

5.3 Residential Architectural Guidelines

Throughout the planning of the Lake Nuevo Village Specific Plan, the underlying design philosophy has been to create a strong community character and quality that reflect the context of the region, the surrounding community, and the site's environmental features. The integration of quality site planning, architecture and landscaping into neighborhood design is a fundamental goal for the Specific Plan. The Specific Plan includes detailed discussion of Design Guidelines, Development Standards and Design Intent and Elements to create a "Great Neighborhood".

5.3.1 DESIGN INTENT AND ELEMENTS OF A "GREAT NEIGHBORHOOD"

The goal is to promote both visual compatibility and variety in a community setting achieved by utilizing a number of compatible traditional and contemporary styles. The principal design criteria and architectural styles are not intended to be restrictive, but are meant to assist in the design process. The Site Design Guidelines contained in Section 5.2, along with the Residential Development Standards in Section 5.4 and the following Residential Architectural Guidelines will result in quality site planning and architectural design that creates unique and desirable communities within the Lake Nuevo Village Specific Plan.

The following are intended as parameters for concept designs:

- Create quality architectural designs and execute them consistently throughout the community.
- Create neighborhood designs that integrate architecture, site planning and landscape.
- Ensure that streetscapes and street spaces are attractive and comfortable.
- Encourage the specific use and selection of details that correlate well with the designed floor plan and elevation.
- Encourage the use of single-story elements, such as covered front porches and covered side entries.

The following parameters are to be avoided in concept design:

- Harsh contrasts of materials and/or colors.
- Out of scale design.
- Poor selection and execution of details.
- Extreme interpretations of the characteristics for each style.
- Lack of window treatments, which result in flat, blank walls specifically on the rear elevations and side elevations, visible from public views.

The interweaving of two concepts; Innovative Architectural Concepts and Successful Site Design Techniques produce Great Neighborhoods. The important elements of a Great Neighborhood as listed in two groupings below are strongly encouraged throughout the community of Lake Nuevo Village. These elements are discussed in more detail below.

SUCCESSFUL SITE DESIGN TECHNIQUES

Variable lot sizes and setbacks
Curvilinear streets
Curb separated sidewalks
Street trees program
Pedestrian connections

INNOVATIVE ARCHITECTURAL CONCEPTS

Architecture forward
Varied garage placement
Eclectic variety of compatible architectural styles
Varied roof heights and pitches
Color palettes selected per styles – over time,
the addition and deletion of color schemes
create a unique feel

It should be noted that the above elements are not designed to create a rigid framework, but to provide concepts for a Great Neighborhood. Additionally, there may be some overlap in describing these elements in the following sections.

5.3.2 ARCHITECTURAL FORWARD STANDARDS

“Architecture forward” as defined in this Specific Plan is expressed as follows:

1. Advancing the architecture of the living spaces forward on the lot, while concurrently, the garage is held in place; or in some instances, the garage may be further recessed.
2. Planning the living spaces of the home in front of the garages such that the predominant features of the home fronting the street are the windows and the front door.
3. Providing articulation on two-story homes facing streets and other areas exposed to public view.
4. Incorporating a variety of garage layout solutions to mitigate the visual impact of garages on the fronts of the homes, such as garage wall plane furrouts, screened garage door elements, shallow mid, and deep-recessed garages, rear garage access, porte-cocheres, tandem garages (tandem spaces do not count toward fulfilling the minimum parking requirement), split garages (including swing-in), and side-on garages.

The above outlines general guidelines for designing homes in Lake Nuevo Village. For more detail, please refer to Section 5.3.4 Principal Design Criteria including Plotting, Siting, Massing and General Neighborhood Criteria and Garage Placement. See Section 5.3.5 Architectural Features and Section 5.4 for Residential Development Standards.

5.3.3 ARCHITECTURAL STYLES

The architectural styles which have been chosen for the Lake Nuevo Village Specific Plan have been used and evolved in California since the turn of the century. Their inherent attractiveness, informality and charm have enabled these styles to remain popular in California over a long period of time.

The proposed architectural styles include, but are not limited to the following:

- Monterey
- Spanish Eclectic
- American Farmhouse
- Colonial
- Craftsman
- European Cottage
- Italian Revival

Additional styles are permitted, provided they meet the intent and maintain the same quality as outlined in the Design Guidelines. The architecture of Lake Nuevo Village will have articulation on all sides or 360 degrees as defined in Section II.D of the Riverside Countywide Design Standards and Guidelines which states, *"Architectural design treatments such as building offsets, recessed windows, trellises, overhangs, or other features shall occur on those façade of the residence that are visible from streets or open spaces."*

It should be emphasized that the information and examples provided for the architectural styles on the following pages are representative of design concepts and architectural features envisioned for the Lake Nuevo Village Specific Plan. The examples on the following pages identify styles and architectural elements that are recommended for the Lake Nuevo Village Specific Plan. Elevations will be modified, when necessary, to accommodate for varying lot sizes, widths, and depths. These architectural concepts may be subject to future refinements based upon economic, marketing, detailed engineering and other factors. County approval is required for any proposed changes or additional architectural style(s). The drawings shown are not intended to be exact duplicates of the future product types for Lake Nuevo Village, but they are intended to reflect representative design elements.

The following style elements for each of the architectural styles proposed are strongly encouraged and appropriate for various neighborhoods throughout the Lake Nuevo Village Specific Plan.

It is suggested as a guideline for the Lake Nuevo Village Specific Plan that any one of these styles may be incorporated in a range of 25 to 35 percent of the homes in a neighborhood in order to provide a mix, but also to limit the number of styles per neighborhood.

PREFACE

The architectural design guidelines herein are considered a minimum of necessary information about the quality and direction of architecture for the Lake Nuevo Village Specific Plan document. This Design Guideline document is intended to provide inspiration and standards for all residential architectural development in Lake Nuevo Village including new buildings and future phases of residential development. Builders should familiarize themselves with the design standards in this document as well as County of Riverside codes, ordinances and approval regulations.

VISION FOR THE COMMUNITY

The design character of the neighborhoods will be one of continuity, individuality and compatibility. Architectural continuity and compatibility will be achieved by the following: a) Provide a cohesive color palette for the varied styles of homes. b) The home, not the garage will remain the primary emphasis of the front elevations and collectively the overall street scene. c) Roof forms and massing shall create the desired style recognition and individuality rather than mere decoration on the front of the house. d) Garage placement may vary from the front of the home to the mid point of the home and to rear of the home including detached garages where appropriate. e) Limiting the number of styles per neighborhood. These concepts bring about community wide neighborhood designs that "feel right" and become part of the existing fabric of the greater community in the County of Riverside.

GENERAL NOTES

There are a few items and some specific goals listed next that apply to all architectural styles and all general neighborhood development.

Neighborhood Goals:

1. Homes will have varied setbacks along the street
2. Homes will have reversed plotting
3. Homes will have enhanced side elevations at corner lot plotting
4. Neighborhoods should minimize all boundary walls around the various projects to increase the sense of compatibility and continuity of the larger overall development

ARCHITECTURAL STYLES PALETTE:

- | | |
|-----------------------|---------------------|
| 1. Monterey | 5. Craftsman |
| 2. Spanish Eclectic | 6. European Cottage |
| 3. American Farmhouse | 7. Italian Revival |
| 4. Colonial | |

Note: Builders may introduce additional styles on a per project basis if approved by the County of Riverside.

SPECIFIC ARCHITECTURAL ITEMS:

- a) Exterior stucco finishes shall be defined as described by the Plaster Information Bureau of Los Angeles
- b) Avoid lace finish stucco on homes
- c) Window patterns – as determined by the style of the home and shown on the front elevation shall also be used at the second floor level of the home on all sides where visible from public view.
- d) Window mullions, the dividing members between the panes of glass will vary as described within each architectural style
- e) Windows without mullions can be used in areas that are not highly visible on the home. These windows may be fixed glass windows or operable windows but they lack mullions dividing panes of glass.
- f) Garage doors facing the street should be recessed from the wall plane at least eight inches.
- g) Roof materials in a neighborhood should vary in shape and in color to avoid monotony
- h) Chimney flue spark arrestors should be disguised with a decorative metal shroud when visible from the street.
- i) When shutters are used on a front elevation they should be realistic in appearance. Size the shutter to the length and width of the window it is attached to. Shutter to have a thickness of not less than 1.5 inches in depth and when hardware is used it should be applied to appear functional.
- j) If an accent on a home is applied stucco on a furred out base, then the height of the furred out portion of the base should be greater than a minimum of twenty four inches high.
- k) Accent materials such as decorative exterior lighting fixtures, wrought iron balconies, door lintels, pre-cast door and window surrounds, brick or stone veneers should be selected and modeled to support or enhance the style recognition of the home.
- l) Avoid generic design and patterns to increase the individuality of the home.

CONCLUSION:

The implied quality expectations and architectural standards found in these design guidelines are to promote the development of community enhancing neighborhoods within Lake Nuevo Village. This document cannot individually address problems or opportunities that may occur later with each site under development in Lake Nuevo Village. The design guidelines are not intended to list or illustrate all possible solutions to each and every situation. However, the design expectations and architectural standards identified herein do express and promote quality and innovation for all the future development in Lake Nuevo Village. This document in turn will assist in the creation of livable neighborhoods of an enduring characteristic and value.

MONTEREY



Old version



Current version



MONTEREY

Monterey style homes are always two-stories with front to back low-pitched gable roofs and sometimes with one forward facing gable. Appendages to the main massing of the house may be covered with a shed roof. A second-story balcony is the distinguishing feature of the Monterey Style. The balcony, which is found on the front elevation, is usually cantilevered and covered by a principal roof. Occasionally, a balcony may be covered by a secondary roof at a lower pitch. The massing of the home is commonly a two-story rectangular shape with a one-story appendage found at the front, side or rear of the home.

DOORS & WINDOWS

Door and window surrounds are miniscule or nonexistent in this style. Feature windows are often paired, full-length casement having shutters attached to them.

MATERIALS

The body of the home is wrapped in a Monterey finish stucco or light sand finish stucco. On the front elevation, accent materials such as rustic appearance brick can be used on the first floor level only. The second floor level accent material should be board and batten, which is located underneath the balcony roof. The roof materials used in this style are a flat concrete wood-appearance shingle.

DETAILS

A full-width, covered balcony at the second floor is the most identifying characteristic of the Monterey Style. The balcony is usually comprised of an odd number of bays separated by thin posts. Lightweight posts and railings are simple or lightly decorative wood shapes, giving it a lightweight feel. Knee-braces and trim are often added to accentuate these columns. Occasionally, columns are installed below to support the balcony.

SPANISH ECLECTIC



Old version



Current version



SPANISH ECLECTIC

Low-pitched gable roofs are commonly used in the Spanish Eclectic Style. The homes are primarily one-story, but more recently have been found to be two-story homes. Facades are generally asymmetrical and typically have one or more arches placed above the front door and any prominent window. The massing of the home is multifaceted. It can be made up of simple rectangular forms, or it is also acceptable as an L-shaped, U-shaped or H-shaped form.

DOORS & WINDOWS

Doors patterns are rustic in appearance and made up of vertical planks or simple rail and panel patterns. Occasionally columns or pilasters are placed adjacent to the entry door for emphasis. Vertical shape windows are common, sometimes having shutters as accents. Windows may also have arches above them at the first floor level but not at second floor level. The feature window for this style is a large pane picture window.

MATERIALS

The body of the home is always stucco, with a light to medium sand finish. Wood-appearance fascias and rafter tails are commonly used. Other decorative accents such as shaped rafter tails often extend beyond the roof eave. The roof is usually is a concrete barrel tile or real clay tiles, and can be laid in an irregular pattern.

DETAILS

Decorative window grills, wrought iron balconies and cantilevered wood-appearance balconies are identifying characteristics of the Spanish Eclectic Style. Other typical details include decorative ceramic tiles at entries, gable end vents and elaborate chimney tops.

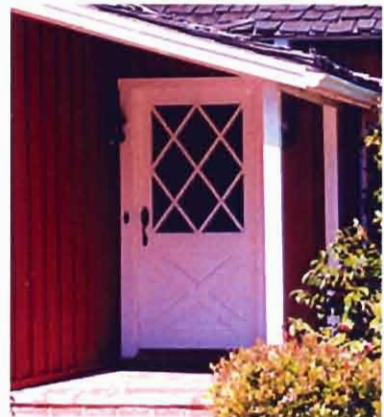
AMERICAN
FARMHOUSE



Old version



Current version



AMERICAN FARMHOUSE

The American Farmhouse is always a two-story home with a medium to steep pitched roof. The roof form is made up of one main gable roof with intersecting, front-facing gables. The massing usually consists of two intersecting rectangular forms in an L-shape. This specific style massing is also found to have different forms such as a main body mass supporting one-story appendages.

DOORS & WINDOWS

Front doors are usually wood-appearance, raised panel with an occasional accent window. Unarticulated window and door surrounds are common in this style. Windows are often tall, narrow and multi-pane. The feature windows for this style are most often paired window. Bay windows are also acceptable.

MATERIALS

The body of the home is usually horizontal lap siding, but a stucco home is also acceptable when properly detailed. For this style, roofs are flat concrete tile or architectural grade asphalt shingles.

DETAILS

The gable roof and front porch are the most important characteristics of the American Farmhouse Style. This home usually has a full-width front porch. However, a partial-width front porch is also used. A wrap-around porch is acceptable as a feature accent. The porch is usually raised and undecorated stick columns support the porch roof. When the porch is not raised, above-grade railings are optional. Gable roof dormers are a common roof treatment in this style.

COLONIAL



Old version



Current version



COLONIAL

Colonial Style houses are generally symmetrical, two-story homes with medium to high-pitched roofs. The roofs are usually front to back or side-to-side gable roofs and occasionally hipped roofs are allowed. Avoid mixing gable and hip roofs. Colonial Style homes can be varied in massing. Usually, they are a dominant two-story form with offsetting appendages, which could be either one or two-story.

DOORS & WINDOWS

Raised panel front doors are often located in the center of the façade while the windows are evenly proportionally distributed across the front elevation. Rectangular, double hung windows are often used, always with multi-pane glazing. They are frequently laid out in pairs. Feature windows are noticeably absent in this style.

MATERIALS

The body of the home is traditionally wrapped in siding or stucco, although some examples are found to be a blend of both materials. Stucco should be a light sand finish. Accent materials are most commonly traditional brick or occasionally stone veneer, although sometimes they are both used.

DETAILS

The principal areas of elaboration are the entry, cornices and windows. Cornices are a striking characteristic of the Colonial Style. They are part of the boxed roof-wall junction and have little to no overhang. Dentils are often used to emphasize this feature. As an accent feature, the front door may have a decorative crown supported by pilasters. Sometimes columns are used instead, thus creating an entry porch. Shutters are also common for this style.

CRAFTSMAN



Old version



Current version



CRAFTSMAN

Craftsman style homes are one and two-story homes with side-to-side or front-to-back low-pitched gable roofs. They are also found to have cross-gabled roofs in some cases. Whether it is a one or two story home, variations in the massing are encouraged. The massing can be L-shaped or be a principal two-story mass with one-story appendages like porches or porte cocheres.

DOORS & WINDOWS

Craftsman style doors are usually rustic panel and rail patterns and often have side accent windows. Vertical shaped windows are common, which have multi-pane glazing and wide trim surrounds. Feature windows are commonly ganged in pairs.

MATERIALS

It is not uncommon for Craftsman Style homes to be wrapped in siding, stucco or a blend of both. Stone, brick and stucco are commonly used to accentuate the façade. Square, wood columns rest upon massive piers, which are made up of a stone or some other contrasting material. Roofs are generally architectural grade asphalt shingle or flat concrete tile.

DETAILS

Full or partial-width porches with tapered columns are the most identifiable characteristic of the Craftsman Style home. The columns rest on pedestals which extend to ground level, without a break at the porch floor. Roof rafters are usually exposed and the eave overhangs are open. Dormers are commonly gabled with exposed rafter ends and braces. Decorative beams are added under the gables as an accenting feature. Frequently, rafter tails are cut into decorative shapes. Triangular knee-braces can also be used to embellish the façade.

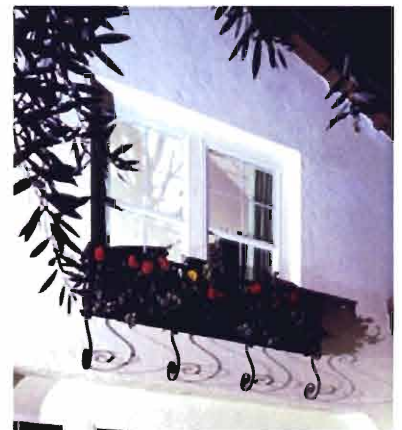
EUROPEAN COTTAGE



Old version



Current version



EUROPEAN COTTAGE

European Cottage homes are generally two-stories and have steep pitched roofs. The roof shapes are either gable or hip forms or sometimes have a blend of both. The massing has many variations in the first and second offsets. The massing breaks can be either vertical or horizontal or occasionally a blend of both.

DOORS & WINDOWS

Doors have a rustic wood appearance and are made up of raised panels or vertical planks. Decorative door surrounds are common in this style, they usually have a wood-appearance or are made of pre-cast concrete forms. Windows are often tall, narrow, and multi-paned and densely divided. Window trim surrounds usually have a wood-appearance or no trim at all. Bay windows are a trademark of this style and are considered feature windows.

MATERIALS

The body of the home is most often stucco-wrapped with a light to medium sand finish. Brick accents, if used, should be contained to the first floor level. In this style, roofs have a concrete tile or architectural grade asphalt shingles.

DETAILS

Sculpture wrought iron exterior light fixtures and decorative half-timbering panels are used in the European Cottage Style. Detailed chimneys and shed roof dormers are decorative accents used in this style. Eave and fascia details can be curved or boxed plaster, or continuous fascia boards.

ITALIAN REVIVAL



Old version



Current version



ITALIAN REVIVAL

Italian Revival Style homes are always two-story homes with low-pitched hip roofs. The homes usually have a second-story window balcony as an accent feature. The massing of the home is traditionally rectangular-shaped and two stories. Occasionally Italian Revival homes are found to be L-shaped and U-shaped.

DOORS & WINDOWS

Doors are usually wood-appearance raised panel. The entry is commonly covered and contained by a deep recess. This adds to the strength and density of the style. Wood-appearance headers or stucco trim - surrounds are usually found on windows. Shutters are sometimes used with balconies accenting the windows. Feature windows of this style are paired or bay windows.

MATERIALS

The body of the home is fully wrapped in stucco, while other examples may be wrapped in siding or brick but not blended materials. Light sand finish stucco is used to reflect the elementary shape of the building style. Shaped 'S' roof tiles are the standard for the roof material. Wrought iron is the accent material for balconies and other forms of ornamentation such as light fixtures or shutter hardware.

DETAILS

Thickened walls and arches are common accents for the Italian Revival Style. Chimneys often have decorative caps made of stucco, stone or brick veneer. Shutters are used commonly to accent the front elevation windows, and ornamental iron is used for balconies. Elaborate rain gutters with downspouts are unique details, which accentuate the wide roof overhangs. At the roof overhang, cornice details include shaped corbels or dentils.

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5.3.4 PRINCIPAL DESIGN CRITERIA

The architectural Design Guidelines described within this Specific Plan document have been created to direct the developmental outcome of the community of Lake Nuevo Village. It is a goal of the Design Guidelines to create a unique community, yet reminiscent of the heritage of the area. It is the intent of these guidelines to offer conceptual architectural elements that architects, builders, developers and other design professionals can utilize in order to maintain design continuity and create identifiable neighborhoods within the Villages of Lake Nuevo Village.

One important goal of these guidelines is to create a street scene possessing both functional and visual variety—having more of the architecture fronting the street. Plotting and massing, garage placement and building elevation criteria all contribute to the variety in appearance, as well as a sense of individuality for each detached home. Projects where nearly identical buildings line the streets without variation in placement and architectural form are prohibited.

The following sections list Plotting, Siting, Massing and General Neighborhood Criteria techniques which will aid in the creation of a “successful street scene.” While it is not necessary that every method be utilized, selective and appropriate use shall greatly contribute to achieving the desired results.

❖ **Plotting, Siting, Massing and General Neighborhood Criteria**

The required characteristics listed below summarize the desired community setting and streetscene for the neighborhoods within Lake Nuevo Village:

- Buildings should be placed with consideration given to the topographic and environmental opportunities and constraints of the site.
- Design streets that are sensitive to the natural topography and amenities on site (i.e. curvilinear street versus long, straight streets).
- Shorten streets and provide curb separated sidewalks (Exhibit 5.8).
- Minimize the visual impact of the garage.
- Give attention to composition of building mass.
- Step back second stories and varying roof planes when appropriate given the architectural style of the home.
- Incorporate single story elements into two story buildings wherever possible and particularly on corner lots..

- Provide innovative plans and avoid repetitious plans and footprints.
- Open corner lots through selective plan form, single story architectural elements and a larger landscaped parkway.

❖ **Architecture Forward / Recessed Garages**

- Home sites are encouraged to be wide enough to allow the “living” portions of the house to be pulled forward on the lot so that architecture can visually dominate the street scene.
- House designs are encouraged to place entries, windows, front porches, and living areas directly adjacent to the street on most plan variations.

❖ **Variable Front Yard Setbacks**

A varied setback is encouraged along the street frontage to create a visually interesting and pleasing neighborhood street scene (i.e. vary setbacks at porches, living, and garage areas). Strict compliance to the minimum setbacks is discouraged so as not to contribute to a repetitious and monotonous appearance along the street. The residential development standards set forth in Section 5.4 of this Specific Plan allow for varied minimum setbacks between living areas (a minimum 10 foot setback), front porches and covered entries (a minimum 7 foot setback) and street-facing garages (a minimum 20 foot setback) for detached single family homes. At least one-half of the homes in a neighborhood or on a street frontage shall have an aspect of the front yard setbacks at a distance greater than the minimum allowed.

❖ **Variable Lot Sizes**

Where possible and appropriate, vary lot sizes to increase buyer selection and variety in house and lot size combinations. Variations in lot widths are recommended to encourage a variety in building plotting and architectural styles, provided the average lot size is maintained.

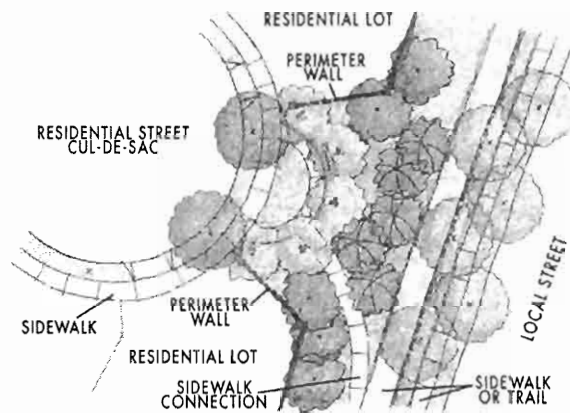
❖ **Neighborhood Edge Treatments**

In order to avoid a continuous “walled” character along residential arterial and collector streets, special treatments will be required in selected locations. These may include but not be limited to the following: open cul-de-sacs, view fencing (see Section 5.6.2 and Exhibit 5.10B), hedges, shrubs, neighborhood street tree programs, trail connections (see below), and variable wall alignments and treatments (see Section 5.6.2).

❖ **Pedestrian Trail Connections and Linkage**

Cul-de-sac streets within Lake Nuevo Village will have sidewalk or trail connections at the end of the street to adjoining trails or street sidewalks located along other local streets (as illustrated below) or to separate greenbelt paseos. If the adjoining street is a secondary highway or larger (e.g. Foothill Avenue and Nuevo Road), there will be no pedestrian connection between the end of the interior cul-de-sac or the highway due to safety concerns. In these instances, the end of cul-de-sac will be separated from the highway by a continuous wall or fence.

Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.



Trail Connection between cul-de-sac and adjoining local street

❖ **Garage Placement**

The home living components and the yard, rather than the garage are encouraged as the primary emphasis of the elevation as seen from the street. Each planning area should incorporate a variety of the garage placement conditions.

❖ **Corner Plotting**

Corner lots should have the flexibility to reposition the entry and garage to the exterior side yard.

5.3.5 **ARCHITECTURAL FEATURES**

❖ **Building Form, Mass and Height**

All building designs shall incorporate the appropriate proportion of form, mass and height to be sensitive to the street, the pedestrian and the natural environment of the site. Consideration given to these elements will create quality neighborhoods and attractive streetscapes. The buildings should incorporate a combination of the following design features to achieve this goal:

- The use of one-story elements such as porches or arcades is encouraged.

- One-story massing on exposed side and front elevations is encouraged on corner side lots.
- Building forms should be designed to create and define a visually attractive and functional exterior.
- The overall scale and design of the building in individual neighborhoods should be compatible with each other in terms of mass and form.
- Enhanced architectural elements (i.e. recessed windows, shutters, structural projections) are strongly encouraged when exposed to public view or adjacent to open spaces.
- Large expanses of unarticulated building facades shall be avoided by incorporating varying setbacks of the building footprints and articulating building elevations.
- Projecting architectural features such as bay windows, offset roof planes and similar features should be used to create vertical and horizontal building articulation.
- A variety of shapes and forms such as chimneys, balconies, porches, patios, exposed trellis, dormers, rafters and planter boxes should be incorporated, when appropriate, to breakup the building mass.
- Stepping of the second story is encouraged to reduce the building mass and to improve the street scene, when appropriate given the architectural style of the home. For example, the second story can be set back in relation to the garage face below it.
- Locate and design structures at a scale and function that enhances and encourages pedestrian activity.
- Attention should be given to the composition of the building mass. Box-like designs are prohibited, except when appropriate to the architectural styles

❖ **Shade and Shadow**

The buildings should be situated on site to maximize the natural light, sun exposure and shade to the extent feasible given the topographic opportunities and natural amenities of the site. Therefore, the following considerations should be incorporated to maximize the benefits of proper building orientation and the environmental opportunities of the site:

- Buildings should be oriented to take advantage of the natural light, heat, shade and shadow which will help reduce energy consumption and encourage energy conservation.

- Lot size and configuration should consider future orientation of a structure to take advantage of shade and prevailing winds, when possible given the lot configuration and topography of the site.
- Covered entries, balconies and porches should be incorporated to provide shadow and shade for each residential unit, to the extent feasible.
- Windows shall be framed with compatible materials to create well-defined edge treatments and be designed to provide distinctive shadows on the building facades, when appropriate given the architectural style of the home.
- Landscaping should be planted near the buildings to provide shade, shadow and reduce pavement, when possible.

❖ **Building Relief**

The building design shall be sensitive to the visual character of the elevations, the street scene and the pedestrian. In addition, the building facades shall be detailed to avoid long, plain surfaces. A combination of the following Design Guidelines shall be incorporated to create building relief and a visually pleasing streetscape:

- Wall surfaces shall contain a variety of articulations, such as offsets, projections, penetrations, or change of surface textures to reduce the apparent scale and provide visual interest.
- Design features such as pillars, columns, trellises, bay windows and other architectural features should be incorporated into the building elevations, when appropriate given the architectural style.
- Second stories should be stepped back or have projected elements to add relief to the higher building elevations.
- Roof planes shall be varied in size and pitch to break up the building elevation and create a quality streetscape.
- Entries should be covered, recessed or projected from the building to be clearly defined and add relief to the front elevation.
- Recessed doors, windows and wall openings should be used to create a sense of depth and shadowing for visual variety and interest.
- Balconies and porches are strongly encouraged to articulate and enhance the building elevations.

❖ **Building Materials and Color**

The design of structures should incorporate building materials that are consistent with the overall architectural styles envisioned for Lake Nuevo Village. Colors of building materials should be compatible with, and provide accent to the natural environment. Bright or non-earthtone colors should be avoided, except as accents. Buildings are encouraged to have at least three (3) color schemes for the main structure, trim and fascia.

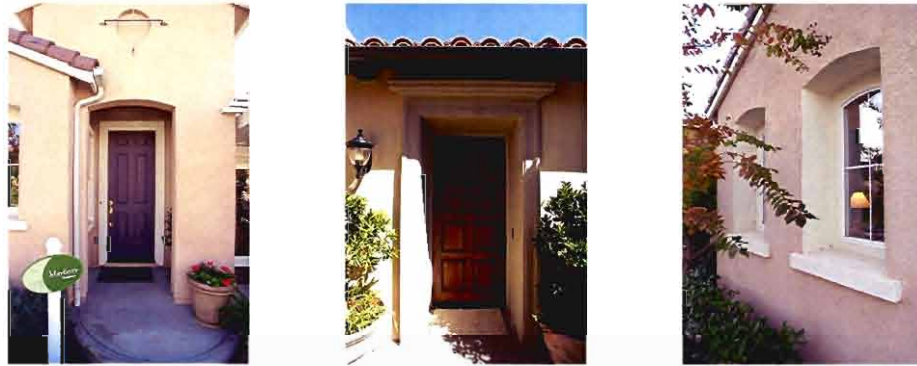
- All building surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches or balconies in their entirety.
- Material changes should occur at inside corners. Materials applied to any elevation should turn around the outside corner of the building a minimum of two feet (2') before terminating.
- Colored accents are encouraged, especially on balcony rails and trim, provided that they are appropriately integrated in an overall design program. Accent materials may include, but not limited to, wood, wood like materials, iron, brick, tile, and appropriate stone veneers.
- Contrasting colors, either lighter or darker than the main body color of the residence are encouraged for trim and accent elements such as fascias, eaves, doors, shutters, window trim, porch trails, garage door, etc.
- Three or more color schemes per neighborhood are required.
- Materials are to be durable and sympathetic in scale and aesthetics to enhanced the overall quality of the project.

❖ **Building Details**

- Detail elements such as shutters, exposed rafter tails or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/or other similar features are encouraged to provide visual interest to the residential architecture consistent with the architecture envisioned for Lake Nuevo Village.
- Exposed gutters and downspouts shall be colored to match or complement the surface to which they are attached.
- Where possible, flashing, sheet metal, vent stacks and pipes shall be positioned away from public view and painted to match the adjacent building surface in order to minimize any visual impact, unless appropriate given the architectural style or floor plan of the home.

❖ **Doors and Windows**

- Recessed door, window and wall openings are encouraged at all front elevations, and other side or rear elevations as viewed from public streets, when appropriate given the architectural style of the home.



- At least one (1) primary window is required on front elevations and shall be determined based on the style of the home. In general, primary windows are defined as one of the following:
- A prominent window recessed a minimum of twelve inches (12") or having a minimum twelve inches (12") pop-out surround.
- A bay window with a minimum twelve inch (12") projection and detailing appropriate to the architectural style of the residence.
- A minimum twelve inch (12") deep pot-shelf with corresponding roof element and corbels.
- An overhead trellis projecting a minimum of twelve inches (12").

- Decorative iron window grille projecting forward of the wall plane a minimum of twelve inches (12”).



- Rear elevations that are visible from the neighborhood perimeter require the use of at least one (1) primary window as defined above. The use of shutters is an acceptable primary window treatment on perimeter visible rear elevations when used in conjunction with a minimum twelve-inch (12”) deep pot shelf or other form of surround or articulation. Side elevations that are visible from streets or open spaces are encouraged to have a principal window.
- Aluminum or vinyl extruded frame windows should be appropriately colored to match or complement the house or trim colors.
- Glazing may either be clear or tinted. Reflective glass is not permitted.

❖ **Porches, Arcades and Entryways**

- Front porches are encouraged in order to create an inviting neighborhood street scene and promote friendly interaction among neighbors. Each neighborhood should have at least one (1) elevation per floor plan that features an at-grade front porch.
- Porches are encouraged to have hand railings and shall be fully covered in one of the following ways:

- Roof element and tile matching the residence.
- Trellis structure.
- Second floor balcony or overhang.



- Second story balconies are encouraged to provide further visual interest to the street scene, and to increase the perceived front setback of the second story, when appropriate given the architecture of the home.
- Porches and balconies shall be designed as an integral component of the building's architecture.



❖ Roof Form and Materials

The dominant impact of a structure is the shape of the building and the roofline. The roof form is a key component in creating a quality, visually interesting street scene. Attention should be given to the articulation of the roof planes to minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. A combination of the following Design Guidelines should be incorporated to contribute to an aesthetically pleasing roofscape:

❖ Form

- Roof treatments should be consistent with the architectural style of the dwelling.
- A variety of roof design and treatment is required to provide visual interest to the neighborhood roofscape throughout Lake Nuevo Village, including but not limited to the use of gable, cross-gable, hip or a combination of these roof forms.
- A variety in rooflines is required to avoid a common roof line along neighborhood streets. Rooflines of adjacent residences are required to vary ridge heights, roof forms, and direction of gables.
- Repetitious gable ends framed side to side on rear elevations is discouraged along the perimeter edges of residential neighborhoods.
- Minimum overhangs should be twelve inches (12").

- The main roof slope should be different from the secondary roof element. Varying roof slopes are encouraged and should be determined by the architectural style of the home.
- Roof mounted mechanical equipment shall not be permitted.
- Solar panels are to be integrated into the roof design and have surfaces that are flush with the underlying roof surface. Frames must be colored to complement the roof color. Any solar panel and its accompanying support equipment may be allowed subject to the approval of the master developer of the Village and approval by the Directors of the Planning Department and/or the Building and Safety Department for the County of Riverside.
- Accessory structures shall have roof forms similar to or compatible with the primary structure on the site.
- Skylights are permitted, but shall be designed as an integral part of the roof. Commercial style white “bubble” skylights are not permitted. Skylight framing material should be bronze anodized or have an integral color matching the roof color.

❖ **Materials**

- A variety of roof materials is encouraged throughout the Villages of Lake Nuevo Village in order to avoid monotonous roofscape appearances. Depending upon the architectural style and/or roof pitch, roof materials may include barrel shaped clay or concrete tiles, shakes, and slate. In addition (subject to the approval of the Planning Director), composition shingle with a high profile sculptured relief is permitted when compatible with the architectural style of the residence.
- Roof materials shall be compatible with the architectural style of the dwelling. The Monterey style would generally use barrel shaped roof tiles whereas Craftsman would generally feature flat concrete tile.
- Roof materials should have a matte type finish to minimize glare.
- Fascias may either be wood, stucco or tile. If wood is used, it shall be stained or painted.
- Prohibited roof materials include wood shake, fiberglass shingle, simulated tile (including fiberglass or metal), and rolled roofing material.

5.3.6 ACCESSORY STRUCTURES

Accessory structures such as recreation rooms, trellis, benches, bicycle racks, mailboxes, and signs can add charm to a neighborhood. Accessory structures enhance the pedestrian

experience and add character to the streetscape. They also help create continuity among different architectural styles.

The following guidelines should be incorporated throughout the project:

- Patio trellises, arbors, sunshades, gazebos, and other accessory structures shall be consistent with the colors, materials and architectural style of the main structure.
- Accessory structures or street furniture shall be durable, easy to maintain and are designed at a scale that is pedestrian oriented.
- Distribute street amenities along the street scene to help lead the pedestrian and improve the overall experience of the pedestrian walking throughout the neighborhood.
- Exterior stairs shall be designed to be incorporated into the theme of the structure and be a natural extension of the building.

❖ **Mechanical Equipment**

- Mechanical equipment such as air conditioning condensers and air handlers, heaters, evaporative coolers, television and radio antennae, and other such devices shall not be mounted on the roof or visible from the front elevation.
- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.
- All ground mounted air conditioning units must be located behind side yard return walls, and not located within any required side yard setback area, or impact side yard drainage. An appropriate location for air conditioning units is at the rear of the structure.
- Satellite antennae may be installed but subject to the approval of the master developer or homeowners association and shall be further restricted within Conditions, Covenants and Restrictions (CCR's) placed upon the site.

❖ **Mailboxes**

- Gang-style mailboxes in group sizes acceptable to the U.S. Postal Service are allowed. The Postmaster shall approve all mailbox locations.
- Installation of mailboxes with design features that compliment the architectural styles proposed for home construction are encouraged, including for gang-style mailboxes. However, all mailbox designs are subject to U.S. Postal Service approval.
- Covered trellises over mailboxes are encouraged.

❖ **Trash Storage Areas**

- Trash receptacle areas shall be completely screened from public view. This requirement shall apply to individual residential lots.

5.3.7 LIGHTING

The following guidelines shall be incorporated to ensure appropriate design, placement, and application of lighting is achieved on site:

- Lighting of the site and structures shall be designed for visibility, security and night usage where applicable.
- The type and location of lighting should minimize direct glare onto adjoining properties. Lighting should be shielded to confine all direct rays within the property.
- In order to minimize light spill-over, lighting and illuminated signs shall be located to confine illumination to the premises.
- Light fixtures that compliment the architectural design shall be incorporated into the building. Lighting should be designed to satisfy functional as well as contribute to overall design quality.
- Light fixtures shall be durable, easy to maintain and designed.
- Where appropriate, light fixtures should be at a scale that is sensitive to the pedestrian (i.e. shorter and more decorative) and used to guide the pedestrian throughout the development.
- Where it is important or necessary (i.e. outdoor displays or decorative areas), light that provides color rendition shall be utilized.

5.3.8 GARAGES

- All garages shall be equipped with metal or wood roll-up type vehicle access doors.
- A mix of garage types is encouraged to de-emphasize the visual presence of garage doors along the street scene. Variety in garage design may include the following:
 - Front entry garages.
 - Rear access garages.
 - Side entry (turn-in) garages.
 - Recessed garages.
 - Split garages.
 - Offset garages.
 - Side entry garages on corner lots.

- Tandem garages (for parking spaces above the minimum Code requirement).



- Garages that are setback further from the street than adjoining living areas are encouraged where feasible.
- The face of the garage doors shall be recessed a minimum of twelve inches (12") from the adjacent wall surface, or have a minimum twelve inch (12") popped-out surround.
- Three-car garages must have a minimum two feet (2') offset setback between the single and double garage elements. This can be accomplished by offsetting the garage door setbacks, offsetting the garage facade setbacks, or both.
- No more than three (3) garages on a single lot may face a street. Additional garages must be side loaded or set behind the front façade of the house.
- Garage doors should be compatible with the architectural style of the residence. To avoid the visual impact of garage doors, it is encouraged that they be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.
- Decorative window lights are encouraged on the garage doors when appropriate given the architectural style of the residence.
- Garages must be fully enclosed and equipped with an automatic garage door opener. Carports for single family detached homes are not permitted.
- Recreational vehicles, boats, etc., must be stored within a fully enclosed garage or otherwise be fully screened from public view. Storage of recreational vehicles must comply with applicable County of Riverside regulations and may be further restricted within CCR's for the subdivision.

5.3.9 DRIVEWAYS

- Surface materials for driveways and other flat paved areas may include but are not limited to concrete, cobblestone, stamped concrete, quarry tile brick, or paving blocks.
- Driveways with materials such as grass strips, sand-laid pavers, turf-block, and other similar permeable surfaces which add visual interest and permit absorption of minor water runoff are encouraged.
- Driveways on corner lots shall be located as far as possible from street intersections.
- Driveway widths should be kept to a minimum to lessen the appearance of hard surfaces.