be safe in a slope stability report prepared by a soils engineer or an engineering geologist. The slope stability report shall also contain recommendations for landscaping and erosion control. County Ordinance No. 457 will be observed regarding setback requirements with regard to slopes.



## **7. Open Space and Recreation Plan**

### **a. Plan Description**

A major feature of the SYCAMORE CREEK Specific Plan Amendment No. 2 is the Open Space and Recreation Program, depicted in Figure 12. Entering the site from Indian Truck Trail treats residents and guests to a panoramic view of natural open space set before a backdrop of the eastern flank of the Santa Ana Mountains and the Cleveland National Forest. The project entry design features an interpretive center, landscape-screened parking area and a view of wetlands, riparian, scrub and oak woodland habitats. The Open Space and Recreation Plan is extensive and provides a vast array of active and passive recreational opportunities in which all residents of the SYCAMORE CREEK community can participate. In addition to approximately 150 acres of natural, enhanced and re-vegetated open space, the program incorporates paseo greenbelts and parkway paseos in a coordinated, cohesive plan that interrelates with and links the various neighborhoods of the community with each other and to certain destination points such as parks, natural open space, school and commercial facilities. Within each paseo greenbelt, activity nodes will be provided at the intersection of adjoining cul-de-sacs so as to provide additional recreational opportunities. Varying types and degrees of activities will be available which will provide residents the opportunity to take quiet "walks in the park"; use an on-site trail system; participate in active outdoor informal recreational activities; and participate in potentially structured and organized sporting events, courses and recreational leagues which could occur at any of the active parks. Opportunities vary from passive (i.e. open space, paseo greenbelts), to active (i.e. neighborhood parks, trails, etc.).

It is important to note that all Open Space and Recreation areas (except the Regional Sports Park in PA 25 and the Open Space – Conservation Habitat in PA 22) will be owned by the HOA and will be maintained by public, quasi-public and/or non-profit entities. In addition, all paseos and parkways will be owned by the HOA and maintained by the CSA. Specifically, parks located in Planning Areas 11, 20A and 28 and all greenbelt areas shall be owned by the HOA and maintained by CSA 134. Manufactured slopes or natural open space shall be owned by the HOA and maintained by CSA 134. Open Space – Conservation areas in Planning Areas 20B and 21 shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Resource Conservation District to provide for the long-term maintenance of these Planning Areas. Open Space in Planning Area 22 shall be dedicated to the Western Riverside County Regional Conservation Authority to contribute toward the formation of a wildlife movement corridor (Constrained Linkage 3), as identified by the Western Riverside County Multiple Species Habitat Conservation Plan. In the case of manufactured or natural slopes located within numbered lots: if the slope requires the installation of a terrace drain, the slope shall be maintained above the terrace drain by CSA 134 within a maintenance easement. The area below the terrace drain shall be the responsibility of the individual homeowner.

Adjacent to the SYCAMORE CREEK project, can be found the Cleveland National Forest. This majestic forest, with its peaks and canyons, provides beautiful scenic aspects to the area. SYCAMORE CREEK enhances this beauty by providing 45.8 acres of open space within Planning Areas 24A, 24B, and PA 24D along the western community boundary serving as an excellent buffer between the residential uses within the project site and the adjacent mine, and also transitions to the open space of the forest southwest of the site. The project trail system provides access directly to the forest. In addition, the project provides a 90.2-acre Open Space - Conservation area (Planning Areas 20B



# OPEN SPACE & RECREATION PLAN

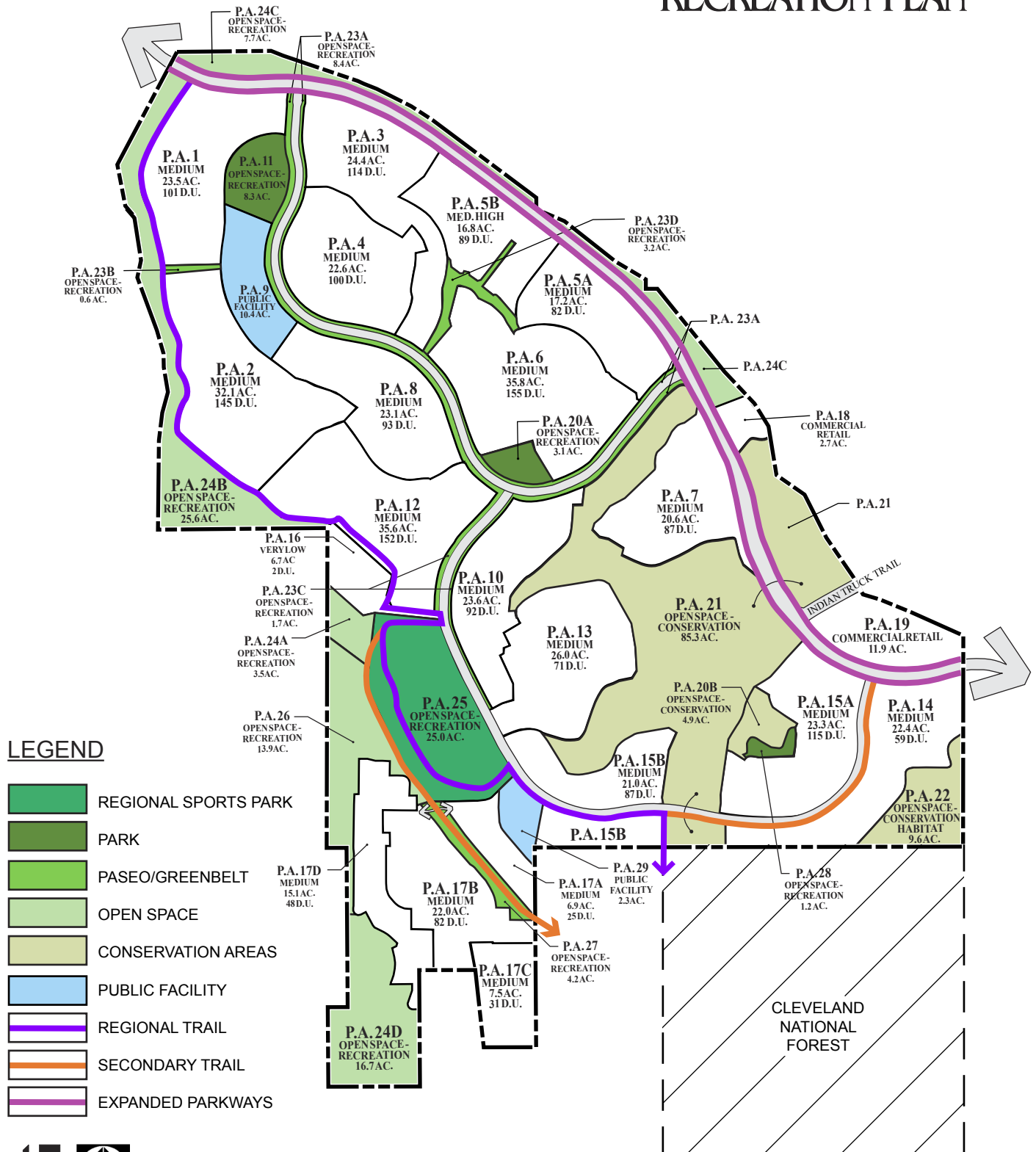


Figure 12

and 21) which links to the Cleveland National Forest. This link will consist of existing and re-vegetated riparian habitat, wetland, oak woodlands, existing Riversidean Sage Scrub and trails. In addition, a 9.6-acre open space area comprised of natural habitat is provided at the southeastern boundary of the SYCAMORE CREEK community to serve as a wildlife movement corridor. Overall, 167.2 acres of open space have been set aside throughout the SYCAMORE CREEK community, including approximately 67.4 acres of open space buffers along the community boundary (PA 24A, 24B, 24C, 24D, and 26), 90.2 acres of Open Space – Conservation areas, including riparian habitat (PA 20B and PA 21), and 9.6 acres of conservation habitat (PA 22).

Immediately to the west of SYCAMORE CREEK, are surface mining operations. These activities will be buffered from the residential development with the use of a sound attenuation barrier within the landscaped setback areas. As depicted in Figures 21 and 21A, as well as the exhibits in the "Mining Noise Impact Study" (See FEIR Technical Appendices), this barrier would contain a 2:1 slope berm planted with coniferous or pine trees and drought-tolerant ground covers, a 6' solid masonry wall and a 10' chain-link fence located at the property line. The barrier will be constructed as needed to meet the sound attenuation standards adopted by the approved SYCAMORE CREEK Specific Plan No. 256. As required by EIR No. 325, two rows of closely spaced coniferous or pine trees are required on the slope between the project and the adjacent mining operation to mitigate potential adverse dust conditions. An additional row of closely spaced trees will be placed at or near the toe of the slope adjacent to the mining operation to act as a first line of defense against wind blown matter. These trees would be planted between 15 and 20 feet apart to create a dense windbreak when fully grown. Please refer to the "Analysis of the Air Quality Impacts of Sand and Gravel Operations" in the FEIR Technical Appendices for more detailed information.

The design features, as noted above, are adequate to mitigate noise, dust and visual impacts associated with potential land use conflicts between the existing mining operation and SYCAMORE CREEK Specific Plan Amendment No. 2.

The various park and recreational areas are linked to each other and the other elements of the community with a landscaped parkway paseo and paseo greenbelt system. The greenbelt system, as shown in Figures 12, 37 and 38, is augmented by a parkway paseo system adjacent to collector, secondary and major roadways and an open space trail system. These two paseo systems will be landscaped as shown in the *Design Guidelines* (Section IV). The various elements of the program are discussed below and in Table V.

**Table V**  
**SYCAMORE CREEK OPEN SPACE AND RECREATION PLAN**

|  | <u>Acreage</u> |
|--|----------------|
| 1. Community Recreational Opportunities  |                |
| a) Parks   | 12.6           |
| b) Regional Sports Park  | 25.0           |
| c) School*   | 10.4           |
| <b>SUBTOTAL</b>  | <b>48.0</b>    |
| 2. Open Space, Conservation Areas Paseo Greenbelts,<br>Parkway Paseo Systems and Recreational Trails |                |
| a) Conservation Areas  | 99.8           |
| b) Open Space  | 67.4           |
| c) Paseo Greenbelts/Activity Nodes   | 17.6           |
| d) Parkway Paseos**  |                |
| e) Regional Trail  |                |
| f) Secondary Trail**   |                |
| <b>SUBTOTAL</b>  | <b>184.8</b>   |
| <b>GRAND TOTAL</b>   | <b>232.8</b>   |

\*Note: Recreational facilities provided at the elementary school may be used by the residents of the Sycamore Creek community

\*\*Note: Additional linear park space has been provided in the following forms: 1) Expanded LDZ zones along Campbell Ranch Road and Santiago Canyon Road - 16.5 acres exclusive of Roadway; and 2) Secondary Trail - 0.3 acres exclusive of Roadway.

In accordance with Riverside County Ordinance No. 460 and the State Quimby Act, residential development projects must provide 5.0 acres of active park land per 1,000 residents. Sycamore Creek Specific Plan Amendment No. 2 provides for the ultimate development of up to 1,737 homes. Using population generation rates contained within the Riverside County General Plan, the Sycamore Creek community may feature up to 5,228 residents at ultimate build-out (1,737 homes x 3.01 persons per household = 5,228 persons), which corresponds to a park land requirement of 26.1 acres  $([5,228 \text{ residents}/1,000 \text{ residents}] \times 5.0 \text{ acres} = 26.1 \text{ acres})$ .

Per Riverside County Ordinance No. 460 (Section 10.35.I.7.d), active recreation areas are eligible for a 100-percent credit toward fulfilling park land dedication requirements. As depicted on Figure 12 and summarized in Table V, above, Sycamore Creek Specific Plan Amendment No. 2 provides 48.0 acres of active recreational areas, which therefore, satisfies the park land dedication requirements of Riverside County and the State Quimby Act.

1) Community Recreational Opportunities

Community recreational opportunities are those opportunities which are available for the use and enjoyment of residents of SYCAMORE CREEK. They are segmented and discussed as follows:

- \* Parks
- \* Regional Sports Park
- \* School

a) Parks

Three neighborhood parks totaling 12.6 acres are provided. One park (swim park), which consists of 3.1 acres (Planning Area 20A), is located adjacent to Planning Areas 6, 10 and 12. A second park (Planning Area 28) will be located near Santiago Canyon Road adjacent to residential development (Planning Area 15), and the open space – conservation area located in Planning Area 20B. This park will be 1.2 acres in size and will include both passive and active recreational amenities. The third park is an active park located next to the school along Mayhew Canyon Road and will be 8.3 acres in size (Planning Area 11). The parks located in Planning Areas 11, 20A and 28 and all greenbelt areas shall be owned by the HOA and maintained by CSA 134.

These three parks will be provided with the following recreational facilities:

(1) 3.1 Acre Swim Park - Planning Area 20A, See Figure 33.

The park is subject to the Planning Department for approval in conjunction with the tentative map which includes this respective park area. Program elements planned may include the following:

- Swimming pool
- Clubhouse
- Spa
- Tot lot
- Family picnic
- Lighted paseo path
- Off-street parking
- Adventure play area
- Restrooms

(2) 1.2 -Acre Park - Planning Area 28, See Figure 34.

The park is subject to the Planning Department for approval in conjunction with the tentative map which includes this respective park area. Program elements planned may include the following:

- Tot lot
- Shaded seating area
- Family picnic area
- Lighted concrete walk
- Open lawn play area

(3) 8.3-Acre Park - Planning Area 11, See Figure 35.

The park is subject to the Planning Department for approval in conjunction with the tentative map which includes this respective park area. Program elements planned may include the following:

- One (1) softball field
- Restroom building
- Adventure playground
- Tot lot
- Basketball court (1)
- Family picnic
- Off street parking
- Open play area (soccer/softball field)
- Lighted paseo path

b) Regional Sports Park, See Figure 36

A 25.0-acre Regional Sports Park will be developed within SYCAMORE CREEK (Planning Area 25) by the County of Riverside. The purpose will be to provide a public park and sports facility for the residents of the Temescal Canyon Community. The park will be located adjacent to Planning Areas 10, 12, 13, 16 and 17A and is intended to provide for area needs with such improvements as soccer fields, baseball fields, basketball courts, trails, picnic area, on-site parking, restroom facilities, or other improvements the County of Riverside deems necessary.

For the purpose of the improvements to the park, the developer was responsible for dedicating the necessary land, providing access, rough site grading, and stubbing the required utilities to the edge of the site. The County of Riverside shall be responsible for all design and improvements costs required to develop the Regional Sports Park beyond the stage which the developer has committed to above.

c) School

One 10.4 -acre elementary school site is provided along Mayhew Canyon Road next to the 8.3-acre park. Associated with and on school grounds are recreational equipment and fields for school children and also may be used by the community. Typical recreational equipment and sports fields which may be provided at this school include: playground equipment, basketball courts, softball fields, soccer fields, etc.

All parks will be owned and maintained by a Master Homeowners' Association, Landscaping and Lighting District, County Service Area or similar public/private entity. The school will be owned and maintained by the local school district. The community sports park will be owned and maintained by the County.

2) Open Space, Conservation Areas, Paseo Greenbelts and a Secondary Trail.

a) Open Space and Conservation Areas

Approximately 67.4 acres of open space and 99.8 acres of conservation areas are provided within SYCAMORE CREEK. These areas are primarily located on the western portion of the project adjacent to the Cleveland National Forest and adjacent mining operation, and in the southeastern portion of the project where it serves as a wildlife movement corridor and provides a link with the Cleveland National Forest. Additional open space is located within the project adjacent to Campbell Ranch Road and the freeway. The open space allows for passive recreational activities (such as trails and seating areas) in certain areas designated for "Open Space – Recreation" land uses. Open space within Planning Areas 24A, 24B, 24C, 24D, and 26 shall be owned by the HOA and maintained by CSA 134. Conservation areas in Planning Areas 20B and 21 shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Resource Conservation District to provide for the long-term maintenance of these Planning Areas. Conservation Areas in Planning Area 22 shall be dedicated to the Western Riverside County Regional Conservation Authority to contribute toward the formation of Constrained Linkage 3, a wildlife corridor identified within the Western Riverside County Multiple Species Habitat Conservation Plan. Due to the high sensitivity of the biological resources in Planning Areas 20B, 21, and 22, these areas will not be accessible to the public.

b) Paseo and Parkway Greenbelts/Activity Nodes

A landscaped paseo system (Planning Areas 23A, 23B, 23C, 23D and 23E) will link residential Planning Areas 1, 2, 3, 4, 5A, 5B, 6, 8, 10, 12, 13 and the elementary school and four parks (Planning Areas 11, 20A, 25, and 28). This paseo system will serve to help connect SYCAMORE CREEK residents to the parks and school thereby providing a desirable solution for pedestrian movement in these areas. This parkway system will be landscaped with turf, trees, and various additional plant materials to provide an aesthetically pleasing land use separation. Community "theme" walls will be located adjacent to the parkways. Some of the parkways will meander, thus creating changing and interesting viewpoints to those using them. These parkways will be located within a 24-foot landscaped development zone (LDZ) along the east side and a 16-foot LDZ on the west side of Campbell Ranch Road. A 31' LDZ (north side) and 51' LDZ (south side) along Mayhew Canyon Road shall be provided (see Figures 6B and 19A). Santiago Canyon Road utilizes an enhanced collector (66' r.o.w.), with three different landscape development zones increasing the overall cross-section. Adjacent to Planning Area 12, the LDZ shall be 51' and 21' adjacent to Planning Area 10, (except that portion of PA 10 across from PA 25), as shown on Figures 6B and 19B. Santiago Canyon Road adjacent to both PA 10 and Planning Area 25, shall have a 21' wide LDZ adjacent to PA 10 only. No additional LDZ shall be required adjacent to PA 25, as shown in Figures 6B and 19C). Adjacent to Planning Areas 14, 15A, 15B and where it crosses PA 21, Santiago Canyon Road shall have a standard collector cross-section, except along PA 14 and 15B, where a 20' wide LDZ shall be constructed to provide for a 12' wide trail, as shown in

Figures 6B and 19D. Activity nodes will be provided within the paseo greenbelt at selected locations between adjacent residential cul-de-sacs (see Figures 37 and 38). All greenbelt areas shall be owned by the HOA and maintained by CSA 134.

The following are meant to be guidelines for the paseo areas within SYCAMORE CREEK. In the final design, it may be necessary to vary slightly from these guidelines, but the developer will maintain the proposed character and usability of the paseo system.

- (1) Minimize rate of grade (longitudinal slope) along paseo. Maintain average of 5% or flatter and attempt not to exceed 10% at any point along the walkways.
- (2) Maintain a minimum paseo width of 40' with a minimum flat area of 10'.
- (3) Attempt to create a smooth meandering pattern in horizontal layout that in most cases is adjacent to the toe of slope to prevent paseos from being adjacent to residential lots.
- (4) Create areas for activity nodes in locations indicated on Figure 13. These nodes will be 2,500 square feet in area, graded at a minimum of 2%, and developed as play areas.

In addition, a greenbelt is provided in Planning Area 27. This greenbelt is located in between Planning Areas 17A and 17B, and encompasses the segments of the Glen Ivy North fault that traverse a portion of the SYCAMORE CREEK community, as well as the required limited building zone setback. Habitable structures are not permitted in Planning Area 27. Planning Area 27 may include passive recreational amenities including, but not limited to, the following:

- Hiking trail
- Family picnic/barbecue area
- Seating area

d) Wildlife Corridor

The project provides an open space link to the Cleveland National Forest via the conservation area in Planning Areas 20B and 21, and 22. This corridor will consist of natural and re-vegetated riparian habitats, Riversidean Sage Scrub and other open space areas, and will contribute toward the formation of Constrained Linkage 3 (as identified by the Western Riverside Multiple Species Habitat Conservation Plan). Planning Areas 20B and 21 shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Resource Conservation District to provide for the long-term maintenance of these Planning Areas. Planning Area 22 shall be dedicated to the Western Riverside County Regional Conservation Authority. Due to the high sensitivity of the biological resources in Planning Areas 20B, 21, and 22, these areas will not be accessible to the public.

e) Regional and Secondary Trails

A Regional and Secondary trail system will be provided at SYCAMORE CREEK. The Regional Trail will start along the buffer between the adjacent mining operations and the residential uses west of the intersection of Campbell Ranch Road and Mayhew Canyon Road (along the western boundary of Planning Area 1). It will then continue south along the western boundaries of Planning Area 2, Planning Area 12. The Regional Trail traverses the Regional Sports Park (Planning Area 25) and connects to Santiago Canyon Road adjacent to the southeastern boundary of the Regional Sports Park. The Regional Trail travels east along Santiago Canyon Road, and at Planning Area 15B, the secondary trail veers south toward the project boundary, where it links to existing trails in the Cleveland National Forest. This alignment is consistent with that depicted in the Temescal Canyon Community Plan.

A Secondary Trail is provided along the western boundary of the Regional Sports Park. The Secondary Trail traverses south through Planning Areas 26 and 27, where it ultimately connects to existing trails within the Cleveland National Forest. A Secondary Trail segment also is provided along Santiago Canyon Road. The secondary trail begins at the intersection of De Palma Road and Santiago Canyon Road and ends at Planning Area 15B, where it connects to the Regional Trail.

**b. Development Standards**

- 1) Three neighborhood parks providing both active and passive activities, a Regional Sports Park paseos/greenbelts, and trails will be provided for the benefit of all residents within the community.
- 2) The neighborhood parks in Planning Areas 11 and 20A may contain the following facilities/equipment: picnic area(s), tennis court(s), tot lot(s), playfield(s), restrooms, parking areas and basketball courts.
- 3) When constructed, the school site may contain, at the discretion of the school district, such recreational equipment and sports fields as: playground equipment, basketball courts, softball field(s), soccer field(s), etc.
- 4) The community sports park will be improved by the County in accordance with their financing and funding mechanisms. This park is intended to serve not only the needs of the residents of SYCAMORE CREEK, but the needs of the Temescal Canyon region as well.
- 5) All recreational open space areas will be landscaped and irrigated. Natural and re-vegetated open space will be maintained as required based on plant species and pursuant to any resource agency agreements.
- 6) All recreational facilities will provide parking in accordance to Riverside County standards.
- 7) Landscaping within recreation and open space areas will be further governed by the Development Standards in the Landscaping Plan section of this Specific Plan (Section III) and the Design Guidelines section (Section IV) of this Specific Plan.



- 8) Per the May, 1990 Air Quality report prepared by Michael Brandman Associates, a minimum of two staggered rows of closely planted conifers and/or pines will be planted near the top of the northwest edge of the landscaped berm along the mining operation edge. Refer to Figure 23. In addition, a third row of closely spaced conifers and/or pines will be planted directly adjacent to the mining operation boundary. This third row of trees will act as a first line of defense against wind blown matter and will further minimize adverse impacts. The County may require the issuance of performance bonds by the developer and future maintenance entity, for a period of time to be determined by the County, for the planting, maintenance and replacement of the conifers and/or pines along this edge.
- 9) Planning Area 22 shall be dedicated to the Western Riverside Regional Conservation Authority.

## **8. Landscaping Plan**

### **a. Plan Description**

As illustrated on the *Conceptual Landscape Plan*, Figure 13, project landscaping will play an important role in maintaining project design themes, while emphasizing community continuity. This section of the Specific Plan report will provide a general description and development standards for the Landscaping Plan, with detailed landscaping information being provided in the Design Guidelines Section of this Specific Plan (Section IV).

Entry monumentation statements will provide definition for the SYCAMORE CREEK community, and will be viewed when approaching the site from any direction. Once within the site, entry monumentation will continue to be present at all key intersections. Monumentation will be developed in a hierarchical format from major entry to neighborhood entries, providing initial identification for each residential planning area, and the community as a whole.

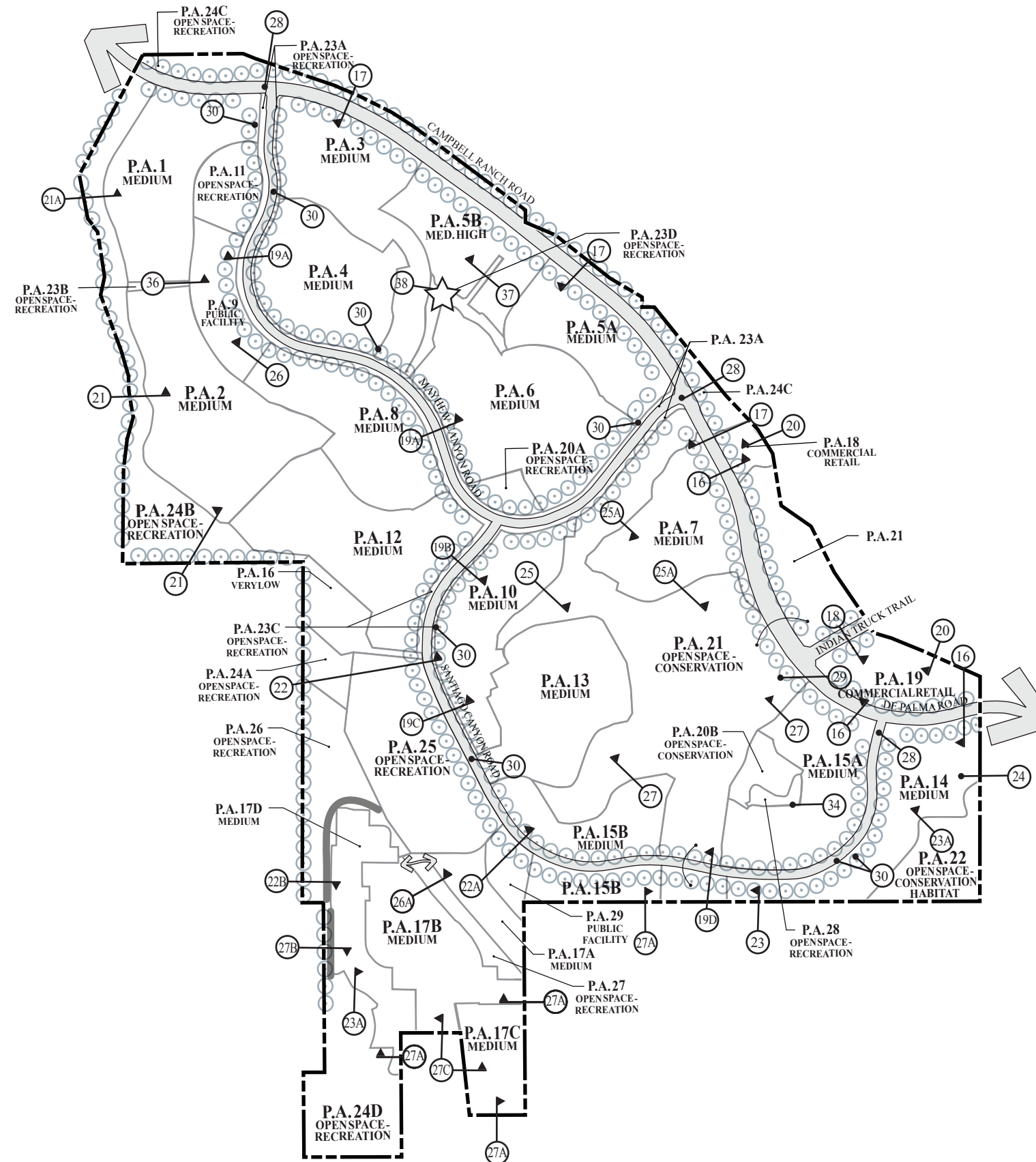
Landscaping will be used to identify the hierarchy of the street system, from major access to interior residential streets, creating definite landscaped corridors. This is accomplished by careful consideration of the relationship between street and plant materials characteristics such as size, form, texture and color.

### **b. Development Standards**

- 1) All detailed landscaping programs for planning areas and roadways will be prepared by a qualified landscape architect for review by County staff, department and decision-making agencies.
- 2) Project entry statements have been designed with landscaping and architectural treatments that project a high quality image for the mixed-use development.
- 3) The landscaping design for the site will include trees, shrubs and ground cover compatible with natural vegetation on-site, where feasible.
- 4) Prior to the approval of any tentative subdivision map conceptual landscape improvement plans shall be submitted to the County Planning Department for approval. In addition, prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for the stage of development, shall be submitted to the County Planning Department for approval. The improvement plans shall include, but not be limited to the following:
  - a) Grading plan.
  - b) Landscape and irrigation plans prepared by a landscape architect licensed in the State of California.
  - c) A planting plan with the following information: seed mixes, mulching and staking methods, and the types, locations, sizes and quantity of plant materials to be used.

- d) A hardscaping plan identifying the type and location of all built features, and details identifying the construction and installation procedures.
  - e) Fencing plans.
  - f) Any other specific information required for a given area or development.
- 5) The applicant and/or developer shall be responsible for maintenance and upkeep of all slope plantings, common landscaped areas and irrigation systems until such time as these operations are turned over to other parties.
  - 6) At the time of recordation of any tentative subdivision which contains a common greenbelt or open space areas, the subdivision shall have those common areas conveyed to the master property owners' association or appropriate public maintenance agency. Any orchard areas retained within open space planning areas may be retained for ownership and maintenance by a private entity. An assessment district or community service district/area, a master home-owners' association, or similar public/private entity may be established for the entire Specific Plan area, which could include provisions for landscape maintenance.
  - 7) The landscaping plan shall reflect the following water conservation methods, whenever possible: use of low water-using plants wherever feasible; group plants of similar water use to reduce over-irrigation of low water-using plants; use mulch extensively; use of efficient irrigation systems to minimize run-off and evaporation and maximize the effectiveness of irrigation.
  - 8) This Specific Plan shall conform to the standards set forth by Riverside County Ordinance No. 859.
  - 9) For further landscape development standards, please refer to Sec. IV.A., *Design Guidelines*.

Sycamore Creek  
**CONCEPTUAL  
 LANDSCAPE PLAN**



**LEGEND**

- 21** PLANNING AREA NUMBER
- XX** INDICATES ENLARGED PLAN VIEW (See Figure XX)
- XX** INDICATES STREET SCENE OR EDGE CONDITION SECTION (See Figure XX)
- ☆ PASEO ACTIVITY NODE
- BERM



## **9. Maintenance Plan**

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for common project facilities will be divided among the Master Homeowners' Association, County Service Areas 134 and 152, a Landscaping and Lighting District, or similar public/private or non-profit entity. The HOA will retain ownership of all recreation areas (except PA 25), common open space and natural open space areas (except for PA 22). The project is within CSA 152 for maintenance of drainage structures and water quality basins, and within CSA 134 for maintenance of landscaping and open space areas.

### **a. Master Homeowners' Association/Landscaping and Lighting District/County Service Area**

Common areas identified in the Specific Plan shall be owned and maintained by a Master Homeowners' Association, Landscaping and Lighting District, County Service Area or similar public/private entity to assume ownership and maintenance responsibility for all common recreation, open space, parks, greenbelts, large slopes, and landscaped areas (including those in commercial areas). Areas of responsibility may include the landscaped areas along Campbell Ranch Road, Indian Truck Trail, Santiago Canyon Road and Mayhew Canyon Road. Specifically, parks located in Planning Areas 11, 20A and 28 and all greenbelt areas shall be owned by the HOA and maintained by CSA 134. Manufactured slopes or natural open space within lettered lots shall be owned by the HOA and maintained by CSA 134. Conservation areas in Planning Areas 20B and 21 shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Resource Conservation District to provide for the long-term maintenance of these Planning Areas. If the manufactured or natural slopes require the installation of a terrace drain, the slope and terrace drain shall be maintained by CSA 134 within a maintenance easement or the HOA. Natural or manufactured slopes higher than 15' shall be maintained by the HOA within a separate lot or easement for that purpose. All brush clearing and fuel modification activities shall be the responsibility of the Master Homeowners' Association.

### **b. Residential Neighborhood Associations**

In certain residential areas of the project, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Potential private recreation centers, common open space areas and potential private roadways exemplify facilities that could come under the jurisdiction of a Neighborhood Association, County Service Area or similar public/private entity.

### **c. Open Space and Parks**

All open space and park areas which are not directly associated with a particular neighborhood, will be the responsibility of a Master Homeowners' Association, Landscaping and Lighting District, County Service Area or similar public/private entity. These areas may include all natural open space areas. Specifically, parks located in Planning Areas 11, 20A and 28 and all greenbelt areas shall be owned by the HOA and maintained by CSA 134. Planning Areas 20B and 21 shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Conservation

District to provide for the long-term maintenance of these Planning Areas. Planning Area 22 shall be dedicated to and maintained by the Western Riverside County Regional Conservation Authority.

**d. Project Roadways**

All public project roadways will be designed and constructed to standards acceptable to the County and will therefore be entered into the County system of roads for operation and maintenance as approved by the Board of Supervisors. The roadways within Planning Areas 7, 13, and 16 may be privately maintained.

**e. School Sites**

It is anticipated that any potential future school site would be owned and operated by the Corona-Norco School District.

**Table VI**  
**Summary of Maintenance**  
**Responsibilities**

|  | Master Home-<br>Owners'<br>Association | CSA 134 | Riverside County<br>including<br>CSA 152 | LLWD | RCA | RCRCD |
|--|--|---------|--|------|-----|-------|
| Fuel Modification  | X                                      |         |  |      |     |       |
| Landscape<br>Parkways  |  | X       |  |      |     |       |
| Street Lighting  |  | X       |  |      |     |       |
| Public Streets   |  |         | X  |      |     |       |
| Private Streets<br>(P.A. 7, 13, & 16)                                    | X                                      |         |  |      |     |       |
| • PAs 17A, 17B,<br>17C, 17D<br>(Optional)                                | X                                      |         |  |      |     |       |
| Sidewalks and<br>Hardscape   |  | X       |  |      |     |       |
| Storm Drains   |  |         | X  |      |     |       |
| Public Sewer/Water   |  |         |  | X    |     |       |
| Project Signage  | X                                      |         |  |      |     |       |
| Neighborhood Parks<br>and Passive Parks<br>(with exception of<br>PA 20A) |  | X       | X  |      |     |       |
| Swim Park (PA<br>20A)  | X                                      |         |  |      |     |       |
| Common Open<br>Space   |  | X       |  |      |     |       |
| Natural Open Space   | X                                      |         |  |      |     |       |
| • PA 20B & 21  |  |         |  |      |     | X     |
| • PA 22  |  |         |  |      | X   |       |
| • Open Space<br>within lettered<br>lots                                  | X                                      | X       |  |      |     |       |

RCA = Western Riverside County Regional Conservation Authority; RCRCD = Riverside-Corona Regional Conservation District

## **B. PLANNING AREA DEVELOPMENT STANDARDS**

Development standards for SYCAMORE CREEK have been established at three levels: General Development Provisions, which were addressed in Sec. III.; Design Guidelines, which are provided in Sec. IV.; and Planning Area Development Standards, to which this section is devoted.

Planning Areas were selected on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning and relationship to adjoining uses and surrounding topography.

The Planning Areas are depicted on the Specific Land Use Plan Amendment No.2 (Figure 3). Although development may conform closely to some elements of these land use configurations, it is anticipated that actual Planning Area boundaries will not be determined until the tract map stage.

A Specific Plan Zoning Ordinance has been prepared and submitted separately from this Specific Plan Amendment No. 2 document. The zoning provisions within that Ordinance establish use restrictions for each Planning Area. The zoning provisions should be used in conjunction with the planning standards for each respective Planning Area.



**1. Planning Area 1**

**a. Descriptive Summary**

Planning Area 1, as depicted in Figure 14A, provides for the development of 23.5 acres of medium density residential uses. A maximum total of 101 dwelling units are planned at a density of 4.3 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 1 will be provided from Mayhew Canyon Road and a local neighborhood street.
- 2) Neighborhood Entry statements are planned at access roads off of Mayhew Canyon Road (see Figure 30).
- 3) A Community Entry Monumentation statement is planned at the intersection of Mayhew Canyon Road and Campbell Ranch Road (see Figure 28).
- 4) Special roadway landscape treatments, such as those depicted in Figures 17 and 19A shall be provided along Mayhew Canyon Road and Campbell Ranch Road.
- 5) A landscape buffer is planned at the interface between the residential uses and the paseo greenbelt (see Figure 37).
- 6) A special landscape buffer treatment is provided at the interface between residential land uses and mining operations (Figure 21A).
- 7) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 9) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 1.

**2. Planning Area 2**

**a. Descriptive Summary**

Planning Area 2, as depicted in Figure 14A, provides for the development of 32.1 acres of medium density residential uses. A maximum total of 145 dwelling units are planned at a density of 4.5 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 2 will be provided from Mayhew Canyon Road via a local neighborhood street.
- 2) Neighborhood Entry statements are planned at access roads off of neighborhood streets (see Figure 30).
- 3) A landscaped buffer/paseo is planned between the residential uses in Planning Area 1 and Planning Area 2 (see Figure 37).
- 4) A special landscape buffer treatment is provided at the interface between residential land uses and mining operations (Figure 21A).
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.5: Public Facilities Phasing Plan

III.A.2: Circulation Plan

III.A.6: Grading Plan

III.A.3: Drainage Plan

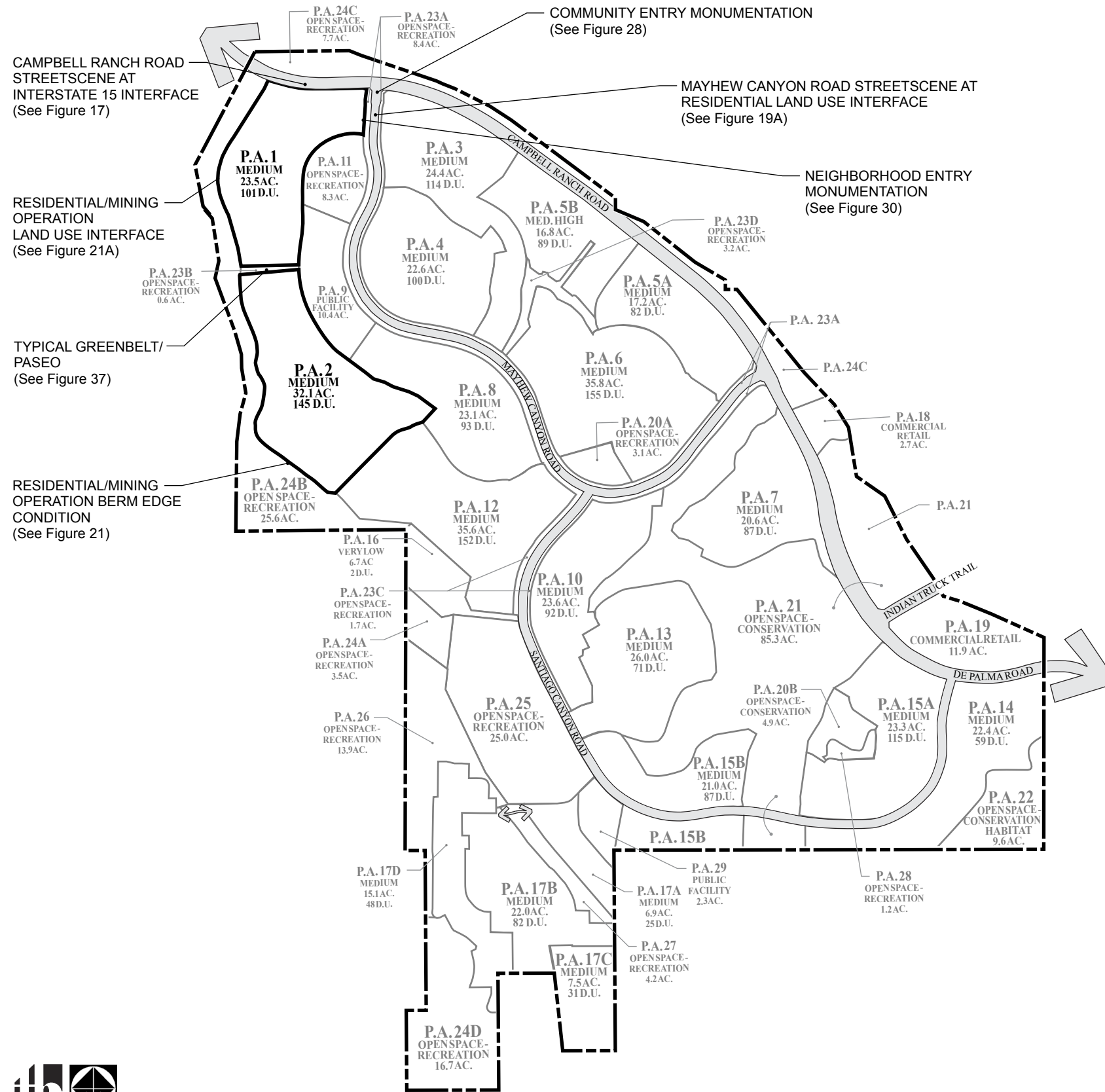
III.A.7: Open Space and Recreation Plan

III.A.4: Water and Sewer Plans

III.A.8: Landscaping Plan

- 7) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 2.

PLANNING AREAS 1 & 2



**LEGEND**

- PLANNING AREA 1  
MEDIUM RESIDENTIAL  
23.5 ACRES  
101 DWELLING UNITS
- PLANNING AREA 2  
MEDIUM RESIDENTIAL  
32.1 ACRES  
145 DWELLING UNITS



Figure 14A

**3. Planning Area 3**

**a. Descriptive Summary**

Planning Area 3, as depicted in Figure 14B, provides for the development of 24.4 acres of medium density residential uses. A maximum total of 114 dwelling units are planned at a density of 4.7 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 3 will be provided from Mayhew Canyon Road and local neighborhood street.
- 2) Special Roadway landscape treatments, such as those depicted in Figure 17, shall be provided along Campbell Ranch Road.
- 3) A landscape buffer is planned at the interface of the residential uses and the paseo greenbelt (see Figure 37).
- 4) Neighborhood Entry statements are planned at access roads off of Mayhew Canyon Road (see Figure 30).
- 5) A Community Entry Monumentation statement is planned at the intersection of Mayhew Canyon Road and Campbell Ranch Road (Figure 28).
- 6) Special roadway landscape treatments, such as those depicted in Figure 19A, are planned along Mayhew Canyon Road.
- 7) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 9) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 3.

**4. Planning Area 4**

**a. Descriptive Summary**

Planning Area 4, as depicted in Figure 14B, provides for the development of 22.6 acres of medium density residential uses. A maximum total of 100 dwelling units are planned at a density of 4.4 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

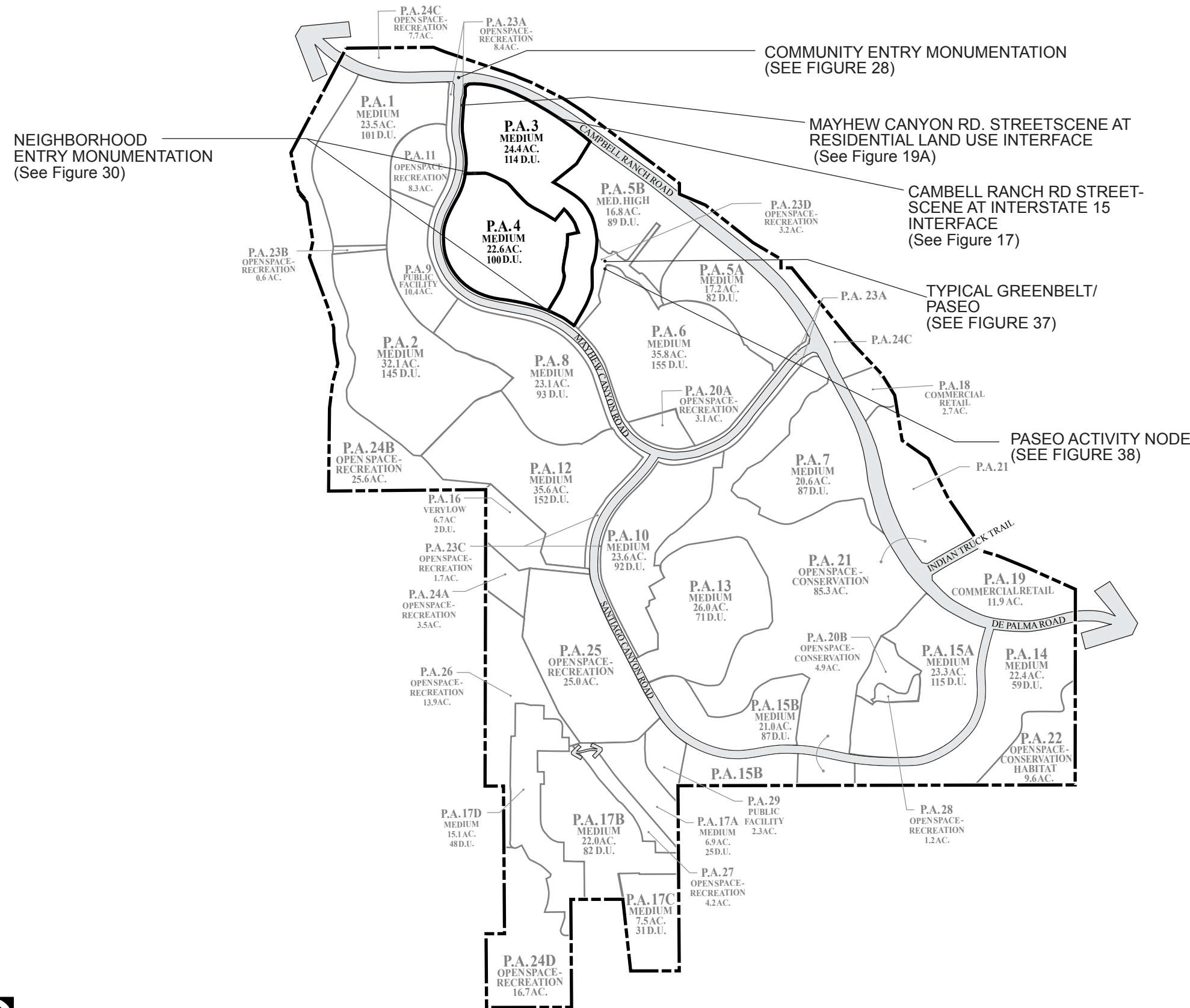
Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 4 will be provided from Mayhew Canyon Road.
- 2) Neighborhood Entry statements are planned at access roads off of Mayhew Canyon Road (see Figure 30).
- 3) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 6) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 4.

PLANNING AREAS 3 & 4



**LEGEND**

PLANNING AREA 3  
MEDIUM RESIDENTIAL  
24.4 ACRES  
114 DWELLING UNITS

PLANNING AREA 4  
MEDIUM RESIDENTIAL  
22.6 ACRES  
100 DWELLING UNITS



Figure 14B

**5. Planning Areas 5A and 5B**

**a. Descriptive Summary**

Planning Areas 5A and 5B, as depicted in Figure 14C, provide for the development of 17.2 and 16.8 acres respectively of medium and medium high density residential uses. A maximum total of 82 dwelling units in Planning Area 5A is planned at an average density of 5.0 du/ac (Density Range 2-5 du/ac, medium density). A maximum total of 89 dwelling units in Planning Area 5B are planned at a density of 5.3 du/ac (Density Range 5-8 du/ac, medium high).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Areas 5A and 5B will be provided from a local access road off of Campbell Ranch Road.
- 2) Neighborhood Entry statements are planned at access roads off of Campbell Ranch Road and Mayhew Canyon Road. (see Figure 30).
- 3) Special landscape buffers and activity nodes are planned at the interface between the residential uses and the paseo greenbelt (see Figures 37 and 38).
- 4) Special Roadway landscape treatments, such as those depicted in Figure 17, shall be provided along Campbell Ranch Road.
- 5) A Community Entry Monumentation statement (Figure 28) is planned for the intersection of Mayhew Canyon Road and Campbell Ranch Road.
- 6) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

- 8) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Areas 5A and 5B.

**6. Planning Area 6**

**a. Descriptive Summary**

Planning Area 6, as depicted in Figure 14C, provides for the development of 35.8 acres of medium density residential uses. A maximum total of 155 dwelling units are planned at a density of 4.3 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 6 will be provided from Mayhew Canyon Road.
- 2) A Community Entry Monumentation statement is planned at the intersection of Campbell Ranch Road and Mayhew Canyon Road (see Figure 28).
- 3) Neighborhood Entry statements are planned at access roads off of Mayhew Canyon Road (see Figure 30).
- 4) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 5) Please refer to Section III.A, for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan

III.A.6: Grading Plan

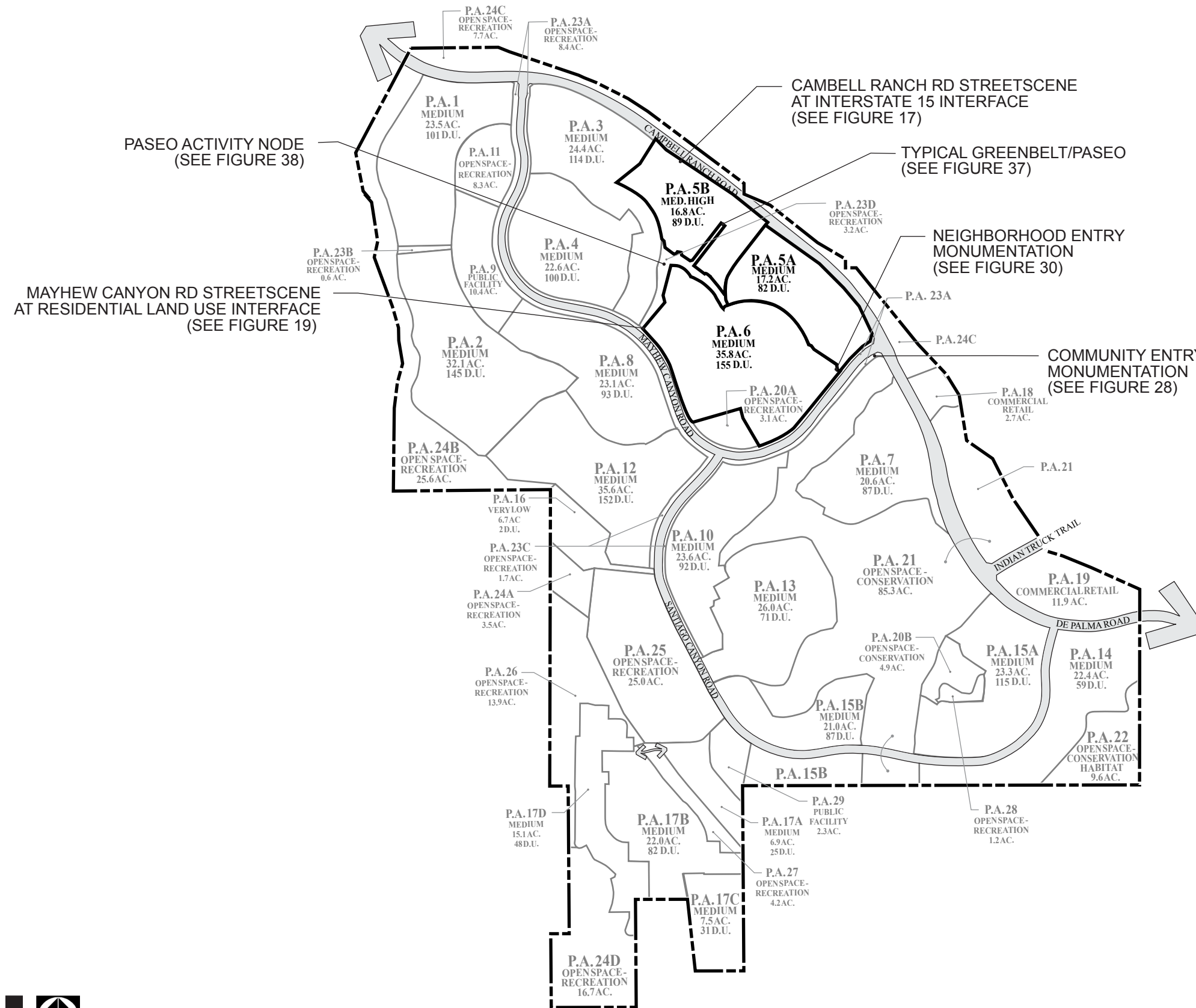
III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

- 6) Portions of this Planning Area are underlain by the Silverado Formation, which is considered to be of high paleontological sensitivity. Therefore, earthmoving which impacts the sediments of the Silverado Formation should be monitored full-time. (See EIR Section C.15., *Historic and Prehistoric Resources*, for additional information.)
- 7) Portions of this Planning Area are underlain by the Williams Formation, which is considered to be of low paleontological sensitivity, unless fine grained sediments are discovered. Earthmoving in the fanglomerates and sediments identified as the Williams Formation should be monitored on a part time schedule at the discretion of the paleontologist who is in charge of the grading monitoring. If fine grained sediments are discovered in the fanglomerates, grading should be monitored full-time.



PLANNING AREAS 5A, 5B & 6



**LEGEND**

PLANNING AREA 5A  
MEDIUM RESIDENTIAL  
17.2 ACRES  
82 DWELLING UNITS

PLANNING AREA 5B  
MEDIUM HIGH RESIDENTIAL  
16.8 ACRES  
89 DWELLING UNITS

PLANNING AREA 6  
MEDIUM RESIDENTIAL  
35.8 ACRES  
155 DWELLING UNITS



**7. Planning Area 7**

**a. Descriptive Summary**

Planning Area 7, as depicted in Figure 14D, provides for the development of 20.6 acres of medium density residential uses. A maximum total of 87 dwelling units are planned at a density of 4.2 du/ac (Density Range 2-5 du/ac). This single-family residential site is separated from other residential and commercial uses by the surrounding open space areas and Campbell Ranch Road.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 7 will be provided from Campbell Ranch Road.
- 2) A Neighborhood Community Entry Monumentation statement is planned at Campbell Ranch Road (see Figure 28).
- 3) Special roadway landscape treatments, such as those depicted in Figure 16 shall be provided along Campbell Ranch Road.
- 4) A special landscape/fuel modification buffer is planned within Planning Area 7 at the interface between the residential uses and the open space areas (see Figure 25A).
- 5) Please refer to Section IV, for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A, for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 7) Portions of this Planning Area are underlain by the Silverado Formation, which is considered to be of high paleontological sensitivity. Therefore, earthmoving which impacts the sediments of the Silverado Formation should be monitored full-time. (See EIR Section C.15., *Historic and Prehistoric Resources*, for additional information.)
- 8) Portions of this Planning Area are underlain by the Williams Formation, which is considered to be of low paleontological sensitivity, unless fine grained sediments are discovered. Earthmoving in the fanglomerates and sediments identified as the Williams Formation should be monitored on a part time schedule at the discretion of the paleontologist who is in charge of the grading monitoring. If fine grained sediments are discovered in the fanglomerates, grading should be monitored full-time.

**8. Planning Area 8**

**a. Descriptive Summary**

Planning Area 8, as depicted in Figure 14D, provides for the development of 23.1 acres of medium density residential uses. A maximum total of 93 dwelling units are planned at a density of 4.0 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

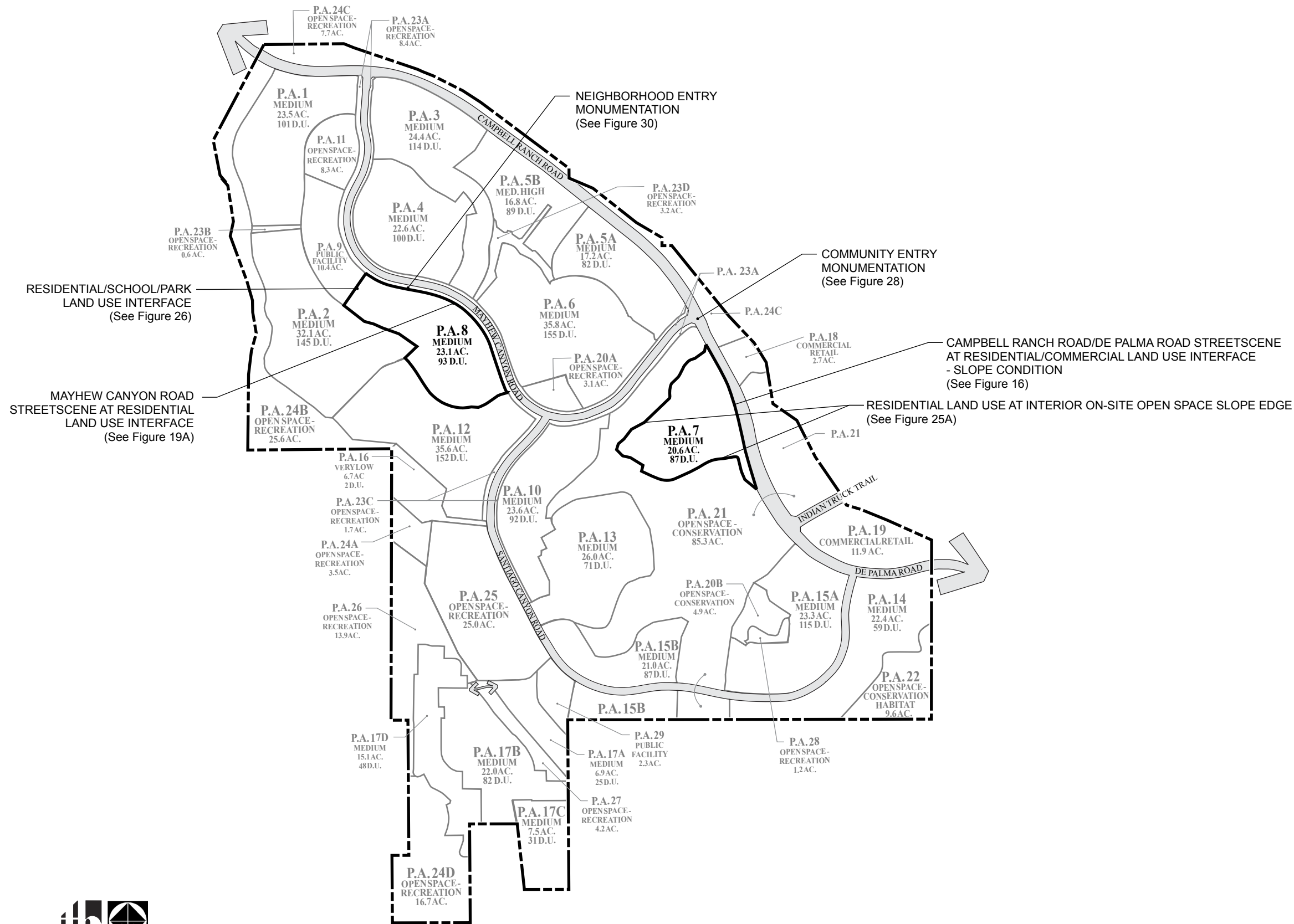
Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 8 will be provided from local streets.
- 2) Neighborhood Entry statements are planned at access roads off of Mayhew Canyon Road and local streets (see Figure 30).
- 3) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 4) A special landscape buffer is planned at the interface between the residential uses in Planning Area 8 and the school in Planning Area 11A (see Figure 26).
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 7) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 8.

PLANNING AREAS 7 & 8



LEGEND

PLANNING AREA 7  
MEDIUM RESIDENTIAL  
20.6 ACRES  
87 DWELLING UNITS

PLANNING AREA 8  
MEDIUM RESIDENTIAL  
23.1 ACRES  
93 DWELLING UNITS



Figure 14D

**9. Planning Area 10**

**a. Descriptive Summary**

Planning Area 10, as depicted in Figure 14E, provides for the development of 23.6 acres of medium density residential uses. A maximum total of 92 dwelling units are planned at a density of 3.9 du/ac (Density Range 2-5 du/ac).

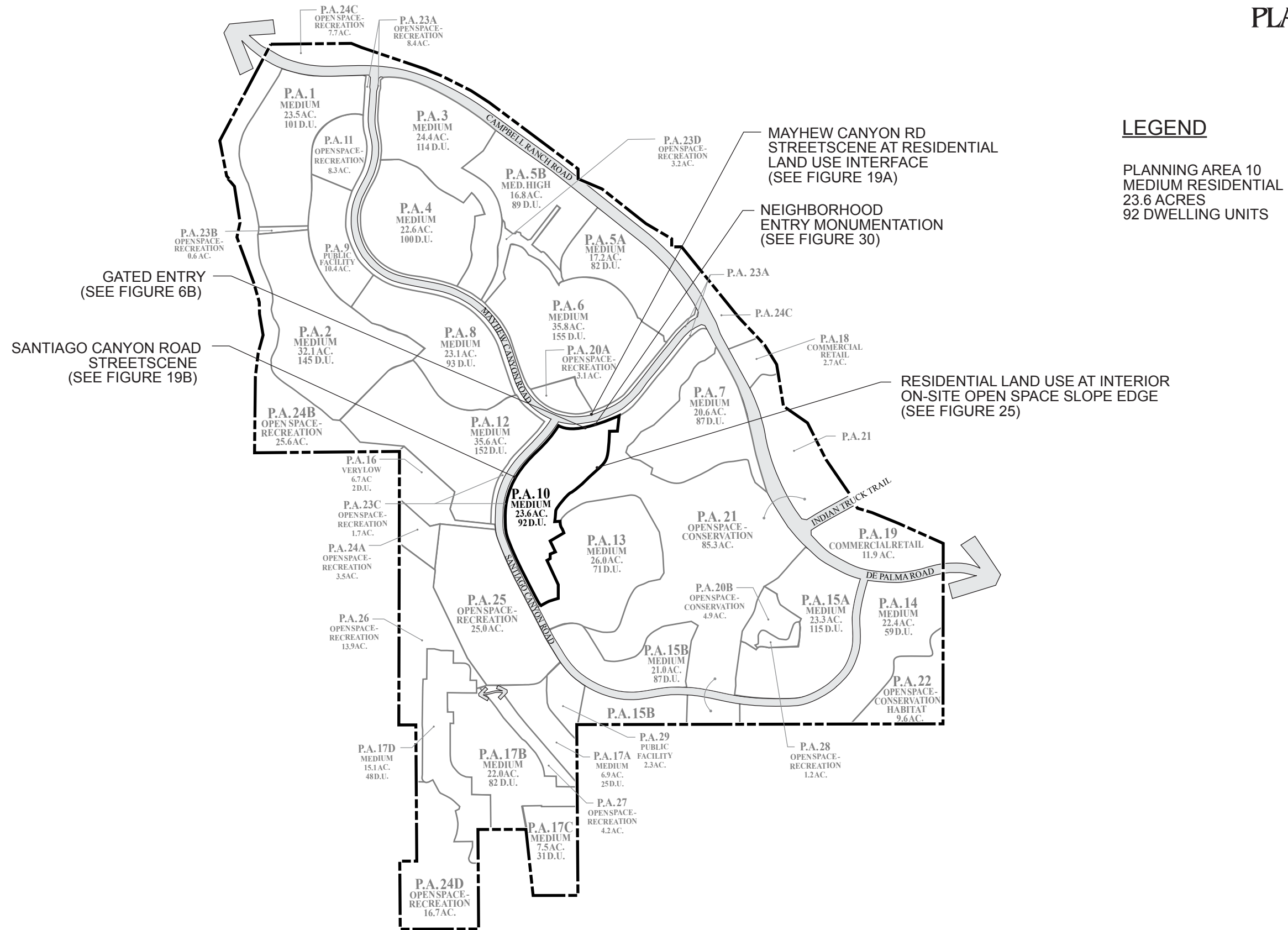
**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 10 will be provided from Mayhew Canyon Road and Santiago Canyon Road.
- 2) A Neighborhood Entry statement is planned at the gated access road (see Figure 6B) off of Mayhew Canyon Road (see Figure 30).
- 3) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 4) A fuel modification zone is planned at the interface between the residential uses of Planning Area 10 and the adjacent open space areas (see Figure 22).
- 5) Development of Planning Area 10 shall include construction of the portion of Planning Area 23A located along the south side of Mayhew Canyon Road, from Santiago Canyon Road to Campbell Ranch Road.
- 6) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 8) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 10.



**10. Planning Area 9**

**a. Descriptive Summary**

Planning Area 9, as depicted in Figure 14F, provides for the development of 10.4 net acres for a school site.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 9 will be provided from Mayhew Canyon Road.
- 2) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 3) Special landscaped buffers are planned at the interface between the adjacent residential uses and the school (see Figure 26)
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

**11. Planning Area 11**

**a. Descriptive Summary**

Planning Area 11, as depicted in Figure 14F, provides for the development of 8.3 net acres for an active neighborhood park site. Conceptual development of the site is depicted in the Design Guidelines, Sec. IV., Figure 35. Refer to Sec. III.7 for the planned recreational uses on-site.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

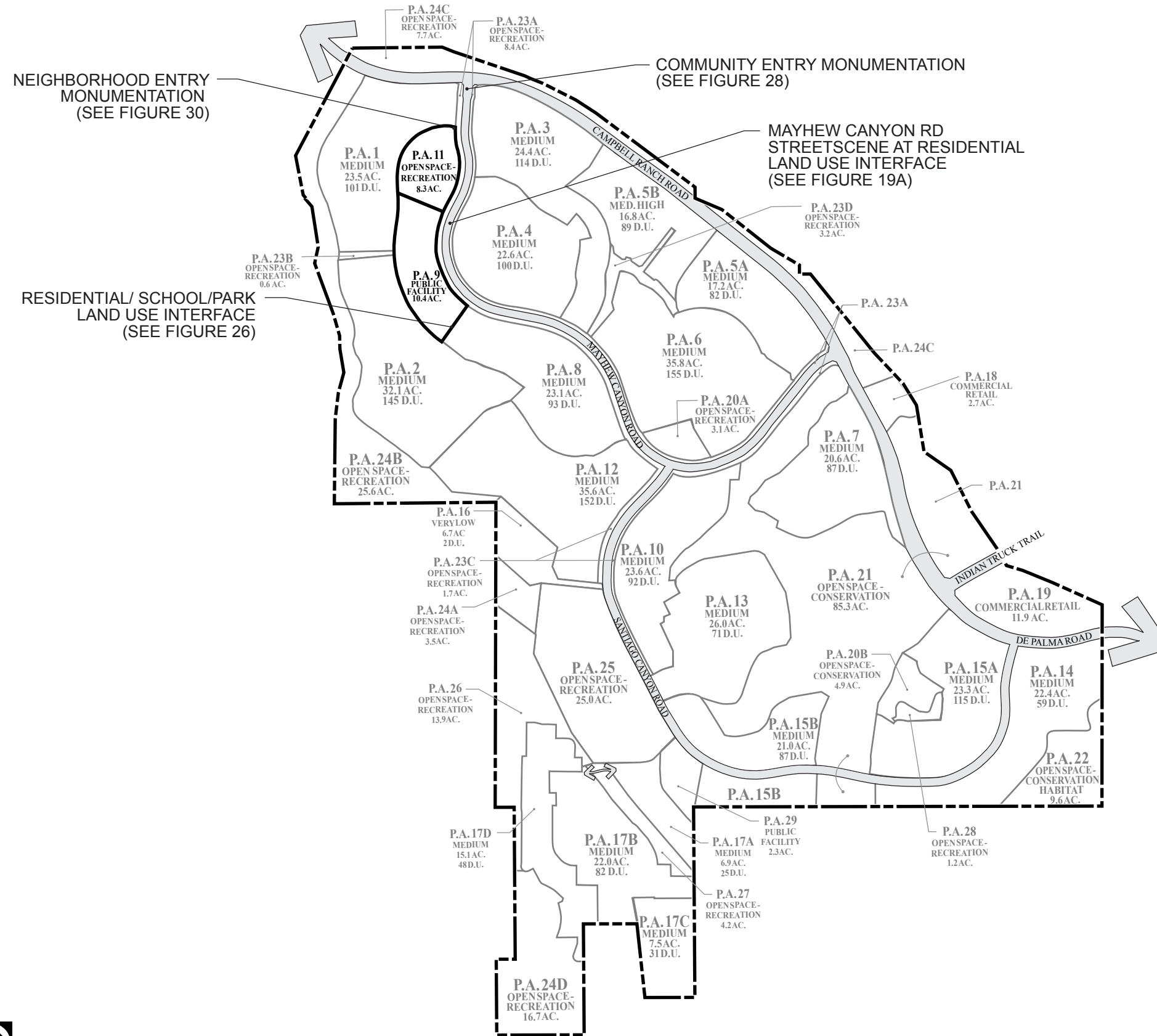
- 1) Access to Planning Area 11 will be provided from the adjacent local street.
- 2) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 3) See Figure 35 for a conceptual illustration of Planning Area 11.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan



PLANNING AREAS 9 & 11



**LEGEND**

PLANNING AREA 9  
PUBLIC FACILITY  
10.4 ACRES

PLANNING AREA 11  
OPEN SPACE - RECREATION  
8.3 ACRES



**12. Planning Area 12**

**a. Descriptive Summary**

Planning Area 12, as depicted in Figure 14G, provides for the development of 35.6 acres of medium density residential uses. A maximum total of 152 dwelling units are planned at a density of 4.3 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 12 will be provided from Santiago Canyon Road and local streets.
- 2) Neighborhood Entry statements are planned at access roads off of Santiago Canyon Road (see Figure 30).
- 3) Special roadway landscape treatments, such as those depicted in Figure 19A shall be provided along Mayhew Canyon Road.
- 4) Special roadway landscape treatments, such as those depicted in Figure 19B shall be provided along Santiago Canyon Road adjacent to Planning Area 12.
- 5) A special landscape buffer treatment is provided at the interface between residential land uses and mining operations (Figure 21).
- 6) A special landscape buffer is planned at the interface between the residential uses and the paseo greenbelt (see Figure 37).
- 7) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

- 9) Portions of this Planning Area are underlain by the Williams Formation, which is considered to be of low paleontological sensitivity, unless fine grained sediments are discovered. Earthmoving in the fanglomerates and sediments identified as the Williams Formation should be monitored on a part-time schedule at the discretion of the paleontologist who is in charge

of the grading monitoring. If fine grained sediments are discovered in the fanloam, grading should be monitored full-time.

- 10) A non-transmitted plot plan for the Paseo Greenbelt shall be submitted and approved by the Planning Department prior to the recordation of any tracts in Planning Area 12.

**13. Planning Area 13**

**a. Descriptive Summary**

Planning Area 13, as depicted in Figure 14G, provides for the development of 26.0 acres of medium density residential uses. A maximum total of 71 dwelling units are planned at a density of 2.7 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 13 will be provided from Santiago Canyon Road.
- 2) A Neighborhood Entry statement is planned at the gated access road (see Figure 6B) off of Santiago Canyon Road (see Figure 30).
- 3) A fuel modification zone is planned at the interface between Planning Area 13 and the open space area (see Figure 25).
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.5: Public Facilities Phasing Plan

III.A.2: Circulation Plan

III.A.6: Grading Plan

III.A.3: Drainage Plan

III.A.7: Open Space and Recreation Plan

III.A.4: Water and Sewer Plans

III.A.8: Landscaping Plan

- 6) Portions of this Planning Area are underlain by the Williams Formation, which is considered to be of low paleontological sensitivity, unless fine grained sediments are discovered. Earthmoving in the fanglomerates and sediments identified as the Williams Formation should be monitored on a part-time schedule at the discretion of the paleontologist who is in charge of the grading monitoring. If fine grained sediments are discovered in the fanglomerates, grading should be monitored full-time.

PLANNING AREAS 12 & 13

**LEGEND**

PLANNING AREA 12  
 MEDIUM RESIDENTIAL  
 35.6 ACRES  
 152 DWELLING UNITS

PLANNING AREA 13  
 MEDIUM RESIDENTIAL  
 26.0 ACRES  
 71 DWELLING UNITS

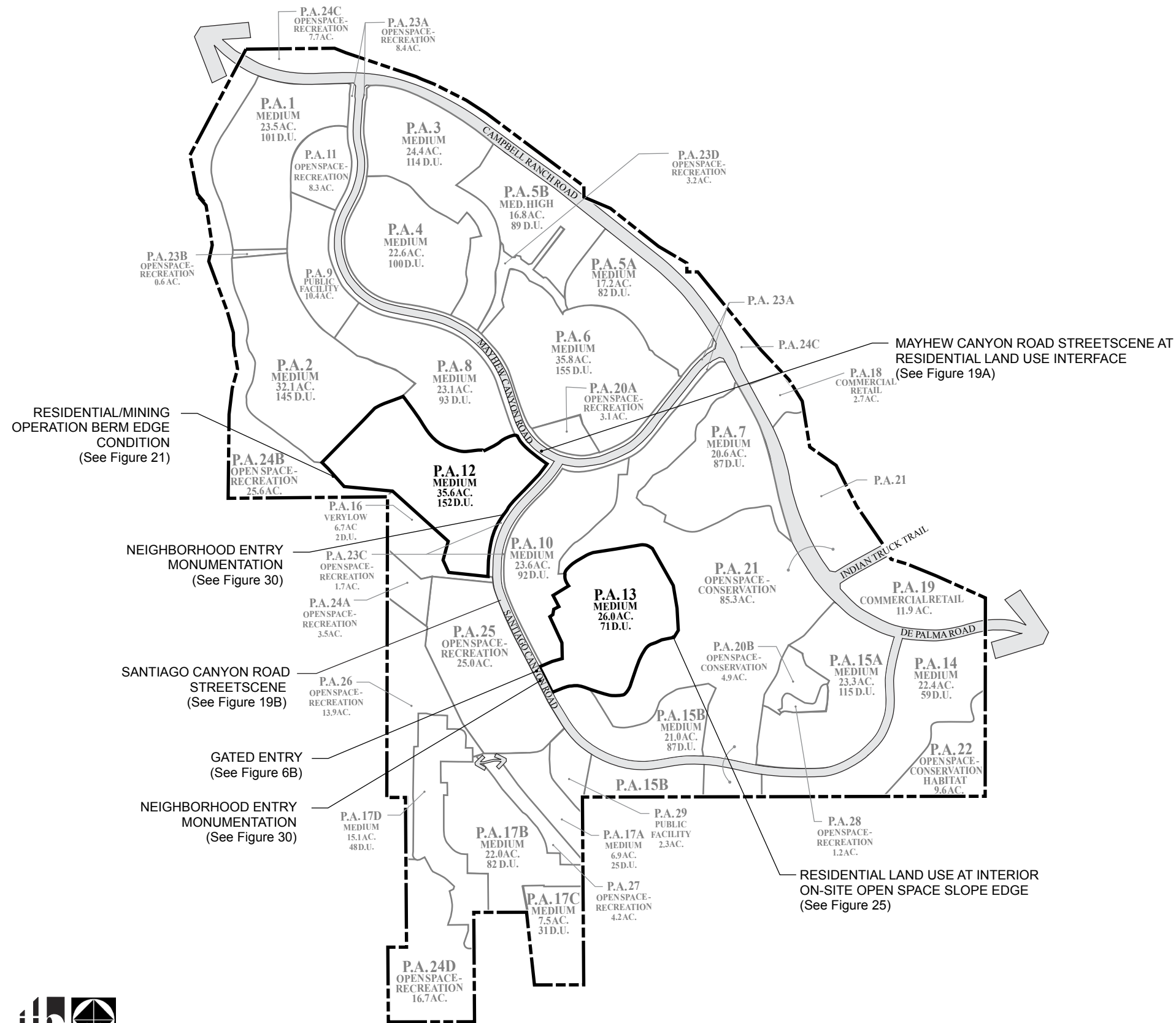


Figure 14G

## **14. Planning Area 14 and 22**

### **a. Descriptive Summary**

Planning Area 14, as depicted in Figure 14H, provides for the development of 22.4 acres of medium density residential uses. A maximum total of 59 dwelling units are planned at a density of 2.6 du/ac (Density Range 2-5 du/ac).

Planning Area 22 is located in the southeast corner of the SYCAMORE CREEK community and is designated as open space. Planning Area 22 is conserved as undisturbed, natural habitat and has been dedicated to the Western Riverside Regional Conservation Authority. This 9.6-acre area contributes toward the formation of Constrained Linkage 3, as identified within the Western Riverside Multiple Species Habitat Conservation Plan.

### **b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

### **c. Planning Standards**

- 1) Access to Planning Area 14 will be provided from De Palma Road and Santiago Canyon Road.
- 2) A Community Entry Monumentation statement is planned at the intersection of De Palma Road and Santiago Canyon Road (see Figure 28).
- 3) Neighborhood Entry statements are planned at access roads off of Santiago Canyon Road and De Palma Road (see Figure 30).
- 4) Special roadway landscape treatments, such as those depicted in Figures 16 and 19B, shall be provided along De Palma Road and Santiago Canyon Road.
- 5) A landscape buffer is planned within PA 14 at the interface between the residential uses and the off-site national forest (see Figure 23).
- 6) A fuel modification zone is planned within PA 14 at the interface of the residential uses and the adjacent natural open space corridor in PA 22 (Figures 23A and 24).
- 7) Within Planning Area 14, removal of native oaks from their present location on the site will be avoided or mitigated through relocation or replacement in accordance with recommendations in a study prepared by an expert certified as qualified by the County of Riverside. In those areas where removal is unavoidable, the possibility of transplanting to another location on site will be investigated during the review of grading plans pursuant to the recommendations of the study. Oak trees shall not be disturbed within Planning Area 22.
- 8) Please refer to Section IV., for specific Design Guidelines and other related design criteria.

9) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

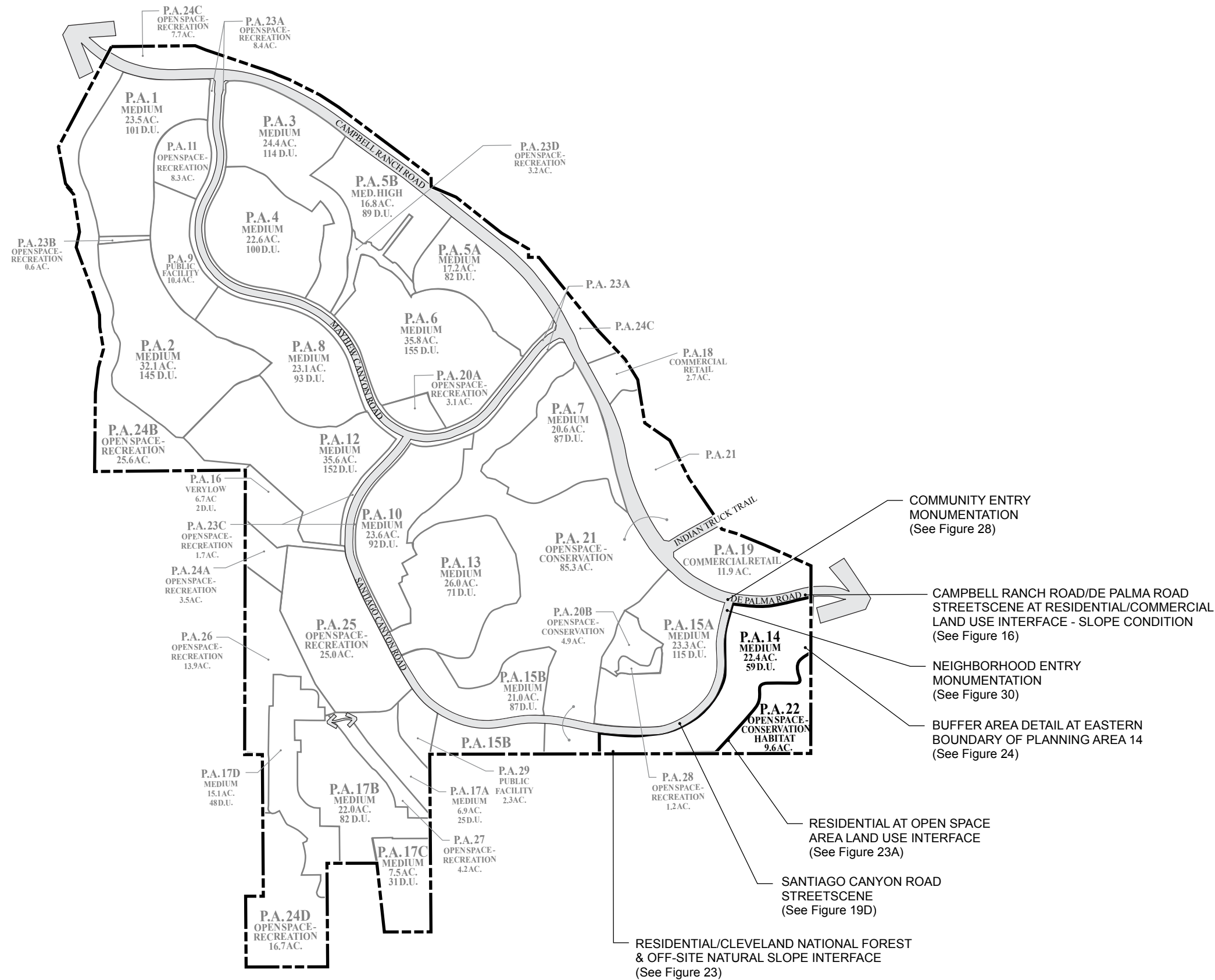
III.A.5: Public Facilities Phasing Plan

III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

PLANNING AREAS 14 & 22



LEGEND

PLANNING AREA 14  
MEDIUM RESIDENTIAL  
22.4 ACRES  
59 DWELLING UNITS

PLANNING AREA 22  
OPEN SPACE - CONSERVATION HABITAT  
9.6 ACRES

COMMUNITY ENTRY MONUMENTATION (See Figure 28)

CAMPBELL RANCH ROAD/DE PALMA ROAD STREETSCENE AT RESIDENTIAL/COMMERCIAL LAND USE INTERFACE - SLOPE CONDITION (See Figure 16)

NEIGHBORHOOD ENTRY MONUMENTATION (See Figure 30)

BUFFER AREA DETAIL AT EASTERN BOUNDARY OF PLANNING AREA 14 (See Figure 24)

RESIDENTIAL AT OPEN SPACE AREA LAND USE INTERFACE (See Figure 23A)

SANTIAGO CANYON ROAD STREETSCENE (See Figure 19D)

RESIDENTIAL/CLEVELAND NATIONAL FOREST & OFF-SITE NATURAL SLOPE INTERFACE (See Figure 23)





**15. Planning Area 15A**

**a. Descriptive Summary**

Planning Area 15A, as depicted in Figure 14 I, provides for the development of 23.3 acres of medium density residential uses. A maximum total of 115 dwelling units are planned at a density of 4.9 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 15A will be provided from Campbell Ranch Road and Santiago Canyon Road.
- 2) A Community Entry Monumentation statement is planned at the intersection of De Palma Road and Santiago Canyon Road (see Figure 28).
- 3) Special roadway landscape treatments, such as those depicted in Figure 18 shall be provided along De Palma Road.
- 4) Neighborhood Entry statements are planned for access roads off of Santiago Canyon Road (Figure 30).
- 4) A fuel modification zone is planned along the Residential Use and Open Space interface (Figure 27).
- 6) Please refer to Section IV. for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 8) Removal of native oaks from their present location on the site will be avoided or mitigated through relocation or replacement in accordance with recommendations in a study prepared by an expert certified as qualified by the County of Riverside. In those areas where removal is unavoidable, the possibility of transplanting to another location on site will be investigated during the review of grading plans pursuant to the recommendations of the study.

**16. Planning Area 15B**

**a. Descriptive Summary**

Planning Area 15B, as depicted in Figure 14 I, provides for the development of 21.0 acres of medium density residential uses. A maximum total of 87 dwelling units are planned at a density of 4.1 du/ac (Density Range 2-5 du/ac).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 15B will be provided from Santiago Canyon Road and a local street.
- 2) Neighborhood Entry statements are planned at access roads off of Santiago Canyon Road (see Figure 30).
- 3) A landscape buffer is planned at the interface between the residential uses and the off-site national forest (see Figure 23).
- 4) A fuel modification zone is planned along the Residential Use and Open Space interface (Figure 27).
- 5) A special roadway treatment depicted in Figure 19B shall be provided along Santiago Canyon Road.
- 6) Please refer to Section IV. for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan

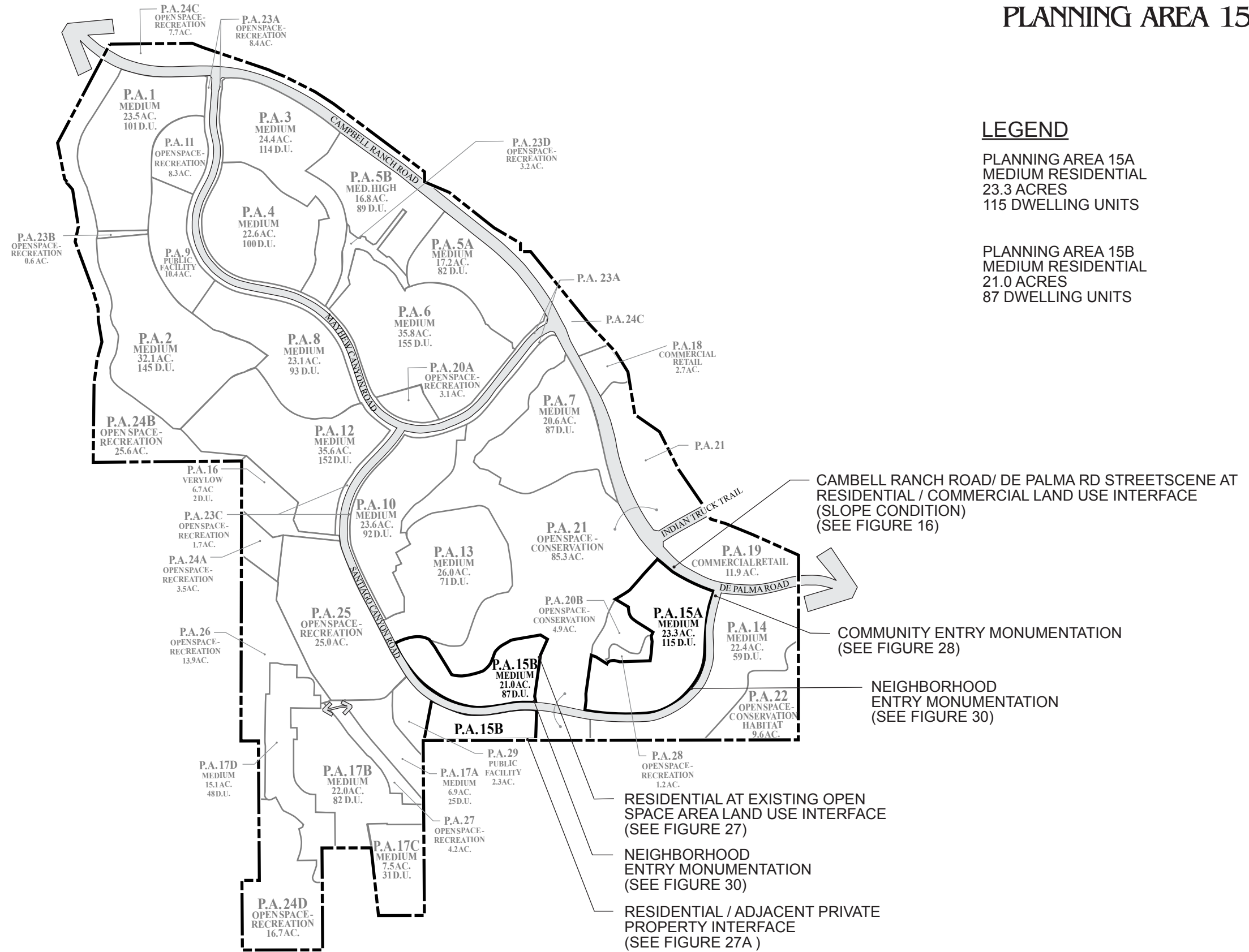
III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

- 8) Removal of native oaks from their present location on the site will be avoided or mitigated through relocation or replacement in accordance with recommendations in a study prepared by an expert certified as qualified by the County of Riverside. In those areas where removal is unavoidable, the possibility of transplanting to another location on site will be investigated during the review of grading plans pursuant to the recommendations of the study.

PLANNING AREA 15A & 15B



**17. Planning Area 16**

**a. Descriptive Summary**

Planning Area 16, as depicted in Figure 14J, provides for the development of 6.7 acres of very low density residential uses. A maximum total of 2 dwelling units are planned at a density of 0.3 du/ac (1 acre minimum lots).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 16 will be provided from Santiago Canyon Road via a private drive.
- 2) A special landscape buffer is planned at the interface between Planning Area 16 and the Regional Sports Park (see Figure 22).
- 3) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

**18. Planning Areas 17A, 17B, 17C, 17D & 24D**

**a. Descriptive Summary**

Planning Areas 17A, 17B, 17C, 17D & 24D provide for the development of 51.5 acres of medium density residential uses in two lot sizes (Density Range 2-5 du/ac), and 16.7 acres of open space, as depicted on Figure 14J.

Planning Area 17A provides for the development of 25 homes on 6.9 acres at a maximum density of 3.6 du/ac. Planning Area 17B provides for the development of a maximum of 82 homes on 22.0 acres at a maximum density of 3.7 du/ac. Planning Area 17C provides for the development of 31 homes on 7.5 acres at a maximum density of 4.1 du/ac. Planning Area 17D provides for the ultimate development of 55 homes on 15.1 acres at a maximum density of 3.6 du/ac.

Planning Area 24D includes open space, as well as a recycled water storage tank and related utilities. The recycled water tank within Planning Area 24D is owned and operated by the Lee Lake Water District.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 17A, 17B, 17C, and 17D will be provided from local neighborhood roads via Santiago Canyon Road.
- 2) Edge treatments between residential uses in Planning Area 17B and 17D and open space land uses shall be consistent with Figure 23A, *Residential at Open Space Area Land Use Interface*.
- 3) Edge treatments between residential uses in Planning Areas 17A and 17B and the greenbelt in Planning Area 27 shall be consistent with Figure 26A, *Residential Land Use at Passive Park Interface*.
- 4) Edge treatments between residential uses in Planning Area 17D and open space uses in Planning Area 26 shall be consistent with Figure 22B, *Residential/Open Space Land Use Interface*, and Figure 27B, *Residential at Adjacent Private Property Interface*.
- 5) Edge treatments between residential uses in Planning Areas 17B, 17C, and 17D and adjacent off-site areas shall be consistent with Figure 27A, *Residential at Adjacent Private Property Interface*.
- 6) Edge treatments between residential uses in Planning Area 17C and adjacent off-site areas shall be consistent with Figure 27C, *Residential at Adjacent Private Property Interface*.
- 7) Please refer to Section IV., for specific Design Guidelines and other related design criteria.

- 8) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.5: Public Facilities Phasing Plan

III.A.2: Circulation Plan

III.A.6: Grading Plan

III.A.3: Drainage Plan

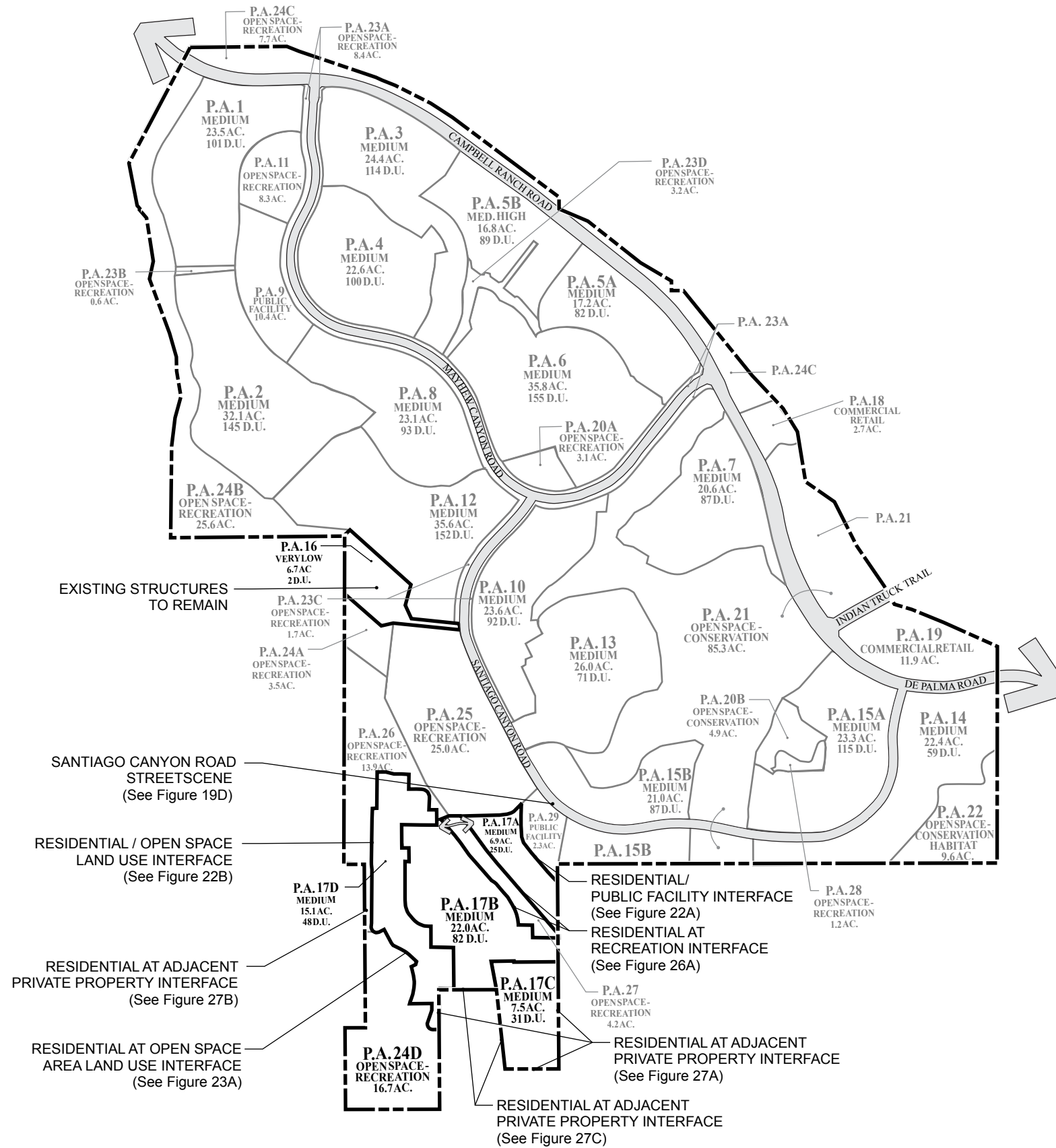
III.A.7: Open Space and Recreation Plan

III.A.4: Water and Sewer Plans

III.A.8: Landscaping Plan

- 9) Planning Areas 17A and 17B are separated by segments of the Glen Ivy North fault. The area that underlies the segment of the Glen Ivy North fault that resides within the SYCAMORE CREEK community is planned as a passive park (Planning Area 27). Ultimate residential development within Planning Areas 17A and 17B shall be consistent with the recommendations contained within the *Alquist-Priolo Earthquake Fault Zone Investigation* prepared by Pacific Soils and Engineering, Inc. (dated June 28, 2002).
- 10) Planning Area 17D is adjacent to a mining area, SMP No. 182. A minimum eight (8) foot tall landscaped earthen berm or combined landscaped earthen berm/solid masonry wall shall be provided along the western boundary of Planning Area 17D at all locations with a direct line-of-sight into the adjacent mining operation. Potential issues related to access and the location of residential pads shall be addressed by design standards provided in this Specific Plan and by implementing tract maps (as depicted on Figure 22B, *Residential/Open Space Land Use Interface*, and Figure 27B, *Residential at Adjacent Private Property Interface*).
- 11) Two storm water Debris Basins are located within PA 24D.
- 12) A water reservoir/water tank with a capacity of 3.8 mg is located within PA 24D to serve the majority of the SYCAMORE CREEK project.

**PLANNING AREAS  
16, 17A, 17B,  
17C, 17D, & 24D**



**LEGEND**

- PLANNING AREA 16  
VERY LOW RESIDENTIAL  
6.7 ACRES  
2 DWELLING UNITS
- PLANNING AREA 17A  
MEDIUM RESIDENTIAL  
6.9 ACRES  
25 DWELLING UNITS
- PLANNING AREA 17B  
MEDIUM RESIDENTIAL  
22.0 ACRES  
82 DWELLING UNITS
- PLANNING AREA 17C  
MEDIUM RESIDENTIAL  
7.5 ACRES  
31 DWELLING UNITS
- PLANNING AREA 17D  
MEDIUM RESIDENTIAL  
15.1 ACRES  
55 DWELLING UNITS
- PLANNING AREA 24D  
OPEN SPACE - RECREATION  
16.7 ACRES



**19. Planning Area 18**

**a. Descriptive Summary**

Planning Area 18, as depicted in Figure 14K, provides for the development of 2.7 acres of freeway-oriented commercial uses. This site, in combination with Planning Area 19, will serve the residents of SYCAMORE CREEK and freeway travelers along Interstate 15. The Riverside County Fire Department owns and operates a fire station within Planning Area 18 (Sycamore Creek Fire Station No. 64).

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 18 will be provided from Campbell Ranch Road.
- 2) Special roadway landscape treatments, such as those depicted in Figure 16, shall be provided along Campbell Ranch Road.
- 3) A special landscaped buffer is planned at the interface between the commercial uses of Planning Area 18A and the adjacent freeway (see Figure 20).
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan

III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

- 6) A plot plan will be required as part of the processing procedure for the commercial site.
- 7) Portions of this Planning Area are underlain by the Silverado Formation, which is considered to be of high paleontological sensitivity. Therefore, earthmoving which impacts the sediments of the Silverado Formation should be monitored full-time (see EIR Section C.15., *Historic and Prehistoric Resources*, for additional information).



**20. Planning Area 19**

**a. Descriptive Summary**

Planning Area 19, as depicted in Figure 14K, provides the development of 11.9 acres of freeway-oriented commercial uses. This site, in combination with Planning Area 18, will serve the residents of SYCAMORE CREEK and freeway travelers along Interstate 15.

**b. Land Use and Development Standards**

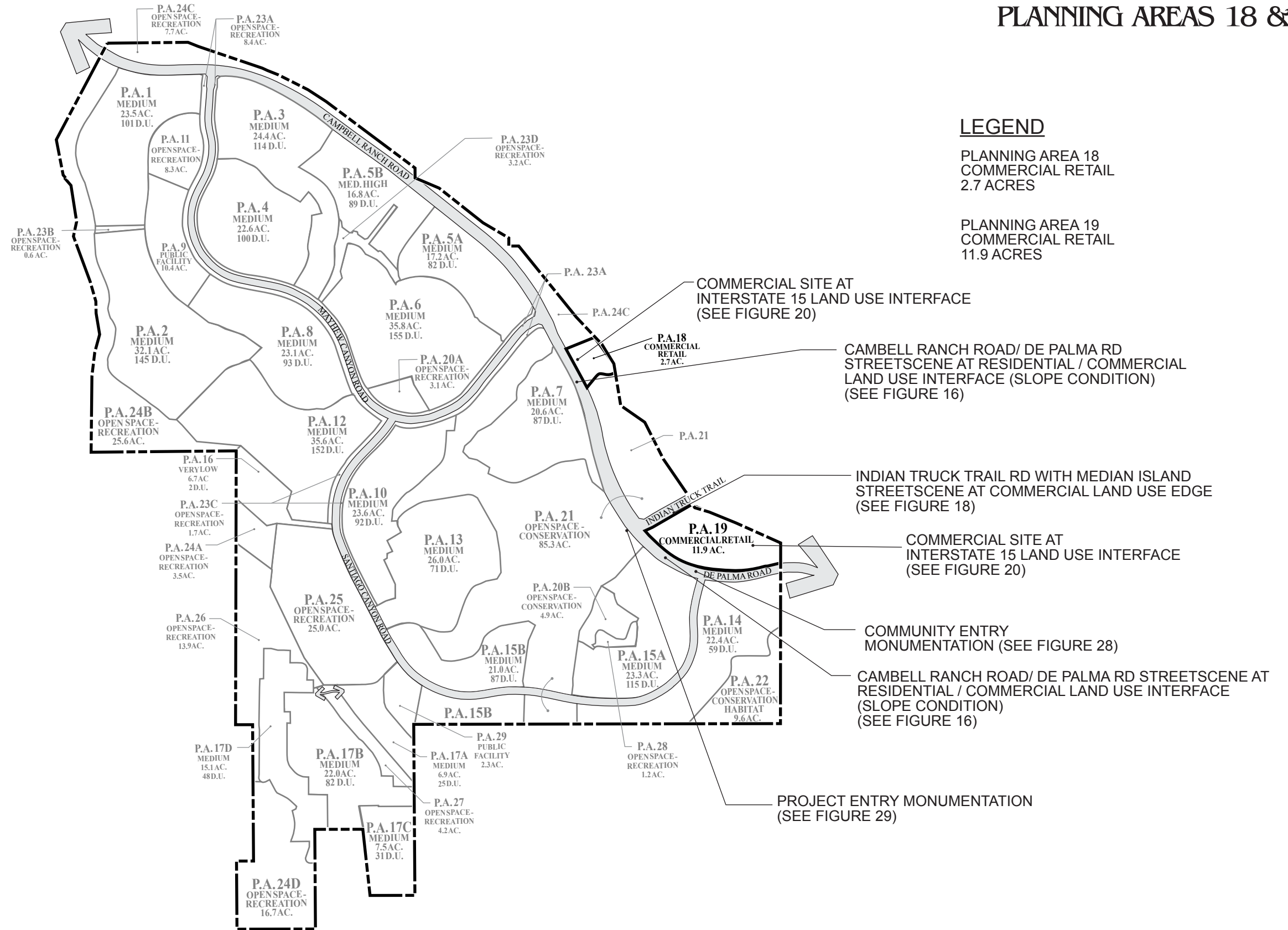
Please refer to Ordinance No. 348.XXXX (see Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 19 will be provided from Campbell Ranch Road.
- 2) A Community Entry Monumentation statement is planned at the intersection of Campbell Ranch Road/De Palma Road and Indian Truck Trail (see Figure 28).
- 3) A Project Entry Monumentation statement is planned at the intersection of Indian Truck Trail and Campbell Ranch Road (see Figure 29).
- 4) Special roadway landscape treatments, such as those depicted in Figures 16 and 18, shall be provided along De Palma Road and Indian Truck Trail.
- 5) A special landscaped buffer is planned at the interface between the commercial uses of Planning Area 19 and the adjacent freeway (see Figure 20).
- 6) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 8) A plot plan will be required as part of the processing procedure for the commercial site.
- 9) Portions of this Planning Area are underlain by the Silverado Formation, which is considered to be of high paleontological sensitivity. Therefore, earthmoving which impacts the sediments of the Silverado Formation should be monitored full-time (see EIR Section C.15., *Historic and Prehistoric Resources*, for additional information).

PLANNING AREAS 18 & 19



**21. Planning Area 20A**

**a. Descriptive Summary**

Planning Area 20A, as depicted in Figure 14L, provides for the development of 3.1 net acres as an active neighborhood swim park site. Conceptual development of the site is depicted in the Design Guidelines, Sec. IV., Figure 33. Refer to Sec. III.7 for the planned recreational uses on-site.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Access to Planning Area 20A will be provided from Mayhew Canyon Road.
- 2) A special landscape buffer is planned at the interface between the residential uses in Planning Area 6 and the park in Planning Area 20A (see Figure 26).
- 3) A special landscape treatment is planned for Mayhew Canyon Road adjacent to the park (see Figure 19A).
- 4) See Figure 33 for a conceptual illustration of Planning Area 20A.
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria for this park.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

**22. Planning Area 20B**

**a. Descriptive Summary**

Planning Area 20B, as depicted in Figure 14L, contains sensitive biological resources and is reserved for conservation as natural open space. Planning Area 20B shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Resource Conservation District to provide for the long-term maintenance of this Planning Area.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

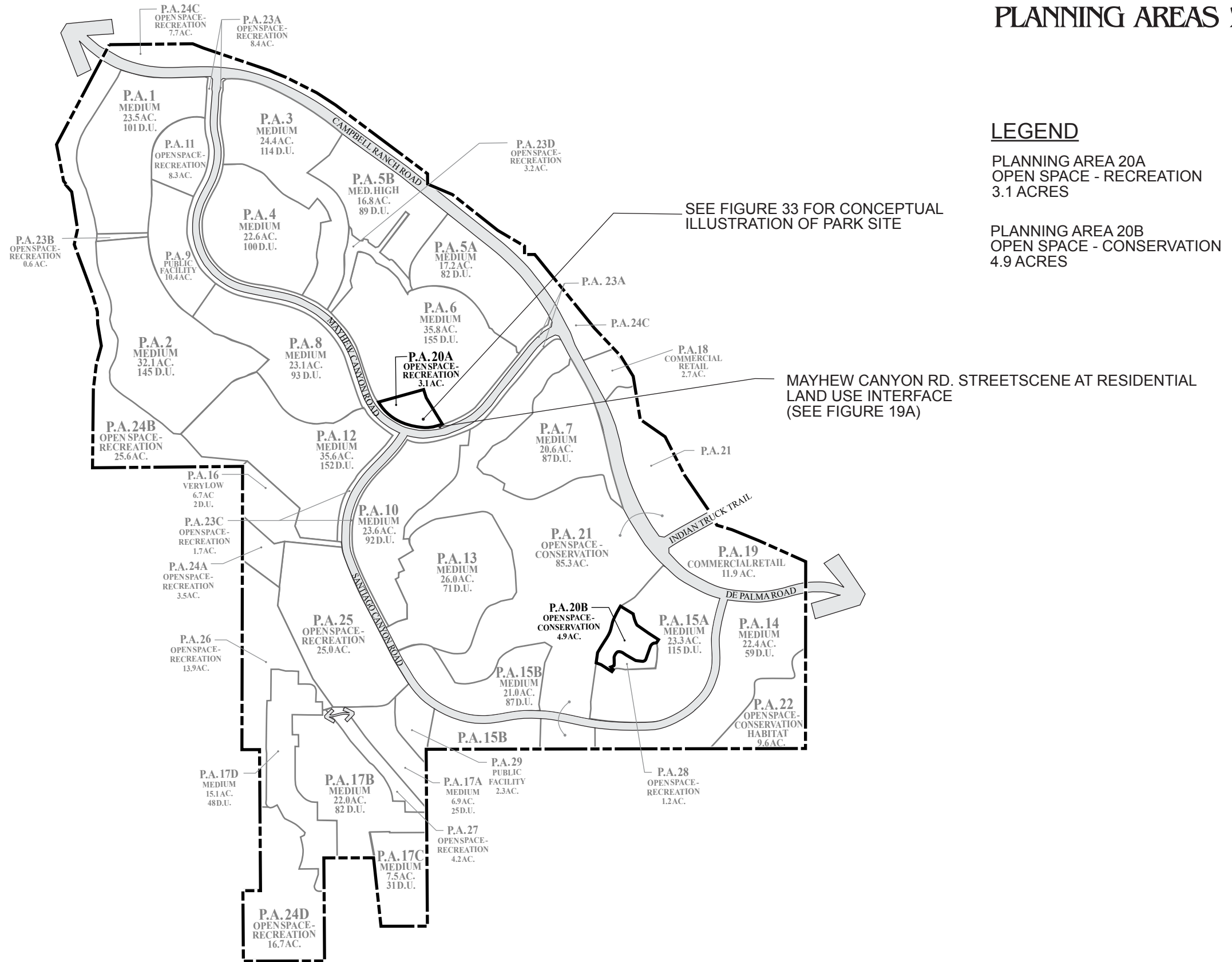
**c. Planning Standards**

- 1) No pedestrian or vehicular access is provided to Planning Area 20B.
- 2) Oak trees shall not be disturbed within Planning Area 20B.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

PLANNING AREAS 20A & 20B



**23. Planning Area 21**

**a. Descriptive Summary**

Planning Area 21 as depicted in Figure 14M, provides 85.3 acres designated as Open Space - Conservation. This planning area contains re-vegetated wetlands, undisturbed natural habitat, and an interpretive center. Planning Area 21 shall be owned by the HOA, which shall grant a conservation easement in favor of the Riverside-Corona Resource Conservation District to provide for the long-term maintenance of this Planning Area.

**b. Land Use and Development Standards**

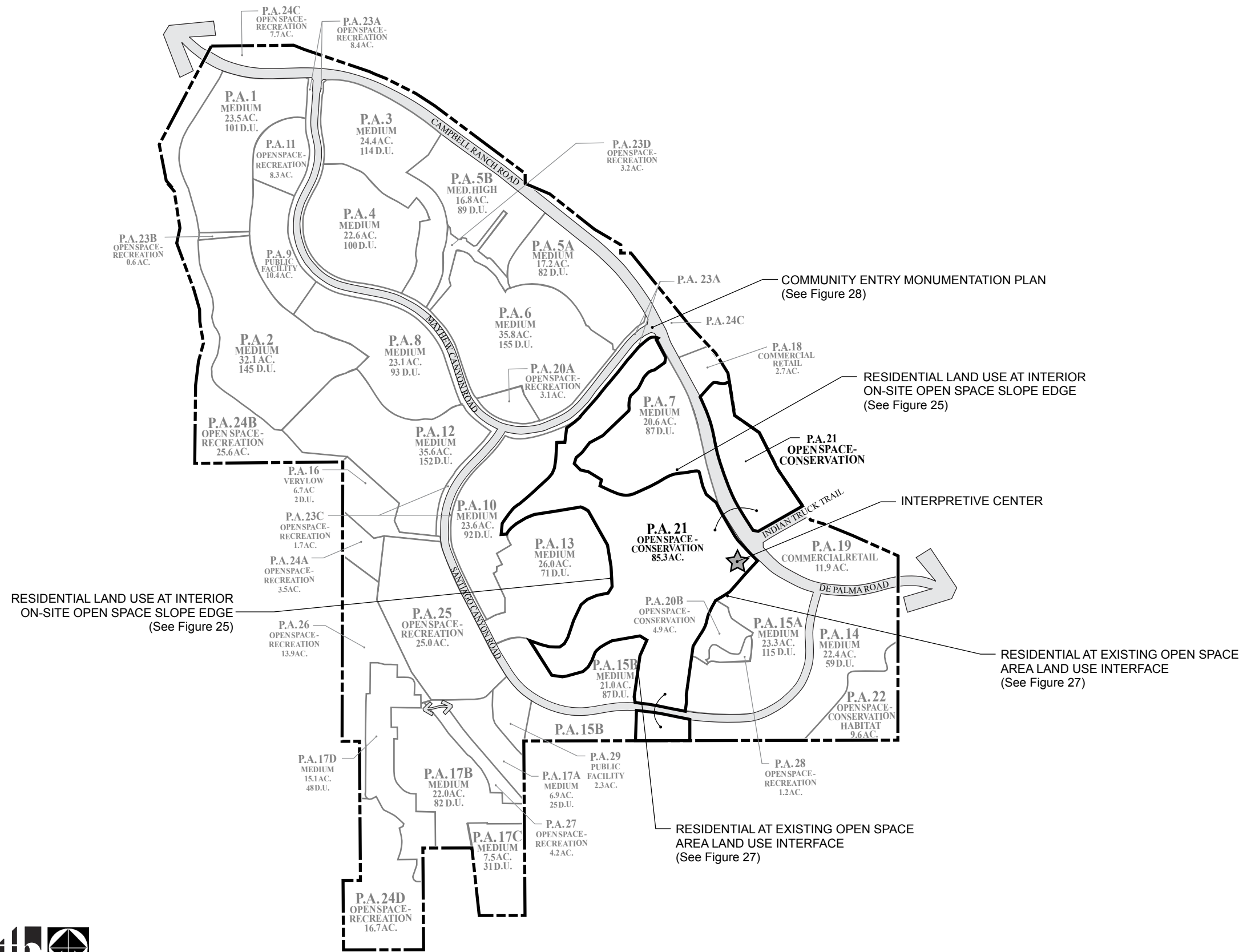
Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) As described in Table III, *Public Facilities Phasing*, the interpretive center shall be donated to the Riverside-Corona Resource Conservation District prior to the issuance of the 1,737th building permit.
- 2) A Project Entry Monumentation statement is planned at the intersection of Campbell Ranch Road and Indian Truck Trail (see Figure 29).
- 3) Special landscape buffers are planned at the interface between the adjacent residential uses and the open space areas (see Figures 25, 25A, and 27).
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria for this open space area.
- 5) The native riparian plant community is to be protected and remain in its natural condition as an example of the existing site ecosystem. The existing native riparian vegetation of Willows, Sycamores, various *Rhus* species, Ferns and *Eriogonium* species will be enhanced with compatible plant material as found in the Riparian Plant Palette. Once this area has been enhanced, it will provide a better riparian environment than that which currently exists.
- 6) Oak trees shall not be disturbed within Planning Area 21.
- 7) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan



**LEGEND**

PLANNING AREA 21  
 OPEN SPACE - CONSERVATION  
 85.3 ACRES



**24. Planning Area 23A**

**a. Descriptive Summary**

Planning Area 23A, as depicted in Figure 14N, provides for 8.4 acres to be planned as a paseo greenbelt.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Special roadway landscape treatments, such as those depicted in Figure 19A, shall be provided along Mayhew Canyon Road.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) A Community Entry Monumentation statement is planned at the intersection of Campbell Ranch Road and Mayhew Canyon Road (Figure 28).
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

- 5) This Paseo Greenbelt will be partially developed in Phase I concurrently with the development of Planning Areas 3, 4, 5A, 5B and 6. The remainder of this Planning Area will be developed in Phase II, concurrently with the development of Planning Areas 1, 2, 8, 10, and 12.



**25. Planning Area 23B**

**a. Descriptive Summary**

Planning Area 23B, as depicted in Figure 14N, provides for 0.6 acres to be planned as a paseo greenbelt.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A special landscape buffer is planned at the interface between the adjacent residential uses in Planning Areas 1 and 2 and the paseo greenbelt of Planning Areas 23B (see Figure 36).
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.5: Public Facilities Phasing Plan

III.A.2: Circulation Plan

III.A.6: Grading Plan

III.A.3: Drainage Plan

III.A.7: Open Space and Recreation Plan

III.A.4: Water and Sewer Plans

III.A.8: Landscaping Plan

- 4) This Paseo Greenbelt will be developed in Phase II concurrently with the development of Planning Areas 1 and 2.

**26. Planning Area 23C**

**a. Descriptive Summary**

Planning Area 23C, as depicted in Figure 14N, provides for 1.7 acres to be planned as a paseo greenbelt.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan

III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

- 3) This Paseo Greenbelt will be developed in Phase II concurrently with the development of Planning Areas 10 and 12.

**27. Planning Area 23D**

**a. Descriptive Summary**

Planning Area 23D, as depicted in Figure 14N, provides for 3.2 acres to be planned as a paseo greenbelt.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Special landscape buffers and activity nodes are planned at the interface between the adjacent residential uses in Planning Areas 3, 5A, 5B and 6 and the paseo greenbelt of Planning Areas 23D (see Figures 37 and 38).
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 4) This Paseo Greenbelt will be developed in Phase I concurrently with the development of Planning Areas 3, 5A, 5B and 6.

**28. Planning Area 28**

**a. Descriptive Summary**

Planning Area 28, as depicted in Figure 14N, provides for 1.2 acres to be planned as a neighborhood park. The conceptual development plan for Planning Area 28 is depicted on Figure 34, *Planning Area 20B Conservation and Planning Area 28 Recreation* (see Section IV). Refer to Sec. III.7, above, for the planned recreational uses on-site.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) See Figure 34 for a conceptual illustration of Planning Area 28.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.5: Public Facilities Phasing Plan

III.A.2: Circulation Plan

III.A.6: Grading Plan

III.A.3: Drainage Plan

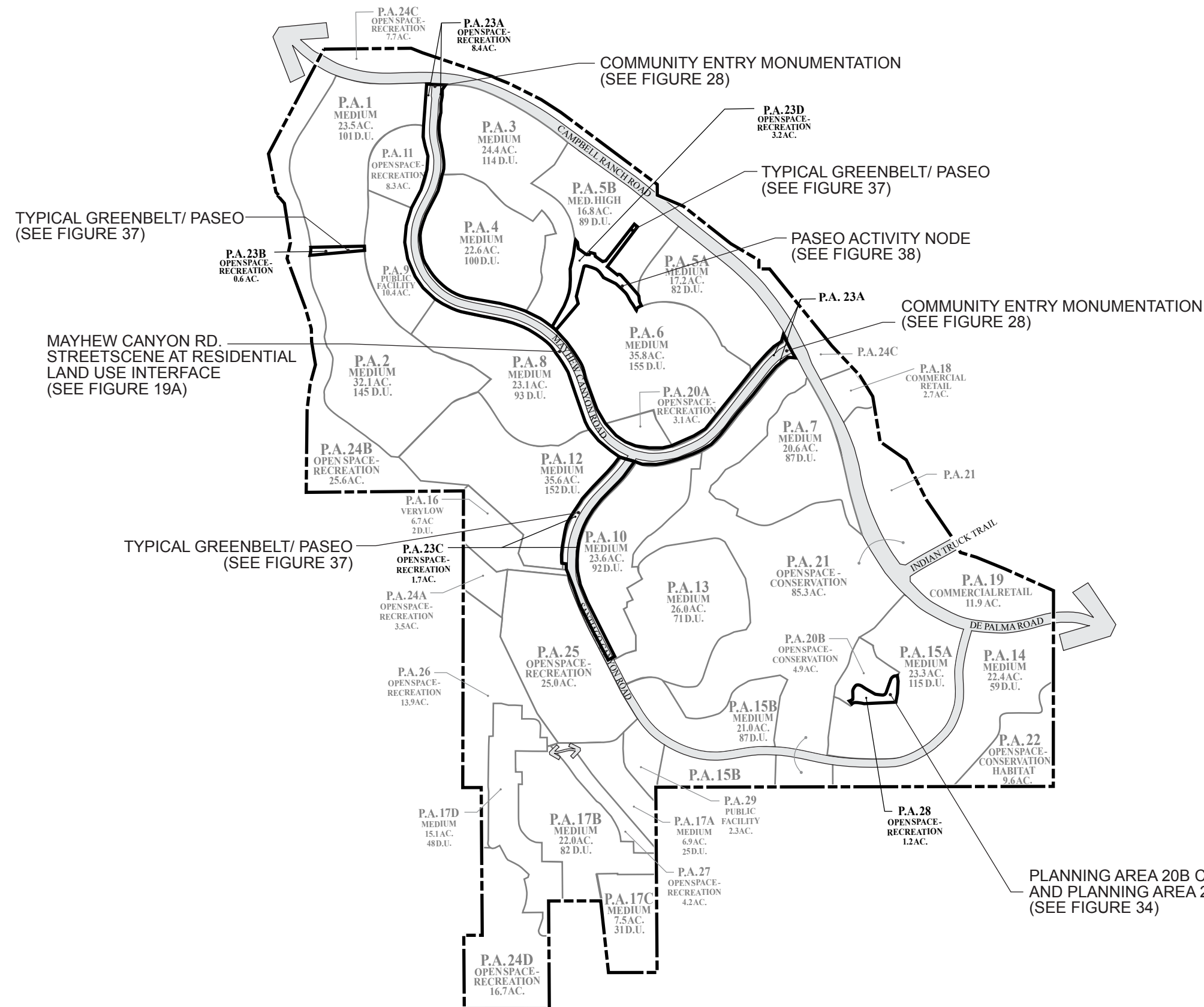
III.A.7: Open Space and Recreation Plan

III.A.4: Water and Sewer Plans

III.A.8: Landscaping Plan

- 4) This Paseo Greenbelt will be developed in Phase III, prior to the issuance of 1,350<sup>th</sup> building permit..

# PLANNING AREAS 23A, 23B, 23C, 23D, & 28



## LEGEND

PLANNING AREA 23A  
OPEN SPACE - RECREATION  
8.4 ACRES

PLANNING AREA 23B  
OPEN SPACE - RECREATION  
0.6 ACRES

PLANNING AREA 23C  
OPEN SPACE - RECREATION  
1.7 ACRES

PLANNING AREA 23D  
OPEN SPACE - RECREATION  
3.2 ACRES

PLANNING AREA 28  
OPEN SPACE - RECREATION  
1.2 ACRES



**29. Planning Area 24A**

**a. Descriptive Summary**

Planning Area 24A, as depicted in Figure 14O, provides for 3.5 acres to remain as natural open space. This Specific Plan provides for the development of a trail within Planning Area 24A. Active recreational facilities (e.g., parks) are permitted within Planning Area 24A.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan

III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

**30. Planning Area 24B**

**a. Descriptive Summary**

Planning Area 24B, as depicted in Figure 14O, provides for 25.6 acres to remain as open space.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) A special landscape buffer treatment is provided at the interface between Planning Area 24B, residential land uses and mining operations (see Figures 21 and 21A).
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan

III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan

**31. Planning Area 24C**

**a. Descriptive Summary**

Planning Area 24C, as depicted in Figure 14O, provides for 7.7 acres to remain as open space except that a water district pumping station is allowed.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

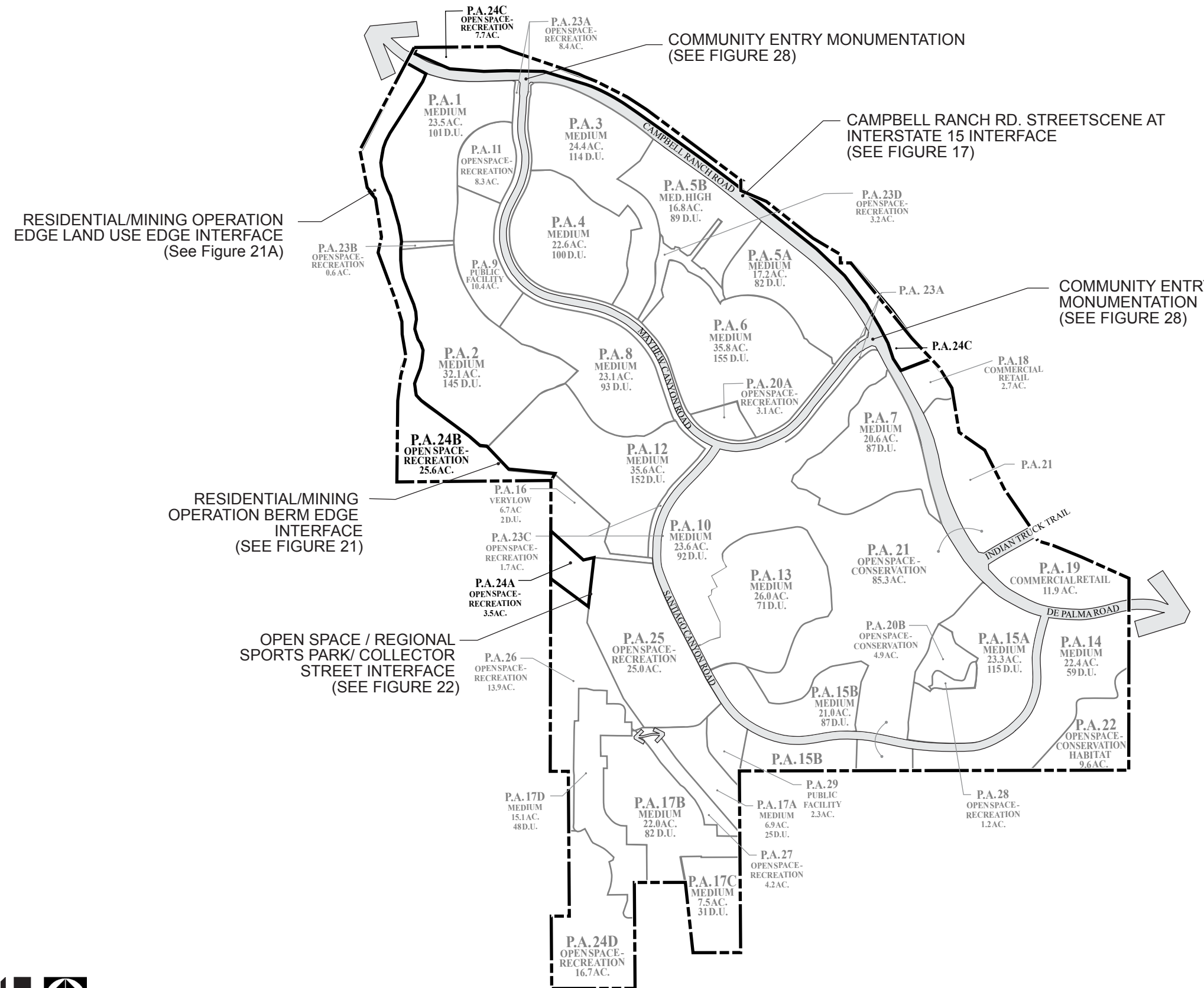
**c. Planning Standards**

- 1) Special roadway landscape treatments, such as those depicted in Figure 17, shall be provided along Campbell Ranch Road.
- 2) A portion of this planning area may be used for the recreational vehicle storage of motorhomes, trailers, boats, etc. for residents of the SYCAMORE CREEK project. Those portions of the planning area not used for recreation vehicle storage will remain as open space area.
- 3) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 4) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

|                                 |   |
|---------------------------------|---|
| III.A.1: Specific Land Use Plan | III.A.5: Public Facilities Phasing Plan |
| III.A.2: Circulation Plan       | III.A.6: Grading Plan                   |
| III.A.3: Drainage Plan          | III.A.7: Open Space and Recreation Plan |
| III.A.4: Water and Sewer Plans  | III.A.8: Landscaping Plan               |
- 5) Portions of this Planning Area are underlain by the Silverado Formation, which is considered to be of high paleontological sensitivity. Therefore, earthmoving which impacts the sediments of the Silverado Formation should be monitored full-time. (See EIR Section V.C.15., Historic and Prehistoric Resources, for additional information.)



Sycamore Creek  
**PLANNING AREAS  
 24A, 24B, & 24C**



**LEGEND**

- PLANNING AREA 24A  
 OPEN SPACE - RECREATION  
 3.5 ACRES
- PLANNING AREA 24B  
 OPEN SPACE - RECREATION  
 25.6 ACRES
- PLANNING AREA 24C  
 OPEN SPACE - RECREATION  
 7.7 ACRES



**32. Planning Area 25**

**a. Descriptive Summary**

Planning Area 25, as depicted in Figure 14P, provides for 25.0 acres as a Regional Sports Park. The Regional Sports Park will be developed by the County of Riverside. The purpose of the regional sports park will be to provide a public park and sports facility for the residents of the Temescal Canyon Community. The park is intended to provide for area needs with such improvements as soccer fields, baseball fields, basketball courts, trails, picnic area, on-site parking, restroom facilities, or other improvements the County of Riverside deems necessary. The conceptual development plan for Planning Area 25 is depicted on Figure 36, *Planning Area 25-Regional Sports Park (25.0 Acres)* (see Section IV).

For the purpose of the improvements to the park, the developer was responsible for donating the necessary land, providing access, rough site grading, and stubbing the required utilities to the edge of the site. The County of Riverside shall be responsible for all design and improvement costs required to develop the Regional Sports Park beyond the state which was previously completed by the developer.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) See Figure 36 for a conceptual development plan for the Regional Sports Park in Planning Area 25.
- 2) Access to Planning Area 25 will be provided along Santiago Canyon Road.
- 3) A special landscape buffer is planned at the interface between the residential uses in Planning Areas 16 and the park in Planning Area 25 (see Figure 26).
- 4) A special landscape buffer is planned at the interface between the open space in Planning Area 24A and the park in Planning Area 25 (see Figure 22).
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria for this park.
- 6) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

**33. Planning Area 26**

**a. Descriptive Summary**

Planning Area 26, as depicted in Figure 14P, provides for 13.9 acres along the western community boundary to be reserved as natural open space. This Specific Plan provides for the development of a trail within Planning Area 26. Active recreational facilities (e.g., parks) are permitted within Planning Area 26.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

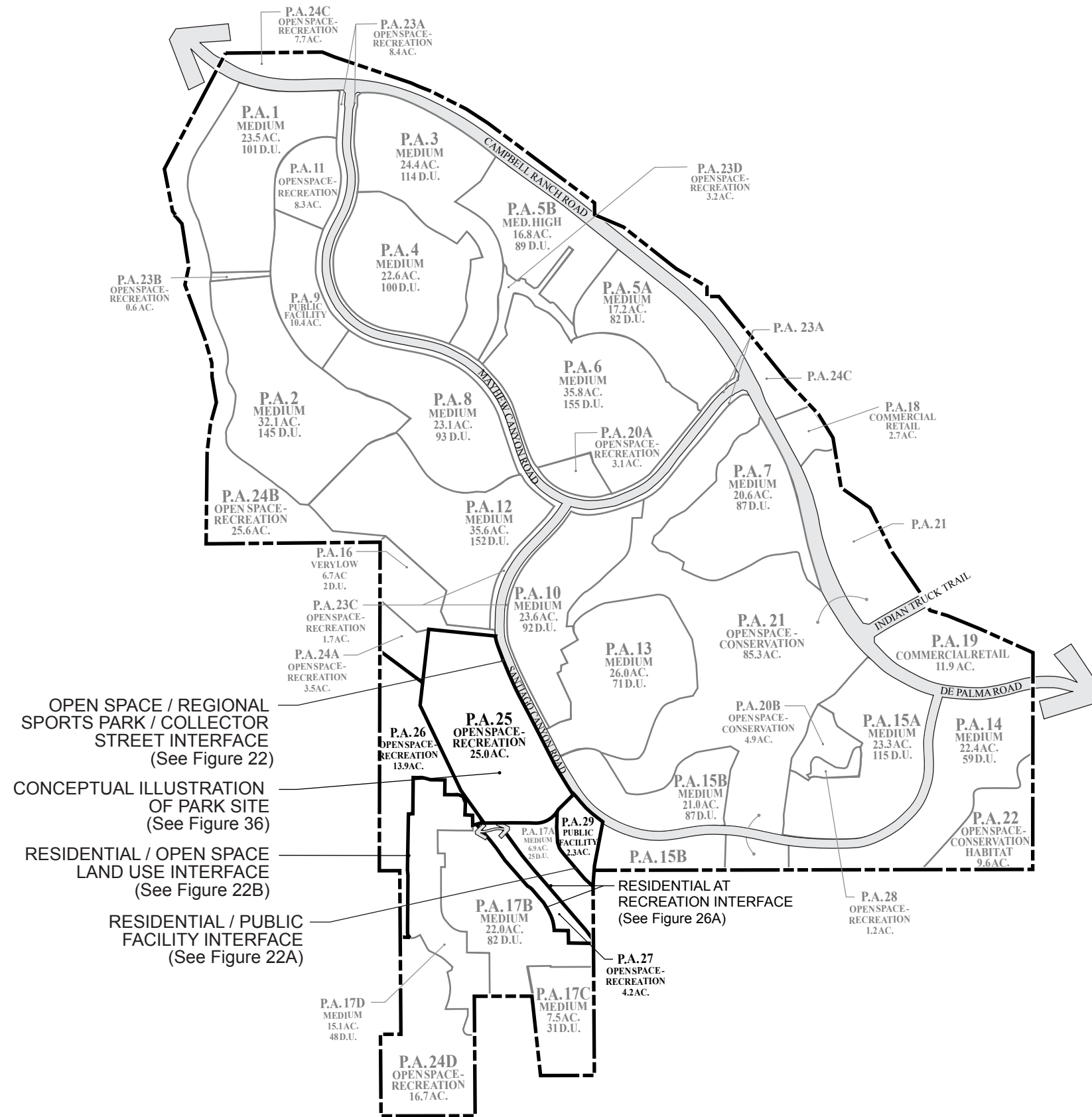
**c. Planning Standards**

- 1) Edge treatments between the open space in Planning Area 26, the Regional Sports Park in Planning Area 25, and off-site mining land uses shall be consistent with Figure 22, *Open Space/ Regional Sports Park, Collector Street Interface*.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

Sycamore Creek  
**PLANNING AREAS  
 25, 26, 27 & 29**



**LEGEND**

PLANNING AREA 25  
 OPEN SPACE - RECREATION  
 25.0 ACRES

PLANNING AREA 26  
 OPEN SPACE - RECREATION  
 13.9 ACRES

PLANNING AREA 27  
 OPEN SPACE - RECREATION  
 4.2 ACRES

PLANNING AREA 29  
 PUBLIC FACILITY  
 2.3 ACRES

OPEN SPACE / REGIONAL  
 SPORTS PARK / COLLECTOR  
 STREET INTERFACE  
 (See Figure 22)

CONCEPTUAL ILLUSTRATION  
 OF PARK SITE  
 (See Figure 36)

RESIDENTIAL / OPEN SPACE  
 LAND USE INTERFACE  
 (See Figure 22B)

RESIDENTIAL / PUBLIC  
 FACILITY INTERFACE  
 (See Figure 22A)

RESIDENTIAL AT  
 RECREATION INTERFACE  
 (See Figure 26A)



**34. Planning Area 27**

**a. Descriptive Summary**

Planning Area 27 is planned as a greenbelt and comprises 4.2 acres. Planning Area 27 provides a physical separation between Planning Area 17A and 17B. Planning Area 27 includes a segment of the Glen Ivy North fault, as well as a 50-foot buffer area on each side of the fault line. The buffer area has been established in accordance with the recommendations contained within the *Alquist-Priolo Earthquake Fault Zone Investigation* prepared by Pacific Soils and Engineering, Inc. (dated June 28, 2002). Planning Area 27 includes a secondary trail; however, this planning area may also feature activity nodes such as family picnic/barbecue areas and seating areas. A detailed discussion of the passive recreational opportunities offered in Planning Area 27 is provided in Section III.A.7, *Open Space and Recreation Plan*.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348.XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Habitable structures are not permitted within Planning Area 27.
- 2) Development in Planning Area 27 shall comply with the recommendations contained within the *Alquist-Priolo Earthquake Fault Zone Investigation* prepared by Pacific Soils and Engineering, Inc. (dated June 28, 2002).
- 3) Edge treatments between residential uses in Planning Areas 17A and 17B and passive park uses in Planning Area 27 shall be consistent with Figure 26A, *Residential Land Use/Recreation Interface*.
- 4) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

**35. Planning Area 29**

**a. Descriptive Summary**

Planning Area 29, as depicted on Figure 14P, comprises 2.3 acres and contains a water quality basin that temporarily detains and treats stormwater during storm events. In addition to providing drainage and water quality functions, the detention basin provides a buffer between Santiago Canyon Road and the single family homes in Planning Area 17A. A tubular steel open Community Theme Fence and landscaping are provided along the perimeter of Planning Area 29 to soften views of the detention basin from residential areas and Santiago Canyon Road.

**b. Land Use and Development Standards**

Please refer to Ordinance No. 348. XXXX. (See Specific Plan Zone Ordinance Tab.)

**c. Planning Standards**

- 1) Edge treatments between the Public Facility uses in Planning Area 29 and the Regional Sports Park in Planning Area 25 shall be consistent with Figure 22A, *Public Facilities/Regional Sports Park Interface*.
- 2) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 3) Please refer to Section III.A., for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan  
III.A.2: Circulation Plan  
III.A.3: Drainage Plan  
III.A.4: Water and Sewer Plans

III.A.5: Public Facilities Phasing Plan  
III.A.6: Grading Plan  
III.A.7: Open Space and Recreation Plan  
III.A.8: Landscaping Plan

## IV. DESIGN GUIDELINES

## **IV. Design Guidelines**

These guidelines are intended only to establish the quality of the architectural and landscape development for the community. These guidelines are not intended to prevent the developer(s) from utilizing alternative designs and/or concepts that are compatible with the overall project theme. Some sections are generic. When the proper marketing study has been completed, the final architectural and landscape designs for the generic sections will respond to the market conditions existing at the time of construction. Landscape development refinement may include such features as; street tree and entry monument tree selection, entry monument sign design, community theme wall design, and possibly the programming of alternative park activities.

### **A. LANDSCAPE DESIGN GUIDELINES, PLANTING GUIDELINES AND COMMUNITY ELEMENTS**

#### **1. Landscape Design Guidelines**

##### **a. Introduction - (See Figure 15)**

The landscape development concept of SYCAMORE CREEK will reinforce and remain sensitive to the established rural character of the site and existing environs. The landscape concept plan features generous landscape setbacks enhancing community streetscenes, an interior paseo network and streetscene trail system, and an extensive recreation amenity package. In addition, the landscape development transitions and buffers on-site development and open space use areas.

Two overall goals guided the landscape development for SYCAMORE CREEK. First is to create a high quality family-oriented community. Second is that SYCAMORE CREEK accommodates the active outdoor California lifestyle of its residents. The following more detailed objectives were used guiding the planning of the landscape development of the SYCAMORE CREEK community:

- 1) Provide a complete network of bicycle and jogging trails, secondary trails and paseo system promoting pedestrian circulation as an alternative to the automobile.
- 2) Provide trail head connections from internal trail network to the Riverside County regional wide trail system.
- 3) Promote outdoor recreation experiences through the development of a quantity of quality parks.
- 4) Develop safe internal routes for school age resident access to education centers with minimal vehicular conflict.
- 5) Develop a comprehensive and coordinated treatment for landscape, hardscape and monumentation which creates a strong thematic identity for SYCAMORE CREEK which also enhances the community's function and aesthetic quality.

Sycamore Creek landscape development character has be influenced by the existing on-site vegetation, Sycamore groves, and natural landforms; and immediate surrounding environs. Existing native vegetation is comprised of Oak Woodland; riparian, including mature Sycamore groves; and grassland



plant communities, as well as, expansive citrus groves. The landforms range from rolling hill tops with 360 degree views, broad plateaus and valleys with low lying creek beds.

Large portions of the riparian areas with Sycamore groves, Oak Woodlands and grasslands will be preserved in the natural open space areas. In addition, the community edges will blend in with these riparian and forest edges to become one harmonious landscape setting.

Immediate surrounding environs adjoining SYCAMORE CREEK are the Cleveland National Forest, the Interstate 15 Freeway, and a mining operation. The Community is planned so that it highlights the on-site natural open space areas, and focuses upon the Cleveland National Forest. The rolling hill tops and broad plateaus of SYCAMORE CREEK maximize the off-site views of the hillsides and canyons to the east and south and the Cleveland National Forest to the west. Community edges are focused internally away from the Interstate 15 Freeway and mining operations by generous landscape buffer/screen zones.

Recreation also forms a key element in the overall community character. Community lifestyle needs have been anticipated with a variety of recreation experiences which are provided by nearby neighborhood parks, a centralized combination school/park, the expansive natural open space areas and on-site greenbelt/paseo trails network with cul-de-sac recreation activity nodes.

Specifically addressed in the Landscape Design section of these guidelines are streetscene treatments for major community streets, minor community streets, and community edge treatments along the mining operation, Interstate 15, natural open space and Cleveland National Forest.

The Plant Materials Guidelines section presents in summary the overall community landscape concept and plant material palette. General information relative to seasonal planting constraints, climate constraints, and horticultural soils test requirements are presented as an aid to successful implementation. General requirements relative to planting installation, irrigation installation and landscape maintenance are also contained herein.

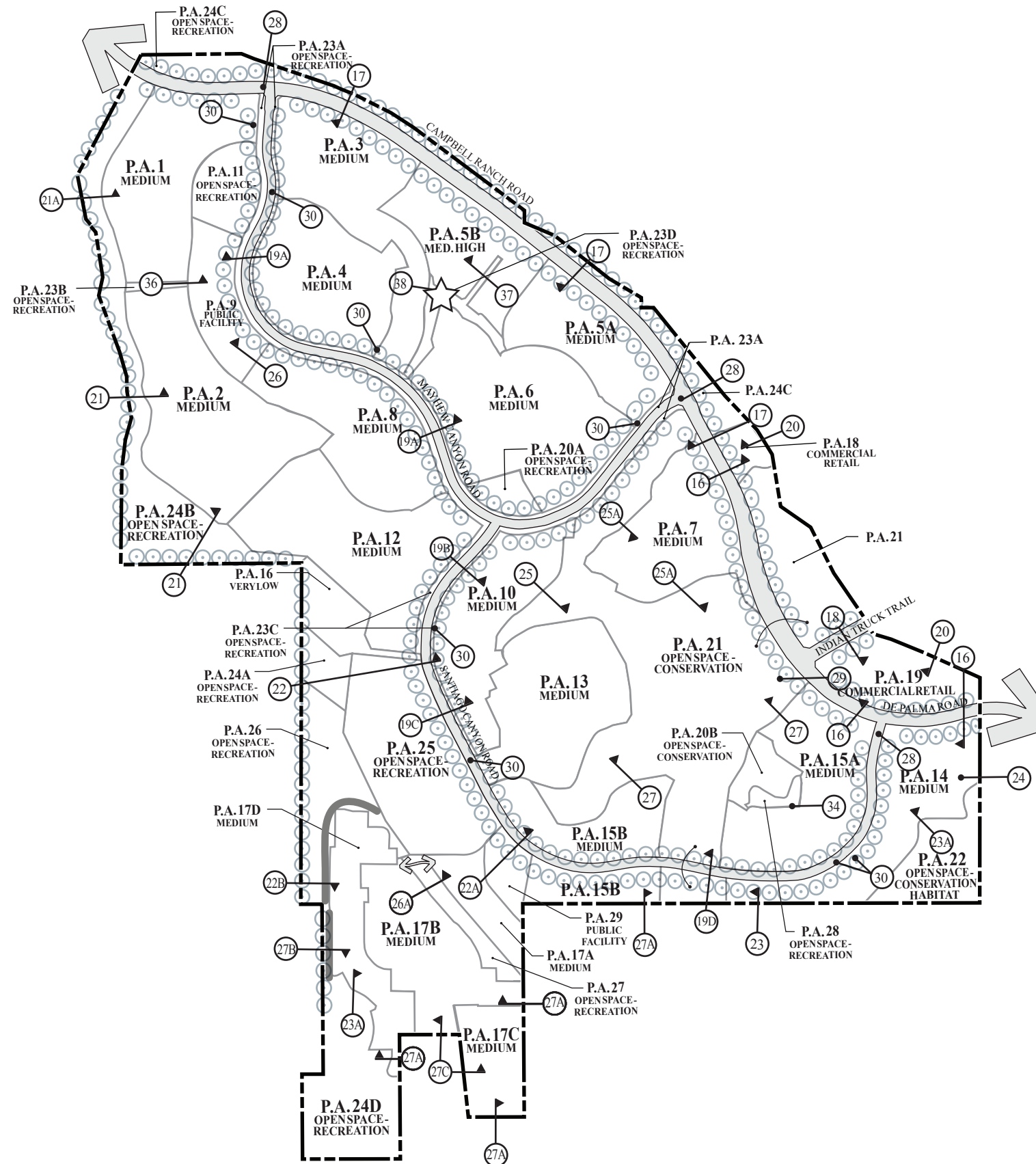
The next section Architectural Design Guidelines, consist of written summaries and graphic exhibits which address the design development of specific and typical project areas that comprise the SYCAMORE CREEK community concept. Both community entries, project entries and neighborhood entries are delineated to further explain the character of the community.

The landscape architectural guidelines are intended to complement the architectural and site planning guidelines and achieve a harmonious, consistent community image reinforcing the overall SYCAMORE CREEK setting.

#### **b. Community Streetscenes**

Campbell Ranch Road, Indian Truck Trail, De Palma Road, Mayhew Canyon Road and Santiago Canyon Road constitute the primary community streetscenes. As such, these roads establish the visual reference setting the quality of the SYCAMORE CREEK community.

Sycamore Creek  
**CONCEPTUAL  
 LANDSCAPE PLAN**



**LEGEND**

- 21** PLANNING AREA NUMBER
- XX** INDICATES ENLARGED PLAN VIEW (See Figure XX)
- XX** INDICATES STREET SCENE OR EDGE CONDITION SECTION (See Figure XX)
- ☆ PASEO ACTIVITY NODE
- BERM



1) Campbell Ranch Road/De Palma Road and Median Island Streetscene at Residential/Commercial and Interstate 15 Land Use Edges:

a) Campbell Ranch Road/De Palma Road Streetscene at Residential/Commercial Land Use Edge - (See Figure 16):

The community landscape development zone associated with residential/ commercial streetscenes along Campbell Ranch Road/De Palma Road consists of:

- Informal Street Tree Groupings
- Evergreen Background and Deciduous Accent Grove Trees on Slopes and Intermixed with Street Trees
- Community Theme Wall or Fence
- A Hierarchy of Entry Monumentation
- Turf Parkway with 4:1 Maximum Mounding
- 2:1 Manufactured Slope with Landscape Buffer
- Community Theme Wall or Fence
- Varying Width Turf Parkway
- Horizontal and Vertical Grade Meandering Sidewalk

The landscape development zone is a minimum of twenty-four feet (24') wide along the toe of 2:1 slopes conditions on Campbell Ranch Road. The LDZ reflects a six foot (6') concrete sidewalk which meanders from a four foot (4') minimum to a twenty-two foot (22') maximum distance away from the face of curb. The sidewalk may also have vertical grade changes.

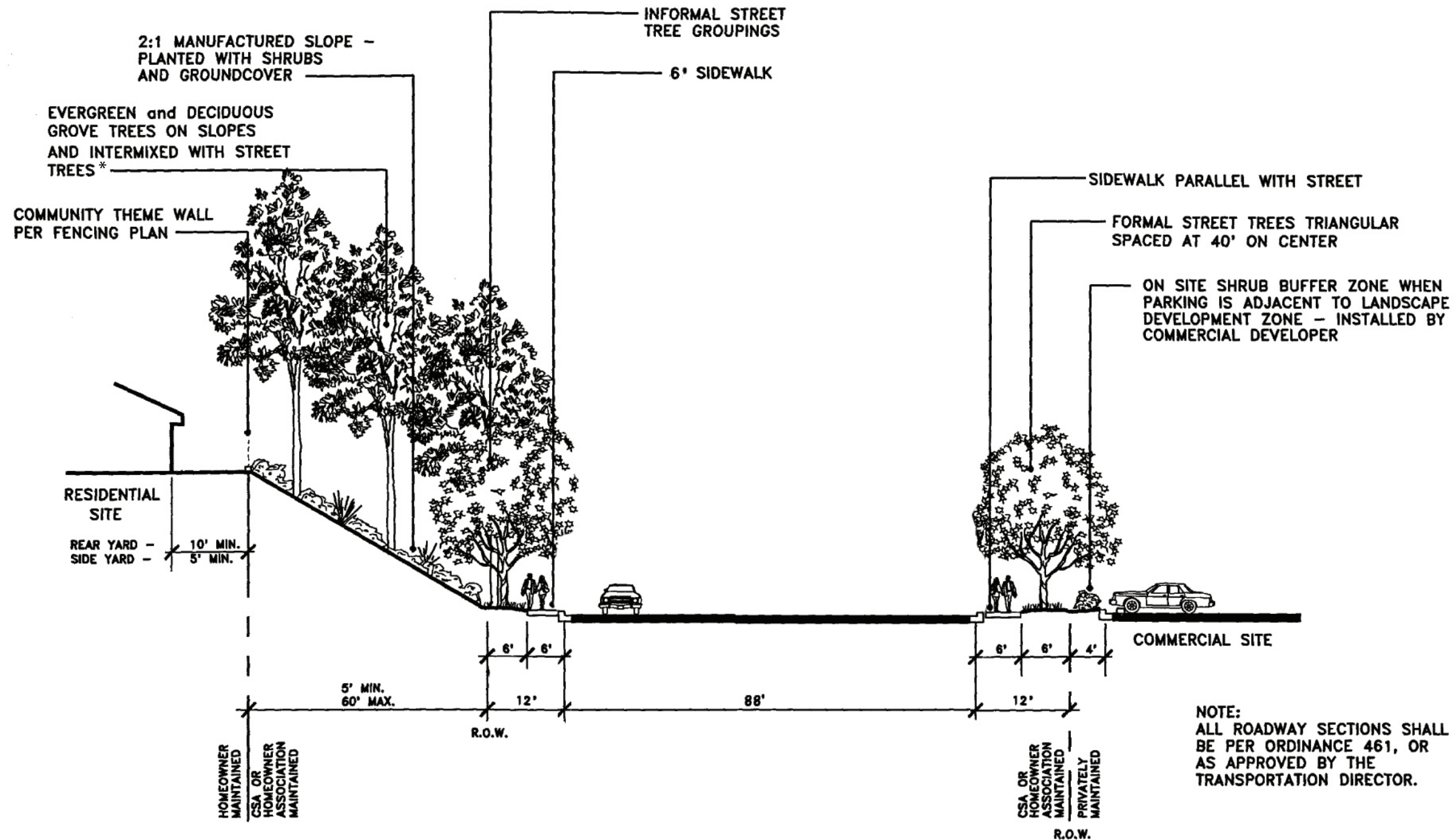
b) Campbell Ranch Road Streetscene at Interstate 15 Interface - (See Figure 17):

The landscape development zone along Campbell Ranch Road at Interstate 15 will vary and duplicate many of the residential edge streetscene features. However, the six foot (6') sidewalk will be omitted as there is no point of destination for pedestrians walking along this side of Campbell Ranch Road.

The commercial streetscene Landscape Development Zone (LDZ) is a minimum twenty-four feet (24') wide at slope conditions and twenty-six feet (26') wide at flat conditions. This LDZ may increase when slopes or buildings adjoin the streetscene.

The twenty-four foot (24') LDZ reflects a six foot (6') concrete sidewalk ten feet (10') away from the face of the curb paralleling the street with a ten foot (10') and an eight foot (8') turf parkway completing this minimum commercial LDZ along 2:1 slope conditions. The twenty-six foot (26') LDZ condition contains a six foot (6') concrete sidewalk bordered on each side with a ten foot (10') turf area. The commercial site development will contain an additional shrub and groundcover planting area adjacent to this LDZ. Shrubs will form a minimum three foot (3') high screen along parking lots when they are adjacent to the LDZ.

CAMPBELL RANCH ROAD/  
DE PALMA RD STREETSCENE AT  
RESIDENTIAL / COMMERCIAL  
LAND USE INTERFACE  
(SLOPE CONDITION)



NOTE:  
ALL ROADWAY SECTIONS SHALL  
BE PER ORDINANCE 461, OR  
AS APPROVED BY THE  
TRANSPORTATION DIRECTOR.

\* SLOPE TREES SHALL BE COMPLIANT WITH RIVERSIDE COUNTY FUEL MODIFICATION STANDARDS



CAMPBELL RANCH ROAD  
STREETSCENE AT  
INTERSTATE 15 INTERFACE

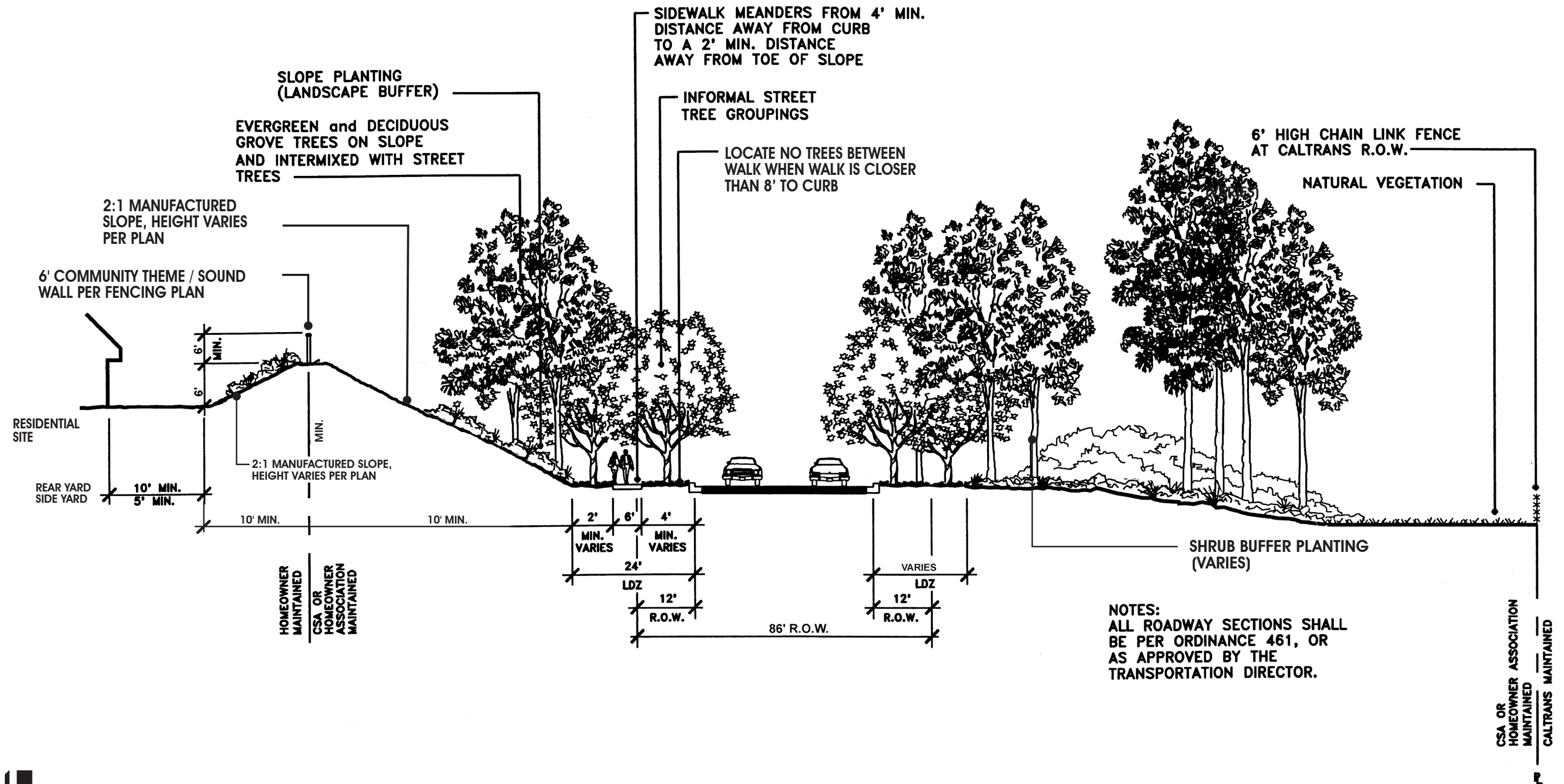
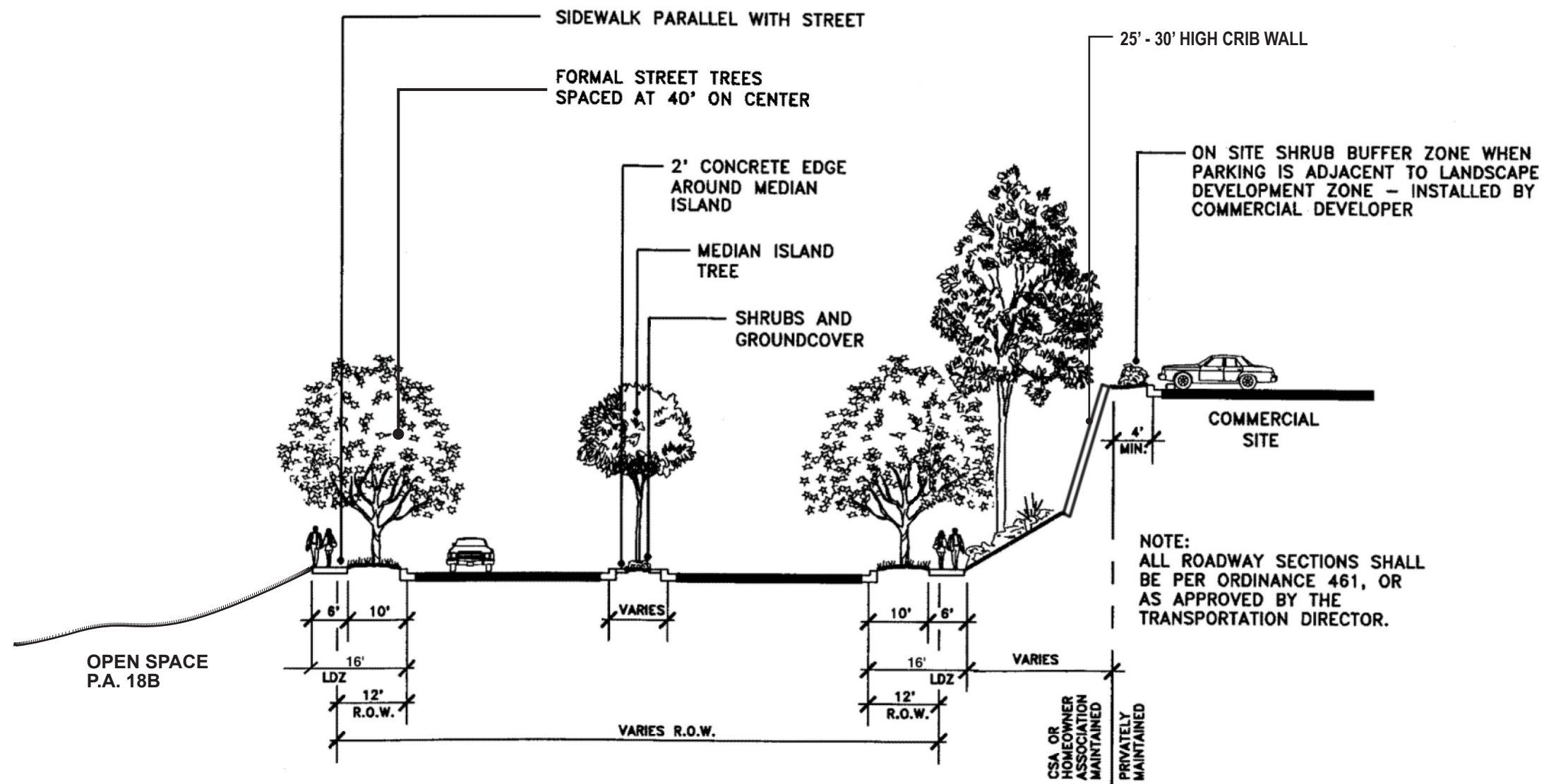


Figure 17

INDIAN TRUCK TRAIL  
WITH MEDIAN ISLAND  
STREETSCENE AT  
COMMERCIAL INTERFACE



- 2) Mayhew Canyon Road, and Santiago Canyon Road, Streetscene at Residential Land Use Interface - (See Figures 19A and 19B):

The landscape development associated with the streetscenes along Mayhew Canyon Road, and Santiago Canyon Road may consist of:

- Informal Street Tree Groupings
- Informal Evergreen Background Grove and Deciduous Accent Trees
- on Slopes and Intermixed with Street Trees
- Community Theme Wall
- Horizontal and Vertical Meandering Sidewalk
- Decomposed granite multi-purpose trail
- Varying Width Turf Parkway
- A Hierarchy of Entry Monumentation

- a) Landscape Development Zone

This community streetscene Landscape Development Zone (LDZ) is a minimum of twenty feet (20') wide. The LDZ width will increase more when slopes adjoin the streetscene.

The twenty foot (20') LDZ reflects a five foot (5') concrete sidewalk which meanders from a four foot (4') minimum distance from the face of the curb to a four foot (4') minimum away from wall face and to a two foot (2') minimum away from toe of slope. The sidewalk may also have vertical grade changes.

**c. Community Edge Boundaries:**

- 1) Interstate 15 Freeway Community Boundary

The landscape development paralleling Interstate 15 Freeway is of primary importance. Not only does this landscape delineate the community boundary, but it acts as sound attenuation element.

A sound attenuation report has been prepared for all off-site land uses. An Analysis and Mitigation of Surface Traffic Noise Impact on the SYCAMORE CREEK Residential Community was prepared by Smith, Fause and McDonald, Inc. This report dictates the location and heights of sound attenuation walls and/or earth berms. As dictated by the report, a six foot (6') high masonry wall and landscape berm will be constructed along the homeowner property line and association maintenance area. All berms occurring within the on-site landscape buffer/screen zone shall have a maximum 2:1 gradient. Berm heights will vary per the recommendation of the sound attenuation report and in no case will masonry sound walls be higher than six feet (6') in height. (See Figure 20)

- a) Commercial Site at Interstate 15 Land Use Interface - (See Figure 20):

Where commercial sites border Interstate 15 freeway, three (3) edge conditions exist. These edge conditions consist of an upslope condition, a downslope condition and a flat

Sycamore Creek  
MAYHEW CANYON ROAD  
STREETSCENE AT  
RESIDENTIAL LAND  
USE INTERFACE

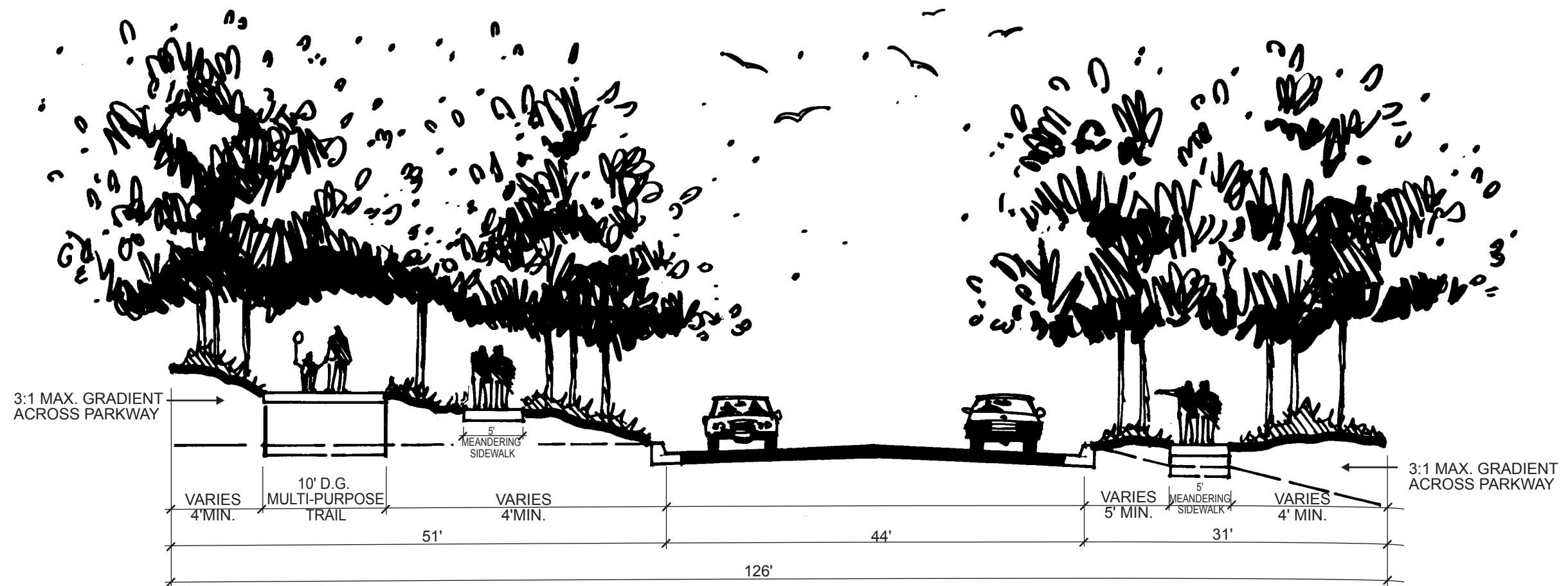
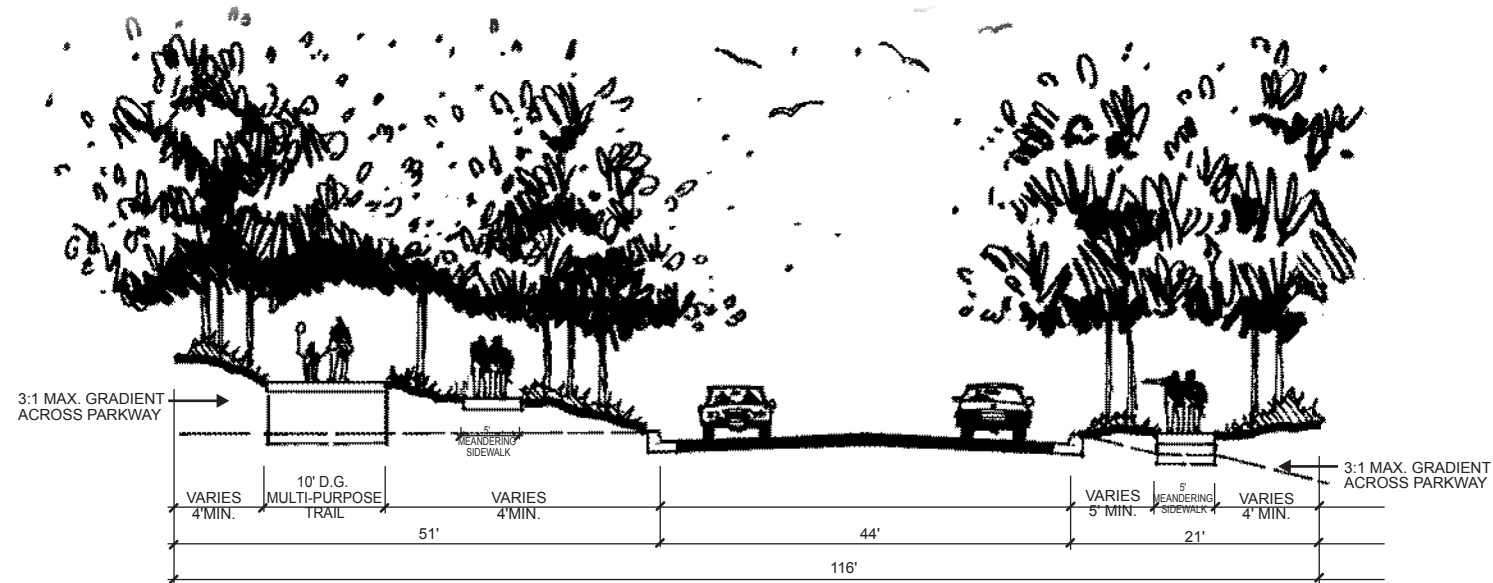


FIGURE 19A MAYHEW CANYON ROAD STREETSCENE

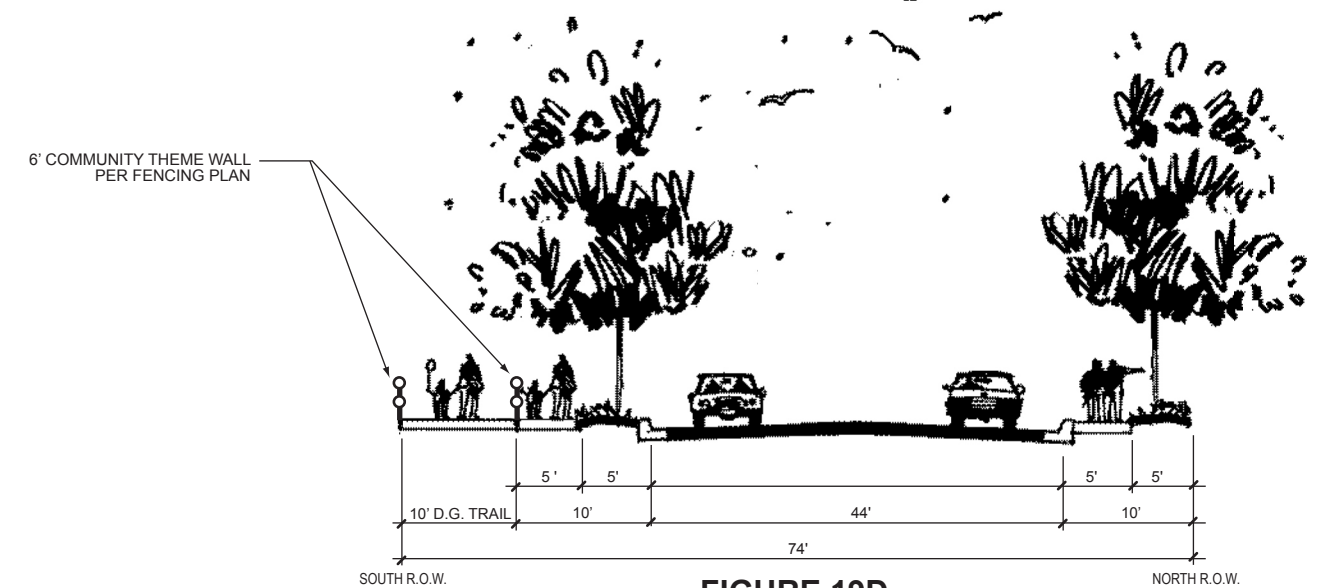




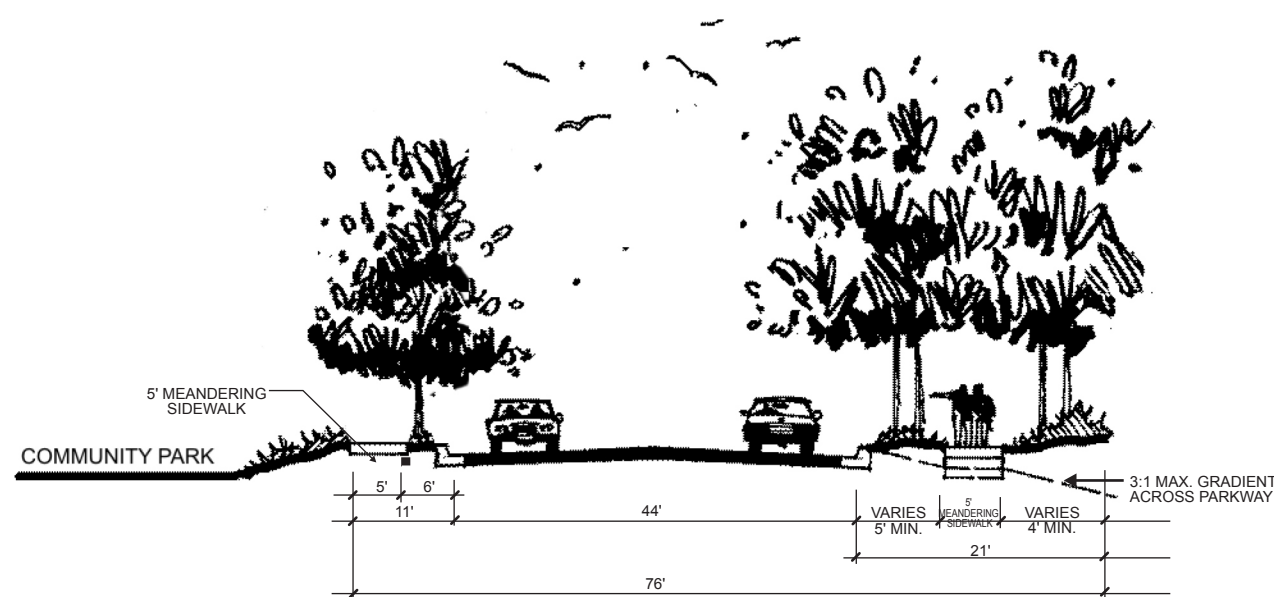
SANTIAGO CANYON ROAD  
STREETSCENES AT RESIDENTIAL  
AND COMMUNITY PARK  
LAND USE INTERFACE



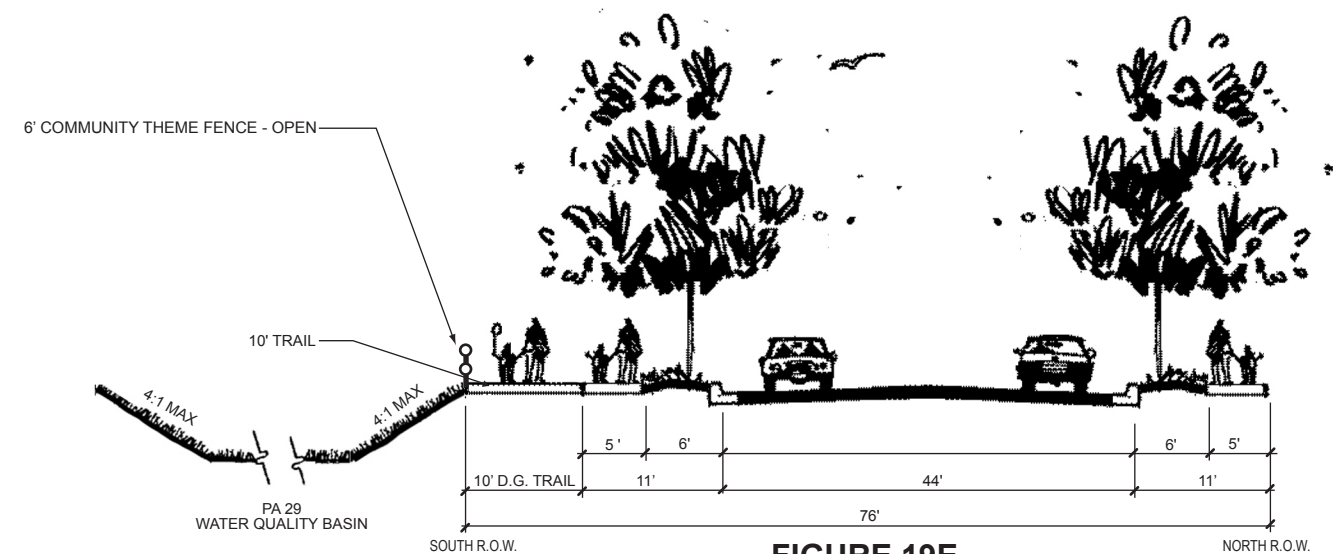
**FIGURE 19B**  
SANTIAGO CANYON ROAD STREETSCENE  
(ADJACENT TO P.A. 12)



**FIGURE 19D**  
SANTIAGO CANYON ROAD STREETSCENE  
(ADJACENT TO P.A. 14, 15A , & 15B)



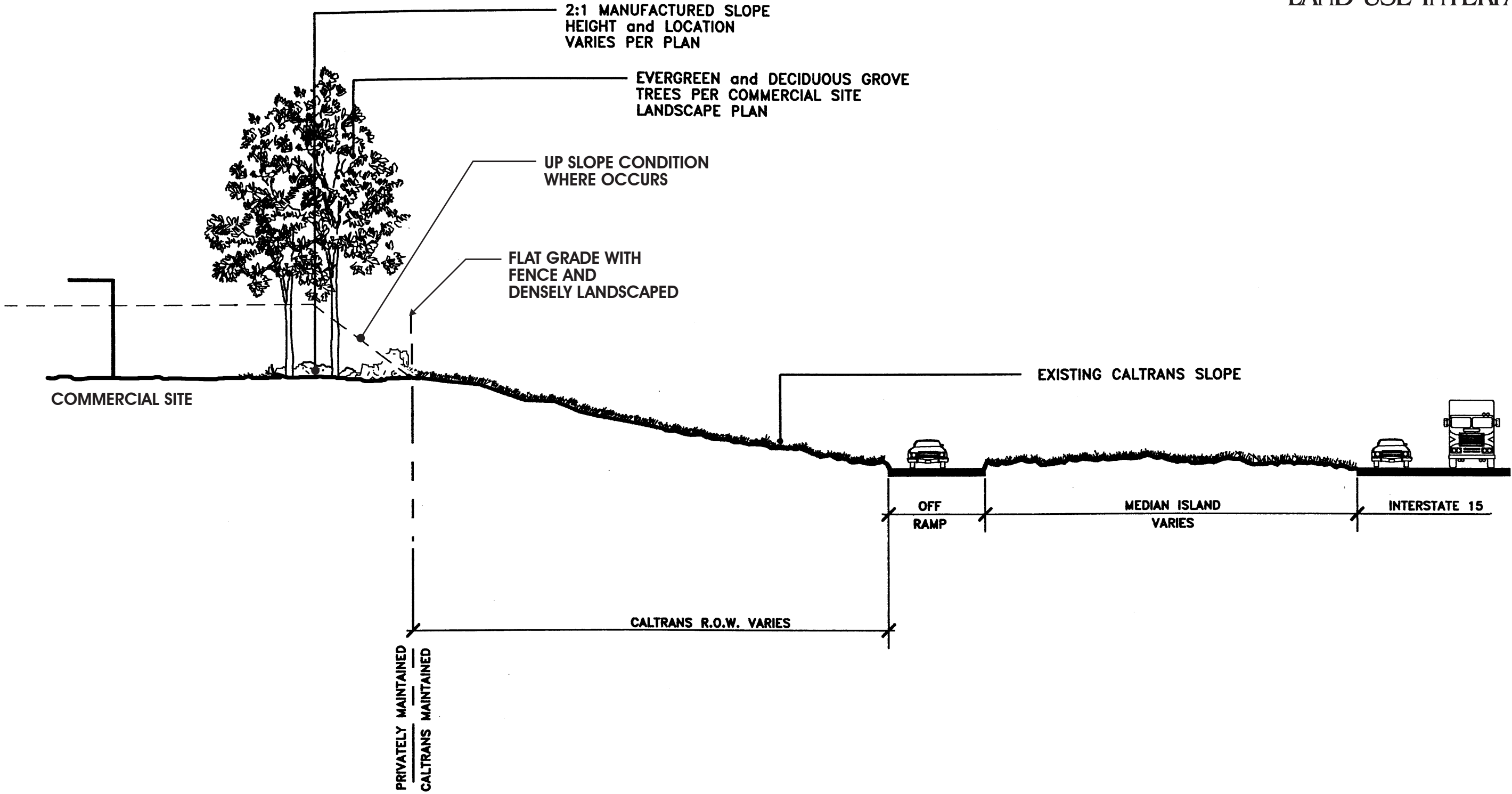
**FIGURE 19C**  
SANTIAGO CANYON ROAD STREETSCENE  
(ADJACENT TO COMMUNITY PARK P.A. 25)



**FIGURE 19E**  
SANTIAGO CANYON ROAD STREETSCENE  
(ADJACENT TO P.A. 29)



Sycamore Creek  
**COMMERCIAL SITE AT  
 INTERSTATE 15  
 LAND USE INTERFACE**



SOURCE: HRP LANDESIGN

Figure 20

at-grade condition. On both slope conditions, the slopes will be landscaped with evergreen grove trees and shrubs to form an effective screen softening the sound from the freeway. On the flat grade, a ten foot (10') wide planting area, densely landscaped, and a fence will be located on the property line.

2) Mining Operation Community Boundary

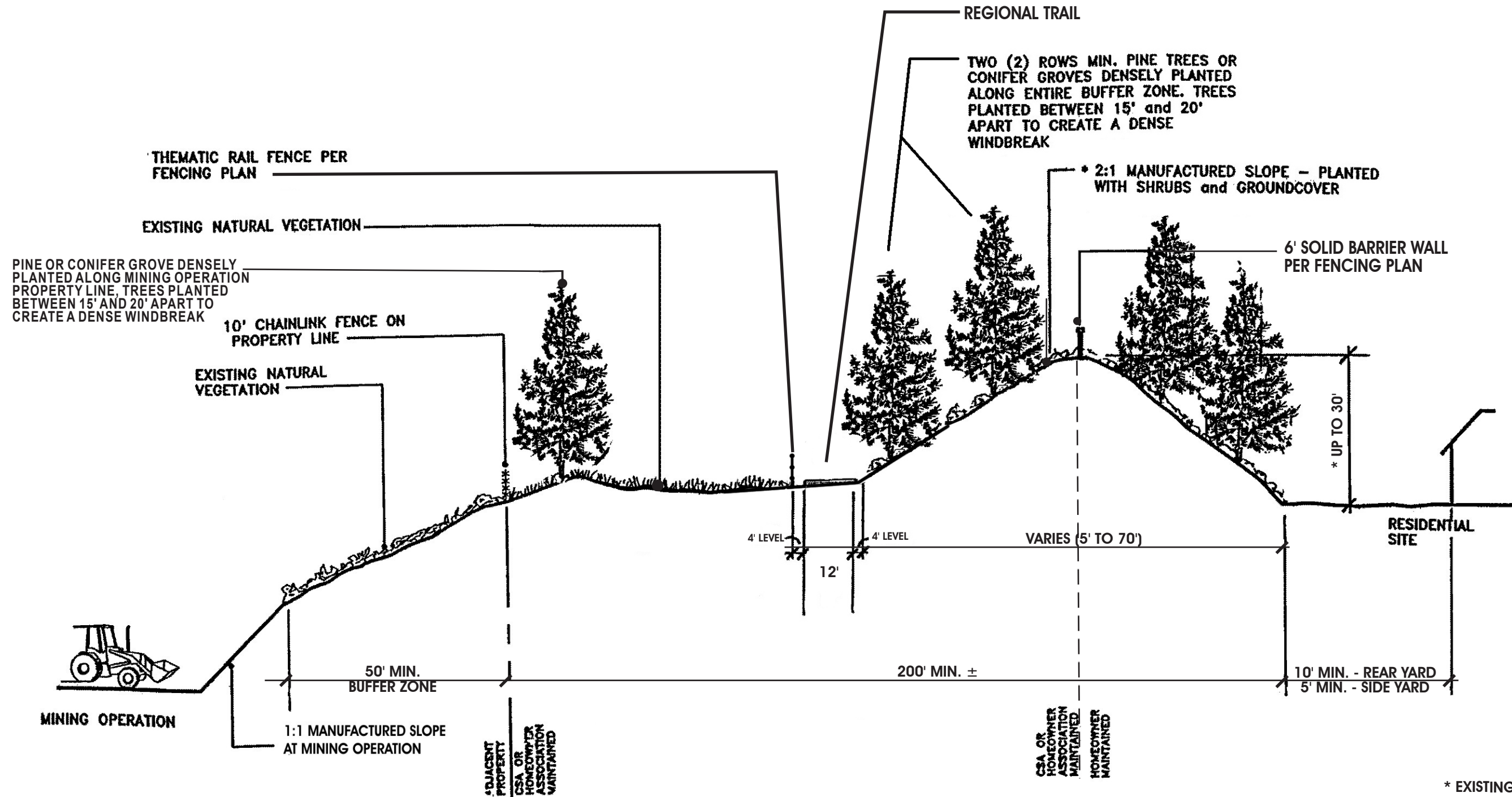
A great deal of study and consideration has been exercised in establishing the most appropriate solution to mitigate the impact of the off-site mining operation adjacent to SYCAMORE CREEK'S western boundary. The mitigation practices will include a six foot (6') barrier wall as needed for sound attenuation. As per RKJK Sound Attenuation Reports dated May 14, 1999 and July 14, 1999, this wall may be built on top of a berm of varying height (see Figure 21). Additionally, a landscape development zone (LDZ) will be created to address visual impacts, slope erosion control and air quality. The setback/LDZ will be planted with drought-tolerant species which include acacia, juniper and firethorn species which contain thorns and/or sharp leaves to discourage access to the mine site. The setback width will vary as dictated by the berm height which, in some cases, may be as high as thirty feet (30'). The berm height is determined by the sound attenuation report. In addition to the on-site upgraded landscape development, the mining operation site will also have a fifty foot (50') buffer zone with native vegetation. A ten foot (10') high chain link fence will be located along the edge of the mining property to prohibit access to the mine area.

All landscape buffers along the mining operation will conform to the report titled *An Analysis of the Air Quality Impacts of Sand and Gravel Operations on the Proposed Sycamore Creek Development* dated May 1990 as prepared by Michael Brandman Associates. This report states that coniferous or pine tree species should be planted for use as wind screens, pollution filters and dust particulate matter filters between the community development edge and the mining operation boundary. Per the report, a minimum of two (2) staggered rows of closely planted conifers and/or pines will be planted near the top of the northwest edge of the landscape screen berm along the mining operation edge. In addition, a third row of closely spaced conifers or pines will be planted directly adjacent to the mining operation boundary. This third row of trees will act as a first line of defense against wind blown matter and will further minimize adverse impacts. Refer to the Planting Guidelines section for a list of appropriate coniferous and pine tree species to be used on this windbreak zone.

a) Residential Land Use at Mining Operation Land Use Interface - (See Figure 21 and 21A):

The landscape development zone proposed along this residential edge will contain the four (4) features; a regional trail, a fencing hierarchy, berming and a landscape windbreak/buffer. Beginning the landscape windbreak/buffer will be a minimum of two (2) staggered rows of closely spaced coniferous or pine tree windbreak, a community theme wall followed by a ten foot (10') landscape buffer and fenced regional trail. The regional trail will be recessed sufficiently so that privacy is afforded the adjacent residences. Directly adjacent to the regional trail is a variable

Sycamore Creek  
 RESIDENTIAL / MINING  
 OPERATION BERM  
 EDGE INTERFACE



\* EXISTING CONDITION



RESIDENTIAL / MINING  
OPERATION LAND USE  
EDGE INTERFACE

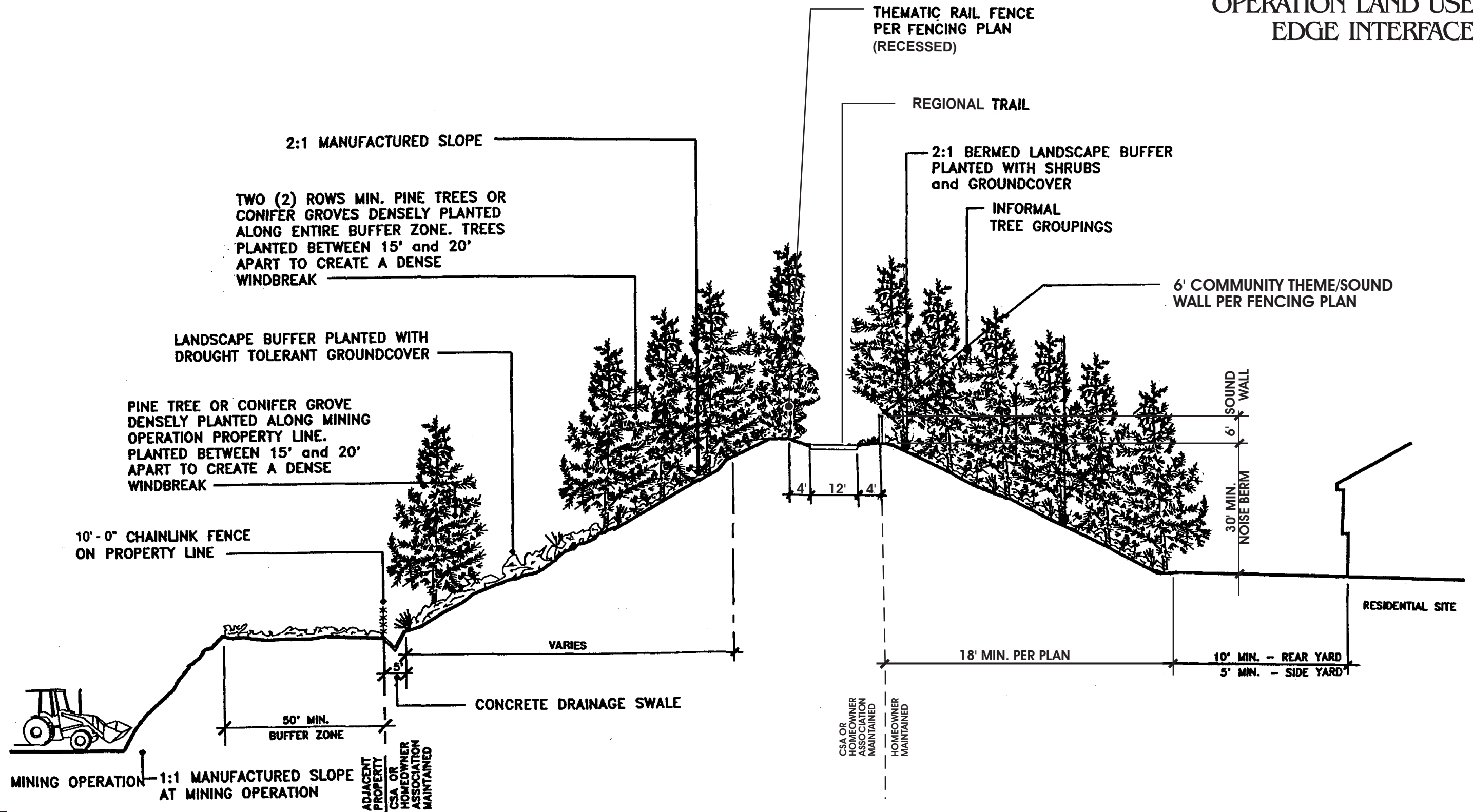


Figure 21A

width landscaped berm which is followed by a six foot (6') high solid masonry barrier wall. A third row of coniferous or pine tree windbreak will be planted at or near the property line. In addition, a ten foot (10') chain link fence will be constructed along the property line.

b) Open Space/Regional Sports Park/ Collector Street Interface – (See Figure 22):

The residential land use along the western edges of Planning Areas 10, 13, and 15B are buffered from off-site land uses by the Regional Sports Park; a regional trail segment; community walls and fences; and an open space buffer. Santiago Canyon Road and a ten foot (10') wide minimum landscape buffer on the Regional Sports Park site will separate nearby residences from Regional Sports Park activities. The regional trail segment will be located along the boundary of the open space buffer, providing users with a view of the activities in the park. An open space area is provided between the regional trail and the community boundary to provide a buffer between off-site land uses and on-site recreational and residential land uses. An existing 10-foot high chain link fence is provided along the community's shared boundary with mining operations. The chain link fence clearly delineates the boundary between the adjacent quarry and the SYCAMORE CREEK community and provides residents with a secure, physical barrier from mining operations.

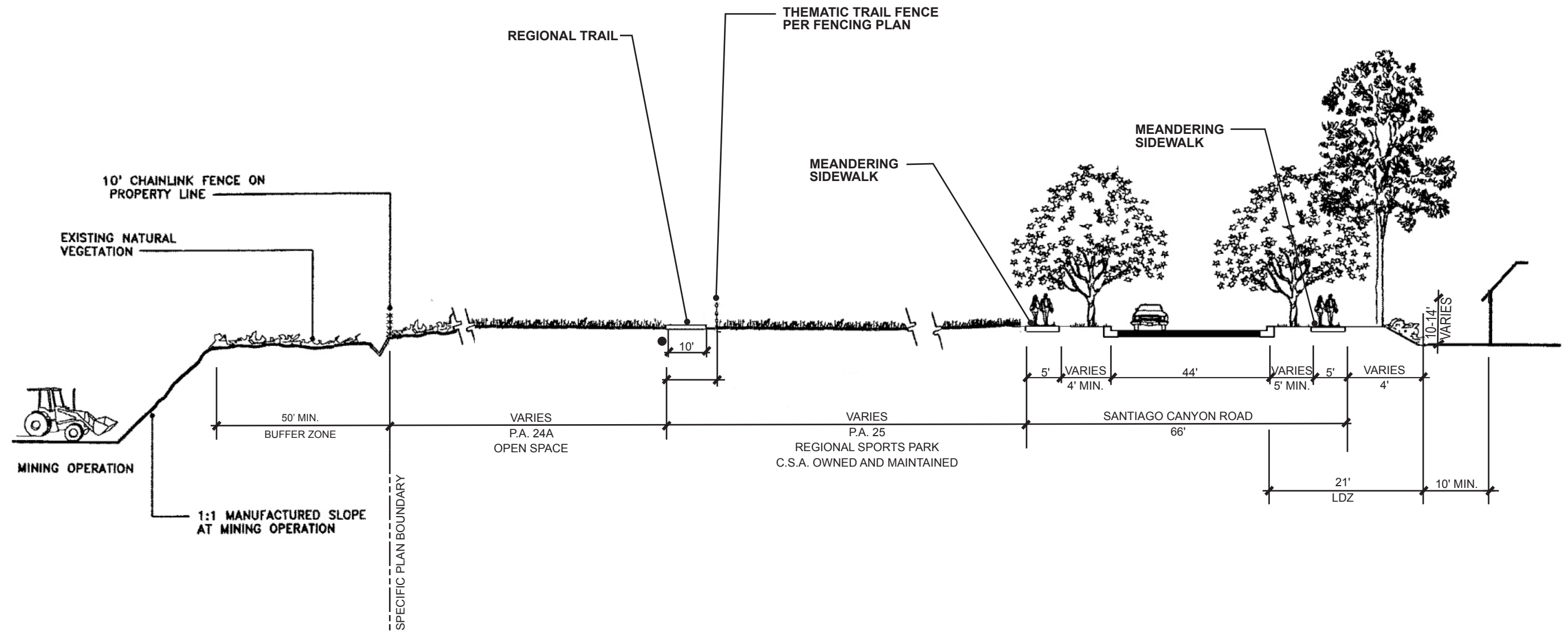
c) Residential/Public Facility Interface – (See Figure 22A)

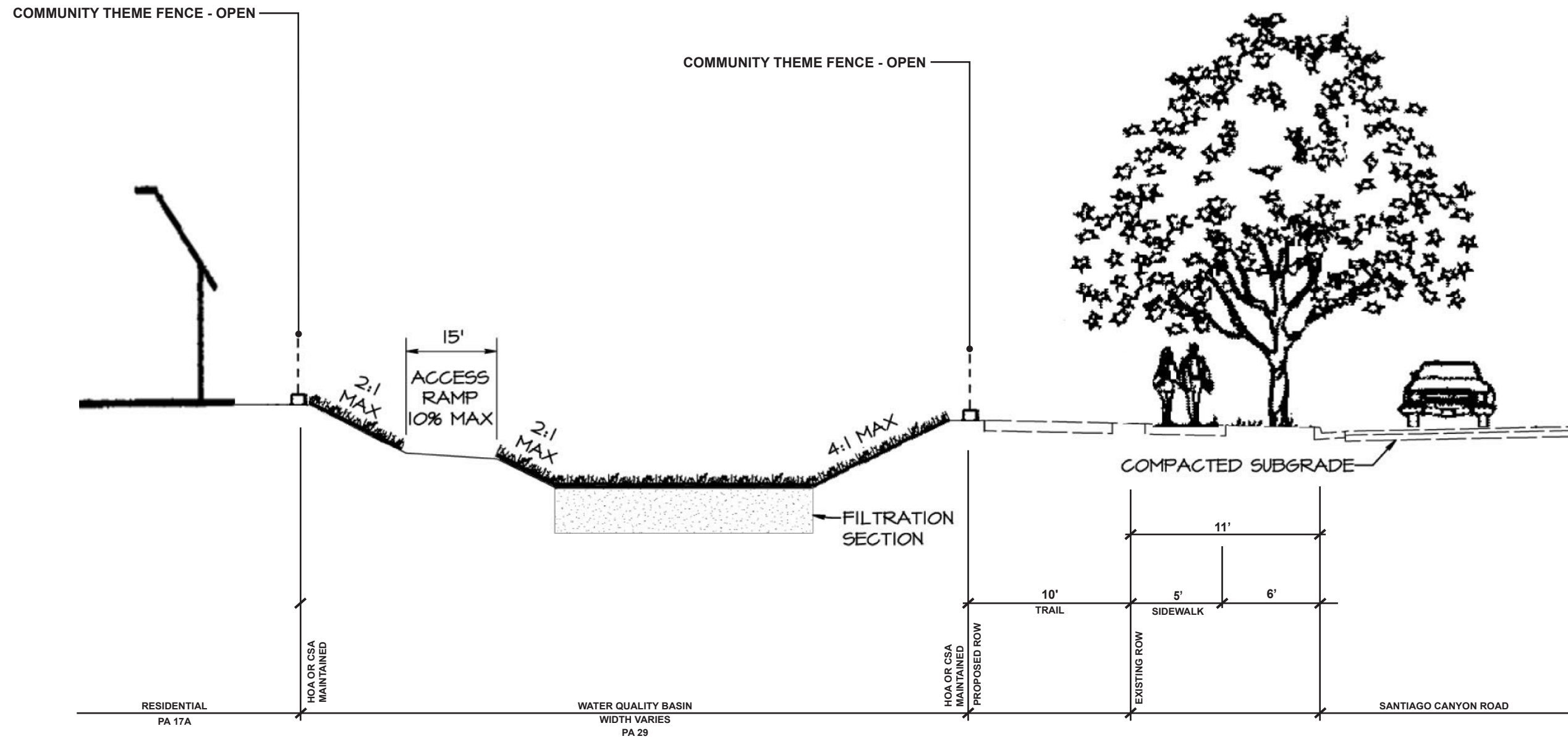
Figure 22A, *Residential/Public Facility Interface*, illustrates the transition from residential land uses in Planning Area 17A to the public facility land uses in Planning Area 29 (water quality management basin).. Along the boundary of the detention basin in Planning Area 29, an open tubular steel Community Theme Fence and landscaping (i.e., trees) are provided to screen adjacent homes and passersby on Santiago Canyon Road from the detention basin. In addition, landscaping, including street trees and low shrubs or groundcover, are planted within the parkway adjacent to Santiago Canyon Road to soften the appearance of the detention basin from Santiago Canyon Road.

d) Residential/Open Space Land Use Interface – (See Figure 22B)

Figure 22B, *Residential/Open Space Land Use Interface*, illustrates the transition from residential land use in Planning Area 17D to the open space in Planning Area 26 and the off-site aggregate mining operation located west of the SYCAMORE CREEK community. As depicted on Figure 22B, an earthen berm densely planted with trees and drought tolerant groundcover is located along the interface between Planning Area 17D and Planning Area 26 to provide a visual and noise buffer between on-site residences from the off-site mining area. A solid six-foot tall masonry wall is provided at the top of the berm to further screen on-site residences from off-site mining land uses. In addition to screening residential land uses within the SYCAMORE CREEK community from the adjacent mining operation, the landscape berm provides a windbreak that minimizes adverse impacts associated with dust and other particulate matter generated at the off-site mine. An existing 10-foot high chain link fence is provided along the community's shared boundary with mining operations in order to clearly delineate the boundary between the adjacent quarry and the SYCAMORE CREEK community

OPEN SPACE / REGIONAL  
SPORTS PARK / COLLECTOR  
STREET INTERFACE







# RESIDENTIAL / OPEN SPACE LAND USE INTERFACE

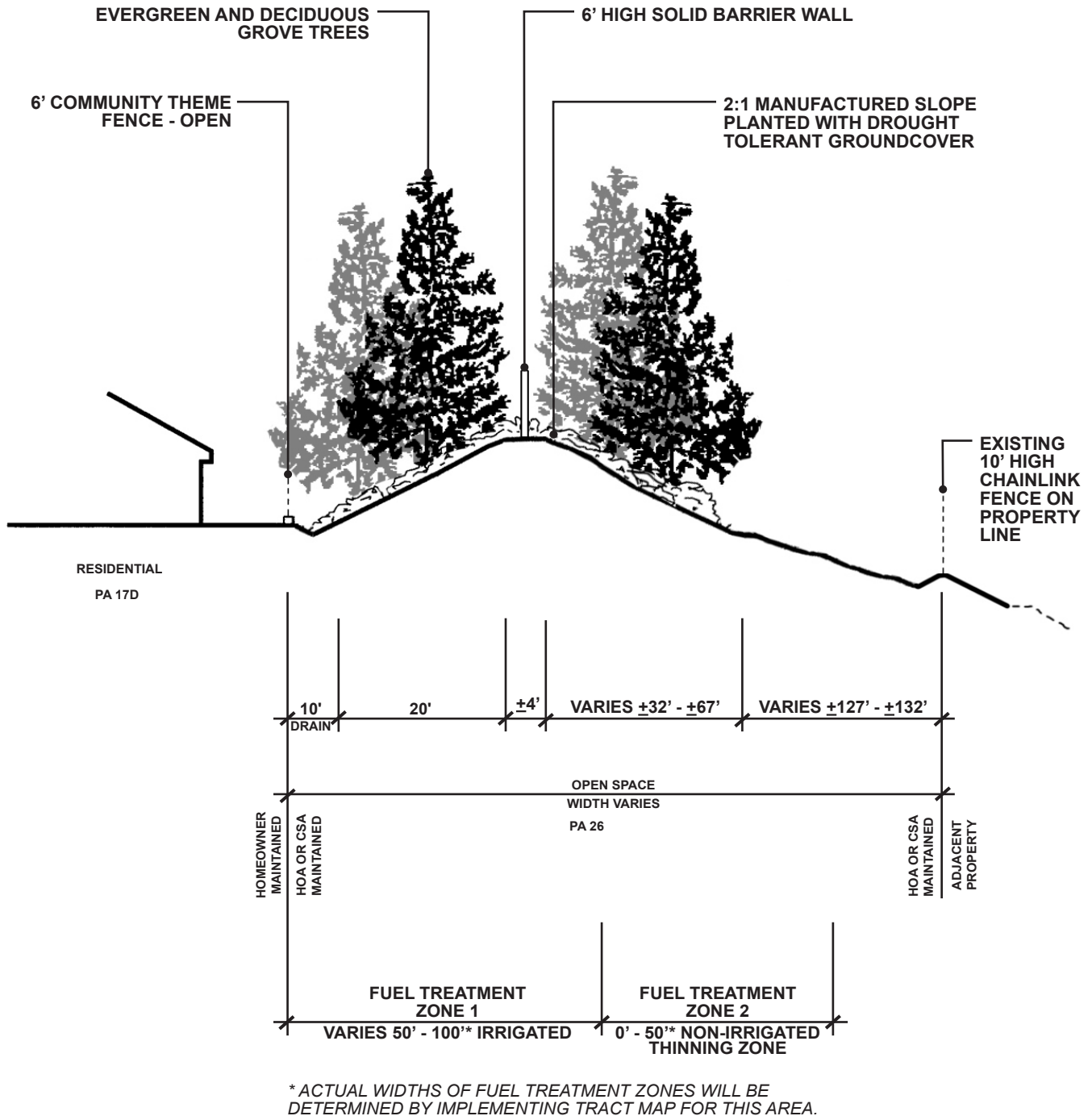


Figure 22B

3) Fire Fuel Modification

The U.S. Forest Service is concerned that a fire fuel modification zone be maintained along the community boundary at the Cleveland National Forest and at any large natural open space areas adjoining the community.

a) Residential Land Use at National Forest and Off-Site Natural Slope Interface - (See Figure 23):

A fire fuel modification zone shall be established that is one hundred feet (100') wide measured from the community property line to undisturbed forest land. The fire fuel modification zone shall be constructed as follows:

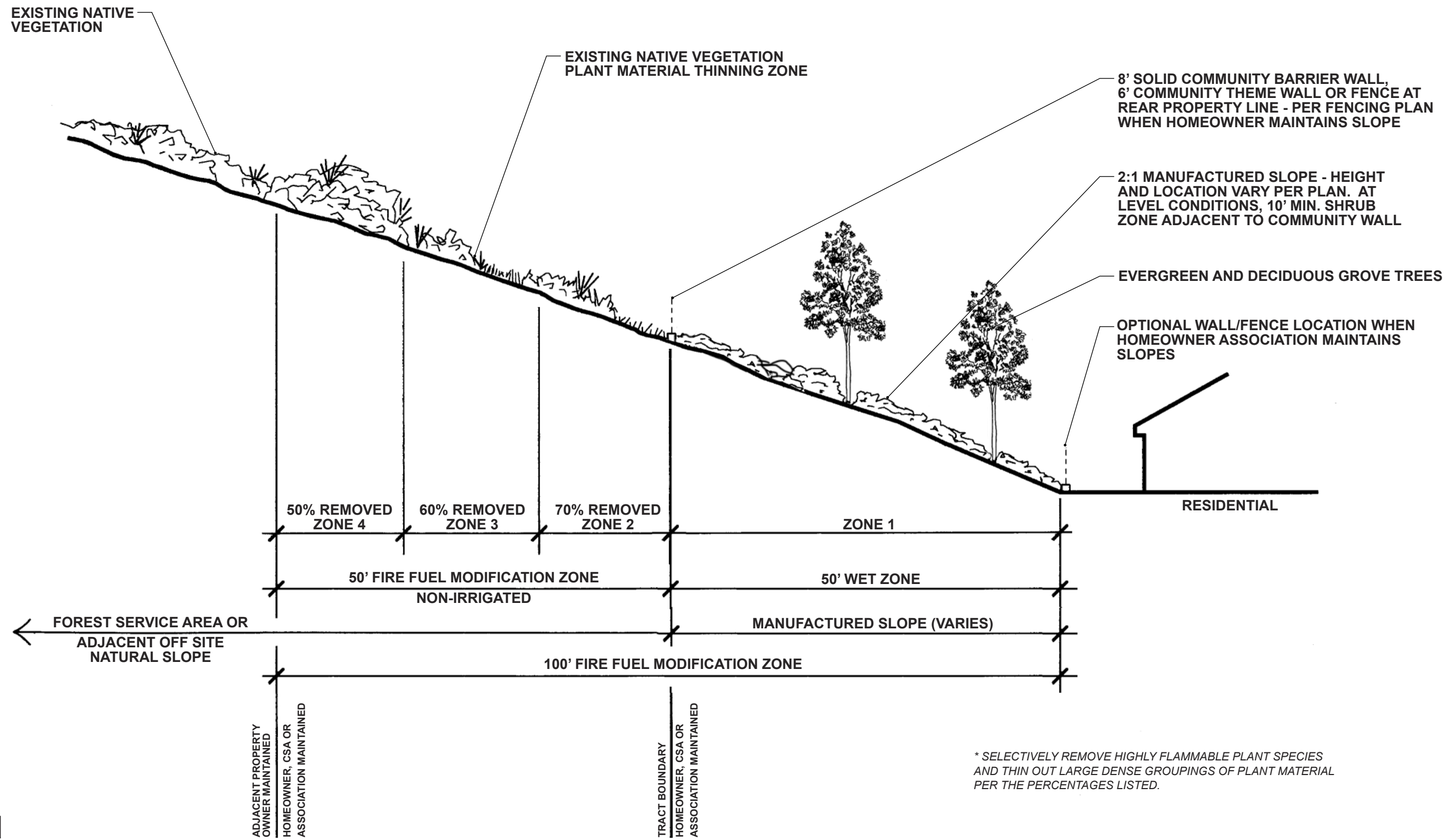
- (1) Selectively remove highly flammable plant species.
- (2) Selectively thin out large, dense groupings of plant materials.
- (3) Remove plant material in a manner that will promote a natural appearance to fuel modification areas.
- (4) Provide non-flammable fencing at community property line adjacent to open space area.
- (5) Maintenance of fuel modification area shall be maintained by a homeowner's association or maintenance district.

Zone 1, closest to the residential edge, shall have a minimum of seventy percent (70%) of the native vegetation removed. Zone 2, the middle zone, shall have a minimum of sixty percent (60%) of native vegetation removed. The last zone, Zone 3, closest to the Cleveland National Forest, shall have a minimum of fifty percent (50%) of native vegetation removed.

b) Residential Land Use at Interior On-Site Natural Open Space Slope Edge - (See Figures 23A, 25, 25A and 27)

In Planning Areas 10, 13, 15A and 15B, fire fuel modifications are the same as those listed above except the modification area shall also be one hundred feet (100') wide and a tubular steel view fence or sound attenuation wall as dictated by the Sound Attenuation Report will be provided at the rear property line of adjacent residences (see Figures 25, and 27). In Planning Areas 7, 17B and 17D, a 100-foot fire fuel modification zone is provided adjacent to natural open space areas (see Figures 23A and 25A). In these Planning Areas, the required fuel modification treatment is divided into two zones: Zone 1 (irrigated, drought-tolerant landscaping) and Zone 2 (non-irrigated, vegetation thinning zone). The widths of the fuel modification zone shall be determined by implementing tract maps for these Planning Areas.

**RESIDENTIAL / CLEVELAND  
NATIONAL FOREST AND OFF-SITE  
NATURAL SLOPE INTERFACE**

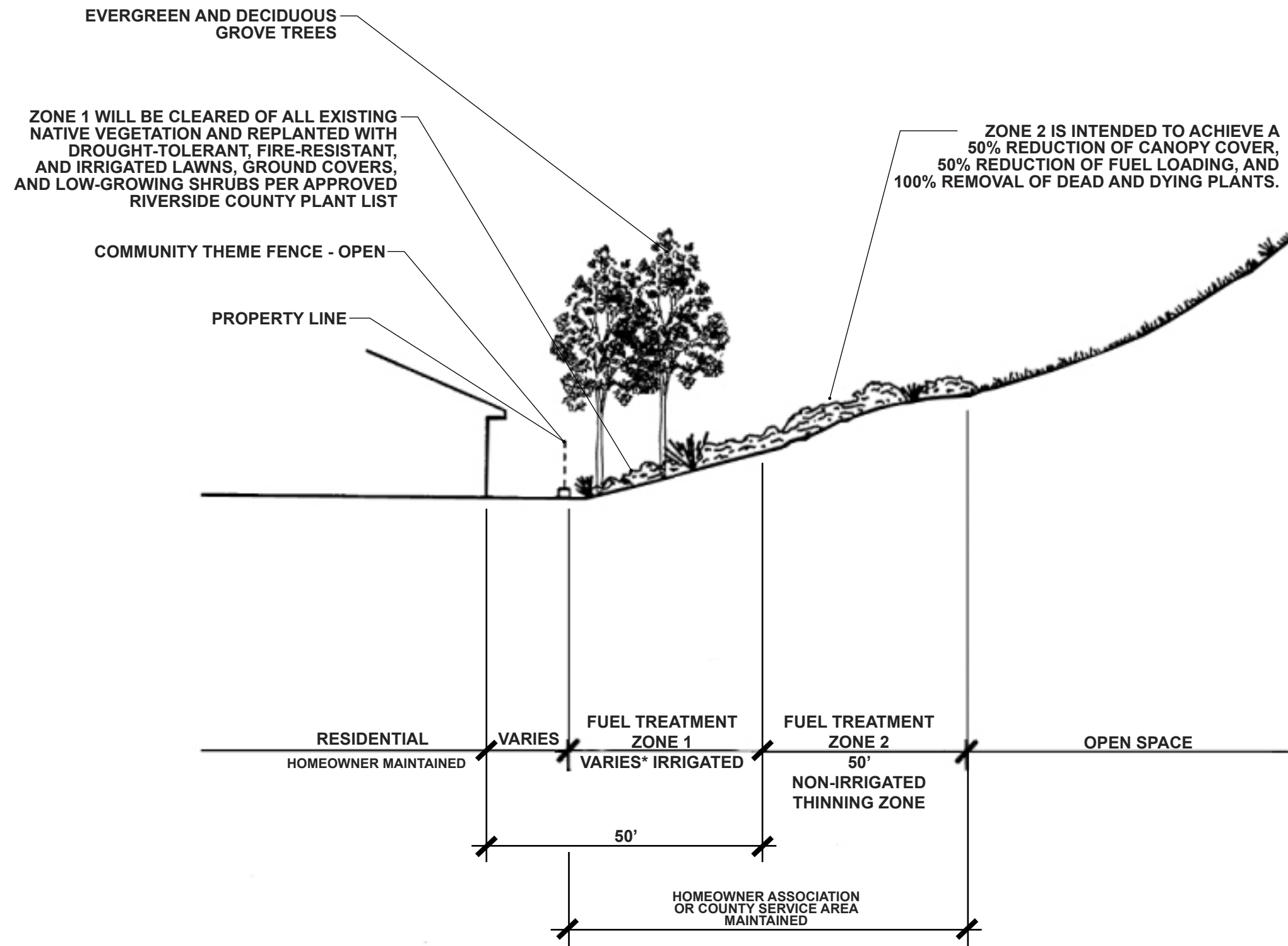


\* SELECTIVELY REMOVE HIGHLY FLAMMABLE PLANT SPECIES AND THIN OUT LARGE DENSE GROUPINGS OF PLANT MATERIAL PER THE PERCENTAGES LISTED.



Figure 23

RESIDENTIAL AT OPEN SPACE  
AREA LAND USE INTERFACE






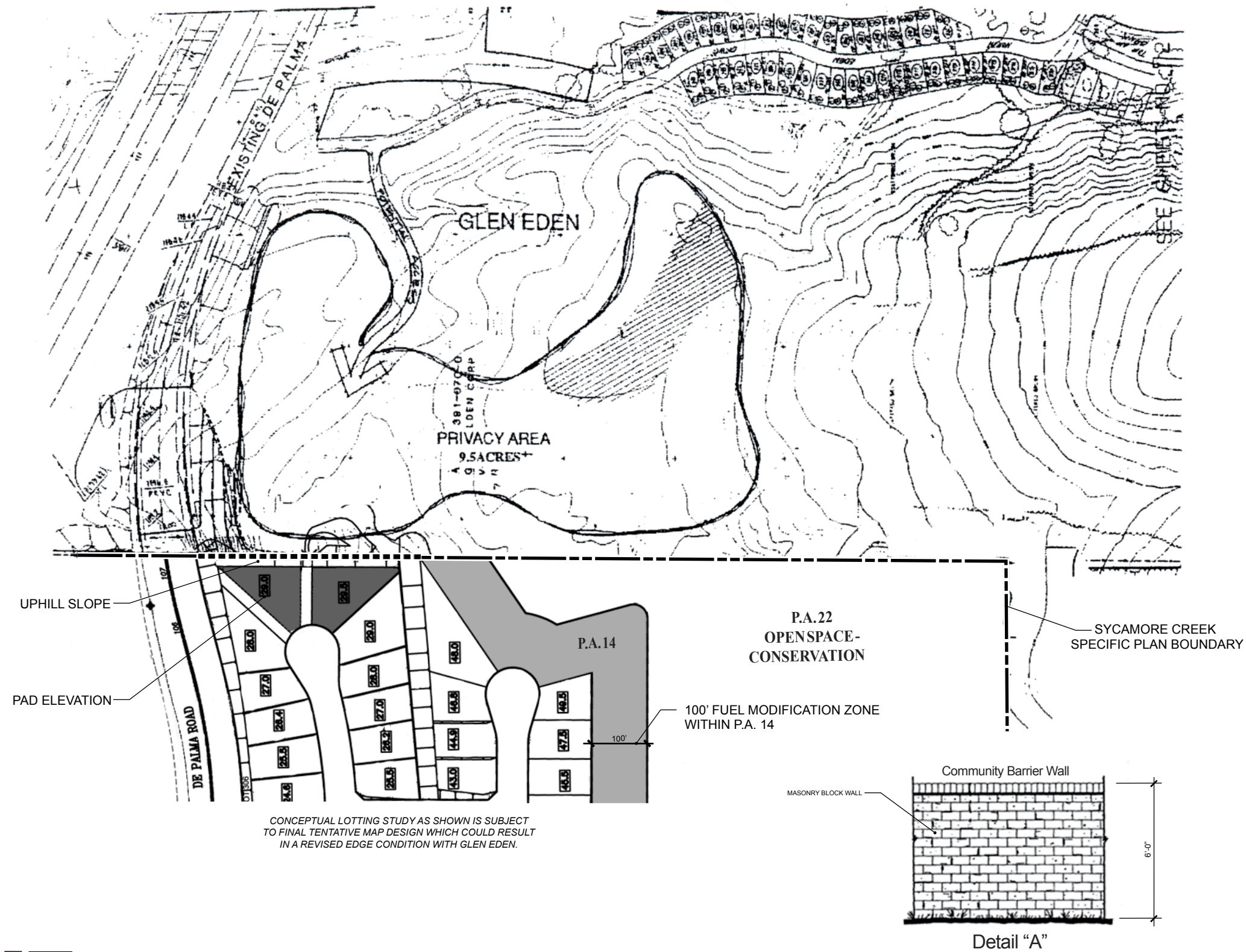
\* ACTUAL WIDTHS OF FUEL TREATMENT ZONES WILL BE DETERMINED BY IMPLEMENTING TRACT MAP FOR THIS AREA.



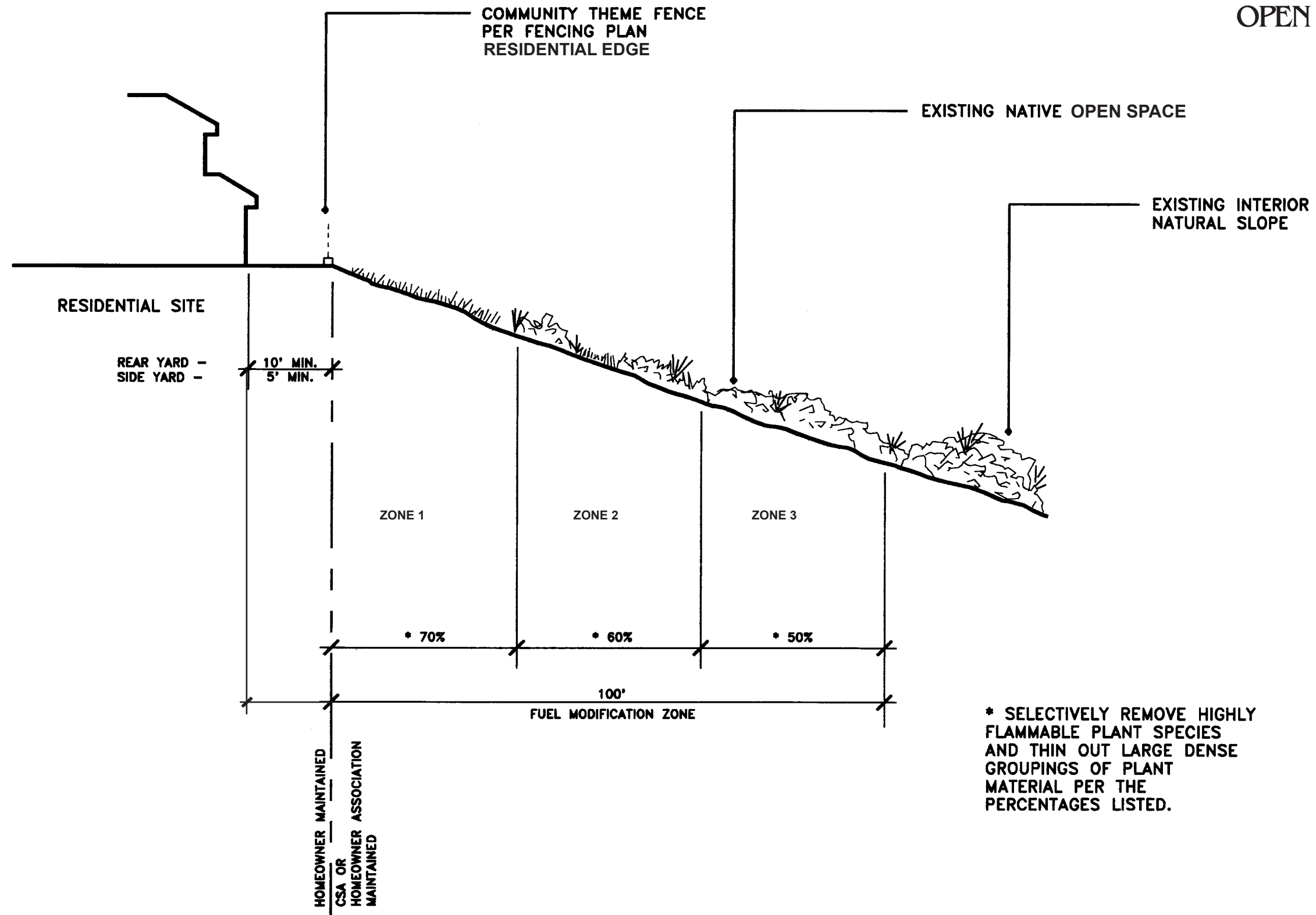
**BUFFER AREA DETAIL AT  
EASTERN BOUNDARY OF  
PLANNING AREA 14**

**LEGEND**

-  6' HIGH SOLID COMMUNITY BARRIER WALL (See Detail "A")
-  RESTRICTED VIEW LOTS
-  FUEL MODIFICATION ZONE



RESIDENTIAL LAND USE  
AT INTERIOR ON-SITE  
OPEN SPACE SLOPE EDGE



RESIDENTIAL LAND USE  
AT INTERIOR ON-SITE  
OPEN SPACE SLOPE EDGE

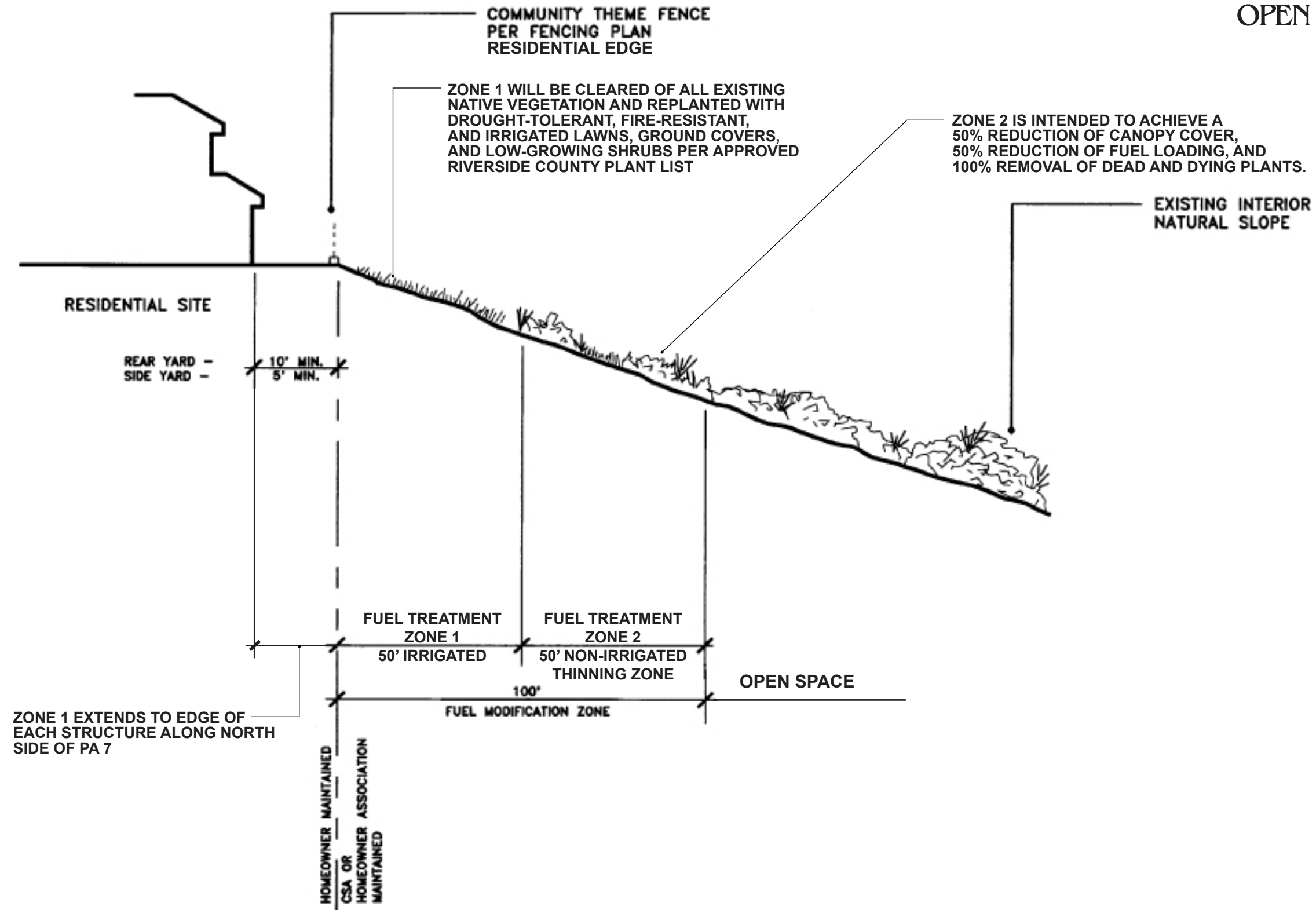


Figure 25A

4) Open Space - (See Figures 21, 21A and 22)

This open space area occurring on the south and western boundaries of the SYCAMORE CREEK community will serve a several functions. This area serves as an attractive visual relief from the development edge and screen/buffer the community from off-site conditions. A fenced regional or secondary trail system will circulate adjacent to these open space areas and through the landscape development zones forming the community edge.

5) Residential at School/Park/ Land Use Interface - (See Figure 26)

The park landscape buffer along the residential land use edge consists of a ten foot (10') wide minimum shrub and groundcover zone. The park boundary features either a community theme solid wall or a combination wall and open view fence depending on whether the residential site is at-grade or up-slope from the park.

Park at-grade landscape development zones will be planted with evergreen background and deciduous grove trees with shrub and groundcover planting to become a dense screen or buffer between land uses.

Residential up-slope condition landscape development zones will have evergreen background grove and deciduous accent trees clustered near property lines and shrubs located sufficiently down slope so as not to obstruct, but to enhance off-site views.

6) Residential at Recreation Interface – (See Figure 26A)

Figure 26A, *Residential Land Use/Recreation Interface*, illustrates the edge condition where residential neighborhoods in Planning Areas 17A and 17B abut the greenbelt in Planning Area 27, which features a hiking trail and a water quality basin. An open community theme fence and landscaping is provided along the boundaries of the Passive Park to screen this area from residential uses. In addition, the slopes of the water quality basin are landscaped to provide additional screening from adjacent residences.

7) Residential at Adjacent Private Property Interface – (See Figures 27A, 27B, 27C)

Residential neighborhoods in Planning Areas 17A, 17B, 17C, and 17D form a portion of the southwest boundary of the community and are adjacent to off-site private property. Figures 27A through 27C illustrate the various transitions from on-site residential development to off-site private property.

As depicted on Figure 27A, a view fence is provided along the eastern boundary of Planning Areas 17A through 17C, and a temporary six-foot high chainlink fence is provided along the southern boundary of 17C to form the physical boundary between the on-site and off-site uses. Screening and buffering between the two uses is provided by street trees planted within the parkway of local roads located adjacent to the community boundary.



Sycamore Creek  
**RESIDENTIAL/  
 SCHOOL/PARK LAND USE  
 INTERFACE**

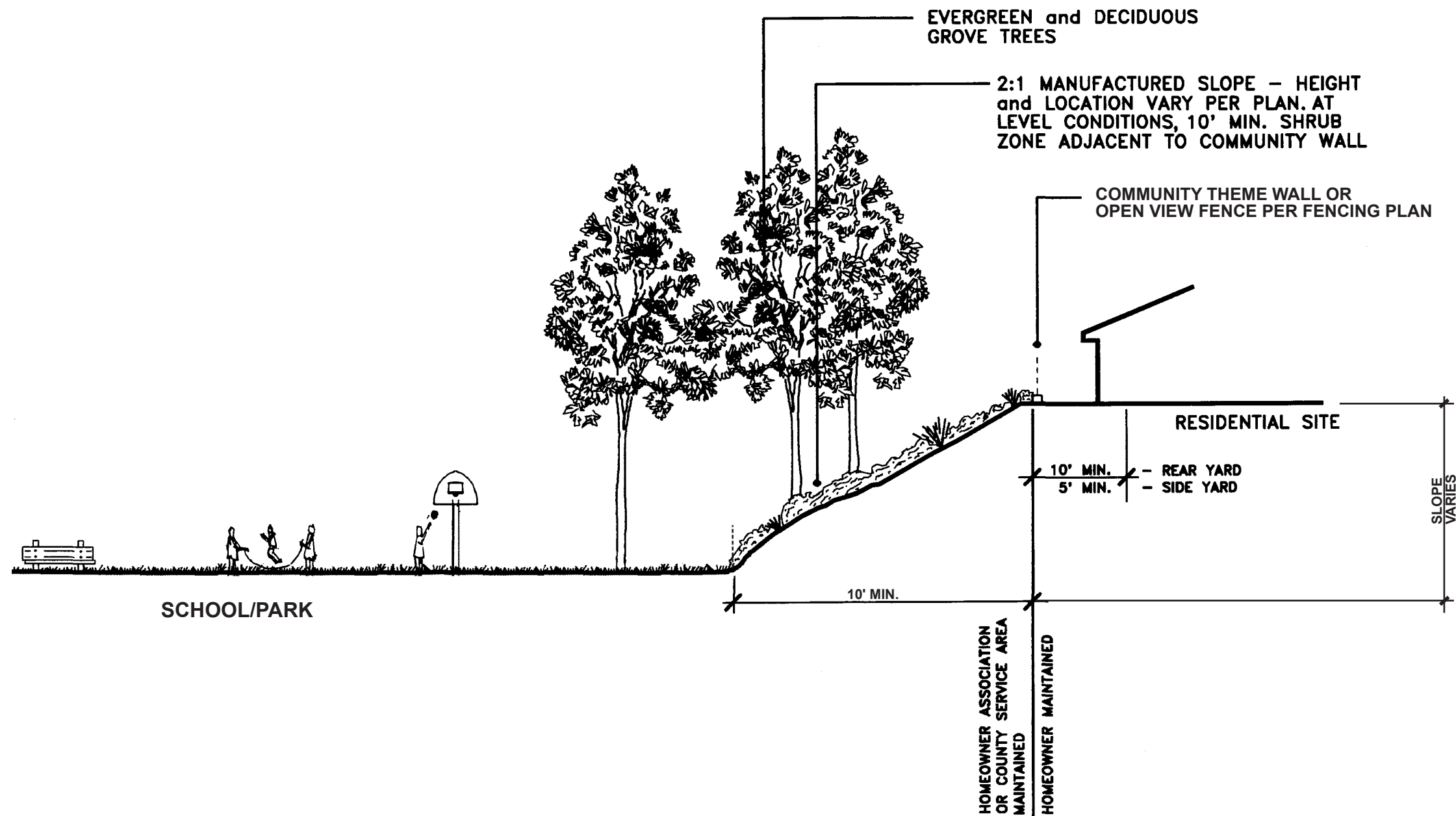
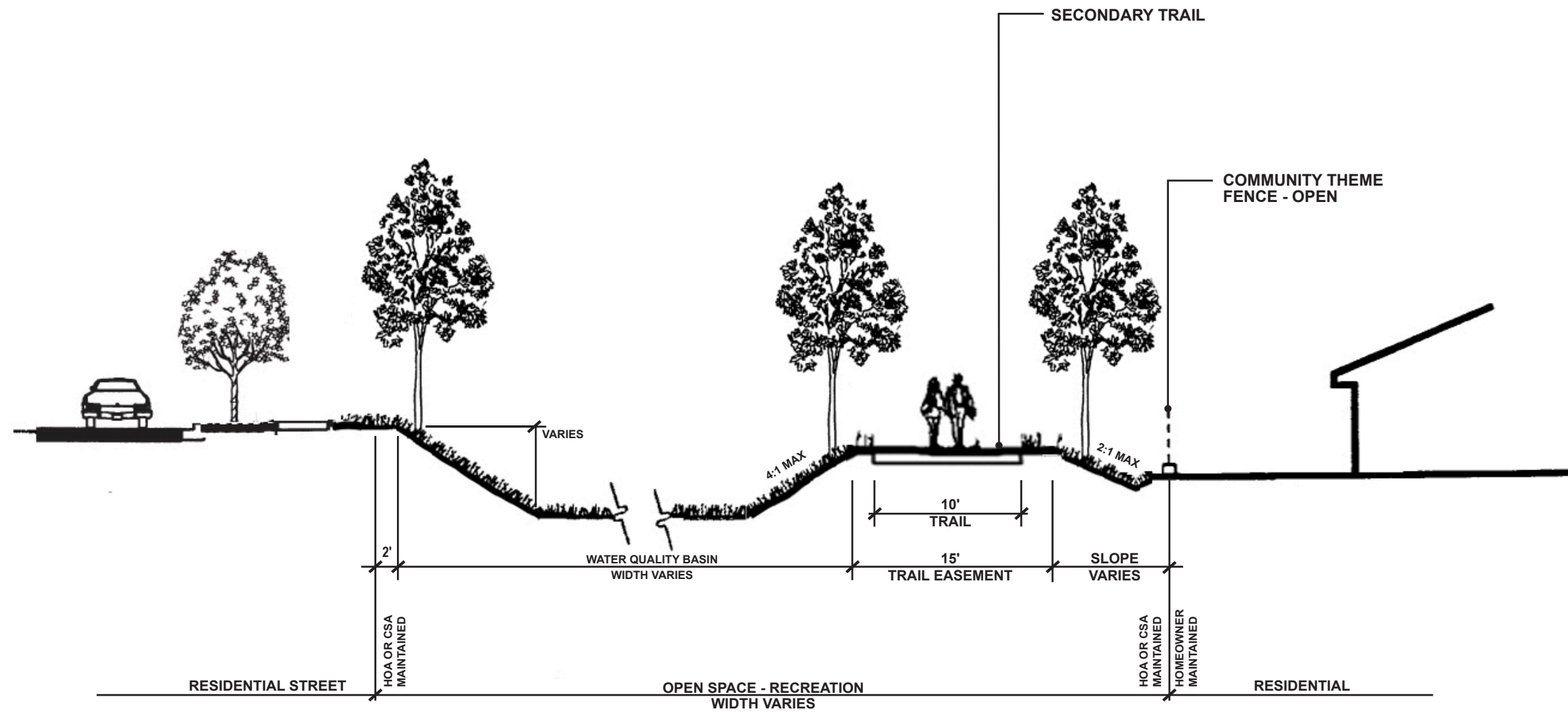
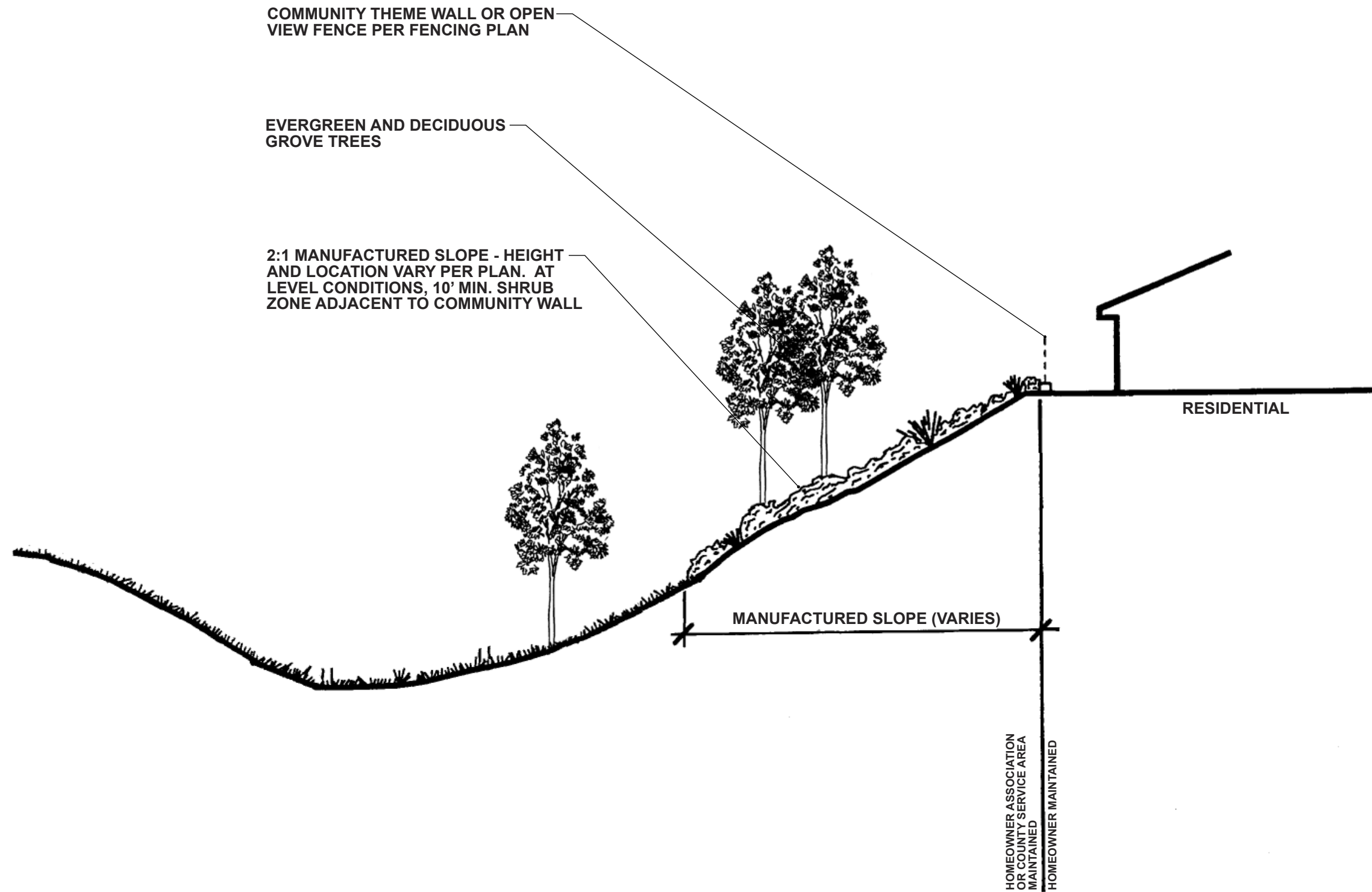


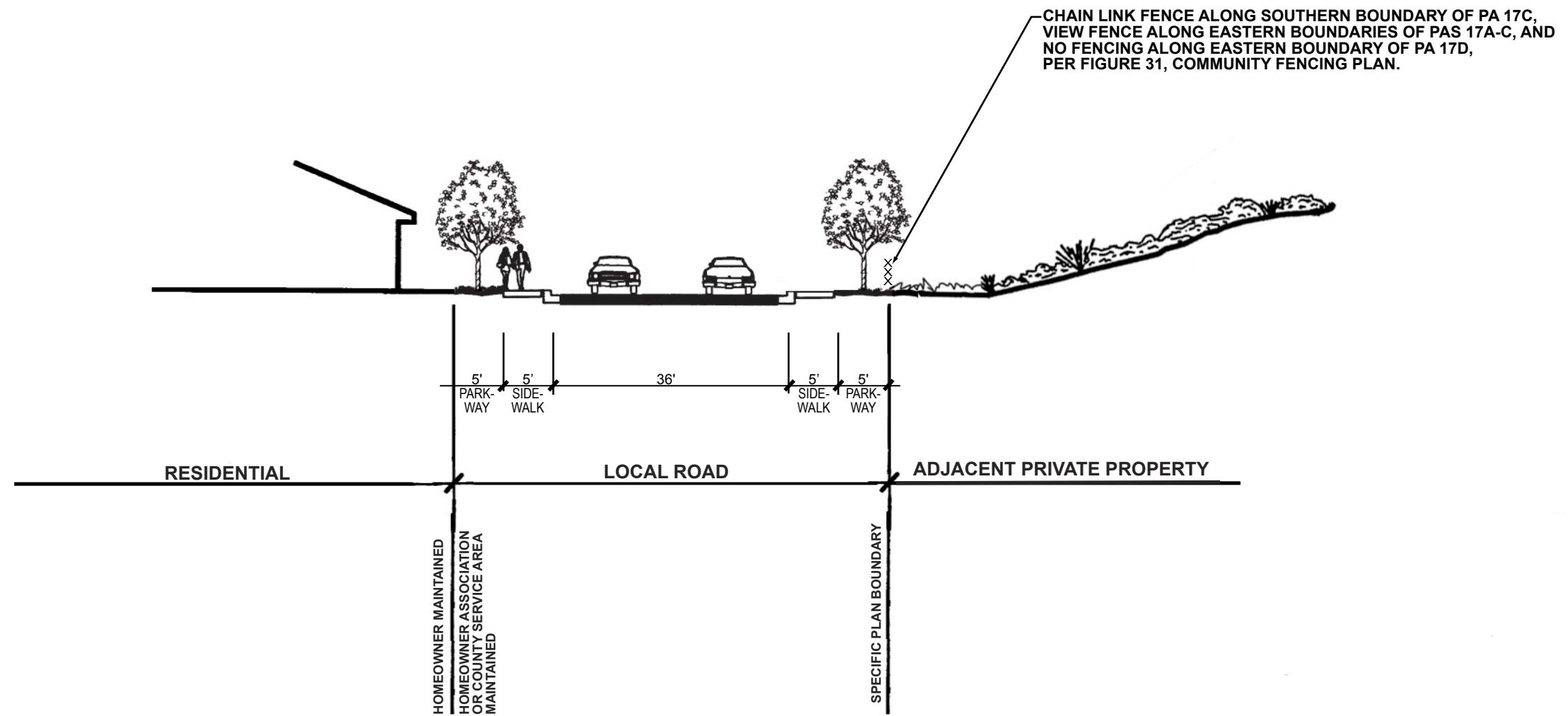
Figure 26



RESIDENTIAL AT EXISTING  
OPEN SPACE AREA LAND  
USE INTERFACE



RESIDENTIAL AT  
ADJACENT PRIVATE  
PROPERTY INTERFACE



Along the western boundary of Planning Area 17D, an earthen berm planted with drought tolerant trees and groundcover is provided to buffer residential uses from the adjacent, off-site aggregate mine (see Figure 27B, *Residential at Adjacent Private Property Interface*). A solid barrier wall also is provided at the top of the berm to provide additional screening. A 30-foot wide no build zone is provided in Planning Area 17D at the base of the earthen berm to provide an additional buffer from the adjacent off-site mine. Fencing is provided at the base of the earthen berm (on both sides) to prevent access to the mine.

Figure 27C, *Residential at Adjacent Private Property Interface*, depicts the edge condition at the western boundary of Planning Area 17C. In this location, a solid barrier wall is provided at the boundary of the Specific Plan Area. This barrier wall screens residential uses in Planning Area 17C from off-site areas and restricts residents of SYCAMORE CREEK from accessing adjacent private property.

8) Water Tank Site Land Use Condition:

The water tank site slopes will be densely planted with trees to form an effective screen. The slopes will be planted with shrubs and groundcover per Riverside County standards.

**2. Plant Material Guidelines**

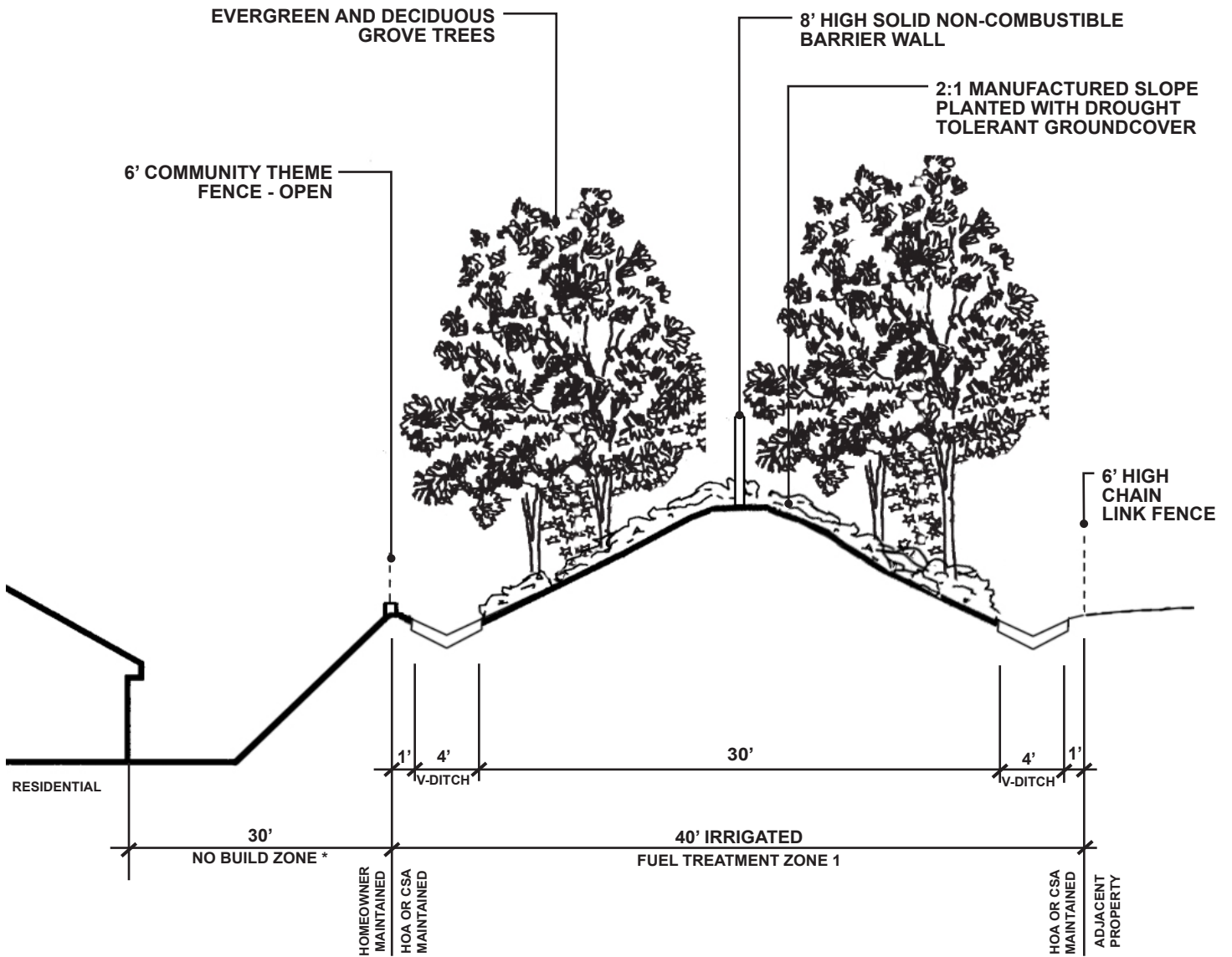
**a. Introduction**

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance.

A limited selection of materials utilized in simple, significant composition complimentary to adjacent common landscape areas while reinforcing the individual architectural and site setting is encouraged. Overall plant material selection for given project areas, wherever possible, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

The limited plant material selection for common landscape areas associated with SYCAMORE CREEK, as described in the text, is contained in the following palette. In addition, a wider variety of plant materials compatible with project theme and setting are listed for use by adjoining developments within SYCAMORE CREEK.

# RESIDENTIAL AT ADJACENT PRIVATE PROPERTY INTERFACE



\* NO BUILD ZONE DEFINED AS A ZONE WHERE COMBUSTIBLE STRUCTURES ARE PROHIBITED. EXISTING NATIVE VEGETATION WILL BE CLEARED AND REPLANTED WITH DROUGHT TOLERANT, FIRE RESISTANT PLANTS AND IRRIGATED.



Figure 27B

**RESIDENTIAL AT  
ADJACENT PRIVATE  
PROPERTY INTERFACE**

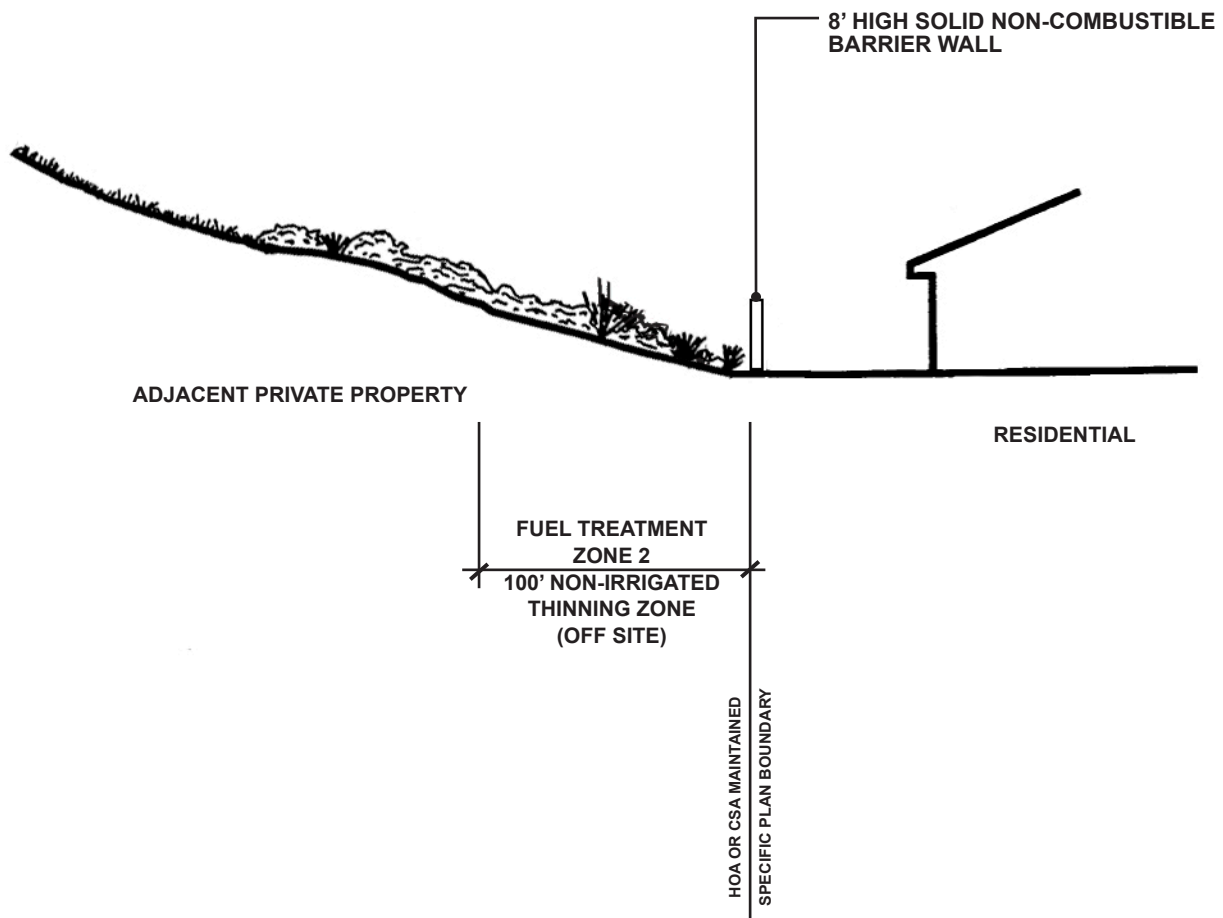


Figure 27C

**b. Landscape Development Zone Tree Palette**

1) DECIDUOUS ACCENT GROVE TREES

| <u>Botanical Name</u>                 | <u>Common Name</u> |
|---------------------------------------|--------------------|
| *Koelreuteria bipinnata               | Chinese Flame Tree |
| Liquidambar styraciflua 'rotundaloba' | Liquidambar        |
| Platanus Species                      | Sycamore Species   |
| *Robinia ambigua 'Idahoensis'         | Idaho Locust       |

2) EVERGREEN BACKGROUND GROVE TREES

| <u>Botanical Name</u>   | <u>Common Name</u> |
|-------------------------|--------------------|
| *Brachychiton populneus | Bottle Tree        |
| *Pinus canariensis      | Canary Island Pine |
| *Pinus eldarica         | Mondell Pine       |
| *Pinus halepensis       | Aleppo Pine        |

3) STREET TREES

Street trees shall be selected from the community plant palette.

**c. Community Entry Accent Trees**

1) EVERGREEN CANOPY THEME TREES

| <u>Botanical Name</u> | <u>Common Name</u>  |
|-----------------------|---------------------|
| *Ceratonia siliqua    | Carob Tree          |
| *Quercus agrifolia    | California Live Oak |
| *Quercus ilex         | Holly Oak           |
| *Quercus suber        | Cork Oak            |

2) DECIDUOUS ACCENT TREES

| <u>Botanical Name</u> | <u>Common Name</u>  |
|-----------------------|---------------------|
| Platanus acerifolia   | London Plane Tree   |
| Platanus racemosa     | California Sycamore |

**d. Neighborhood Entry Accent Trees**

Within the Neighborhood Entry Streetscene Landscape Development Zones, the following trees are categorized as accent trees:

| <u>Botanical Name</u>         | <u>Common Name</u> |
|-------------------------------|--------------------|
| Albizia julibrissin           | Silk Tree          |
| *Brachychiton populneus       | Bottle Tree        |
| Gleditsia triacanthos Species | Honey Locust       |
| *Koelreuteria paniculata      | Golden Rain Tree   |
| *Lagerstroemia indica         | Crape Myrtle       |



Prunus cerasifera 'Krauter Vesuvius'  
Pyrus calleryana  
\*Robinia ambigua 'Idahoensis'

Purple Leaf Plum  
Callery Pear  
Idaho Loquast

As accent trees, the above trees are utilized at points of project emphasis throughout SYCAMORE CREEK. Specific locations include:

- Greenbelt/Paseo Entrances/Accents
- Neighborhood Tree Entries
- Points of Commercial/Retail Entry
- Median Islands

The use of these trees is encouraged in order to reinforce the continuity of the design theme of SYCAMORE CREEK in general.

**e. Greenbelt/Paseo Trees**

Greenbelt/paseo trees shall be selected from the Deciduous Accent Grove Trees, Evergreen Accent Grove Trees, and Neighborhood Entry Accent Tree palettes.

**f. Landscape Buffer Trees**

Landscape Buffer Trees may be selected from the Evergreen Background Grove Trees with Deciduous Accent Tree plant palettes.

**g. Coniferous or Pine Tree Windbreak Trees**

| <u>Botanical Name</u> | <u>Common Name</u> |
|-----------------------|--------------------|
| Calocedrus decurrens  | Incense Cedar      |
| *Cedrus deodara       | Deodar Cedar       |
| *Cupressus arizonica  | Arizona Cypress    |
| *Pinus eldarica       | Mondell Pine       |
| *Pinus halepensis     | Aleppo Pine        |
| *Pinus patula         | Jelescote Pine     |

**h. Drought Tolerant Erosion Control Plants**

| <u>Botanical Name</u>                | <u>Common Name</u>    |
|--------------------------------------|-----------------------|
| *Baccharis pilularis                 | Prostrate Coyote Bush |
| *Dodonaea viscosa                    | Hopseed Bush          |
| *Juniperus Species (F)               | Juniper Species       |
| *Photinia fraserii                   | Fraser's Photinia     |
| *Pyracantha Species                  | Firethorn Species     |
| *Rosmarinus officinalis 'Prostratus' | Prostrate Rosemary    |
| *Xylosma Species                     | Xylosma Species       |

**i. Community Plant Palette**

TREES-EVERGREEN

Botanical Name

\*Arbutus unedo  
\*Brachychiton populneus  
\*Callistemon citrinus  
\*Callistemon viminalis  
\*Cedrus deodara  
\*Ceratonia siliqua  
\*Geijera parviflora  
Magnolia grandiflora  
\*Olea europaea 'Swan Hill'  
\*Pinus canariensis  
\*Pinus halepensis & eldarica  
Podocarpus gracilior  
\*Quercus ilex  
\*Quercus suber

Common Name

Strawberry Tree  
Bottle Tree  
Lemon Bottle Brush  
Stiff Bottle Brush  
Deodar Cedar  
Carob  
Australian Willow  
Southern Magnolia  
Fruitless Olive  
Canary Island Pine  
Aleppo Pine  
Fern Pine  
Holly Oak  
Cork Oak

TREES - DECIDUOUS

Botanical Name

\*Albizia julibrissin  
\*Cotinus coggyria  
\*Fraxinus oxycarpa 'Raywood'  
Ginkgo biloba species  
Gleditsia tricanthos  
\*Koelreuteria bipinnata  
\*Koelreuteria panniculata  
\*Lagerstroemia indica  
Liquidambar styraciflua 'rotundaloba'  
\*Pistacia chinensis  
Platanus acerifolia  
Platanus racemosa  
Prunus cerasifera  
Pyrus calleryana  
\*Robinia ambigua 'Idahoensis'

Common Name

Mimosa Tree  
Smoke Tree  
Raywood Ash  
Maidenhair Tree  
Honey Locust  
Chinese Flame Tree  
Golden Rain Tree  
Crape Myrtle  
Sweet Gum  
Chinese Pistache  
London Plane Tree  
California Sycamore  
Purple Leaf Plum  
Ornamental Pear  
Idaho Locust

SHRUBS

Botanical Name

Abelia grandiflora 'Edward Goucher' (S)  
Berberis species (SH)  
Cocculus laurifolius (S)  
Diets irridoides  
\*Dodonaea viscosa (S)  
\*\*Elaeagnus pungens (S)  
Euonymus japonica (S)

Common Name

Edward Goucher Abelia  
Barberry  
Snailseed  
Fortnight Lily  
Purple Hop Seed Bush  
Silver Berry  
Evergreen Euonymus

|   |                      |
|---|----------------------|
| Feijoa sellowiana (S)                                 | Pineapple Guava      |
| Hebe coed (S, SH)                                     | Veronica             |
| Ilex species (SH)                                     | Holly                |
| *Leptospermum scoparium (S)                           | New Zealand Tea Tree |
| Ligustrum japonicum 'Texanum' (S, SH)                 | Japanese Privet      |
| *Nandina domestica and 'Compacta' (S, SH)             | Heavenly Bamboo      |
| *Photinia frazeri (S)                                 | Photinia             |
| **Pittosporum tobira and<br>'Wheeler's Dwarf' (S, SH) | Mock Orange          |
| Podocarpus macrophyllus (S, SH)                       | Yew Pine             |
| **Pyracantha species (S, SH)                          | Firethorn            |
| Raphiolepis indica species (S, SH)                    | Pink Indian Hawthorn |
| Viburnum tinus species                                | Viburnum             |
| *Xyloxma congestum (S)                                | Xylosma              |

#### SUB-SHRUBS

| <u>Botanical Name</u>               | <u>Common Name</u> |
|-------------------------------------|--------------------|
| *Agapanthus africanus (S, SH)       | Lily of the Nile   |
| *Hemerocallis species (S)           | Day Lily           |
| *Juniperus species (S) (F)          | Juniper            |
| *Moraea bicolor (S)                 | Fortnight Lily     |
| Trachelospermum jasminoides (S, SH) | Star Jasmine       |

#### VINES

| <u>Botanical Name</u>            | <u>Common Name</u>        |
|----------------------------------|---------------------------|
| Parthenocissus tricuspidata (SH) | Boston Ivy                |
| Districtis buccinatoria          | Blood Red Trumpet Vine    |
| Macfadyena unguis-cati (S)       | Cat's Claw Vine           |
| Ficus pumila (S, SH)             | Creeping Fig              |
| Gelsemium sempervirens (S)       | Carolina Jasmine          |
| Grewia occidentalis (S)          | Lavendar Star Flower Vine |
| *Tecomaria capensis (S)          | Cape Honeysuckle          |
| *Wisteria floribunda (S)         | Wisteria                  |

#### GROUNDCOVERS

| <u>Botanical Name</u>                | <u>Common Name</u>     |
|--------------------------------------|------------------------|
| Baccharis pilularis 'Twin Peaks' (S) | Coyote Brush           |
| Duchesnea indica (S, SH)             | Indian Mock Strawberry |
| *Rosemarinus officinalis (S)         | Rosemary               |

#### Legend:

- \* Drought Tolerant
- \*\* Drought Tolerance Varies by Species
- (S) Tolerates Sun in this Planting Zone
- (SH) Tolerates Shade in this Planting Zone
- (F) Prohibited in Fuel Modification Zones

**j. California Native Plant Palettes - Planning Areas 20B, 21, 24A, 24B, 24C, and 24D**

TREES – EVERGREEN

| <u>Botanical Name</u>               | <u>Common Name</u>    |
|-------------------------------------|-----------------------|
| * <i>Quercus agrifolia</i> (S)      | California Live Oak   |
| * <i>Quercus engelmannii</i> (S)    | Mesa Oak              |
| <i>Umbellularia californica</i> (S) | California Bay Laurel |

TREES – DECIDUOUS

| <u>Botanical Name</u>             | <u>Common Name</u>               |
|-----------------------------------|----------------------------------|
| * <i>Aesculus californica</i> (S) | California Buckeye               |
| <i>Cercis occidentalis</i> (S)    | Western Redbud                   |
| * <i>Juglans californica</i> (S)  | Southern California Black Walnut |
| <i>Platanus racemosa</i> (S)      | California Sycamore              |
| <i>Quercus kelloggi</i> (S)       | California Black Oak             |

SHRUBS

| <u>Botanical Name</u>                   | <u>Common Name</u>           |
|---|------------------------------|
| * <i>Arbutus menziesii</i> (S)          | Madrone                      |
| * <i>Arctostaphylos</i> species (S, SH) | Manzanita Species            |
| * <i>Ceanothus</i> species (S)          | Wild Lilac                   |
| * <i>Cistus hybridus</i> (S)            | White Rockrose               |
| * <i>Cistus salviifolius</i> (S)        | Sageleaf Rockrose            |
| * <i>Heteromeles arbutifolia</i> (S)    | Toyon                        |
| * <i>Lavatera assurgentiflora</i> (S)   | California Tree Mallow       |
| * <i>Prunus ilicifolia</i> (S)          | Hollyleaf Cherry             |
| * <i>Rhamnus californica</i> (S, SH)    | Coffeeberry                  |
| * <i>Rhus integrifolia</i> (S)          | Lemonade Berry               |
| * <i>Rhus ovata</i> (S)                 | Sugar Bush                   |
| <i>Ribes speciosum</i> (S, SH)          | Fuchsia Flowering Gooseberry |
| * <i>Romneya 'White Cloud'</i> (S, SH)  | Hybrid Matilija              |
| <i>Sambucus mexicana</i> (S, SH)        | Mexican Elderberry           |

SUB-SHRUBS, GROUNDCOVER AND GRASSES

| <u>Botanical Name</u>                         | <u>Common Name</u>   |
|---|----------------------|
| * <i>Arctostaphylos hookeri</i> (S)           | Monterey Manzanita   |
| * <i>Baccharis pilularis 'Twin Peaks'</i> (S) | Coyote Brush         |
| * <i>Ceanothus</i> species (S)                | Wild Lilac           |
| <i>Mimulus aurantiacus</i> (S, SH)            | Sticky Monkey Flower |
| <i>Penstemon</i> species (S)                  | Penstemon            |

**k. Riparian Plant Palette – Planning Area 21**

TREES – EVERGREEN

| <u>Botanical Name</u>           | <u>Common Name</u>    |
|---------------------------------|-----------------------|
| Arbutus menziesii (S, N)        | Madrone               |
| Umbellularia californica (S, N) | California Bay Laurel |

TREES – DECIDUOUS

| <u>Botanical Name</u>   | <u>Common Name</u>  |
|-------------------------|---------------------|
| Platanus racemos (S, N) | California Sycamore |

SHRUBS

| <u>Botanical Name</u>           | <u>Common Name</u>   |
|---------------------------------|----------------------|
| Arctosphylos species (S, SH, N) | Manzanita            |
| Ribes species (S, SH, N)        | Flowering Gooseberry |
| Rosa californica (S, N)         | California Wild Rose |
| Sambucus mexicana               | Mexican Elderberry   |

SUB-SHRUBS AND GROUNDCOVER

| <u>Botanical Name</u>         | <u>Common Name</u>     |
|-------------------------------|------------------------|
| Galvezia juncea (S, SH, N)    | Baja Bush – Snapdragon |
| Heuchera maxima (SH, N)       | Hybrid Coral Bells     |
| Iris douglasiana (S, SH, N)   | Douglas Iris           |
| Mimulus aurantiacus(S, SH, N) | Sticky Monkey Flower   |

Legend

- \* Drought Tolerant Plant
- (S) Tolerates Sun in this Planting Zone
- (SH) Tolerates Shade in this Planting Zone
- (N) California Native Plant
- (F) Prohibited in Fuel Modification Zones

**l. Drought Tolerance**

Although a plant has been labeled as drought tolerant, that plant requires proper care, installation watering and maintenance to maximize its drought tolerance capabilities.

- 1) Degrees of Drought Tolerance: There are degrees of drought tolerance, with some plants able to withstand or go without water for a greater period of time than others.
- 2) Plant Installation Water Demand: Drought tolerance plants like other plants require more water during the initial installation period and for at least a three month maintenance period following to become established. Therefore, if drought tolerant plants are installed in the warmer months more supplemental water will be required until the plant is established.

- 3) **Deep Watering Practices:** Drought tolerant plants like most plants need the proper deep watering practices to encourage deep root system development. Drought tolerant plants with a shallow root system resulting from frequent light applications of water will not be drought tolerant.
- 4) **Warmer Months Water Application:** Although a plant is labeled drought tolerant, that does not necessarily mean it can survive without summer water. Just that the plant may require minimal or has low water requirements. Depending upon the plant, drought tolerant plants will look better, thrive and survive the warmer months with infrequent, monthly, deep watering.
- 5) **Full Season Plant Water Requirements:** After drought tolerant plants have grown a full season, the water application rate should be diminished and the drought tolerant plant allowed to survive on less water.
- 6) **Maintenance:** Drought tolerant and California native plants still need regular maintenance such as pruning, fertilizing, deep watering, and checking for pests and diseases.

**m. Planting Time**

Due to the climate extremes of the SYCAMORE CREEK area, the installation of plant materials during the coldest winter months (December through March) and the hottest summer/fall months (July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from damage or sun/heat exposure resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature ranges once established. If planting must be done during these difficult periods, plant establishment may be difficult and require a prolonged period of time.

**n. General Landscape Requirements**

All areas required to be landscaped shall be planted with ground cover, shrub or tree materials selected from the plant palette contained in these guidelines. The use of turf shall be minimized and should be limited to recreation areas and other usable areas.

Planting shall commence as soon as slopes are completed on any portion of the site and shall provide for rapid short term coverage of the slope as well as long-term establishment cover per County standards. The developer shall provide a landscape bond to the County at the time that the landscape plan is approved. The bond is to guarantee the installation of interim erosion control planting in the event that the grading operation is performed and building construction does not commence within ninety (90) days.

The owners of parcels which require landscape development shall assess any existing common landscape areas adjoining their property. Where feasible, landscape development shall reinforce or be compatible with such existing common area setting.

Cut slopes equal to or greater than three feet (3') in vertical height and fill slopes equal to or greater than three feet (3') in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding fifteen feet (15') in vertical height shall be planted with shrubs, spaced not more than ten feet (10') on center or trees spaced not to exceed twenty feet (20') on center or a combination of shrubs and trees at equivalent spacings, in addition to the ground cover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.

Reference should be made to the County of Riverside Standards for erosion control methods for slopes and other landscaped areas.

**o. Climate Constraints**

Plant material palettes for SYCAMORE CREEK contained herein are compatible with the climatic setting of the area. The utilization of some materials, depending upon their site location, exposure and relationship to other influential factors may not be appropriate.

**p. Topography**

The topography of SYCAMORE CREEK consists of rolling hills, slopes, plateaus valley floors, and low lying creek beds. This variation in terrain height means that there are a couple of micro climates within the community. The hillsides and mountain tops will be milder in winter than the valley floor or creek beds. The mountain tops will actually be a thermal belt. Cold air will drain off the higher elevations and may cause the low lying areas to be as much as ten (10) degrees colder. Care should be exercised in selecting the plant materials which can withstand the cold air drainage basin temperatures.

**q. Horticultural Soils Test Requirements**

Soil characteristics within the SYCAMORE CREEK project may be variable. The owners of parcels which require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. Such a soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

**r. Irrigation**

All landscaped areas shall be watered with a permanent underground irrigation system, except for slopes which may have a permanent above-ground irrigation system. Irrigation systems which adjoin a separate maintenance responsibility area shall be designed in a manner to insure complete water coverage between the areas. All irrigation systems shall conform with the requirements of Riverside County Ordinance No. 859.

Proper consideration of irrigation system design and installation in the climate extremes of the SYCAMORE CREEK area is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection.

Irrigation systems shall be designed with head to head 100 percent double coverage at a minimum. In addition, irrigation controllers should have a minimum time setting of one (1) minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives and curbs (car overhangs) shall be of the pop-up type. All slope irrigation systems shall have main lines located at toe of slope.

Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials and common areas shall have a master valve.

- 1) Reclaimed Water: Irrigation systems designed for use with both domestic and reclaimed water. However, as reclaimed water is currently unavailable, when reclaimed water is readily available; all irrigation systems shall then be designed for ultimate use of reclaimed water.

**s. Landscape Maintenance Standards**

All landscape areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Such maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times. All walks shall be kept routinely free of litter and debris. Because of the use of conifers and/or pine trees along the mining edge buffer to mitigate dust impacts, the use of performance bonds with a time limit to be determined by Riverside County, will be utilized to ensure the maintenance and replacement of these trees.

**3. Community Elements**

**a. Entry Monumentation**

Community entries and neighborhood entries consist of a thematic blend of construction features, landscape features, signage and specialty lighting that provides strong landmarks and reinforces the distinctiveness of SYCAMORE CREEK.

A hierarchy of community theme entries has been conceived which consists of the following:

- Community Entry Monumentation Statements.
- Project Entry Monuments
- Neighborhood Entry Monumentation Statements

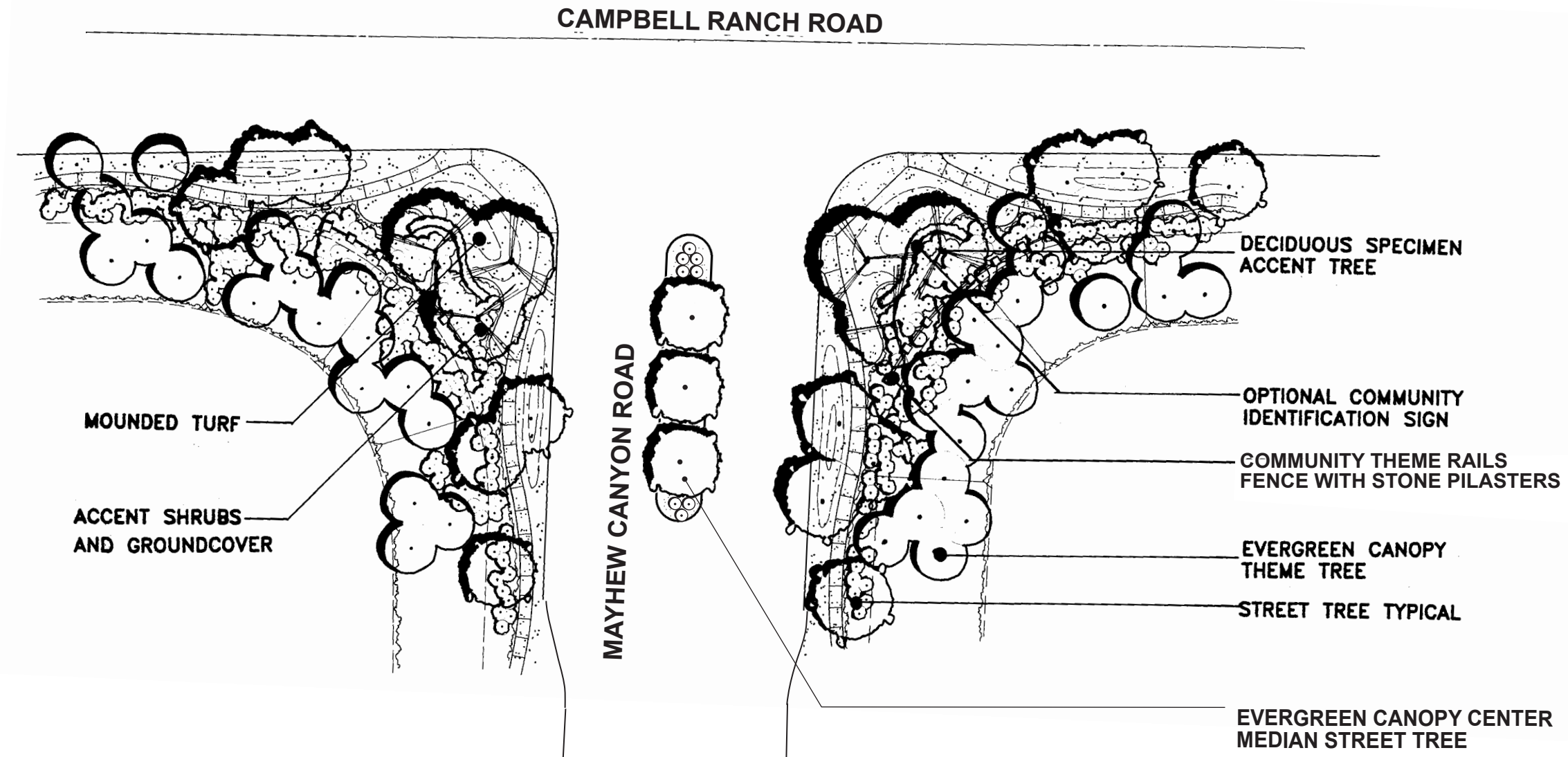
Please refer to the Conceptual Landscape Plan (Figure 15) for specific locations.

- 1) Community Entry Monumentation Statements - (See Figure 28)

Community entry monumentation statements occur at the two intersections of Campbell Ranch Road and Mayhew Canyon Road, and at the intersections of Campbell Ranch Road and Santiago Canyon Road. All community entries convey the unique community identity by presenting a harmonious blend of thematic features that includes:

- a) Uniform Curving Community Theme Rail Fence and Stone Pilasters
- b) Optional Freestanding Community Identification Sign
- c) Informal Planting of Deciduous Specimen Accent Trees with a Backdrop of Evergreen Canopy Theme Trees
- d) Sixty Foot (60') Radius Corner Cut-Off Landscape Threshold Zone
- e) Accent Shrubs and Groundcover Plantings Intermixed with Turf Threshold





2) Project Entry Monumentation Statement - (See Figure 29)

A Project Entry Monument is located at the intersection of Indian Truck Trail and Campbell Ranch Road. This entry monument treats residents and guests to a panoramic view of approximately 85 acres of natural open space set before a backdrop of the eastern flank of the Santa Ana Mountains and the Cleveland National Forest. Project entry monument features:

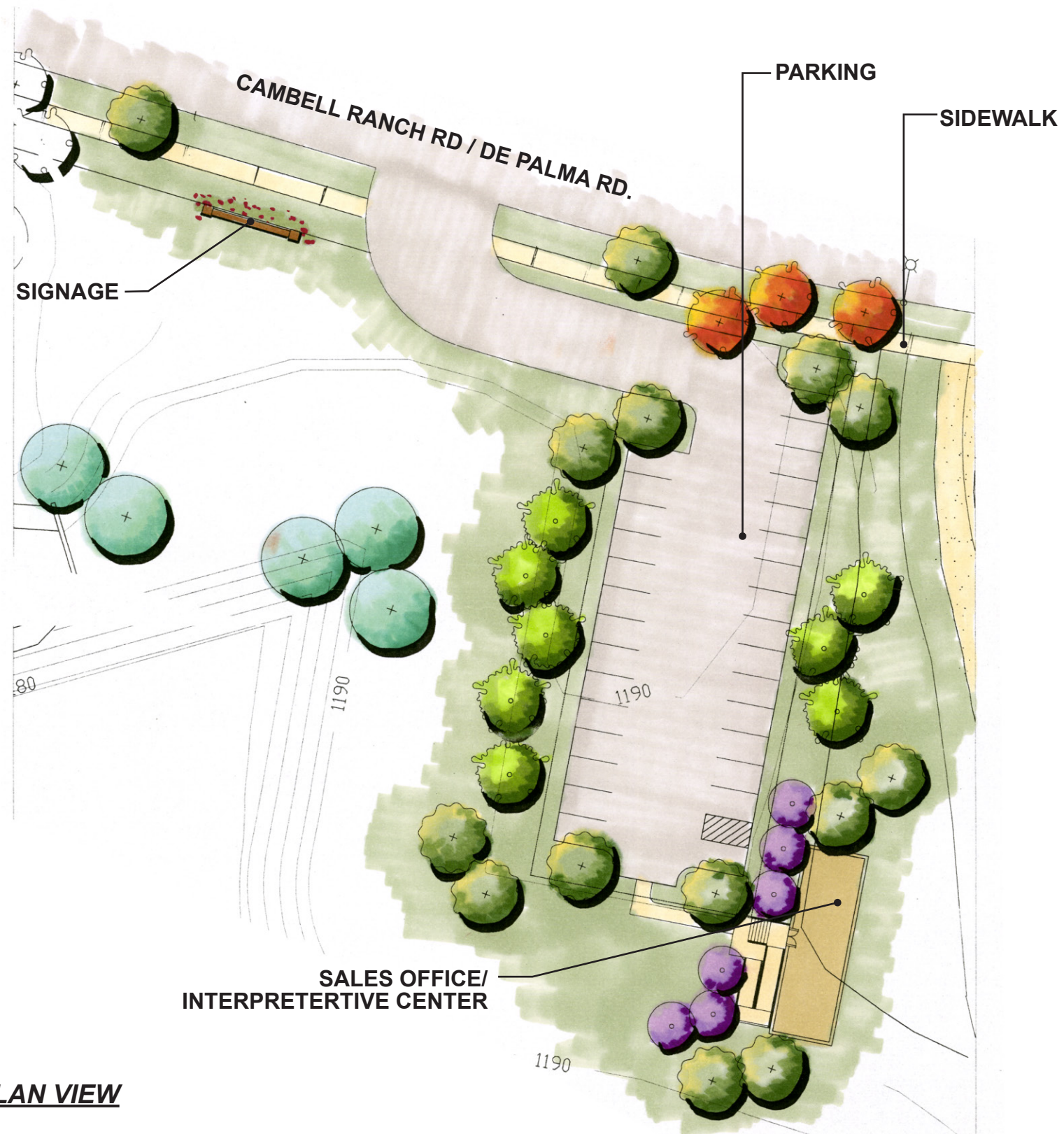
- a) Interpretive center
- b) Landscape-screened parking area and a view of wetlands, riparian, scrub and oak woodland habitats.

3) Neighborhood Entry Monumentation Statements – (See Figure 30)

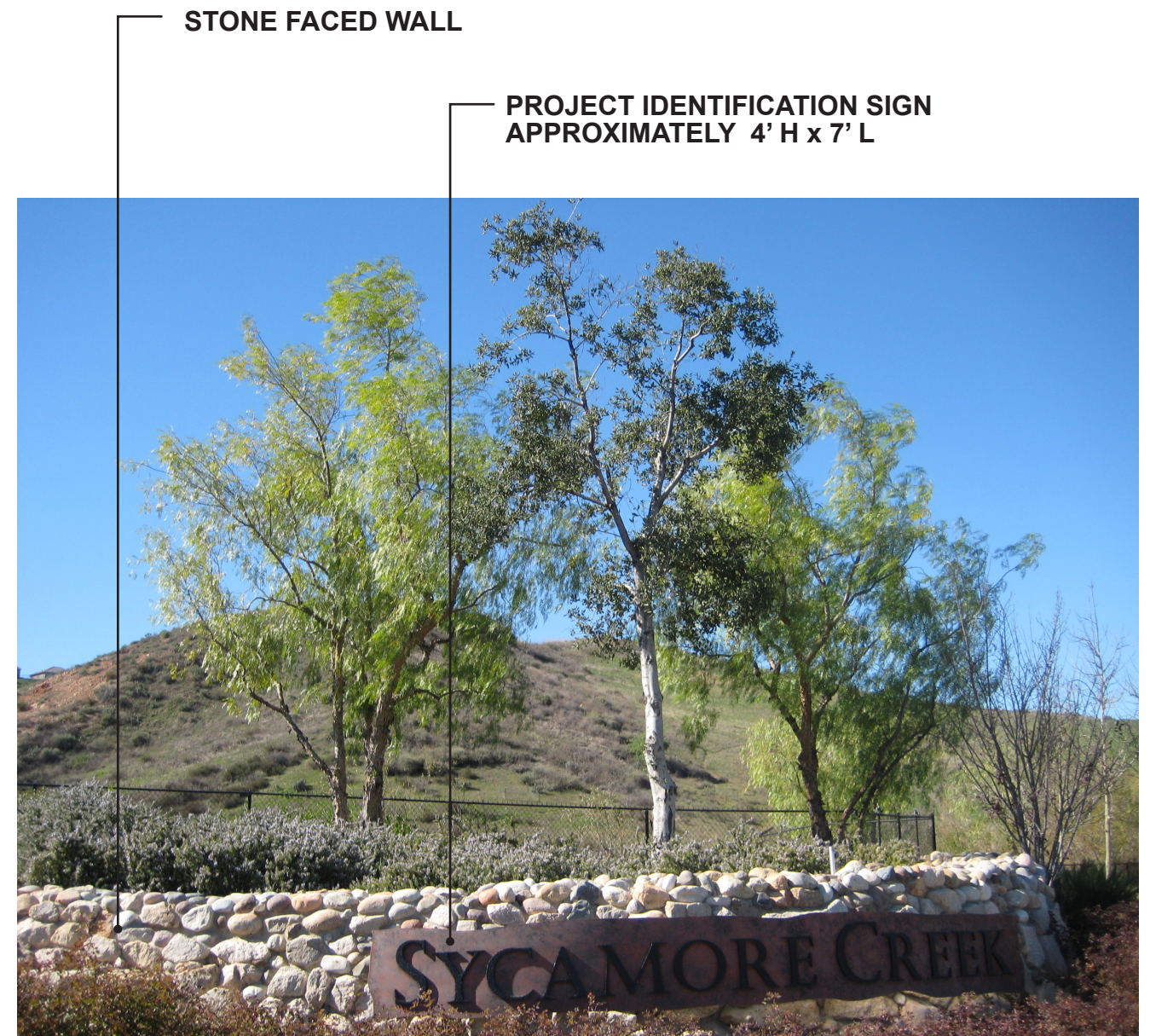
Neighborhood Entry Monumentation Statements will occur throughout the project. Mayhew Canyon Road and Santiago Canyon Road are logical locations for neighborhood entry monumentation statements, but the exact location and which neighborhood entry condition will be used shall be determined when final residential unit plotting has been completed for each parcel within the community.

These Neighborhood Entry Monumentation Statements will continue to add to the overall community thematic features as follows:

- (1) Informal Planting of Neighborhood Accent Trees
- (2) Sidewalks
- (3) Planting from Edge of Walk
- (4) Optional Individual Neighborhood Identification Graphics Consistent with the Overall Community Thematic Identity
- (5) Low Monument Sign with Landscape Accents

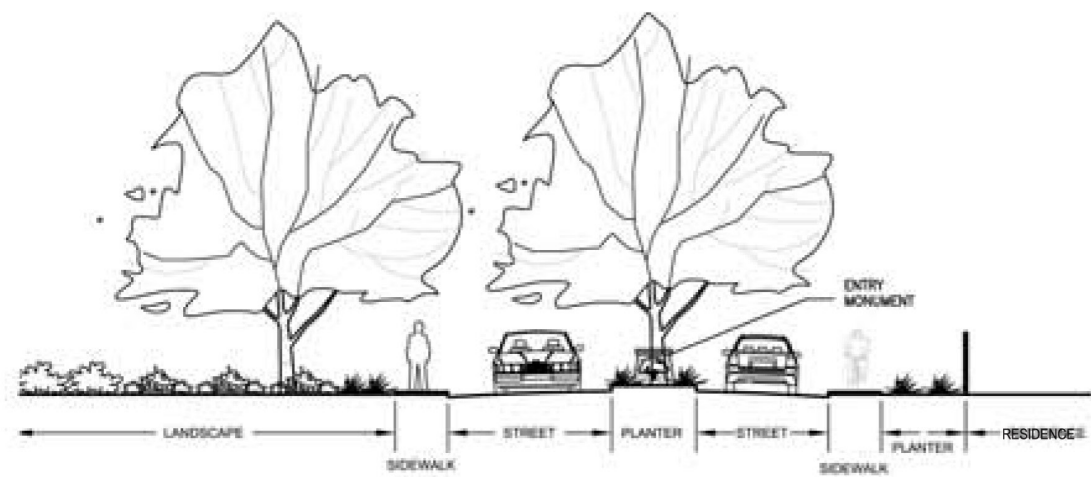


**PLAN VIEW**

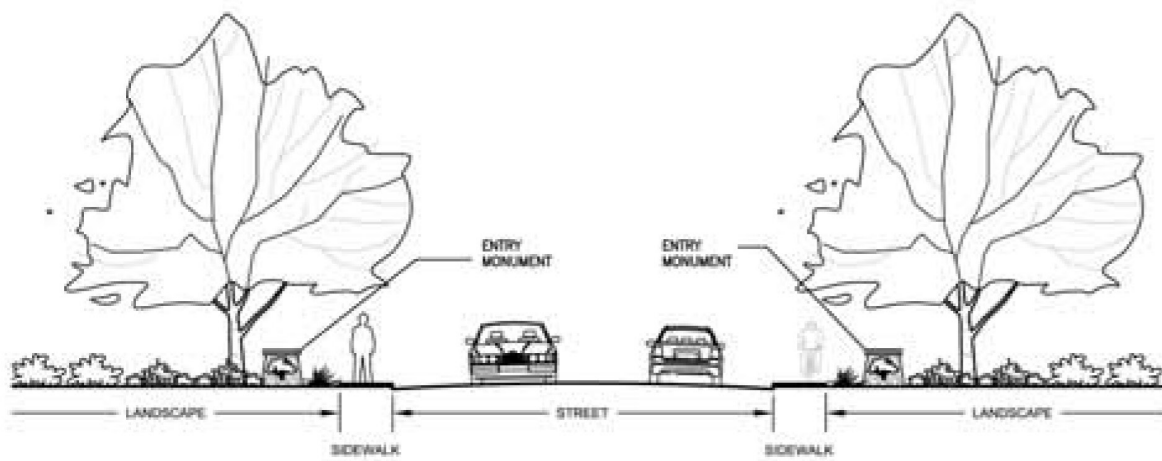


**SIGNAGE**

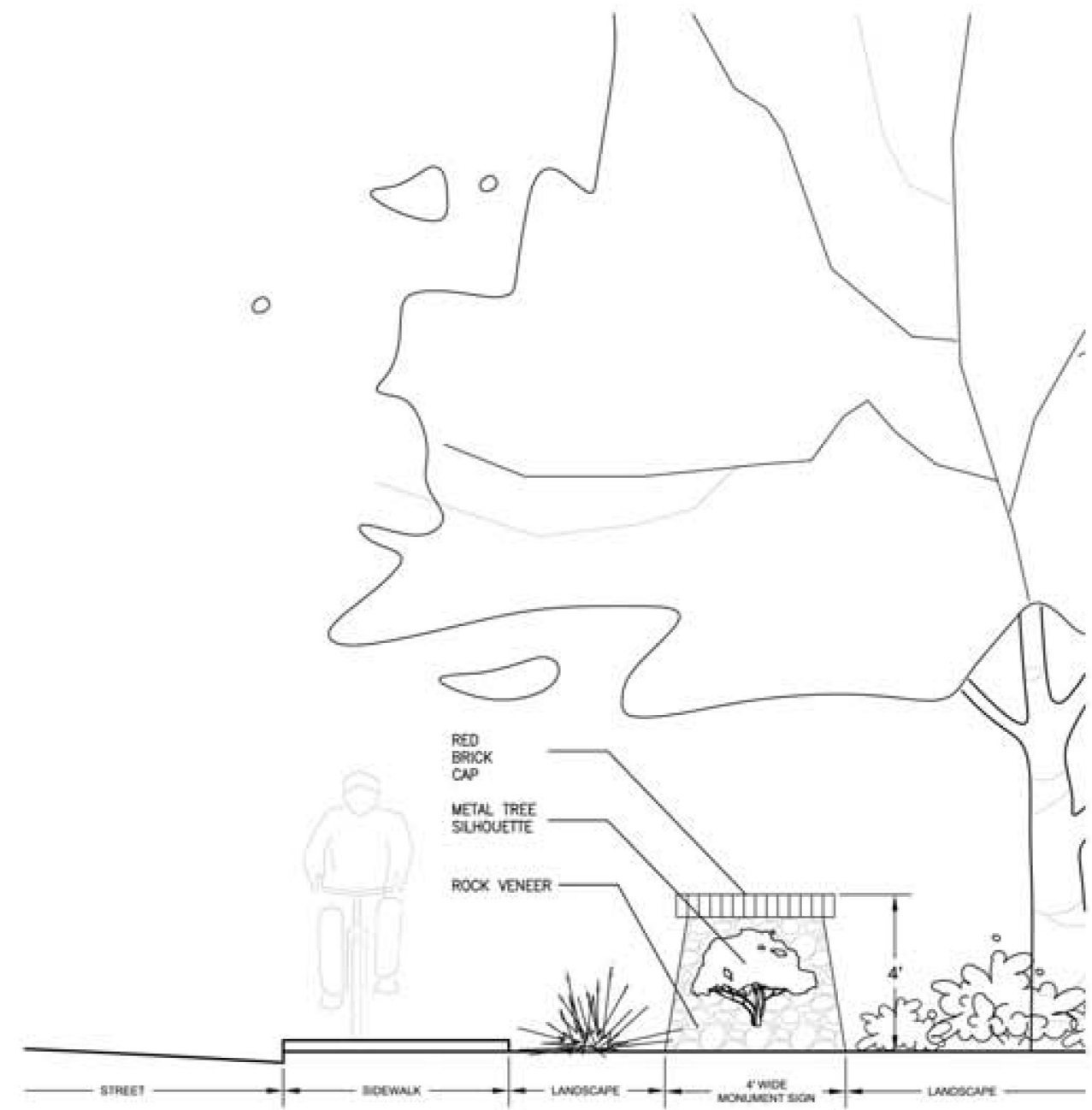
Figure 29



**CROSS-SECTION WITH ENTRY MEDIAN**



**CROSS-SECTION WITHOUT ENTRY MEDIAN**



**ENTRY MONUMENT DETAIL**



**b. Walls and Fences**

1) Introduction

Walls are a major component in achieving an overall community theme at SYCAMORE CREEK. A strong cohesive appearance is achieved through the use of "community walls" and general overall wall guidelines.

2) Community Walls - (See Figure 31)

All walls which adjoin community streetscenes shall be located entirely within the streetscene parcel allowing for common maintenance by a future SYCAMORE CREEK Homeowner Association or County Service Area. Such walls shall be termed "Community Walls" and shall be designed and installed in accordance per the Community Wall elevations.

Specifically excluded are: residential rearyard and sideyard situations not adjoining a public street or common use area; and family frontyard enclosure fencing. Wall applications in these areas will be evaluated for appropriateness with the architectural setting.

a) Solid Wall Requirement - (See Figure 32):

Where privacy or protection of common area views dictate, a solid masonry wall with pilasters shall be used. Pilaster construction of sixteen inch (16") square column block shall occur changes in vertical and horizontal direction and at other intervals appropriate to the length of wall run. Where wall is located between common area and private property, the wall shall be located on private property.

b) Combination Wall Requirement - (See Figure 32):

This community wall occurs above eight foot (8') vertical high slopes where partial privacy is necessary but permits some view opportunity. This combination wall will also be used in lieu of any open/view wall requirement along the community streetscenes on Campbell Ranch Road, Mayhew Canyon Road and Santiago Canyon Road. A combination masonry foundation wall and tubular steel fence panels between pilasters shall be used. The pilasters shall match those described herein for the base requirement solid wall treatment inclusive of size, design configuration and locations.

c) Community Theme Tubular Steel Open Fence - (See Figure 32):

Where view opportunity exists and where the visual protection from common maintenance areas is assured, an open or view wall may be used. In order to maintain the design integrity of the community theme wall, the open/view wall should not be used along the community streetscenes on Campbell Ranch Road, Mayhew Canyon Road and Street "A" and in the landscape buffer/screen zones along Interstate 15.

# Sycamore Creek

## COMMUNITY FENCING PLAN

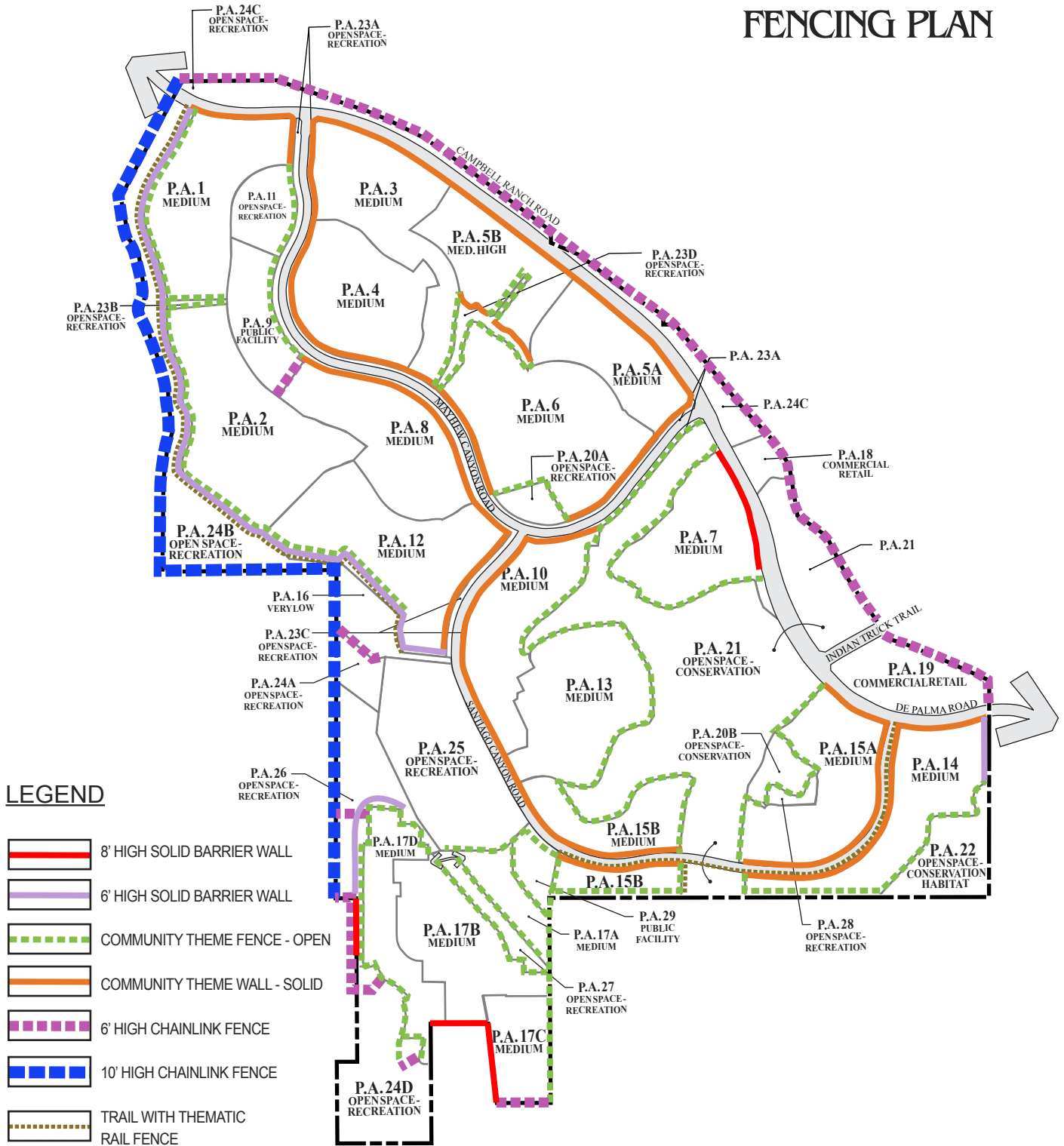
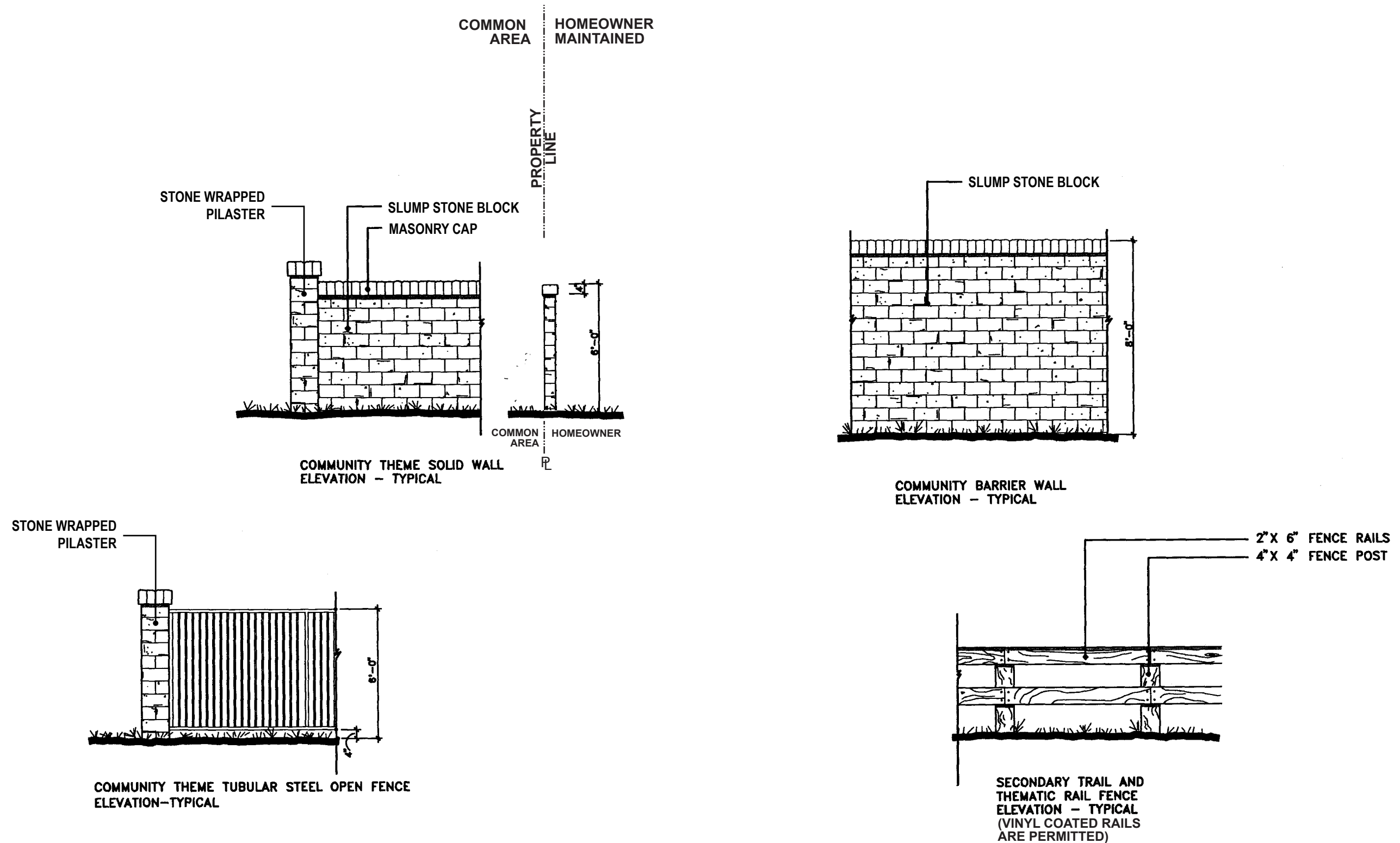


Figure 31

# COMMUNITY THEME WALL AND FENCING ELEVATIONS



d) Regional and Secondary Trail Fence Requirement - (See Figure 32):

A two-rail fence shall parallel and enclose the regional and secondary trails. Openings shall occur at street crossings and where appropriate.

e) Barrier Wall - (See Figure 32):

An eight foot (8') high solid masonry barrier wall will be installed along the retention basin boundary on the landscaped berm along the mining operation edge and at other appropriate locations where a barrier wall is deemed necessary.

3) Neighborhood Walls

a) Introduction

Neighborhood fences and walls shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls may be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment. Walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details. Walls and fences may be offset occasionally to avoid visual monotony. Variety in materials, design and height is encouraged. Fencing and walls shall be used to define the limits of property ownership, as well as for the creation of exterior privacy. The following regulations shall apply to all walls, fences, and permanent screening structures in the SYCAMORE CREEK project area.

b) Wall and Fence Locations

Fences or walls may be constructed in the following areas provided that no wall or fence shall be constructed within the street right-of-way.

(1) Interior Neighborhood Streetscene Walls

(a) Patio homes, cluster homes, courtyard homes or housing walls adjoining any interior neighborhood streetscene shall have a perimeter streetscene solid wall treatment.

(b) Perimeter Streetscene Solid Wall Base Requirement

A uniform solid wall designed to reinforce the architectural setting while remaining compatible with the previously described Community Wall Program should be utilized at all residential corner lot sideyards which parallel or are viewed from public streets. The visual integrity of the overall community and neighborhood streetscene will, therefore, be protected.

(c) Open View Wall Base Application

Where interior lot view opportunities exist without a privacy conflict, an



open view fence or wall may be appropriate. Such a view fence shall be compatible with the architectural setting.

- (d) Wood fencing is permitted within the individual neighborhood provided the fencing is not readily visible from the community streetscenes.

- (2) Residential and Institutional Uses

Fences and walls are permitted in any rear or side, or in the front yard. Exception: Fences and walls shall not be erected within the street right-of-way.

- (3) Commercial and Other Uses

Screen and security fences and walls are encouraged only in rear or sideyards. Trash deposit areas shall be enclosed within a six foot (6') high gated trash enclosure wherever located.

- c) Wall and Fence Heights

- (1) Residential and Institutional Uses

The following wall heights are permitted provided that no fence or wall shall exceed six foot (6'-0") in height.

- (a) Privacy walls should be a minimum of five foot, (5'-0") in height.

- 1. Front: No six foot (6') high wood fences should be located at the front property line.
- 2. Two-sided fencing shall be used whenever visible from a public or private street.

- (2) Commercial Uses

- (a) Front and Streetside: Fences and walls in the front setback areas shall be no higher than three and one-half feet (3-1/2') above grade. However, security fencing may be approved if there is a demonstrated need for security. The maximum height of this fencing shall be six feet (6') above grade.

- (b) Side and Rear: No fences or walls shall exceed a height of six feet (6'-0") except as noted or where necessary for safety or sound attenuation purposes.

- d) Wall/Fence Materials and Colors

All fences and walls shall be designed and constructed as part of the overall architectural and site design. All materials shall be durable and finished in textures and colors complimentary of the overall architectural design.

(1) Neighborhood Streetscene

Permitted Wall Materials: Stone veneer, stucco (including stucco covered block), masonry, slump stone, precision block/split face and wrought iron combination, and wood cap trim are acceptable.

(2) Permitted Wood Fence Materials

Wood fence materials must be of sufficient quality to accent semi-transparent stains.

(3) Conditionally Acceptable Wall and Fence Materials

Glass and/or heavy break-resistant plastic are acceptable for use in fences and walls when necessary to preserve views while providing protection against winds, etc. if used in conjunction with another material such as wood, brick, masonry, or stucco. Chain link fencing is acceptable along the western boundary of the SYCAMORE CREEK community to clearly delineate the property boundary and restrict access to/from the adjacent off-site mine. In addition, chain link fencing is permitted along the boundaries between Planning Areas 17A, 17B, and 17C and adjacent off-site parcels as a temporary condition until planned development is implemented on the adjacent off-site parcels.

(4) Prohibited Wall and Fence Materials

Barbed wire, wire, electrically charged fences, plain exposed precision concrete block, corrugated metal, and grapestake fencing are prohibited.

(5) Color and Special Wall and Fence Treatments

Walls may be left natural or covered with stucco, except plain precision concrete block which must be covered with stucco. Brick or slump block walls may be painted or covered with stucco, if desired. Stone surfaces shall remain natural and unpainted.

All wooden fences shall be treated with stain to help prevent rotting and weathering. Transparent stains are acceptable.

Material, colors, texture, and alignment of wall and fences shall be varied to relieve visual monotony. High contrast materials should be used only in select areas as accents.

(6) Open View Application Fence

Where interior lot view opportunities exist without a privacy conflict, an open view fence or wall may be appropriate. Such a view fence shall be compatible with the architectural setting.

e) **Special Wall and Fence Regulations**

- (1) A six foot (6') high masonry wall shall be constructed on each property line prior to development of any commercial, industrial, or business related use that adjoins any parcel specifically zoned for residential use or designed for open space or as a school site.
- (2) All fences and walls shall be designed as an integral part of the overall architectural design theme.
- (3) All fences and walls connecting two (2) separate residential dwelling units shall be constructed of the same color and material and shall be compatible with the color and material of the architecture.
- (4) Long walls should be broken-up with landscaping - particularly vines and espaliered trees. When possible, an eighteen inch (18") minimum space should be left between paved areas and walls and fences to allow for landscaping.
- (5) All fencing in commercial areas shall be planted with vines or screened by dense shrubbery.

c. **Neighborhood Streetscenes and Conceptual Landscape Plans**

1) Residential Neighborhood Streetscene

a) Residential Lot Street Trees

Per County of Riverside ordinance, each residential lot shall receive a minimum of one (1), fifteen (15) gallon size street tree planted in the right-of-way. Corner lots shall receive a minimum of two (2), fifteen (15) gallon size street trees also planted in the right-of-way. Tree variety shall be chosen from the SYCAMORE CREEK Plant Palette contained herein. Trees should be clustered near property lines periodically to maximize their growing effect and streetscene impact. One (1) species of tree shall be selected and approved for each residential street to maximized visual neighborhood identity. Deciduous or flowering evergreen accent trees which contrast with the chosen street trees are encouraged at cul-de-sacs, knuckles and intersections to provide seasonal emphasis and interest.

b) Residential Front Yard Requirements

Front yard landscaping and irrigation shall comply with Riverside County Ordinance No. 859, and may be planted with turf, shrubs and trees. An automatic irrigation system shall be installed by the builder/developer in the frontyard of each residential lot. Shrub areas will utilize a drip irrigation system. The turf, shrubs and irrigation shall be installed to a logical stopping point from the curb face to the front of house and side yards. Slopes over 3:1 surface gradient and three foot (3') in height should be planted with ground cover. Low slopes may be graded out to a less than 3:1 surface gradient and planted with turf.

A minimum of one (1), fifteen (15) gallon size tree shall be planted in the frontyard of each residential lot in addition to the required street tree. These trees may match the street trees planted in the right-of-way and be located in proximity to said street trees in order to create a grove effect. The trees may also contrast with the street tree and form backdrop tree clusters. A root barrier shall be required for all trees within six feet (6') from the sidewalk. Overall, the frontyard scheme shall create a streetscene appearance of tree grove clusters meandering through the project and across streets.

c) Interior Slope Landscape

All interior slopes occurring within the community theme wall envelope shall be landscaped and irrigated per the County of Riverside landscape standards. The builder/developer shall install all required slopes not designated as common area. Each builder should confirm the slope erosion control standards with the County.

2) Commercial Use Landscape Requirements

a) Street Tree Requirements

- (1) Evergreen background grove trees should surround the commercial site integrating the site into the overall community setting.
- (2) Sideyard and rear service yard use areas should be screened with a combination of a six foot (6') wall and dense landscape buffer.
- (3) The Neighborhood or Evergreen Canopy Accent Tree entry planting should be incorporated at the commercial site vehicular access points.

b) Minimum Landscape Requirements

- (1) Builder/Developer shall refer to Riverside County standards for the percentage required of the gross commercial site acreage that shall be landscaped.
- (2) All areas of the site not occupied by buildings or otherwise utilized shall be landscaped with ground cover, turf or tree materials from the community plant list.

c) Parking Areas

- (1) Parking area landscaping is required for the screening of large parking areas to limit their visual impact.
- (2) Landscaped islands shall be provided at the ends of interior stall rows to break up parking areas. These islands are to provide a minimum five foot (5') landscaped width to allow planting and mounding. Creation of large planting islands (tree groves) is encouraged as opposed to small pockets of individual trees.

- (3) The use of islands to create a series of smaller parking pockets with the total parking area is required.
- (4) When parking is located adjacent to a public street, a combination of landscaped berms and/or planting totaling three feet (3') high is to be used to screen views of parked cars.
- (5) Concrete tree well and planting edge curbs should be used in lieu of wheel stops.
- (6) Wherever possible, pedestrian traffic should be separated from vehicular traffic by additional sidewalks. The parking lot should have crosswalks highlighted with decorative or varied texture paving.

3) Residential Landscape Requirements

- a) All applicable general residential landscape requirements shall apply.
- b) Plant material shall shade western sides of buildings, especially windows to reduce heat gain inside homes.
- c) Plant material should form a smooth transition between neighborhood and streetscene landscaping.
- d) Pedestrian and vehicular circulation should be clearly defined by a landscape treatment with accent trees and parking lot grove trees.
- e) When parking is located adjacent to a public street, combination of landscaped berms and/or planting totaling three feet (3') high should be used to screen cars.
- f) All landscaping shall comply with the requirements of Riverside County Ordinance No. 859.

4) Parks and Recreation Amenities

a) Introduction

A variety of recreation opportunities and experiences are afforded within the SYCAMORE CREEK community. Three (3) Neighborhood Park sites (8.3 acres, 3.1 acres, and 1.2 acres, respectively) and one (1) 25.0 Regional Sports Park site are planned within the project. A 10.4-acre elementary school which is connected to the greenbelt/paseo will supplement the active community recreation facilities during non-school hours. In addition, a secondary and pedestrian trail network has been planned connecting on-site recreation amenities throughout the community and providing a link to off-site Cleveland National Forest.

b) Planning Area 20A Neighborhood Swim Park – 3.1 Net Acres - (See Figure 33)

Planning Area 20A Neighborhood Swim Park is located within an individual neighborhood along the greenbelt/paseo path system. Activities are planned at this 3.1 net acre park and may consist of the following:

- Swimming Pool
- Spa
- Clubhouse
- Adventure Play
- Tot Lot
- Family Picnic Area
- Lighted Paseo Path
- Off-Street Parking
- Restroom
- Specific amenities shall be submitted with TM & shall be subject to approval of Planning Director.

c) Planning Area 28 Neighborhood Park – 1.2 Acres - (See Figure 34):

Planning Area 28 Park is sited around a beautiful stand of California Live Oaks adjacent to a open space - conservation area. The recreation activities planned at this park may include:

- Family Picnic Area
- Tot Lot
- Lighted concrete walk
- Open lawn play area
- Shaded seating area
- Specific amenities shall be submitted with TM & shall be subject to approval of Planning Director.

d) Planning Area 11 Active Neighborhood Park – 8.3 Net Acres - (See Figure 35):

Planning Area 11 Neighborhood Park is located off Mayhew Canyon Road adjacent to the Elementary School site. Easy access to this park is via the combination greenbelt/paseo system or streetscene sidewalk system.

Program elements planned may include the following:

- One (1) Softball Field
- One (1) Soccer Field
- Restroom Building
- Adventure Play
- Tot Lot
- Basketball Court
- Family Picnic Area
- Off Street Parking
- Open Play Area
- Specific amenities shall be submitted with TM & shall be subject to approval of Planning Director

PLANNING AREA 20A  
NEIGHBORHOOD PARK  
3.1 NET ACRES

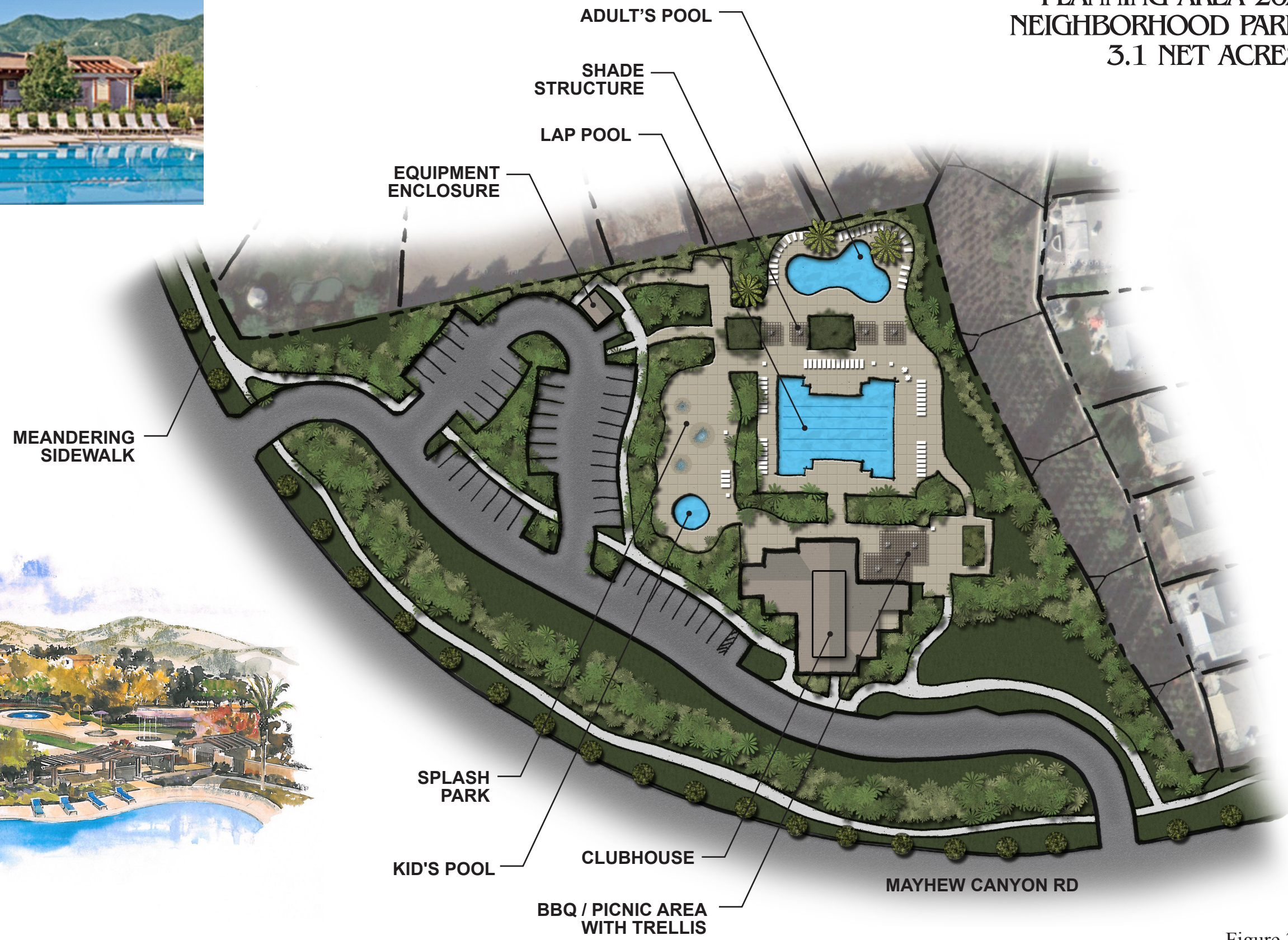
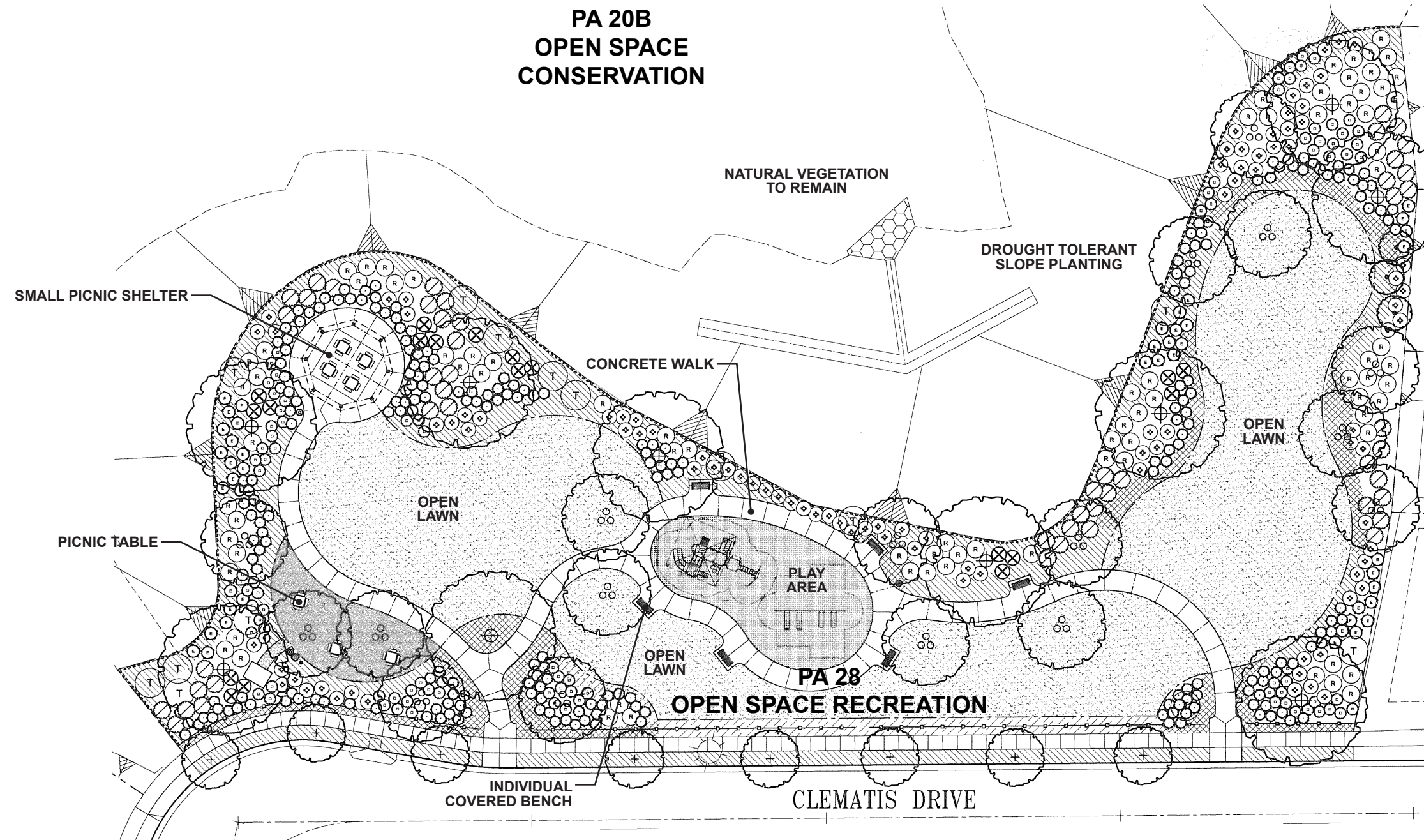
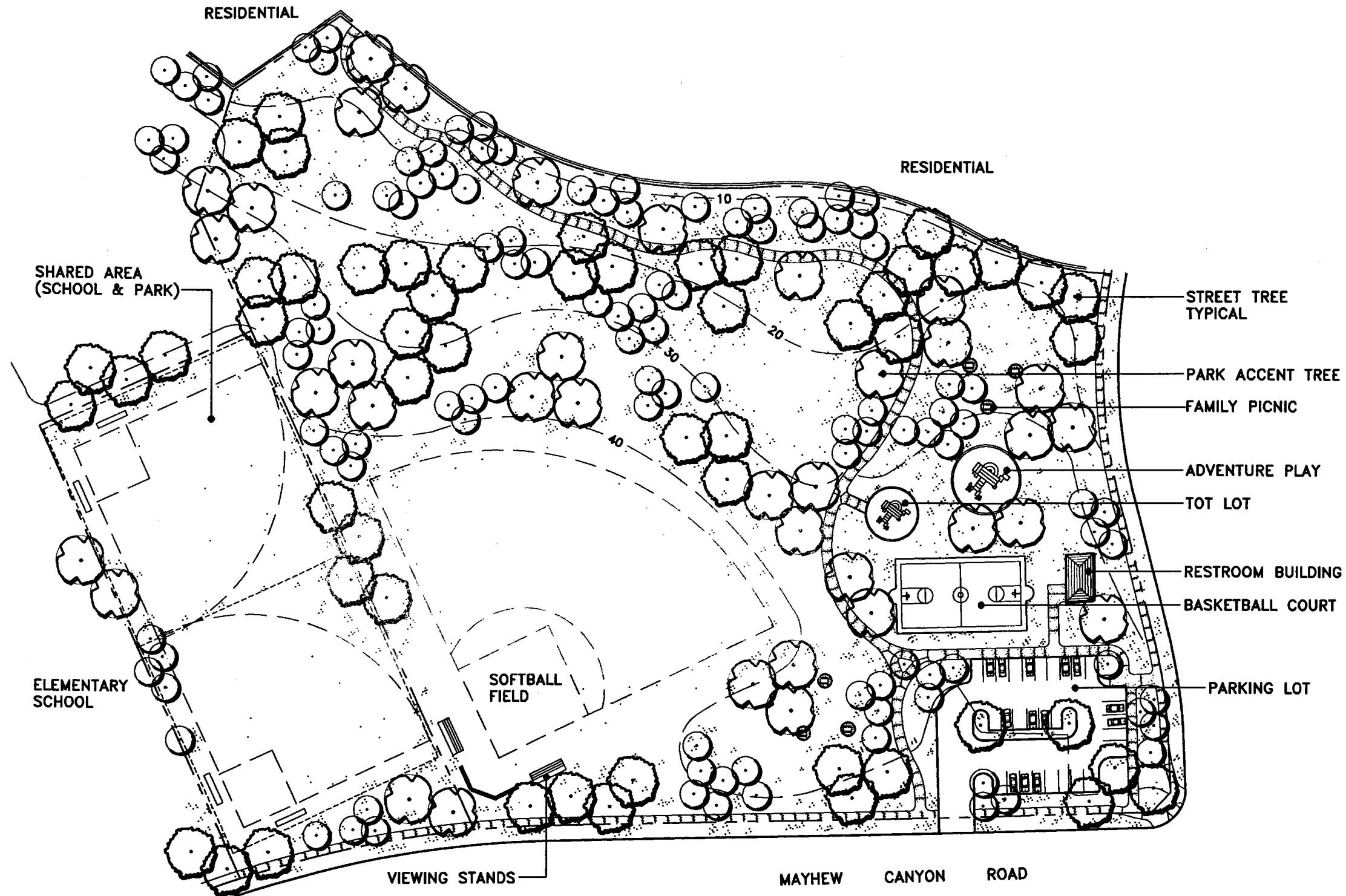


Figure 33





PLANNING AREA 11  
NEIGHBORHOOD PARK  
8.3 NET ACRES



NOTE: ALL PARK LANDSCAPE AREAS SHALL BE AUTOMATICALLY IRRIGATED WITH 100% IRRIGATION COVERAGE.



e) Planning Area 25 – Regional Sports Park – 25.0-Acres (See Figure 36)

A twenty-five (25.0) acre Regional Sports Park will be developed within SYCAMORE CREEK (Planning Area 25) by the County of Riverside. The purpose of the Regional Sports Park will be to provide a public park and sports facility for the residents of the Temescal Canyon Community.

The park will be located along a local street and is intended to provide for area needs with such improvements as soccer fields, baseball fields, basketball courts, trails, picnic area, on-site parking, restroom facilities, or other improvements the County of Riverside deems necessary.

For the purpose of the improvements to the park, the developer will be responsible for donating the necessary land, providing access, rough site grading, and stubbing the required utilities to the edge of the site. The County of Riverside shall be responsible for all design and improvement costs required to develop the Regional Sports Park beyond the state which the developer has committed to above.

5) Greenbelt/Paseo and Trail System Network

a) Greenbelt/Paseo - (See Figure 37):

The greenbelt/paseo path system provides a safe pedestrian circulation connection from the northern neighborhoods to the Regional Sports Park. This path system travels through two neighborhood park sites and the elementary school site. Additional access to the greenbelt/paseo path occurs as individual neighborhood cul-de-sacs abut the paseo.

(1) Paseo Activity Nodes - (See Figure 38):

The greenbelt/paseo functions mainly as a pedestrian circulation element. However, paseo activity nodes containing facilities for relaxing, tot lot play, family picnicking or exercise stations are planned within the greenbelt/paseo at intersecting neighborhood cul-de-sacs.

(2) The following are meant to be design guidelines for the greenbelt/paseo areas within SYCAMORE CREEK. In the final design, it may be necessary to vary slightly from these guidelines, but the developer will maintain the proposed character and usability of the paseo system.

(a) Minimize rate of grade (longitudinal slope) along paseo. Maintain average of five percent (5%) and not to exceed five percent (5%) at any point along the walkway that is deemed to be under “ADA” guidelines.

Sycamore Creek  
 PLANNING AREA 25  
 REGIONAL SPORTS PARK  
 25.0 ACRES

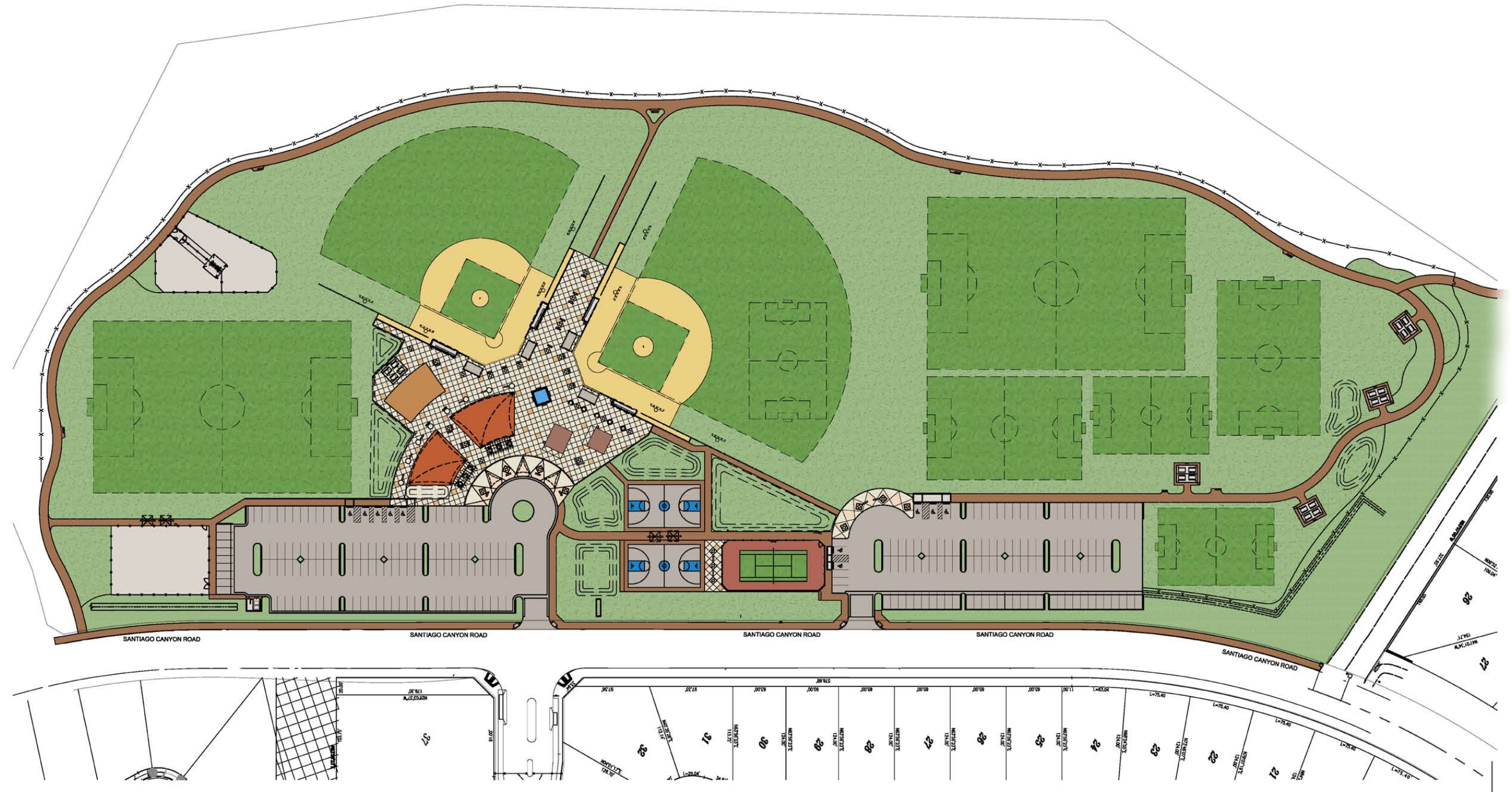
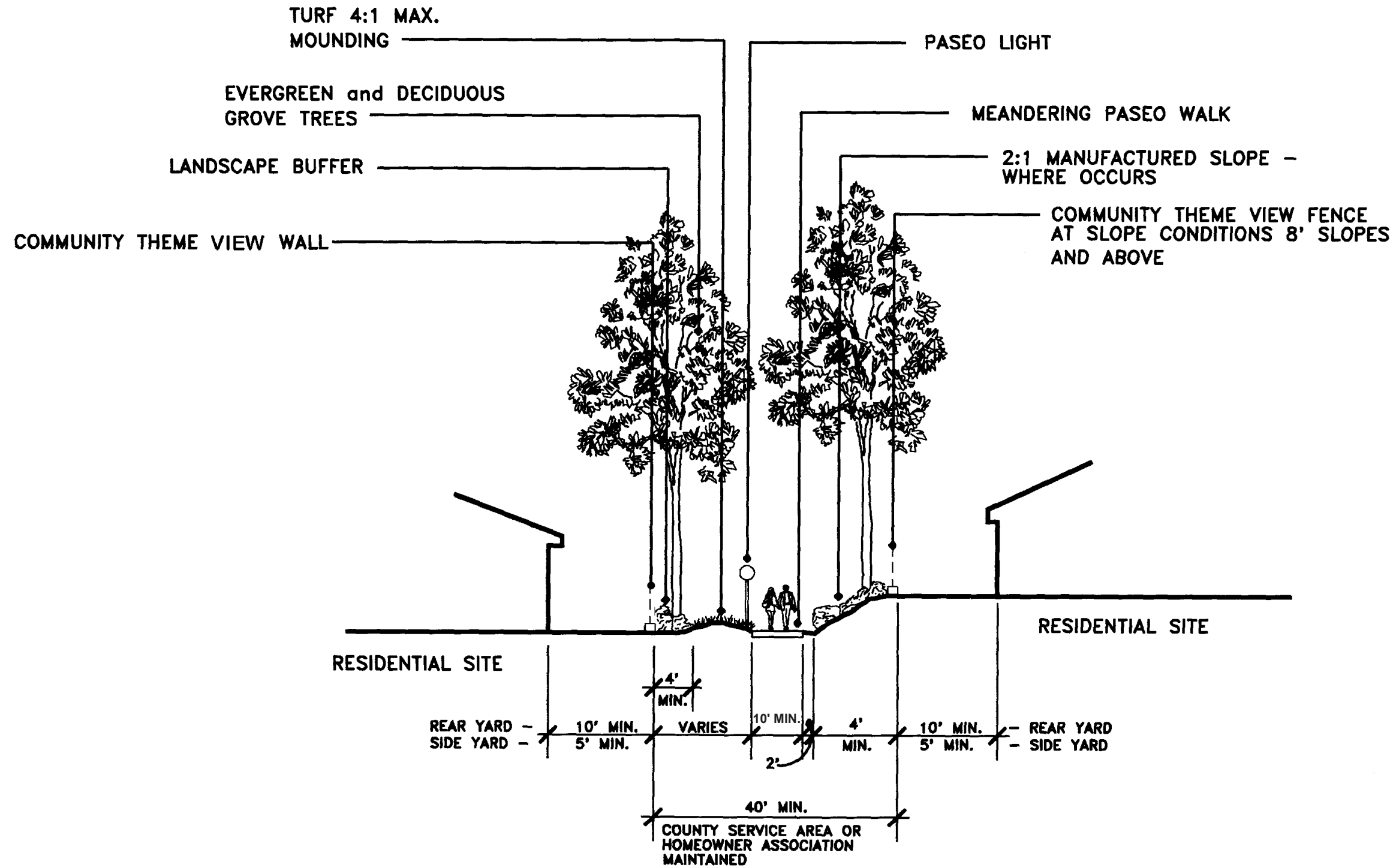
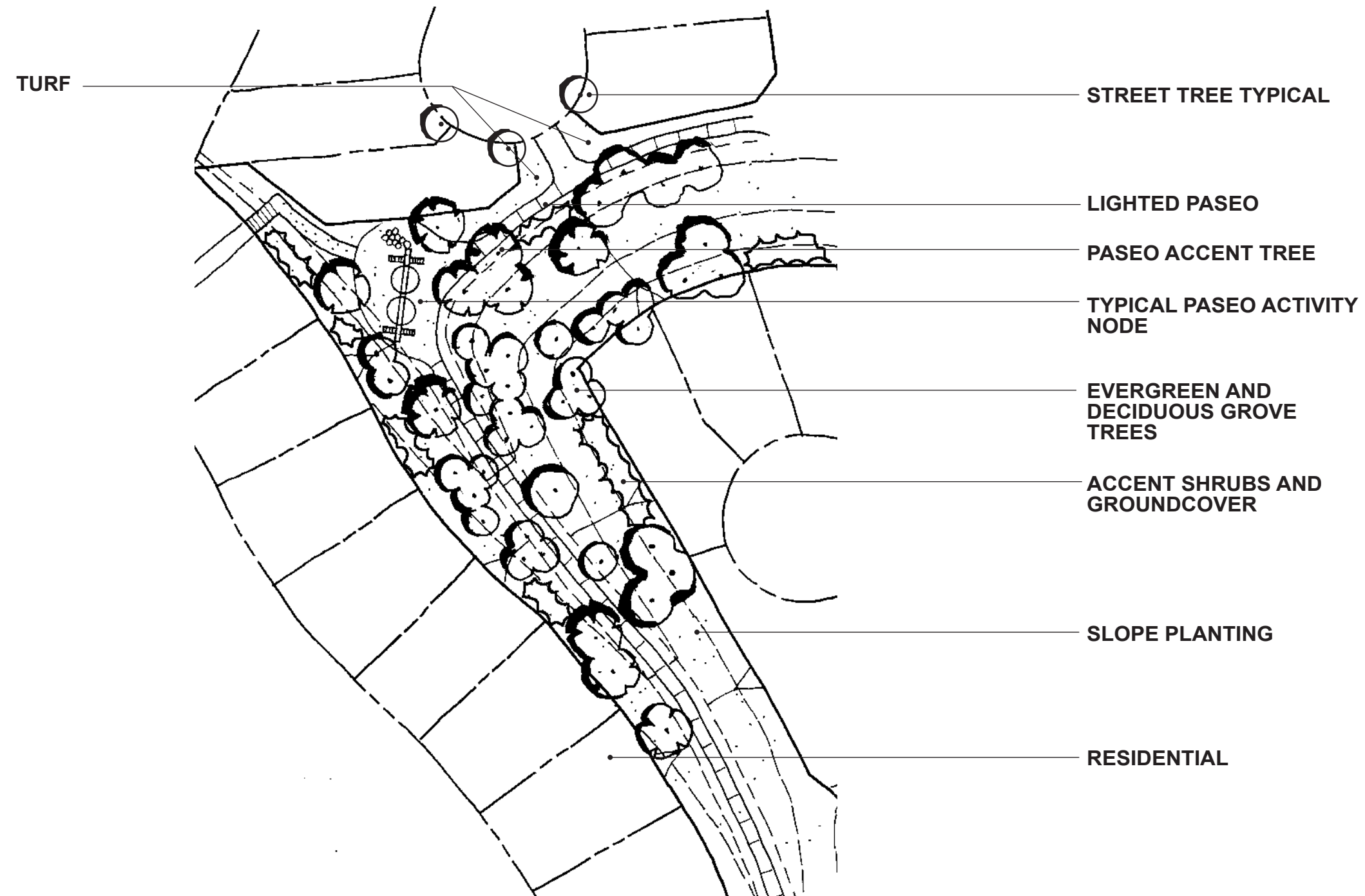


Figure 36





SOURCE: HRP LANDESIGN

- (a) Maintain a minimum paseo width of forty feet (40') with a minimum flat area of twenty-five feet (25').
  - (b) Attempt to create a smooth meandering pattern in horizontal layout that, in most cases, is adjacent to residential lots.
  - (c) Attempt to create flat areas for activity nodes as indicated on Figure 15. These nodes will be 4,000 square feet in area, graded on an average at two percent (2%), and developed as play areas – generally at the end of selected neighborhood cul-de-sacs.
- (2) Planning Areas 26 and 27:

Planning Areas 26 and 27 provides a safe pedestrian circulation connection from the neighborhoods in Planning Areas 17A-D to the neighborhoods in the northern portions of the SYCAMORE CREEK community via a connection to the Regional Trail segment that traverses the community and also provides passive recreational amenities.

As shown on Figure 12, a trail is provided along the interface between Planning Area 26 and the Regional Sports Park in Planning Area 25. Planning Area 26 also may feature landscaping and seating areas. Planning Area 27 includes a greenbelt that encompasses a segment of the Glen Ivy North fault and the required limited building zone setback. The remainder of Planning Area 27 features a Secondary Trail segment that provides a connection to off-site trails within the Cleveland National Forest (provided by others). Planning Area 27 may include passive recreational amenities such as family picnic/barbecue areas, and seating areas. Habitable structures are not permitted in Planning Area 27.

b) Bike Trails:

No bike trails are proposed as a part of this Specific Plan, but if bike trails are proposed in conjunction with future development proposals, then all bike trails should be designed as Class I bikeways generally located within separate right-of-ways in accordance with the standards contained within Chapter 1000 of the California Department of Transportation – Highway Design Manual (Fourth Edition).

c) Regional and Secondary Trail Systems - (See Figure 12):

The Regional and Secondary trail systems supplement the existing pedestrian and vehicular circulation system. Regional trails will have a width of 12 feet and Secondary trails will have a width of 10 feet. These planned trail alignments helps transition the residential developed edge from the off-site mining operations. As well as opening up spectacular views, these trails provide almost two (2) miles of uninterrupted pathway before it exits off site onto the Cleveland National Forest.

In conclusion, the greenbelt/paseo system, combination secondary trail, and expanded landscape development zone streetscene form a complete pedestrian path system. All

land uses from commercial to recreation are easily accessible to a person on foot. Moreover, a pedestrian could travel from community boundary to community boundary and not travel the same route.

**d. Maintenance Responsibility**

Maintenance of common areas and streetscenes within SYCAMORE CREEK may be provided in one of two ways:

A County Service Area shall maintain the community streetscenes adjoining Campbell Ranch Road, De Palma Road, Santiago Canyon Road and Mayhew Canyon Road. This will specifically include the area from back of curb to the face of the community theme wall.

Interior neighborhood collector streetscenes may also be maintained by a County Service Area.

If the interior neighborhood collector streetscenes are not accepted for maintenance by the County Service Area, then a Master Homeowner's Association will maintain these areas.

A Master Homeowner's Association or CSA will maintain the school park, both neighborhood parks, the, greenbelt/paseo paths, trail system and landscape windbreak berms.

All residential street trees planted in the right-of-way will be maintained by the individual homeowners.

**e. Outdoor Lighting**

All streets and commercial developments in SYCAMORE CREEK shall have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design. Each residential development may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the project. Lighting fixtures shall be well integrated into the visual environment and the appropriate architectural theme. All lighting fixtures in the SYCAMORE CREEK project area shall comply with the following regulations and provisions.

- 1) All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas shall be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property. Low intensity, energy conserving night lighting is preferred.
- 2) Lights shall be of unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal-proof, yet should not look institutional.
- 3) Neon and similar types of lighting are prohibited in all areas of SYCAMORE CREEK except in commercial retail developments.
- 4) All exterior lighting designs should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of streets and plazas; and also distinguishes vehicular and pedestrian circulation patterns. Entry areas (both pedestrian and vehicular), public plazas, community facilities, and highly used recreation areas shall be creatively lit to develop a sense of place and arrival.

- 5) All exterior lighting designs shall address the issue of security. Parking lots, pedestrian walkways, and building entrances shall be well lighted for security reasons.
- 6) All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
- 7) No freestanding lighting fixtures shall exceed twenty-five feet (25') in height. In no case shall overwash occur beyond the property lines.
- 8) Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover should occur outside the service area. The light source is not to be visible from the street.
- 9) The lighting concept of the entry monumentation features is to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features will be illuminated by ambient light bounding off the entrance walls.
- 10) All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility or shall be screened with appropriate plant materials.
- 11) The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the County of Riverside and Mount Palomar Observatory. Energy conservation, safety, and security should be emphasized when designating any lighting system.



## B. ARCHITECTURAL DESIGN GUIDELINES



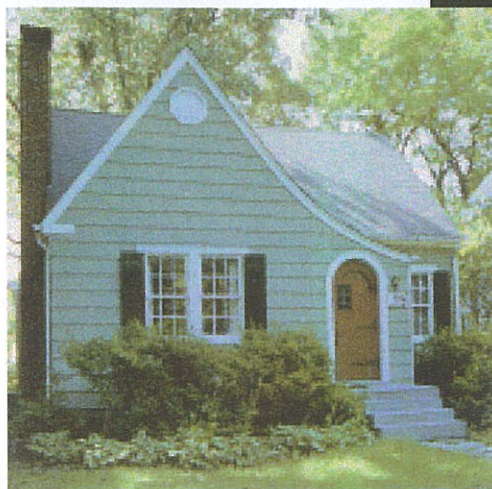
This section sets forth the architectural and site design guidelines for the planned community of Sycamore Creek. They are intended to provide guidance for the expression of development in the community. An eclectic mix of architecture is the design intent allowing both diversity and aesthetic appeal throughout the community. The varied architectural styles proposed will add a sense of nostalgia through this aesthetic diversity.



Developers, builders, engineers, architects, landscape architects and other design professionals are encouraged to use the guidelines in order to maintain design continuity, create an identifiable image and develop a cohesive community. While there are several pictures and examples depicting architectural styles, they are only intended to show a variety of design solutions. These examples are not intended to require these precise themes. Rather they are intended to provoke design ideas that ultimately produce a community of design quality and cohesiveness. The Master Developer will be reviewing all merchant builder designs to insure that community design and value will be maintained. The Master Builder will work with the Merchant Builders of each phase to develop architectural themes, colors and street scenes that are compatible. The intent will be to develop these themes for each of the four construction phases of the project, based upon the then current market needs and trends. This will support the goal for variety, yet compatibility.



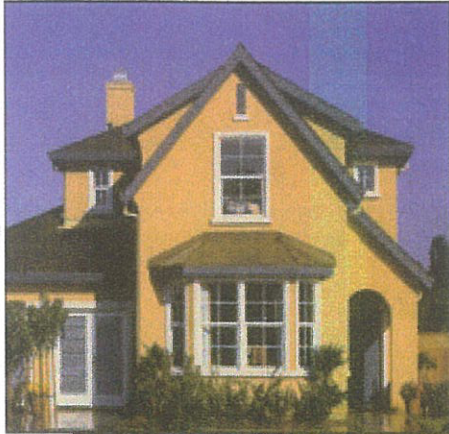
This section brings to light certain key architectural and site design “elements” that would be encouraged in all residential and commercial development. In terms of the architectural expression of Sycamore Creek design elements will be borrowed from the Monterey, Craftsman, American Farmhouse, French Country, and Traditional design themes.



It is the intent of these guidelines to establish an architectural expression that reflects the concerns of the County of Riverside while at the same time allowing for flexibility in design. Examples of residential themes are shown here. These examples are only conceptual in nature and do not necessarily depict the actual final design. Finalized floor plans and elevations will be determined at a later stage of development, although suggested floor plan concepts for the various lot programs are shown. Conceptual plans developed for the housing programs are required to be submitted for review by the Design Review team administered by the Master Developer.

Conceptual plans developed for the housing programs are required to be submitted for review by the Design Review team administered by the Master Developer.

Designs will be reviewed using the design guidelines prior to their approval for the design drawings and construction documents. Conceptual floor plans and four sided elevations developed for the housing programs are required to be submitted for review by the Design Review team.



### Neighborhood Themes

The creation of a high-quality, residential community with variety yet compatible, was the key objective in the planning of Sycamore Creek. We identified elements that create a sense of true neighborhood that transcends an increased value and security as well as a social acceptability with the residents of the community.



Land Planning and circulation design criteria have been developed to create visually diverse, aesthetically pleasing neighborhoods. Local streets are proposed to have curb-separated sidewalks with the resulting landscape strip providing a continuous curb adjacent canopy of street tree planning opportunities. An eclectic mix of architecture, yet compatible, shall be the continuous thread throughout the project. Monterey, Craftsmen, American Farmhouse, French Country and Traditional architecture are just a few of the thematic styles that could be designed within a given phase. Other architectural themes and designs will be considered, so long as they will be compatible with the neighborhood areas. Consideration will be based upon current market needs, long term value of the community and an approved set of architectural design guidelines for the proposed style. The design guidelines must include a set of design components and thematic elements which define the proposed architectural theme, by addressing all of elements (ie: doors, windows, roof pitch, colors, etc.) contained in the



adopted Specific Plan Design Guidelines. Strong emphasis shall be placed upon curb appeal and a diversity of design elements with the discipline placed on authenticity of design characteristics.



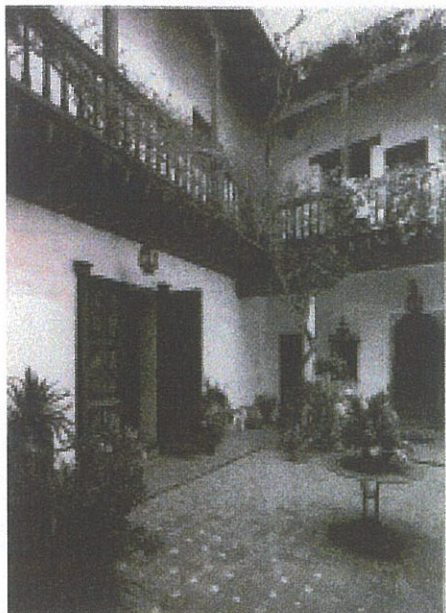
*The following themes are guidelines to show examples of how a specific theme can be outlined for each design element of the structure.*

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### **Architecture**

- ◆ *Emphasis on Curb Appeal*
- ◆ *Porches*
- ◆ *Nostalgic*
- ◆ *Eclectic Styles*

# Monterey Historical Reference



# Monterey Modern Application



## **MONTEREY:**

The Monterey architectural style is typically characterized with deep cantilevered front balconies, and distinctive use of key details such as roof tiles, stucco walls, detailed wooden doors and ornamental ironwork. Walls convey a thick appearance with recessed door and window openings set back into smooth wall planes. The use of arches, courtyards, patios and colonnades enhance the theme. Wood and brick, as an accent, play an important role in this style. The limited use of Hardy Board as a wood accent is substituted for development of this feature. It is typically stained dark in contrast to the off-white stucco exteriors, and is expressed in corbels, lintels, porches, balconies and rafters.



## **DESIGN GUIDELINES:**

**Roof Pitch:** 5:12 to 8:12 standard. 4:12 pitch breaking to 3:12 over front and rear porches or verandas as standard.

### **Roof Material and Color:**

Concrete "S" Barrel tile with range in color from medium brown to deep terra cotta. Some variation in roof color is allowed but shall be a subtle blend of colors.

**Overhangs:** Shall have tight rakes (min. 6") and 12" eaves, with stucco wrapped fascia or exposed wood rafter tails.

**Chimneys:** Detailed stucco with an articulated cap detail. Fireplaces with direct vents are an option. Builders have the option to provide direct vent fireplaces and eliminate chimneys.

**Siding:** Siding can be used as an accent for a differential of first and second floor. Brick veneer is used and at the wainscot around the base of the home.

**Porches:** The verandas are large and open with wood detailing.

**Balconies:** Cantilivered balconies are an integral part of Monterey architecture. Balconies are required to have wood detailing at the column, ballustrade and corbel with cantilivered massing.

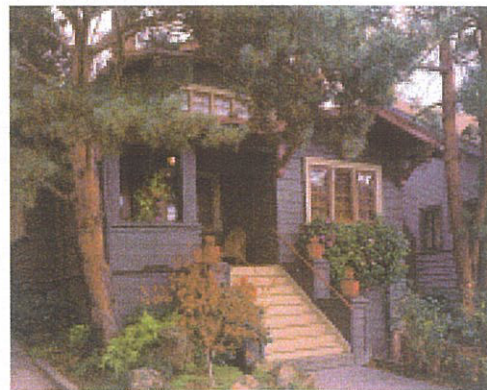
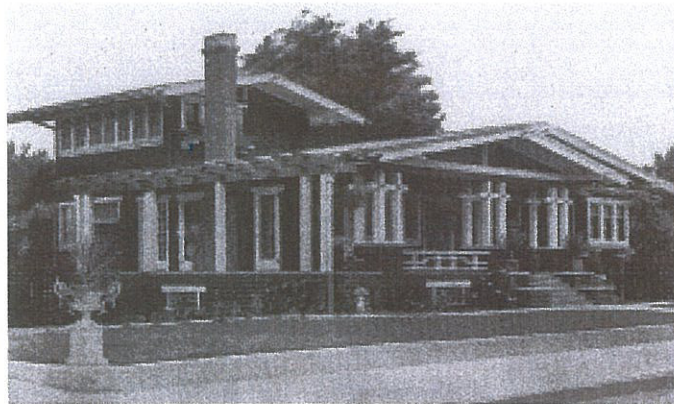
### **Window Treatments:**

Shutters shall be used throughout on all elevations in the public view. A minimum of two accent windows will be recessed on the front elevations. Windows shall be trimmed with stucco or wood at the top and bottom of the window if in public view. Windows are required to have divided lights with minimum four quadrants per window.

**Doors:** Entry doors shall be of a style consistent with the architectural style of the house. Entry doors shall have a heavy wood grain texture with stucco or wood trim surrounds. Wood doors would be a good option, however simulated wood grain doors shall be acceptable. Where appropriate for the architectural style, entry doors shall be enhanced with decorative glass. Doors will be located under the cover of a veranda.

**Color Palette:** Stucco finish shall be smooth and range from a white to a light beige. Stucco/wood trim shall have a darker contrasting color with stucco fascia to be more integral or close to the field color. Shutters will have more of a contrasting range with blue, black, and warm red accents.

# CRAFTSMAN Historical Reference



# CRAFTSMAN Modern Application



## **CRAFTSMAN:**

The Craftsman architectural style is typically characterized by low pitched gabled roofs, occasionally hipped and with wide, enclosed eave overhangs. The roof rafters are usually exposed and decorative (false) beams or braces commonly are added under the gables. The front porches are full or partial width and the roof is supported by square tapered columns, that frequently extend down the ground level with no breaks. Most common wall cladding is with siding, shingle and stucco with brick or stone accents. Dormers are also found gabled with exposed rafter ends and braces. Wood trellis' also accent this style as either an extended porch or porte cochere.



## **DESIGN GUIDELINES:**

**Roof Pitch:** 4:12 - 6:12 standard.

### **Roof Material and Color:**

Concrete flat or shake tile. The color range should complement the main house colors ranging from the dark greys, browns and greens.

**Overhangs:** Shall have 16"-24" eaves, and shall be boxed or open. Exposed rafter tails may occur, and along the rakes, decorative braces, brackets or beams may occur.

**Chimneys:** Stucco with an articulated cap detail. The chimney base shall reflect the wainscot material of the main house. Fireplaces with direct vents are an option.

**Siding:** Siding and shingles can be used. Hardy Board may be used as a replacement. As an accent, brick/stone veneer may be used.

**Porches:** Columns supporting the roofs are typically short, square upper columns resting upon more massive piers or solid porch balustrades. These begin directly at ground level and extend well above the porch floor.

### **Window Treatments:**

A minimum of two accent windows will be featured at the front elevation. Windows shall be trimmed with stucco or wood at the top and bottom of the window if in public view. Windows are required to have divided light with minimum four quadrants per window and shall reflect the chosen style.

**Doors:** Entry doors shall be of a style consistent with the architectural style of the house. Entry doors shall have a heavy wood grain texture with stucco or wood trim surrounds. Wood doors would be a good option, however simulated wood grain doors shall be acceptable. Where appropriate for the architectural style, entry doors shall be enhanced with decorative glass. Doors will be located under the cover of a veranda.

**Color Palette:** Stucco shall be sand finish and range from a light to dark. Stucco/wood trim and fascia shall have a contrasting color. Shutters will have an accent color that harmonizes and brings together the theme of the style. The siding shall be complementary to the main stucco color and the brick/stone veneer shall also be complementary to the theme chosen for the elevation.



# American Farmhouse Historical Reference



# American Farmhouse Modern Application



### **AMERICAN FARMHOUSE:**

The American Farmhouse architectural style is typically characterized by wrapping front porches with a variety of wood columns and railings. The asymmetrical cottage look may be used. Dormers and symmetrical elevations can also be thematic for the elevation. Characteristic details are cupolas, dovecotes, vertical windows with shutters, wood potshelves, siding and gable end vent details. The massing is simple with gabled roofs and may include either shed or side hip roofs occurring over the first floor porch.



### **DESIGN GUIDELINES:**

**Roof Pitch:** 6:12 to 8:12 standard. 3:12 to 4:12 for porch roof standard.

**Roof Material and Color:**

Concrete flat or shake tile or architectural grade composition tile. The color range should complement the main house colors ranging from the dark to medium.

**Overhangs:** Shall have 12"-24" eaves.

**Chimneys:** Detailed stucco with an articulated cap detail. Brick details may occur. Fireplaces with direct vents are an option. Builders have the option to provide direct vent fireplaces and eliminate chimneys.

**Siding:** Siding (Hardy Board) may be used.

**Porches:** Are encouraged at the front elevation. They are simple with wood details.

**Window Treatments:**

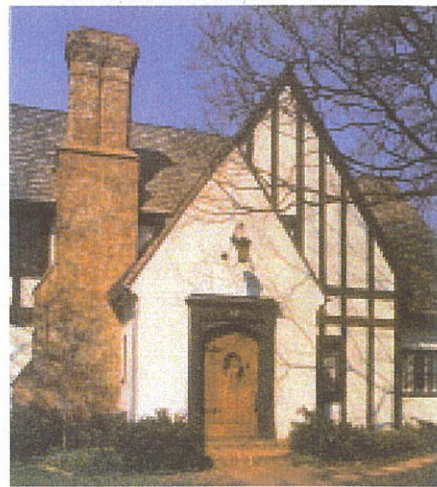
Shutters shall be used throughout on all elevations in Public View. A minimum of two feature windows shall appear on the front elevations with either potshelves or decorative detail. Windows shall be trimmed with stucco or wood at the top and bottom of the window if in Public View. Windows are required to have divided light with a minimum of four quadrants per window.

**Doors:** Entry doors shall be of a style consistent with the architectural style of the house. Entry doors shall have a heavy wood grain texture with stucco or wood trim surrounds. Wood doors would be a good option, however simulated wood grain doors shall be acceptable. Where appropriate for the architectural style, entry doors shall be enhanced with decorative glass. Doors will be located under the cover of a veranda.

**Color Palette:** Stucco finish shall be smooth finish and shall range from white to a very pale color. Stucco/wood trim may have a contrasting color. Shutters will have an accent color of dark tones like green or black. The siding shall be the same as the main stucco color.

# FRENCH COUNTRY

## Historical Reference



# FRENCH COUNTRY Modern Application



## **FRENCH COUNTRY:**

The French Country theme was developed in the 18th and 19th century France and was symbolic of the charm and character of rural France. The random elements and accents of this style express this distinct and appealing architectural character. A mixture of color, texture and materials draws upon the earth-tone shades of stone, brick and stucco to define this expressive character. Detail embellishment is a strong feature of French Country themes such as doors and windows with impressive trim or shutters, varying pitched roof lines, textured chimneys and wood or wrought iron balconies. The use of dormers and turrets are also used to enhance this style.



## **DESIGN GUIDELINES:**

**Roof Pitch:** 6:12 to 8:12. High-pitched roofs are standard character elements, along with the swooping lines of the roof at the entry that may occur.

**Roof Material and Color:**

Flat concrete tile shall range in color from light to dark.

**Overhangs:** Shall have 12" rakes and eaves, stucco wrapped.

**Siding:** Stone veneer is a strong feature of French Country style and should be incorporated as an accent material.

**Chimneys:** Shall be the same finish as the stone veneer used as a base material. Stucco chimneys with articulated caps can be substituted with stone and used only as an accent feature.

**Porches:** Porches should be of simple stucco form and may be arcaded or angled to match roof pitches. Porch columns shall be heavy and match similar material texture.

**Balconies:** Balconies are small in scale, but are highly detailed with decorative wrought iron features, potshelves or both.

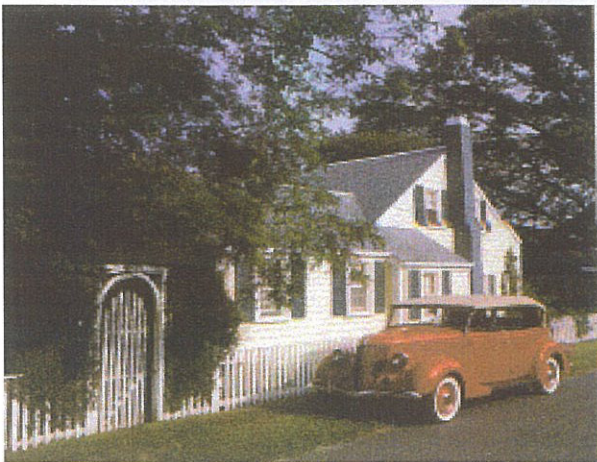
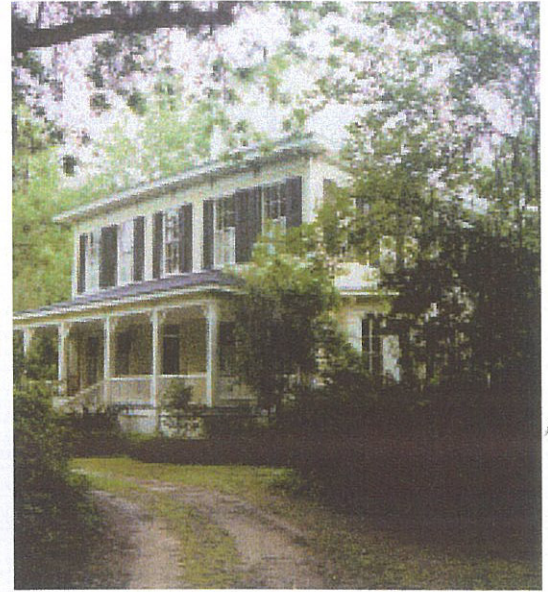
**Window Treatments:**

A variety of shutters must be used with stucco trim on all windows in Public View. Windows are required to have divided light with a minimum of four quadrants per window. Diamond mullions may be used for a feature window.

**Doors:** Entry doors shall be of a style consistent with the architectural style of the house. Entry doors shall have a heavy wood grain texture with stucco or wood trim surrounds. Wood doors would be a good option, however simulated wood grain doors shall be acceptable. Where appropriate for the architectural style, entry doors shall be enhanced with decorative glass. Doors will be located under the cover of a veranda.

**Color Palette:** This style should project a stronger and more vivid color concept. Various stone texture with contrasting stucco field and accent shutters should be incorporated. Stucco shall be smooth finish.

# TRADITIONAL Historical Reference



# TRADITIONAL Modern Application





### **TRADITIONAL:**

The Traditional style is a mixture of several themes including Cape Cod, Colonial and East Coast Eclectic. The use of brick veneer and or wood siding with heavier trim above doors and windows are typical. Wood shutters are required and a white picket fence may round out the details. There are one and two story elements with simple gable forms. Simple porches or balconies are attired with wood details. Entries are simple with featured elements. Dormers may occur with gabled or hipped roofs.



### **DESIGN GUIDELINES:**

**Roof Pitch:** 5:12 to 8:12 standard.

**Roof Material and Color:**

Flat concrete tile shall range in color from light to dark brown and grey.

**Overhangs:** 16" to 24" standard.

**Siding:** Siding shall be used as an accent along with brick veneer.

**Chimneys:** Detailed with brick veneer base and siding above.

**Porches:** They shall vary in size, and shall be located either just around the entry or full width of the front elevation. Wrap around porches at corner conditions are encouraged.

**Entry:** The entry will be covered by the front porch and articulated with sidelights.

**Window Treatments:**

A variety of shutters must be used with stucco trim on all windows in Public View. Windows are required to have divided light with a minimum of four quadrants per window.

**Doors:** Entry doors shall be of a style consistent with the architectural style of the house. Entry doors shall have a heavy wood grain texture with stucco or wood trim surrounds. Wood doors would be a good option, however simulated wood grain doors shall be acceptable. Where appropriate for the architectural style, entry doors shall be enhanced with decorative glass. Doors will be located under the cover of a veranda.

**Color Palette:** Stucco shall be sand finish and the siding shall match. The color range shall be from white, light beige and brown or grey with contrasting color on trim, fascia, posts at the porch and supporting exposed beams.

## 1. ARCHITECTURAL DETAILING – RESIDENTIAL

### A. BUILDING MASSING

The exterior mass and form of residential buildings can be modified to improve the streetscene by controlling the impact of residential units as they relate to building setbacks, street corners and adjacent structures. The use of varying heights and variety of buildings along the street is encouraged to improve the look of a streetscene so that there is not a monotonous repetition of similar buildings.

Every opportunity should be considered to improve the visual relationship between adjacent buildings . A single-story architectural element within the two-story building can be used to lessen its height, or a combination one and two-story building can be plotted. Units located at street corners should have the single-story portion of their mass plotted towards the exterior side yard.

The offsetting of second story elements away from the property line is encouraged, to reduce the canyon-like effect between side lot lines of two story homes.

Offsetting the second-story mass can improve the appearance of the front yard streetscene. To achieve this desired effect, the second-story should be set back in relation to the garage face below it.

### B. ROOF PLANES AND PITCHES

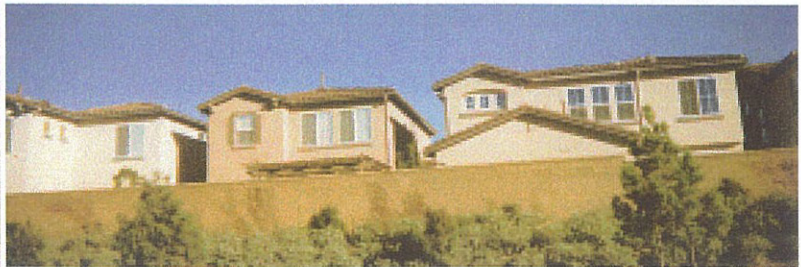
Maximize roof planes that respond to predominant site topography . Provide a variety of roof forms with variations in height and design. Hip roofs are appropriate, and in conditions particular to specific building styles (French Country) steeper roof pitches are required.



To provide for a reduced scale along the street, single-story plate lines along front and side yard setbacks are encouraged.



In order to lessen the effect of the building mass on the rear yards, varying the plate line can be used on a portion of the rear of the building. Such articulation is not needed where rear yard slopes create vertical separation or where rear yard setbacks exceed the required minimums.



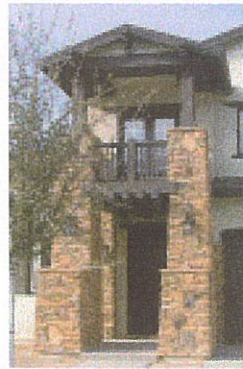
Minimize gable roof conditions along side elevations to allow light into the side yards and to minimize the impact of combined two-story components.

To add interest and variety to the roof line, jogs and variations in height and roof pitches are required.

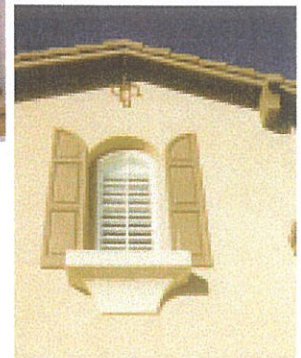
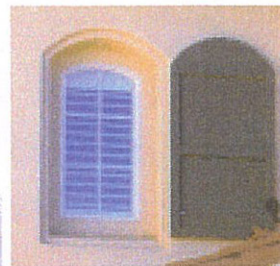


### C. WINDOWS AND DOORS

Recessed door, window and wall openings are encouraged at all front elevations, and other side or rear elevations, in the public's view.



Divided light windows are encouraged to give interest.



Avoid using gold or metallic colored window or door frames.

IV. Design Guidelines

**D. ELEVATIONS**

Where like floor plans are adjacent to (or directly across from) one another, vary the front elevations to provide visual interest and to avoid repetition along the street. This should also be done on rear elevations where visible from the street.

An eclectic mix of architecture is the design intent allowing both diversity and aesthetic appeal throughout the community. The varied architectural styles proposed shall be implemented to create this aesthetic diversity.

Discourage the repetition of architectural elements on adjacent buildings. All building floor plans are required to have at least three varied but compatible architectural styles.

Articulate various architectural elements such as chimneys, balconies or porches to provide visual relief. In addition, door and windows can be recessed. The garage door should be recessed a minimum of 12 inches.

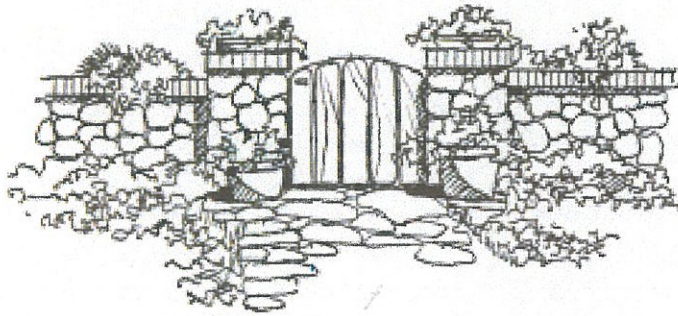
Shutters and potshelves may be used to add visual interest and detailing to the elevations.



When using skylights, they should be incorporated into the roof design and not just arbitrarily located. Color of the frames shall complement the color of the roof. In addition, support solar equipment or TV satellite dishes must be enclosed and/or located out of view from adjacent residences or roadways.

#### E. WALLS AND FENCES

Any front yard walls or property line returns that are visible from the street shall be masonry, stucco, or stone, having color and treatment consistent with that of the dwelling and shall be architecturally integrated with the rest of the neighborhood and community.



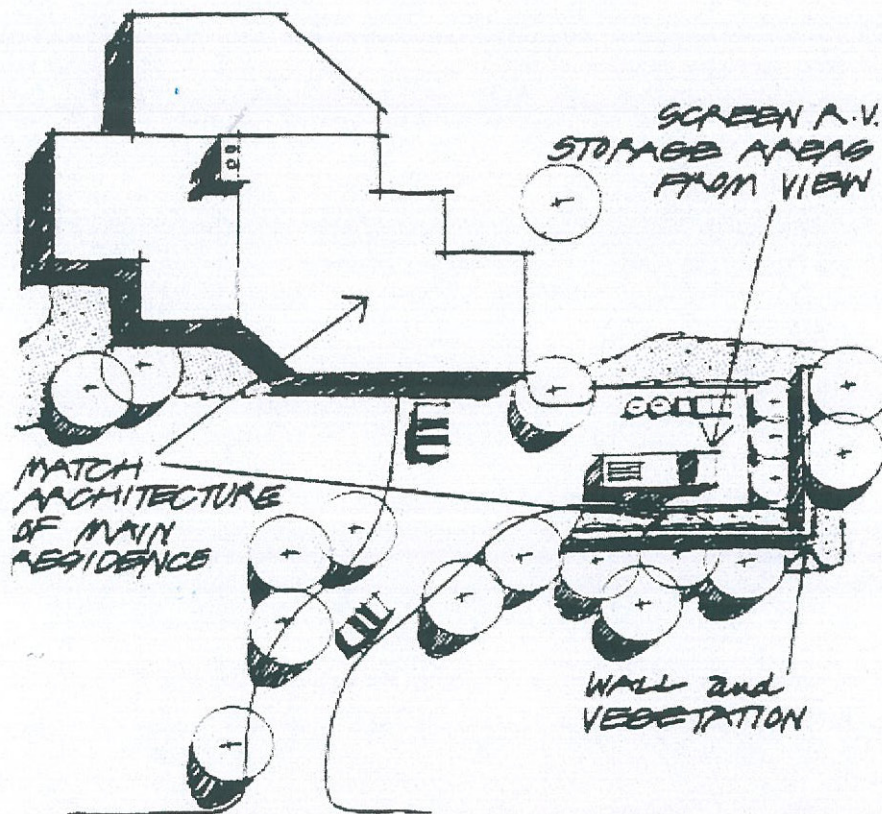
**F. MATERIALS AND COLOR**

Exterior building materials shall be of indigenous looking materials which are consistent with and reflect the natural character of the surrounding hillside environment. This includes wood, brick, masonry, concrete, stucco or plaster and stone.

Color is intended as a primary thematic element of the community. Consequently, the building material colors need to be compatible with the indigenous elements of the environment. Accents are encouraged which are darker or lighter to highlight the character of the structure; bright or non-earthtone colors should be avoided except as accents. Monochromatic color schemes are not allowed and buildings are encouraged to have at least three colors for the body, wainscoting, trim and fascia. Colors chosen should apply to the themes they represent.

**G. ACCESSORY STRUCTURES**

The design of accessory structures (cabanas, storage sheds, etc.) shall be compatible with the main structure through the use of architecture, fence connections and/or landscaping. Recreational vehicles and trucks shall be stored in an enclosed area and out of view of any adjacent lot or road.



## 2. STREETSCENE CRITERIA – RESIDENTIAL

### A. GARAGES

A garage can tend to dominate the elevation of a small lot home if not dealt with adequately. This situation creates a repetitious streetscene that is dominated by garage doors which is undesirable from a visual perspective.

There are, however, solutions which can help to minimize or eliminate the problems. These solutions include:

- A variety of garage conditions with less prominent visibility solve this issue, such as recessed or backyard garages, tandem garages, side-entry and split garages. Standard three car garages are discouraged and would be considered if at least one garage is partially setback.
- Corner lots are encouraged to allow garage entries from intersecting streets, with wrap around architecture.
- Installation of single car garages can add variety and break up the front elevation. The garages can be recessed from the front plane to give a strong shadow line to help decrease the impact of the doors.
- Proper color selection can minimize the impact of the garages. A contrasting color, coordinated with the roof and trim gives an attractive appearance. Windows in the garage doors also add variety.
- Enhanced door design can give variety and interest to a garage. These doors could have texture and color added. Architectural elements of the home, such as arches or other features, can be duplicated on garages to give unity to the front elevation.
- By using decks and balconies, the visual interest can be drawn to these features to break up the facade and de-emphasize the garage.
- Minimize the garage to emphasize other features such as the main entry and a feature window above one of the garages.
- By stepping the garage doors, garages become part of the series of interlocking masses. This helps to break up and give variety to the elevation. The rooflines can vary, and color and texture can be used in combination on the garages to create interest.
- Roll-up garage doors are required and shall be painted to match the architectural style and proposed color scheme.

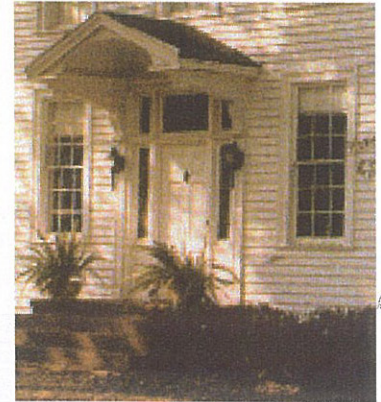




## B. ENTRY ARTICULATION AND DEFINITION

Entryways serve as important architectural elements of a building. Sometimes their location, if not properly articulated, can be disorienting and confusing from a practical standpoint. When viewed from the streetscene, it is important that this entryway be articulated and defined so that there is no doubt to its location. Solutions to accentuate the main entry include the following:

- In a situation where the main door is recessed away from the front of the unit, a courtyard entry is one way to draw attention to the entryway. Entering a courtyard gives a sense of direction and guides the user to the main entry door. Courtyards can be landscaped and enhanced to emphasize an attractive entryway.
- A gateway in a wall or fence gives a sense of entry which will lead to the main entrance if it is not readily visible. The use of overhead structures contribute to the overall impact of a successful entry.
- An overhead entry structure, such as a roof, helps to emphasize the entry. Another example of an entry structure might be an overhead trellis which could be enhanced with vines and landscaping.
- A door which coordinates with the trim color of the house, and has large windows on one side and above the door can be used to vary the entry.
- A door can also be set on an angle under a small overhang. Contrasting color which draws attention to it can be used.
- One of the most traditional ways of articulating the entrance to a home is through the use of a front porch. The covered entry serves as a semiprivate transition from the street (public space) to the home (private space). Builders are required to provide at least 40% of all homes constructed to have front porches. The depth of the porches shall be a least 6 feet. Porch columns shall be proportionate in scale and material to the architectural style exhibited, with similar related railing and detailing. Wrap around porches are encouraged on corner lot conditions.

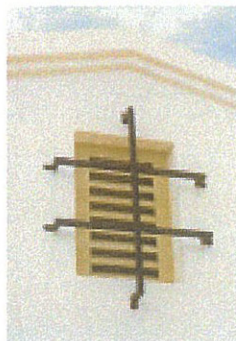
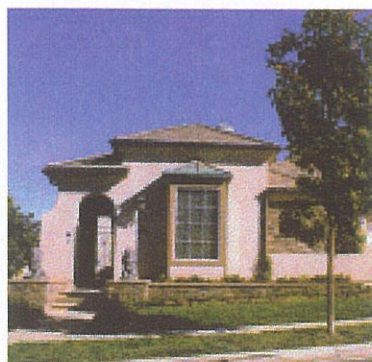


### C. FRONT ELEVATION ARTICULATION

Proper front elevations can be beneficial in creating interest in a uniform, coordinated manner. Improper front elevation articulation includes those that are straight-sided, have minimal entry areas and depict monotonous facade, thus creating a look of a solid mass of building. The following examples can be incorporated into front elevations as potential solutions to this lack of articulation. It is not necessary for all of the listed solutions to be used in order to create an attractive streetscene. Builder programs are encouraged to have one story plans to break down the massing and scale and provide enhanced streetscene elevations.

- Recessed decks or projecting balconies can give depth, interest and variety to the home, as well as providing additional outdoor living area. The deck can be built into the roofline below, which gives a strong shadow line on the facade.
- Interest and variety can be created by adding a feature window and entryway to the front elevation. The architectural forms on these two elements imitate each other and serve as a unifying feature.

- Enhanced elevation detailing can articulate the building elevation. Adding variety and detail to the facade creates visual interest. Woodworking or a trellis are examples.
- Enhanced stucco treatment will add texture to an elevation. Architectural projections over certain windows and a circular window add for variety and interest.
- Articulation of the garage doors helps to break up the facade. Doors can be set back into the facade, into arched openings. There can be detailing above the doorways on the roof or an articulated porch. All of these elements together serve to provide interest in this elevation.
- A projecting feature window can add interest to a facade. The second story projection de-emphasizes the garage doors below and draws attention to itself.



#### D. STREETSCENE VARIETY

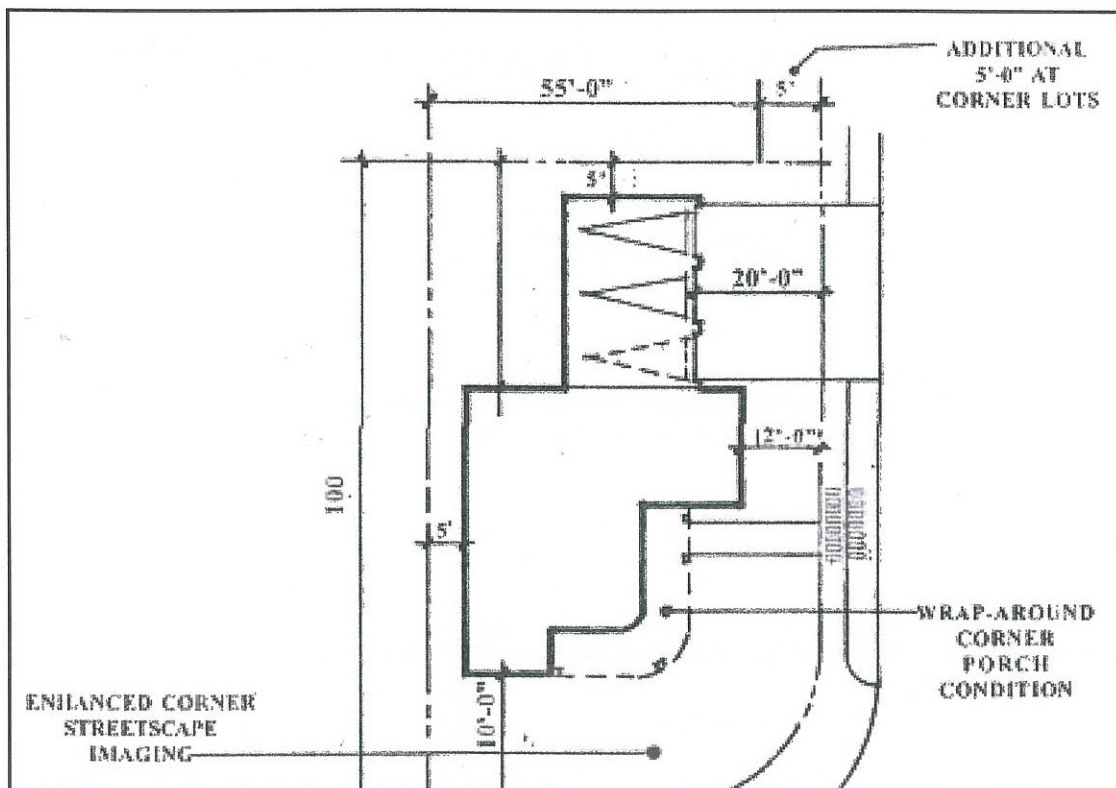
Vary the front setbacks or architecture with respect to the orientation of both the garage and living space of adjacent buildings to provide visual interest along the streetscene.



If the mix of dwellings allows, one-story elements should be paired together on interior lot situations and located on corners to take advantage of their low mass effect.

#### E. CORNER LOT CONFIGURATION

Buildings on corner lots are encouraged to have the garage located adjacent to side streets. Buildings on corner lots should have an increased side yard setback of at least five feet.



### 3. SIDE AND REAR ELEVATIONS – RESIDENTIAL

#### A. SIDE ELEVATIONS

For interior and side yards, it is desirable to create the appearance of increased building separation whenever possible. Problems occur when setbacks are not varied or when second story elements are not offset. These conditions allow little light to penetrate between buildings and create the effect of a “canyon” within the side yards. In many cases, side yard slopes result in both vertical and horizontal separation that is sufficient to mitigate this concern. Where side yard slopes do not exist, one or more of the following solutions may be appropriate:

- Side elevations can be varied by stepping back the second-story at the side yard. This allows more light to penetrate and gives architectural interest and variety to the yards. This can also be achieved by offsetting the garage in relationship to the balance of the unit.
- By providing single-story elements in the side yard, such as a breezeway, porch, or single-story room off to the side of the structure that is only one-story in height, you create relief of the second-story massing.
- • Reducing the roof height over an interior volume will increase variety and light penetration to the side yards. On the interior, this could be a cathedral ceiling, which would enhance the interior as well.

#### B. REAR ELEVATIONS

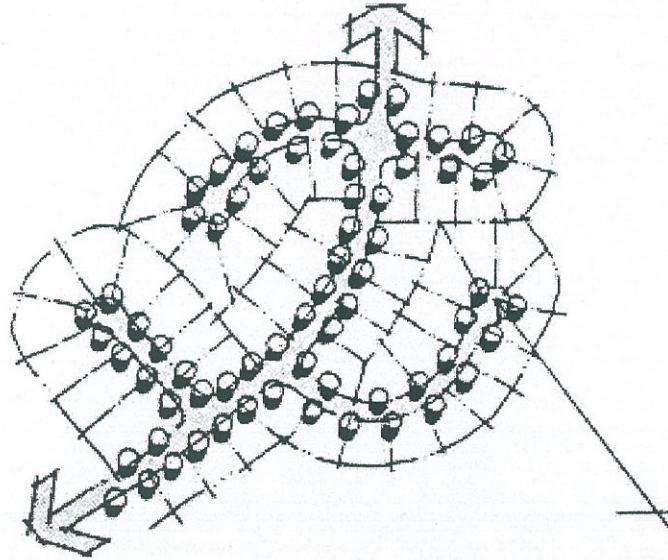
All elevations within the public view are required to have several enhancements to avoid the repetitious effect and avoid a monotonous visual appearance. Outlined below are a few solutions to this problem:

- The overall look of an extensive row of residences can be modified by enhancing elevation window trim and placement. Giving variety to the windows on the facades gives variety to the overall streetscape.
- It is required to vary roof conditions from one building plan to the next through use of varied roof pitches and forms, different architecture styles, and varied lot setbacks.
- By articulating the rear elevation plan form, variety is given to the overall appearance. Architectural projections, balconies and trellises, and varied elevations contribute to the articulation of the form.
- Two-story homes that back to major roads such as Campbell Ranch, Mayhew Canyon Road and Sycamore Creek Road shall have visible elements such as window trims, varied stucco applications, shutters and enhanced details.

#### 4. SITE PLANNING CRITERIA – RESIDENTIAL

##### A. STREET LAYOUT

The street layout for the project shall avoid long, straight streets wherever possible. The use of curvilinear streets on long stretches and the formation of cul-de-sacs, especially when located adjacent to the greenbelt areas, will be encouraged.



##### B. PRODUCT PLOTTING CRITERIA

In order to properly implement the grading concept for Sycamore Creek and to insure that each future homesite meets minimum liveability criteria, the following product plotting criteria are being established. These plotting criteria complement the zoning standards that are established for Sycamore Creek and apply to all single family detached areas. All standards pertain to “pad” area as distinguished from “lot” area. The “pad” is the usable portion of the lot exclusive of slope areas.

Please be aware that not every product will conform to each configuration. The intent of this section is to show the range of products and configurations which could be built. This selection of designs does not preclude the development of additional products or plotting configurations, provided that they conform to the adopted zoning ordinance criteria.

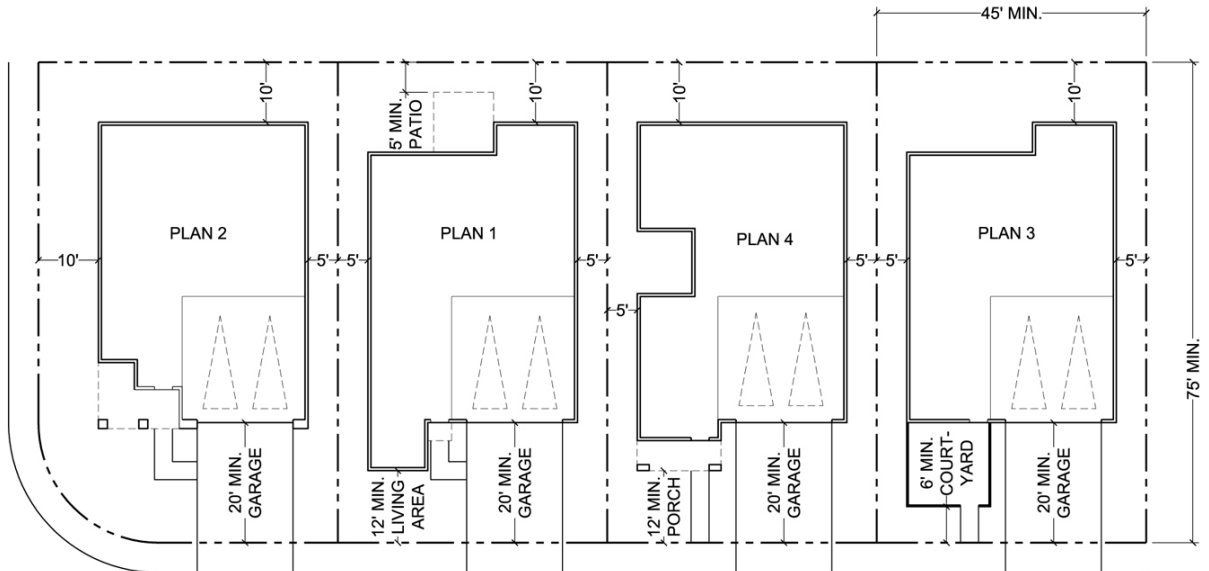
It is assumed that product plotted on lots 7,200 square feet or greater will be conventionally sited according to existing Riverside County criteria and pursuant to the Sycamore Creek Specific Plan Zoning Standards.

All design guideline issues are applicable to these larger lotting programs and builders are required to submit plans and four sided elevations for design review and assurance of compliance with all design issues.

**1) 3,600 SQUARE FOOT PAD – (45' x 75')**

Single-family detached homes on minimum 3,600 square-foot lots are allowed within Planning Area 7. Homes within this planning area shall be developed in accordance with the specific minimum standards and criteria provided below for setbacks, lot sizes, lot coverage, and encroachments.

**Plotting Template – Typical 45' x 75' Lot**



**Development Standards**

- a) The minimum lot size shall be 3,600 square feet. The minimum lot width shall be forty five (45) feet and the minimum lot depth shall be seventy five (75) feet.
- b) The maximum lot coverage of buildings with patios shall be fifty-five percent (55%) and shall be fifty percent (50%) without patio.
- c) Minimum front setbacks shall be as follows:
  - Living Area: 12' minimum
  - Garage: 18' minimum, 12' for side-in garage
  - Porch (above grade): 12' minimum
  - Courtyard (at grade): 6' minimum
- d) Minimum side setbacks shall be as follows:
  - Interior: 5' minimum\*
  - Street Side: 10' minimum

\*Chimneys and fireplaces may encroach a maximum of two (2) feet into side yards
- e) The minimum rear setback shall be ten (10) feet. Patios or shade structures may encroach a maximum of five (5) feet into the rear yard setback.
- f) At-grade courtyards in the front yard may include a wall with a maximum height of 42 inches to define the space.
- g) Homes with a one-story profile shall be provided on a minimum of ten percent (10%) of all lots within Planning Area 7.

1) **4,000 SQUARE FOOT PAD – (40'x90') OR (50'x70')**

The 4,000 square foot pads will occur within Planning Areas 1, 5A, 5B and 12 of the Sycamore Creek Land Use Plan. If the wide and shallow format is chosen for these Planning Areas, the pad area, as illustrated below, is the usable area of a lot exclusive of side and rear yard slopes. The illustrated plan view was taken from Planning Area 12.

The following are design criteria for wide and shallow 4,000 square foot pads. This information is illustrated on the setback diagram and is depicted within the zoning ordinance of Sycamore Creek for these Planning Areas.

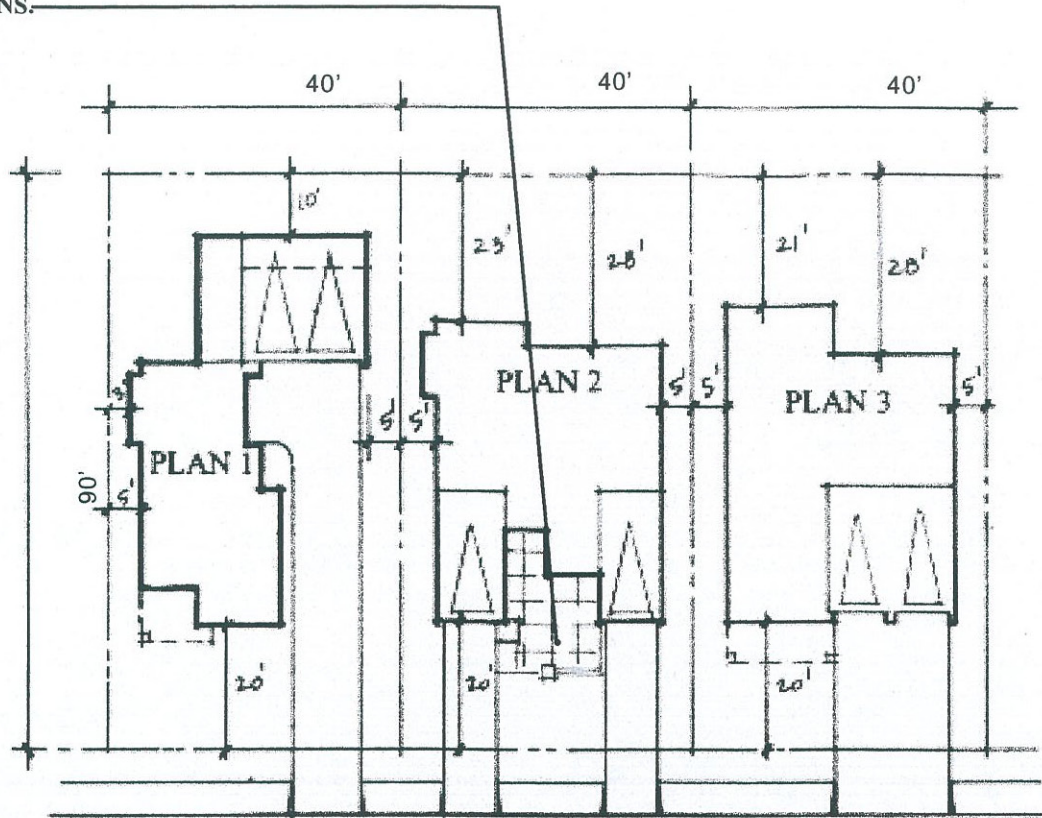
- a) The minimum pad (building site) area shall be 4,000 square feet. (PA 5 - 3,000 sq ft)
- b) Minimum garage setback from back of sidewalk is 20 feet. All garages are required to have roll-up doors. Setbacks to habitable space or porches is 12 feet allowing architecture to project forward from the garage setback
- c) The maximum lot coverage of buildings without patio covers shall be fifty percent (50%) and shall be sixty percent (60%) with patio covers.
- d) Chimneys and fireplaces may encroach into side yards a maximum of 2 feet if it can be demonstrated that site drainage works.
- e) Patio covers/shade structures may encroach 5 feet into the rear yard setback.



# 40' x 90' Lot Program



**PRE-ENTRY COURTYARD  
WITH SPLIT GARAGE  
CONDITIONS.**



## 40' x 90' Lot Program

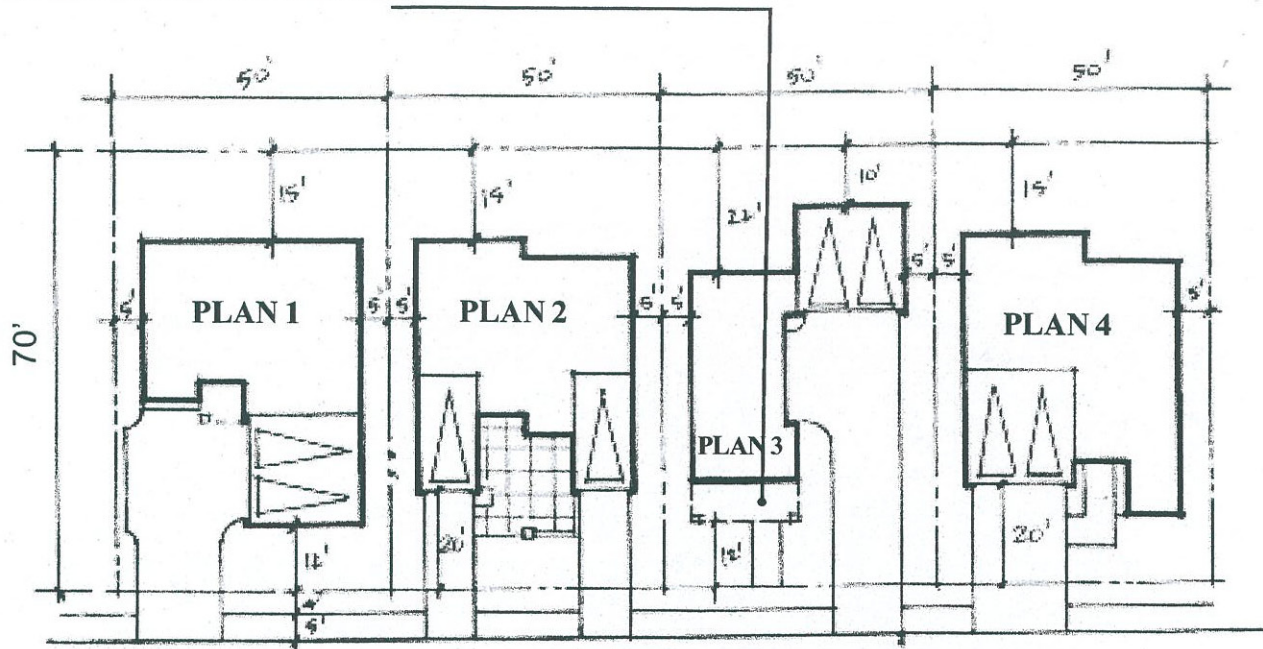
### Design Objectives:

1. Create unusual and articulated exterior elevations and private space. The varied building massing allows for enhanced architecture and improved streetscenes.
2. Down-play the visual impact of garages on the streetscenes. Varied garage conditions are required.
3. Each floor plan is required to have at least three distinctive architectural elevations, thus allowing a variety of architectural details, forms and character to develop.
4. Allow building architecture to project forward along the street to pronounce the effect of the distinctive architectural styles.
5. All homes are provided with minimum two car garages and two driveway spaces, and a diversity of living square footages adaptable to a variety of market buyers.

# 50' x 70' Lot Program



**WIDER LOTS ALLOW STRONGER  
STREETSCENES WITH MORE  
VISIBLE ARCHITECTURAL FEATURES**



## 50' x 70' Lot Program

### Design Objectives:

1. Create unusual and articulated exterior elevations and private space. The varied building massing allows for enhanced architecture and improved streetscenes.
2. Down-play the visual impact of garages on the streetscenes. Varied garage conditions are required.
3. Each floor plan is required to have at least three distinctive architectural elevations, thus allowing a variety of architectural details, forms and character to develop.
4. Allow building architecture to project forward along the street to pronounce the effect of the distinctive architectural styles. The virtue of wide shallow lot plotting is that it allows more building architecture to front the street, thus allowing for a more enhanced streetscene to occur.
5. All homes are provided with minimum two car garages and two driveway spaces, and a variety of living square footages adaptable to a variety of market buyers.

## 2) 5,000 SQUARE FOOT PAD

The 5,000 square foot pads will occur within Planning Areas 2, 3, 4, 6, 8, 15A and 15B of the Sycamore Creek Land Use Plan. The pad area, as illustrated below, is the usable area of a lot exclusive of side and rear yard slopes. The illustrated plan view was taken from Planning Area 4.

The following are design criteria for 5,000 square foot pads. This information is illustrated on the setback diagram and is depicted within the zoning ordinance of Sycamore Creek for these Planning Areas.

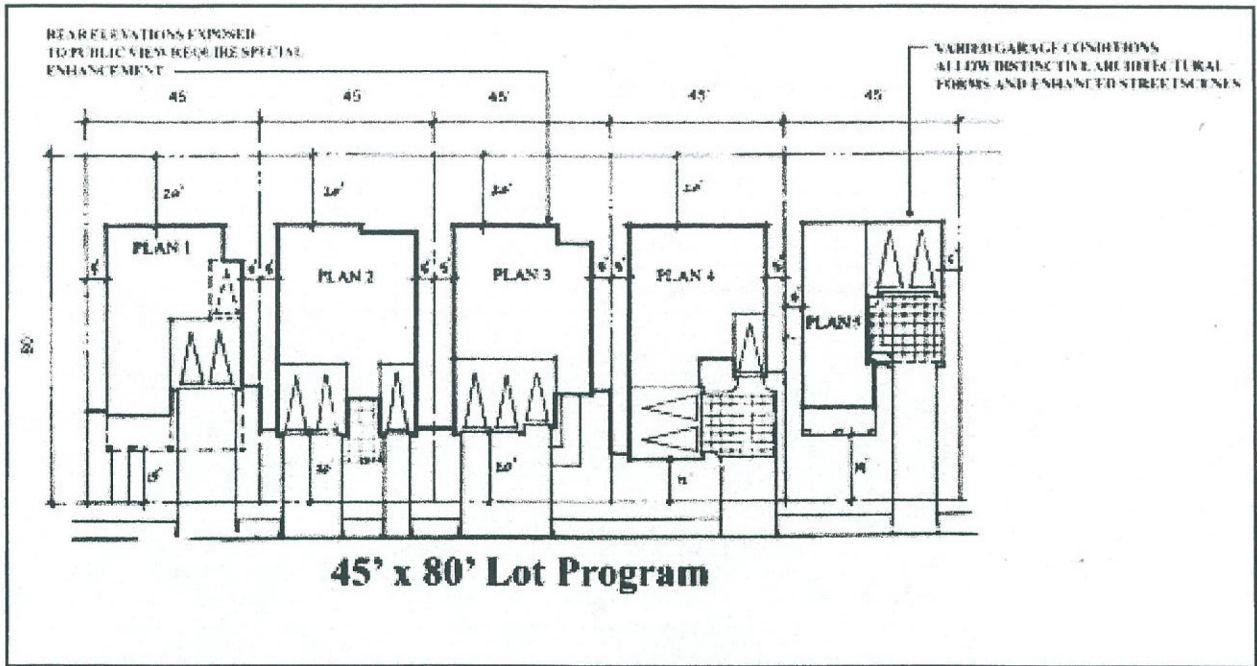
- a) The minimum pad (building site) area shall be 5,000 square feet.
- b) Minimum garage setback for side-on garage shall be 12 feet and minimum setback for front-in garages shall be 20 feet. All garages shall have roll-up doors. Setbacks to habitable space or porches is 12 feet allowing architecture to project forward from the garage setback.
- c) The maximum lot coverage of buildings with patio covers shall be fifty-five percent (55%). The maximum lot coverage of buildings without patio covers shall be fifty percent (50%).
- d) Chimneys and fireplaces may encroach into side yards a maximum of 2 feet if it can be demonstrated that site drainage works.
- e) Patio covers/shade structures may encroach 5 feet into the rear yard setback.

# 45' x 80' Lot Program



# 45' x 80' Lot Program





### Design Objectives:

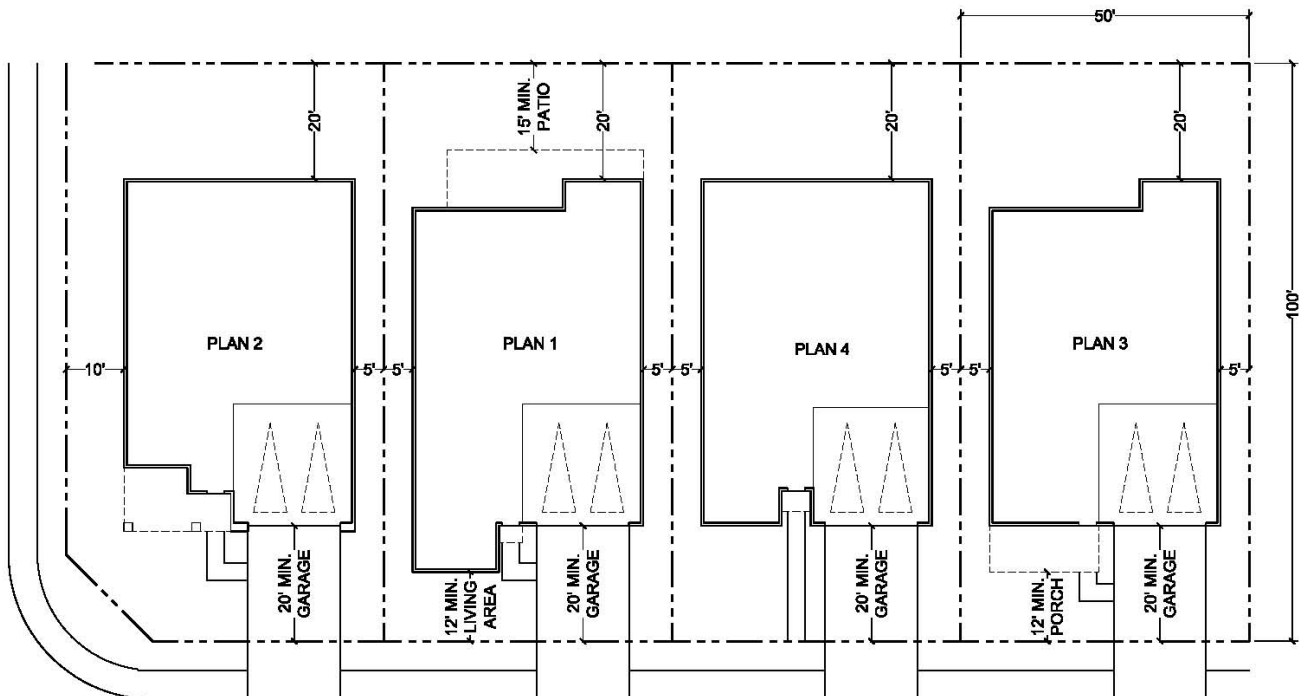
1. Create unusual and articulated exterior elevations and private space. The varied building massing allows for enhanced architecture and improved streetscenes.
2. Down-play the visual impact of garages on the streetscenes. Varied garage conditions are required.
3. Each floor plan is required to have at least three distinctive architectural elevations, thus allowing a variety of architectural details, forms and character to develop.
4. Allow building architecture to project forward along the street to pronounce the effect of the distinctive architectural styles.
5. All homes are provided with minimum two car garages and two driveway spaces, and a variety of living square footages adaptable to a variety of market buyers.
6. Building square footages are maximized to allow for expanding family and living conditions.



## 2A) 5,000 SQUARE FOOT PAD – (50' x 100')

Single-family detached homes on minimum 5,000 square-foot lots are allowed within Planning Areas 17A and 17B. Homes within these planning areas shall be developed in accordance with the specific minimum standards and criteria provided below for setbacks, lot sizes, lot coverage, and encroachments.

### Plotting Template – Typical 50' x 100' Lot



### Development Standards

- a) The minimum lot size shall be 5,000 square feet. The minimum lot width shall be fifty (50) feet and the minimum lot depth shall be one hundred (100) feet.
- b) The maximum lot coverage of buildings with patios shall be fifty-five percent (55%) and shall be fifty percent (50%) without patios.
- c) Minimum front setbacks shall be as follows:
  - Living Area: 12' minimum
  - Garage: 20' minimum, 12' for side-in garage
  - Porch: 12' minimum
- d) Minimum side setbacks shall be as follows:
  - Interior: 5' minimum\*
  - Street Side: 10' minimum

\*Chimneys and fireplaces may encroach a maximum of two (2) feet into side yards
- e) The minimum rear setback shall be twenty (20) feet. Patios or shade structures may encroach a maximum of five (5) feet into the rear yard setback.

### 3) 6000 SQUARE FOOT PAD

The 6000 square foot pads will occur within Planning Areas 10 and 14 of the Sycamore Creek Land Use Plan. The pad area, as illustrated below, is the usable area of a lot exclusive of side and rear yard slopes.

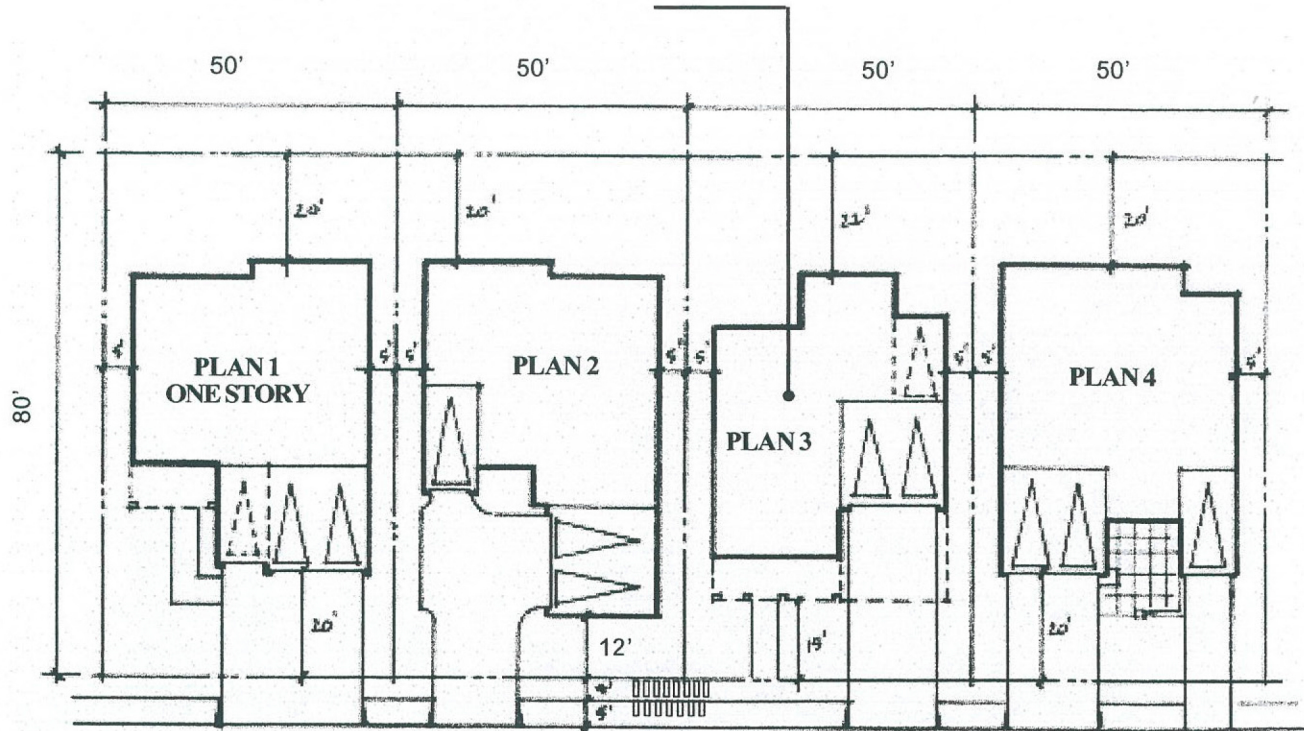
The following are design criteria for 6000 square foot pads. This information is illustrated on the setback diagram and is depicted within the zoning ordinance of Sycamore Creek for these Planning Areas.

- a) The minimum pad (building site) area shall be 6000 square feet. Lot sizes are a minimum of 7200 square feet.
- b) Minimum garage setback for side-on garage shall be 12 feet and minimum setback for front-in garages shall be 20 feet. All garages shall have roll-up doors. Setbacks to habitable space or porches is 12 feet allowing architecture to project forward from the garage setback.
- c) The maximum lot coverage of buildings with patio covers shall be fifty percent (50%). The maximum lot coverage of buildings without patio covers shall be forty-five percent (45%).
- d) Chimneys and fireplaces may encroach into side yards a maximum of 2 feet if it can be demonstrated that site drainage works.
- e) Patio covers/shade structures may encroach 5 feet into the rear yard setback.

# 50' x 80' Lot Program



VARIED GARAGE CONDITIONS ALLOW  
DISTINCTIVE ARCHITECTURAL  
FORMS AND ENHANCED STREETSCENES



## 50' x 80' Lot Program

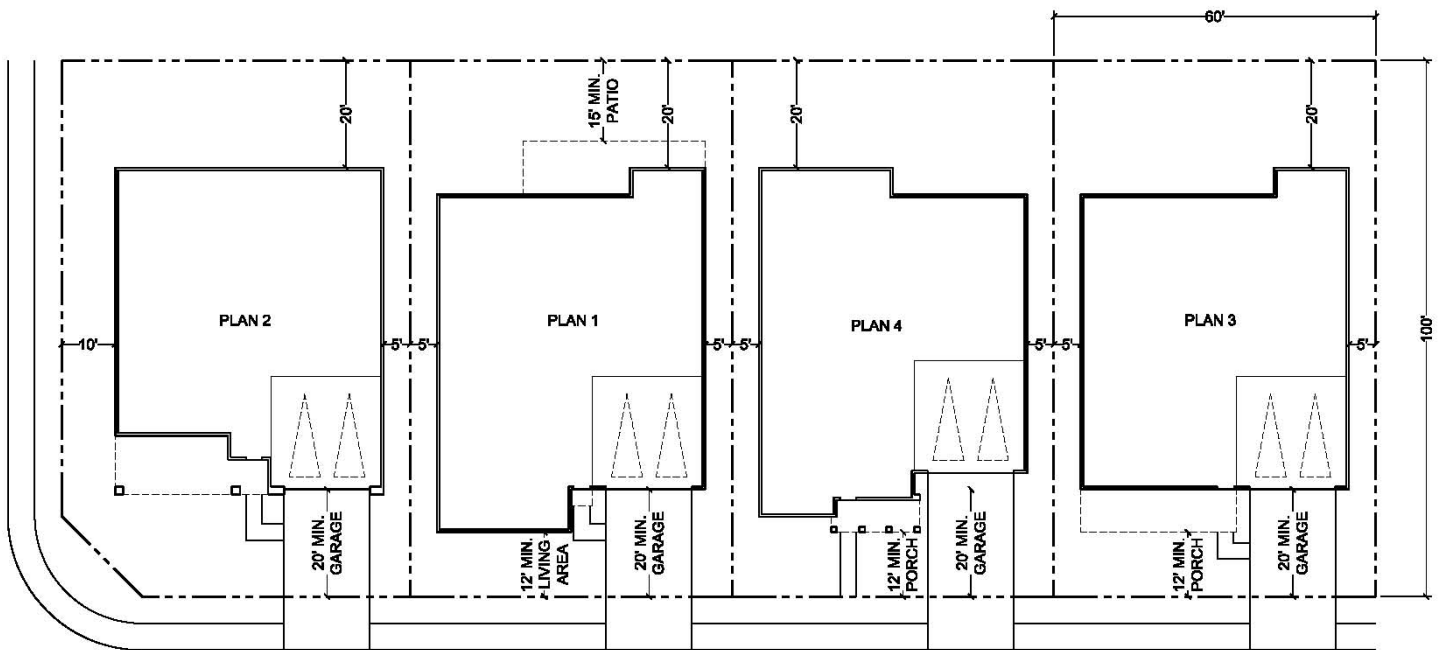
### Design Objectives:

1. Create unusual and articulated exterior elevations and private space. The varied building massing allows for enhanced architecture and improved streetscenes.
2. Down-play the visual impact of garages on the streetscenes. Varied garage conditions required.
3. Each floor plan is required to have at least three distinctive architectural elevations, thus allowing a variety of architectural details, forms and character to develop.
4. Allow building architecture to project forward along the street to pronounce the effect of the distinctive architectural styles.
5. All homes are provided with minimum three car garages and two driveway spaces, and a variety of living square footages adaptable to a variety of market buyers.

### 3A) 6,000 SQUARE FOOT PAD – (60' X 100')

Single-family detached homes on minimum 6,000 square-foot lots are allowed within Planning Areas 17C and 17D. Homes within these planning areas shall be developed in accordance with the specific minimum standards and criteria provided below for setbacks, lot sizes, lot coverage, and encroachments.

#### Plotting Template – Typical 60' x 100' Lot



#### Development Standards

- a) The minimum lot size shall be 6,000 square feet. The minimum lot width shall be sixty (60) feet and the minimum lot depth shall be one hundred (100) feet.
  - b) The maximum lot coverage of buildings with patios covers shall be fifty percent (50%) and shall be forty-five percent (45%) without patios.
  - c) Minimum front setbacks shall be as follows:
    - Living Area: 12' minimum
    - Garage: 20' minimum, 12' for side-in garage
    - Porch: 12' minimum
  - d) Minimum side setbacks shall be as follows:
    - Interior: 5' minimum\*
    - Street Side: 10' minimum
- \*Chimneys and fireplaces may encroach a maximum of two (2) feet into side yards
- e) The minimum rear setback shall be twenty (20) feet. Patios or shade structures may encroach a maximum of five (5) feet into the rear yard setback.

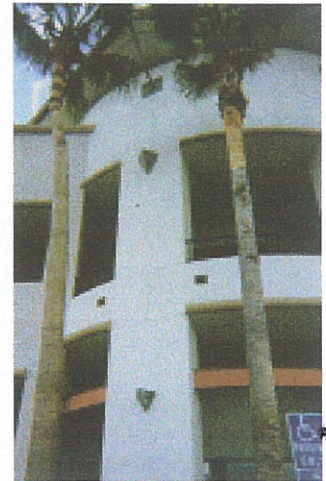
## 5. ARCHITECTURAL DETAILING – COMMERCIAL

### A. BUILDING ELEVATIONS

Avoid creating elevations that do not vary in plan. It is recommended that the exterior walls have a varied setback creating an interesting building elevation or facade.



Utilize significant architectural elements such as arcades, balconies or stairways to articulate the building facade, thus providing visual interest in addition to creating pedestrian spaces. Clock towers or certain vertical elements can also be used as a focal point. (Illustrations next page)



**B. MECHANICAL EQUIPMENT**

Mechanical equipment on roofs shall be screened from view of highway, roadways and residential homes with materials consistent with those of the building.

**C. ROOF PLANES AND TREATMENTS**

Create interesting building masses by varying rooflines and by maximizing offsets of roof planes where possible. Combining single-story elements with two-story elements is encouraged.



Flat roofs with parapet walls are acceptable but should also be used in combination with simple pitched gable, hip or shed roof forms.

**D. SIGNAGE**

Tenant signage shall be consistently integrated with the building facade and be of uniform shape and materials.



**E. LIGHTING**

All lighting and illuminated signs shall be located and designed in such a way to confine illumination to the premises.



**F. MATERIALS AND COLOR**

Exterior building materials shall be of natural character which reflect the rural character of the surrounding environment. Contemporary materials are acceptable if they are compatible with the surroundings and are used for creating interest.

Color is intended as a primary theme element of the community consistent with indigenous elements of the environment. Accents are encouraged which are lighter or darker to highlight the character of the structure. Bright and no-earth tone colors are not encouraged except as accents.



## 6. SITE PLANNING CRITERIA – COMMERCIAL

### A. STREETSCENE

Provide adequate separation between parking and storefronts to allow for comfortable pedestrian spaces. Vary this distance along the face of the building to provide visual interest.



Loading zones shall be site planned to avoid exposure to adjacent streets, highways and residential zones. Incorporating walls and fences can also be used to help screen areas.

Exterior storage areas and trash enclosures shall be planned in such a manner to minimize the exposure of such elements.

Parking areas shall be planned in such a manner to allow for landscaping or low, decorative walls or a combination thereof. See landscape design guidelines.

Where possible, separate service and delivery circulation from parking areas.

## 7. ARCHITECTURAL/SITE PLANNING CRITERIA – SCHOOL/EDUCATIONAL

The determination of the architectural design and site planning for school and educational buildings will be the responsibility of the school district which will serve the Sycamore Creek community. School design will be the responsibility of the school district and therefore no specific architectural design guidelines suggesting materials, finishes or color are offered in this Specific Plan. This plan offers several site planning guidelines which might reinforce the design theme of Sycamore Creek by blending together the school site with neighborhood parks and greenbelts. The guidelines are as follows:

- a. A school site plan should consider providing a campus setting which orients outdoor recreational open space adjacent to community greenbelts and neighborhood parks.
- b. The land use interfaces between schools and greenbelts or parks should provide implied rather than direct physical separation of those open spaces.
- c. Linkages between pedestrian circulation systems within school sites and neighborhood parks or greenbelts should be encouraged.
- d. Architectural character should blend with that of the community.