

4.3 Planning Area 3

4.3.1 LAND USE

SP 251, Amendment 1's residential Planning Area 3, as illustrated in Exhibit 4.3, is located south of Sunset Avenue in the northwest corner of the site. The 13.8-acre residential neighborhood is proposed with a maximum of 87 dwelling units within a density of five to eight dwelling units per acre and a minimum lot size of 4,500 square feet.

Primary access will originate from two entry points on Sunset Avenue. Secondary access to Planning Area 3 is anticipated to be through adjoining Planning Area 2. Planning Area 3 is bounded by Sunset Avenue to the north, Planning Area 2 to the east, and the project boundary to the south and west.

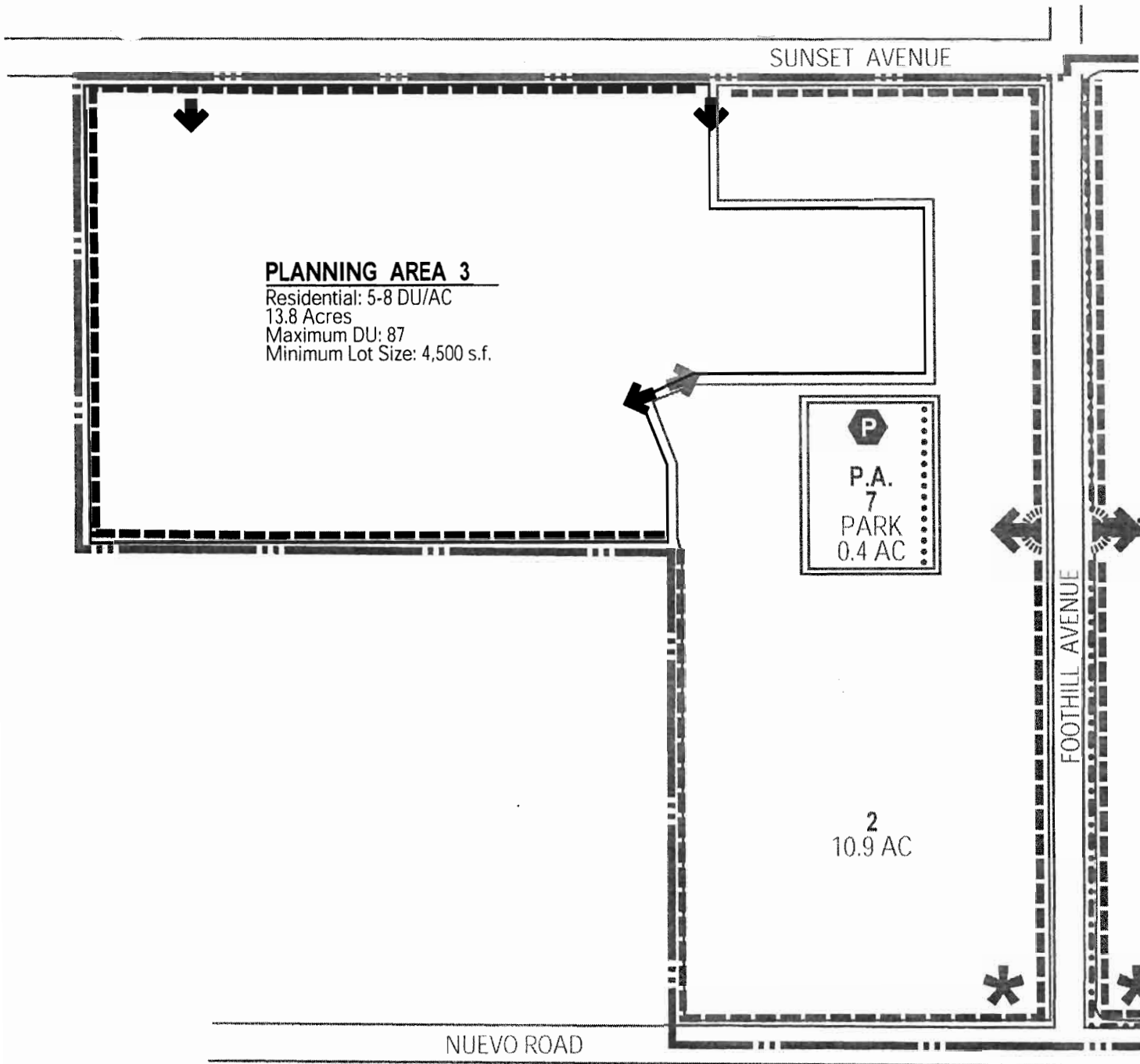
As shown in Exhibit 4.3, a perimeter wall will bound Planning Area 3 to the north along Sunset Avenue where deemed appropriate by the County of Riverside and the developer.

4.3.2 DEVELOPMENT STANDARDS

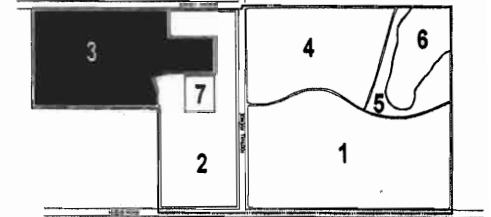
1. Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan document.
2. Access to Planning Area 3 will be achieved from Sunset Avenue, and from the adjacent Planning Area 2. Final access points to the planning area will be determined at time of tentative tract map submittal.
3. A landscape area, as depicted in Exhibit 5.6, will be incorporated between the perimeter wall and Sunset Avenue.
4. Perimeter walls or view fence where deemed appropriate by the County and the developer, as depicted in Exhibits 5.10, A and B, will be constructed along the areas adjacent to Sunset Avenue where residential rear or side yards are adjacent to the roadway.
5. For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
6. An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
7. Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted to the Fire Department as necessary for approval.
8. According to preliminary site investigations conducted, the specific plan area may contain significant archaeological resources. Prior to the submittal of

tentative tract maps in areas of known archaeological resources, potential sites will be investigated further and mitigation measures will be recommended as necessary.

9. The park in Planning Area 7 shall be constructed prior to issuance of the 249th building permit within the Lake Nuevo Village Specific Plan, pursuant to the standards set forth in Section 4.7.2 of this Specific Plan. Planning Area 3 as Phase III of the Specific Plan (see Section 3.8.2 of this Specific Plan) may include the 249th building permit.



KEY MAP



LEGEND

- Community Entry
- Village Entry
- Access into Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Community Trail
- Neighborhood Trail

LAING-SEQUOIA PARTNERS LLC

LAKE NUEVO VILLAGE
 SP 251 AMENDMENT 1

PLANNING AREA 3

EXHIBIT 4.3



1" = 200'

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