

5.4 Residential Development Standards

In order to ensure the architectural Design Guidelines are achieved, comprehensive development standards have been established for the Lake Nuevo Village Specific Plan for each lot size category. The development standards, in conjunction with the design guidelines and principle design criteria, contribute to make Lake Nuevo Village a community that will be developed consistently over time.

If a lesser number of dwelling units are built in a Planning Area than the maximum figure allowed by the Specific Plan for that PA, then the number of dwelling units constituting the difference in the maximum allowed and the lesser number constructed may be built in another Planning Area (with approval of a Finding of Substantial Conformance by the County) provided the total number of dwelling units in the Specific Plan does not exceed 315.

5.4.1 Medium- High Density – 4,500 Square Foot Lots

The following standards listed in Table 5-1 are for the Medium High Density Residential Zoning (5-8 dwelling units/acre) for minimum lot sizes of 4,500 square feet. Typical plotting plans are provided in Figure 5-1 to illustrate how the development standards would be implemented. The illustrative plans are not drawn to scale or intended to be actual scaled plot plans, but are provided to serve as an implementation tool.

All single family detached homes shall have a minimum of two (2) enclosed parking spaces in compliance with Section 2.0, Specific Plan Zoning Ordinance.

The following standards would be applied to Planning Area 3.

TABLE 5-1 Planning Area 3 Development Standards Medium High Density (5-8 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	4,500 sq. ft.
Net Minimum Usable Pad Area	4,000 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	40 ft.
Minimum Lot Frontage	40 ft. ¹
Minimum Corner Lot Width	45 ft.
Minimum Lot Depth	80 ft.
SETBACKS	
Front Yard Minimum	10 ft. ²
Side Yard Minimum (Interior Lots)	4 ft. ³
Street Side Yard Minimum	10 ft.
Rear Yard Minimum	15 ft. ^{4 5}
Garage, Front Yard (measured from garage door)*	20 ft.
Turn In Garage, Front Yard	10 ft.
Rear Entry Garage, Rear Yard	3 ft. ⁴
MAXIMUM LOT COVERAGE	60%⁶
MINIMUM USABLE OPEN SPACE	400 sq. ft.⁷
MAXIMUM STRUCTURE HEIGHT	40 ft.

¹ The minimum frontage for a knuckle or cul-de-sac lot shall be thirty-five (35') feet. Lot frontage along curvilinear streets may be measured at the front setback line.

² Porches, patios, covered entries, or second-story cantilevered elements shall have a minimum seven (7) foot front yard setback to help create a visually interesting streetscape.

³ A two (2') foot architectural encroachment is allowed into a five (5') side yard setback and one (1') into a four (4') side yard, provided a continuous three (3') foot minimum clearance is maintained on one side yard. The location of an air conditioning unit on an outside pad shall be subject to the same encroachment provisions of the Specific Plan zoning ordinance as those which apply to architectural features. In the two-pack condition, one side yard setback shall be a minimum of five (5') feet with no architectural encroachments to allow adequate access to rear yard.

⁴ Rear yard setbacks shall be a minimum of fifteen (15) feet to allow curvilinear residential streets. In the rear access condition, the minimum rear yard setback to the garage shall be three (3') feet. In the deep recessed condition, the minimum rear yard setback to the garage shall be five (5') feet. The rear yard setback for the main structure shall be fifteen (15') feet (ground floor) and ten (10') feet for second story elements over the garage in all conditions. The second story shall contain no

openings except for clerestory windows and shall not include balconies if a rear yard setback of less than fifteen (15') feet is utilized.

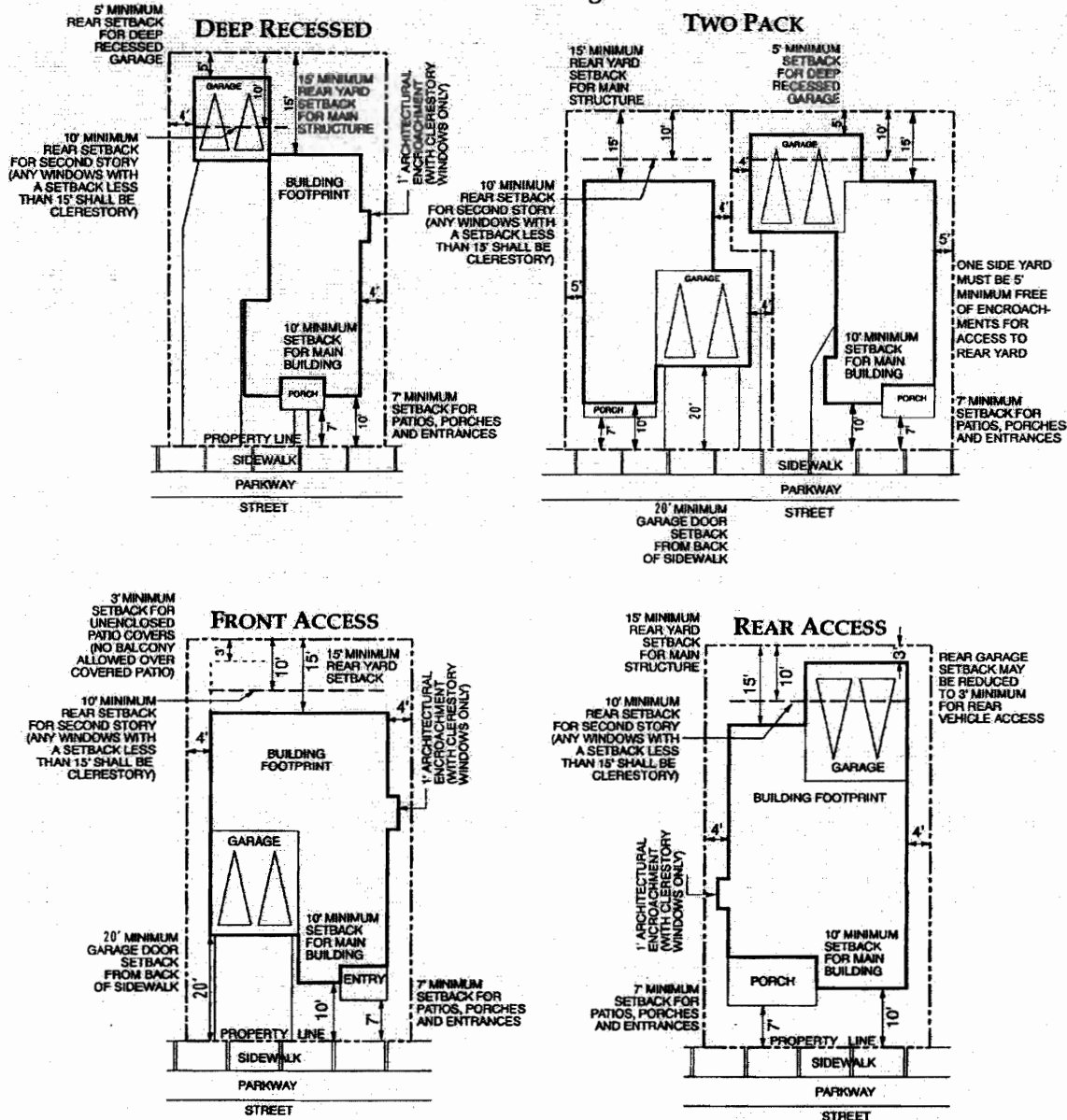
⁵ A two (2') foot architectural encroachment is allowed into the rear yard setback; for a rear yard which does not include a garage, a patio cover may encroach ten (10') feet. In addition, an air conditioning unit on an outside pad in the rear yard shall be allowed to encroach five (5') feet.

⁶ Lot coverage shall be increased by 10% to encourage single story homes.

⁷ The minimum total usable open space on each lot shall be 400 square feet. Of the 400 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 100 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

* Minimum driveway length shall be measured from the garage door and shall be 20 feet from back of sidewalk (see Figure 5.1, Typical Plotting Plan).

FIGURE 5-1
TYPICAL PLOTTING PLAN
MEDIUM HIGH DENSITY RESIDENTIAL ZONING
4,500 SF MINIMUM LOTS
(5-8 dwelling units/acre)



The minimum total usable open space on each lot shall be 400 square feet. Of the 400 sq. ft. a minimum of 300 sq. ft. shall be provided in the form of a private yard. 100 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

Note: Plotting Plan is for illustrative purposes only to show how setbacks would be implemented. It is not intended to be a rigid formula for site layout.

5.4.2 Medium- High Density – 4,000 Square Foot Lots

The following standards listed in Table 5-2 are for the Medium High Density Residential Zoning (5-8 dwelling units/acre) for minimum lot sizes of 4,000 square feet. Typical plotting plans are provided in Figure 5-2 to illustrate how the development standards would be implemented. The illustrative plans are not drawn to scale or intended to be actual scaled plot plans, but are provided to serve as an implementation tool.

All single family detached homes shall have a minimum of two (2) enclosed parking spaces in compliance with Section 2.0, Specific Plan Zoning Ordinance.

The following standards would be applied to Planning Areas 1, 2, and 4.

TABLE 5-2 Planning Areas 1, 2, and 4 Development Standards Medium High Density (5-8 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	4,000 sq. ft.
Net Minimum Usable Pad Area	3,500 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	35 ft.
Minimum Lot Frontage	35 ft. ¹
Minimum Corner Lot Width	40 ft.
Minimum Lot Depth	75 ft.
SETBACKS	
Front Yard Minimum	10 ft. ²
Side Yard Minimum (Interior Lots)	4 ft. ³
Street Side Yard Minimum	10 ft.
Rear Yard Minimum	15 ft. ^{4 5}
Garage, Front Yard (measured from garage door)*	20 ft.
Turn In Garage, Front Yard	10 ft.
Rear Entry Garage, Rear Yard	3 ft. ⁴
MAXIMUM LOT COVERAGE	60%⁶
MINIMUM USABLE OPEN SPACE	350 sq. ft.⁷
MAXIMUM STRUCTURE HEIGHT	40 ft.

¹ The minimum frontage for a knuckle or cul-de-sac lot shall be thirty (30') feet. Lot frontage along curvilinear streets may be measured at the front setback line.

² Porches, patios, covered entries, or second-story cantilevered elements shall have a minimum seven (7) foot front yard setback to help create a visually interesting streetscape.

³ A two (2') foot architectural encroachment is allowed into a (five) 5' side yard setback and (one) 1' into (four) 4' side yard, provided a continuous three (3') foot minimum clearance is maintained on one side yard. The location of an air conditioning unit on an outside pad shall be subject to the same encroachment provisions of the Specific Plan zoning ordinance as those which apply to architectural features. In the two-pack conditions, one side yard setback shall be a minimum of five (5') feet with no architectural encroachments to allow adequate access to rear yard.

⁴ Rear yard setbacks shall be a minimum of fifteen (15) feet to allow curvilinear residential streets. In the rear access condition, the minimum rear yard setback to the garage shall be three (3') feet. In the deep recessed condition, the minimum rear yard setback to the garage shall be five (5') feet. The rear yard setback for the main structure shall be fifteen (15') feet (ground floor) and ten (10') feet for second story elements over the garage in all conditions. The second story shall contain no openings except for clerestory windows and shall not include balconies if a rear yard setback of less than fifteen (15') feet is utilized.

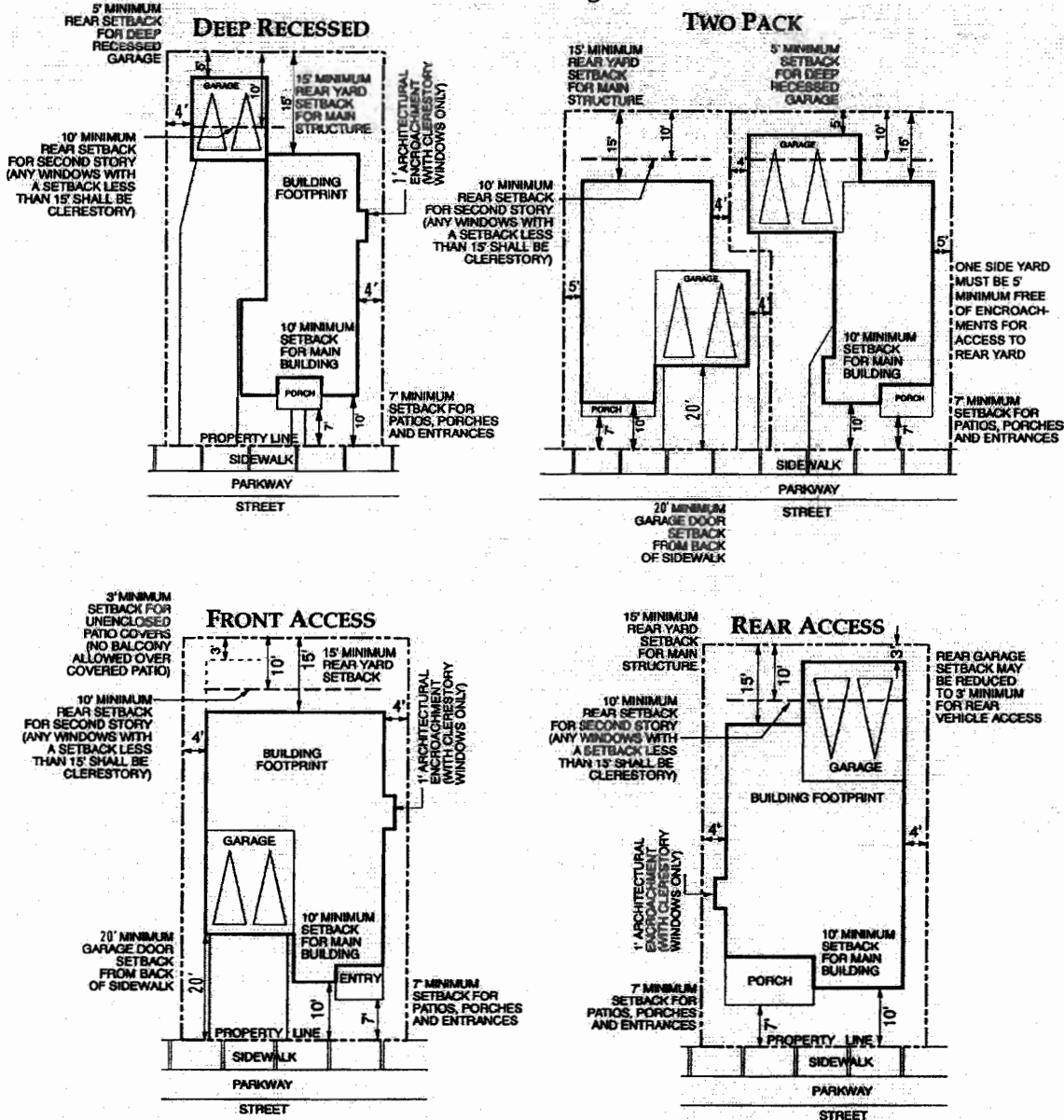
⁵ A two (2') foot architectural encroachment is allowed into the rear yard setback; for a rear yard which does not include a garage, a patio cover may encroach ten (10') feet. In addition, an air conditioning unit on an outside pad in the rear yard shall be allowed to encroach five (5') feet.

⁶ Lot coverage shall be increased by 10% to encourage single story homes.

⁷ The minimum total usable open space on each lot shall be 350 square feet. Of the 350 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 50 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

* Minimum driveway length shall be measured from the garage door and shall be 20 feet from back of sidewalk (see Figure 5.1, Typical Plotting Plan).

FIGURE 5-2
TYPICAL PLOTTING PLAN
MEDIUM HIGH DENSITY RESIDENTIAL ZONING
4,000 SF MINIMUM LOTS
(5-8 dwelling units/acre)



The minimum total usable open space on each lot shall be 350 square feet. Of the 350 sq. ft., a minimum of 300 sq. ft. shall be provided in the form of a private yard. 50 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

Note: Plotting Plan is for illustrative purposes only to show how setbacks would be implemented. It is not intended to be a rigid formula for site layout.