

II. SUMMARY

A. PROJECT SUMMARY

1. PROJECT LOCATION

The 317-acre Gateway Center Specific Plan is located north of Highway 60 between Central Avenue and Box Springs/Santa Maria Road interchanges and is adjacent to the University of California Riverside campus, the City of Riverside and the City of Moreno Valley as shown in the Sub-Regional Map. The project lies within Riverside's Sphere of Influence. The irregular-shaped property is bounded by Highway 60 (Interstate 215) to the south and west, Morton Road along the eastern edge, and Watkins Drive to the northwest.

2. SITE DESCRIPTION

Located at the southwestern base of the Box Springs Mountains, the site is characterized by gentle to steeply sloping hillside terrain ranging in elevation from 1,340 feet to 1,640 feet. Numerous rock outcroppings can be found on the site.

Much of the site has been disturbed and existing manmade features include the A.T & S.F. Railway R.O.W., the subterranean Department of Water Resources California Aqueduct Easement, and a 6-inch buried petroleum pipeline. The Specific Land Use Map depicts these manmade elements.

Vegetation on the site is generally sparse, consisting predominantly of native grasses and chaparral. Areas of relatively dense vegetation, including large sycamore and oak trees, are present in Box Springs Canyon along the southwest boundary of the site and along the larger watercourses. Intermittent streams flow across the site and down to Box Springs Canyon.

3. PROJECT OVERVIEW (Executive Summary)

The Gateway Center Specific Plan and Environmental Impact Report pertain to approximately 317 acres located between the City of Riverside and the City of Moreno Valley, along Highway 60 (Interstate 215) in Riverside County.

The Gateway Center Specific Plan combines a balanced array of land uses including residential, commercial, commercial/office, business park, church/school, open space, park and recreational trail systems in 317 acres. Both living and working opportunities will be available within the project, complying with the County's cost revenue and job housing policies. The on-going uses in the general vicinity include residential, commercial, and open space.

The residential portion includes 553 dwelling units distributed among two different density categories. The commercial, commercial/office and business park portion of the project encompasses approximately 93 acres in several locations along the freeway frontage. The designation will include neighborhood commercial, retail, office and business park uses. These areas will serve the Gateway Center project as well as residences in the neighboring communities of Riverside and Moreno Valley.



SPECIFIC LAND USE

PROJECT SUMMARY

Area	Symbol	Use	Target Use	DU/AC	Maximum Units	Acres	Percent
1	H	High Residential	16	128	8.0		
15	H	High Residential	16	131	8.2		
16	M	Medium Residential	5	127	35.0		
17	M	Medium Residential	5	167	46.2		
SUBTOTAL					553	97.4	30.7
2	C	Commercial	Neighborhood Convenience Retail			3.9	
4	C	Commercial	Restaurants/Hotel/Shopping Center-Retail			22.5	
5	C	Commercial	Restaurant			7.0	
8	CO	Comm./Office	Offices			5.2	
9	BP	Business Park	Offices			8.4	
11	BP	Business Park	Offices			14.7	
13	C	Commercial	Offices/Retail			16.6	
14	BP	Business Park	Offices			14.5	
SUBTOTAL						92.8	29.2
3	CH-SC	Church/School				17.7	
7	PF	Public Facility				1.8	
SUBTOTAL						19.5	6.1
6A	OS	Open Space				13.5	
6B	OS	Open Space				28.5	
6C	OS	Open Space				5.2	
6D	OS	Open Space				15.7	
6E	OS	Open Space				4.5	
10	P	Park				3.9	
12	P	Park				4.0	
SUBTOTAL						75.7	23.8
Roads						26.3	8.3
Department of Water Resources Easement (not a part)						6.0	1.8
SUBTOTAL						32.3	10.2
TOTAL					553	317.7	100.0

GATEWAY CENTER
 RIVERSIDE COUNTY
 LONG BEACH EQUITIES, INC.

Larry Aguilar
 Planner & Project Director

WEBB ASSOCIATES

THE PLANNING CENTER
 300 DOVE STREET SUITE 100
 LONG BEACH, CA 90801-2718

4. GOALS AND OBJECTIVES

The primary objective of the Gateway Center Specific Plan will be to develop a cohesive residential and commercial environment in a landscaped "campus-like" setting in order to attract quality tenants. Because of its development potential and freeway visibility, Gateway Center has been identified as one of several target sites for the University of Riverside's Science and Technology Center, and such a relationship would be beneficial to both parties and the surrounding community.

This Specific Plan has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Development issues such as engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals, local community goals, and political goals have been fully examined and considered. The combination of recreational amenities, housing, employment opportunities and retail activities set into a cohesive design create an independent community with a distinctive character. Based on the evaluation of the existing data, project team discussions, and jurisdictional input, the following are the goals and objectives for the Gateway Center development.

- To preserve areas for open space, including significant wildlife habitat resources and to provide passive recreation in conjunction with open space and open space corridors throughout the project area;
- To consider topographic, geologic, hydrologic and environmental opportunities and constraints to create a community design that generally conforms to the character of the land by retaining and utilizing landform as much as possible;
- To provide an efficient circulation system to ensure safe and convenient travel throughout the community;
- To minimize the extent of environmental impacts resulting from the development of this project and provide mitigations as defined by CEQA for all adverse impacts;
- To respond to the County's development policy of a "job-housing" balance for communities within Riverside County;
- To respond to perceived voids in the marketplace by providing commercial, commercial/office, business park, and residential development in an amenitized master-planned community;
- To create a community identity for the Gateway Center project through a consistent application of architectural standards, landscaping standards, and recreational facilities standards;
- To provide sufficient area for both active and passive recreation in conjunction with a neighborhood parks, open space and greenbelt areas through the project area; and

- To provide the public facilities and improvements necessary to accommodate the ultimate buildout of the project and to maintain a quality level of service for its residents.

The Gateway Center Specific Plan will provide approximately 75.7 acres of open space providing active and passive recreation, as well as open space corridors for wildlife habitat throughout the project area. A multi purpose trail will run north/south and two east/west trails through the open space area. Overall, the open space, and parks, including undisturbed natural areas constitutes 23.8% and road R.O.W. 8.3% of the total project area.

The Specific Plan Land Uses can be briefly summarized as follows:

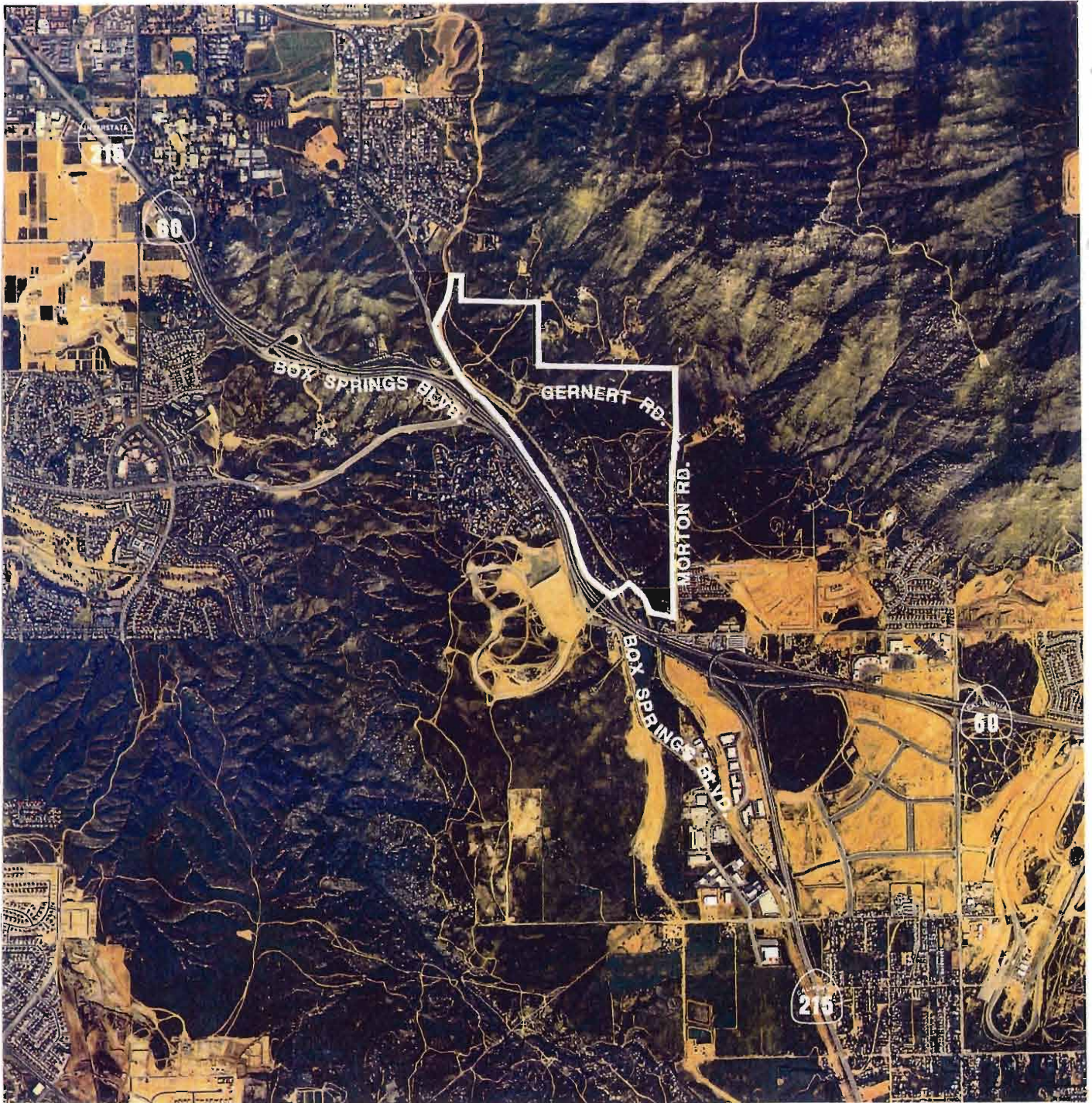
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Subtotal						553	30.7
2	C	Commercial	Neighborhood Convenience/Retail	--	--	3.9	
4	C	Commercial	Restaurants/Hotel/Shopping Center-Retail	--	--	22.5	
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Subtotal						92.8	29.2
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7	PF	Public Facility		--	--	1.8	
Subtotal						19.5	6.1
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6E	OS	Open Space/Corridor		--	--	4.5	
10	P	Park		--	--	3.9	
12	P	Park		--	--	4.0	
Subtotal						75.7	23.8
Roads				--	--	26.3	8.3
Department of Water Resources Easement (not a part)				--	--	6.0	1.8
Subtotal						32.3	10.2
TOTAL					553	317.7	100.0

Gateway Center will enjoy the benefits of a master-planned community. The infrastructure and other public facilities will be sufficiently sized to meet the needs of the entire development at full buildout. In addition, specific planning and design elements such as land use compatibility, site design, architecture, and landscaping will be consistently applied to provide a high quality image.

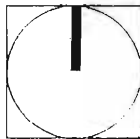
The circulation system serving Gateway Center will provide for traffic flows generated by the project. Excellent freeway access exists with Central Avenue and Box Springs/Santa Maria Road interchanges located adjacent to the project.

Besides capitalizing on the expanding commercial and office markets located in the region, Gateway Center will fulfill a demonstrated need in this area for additional multiple family housing in close proximity to employment opportunities, which is critical to a balanced housing supply.



Larry Aguilar
planning & grading design

WEBB
 ASSOCIATES
PLANNING ENGINEERS ARCHITECTS



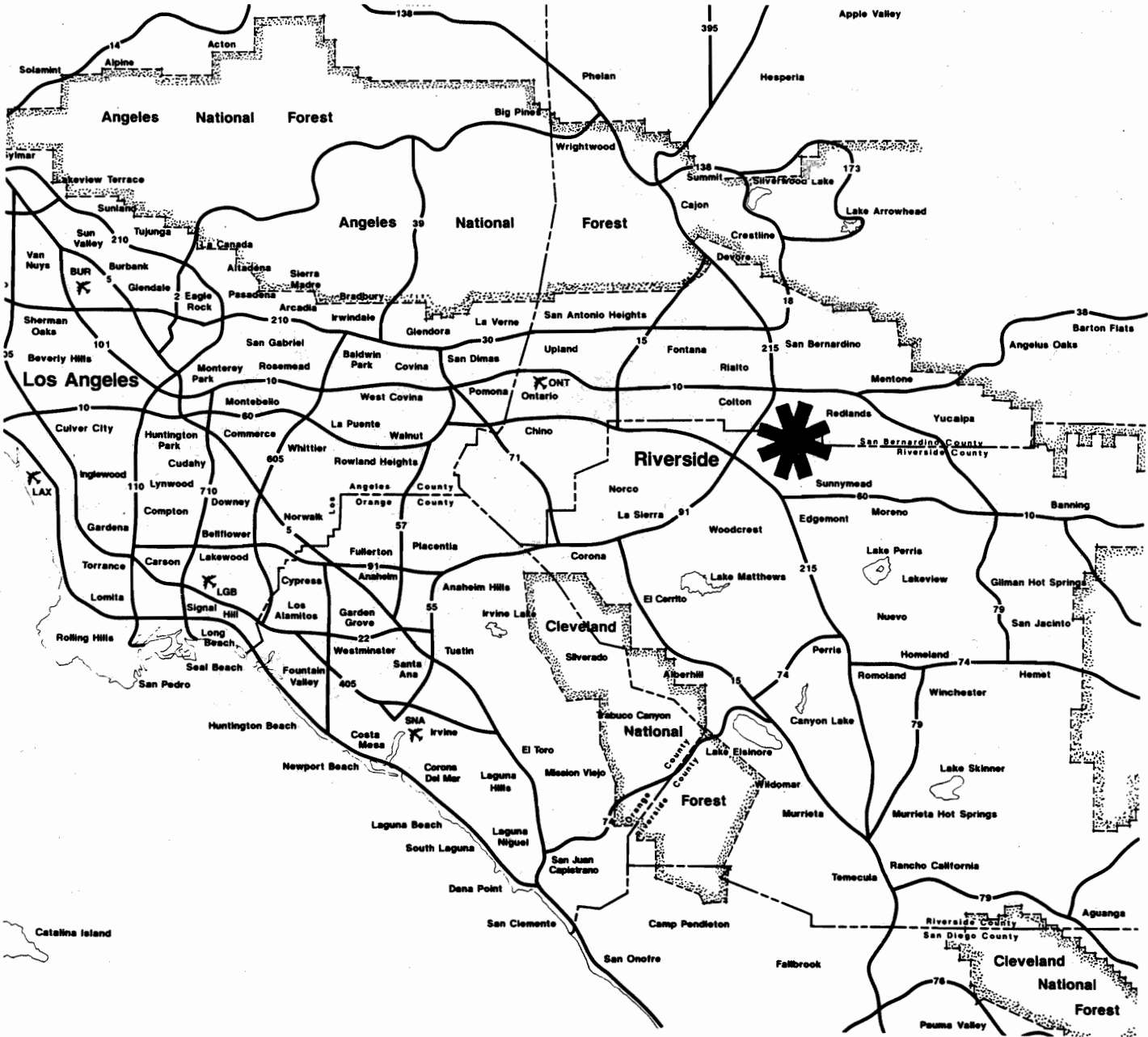
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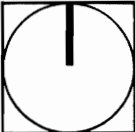
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REGIONAL LOCATION MAP



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 ASSOCIATES
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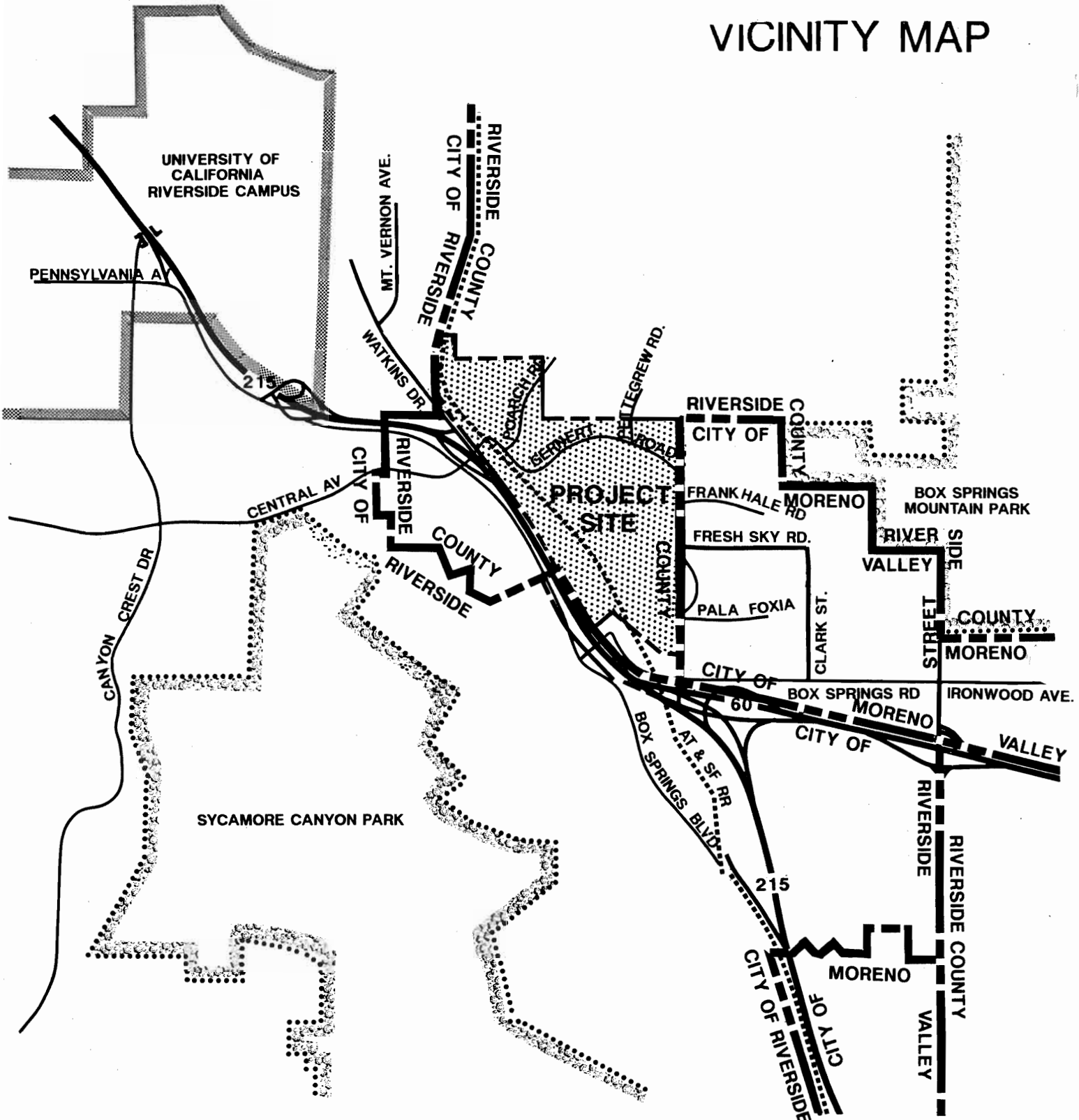


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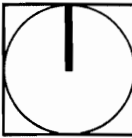

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VICINITY MAP



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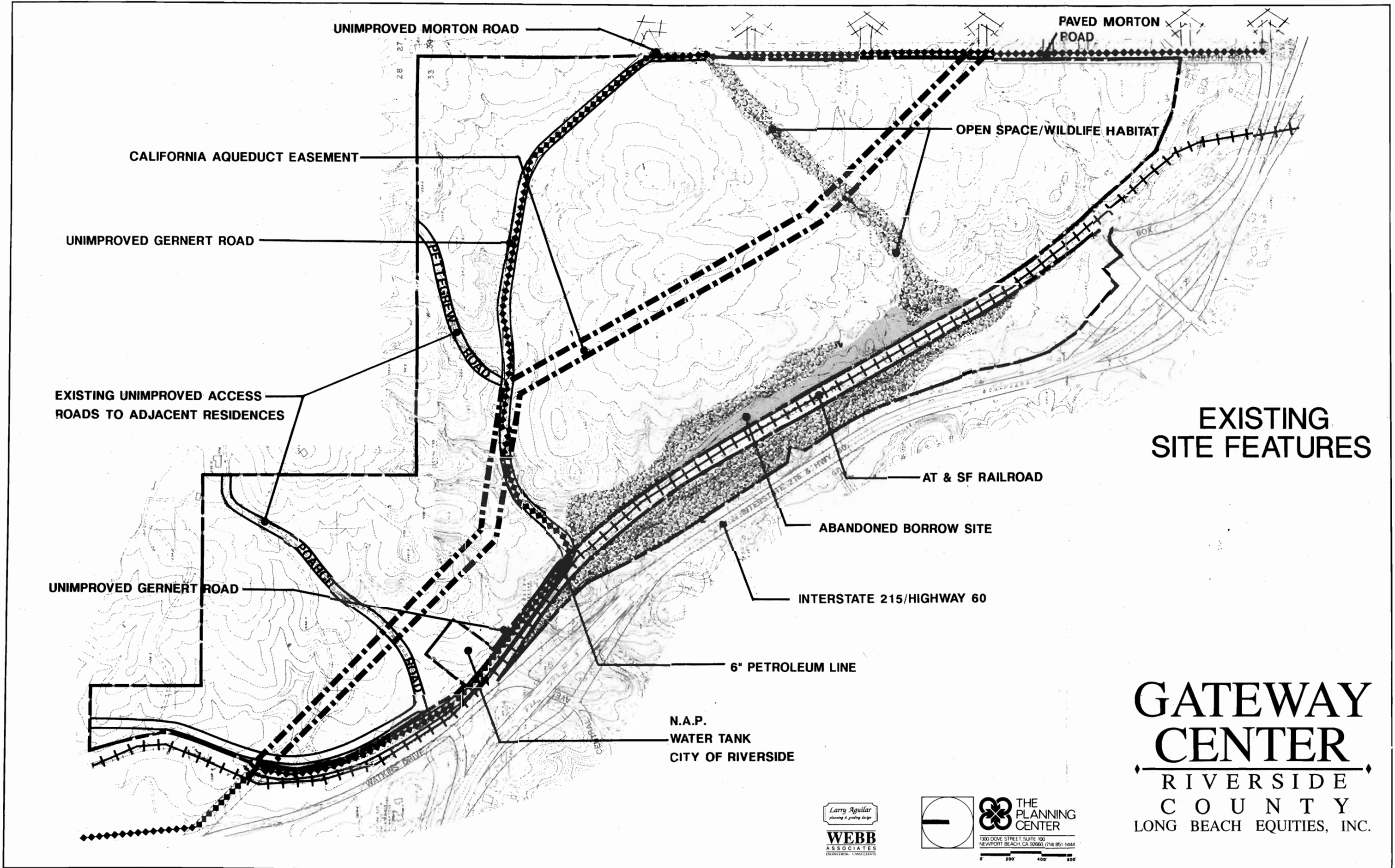
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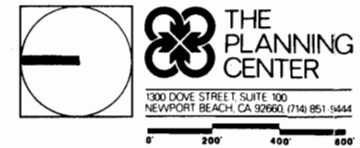
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**EXISTING
SITE FEATURES**

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