



1.0 – Introduction

1.0 INTRODUCTION

1.1 Project Introduction

The McCanna Hills Specific Plan development is envisioned as a quality master planned community with predominantly single-family residential housing, supporting services and infrastructure provided in a cohesive, coordinated manner. The McCanna Hills Specific Plan Amendment No. 3 is an amendment to the previously adopted Preissman Specific Plan No. 246 (1994) and the McCanna Hills Specific Plan No. 246, Amendment No. 1 (adopted 2005). The Specific Plan as amended establishes standards and guidelines for the McCanna Hills development and includes the evaluation of the potential environmental impacts that may result from the revised project's implementation. The McCanna Hills site as amended encompasses a total of 1,147.32 acres, comprised mostly of proposed residential and open space with supporting commercial, educational, and recreational uses. Refer to Section 1.5, Project Summary, for the project's land use summary, market characteristics and objectives.

The project site is located east of Interstate 215 and south of the 60 Freeway, and within Sections 14, 15, 22, and 23 of Township 4 South, Range 3 West, San Bernardino Base and Meridian. The project is approximately 4.5 miles northeast of the City of Perris downtown area, with the northern project boundary abutting the City of Perris boundary (Exhibit 1.1, REGIONAL VICINITY MAP, Exhibit 1.2, LOCAL VICINITY MAP, and Exhibit 1.3, AERIAL PHOTOGRAPH) Refer to Section 1.4, Project Setting, for additional clarification of the McCanna Hills site location and relationship to the surrounding area and uses.

1.2 Specific Plan Background

The Riverside County Board of Supervisors adopted the Preissman Specific Plan (SP No. 246) and certified its Environmental Impact Report (EIR No. 319) on December 27, 1994. The previously adopted Preissman Specific Plan was comprised of 1,108.6 acres, with 671 acres devoted to residential development, 49 acres for commercial/mixed use, 43 acres of parks, 20 acres of schools, 282.6 acres of natural open space, and 43 acres for project roadways. Refer to Section 1.5, Project Summary, for a comparison of the McCanna Hills project's land use summary as amended with the Pressman Specific Plan land use plan previously approved with SP No. 246.

In April 2005 the County of Riverside Board of Supervisors adopted Amendment No. 1 (SP 246A1) to Specific Plan 246, which was also given the new name of McCanna Hills Specific Plan. In addition, Addendum No.1 to EIR No. 319 was approved by the County in compliance with CEQA in conjunction with SP 246A1 at the same time. The project developer/applicant in 2005 requested a revision to the project boundaries and changes in land uses and/or densities at other locations on the project site. A transportation corridor route alternative had been referenced in the northerly portion of the Specific Plan area in 2005, when SP 246A1 was approved, but has now been removed with Amendment No. 3. A proposed Specific Plan 246 Amendment No.2 was filed in 2007, but was then withdrawn and no new approvals were made in conjunction with the Specific Plan at that time.

1.3 Adjusted Project Area

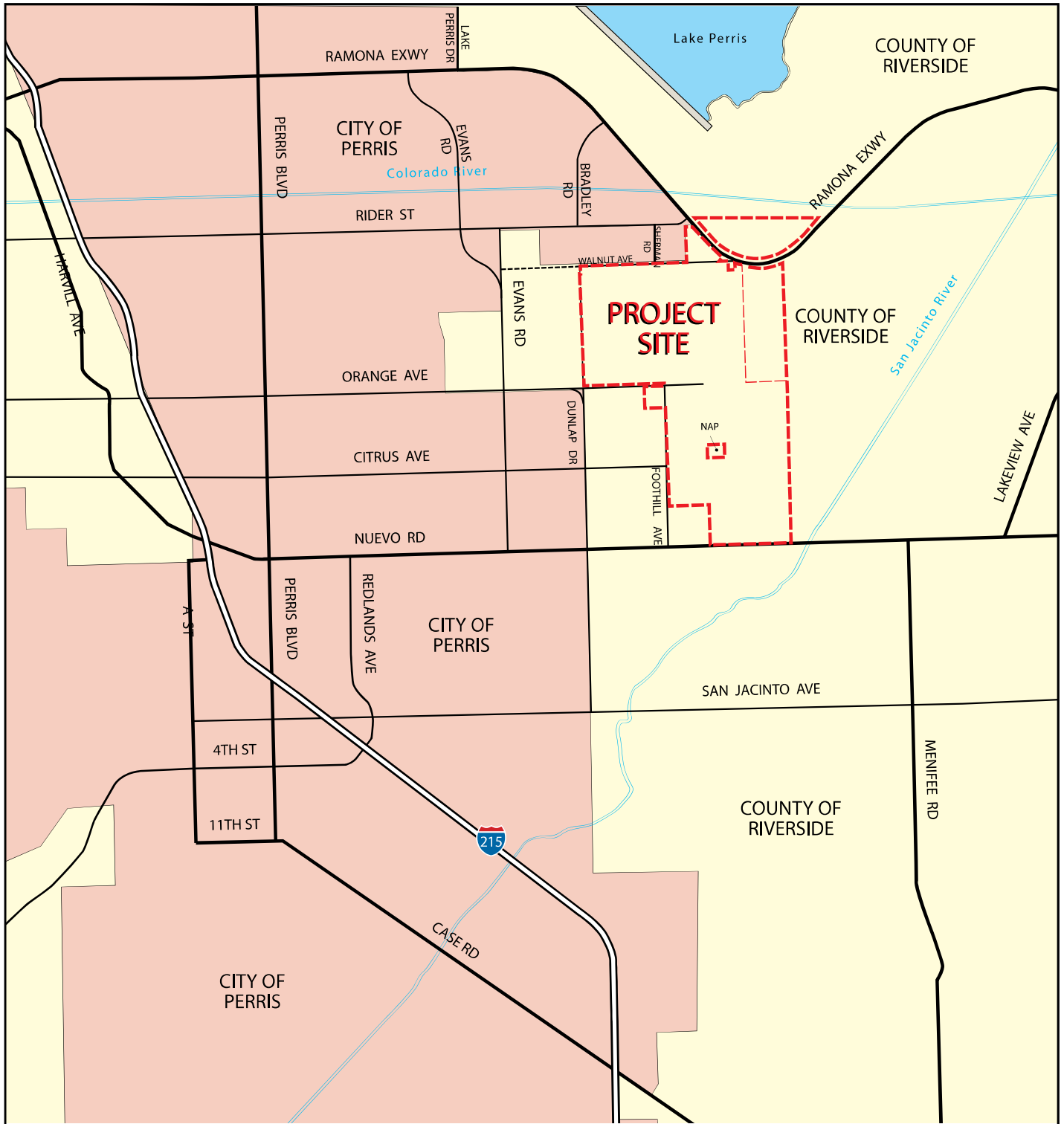
McCanna Hills, as the amended Specific Plan is now referred to, includes 1147.32 acres. As amended, the McCanna Hills Specific Plan provides the following basic revisions to the original Preissman Specific Plan area to reflect the current property ownership conditions, which are depicted in Exhibit 1.4, ADJUSTED PROJECT AREA, and summarized as follows:

- Approximately 42-acres in the northern portion of the project site (proposed new PAs 15 & 16) are converted from proposed residential use to school use, as these parcels have been acquired by the Val Verde Unified School District for school construction.
- A 33-acre area in the southeast corner is added by Specific Plan No. 246, Amendment 1, for residential, open space and major roadway improvements. This area was previously included in the 1992 approved StoneRidge Specific Plan (SP 239) with commercial and residential uses. The owner of this acreage is the same as the rest of SP No. 246 and different from SP No. 239 and therefore has approved of the transfer. This area is to be deleted from SP No. 239 by a separate action. In the McCanna Hills Specific Plan Amendment, this area is proposed with residential, commercial and open space uses, similar to the StoneRidge Specific Plan as previously approved.
- The revised Specific Plan area is re-divided into 51 planning areas comprised of residential, commercial, open space, school sites, and parks. Certain planning areas in the northern part of the Specific Plan area as amended are further subdivided into "A", "B", and "C" sub-parts. Planning Areas 7, 20, 21, 22 and 26, and a portion of Planning Area 25 are being retained unamended from the previous adopted SP No. 246. The amended portion of the Specific Plan Area (excluding PA's 7, 20, 21, 22, 25 and 26) is 930.32 acres.
- Development densities are reallocated over the project site, with a gross overall density not to exceed 2.8.

Refer to Section 1.5, Project Summary, for the new SP No. 246, Amendment Nos. 1 and 3 project land use summary, market characteristics and objectives.

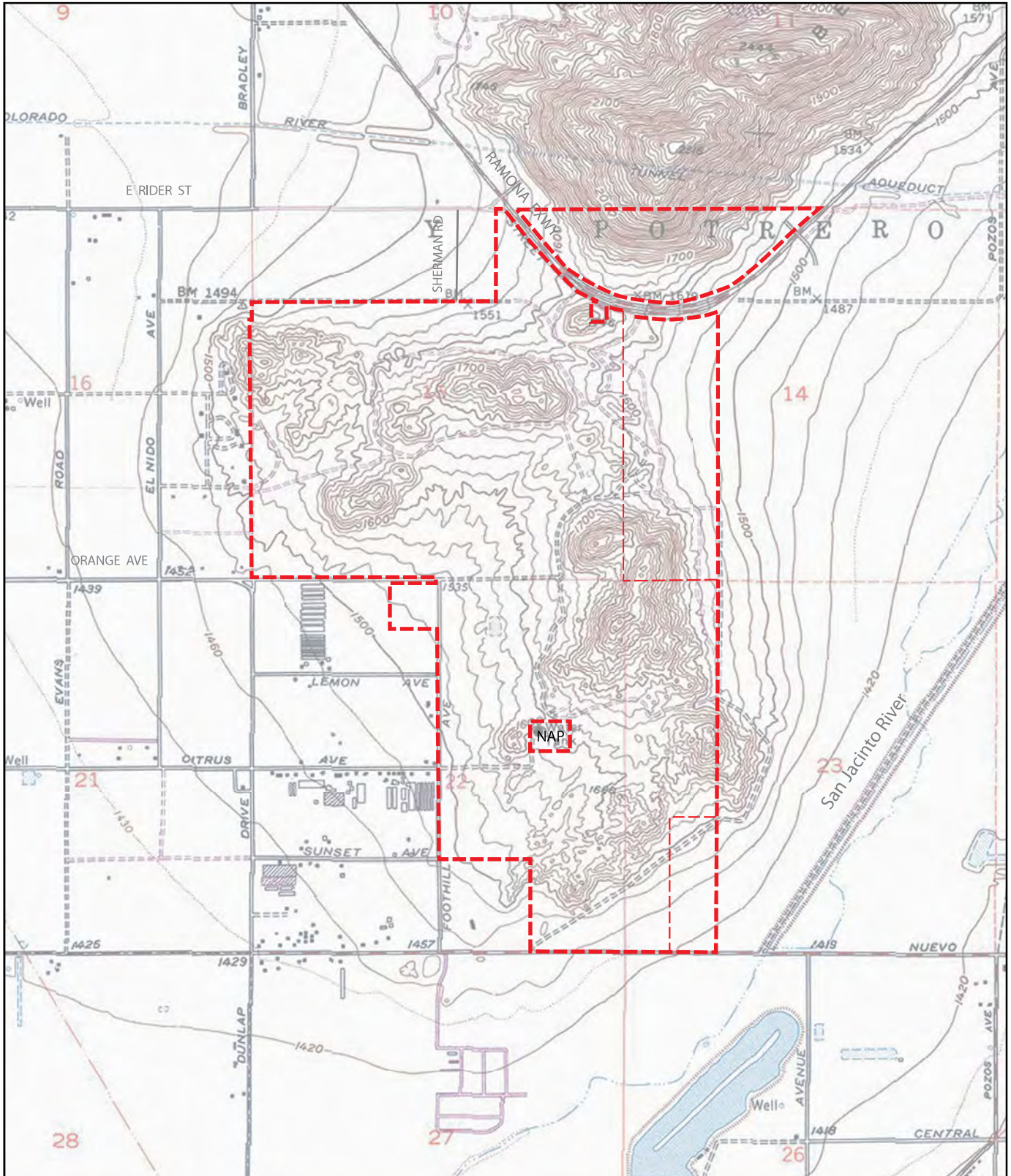
1.4 Project Setting

The McCanna Hills Specific Plan project site is within unincorporated Riverside County, and partially abuts the City of Perris to the north. The City of Perris boundary is also located a half-mile to the west. The communities of Lakeview and Nuevo are located to the east and southeast respectively. Nearby landmarks include Lake Perris located directly to the north, March Air Reserve Base located northwest of the site, and the San Jacinto River located to the east. The project site is vacant except for two existing schools (Sierra Vista Elementary and Lakeside Middle Schools, part of the Val Verde School District) that were built in the northern part of the site in 2003. There are two water reservoirs tanks owned by Eastern Municipal Water District located on a not a part (NAP) parcel in the center of the south half of the project site. See Exhibit 1.3, AERIAL PHOTOGRAPH.



--- PROJECT BOUNDARY

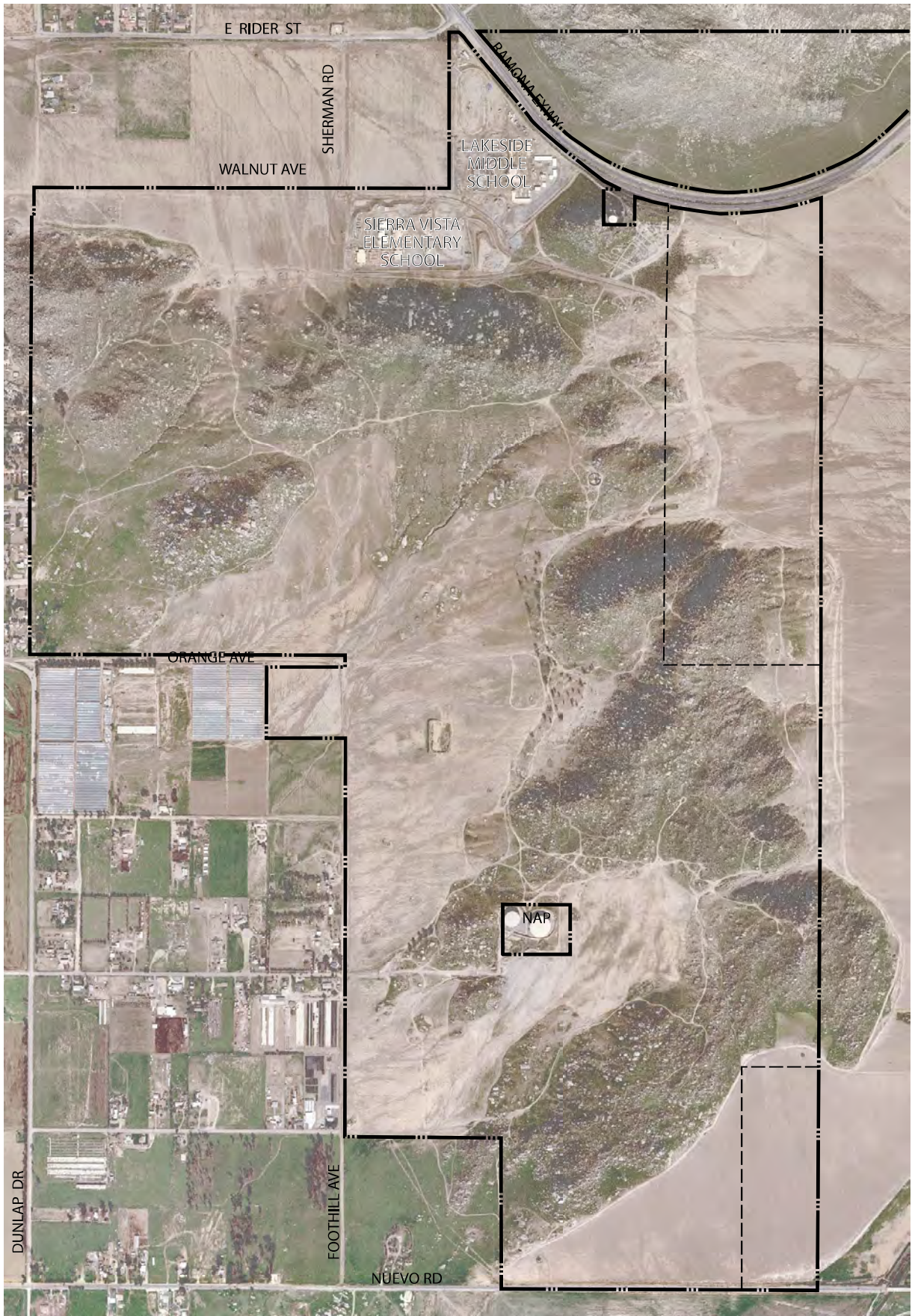




7.5' USGS - PERRIS, CA QUADRANGLE



--- PROJECT BOUNDARY



NOTE: SCHOOLS ARE CURRENTLY FULLY DEVELOPED AND IN USE.

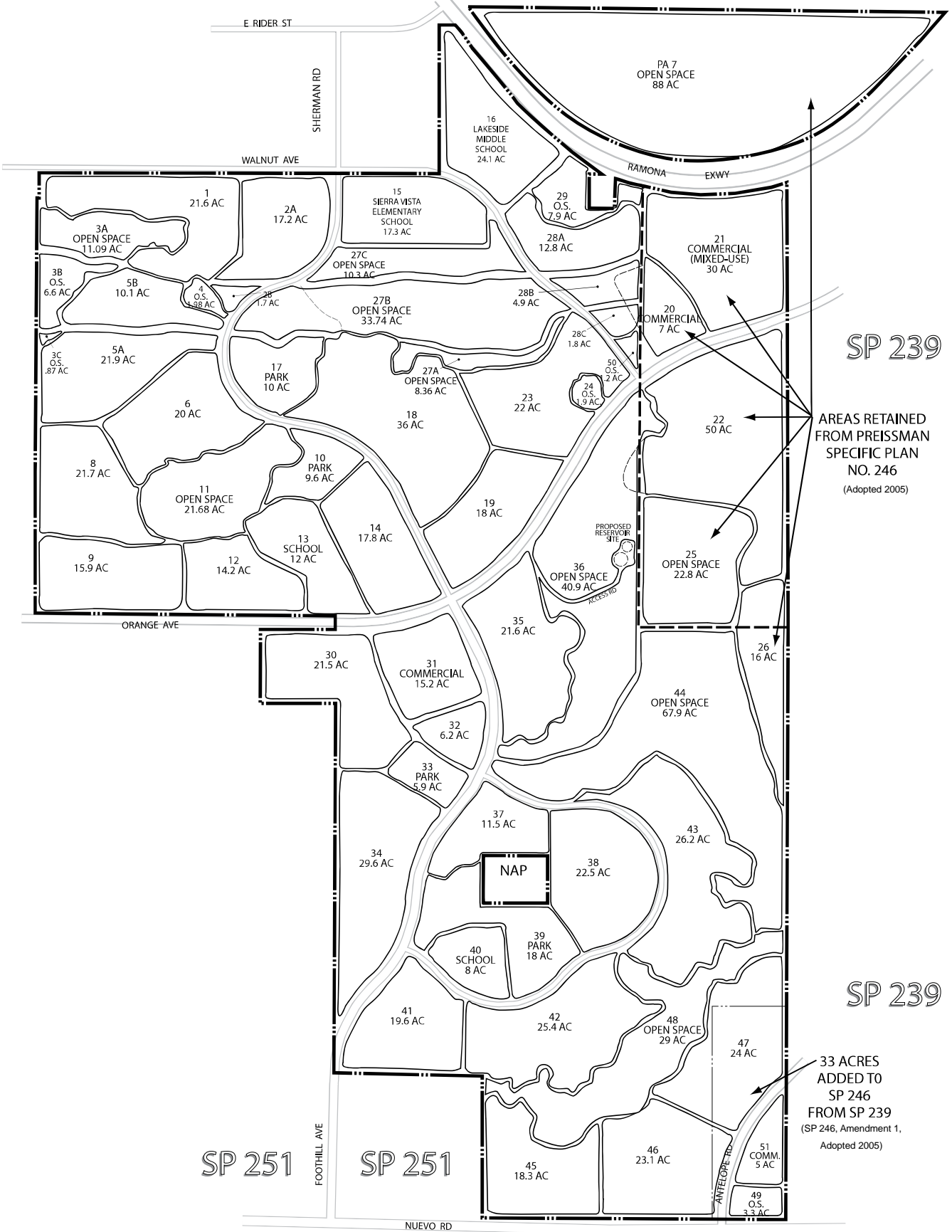


04-15-2015 JN 145159

McCanna Hills
SP 246 AMENDMENT 3

AERIAL PHOTOGRAPH

EXHIBIT 1.3



SP 239

AREAS RETAINED FROM PREISSMAN SPECIFIC PLAN NO. 246 (Adopted 2005)

SP 239

33 ACRES ADDED TO SP 246 FROM SP 239 (SP 246, Amendment 1, Adopted 2005)

SP 251 SP 251



Michael Baker INTERNATIONAL



04-15-2015 JN 145159

McCanna Hills SP 246 AMENDMENT 3

ADJUSTED PROJECT AREA

The site lies east of Interstate 215 and south of the 60 Freeway. At the north end of the project is the Ramona Expressway, a major east/west transit corridor, and at the south end is Nuevo Road, a regional arterial. Also adjacent to the project site, as shown in Exhibit 1.1 and Exhibit 1.2, are Foothill Avenue, currently a local unpaved roadway, and Walnut Avenue, currently an unimproved proposed east/west collector roadway. Orange Avenue, an east/west proposed arterial, is located on the east side of the project approximately midway along the project's west side. Sherman Road, a north/south local street on the west side of the existing school sites, provides entry to the site from the north off of Rider Street.

The McCanna Hills Specific Plan is surrounded in large part by other proposed similar development. The adopted StoneRidge Specific Plan (SP No. 239) abuts the project site to the east. The proposed Creekside development is located south of Nuevo Road. The adopted Lake Nuevo Village Specific Plan (SP No. 251) is located at the southwest corner of the McCanna Hills project area. The May Ranch and Villages of Avalon developments in the City of Perris are located to the immediate north with construction underway (north of Rider Street). Additional residential development is proposed in the City of Perris to the west of Dunlap Drive and on the north side of Walnut Avenue. The area east and south is currently vacant; however, development is proposed to start in the near future. Rural residential and limited agricultural use has existed to the west and southwest. Open space and the Lake Perris State Recreational Area is located north of the Ramona Expressway.

1.5 Project Summary

The McCanna Hills Specific Plan as amended designates 575.1 acres of the project area as residential land use with a maximum of 3,210 residential dwelling units allowed, 57.2 acres for commercial retail, 43.5 acres for community parks, 61.4 acres for schools, 357.52 acres for open space, 51.4 acres for major roadways, and 1.2 acres for proposed reservoir site. The overall total gross density of the project will be 2.8 dwelling units per acre. Table 1-1, MCCANNA HILLS SPECIFIC PLAN LAND USE SUMMARY AND COMPARISON WITH PREISSMAN SPECIFIC PLAN, sets forth the land use acreages and corresponding percentage of area for the McCanna Hills Specific Plan as amended. This table also provides for comparison purposes a land use summary of the previous Preissman Specific Plan that was adopted in 1994.

TABLE 1-1
McCanna Hills Specific Plan Land Use Summary
and Comparison with Preissman Specific Plan

Land Use	2005/2015 McCanna Hills Specific Plan SP No. 246, Amendments 1 and 3		1994 Preissman Specific Plan SP No. 246	
	Acres	Percentage of Acreage	Acres	Percentage of Acreage
Residential	575.1	50.1%	671.0	60.5%
Parks	43.5	3.8%	43.0	3.9%
Open Space	357.52	31.2%	282.6	25.5%
Commercial Retail	57.2	5.0%	49.0	4.4%
Schools	61.4	5.3%	20.0	1.8%
Major Roadways	51.4	4.5%	43.0	3.9%
Reservoir Site (proposed)	1.2	0.1%	0.0	0.0%
Total	1,147.32 ²	100%	1,108.6 ¹	100%
Maximum Dwelling Units	3,210 ³		3,088	
Gross Overall Density (DU/AC)	2.8		2.8	

- 1.) Total project acreage figure is standardized by excluding "Not a Part" areas. The adopted 1994 SP No. 246 included 5.4 acres of "Not a Part" areas in its total acreage figure.
- 2.) Total project acreage figure for the McCanna Hills Specific Plan includes a) the addition of 33 acres in the southeast corner of the project area that previously was part of the 1992 approved StoneRidge Specific Plan, SP No. 239; and b) a recalculation of project acreage utilizing more current boundary information.
- 3.) The maximum number of dwelling units in the McCanna Hills Specific Plan's designated residential land use areas includes approximately 122 equivalent dwelling units of development potential attributable to the 33 acres being included within McCanna Hills from SP No. 239. These dwelling units have been dispersed throughout the specific plan amendment area.

The land use plan for the McCanna Hills Specific Plan has 10% less land use area designated for residential development than the previously adopted Preissman Specific Plan. The McCanna Hills Specific Plan has a higher percentage of the overall project area designated as open space than the previous Preissman plan. The amended area of the McCanna Hills Specific Plan includes slightly more commercial land use. However, the 30 plus acres of commercial area that was previously designated in the northeast corner of the 1994 Preissman plan is anticipated to be eventually transferred to the adjacent StoneRidge Specific Plan (SP No. 239). The McCanna Hills plan relocates commercial area previously designated in the Preissman plan from Nuevo Road, to the core of the project area to integrate better into the development and to improve its potential viability. The McCanna Hills plan also substantially increases the area designated for schools. Finally, the overall gross residential density (2.8 DU/AC) of the McCanna Hills Specific Plan is comparable to that of the Preissman Specific Plan as noted in Table 1-1 above.

Planning Areas 7, 20, 21, 22, 25 (portion) and 26 have been retained from the adopted 1994 Preissman Specific Plan. The acreages of these retained planning areas are included in total land use acreages of the 2005/2015 McCanna Hills Specific Plan in Table 1-1 above. The development of these retained planning areas will remain subject to the Preissman Specific Plan (SP No. 246) as adopted in 1994. These planning areas are under the same ownership as the StoneRidge Specific Plan (SP No. 239) to the east and pursuant to this they are anticipated to develop in conjunction with this other specific plan.

1.5.1 PROJECT MARKET CHARACTERISTICS

The McCanna Hills Specific Plan community design includes a series of villages encompassing open space, recreational uses, schools and commercial uses, connected through a series of pedestrian pathways, trails and bike trails. Each village includes a park and/or open space areas that provide opportunities for recreation and for interaction with neighbors. A variety of residential housing types and architectural styles are allowed to address varying lifestyles, from families to singles and retirees. The housing products also include both detached and attached units in order to help satisfy demands for the area to maintain its regional fair share of housing.

The overall community theme and character will be achieved through elements such as parks, streetscapes and landscape features, setting the general framework for each village and providing guidance for individual planning areas to ensure continuity. The development of McCanna Hills will result in a cohesive community, emphasizing connectivity between land uses providing a pleasant safe environment for residents.

1.5.2 PROJECT OBJECTIVES

The McCanna Hills Specific Plan is designed to ensure that development will occur in a manner responsive to site characteristics and community improvements. McCanna Hill's relationship to the General Plan is discussed in greater detail in Section 6.0. The project's objectives are summarized as follows:

❖ Land Use

- Reflect a project boundary consistent with ownership conditions.
- Propose a development that is consistent with the Riverside County Integrated Project (RCIP).
- Provide a balanced land use pattern that promotes compatibility with surrounding land uses and satisfies the developer's fiscal objectives.

❖ Circulation

- Provide a safe and efficient roadway network, linking all internal elements of the planned community with the surrounding area.
- Revise the location and design of facilities connecting to Riverside County's General Plan roadway system to enhance regional vehicular movement.
- Identify new project access and entry points based on current Riverside County plans and conditions.

- Encourage alternative modes of transportation (e.g. bicycle and pedestrian trails), reducing dependence on the automobile.

❖ **Drainage**

- Provide adequate drainage, flood control and water quality improvements, which satisfy applicable local, state and federal criteria.

❖ **Public Services/Utilities**

- Provide adequate services, utilities and infrastructure in a timely manner as development occurs.

❖ **Phasing**

- Utilize a village concept for orderly phasing of development and infrastructure within McCanna Hills.

❖ **Recreation and Open Space**

- Provide adequate recreation facilities and open space which satisfy local requirements.

❖ **Schools**

- Ensure provision of adequate education facilities throughout the planned community, pursuant to applicable school district and state requirements.

❖ **Community Character**

- Provide neighborhoods with distinct identities founded in the particular character of the landform defining them.
- Insure quality in the planned community with landscaping, signage and community entry design based on specific design objectives.
- Provide parkway corridors whose elements contribute to safe and attractive community design.

❖ **Housing**

- Provide a range of high quality housing opportunities, responding to market demand within the developing economic profile of the area.
- Institute innovative development standards for long-range development of the project that responds to development trends, market demand for housing and the availability of services.

❖ **Environmental Impacts**

- Propose a development that is fully consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (WRMSHCP).

- Reduce grading, preserve natural landforms, and direct development to those onsite locations that can accommodate it.
- Limit the overall environmental impacts generated by the revised project so that they are less than those environmental impacts documented in the previous environmental impact report.

1.6 Document Purpose

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a specific plan of development for any area covered by a general plan, in order to establish a systematic method for implementation of the agency's general plan. The Riverside County General Plan establishes objectives that mandate the preparation of individual specific plan documents in order to ensure that new developments meet basic standards for environmental safety, infrastructure availability, quality of structural design, quality of planning, and preservation of aesthetic quality of cultural identity.

The McCanna Hills development amends the previous Preissman Specific Plan, SP 246, adopted by the Riverside County Board of Supervisors on December 27, 1994. In compliance with the California Environmental Quality Act (CEQA) and County of Riverside guidelines, Environmental Impact Report (EIR) 319 (Preissman Specific Plan's EIR) was certified by the Board of Supervisors on December 27, 1994 prior to action taken on SP 246.

In April 2005 the County of Riverside Board of Supervisors adopted Amendment No. 1 (SP 246A1) to Specific Plan 246, which was given the new name of the McCanna Hills Specific Plan. In addition, Addendum No.1 to EIR No. 319 was approved by the County in compliance with CEQA in conjunction with SP 246A1 at the same time.

With the proposed SP 246 Amendment 3, the addendum to EIR 319 was revised as Addendum No. 2 to the EIR. The EIR Addendum No. 2 portion of this document (see Section 7.1) has been prepared in accordance with the California Environmental Quality Act (CEQA) and County of Riverside requirements for preparing addendums to environmental impact reports. The Addendums to EIR 319 are intended to document that the McCanna Hills project's environmental impacts are not increased, and in fact are reduced whenever possible, from those documented in the original environmental impact report for Specific Plan No. 246. A matrix outlining the project's environmental summary is incorporated into Section 1.9, EIR Issues Matrix of the Specific Plan, with further description provided in the "Addendum Environmental Impact Report" section herein.

1.7 Implementing Entitlements

In order to implement the McCanna Hills Specific Plan, the following entitlements were included among the initial discretionary approvals obtained from Riverside County:

- Adoption of Specific Plan No. 246, Amendment 1;
- Certification of the Addendum to EIR No. 319;
- Adoption of Change of Zone No. 6981;
- Approval of parcel maps for conveying land and of master Tentative Parcel Map No. 32438 for defining planning areas (all Schedule I maps).

Processing of individual planning area tentative maps to create legal building lots for single family homes, as well as plot plans for depiction of multi family development plans, will be pursued during a subsequent round of discretionary approvals.

Other actions that may be required during project implementation include grading permits, road improvements and drainage infrastructure. Associated permits may also be required by local agencies (e.g. Eastern Municipal Water District) for the construction of water and sewer facilities, such as water tanks and pipelines.

1.8 Specific Plan Modifications

1.8.1 MAJOR MODIFICATIONS

Once adopted, McCanna Hills may be amended utilizing the procedure by which it was originally adopted. All sections or portions of the Specific Plan to be changed or affected must be included in the specific plan amendment. The approved Specific Plan will comply with any requirements within the Riverside County General Plan's Administration Element regarding processing of substantive changes to the Specific Plan which would also trigger the need for a General Plan Amendment.

1.8.2 MINOR MODIFICATIONS

Minor modifications to the approved Specific Plan will be administrative in nature and allowed at the discretion of the Riverside County Planning Director. Minor modifications to the Specific Plan must be consistent with the purpose and intent of McCanna Hills (Specific Plan 246, Amendment No. 3) as adopted. Minor modifications must also be determined by the Planning Director to improve the previously-adopted plan.

The McCanna Hills specific plan amendment incorporates a project-specific zoning ordinance proposed to modify the provisions of Ordinance 348 as they pertain to development of the project site. Furthermore, this document contains a set of design guidelines which have been inspired by the Countywide Design Standards and Guidelines adopted by the Riverside County Board of Supervisors on January 13, 2004. When provisions of the Specific Plan address an implementation issue ambiguously or are silent thereon, the provisions within Ordinance 348 or within the Countywide Design Guidelines, whichever most applies to the implementation issue under discussion, will prevail. However, where Specific Plan standards or provisions differ from those contained in either of these two development regulatory documents, the Specific Plan standards will prevail.

The following minor modifications to the Specific Plan, or minor deviations from the Specific Plan reflected in its implementing development applications, would not require a specific plan amendment, subject to the review and approval of the Planning Director and the Planning Commission, where applicable:

- Adjustments by substantial conformance application to the maximum allowed dwelling units per planning area approved with the Specific Plan, provided that (1) the maximum number of dwelling units (DUs) per planning area does

not exceed the maximum value of its density range; and (2) the maximum total project DUs of 3,210 DUs is not exceeded;

- Adjustments to the gross acreage of planning areas, or redefinition of planning area boundaries, provided that (1) the maximum DUs for the planning area adopted under the McCanna Hills specific plan amendment is not exceeded, and (2) the maximum total project DUs of 3,210 DUs is not exceeded;
- Refinements to the site designs and architectural styles of the various residential units;
- Minor adjustments to roadway and trail alignments, provided that such changes are consistent with the adopted streetscape concept;
- Minor adjustments to landscaping materials and/or locations, wall height/alignment, or neighborhood/village entry design, provided that the modifications comply with the intent of Section 5.0, Design Guidelines, of the McCanna Hills project; and
- The size and configuration of residential lots; and the dimensions and locations of improvements on those lots modified to accommodate home builder requirements; provided that the modifications comply with the ordinances, policies and standards governing processing of tentative or vesting tentative tract maps for the project site.

1.9 EIR Issues Matrix and Mitigation Monitoring Program

Table 1-2, located on the following pages, focuses on specific potential environmental impacts of the McCanna Hills project. These potential impacts have been found in EIR 319 and related EIR addendums to be potentially significant if not properly mitigated. By implementing the program of mitigation measures inventoried in Table 1-2 at each designated milestone, all environmental impacts of McCanna Hills (with the exception of air quality, open space and conservation, wildlife and vegetation, and cumulative noise impacts, for which the Board of Supervisors adopted a statement of overriding considerations on December 27, 1994) can be reduced to a level of significance that is less than was disclosed in the original adopted EIR.

The mitigation measures included in this matrix are the mitigation measures from the previous EIR No. 319 as modified in the Addendum EIR. The modifications to the mitigation measures are shown with strikethroughs for the deleted text and underlines for the added text. The modifications to the mitigation measures have been made to further reduce the potential impacts of the project within significance levels previously identified in EIR No. 319. The relative significance levels for each potential impact has remained the same or below the significance level identified in the previous EIR No. 319. An example is Air Quality; Air Quality was found to have significant and unavoidable impacts. The project as modified is designed to reduce the impacts that were identified in the previous EIR No. 319, but the impacts would remain significant and unavoidable. For further explanation of the EIR Addendum, please see Sections 7.1 and 7.2.

TABLE 1-2
ADDENDUM TO EIR NO. 319 ISSUES MATRIX
REPORTING CHECKLIST
SCH # 89050106

The California Environmental Quality Act (CEQA) requires that when a public agency completes an environmental document, which includes measures to mitigate or avoid significant environmental effects, the public agency must adopt a reporting or monitoring program. This requirement ensures that environmental impacts found to be significant will be mitigated. The reporting or monitoring program must be designed to ensure compliance during project implementation (Public Resources Code Section 21081.6).

In compliance with Public Resources Code Section 21081.6, the attached MITIGATION MONITORING AND REPORTING CHECKLIST has been prepared for McCanna Hills Specific Plan (Specific Plan No. 246, Amendment 3). This Mitigation Monitoring and Reporting Checklist is intended to provide verification that all applicable Conditions of Approval relative to significant environmental impacts are monitored and reported. Monitoring will include 1) verification that each mitigation measure has been implemented; 2) recordation of the actions taken to implement each mitigation; and 3) retention of records in the Specific Plan No. 246, Amendment 3 Project File.

This Mitigation Monitoring Program delineates responsibilities for monitoring the project, but also allows the County of Riverside flexibility and discretion in determining how best to monitor implementation. Monitoring procedures will vary according to the type of mitigation measure. Adequate monitoring consists of demonstrating that monitoring procedures took place and that mitigation measures were implemented. Reporting consists of establishing a record that a mitigation measure is being implemented, and generally involves the following steps:

- The County of Riverside distributes reporting forms to the appropriate entities for verification of compliance.
- Department/agencies with reporting responsibilities will review the EIR, which provides general background information on the reasons for including specified mitigation measures.
- Compliance problems or exceptions will be addressed to the County of Riverside as appropriate.
- Periodic meetings may be held during the project implementation to report on compliance of mitigation measures.
- Responsible parties provide the County of Riverside with verification that monitoring has been conducted and ensure, as applicable, that mitigation measures have been implemented. Monitoring compliance may be documented through existing review and approval program such as field inspection reports and plan review.
- The County of Riverside or Applicant prepares a reporting form periodically during the construction phase and an annual report summarizing all project mitigation monitoring efforts.
- Appropriate mitigation measures will be included in construction documents and/or conditions of permits/approvals.

Minor changes to the Mitigation Monitoring Program, if required, would be made in accordance with CEQA and would be permitted after further review and approval by the County of Riverside. Such changes could include reassignment of monitoring and reporting responsibilities, program redesign to

make any appropriate improvements, and/or modification, substitution or deletion of mitigation measures subject to conditions described in CEQA Guidelines Section 15162. No change will be permitted unless the Mitigation Monitoring and Reporting Program continues to satisfy the requirements of Public Resources Code Section 21081.6.

The following table represents the Mitigation Monitoring Program and does not reflect deleted mitigation measures. For complete analysis of previous mitigation measures in relation to the table below, refer to Section 7.

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
AESTHETICS				
1-1 Vegetation removed during grading in the areas adjacent to the Ramona Expressway shall be replaced and maintained as part of the development. Landscaped entry nodes shall be provided and maintained by the developer, CSA, or homeowners' association.	Developer	During Construction	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
1-2 The Specific Plan's Grading Plan and Landscape Plan shall be followed throughout the project.	Developer	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
1-3 The unique rock outcroppings of the Bernasconi Hills shall be maintained as open space, or in areas where development is scheduled, shall follow standards as delineated in the Specific Plan.	Developer	Continually	County of Riverside Building & Safety Dep't. & Planning Dep't.	County of Riverside Transportation and Land Management Agency
1-4 Watering trucks shall be used during construction activities to help prevent dust and erosion.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
1-5 Commercial centers shall be buffered from to adjacent residential planning areas and roadways.	Project Architect	Plan Review	County of Riverside Planning Dep't. and Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
1-6 Mitigation monitoring shall be provided by the County of Riverside as part of their review of subsequent development applications.	County of Riverside	Plan Review	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
ENERGY CONSERVATION				
2-1 Title 24 energy standards shall be utilized for construction of residential units, thereby reducing the use of energy for space heating and cooling and other domestic purposes.	Project Architect	Plan Review	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
2-2 Bicycle lanes shall be provided, as approved by Riverside County Transportation Department, within the road right-of-way. Trails, as approved, shall be coordinated with the General Plan's Bicycle/Hiking Trails Plan, and facilitate the use of alternative transportation in the project area.	Project Architect	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
2-3 Passive solar heating techniques shall be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting deciduous trees on southerly elevations, providing adequate roof overhangs and insulation and the installation of simple heat storage systems.	Project Architect	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
2-4 If gas service is economically feasible, when compared to electrical service, the developer shall provide space and water heating shall be provided by gas instead of electricity.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
2-5 These mitigation measures shall be incorporated into the project design. Compliance shall be determined as part of the mitigation monitoring program prior to project approval.	Project Architect	Plan Review	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
CULTURAL RESOURCES				
3-1 Archaeology: Of the sites identified during the course of the investigation, 38 consisted of bedrock grinding features containing milling slicks and/or mortars. These sites have been recorded, mapped and photographed. The two locations of isolated artifacts have been documented. These locations do not appear to be significant and no further archaeological work is indicated. However, should any cultural materials be uncovered during grading and trenching activities, the ground-altering activities shall be halted and a qualified archaeologist shall evaluate these deposits.	Developer	During Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
3-2 CA-RIV-3755H is the only site clearly situated within an area to be fully developed. Because the visible attributes suggest that the site is not significant, a data recovery program would not be required. This site appears to have little chance of being significant, particularly since there is no record of historic habitation at this spot. If the site is determined to be significant during grading a data recovery program shall include specialized analysis of	Developer	During Grading	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
ceramic, glass, and metallic artifacts as well as any organic materials such as butchered bone. In addition, an experienced specialist shall study any rock art found at the site.				
3-3 All of the sites encountered during the course of this investigation as having identifiable midden deposits, CA-Riv-3389 and historic site H&M No. 9-44, and areas of possible midden deposits, H&M No. 28/29 and H&M No. 9-40, shall be tested to determine their potential to yield significant information. The testing shall determine whether intact subsurface cultural deposits exist at these sites, to what time period of cultural horizon they pertain, and whether or not sufficient artifacts are present in context to address specific research questions.	Developer	Prior to Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
3-4 Along with the testing program, a research design shall be formulated including significant research questions which could be addressed by the archaeological sites in the study area. These research questions shall be developed so as to include those presented in the previous research section of the archaeological survey prepared for the project.	Developer	Plan Review	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
3-5 During grading activities in areas with known potential significant cultural resources, grading conferences shall be held with heavy equipment operators to inform them of	Developer	During Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
potential deposits. A qualified archaeologist shall monitor grading activities in these areas.				
3-6 In areas where subsurface testing is taking place, an archaeologist shall be present. In sites with known potential for artifacts of Native American origin, it is recommended that Native American Observers be employed to monitor excavation activities.	Developer	Prior to Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
3-7 A mitigation monitoring program for the site shall be developed for archaeological and historic resources, and directed by a qualified archaeologist.	Developer	Plan Review	County of Riverside Environmental Programs Dep't. & Planning Dep't.	County of Riverside Transportation and Land Management Agency
3-8 In the event of an archaeological find, the University of California Riverside, Archaeology Department, or other agency selected at the discretion of Riverside County Planning Department, shall be notified to determine jurisdictional control.	Developer	During Construction	County of Riverside Environmental Programs Dep't. & Planning Dep't.	County of Riverside Transportation and Land Management Agency
3-9 A report of findings, with attached artifact inventory, shall be submitted to Riverside County Planning Department, indicating completion of the mitigation program for the construction phases of the project.	Developer	Plan Review	County of Riverside Environmental Programs Dep't. & Planning Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>Paleontology: Earthmoving occurring at depths greater than 10 feet shall be monitored by a qualified paleontologist; contracted to determine the significance of these resources and to recommend mitigation. This is consistent with the Riverside County General Plan and with recommendations from the Paleontological Survey Study.</p>	Developer	Prior to Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
<p>The following mitigation shall be incorporated into a mitigation monitoring program for paleontological resources:</p>	Developer	Plan Review	County of Riverside Environmental Programs Dep't. & Planning Dep't.	County of Riverside Transportation and Land Management Agency
<p>3-10 Prior to grading and trenching activities a grading conference shall be held with the heavy equipment operators of excavation machinery.</p>	Developer	During Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>3-11 The low-lying, level areas in the McCanna Hills Specific Plan Amendment Nos. 246A1&3 project area have a high potential to contain potentially significant fossil types because they consist of Pleistocene (Ice Age) alluvium known to contain fossils. Thus, paleontological monitoring (observation) of grading within these areas of the property shall be conducted. The actual presence of fossil resources is generally unknown until grading reveals them. If fossil materials are discovered during monitoring, construction work shall cease in that location, materials shall be removed, then the project shall continue.</p>	<p>Developer</p>	<p>During Grading</p>	<p>County of Riverside Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>3-12 Full-time monitoring shall be provided in areas where paleontologic resources are uncovered, if any are found. The qualified paleontologic monitor shall be equipped to remove fossils rapidly to avoid construction delays. The paleontologist shall be empowered to temporarily halt or redirect excavation equipment while fossils are being removed. Since the most cost effective method of salvage has been determined to be the removal of sediment containing the fossils to stockpiles off-site, where they can be removed by screen washing, this method will be incorporated into the mitigation monitoring program.</p>	<p>Developer</p>	<p>During Construction</p>	<p>County of Riverside Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
3-13 If specimens are found, they shall be prepared to a point of identification. This will allow the fossils to be described in a report of the findings.	Developer	During Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
3-14 A report of the findings, with attached specimen inventory, shall be submitted to Riverside County Planning Department, indicating completion of the mitigation monitoring process at the end of the construction phase.	Developer	Plan Review	County of Riverside Environmental Programs Dep't. & Planning Dep't.	County of Riverside Transportation and Land Management Agency
WATER AND SEWER				
4-1 Adequate facilities, water lines and sewer lines are being planned by the project engineers and shall be revised by Eastern Municipal Water District (EMWD) prior to the issuance of permits.	Project Engineer	Prior to Issuance of Permits	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-2 All water and sewer lines shall be placed underground.	Project Engineer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-3 All lines shall be designed per the Eastern Municipal Water District's requirements.	Project Engineer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-4 The infrastructure systems shall be dedicated to and managed by the EMWD.	Developer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-5 Water and sewer disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.	Construction Contractor	Plan Review	County of Riverside Environmental Health Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
4-6 The Eastern Municipal Water District is the indicated agency for the mitigation monitoring program for the water and sewer infrastructure improvements.	Developer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-7 Consideration shall be given to use of reclaimed water for green space irrigation.	Developer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-8 If it is determined that reclaimed water use is appropriate, the project proponent shall submit a conceptual plan of reclaimed water service to the Eastern Municipal Water District's Customer Service Department for review and approval. This plan shall identify proposed uses of reclaimed water and estimates of the volume of reclaimed water needed to satisfy the project demands.	Developer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
4-9 A plan for service for water shall be submitted to EMWD's Customer Service Department for review to determine exact storage requirements.	Developer	Plan Review	Eastern Municipal Water District	County of Riverside Transportation and Land Management Agency
FIRE SERVICES				
5-1 Buildings and water systems shall be designed according to the Uniform Building Code and Uniform Plumbing Code and the Riverside County Fire Protection Ordinance 787.	Project Architect	Plan Review	County of Riverside Building & Safety Dep't. & Fire Dep't.	County of Riverside Transportation and Land Management Agency
5-2 All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't. & Fire Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
No. 460 and/or No. 787, subject to the approval of Riverside County Fire Department.				
5-3 Water improvement plans shall be reviewed and approved by the Riverside County Fire Department prior to the recordation of final site plans. The project shall include fire hydrants and shall accommodate sufficient fire flows in accordance with the directives of the Fire Department.	Developer	Plan Review	County of Riverside Fire Dep't.	County of Riverside Transportation and Land Management Agency
5-4 The proposed project shall generate fees for the "Fire Department Impact Mitigation Program", based on a one-time fee of \$500.00 per residential dwelling unit and \$3,461 per acre for commercial area.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
5-5 The project proponents shall participate in the fire protection mitigation program as adopted by the Riverside County Board of Supervisors.	Developer	Plan Review	County of Riverside Fire Dep't.	County of Riverside Transportation and Land Management Agency
5-6 These mitigation measures shall be included in the mitigation monitoring program for the project. The compliance will be determined at the plot plan stage prior to final approval.	Developer	Prior to Final Approval	County of Riverside Fire Dep't.	County of Riverside Transportation and Land Management Agency
SHERIFF SERVICES				
6-1 The Riverside County Sheriff's Department shall review development proposals for the subject site per Riverside County requirements for all development proposals. This review process allows the County Sheriff's Department	Developer	Plan Review	County of Riverside Sheriff's Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>to have an opportunity for input into design issues affecting law enforcement effectiveness and public safety and welfare. The review process allows for the identification of additional manpower and equipment needed to meet the needs of the proposed development.</p>				
<p>6-2 The McCanna Hills Specific Plan shall address and mitigate development design issues in compliance with the Sheriff's review recommendations. This compliance will enhance the quality of life for the future residents by providing greater safety and minimizing additional crime. The input from the review and the best elements of technology and design shall be utilized to discourage criminal activities.</p>	Developer	Plan Review	County of Riverside Sheriff's Dep't.	County of Riverside Transportation and Land Management Agency
<p>6-3 The commercial areas of the proposed development shall have a central management service or merchants' association, which shall further mitigate safety and crime issues within the shopping area boundaries. As in most commercial centers, a private patrol service is anticipated to be utilized to patrol the parking areas during the day and night hours with night patrols of the buildings.</p>	Developer	Prior to Occupancy	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>6-4 A portion of the development fees paid to Riverside County shall be earmarked as mitigation fees to be applied towards public facilities and service impacts, including for</p>	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
the Sheriff's Department.				
<p>6-5 To further mitigate potential impacts of the proposed project, the following design concepts shall be incorporated within each planning area:</p> <ul style="list-style-type: none"> • Circulation for pedestrians, vehicles, and police patrols. • Lighting of streets, walkways, and bikeways. • Visibility of doors and windows and between buildings from the street. • Conformity of fencing heights and materials. • Landscaping which minimizes the potential criminal hiding places. 	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>6-6 These mitigation measures shall be incorporated into the project mitigation monitoring program. Compliance shall be determined by the appropriate county agency or county-approved, qualified consultant prior to issuance of a Notice of Completion.</p>	Developer	Prior to Issuance of Notice of Completion	County of Riverside Sheriff's Dep't.	County of Riverside Transportation and Land Management Agency
SCHOOLS				
<p>7-1 Two graded elementary school sites with roads and utility stubs shall be provided to reduce the impacts from project-related student generation.</p>	Developer	Plan Review	Val Verde Unified School District and Nuview Union School District	County of Riverside Transportation and Land Management Agency
<p>7-2 Developers' fees shall be required pursuant to State Standards or as pursuant to</p>	Developer	Prior to Issuance of Building	Val Verde Unified School District and	County of Riverside Transportation

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>an agreement with the effected School Districts prior to issuance of building permits. The donated school sites may be used in lieu of the developer fees if the school district agrees to accept the sites and waive the fees.</p>		Permit	Nuviev Union School District	and Land Management Agency
<p>7-3 The project applicant shall work with all school districts affected to insure that adequate school facilities are available to serve the project.</p>	Developer	Plan Review	Val Verde Unified School District and Nuviev Union School District	County of Riverside Transportation and Land Management Agency
<p>7-4 Val Verde Unified School District and Nuviev Union School District shall be the mitigation monitors.</p>	Developer	Plan Review	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
<p>7-5 The Perris Union High School District shall be provided mitigation fees equal to 70 percent of the actual cost per dwelling unit of providing a high school in accordance with state standards. These fees shall be as follows:</p> <p>Single-family detached - \$2,143</p> <p>Single-family attached - \$1,169</p> <p>Apartments (rental) - \$1,072</p> <p>Payment of current fee schedule amounts shall be required.</p>	Developer	Plan Review	Perris Union H. S. District	County of Riverside Transportation and Land Management Agency
PARKS AND RECREATION				
<p>8-1 Adequate park acreage, open space resources, and/or fees necessary to satisfy County open space and recreational</p>	Developer	Plan Review	County of Riverside Executive Office &	County of Riverside Transportation and Land

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
guidelines and state Quimby Act local park requirements shall be provided or fees shall be paid to the satisfaction of the County Parks and Recreation Department and the County Service Area No. 146.			Regional Parks & Recreation District	Management Agency
8-2 Approved landscape guidelines shall be employed in areas to be maintained by the Master Homeowner Association or the County of Riverside.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
8-3 Mitigation monitoring shall be required to insure compliance with these mitigation measures. The County shall approve the mitigation monitoring program for project parks as a condition of project approval.	Developer	Plan Review	County of Riverside Executive Office & Regional Parks & Recreation District	County of Riverside Transportation and Land Management Agency
UTILITIES				
9-1 The project shall extend gas, electric, telephone, and cable facilities to the site.	Developer	Plan Review	Respective Service Providers	County of Riverside Transportation and Land Management Agency
9-2 Appropriate erosion controls shall be implemented during the construction of utility trenches, including the use of watering trucks to prevent dust.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
9-3 Construction activities related to utility extension shall be limited to between the hours of 7:00 A.M. and 6:00 P.M. to reduce noise impacts to surrounding residents.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
9-4 The applicant shall comply with Southern California Edison and Southern California Gas guidelines in regard to easement	Developer	Plan Review	Southern California Edison, Southern California Gas	County of Riverside Transportation and Land Management

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
restrictions, construction guidelines, protection of pipeline easement, and potential amendments to rights-of-way in the areas of any existing easements.				Agency
9-5 Effective energy conservation techniques such as solar energy and waste heat recovery uses shall be encouraged where feasible throughout the residential and commercial areas.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
9-6 The affected utility companies shall determine compliance with these mitigation measures as a part of the mitigation monitoring program.	Developer	Plan Review	Respective Service Providers	County of Riverside Transportation and Land Management Agency
SOLID WASTE				
10-1 Riverside County is encouraging large projects and municipalities within the county to implement storage facilities for recycled materials in separate and enlarged trash enclosures, particularly within multi-family and commercial projects for adequate storage of recyclable materials. Other residential units shall also be provided with adequate solid waste bin enclosures. Multi-family and commercial uses shall be required to have detailed project design, including provision for several facilities within the project area.	Developer	Plan Review	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency
10-2 Construction waste generated during development shall be properly disposed of and/or recycled as per Riverside County Waste Management Department policies.	Construction Contractor	During Construction	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
10-3 Sewer system sludge shall be disposed of at the sewer plant in accordance with all Department of Health regulations.	Developer	During Operations	County of Riverside Environmental Health Dep't.	County of Riverside Transportation and Land Management Agency
10-4 The County of Riverside Waste Management Department shall determine compliance with general plan requirements as a part of the mitigation monitoring program for the project.	Developer	Plan Review	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency
10-5 A curbside recycling program shall be encouraged by the project developers.	Developer	Plan Review	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency
10-6 The project proponent shall inform the permitted refuse hauler for the project site of the programs being pursued relating to recycling and waste reduction (i.e., curbside recycling, buy-back centers, the collection of green and wood wastes for recycling or composting at the appropriate facility, etc.).	Developer	Plan Review	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency
10-7 The feasibility of establishing collection points within the project shall be considered at the final design stage.	Developer	Plan Review	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency
10-8 Plot plans for commercial shopping centers shall include trash disposal and recycling centers, subject to review and approval by the Riverside County Waste Management Department.	Developer	Plan Review	County of Riverside Waste Management Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
LIBRARY RESOURCES				
11-1 At full build-out the proposed project shall generate county taxes from the new residents, which is anticipated to offset some costs of providing new and adequate library facilities.	Developer	Plan Review	County of Riverside Executive Office & Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
HYDROLOGY & WATER QUALITY				
FLOODING				
12-1 The project engineers have designed a master drainage plan for the project. The proposed drainage plan utilizes the project streets and storm drains to carry storm water to the Perris Valley Storm Drain System or the San Jacinto River Channel via the StoneRidge Project, in some instances. Both systems are consistent with the regional master planned systems proposed by RCFCDD. The actual size and location of the drainage system shall be determined at the time of final design. The preliminary sizes are based on the conceptual level of hydrology, which is consistent with the Flood Control District's criteria, and are designed to direct storm flows underground when the ten-year frequency storm flows exceed the top-of-curb elevations.	Project Engineer	Plan Review	County of Riverside Flood Control and Water Conservation District	County of Riverside Transportation and Land Management Agency
12-2 If the StoneRidge Specific Plan is not implemented, the Drainage Plan for Planning Areas 20, 21, 22, 26 and 28 shall be redesigned and approved by Riverside County Planning, Building	Developer	Prior to Recordation of Final Maps or Prior to Issuance of Grading Permit, which	County of Riverside Flood Control and Water Conservation District, Building &	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
and Safety, and Flood Control District before recordation of final maps or the issuance of a grading permit, whichever occurs first. These planning area interfaces are described in detail in the McCanna Hills Specific Plan, Section 3.4.		ever comes first	Safety Dep't. & Planning Dep't.	
12-3 The drainage and flood control facilities and improvements shall be provided in accordance with the Riverside County's Flood Control and Water Conservation District requirements.	Developer	Plan Review	County of Riverside Flood Control and Water Conservation District	County of Riverside Transportation and Land Management Agency
12-4 An assessment district or other similar financing mechanism shall be developed to manage the development of required infrastructure.	Developer	Plan Review	County of Riverside Flood Control and Water Conservation District	County of Riverside Transportation and Land Management Agency
12-5 The main drainage and flood control facilities shall be maintained by the County of Riverside Flood Control District, while the local drainage devices shall be maintained by a Community Service Agency.	Developer	Plan Review	County of Riverside Flood Control and Water Conservation District & Economic Development Agency	County of Riverside Transportation and Land Management Agency
12-6 Prior to the issuance of grading permits, a drainage study shall be prepared which will address the following: <ul style="list-style-type: none"> • Methods of conveying project-generated runoff to a satisfactory point of disposal; and • Methods of containing urban pollutants in order to maintain water quality 	Developer	Prior to Issuance of Grading Permits	County of Riverside Flood Control and Water Conservation District	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
in the local watershed.				
12-7 Erosion control devices shall be used in hillside development areas to mitigate the effect of increased runoff at points of discharge. Possible erosion control devices may include temporary berms, culverts, sandbagging or desilting basins.	Developer	Plan Review	County of Riverside Flood Control and Water Conservation District	County of Riverside Transportation and Land Management Agency
12-8 At time of tentative tract map approval, areas subject to seiching shall be identified and site-specific measures, such as berming, basins, culverts, and drainage ways, shall be implemented to mitigate potential seiching of water tanks located on-site.	Developer	Prior to Tentative Tract Map Approval	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
12-9 The Riverside County Flood Control District is the indicated agency to provide the mitigation monitoring program.	Developer	Plan Review	County of Riverside Transportation and Land Management Agency	County of Riverside Transportation and Land Management Agency
12-10 Before tentative tract map approval of Planning Areas 1 and 2 subject to dam inundation shall be identified and a mitigating grading plan shall be developed to remove any human habitat from the impacted area.	Developer	Prior to Tentative Tract Map Approval	County of Riverside Flood Control and Water Conservation District and Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
WATER QUALITY 12-1 The grading procedures shall comply with Riverside County grading standards. Sand bags, temporary berms, culverts, and desiltation basins shall be utilized for erosion control during project construction and grading activities in the rainy season.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
12-2 Where feasible, the project	Developer	Prior to	County of	County of

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>shall retain slopes and drainages as a natural filtering system for street runoff. Such plantings as cattails and sedges, if not allowed to choke the drainages, can be utilized to absorb large quantities of oil and soaps, which have been introduced into the water. Location of such plantings, if feasible, shall be determined during preparation of final grading plan.</p>		<p>Approval of Final Grading Plan</p>	<p>Riverside Transportation Building & Safety Dep't.</p>	<p>Riverside Transportation and Land Management Agency</p>
<p>12-3 The project applicant shall provide a mitigation monitoring plan, approved by the County of Riverside. This plan shall be monitored by qualified personnel who will issue a notice of compliance upon completion of each project construction phase.</p> <p>Additional mitigation, such as measures offered in the U.S. Environmental Protection Agency's publication, "Water Pollution Aspects of Street Surface Contaminants", shall be encouraged. This publication provides mitigation for urban runoff through recommendations for street cleaning and prevention of pollutant generation. Implementation of the EPA recommendations lies with the local agencies, homeowners' associations and individual residents.</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Flood Control and Water Conservation District</p>	<p>County of Riverside Transportation and Land Management Agency</p>
BIOLOGICAL RESOURCES				
<p>13-1 The hillside areas of the Bernasconi Hills having a slope angle greater than 25 percent and large boulders and rock outcroppings</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Planning Dep't. and Environmental</p>	<p>County of Riverside Transportation and Land Management</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>constrain development, but provide high quality wildlife habitat. Areas associated with the Bernasconi Hills with greater than a 25 percent slope shall be maintained as open space. The land use plan shall include a contiguous area of open space in the rocky hillsides forming the central portions of the property. As described previously, the rocky hillsides are being preserved in open space, on a total of 353 acres of the site.</p>			<p>Programs Dep't.</p>	<p>Agency</p>
<p>13-2 The area north of the Ramona Expressway shall remain undisturbed to retain a contiguous natural area and a wildlife corridor along the base of the Bernasconi Hills between the San Jacinto Wildlife Area and the Lake Perris State Recreation Area. This area shall be added to the Lake Perris SKR Preserve.</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>13-3 To reduce impacts to areas of natural vegetation on-site, the urban building areas shall be placed on areas formerly utilized for agricultural activities, evidenced by discing and plowing, wherever feasible.</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Planning Dep't. and Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>13-4 The loss of chaparral sand verbena shall compensated by seed collection from the affected populations at the appropriate time of the year, prior to grubbing or clearing, and revegetation into a suitable mitigation as follows:</p> <p>a) A pre-construction survey during the peak flowering</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>period shall be made by the project biologist. During these surveys the limits of each impacted verbena locations shall be clearly delineated with lath and brightly colored flagging.</p> <p>b) The existing locations of verbena shall be monitored at approximate intervals by the project biologist to determine when the seeds are ready for collection. A qualified seed collector shall collect all of the seeds from the plants to be impacted when the seeds are ripe. The seeds shall be cleaned and stored by a qualified nursery or institution with appropriate storage facilities.</p> <p>c) Following the seed collection, topsoil from the verbena locations shall be scraped, stockpiled, and used in the selected mitigation location.</p> <p>d) The mitigation site shall be located in open space onsite. This site shall not be impacted by any pesticides or herbicides used on adjacent properties.</p> <p>e) The verbena mitigation site shall be prepared for seeding as described in a conceptual restoration plan.</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>f) The topsoil shall be respread in the selected location as approved by the project biologist. A percentage of the seeds shall be spread in the fall following soil preparation. The remaining percent of the seed shall be kept in storage for subsequent seeding, if necessary.</p> <p>g) A detailed maintenance and monitoring plan shall be developed by a qualified biologist. The plan shall include detailed descriptions of maintenance appropriate for the site, monitoring requirements, and annual report requirements, and shall have the full authority to suspend any operation on the project site, which is, in the qualified biologist opinion, not consistent with the restoration plan. Any disputes regarding the consistency of an action with the restoration plan shall be resolved by the applicant and the biologist.</p> <p>h) The performance criteria developed in the maintenance and monitoring plan shall include requirements for a minimum percent of germination of the number of plants impacted. The performance criteria shall also include percent</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>cover, density, and seed production requirements. This criteria shall be developed by the project biologist following habitat analysis of an existing high quality verbena habitat. This information shall be recorded by a qualified biologist. Additional mitigation measures may be suggested as determined necessary appropriate by the project biologist.</p> <p>i) If the germination goal is not achieved following the first season, remediation measures shall be implemented prior to seeding with the remaining seed. Remedial measures shall include at a minimum: soils testing, control of invasive species, soil amendments and physical disturbance (to provide scarification of the seed) of the planted areas by raking or similar actions.</p> <p>j) Potential seed sources from additional donor sites shall also be identified in case it becomes necessary to collect additional seed for use on the site following performance of remedial measures.</p> <p>k) The maintenance and monitoring plan shall be conducted for a three-year period, or up to five years</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
if specified performance criteria are not met by the end of the third year.				
13-5 The central area (Planning Areas 25,36, 44, and 48 totaling approximately 160.6 acres) shall be preserved as open space, which shall provide enhancement of this habitat and alleviate impacts caused by development elsewhere on the subject site. Only controlled access along pedestrian and equestrian trails shall be permitted.	Developer	Plan Review	County of Riverside Environmental Programs Dep't. and Planning Dep't.	County of Riverside Transportation and Land Management Agency
13-6 Project residents shall use the open space for passive recreation only. An appropriate plan for the management of the open space shall be submitted to the County of Riverside. The management plan shall restrict uses and provide appropriate fencing. This plan shall be approved by a qualified biologist prior to issuance of the first grading permit.	Developer	Prior to Issuance of Grading Permit	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
13-7 The following mitigation measure shall reduce the potential impact to raptors to a level of less than significance: No earlier than 45 days and no later than 20 days prior to construction or grading/site preparation activities that would occur during the nesting/breeding season of native bird species potentially nesting on the site (typically February through August), the applicant shall have a survey	Developer	20-45 Days Prior to Construction	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>conducted by a qualified biologist to determine if active raptor nests protected by the California Fish and Game Code are present in the construction zone or within 200 feet of the construction zone. A report of this field survey shall be submitted to the appropriate agency. Construction can proceed if no active raptor nests are located during this survey. If an active nest is found during the survey, a 500-foot (this distance may be vary depending on the bird species and construction activity, as determined by the biologist) fence barrier (subject to the review and approval of a qualified biologist) shall be erected around the nest site and clearing and construction within the fenced area shall be postponed or halted, at the discretion of the biological monitor, until the nest is vacated and juveniles have fledged, as determined by the biologist, and there is no evidence of a second attempt at nesting. The biologist shall serve as a construction monitor during those periods when construction activities shall occur near active nest areas to ensure that no inadvertent impacts on these nests shall occur. Results of the raptor survey and any subsequent monitoring shall be provided to the CDFG.</p>				
<p>13-8 Prior to issuance of a grading permit or recordation of the</p>	<p>Developer</p>	<p>Grading Permit</p>	<p>County of Riverside</p>	<p>County of Riverside</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>final map for Parcel Map No. 32438 affecting either Planning Area 46 or Planning Area 47 of Specific Plan No. 246, the applicant shall comply with the mitigation measures and requirements established by any effective San Jacinto River Plan which may be adopted in the future or alternatively, convey 8.0 acres delineated on the parcel map to the RCA as required by the MSHCP.</p>			<p>Environmental Programs Dep't.</p>	<p>Transportation and Land Management Agency</p>
<p>13-9 Landscaping and revegetation shall be accomplished with the inclusion of plants native to this region.</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Environmental Programs Dep't. and Building & Safety Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>13-10 All significant vegetation (trees or six-inch or larger caliper) disturbed during grading activities shall be replaced on site at a 3:1 ratio.</p>	<p>Construction Contractor</p>	<p>During Construction</p>	<p>County of Riverside Building & Safety Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>13-11 This mitigation measure offsets the impacts to jurisdictional areas on the project site. There was 0.16 acre of CDFG jurisdictional areas within the proposed development site.</p> <p>Compensatory mitigation for the loss of wetland or riparian function and values is a fundamental component of the applicable regulatory programs. Mitigation shall consist of 1) avoidance or minimization of impacts, 2) compensation in the form of habitat restoration, or 3) compensation through</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>participation in a mitigation bank. Avoidance and minimization of impacts is preferred by the agencies. Any compensation through restoration shall be on-site and in kind. The exact requirements of any special permit conditions established for the proposed project would be dictated by the CDFG following review of the formally submitted project application.</p> <p>The objective of this mitigation is to ensure no net loss of habitat values from the project. Prior to implementation of any restoration, a detailed program shall be developed by the project applicant and shall be approved by the CDFG as part of the Streambed Alteration Agreement. The program shall contain the following items:</p> <p>a. Responsibilities and qualifications of the personnel to implement and supervise the plan. The responsibilities of the landowner, technical specialists, and maintenance personnel that shall supervise and implement the restoration plan shall be specified.</p> <p>b. Site selection. The site for the mitigation shall be determined by coordinating with the project applicant and resource agencies. The</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>site shall either be located on the proposed development site, in a dedicated open space area, or a dedicated open space area shall be purchased offsite. Appropriate sites will have suitable hydrology and soils for the establishment of riparian species.</p> <p>c. Site preparation and planting implementation. The site preparation shall include: 1) protection of existing native species, 2) trash and weed removal, 3) native species salvage and reuse (i.e., duff), 4) soil treatments (i.e., imprinting, decompacting), 5) temporary irrigation installation, 6) erosion control measures (i.e., rice or willow wattles), 7) seed mix application, and 8) container species.</p> <p>d. Schedule. A schedule shall be developed which provides planting that shall occur in late fall, and early winter, between October and January 30.</p> <p>e. Maintenance plan/ guidelines. The maintenance plan shall include: 1) weed control, 2) herbivory control, 3) trash removal, 4) irrigation system maintenance, 5) maintenance training, and 6) replacement planting.</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>f. Monitoring plan. The monitoring plan shall include 1) qualitative monitoring (i.e., photographs and general observations), 2) quantitative monitoring (i.e., randomly placed transects), 3) performance criteria as approved by the resource agencies, 4) monthly reports for the first year and bimonthly thereafter, and 5) annual reports for five years that will be submitted to the resource agencies on an annual basis. The site shall be monitored and maintained for five years to ensure successful establishment of riparian habitat within the restored and created areas; however, if there is successful coverage prior to five years, the project applicant may request release from CDFG monitoring requirements.</p> <p>g. Long-term preservation. Long-term preservation of the site will also be outlined in the conceptual mitigation plan to ensure the mitigation site is not impacted by future development. A conservation easement and a performance bond shall be secured prior to implementation of the site.</p> <p>In addition, earth-moving</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>equipment shall avoid maneuvering in areas outside the identified limits of grading in order to avoid disturbing open space areas that shall remain undeveloped. Prior to grading, the open space limits shall be marked by the construction supervisor and the project biologist. These limits shall be identified on the grading plan. The applicant shall submit a letter to the County of Riverside verifying that construction limits have been flagged in the field. No earth-moving equipment shall be allowed within the open space area.</p>				
<p>13-12 In response to the listing of Stephens' kangaroo rat, the Riverside County Habitat Conservation Agency (RCHCA) was formed. Its purpose is to acquire and manage habitat for the Stephens' kangaroo rat and other associated special status species. The RCHCA Stephens' Kangaroo Rat HCP was developed to meet the requirements of the program's Section 10 (a) permit of the FESA. The HCP for this species is managed by the RCHCA. The HCP established a Reserve System where activities within the core reserves are limited and/or restricted. Areas outside the Reserve System, such as the project site, are within a designated Fee Area.</p> <p>The project site is located within a designated Fee Area. For projects within a Fee</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Environmental Programs Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>Area, focused surveys for the Stephens' kangaroo rat are not required and all potential impacts can be mitigated through the current fee program of the RCHCA. Projects that participate in the fee program through the RCHCA are not required to obtain any additional federal and/or state permits for the project pertaining to potential impacts on the Stephens' kangaroo rat. The fee rate is \$500.00 per acre and is applicable to any undeveloped parcel regardless of the presence or absence of the Stephens' kangaroo rat.</p>				
<p>13-13 A focused survey shall be undertaken by a qualified biologist to determine the presence of California gnatcatcher on the site before the tentative tract map approval.</p>	Developer	Plan Review	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
<p>13-14 In accordance with California State Assembly Bill 3180, this mitigation monitoring program shall include review of the site plan, grading plan, and project development plan for compliance with the mitigation prior to approval of the Specific Plan. As determined by the County of Riverside, the project shall employ a qualified biologist on-site to monitor construction activities in areas identified as biologically sensitive.</p>	Developer	Plan Review	County of Riverside Environmental Programs Dep't.	County of Riverside Transportation and Land Management Agency
GEOLOGY, SOILS & SEISMICITY				
<p>14-1 Prior to tentative map approval, additional</p>	Developer	Prior to Tentative	County of Riverside	County of Riverside

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>geotechnical investigations shall be completed to identify specific sites of potential seiche hazards around existing water tanks or flooding resulting from water tank rupture. The areas identified shall be site planned so that buildings and outdoor living areas are protected against flooding resulting from seismic activity affecting water tanks.</p>		Map Approval	Building & Safety Dep't.	Transportation and Land Management Agency
<p>14-2 Location of the houses and outdoor living areas in the Single Family Residential areas shall be carefully planned to reduce or eliminate the risks from rockfall. The engineering geologist shall inspect areas subject to rockfall and remove, stabilize, or provide other mitigation deemed appropriate by the County Geologist to eliminate concern over rockfalls before approval of plot plans.</p>	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>14-3 The project proponent shall demonstrate conformance with the latest Uniform Building Code and County Ordinances.</p>	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>14-4 All project plans shall be reviewed for safety by the Riverside County Flood Control Department and the Riverside County Building Department.</p>	Developer	Plan Review	County of Riverside Flood Control District and Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>14-5 In compliance with Senate Bill 3080, the applicant and the County of Riverside shall form a mitigation monitoring plan, which shall include the above mitigation as well as</p>	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>compliance with County Ordinances. The mitigation monitoring shall include at least the following:</p> <ul style="list-style-type: none"> a. Review of all grading plans by the County of Riverside. b. Review of site plan by County Geologist. c. Review by the County of Riverside of required additional geotechnical work performed by a qualified geologist employed by the project proponent. d. Review of grading and construction for compliance with the determined mitigation measures prior to the County issuing approval of the Notice of Completion. 				
<p>14-6 Areas to receive compacted fill or which shall support foundations, floor slabs, and asphalt pavement shall be cleared and grubbed, with removal of unsuitable materials to depths dictated by existing field conditions.</p>			<p>County of Riverside Building & Safety Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>14-7 Compressible surface soils shall be excavated and recompacted prior to placement of fill or any structures.</p>	<p>Construction Contractor</p>	<p>During Construction</p>	<p>County of Riverside Building & Safety Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>
<p>14-8 Preliminary foundation design parameters are as recommended within Section 7.7 of the "Preliminary Geotechnical Exploration"</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Building & Safety Dep't.</p>	<p>County of Riverside Transportation and Land Management</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.				Agency
14-9 Retaining walls, if needed during construction, shall be constructed according to the recommendations outlined in Section 7.10 of the "Preliminary Geotechnical Exploration" study performed by Western Technology, Inc; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
14-10 During development, a geotechnical review of specific plans shall be conducted to establish effects of surcharge or hydrostatic loadings and active earth pressures.	Developer	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
AIR QUALITY				
15-1 The project shall adhere to SCAQMD Rule 403, insuring the clean-up of construction-related dirt on approach routes to the site.	Construction Contractor	During Construction	South Coast Air Quality Management District	County of Riverside Transportation and Land Management Agency
15-2 Adequate watering techniques shall be employed to partially mitigate the impact of construction-generated dust particulates. The water source should be reclaimed or agricultural, if	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
available. Portions of the project site that are undergoing earth-moving operations shall be watered such that a crust is formed on the ground surface, and then watered again at the end of the day.				
15-3 Vegetative groundcover to be used on the site shall be planted as soon as possible to reduce the amount of open space subject to wind erosion. Irrigation systems needed to water such plants shall be installed as soon as possible to maintain the groundcover and minimize wind erosion of the soil.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-4 Construction access roads shall be paved as soon as possible and cleaned after each workday. The maximum vehicle speed limit on unpaved roads shall be 15 miles per hour.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-5 Grading operations shall be suspended during first and second stage smog alerts or when wind speeds exceed 30 miles per hour.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-6 Any construction equipment using diesel drive internal combustion engines shall use a diesel fuel with a maximum of 0.05 percent sulfur and a four degree retard.	Construction Contractor	During Construction	South Coast Air Quality Management District	County of Riverside Transportation and Land Management Agency
15-7 All trucks shall maintain at least two feet of freeboard.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-8 Trucks hauling dirt, sand, soil or other loose dirt material	Construction Contractor	During Construction	County of Riverside	County of Riverside

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
off-site shall be covered.			Building & Safety Dep't.	Transportation and Land Management Agency
15-9 Construction personnel shall be informed of ridesharing and transit opportunities.	Construction Contractor	During Construction	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
15-10 Construction parking shall be configured to minimize traffic interference.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-11 A flag person shall be used to guide traffic properly and to ensure safety at construction sites.	Construction Contractor	During Construction	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
15-12 Construction operations affecting off-site roadways shall be scheduled for off-peak traffic hours and shall minimize obstruction of through-traffic lanes.	Construction Contractor	During Construction	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
15-13 Employers of 100 or more persons at a single worksite shall comply with SCAQMD Regulation XV, Trip Reduction/Indirect Source. In an effort to increase the average vehicle ridership, employers shall consider ridesharing programs, transit incentives, modified work schedules, and parking fees/incentives.	Construction Contractor	During Construction	South Coast Air Quality Management District	County of Riverside Transportation and Land Management Agency
15-14 The McCanna Hills Specific Plan approval shall be subject to the County adopted trip reduction ordinance.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
15-15 The project proponent shall meet with the local transit agency to determine the location and design of bus stops/shelters and bus turnouts.	Developer	Plan Review	Riverside Transit Agency	County of Riverside Transportation and Land Management Agency
15-16 Future commercial or retail tenants that will emit air pollutants (e.g.: dry cleaning establishments, photo developing labs) shall be subject to applicable SCAQMD rules and regulations.	Developer	Plan Review	South Coast Air Quality Management District	County of Riverside Transportation and Land Management Agency
15-17 Building construction shall comply with the energy use guidelines in Title 24 of the California Administrative Code.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-18 Diesel-powered construction equipment shall be preferred over gasoline-powered equipment, thereby reducing exhaust emissions and evaporative and crankcase hydrocarbon emission reductions.	Construction Contractor	During Construction	South Coast Air Quality Management District	County of Riverside Transportation and Land Management Agency
15-19 Construction equipment shall be properly maintained and serviced to minimize exhaust emissions.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-20 Low emission building materials, such as preprimed and sanded wood molding and trim products and preprimed wallboard, shall be considered for construction materials wherever feasible.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-21 Use of vacuuming shall be the preferred method for debris removal.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
				Management Agency
15-22 The design of commercial buildings shall include appropriate passive solar design and air conditioning systems that allow cascading of ventilation air from high-priority areas (occupied spaces) to low-priority areas (corridors, equipment and mechanical spaces), before being exhausted.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-23 Energy costs shall be included as part of the capital expenditure analyses for the proposed commercial and office buildings.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-24 The use of energy efficient street lighting and parking lot lighting (low pressure sodium vapor lights) shall be considered on-site to reduce emissions at the power plant serving the site.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
15-25 Consideration shall be given to the use of solar water heaters and solar pool heaters.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
NOISE				
Construction Noise				
16-1 Construction adjacent to existing residential development shall be limited to the hours of 7 A.M. to 7 P.M. on Monday through Friday. Construction shall not be allowed on weekends or federal holidays.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
16-2 In order to minimize effects of blasting on nearby residents, the project	Construction Contractor	During Construction	County of Riverside Building &	County of Riverside Transportation

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>contractor shall restrict blasting to between 8:00 a.m. and 5:00 p.m. This restriction shall ensure that blasting occurs when residents are more likely to be away from their homes or able to leave the area if necessary to avoid the noise effects of blasting. In addition, the contractor shall use the best available technology, such as blast mats or other techniques, to minimize noise generated by blasting.</p>			Safety Dep't.	and Land Management Agency
<p>Off-Site Noise Impacts</p> <p>16-3 Mitigation measures shall be implemented to reduce noise levels in outdoor residential areas exposed to noise levels of less than 60 dBA. Specifically, residences adjacent to Nuevo Road, Foothill Avenue, and the Ramona Expressway may experience levels greater than 60 dBA without mitigation.</p>	Developer	Plan Review	County of Riverside Environmental Health Dep't.	County of Riverside Transportation and Land Management Agency
<p>16-4 Noise barrier heights were calculated for sample locations along Nuevo Road, and the Ramona Expressway in the Mestre Greve Associates assessment for the StoneRidge project. These barriers can be considered applicable to the subject project. The noise barrier heights ranged from three to six feet. In no instance did the barriers exceed six feet. The noise barrier heights projected may be reduced considerably through site design, such as setbacks from the roadways, grade</p>	Developer	Plan Review	County of Riverside Environmental Health Dep't. and Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>separations, and exterior living area orientation. The barriers could be a berm, wall, or a combination of berm and wall. Walls shall not contain holes or gaps, and shall be constructed of slumpstone or other masonry. The final noise barrier heights shall be determined prior to tentative tract map approval. This shall be part of the mitigation monitoring for the project and shall be administered by the County of Riverside Building Department.</p>				
<p>16-5 Prior to the issuance of any building permits, all freestanding acoustical barriers shall be shown on the project plot plan illustrating height, location and construction in a manner meeting the approval of the County of Riverside. This plot plan shall be reviewed for compliance at the end of the particular construction phase as part of the mitigation monitoring program for the project.</p>	Developer	Prior to Issuance of Building Permit	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>16-6 An acoustical study shall be prepared prior to approval of any tentative tract map which would locate homes either (a) adjacent to General Plan roadways of secondary highway classification or higher, or (b) otherwise within an area of 60 CNEL or greater overall noise exposure. The study would provide detailed noise mitigation measures for the residences sufficient to</p>	Developer	Prior to Approval of Tentative Tract Map	County of Riverside Environmental Health Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
reduce daytime interior noise exposure to a maximum of 55 CNEL, or other standard required by the Riverside County Office of Public Health.				
TRAFFIC				
17-1 The project shall participate in an area-wide circulation improvement program which will upgrade the Ramona Expressway to a six-to-eight lane facility and Nuevo Road to a four-to-six lane facility, and provide a coordinated set of traffic signals as shown on the Circulation Plan, included in the Mc Canna Hills Specific Plan.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-2 A high level of service along arterials shall be maintained by restricting parking and controlling roadway access.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-3 Intersection geometrics, shall be implemented in accordance with Riverside County standards.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-4 For the buildout scenario, traffic signals shall be installed as discussed below.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-5 Landscape plantings and signs shall be limited in height within the vicinity of the project roadways to assure good visibility.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-6 The applicant shall consult with Riverside Transit Agency (RTA) staff to provide certain	Developer	Plan Review	Riverside Transit Agency	County of Riverside Transportation

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>transit-friendly amenities in selected portions of the overall Specific Plan area:</p> <p>Along designated arterial streets (listed in “b” below) deemed likely by RTA to carry bus traffic in the future, subsequent tract maps shall specify bus stops with standard bus turnouts to be installed concurrent with local curbs and gutters. The turnouts shall be placed on both sides of the designated arterial streets at intervals to be determined in consultation with the RTA.</p> <p>Designated arterial streets as proposed in the McCanna Hills Specific Plan are:</p> <ul style="list-style-type: none"> i. Orange Avenue ii. Foothill Avenue, between Orange Avenue and Nuevo Road iii. Antelope Road, north from Nuevo to the project boundary iv. Nuevo Road (northside only, and within project boundary). Placement of some turnouts located adjacent to future commercial or institutional uses shall need extra attention at the Plot Plan stage to avoid conflicts with future drive aisles. Also, in some cases throughout the project, additional right of way maybe needed to accommodate the full 10-foot minimum width 				<p>and Land Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
of the bus stop parking area and retain allowance for sidewalk, walls, utilities and landscaping.				
17-7 Additional bus stops shall be installed between bus turnouts as required to meet rider-ship demand.	Developer	Plan Review	Riverside Transit Agency	County of Riverside Transportation and Land Management Agency
17-8 The project developer shall encourage ridesharing by providing mini park-and-ride facilities, including bicycle storage facilities, on the site. The locations will be within parks and commercial centers. Sufficient parking in back or at the sides of buildings shall also be provided.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-9 Appropriate pedestrian openings shall be provided through perimeter and theme walls as necessary to allow convenient access to public transit stops.	Developer	Plan Review	Riverside Transit Agency	County of Riverside Transportation and Land Management Agency
17-10 Paved walkways with landscaping accents, leading directly to bus stops and park-and-ride lots shall be provided.	Developer	Plan Review	Riverside Transit Agency	County of Riverside Transportation and Land Management Agency
17-11 Bus shelters, with adequate security lighting, and safe pedestrian crossings shall be provided at bus stop locations.	Developer	Plan Review	Riverside Transit Agency	County of Riverside Transportation and Land Management Agency
17-12 Traffic impact study reports shall be required with submittal of each tentative tract map or plot plan. The required format for each traffic impact study report will	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>be determined by the Riverside County Transportation Department. The required format shall include evaluation of peak hour conditions at intersections significantly impacted by each phase of development.</p>				
<p>17-13 If an impacted intersection is estimated to exceed County service level standards, then appropriate link and intersection improvements shall be required to be presented for County staff review.</p>	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
<p>17-14 The improvements needed to maintain the County service level standards shall be required to be in place prior to occupancy of the relevant development phase. Improvements, which are included in an adopted fee program, will be provided by the fee program mechanism if funds are currently available. If funds are not available to meet the circulation improvement needs at any particular development phase, then the project proponent will either provide the off-site improvements directly (with assurance of future reimbursement or credits if a relevant fee program is in place), or the development must await other sources of implementation.</p>	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
<p>17-15 The Transportation Department of Riverside County reviewed the traffic study submitted for the</p>	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>referenced project. The study was deemed to have been prepared in accordance with County-approved guidelines. The Transportation Department generally concurs with the findings relative to traffic impacts.</p> <p>The General Plan circulation policies require a minimum of Level of Service "C", except that Level of Service "D" may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.</p> <p>The traffic study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions. Traffic study improvement recommendations at the Rider Street/Ramona Expressway intersection have recently been constructed.</p> <p>I-215 Freeway Southbound Ramps (NS) at: Ramona Expressway (EW) Nuevo Road (EW) 4th Street (EW).</p> <p>I-215 Freeway Northbound Ramps (NS) at: Ramona Expressway (EW)</p>				<p>Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>Nuevo Road (EW) 4th Street (EW).</p> <p>Perris Boulevard (NS) at: Ramona Expressway (EW) Rider Street (EW) Orange Avenue (EW) Nuevo Road (EW).</p> <p>Lake Perris Drive (NS) at: Ramona Expressway (EW).</p> <p>Ramona Expressway (NS) at: Rider Street (EW).</p> <p>Bradley Road-Dunlap Drive (NS) at: Orange Avenue (EW).</p> <p>Foothill Avenue (NS) at: Orange Avenue (EW) Nuevo Road (EW).</p> <p>Menifee Avenue (NS) at: Nuevo Road (EW)</p> <p>Lakeview Avenue (NS) at: Ramona Expressway (EW) Nuevo Road (EW).</p> <p>Sherman Road (NS) at: Rider Street (EW) Walnut Avenue (EW).</p> <p>Antelope Road (NS) at: Nuevo Road (EW).</p> <p>Orange Avenue (NS) at: Walnut Avenue (EW).</p>				
<p>17-16 The traffic study has identified additional intersections as warranting traffic signals through existing or future conditions. The</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Building & Safety Dep't.</p>	<p>County of Riverside Transportation and Land Management</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
project shall contribute to those locations, through payment of Traffic Signal Mitigation Fees.				Agency
17-17 All roads shall be improved per the recommended General Plan or Specific Plan designation, as approved by the County Board of Supervisors, or as approved by the Transportation Department.	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-18 The project proponent shall be required to pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance of an occupancy permit, pursuant to Ordinance No. 824.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
17-19 The Riverside County Transportation Commission (RCTC) is in the process of conducting a study for the Mid-County Parkway. One of the alignments being studied for the Parkway (the Southern alignment) impacts this property.	Developer	Plan Review	County of Riverside Planning Dep't. and Transportation Dep't.	County of Riverside Transportation and Land Management Agency
17-20 Prior to approval of any project beyond 300 dwelling units in Phase 1 (Village V) other than financing maps, an infrastructure phasing plan for the Lakeview-Nuevo area shall be developed and approved by the County. This plan shall identify the extent and timing of improvements to Ramona Expressway, I-215/Ramona Expressway interchange, Nuevo Road, and other major Transportation facilities. The plan shall also	Developer	Plan Review	County of Riverside Planning Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>identify funding sources (potentially a CFD) to fund these major facilities. The plan shall identify pro-rata traffic capacity and funding shares for developments required to participate.</p>				
<p>17-21 Prior to the occupancy beyond 300 dwelling units in Phase 1 (Village V), a funding mechanism acceptable to the Transportation Department shall be formed and funding identified for the construction of improvements to the I-215/Ramona Expressway and the construction and widening of Ramona Expressway from the eastern project limits to I-215 and other regional improvements identified in the Infrastructure Phasing Plan for the Lakeview-Nuevo area.</p>	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
<p>17-22 Site-specific traffic studies shall be required for all subsequent development proposals within the boundaries of Specific Plan No. 246 as approved by the Transportation Department. These subsequent traffic studies shall identify specific project impacts and needed roadway improvements to be constructed prior to each development phase.</p>	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency
<p>17-23 The Specific Plan proponent and all subsequent implementing projects within the Specific Plan shall be responsible for design and construction of traffic signals at the following intersections:</p> <p>Prior to Occupancy of 301st</p>	Developer	Plan Review	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>Dwelling Unit:</p> <ul style="list-style-type: none"> • Foothill Blvd/Nuevo Rd (with no fee credit) <p>Prior to Occupancy of 501st Dwelling Unit:</p> <ul style="list-style-type: none"> • Menifee Road/Nuevo Road (with fee credit) • Dunlap Drive/Orange Avenue (with no fee credit) • Sherman Road/Walnut Ave (with no fee credit) • Sherman Road./Rider Street (with no fee credit) <p>Prior to Occupancy of 1,001st Dwelling Unit:</p> <ul style="list-style-type: none"> • Lakeview Avenue/Ramona Expressway (with no fee credit) <p>Prior to Occupancy of 1,501st Dwelling Unit:</p> <ul style="list-style-type: none"> • Lakeview Avenue/Nuevo Road (with no fee credit) <p>or as approved by the Transportation Department. To account for actual project phasing, modification to the installation timing requirements may be necessary. Alternative and/or additional locations may require signalization based on project specific studies to be done for each tract map or use case within this Specific Plan and as required by the Transportation Department.</p>				

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
<p>17-24 Prior to occupancy beyond 300 dwelling units in Phase 1, Village V (and/or other Phase determined by the County Transportation Department not to impact the interchange), the following improvements shall be constructed:</p> <ul style="list-style-type: none"> • The intersection of Ramona Expressway/I-215 Southbound Ramps shall be improved to provide the following geometrics: Southbound: One left turn lane, one shared left/through lane, one right turn lane. Eastbound: Two through lanes, one right turn lane. Westbound: One left turn lane, two through lanes. • The intersection of Ramona Expressway/I-215 Northbound Ramps shall be improved to provide the following geometrics: Northbound: One left turn lane, one shared left/through lane, one right turn lane. Eastbound: One left turn lane, two through lanes Westbound: Two through lanes, one right turn lane <p>or as approved by County Transportation and Caltrans.</p> <p>Implementation of the recommended mitigation</p>	<p>Developer</p>	<p>Plan Review</p>	<p>County of Riverside Transportation Dep't.</p>	<p>County of Riverside Transportation and Land Management Agency</p>

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
measures is forecast to reduce project-related traffic impacts to a level of less than significant.				
SLOPES AND EROSION				
18-1 The development standards provided in the McCanna Specific Plan, Grading Plan Section, shall be implemented. No significant areas with slopes greater than 25 percent shall be developed. Included but not limited to those areas shown on the development plan.	Developer	Plan Review	County of Riverside Planning Dep't. and Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-2 As indicated in the community plan land use policies, development on slopes over 25 percent shall be limited to careful design review. All proposals for such areas shall show adequate provision for cut and fill slopes, accessibility, percolation and erosion control.	Developer	Plan Review	County of Riverside Planning Dep't. and Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-3 Cut and fill slopes shall be landscaped as soon as practical to reduce the potential for erosion.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-4 Fugitive dust shall be controlled by regular watering or other palliative measures, in accordance with AQMD Rule 403.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-5 Final slopes shall be contour-graded to blend with natural contours.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-6 Benching and keying shall be used where side-hill fills are	Construction Contractor	During Construction	County of Riverside	County of Riverside

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
to be placed on slopes with inclinations of 5:1 (horizontal to vertical) and for fill-over-cut slopes.			Building & Safety Dep't.	Transportation and Land Management Agency
18-7 Specific removal recommendations for fill, cut, and street areas within the site are as recommended in Section 7.2.2 of the "Preliminary Geotechnical Exploration" study prepared by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-8 Processing of natural soils after clearing, grubbing, and removal shall include scarification of exposed materials, drying back of scarified soils to achieve a uniform moisture content, and compaction of processed soils to at least 90 percent of the laboratory maximum dry density per ASTM D1557.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-9 Surface grades shall be designed to drain away from structures and foundations at a minimum gradient of two percent.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-10 Slope grading shall be performed according to the recommendations in Section 7.2.6 of the "Preliminary Geotechnical Exploration" study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.				
18-11 Cut slopes shall be inclined no steeper than 2:1 (horizontal to vertical). However, cut slopes in bedrock can be inclined at 1.5:1 (horizontal to vertical) or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies by Pacific Soils Engineering, Inc., as approved by the County of Riverside.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-12 Fill slopes shall be maintained at 2:1 (horizontal to vertical); or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies by Pacific Soils Engineering, Inc., as approved by the County of Riverside.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-13 Cut slopes shall be planted and maintained after construction.	Developer	After Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-14 Cut portions of any fill-over-cut slopes shall be observed by an engineering geologist prior to placing superimposing fills, to verify design assumptions.	Engineering Geologist	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-15 Road grades shall not exceed 15 percent.	Construction Contractor	During Construction	County of Riverside Transportation Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
18-16 Over-the-slope drainage shall not be permitted.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-17 Subdrains shall be installed within deeper intermittent drainages, canyon areas receiving compacted fill, and permanently moist areas. In areas of fill-over-cut, where the fill is placed on top of relatively impermeable bedrock, heel drains shall be installed.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-18 Foundation Design – Specific values shall be determined during review of grading plans when types and locations of structures are known. Slabs-on-grade for residential structures shall be a minimum of 3.5 inches thick, with nominal gauge welded wire fabric centrally located in the slabs. The use of low slump concrete is encouraged. Commercial and industrial structures may require heavier reinforcement.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-19 Slabs-on-grade shall be installed per recommendations presented within Section 7.8 of the “Preliminary Geotechnical Exploration” study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
Riverside.				
18-20 Consideration shall be given for mitigating rock fall in areas indicated by the project geologist.	Project Geologist	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-21 Preliminary pavement design recommendations are as outlined in Section 7.9 of the "Preliminary Geotechnical Exploration" study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside. Final pavement sections shall be verified upon completion of site grading and based on actual subgrade soils encountered.	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-22 Pavement Design – R-value samples from subgrade shall be tested subsequent to completion of rough grading and installation of the storm drains and utilities.	Project Geologist	After Completion of Rough Grading	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-23 Pre-job Conference – Prior to the commencement of grading, a pre-job conference shall be held to clarify any questions relating to the intent of the grading recommendations, and to verify that the project specifications comply with the recommendations of the geological reports.	Developer	Prior to Grading	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-24 Grading Plan Review – A grading plan review shall be conducted with respect to existing geotechnical	Developer	Plan Review	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
conditions.				Management Agency
18-25 All excavations shall conform to Cal/OSHA and local safety codes.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-26 Trench backfill shall be placed according to the standards found in Section 7.12 of the "Preliminary Geotechnical Exploration" study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.	Construction Contractor	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
<p>18-27 A qualified geologist shall observe and test the site during the following phases of construction as part of the project Mitigation Monitoring Program:</p> <ul style="list-style-type: none"> a. During clearing of vegetation and site preparation. b. During construction of all fills, utility trenches, and structural backfills. c. During removal, benching and recompaction of unsuitable soils. d. When any unusual conditions are encountered. 	Engineering Geologist	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
e. All cut slopes shall be inspected by an engineering geologist during grading to verify anticipated geologic conditions.				
18-28 Grading work shall attempt to be balanced on-site if possible. However, if export of materials exceeds 10,000 cubic yards, additional review and permits shall be required in accordance with the County of Riverside requirements.	Engineering Geologist	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-29 Placement of excavated on-site materials or imported granular soils shall be performed according to the recommendations presented in Section 7.2.4 of the "Preliminary Geotechnical Exploration" study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.	Engineering Geologist	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency
18-30 Material excavated on-site and placed in mass-graded fills will likely consist of "soil-fill", "soil/rock-fill", or "rock-fill". These fill categories shall be placed according to the recommendations in Section 7.2.7 of the "Preliminary Geotechnical Exploration" study performed by Western Technology, Inc.; or pursuant to comparable recommendations that may be contained in subsequent	Engineering Geologist	During Construction	County of Riverside Building & Safety Dep't.	County of Riverside Transportation and Land Management Agency

MITIGATION MEASURE	RESPONSIBLE PARTY	MONITORING PERIOD	ENFORCEMENT AGENCY	MONITORING AGENCY
geotechnical studies to be prepared by Pacific Soils Engineering, Inc., as approved by the County of Riverside.				



3.0 – Project Wide Development Plans and Standards

3.0 PROJECT WIDE DEVELOPMENT PLANS

This section presents plans and standards that will govern the major aspects of McCanna Hills’ development. It begins with the land use plan, and subsequently describes major development components (i.e. circulation, grading, drainage, water and sewer, landscape, recreation and open space, public facilities and project phasing, and maintenance). Planning standards that apply specifically to individual planning areas will be discussed in Section 4.0. Those development standards and design guidelines that will apply to specific types of uses implemented throughout the development will be discussed in Section 5.0.

3.1 Land Use Plan

The proposed Land Use Plan is illustrated in color in Exhibit 3.1A, and in black and white in Exhibit 3.1B. Details for each land use designation are provided in Table 3-1 below.

**TABLE 3-1
McCanna Hills Specific Plan
Detailed Land Use Summary**

Land Use		Planning Area (PA)	Gross Acres	Maximum DUs per PA
RESIDENTIAL				
Medium Density Residential (2-5 DU/AC)	Minimum Lot Size: 6,000 SQ FT	1	21.6	80
		2A	17.2	64
		2B	1.7	5
		18	36.0	126
		22 ¹	50.0	170
		26 ¹	16.0	32
		43	26.2	65
		Subtotal:		168.7
Medium High Density Residential (5-8 DU/AC)	Minimum Lot Size: 5,000 SQ FT	5A	21.9	112
		5B	10.1	44
		19	18.0	90
		35	21.6	100
		42	25.4	127
		47	24.0	105
	Minimum Lot Size: 4,500 SQ FT	6	20.0	100
		8	21.7	108
		23	22.0	110
		34	29.6	122
	Minimum Lot Size: 4,000 SQ FT	46	23.1	109
		9	15.9	103
		12	14.2	92
		30	21.5	170
		38	22.5	113

PROJECT-WIDE DEVELOPMENT PLANS

Land Use		Planning Area (PA)	Gross Acres	Maximum DUs per PA
Medium High Density (cont.)	4,000 SQ FT (cont.)	41	19.6	98
		45	18.3	95
		Subtotal:	351.4	1,798
Very High Density Residential (10-20 DU/AC)		14	17.8	188
		28A	12.8	139
		28B	4.9	26
		28C	1.8	6
		32	6.2	86
		37	11.5	161
		Subtotal:	55.0	606
Residential Acres / DUs Total			575.1	2,946
NONRESIDENTIAL				
Parks		10	9.6	---
		17	10.0	---
		33	5.9	---
		39	18.0	---
		Subtotal:	43.5	---
Schools		13 ⁴	12.0	39 ⁴
		15	17.3	---
		16	24.1	---
		40 ⁴	8.0	25 ⁴
	Subtotal:	61.4	64	
Natural Open Space		3A	11.09	---
		3B	6.6	---
		3C	0.87	---
		4	1.98	---
		7 ¹	88.0	---
		11	21.68	---
		24	1.9	---
		25 ¹	22.8	---
		27A	8.36	---
		27B	33.74	---
		27C	10.3	---
		29	7.9	---
		36	40.9	---
		44	67.9	---
		48	29.0	---
	49	3.3 ⁵	---	
	50	1.2	---	
	Subtotal:	357.52	---	
Commercial		20 ¹	7.0	---
		21 ^{1,2}	30.0	200
		31	15.2	---
		51	5.0 ⁵	---

Land Use	Planning Area (PA)	Gross Acres	Maximum DUs per PA
	Subtotal:	57.2	200
Major Streets - Retained from SP 246 ³	- - -	3.2	- - -
Major Streets - McCanna Hills	- - -	48.2	- - -
	Subtotal:	51.4	
Future Water Tanks	- - -	1.2	- - -
Nonresidential Acres / DUs Total		572.22	264
Total Project Acres / DUs		1,147.32	3,210
Total Project Density	2.79		

- 1) Planning Areas 7, 20, 21, 22, 25 and 26 are retained from the original 1994 approved Preissman Specific Plan (SP 246). The area of Planning Area 25 as retained with the McCanna Hills Specific Plan is a portion of what was previously contained in the Preissman Specific Plan.
- 2) Planning Area 21 as retained from the Preissman Specific Plan, was approved as commercial with a mixed-use component allowing up to 200 dwelling units.
- 3) The major street area retained from Preissman Specific Plan (SP 246) is adjacent to retained Planning Areas 20, 21 and 22.
- 4) A single family residential land use with a density range of 2-5 DU/AC for Planning Areas 13 and 40 may be developed as an alternative land use in place of the school land uses designated, if it is determined that the school uses are not needed or viable.
- 5) Planning Areas 49 and 51 have been designated by the County of Riverside on an initial basis as a "MSHCP Conservation Area". Development, including detention basins, and fuel modification zones, are not allowed within the conservation area while it is so designated. Pursuant to further development and adoption of the Riverside County San Jacinto River Plan, the conservation area designation and associated development restrictions may be removed from this planning area.
- 6) Adjustments by substantial conformance application may be made to the maximum allowed dwelling units per planning area. These adjustments may be made, provided that (1) the maximum number of dwelling units (DUs) per planning area does not exceed the maximum value of its density range; and (2) the maximum total project DUs of 3,210 DUs is not exceeded.

3.1.1 LAND USE PLAN DESCRIPTION

The proposed Land Use Plan is comprised of 51 planning areas, which includes 6 planning areas that were entitled under the original Preissman Specific Plan. Planning Areas 7, 20, 21, 22, 25 (portion) and 26 are being retained as previously approved and are not part of the amended area. For these six PAs, the Preissman Specific Plan should be consulted for applicable development standards and densities. The remaining 45 amended planning areas encompass primarily residential, recreation and open space with supporting commercial and institutional uses (schools). Certain planning areas as amended in the northern part of the specific plan area are further subdivided into "A", "B", and "C" sub-parts (previous potential Mid-County Parkway southerly alignment alternative). Planning Areas 2B, 3B, 4, 5B, 27B, and 28B will not be developed until such time as Riverside County removes this southerly alignment from consideration and determines that these PAs are not needed for Mid-County Parkway implementation. The uses within the McCanna Hills Specific Plan are summarized as follows:

Residential: Twenty-six planning areas are primarily designated for residential uses. These residential planning areas make up just over half of the project's total land

area. The residential density ranges from 2 units per acre to 20 dwelling units per acre, with an average density over the entire specific plan area of 2.79 dwelling units per acre. High quality housing opportunities will be offered to appeal to varying lifestyles and budgets. Housing types will include 4,000 to 6,000 square foot lots for single-family detached housing, and will also include potential townhome product and multi family product in other areas. Density ranges can be described as follows:

- ❖ **Medium Density Residential (2-5 dwelling units per acre)** covers the lowest density range of home development within McCanna Hills. This density category constitutes 14.7% of the specific plan's land area. Planning Areas 1, 2A, 2B, 18, 22, 26, and 43 carry this designation. The minimum lot size created will be 6,000 square feet.
- ❖ **Medium High Density Residential (5-8 dwelling units per acre)** makes up the mid-density range of home development within McCanna Hills. This density category constitutes 30.6% of the specific plan's land area. Planning Areas 5A, 5B, 19, 35, 42 and 47 have a 5,000 square foot minimum lot size within this designation. Other 5-8 DU planning areas are Planning Areas 6, 8, 23, 34, and 46, with a 4,500 square foot minimum lot size, and PAs 9, 12, 30, 38, 41 and 45, with a 4,000 square feet. These lots will be located at the heart of each village of McCanna Hills and will generate the bulk of the residential units within each village.
- ❖ **Very High Density Residential (10-20 dwelling units per acre)** covers single-family attached and multi-family development within the project. This density category constitutes 4.8% of the specific plan's land area. Planning Areas 14, 28A, 28B, 28C, 32 and 37 carry this designation. Planning areas with this density within the northern half of McCanna Hills are located near the intersections of Orange Avenue with Walnut Avenue and Foothill Avenue. Planning areas with this density within the southern half of McCanna Hills are located near retail Planning Area 31 and the recreational and educational amenities located along McCanna Hill's southerly loop road.

Parks: Designated community parks will be located in Planning Areas 10, 17, 33 and 39, and include both passive and active-park uses. Active park uses may include tot lots, hard courts, pools and/or play field facilities. The facilities to be included within Planning Area 17's proposed hilltop park will be determined upon review of geologic and soils reports for that Village. See Sections 3.7 and 4.0 for a further discussion of parks.

Schools: Within the northern half of McCanna Hills, Val Verde Unified School District has constructed an elementary school and a middle school. These facilities exist within Planning Areas 15 and 16 near the project's northern entry from Sherman Road, off East Rider Street from the Ramona Expressway. An additional school site fronting on Orange Avenue (Planning Area 13) has been reserved for Val Verde within the land use plan. In the heart of the project's southern half, at Planning Area 40, a school site has also been set aside for Nuview Union School District. Residential use at 2-5 DU/AC may be developed as an alternative use on Planning Areas 13 and 40 if it is later determined that these school sites are not needed.

Open Space: Extensive open space is to be set aside in 18 of the proposed McCanna Hills Specific Plan planning areas. Planning Areas 3A, 3B, 3C, 4A, 4B, 7, 11, 24, 25, 27A, 27B, 27C, 29, 36, 44, 48, 49 and 50 located throughout the project are intended to preserve the major hills (areas of significant 25% slope gradient or greater) and rock outcroppings of the project site. Planning Area 49 in the southeast corner of the project site is also proposed to be set aside as open space in order to protect sensitive environmental area adjacent to the San Jacinto River as recognized by the Western Riverside County Multi-Species Habitat Conservation Plan (WRMSHCP) and to set aside area within the 100-year flood plain of the river. All of the open space planning areas are intended to be preserved in a natural condition as much as possible. Recreation use of these areas is planned where feasible by including a hiking trail system incorporating selected trail amenities (See Section 3.7, Recreation and Open Space Plan). These open space planning areas comprise 269 acres on the south side of Ramona Expressway and 88 acres on the north side of Ramona Expressway. This 357.52-acre total constitutes more than 31% of the McCanna Hills Specific Plan area. Combined with the five park planning areas discussed above, nearly 35% of the project area is set aside by the Land Use Plan as open space.

Commercial: Planning Area 31, located in the center of the McCanna Hills Specific Plan area at the southwest corner of Orange and Foothill Avenues, is designated as a 15.2-acre site for commercial retail use with an anticipated floor area ratio (FAR) between approximately 0.20 and 0.35. At this intensity range, which is consistent with the General Plan designation of Commercial Retail, the retail development could range between 132,422 and 231,739 gross square feet. The uses and intensities within Planning Area 20 (7 acres) and Planning Area 21 (30 acres, including a mixed use residential component of 200 dwelling units) are the same as those originally entitled under the Preissman Specific Plan. Within the 33 acres being added to McCanna Hills from the Stoneridge Specific Plan, SP No. 239, McCanna Hills proposes to include a commercial Planning Area 51, totaling 5 acres in size. However, Planning Area 51 has been initially designated as a MSHCP conservation area pursuant to the County of Riverside HANS process during the review of this Specific Plan Amendment. See Section 4.51 of this Specific Plan for a further discussion of PA 51.

3.1.2 LAND USE PLAN STANDARDS

In addition to the planning-area-specific development standards included in Section 4.0 and the use-specific design guidelines and standards found in Section 5.0 of the McCanna Hills Specific Plan Amendment, the following general standards provide a framework to address location-specific development opportunities and constraints.

- 1.) The McCanna Hills project shall be developed with a range of uses including residential, parks, schools, recreation, open space and mixed use, pursuant to Exhibits 3.1A and 3.1B, LAND USE PLAN.

- 2.) The McCanna Hills project can be developed with a total of 2,946 dwelling units to be located within 575.1 acres, designated within the specific plan as residential land use areas.
- 3.) The McCanna Hills project shall be developed with a total of 200 dwelling units to be located within commercial Planning Area 21, as approved under the original Preissman Specific Plan, as a component of a commercial/residential mixed use development.
- 4.) The McCanna Hills project may be developed with an additional 64 (for a total not to exceed 3,210 DU's) dwelling units to be located within Planning Areas 13 and 40 where alternate residential uses are employed as allowed under the Specific Plan, if the primary school uses designated within Exhibit 3-1 for these planning areas, are determined not to be needed or viable.
- 5.) Uses and development standards will be in accordance with Riverside County Ordinance 348 and the McCanna Hills Specific Plan Zoning Ordinance. Such uses and standards will be defined further by Specific Plan objectives, Specific Plan design guidelines, and future residential subdivision maps, plot plans, and/or conditional use permits.
- 6.) Final development densities for each residential planning area shall be confirmed through the approval of appropriate Riverside County development application(s), and subject to the maximum number of dwelling units per planning area listed in Table 3-1, DETAILED LAND USE SUMMARY. These final densities realized will be determined by the following factors:
 - Adequate availability of services,
 - Adequate access and circulation,
 - Efficiency of lotting and siting of the proposed development,
 - Flexibility in building types and designs,
 - Sensitivity to landforms, and
 - General Plan incentives.
- 7.) Except for the Specific Plan Zoning Ordinance adopted concurrently with the Specific Plan, no portion of the McCanna Hills Specific Plan which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted specific plan.
- 8.) The McCanna Hills project shall provide adequate areas for collection and loading of recyclable materials in accordance with state law. Such areas shall be provided within the public facilities, commercial projects or uses, or residential areas where solid waste is collected and loaded in a location, which serves five or more units.
- 9.) The McCanna Hills project shall satisfy applicable criteria within Title 24, Chapter 2-71, of the California Administrative Code ensuring accessibility for persons with disabilities, where applicable.

- 10.) Design of the development applications implementing the McCanna Hills Specific Plan shall comply with the spirit and intent of the Countywide Design Standards and Guidelines document.
- 11.) Development activities to entitle, prepare and develop the site shall conform to Riverside County ordinances (including Ordinances 348, 457, 460, 461, 659, 787, 810, and 824) and applicable state laws.
- 12.) Except as the original SP 246 conditions apply to Planning Areas 7, 20, 21, 22, 25 (portion) and 26, conditions of approval for the McCanna Hills Specific Plan No. 246 as amended shall replace those for the Preissman Specific Plan No. 246. Prior to obtaining subsequent development permit approvals from the County of Riverside, the applicant shall document that all pertinent conditions relating to the planning area under development have been satisfied.
- 13.) Common areas identified in the McCanna Hills Specific Plan shall be owned and maintained as follows:
 - a. Permanent master maintenance organizations may be established for the McCanna Hills Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, and landscaped areas. The organizations may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organizations upon approval of implementing development applications or upon recordation of any appropriate conveyance subdivision.
 - c. The maintenance organizations shall be established prior to, or concurrent with, recordation of the first land division or issuance of the first building permit for construction within that land division. The ownership and maintenance responsibility shall be identified for each open space lot upon submittal of the tentative map application, which would create the subject open space lot.
- 14.) Unless an implementing development application for the McCanna Hills Specific Plan is determined to be exempt from the California Environmental Quality Act (CEQA) or is acted on concurrently with the specific plan amendment at a public hearing for decision, an initial study (i.e. environmental assessment) shall be conducted to determine potential

environmental impacts attributable to any land use application required to implement the McCanna Hills Specific Plan.

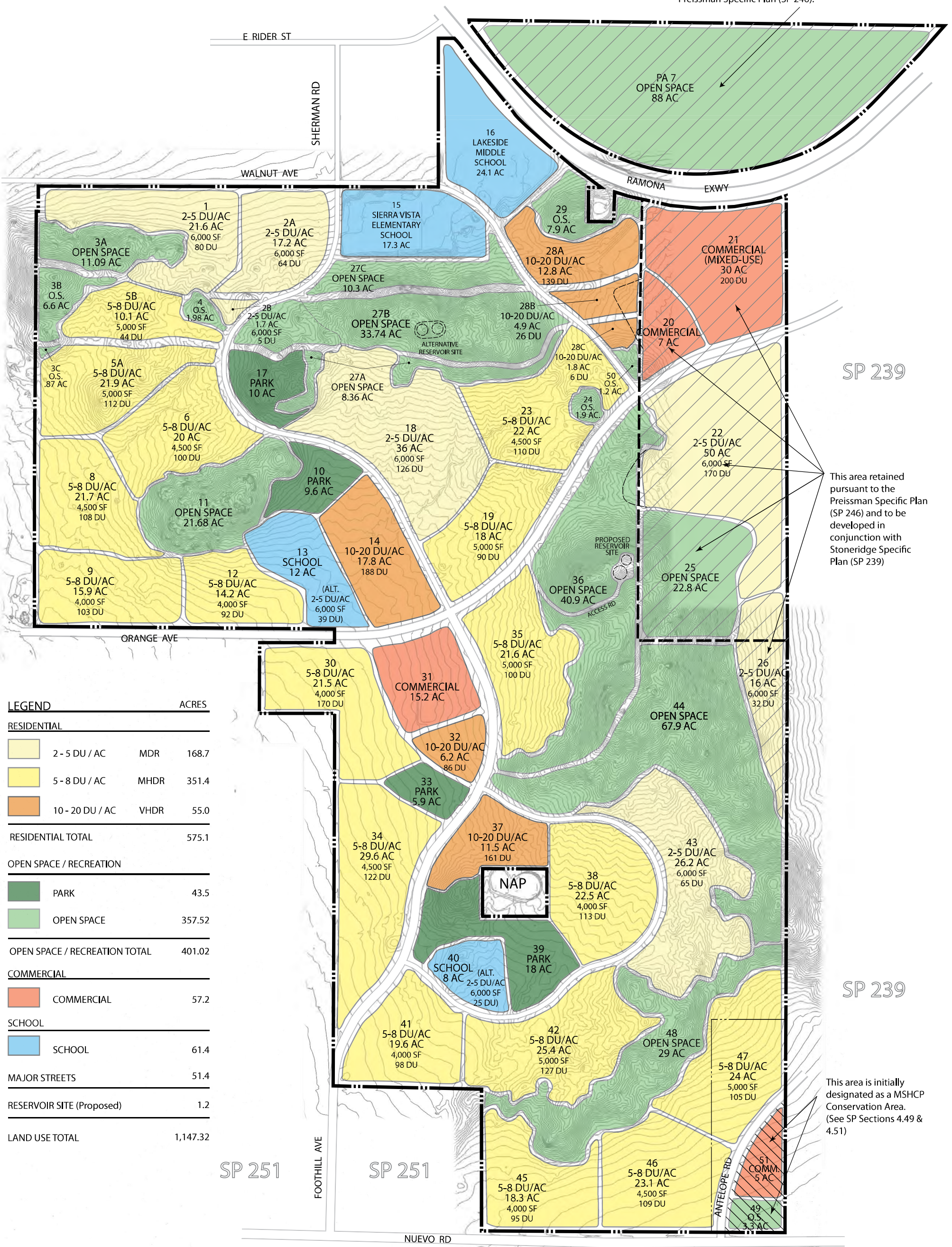
- 15.) (standard removed with Specific Plan Amendment 3)

Additional development standards applicable to that portion of the McCanna Hills project area which is within the March Airport Influence Policy Area/Safety Zone III, as represented in Exhibit 3.1B, have been included below. These standards have been recommended to the Riverside County Airport Land Use Commission (ALUC) by their staff for approval at their January 13, 2005 public hearing:

- 16.) Prior to project development or sale to any entity exempt from the Subdivision Map Act, the project proponents shall convey an avigation easement to the March Air Reserve Base/March Inland Port Airport (Telephone 951 656-7000).
- 17.) Incorporate noise attenuation measures into the building construction to ensure interior noise levels are at or below 45 decibel levels.
- 18.) Install hooded or shielded outdoor lighting measures into the building construction to ensure that all light is below the horizontal plane.
- 19.) The following uses shall be prohibited:
- a. Any use which would direct a steady light or flashing light of red, white, green or amber colors toward an aircraft engaged in an initial straight climb following takeoff; or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - b. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff; or toward an aircraft engaged in a straight final approach toward a landing at an airport.
 - c. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 20.) The above ground storage of explosive or flammable materials is prohibited.
- 21.) Notice of an airport in the vicinity, consistent with Business and Profession Code Section 11010.(b).(12)(A) and satisfactory to the ALUC, shall be given to all prospective buyers and tenants of real property within the airport influence area.

- 22.) No obstruction of the "FAR Part 77 Conical Surface" shall be permitted. An FAA 7460 review shall be completed for any structure of a height that would exceed a 100:1 slope from the end of the runway.

This area retained pursuant to the Preissman Specific Plan (SP 246).



SP 239

This area retained pursuant to the Preissman Specific Plan (SP 246) and to be developed in conjunction with Stoneridge Specific Plan (SP 239)

SP 239

This area is initially designated as a MSHCP Conservation Area. (See SP Sections 4.49 & 4.51)

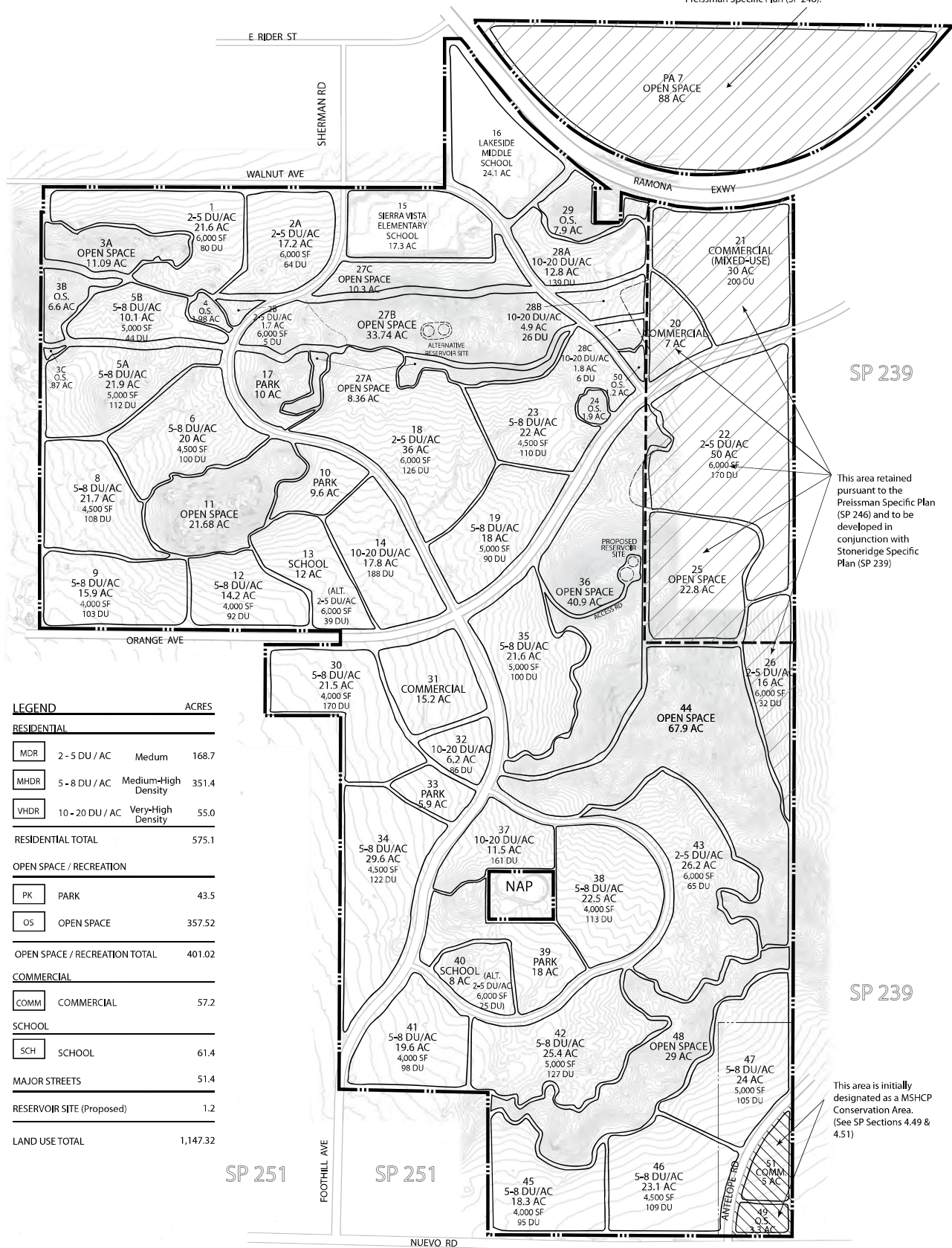
LEGEND		ACRES
RESIDENTIAL		
	2-5 DU/AC	MDR 168.7
	5-8 DU/AC	MHDR 351.4
	10-20 DU/AC	VHDR 55.0
RESIDENTIAL TOTAL		575.1
OPEN SPACE / RECREATION		
	PARK	43.5
	OPEN SPACE	357.52
OPEN SPACE / RECREATION TOTAL		401.02
COMMERCIAL		
	COMMERCIAL	57.2
SCHOOL		
	SCHOOL	61.4
MAJOR STREETS		
		51.4
RESERVOIR SITE (Proposed)		
		1.2
LAND USE TOTAL		1,147.32

NOTE: Planning areas are approximated. Acreages noted include possible slopes, open space, roadways and trails between areas as well as development area.



04-15-2015 JN 145159

This area retained pursuant to the Preissman Specific Plan (SP 246).



SP 239

This area retained pursuant to the Preissman Specific Plan (SP 246) and to be developed in conjunction with Stoneridge Specific Plan (SP 239)

SP 239

This area is initially designated as a MSHCP Conservation Area. (See SP Sections 4.49 & 4.51)

LEGEND		ACRES
RESIDENTIAL		
MDR	2 - 5 DU / AC	Medium 168.7
MHDR	5 - 8 DU / AC	Medium-High Density 351.4
VHDR	10 - 20 DU / AC	Very-High Density 55.0
RESIDENTIAL TOTAL		575.1
OPEN SPACE / RECREATION		
PK	PARK	43.5
OS	OPEN SPACE	357.52
OPEN SPACE / RECREATION TOTAL		401.02
COMMERCIAL		
COMM	COMMERCIAL	57.2
SCHOOL		
SCH	SCHOOL	61.4
MAJOR STREETS		
		51.4
RESERVOIR SITE (Proposed)		
		1.2
LAND USE TOTAL		1,147.32



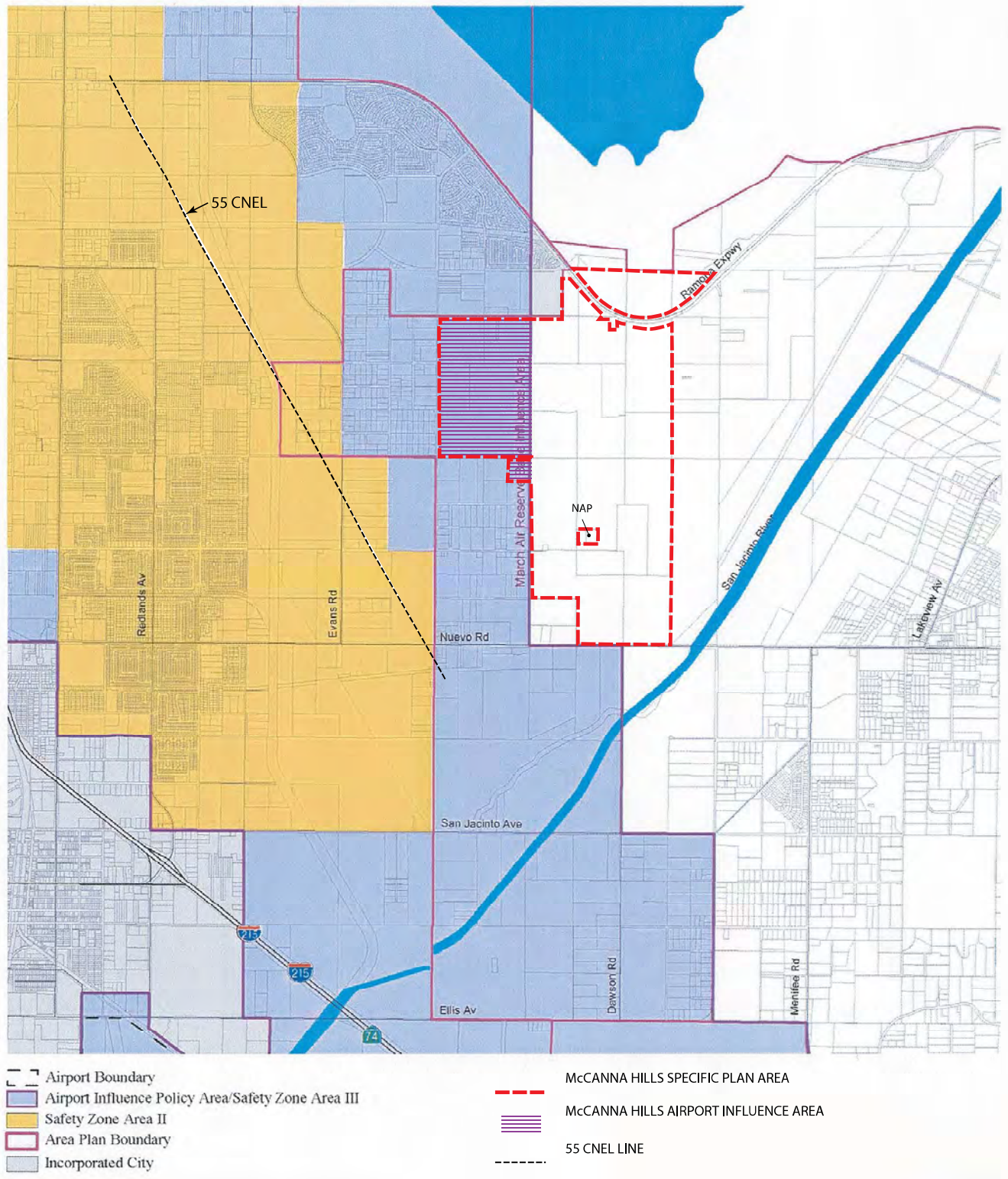
NOTE: Planning areas are approximated. Acreages noted include possible slopes, open space, roadways and trails between areas as well as development area.



04-15-2015 JN 145159

McCanna Hills
SP 246 AMENDMENT 3
LAND USE PLAN (BLACK & WHITE)

EXHIBIT 3.1B



SOURCE: RCIP: Lakeview/Nuevo Area Plan - March Air Reserve Base - Airport Influence Policy Area (Figure 5).
 55 CNEL line is from County of Riverside Airport Land Use Commission Staff Report
 Agenda Item: VI.B. - Hearing Date: December 9, 2004 - Case Number: MA-04-154-McCanna Hills



3.2 Circulation Plan

3.2.1 CIRCULATION PLAN DESCRIPTION

This section of the McCanna Hills Specific Plan establishes the comprehensive circulation plan and design standards for the project-wide backbone arterial and collector roadways. This section also provides design standards for the Planning Area local and residential streets. The circulation plan provides for a system whereby vehicular, pedestrian and bicycle circulation is accommodated, while maintaining countywide general plan circulation goals, as shown in Exhibit 3.2, CIRCULATION PLAN.

The circulation plan establishes a hierarchal roadway system that serves the project circulation capacity needs as appropriate. The main backbone streets of the project provide regional access and connection to the future collector and residential roadways that will serve the planning areas. The roadway network classifications are shown in Exhibits 3.3A and 3.3B, ROADWAY CROSS-SECTIONS, and can be described as follows:

❖ **Urban Arterial**

Nuevo Road: Nuevo Road is an east-west backbone roadway that runs along the southern edge of the project, and is depicted as an Urban Arterial in Figure 7, Circulation, of the Lakeview/Nuevo Area Plan (LNAP). Per County standards, the required right-of-way for an Urban Arterial is 152 feet, with a 76-foot half-width cross-section. Currently, a total of 110 feet of right-of-way is reserved on Nuevo Road fronting the project site. With the proposed project, an additional 21 feet will be reserved along the project frontage for proposed full half-width improvements. Ultimate right-of-way accommodates three lanes of travel in each direction, a 14-foot raised median, and a 21-foot parkway on the northerly side of Nuevo Road that includes a 5-foot sidewalk setback from curb face. The northerly side of Nuevo Road will also include an 8-foot trail, 6 feet of which will be located within the right-of-way. A 4-foot easement beyond the Nuevo Road right-of-way will contain the remaining 2-foot trail extent and a 2-foot margin near the toe of slope. Access to the project from Nuevo Road will primarily be taken from Foothill Avenue, as well as from a proposed 76-foot entry serving Planning Areas 45 and 46.

❖ **Arterial Highway**

Orange Avenue: Orange Avenue is an east-west backbone roadway that runs through the project, extending from the west and continues east through the McCanna Hills Specific Plan (No. 246) and into Specific Plan No. 239. Orange Avenue is depicted in LNAP Figure 7 as an Arterial. Per County standards, the required right-of-way for an Arterial is 128 feet wide, with a 64-foot half-width cross-section. Ultimate right-of-way accommodates two lanes of travel in each direction, an 18-foot raised median, and 21-foot parkways that include 5-foot sidewalks on each side set back from curb face.

The northerly side of Orange Avenue will also include an 8-foot trail, 6 feet of which will be located within the right-of-way. A 4-foot easement beyond the Orange Avenue right-of-way will contain the remaining 2-foot trail extent and a 2-foot margin near the toe of slope. Access to the project from Orange Avenue will primarily be taken from Foothill Avenue, from Walnut Avenue, and from other proposed Collector and Local roadways serving the project.

❖ **Major Highway**

Antelope Road: Antelope Road is a north-south backbone roadway that cuts through the southeast corner of the McCanna Hills Specific Plan area and continues north into adjacent Specific Plan No. 239 to the east. Antelope Road is depicted in LNAP Figure 7 as a Major Highway. Per County standards, the required right-of-way for a Major Highway is 118 feet wide. Ultimate right-of-way accommodates two lanes of travel in each direction, 12-foot painted median, and 21-foot parkways with 5-foot sidewalks on each side set back from curb face. The westerly side of Antelope Road will also include an 8-foot trail, 6 feet of which will be located within the street right-of-way. A 4-foot easement beyond the Antelope Road right-of-way will contain the remaining 2-foot trail extent and a 2-foot margin near the toe of slope. Access to the project from Antelope Road will primarily serve Planning Areas 46, 47 and 51.

❖ **Secondary Highway**

Foothill Avenue, between Nuevo Road and Orange Avenue: Foothill Avenue is a north-south backbone roadway that runs through the McCanna Hills Specific Plan development, connecting to the future extension of Orange Avenue and Walnut Avenue. From Nuevo Road to Orange Avenue, Foothill Avenue is depicted in LNAP Figure 7 as a Secondary Highway. Per County standards, the required right-of-way for a Secondary Highway is 100 feet wide. Ultimate right-of-way accommodates two travel lanes in each direction, undivided, and 18-foot parkways that include 5-foot sidewalks on each side set back from the curb face. The easterly side of Foothill Avenue will also include an 8-foot trail, 3 feet of which will be located within the right-of-way. A 7-foot easement beyond the Foothill Avenue right-of-way will contain the remaining 5-foot trail extent and a 2-foot margin near the toe of slope. Foothill Avenue south of Orange Avenue provides access to Collector and Local Streets serving most of the planning areas in the southern portion of McCanna Hills.

❖ **Collector Street**

Foothill Avenue, between Orange Avenue and Walnut Avenue: From Orange Avenue to Walnut Avenue, Foothill Avenue is depicted in LNAP Figure 7 as a Collector Street. Per County standards, the required right-of-way for a Collector Street is 74 feet wide. Ultimate right-of-way accommodates a travel lane in each direction, undivided, and 15-foot parkways that include 5-foot sidewalks on each side set back from curb face.

The proposed extension of Foothill Avenue through the project is intended to align and connect with existing Sherman Road on the north. Sherman Road intersects with Rider Street to the north which connects with Ramona Expressway, providing an access route to the project from the north. Foothill Avenue north of Orange provides access primarily to Local Streets serving most of the planning areas in the northern portion of McCanna Hills.

Walnut Avenue: Walnut Avenue is an east-west roadway that extends from the west and connects to future Orange Avenue to the east. Walnut Avenue is classified as a Collector street along the project boundary, requiring a total right-of-way of 74 feet (37-foot half-width cross-section). Ultimate right-of-way accommodates a travel lane in each direction, undivided, and a 15-foot parkway that includes a 5-foot sidewalk set back from curb face. With the proposed project, half-width improvements are assumed. Since Walnut Avenue is not a through street beyond Dunlap Drive within the City of Perris, the road provides limited access to the project. Project access from Walnut Avenue will primarily serve Planning Areas 1, 15, 16, 28A, 28B, 28C, and 29.

Loop Road: North of Nuevo Road, in the south central portion of the project site, the Circulation Plan provides a loop road off-of proposed Foothill Avenue. A total right-of-way of 74-foot wide will be provided. Ultimate right-of-way accommodates a travel lane in each direction, and 15-foot parkways that include 5-foot sidewalks on each side set back from curb face. Loop Road will provide access to Planning Areas 37 through 44 by way of Local Streets.

❖ **Local Streets**

Residential Local Streets: Local streets provide access to the Planning Areas off-of the backbone roadways and within planning areas. A total right-of-way of 56 feet will be provided. Ultimate right-of-way accommodates a travel lane in each direction, undivided, and 10-foot parkways that includes 5-foot sidewalks on each side set back from curb where adjacent to residential frontage. Wider entry streets of 80-foot or 76-foot right-of-ways that will include a landscaped raised median will be used for entry to planning areas from Arterial, Major or Secondary highways. (See Exhibit 3.3B, Roadway Cross-Sections).

The McCanna Hills Specific Plan roadway system will incorporate traffic control measures as deemed necessary by the project traffic study. Street calming measures will also be considered and applied as appropriate where pedestrian oriented uses (such as schools, parks and retail) that are adjacent to roadways and major thoroughfares.

TRAIL NETWORK

Integrated with the roadway system are a series of trails that are comprised of on-street bike trails and off-street walking, jogging and hiking trails to serve both

commuting and recreational needs. The McCanna Hills trail network is shown in Exhibit 3.4, TRAIL PLAN, and can be described as follows:

❖ **Multi-Purpose Recreational Trails**

Community Trails: Community trails are designed to link areas of a community to the regional trail system and to link areas of a community with each other. The General Plan shows Community Trails with an easement of from 10 to 14 feet wide and a trail width of 8 feet. Per the County of Riverside General Plan, Community Trails are identified along Orange Avenue, Foothill Avenue, Antelope Road, and Nuevo Road. The proposed project will provide 8-foot Community Trails located as follows: (1) within the northerly parkway of Orange Avenue; (2) within the easterly parkway of Foothill Avenue; (3) within the westerly parkway of Antelope Road; and (4) within the northerly parkway of Nuevo Road. The proposed community trails will link residents, students and recreational users to adjacent properties as well as to the proposed San Jacinto River Class 1 Regional Trail.

The General Plan also calls for a combination Class I bike trail and community trail in a 30-foot easement adjacent to Ramona Expressway. The Specific Plan shall call for reserving an easement for this trail along Planning Areas 21 and 29 as they front on Ramona Expressway. Planning Area 15 has been developed with a school by the Val Verde Unified School District, which owns the site. Further investigation will be necessary with the School District to determine the feasibility of setting aside area for a trail on the school site. Actual development of a trail in this area will be dependent upon determination of the final alignments of the Ramona Expressway and the proposed Mid-County Parkway.

Open Space Hiking Trails: Open space hiking trails will be accommodated where feasible within the McCanna Hills Specific Plan area, to provide limited access into the extensive open space features and to make accessible where possible potential vista points. These trails will be natural in character, with a width of not more than 4-feet at the most and a native soil composition so as to conform to and have minimal impact on the existing topography. Rest areas and vista outlooks will be incorporated where appropriate and feasible. Due to the severity of the topography (steep slopes and large boulder outcroppings), the extent of these trails will be limited and their actual location will need to be determined on a more detailed analysis of the topography. The Trail Plan, Exhibit 3.4, depicts examples of potential open space trail locations in concept only.

Also, see Section 3.7 and Exhibit 3.11, *Recreation and Open Space Plan*, in this Specific Plan for a further illustration of the proposed trail network.

❖ **On-Street Bicycle Trails**

On-street Bicycle Trails: On-street Bicycle Trails link residential communities to local and regional facilities, providing opportunity for commuter and

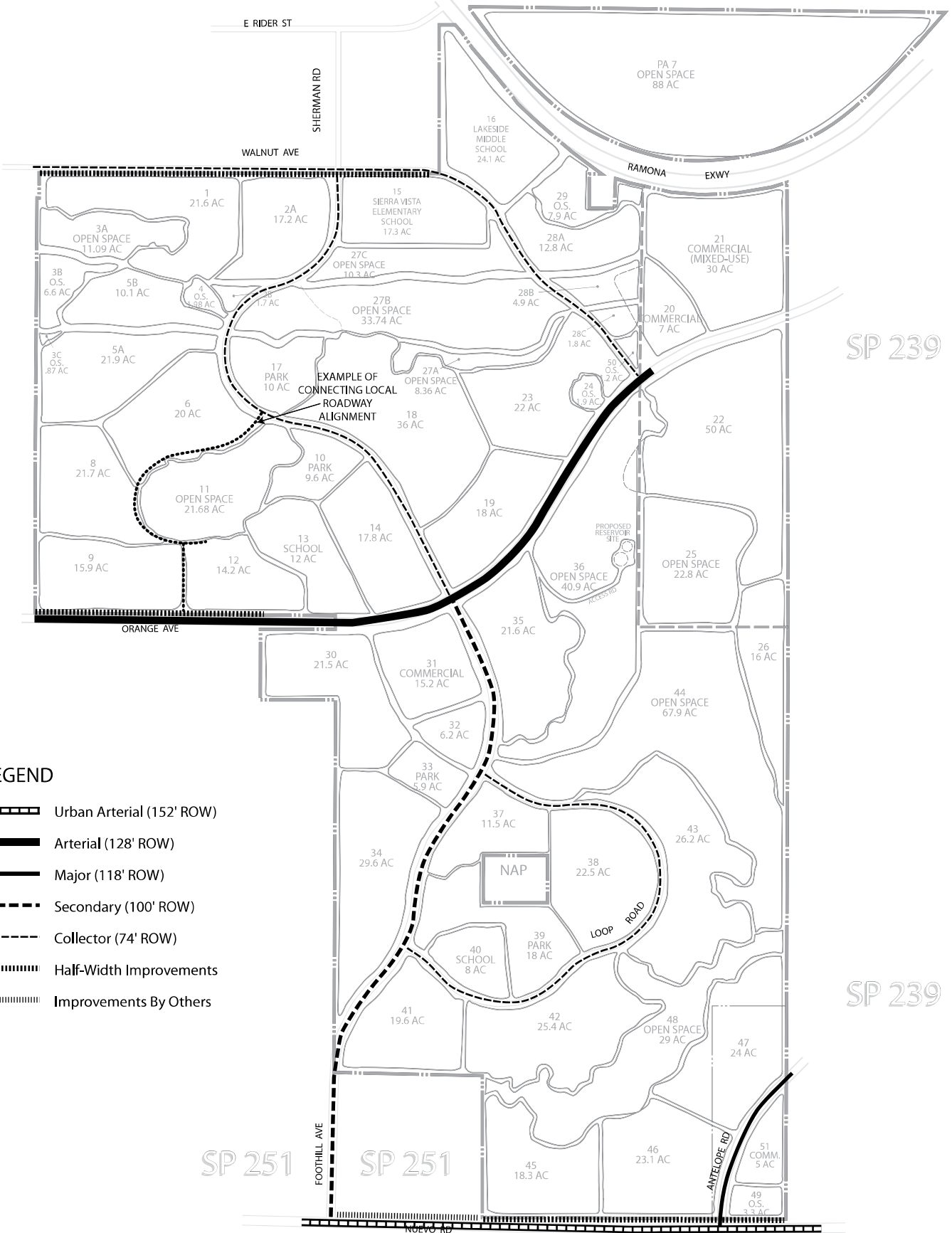
recreational use. These facilities are designed within the roadways, accommodating a separate lane in each direction that is designated for bicycle use. On-street bicycle lanes are accommodated within the right-of-way of Nuevo Road, Antelope Road, Foothill Avenue and Orange Avenue.

3.2.2 CIRCULATION PLAN STANDARDS

- 1.) The Circulation Plan shown on Exhibit 3.2 has been derived from the circulation plan presented and analyzed in the traffic study, and will serve as the composite Circulation Plan for McCanna Hills Specific Plan.
- 2.) On-site Roadways shall be constructed pursuant to the Roadway Cross-Sections shown in Exhibit 3.3 A & B contained within this Specific Plan. The roadways shall be constructed at either full width through the project or half width where the roadway fronts the project edge. The following are the basic right-of-ways required:
 - Urban Arterial: 152 feet of right-of-way total, within the proposed project, an additional 21 feet will be reserved along the project frontage for future half-width improvements.
 - Arterial: 128 feet of right-of-way
 - Major: 118 feet of right-of-way
 - Secondary: 100 feet of right-of-way
 - Collector: 74 feet of right-of-way
 - Local Streets: 56 feet of right-of-way
- 3.) The on-site roadway improvements will be phased in accordance with the phasing according to the Villages and all sections will conform to Ordinance No. 461.
- 4.) Roadway dedication shall be made as part of the land division, subject to review and approval by County's Transportation Department.
- 5.) All-weather access shall be provided to all developed areas.
- 6.) The design of street intersections shall consider safe passage of through traffic and the negotiation of vehicular turning maneuvers.
- 7.) Each subdivision shall comply with the on-site street improvement recommendations/mitigation as described in the McCanna Hills Traffic Study, and incorporated into the project Addendum EIR and appendices.
- 8.) A fair share contribution for off-site circulation improvements shall be required as indicated in the McCanna Hills Traffic Study and Addendum EIR.
- 9.) Mitigation Measures pertaining to noise hazards and levels of service as described in the traffic analysis, shall be implemented as required.

- 10.) Major backbone roadways may be financed through an assessment district or similar financing mechanisms. Many of the infrastructure improvements addressed by the Addendum EIR may be financed through the issuance of bonds by Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities Act of 1982 (Government Code Section 53311, et. seq.).
- 11.) All roads shall be constructed to ultimate county standards in accordance with Ordinance Nos. 460 and 461 as a requirement of implementing subdivisions for the specific plan. All roads are subject to approval by the County's Transportation Department.
- 12.) The project shall comply with the conditions and requirements as set forth by the County's Transportation Department.
- 13.) Where appropriate for efficient and safe vehicular movement, circulation connections to adjacent planning areas within the Specific Plan will be permitted. Access points between planning areas will be determined at the time of tentative tract map approval, subject to the approval of the County's Transportation Department.
- 14.) The McCanna Hills Circulation Plan provides no direct access to individual planning areas from the Ramona Expressway.
- 15.) A connecting local street alignment shall be provided between Foothill Avenue and Orange Avenue through Planning Areas 6, 8 and 9 consistent with the example shown on Exhibit 3.2 Circulation Plan, of this Specific Plan. The purpose of this connection local roadway is to allow for a secondary circulation loop from Foothill Avenue back to Orange Avenue, in the event that the potential alternative Mid-County Parkway alignment through the project area is ultimately constructed and blocks the connection of Foothill Avenue between Orange Avenue and Walnut Avenue. Residential development on this connecting local roadway alignment shall be limited to houses with driveway access located on one side of the roadway only.
- 16.) Each area of the Specific Plan that is developed independent of other areas must provide both primary and secondary access to the satisfaction of the County of Riverside, including interim access through planning areas where improvements have not yet been completed.
- 17.) During the review of implementing development applications, the applicant shall consult with Riverside Transit Agency (RTA) staff to provide certain transit-friendly amenities in selected portions of the overall Specific Plan area:
 - a. Along designated arterial streets (listed in "b" below) deemed likely by RTA to carry bus traffic in the future, subsequent tract maps shall specify bus stops with standard bus turnouts to be installed concurrent with local curbs and gutters. The turnouts shall be placed on both sides of the designated arterial streets at intervals to be determined in consultation with the RTA.
 - b. Designated arterial streets as proposed in the McCanna Hills Specific Plan are:

- i Orange Avenue
 - ii Foothill Avenue, between Orange Avenue and Nuevo Road
 - iii Antelope Road, north from Nuevo to the project boundary
 - iv Nuevo Road (northside only, and within project boundary)
- c. Placement of some turnouts located adjacent to future commercial or institutional uses will need extra attention at the Plot Plan stage to avoid conflicts with future drive aisles. Also, in some cases throughout the project, additional right of way maybe needed to accommodate the full 10-foot minimum width of the bus stop parking area and retain allowance for sidewalk, walls, utilities and landscaping.
- 18.) Residential areas planned adjacent to commercial centers shall consider convenient vehicular and pedestrian access to the centers and transit access areas.
- 19.) The Trail Plan as shown on Exhibit 3.4 Trails Plan, will serve as the composite non-vehicular Circulation Plan for McCanna Hills Specific Plan. Community trails will be incorporated on Orange Avenue, South Foothill Avenue, and Nuevo Road pursuant to the General Plan, to provide for north, south, east and west mobility.



LEGEND

- Urban Arterial (152' ROW)
- Arterial (128' ROW)
- Major (118' ROW)
- Secondary (100' ROW)
- Collector (74' ROW)
- Half-Width Improvements
- Improvements By Others

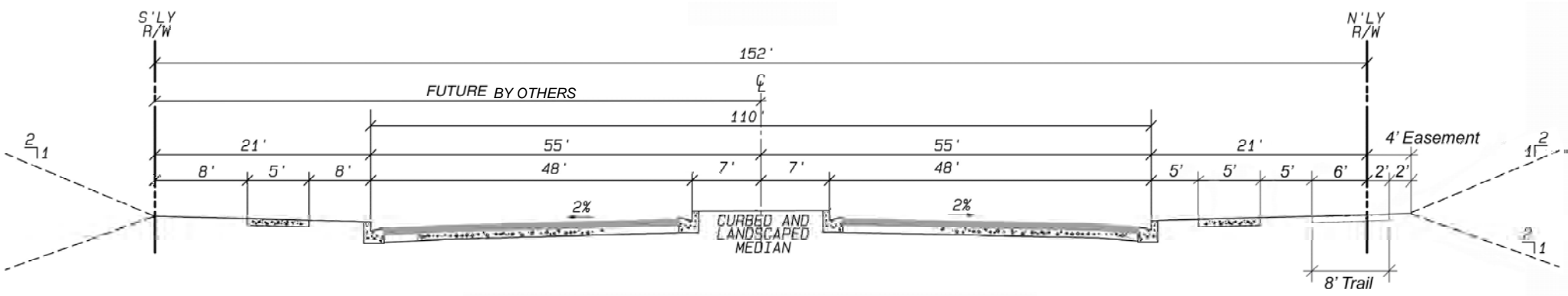


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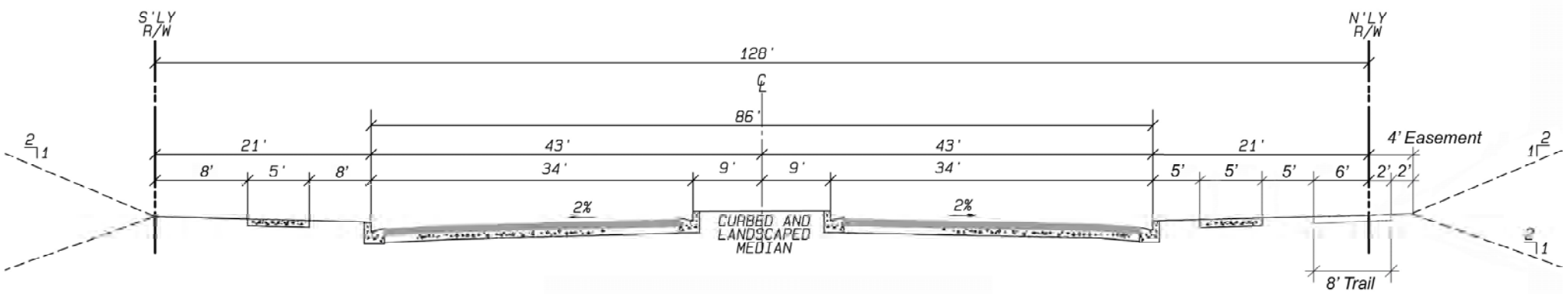
McCanna Hills
SP 246 AMENDMENT 3

CIRCULATION PLAN

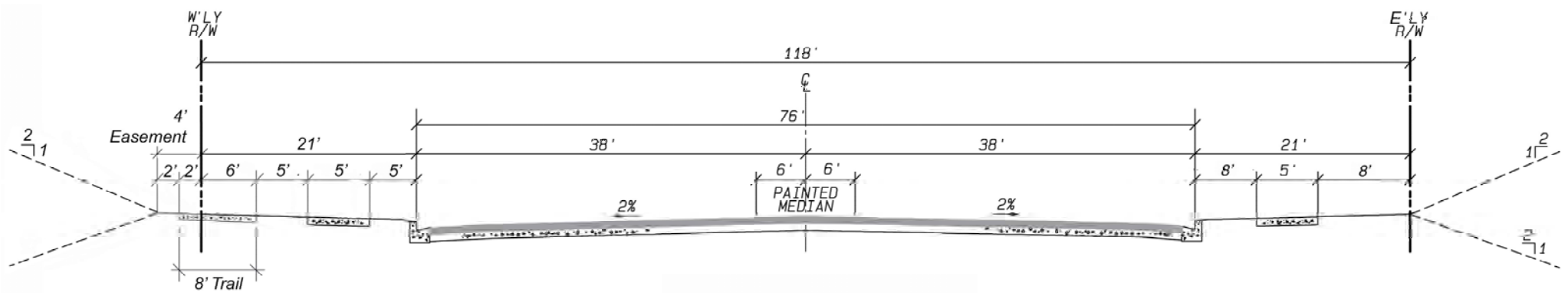
EXHIBIT 3.2



152' Urban Arterial • Nuevo Road

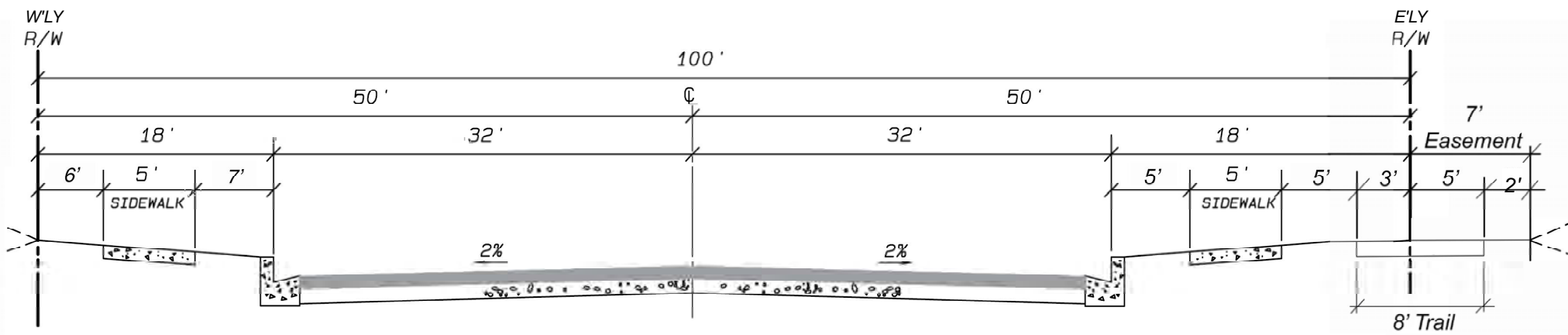


128' Arterial • Orange Avenue



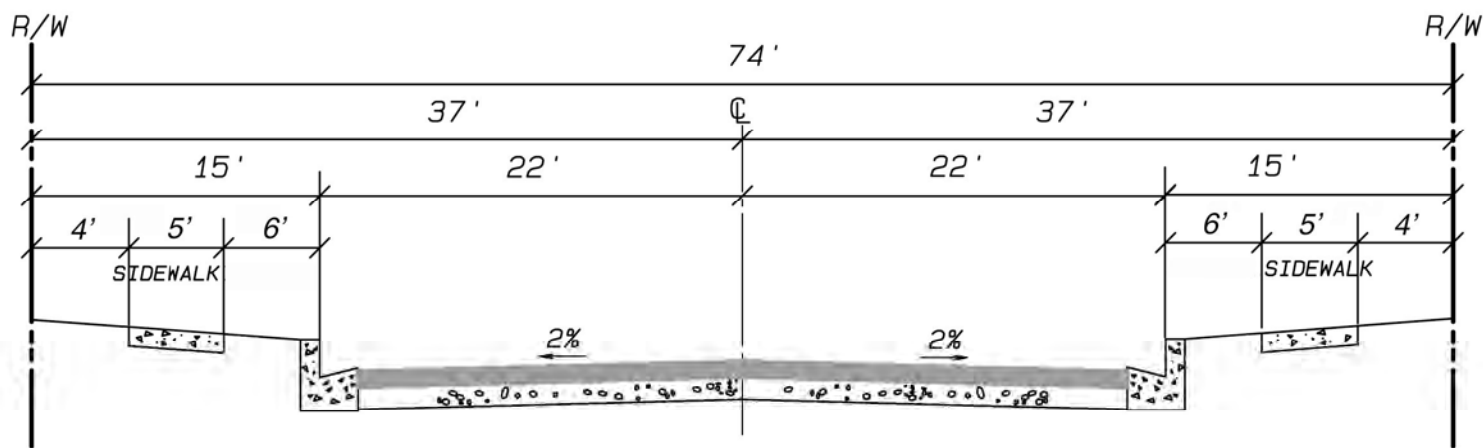
118' Major • Antelope Road





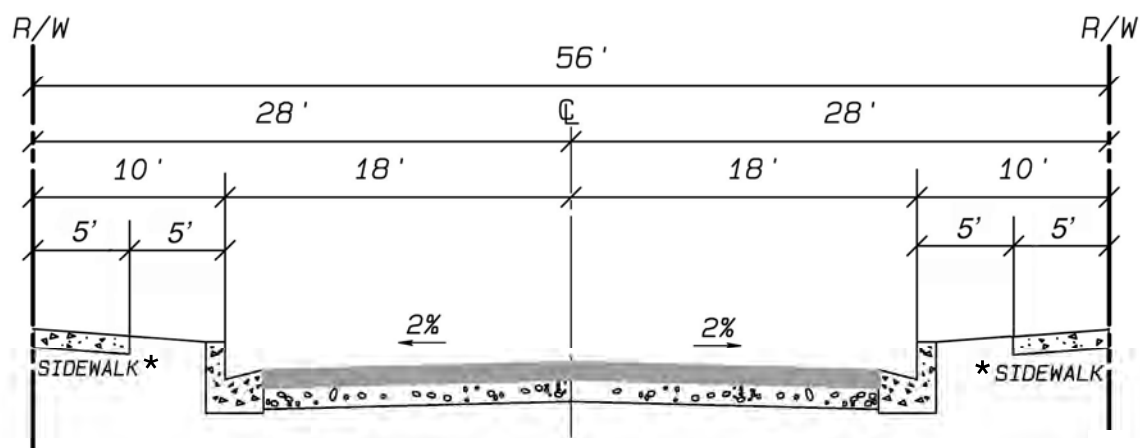
100' Secondary

Foothill Avenue • between Nuevo Road and Orange Avenue



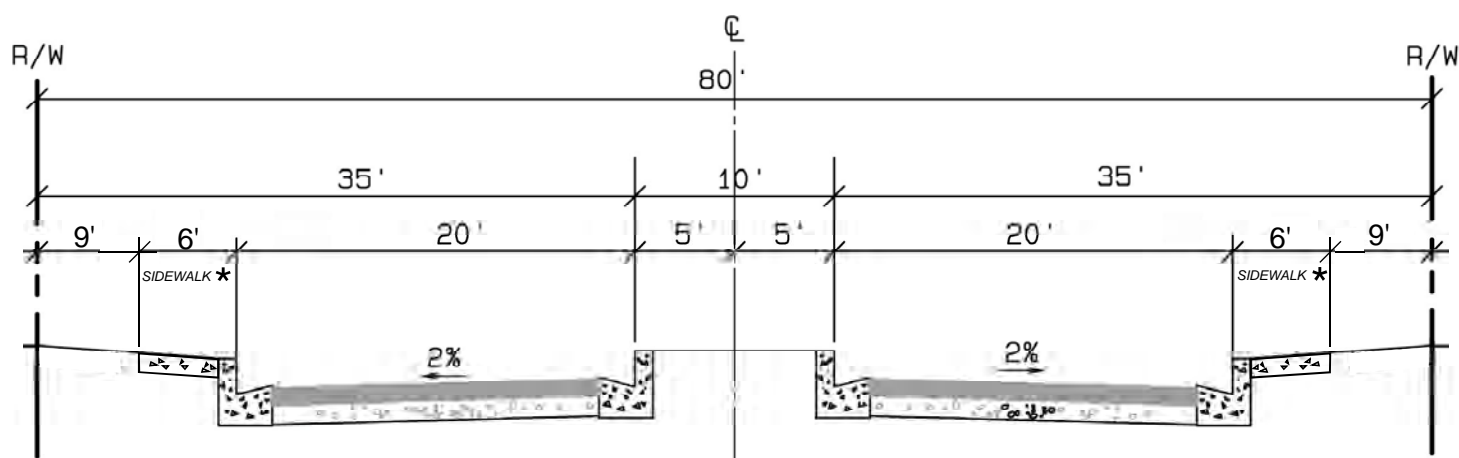
74' Collector

Foothill Avenue • between Orange Avenue and Walnut Avenue
Walnut Avenue, Loop Road



56' Local Street

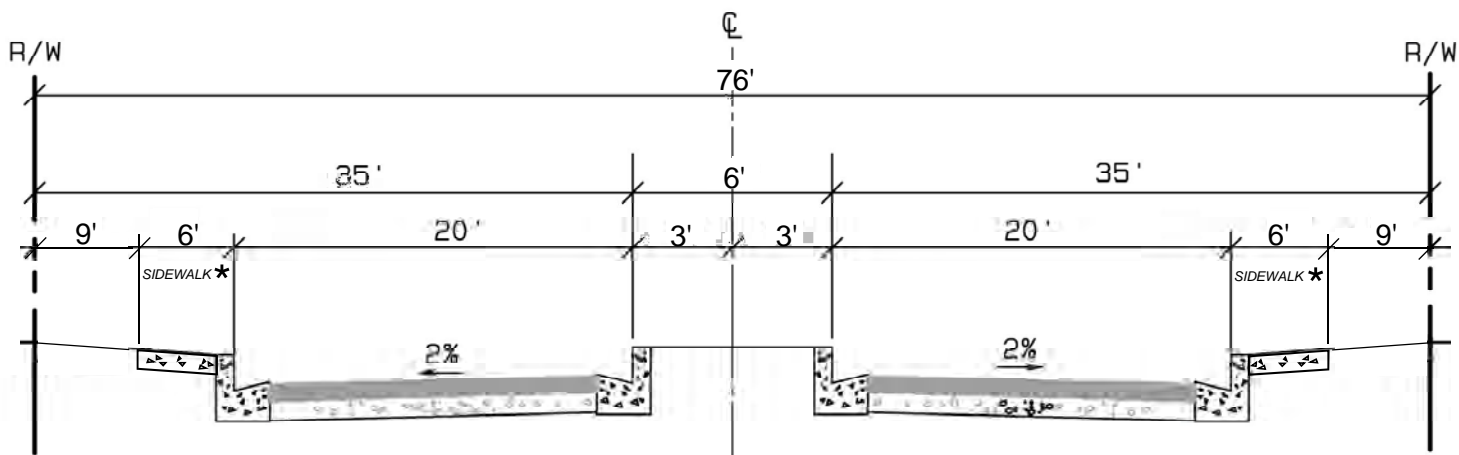
* NOTE: ¥ Detached sidewalk from curb when fronted by homes or no walls adjacent to ROW.
¥ Curb adjacent sidewalk when walls are adjacent to ROW.



80' R/W Entry

One Lot Deep Entry

* NOTE: ¥ Sidewalk may be set off of curb (detached) when entry street is sufficient length to allow.

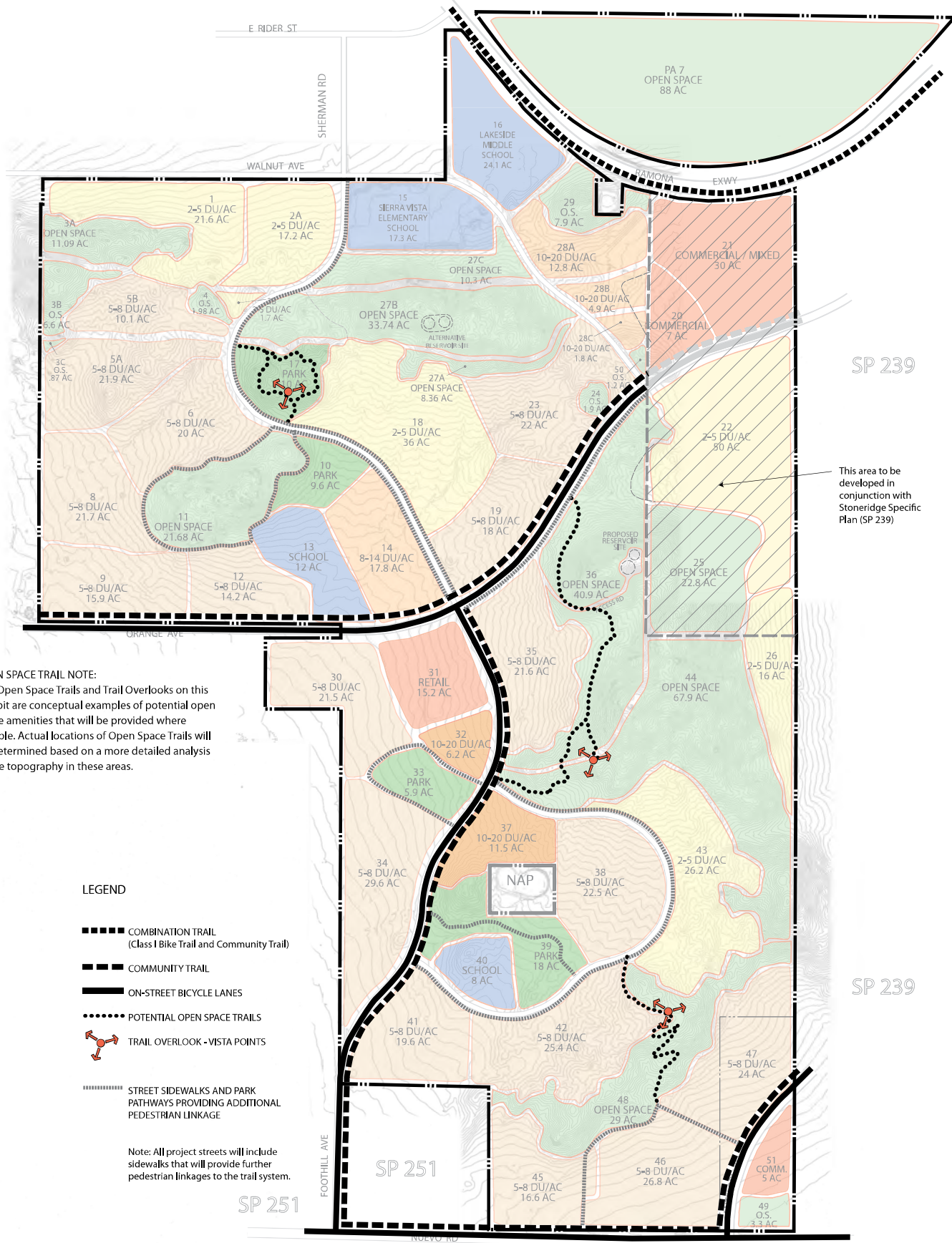


76' R/W Entry

One Lot Deep Entry

* NOTE: ¥ Sidewalk may be set off of curb (detached) when entry street is sufficient length to allow.











SP 239

This area to be developed in conjunction with Stoneridge Specific Plan (SP 239)

SP 239

OPEN SPACE TRAIL NOTE:
 The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

LEGEND

-  COMBINATION TRAIL
 (Class I Bike Trail and Community Trail)
-  COMMUNITY TRAIL
-  ON-STREET BICYCLE LANES
-  POTENTIAL OPEN SPACE TRAILS
-  TRAIL OVERLOOK - VISTA POINTS
-  STREET SIDEWALKS AND PARK PATHWAYS PROVIDING ADDITIONAL PEDESTRIAN LINKAGE

Note: All project streets will include sidewalks that will provide further pedestrian linkages to the trail system.



3.3 Grading Plan

3.3.1 GRADING PLAN DESCRIPTION

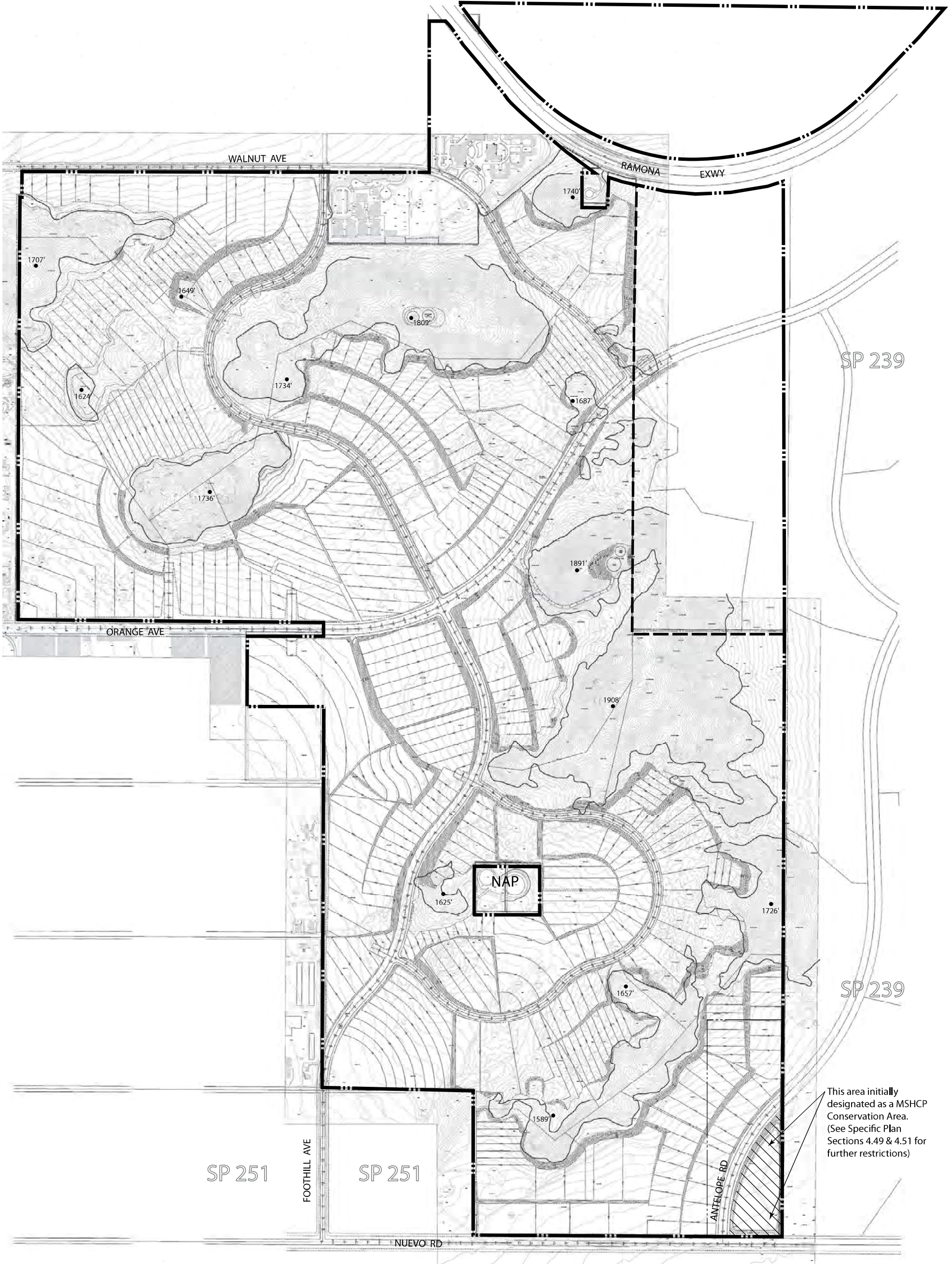
This section describes the proposed overall mass grading concept for the McCanna Hills Specific Plan. The Specific Plan mass grading plan is designed to provide for proposed development, and conform to the existing topography of the project site. The design of the plan reflects a sensitivity to natural landforms where possible. Refer to Exhibit 3.5, CONCEPTUAL GRADING PLAN. The grading plan was also developed to be consistent with the grading concepts proposed for all neighboring properties. As depicted in Exhibit 3.6, SLOPE ANALYSIS, a detailed slope analysis of the project site's existing topography has been prepared showing areas of generally less than 25 percent slope and significant areas of 25 percent slope or greater. All of the larger significant slope areas in the over 25 percent category have been designated as natural open space.

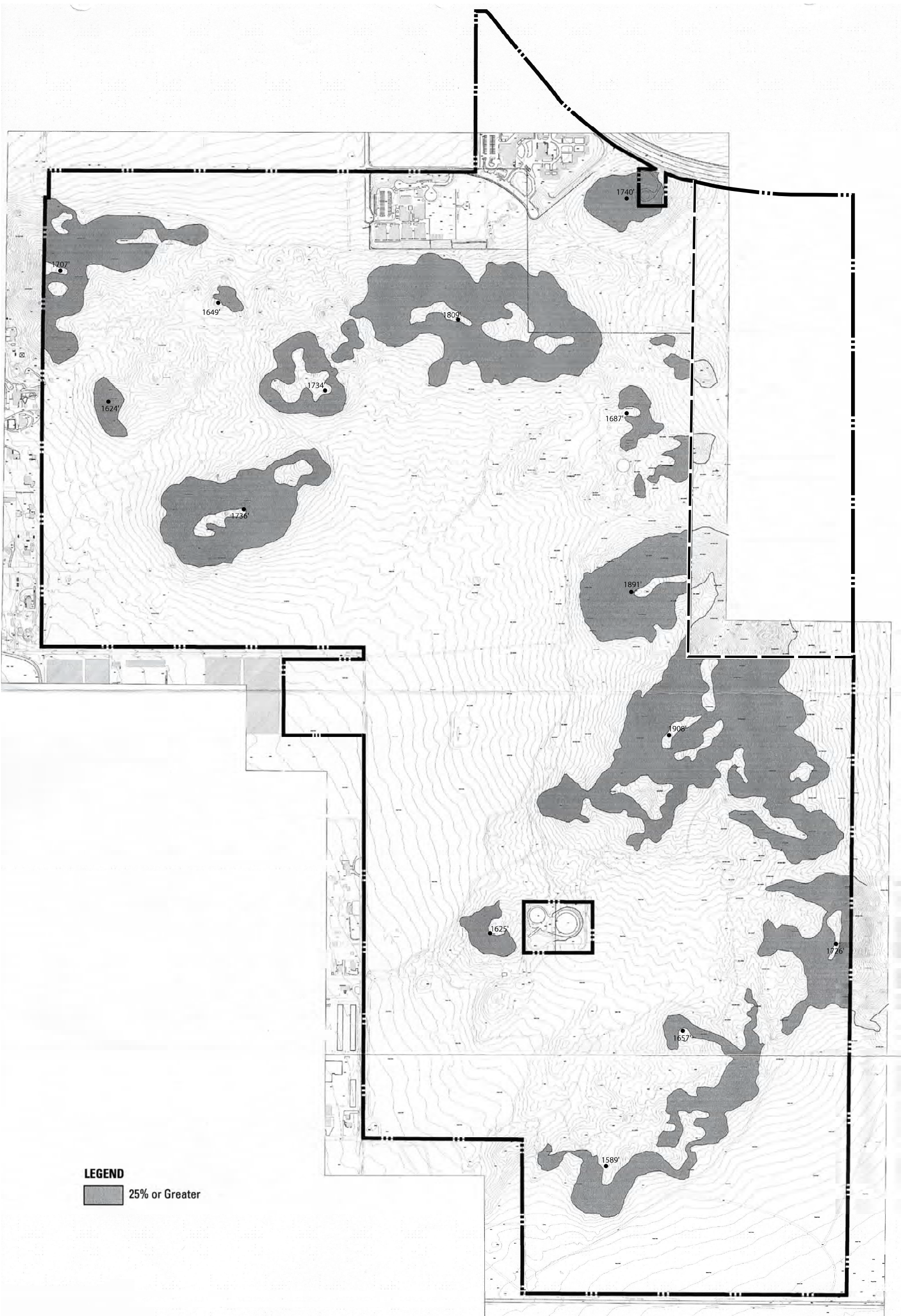
3.3.2 GRADING PLAN DEVELOPMENT STANDARDS

- 1.) All other provisions of this Specific Plan notwithstanding, all grading shall conform to the California Building Code, Riverside County General Plan, Riverside County Ordinance 457, and all other relevant laws, rules and regulations governing grading in Riverside County.
- 2.) All grading activities shall be in substantial conformance with the Conceptual Grading Plan, and shall implement any grading-related mitigation measures outlined in the following EIR sections:
 - a. Seismic Safety
 - b. Slopes and Erosion
 - c. Preliminary Geotechnical Investigations
- 3.) All streets shall have a gradient not exceeding 15 percent.
- 4.) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
- 5.) The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
- 6.) The toes and tops of all slopes higher than ten feet should be rounded, where possible, with curve radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
- 7.) Cut or fill slopes exceeding 100 feet in horizontal length, if any shall be graded to meander at the toe and top of the slope.

- 8.) Slopes exceeding three feet in vertical height shall be protected per county standards prior to the beginning of the wet season (October to March), or as otherwise provided per the approved Erosion Control Plan.
- 9.) Prior to initial grading activities, a soils report and geotechnical study shall be performed with further analyses of on-site soil conditions and appropriate measures to control erosion and dust.
- 10.) Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.
- 11.) All dwelling units shall have a minimum three-foot-wide side yard setback from the property line and a minimum ten-foot-wide rear setback from the toe of slopes higher than ten feet. County Ordinance No. 457 will be observed regarding setback requirements. All single family detached lots will provide a net minimum useable pad area as set forth in Section 5.4.
- 12.) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.
- 13.) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- 14.) Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 15.) Grading work shall be balanced on-site, wherever possible. If export of quantities in excess of 10,000 cubic yards is required as a result of the final grading plan, then measures will be taken to be in compliance with the Riverside County Ordinance No. 555 at time of final grading plan approval.
- 16.) Graded, but undeveloped, land shall be maintained weed-free and planted with interim erosion control measures within 45 days of completion of grading, unless building permits are obtained.
- 17.) Natural features, such as significant rock outcrops, shall be protected to the extent feasible in the siting of individual lots and building pads. Lots should be sited and graded adjacent to significant rock outcroppings and geologic features to allow view opportunities to these features where opportunities exist and where feasible.
- 18.) A grading permit shall be obtained from the County of Riverside, as required by the county grading ordinance, prior to grading.
- 19.) If any historic or prehistoric remains are discovered during grading, a qualified archaeologist and paleontologist shall be consulted to ascertain their significance.

- 20.) Soil stabilizers shall be used to control dust as required by SCAQMD Rule No. 403.
- 21.) Property lines shall be located at the tops of slopes, in rear and sideyard areas when feasible.
- 22.) Implementing tentative tract maps for residential subdivisions that propose any grading within Planning Areas 34, 37, 39, 40, 41, 42, 43, 45, 46, 47, or 48 of the McCanna Hills Specific Plan shall be submitted together with at minimum a complete Phase 1 archaeological survey and analysis of the five recorded archaeological sites within or near these areas. The purpose of the survey and analysis would be to determine the remaining significance of the sites and a more precise locational limits of significance of these sites so that implementation of proposed mitigation measures can be better directed.
- 23.) Maintain moderate grades on new slopes to reduce risk of erosion.
- 24.) Appropriate erosion control measures shall be considered as part of the comprehensive grading and drainage plan to reduce erosion.
- 25.) Adequate provisions shall be made to prevent surface waters from damaging or interfering with construction activities, public or private property, and cut and fill slopes during and after construction.
- 26.) All project sites shall meet NPDES requirements for urban runoff and erosion control. All sites should employ Best Management Practices (BMP's).
- 27.) This site is subject to the potential hazard of rockfall, liquefaction and hydroconsolidation as described in County Geologic Report No. 1382. These potential hazards shall be further assessed during investigations required for site grading permit(s) and project specific recommendations for mitigation shall be implemented through site grading and/or structural improvements constructed for the specific projects.





LEGEND
 [Shaded Box] 25% or Greater



3.4 Master Drainage Plan

Portions of the McCanna Hills Specific Plan drain to either the San Jacinto River to the east or to the Perris Valley Storm Drain Channel to the west. Regarding the project area south of Ramona Expressway, approximately 401-acres drain towards the San Jacinto River, while approximately 668 acres drain towards the Perris Valley Storm Drain Channel. The Riverside County Flood Control District and Water Conservation District (RCFCD) has indicated that the unimproved applicable portions of the Perris Valley Master Plan Facilities leading to the Channel will need to be constructed as a result of the project and that the RCFCD does have plans to upsize the Perris Valley Storm Drain Channel at a later date. Refer to Exhibit 3.7A, MASTER DRAINAGE SYSTEM OFF-SITE and Exhibit 3.7B, MASTER DRAINAGE SYSTEM ON-SITE.

3.4.1 BACKBONE SYSTEM PLAN

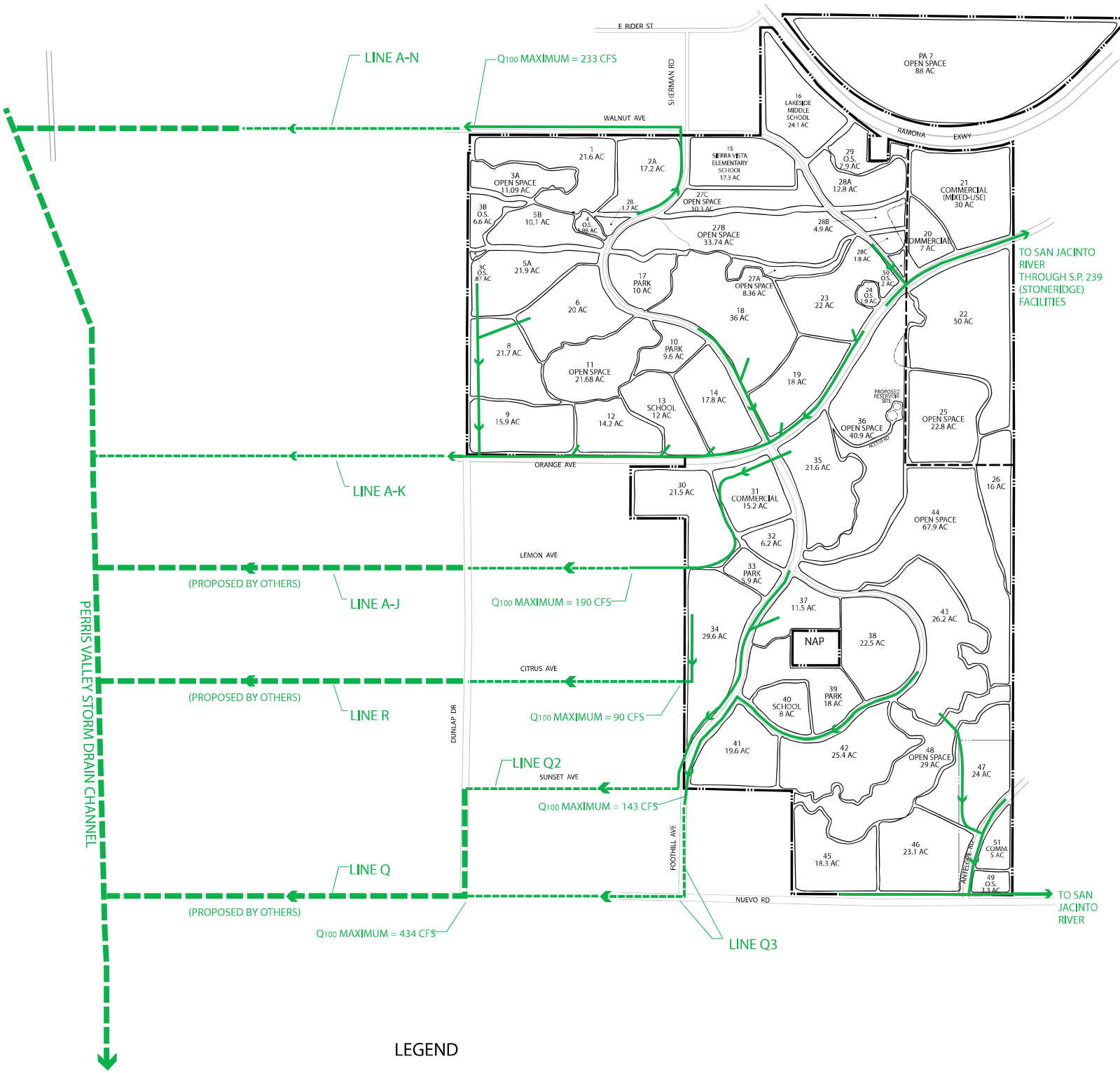
The drainage system is divided into eight drainage sub-zones, with five zones draining to the Perris Valley Storm Drain Channel located to the west of the project and three sub-zones draining east to the San Jacinto River. The storm water flows draining to the west are anticipated to be conveyed within the project site through a series of 18-inch to 78-inch pipelines. The zone within the northwestern section of the project will include a 24-inch pipeline in Foothill Avenue extending north to a proposed 42-inch pipeline to 48-inch pipeline in Walnut Avenue, connecting to the proposed Master Plan Facilities within Walnut Avenue (Line A-N) to be constructed. The zone immediately north of Orange Avenue anticipates a series of 42-inch pipelines to 78-inch pipelines in Foothill and Orange Avenues to be conveyed through the proposed Master Plan Facilities within Orange Avenue (Line A-K) that will need to be constructed to the Perris Valley Storm Drain Channel to the west. The zone immediately to the south of Orange Avenue will convey flows from a 30-inch-or-less pipeline extending generally southwest to Lemon Avenue. Master Plan Line A-J in Lemon Avenue will intercept and convey these flows westerly to the Perris Valley Storm Drain. The southerly drainages will have three major pipelines conveying flows. A 30-inch or less line from Planning Area 34 will convey flows to Citrus Avenue on the west side of the project. Master Plan Line R in Citrus Avenue will convey flows west to the Perris Valley Storm Drain Channel. A 48-inch pipeline will convey flows within the southern Loop Road to its intersection with Foothill Avenue. From this intersection, a 60-inch line within Foothill Avenue will convey flows south to Nuevo Road, to be intercepted and conveyed by Master Plan Line Q-3. Another 42-inch drain in Foothill Avenue will convey flows to Master Plan Line Q-2 in Sunset Avenue on the southwest corner of the project area. Master Plan Line Q-2 will extend west in Sunset Avenue to Dunlap Drive. Line Q-2 will then flow south in Dunlap Drive to Nuevo Road. Master Plan Line Q in Nuevo Road picks up flows from Lines Q-2 and Q-3 and then flows west to the existing Perris Valley Storm Drain Channel.

It is anticipated that a portion of the proposed Perris Valley Master Plan Storm Drain system that will be required to serve the McCanna Hills project (Lines Q, R, A-J, A-K and A-N) will be constructed by other developments to the west in the City of Perris. The Master Plan facilities not in place at the time they are needed for the McCanna Hills project will then need to be constructed by this project.

The two zones draining to the east include one zone within the northeastern section of the project site. These storm water flows are anticipated to be conveyed through 42-inch pipelines in Walnut and Orange Avenue to the east and into off-site facilities that would be proposed within Specific Plan 239 (StoneRidge), and ultimately to the San Jacinto River. The second zone is located within the southeastern portion of the project site and is anticipated to include a 30-inch or less pipeline extending generally southeast from Planning Area 43, and a second 54-inch pipeline within Nuevo Road. Storm water flow will be conveyed from the two pipelines into a single line in Nuevo Road, east of Antelope Road to the San Jacinto River. There are six master plan facilities proposed to the west in the County's Master Plan of Drainage. Five systems will be used at this time (Line A-N in Walnut Avenue, Line A-K in Orange Avenue, Line A-J in Lemon Avenue, Line Q2 in Sunset Avenue, and Line Q3/Q in Foothill Avenue and Nuevo Road).

3.4.2 DRAINAGE PLAN DEVELOPMENT STANDARDS

- 1.) Drainage and flood control facilities and improvements, including any necessary channelization, shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
- 2.) Major drainage facilities within road right-of-ways and drainage easements are proposed to be maintained by Riverside County Flood Control and Water Conservation District. Maintenance responsibilities for local drainage will be determined through the processing of individual tract maps.
- 3.) All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least five acres total land area, or activity which is part of a larger common plan of development of five acres or greater, shall comply the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but are not limited to: on-site detention; vegetated swales; monitoring programs; etc.

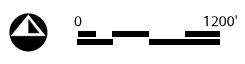


LEGEND

- PROPOSED SPECIFIC PLAN STORM DRAIN BACKBONE LINES
- - - - - PROPOSED STORM DRAIN MASTER PLAN FACILITIES
- - - - - EXISTING STORM DRAIN MASTER PLAN FACILITIES
- SPECIFIC PLAN BOUNDARY



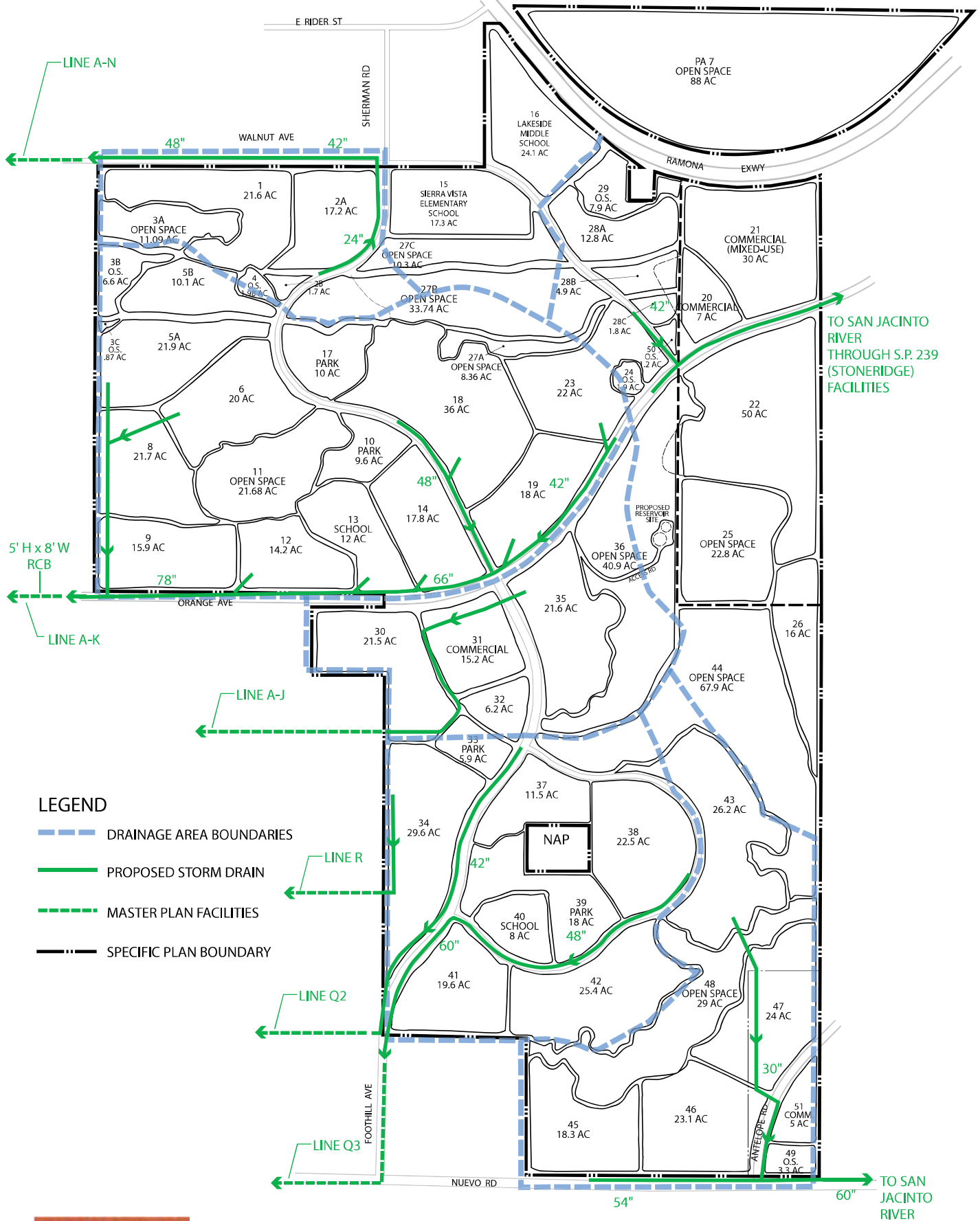
McCanna Hills
SP 246 AMENDMENT 3



MASTER DRAINAGE SYSTEM OFF-SITE

04-15-2015 JN 145159

EXHIBIT 3.7 A



LEGEND

- DRAINAGE AREA BOUNDARIES
- PROPOSED STORM DRAIN
- MASTER PLAN FACILITIES
- SPECIFIC PLAN BOUNDARY



04-15-2015 JN 145159

MASTER DRAINAGE SYSTEM ON-SITE

McCanna Hills
SP 246 AMENDMENT 3

EXHIBIT 3.7 B

3.5 Water, Recycled Water, and Sewer Plans¹

The McCanna Hills Specific Plan is located within the Eastern Municipal Water District (EMWD), which provides domestic water, recycled (non-domestic) water, and sewer services. Existing domestic water facilities on-site include two reservoirs within the southern portion of the project area. A 16-inch domestic water pipeline extends west from the reservoirs to a 16-inch domestic water pipeline in existing Foothill Avenue along the western project site boundary, connecting to an existing 16-inch domestic water pipeline in Orange Avenue that extends west of the site. The nearest recycled (non-domestic) water source includes a 36-inch recycled water pipeline along the east side of the San Jacinto River between Nuevo Road and Ramona Expressway.

The project site is within EMWD's Perris Valley Regional Water Reclamation Facility service area and can be served via existing gravity sewer pipelines. The nearest sewer pipelines are located in Nuevo Road and Placentia Avenue west of the project site, which connect to a 42-inch pipeline within Murrieta Road to the west.

3.5.1 WATER PLAN

Two types of water will ultimately be provided within the project site. Domestic water will serve the residential and retail uses, while recycled (non-domestic) water will service the recreational and landscaped common areas. Exhibit 3.8A, MASTER WATER PLAN and Exhibit 3.8B, RECYCLED (NON-DOMESTIC) WATER depict both on-and off-site facilities.

❖ **Domestic Water²**

The majority of the project site will be served by a new pressure zone service elevation area of 1850 feet (above mean sea level), with a small portion to be serviced by the existing water reservoirs within the 1627 pressure zone. Zone 1850 will include new reservoirs and a pump station. A potential of two reservoirs (2.9 MG and 1.6 MG) for Zone 1850 are proposed to be located within the open space Planning Area 36 or the open space Planning Area 27B as an alternative. The two reservoirs could be combined into one large reservoir. The pump station will convey water from Zone 1627 to the reservoirs. Transmission pipelines will include a series of 12-inch to 20-inch pipelines connecting to an existing 16-inch water pipeline in Citrus Avenue and proposed 16-inch water pipeline in Nuevo Road connecting to an existing 16" at Nuevo Road and Dunlap Avenue.

The existing reservoir located within Zone 1627 in the southern portion of the site will serve a small segment of the project and require the relocation of an existing 16-inch water pipeline within the proposed roadway network.

¹ Information based on a total of 2,945 dwelling units.

² Water estimates include EMWD Critical Fire Flow standards for sizing the two proposed water reservoirs.

❖ **Recycled (Non-Domestic) Water**

Currently, EMWD has no recycled (non-domestic) water services in proximity to the project site. The nearest source includes a 36-inch recycled water pipeline along the east side of the San Jacinto River extending between Nuevo Road and Ramona Expressway. As such, the proposed recycled (non-domestic) water system will include a dual water connection to the domestic water supply in the interim, until such time that EMWD extends service to the project site. The proposed recycled (non-domestic) water system will include a series of 8-inch pipelines extending from Foothill Avenue and provide irrigation to parks, slopes and landscape areas. Refer to Exhibit 3.8B, RECYCLED (NON-DOMESTIC) WATER. EMWD has indicated that it will work with the developer with an analysis of extending recycled water transmission lines to the project site.

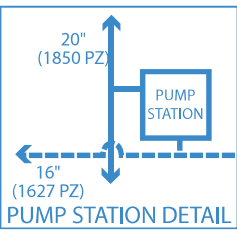
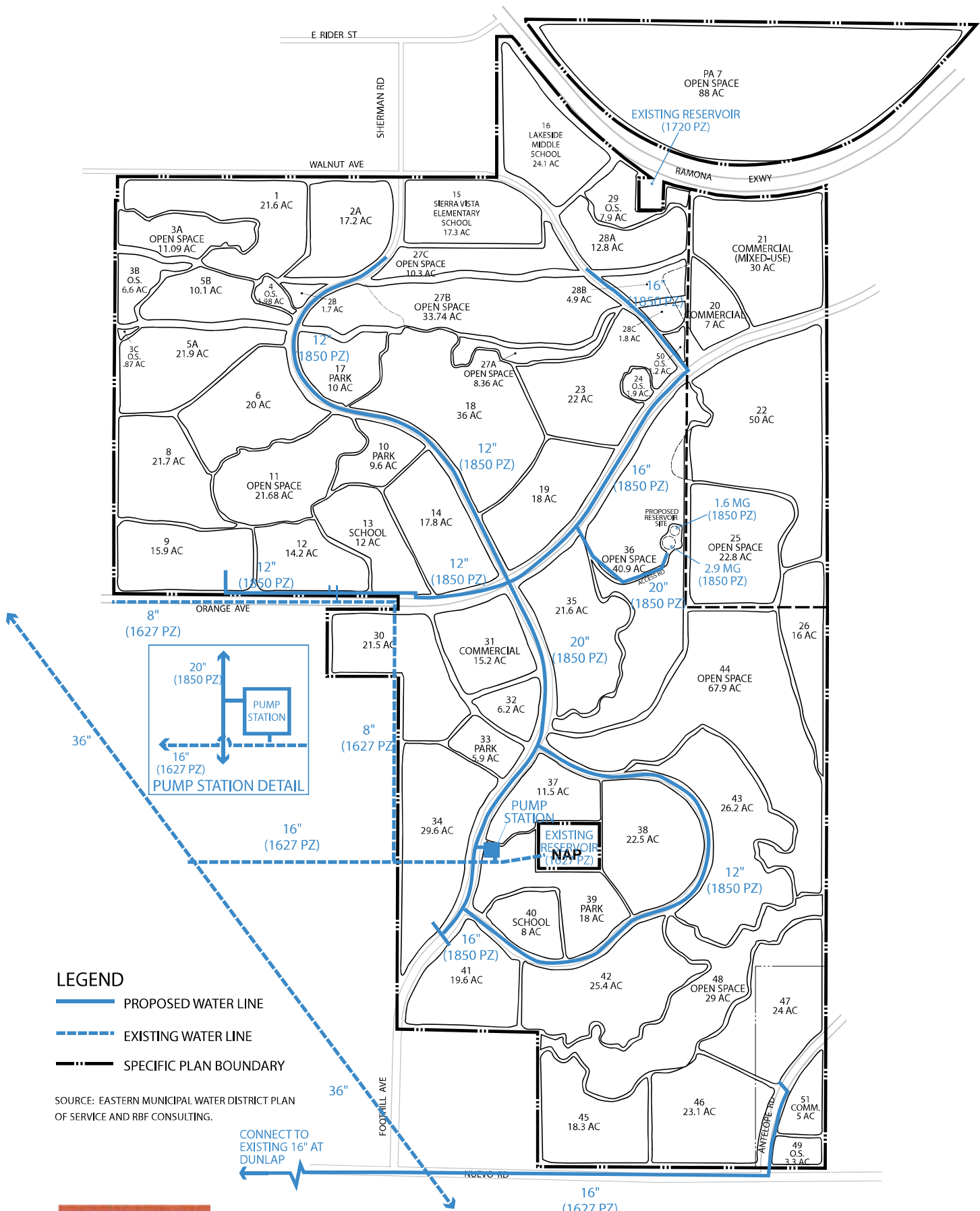
3.5.2 SEWER PLAN

McCanna Hills Specific Plan sewer collection system will be connected to existing facilities to the west, including a 15-inch pipeline within Nuevo Road and a small segment of Placentia Avenue, both extending to a 42-inch pipeline within Murrieta Road to the west. Refer to Exhibit 3.9A, MASTER SEWER PLAN OFF-SITE, and Exhibit 3.9B, MASTER SEWER PLAN ON-SITE.

The on-site system includes four separate areas to convey sewage to the west. The backbone gravity pipelines will include a series of 8-inch to 15-inch pipelines. A total of two sewer lift stations are proposed. A lift station is proposed in the northeastern portion of the project site, connecting to a 6-inch force main in Orange Avenue until it can connect to the proposed gravity lines in Orange Avenue, while the second lift station is located at the corner of Antelope Road and Nuevo Road. The second lift station will connect to an 8-inch proposed force main, extending to a proposed 15-inch sewer backbone (gravity) line, ultimately connection to an existing 15-inch sewer pipeline at Nuevo Road and Dunlop Drive.

3.5.3 WATER AND SEWER PLAN DEVELOPMENT STANDARDS

- 1.) All water and sewer lines shall be placed underground.
- 2.) All lines will be designed per the Eastern Municipal Water District's (EMWD's) requirements.
- 3.) An assessment district or other similar financing mechanism may be developed to manage the development of required infrastructure.
- 4.) Water and sewer disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
- 5.) Reclaimed water will be used for irrigation wherever possible.
- 6.) Standards for siting and screening of new and existing water tanks will be in cooperation with EMWD.



- LEGEND**
- PROPOSED WATER LINE
 - - - EXISTING WATER LINE
 - SPECIFIC PLAN BOUNDARY

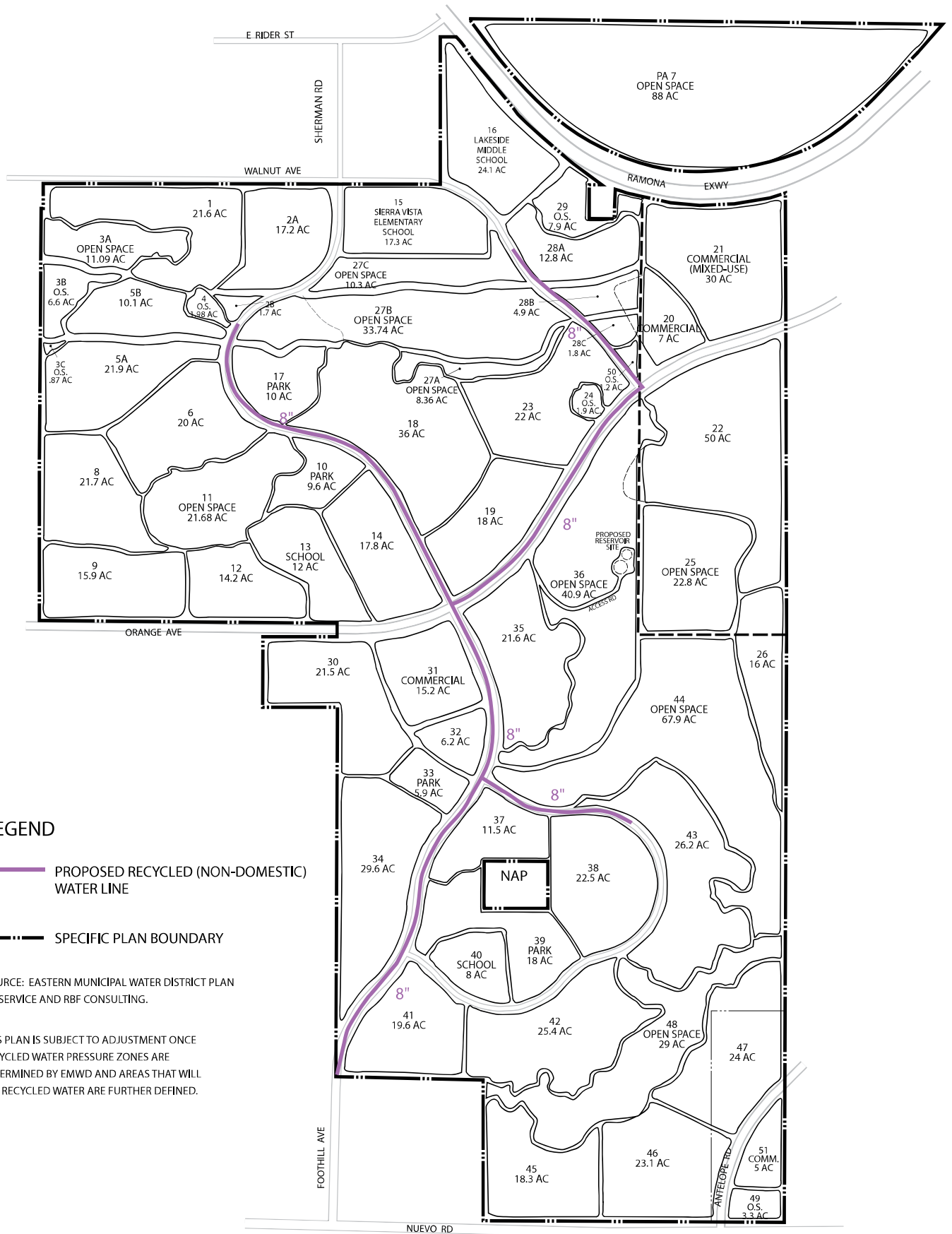
SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.

CONNECT TO EXISTING 16" AT DUNLAP




04-15-2015 JN 145159

McCanna Hills
SP 246 AMENDMENT 3
MASTER WATER PLAN



LEGEND

 PROPOSED RECYCLED (NON-DOMESTIC) WATER LINE

 SPECIFIC PLAN BOUNDARY

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.

THIS PLAN IS SUBJECT TO ADJUSTMENT ONCE RECYCLED WATER PRESSURE ZONES ARE DETERMINED BY EMWD AND AREAS THAT WILL USE RECYCLED WATER ARE FURTHER DEFINED.

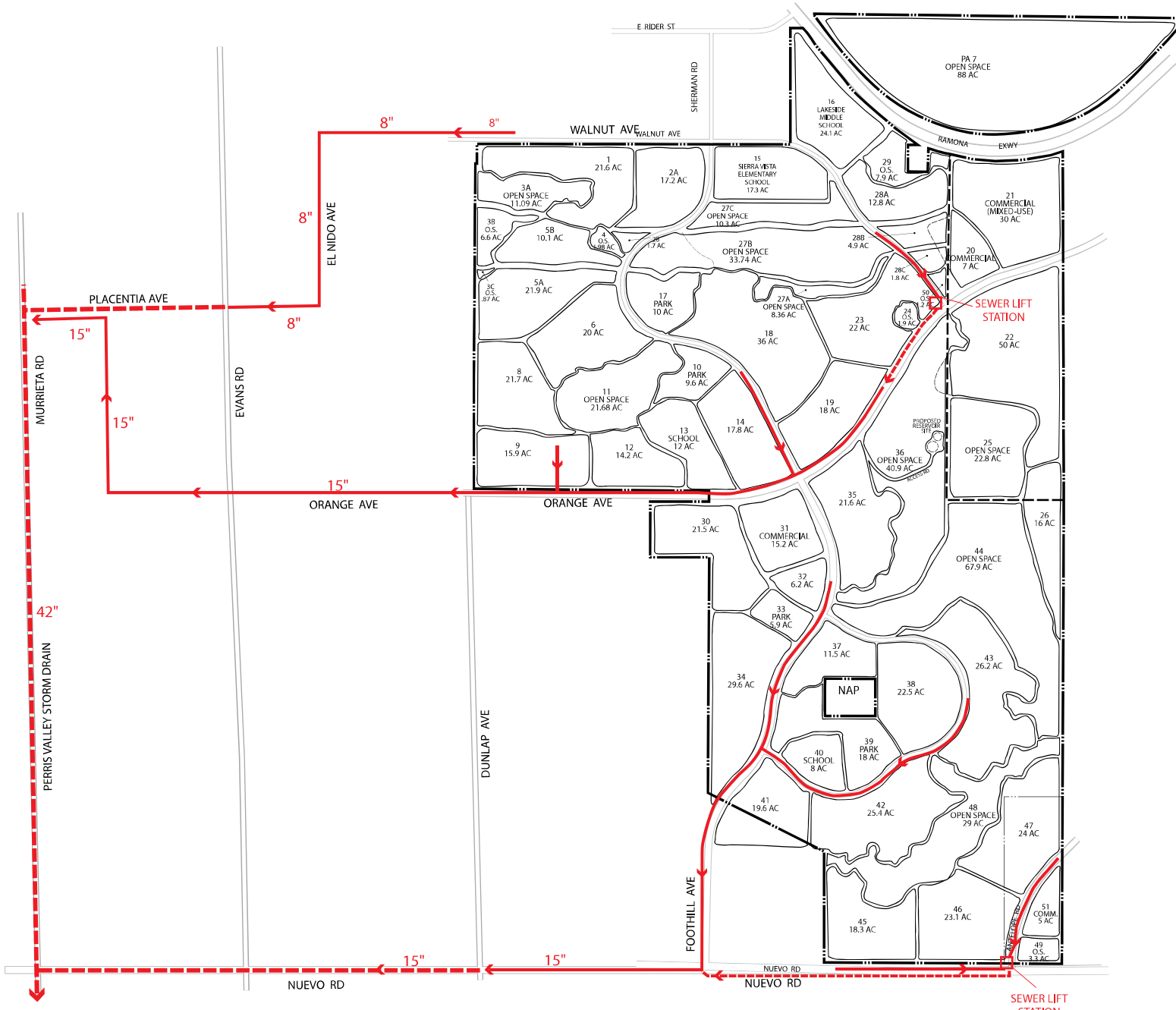


PROPOSED RECYCLED (NON-DOMESTIC) WATER PLAN

04-15-2015 JN 145159

McCanna Hills
SP 246 AMENDMENT 3

EXHIBIT 3.8 B

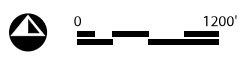


TO PERRIS VALLEY
REGIONAL WATER
RECLAMATION FACILITY

LEGEND

- PROPOSED SEWER BACKBONE LINES (GRAVITY)
- - - - - PROPOSED SEWER FORCE MAIN
- - - - - EXISTING SEWER MAIN (GRAVITY)
- SPECIFIC PLAN BOUNDARY

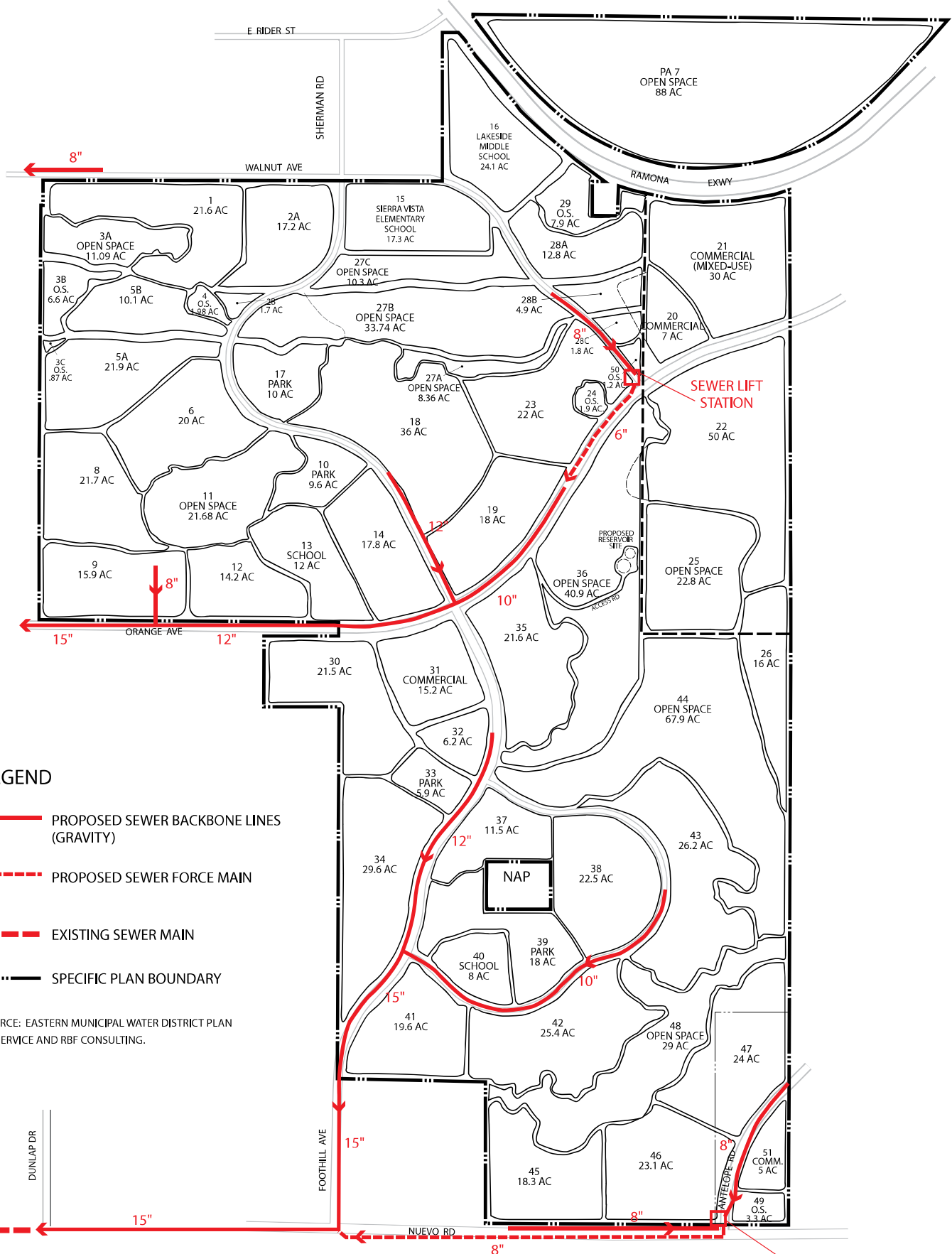
SOURCE: EASTERN MUNICIPAL WATER DISTRICT
PLAN OF SERVICE AND RBF CONSULTING.



04-15-2015 JN 145159

McCanna Hills
SP 246 AMENDMENT 3
MASTER SEWER OFF-SITE

EXHIBIT 3.9 A



LEGEND

- PROPOSED SEWER BACKBONE LINES (GRAVITY)
- - - - - PROPOSED SEWER FORCE MAIN
- - - - - EXISTING SEWER MAIN
- SPECIFIC PLAN BOUNDARY

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.



04-15-2015 JN 145159

McCanna Hills
SP 246 AMENDMENT 3
MASTER SEWER PLAN ON-SITE

3.6 Landscape Plan

3.6.1 LANDSCAPE PLAN

This section contains the landscape design concepts, guidelines and special treatments for the implementation of landscaping within the McCanna Hills Specific Plan area. These concepts, guidelines and special treatments are intended to:

- Create a landscape plan that respects the design hierarchies of traditional styles, land use and community design plan with the village core, public parks, open spaces, and the pedestrian linkages as the focus;
- Create a sense of community;
- Create a landscaped environment that encourages walking and bicycling as a form of transit and recreation;
- Provide a plant palette which is sensitive to the environment and visually blends the development into the community, and;
- Incorporate the latest design principles of environmental sensitivity, conservation and sustainability into the landscape planning and design to the greatest extent feasible.

The overall landscape style draws inspiration from the old classical neighborhoods, such as Pasadena and Claremont. Streetscape for most streets within the community will include sidewalks separated by generous parkway landscaping with simple landscaping composed of shade forming formal rows of large canopy trees under planted with turf and/or shrubs. Community gateways/entry monuments, bus stops, benches and pedestrian scale lights will be incorporated throughout the public right of way, parks and open spaces. The architectural style of key features should be implemented so as to blend with the community character. Refer to Exhibit 3.10 MASTER CONCEPT LANDSCAPE PLAN.

The landscape concept for McCanna Hills development draws upon elements of the existing landscape forms and vegetation. The McCanna Hills project plans to preserve various natural assets (e.g. hilltops, slopes, rock out croppings, etc.) for the enjoyment of residents. Landscaping treatments (e.g. plantings of slope areas with native and naturalizing grasses or shrubs) can connect these areas to other landscaped residential, commercial, or institutional uses by providing continuity of softscaped areas observable throughout the project site.

Entry monumentation will contribute to project definition at key access points. Once an observer enters the development, further entry monumentation will be utilized to emphasize particular roadway intersections (i.e. at neighborhood or village entries). The entry will be developed in a hierarchical format ranging from Community Entries, Village Entries to Neighborhood Entries.

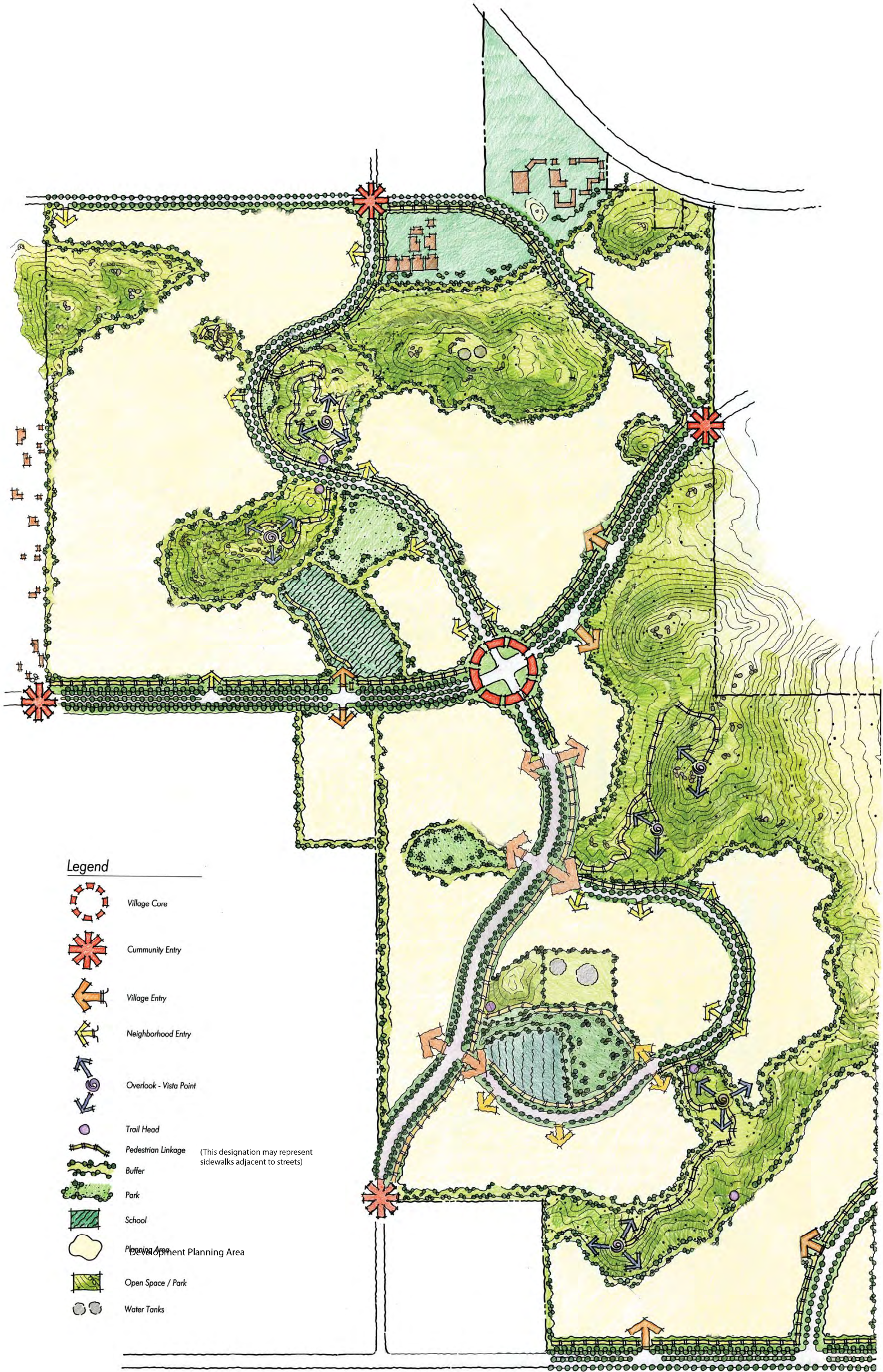
Landscaping detail integrated with other design elements is provided in Section 5.7, Landscape Guidelines. Special treatments (e.g. for project boundaries, interior land use transitions) will be provided within certain planning areas pursuant Section 5.7.8. These are indicated where appropriate in Section 4.0, Planning Area Specific Development Standards.

3.6.2 LANDSCAPE PLAN STANDARDS














- 1.) All final landscaping plans and exhibits for residential neighborhoods, commercial uses, active or passive open space areas, and street rights-of-way shall be prepared by a licensed landscape architect for Riverside County review and approval.
- 2.) All final landscaping plans and exhibits for public parks shall be prepared by a licensed landscape architect for Riverside County and CSA and/or parks district approval.
- 3.) Project entries shall incorporate landscaping and architectural features that project an appealing, quality image that is in keeping with the surrounding community.
- 4.) The location of Community Entry enhanced landscape treatment areas will be determined with the preparation of more detailed tentative tract maps and site plans and their location and will be shown on such maps and plans.
- 5.) Where feasible, ground cover, shrubs, and trees incorporated in the McCanna Hills Specific Plan Amendment area shall include plant materials that are compatible with native plant species. Plant species to be included within project landscaping are listed under Section 5.7, Table 5-5, Master Plant Palette.
- 6.) The landscaping plan shall be designed to conserve water utilized for irrigation, consistent with Article XIXf of Ordinance 348. Potential methods may include use of low-water-demand plants, grouping plants of similar water needs together to help prevent over- or under-irrigation of landscaping components, mulching to reduce competition by invasive plants and retain moisture within the soil. High efficiency irrigation systems may include flow sensors, moisture sensors and irrigation controls that automatically adjust.
- 7.) The applicable builder shall provide all new residences within its development constructed within McCanna Hills with front yard landscaping and an automatic irrigation system.
- 8.) Where special design conditions exist (e.g. to enhance prominent vistas or to soften edge conditions), focused design features shall be included within the design of development for those particular planning areas.
- 9.) Tract entrance designations shall consist of a neighborhood identification sign on a decorative wall/monument with a minimum 12' depth of landscaping

(measured from the right-of-way line) surrounding the wall/monument. Tract entrance designations shall be provided for all intersections of General Plan roadways classified as Secondary Highway or higher.

- 10.) Planted raised medians, per Standard 113, Ordinance 461, may be established within any road right-of-way that may satisfy access and safety criteria to the satisfaction of the Riverside County Transportation Department.
- 11.) Prior to the approval of any final subdivision map, improvement plans for the respective landscaped areas shall be submitted to the Riverside County Planning Department for review and approval as necessary. Among others, the improvement plans shall include the following:
 - a. Final grading plans,
 - b. Certified irrigation plans,
 - c. Landscaping plans satisfying the requirements of Section 18.12 of Riverside County Ordinance 348,
 - d. Fence and wall plans, and
 - e. Special design condition treatment plans.
- 12.) The applicant and/or master developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas and irrigation systems until these operations have been transferred officially to other maintenance entities.



Legend

-  Village Core
-  Community Entry
-  Village Entry
-  Neighborhood Entry
-  Overlook - Vista Point
-  Trail Head
-  Pedestrian Linkage (This designation may represent sidewalks adjacent to streets)
-  Buffer
-  Park
-  School
-  Predevelopment Planning Area
-  Open Space / Park
-  Water Tanks

OPEN SPACE TRAIL NOTE:
The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

COMMUNITY ENTRY NOTE:
The Community Entry locations depicted on this exhibit are conceptual and intended to represent generalized locations for proposed enhanced entry treatments at the four main project entry roads. Actual location of the Community Entries will be determined at preparation of more detailed tentative tract maps and site plans.



3.7 Recreation and Open Space Plan

3.7.1 RECREATION AND OPEN SPACE PLAN DESCRIPTION

McCanna Hills offers a number of features to provide for the residents recreational needs and enhance the overall community experience. Recreational opportunities will include both community parks, neighborhood parks, connected with pedestrian sidewalk links and community trails. Within limited natural open space areas, rough hiking trails will be accommodated where feasible to provide access to potential overlooks and vista points that may be identified. The community trails and other pedestrian links will permit residents to visit neighbors or destination sites such as schools, parks and commercial uses, avoiding additional vehicle trips. Neighborhood parks will also be incorporated into certain residential planning areas as indicated in Section 3.7.2 below. Refer to Exhibit 3.11, RECREATION AND OPEN SPACE PLAN.

County Service Area (CSA) No. 146, which has been identified as the agency most likely to accept and maintain the parks, will require 5.0-acres of parkland for each 1,000 residents. According to a 2.59 average anticipated occupancy figure for single family detached units, and 2.34 average occupancy figure for multiple family attached units within the project (found in Sec. 10.35 of Riverside County Ordinance 460), the McCanna Hills Specific Plan Amendment area would generate approximately 7,121 residents¹, and therefore would be required to contribute to 35.6-acres of parkland. This requirement will be satisfied through the dedication and improvement of active parkland within the McCanna Hills project area and if necessary in lieu fees.

3.7.2 Parks

Parks within the community will include four public community parks to be developed with the project that will be maintained and operated by County Service Area 146. Private neighborhood parks and recreational facilities maintained and operated by the homeowners association(s) will also be located in the development. Private recreational facilities will include community swimming pool in some areas. The community parks are designated within their own planning areas, while neighborhood parks are proposed to be included within several of the individual residential planning areas.

Community Parks

Each community park within McCanna Hills includes a variety of recreational activities. Refer to Exhibit 3.14, COMMUNITY PARK CONCEPT for typical concept park layout. Typical community park amenities per Village (as they are depicted in Exhibit 3.20, VILLAGE PHASING PLAN) are to include:

Village 1 – includes Planning Area 10, a 9.6-acre park area which shall include a tot-lot, multipurpose sports field and/or softball field, restrooms, shade structure and

¹ Does not include the original Preissman Specific Plan areas retained (PAs 7, 20, 21, 22, 25 and 26) that are anticipated to be developed in conjunction with the Stoneridge Specific Plan (SP 239). Does include alternate residential use of school sites (PAs 13 and 40).

parking. Park amenities shall also include a picnic area, walking paths, and open turf areas for play. This planning area is also proposed to include a private community competition swimming pool facility within a separate portion of the park area. The swimming facility will be maintained and operated by the homeowners association for exclusive use by the residents of McCanna Hills. The remainder of the park will be open to the general public. Preliminary discussions have taken place with the Val Verde Unified School District, who would be operating a proposed elementary school on adjacent Planning Area 13, regarding agreements on joint use of park and school facilities. The required timing for development of this park shall be as set forth in Section 4.10.2, Development Standards for Planning Area 10, of this Specific Plan. Section 3.9, Comprehensive Maintenance Plan, further outlines the proposed maintenance responsibilities for this park.

Village 2 - includes Planning Area 17, a 10-acre park site located in a hill top area. This park should take on a "natural character" and extend into the natural open space to the north and east. Amenities shall include picnic areas, isolated smaller turf areas, looped walking trail, and vista areas. The required timing for development of this park shall be as set forth in Section 4.17.2, Development Standards for Planning Area 17 of this Specific Plan. Section 3.9 of this Specific Plan further outlines the maintenance responsibilities for this park.

Village 3 - includes Planning Area 33, a 5.9-acre park area which shall include a private community pool facility in its own separate area, off-street parking, restrooms and shade structure. Walking paths, volleyball, sports field, picnic areas and a small turf area for play are also proposed for this park. The swimming facility will be maintained and operated by the homeowners association for exclusive use by the residents of McCanna Hills. The remainder of the park will be open to the general public. The required timing for development of this park shall be as set forth in Section 4.33.2, Development Standards for Planning Area 33, of this Specific Plan. Section 3.9 of this Specific Plan further outlines the maintenance responsibilities for this park.

Village 4 – includes Planning Area 39, a 18.0-acre park area. Multipurpose sports fields with baseball, soccer, basketball court and children's tot-lot, a shade structure, open turf areas for play, restrooms, and parking will be included improvements. This park will also include a private community pool facility in its own separate area. The swimming facility will be maintained and operated by the homeowners association for exclusive use by the residents of McCanna Hills. The remainder of the park will be open to the general public. The required timing for development of this park shall be as set forth in Section 4.39.2, Development Standards for Planning Area 39, of this Specific Plan. Section 3.9 of this Specific Plan further outlines the maintenance responsibilities for this park.

Neighborhood Park

Neighborhood parks are proposed to be included at minimum in Residential Planning Areas 6, 9, 23, 30, 34, 41, 45 and 46 of the Specific Plan, which are proposed smaller lot single-family development areas throughout the McCanna Hills community. These parks provide recreational opportunities for residents of individual

planning areas. Amenities shall include turf, benches, tot lots, and other appropriate facilities. The minimum neighborhood park size shall be 0.3 acres and will be maintained by the proposed homeowners association. Refer to Exhibit 3.13, NEIGHBORHOOD PARK CONCEPT. The neighborhood park in proposed Planning Area 46 is also proposed to include a private community pool facility. In addition, smaller pocket parks may also be provided in the residential planning areas. Refer to Exhibit 3.12, POCKET PARK CONCEPT. The required timing for development of the neighborhood parks shall be as set forth in the development standards of Section 4.0 of this Specific Plan for the respective planning areas as noted above. Section 3.9 of this Specific Plan further outlines the maintenance responsibilities for the neighborhood parks.

Multi-Family Recreational Facility

Multi-Family recreational facilities are proposed within Planning Areas 14, 28, 32, and 37. These private facilities may include such amenities as picnic areas, shade structures, tot lots, multi-use recreational court, and barbeque areas.

3.7.3 Trails and Open Space

McCanna Hills Specific Plan contains a large amount of open space throughout the community. Community trails and pedestrian linkages within the development planning areas will offer pedestrian connection between villages, parks, and residences providing a logical and easily discernable path through the community.

Community Trails

Community trails are to be located along Orange Avenue, Foothill Avenue (south of Orange Avenue) and Nuevo Road. These trails are described in greater detail in Section 3.2.1, Circulation Plan, of this Specific Plan.

Pedestrian Linkages

The pedestrian linkages are located within planning areas and typically will be sidewalks located along roadways, and/or landscape areas, connecting to proposed open space trails and community trails. The pedestrian linkages where appropriate should have a unique landscape treatment, incorporating both native and native compatible plants to the greatest extent feasible, blending the existing and new landscape. Pedestrian linkages, will be at minimum, a 5-foot wide required sidewalk along a street.

Open Space Trails

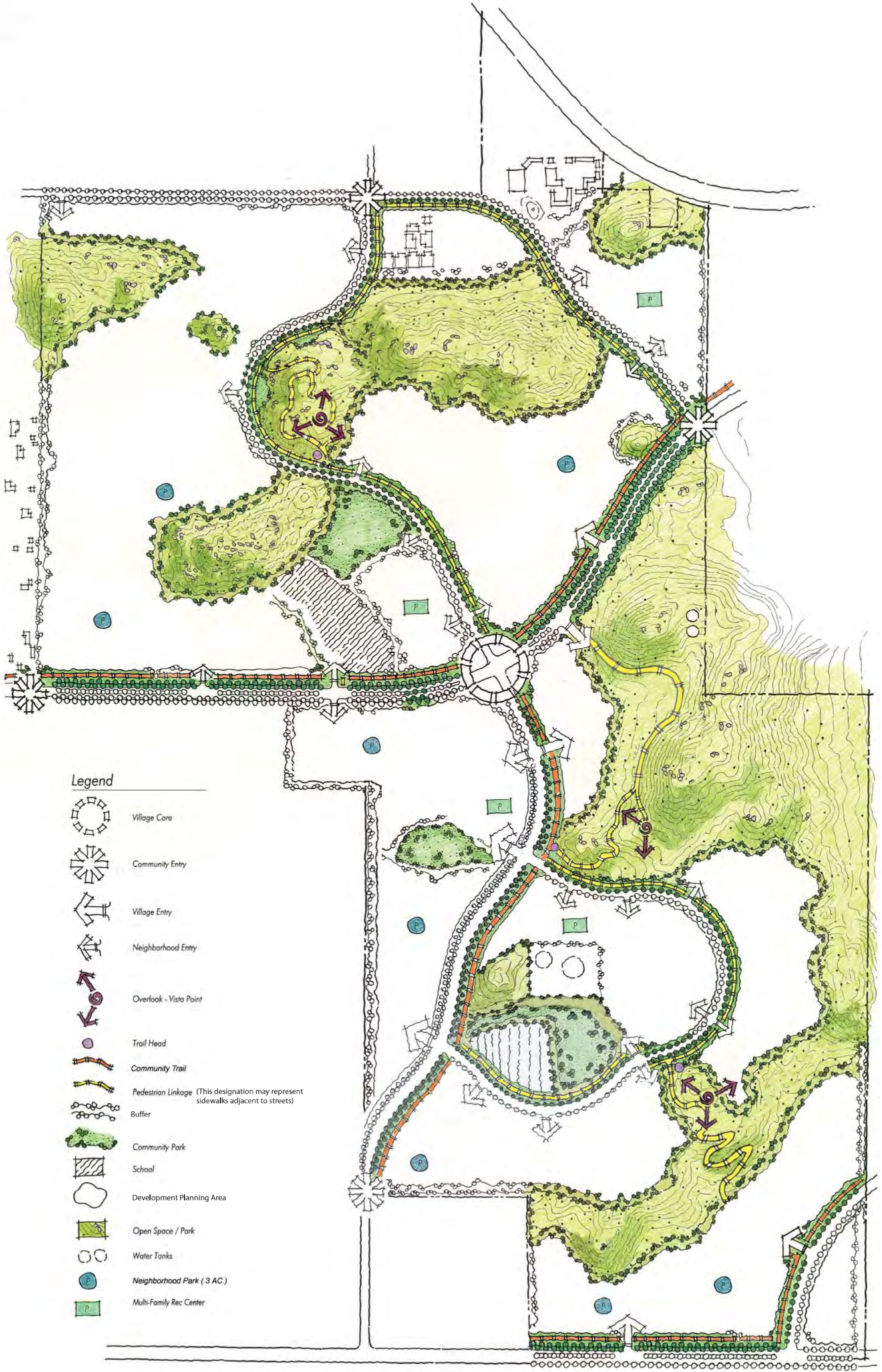
Open space trails will be accommodated where feasible within limited areas of the open space planning areas. Trails through the natural open space are intended to have a minimal impact on the existing landscape. The trails will not be more than four feet wide at the most and may be no wider than a narrow foot path so as to conform to and have minimal impact on the existing topography. Native landscape shall be installed only to repair areas disturbed by the trail installation. Native stone

uncovered during the trail installation shall be used as the trail edge material. Refer to Exhibit 3.15, OPEN SPACE TRAIL SECTION CONCEPT. Due to the severity of the topography (steep slopes and large boulder outcroppings), the extent of these trails and the associated amenities will be limited and their actual suitable location will need to be determined on a more detailed analysis of the topography.
















As part of the open space trails system, benches, vista points and potential interpretive elements may be incorporated. Refer to Exhibit 3.16, TRAIL VIEWPOINTS AND AMENITIES CONCEPT and Exhibits 3.18 through 3.19. The system could work with the access and maintenance needs of local utilities and fire department authorities where applicable. In areas where open space corridors abut major roadways, the open space landscaping should be incorporated into the streetscape. Refer to Exhibits 3.17, TRAIL HEAD CONCEPT - PLAN VIEW.

3.7.4 RECREATION AND OPEN SPACE PLAN STANDARDS

- 1.) In order to discharge maintenance responsibilities for the parks, trails and open space areas within McCanna Hills pursuant to Section 3.9 of this Specific Plan, the following shall occur:
 - a. The project site shall be annexed into an applicable County Service Area; and
 - b. Maintenance services shall also be provided through a homeowners association to be established that will contract with a qualified maintenance services provider.
- 2.) The McCanna Hills development shall comply with Section 10.35 of Riverside County Ordinance 460, regarding local parks facilities. An agreement with County Service Area 146 and the Regional Parks and Open Space District shall establish the fees to be paid or developed lands in lieu of fees to be provided within the McCanna Hills Specific Plan Amendment area that shall satisfy these requirements.
- 3.) Trails within the McCanna Hills project shall be constructed to the standards of this Specific Plan and of the governing parks district or county service area.
- 4.) Landscaping of parks and open space areas within McCanna Hills shall comply with the general standards of this Section 3.7 and with Section 5.0, Design Guidelines, of the McCanna Hills Specific Plan document. The developer shall implement the standards included within Section 4.0, Planning Area Specific Development Standards, for each specific open space or community park planning area and for residential planning areas proposed to contain a neighborhood park.



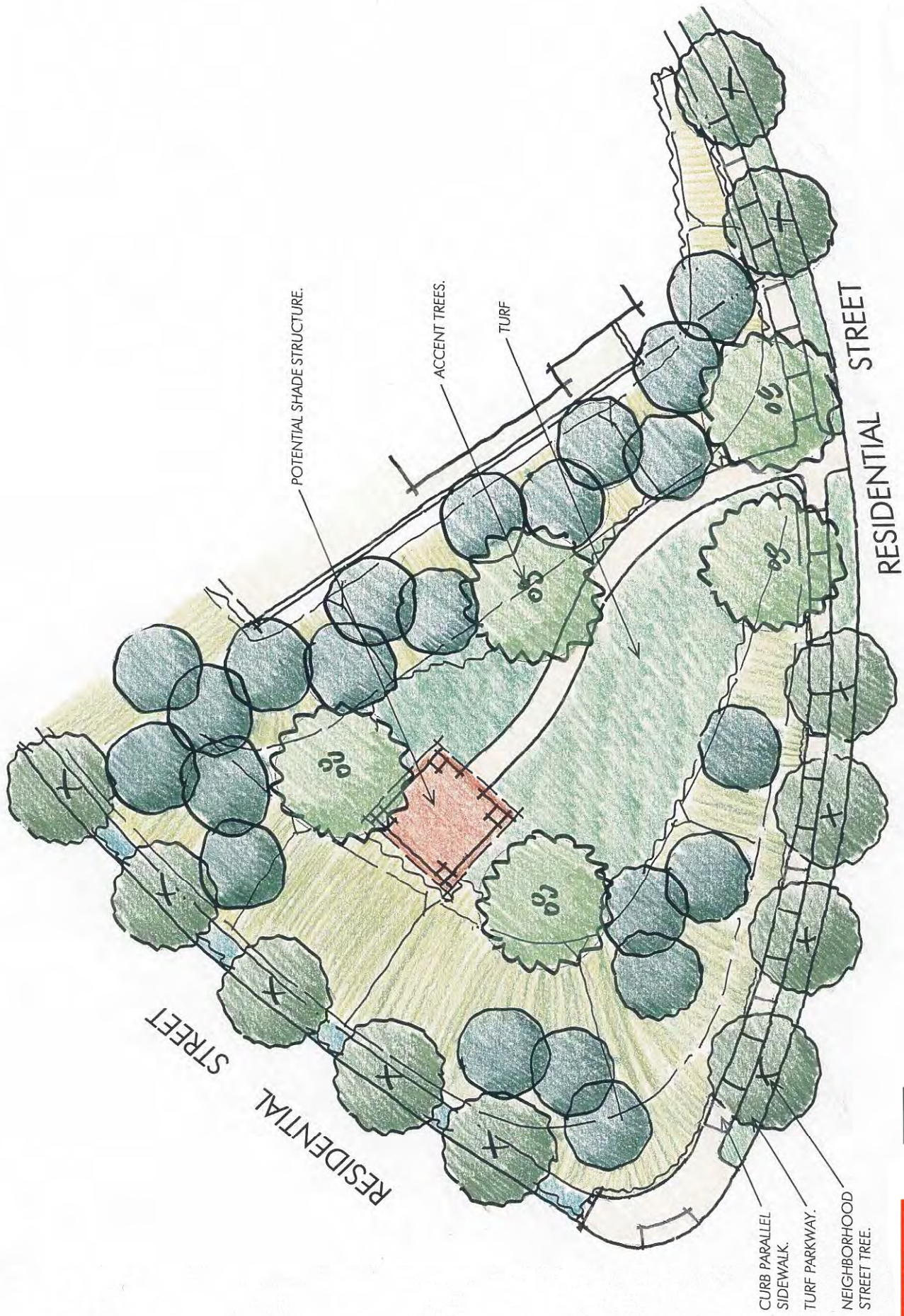
Legend

-  Village Core
-  Community Entry
-  Village Entry
-  Neighborhood Entry
-  Overlook - Vista Point
-  Trail Head
-  Community Trail
-  Pedestrian Linkage (This designation may represent sidewalks adjacent to streets)
-  Buffer
-  Community Park
-  School
-  Development Planning Area
-  Open Space / Park
-  Water Tanks
-  Neighborhood Park (.3 AC.)
-  Multi-Family Rec Center

OPEN SPACE TRAIL NOTE:
 The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

COMMUNITY ENTRY NOTE:
 The Community Entry locations depicted on this exhibit are conceptual and intended to represent generalized locations for proposed enhanced entry treatments at the four main project entry roads. Actual location of the Community Entries will be determined at preparation of more detailed tentative tract maps and site plans.



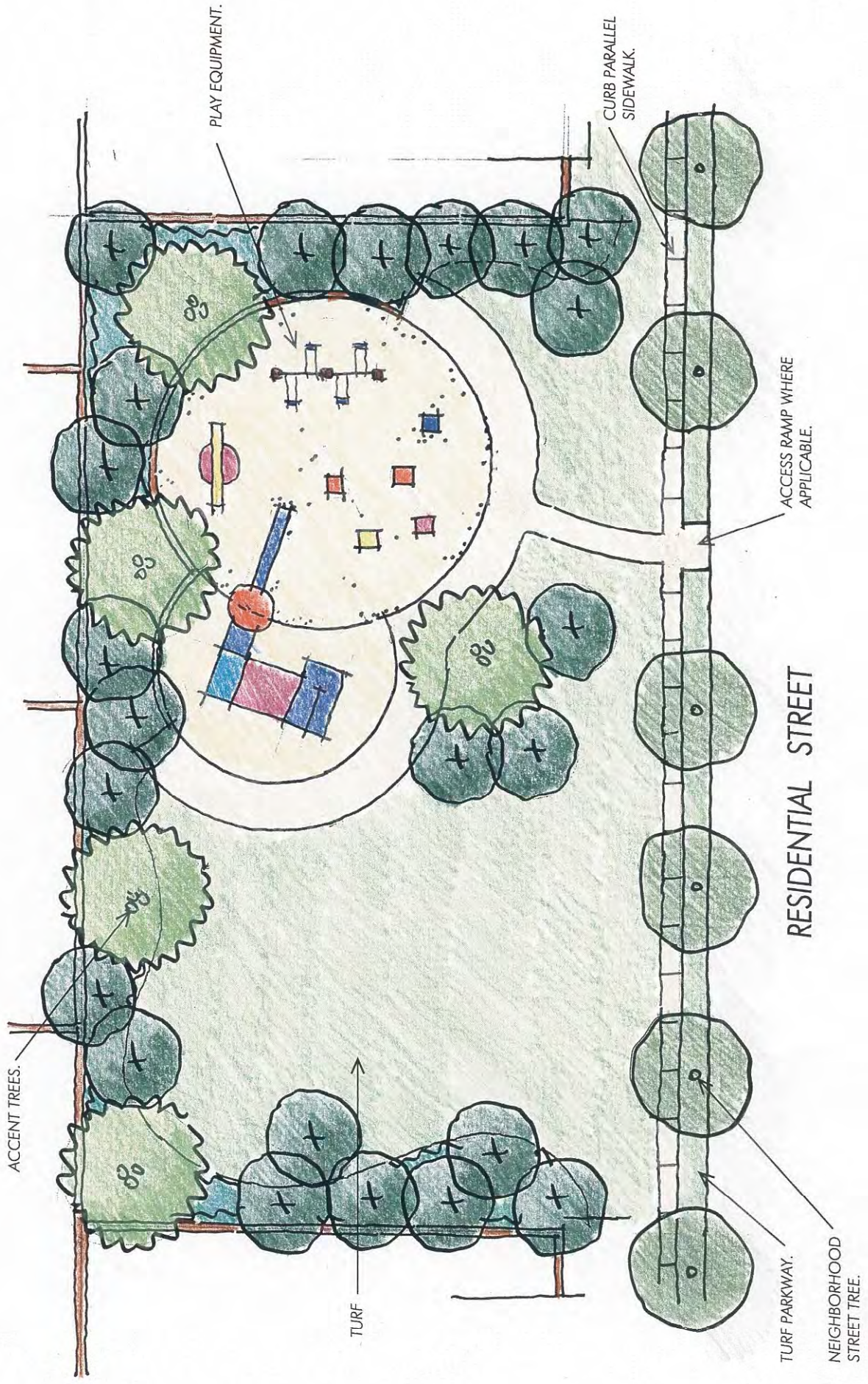


Michael Baker
INTERNATIONAL

NO SCALE

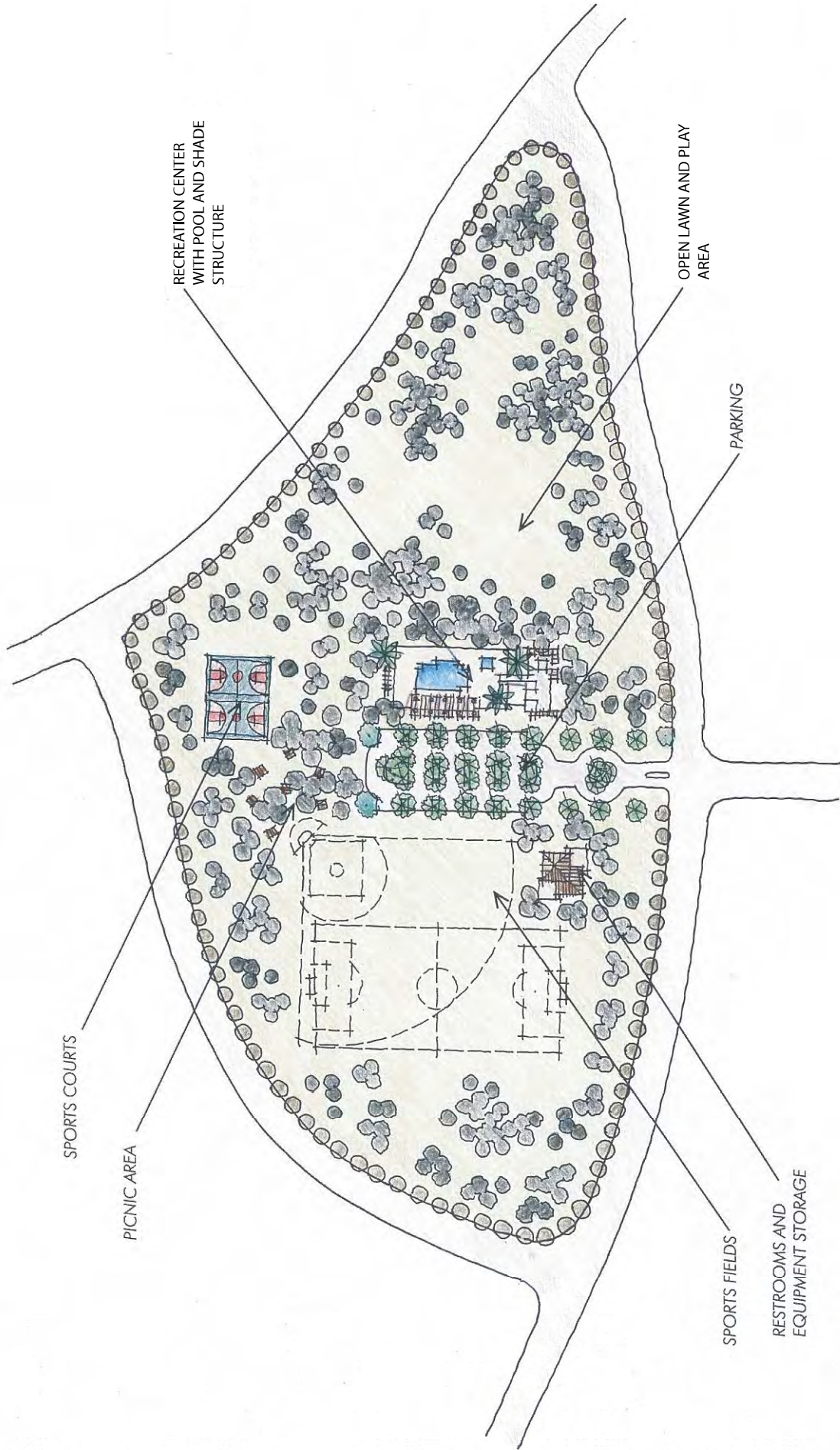


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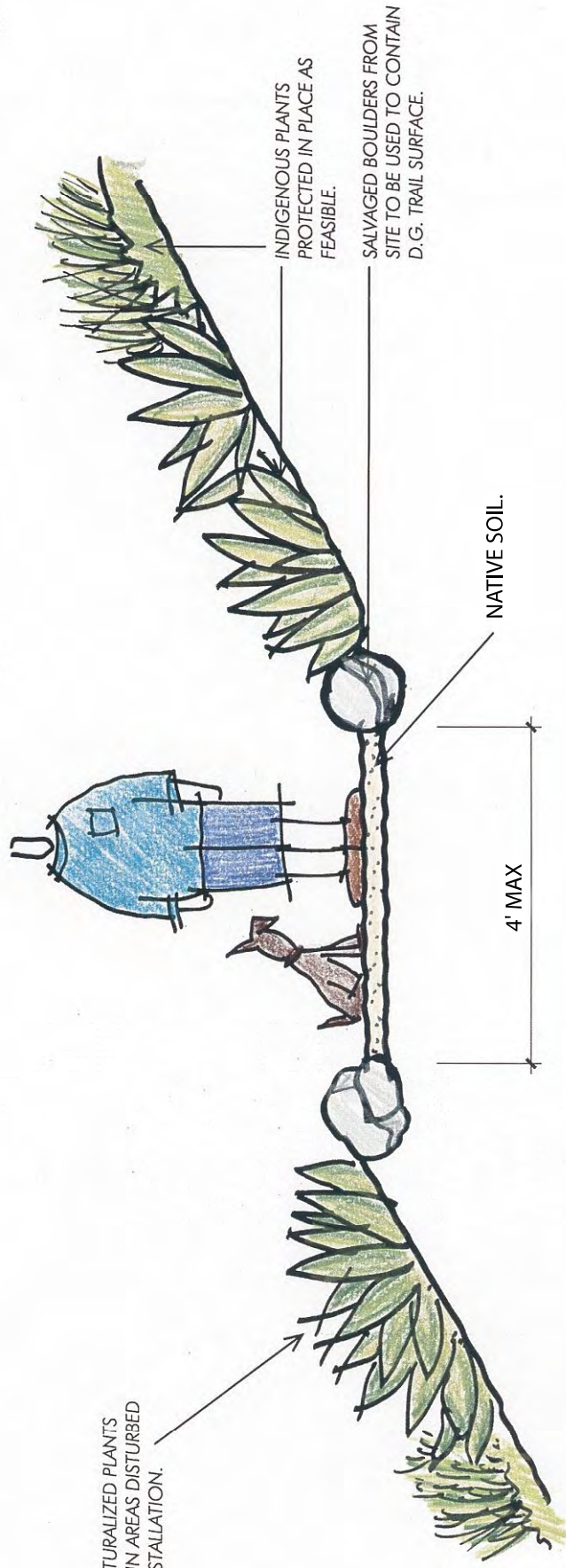


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Michael Baker
INTERNATIONAL

04-15-2015 JN 145159



NATIVE/NATURALIZED PLANTS
INSTALLED IN AREAS DISTURBED
BY TRAIL INSTALLATION.

INDIGENOUS PLANTS
PROTECTED IN PLACE AS
FEASIBLE.

SALVAGED BOULDERS FROM
SITE TO BE USED TO CONTAIN
D.G. TRAIL SURFACE.

NATIVE SOIL.

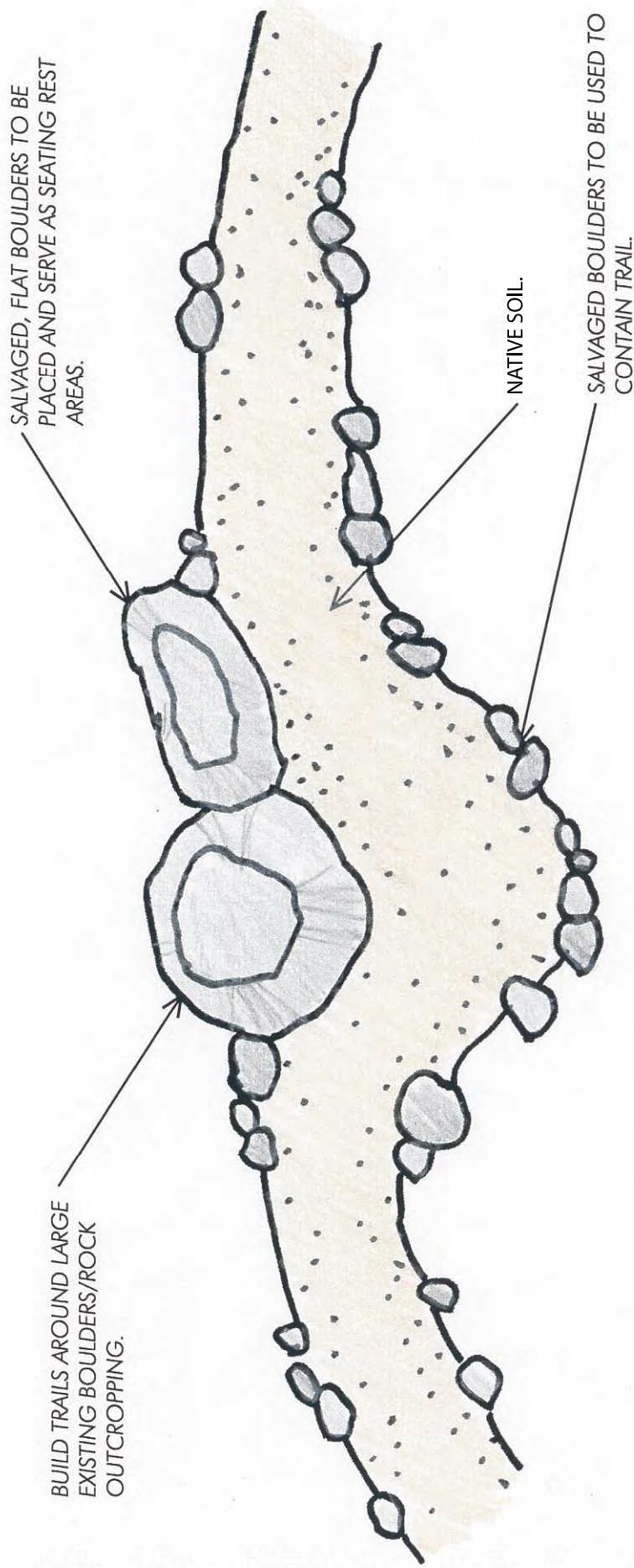
4' MAX



Michael Baker
INTERNATIONAL

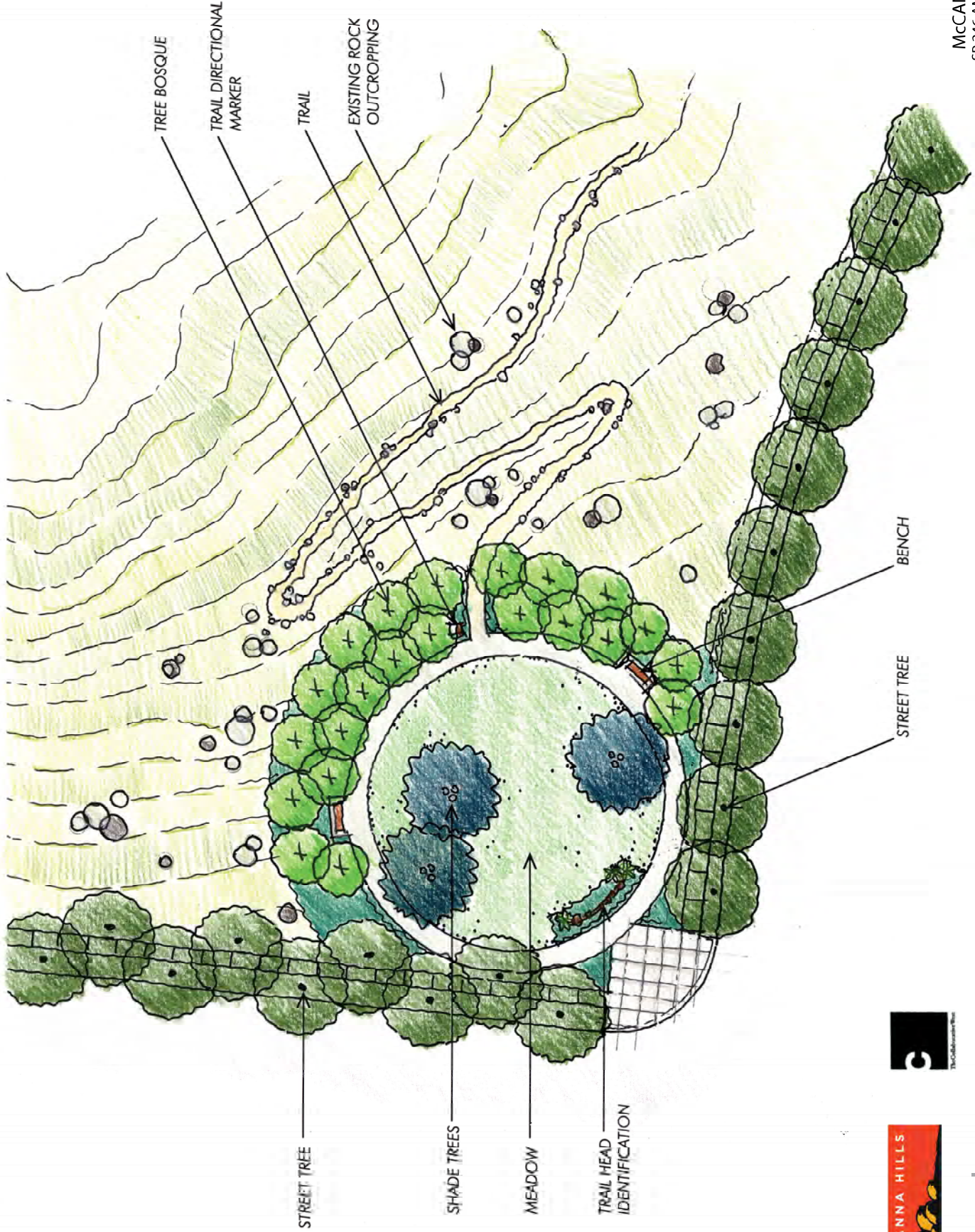
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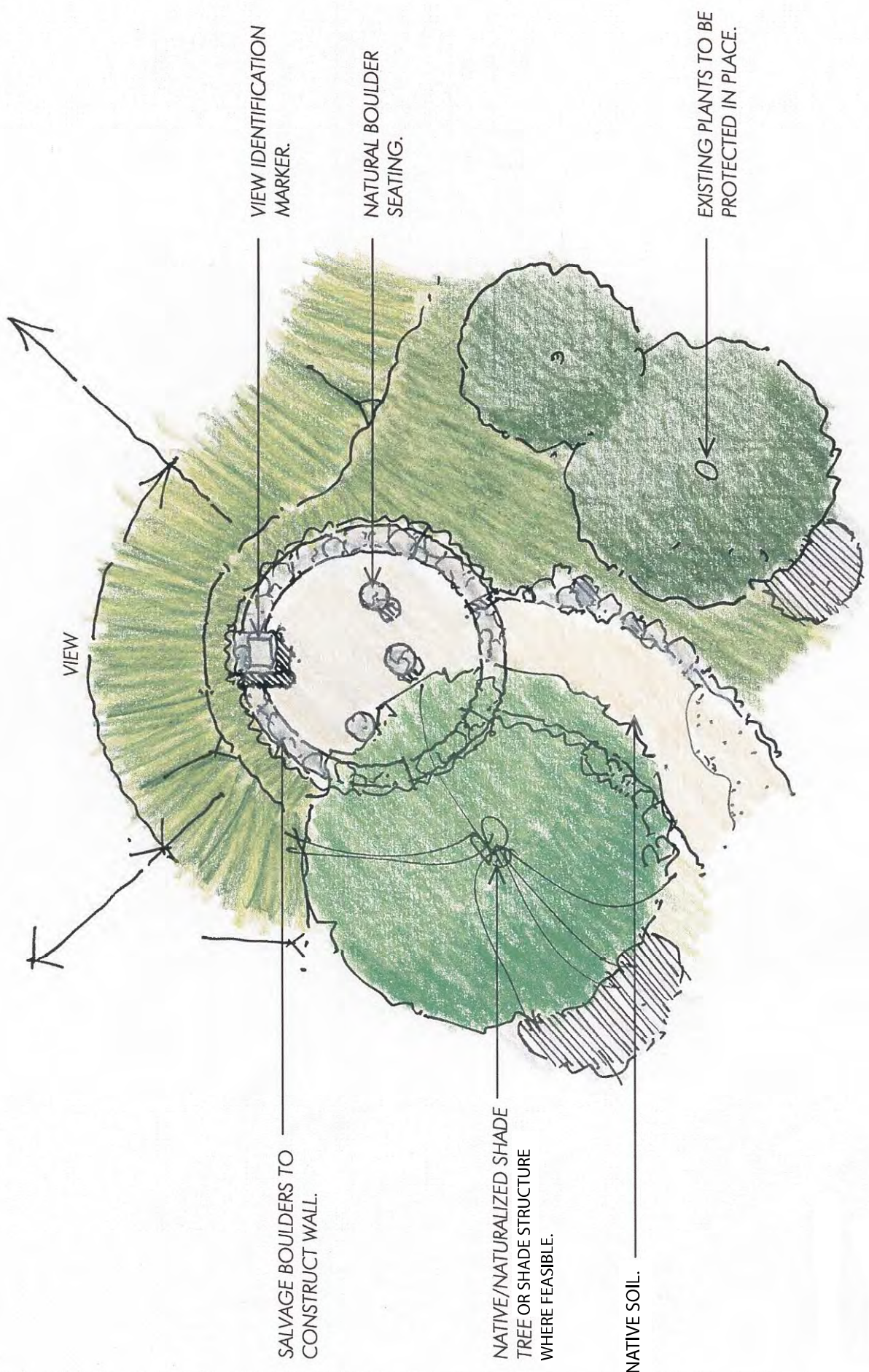
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NO SCALE

04-15-2015 JN 145159



VIEW IDENTIFICATION MARKER.

NATURAL BOULDER SEATING.

EXISTING PLANTS TO BE PROTECTED IN PLACE.

VIEW

SALVAGE BOULDERS TO CONSTRUCT WALL.

NATIVE/NATURALIZED SHADE TREE OR SHADE STRUCTURE WHERE FEASIBLE.

NATIVE SOIL.



NO SCALE

04-15-2015 JN 145159



NATURAL BOULDER SEATING.

VIEW IDENTIFICATION MARKER.

NATIVE/NATURALIZED SHADE TREE OR SHADE STRUCTURE WHERE FEASIBLE.

SALVAGE BOULDERS TO CONSTRUCT WALL.



NO SCALE



04-15-2015 JN 145159

3.8 Public Facilities and Project Phasing Plan

3.8.1 PUBLIC FACILITIES

Various public facilities, municipal services and utilities will be associated with the development of the planning areas composing the McCanna Hills Specific Plan Amendment area. Below is a description of these facilities, services and utilities.

Schools

Portions of the project area are within the Nuviev School District, the Perris Union High School District, and the Val Verde School District. The southerly half of the McCanna Hills Specific Plan area, which is essentially the area south of Orange Avenue, is within the Nuviev School District. This District provides education services for grades K-8. The Specific Plan reserves Planning Area 40 (10 acres) in the southerly half of the project area for a future elementary school site if the Nuviev School District determines it is needed. The southerly half of the Specific Plan area is also within the Perris Union High School District, which provides education services for grades 9-12 and other continuing education services. The northerly half of the Specific Plan area is in the Val Verde School District, which provides education services for grades K-12 (elementary, middle and high schools). This school district currently has two schools now in operation (built in 2003) within the Specific Plan area. Existing Sierra Vista Elementary School, with a current student population of 800, is located in Planning Area 15 and Lakeview Middle School, with a current student population of 900, is in Planning Area 16. Both schools are located at the north end of the project area. The Specific Plan reserves Planning Area 13 (12 acres) in the northerly half of the project area for a future elementary school with a projected enrollment of approximately 600 students if the Val Verde School District determines it is needed. The Specific Plan reserves Planning Area 40 (8-acres) in the southerly half of the project area for a future elementary school with a projected enrollment of approximately 600 students if the Nuviev School District determines it is needed. The development is required to mitigate its impact on local schools as mandated by the State, either through payment of school impact fees or through dedication of land for school sites, pursuant to negotiations with the School Districts.

Fire Service

The proposed project will be served by the Riverside County Fire Department. Paramedic service in the area is provided by contract from Riverside County to a private company. The project area is not in a "hazardous" fire area as designated by the General Plan. No on-site facility mitigation will be required for the project; however, participation in development impact fee mitigation fee program will be included if required.

Sheriff Service

The proposed project will be served by the Riverside County Sheriff's Department. The California Highway Patrol provides traffic control and enforcement services to the site from a sub-station located in Hemet at 43950 Acacia Avenue. Participation in

development impact fee mitigation program will be included as part of the project if required.

Utilities

The Southern California Edison Company provides electrical service, while Verizon provides telephone service. Southern California Gas Company provides gas service to the general area, although, no service lines are currently located within the project area. Subsequent to main line extensions, utilities, including electricity, gas and telephone will be constructed to coincide with village development. Utility extensions will be coordinated with individual utilities to ensure adequate services. Eastern Municipal Water District provides water and sewer service in the area. The County of Riverside maintains the backbone storm drain system. See Specific Plan Sections 3.4 and 3.5 for further description of storm drain, water and sewer plans.

Solid Waste

According to the Riverside County Waste Management Department, the project site is located within Franchise Area 1C. At present, the County of Riverside contracts with Waste Management of the Inland Empire to provide solid waste collection service to the area. This contractor carries its collected solid waste to any of three landfills under its management: (1) Badlands Landfill, 31125 Ironwood Avenue, Moreno Valley; (2) Lamb Canyon Landfill, 16411 Lamb Canyon Road, Beaumont; or (3) El Sobrante Landfill, 10910 Dawson Canyon Road, Corona.

3.8.2 PROJECT PHASING

The McCanna Hills project site has been divided into 5 villages that are identified in Exhibit 3.20, VILLAGE PHASING PLAN. Each village is anticipated to be a phase of development within the Specific Plan Area. Development of the villages will not necessarily be in the order in which they are numbered. The sequence in which each “village” will be developed, is dependent on market conditions, as well as decisions by the County of Riverside, which may affect circulation and infrastructure improvements related to the project. With regards to phasing, it should be noted that the development of Village II is dependent on infrastructure improvements associated with the development of Village I. Likewise, the development of Village IV is dependent on infrastructure improvements associated with the development of Village III. Refer to Table 3-2, *Village Summary*, Exhibit 3.20, VILLAGE PHASING PLAN and Exhibits 3-21 through 3-25, VILLAGE INFRASTRUCTURE.

The infrastructure improvements described in the following village-by-village summary are backbone components necessary to make services available to the overall McCanna Hills development. Sizing and alignment for service connections to individual neighborhoods and/or development parcels will be identified prior to the submittal of subsequent development application(s) for a planning area.

The six planning areas retained from the original 1994 Preissman Specific Plan (SP No. 246) which include Planning Areas 7, 20, 21, 22, 25 and 26, are under the same ownership as the Stonerige Specific Plan No. 239 and these planning areas will be reliant on infrastructure to be provided during implementation of SP 239. These PA's are likely to be incorporated into SP 239 in the future. These planning areas have not been included in the phasing plan discussion below for the McCanna Hills Specific Plan Amendment area (SP 246 A-1) and are excluded from Table 3-2 below.

Village I

Village I will include a mixture of residential, public facilities and open space uses.

Village I roadway improvements will include half-width improvements to Walnut Avenue adjacent to Planning Areas (PA) 1 and PA 2A, between the proposed intersection of Foothill Avenue/Walnut Avenue, west to the westerly project boundary. Half-width improvements will also be constructed within the segment of Foothill Avenue from the intersection of Foothill Avenue/Walnut Avenue, south to the southern property boundary of the existing Sierra Vista Elementary School (PA 15). From the existing school, half-width or full-width roadway improvements are proposed south to the intersection of Foothill Avenue/Orange Avenue and will continue west within Orange Avenue approximately 800 feet. Half-width improvements are proposed for Orange Avenue from the western boundary of the project site at Planning Area 9 to the western boundary of Planning Area 30 (Village III). Village I project access is anticipated to come from existing Sherman Road and Rider Street to the north and Orange Avenue to the west.

TABLE 3-2
Village Summary

Village/ Phase	Land Use	Planning Areas	Acres	Maximum DUs
Village I	Residential: 2-5 DU/AC	1, 2A & 2B	40.5	149
	Residential: 5-8 DU/AC	5A, 5B, 6, 8, 9 & 12	103.8	559
	Residential: 10-20 DU/AC	14	17.8	188
	Parks	10	9.6	---
	Schools	13	12.0	39 ¹
	Natural Open Space	3A, 3B, 3C, 4 & 11	42.22	---
	Village I Subtotal		225.92	935
Village II	Residential: 2-5 DU/AC	18	36.0	126
	Residential: 5-8 DU/AC	19, 23	40.0	200
	Residential: 10-20 DU/AC	28A, 28B & 28C	19.5	171
	Parks	17	10	---
	Schools	15, 16	41.4	---
	Natural Open Space	24, 27A, 27B, 27C, 29 & 50	63.4	---
	Village II Subtotal		210.3	497
Village III	Residential: 5-8 DU/AC	30, 34 & 35	72.7	392
	Residential: 10-20 DU/AC	32	6.2	86
	Parks	33	5.9	---
	Commercial Retail	31	15.2	---
	Natural Open Space	36	40.9	---
	Village III Subtotal		140.9	478
Village IV	Residential: 2-5 DU/AC	43	26.2	65
	Residential: 5-8 DU/AC	38, 41 & 42	67.5	338
	Residential: 10-20 DU/AC	37	11.5	161
	Parks	39	18.0	---
	Schools	40	8.0	25 ¹
	Natural Open Space	44	67.9	---
	Village IV Subtotal		199.1	589
Village V	Residential: 5-8 DU/AC	45, 46 & 47	65.4	309
	Natural Open Space	48, 49	32.3	---
	Commercial Retail	51	5.0	---
	Village V Subtotal		102.7	309

- 1 A single-family residential land use with a density range of 2-5 DU/AC for Planning Areas 13 and 40 may be developed as an alternative land use in place of the schools designated, if it is determined that the schools are not needed or viable.
- 2 Table 3-2, *Village Summary*, excludes Planning Areas 7, 20, 21, 22, 25 and 26, which are anticipated to be developed in conjunction with Specific Plan No. 239.

The water system will include a 12-inch pipeline within Foothill Avenue extending from approximately PA 2A, south to the proposed intersection of Foothill Avenue/Orange Avenue. To serve Village I, a 2.9 MG water reservoir and associated 20-inch pipeline will be constructed to the east within future Village III, surrounded by PA 36. The 20-inch pipeline will extend to the northwest from the 2.9 MG water reservoir to the proposed 20-inch pipeline just east of the Foothill Avenue/Orange Avenue intersection. From this intersection, the 20-inch pipeline will be extended west and south connecting to a proposed pump station in the area of PA 39. This proposed pump station will be connected to an existing 16-inch pipeline located in Citrus Avenue.

To serve Village I's sewage disposal needs, an 8-inch gravity flow line is proposed to be extended adjacent to PA 1. This northern proposed backbone line will extend westward within Walnut Avenue, southward in El Nido Avenue, and westward within Placentia Avenue. This northern line is proposed to connect with an existing sewer gravity main near the intersection of Placentia Avenue/Evans Road. A southern backbone line is also proposed to reach southward to the Foothill Avenue/Orange Avenue intersection from the vicinity of PAs 10, 14, and 18. Then the southern backbone line is proposed to proceed westward within Orange Avenue, enlarging in size beyond McCanna Hills' community core to 12 inches and again beyond Dunlap Drive to 15 inches. Where Orange Avenue encounters the Perris Valley Storm Drain facilities easement, the proposed southern line would pass generally northward along the storm drain easement to a connection point within Placentia Avenue. Sewage flows contributed by both backbone lines would be funneled toward a 42-inch force main within Murrieta Road, to be transported thereby southerly to the Perris Valley Regional Water Reclamation Facility for treatment.

To provide storm drainage for Village I, backbone northern and southern on-site improvements will be necessary. The northern storm drain backbone line will originate near PA 2A at a 24-inch diameter, proceeding northerly within Foothill Avenue. From the Foothill Avenue/Walnut Avenue intersection, the northern line is proposed to extend within Walnut Avenue, enlarging in size first to 42 inches, and then to 48 inches, before passing the project's northwestern corner. At this point, an extension of master plan Line A-N will collect storm flows and transport them within Walnut Avenue and beyond westerly to intercept the Perris Valley Storm Drain. The southern storm drain backbone line will originate near PA 10 at a 48-inch diameter, proceeding southerly within Foothill Avenue. Then the southern backbone line is proposed to proceed westward within Orange Avenue, enlarging in size to 66 inches west of the Foothill Avenue/Orange Avenue intersection. (A 42-inch diameter service connection to the backbone line is also proposed.) The southern line is proposed to widen again to 78 inches. An extension of master plan Line A-K will collect storm flows at the southwest corner of Planning Area 9 and transport them within Orange Avenue westerly to intercept the Perris Valley Storm Drain.

Village I includes a proposed 12-acre school site within the Val Verde School District portion of the project and an 9.6-acre park. If the School District determines they need the school site, the developer will negotiate with the School District for provisions of the rough graded school site. The school will be constructed by the School District. The proposed community park (PA 10) will be graded and fully

improved as part of the Village I development. Refer to Section 4.10.2, Development Standards for Planning Area 10, of this Specific Plan for more detailed timing requirements on the development of this park site.

Village II

Village II will include residential and public facility uses.

Village II will include the extension of infrastructure eastward in Orange Avenue from the intersection of Foothill Avenue/Orange Avenue, with a small portion of the storm drainage confluence conveyed through Specific Plan 239 to the east. Village II infrastructure will be an extension of Village I backbone infrastructure.

Village II roadway improvements will include full-width improvements to Walnut Avenue from the terminus of the existing roadway adjacent to Lakeside Middle School (PA 16) southeast to the proposed intersection of Walnut Avenue/Orange Avenue. In addition, half-width or full-width roadway improvements to Orange Avenue from the intersection of Foothill Avenue/Orange Avenue northeast to the intersection of Walnut Avenue/Orange Avenue are also proposed.

Water infrastructure serving Village II will include the extension of a 20-inch pipeline from the Village I intersection of Orange Avenue/Foothill Avenue northeast within Orange Avenue to the turn-out to the reservoirs and a 16-inch pipeline to the intersection of Orange Avenue/Walnut Avenue, then extending to the northwest within Walnut Avenue to the northern boundary of PA 28A. Recycled water pipelines will parallel the potable water pipelines. Sewer facilities will include an 8-inch pipeline within Walnut Avenue from the northern boundary of PA 23 extending to a proposed sewer lift station at the intersection of Walnut Avenue/Orange Avenue. From the lift station, sewage will be conveyed through a proposed sewer force main to the southwestern boundary of PA 23, transitioning to a gravity sewer main, ultimately connecting to Village I improvements at the Orange Avenue/Foothill Avenue intersection.

Storm drain pipelines serving Village II include one 42-inch pipeline within Walnut Avenue extending from PA 28A's southwestern boundary to the intersection of Walnut Avenue/Orange Avenue. This pipeline will connect to a proposed pipeline within Orange Avenue, extending east off-site connecting to proposed facilities within Specific Plan 239, ultimately draining to the San Jacinto River. A 42-inch pipeline will also pass southwest of the Walnut Avenue/Orange Avenue intersection within Orange Avenue to the Orange Avenue/Foothill Avenue intersection. At the Orange Avenue/Foothill Avenue intersection, the 42-inch line will connect with proposed storm drain improvements to the west in Village I.

The proposed community park in PA 17 will be graded and fully improved as part of the Village II development. Refer to Section 4.17.2, Development Standards for Planning Area 17, of this Specific Plan for more detailed timing requirements on the development of this park site. Schools on Planning Areas 15 and 16 were constructed in 2003 and began operation in the fall of 2003.

Village III

Village III will include residential, public facilities and retail uses.

Village III roadway improvements will include half-width or full-width improvements to proposed Foothill Avenue from the proposed intersection of Orange Avenue/Foothill Avenue, south, off-site to the proposed intersection of Foothill Avenue/Nuevo Road and half-width improvements to Orange Avenue through the project. Village III project access is anticipated to come from existing Nuevo Road and Orange Avenue. If Village III is developed prior to Village I, a portion of the infrastructure (streets, sewer and water) proposed in Orange Avenue as part of Village I will need to be constructed with Village III.

Water infrastructure will include a pipeline extending south along Foothill Avenue from the intersection of Orange Avenue/Foothill Avenue, stubbed towards the middle of PA 34's southern boundary. An existing 16-inch water pipeline extending across Village III (through PA 34) to existing water tanks located east of PA 34 and proposed Foothill Avenue in a not a part (NAP) parcel will be relocated within the proposed in-tract street system. Also, to serve Villages III and IV, a 1.6 MG water reservoir will be constructed to the east within Village III, surrounded by PA 36. This reservoir will be linked to the 20-inch pipeline extending from the adjacent 2.9 MG water reservoir. Recycled water pipelines will be located within Foothill Avenue from the intersection of Orange Avenue/Foothill Avenue to the southern project boundary. Sewer facilities will include a 12-inch pipeline within Foothill Avenue from the southern boundary of PA 35 extending south, transitioning to a 15-inch pipeline at the southerly intersection with the proposed Loop Road. A proposed 15-inch pipeline will extend off-site to the intersection of Foothill Avenue/Nuevo Road and then westward in Nuevo Road where the pipeline will be connected to the existing 15-inch pipeline at Dunlap Drive.

The storm drain pipelines serving Village III includes two a 30-inch or less pipelines; one passing generally southwesterly from PA 35 through PAs 30 and 31 to Master Plan Line A-J in Lemon Avenue on the west side of the project; and one extending along the west side of PA 34 to Master Plan Line R in Citrus Avenue. Master Plan Lines A-J and R will need to be constructed westward until they are able to connect with portions of these lines to be built by other developments to the west in the City of Perris or to the Perris Valley Storm Drain Channel if necessary. A 42-inch line will need to be constructed in Foothill Avenue. Storm water flows from the 42-inch line will be conveyed west by a proposed Master Plan Line Q-2. This master plan pipeline is proposed to run west along Sunset Avenue and then southward in Dunlap Drive to master plan facility Line Q within Nuevo Road. A storm drain in the Loop Street will contribute flows to a 60-inch pipeline in Foothill Avenue conveying flows south from Village III to Master Plan Line Q3. Line Q3 will need to be extended from the project boundary to the intersection of Nuevo Road/Foothill Avenue, where the pipeline will extend west within Nuevo Road as Master Plan Line Q to the existing Perris Valley Storm Drain.

Village III includes a proposed 5.9-acre community park (PA 33) to be graded and fully improved as part of the Village III development. Refer to Section 4.33.2, Development Standards for Planning Area 33, of this Specific Plan for more detailed timing requirements on the development of this park site.

Village IV

Village IV will include residential, public facilities and open space uses. Village IV infrastructure will be an extension of Village III backbone infrastructure within Foothill Avenue.

Village IV roadway improvements will include full-width improvements to the proposed Loop Road from the proposed extension of Foothill Avenue. Village IV project access is anticipated to come from the proposed extension of Foothill Avenue between Nuevo Road and Orange Avenue.

Water infrastructure serving Village IV will include a pipeline within Loop Road, connecting to the proposed pipeline within Foothill Avenue. A recycled water pipeline is proposed to extend from the northern intersection of Foothill Avenue/Loop Road to PA 43. Sewer facilities will include a 10-inch pipeline within the southern portion of the Loop Road, connecting to the proposed pipeline at the southern intersection of Loop Road/Foothill Avenue. Storm drain facilities serving Village IV include a 48-inch pipeline within the southern portion of the Loop Road from PA 38, connecting to the proposed pipeline within Foothill Avenue. PA 43 will drain into a proposed storm drain line that will drain through Village V. PA 43 will be dependant upon the development of this storm drain line through Village V.

Village IV includes a proposed 8-acre school site within the Nuview School District portion of the project. The developer will provide a rough graded school site as part of Phase IV development. School construction of the site will be determined by the School District.

Village IV includes a proposed 18-acre community park (PA 39) to be graded and fully improved as part of the Village IV development. Refer to Section 4.39.2, Development Standards for Planning Area 39, of this Specific Plan for more detailed timing requirements on the development of this park site.

Village V

Village V will include residential and open space uses.

Village V roadway improvements will include half-width improvements to Nuevo Road adjacent to the project between the westerly and easterly project boundaries, and full-width improvements to Antelope Road from the intersection of Antelope Road/Nuevo Road north to the easterly project boundary.

Water infrastructure serving Village V will include a pipeline within Antelope Road from the southern boundary of PA 47 south to the intersection of Antelope Road/Nuevo Road where the pipeline connects to a proposed 16-inch pipeline

within Nuevo Road. The proposed 16-inch pipeline within Nuevo Road is proposed to extend west to the intersection of Dunlap Drive/Nuevo Road where the pipeline will connect to an existing water line. Sewer facilities are proposed to include an 8-inch pipeline within Antelope Road from the eastern boundary south to a proposed sewer lift station located at the southeastern corner of PA 46. A second sewer pipeline is proposed along Nuevo Road from the western boundary of PA 45 east to the proposed sewer lift station. Sewage will be conveyed from the lift station through a proposed sewer force main, connecting to the proposed gravity sewer line within Foothill Avenue.

Storm drain facilities serving Village V include a 30-inch-or less storm drain pipeline extending generally southeast from Planning Area 43 through PA 47 and into Antelope Road to Nuevo Road. A second pipeline is proposed along Nuevo Road from PA 45 conveying flows to the San Jacinto River.

3.8.3 PUBLIC FACILITIES AND PROJECT PHASING STANDARDS

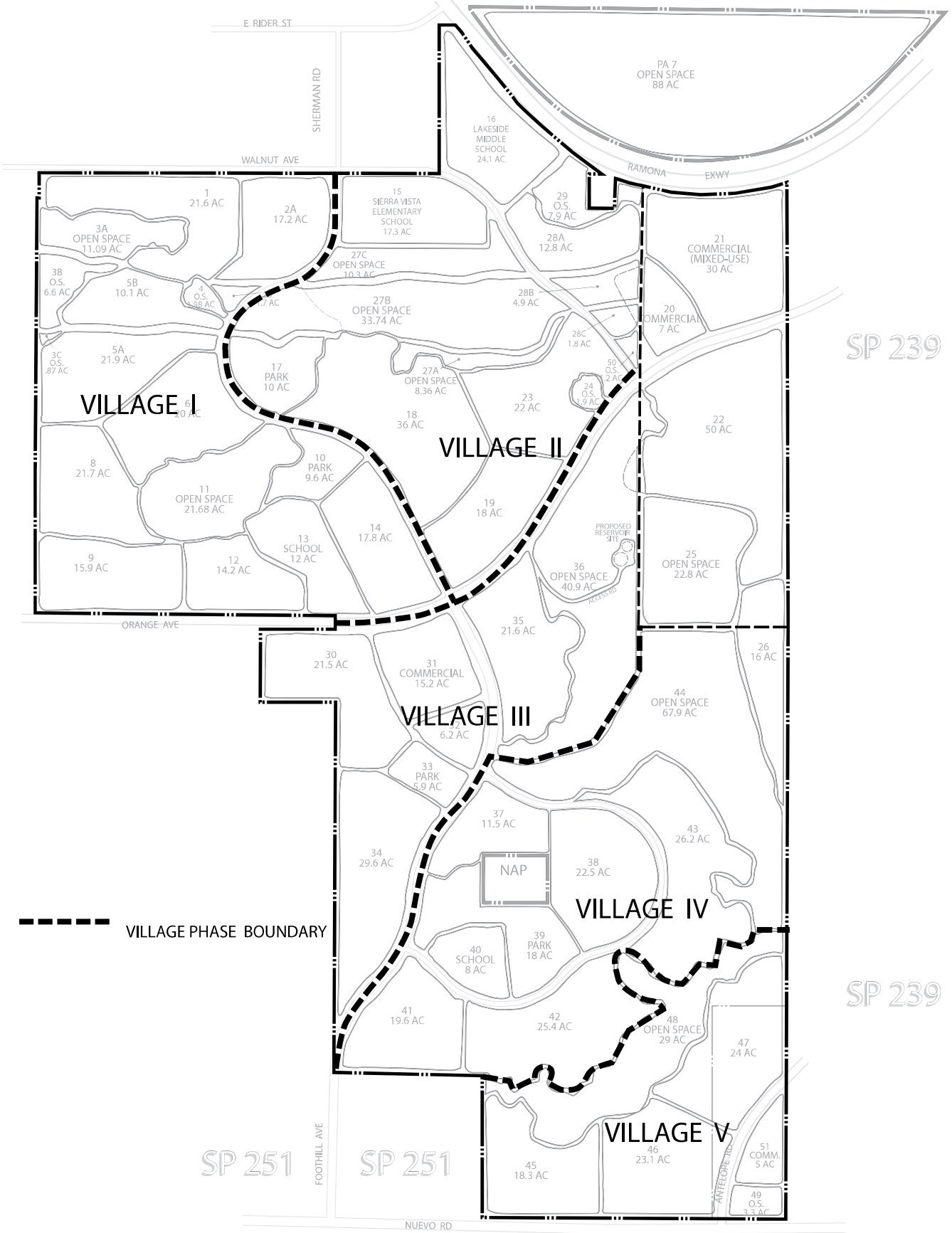
- 1.) Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract shall be submitted to the County Planning Department for approval as may be required. The improvement plans may include:
 - a. Final Grading Plan
 - b. Irrigation Plans (certified by a landscape architect)
 - c. Fence Treatment Plans
 - d. Special Treatment/buffer Area Treatment Plans
 - e. Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
- 2.) Each Planning Area, if applicable, shall include development of adjacent common open space area, landscape development zones, and applicable infrastructure.
- 3.) Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages in any phasing order, provided vehicular access, public facilities, and infrastructure is constructed to adequately service the development or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan.
- 4.) The numbering of villages herein does not denote any specific sequence of development phasing. Certain villages or planning areas may be developed out of the numbering sequence, provided that the required infrastructure and services are available at the time of development.
- 5.) The development of community park planning areas within each village containing such a planning area shall be completed in conjunction with development of the village the park is located in, and more specifically,

pursuant to the Development Standards and timing set forth in Sections 3.7 and 4.0 of this Specific Plan for Planning Areas 10, 17, 33 and 39.

- 6.) The development of neighborhood parks within residential planning areas proposed for such parks (see Sections 3.7 and 4.0) shall be completed in conjunction with the development of the planning area the park is to be located in, and more specifically, pursuant to the Development Standards and timing set forth in Section 3.7 and 4.0 of this Specific Plan.
- 7.) The circulation system shall be implemented concurrently with the associated village.
- 8.) The school sites will be dedicated after final tract map recordation in each targeted village pursuant to executed agreements with the applicable school districts. The construction of the school facilities will be governed by the appropriate school district.
- 9.) Should the appropriate school district elect not to acquire and use Planning Areas 13 or 40 for public school purposes, single-family residential development may be substituted with a density of 2 to 5 dwelling units per acre.
- 10.) In recognition of Village II's dependency on Village I to precede it for provision of adequate public facilities, services and utilities, the following items must be accomplished to allow for the development of Village II prior to the development of Village I:
 - a. Half or full width roadway improvement of (1) Walnut Avenue from the southeastern edge of PA 15 to Orange Avenue intersection; and (2) Orange Avenue southwesterly from the Walnut Avenue intersection to the Foothill Avenue intersection;
 - b. Half width roadway improvement of (1) Foothill Avenue from the southern property boundary of PA 14 to the Orange Avenue intersection; and (2) Orange Avenue from the Foothill Avenue intersection to the project boundary of Orange Avenue near PA 30;
 - c. Construction of all water backbone improvements described as Village II improvements in Section 3.8.2, as well as the Village I improvements described in Section 3.8.2, except that the northern extent of the 20-inch diameter pipeline along Foothill Avenue may vary from that depicted for Village I;
 - d. Construction of all sewer backbone improvements described as Village II improvements in Section 3.8.2, as well as the Village I improvements described in Section 3.8.2, with the exception of the 8-inch diameter pipeline section near McCanna Hill's northwestern corner;
 - e. Construction of all stormwater backbone improvements described as Village II improvements in Section 3.8.2, as well as the Village I improvements described in Section 3.8.2, with the exception of the 42-inch diameter service connection to PAs 9 and 12.

- 11.) In recognition of Village IV's dependency on Village III to precede it for provision of adequate public facilities, services and utilities, the following items must be accomplished to allow for the development of Village IV prior to the development of Village III:
 - a. Full width roadway improvements described as Village IV improvements in Section 3.8.2, as well as the Village III improvements described in Section 3.8.2, except that the northern extent of Foothill Avenue may vary from that depicted for Village III;
 - b. Construction of all water backbone improvements described as Village IV improvements in Section 3.8.2, as well as the Village III improvements described in Section 3.8.2;
 - c. Construction of all sewer backbone improvements described as Village IV improvements in Section 3.8.2, as well as the Village III improvements described in Section 3.8.2, except that the northern extent of the 12-inch diameter pipeline along Foothill Avenue may vary from that depicted for Village III;
 - d. Construction of all stormwater backbone improvements described as Village IV improvements in Section 3.8.2, as well as the Village III improvements described in Section 3.8.2, except that the northern extent of the 42-inch diameter pipeline along Foothill Avenue may vary from that depicted for Village III.

- 12.) In recognition of Village V's limited dependency on Village III to precede it for provision of adequate public facilities, services and utilities, the following items must be accomplished to allow for the development of Village V prior to the development of Village III:
 - a. Full width roadway improvements described as Village V improvements in Section 3.8.2;
 - b. Construction of all water backbone improvements described as Village V improvements in Section 3.8.2;
 - c. Construction of all sewer backbone improvements described as Village V improvements in Section 3.8.2, as well as the Village III improvements in Nuevo Road described in Section 3.8.2;
 - d. Construction of all stormwater backbone improvements described as Village V improvements in Section 3.8.2.



SP 239

SP 239

SP 251

SP 251

--- VILLAGE PHASE BOUNDARY



Michael Baker INTERNATIONAL



04-15-2015 JN 145159

McCanna Hills SP 246 AMENDMENT 3

VILLAGE PHASING PLAN

EXHIBIT 3.20

VILLAGE I INFRASTRUCTURE

LEGEND

PHASE BOUNDARY

SPECIFIC PLAN BOUNDARY

STREETS

○ ○ ○ ○ ○ HALF WIDTH

● ● ● ● ● FULL WIDTH

DRAINAGE

PROPOSED SPECIFIC PLAN STORM DRAIN BACKBONE LINES

PROPOSED STORM DRAIN MASTER PLAN FACILITIES

EXISTING STORM DRAIN MASTER PLAN FACILITIES

WATER

PROPOSED WATER LINES

EXISTING WATER LINES

RECYCLED (NON-DOMESTIC) WATER LINES

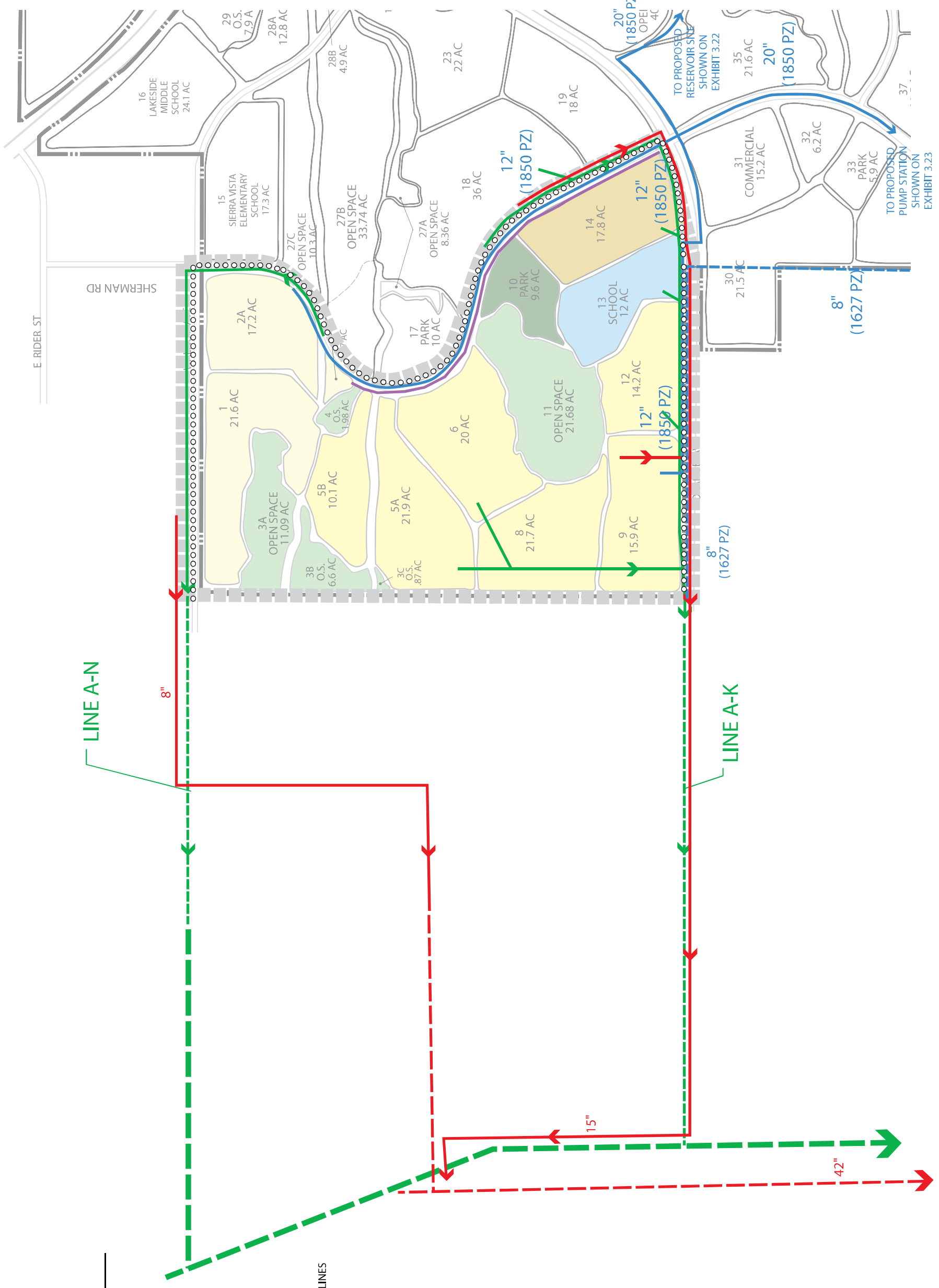
SEWER

PROPOSED SEWER BACKBONE LINES (GRAVITY)

PROPOSED SEWER FORCE MAIN

EXISTING SEWER MAIN (GRAVITY)

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.



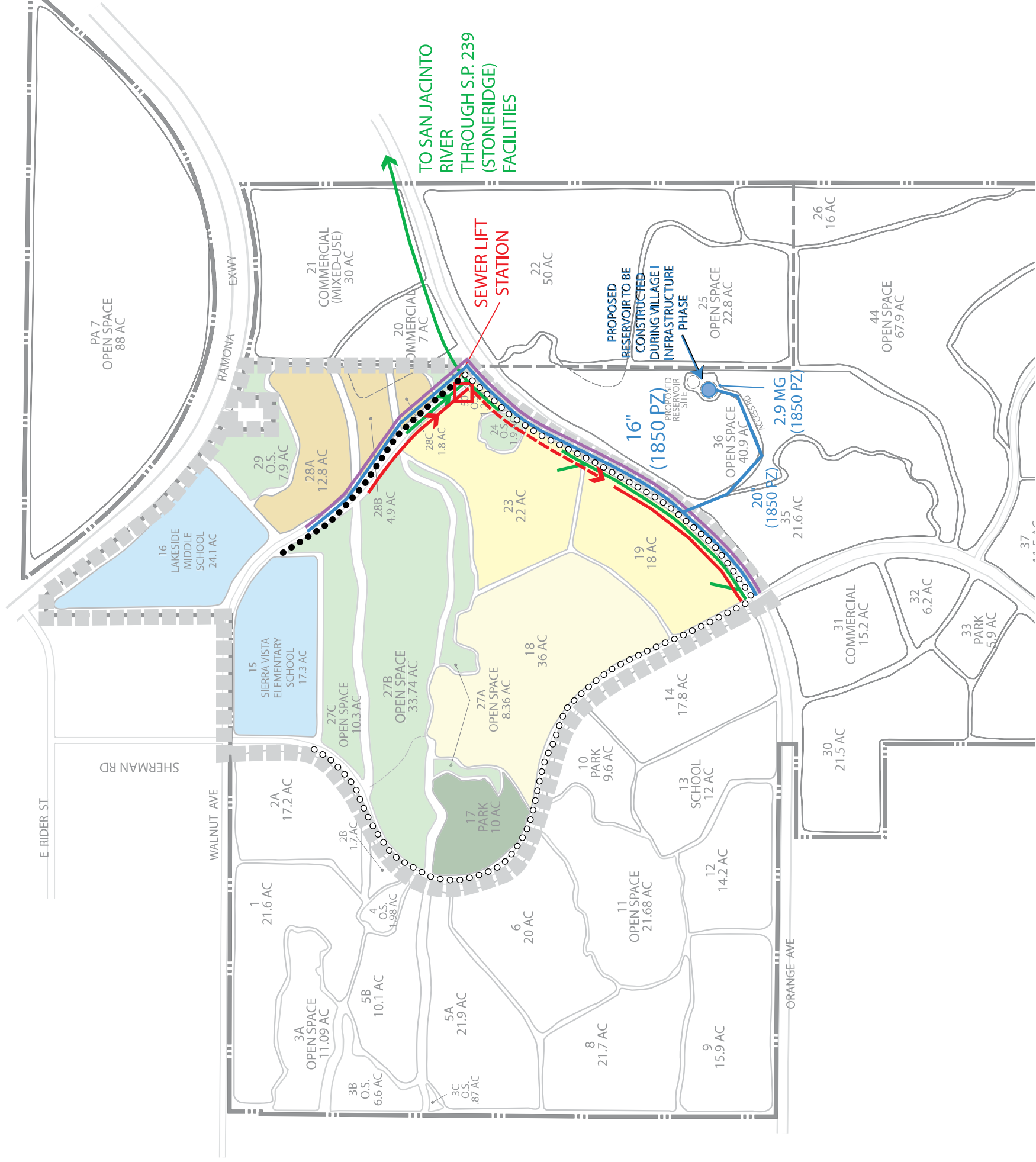
TO PERRIS VALLEY
REGIONAL WATER
RECLAMATION FACILITY

VILLAGE II INFRASTRUCTURE

LEGEND

- PHASE BOUNDARY
- SPECIFIC PLAN BOUNDARY
- STREETS**
- HALF WIDTH
- FULL WIDTH
- DRAINAGE**
- PROPOSED SPECIFIC PLAN STORM DRAIN BACKBONE LINES
- PROPOSED STORM DRAIN MASTER PLAN FACILITIES
- EXISTING STORM DRAIN MASTER PLAN FACILITIES
- WATER**
- PROPOSED WATER LINES
- EXISTING WATER LINES
- RECYCLED (NON-DOMESTIC) WATER LINES
- SEWER**
- PROPOSED SEWER BACKBONE LINES (GRAVITY)
- PROPOSED SEWER FORCE MAIN
- EXISTING SEWER MAIN (GRAVITY)

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.



VILLAGE III INFRASTRUCTURE

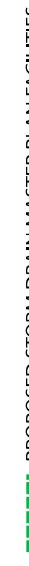
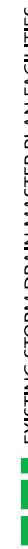
LEGEND

-  PHASE BOUNDARY
-  SPECIFIC PLAN BOUNDARY

STREETS

-  HALF WIDTH
-  FULL WIDTH


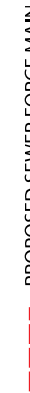
DRAINAGE

-  PROPOSED SPECIFIC PLAN STORM DRAIN BACKBONE LINES
-  PROPOSED STORM DRAIN MASTER PLAN FACILITIES
-  EXISTING STORM DRAIN MASTER PLAN FACILITIES

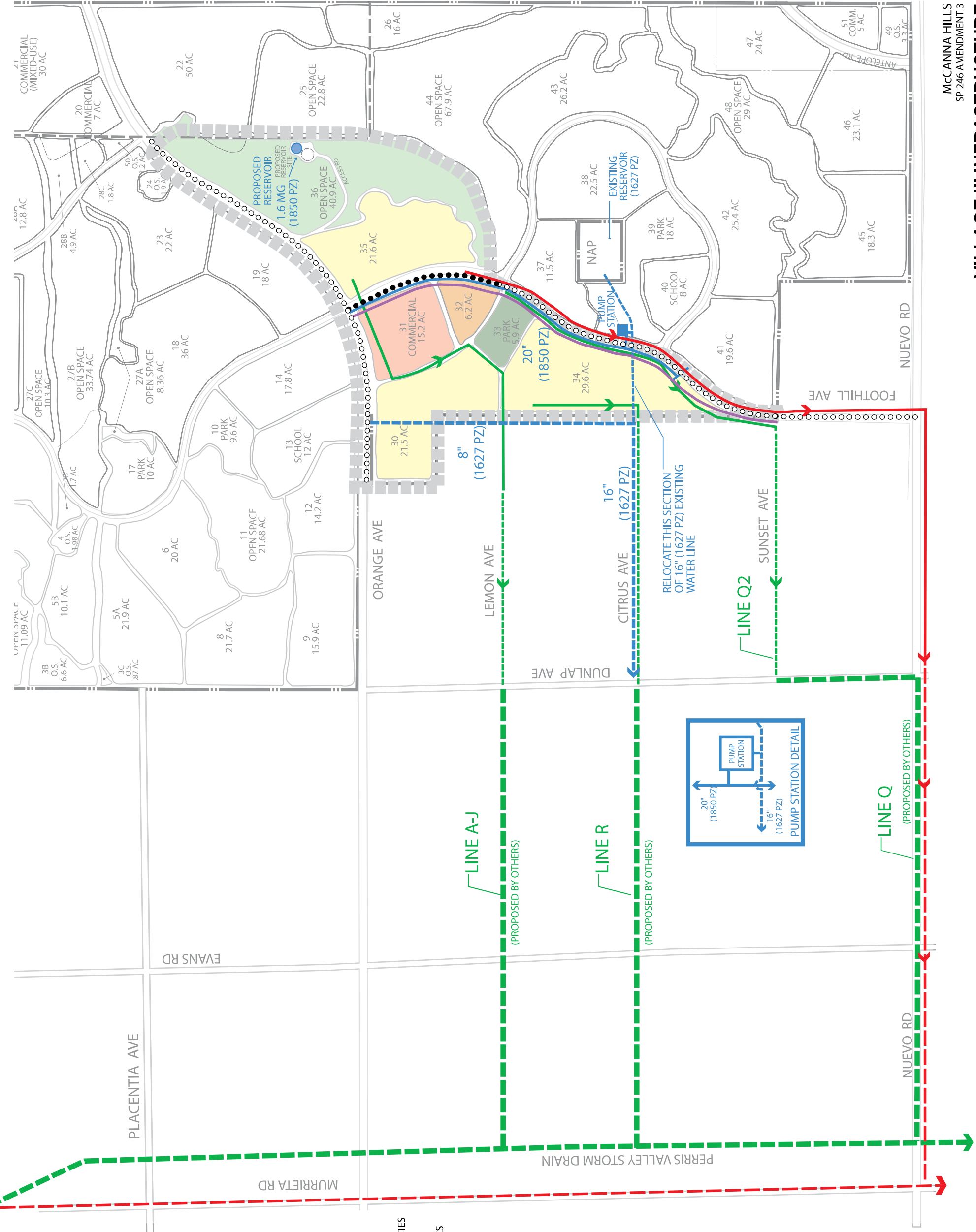
WATER

-  PROPOSED WATER LINES
-  EXISTING WATER LINES
-  RECYCLED (NON-DOMESTIC) WATER LINES

SEWER














-  PROPOSED SEWER BACKBONE LINES (GRAVITY)
-  PROPOSED SEWER FORCE MAIN
-  EXISTING SEWER MAIN (GRAVITY)

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.

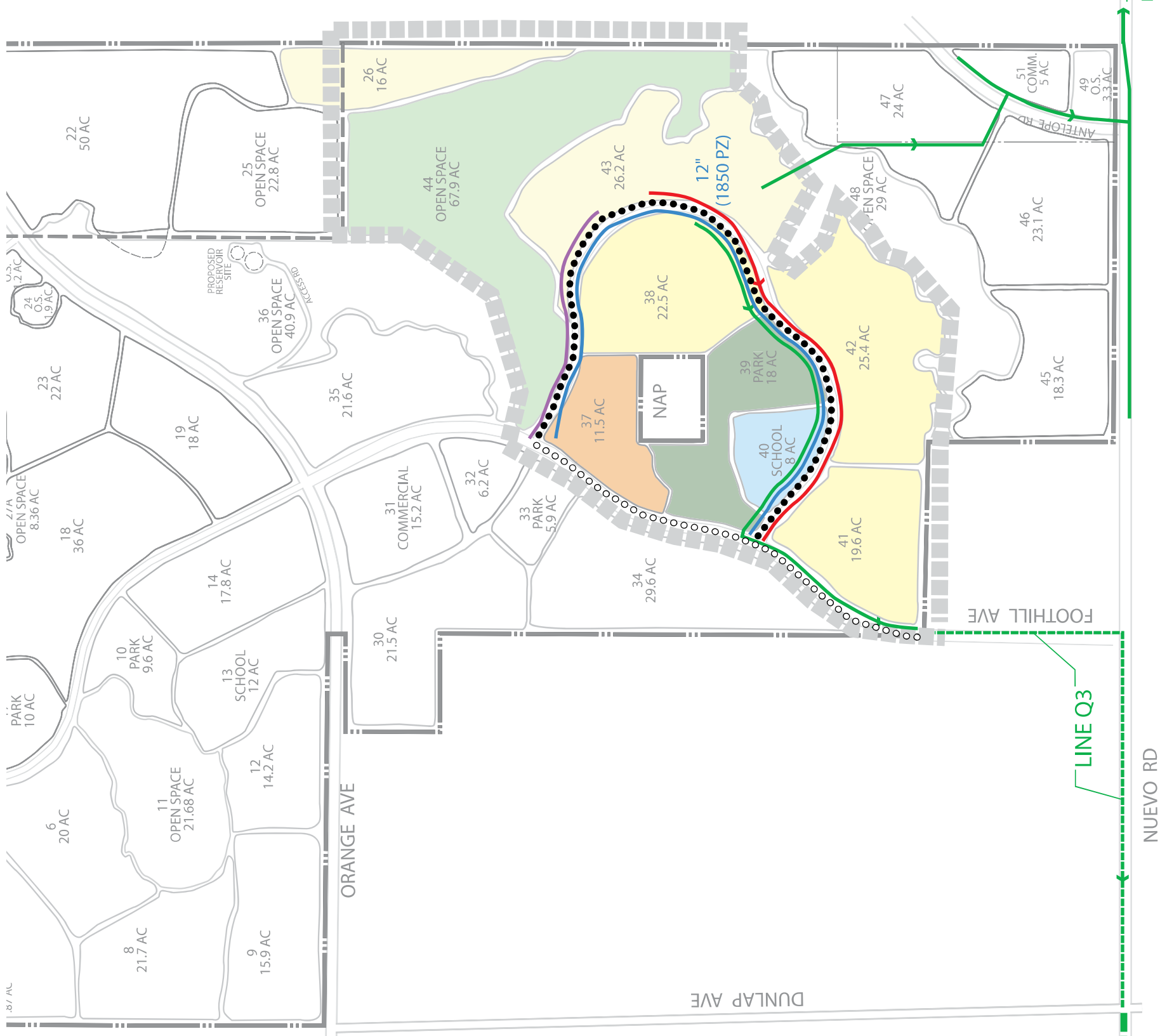


VILLAGE IV INFRASTRUCTURE

LEGEND

-  PHASE BOUNDARY
-  SPECIFIC PLAN BOUNDARY
- STREETS**
-  HALF WIDTH
-  FULL WIDTH
- DRAINAGE**
-  PROPOSED SPECIFIC PLAN STORM DRAIN BACKBONE LINES
-  PROPOSED STORM DRAIN MASTER PLAN FACILITIES
-  EXISTING STORM DRAIN MASTER PLAN FACILITIES
- WATER**
-  PROPOSED WATER LINES
-  EXISTING WATER LINES
-  RECYCLED (NON-DOMESTIC) WATER LINES
- SEWER**
-  PROPOSED SEWER BACKBONE LINES (GRAVITY)
-  PROPOSED SEWER FORCE MAIN
-  EXISTING SEWER MAIN (GRAVITY)

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.



TO SAN JACINTO RIVER

LINE Q3

NUEVO RD

ORANGE AVE














DUNLAP AVE

FOOTHILL AVE

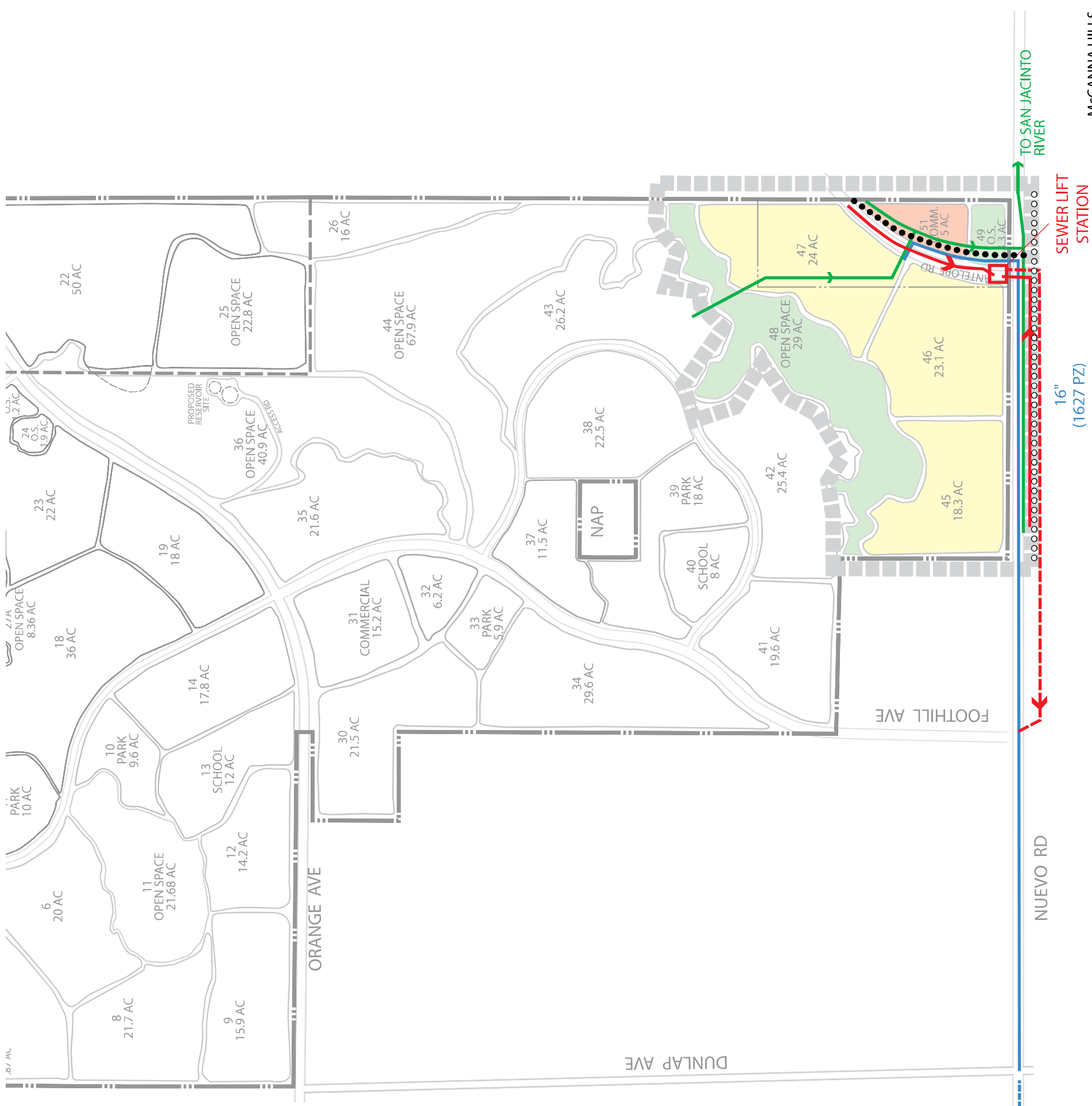
ANTELOPE RD

VILLAGE V INFRASTRUCTURE

LEGEND

-  PHASE BOUNDARY
-  SPECIFIC PLAN BOUNDARY
- STREETS**
-  HALF WIDTH
-  FULL WIDTH
- DRAINAGE**
-  PROPOSED SPECIFIC PLAN STORM DRAIN BACKBONE LINES
-  PROPOSED STORM DRAIN MASTER PLAN FACILITIES
-  EXISTING STORM DRAIN MASTER PLAN FACILITIES
- WATER**
-  PROPOSED WATER LINES
-  EXISTING WATER LINES
-  RECYCLED (NON-DOMESTIC) WATER LINES
- SEWER**
-  PROPOSED SEWER BACKBONE LINES (GRAVITY)
-  PROPOSED SEWER FORCE MAIN
-  EXISTING SEWER MAIN (GRAVITY)

SOURCE: EASTERN MUNICIPAL WATER DISTRICT PLAN OF SERVICE AND RBF CONSULTING.



0 600'

3.9 Comprehensive Maintenance Plan

3.9.1 MAINTENANCE PLAN

The McCanna Hills development includes a variety of public or common improvements, such as roadways, infrastructure, landscaping, parks, lighting, trails, recreational facilities, and open space. The maintenance of these improvements will be addressed through a variety of maintenance options, which include County Service Area (CSA) No. 146, Riverside County, Eastern Municipal Water District, and one or more homeowners association. The following discussion and Table 3-3 summarizes the application of these funding and maintenance mechanisms.

❖ **County Service Area 146**

A permanent county service area (CSA) should assume maintenance responsibility for street parkway and median landscaping of collector streets or larger, tract entry street landscaping, landscaped transition areas, street lighting, public parks of five acres or more, and community trails. The McCanna Hills Specific Plan resides in County Service Area 146 Zone A, 5th District, for the Lakeview, Nuevo, Romoland and Homeland areas. Pursuant to Ordinance No. 573, all parcels of real property within the boundaries of County Service Area 146 shall be subject to a property tax assessment charge for each extended service provided. The County Service Area and the County Transportation Department will be consulted with for an agreement on more precise maintenance responsibilities within street right-of-ways. Preliminary discussions with these two agencies has indicated a preliminary acceptance of these future responsibilities.

❖ **County of Riverside**

Funding mechanisms that are managed by the County of Riverside, include options such as general fund or lighting, landscape and maintenance districts. The County shall assume maintenance of public streets and roadways and it could share in the maintenance of parkways, community trails, and street lighting. Storm drains would also be maintained by the County. Drains over 36-inches in diameter generally would be maintained by the County Flood Control District and drains 36-inches or smaller in public streets will be maintained by the County Transportation Department. The public roadways and their rights-of-way will be designed and constructed to standards acceptable to the County and will be entered into the county system of roads for operation and maintenance.

❖ **Eastern Municipal Water District (EMWD)**

Water and sewer facilities shall be maintained by the EMWD.

❖ **Homeowners Association**

A homeowners association would be formed and charged with maintenance of private community facilities and other infrastructure. The association would then be responsible for the ongoing maintenance of local streets (if private) and common landscaping along interior local streets (whether public or private). A homeowners association would also assume maintenance of private recreation facilities. Such facilities would include parks of less than five acres or community pools provided for project residents. The Homeowners Association will assume ownership of open spaces as common area and will have the responsibility of maintaining these areas. Maintenance associations shall be charged with the unqualified right to assess their own individual owners for reasonable maintenance and management costs that shall be established and continuously maintained. A private association may maintain the commercial areas. A common maintenance charge will be assessed to cover common area maintenance if no association is formed.

**TABLE 3-3
 MAINTENANCE PLAN SUMMARY**

	HOME-OWNER	HOMEOWNERS ASSOCIATION (HOA)	COUNTY SERVICE AREA NO. 146 (CSA) ZONE A	RIVERSIDE COUNTY	EASTERN MUNICIPAL WATER DISTRICT (EMWD)
PUBLIC STREETS & SIDEWALKS				✓	
PUBLIC STREET PARKWAYS & MEDIANS ON COLLECTOR STREETS OR LARGER			✓		
ADDITIONAL LANDSCAPED BUFFER AREAS ADJACENT TO COLLECTOR STREETS OR LARGER (OUTSIDE OF R/W)			✓ (By Easement)		
LOCAL STREET PARKWAYS	✓	✓			
TRACT ENTRY STREET LANDSCAPING AND MEDIAN		✓ (Private Street)	✓ (Public Street)		
PROJECT IDENTIFICATION SIGNAGE & MONUMENT WALLS		✓	✓		
STREET LIGHTING			✓		
PROJECT PERIMETER WALLS & FENCING	✓ (Inside of Wall / Fence)		✓ (Outside of Wall / Fence)		
COMMUNITY PARKS (5 Acres or More, No Pools)			✓		
NEIGHBORHOOD PARKS (Less than 5 Acres)		✓			
PRIVATE RECREATIONAL FACILITIES (Including Community Pools)		✓			
NATURAL OPEN SPACE		✓ (If HOA Owns)	✓ (If Public Entity Owns)		
OTHER COMMON OPEN SPACE		✓			
COMMUNITY TRAILS			✓	✓	
OPEN SPACE TRAILS		✓			
STORM DRAINS				✓	
WATER QUALITY SWALES AND BASINS		✓	✓ (If Landscaped & Part of Park or Parkway)		
WATER & SEWER FACILITIES					✓

3.9.2 MAINTENANCE STANDARDS

Common areas, if created by an implementing subdivision map will be maintained by the CSA or permanent homeowner's association, if necessary. These areas include the proposed landscape entry features, landscape transition areas, park areas, streetscapes, and dedicated open spaces.



4.0 – Planning Area Specific Development Standards

4.0 PLANNING AREA SPECIFIC DEVELOPMENT STANDARDS

4.1 Planning Area 1

4.1.1 LAND USE

Planning Area 1, as illustrated in Exhibit 4.1, is located in Village I south of Walnut Avenue in the northwest corner of the site. The 21.6-acre residential neighborhood is proposed with a maximum of 80 dwelling units within a density of two to five dwelling units per acre and a minimum lot size of 6,000 square feet.

Primary access will originate from a neighborhood entry point on Walnut Avenue. Secondary access to Planning Area 1 is anticipated to be through Planning Area 2 from Foothill Avenue. This will require the secondary access through Planning Area 2 to be developed in conjunction with Planning Area 1. Residential Planning Area 1 is bounded by Planning Area 2 to the east, and Planning Areas 3, 4, and 5 to the south.

As shown in Exhibit 4.1, a perimeter wall will bound Planning Area 1 to the north along Walnut Avenue where deemed appropriate by the County of Riverside and the developer. An open space transition area as depicted in the concepts on Exhibit 5.15B will be used where deemed appropriate by the County and the developer on the edge of Planning Area 1 where it is adjacent to open space.

4.1.2 DEVELOPMENT STANDARDS

1. Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan document.
2. Access to Planning Area 1 will be achieved from Walnut Avenue, and from the adjacent Planning Areas 2. Final access points to the planning area will be determined at time of tentative tract map submittal.
3. A neighborhood entry, as depicted in Exhibits 5.6 and 5.7, will be constructed in the northeast corner of the planning area from Walnut Avenue.
4. A landscape area, as depicted in Exhibit 5.10, will be incorporated between the perimeter wall and Walnut Avenue.
5. Perimeter walls or view fence where deemed appropriate by the County and the developer, as depicted in Exhibits 5.16, A and B, will be constructed along the areas adjacent to Walnut Avenue where residential rear or side yards are adjacent to the roadway.
6. For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
7. An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45

Ldn/CNEL (the County of Riverside Department of Public Health current standards).

8. Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted to the Fire Department as necessary for approval.
9. According to preliminary site investigations conducted, the specific plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, potential sites will be investigated further and mitigation measures will be recommended as necessary.

4.2 Planning Areas 2 A and B

4.2.1 LAND USE

Planning Areas 2A and B, as illustrated in Exhibit 4.1, are located in Village I at the southwest corner of Walnut Avenue and Sherman Road (or the northerly extension of Foothill Avenue). Planning Area 2A is a 17.2-acre residential neighborhood proposed with a maximum of 64 dwelling units within a density of two to five dwelling units per acre and a minimum lot size of 6,000 square feet. Planning Area 2B is a 1.7 acres residential use area proposed with a maximum of 5 dwelling units within a density of two to five dwelling units per acre and a minimum lot size of 6,000 square feet.

Primary access will originate from a neighborhood entry point along Foothill Avenue. Secondary access to Planning Area 2 is anticipated through Planning Area 1 from Walnut Avenue. This secondary access is required to be developed in conjunction with Planning Area 2. An open space transition area as depicted in the concepts on Exhibit 5.15 B will be used where deemed appropriate by the County and the developer on the edge of Planning Area 2B where it is adjacent to open space in Planning Area 4.

4.2.2 DEVELOPMENT STANDARDS

1. Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan document.
2. Access to Planning Area 2 will be achieved from one neighborhood entry off of Foothill Avenue (southerly extension of Sherman Road). Final access points to the planning area will be determined at time of tentative tract map submittal.
3. A neighborhood entry, as depicted in Exhibits 5.6 and 5.7, will be constructed at Foothill Avenue.
4. A landscape area, as depicted in Exhibit 5.10, will be incorporated between the perimeter wall and Walnut Avenue and Foothill Avenue.
5. Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be installed along Walnut Avenue and Foothill Avenue where residential rear or

side years are adjacent to the roadway and where deemed appropriate by the County and the developer.

6. For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
7. According to preliminary site investigations conducted, the specific plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
8. An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
9. Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.3 Planning Areas 3 A, B and C

4.3.1 LAND USE

Planning Areas 3 A, B and C, as illustrated in Exhibit 4.1, are located in Village I along the northwestern corner of the site, at the western boundary. The three sub-parts (A, B and C) of this planning area total 18.56 acres and are intended to remain as an open space area with natural rock outcroppings. The area will preserve natural topographic relief, exclusive to this area of the specific plan.

Residential Planning Areas 1 and 5 bound the planning area to the east. An open space transition area is proposed pursuant to guidelines in Sections 4.1 and 4.5 to separate Planning Area 3 from adjacent residential uses in Planning Area 1 and 5.

4.3.2 DEVELOPMENT STANDARDS

- 1.) These planning areas are intended to be preserved in their existing “natural” state with access trails and transition or fuel modification areas as appropriate. Any development in these open space areas with uses other than picnic grounds; hiking trails and amenities; water system facilities; and on site identification signs will require approval of a zone change and a specific plan amendment.

4.4 Planning Area 4

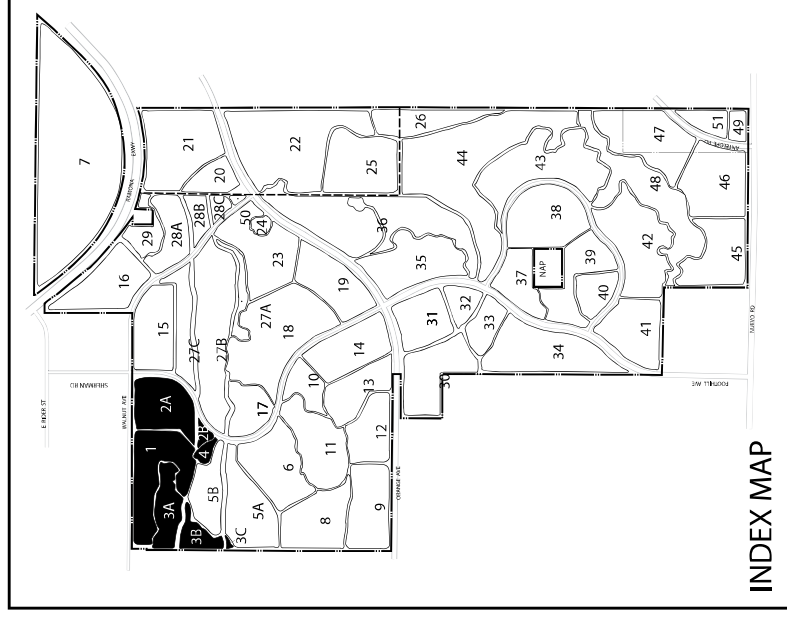
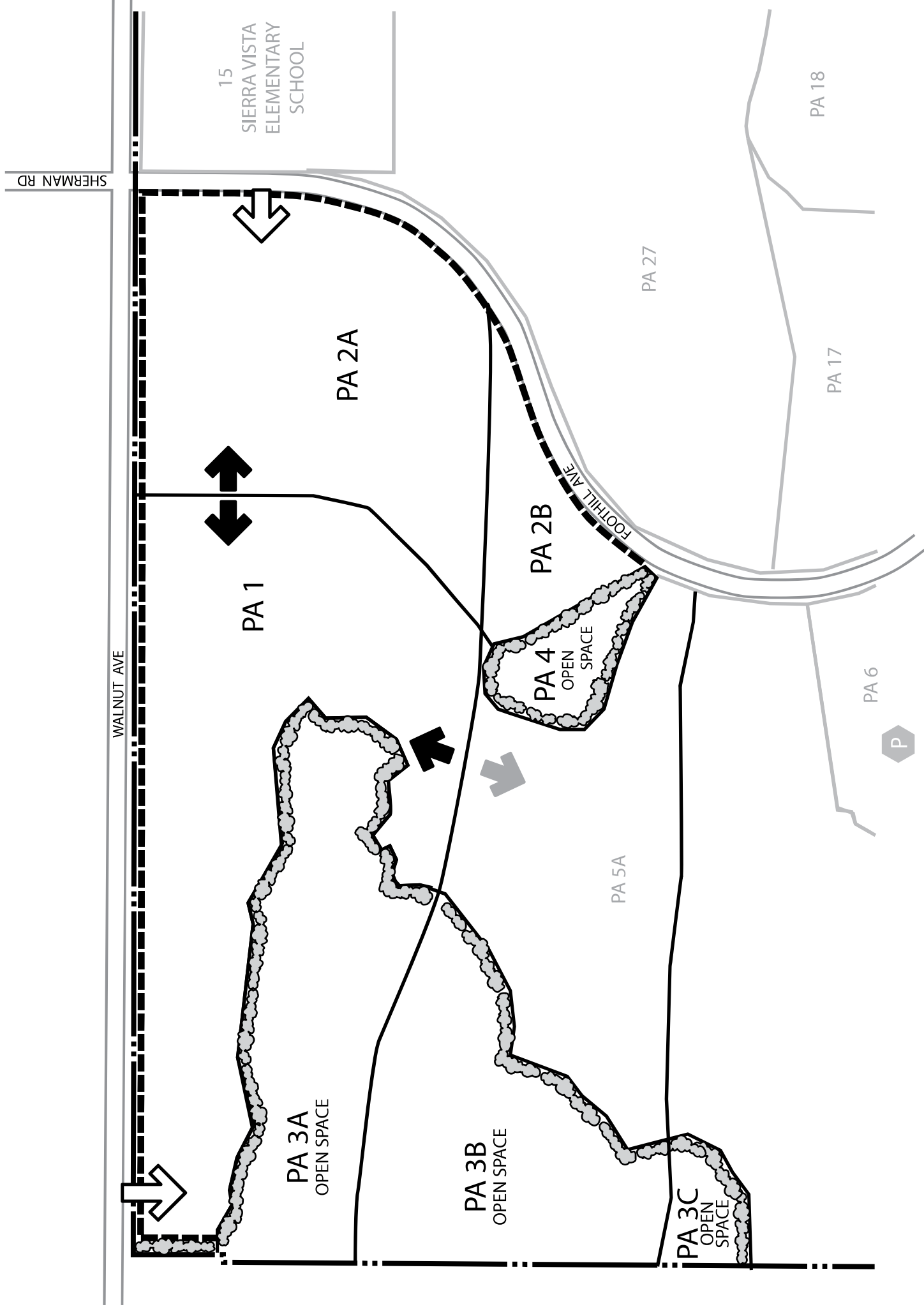
4.4.1 LAND USE

Planning Area 4, as illustrated in Exhibit 4.1, is located in Village I west of Foothill Avenue. The 1.98-acre site will remain an open space area with natural rock outcroppings. The area will preserve natural topographic relief, exclusive to this area of the specific plan.

Residential Planning Areas 1, 2 and 5 bound the site, and are proposed pursuant to the guidelines in Sections 4.1, 4.2 and 4.5 to be separated from Planning Area 4 by open space transition areas where appropriate.

4.4.2 DEVELOPMENT STANDARDS

- 1.) This planning area is to be preserved in its existing “natural” state with access trails and transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds; hiking trails and amenities; water system facilities; and on site identification signs will require approval of a zone change and a specific plan amendment.



LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 1 Residential: 2-5 DU/AC 21.6 Acres Maximum DU: 80 Minimum Lot Size: 6,000 s.f.	PLANNING AREA 3A Open Space 11.09 Acres
PLANNING AREA 2A Residential: 2-5 DU/AC 17.2 Acres Maximum DU: 64 Minimum Lot Size: 6,000 s.f.	PLANNING AREA 3B Open Space 6.6 Acres
PLANNING AREA 2B Residential: 2-5 DU/AC 1.7 Acres Maximum DU: 5 Minimum Lot Size: 6,000 s.f.	PLANNING AREA 3C Open Space .87 Acres
PLANNING AREA 4 Residential: 2-5 DU/AC 1.98 Acres Maximum DU: 5 Minimum Lot Size: 6,000 s.f.	

4.5 Planning Areas 5 A and B

4.5.1 LAND USE

Planning Areas 5 A and B, as illustrated in Exhibit 4.2, are located in Village I along the western boundary of the project site, west of Foothill Avenue. Planning Area 5A is a 21.9-acre residential neighborhood proposed with a maximum of 112 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 5,000 square feet. Planning Area 5B is a 10.1- residential use area with a maximum of 44 dwelling units within a density of five to eight dwelling units per acre and a minimum lot size of 5,000 square feet.

Primary access will originate from a neighborhood entry on Foothill Avenue between Planning Areas 5 and 6. Secondary access to Planning Area 5 is anticipated to be through Planning Area 1 to Walnut Avenue to the north or through Planning Areas 8 and 9 to Orange Avenue to the south. This secondary access will be required to be developed in conjunction with Planning Area 5. Residential Planning Areas 6 and 8 are adjacent to the south, and Residential Planning Area 1 to the north. Open Space Planning Areas 3 and 4 also bound Planning Area 5 to the north.

As shown in Exhibit 4.2, a perimeter wall shall bound the Planning Area along Foothill Avenue and along the western project boundary as deemed appropriate by the County of Riverside and the developer. An open space transition area as depicted in the concepts on Exhibit 5.15B shall be used at the edge of Planning Area 5 and the open space areas to the north where deemed appropriate by the County and the developer.

4.5.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.2 of this Specific Plan document.
- 2.) Access to Planning Area 5 will be achieved from Foothill Avenue and through adjoining Planning Areas. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A neighborhood entry, as depicted in concept in Exhibits 5.6 and 5.7, will be constructed at Foothill Avenue.
- 4.) A landscape area, as depicted on Exhibit 5.10, will be incorporated between the perimeter wall and Foothill Avenue.
- 5.) A perimeter wall or view fence where deemed appropriate by the County of Riverside and the developer, as depicted in Exhibits 5.16 A and B, will be constructed along the western property edge and Foothill Avenue. A landscaped transition area should be provided where appropriate between the wall and adjacent properties on the western project boundary pursuant to the concepts depicted in Exhibit 5.15A.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.

- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.6 Planning Area 6

4.6.1 LAND USE

Planning Area 6, as illustrated Exhibit 4.2, is located within Village I within the northwest portion of the Specific Plan Area west of Foothill Avenue. The 20.0-acre residential neighborhood is proposed with a maximum of 100 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,500 square feet.

Primary access will originate from a neighborhood entry on Foothill Avenue between Planning Areas 5 and 6. Secondary access to Planning Area 6 is anticipated through Planning Areas 8 and 9 to Orange Avenue. This secondary access is required to be developed in conjunction with Planning Area 6. Residential Planning Areas 5 and 8 bound Planning Area 6 to the north and west. Open Space Planning Area 11 is adjacent to the south.

As shown in Exhibit 4.2, Planning Area 6 is proposed to have a perimeter wall to the east adjacent to Foothill Avenue where deemed appropriate by the County and the developer. Planning Area 6 is to include a neighborhood park as part of the development of this area.

4.6.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.3 of this Specific Plan document.
- 2.) Access to Planning Area 6 will be achieved from Foothill Avenue and through adjoining planning areas. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A neighborhood entry, as depicted in Exhibits 5.6 and 5.7, will be constructed at Foothill Avenue.

- 4.) A landscape area, as depicted on Exhibit 5.10, will be incorporated between the perimeter walls and Foothill Avenue.
- 5.) A perimeter wall or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along Foothill Avenue where residential rear or side yards are adjacent to the roadway where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 10.) A minimum of one neighborhood park shall be incorporated into the ultimate design of Planning Area 6. The park shall be developed in accordance with the Standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 11.) Prior to the issuance of the 25th building permit within Planning Area 6 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 6. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing an permanent maintenance mechanism for the park and its facilities.
- 12.) Prior to the issuance of the 85th building permit within Planning Area 6 of the Specific Plan, the neighborhood park proposed within Planning Area 6 shall be constructed by the developer and be substantially complete.

4.7 Planning Area 7

Planning Area 7 is an 88-acre open space area located north of Ramona Expressway (See Exhibit 3.1, Land Use Plan). This Planning Area is retained from the previously approved 1994 Preissman Specific Plan (SP 246). Development standards for Planning Area 7 remain as set forth in the Preissman Specific Plan.

4.8 Planning Area 8

4.8.1 LAND USE

Planning Area 8, as illustrated in Exhibit 4.2, is located in Village I along the western boundary of the project site. The 21.7-acre residential neighborhood is proposed with a maximum of 108 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,500 square feet.

Access will originate from Orange Avenue through Planning Area 9 to the south or from Foothill Avenue through Planning Areas 5 and 6 to the northeast. The access through Planning Areas 5, 6 and 9 is required to be developed in conjunction with Planning Area 8. Residential Planning Areas 5 and 6 bound Planning Area 8 to the north. Planning Area 9 is to the south, and open space Planning Area 11 is to the east. As shown in Exhibit 4.2, Planning Area 8 will be separated from adjacent open space in Planning Area 10 by an open space transition area as depicted in the concepts on Exhibit 5.15 B where deemed appropriate by the County and the developer.

4.8.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.3 of this Specific Plan document.
- 2.) Access to Planning Area 8 will be achieved from Orange Avenue and Foothill Avenue through Planning Areas 9 and 6 respectively. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A perimeter wall or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the western project boundary and a landscaped transition area should be provided between the wall and adjacent properties, pursuant to the concepts depicted in Exhibit 5.15A as deemed appropriate by the County and the developer.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.

- 6.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 7.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.9 Planning Area 9

4.9.1 LAND USE

Planning Area 9, as illustrated in Exhibit 4.2, is located in Village I along the western boundary of the project site, on the north side of Orange Avenue. The 15.9-acre residential neighborhood is proposed with a maximum of 103 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,000 square feet.

Primary access will originate from a village entry point off of Orange Avenue between Planning Areas 9 and 12. Secondary access to Planning Area 9 is anticipated through Planning Areas 8 and 6 to Foothill Avenue to the northeast. This secondary access is required to be developed in conjunction with Planning Area 9. Residential Planning Areas 8 and 12 are adjacent to Planning Area 9 to the north and east, respectively. Orange Avenue borders Planning Area 9 to the south.

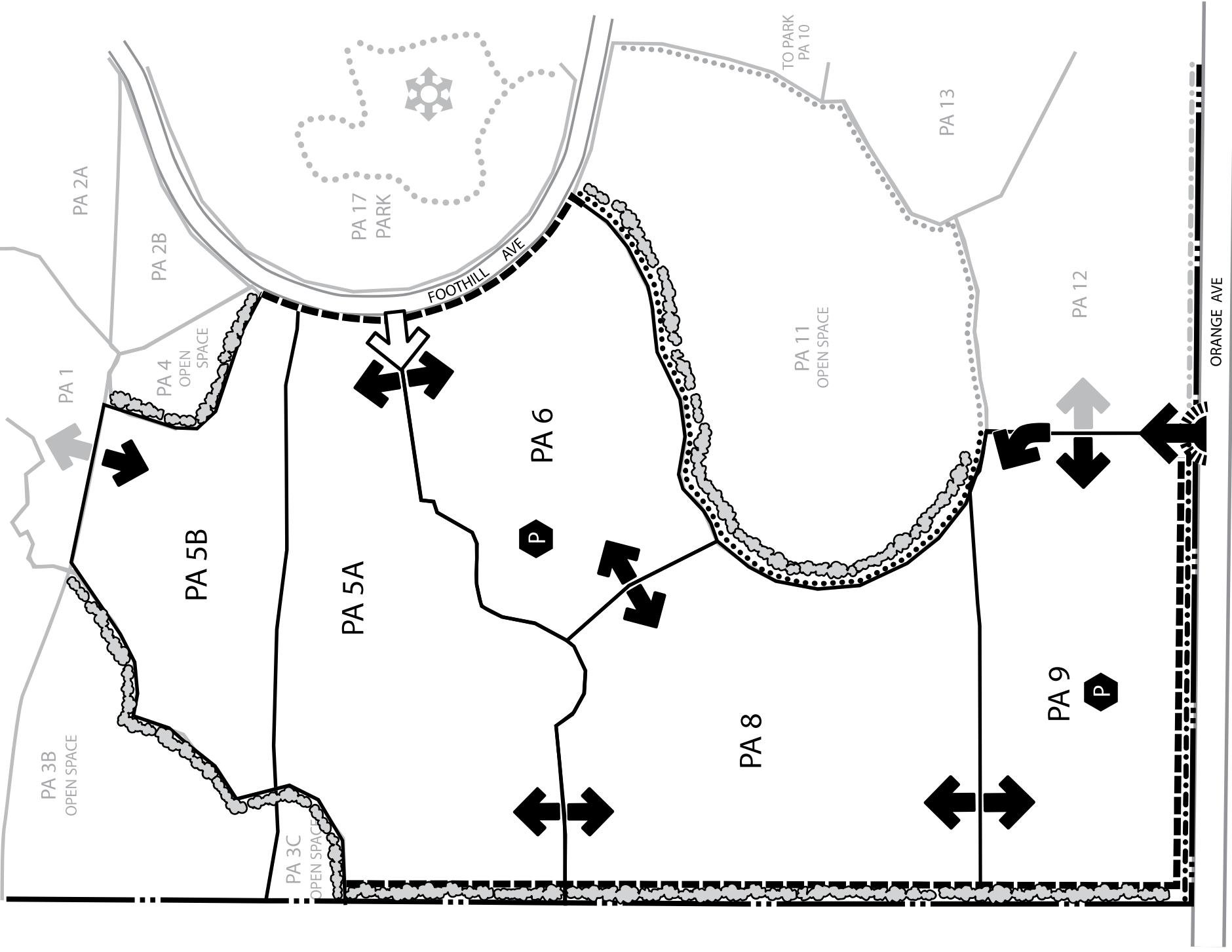
As shown in Exhibit 4.2, Planning Area 9 is to be bounded by a perimeter wall to the south and west where deemed appropriate by the County and the developer. Planning Area 9 is to include a neighborhood park as part of the development of this area. A community trail is to be provided on the southern boundary of the planning area, along Orange Avenue.

4.9.2 DEVELOPMENT STANDARDS

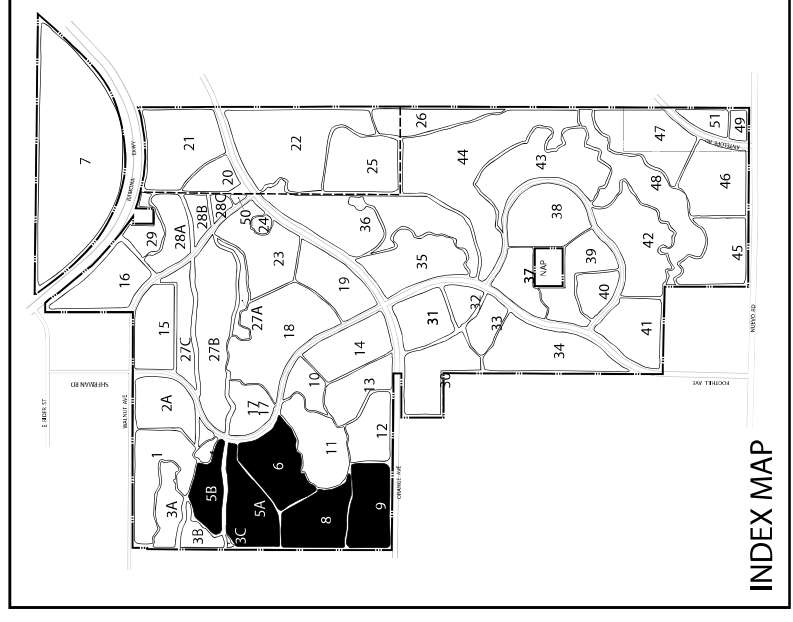
- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.4 of this Specific Plan document.
- 2.) Access to Planning Area 9 will be achieved from Orange Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.5, will be constructed at Orange Avenue.
- 4.) A landscape area, as depicted on Exhibit 5.12, will be incorporated between the perimeter walls and Orange Avenue.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Orange Avenue, and the western

project boundary and a landscaped transition area should be provided between the perimeter wall and the western project boundary pursuant to the concepts depicted in Exhibit 5.15A where deemed appropriate by the County and the developer.

- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 10.) One neighborhood park shall be incorporated into the ultimate design of Planning Area 9. The park shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 11.) Prior to the issuance of the 25th building permit within Planning Area 9 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 9. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
- 12.) Prior to the issuance of the 88th building permit within Planning Area 9 of the Specific Plan, the neighborhood park proposed within Planning Area 9 shall be constructed by the developer and be substantially complete.



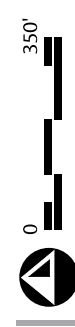
NOTE:
 The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.



LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 5A Residential: 5-8 DU/AC 21.9 Acres Maximum DU: 112 Minimum Lot Size: 5,000 s.f.	PLANNING AREA 8 Residential: 5-8 DU/AC 21.7 Acres Maximum DU: 108 Minimum Lot Size: 4,500 s.f.
PLANNING AREA 5B Residential: 5-8 DU/AC 10.1 Acres Maximum DU: 44 Minimum Lot Size: 5,000 s.f.	PLANNING AREA 9 Residential: 5-8 DU/AC 15.9 Acres Maximum DU: 103 Minimum Lot Size: 4,000 s.f.
PLANNING AREA 6 Residential: 5-8 DU/AC 20 Acres Maximum DU: 100 Minimum Lot Size: 4,500 s.f.	



4.10 Planning Area 10

4.10.1 LAND USE

Planning Area 10, as illustrated in Exhibit 4.3, is located in Village I on the west side of Foothill Avenue. This 9.6-acre community park site is located near the center of the project, north of Orange Avenue.

Access will originate from a neighborhood entry off of Foothill Avenue, shared with Planning Area 14. Planning Area 10 is adjacent to open space in Planning Area 11 to the northwest, residential in Planning Area 14, and a 12-acre school site, Planning Area 13, to the southwest.

The community park shall include ball fields, turf area, trails, tot lots, picnic facilities, and a homeowners association maintained pool facility pursuant to the concepts and standards set forth in Section 3.7.2 of this Specific Plan.

4.10.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 of this Specific Plan document.
- 2.) The community park shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 3.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 4.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 5.) Prior to the issuance of the 350th building permit within the overall Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department and County Service Area No. 146 or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the community park site designated as Planning Area 10. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for a community park in Village I and Planning Area 10 and with the requirements of County Service Area 146 or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.

- 6.) Prior to the issuance of the 700th building permit within the overall Specific Plan, the community park designated as Planning Area 10 shall be constructed by the developer and be substantially complete.

4.11 Planning Area 11

4.11.1 LAND USE

Planning Area 11, as illustrated in Exhibit 4.3, is located in Village I near the center of the project, north of Orange Avenue. The 21.68-acre site will remain as a natural open space area, preserving the natural rock outcroppings. The natural topographical relief in this planning area is unique to this portion of the Specific Plan.

Residential Planning Areas 6, 8, 9 and 12 are adjacent to the site to the north, west and south. To the east is Foothill Avenue. To the southeast, Planning Area 11 is adjacent to a 12-acre school site (Planning Area 13), and a community park (Planning Area 10) is to the east.

Open space transition areas where appropriate will separate Planning Area 11 from surrounding residential neighborhoods pursuant to the guidelines in Sections 4.6, 4.8 and 4.12.

4.11.2 DEVELOPMENT STANDARDS

- 1.) Planning Area 11 is intended to be preserved in its existing “natural” state with access trails, and transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds, hiking trails and amenities, water system facilities, and on site identification signs will require approval of a change of zone and a specific plan amendment.

4.12 Planning Area 12

4.12.1 LAND USE

Planning Area 12, as illustrated in Exhibit 4.3, is located in Village I west of the Foothill Avenue and on the north side of Orange Avenue. The 14.2-acre residential neighborhood is proposed with a maximum of 92 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,000 square feet.

Access will originate from two village entry points on Orange Avenue between Planning Areas 9 and 12 and between Planning Areas 12 and 13. A 12-acre school site, Planning Area 13, is to the east and open space (Planning Area 11) to the north.

As shown in Exhibit 4.3, a perimeter wall separates Planning Area 12 from Orange Avenue to the south where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts on Exhibit 5.15B shall be used at the edge of Planning Area 12 and the open space to the north where deemed

appropriate by the County and the developer. A community trail follows the southern boundary of the Planning Area, along Orange Avenue.

4.12.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.4 of this Specific Plan document.
- 2.) Access to Planning Area 12 will be achieved from Orange Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Two village entries, as depicted in Exhibits 5.4 and 5.5, will be constructed at Orange Avenue.
- 4.) A landscape area, as depicted on Exhibit 5.12, will be incorporated between the perimeter walls and Orange Avenue.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Orange Avenue where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.13 Planning Area 13

4.13.1 LAND USE

Planning Area 13 as illustrated in Exhibit 4.3, is located in Village I near the center of the site, north of Orange Avenue and proposed as a 12-acre elementary school site. The underlying zoning of Planning Area 13 pursuant to Section 2.0 of this Specific Plan is residential.

Access will originate from a village entry point at Orange Avenue, and a neighborhood entry off-of Foothill Avenue between Planning Areas 10 and 14. Residential Planning Areas 12 and 14 are to the west and east. To the north is open space, Planning Areas 11, and community park, Planning Area 10.

If the planning area is not developed as a school site, an alternative residential use is proposed with a maximum of 39 dwelling units within a density of two to five dwelling units per acre, and a minimum lot size of 6,000 square feet.

4.13.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan document for residential use.
- 2.) The school site will be constructed by the Val Verde School District according to their standards and to the requirements of the school district, the State of California and Riverside County, where applicable, in addition to the Specific Plan standards where applicable.
- 3.) Final design of the school site requires the approval of the appropriate school district. Should the public facility site be deemed unnecessary, the planning area may be developed as a residential neighborhood provided the overall density of the project and the total number of allowable project dwelling units are not exceeded with the addition of this planning area.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) The school site shall consist of a minimum of 12.0 acres.
- 7.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted to the Fire Department for approval, as necessary.

4.14 Planning Area 14

4.14.1 LAND USE

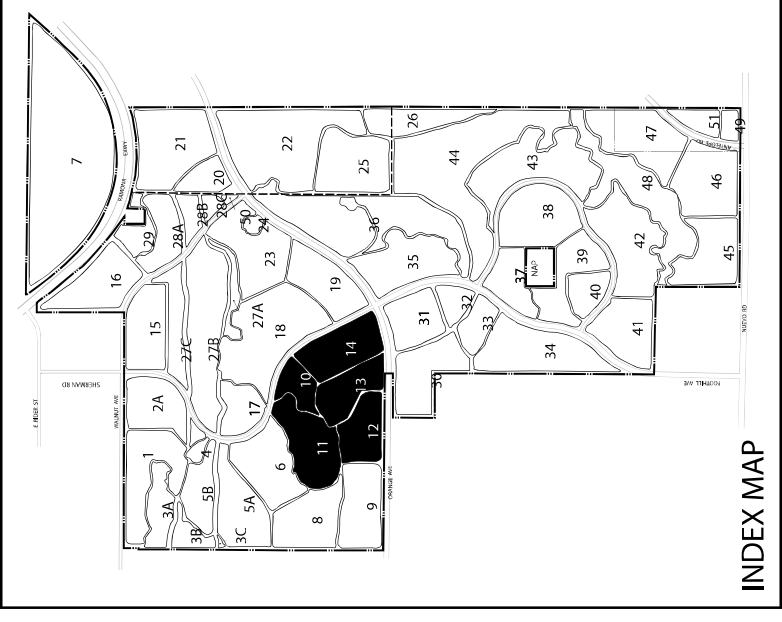
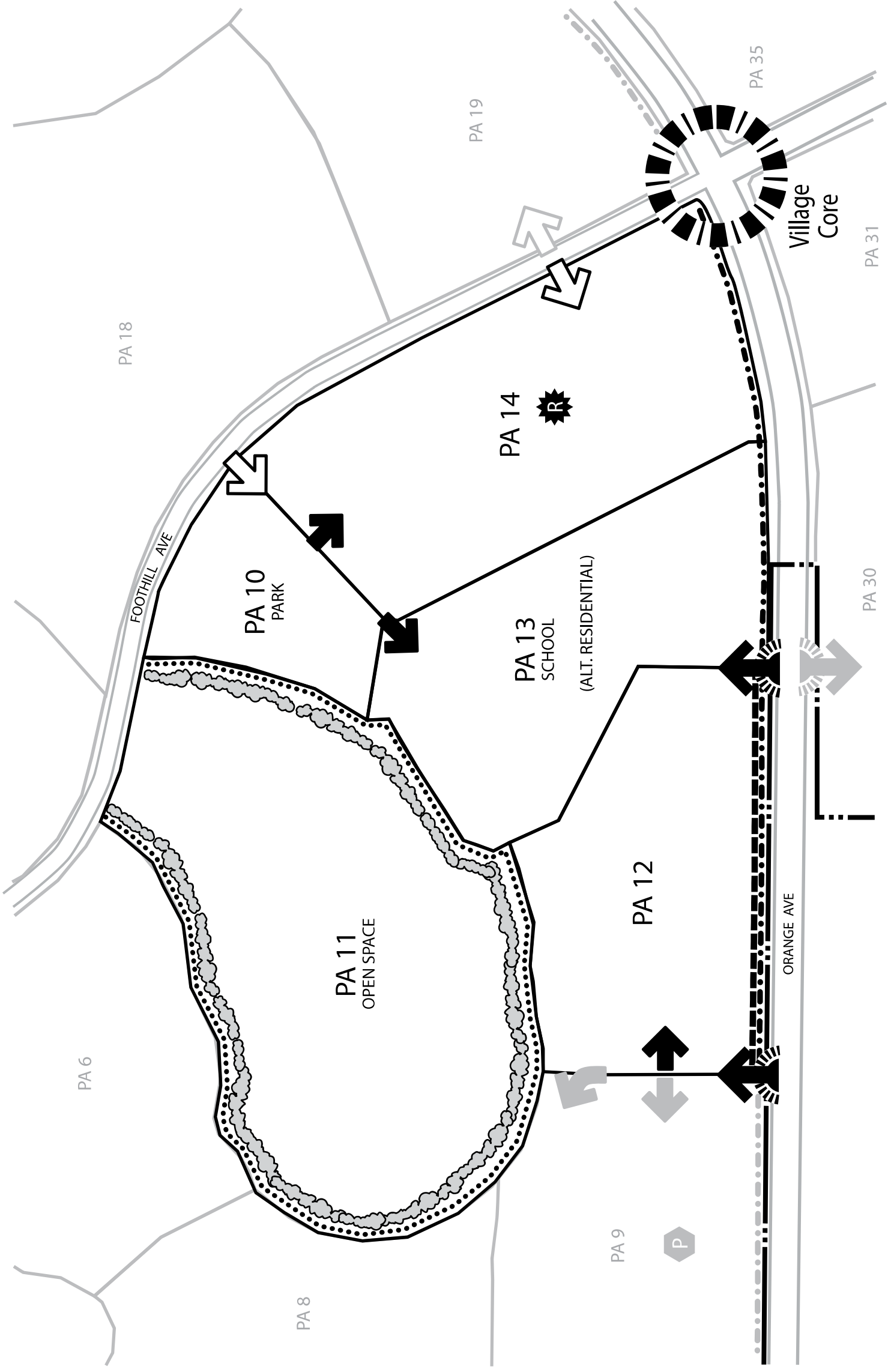
Planning Area 14, as illustrated in Exhibit 4.3, is located in Village I at the northwest corner of Orange Avenue and Foothill Avenue. The 17.8-acre residential neighborhood is proposed with a maximum of 188 dwelling units within a density of ten to twenty dwelling units per acre. Planning Area 14 is also intended to include a private recreational facility as part of the development of this area.

Access will originate from two neighborhood entry points along Foothill Avenue. The community park and school site, Planning Areas 10 and 13, bound this planning area to the north and west respectively, Orange Avenue is to the south and Foothill Avenue is to the east.

A community trail follows the southern boundary along Orange Avenue within the right-of-way of Orange Avenue.

4.14.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 as summarized in Section 5.4.5 of this Specific Plan document.
- 2.) Access to Planning Area 13 will be achieved from Foothill Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) An enhanced village core landscaping treatment intersection, as depicted in Exhibits 5.8 and 5.9, will be developed at the intersection of Orange Avenue and Foothill Avenue and will include the southeast corner of Planning Area 14.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 7.) One private recreational facility shall be incorporated into the ultimate design of Planning Area 14 and constructed with the development within this planning area by its builder. This facility shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.



INDEX MAP

LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 10 Park 9.6 Acres	PLANNING AREA 13 School 10 Acres ALTERNATIVE Residential: 2-5 DU/AC Maximum DU: 39 Minimum Lot Size: 6,000 s.f.
PLANNING AREA 11 Open Space 21.68 Acres	PLANNING AREA 14 Residential: 10-20 DU/AC 17.8 Acres Maximum DU: 188
PLANNING AREA 12 Residential: 5-8 DU/AC 14.2 Acres Maximum DU: 92 Minimum Lot Size: 4,000 s.f.	

4.15 Planning Area 15

4.15.1 LAND USE

Planning Area 15, as illustrated in 4.4, is located in Village II on the south side of Walnut Avenue at the southeast corner with Foothill Avenue. The 17.3-acre Sierra Vista Elementary School site is adjacent to Open Space Planning Area 27 to the south, and the Lakeside Middle School site, Planning Area 16, to the north. To the west and east are Residential Planning Areas 2 and 28.

Access to the Planning Area 15 school site is from Foothill Avenue. Construction of the school was initially completed in 2003, and is currently operational.

4.15.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined, in detail in Section 2.0 of this Specific Plan document.
- 2.) The school site is part of the Val Verde School District and is constructed according to the District's and State of California standards, as well as the County of Riverside requirements where applicable.

4.16 Planning Area 16

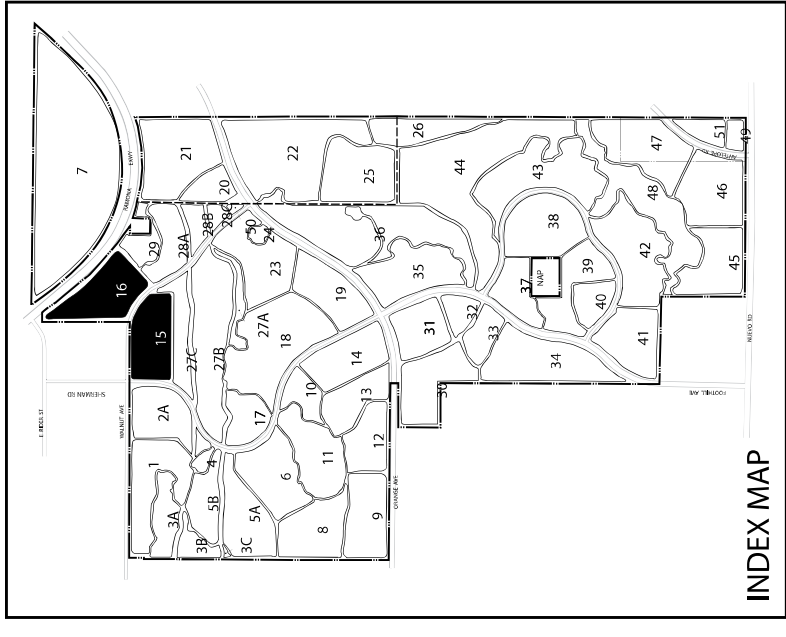
4.16.1 LAND USE

Planning Area 16, as illustrated in 4.4, is located in Village II in the northeastern corner of the site, between Walnut Avenue and Ramona Expressway. This 24.1-acre Lakewood Middle School site is north of Planning Area 15, the Sierra Vista Elementary School site, and is northwest of residential Planning Area 28 and open space Planning Area 29.

Access to the Planning Area 16 school site is from Walnut Avenue. Construction of the school was initially completed in 2003, and is currently operational.








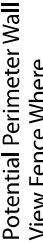


4.16.2 DEVELOPMENT STANDARDS

- 1.) Zoning and specific development standards are defined, in detail in Section 2.0 of this Specific Plan document.
- 2.) The school site is part of the Val Verde School District and is constructed according to the District's and State of California standards, as well as the County of Riverside requirements where applicable.



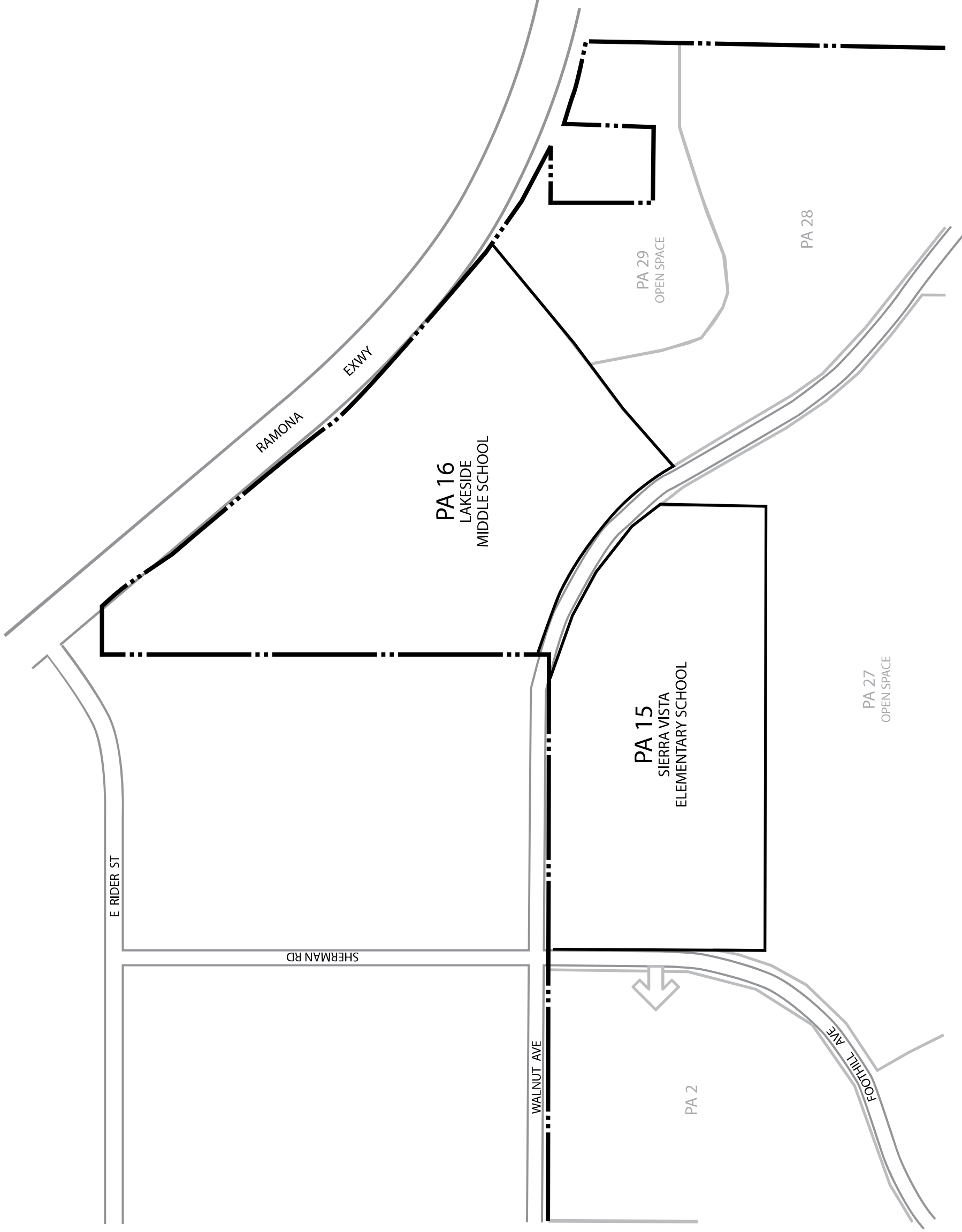
INDEX MAP

LEGEND

-  Potential Transition Area
-  Village Entry
-  Community Trail
-  Neighborhood
-  Potential Open Space Trail
-  Secondary Access Between Planning Areas
-  Trail Overlook
-  Potential Perimeter Wall or View Fence Where Applicable
-  Private Recreation Facility
-  Neighborhood Park

PLANNING AREA 15
School / Sierra Vista Elementary
17.3 Acres

PLANNING AREA 16
School / Lakeside Middle
24.1 Acres



4.17 Planning Area 17

4.17.1 Land Use

Planning Area 17, as illustrated in Exhibit 4.5, is located in Village II and is bounded by Foothill Avenue to the west, open space to the north and east (Planning Area 27B and 27A) and residential to the southeast, Planning Area 18. This 10-acre community park site is located in the northern section of the development, north of Orange Avenue.

Access will originate from a neighborhood entry off of Foothill Avenue, shared with Planning Area 18. The community park may consist of a hill top view park with turf area, trails and picnic areas pursuant to the concepts and standards set forth in Section 3.7.2 of this Specific Plan.

4.17.2 Development Standards

- 1.) Zoning and specific development standards are defined, in detail in Section 2.0 of this Specific Plan document.
- 2.) The community park shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 3.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 4.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 5.) Prior to the issuance of the 1050th building permit within the overall Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department and County Service No. 146 or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the community park site designated as Planning Area 17. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for community park in Village II and Planning Area 17 and with the requirements of the County Service Area 146 condition or other entity set forth in the Planning Department's entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
- 6.) Prior to the issuance of the 1400th building permit within the overall Specific Plan, the community park designated as Planning Area 17 shall be constructed by the developer and be substantially complete.

4.18 Planning Area 18

4.18.1 Land Use

Planning Area 18, as illustrated in 4.5, is located in Village II on the east side of Foothill Avenue. The planning area is bounded by Foothill Avenue to the west, open space to the north (Planning Area 27), park area (Planning Area 17) to the northwest and residential to the east and south, Planning Areas 23 and 19.

The 36-acre residential neighborhood is proposed with a maximum of 126 dwelling units within a density of two to five dwelling units per acre, and a minimum lot size of 6,000 square feet.

Access will originate from two neighborhood entries along Foothill Avenue, and between Planning Areas 18 and 23. As illustrated in Exhibit 4.5, a perimeter wall will bound Planning Area 18 along Foothill Avenue where deemed appropriate by the County and the developer.

An open space transition area as depicted in the concepts on Exhibit 5.15B shall be used at the edge of Planning Area 18 and the open space to the north where deemed appropriate by the County and the developer.

4.18.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan document.
- 2.) Access to Planning Area 18 will be achieved from Foothill Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Two neighborhood entries, as depicted in Exhibits 5.6 and 5.7, will be constructed at Foothill Avenue.
- 4.) A landscape area, as depicted in Exhibit 5.10, will be incorporated between the perimeter wall along Foothill Avenue, and a landscaped transition area should be provided where appropriate adjacent to open space.
- 5.) A perimeter wall or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along Foothill Avenue where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan

roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).

- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.19 Planning Area 19

4.19.1 Land Use

Planning Area 19, as illustrated in Exhibit 4.5, is located in Village II on the northeast corner of Orange Avenue and Foothill Avenue. The 18-acre residential neighborhood is proposed with a maximum of 90 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 5,000 square feet.

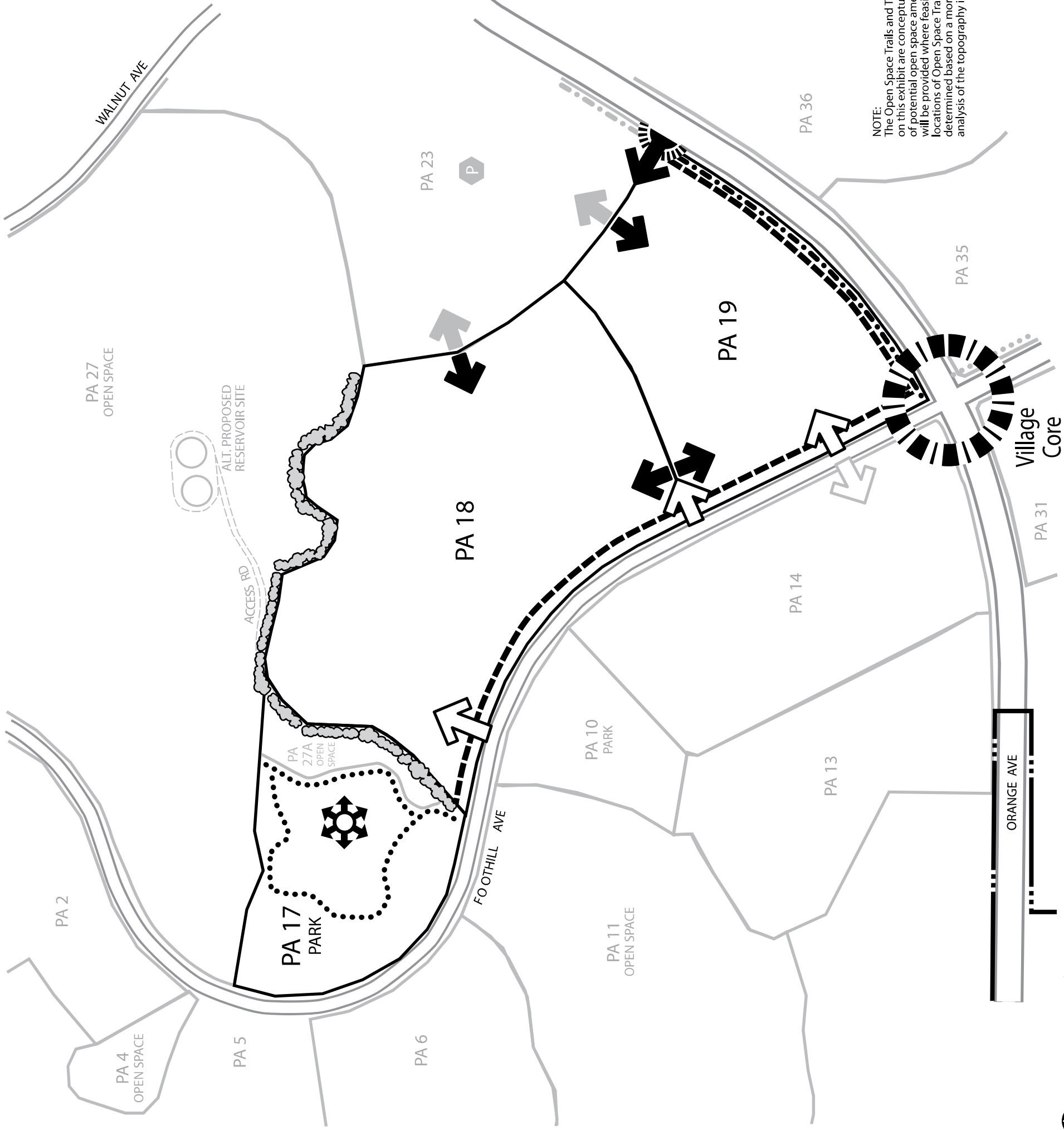
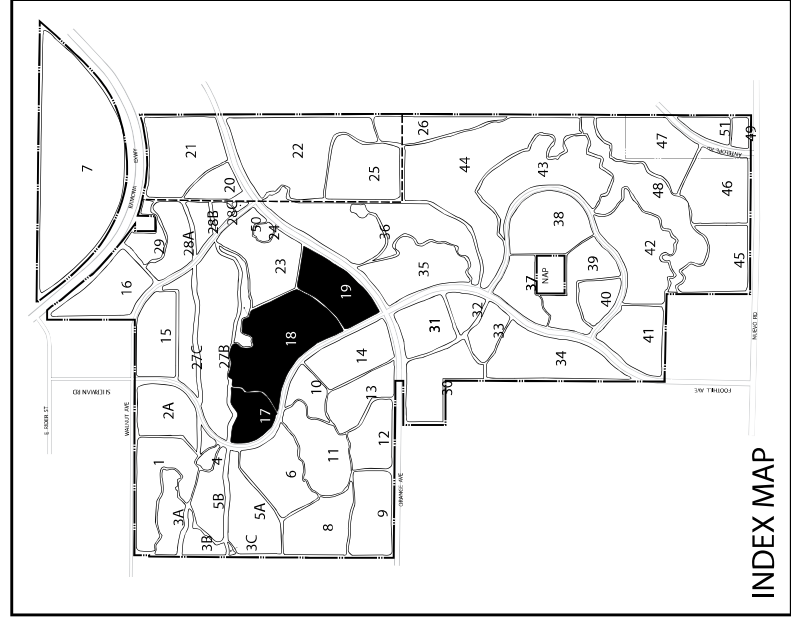
Access will originate from a village entry point along Orange Avenue and a neighborhood entry point along Foothill Avenue.

As shown in Exhibit 4.5, Planning Area 19 will be bounded along Foothill and Orange Avenues by perimeter walls where deemed appropriate by the County and the developer. A community trail will be located along the southern boundary on Orange Avenue.

4.19.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.2 of this Specific Plan document.
- 2.) Access to Planning Area 19 will be achieved from Foothill Avenue, and Orange Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A neighborhood entry, as depicted in Exhibits 5.6 and 5.7, will be constructed at Foothill Avenue. One village entry, as depicted in Exhibits 5.4 and 5.5 will be constructed on Orange Avenue.
- 4.) A landscape area, as depicted in Exhibit 5.12, will be incorporated between the perimeter wall and Orange Avenue and as depicted in Exhibit 5.10 between the perimeter wall and Foothill Avenue.
- 5.) A perimeter wall or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along Orange Avenue and Foothill Avenue where residential rear or side yards are adjacent to the roadways and where deemed appropriate by the County and the developer.
- 6.) An enhanced village core landscaping treatment intersection, as depicted in Exhibits 5.8 and 5.9, will be developed at the intersection of Orange Avenue and Foothill Avenue and will include the southwest corner of Planning Area 19.

- 7.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan.
- 8.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 9.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 10.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.



NOTE:
The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

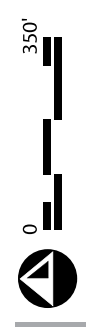
LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 17
Park
10 Acres

PLANNING AREA 18
Residential: 2-5 DU/AC
36 Acres
Maximum DU: 126
Minimum Lot Size: 6,000 s.f.

PLANNING AREA 19
Residential: 5-8 DU/AC
18 Acres
Maximum DU: 90
Minimum Lot Size: 5,000 s.f.



4.20 Planning Area 20

Planning Area 20 is a 7-acre commercial area located on the north side of proposed Orange Avenue, east of proposed Walnut Avenue (See Exhibit 3.1, Land Use Plan). This planning area is retained from the previously approved 1994 Preissman Specific Plan (SP 246). Development standards for Planning Area 20 remain as set forth in the Preissman Specific Plan.

4.21 Planning Area 21

Planning Area 21 is a 30-acre commercial and mixed-use area located on the north side of proposed Orange Avenue, east of proposed Walnut Avenue (See Exhibit 3.1, Land Use Plan). This planning area is retained from the previously approved 1994 Preissman Specific Plan (SP 246). Development standards for Planning Area 21 remain as set forth in the Preissman Specific Plan.

4.22 Planning Area 22

Planning Area 22 is a 50-acre residential area (2-5 DU/AC) located on the south side of proposed Orange Avenue, east of proposed Walnut Avenue (See Exhibit 3.1, Land Use Plan). This planning area is retained from the previously approved 1994 Preissman Specific Plan (SP 246). Development standards for Planning Area 22 remain as set forth in the Preissman Specific Plan.

4.23 Planning Area 23

4.23.1 Land Use

Planning Area 23, as illustrated in Exhibit 4.6, is located in Village II within the northern portion of the project, north of Orange Avenue and west of Walnut Avenue. The 22-acre residential neighborhood is proposed with a maximum of 110 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,500 square feet.

Access will originate from a village entry off-of Orange Avenue, a neighborhood entry point off-of Walnut Avenue, and between Planning Areas 18, 19 and 23. Planning Area 23 is bounded by open space to the north in Planning Area 27, residential uses to the west in Planning Areas 18 and 19, Walnut Avenue to the east, and Orange Avenue to the south.

As shown in Exhibit 4.6, Planning Area 23 is proposed to have along Orange Avenue and Walnut Avenue a perimeter wall where deemed appropriate by the County and the developer. A community trail follows the southerly boundary of the site along Orange Avenue. Open space transition areas as depicted in the concepts on Exhibit 5.15 B shall be used at the edge of Planning Area 23 and the open spaces to the north and southeast (PA'S 24 & 27) where deemed appropriate by the County and

the Developer. Planning Area 23 will include a neighborhood park within the development of this area.

4.23.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.3 of this Specific Plan document.
- 2.) Access to Planning Area 23 will be achieved from Walnut Avenue and Orange Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.5, will be constructed at Orange Avenue. A neighborhood entry, as depicted in Exhibits 5.6 and 5.7, will be constructed at Walnut Avenue.
- 4.) A landscape area, as depicted in Exhibits 5.10 and 5.12, will be incorporated between the perimeter wall along Walnut Avenue and along Orange Avenue.
- 5.) A perimeter wall or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along Walnut Avenue and Orange Avenue where residential rear or side yards are adjacent to the roadways and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines of this Specific Plan.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 10.) A minimum of one neighborhood park shall be incorporated into the ultimate design of Planning Area 23. The park shall be developed in accordance with the standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 11.) Prior to the issuance of the 30th building permit within Planning Area 23 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 23. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the

requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.

- 12.) Prior to the issuance of the 95th building permit within Planning Area 23 of the Specific Plan, the neighborhood park proposed within Planning Area 23 shall be constructed by the developer and be substantially complete.

4.24 Planning Area 24

4.24.1 Land Use

Planning Area 24, as illustrated in Exhibit 4.6, is located in Village II within the northern portion of the project, north of Orange Avenue. The 1.9-acre site will remain as a natural open space area, preserving the natural rock outcroppings. The natural topographical relief in this planning area is unique to this portion of the Specific Plan.

Planning Area 24 is surrounded on three sides by Planning Area 23, and bounded on the south by Orange Avenue.

As shown in Exhibit 4.6, a community trail follows the eastern boundary of the site, along Orange Avenue. An open space transition area will separate Planning Area 24 from surrounding residential uses where appropriate pursuant to the guidelines in Section 4.23.

4.24.2 Development Standards

- 1.) Planning Area 24 is intended to be preserved in its existing "natural" state with access trails, transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds; hiking trails and amenities; water system facilities; and on site identification signs will require approval of a change of zone and a specific plan amendment.
- 2.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.

4.25 Planning Area 25

Planning Area 25 is a 22.8-acre open space area located south of proposed Orange Avenue, south and west of Planning Area 22, east of Planning Area 36 and north of Planning Area 44 (See Exhibit 3.1, Land Use Plan). This planning area is retained

from the previously approved 1994 Preissman Specific Plan (SP 246). Development standards for Planning Area 25 remain as set forth in the Preissman Specific Plan.

4.26 Planning Area 26

Planning Area 26 is a 16-acre residential area (2-5 DU/AC) located on the east side of the project area, south of Planning Area 22 and east of Planning Area 44 (see Exhibit 3.1, Land Use Plan). This planning area is retained from the previously approved 1994 Preissman Specific Plan (SP 246). Development standards for Planning Area 26 remain as set forth in the Preissman Specific Plan.

4.27 Planning Areas 27 A, B and C

4.27.1 Land Use

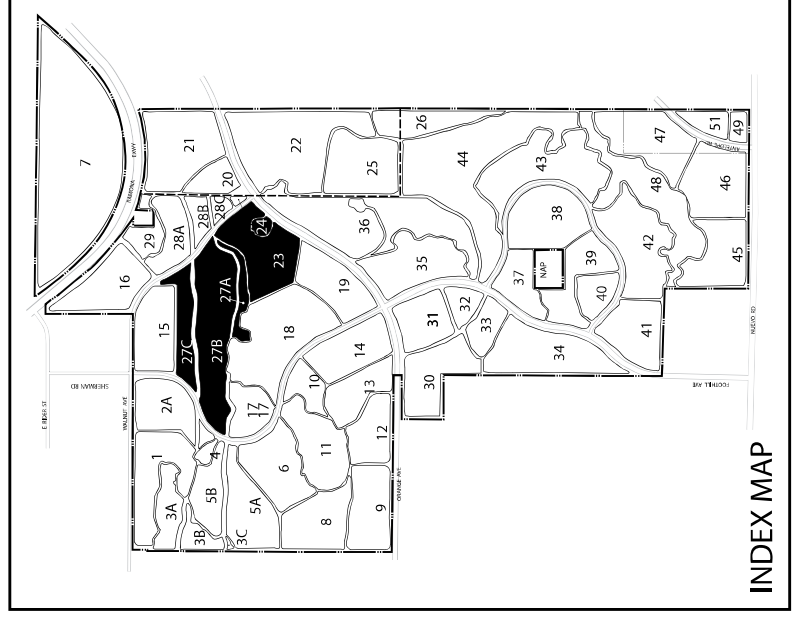
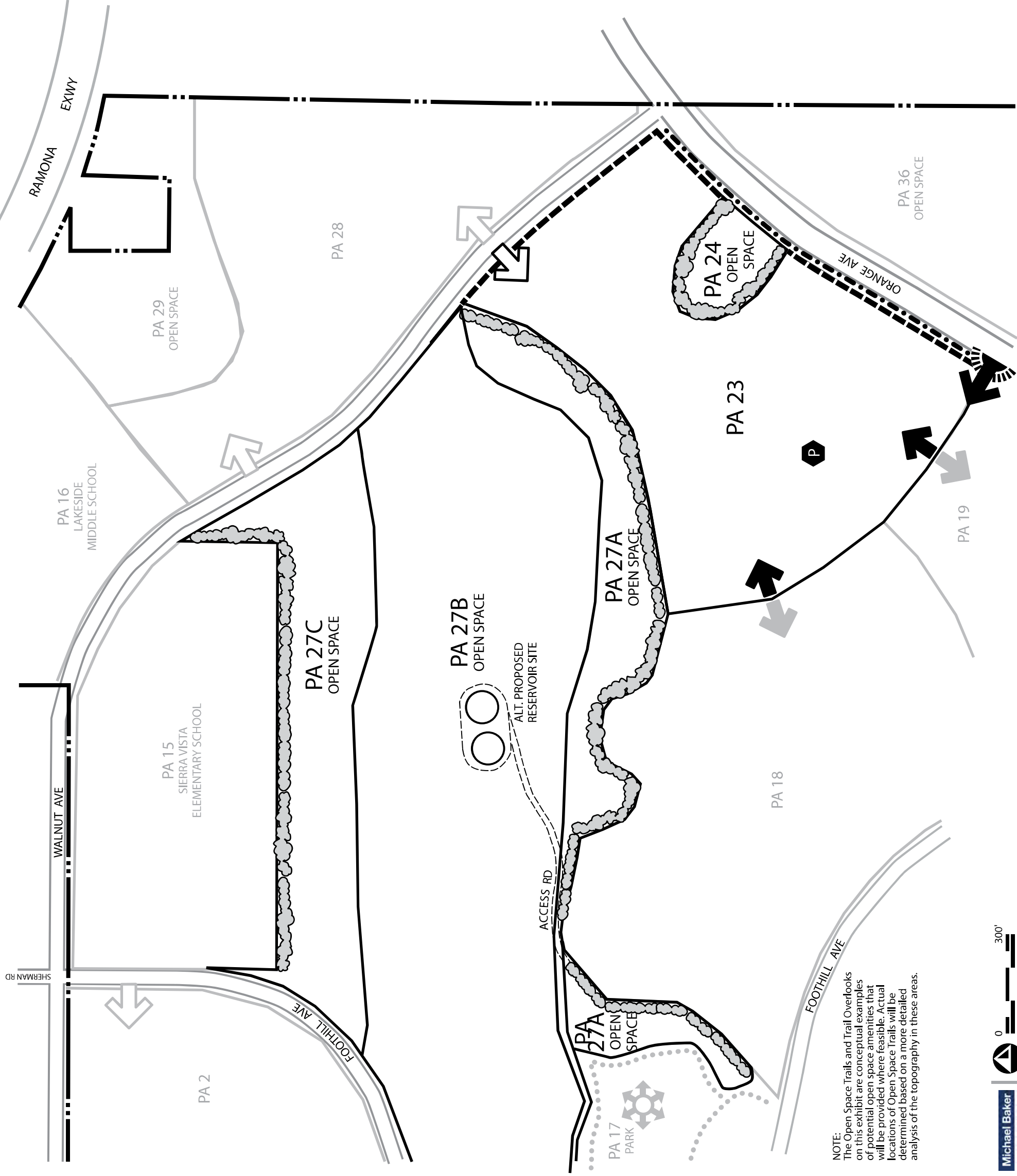
Planning Areas 27A, B and C, as illustrated in Exhibit 4.6, are located in Village II within the northern portion of the project. The three sub-parts (A, B and C) of this Planning Area total 52.4-acres and are intended to remain as a natural open space area, preserving the natural rock outcroppings. The natural topographical relief in this planning area is unique to this portion of the Specific Plan.

Adjacent to Planning Area 27 are residential uses to the south in Planning Areas 18 and 23. To the north is a school site, Planning Area 15, and to the southwest is a park site, Planning Area 17. Planning Area 27 is bounded on the east by Walnut Avenue.

An open space transition area will separate Planning Area 27 from surrounding uses where appropriate pursuant to the guidelines in Sections 4.18 and 4.23. The area also may contain proposed water tanks.

4.27.2 Development Standards

- 1.) The portions of Planning Area 27 are intended to be preserved in its existing “natural” state with access trails, transition or fuel modification areas as appropriate. The area also may contain water tanks. Any development in these open space areas with uses other than picnic grounds; hiking trails and amenities; water system facilities; and on site identification signs will require approval of a change of zone and a specific plan amendment.
- 2.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.



LEGEND

- Village Entry
 - Neighborhood
 - Secondary Access Between Planning Areas
 - Potential Perimeter Wall or View Fence Where Applicable
 - Neighborhood Park
 - Potential Transition Area
 - Community Trail
 - Potential Open Space Trail
 - Trail Overlook
 - Private Recreation Facility
- | | |
|--|---|
| PLANNING AREA 23
Residential: 5-8 DU/AC
22 Acres
Maximum DU: 110
Minimum Lot Size: 4,500 s.f. | PLANNING AREA 27A
Open Space
8.36 Acres |
| PLANNING AREA 24
Open Space
1.9 Acres | PLANNING AREA 27B
Open Space
33.74 Acres |
| | PLANNING AREA 27C
Open Space
10.3 Acres |

NOTE:
The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

4.28 Planning Areas 28 A, B and C

4.28.1 Land Use

Planning Areas 28A, B and C, as illustrated in Exhibit 4.7, are located in Village II the northern portion of the site, on the east side of Walnut Avenue. Planning Areas 28A and 28C are a 12.8-acre and a 1.8-acre respectively residential neighborhoods proposed with a maximum of 139 dwelling units in PA 28A and a maximum of 6 dwelling units in PA 28C within a density of ten to twenty dwelling units per acre. Planning Area 28A is also intended to include a private recreational facility as part of the development of this area. Planning Area 28B at 4.9-acres is a residential use area with a maximum of 26 dwelling units within a density of ten to twenty dwelling units per acre.

Access will originate from two-neighborhood entries off-of Walnut Avenue. Planning Area 28 is bounded by open space in Planning Area 29 to the north and Walnut Avenue to the southwest. An open space transition area as depicted in the concepts on Exhibit 5.15 B will be used to separate Planning Area 28 from adjacent open spaces where deemed appropriate by the County and the developer.

4.28.2 Development Standards

- 1.) Zoning and specific development standards are defined, in detail in Section 2.0 and summarized in Section 5.4.5 of this Specific Plan document.
- 2.) Access to Planning Area 28 will be achieved from Walnut Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Two neighborhood entries, as depicted in Exhibits 5.6 and 5.7, will be constructed at Walnut Avenue.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 7.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

- 8.) One private recreational facility shall be incorporated into the ultimate design of Planning Area 28A and constructed with the development within this planning area by its builder. This facility shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.

4.29 Planning Area 29

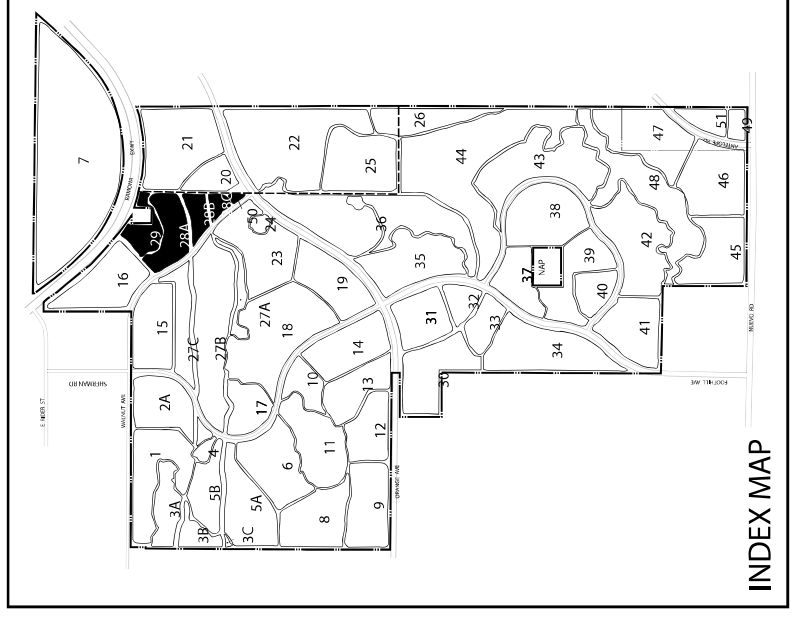
4.29.1 Land Use

Planning Area 29, as illustrated in Exhibit 4.7, is located in Village II at the northeast boundary of the project, south of Ramona Expressway. This 7.9-acre area is designated natural open space.

Adjacent to Planning Area 29 are residential uses in Planning Area 28 to the south and west, and school site, Planning Area 16, to the northwest. An open space transition area will separate Planning Area 29 from surrounding uses where appropriate pursuant to the guidelines in Section 4.28.

4.29.2 Development Standards

- A. Planning Area 29 is intended to be preserved in its existing “natural” state with transition or fuel modification areas as appropriate. Any development on this site with uses other than water system facilities and on site identification signs will require approval of a change of zone and a specific plan amendment.



LEGEND

- Village Entry
 - Neighborhood
 - Secondary Access Between Planning Areas
 - Potential Perimeter Wall or View Fence Where Applicable
 - Neighborhood Park
 - Potential Transition Area
 - Community Trail
 - Potential Open Space Trail
 - Trail Overlook
 - Private Recreation Facility
-
- PLANNING AREA 28A**
Residential: 10-20 DU/AC
12.8 Acres
Maximum DU: 139
 - PLANNING AREA 28B**
Residential: 10-20 DU/AC
4.9 Acres
Maximum DU: 26
 - PLANNING AREA 28C**
Residential: 10-20 DU/AC
1.8 Acres
Maximum DU: 6
 - PLANNING AREA 29**
Open Space
7.9 Acres
 - PLANNING AREA 50**
Open Space
1.2 Acres

4.30 Planning Area 30

4.30.1 Land Use

Planning Area 30, as illustrated in Exhibit 4.8, is located in Village III, and is bounded by Orange Avenue to the north, commercial uses in Planning Area 31 to the east, a community park to the southeast in Planning Area 33 and residential Planning Area 34 to the south. The 31-acre residential neighborhood is proposed with a maximum of 170 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,000 square feet. Planning Area 30 is also intended to include a neighborhood park as part of the development of this area.

Access will be from a village entry point along Orange Avenue. Secondary access to Planning Area 30 is anticipated through Planning Area 34 from Walnut Avenue to the southeast. This secondary access is required to be developed with Planning Area 30. A perimeter wall will bound Planning Area 34 to the north and west where deemed appropriate by the County and the developer.

4.30.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.4 of this Specific Plan document.
- 2.) Access to Planning Area 30 will be achieved from Orange Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.5, will be constructed at Orange Avenue.
- 4.) A landscape area, as depicted on Exhibit 5.12, will be incorporated between the perimeter walls and Orange Avenue.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Orange Avenue, and the western project boundary as deemed appropriate by the County and the developer. Along Orange Avenue, walls are to be located where residential rear or side yards are adjacent to the roadways. A landscaped transition area should be provided where deemed appropriate between the perimeter wall and the western project boundary.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas

- of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
 - 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
 - 10.) One neighborhood park shall be incorporated into the ultimate design of Planning Area 30. This park shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
 - 11.) Prior to the issuance of the 45th building permit within Planning Area 30 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 30. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
 - 12.) Prior to the issuance of the 140th building permit within Planning Area 30 of the Specific Plan, the neighborhood park proposed within Planning Area 30 shall be constructed by the developer and be substantially complete.

4.31 Planning Area 31

4.31.1 Land Use

Planning Area 31, as illustrated in Exhibit 4.8, is located in Village III at the southwest corner of Orange Avenue and Foothill Avenue. The 15.2-acre commercial planning area will serve the residents of the project and the surrounding communities. Access will include a village entry point along Foothill Avenue.

4.31.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.6 of this Specific Plan document.
- 2.) Access to Planning Area 31 will be achieved from Foothill Avenue and Orange Avenue. Final access points to the planning area will be determined at time of tentative tract map or site plan submittal.
- 3.) Village core monumentation, as depicted in Exhibits 5.8 and 5.9, will be located at the intersection of Orange Avenue and Foothill Avenue.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan.
- 5.) As deemed appropriate by Caltrans and Riverside County Transportation Department, this planning area will provide adequate “park and ride” facilities for the Specific Plan area.
- 6.) Air quality emissions reports shall be filed with each commercial development application.

4.32 Planning Area 32

4.32.1 Land Use

Planning Area 32, as illustrated in Exhibit 4.8, is located in Village III, west of Foothill Avenue in the middle portion of the Specific Plan area. The 6.2-acre residential neighborhood is proposed with a maximum of 86 dwelling units within a density of ten to twenty dwelling units per acre. Planning Area 32 is also intended to include a private recreational facility as part of the development of this area.

Access will originate from two village entry points along Foothill Avenue. Planning Area 32 is located between the commercial Planning Area 31 to the north and the community park Planning Area 33 to the south.

4.32.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.5 of this Specific Plan document.
- 2.) Access to Planning Area 32 will be achieved from Foothill Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Two village entries, as depicted in Exhibits 5.4 and 5.5, are proposed to be constructed along Foothill Avenue.

- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 7.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 8.) One private recreational facility shall be incorporated into the ultimate design of Planning Area 32 and constructed with the development within this planning area by its builder. This facility shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.

4.33 Planning Area 33

4.33.1 Land Use

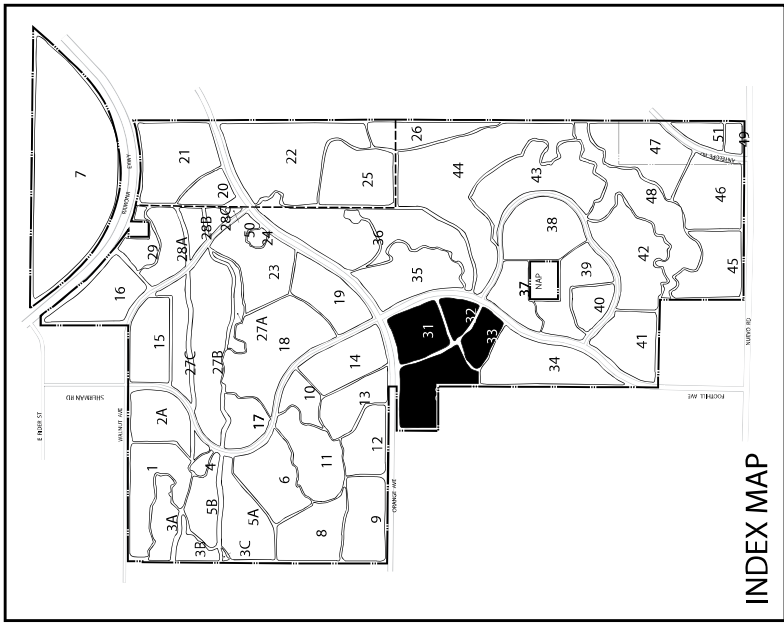
Planning Area 33, as illustrated in Exhibit 4.8, located in Village III, west of Foothill Avenue between Planning Areas 32 and 34. Planning Area 33 is designated as a 5.9-acre community park.

Access will originate from a village entry point along Foothill Avenue. Residential Planning Areas 30, 32 and 34 completely surround the community park. The community park shall include ball fields, turf area, pathways, tot lots, picnic facilities and a homeowners association maintained pool facility pursuant to the concepts and standards set forth in Section 3.7.2 of this Specific Plan.

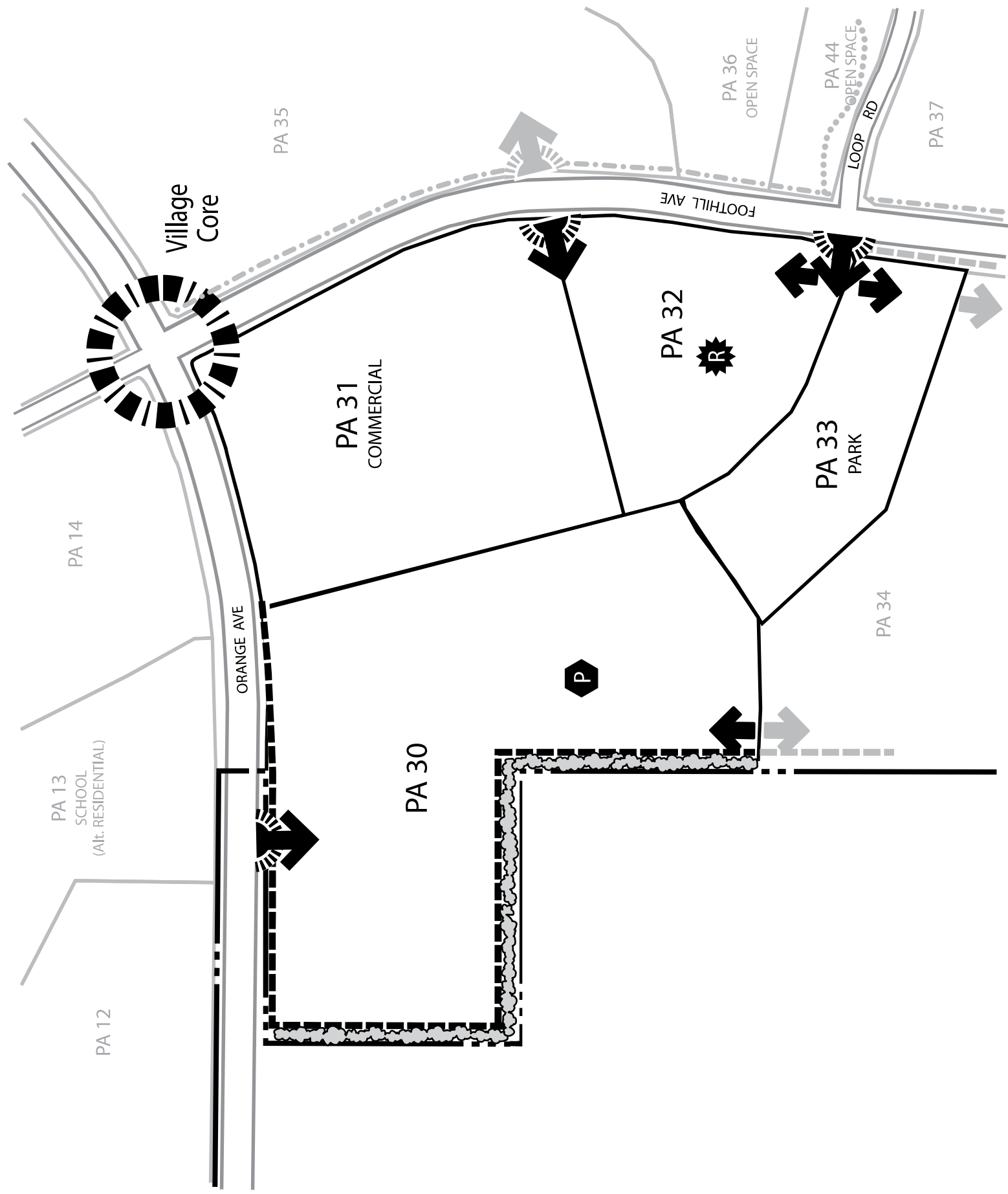
4.33.2 Development Standards

- 1.) Zoning and specific development standards are defined, in detail in Section 2.0 of this Specific Plan document.
- 2.) The park shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.

- 3.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 4.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 5.) Prior to the issuance of the 1,750th building permit within the overall Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department and County Service No. 146 or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the community park site designated as Planning Area 33. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for community park in Village III and Planning Area 33 and with the requirements of the County Service area 146 condition or other entity set forth in the Planning Department's entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
- 6.) Prior to the issuance of the 2,100th building permit within the overall Specific Plan, the community park designated as Planning Area 33 shall be constructed by the developer and be substantially complete.



INDEX MAP



LEGEND

- Village Entry
 - Neighborhood
 - Secondary Access Between Planning Areas
 - Potential Perimeter Wall or View Fence Where Applicable
 - Neighborhood Park
 - Potential Transition Area
 - Community Trail
 - Potential Open Space Trail
 - Trail Overlook
 - Private Recreation Facility
- | | |
|--|--|
| PLANNING AREA 30
Residential: 5-8 DU/AC
Maximum DU: 170
Minimum Lot Size: 4,000 s.f. | PLANNING AREA 32
Residential: 10-20 DU/AC
6.2 Acres
Maximum DU: 86 |
| PLANNING AREA 31
Commercial
15.2 Acres | PLANNING AREA 33
Park
5.9 Acres |

NOTE:
The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

4.34 Planning Area 34

4.34.1 Land Use

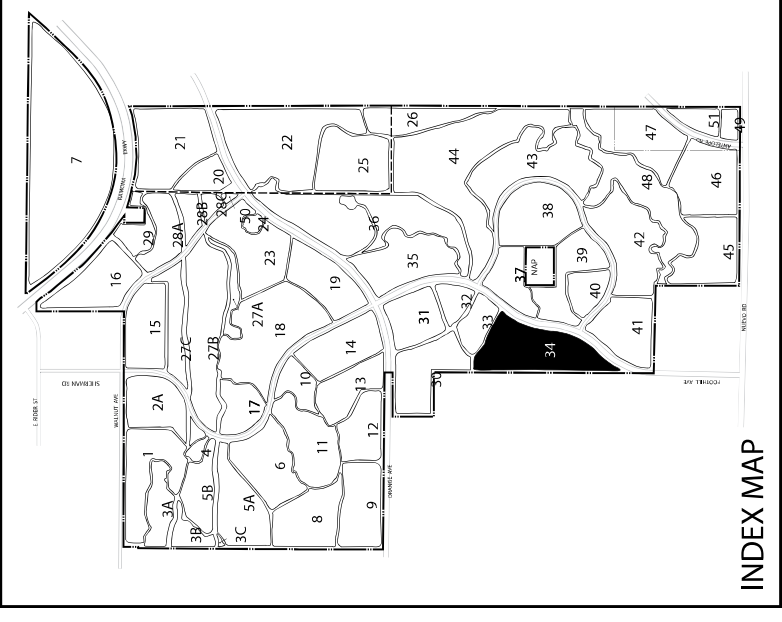
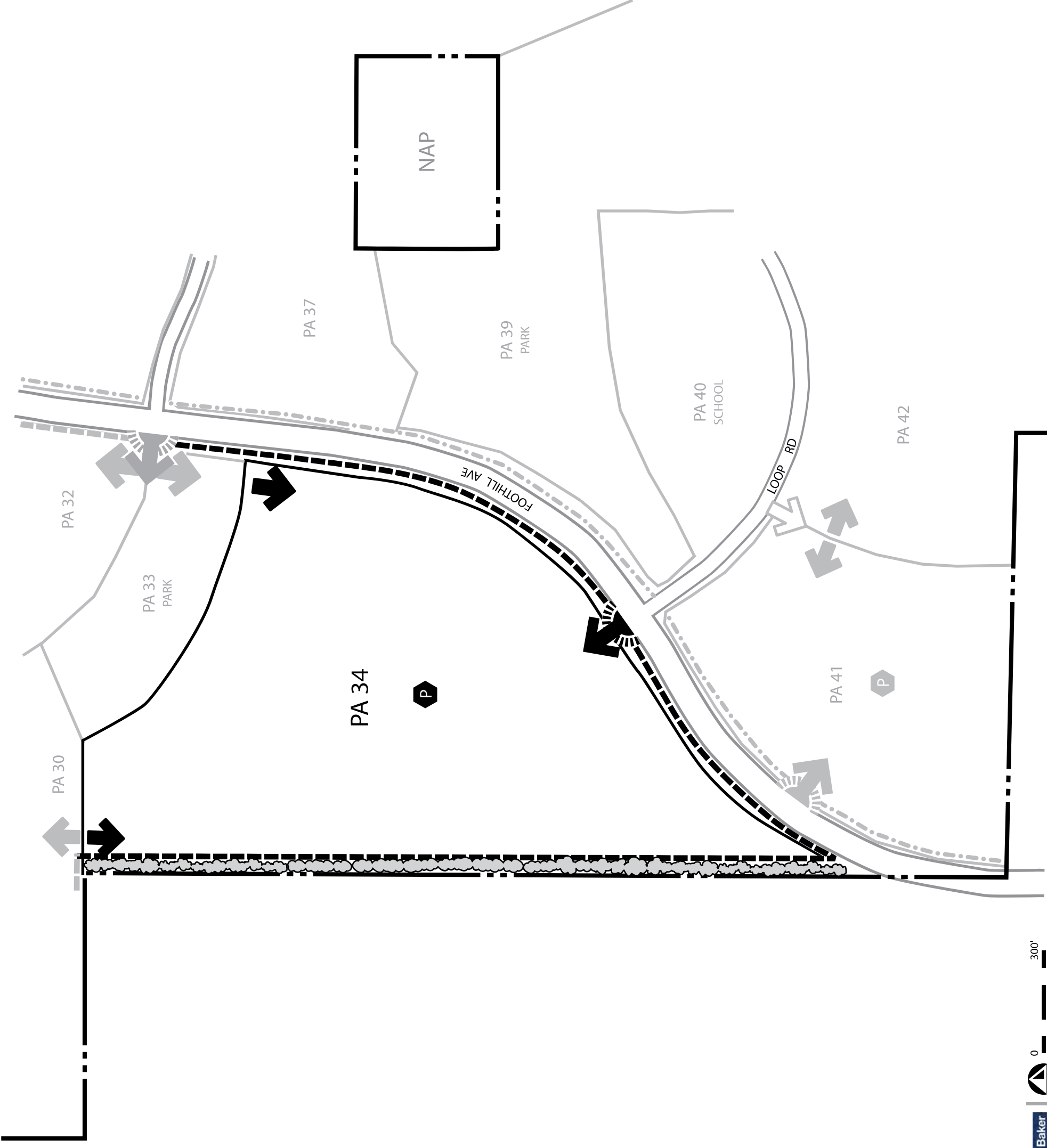
Planning Area 34, as illustrated in Exhibit 4.9, is located in Village III, west of Foothill Avenue. The 29.6-acre residential neighborhood is proposed with a maximum of 122 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,500 square feet. Planning area 34 is to include a neighborhood park as part of the development of this area.

Access will originate from two village entry points along Foothill Avenue. A perimeter wall will bound the area to the east along Foothill Avenue and to the west along the project boundary as deemed appropriate by the County and the developer. A landscaped transition area pursuant to the concepts depicted in Exhibit 5.15 A will separate Planning Area 34 from existing uses to the west where deemed appropriate by the County and the developer.

4.34.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.3 of this Specific Plan document.
- 2.) Access to Planning Area 34 will be achieved from Foothill Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Two village entries, as depicted in Exhibits 5.4 and 5.5, will be constructed at Foothill Avenue.
- 4.) A landscape area, as depicted on Exhibit 5.11, will be incorporated between the perimeter walls and Foothill Avenue and the western project boundary where appropriate.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Foothill Avenue and the western project boundary where deemed appropriate by the County and the developer. Along Foothill Avenue the wall will be located where residential rear or side yards are adjacent to the roadway.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45

- Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
 - 10.) One neighborhood park shall be incorporated into the ultimate design of Planning Area 34. The park shall be developed in accordance with the standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
 - 11.) Prior to the issuance of the 30th building permit within Planning Area 34 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 34. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
 - 12.) Prior to the issuance of the 107th building permit within Planning Area 34 of the Specific Plan, the neighborhood park proposed within Planning Area 34 shall be constructed by the developer and be substantially complete.



LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 34
 Residential: 5-8 DU/AC
 29.6 Acres
 Maximum DU: 122
 Minimum Lot Size: 4,500 s.f.

4.35 Planning Area 35

4.35.1 Land Use

Planning Area 35, as illustrated in Exhibit 4.10, is located in Village III at the southeast corner of Orange Avenue and Foothill Avenue. The 21.6-acre residential neighborhood is proposed with a maximum of 100 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 5,000 square feet.

Access will originate from a village entry points along Foothill Avenue and Orange Avenue. Planning Area 36, a large natural open space area, bounds Planning Area 35 to the east and south. A perimeter wall is proposed to bound the area to the north and west along Orange Avenue and Foothill Avenue where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts on Exhibit 5.15B will be used at the edge of Planning Area 35 and the open space to the east where deemed appropriate by the County and the developer. A proposed community trail follows the western boundary of the site along Foothill Avenue.

4.35.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.2 of this Specific Plan document.
- 2.) Access to Planning Area 35 will be achieved from Orange Avenue and Foothill Avenue. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village core intersection, as depicted in Exhibits 5.8 and 5.9, will be constructed at the intersection of Foothill Avenue and Orange Avenue.
- 4.) Two village entries, as depicted in Exhibits 5.4 and 5.5, will be constructed at Foothill Avenue and Orange Avenue.
- 5.) Perimeter walls or view fence, as depicted in Exhibit 5.16A and B will be constructed along the areas adjacent to Orange Avenue and Foothill Avenue where residential rear or side yards are adjacent to the roadways and where deemed appropriate by the County and the developer. A landscape area, as depicted in Exhibits 5.11 and 5.12, will be incorporated between the perimeter wall or view fence along Foothill Avenue and Orange Avenue where applicable.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines of this Specific Plan.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas

of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.

- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.36 Planning Area 36

4.36.1 Land Use

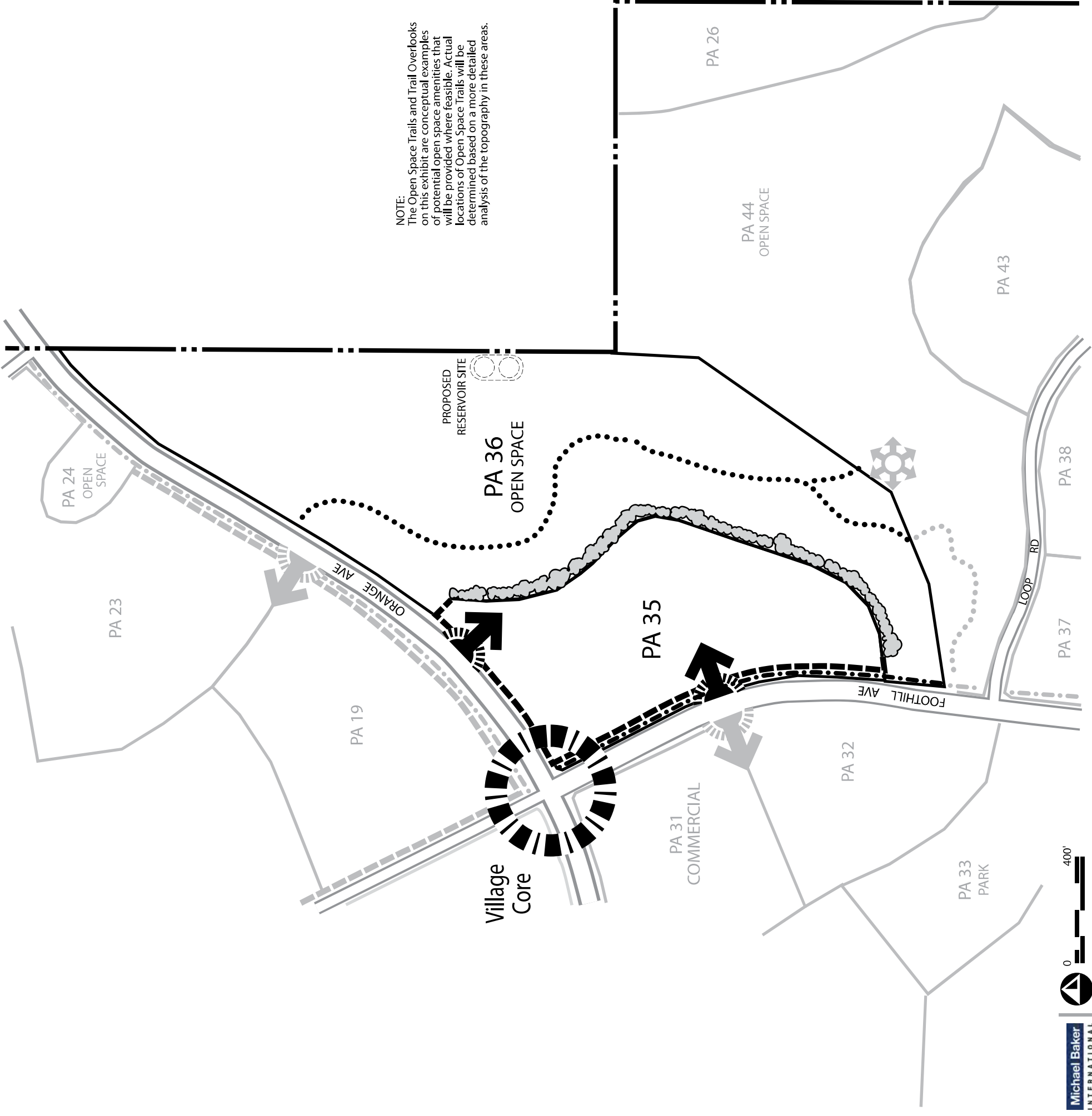
Planning Area 36, as illustrated in Exhibit 4.10, is located in Village III south of Orange Avenue. The 40.9-acre site will remain as a natural open space area, preserving the natural rock outcroppings. The natural topographical relief in this planning area is unique to this portion of the Specific Plan.

Adjacent to Planning Area 36 are proposed residential uses to the west in Planning Areas 35. Planning Area 36 is bounded on north by Orange Avenue. Open space hiking trails are proposed in the planning area where feasible pursuant to the guidelines in Section 3.7.3. Open space transition areas where appropriate will separate Planning Area 36 from surrounding residential uses pursuant to the guidelines in Section 4.35. A site for proposed water reservoir tanks to serve the project (to be owned and operated by EMWD) are proposed within Planning Area 36.

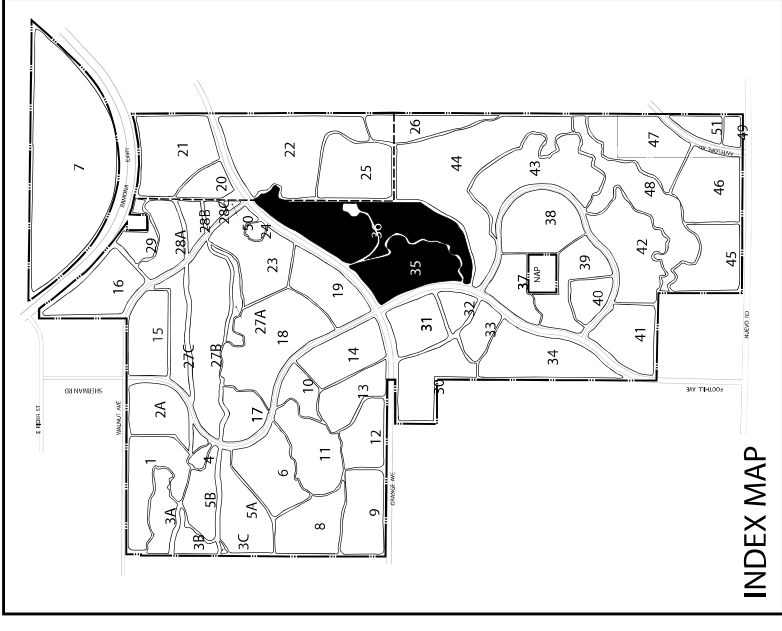
4.36.2 Development Standards

- 1.) Planning Area 36 is intended to be preserved in its existing “natural” state with access trails, transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds; hiking trails and amenities; water system facilities and on site identification signs will require approval of a change of zone and a specific plan amendment.
- 2.) Any improvements to the area to accommodate trails, passive recreation, and/or public safety concerns shall be done in a manner so as to not disturb significant archaeological areas and biotic resources.
- 3.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the

submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.



NOTE:
 The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.



LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 35
 Residential: 5-8 DU/AC
 21.6 Acres
 Maximum DU: 100
 Minimum Lot Size: 5,000 s.f.

PLANNING AREA 36
 Open Space
 40.9 Acres

4.37 Planning Area 37

4.37.1 Land Use

Planning Area 37, as illustrated in Exhibit 4.11, is located in Village IV at the southeast corner of Foothill Avenue and Loop Road. The 11.5-acre residential neighborhood is proposed with an initial target of 161 dwelling units within a density of ten to twenty dwelling units per acre. Planning Area 37 is also intended to include a private recreational facility as part of the development of this area.

Access will originate from neighborhood entries along the Loop Road. Planning Area 37 is adjacent to residential Planning Area 38 to the east, and bounded by Foothill Avenue and the Loop Road to the west and north. A community trail follows the western boundary of the area along Foothill Avenue.

4.37.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.5 of this Specific Plan document.
- 2.) Access to Planning Area 37 will be achieved from Loop Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A neighborhood entry, as illustrated in Exhibits 5.6 and 5.7, will be constructed at the main roadway access off of the Loop Road into Planning Area 37.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 7.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 8.) One private recreational facility shall be incorporated into the ultimate design of Planning Area 37 and constructed with the development within this planning area by its builder. This facility shall be subject to the development

standards, guidelines and concepts set forth in Section 3.7 of this Specific Plan.

- 9.) Landscape screening, including walls and/or fencing, as deemed appropriate by the County and the developer, shall be placed adjacent to the existing EMWD water tanks site to the south of Planning Area 37.

4.38 Planning Area 38

4.38.1 Land Use

Planning Area 38, as illustrated in Exhibit 4.11, is located in Village IV east of Foothill Avenue. The 22.5-acre residential neighborhood is proposed with a maximum of 113 dwelling units within a density of five to eight dwelling units per acre and a minimum lot size of 4,000 square feet.

Access will originate from two neighborhood entries along the Loop Road. Planning Area 38 is adjacent to residential Planning Area 37 to the west, and bounded by the Loop Road to the east. A community park in Planning Area 39 will be located on the southwest. A perimeter wall will bound the area to the east along the Loop Road where deemed appropriate by the County and the developer.

4.38.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.4 of this Specific Plan document.
- 2.) Access to Planning Area 37 will be achieved from Loop Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Perimeter walls or view fence, as depicted in Exhibit 5.16A and B, will be constructed along areas adjacent to the Loop Road where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer. A landscape area, as depicted on Exhibit 5.13, will be incorporated between the perimeter walls and the Loop Road.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45

Ldn/CNEL (the County of Riverside Department of Public Health current standards).

- 7.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 8.) Landscape screening, including walls and/or fencing, as deemed appropriate by the County and the developer, shall be placed adjacent to the existing EMWD water tanks site to the west of Planning Area 38.

4.39 Planning Area 39

4.39.1 Land Use

Planning Area 39, as illustrated in Exhibit 4.11, located in Village IV, east of Foothill Avenue and within the Loop Road. Planning Area 39 is designated as an 18-acre community park.

Access will originate from a neighborhood entry point along the Loop Road. Residential Planning Areas 38 is to the east, the existing water tanks are to the north, and the Planning Area 40 school site is adjacent on the south. The community park shall include ball fields, turf area, pathways, tot lots, picnic facilities and a homeowners association maintained pool facility pursuant to the concepts and standards set forth in Section 3.7.2 of this Specific Plan.

4.39.2 Development Standards

- 1.) Zoning and specific development standards are defined, in detail in Section 2.0 of this Specific Plan document.
- 2.) The park shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 3.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan Amendment document.
- 4.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 5.) Prior to the issuance of the 2,450th building permit within the overall Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department and County Service No. 146 or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the community park site designated as Planning Area 39. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for community park in Village II and Planning Area 39 and with the requirements of the County Service area 146 condition or other entity set forth in the Planning

Department's entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.

- 6.) Prior to the issuance of the 2,800th building permit within the overall Specific Plan, the community park designated as Planning Area 39 shall be constructed by the developer and be substantially complete.

4.40 Planning Area 40

4.40.1 Land Use

Planning Area 40, as illustrated in Exhibit 4.11, is located in Village IV east of Foothill Avenue and north of the Loop Road, and is designated a 8-acre school site.

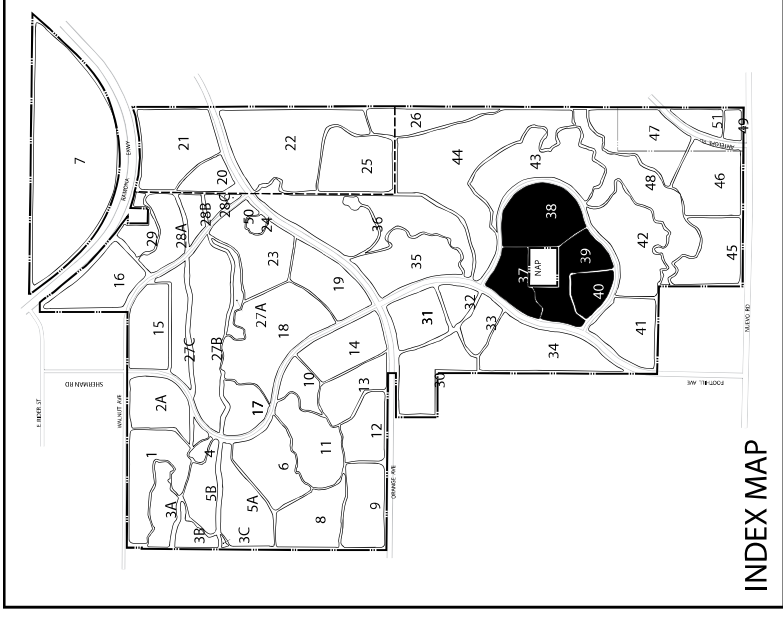
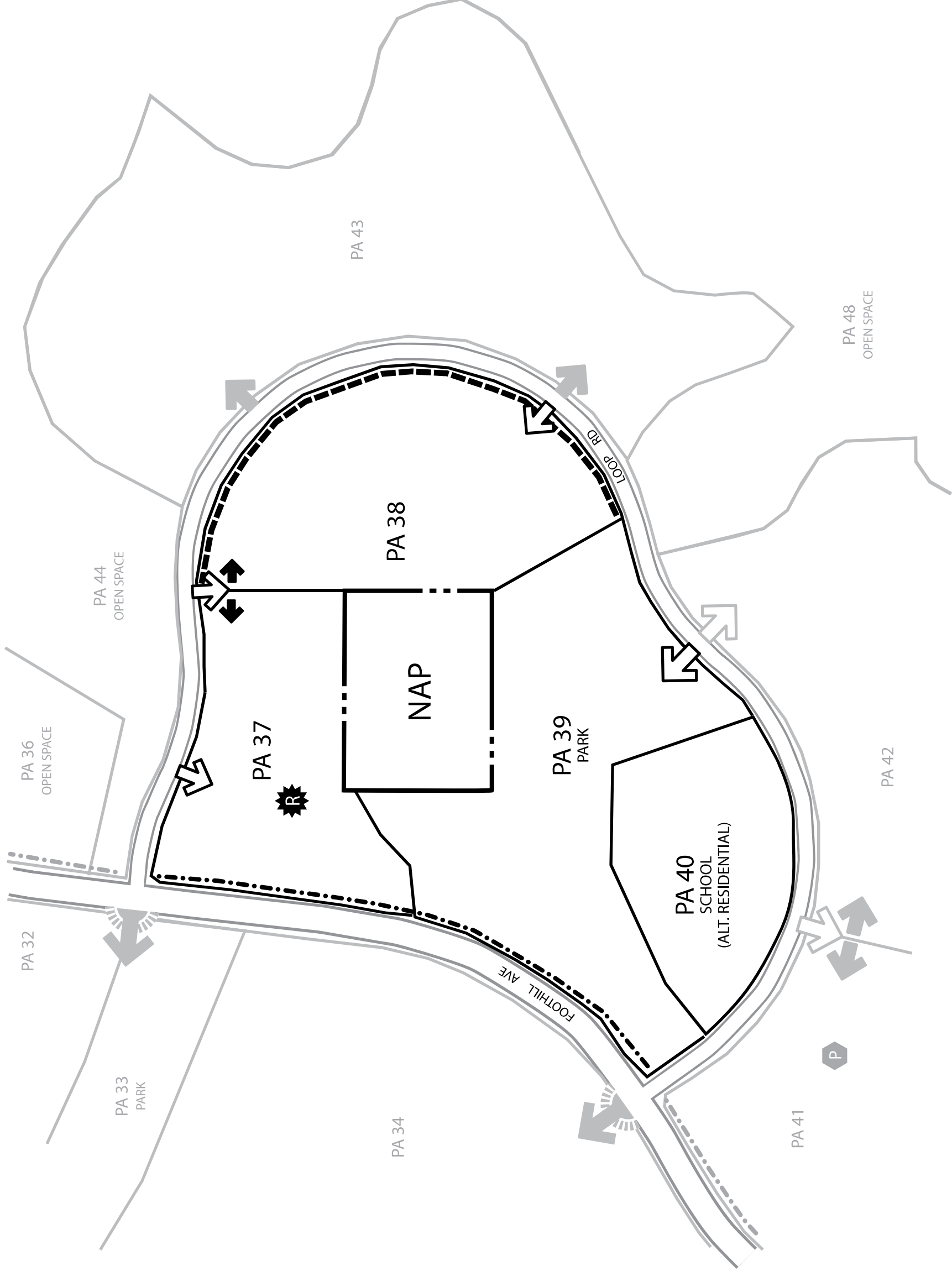
Access will originate from a neighborhood entry along the Loop Road. Planning Area 40 is adjacent to a park site to the north, and residential areas Planning Areas 41 and 42 to the south across the Loop Road.

Final design of the school site will be developed by the Nuvew School District. If the Planning Area is not developed as a school site, the planning area will be developed as a residential neighborhood as an alternative with a maximum of 25 dwelling units within a density of two to five dwelling units per acre, and a minimum lot size of 6,000 square feet.

4.40.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan Amendment document for residential use.
- 2.) The school site will be constructed by the Nuvew School District according to their standards and to the requirements of Riverside County, in addition to the Specific Plan standards.
- 3.) The school site shall consist of a minimum of 8 acres.
- 4.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 5.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 6.) Final design of the school site requires the approval of the appropriate school district. Should the public facility site be deemed unnecessary, the planning area may be developed as a residential neighborhood provided the overall

density of the project and the total number of allowable project dwelling units are not exceeded with the addition of this planning area.



LEGEND

- Village Entry
 - Neighborhood
 - Secondary Access Between Planning Areas
 - Potential Perimeter Wall or View Fence Where Applicable
 - Neighborhood Park
 - Potential Transition Area
 - Community Trail
 - Potential Open Space Trail
 - Trail Overlook
 - Private Recreation Facility
- | | |
|--|---|
| PLANNING AREA 37
Residential: 10-20 DU/AC
Maximum DU: 161 | PLANNING AREA 39
Park
18 Acres |
| PLANNING AREA 38
Residential: 5-8 DU/AC
22.5 Acres
Maximum DU: 113
Minimum Lot Size: 4,000 s.f. | PLANNING AREA 40
School
8 Acres
ALTERNATIVE
Residential: 2-5 DU/AC
Maximum DU: 25
Minimum Lot Size: 6,000 s.f. |

4.41 Planning Area 41

4.41.1 Land Use

Planning Area 41, as illustrated in Exhibit 4.12, is located in Village IV, east of Foothill Avenue and south of the Loop Road. The 19.6-acre residential neighborhood is proposed with a maximum of 98 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,000 square feet. Planning Area 41 is intended to include a neighborhood park as part of the development area.

Access will originate from a village entry off-of Foothill Avenue, and neighborhood entry off-of the Loop Road. A perimeter wall will bound the area to the west and north along Foothill Avenue and the Loop Road where deemed appropriate by the County and the developer. A community trail is to be provided on the west side of Planning Area 41, along Foothill Avenue.

4.41.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.4 of this Specific Plan document.
- 2.) Access to Planning Area 41 will be achieved from Foothill Avenue and the Loop Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.5, will be constructed for any roadway access from Foothill Avenue directly into Planning Area 41. A neighborhood entry, as depicted in Exhibits 5.6 and 5.7, will be constructed for any roadway access from the Loop Road into Planning Area 41.
- 4.) A landscape area, as depicted on Exhibit 5.11, will be incorporated between the perimeter walls and Foothill Avenue.
- 5.) Perimeter walls or a view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Foothill Avenue and the Loop Road where residential rear or side yards are adjacent to the roadways and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be

- investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
 - 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
 - 10.) One neighborhood park shall be incorporated into the ultimate design of Planning Area 41. These parks shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
 - 11.) Prior to the issuance of the 25th building permit within Planning Area 41 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 41. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
 - 12.) Prior to the issuance of the 77th building permit within Planning Area 41 of the Specific Plan, the neighborhood park proposed within Planning Area 41 shall be constructed by the developer and be substantially complete.

4.42 Planning Area 42

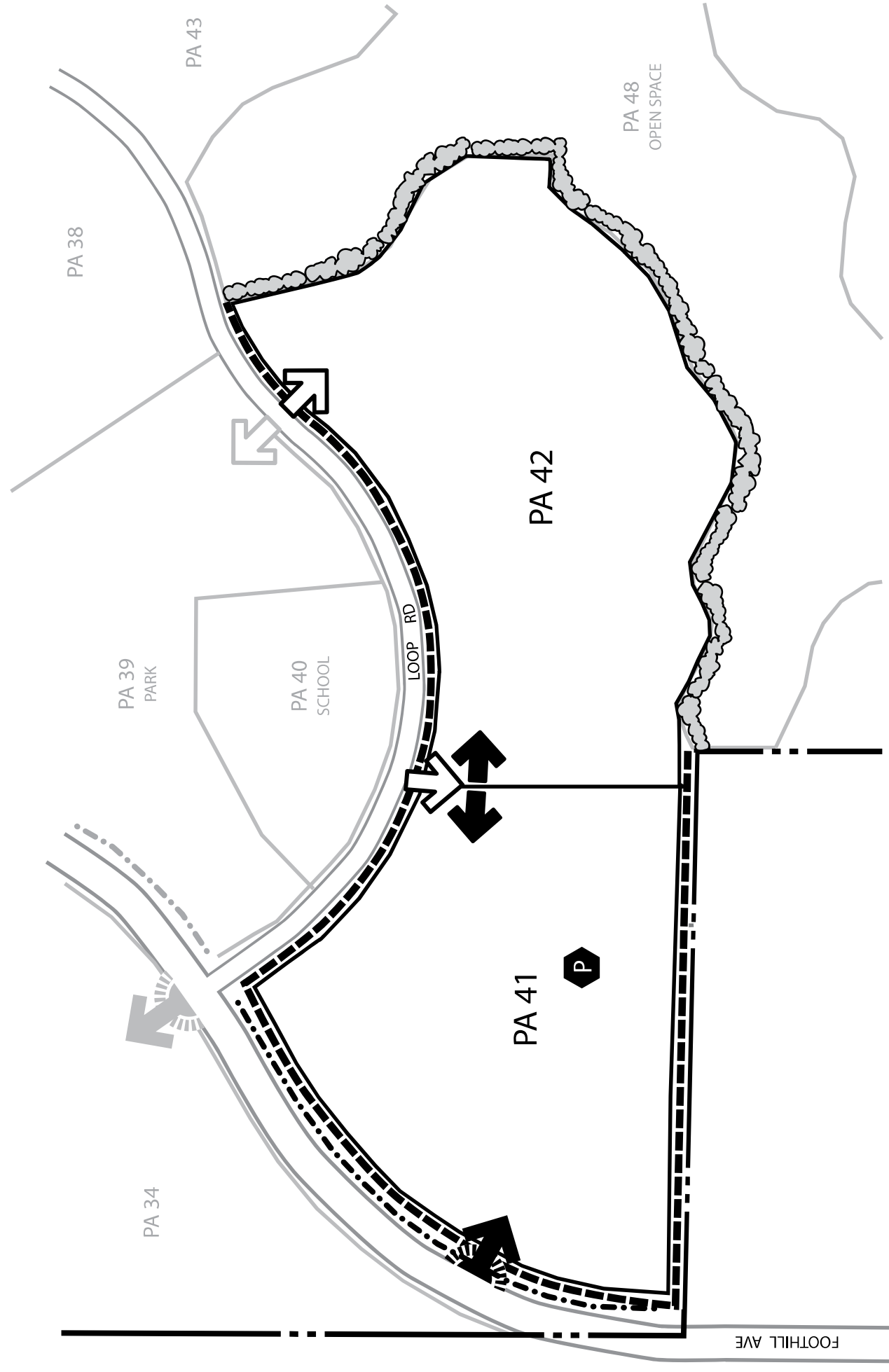
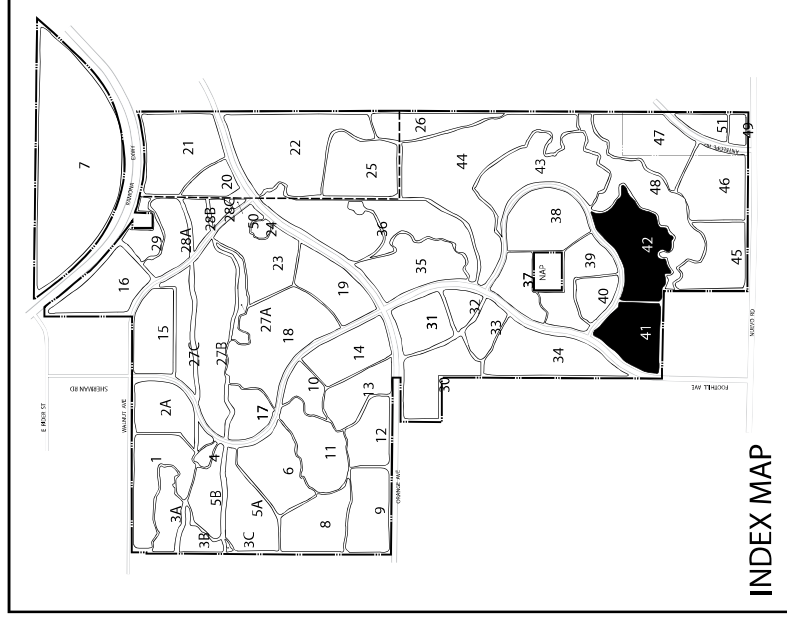
4.42.1 Land Use

Planning Area 42, as illustrated in Exhibit 4.12, is located in Village IV, east of Foothill Avenue and south of the Loop Road. The 25.4-acre residential neighborhood is proposed with a maximum of 127 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 5,000 square feet.

Access will originate from two-neighborhood entries off-of the Loop Road. A perimeter wall will bound the area to the north along the Loop Road where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts on Exhibit 5.15B will be used at the edge of Planning Area 42 and the Planning Area 48 open space to the south where deemed appropriate by the County and the developer.

4.42.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.2 of this Specific Plan document.
- 2.) Access to Planning Area 42 will be achieved from the Loop Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Neighborhood entries, as depicted in Exhibits 5.6 and 5.7, will be constructed on the Loop Road.
- 4.) A landscape area, as depicted on Exhibit 5.13, will be incorporated between the perimeter walls and the Loop Road where appropriate.
- 5.) Perimeter walls and view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to the Loop Road where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.



LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

PLANNING AREA 41
 Residential: 5-8 DU/AC
 19.6 Acres
 Maximum DU: 98
 Minimum Lot Size: 4,000 s.f.

PLANNING AREA 42
 Residential: 5-8 DU/AC
 25.4 Acres
 Maximum DU: 127
 Minimum Lot Size: 5,000 s.f.

4.43 Planning Area 43

4.43.1 Land Use

Planning Area 43, as illustrated in Exhibit 4.13, is located in Village IV, east of Foothill Avenue and east of the Loop Road. The 26.2-acre residential neighborhood is proposed with a maximum of 65 dwelling units within a density of two to five dwelling units per acre, and a minimum lot size of 6,000 square feet.

Access will originate from two-neighborhood entries off-of the Loop Road. A perimeter wall will bound the area along the Loop Road, where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts illustrated in Exhibit 5.15B will be used at the edge of Planning Area 43 and the Planning Areas 44 and 48 open spaces to the east and south where deemed appropriate by the County and the developer.

4.43.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.1 of this Specific Plan document.
- 2.) Access to Planning Area 43 will be achieved from Loop Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) Two neighborhood entries, as depicted in Exhibits 5.6 and 5.7, will be constructed at Loop Road.
- 4.) A landscape area, as depicted on Exhibit 5.13, will be incorporated between the perimeter walls and the Loop Road where appropriate.
- 5.) Perimeter walls or view fence where applicable, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to the Loop Road where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study

would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).

- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.

4.44 Planning Area 44

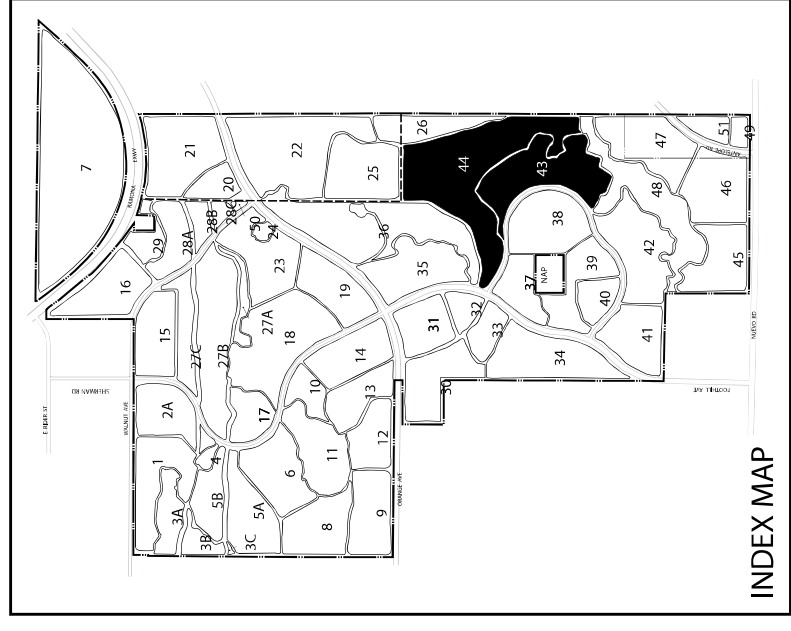
4.44.1 Land Use

Planning Area 44, as illustrated in Exhibit 4.13, is located in Village IV north and east of the Loop Street. The 67.9-acre site will remain as a natural open space area, preserving the natural rock outcroppings. The natural topographical relief in this planning area is unique to this portion of the Specific Plan.

Adjacent to Planning Area 40 are residential uses to the south and west in Planning Areas 43 and to the east in Planning Area 26. Open space transition areas where appropriate will separate Planning Area 44 from surrounding residential uses pursuant to the guidelines in Section 4.43. Open space hiking trails are proposed in the Planning Area where feasible pursuant to the guidelines in Section 3.7.3.

4.44.2 Development Standards

- 1.) Planning Area 44 is intended to be preserved in its existing “natural” state with access trails, transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds; hiking trails and amenities; water system facilities and on site identification signs will require approval of a change of zone and a specific plan amendment.
- 2.) Any improvements to the area to accommodate trails, passive recreation, and/or public safety concerns shall be done in a manner so as to not disturb significant archaeological areas and biotic resources.
- 3.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.



INDEX MAP

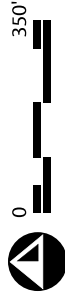
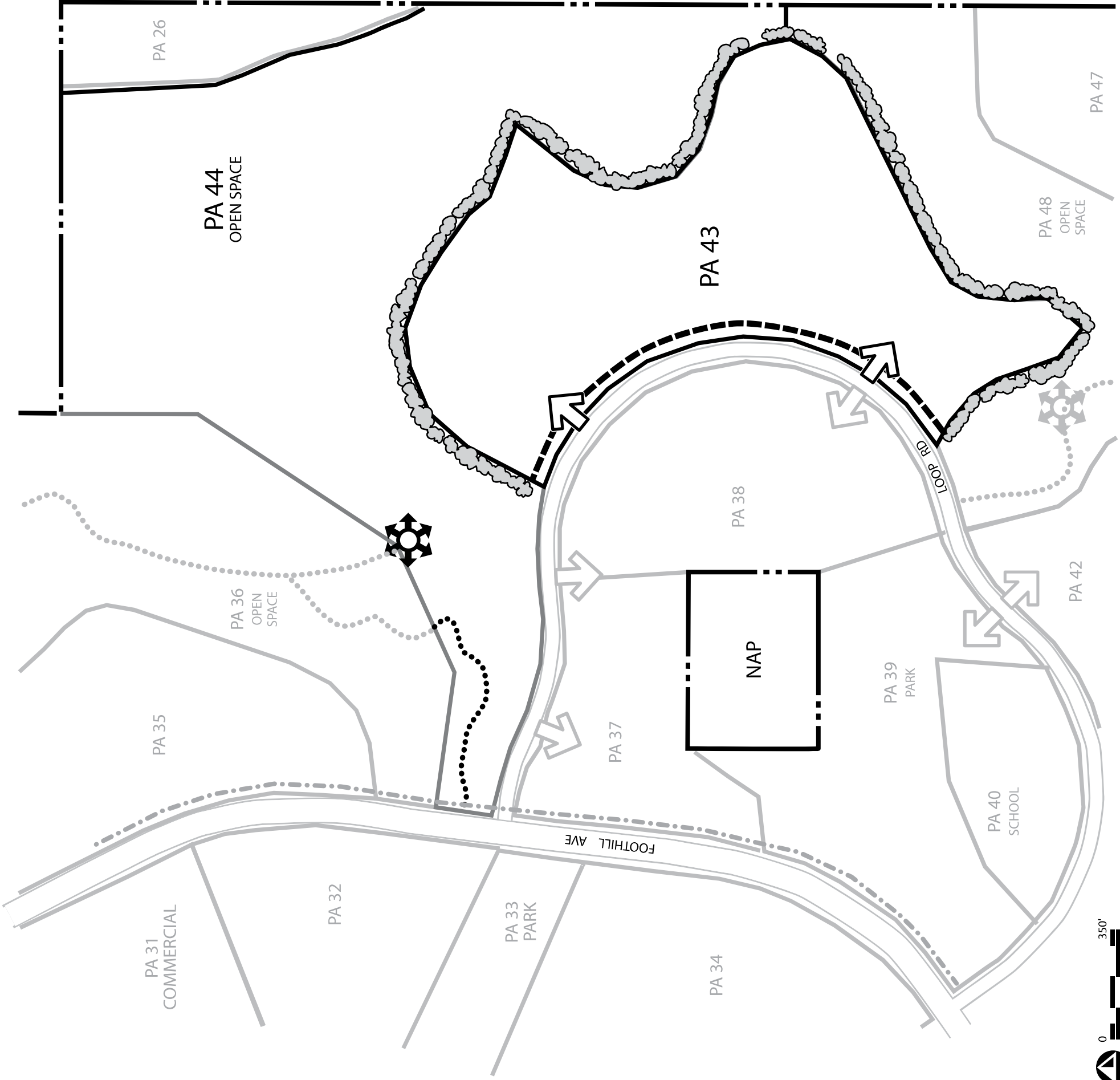
LEGEND

- Village Entry
- Neighborhood
- Secondary Access Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

NOTE:
The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

PLANNING AREA 43
Residential: 2-5 DU/AC
26.2 Acres
Maximum DU: 65
Minimum Lot Size: 6,000 s.f.

PLANNING AREA 44
Open Space
67.9 Acres



0 350'

4.45 Planning Area 45

4.45.1 Land Use

Planning Area 45, as illustrated in Exhibit 4.14, is located in Village V, north of Nuevo Road. The 18.3-acre residential neighborhood is proposed with a maximum of 95 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,000 square feet. Planning Area 41 is also intended to include a neighborhood park as part of the development of this area.

Primary access will originate from a village entry off of Nuevo Road. Secondary access to Planning Area 45 is anticipated to be through Planning Area 46 from Antelope Road. This would require the secondary access through Planning Area 46 to be developed in conjunction with Planning Area 45. A perimeter wall will bound the area to the south along Nuevo Road and may bound the area along the west project boundary of Planning Area 45 where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts illustrated on Exhibit 5.15B will be used at the edge of Planning Area 45 and the adjacent open space to the north where deemed appropriate by the County and the developer. A community trail is to be provided on the south side of Planning Area 45 along Nuevo Road.

4.45.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.4 of this Specific Plan document.
- 2.) Access to Planning Area 45 will be achieved from Nuevo Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.5, will be constructed along Nuevo Road.
- 4.) A landscape area, as depicted on Exhibit 5.12 will be incorporated between the perimeter walls and Nuevo Road.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Nuevo Road where residential rear or side yards are adjacent to the roadway and along the west project boundary of Planning Area 45 where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.

- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 10.) One neighborhood park shall be incorporated into the ultimate design of Planning Area 45. These parks shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 11.) Prior to the issuance of the 25th building permit within Planning Area 45 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 45. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance". The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.
- 12.) Prior to the issuance of the 80th building permit within Planning Area 45 of the Specific Plan, the neighborhood park proposed within Planning Area 45 shall be constructed by the developer and be substantially complete.

4.46 Planning Area 46

4.46.1 Land Use

Planning Area 46, as illustrated in Exhibit 4.14, is located in Village V, north of Nuevo Road and west of Antelope Road. The 23.1-acre residential neighborhood is proposed with a maximum of 109 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 4,500 square feet. Planning Area 46 is also intended to include a neighborhood park as part of the development of this area.

Access will originate from village entries off-of Nuevo Road and Antelope Road, and between planning areas. A perimeter wall is proposed to bound the area to the south and east along Nuevo Road and Antelope Road where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts on Exhibit 5.15B will be used at the edge of Planning Area 46 from adjacent open space to the north where deemed appropriate by the County and the

developer. A community trail is to be provided on the south side of Planning Area 46 along Nuevo Road and on the east side along Antelope Road.

4.46.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.3 of this Specific Plan document.
- 2.) Access to Planning Area 46 will be achieved from Nuevo Road and Antelope Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.5, will be constructed along Nuevo Road and Antelope Road.
- 4.) A landscape area, as depicted on Exhibit 5.12, will be incorporated between the perimeter walls along Nuevo Road and Antelope Road.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Nuevo Road and Antelope Road where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 8.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).
- 9.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 10.) One neighborhood park with a swim facility shall be incorporated into the ultimate design of Planning Area 46. These parks shall be subject to the development standards, guidelines and concepts set forth in Section 3.7.2 of this Specific Plan.
- 11.) Prior to the issuance of the 30th building permit within Planning Area 46 of the Specific Plan, detailed park plans shall be submitted by the developer to and approved by the Planning Department or other entity set forth in the Planning Department's condition entitled "SP – Common Area Maintenance" for the neighborhood park site proposed within Planning Area 46. The detailed park plans shall conform with the design criteria in Section 3.7.2 of the Specific Plan document for neighborhood parks and with the requirements of any other entity set forth in the Planning Department's

condition entitled “SP – Common Area Maintenance”. The park plans need not be working drawings, but shall include landscape and irrigation plans, descriptions and placement of recreational facilities and documentation evidencing a permanent maintenance mechanism for the park and its facilities.

- 12.) Prior to the issuance of the 94th building permit within Planning Area 46 of the Specific Plan, the neighborhood park proposed within Planning Area 46 shall be constructed by the developer and be substantially complete.

4.47 Planning Area 47

4.47.1 Land Use

Planning Area 47, as illustrated in Exhibit 4.14, is located in Village V, west of Antelope Road. The 24-acre residential neighborhood is proposed with a maximum of 105 dwelling units within a density of five to eight dwelling units per acre, and a minimum lot size of 5,000 square feet.

Access will originate from a village entry off-of Antelope Road. Secondary access to Planning Area 47 is anticipated to be through Planning Area 46 from Antelope Road. This would require the secondary access through Planning Area 46 to be developed in conjunction with Planning Area 47. A perimeter wall will bound the area to the east along Antelope Road where deemed appropriate by the County and the developer. An open space transition area as depicted in the concepts illustrated in Exhibit 5.15B will be used at the edge of Planning Area 47 from adjacent open spaces to the north where deemed appropriate by the County and the developer.

4.47.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.4.2 of this Specific Plan document.
- 2.) Access to Planning Area 47 will be achieved from Nuevo Road and Antelope Road. Final access points to the planning area will be determined at time of tentative tract map submittal.
- 3.) A village entry, as depicted in Exhibits 5.4 and 5.4, will be constructed at Antelope Road.
- 4.) A landscape area, as depicted on Exhibit 5.12 will be incorporated where appropriate, between the perimeter walls along Antelope Road.
- 5.) Perimeter walls or view fence, as depicted in Exhibits 5.16 A and B, will be constructed along the areas adjacent to Antelope Road where residential rear or side yards are adjacent to the roadway and where deemed appropriate by the County and the developer.
- 6.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan document.
- 7.) An acoustical study shall be prepared as necessary prior to approval of any tentative tract map which would locate homes adjacent to General Plan

roadways of secondary highway classification or higher. The study would provide noise attenuation measures for residences sufficient to reduce exterior noise exposure to 65 Ldn/CNEL, and interior noise exposure to 45 Ldn/CNEL (the County of Riverside Department of Public Health current standards).

- 8.) Prior to approval of tentative tract maps, a fire protection/vegetation management plan shall be submitted as necessary to the Fire Department for approval.
- 9.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.

4.48 Planning Area 48

4.48.1 Land Use

Planning Area 48, as illustrated in Exhibit 4.14, is located in Village V within the southern portion of the project, north of Nuevo Road. The 29-acre site will remain as a natural open space area, preserving the natural rock outcroppings. The natural topographical relief in this planning area is unique to this portion of the Specific Plan.

Adjacent to Planning Area 48 are proposed residential planning areas to the north and south. Open space transition areas where appropriate will separate Planning Area 48 from surrounding residential uses pursuant to the guidelines in Sections 4.42, 4.43, 4.45, 4.46 and 4.47. Open space hiking trails are proposed in the planning areas where feasible pursuant to the guidelines in Sections 3.7.3.

4.48.2 Development Standards

- 1.) Planning Area 48 is intended to be preserved in its existing “natural” state with access trails, transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds; hiking trails and amenities; water system facilities and on site identification signs will require approval of a change of zone and a specific plan amendment.
- 2.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 3.) Any improvements to the area to accommodate trails, passive recreation, and/or safety shall be done in a manner as so to not disturb significant archaeological areas and biotic resources.

4.49 Planning Area 49

4.49.1 Land Use

Planning Area 49, as illustrated in Exhibit 4.14, is located in Village V east of Antelope Road and north of Nuevo Road. The 3.3-acre site will remain as open space area.

Adjacent to Planning Area 49 on the north is a proposed commercial use in Planning Area 51. A community trail is to be provided on the south side of Planning Area 49, adjacent to Nuevo Road.

4.49.2 Development Standards

- 1.) Planning Area 49 is intended to be preserved in its existing “natural” state with access trails, transition or fuel modification areas as appropriate. Any development on this site with uses other than picnic grounds; hiking trails and amenities and water system facilities will require approval of a change of zone and a specific plan amendment.
- 2.) Any improvements to the area to accommodate trails, passive recreation, and/or public safety concerns shall be done in a manner so as to not disturb significant archaeological areas and biotic resources.
- 3.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.
- 4.) Planning Area 49 has been designated by the County of Riverside on an initial basis as a “MSHCP Conservation Area”. Detention basins and fuel modification zones are not allowed within the conservation area. Pursuant to future development and adoption of the Riverside County San Jacinto River Plan, the conservation area designation and associated development restrictions may be removed from this planning area.

4.50 Planning Area 50

4.50.1 Land Use

Planning Area 50, as illustrated in Exhibit 4.7, is located in Village II north of Orange Avenue and east of Walnut Avenue. The 1.2-acre site will remain as open space area.

Adjacent to Planning Area 50 on the north is a proposed residential use in Planning Area 28 C. A community trail is to be provided on the south side of Planning Area 50, adjacent to Orange Avenue.

4.50.2 Development Standards

- 1.) Planning Area 50 is intended to be preserved as open space with access trails, transition or fuel modification areas as necessary. Any development on this site with uses other than picnic grounds; hiking trails and amenities; water system facilities; and onsite identification signs will require approval of a change of zone and a specific plan amendment.
- 2.) Any improvements to the area to accommodate trails, passive recreation, and/or public safety concerns shall be done in a manner so as to not disturb significant archaeological areas and biotic resources.
- 3.) According to preliminary site investigations conducted, the Specific Plan area may contain significant archeological resources. Prior to the submittal of tentative tract maps or issuance of grading permits in areas of known archeological resources, any potential sites will be investigated further and mitigation measures will be recommended as necessary.

4.51 Planning Area 51

4.51.1 Land Use

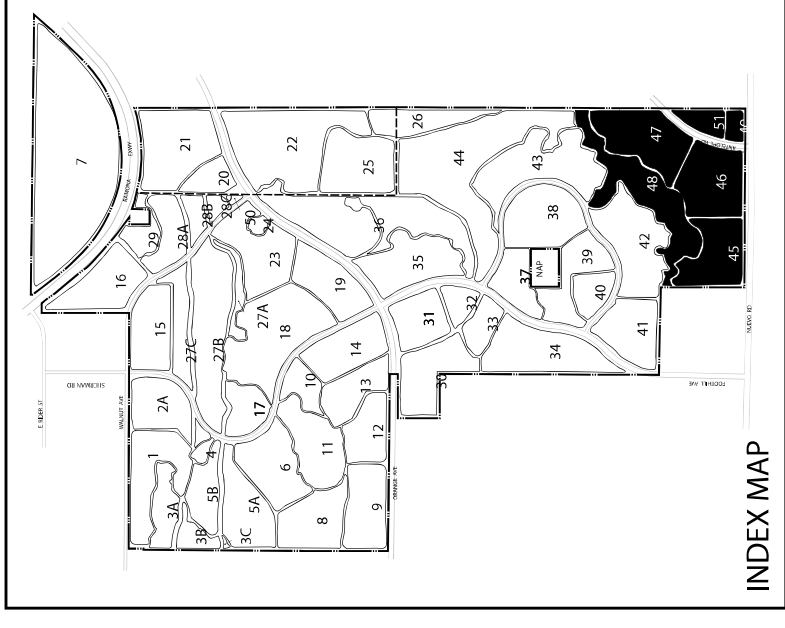
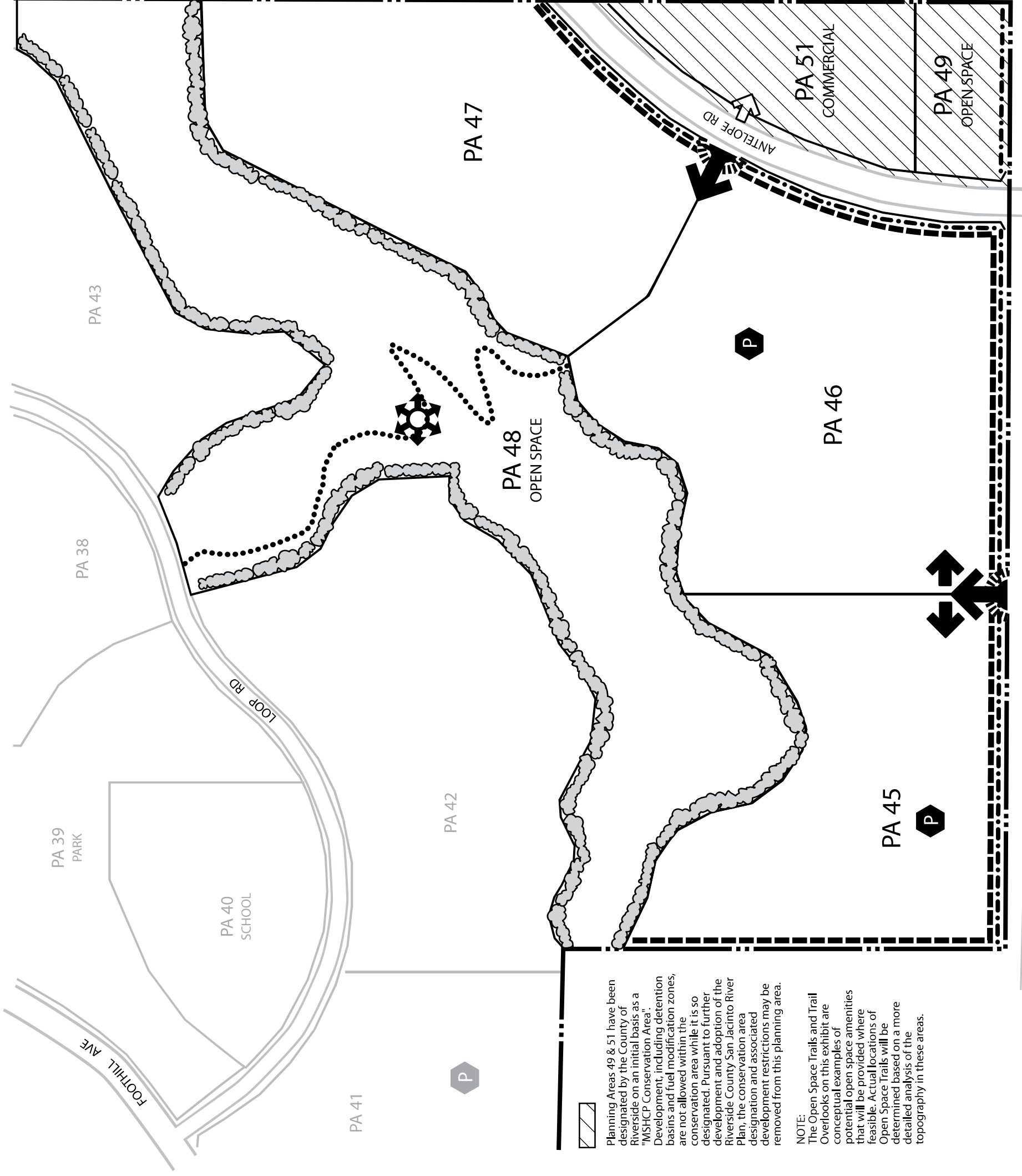
Planning Area 51, as illustrated in Exhibit 4.14, is located in Village V east of Antelope Road and north of Nuevo Road. The 5.0-acre commercial planning area could serve the residents of the project and the surrounding communities. Access would include an entry point along Antelope Road.

The County of Riverside through the HANS process on the McCanna Hills Specific Plan Amendment No. 1 has designated this area east of proposed Antelope Road on an initial basis as a MSHCP Conservation area. No development will be allowed in this area unless the conservation area designation is removed. Pursuant to future development and adoption of the Riverside County San Jacinto River Plan, the conservation area designation and associated development restrictions may be removed from this planning area.

4.51.2 Development Standards

- 1.) Zoning and specific development standards are defined in detail in Section 2.0 and summarized in Section 5.6 of this Specific Plan document.
- 2.) Access to Planning Area 51 will be achieved from Antelope Road. Final access points to the planning area will be determined at time of tentative tract map or site plan submittal.
- 3.) For project wide general, community design, landscape architectural, site planning, and architectural design guidelines, please refer to Section 5.0 Design Guidelines, of this Specific Plan.
- 4.) Air quality emissions reports shall be filed with each commercial development application.

- 5.) Planning Area 51 has been designated by the County of Riverside on an initial basis as a “MSHCP Conservation Area”. Development, including detention basins and fuel modification zones, are not allowed within the conservation area while it is so designated. Pursuant to future development and adoption of the Riverside County San Jacinto River Plan, the conservation area designation and associated development restrictions may be removed from this planning area.



LEGEND

- Planning Area 45
- Residential: 5-8 DU/AC
- 18.3 Acres
- Maximum DU: 95
- Minimum Lot Size: 4,000 s.f.
- PLANNING AREA 46
- Residential: 5-8 DU/AC
- 23.9 Acres
- Maximum DU: 109
- Minimum Lot Size: 4,500 s.f.
- PLANNING AREA 47
- Residential: 5-8 DU/AC
- 24 Acres
- Maximum DU: 105
- Minimum Lot Size: 5,000 s.f.
- PLANNING AREA 48
- Open Space
- 29 Acres
- PLANNING AREA 49
- Open Space
- 3.3 Acres
- PLANNING AREA 51
- Commercial
- 5 Acres
- Village Entry
- Neighborhood
- Secondary Access
- Between Planning Areas
- Potential Perimeter Wall or View Fence Where Applicable
- Neighborhood Park
- Potential Transition Area
- Community Trail
- Potential Open Space Trail
- Trail Overlook
- Private Recreation Facility

Planning Areas 49 & 51 have been designated by the County of Riverside on an initial basis as a "MSHCP Conservation Area". Development, including detention basins and fuel modification zones, are not allowed within the conservation area while it is so designated. Pursuant to further development and adoption of the Riverside County San Jacinto River Plan, the conservation area designation and associated development restrictions may be removed from this planning area.

NOTE:
The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.



5.0 – Design Guidelines

5.0 DESIGN GUIDELINES AND DEVELOPMENT STANDARDS

5.1 Purpose and Intent

The Design Guidelines and Development Standards for the McCanna Hills Specific Plan are intended to establish community guidelines and standards for the project to ensure the creation of a quality and aesthetically pleasing environment. Section 5.0 contains the following subsections: 5.2 Site Planning Design Guidelines, 5.3 Architectural Design Guidelines, 5.4 Residential Development Standards, 5.5 Commercial Architectural Design Guidelines, 5.6 Commercial Development Standards, and 5.7 Landscape Guidelines to ensure McCanna Hills is development as a comprehensive master planned community.

Through cohesive community design and quality site planning, the McCanna Hills Specific Plan will offer a diverse and unique living environment for its residents. The McCanna Hills property will be identified and unified through preservation of its natural amenities and design elements such as architecture, natural topography, landscaping, large rock outcroppings, pedestrian networks, walls, fencing and entry treatments, all of which will be complimentary to the native amenities that exists on site.

Specific Development Guidelines and Development Standards have been crafted to ensure compatibility and continuity within the Specific Plan. Variation of building designs will be encouraged to allow individual neighborhoods to establish their own design character, yet maintain continuity throughout the development by incorporating unified streetscape and design components. The following guidelines should be incorporated to ensure McCanna Hills provides a variety of quality housing types, adequate infrastructure and a pedestrian oriented community that integrates into the County of Riverside:

- Provide the County of Riverside with necessary assurances that the McCanna Hills community will be developed in accordance with the quality and character proposed within this Specific Plan.
- Design a community that acknowledges the topographic, geologic and hydrologic environmental opportunities and constraints of the land.
- Design neighborhoods that integrate into the regional alternate transportation system, including bus and bicycle systems.
- Plan neighborhoods that connect with the larger community, yet are sensitive to the human scale and encourage pedestrian activity.
- Design a community that incorporates neighborhood parks, trails, and open spaces where neighbors can meet and children can play.
- Create a community that reflects anticipated marketing needs and public demand by providing a range of housing types, which will be marketable within the developing economic profile of the County of Riverside.

- Provide planning provisions for a safe and efficient circulation system composed of a network of planned local roadways designed for appropriate traffic and user needs.
- Establish a high standard in neighborhood design and implement it consistently over an entire new community creating an identifiable and unique place.
- Provide a trail system that encourages pedestrian activity and alternative means of transportation: walking or biking on site and in the community at large.

The intent of these Design Guidelines is to be flexible to respond to market conditions, but not compromise quality site development. The flexibility of these Design Guidelines is intended to allow for changes in lifestyles, desired housing types, economic conditions, and overall market influences. The Planning Director shall have the opportunity to make an interpretation on matters not stated within the Specific Plan or on variations of Guidelines or Standards contained within the Specific Plan.

The Landscape Guidelines (see Section 5.7) set the overall theme of the community and compliment the Residential Architectural Guidelines (see Section 5.3). Together, these Guidelines will form a distinctive community offering a high quality development and sense of identity.

The Guidelines incorporate all the elements of the project, including: site planning (Section 5.2), architectural standards (Sections 5.3-5.6), landscaping (Section 5.7), community elements (Section 5.8), walls and fences (Section 5.8.2), lighting (Section 5.3.7), and signage (Section 5.6.1) for the various land uses. In addition, entry treatments, and streetscapes are also discussed in the Landscape Guidelines, Section 5.7.

❖ **Consistency with Countywide Development Standards and Guidelines**

The McCanna Hills Design Guidelines and Development Standards have been inspired by criteria within the Countywide Design Standards and Guidelines, adopted January 13, 2004. Extensive input from County staff has also been sought to ensure the neighborhoods within the Specific Plan meet or exceed the intent and standards contained within the Countywide document.

Therefore, the McCanna Hills Design Guidelines and Development Standards are consistent with the intent of the Design Strategies and Planning Objectives contained in the Countywide Design Standards and Guidelines (Sections I. Introduction, II. Residential, III. Residential Street Design, and IV. Landscape Design Standards). The McCanna Hills Specific Plan complies with the standards, goals and objectives by “creating quality and visually distinctive development responsive to the natural and built environment of Riverside County” (Countywide document, page 6).

As a result, McCanna Hill either meets or exceeds the intent of the Design Guidelines in the following areas:

- Design styles
- Articulation of building facades

- Varied roof planes
- 360 degree architecture
- Varied streetscape design including building heights and rooflines
- Multiple floor plans and elevations
- Variable front yard setbacks
- Rear yard setbacks
- Varied colors and materials
- Garage location and design
- Walls and fencing ¹
- Lighting
- General site plan requirements
- Mailbox design
- Residential design features
- Minimum lot sizes
- Minimum net usable area
- Watercourses and drainage
- Recreational vehicle parking regulations
- Residential street design (street patterns, widths and parkways)
- Bus and Transit
- Landscaping design standards (neighborhood entry statements, corner cutbacks or cutoffs)
- Landscape medians
- Reverse frontage treatments
- Yard landscaping requirements

Section I. (C) of the Countywide Design Standards and Guidelines state that where a residential lot is smaller than 7,200 square feet, the standards and guidelines related to unit location, setbacks, percentage of lot coverage and street frontage may be waived if the project applicants can demonstrate that the Planning Objectives have been met and the development provides a sense of privacy and personal space for each residential unit. Moreover, Section II. (L) 1. Schedule of Design Standards footnote (2) states that projects within Specific Plan areas allow for smaller setbacks on a case-by-case basis, with minimum space determined by UBC requirements.

There are only four areas where the Specific Plan utilized a waiver or modified standards to allow the innovative site planning, building plotting and architecture standards to be achieved within the McCanna Hills Specific Plan. These areas are as follows:

¹ As stated in Section 5.8.2 of the Specific Plan, the philosophy on walls and fences is to minimize the use of walls or fencing, but instead use landscaping such as ivy, hedges, berms, mounding, a combination of berms and low walls or “green walls”. This philosophy is consistent with the Countywide Design Standards and Guidelines Section G. Walls and Fencing which states the “use of ivy or other vegetative material to soften and punctuate the appearance of walls and reduce the likelihood of graffiti is strongly encouraged.”

All walls visible from public view shall be colored block, either tan, brown or other neutral colors that are complimentary to the natural environment of McCanna Hills and planted with vegetative material to create a “green wall”, consistent with the intent of the Countywide Design Standards and Guidelines. Internal fencing not visible from public view shall be either wood or vinyl.

- Minimum front yard setback of 20' reduced to a minimum of 10' for the living portion to allow for architecture forward (recessed garage hidden from public view) plotting.
- Minimum distance between structures reduced from 10' to 8' for the Medium High Density Planning Areas. This allows for a wider architecture footprint which encourages broader, attractive front and rear elevations with deeper rear yards. The Medium Density Planning Area complies with the 10' standard.
- Lot coverage increase of 10% due to the lots being less than 7,200 square feet. This master planned community requires a variety of lot sizes and configurations to meet the demands of a varied market.
- Minimum lot width including cul-de-sac or knuckle widths varies due to the desire to a variety of lot sizes with the architecture facing the street (architecture forward), curvilinear streets, and the desire to cluster the homes to preserve the significant natural features of the hilltops, ridges and outcroppings which exist on site.

The following declarations are based upon the criteria of the Countywide Design Standards and Guidelines to allow development standard modifications.

The McCanna Hills Specific Plan meets or exceeds the required Planning Objectives to allow the four modifications listed above by creating individual Villages or neighborhoods that will be interesting and varied in appearance; by utilizing building materials and enhanced landscaping to promote a look of quality both at the time of occupancy, as well as in future years; requiring efficient use of land while creating high quality communities that will maintain their economic values and long-term desirability as places to live and work; incorporating conveniently located and accessible neighborhood parks, community parks, recreational centers including swimming pools, trails, and open space; and by providing functional public access to recreational opportunities in relation to the overall open space system.

In addition to meeting the Planning Objectives contained in Section I, McCanna Hills Specific Plan Development Standards require a minimum amount of personal, private open space of 500 square feet to 350 square feet based on the lot size, thereby complying with the personal space requirement for each unit.

There are only three areas where exceptions for Specific Plans are not allowed and the McCanna Hills Specific Plan varies from the strict interpretation of the Countywide Design Standards and Guidelines:

- A single story floor plan
- 25% of garage doors to have windows
- More than 3 floor plans for tracts over 50 units

Although a single story floor plan is not being proposed, McCanna Hills' comprehensive Design Guidelines contained in Section 5.3 encourages one story massing on corner lots and the use of single-story elements, such as covered front porches, patios, porte-cocheres and covered side entries. The single story elements will reduce the building mass, add architectural variety and improve the visual quality of the street scene. The two story homes

will contain single story elements which will contribute to the visual quality of the neighborhoods within McCanna Hills.

The Countywide Design Standards and Guidelines require 25% of the garage doors to have windows. It is the intent of the Specific Plan, and illustrated in Section II. B. Articulation of Building Facades of the Countywide Design Standards and Guidelines, to allow the architectural style of the home to dictate the appropriate design of the garage. As illustrated on page 9 of the Countywide document, windows on the garage doors of certain styles would not be appropriate or in character with the architectural style of the home, but appear as forced “add-ons”. Implementing this requirement would conflict with the quality architectural Design Guidelines established for the homes within McCanna Hills. Therefore, this standard is not being implemented.

The requirement for more than three floor plans is a builder option that will be driven by market demands and buyers preferences. The Architectural Design Guidelines contained in Section 5.3 will ensure quality architecture and associated floor plans. The Specific Plan meets the requirement for at least three distinct elevations per floor plan and each elevation may provide modifications to the floor plans. However, it is not the goal of the Specific Plan to enforce a certain number of floor plans with the intent of creating quality homes and architectural variety. This will be achieved by implementing the comprehensive Design Guidelines which require 360 degree architecture, varied building materials and colors, varied plotting and an aesthetically pleasing streetscape.

5.2 Site Planning Design Guidelines

This section sets forth the site design concepts and guidelines for McCanna Hills and is included to provide overall guidance for the development of the community. Developers, builders, engineers, architects, landscape architects and other design professionals shall use the guidelines, as well as the Residential Development Standards (Section 5.4) in order to maintain design continuity and to create an identifiable image when formulating precise development plans.

5.2.1 GENERAL SITE DESIGN OBJECTIVES

- Design lots that allow architectural forward (see Section 5.3.2), recessed garages or rear garage access homes to create a visually interesting, varied and pleasing streetscape.
- Provide a transition between buildings by careful placement and massing of buildings and well-designed plotting patterns.
- Develop compatible relationships between topography, building placement, and existing open spaces.
- Create a distinct sense of neighborhood and place by designing attractive and comfortable street scenes and street spaces.

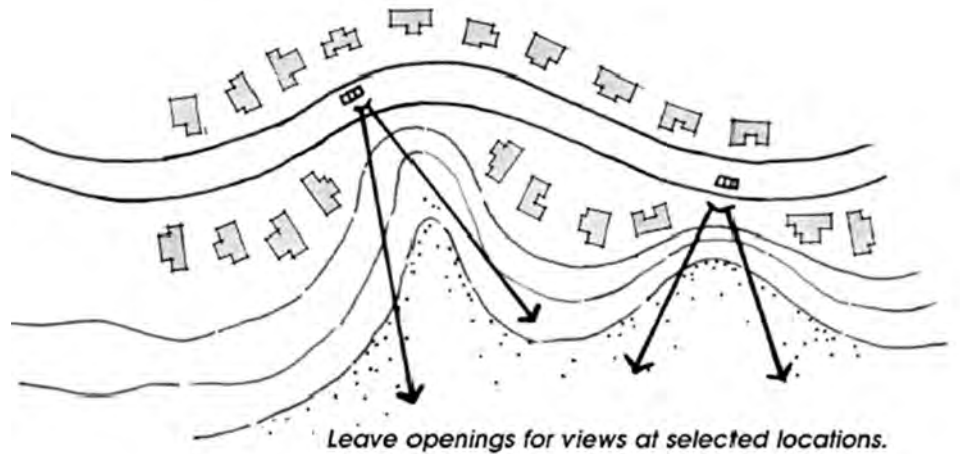
- Incorporate connectivity through pedestrian trails, paths or sidewalks throughout the community.
- Incorporate a variety of recreational and open space areas. The recreation areas should offer a variety of uses from active to passive. The open space areas should also provide a variety of amenities from man-made landscape features to the preservation of existing native vegetation and rock outcroppings.
- Plan and design streets that are visually integrated into the landscape by giving consideration to the natural topography and natural features of the site.
- Create and maintain public view corridors when possible.

5.2.2 SINGLE-FAMILY DETACHED UNITS

❖ **Site Layout**

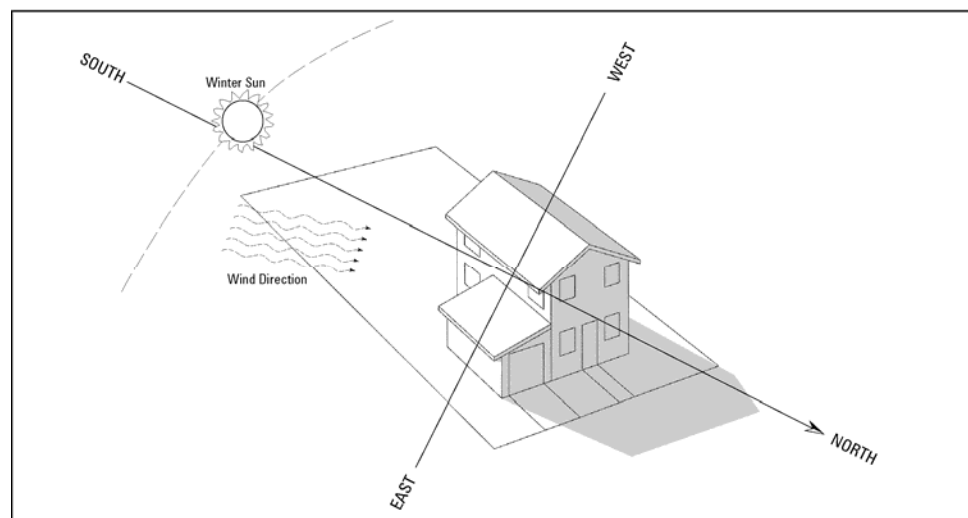
- The building forms will consist of single-family detached or paired development (i.e. 2 pack).
- Building placement and lot layout should be designed to provide a functional relationship to the site's topography, existing vegetation and other natural features.
- Encourage the design of wider, more shallow lots to allow the architecture of the home to be the predominant feature and to reduce the dominance of driveway cuts and garages (see illustrative Typical Plotting Plans, Figures 5-1 through 5-4 in Section 5.4 Residential Development Standards).
- Create a visually pleasing and varied streetscape.
- Create building pads that allow a variation of building placement, varied setbacks, and private outdoor spaces.
- To the extent feasible, lots shall be designed to preserve the natural amenities, such as rock outcroppings and geologic features.

- Where possible, lots should be sited to allow for view opportunities at key locations within the community.



Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.

- Where nonresidential uses are adjacent to residential uses, the specific siting of the nonresidential buildings shall be responsive to the character of surrounding residential properties. A setback buffer should be observed for all buildings to ensure an appropriate interface between the two uses. Buffer planting should also be established to lessen the impacts of adjacent land uses and to create a transition between buildings of different uses.
- When possible, structures should be sited to take advantage of solar and wind efficiencies. To the extent feasible, window openings and living areas should be oriented to the south to take full advantage of the winter sun.



Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.

- Pedestrian links shall be provided from residential developments to adjacent open space, and commercial or common use areas when possible.
- When possible, given the site topography, circulation patterns and overall site conditions, homes should be sited to face onto open spaces, parks or natural amenities within the individual neighborhoods.

❖ **Circulation**

- Provide a clear circulation plan for automobiles, pedestrians, and bicyclists.
- Curb adjacent parkways shall be provided wherever possible to create a more pleasing experience for the pedestrian.



Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.

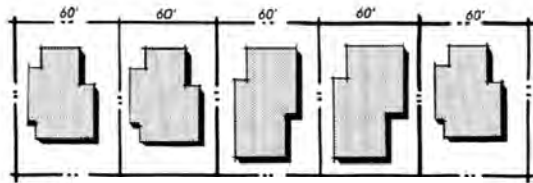
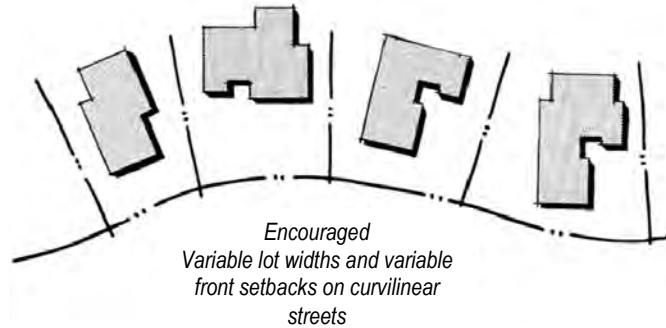
- Landscaped parkways shall be provided throughout the community from major to local neighborhood streets.
- Encourage the formation of cul-de-sacs and the use of curvilinear streets throughout the individual neighborhoods.
- Long, straight streets should be avoided to prevent a linear, repetitious streetscape.

❖ **Street Scene**

- Rear access garages are encouraged when possible to create an architectural forward site design.

- Varied front setbacks of both the garage and living space of adjacent buildings are strongly encouraged to create a visually interesting and aesthetically pleasing street scene.

Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.



*Should be used only in limited instances
 Repetitive lot widths and similar front
 setbacks on a straight street*

- Side drive garages, swing in garages and alley-loaded garages are also encouraged to create an attractive streetscape.
- Buildings on corner lots shall not have the garage located adjacent to the side street.

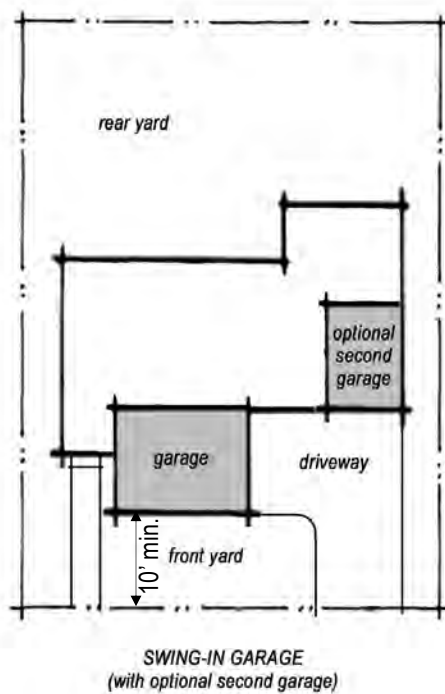
Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.



Rear Loaded Garage



Recessed Front Loaded Garage



- One story floor plans, when included in a development, should be paired together on interior lots and located on corner lots to take advantage of its low mass effect, particularly on interior and corner lots. Single story elements shall be incorporated on corner lots.

5.2.3 SINGLE-FAMILY ATTACHED OR MULTI-FAMILY UNITS

The building forms of the single-family attached, or multi-family residential developments may consist of townhouses, flats, or apartments. These housing types reflect an important housing element of the McCanna Hills project site, offering alternatives to the predominant single-family detached residential homes in McCanna Hills.

Attached developments are to conform to the Residential Architectural Design Guidelines contained in Section 5.3 and shall comply with the development standards set forth in Section 2.0 Specific Plan Zoning Ordinance, Section 4.0 Planning Area Specific Development Standards, and Section 5.4 Residential Development Standards.

❖ **Building Layout**

- Where possible, multi-family developments shall incorporate pedestrian connections to adjoining residential, commercial or other compatible land uses.
- When possible, buildings should be located on corner and mid-block parcels to establish a strong tie to the street frontage. Buildings with angled or plazas are encouraged at corner locations.

- Multi-family uses should be buffered from adjacent uses that may result in negative impacts through the placement of carports, ancillary structures, garages, landscaping, or roads at the property line.
- Placement and design of buildings should facilitate and encourage pedestrian activity.
- Wherever possible, pedestrian and vehicular travel should be separated by a landscaped parkway or other landscaped buffer.

❖ **Massing and Clustering of Units**

- Buildings should be appropriate in mass and scale to the site on which they are placed.
- The design of multi-family residential development shall avoid long, unbroken building facades and make offsets an integral part of the design.
- Multi-family residential and clustered housing facades should include features such as porches, entry doors, window, outdoor living areas or courtyards that relate to the adjacent street(s) to create a welcoming appearance and promote individuality.
- Clustering of buildings should be a consistent site-planning element. Large projects should be broken up into groups of structures when feasible. Continuous elements of various heights in building clusters are encouraged.
- Buildings should be clustered around key focal points such as a recreation area, tot lot or open space area to encourage pedestrian activities and mingling among neighbors.
- As with single-family dwellings, the architectural character of multi-family buildings should be apparent from the street. Visual interest should be created through consistent use of offset building wall planes and architectural elements (windows, doors, balconies and varied roof forms).

❖ **Privacy and Open Space**

- Buildings should be oriented to promote privacy to the greatest extent possible.
- Residents should have access to usable open space, whether common or private, for recreation and social activities.

- When possible, the design and orientation of open space areas should take advantage of available sunlight and prevailing breezes to provide natural lighting and ventilation for open spaces.
- Open space areas should be sheltered from the noise and traffic of adjacent streets to the extent feasible.
- Children's play areas should be oriented to be visible from as many units as possible.

❖ **Street and Parking Layout**

- Parking should be treated as a public space whose character is clearly and coherently delineated by features including, but not limited to: landscaping, lighting, building massing or pedestrian/vehicular circulation.
- Minimize large expanses of parking area.
- Avoid long driveways, alleys or streets without planting. Planting areas and special paving is encouraged to provide relief.
- Create main entries that are clearly defined.
- Encourage curvilinear streets and discourage long straight streets.

❖ **Street Scene**

- Vary setbacks and orientation of buildings to create visual interest along the street scene.
- All parking areas adjacent to streets or property lines should be screened with low walls and/or landscape mounding/berming treatment.
- Orient buildings to streets and walkways whenever possible.
- All mechanical equipment and trash enclosures shall be placed on site to minimize negative exposure of such elements.

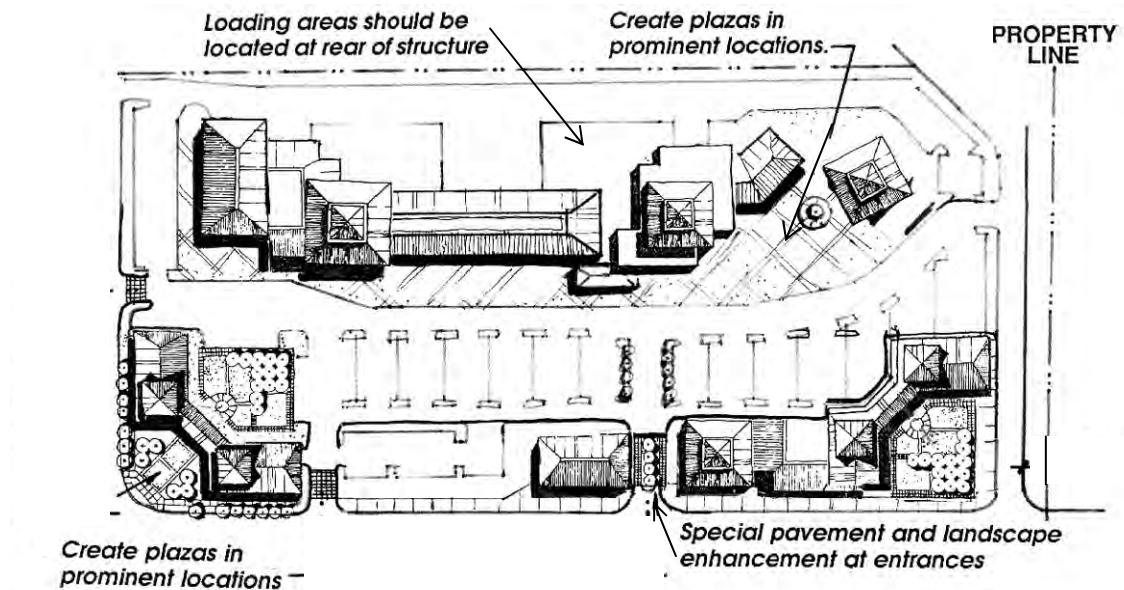
5.2.4 COMMERCIAL

The proposed commercial sites within the McCanna Hills Specific Plan are envisioned to be more of a Town Square or Village type of development. The commercial sites are anticipated to be designed as an extension of the higher density residential, park or open space land to which the sites are adjacent. These sites would be integrated into the community by incorporating similar architecture, site planning and landscape principles of the adjacent land uses described above.

The following criteria should be implemented to ensure the Town Square or Village type of development is achieved:

❖ Site Layout

- Buildings should be designed using simple forms organized around a single element or group of elements (i.e. major spaces, landscape elements, natural features, etc.).
- All design should incorporate the combination of compatible architecture and landscape forms of the surrounding Planning Areas to insure that the commercial development achieves an image that is integrated with the surrounding area.
- Placement and design of buildings shall facilitate and encourage pedestrian activity. Buildings should be clustered to create plazas and pedestrian gathering places when possible.
- Special treatment buffer areas shall occur between varying land uses. These buffer areas should maintain pedestrian travel when appropriate given the transition between the different land uses.
- Primary entries and windows should front public areas such as streets, sidewalks and plazas.



This conceptual design layout is for illustrative purposes only to show design features. It is not intended to be replicated or interpreted exactly as a requirement for site design.

- Parking lots shall be designed to with a clear hierarchy of circulation: major access drives with no direct access to parking spaces; major site access drive with little or no parking; and parking aisle for direct access to parking spaces.
- Strong pedestrian links should be provided from commercial developments to adjacent individual neighborhoods.
- Provide adequate separation between parking and storefronts to allow for comfortable pedestrian spaces.

❖ **Performance Standards**

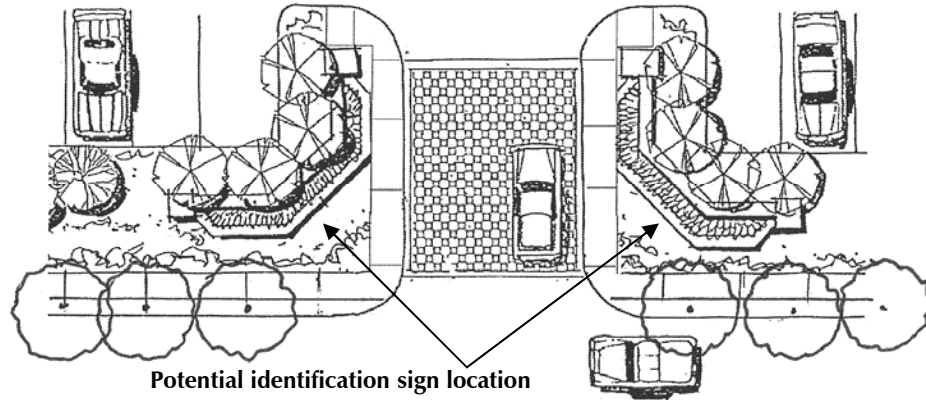
The following performance standards shall also be applied to the commercial sites within McCanna Hills to ensure appropriate interfacing occurs with the adjacent non-commercial land uses:

- Noise. Any proposed use that may generate sounds that may be considered a nuisance to any adjacent property due to the intermittence, beat, or frequency, of the sounds shall have the sources of the noise muffled or otherwise controlled so that the noise is subdued to acceptable levels. No loudspeakers or sound equipment which can be heard from exterior or semi-public areas shall be used on the premises. Construction work is exempt from this requirement during the period a valid building permit is in force.
- Odors, Toxics and Noxious Matter. Any proposed use which produces odors, toxic gases or noxious matter in such quantities that may be readily detectable at any point outside the property lines of the premises, or that may become a public nuisance or hazard, shall be modified to prevent such releases.
- Trash enclosures shall be located on site (i.e. in parking lots) so that any potential odors will not adversely impact adjacent residential dwelling units or open space areas.
- Glare. Any proposed use that constitutes or may be considered a nuisance or hazard on any adjacent property due to emittance of excessive light or glare from reflective materials used or stored on the site shall be shielded or otherwise modified to prevent such emission. Lighting in parking areas shall be arranged to prevent direct glare into adjacent dwelling units and onto neighboring uses.

❖ **Site Entry Design**

- Entry areas to commercial development shall be enhanced by features including but not limited to the following: landscaping, decorative paving, raised medians, gateway structures, and monument signage.

- Main access drives shall include pedestrian access on at least one side of the driveway (unless provided elsewhere on the site) and a landscape parkway on each side of the driveway.



This conceptual entry layout is for illustrative purposes only to show possible entry features. It is not intended to be replicated or interpreted exactly as a rigid formula for entry design.

- Loading and service areas should be provided with separate access and located away from vehicle and pedestrian circulation when possible.

❖ **Street Scene**

- Parking shall not dominate the street scene. Parking shall be screened from the public view with features including but not limited to the following: landscaping, berms or low walls. Landscaped berms are encouraged along side streets.
- To unify the site, use common site design elements such as lighting, signage, enriched paving, and landscape treatments.
- Articulate the face of a building to provide visual interest and a pedestrian orientation to the building.
- Loading zones and exterior storage areas (trash enclosures) should be screened and sited in such a manner to minimize the exposure to adjacent streets, highways, and sensitive uses.

5.3 Residential Architectural Guidelines

Throughout the planning of the McCanna Hills Specific Plan, the underlying design philosophy has been to create a strong community character and quality that reflect the context of the region, the surrounding community, and the site's environmental features. The integration of quality site planning, architecture and landscaping into neighborhood design is a fundamental goal for the Specific Plan. The Specific Plan includes detailed discussion of Design Guidelines, Development Standards and Design Intent and Elements to create a "Great Neighborhood".

5.3.1 DESIGN INTENT AND ELEMENTS OF A "GREAT NEIGHBORHOOD"

The goal is to promote both visual compatibility and variety in a community setting achieved by utilizing a number of compatible traditional and contemporary styles. The principal design criteria and architectural styles are not intended to be restrictive, but are meant to assist in the design process. The Site Design Guidelines contained in Section 5.2, along with the Residential Development Standards in Section 5.4 and the following Residential Architectural Guidelines will result in quality site planning and architectural design that creates unique and desirable communities within the McCanna Hills Specific Plan.

The following are intended as parameters for concept designs:

- Create quality architectural designs and execute them consistently throughout the community.
- Create neighborhood designs that integrate architecture, site planning and landscape.
- Ensure that streetscapes and street spaces are attractive and comfortable.
- Encourage the specific use and selection of details that correlate well with the designed floor plan and elevation.
- Encourage the use of single-story elements, such as covered front porches and covered side entries.

The following parameters are to be avoided in concept design:

- Harsh contrasts of materials and/or colors.
- Out of scale design.
- Poor selection and execution of details.
- Extreme interpretations of the characteristics for each style.
- Lack of window treatments, which result in flat, blank walls specifically on the rear elevations and side elevations, visible from public views.

The interweaving of two concepts; Innovative Architectural Concepts and Successful Site Design Techniques produce Great Neighborhoods. The important elements of a Great Neighborhood as listed in two groupings below are strongly encouraged throughout the community of McCanna Hills. These elements are discussed in more detail below.

SUCCESSFUL SITE DESIGN TECHNIQUES

Variable lot sizes and setbacks
Curvilinear streets
Curb separated sidewalks
Street trees program
Pedestrian connections

INNOVATIVE ARCHITECTURAL CONCEPTS

Architecture forward
Varied garage placement
Eclectic variety of compatible architectural styles
Varied roof heights and pitches
Color palettes selected per styles – over time,
the addition and deletion of color schemes
create a unique feel

It should be noted that the above elements are not designed to create a rigid framework, but to provide concepts for a Great Neighborhood. Additionally, there may be some overlap in describing these elements in the following sections.

5.3.2 ARCHITECTURAL FORWARD STANDARDS

“Architecture forward” as defined in this Specific Plan is expressed as follows:

1. Advancing the architecture of the living spaces forward on the lot, while concurrently, the garage is held in place; or in some instances, the garage may be further recessed.
2. Planning the living spaces of the home in front of the garages such that the predominant features of the home fronting the street are the windows and the front door.
3. Providing articulation on two-story homes facing streets and other areas exposed to public view.
4. Incorporating a variety of garage layout solutions to mitigate the visual impact of garages on the fronts of the homes, such as garage wall plane furrouths, screened garage door elements, shallow mid, and deep-recessed garages, rear garage access, porte-cocheres, tandem garages (tandem spaces do not count toward fulfilling the minimum parking requirement), split garages (including swing-in), and side-on garages.

The above outlines general guidelines for designing homes in McCanna Hills. For more detail, please refer to Section 5.3.4 Principal Design Criteria including Plotting, Siting, Massing and General Neighborhood Criteria and Garage Placement. See Section 5.3.5 Architectural Features and Section 5.4 for Residential Development Standards.

5.3.3 ARCHITECTURAL STYLES

The architectural styles which have been chosen for the McCanna Hills Specific Plan have been used and evolved in California since the turn of the century. Their inherent attractiveness, informality and charm have enabled these styles to remain popular in California over a long period of time.

The proposed architectural styles include, but are not limited to the following:

- Monterey
- Spanish Eclectic
- American Farmhouse
- Colonial
- Craftsman
- European Cottage
- Italian Revival

Additional styles are permitted, provided they meet the intent and maintain the same quality as outlined in the Design Guidelines. The architecture of McCanna Hills will have articulation on all sides or 360 degrees as defined in Section II (D) of the Riverside Countywide Design Standards and Guidelines which states “Architectural design treatments such as building offsets, recessed windows, trellises, overhangs, or other features shall occur on those façade of the residence that are visible from streets or open spaces.”

It should be emphasized that the information and examples provided for the architectural styles on the following pages are representative of design concepts and architectural features envisioned for the McCanna Hills Specific Plan. The examples on the following pages identify styles and architectural elements that are recommended for the McCanna Hills Specific Plan. Elevations will be modified, when necessary, to accommodate for varying lot sizes, widths, and depths. These architectural concepts may be subject to future refinements based upon economic, marketing, detailed engineering and other factors. County approval is required for any proposed changes or additional architectural style(s). The drawings shown are not intended to be exact duplicates of the future product types for McCanna Hills, but they are intended to reflect representative design elements.

The following style elements for each of the architectural styles proposed are strongly encouraged and appropriate for various neighborhoods throughout the Villages of the McCanna Hills Specific Plan.

PREFACE

The architectural design guidelines herein are considered a minimum of necessary information about the quality and direction of architecture for the McCanna Hills Specific Plan document. This Design Guideline document is intended to provide inspiration and standards for all residential architectural development in McCanna Hills including new buildings and future phases of residential development. Builders should familiarize themselves with the design standards in this document as well as County of Riverside codes, ordinances and approval regulations. In the event there are any conflicts between the design guideline information and the County of Riverside standards, the County standards shall take precedence.

VISION FOR THE COMMUNITY

The design character of the neighborhoods will be one of continuity, individuality and compatibility. Architectural continuity and compatibility will be achieved by the following: a) Provide a cohesive color palette for the varied styles of homes. b) The home, not the garage will remain the primary emphasis of the front elevations and collectively the overall street scene. c) Roof forms and massing shall create the desired style recognition and individuality rather than mere decoration on the front of the house. d) Garage placement may vary from the front of the home to the mid point of the home and to rear of the home including detached garages where appropriate. e) Limiting the number of styles per neighborhood. These concepts bring about community wide neighborhood designs that “feel right” and become part of the existing fabric of the greater community in the County of Riverside.

GENERAL NOTES

There are a few items and some specific goals listed next that apply to all architectural styles and all general neighborhood development.

Neighborhood Goals:

1. Homes will have varied setbacks along the street
2. Homes will have reversed plotting
3. Homes will have enhanced side elevations at corner lot plotting
4. Neighborhoods should minimize all boundary walls around the various projects to increase the sense of compatibility and continuity of the larger overall development

ARCHITECTURAL STYLES PALETTE:

- | | |
|-----------------------|--|
| 1. Monterey | 5. Craftsman |
| 2. Spanish Eclectic | 6. European Cottage |
| 3. American Farmhouse | 7. Italian Revival |
| 4. Colonial | Note: Builders may introduce additional styles on a per project basis conditioned on approval. |

SPECIFIC ARCHITECTURAL ITEMS:

- a) Exterior stucco finishes shall be defined as described by the Plaster Information Bureau of Los Angeles
- b) Avoid lace finish stucco on homes
- c) Window patterns – as determined by the style of the home and shown on the front elevation shall also be used at the second floor level of the home on all sides where visible from public view
- d) Window mullions, the dividing members between the panes of glass will vary as described by the each architectural style
- e) Single pane windows can be used in areas that are not highly visible on the home. Single pane windows may be fixed glass windows or operable windows but they do not have mullions dividing panes of glass.
- f) Garage doors facing the street should be recessed from the wall plane at least eight inches.
- g) Roof materials in a neighborhood should vary in shape and in color to avoid monotony
- h) Chimney flue spark arrestors should be disguised with a decorative metal shroud when visible from the street.
- i) When shutters are used on a front elevation they should be realistic in appearance. Size the shutter to the length and width of the window it is attached to. Shutter to have a thickness of not less than 1.5 inches in depth and when hardware is used it should be applied to appear functional.
- j) If an accent on a home is applied stucco on a furred out base, then the base should be greater than a minimum of twenty four inches high
- k) Accent materials such as decorative exterior lighting fixtures, wrought iron balconies, door lintels, pre-cast door and window surrounds, brick or stone veneers should be selected and modeled to support or enhance the style recognition of the home.
- m) Avoid generic design and patterns to increase the individuality of the home.

CONCLUSION:

The implied quality expectations and architectural standards found in these design guidelines are to promote the development of community enhancing neighborhoods within McCanna Hills. This document cannot individually address problems or opportunities that may occur later with each site under development in McCanna Hills. The design guidelines are not intended to list or illustrate all possible solutions to each and every situation. However, the design expectations and architectural standards identified herein do express and promote quality and innovation for all the future development in McCanna Hills. This document in turn will assist in the creation of livable neighborhoods of an enduring characteristic and value.

MONTEREY



Old version



Current version



MONTEREY

Monterey style homes are always two-stories with front to back low-pitched gable roofs and sometimes with one forward facing gable. Appendages to the main massing of the house may be covered with a shed roof. A second-story balcony is the distinguishing feature of the Monterey Style. The balcony, which is found on the front elevation, is usually cantilevered and covered by a principal roof. Occasionally, a balcony may be covered by a secondary roof at a lower pitch. The massing of the home is commonly a two-story rectangular shape with a one-story appendage found at the front, side or rear of the home.

DOORS & WINDOWS

Door and window surrounds are miniscule or nonexistent in this style. Feature windows are often paired, full-length casement having shutters attached to them.

MATERIALS

The body of the home is wrapped in a Monterey finish stucco or light sand finish stucco. On the front elevation, accent materials such as rustic appearance brick can be used on the first floor level only. The second floor level accent material should be board and batten, which is located under neath the balcony roof. The roof materials used in this style are a flat concrete wood-appearance shingle.

DETAILS

A full-width, covered balcony at the second floor is the most identifying characteristic of the Monterey Style. The balcony is usually comprised of an odd number of bays separated by thin posts. Lightweight posts and railings are simple or lightly decorative wood shapes, giving it a lightweight feel. Knee-braces and trim are often added to accentuate these columns. Occasionally, columns are installed below to support the balcony.

SPANISH ECLECTIC



Old version



Current version



SPANISH ECLECTIC

Low-pitched gable roofs are commonly used in the Spanish Eclectic Style. The homes are primarily one-story, but more recently have been found to be two-story homes. Facades are generally asymmetrical and typically have one or more arches placed above the front door and any prominent window. The massing of the home is multifaceted. It can be made up of simple rectangular forms, or it is also acceptable as an L-shaped, U-shaped or H-shaped form.

DOORS & WINDOWS

Doors patterns are rustic in appearance and made up of vertical planks or simple rail and panel patterns. Occasionally columns or pilasters are placed adjacent to the entry door for emphasis. Vertical shape windows are common, sometimes having shutters as accents. Windows may also have arches above them at the first floor level but not at second floor level. The feature window for this style is a large pane picture window.

MATERIALS

The body of the home is always stucco, with a light to medium sand finish. Wood-appearance fascias and rafter tails are commonly used. Other decorative accents such as shaped rafter tails often extend beyond the roof eave. The roof is usually is a concrete barrel tile or real clay tiles, and can be laid in an irregular pattern.

DETAILS

Decorative window grills, wrought iron balconies and cantilevered wood-appearance balconies are identifying characteristics of the Spanish Eclectic Style. Other typical details include decorative ceramic tiles at entries, gable end vents and elaborate chimney tops.

**AMERICAN
FARMHOUSE**



Old version



Current version



AMERICAN FARMHOUSE

The American Farmhouse is always a two-story home with a medium to steep pitched roof. The roof form is made up of one main gable roof with intersecting, front-facing gables. The massing usually consists of two intersecting rectangular forms in an L-shape. This specific style massing is also found to have different forms such as a main body mass supporting one-story appendages.

DOORS & WINDOWS

Front doors are usually wood-appearance, raised panel with an occasional accent window. Unarticulated window and door surrounds are common in this style. Windows are often tall, narrow and multi-pane. The feature windows for this style are most often paired window. Bay windows are also acceptable.

MATERIALS

The body of the home is usually horizontal lap siding, but a stucco home is also acceptable when properly detailed. For this style, roofs are flat concrete tile or architectural grade asphalt shingles.

DETAILS

The gable roof and front porch are the most important characteristics of the American Farmhouse Style. This home usually has a full-width front porch. However, a partial-width front porch is also used. A wrap-around porch is acceptable as a feature accent. The porch is usually raised and undecorated stick columns support the porch roof. When the porch is not raised, above-grade railings are optional. Gable roof dormers are a common roof treatment in this style.

COLONIAL



Old version



Current version



COLONIAL

Colonial Style houses are generally symmetrical, two-story homes with medium to high-pitched roofs. The roofs are usually front to back or side-to-side gable roofs and occasionally hipped roofs are allowed. Avoid mixing gable and hip roofs. Colonial Style homes can be varied in massing. Usually, they are a dominant two-story form with offsetting appendages, which could be either one or two-story.

DOORS & WINDOWS

Raised panel front doors are often located in the center of the façade while the windows are evenly proportionally distributed across the front elevation. Rectangular, double hung windows are often used, always with multi-pane glazing. They are frequently laid out in pairs. Feature windows are noticeably absent in this style.

MATERIALS

The body of the home is traditionally wrapped in siding or stucco, although some examples are found to be a blend of both materials. Stucco should be a light sand finish. Accent materials are most commonly traditional brick or occasionally stone veneer, although sometimes they are both used.

DETAILS

The principal areas of elaboration are the entry, cornices and windows. Cornices are a striking characteristic of the Colonial Style. They are part of the boxed roof-wall junction and have little to no overhang. Dentils are often used to emphasize this feature. As an accent feature, the front door may have a decorative crown supported by pilasters. Sometimes columns are used instead, thus creating an entry porch. Shutters are also common for this style.

CRAFTSMAN



Old version



Current version



CRAFTSMAN

Craftsman style homes are one and two-story homes with side-to-side or front to back low-pitched gable roofs. They are also found to have cross-gabled roofs in some cases. Whether it is a one or two story home, variations in the massing may occur. The massing can be L-shaped or be a principal two-story mass with one-story appendages like porches or porte cocheres

DOORS & WINDOWS

Craftsman style doors are usually rustic panel and rail patterns and often have side accent windows. Vertical shaped windows are common, which have multi-pane glazing and wide trim surrounds. Feature windows are commonly ganged in pairs.

MATERIALS

It is not uncommon for Craftsman Style homes to be wrapped in siding, stucco or a blend of both. Stone, brick and stucco are commonly used to accentuate the facade. Square, wood columns rest upon massive piers, which are made up of a stone or some other contrasting material. Roofs are generally architectural grade asphalt shingle or flat concrete tile.

DETAILS

Full or partial-width porches with tapered columns are the most identifiable characteristic of the Craftsman Style home. The columns rest on pedestals which extend to ground level, without a break at the porch floor. Roof rafters are usually exposed and the eave overhangs are open. Dormers are commonly gabled with exposed rafter ends and braces. Decorative beams are added under the gables as an accenting feature. Frequently, rafter tails are cut into decorative shapes. Triangular knee-braces can also be used to embellish the facade.

EUROPEAN COTTAGE



Old version



Current version



EUROPEAN COTTAGE

European Cottage homes are generally two-stories and have steep pitched roofs. The roof shapes are either gable or hip forms or sometimes have a blend of both. The massing has many variations in the first and second floor offsets. The massing breaks can be either vertical or horizontal or occasionally a blend of both.

DOORS & WINDOWS

Doors have a rustic wood appearance and are made up of raised panels or vertical planks. Decorative door surrounds are common in this style, they usually have a wood-appearance or are made up of pre-cast concrete forms. Windows are often tall, narrow, and multi-paned and densely divided. Window trim surrounds usually have a wood-appearance or no trim at all. Bay windows are a trademark of this style and are considered feature twindows.

MATERIALS

The body of the home is most often stucco-wrapped with a light to medium sand finish. Brick accents, if used, should be contained to the first floor level. In this style, roofs have a concrete tile or architectural grade asphalt shingles.

DETAILS

Sculptural wrought iron exterior light fixtures and decorative half-timbering panels are used in the European Cottage Style. Detailed chimneys and shed roof dormers are decorative accents used in this style. Eave and fascia details can be curved or boxed plaster, or continuous fascia boards.

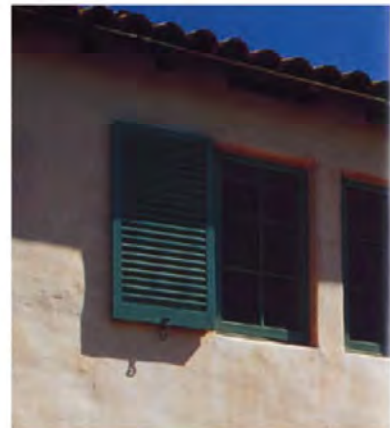
ITALIAN REVIVAL



Old version



Current version



ITALIAN REVIVAL

Italian Revival Style homes are always two-story homes with low-pitched hip roofs. The homes usually have a second-story window balcony as an accent feature. The massing of the home is traditionally rectangular-shaped and two stories. Occasionally Italian Revival homes are found to be L-shaped and U-shaped.

DOORS & WINDOWS

Doors are usually wood-appearance raised panel. The entry is commonly covered and contained by a deep recess. This adds to the strength and density of the style. Wood-appearance headers or stucco trim - surrounds are usually found on windows. Shutters are sometimes used with balconies accenting the windows. Feature windows of this style are paired or bay windows.

MATERIALS

The body of the home is fully wrapped in stucco, while other examples may be wrapped in siding or brick but not blended materials. Light sand finish stucco is used to reflect the elementary shape of the building style. Shaped 'S' roof tiles are the standard for the roof material. Wrought iron is the accent material for balconies and other forms of ornamentation such as light fixtures or shutter hardware.

DETAILS

Thickened walls and arches are common accents for the Italian Revival Style. Chimneys often have decorative caps made of stucco, stone or brick veneer. Shutters are used commonly to accent the front elevation windows, and ornamental iron is used for balconies. Elaborate rain gutters with downspouts are unique details, which accentuate the wide roof overhangs. At the roof overhang, cornice details include shaped corbels or dentils.

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5.3.4 PRINCIPAL DESIGN CRITERIA

The architectural Design Guidelines described within this Specific Plan document have been created to direct the developmental outcome of the community of McCanna Hills. It is a goal of the Design Guidelines to create a unique community, yet reminiscent of the heritage of the area. It is the intent of these guidelines to offer conceptual architectural elements that architects, builders, developers and other design professionals can utilize in order to maintain design continuity and create identifiable neighborhoods within the Villages of McCanna Hills.

One important goal of these guidelines is to create a street scene possessing both functional and visual variety—having more of the architecture fronting the street. Plotting and massing, garage placement and building elevation criteria all contribute to the variety in appearance, as well as a sense of individuality for each detached home. Projects where nearly identical buildings line the streets without variation in placement and architectural form are prohibited.

The following sections list Plotting, Siting, Massing and General Neighborhood Criteria techniques which will aid in the creation of a “successful street scene.” Although, the majority of the McCanna Hills neighborhoods will be single family detached product, these techniques would also apply to multi family or attached product, as appropriate. While it is not necessary that every method be utilized, selective and appropriate use shall greatly contribute to achieving the desired results.

❖ Plotting, Siting, Massing and General Neighborhood Criteria

The required characteristics listed below summarize the desired community setting and streetscene for the neighborhoods within the Villages of McCanna Hills:

- Buildings should be placed with consideration given to the topographic and environmental opportunities and constraints of the site.
- Design streets that are sensitive to the natural topography and amenities on site (i.e. curvilinear street versus long, straight streets).
- Shorten streets and provide curb separated sidewalks (Exhibit 5.13).
- Minimize the visual impact of the garage.
- Give attention to composition of building mass.
- Step back second stories and varying roof planes when appropriate given the architectural style of the home.
- Incorporate single story elements into two story buildings.

- Provide innovative plans and avoid repetitious plans and footprints.
- Open corner lots through selective plan form, single story architectural elements and a larger landscaped parkway.

❖ **Architecture Forward / Recessed Garages**

- Home sites are encouraged to be wide enough to allow the “living” portions of the house to be pulled forward on the lot so that architecture can visually dominate the street scene.
- House designs are encouraged to place entries, windows, front porches, and living areas directly adjacent to the street on most plan variations.

❖ **Variable Front Yard Setbacks**

A varied setback is encouraged along the street frontage to create a visually interesting and pleasing neighborhood street scene (i.e. vary setbacks at porches, living, and garage areas). Strict compliance to the minimum garage setback is discouraged so as not to contribute to a repetitious and monotonous appearance along the street.

❖ **Variable Lot Sizes**

Where possible and appropriate, vary lot sizes to increase buyer selection and variety in house and lot size combinations. Variations in lot widths are recommended to encourage a variety in building plotting and architectural styles, provided the average lot size is maintained.

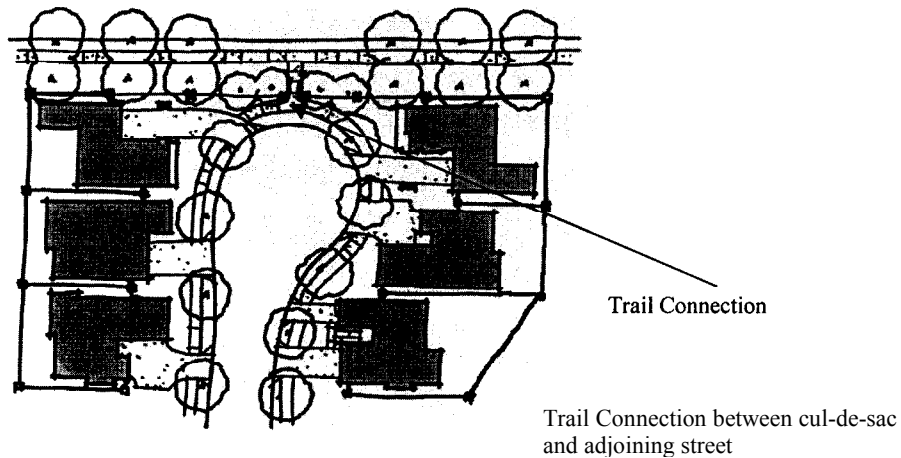
❖ **Neighborhood Edge Treatments**

In order to avoid a continuous “walled” character along residential arterial and collector streets, special treatments will be required in selected locations. These may included but not be limited to the following: open cul-de-sacs, view fencing (see Section 5.8.2 and Exhibit 5.16B), hedges, shrubs, neighborhood street tree programs, trail connections (see below), and variable wall alignments and treatments (see Section 5.8.2).

❖ **Pedestrian Trail Connections and Linkage**

All neighborhoods within the various Villages shall be laid out in a manner which, provide connections into the community trail/paseo system, where possible, given the topography of the site.

Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.



❖ **Garage Placement**

The home living components and the yard, rather than the garage are encouraged as the primary emphasis of the elevation as seen from the street. Each planning area should incorporate a variety of the garage placement conditions.

❖ **Corner Plotting**

Corner lots should have the flexibility to reposition the entry and garage to the exterior side yard.

5.3.5 ARCHITECTURAL FEATURES

❖ **Building Form, Mass and Height**

All building designs shall incorporate the appropriate proportion of form, mass and height to be sensitive to the street, the pedestrian and the natural environment of the site. Consideration given to these elements will create quality neighborhoods and attractive streetscapes. The buildings should incorporate a combination of the following design features to achieve this goal:

- The use of one-story elements such as porches or arcades is encouraged.

- One-story massing on exposed side and front elevations is encouraged on corner side lots.
- Building forms should be designed to create and define a visually attractive and functional exterior.
- The overall scale and design of the building in individual neighborhoods should be compatible with each other in terms of mass and form.
- Enhanced architectural elements (i.e. recessed windows, shutters, structural projections) are strongly encouraged when exposed to public view or adjacent to open spaces.
- Large expanses of unarticulated building facades shall be avoided by incorporating varying setbacks of the building footprints and articulating building elevations.
- Projecting architectural features such as bay windows, offset roof planes and similar features should be used to create vertical and horizontal building articulation.
- A variety of shapes and forms such as chimneys, balconies, porches, patios, exposed trellis, dormers, rafters and planter boxes should be incorporated, when appropriate, to breakup the building mass.
- Stepping of the second story is encouraged to reduce the building mass and to improve the street scene, when appropriate given the architectural style of the home. For example, the second story can be set back in relation to the garage face below it.
- Locate and design structures at a scale and function that enhances and encourages pedestrian activity.
- Attention should be given to the composition of the building mass. Box-like designs are prohibited, except when appropriate to the architectural styles

❖ **Shade and Shadow**

The buildings should be situated on site to maximize the natural light, sun exposure and shade to the extent feasible given the topographic opportunities and natural amenities of the site. Therefore, the following considerations should be incorporated to maximize the benefits of proper building orientation and the environmental opportunities of the site:

- Buildings should be oriented to take advantage of the natural light, heat, shade and shadow which will help reduce energy consumption and encourage energy conservation.

- Lot size and configuration should consider future orientation of a structure to take advantage of shade and prevailing winds, when possible given the lot configuration and topography of the site.
- Covered entries, balconies and porches should be incorporated to provide shadow and shade for each residential unit, to the extent feasible.
- Windows shall be framed with compatible materials to create well-defined edge treatments and be designed to provide distinctive shadows on the building facades, when appropriate given the architectural style of the home.
- Landscaping should be planted near the buildings to provide shade, shadow and reduce pavement, when possible.

❖ **Building Relief**

The building design shall be sensitive to the visual character of the elevations, the street scene and the pedestrian. In addition, the building facades shall be detailed to avoid long, plain surfaces. A combination of the following Design Guidelines shall be incorporated to create building relief and a visually pleasing streetscape:

- Wall surfaces shall contain a variety of articulations, such as offsets, projections, penetrations, or change of surface textures to reduce the apparent scale and provide visual interest.
- Design features such as pillars, columns, trellises, bay windows and other architectural features should be incorporated into the building elevations, when appropriate given the architectural style.
- Second stories should be stepped back or have projected elements to add relief to the higher building elevations.
- Roof planes shall be varied in size and pitch to break up the building elevation and create a quality streetscape.
- Entries should be covered, recessed or projected from the building to be clearly defined and add relief to the front elevation.
- Recessed doors, windows and wall openings should be used to create a sense of depth and shadowing for visual variety and interest.
- Balconies and porches are strongly encouraged to articulate and enhance the building elevations.

❖ **Building Materials and Color**

The design of structures should incorporate building materials that are consistent with the overall architectural styles envisioned for McCanna Hills. Colors of building materials should be compatible with, and provide accent to the natural environment. Bright or non-earthtone colors should be avoided, except as accents. Buildings are encouraged to have at least three (3) color schemes for the main structure, trim and fascia.

- All building surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches or balconies in their entirety.
- Material changes should occur at inside corners. Materials applied to any elevation should turn around the outside corner of the building a minimum of two feet (2') before terminating.
- Colored accents are encouraged, especially on balcony rails and trim, provided that they are appropriately integrated in an overall design program. Accent materials may include, but not limited to, wood, wood like materials, iron, brick, tile, and appropriate stone veneers.
- Contrasting colors, either lighter or darker than the main body color of the residence are encouraged for trim and accent elements such as fascias, eaves, doors, shutters, window trim, porch trails, garage door, etc.
- Three or more color schemes per neighborhood are required.
- Materials are to be durable and sympathetic in scale and aesthetics to enhanced the overall quality of the project.

❖ **Building Details**

- Detail elements such as shutters, exposed rafter tails or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and/or other similar features are encouraged to provide visual interest to the residential architecture consistent with the architecture envisioned for McCanna Hills.
- Exposed gutters and downspouts shall be colored to match or complement the surface to which they are attached.
- Where possible, flashing, sheet metal, vent stacks and pipes shall be positioned away from public view and painted to match the adjacent building surface in order to minimize any visual impact, unless appropriate given the architectural style or floor plan of the home.

❖ **Doors and Windows**

- Recessed door, window and wall openings are encouraged at all front elevations, and other side or rear elevations as viewed from public streets, when appropriate given the architectural style of the home.



- At least one (1) primary window is required on front elevations and shall be determined based on the style of the home. In general, primary windows are defined as one of the following:
- A prominent window recessed a minimum of twelve inches (12") or having a minimum twelve inches (12") pop-out surround.
- A bay window with a minimum twelve inch (12") projection and detailing appropriate to the architectural style of the residence.
- A minimum twelve inch (12") deep pot-shelf with corresponding roof element and corbels.
- An overhead trellis projecting a minimum of twelve inches (12").

- Decorative iron window grille projecting forward of the wall plane a minimum of twelve inches (12”).



- Rear elevations that are visible from the neighborhood perimeter require the use of at least one (1) primary window as defined above. The use of shutters is an acceptable primary window treatment on perimeter visible rear elevations when used in conjunction with a minimum twelve-inch (12”) deep pot shelf or other form of surround or articulation. Side elevations that are visible from streets or open spaces are encouraged to have a principal window.
- Aluminum or vinyl extruded frame windows should be appropriately colored to match or complement the house or trim colors.
- Glazing may either be clear or tinted. Reflective glass is not permitted

❖ **Porches, Arcades and Entryways**

- Front porches are encouraged in order to create an inviting neighborhood street scene and promote friendly interaction among neighbors. Each neighborhood should have at least one (1) elevation per floor plan that features an at-grade front porch.
- Porches are encouraged to have hand railings and shall be fully covered in one of the following ways:



- Roof element and tile matching the residence.
- Trellis structure.
- Second floor balcony or overhang.

- Second story balconies are encouraged to provide further visual interest to the street scene, and to increase the perceived front setback of the second story, when appropriate given the architecture of the home.
- Porches and balconies shall be designed as an integral component of the building's architecture.



❖ **Roof Form and Materials**

The dominant impact of a structure is the shape of the building and the roofline. The roof form is a key component in creating a quality, visually interesting street scene. Attention should be given to the articulation of the roof planes to minimize the visual impact of repetitious flat planes, similar building silhouettes and similar ridge heights. A combination of the following Design Guidelines should be incorporated to contribute to an aesthetically pleasing roofscape:

❖ **Form**

- Roof treatments should be consistent with the architectural style of the dwelling.
- A variety of roof design and treatment is required to provide visual interest to the neighborhood roofscape throughout McCanna Hills, including but not limited to the use of gable, cross-gable, hip or a combination of these roof forms.
- A variety in rooflines is required to avoid a common roof line along neighborhood streets. Rooflines of adjacent residences are required to vary ridge heights, roof forms, and direction of gables.
- Repetitious gable ends framed side to side on rear elevations is discouraged along the perimeter edges of residential neighborhoods.
- Minimum overhangs should be twelve inches (12").

- The main roof slope should be different from the secondary roof element. Varying roof slopes are encouraged and should be determined by the architectural style of the home.
- Roof mounted mechanical equipment shall not be permitted.
- Solar panels are to be integrated into the roof design and have surfaces that are flush with the underlying roof surface. Frames must be colored to complement the roof color. Any solar panel and its accompanying support equipment may be allowed subject to the approval of the master developer of the Village and approval by the Directors of the Planning Department and/or the Building and Safety Department for the County of Riverside.
- Accessory structures shall have roof forms similar to or compatible with the primary structure on the site.
- Skylights are permitted, but shall be designed as an integral part of the roof. Commercial style white “bubble” skylights are not permitted. Skylight framing material should be bronze anodized or have an integral color matching the roof color.

❖ **Materials**

- A variety of roof materials is encouraged throughout the Villages of McCanna Hills in order to avoid monotonous roofscape appearances. Depending upon the architectural style and/or roof pitch, roof materials may include barrel shaped clay or concrete tiles, shakes, and slate. In addition (subject to the approval of the Planning Director), composition shingle with a high profile sculptured relief is permitted when compatible with the architectural style of the residence.
- Roof materials shall be compatible with the architectural style of the dwelling. The Monterey style would generally use barrel shaped roof tiles whereas Craftsman would generally feature flat concrete tile.
- Roof materials should have a matte type finish to minimize glare.
- Fascias may either be wood, stucco or tile. If wood is used, it shall be stained or painted.
- Prohibited roof materials include wood shake, fiberglass shingle, simulated tile (including fiberglass or metal), and rolled roofing material.

5.3.6 ACCESSORY STRUCTURES

Accessory structures such as recreation rooms, trellis, benches, bicycle racks, mailboxes, and signs can add charm to a neighborhood. Accessory structures enhance the pedestrian

experience and add character to the streetscape. They also help create continuity among different architectural styles.

The following guidelines should be incorporated throughout the project:

- Patio trellises, arbors, sunshades, gazebos, and other accessory structures shall be consistent with the colors, materials and architectural style of the main structure.
- Accessory structures or street furniture shall be durable, easy to maintain and are designed at a scale that is pedestrian oriented.
- Distribute street amenities along the street scene to help lead the pedestrian and improve the overall experience of the pedestrian walking throughout the neighborhood.
- Exterior stairs shall be designed to be incorporated into the theme of the structure and be a natural extension of the building.

❖ **Mechanical Equipment**

- Mechanical equipment such as air conditioning condensers and air handlers, heaters, evaporative coolers, television and radio antennae, and other such devices shall not be mounted on the roof or visible from the front elevation.
- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.
- All ground mounted air conditioning units must be located behind side yard return walls, and not located within any required side yard setback area, or impact side yard drainage. An appropriate location for air conditioning units is at the rear of the structure.
- Satellite antennae may be installed but subject to the approval of the master developer and shall be further restricted within Conditions, Covenants and Restrictions (CCR's) placed upon the site.

❖ **Mailboxes**

- Gang-style mailboxes in group sizes acceptable to the U.S. Postal Service are allowed. The Postmaster shall approve all mailbox locations.
- Installation of cast iron, cast aluminum, brick, or slump-stone encased curbside mailboxes are encourage, however, all mailbox designs are subject to U.S. Postal Service approval.
- Covered trellises over mailboxes are encouraged.

❖ **Trash Storage Areas**

- Trash receptacle areas shall be completely screened from public view. This requirement shall apply to individual residential lots as well as multi-family and commercial developments.
- Trash enclosures are to be located in discrete places to the extent feasible.
- Trash enclosures shall be stained, painted wood, or painted stucco, or a similarly durable material. The enclosure shall be designed to architecturally integrate with the overall design theme of the development.
- Covered wood trellises or other comparable treatment shall be provided above the trash enclosure as the trellises soften the appearance and add architectural interest.
- Trash enclosures should be planted with vines if located adjacent to or within a landscaped area to help screen the enclosure.



5.3.7 LIGHTING

The following guidelines shall be incorporated to ensure appropriate design, placement, and application of lighting is achieved on site:

- Lighting of the site and structures shall be designed for visibility, security and night usage where applicable.
- The type and location of lighting should minimize direct glare onto adjoining properties. Lighting should be shielded to confine all direct rays within the property.
- In order to minimize light spill-over, lighting and illuminated signs shall be located to confine illumination to the premises.
- Light fixtures that compliment the architectural design shall be incorporated into the building. Lighting should be designed to satisfy functional as well as contribute to overall design quality.
- Light fixtures shall be durable, easy to maintain and designed.

- Where appropriate, light fixtures should be at a scale that is sensitive to the pedestrian (i.e. shorter and more decorative) and used to guide the pedestrian throughout the development.
- Where it is important or necessary (i.e. outdoor displays or decorative areas), light that provides color rendition shall be utilized.

5.3.8 GARAGES

- All garages shall be equipped with metal or wood roll-up type vehicle access doors.
- A mix of garage types is encouraged to de-emphasize the visual presence of garage doors along the street scene. Variety in garage design may include the following:
 - Front entry garages.
 - Rear access garages.
 - Side entry (turn-in) garages.
 - Recessed garages.
 - Split garages.
 - Offset garages.
 - Side entry garages on corner lots.
 - Tandem garages (for parking spaces above the minimum Code requirement).



- Garages that are setback further from the street than adjoining living areas are encouraged where feasible.
- The face of the garage doors shall be recessed a minimum of twelve inches (12") from the adjacent wall surface, or have a minimum twelve inch (12") popped-out surround.
- Three-car garages must have a minimum two feet (2') offset between the single and double garage elements. This can be accomplished by offsetting the garage doors, offsetting the garage facades, or both.
- No more than three (3) garages on a single lot may face a street. Additional garages must be side loaded or set behind the front façade of the house.

- Garage doors should be compatible with the architectural style of the residence. To avoid the visual impact of garage doors, it is encouraged that they be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.
- Decorative window lights are encouraged on the garage doors when appropriate given the architectural style of the residence.
- Garages must be fully enclosed and equipped with an automatic garage door opener. Carports for single family detached homes are not permitted.
- Recreational vehicles, boats, etc., must be stored within a fully enclosed garage or otherwise be fully screened from public view. Storage of recreational vehicles must comply with applicable County of Riverside regulations and may be further restricted within CCR's for the subdivision.

5.3.9 DRIVEWAYS

- Driveways and other flat paved areas may include but not limited to, concrete, cobblestone, stamped concrete, quarry tile brick, or paving blocks.
- Driveways on corner lots shall be located as far as possible from street intersections.
- Driveway widths should be kept to a minimum to lessen the appearance of hard surfaces.

5.4 Residential Development Standards

In order to ensure the architectural Design Guidelines are achieved, comprehensive development standards have been established for the McCanna Hills Specific Plan for each lot size category. The development standards, in conjunction with the design guidelines and principle design criteria, contribute to make McCanna Hills a community that will be developed consistently over time.

Any units not built in a Planning Area may be built in another Planning Area (with approval of a Finding of Substantial Conformance by the County) provided the total number of dwelling units in the Specific Plan does not exceed 3,210.

5.4.1 Medium Density – 6,000 Square Foot Lots

The standards listed in Table 5-1 are for the Medium Density Residential Zoning (2-5 dwelling units/acre) for minimum lot sizes of 6,000 square feet. Typical illustrative plotting plans are provided in Figure 5-1 to illustrate how the development standards would be implemented. The illustrative plotting plans are not intended to be actual scaled plot plans, but are provided to serve as an implementation tool.

All single family detached homes shall have a minimum of two (2) enclosed parking spaces in compliance with Section 2.0, Specific Plan Zoning Ordinance.

The following standards would be applied to Planning Areas 1, 2A, 2B, 18, and 43.

TABLE 5-1 Development Standards Planning Areas 1, 2A, 2B, 18 and 43 Single Family Detached SFR – Medium Density (2-5 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	6,000 sq. ft.
Net Minimum Useable Pad Area	5,500 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	55 ft.
Minimum Lot Width at a Knuckle or Cul-de-sac	40 ft. ¹
Minimum Corner Lot Width	60 ft.
Minimum Lot Depth	90 ft.
SETBACKS	
Front Yard Minimum	10 ft. ²
Combined Side Yard (Between Structures)	10 ft. ³
Street Side Yard Minimum	10 ft.
Rear Yard Minimum	15 ft. ⁴
Garage (measured from garage door)*	20 ft.
Turn In Garage	10 ft.
Rear Entry Garage	3 ft.
MAXIMUM LOT COVERAGE	55% ⁵
MINIMUM USABLE OPEN SPACE	500 sq. ft. ⁶
MAXIMUM STRUCTURE HEIGHT	40 ft. ⁷

¹ The minimum width for the knuckle or cul-de-sac shall be measured at the front setback line.

² Porches, patios, covered entries, or second-story cantilevered elements shall have a seven (7) foot front yard setback to help create a visually interesting streetscape.

³ The combined side yard setback per lot shall be ten (10') feet. Side yard setbacks are measured from the property line. Variable side yard setbacks are encouraged (i.e. 3' and 7' or 5' and 5', etc.) provided the sum of the side yard setback is not less than ten feet and the distance between adjacent structures is not less than ten feet.

A two (2') foot architectural encroachment is allowed into a five-foot side yard setback, and a one (1') foot architectural encroachment is allowed into a four-foot side yard setback provided a three (3') foot minimum clearance is maintained on one side yard.

⁴ Rear yard setbacks shall be a minimum of fifteen (15) feet to allow curvilinear residential streets. In the rear access condition, the minimum rear yard setback to the garage shall be three (3') feet. In the deep recessed condition, the minimum rear yard setback to the garage shall be five (5') feet. The rear yard setback for the main structure shall be fifteen (15') feet (ground floor) and ten (10') feet for second story elements over the garage in all conditions. The second story shall contain no openings except for clerestory windows.

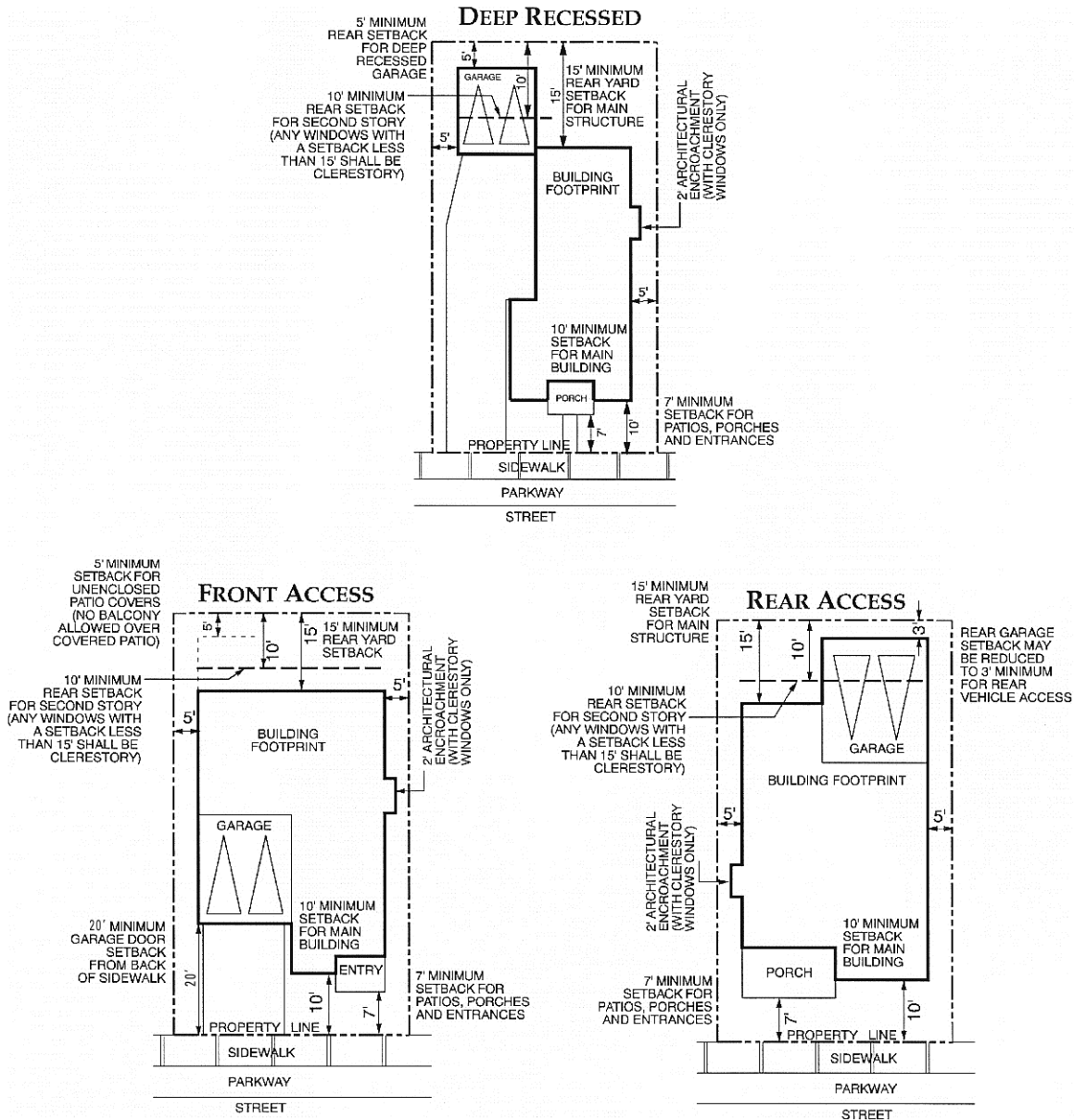
⁵ Lot coverage shall be increased by 10% to encourage single story homes. Lot coverage shall include the main building footprint including the garage or any fully enclosed patio structure. It shall not include driveway pads, covered porches, entries, patios, trellises, or similar architectural features.

⁶ The minimum total usable open space on each lot shall be 500 square feet. Of the 500 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 200 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

⁷ The height limit shall include third story habitable area.

* Minimum driveway length shall be measured from the garage door and shall be 20 feet from back of sidewalk (see Figure 5.1, Typical Plotting Plan).

FIGURE 5-1
TYPICAL PLOTTING PLAN
MEDIUM DENSITY RESIDENTIAL ZONING
6,000 SF MINIMUM LOTS
(2-5 dwelling units/acre)



The minimum total usable open space on each lot shall be 500 square feet. Of the 500 sq. ft. a minimum of 300 sq. ft. shall be provided in the form of a private yard. 200 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

Note: Plotting Plan is for illustrative purposes only to show how setbacks would be implemented. It is not intended to be a rigid formula for site layout.

5.4.2 Medium- High Density – 5,000 Square Foot Lots

The following standards listed in Table 5-2 are for the Medium High Density Residential Zoning (5-8 dwelling units/acre) for minimum lot sizes of 5,000 square feet. Typical plotting plans are provided in Figure 5-2 to illustrate how the development standards would be implemented. The illustrative plans are not drawn to scale or intended to be actual scaled plot plans, but are provided to serve as an implementation tool.

All single family detached homes shall have a minimum of two (2) enclosed parking spaces in compliance with Section 2.0, Specific Plan Zoning Ordinance.

The following standards would be applied to Planning Areas 5A, 5B, 19, 35, 42, and 47.

TABLE 5-2	
Development Standards Planning Areas 5A, 5B, 19, 35, 42 and 47	
Single Family Detached SFR – Medium-High Density (5-8 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	5,000 sq. ft.
Net Minimum Useable Pad Area	4,500 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	45 ft.
Minimum Lot Width at a Knuckle or Cul-de-sac	35 ft. ¹
Minimum Corner Lot Width	50 ft.
Minimum Lot Depth	85ft.
SETBACKS	
Front Yard Minimum	10 ft. ²
Combined Side Yard Minimum (Between Structures)	8 ft. ³
Street Side Yard Minimum	10 ft.
Rear Yard Minimum	15 ft. ⁴
Garage (measured from garage door)*	20 ft.
Turn In Garage	10 ft.
Rear Entry Garage	3 ft.
MAXIMUM LOT COVERAGE	
	60% ⁵
MINIMUM USABLE OPEN SPACE	
	450 sq. ft. ⁶
MAXIMUM STRUCTURE HEIGHT	
	40 ft. ⁷

¹ The minimum width for the knuckle or cul-de-sac shall be measured at the front setback line.

² Porches, patios, covered entries, or second-story cantilevered elements shall have a seven (7) foot front yard setback to help create a visually interesting streetscape.

³ The combined side yard setback per lot shall be eight (8') feet. Side yard setbacks are measured from the property line. Variable side yard setbacks are encouraged (i.e. 4' and 4' or 5' and 3', etc.) provided the sum of the side yard setback is not less than eight feet and the distance between adjacent structures is not less than eight feet.

A two (2') foot architectural encroachment is allowed into a five-foot side yard setback, and a one (1') foot architectural encroachment is allowed into a four-foot side yard setback provided a three (3') foot minimum clearance is maintained on one side yard (excluding the two pack). In the two-pack condition, one side yard setback shall be a minimum of five (5') feet with no architectural encroachments to allow adequate access to the rear yard.

⁴ Rear yard setbacks shall be a minimum of fifteen (15) feet to allow curvilinear residential streets. In the rear access condition, the minimum rear yard setback to the garage shall be three (3') feet. In the deep recessed condition, the minimum rear yard setback to the garage shall be five (5') feet. The rear yard setback for the main structure shall be fifteen (15') feet (ground floor) and ten (10') feet for second story elements over the garage in all conditions. The second story shall contain no openings except for clerestory windows.

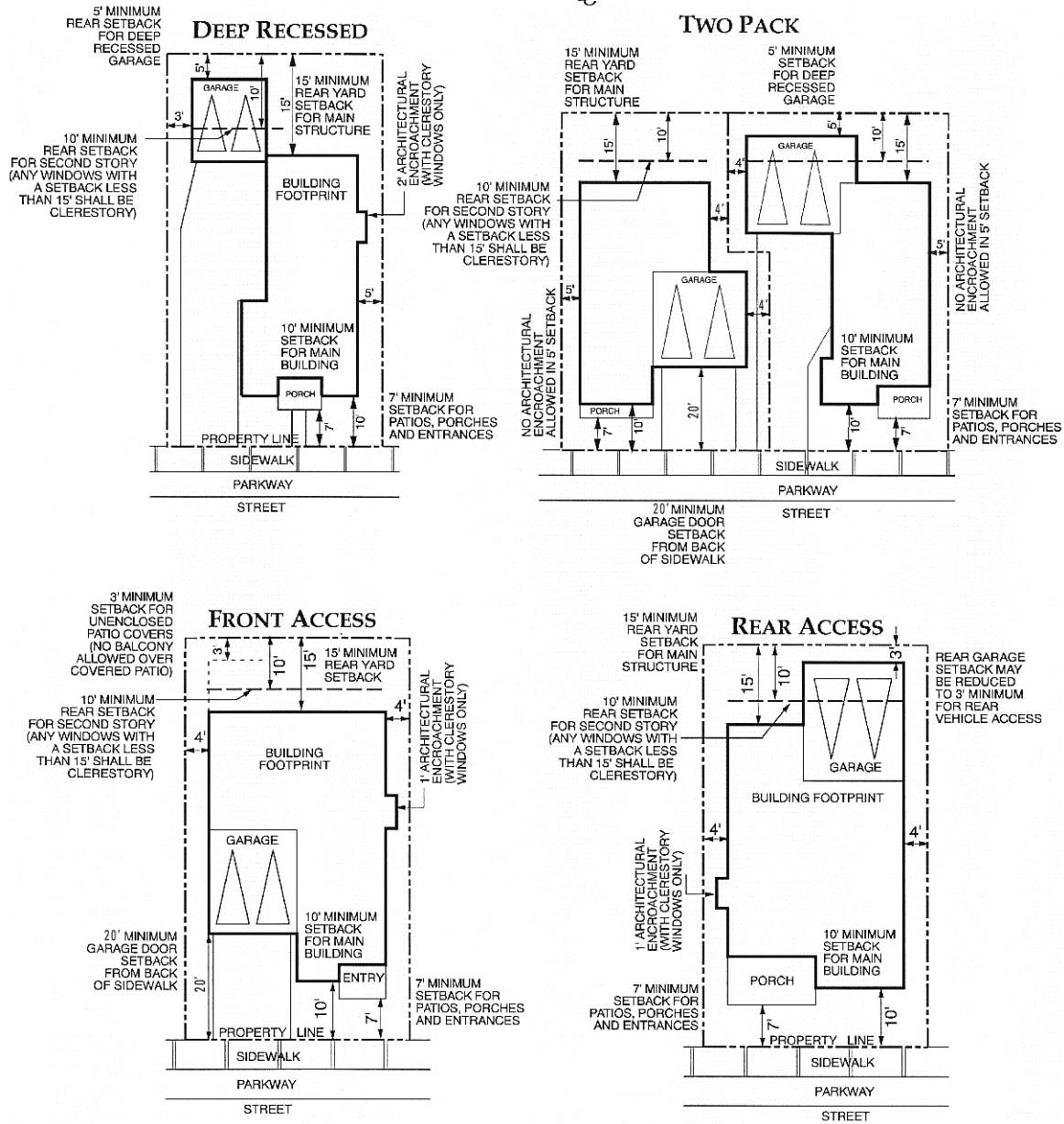
⁵ Lot coverage shall be increased by 10% to encourage single story homes. Lot coverage shall include the main building footprint including the garage or any fully enclosed patio structure. It shall not include driveway pads, covered porches, entries, patios, trellises, or similar architectural features.

⁶ The minimum total usable open space on each lot shall be 450 square feet. Of the 450 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 150 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

⁷ The height limit shall include third story habitable area.

* Minimum driveway length shall be measured from the garage door and shall be 20 feet from back of sidewalk (see Figure 5.1, Typical Plotting Plan).

**FIGURE 5-2
 TYPICAL PLOTTING PLAN
 MEDIUM HIGH DENSITY RESIDENTIAL ZONING
 5,000 SF MINIMUM LOTS
 (5-8 dwelling units/acre)**



The minimum total usable open space on each lot shall be 450 square feet. Of the 450 sq. ft. a minimum of 300 sq. ft. shall be provided in the form of a private yard. 150 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

Note: Plotting Plan is for illustrative purposes only to show how setbacks would be implemented. It is not intended to be a rigid formula for site layout.

5.4.3 Medium- High Density – 4,500 Square Foot Lots

The following standards listed in Table 5-3 are for the Medium High Density Residential Zoning (5-8 dwelling units/acre) for minimum lot sizes of 4,500 square feet. Typical plotting plans are provided in Figure 5-3 to illustrate how the development standards would be implemented. The illustrative plans are not drawn to scale or intended to be actual scaled plot plans, but are provided to serve as an implementation tool.

All single family detached homes shall have a minimum of two (2) enclosed parking spaces in compliance with Section 2.0, Specific Plan Zoning Ordinance.

The following standards would be applied to Planning Areas 6, 8, 23, 34, and 46.

TABLE 5-3	
Development Standards Planning Areas 6, 8, 23, 34 and 46	
Single Family Detached SFR – Medium-High Density (5-8 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	4,500 sq. ft.
Net Minimum Useable Pad Area	4,000 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	40 ft.
Minimum Lot Width at a Knuckle or Cul-de-sac	35 ft. ¹
Minimum Corner Lot Width	45 ft.
Minimum Lot Depth	80 ft.
SETBACKS	
Front Yard Minimum	10 ft. ²
Combined Side Yard Minimum (Between Structures)	8 ft. ³
Street Side Yard Minimum	10 ft.
Rear Yard Minimum	15 ft. ⁴
Garage (measured from garage door)*	20 ft.
Turn In Garage	10 ft.
Rear Entry Garage	3 ft.
MAXIMUM LOT COVERAGE	
	60% ⁵
MINIMUM USABLE OPEN SPACE	
	400 sq. ft. ⁶
MAXIMUM STRUCTURE HEIGHT	
	40 ft. ⁷

¹ The minimum width for the knuckle or cul-de-sac shall be measured at the front setback line.

² Porches, patios, covered entries, or second-story cantilevered elements shall have a seven (7) foot front yard setback to help create a visually interesting streetscape.

³ The combined side yard setback per lot shall be eight (8') feet. Side yard setbacks are measured from the property line. Variable side yard setbacks are encouraged (i.e. 4' and 4' or 5' and 3', etc.) provided the sum of the side yard setback is not less than eight feet and the distance between adjacent structures is not less than eight feet.

A two (2') foot architectural encroachment is allowed into a five-foot side yard setback, and a one (1') foot architectural encroachment is allowed into a four-foot side yard setback provided a three (3') foot minimum clearance is maintained on one side yard (excluding the two pack). In the two-pack condition, one side yard setback shall be a minimum of five (5') feet with no architectural encroachments to allow adequate access to the rear yard.

⁴ Rear yard setbacks shall be a minimum of fifteen (15) feet to allow curvilinear residential streets. In the rear access condition, the minimum rear yard setback to the garage shall be three (3') feet. In the deep recessed condition, the minimum rear yard setback to the garage shall be five (5') feet. The rear yard setback for the main structure shall be fifteen (15') feet (ground floor) and ten (10') feet for second story elements over the garage in all conditions. The second story shall contain no openings except for clerestory windows.

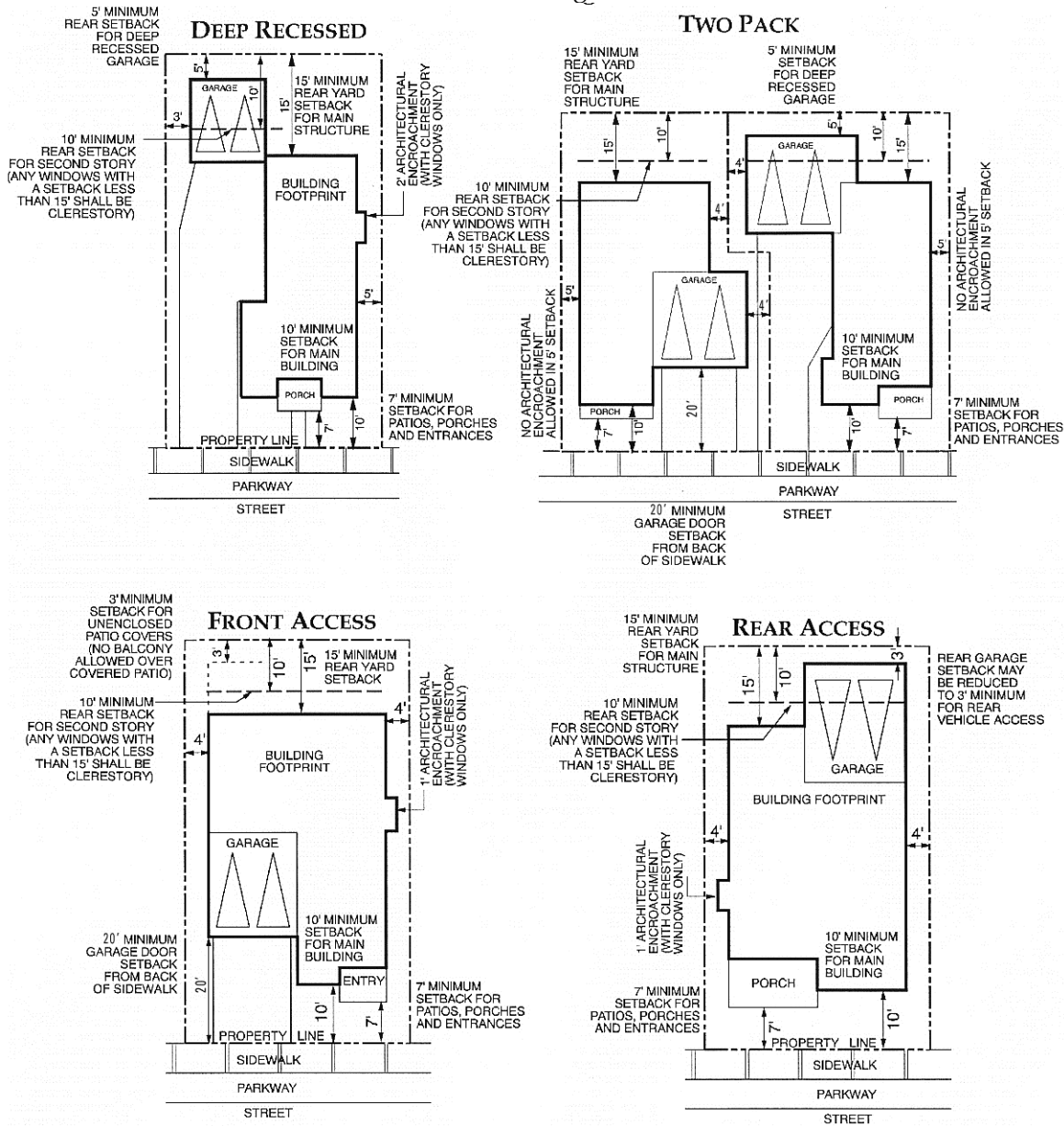
⁵ Lot coverage shall be increased by 10% to encourage single story homes. Lot coverage shall include the main building footprint including the garage or any fully enclosed patio structure. It shall not include driveway pads, covered porches, entries, patios, trellises, or similar architectural features.

⁶ The minimum total usable open space on each lot shall be 400 square feet. Of the 400 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 100 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

⁷ The height limit shall include third story habitable area.

* Minimum driveway length shall be measured from the garage door and shall be 20 feet from back of sidewalk (see Figure 5.1, Typical Plotting Plan).

FIGURE 5-3
TYPICAL PLOTTING PLAN
MEDIUM HIGH DENSITY RESIDENTIAL ZONING
4,500 SF MINIMUM LOTS
(5-8 dwelling units/acre)



The minimum total usable open space on each lot shall be 400 square feet. Of the 400 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 100 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

Note: Plotting Plan is for illustrative purposes only to show how setbacks would be implemented. It is not intended to be a rigid formula for site layout.

5.4.4 Medium- High Density – 4,000 Square Foot Lots

The following standards listed in Table 5-4 are for the Medium High Density Residential Zoning (5-8 dwelling units/acre) for minimum lot sizes of 4,000 square feet. Typical plotting plans are provided in Figure 5-4 to illustrate how the development standards would be implemented. The illustrative plans are not drawn to scale or intended to be actual scaled plot plans, but are provided to serve as an implementation tool.

All single family detached homes shall have a minimum of two (2) enclosed parking spaces in compliance with Section 2.0, Specific Plan Zoning Ordinance.

The following standards would be applied to Planning Areas 9, 12, 30, 38, 41 and 45.

TABLE 5-4	
Development Standards Planning Areas 9, 12, 30, 38, 41 and 45	
Single Family Detached SFR – Medium-High Density (5-8 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	4,000 sq. ft.
Net Minimum Useable Pad Area	3,500 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	35 ft.
Minimum Lot Width at a Knuckle or Cul-de-sac	30 ft. ¹
Minimum Corner Lot Width	40 ft.
Minimum Lot Depth	75 ft.
SETBACKS	
Front Yard Minimum	10 ft. ²
Combined Side Yard Minimum (Between Structures)	8 ft. ³
Street Side Yard Minimum	10 ft.
Rear Yard Minimum	15 ft. ⁴
Garage (measured from garage door)*	20 ft.
Turn In Garage	10 ft.
Rear Entry Garage	3 ft.
MAXIMUM LOT COVERAGE	
	60% ⁵
MINIMUM USABLE OPEN SPACE	
	350 sq. ft. ⁶
MAXIMUM STRUCTURE HEIGHT	
	40 ft. ⁷

¹ The minimum width for the knuckle or cul-de-sac shall be measured at the front setback line.

² Porches, patios, covered entries, or second-story cantilevered elements shall have a seven (7) foot front yard setback to help create a visually interesting streetscape.

³ The combined side yard setback per lot shall be eight (8') feet. Side yard setbacks are measured from the property line. Variable side yard setbacks are encouraged (i.e. 4' and 4' or 5' and 3', etc.) provided the sum of the side yard setback is not less than eight feet and the distance between adjacent structures is not less than eight feet.

A two (2') foot architectural encroachment is allowed into a five-foot side yard setback, and a one (1') foot architectural encroachment is allowed into a four-foot side yard setback provided a three (3') foot minimum clearance is maintained on one side yard (excluding the two pack). In the two-pack condition, one side yard setback shall be a minimum of five (5') feet with no architectural encroachments to allow adequate access to the rear yard.

⁴ Rear yard setbacks shall be a minimum of fifteen (15) feet to allow curvilinear residential streets. In the rear access condition, the minimum rear yard setback to the garage shall be three (3') feet. In the deep recessed condition, the minimum rear yard setback to the garage shall be five (5') feet. The rear yard setback for the main structure shall be fifteen (15') feet (ground floor) and ten (10') feet for second story elements over the garage in all conditions. The second story shall contain no openings except for clerestory windows.

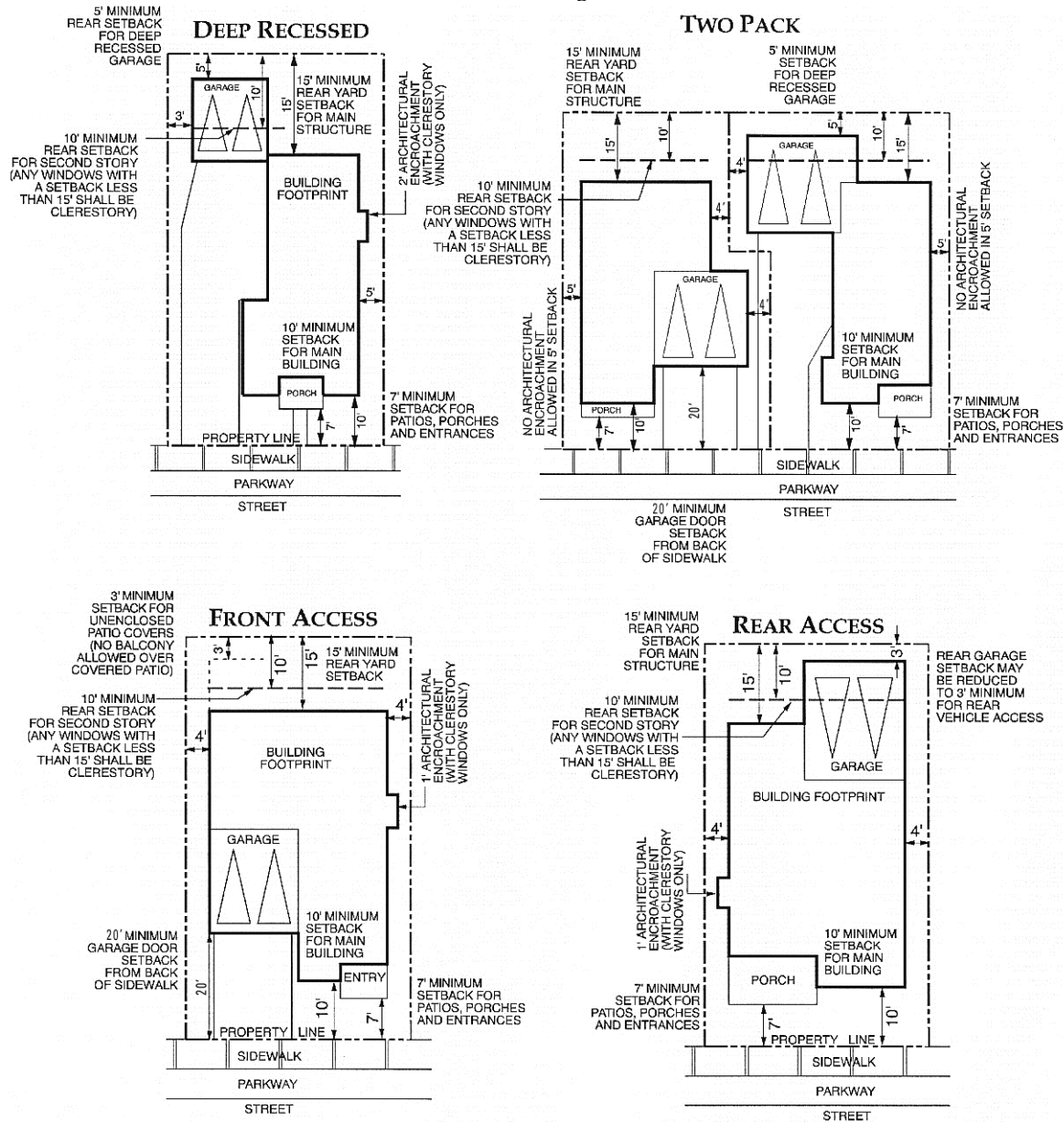
⁵ Lot coverage shall be increased by 10% to encourage single story homes. Lot coverage shall include the main building footprint including the garage or any fully enclosed patio structure. It shall not include driveway pads, covered porches, entries, patios, trellises, or similar architectural features.

⁶ The minimum total usable open space on each lot shall be 350 square feet. Of the 350 sq. ft, a minimum of 300 sq. ft. shall be provided in the form of a private yard. 50 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

⁷ The height limit shall include third story habitable area.

* Minimum driveway length shall be measured from the garage door and shall be 20 feet from back of sidewalk (see Figure 5.1, Typical Plotting Plan).

FIGURE 5-4
TYPICAL PLOTTING PLAN
MEDIUM HIGH DENSITY RESIDENTIAL ZONING
4,000 SF MINIMUM LOTS
(5-8 dwelling units/acre)



The minimum total usable open space on each lot shall be 350 square feet. Of the 350 sq. ft. a minimum of 300 sq. ft. shall be provided in the form of a private yard. 50 sq. ft. of open space may be provided in the form of a covered front porch, 2nd story deck, or in the deep recessed condition, the private driveway. Open space is defined as an area with a minimum dimension of 10' and a grade less than or equal to 2%. Driveways are not included as part of the open space, except in the deep recessed condition.

Note: Plotting Plan is for illustrative purposes only to show how setbacks would be implemented. It is not intended to be a rigid formula for site layout.

5.4.5 Very High Density

The following standards listed in Table 5 are for the Very High Density Residential Zoning (10-20 dwelling units/acre) with a minimum one acre lot size. If detached single family homes are built within these Planning Areas, the standards contained in Table 5-4 for 4,000 square foot lots shall apply.

The following standards would be applied to Planning Areas 14, 28A, 28B, 28C, 32, and 37.

TABLE 5-5 Development Standards Planning Areas 14, 28A, 28B, 28C, 32 and 37 Very High Density Residential (10-20 du/ac)	
RESIDENTIAL DEVELOPMENT STANDARDS	
Minimum Lot Area	One Acre ¹
Net Minimum Useable Pad Area	30,000 sq. ft.
LOT DIMENSIONS	
Minimum Lot Width	60 ft.
Minimum Lot Width at a Knuckle or Cul-de-sac	40 ft. ²
Minimum Corner Lot Width	40 ft.
Minimum Lot Depth	100 ft.
SETBACKS	
Front Yard Minimum	10 ft. ³
Side Yard Minimum	10 ft.
Street Side Yard Minimum	15 ft.
Rear Yard Minimum	15 ft.
MAXIMUM LOT COVERAGE	60% ⁴
MAXIMUM STRUCTURE HEIGHT	50 ft. ⁵
PARKING	See Footnote 6 Below

¹ The minimum lot area for multi-family development shall be one acre. If detached single family units are developed within these Planning Areas, the minimum lot size shall be 4,000 sq. ft. and the Development Standards contained in Table 5-4 shall apply.

² The minimum lot width for the knuckle or cul-de-sac shall be measured at the front setback line.

³ A minimum ten-foot front yard setback shall be maintained for buildings which do not exceed 35' in height. Any portion of a building which exceeds 35 feet in height shall be set back from the front and rear lot lines no less than ten feet plus one foot for each foot by which the height exceeds 35 feet.

⁴ Lot coverage shall include the main building footprint including the garage or any fully enclosed patio structure. It shall not include driveway pads, covered porches, entries, patios, trellises, or similar architectural features.

⁵ The height limit shall include third story habitable area.

⁶ In compliance with Section 2.0, Specific Plan Zoning Ordinance, the residential uses parking ratios for planned residential developments, multi-family, apartments, condominiums, and studios shall be as follows:

- i. One bedroom or studio per dwelling unit: 1.25 space per unit.
- ii. Two bedrooms per dwelling unit: 2.25 spaces per unit.
- iii. Three or more bedrooms per dwelling unit: 2.75 spaces per unit.
- iv. At least one of the required parking spaces per unit shall be located in a garage or carport, which is architecturally harmonious with the main structure.

5.5 Commercial Architectural Guidelines

Commercial development will occur in Planning Area 31 and 51. Planning Areas 20 and 21 are also zoned for mixed-use, but these areas will be developed in conjunction with SP 239, and therefore not subject to the standards contained in the McCanna Hills Specific Plan.

The proposed commercial sites within the McCanna Hills Specific Plan are envisioned to be a Town Square or Village type of development. The commercial sites are anticipated to be designed as an extension of the higher density residential, park or open space land to which the sites are adjacent. The commercial sites are envisioned to be integrated into the adjacent neighborhoods by incorporating similar architecture, site planning and landscape principles. These guidelines are meant to provide flexibility in accommodating a sense of style, drawing elements from the residential architectural themes.

5.5.1 SITE LAYOUT

The physical plotting of the commercial sites is key to ensuring a Town Square or Village development occurs. Careful consideration must be given to the relationship between the buildings, the pedestrian, the natural site amenities, as well as vehicular circulation. See detailed Commercial Performance Standards contained in Section 5.2.4.

The following criteria should be implemented to ensure a quality Town Square or Village development within Planning Areas 31 and 51:

- Building should be designed around a single element or group of elements (i.e. major spaces, landscape elements, natural features, etc.).
- Buildings should be clustered to create plazas or pedestrian gathering places that allow safe and efficient pedestrian travel.
- The building layout shall provide areas for outdoor patios, verandas and seating opportunities where appropriate given the type of commercial use.
- Placement and design of buildings shall facilitate and encourage pedestrian activity when feasible.
- Wherever possible, pedestrian and vehicular travel should be separated by a landscaped parkway or other landscaped buffer.
- Signage shall be geared toward the pedestrian, not the automobile (see comprehensive sign program in Section 5.6 Commercial Development Standards).

5.5.2 ARCHITECTURAL FEATURES

❖ **Building, Form, Mass and Height**

- The buildings within the commercial Planning Areas should create smooth transitions in pedestrian scale through the use of low and mid-rise building forms, single story elements, pedestrian pathways, pedestrian gathering places, and efficient connections into the adjacent land uses.
- Architectural design for the commercial sites should be complimentary, yet unique to the surrounding Planning Areas to ensure that the commercial development achieves an image that is integrated with the surrounding land uses.
- Buildings should incorporate off-sets, projections, step-backs penetrations, or changes in surface textures to reduce the apparent scale and provide visual interest for the pedestrian.
- All architectural designs shall incorporate a combination of compatible architectural forms to ensure the development achieves an image that is distinctive and unified.
- Large expanses of flat wall planes, vertically or horizontally and disproportionate buildings shall not be allowed.



Discouraged



Encouraged

- Building forms and heights should interconnect and overlap to break up long building elevations when feasible given the architectural style of the structure.
- Mass and scale should be compatible with adjacent structures.

- This can be accomplished by stepping back the upper portions of taller buildings to create more inviting human scale.
- Building elevations shall be articulated, varied, and should utilize different materials and textures.



- Consideration shall be given to the character of the adjacent neighborhood or open space area to ensure an appropriate integration and interface occurs.
- Landscape shall be proportionate the mass and height of the structures and used to minimize the visual impacts of commercial buildings.

❖ **Shade and Shadow**

The buildings should be plotted on site to maximize the natural light, sun exposure and shade to the extent feasible. The following considerations shall be incorporated to maximize the benefits of building shade and shadowing:

- To the extent feasible, buildings should be oriented to take advantage of the natural light, heat, shade and shadow which will help reduce energy consumption and encourage energy conservation.
- Horizontal architectural forms, such as projections, awnings and recesses shall be incorporated to provide shadow and depth, where appropriate, given the architectural theme of the building.
- Recessed doors, windows and wall openings shall also be incorporated for energy conservation purposes.
- Covered entries, plazas or courtyards shall be incorporated to provide shadow and shade for patrons of outdoor uses where appropriate.
- Landscaping should be planted near the buildings to provide shade, shadows and reduce pavement.

❖ **Building Relief (Offsets, Eaves, and Facias)**

- Offsets and surface articulation should reflect the organization of the building plan.



- Building should incorporate eaves and facias when appropriate given the architectural style of the building. Decorative or multiple facias are encouraged to provide interest and relief to the building.
- Building depths shall be varied to provide visual relief rather than the addition of superficial elements.
- Where appropriate to the architectural style, one-story elements on the ends or sides of two story buildings are encouraged to soften building massing and create a pedestrian orientation.
- Long, unbroken elevations without offsets are not allowed.

❖ **Door and Windows**

- Recessed doors, windows and wall openings are encouraged as well as framing treatments of both to add articulation to the wall surface.
- Arched windows and doorways, decorative doors and window treatments, accent trim or veneer at doorways, awnings and wrought iron accents are encouraged to provide quality of design to commercial buildings.
- Entries should be covered, recessed or project from the building to be clearly defined.
- Reflective glass, metal awnings, mill finish and gold window and door storefronts are not allowed.



❖ **Color and Materials**

- The colors and materials of the commercial buildings should be compatible with the McCanna Hills architectural themes.
- Exterior plaster, stucco or wood trim is encouraged. Metal, plastic or vinyl materials are discouraged.
- Accent materials such as concrete masonry units, iron, stone, rock, brick or tile are encouraged to add texture and definition to building elevations.
- Colored accents are encouraged, especially on rails and trim, provided that they are appropriately integrated in an overall design theme.
- Materials are to be durable and sympathetic in scale and aesthetics to improve the overall quality of the project.

❖ **Roof Forms and Materials**

- Encouraged roof design shall include elements such as large roof overhangs and exposed rafter ends with corbelling, over-extended roofs which create transitional space along the storefront, simple roof geometry, emphasizing long, horizontal lines, bell towers and other roof line features to call out to pedestrian activity.



- A hierarchy of roofs shall be used to define building entries and add architectural creativity to a building.
- To create visual interest and building form, vary rooflines, roof pitches, and roof overhangs.

- Wood shingles and flat roofs are allowed, when appropriate, given the architectural design of the building.

5.5.3 SPACES (VERANDAS, PATIOS, AND COURTYARDS)

Given the Town Square or Village type development proposed, and the outdoor climate of southern California, outdoor spaces such as verandas, patios, plazas or courtyards are strongly encouraged. These spaces become focal points as they serve as gathering and social places within the Commercial Centers.

5.5.4 ACCESSORY STRUCTURES

Accessory structures such as trellises, planters, carts, etc., can add charm to a development and enhance the overall pedestrian experience. In addition, these elements should be placed to entice and guide the pedestrian.

The following guidelines shall be incorporated into commercial development to ensure the community character of McCanna Hills is maintained:

- Design accessory structures to be a logical extension of the structure.
- Ensure accessory structures are durable, easy to maintain and are designed at a scale that is pedestrian oriented.
- Trash enclosures shall be stained, painted wood, or painted stucco, or a similarly durable material. The enclosure shall be designed to architecturally integrate with the overall design theme of the development.
- Covered wood trellises or other comparable treatment are required above the trash enclosure as the trellises soften the appearance and add architectural interest.
- Trash enclosures shall be placed in a location to allow easy access to not damage surrounding landscaping.
- Trash enclosures should be planted with vines if located adjacent to or within a landscaped area to help screen the enclosure.
- Trash enclosures are to be located in discrete places to the extent feasible.
- Place collection facilities in such a manner as to minimize noise or odor nuisance. See detailed Commercial Performance Standards contained in Section 5.2.4.

5.5.5 SITE AND STREET FURNISHINGS

Site and street furniture such as trellises, benches, lighting fixtures, bicycle racks, mailboxes, and signs can add charm to a development and enhance the pedestrian experience. Site furnishings are to reinforce the architectural character of the site. The following guidelines shall be applied to commercial projects to ensure continuity within the McCanna Hills Specific Plan:



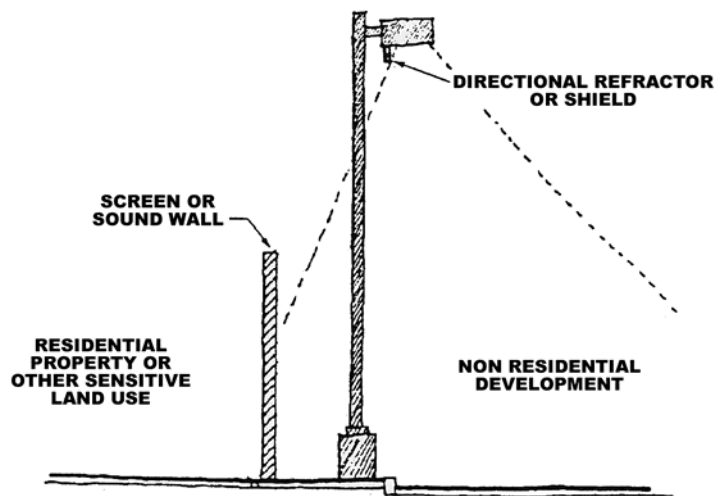
- Strategically place benches or seat walls at locations along pathways to accommodate the strolling pedestrian.
- Distribute street amenities such as lighting fixtures, drinking fountains, seating opportunities, bicycle racks, etc., to help lead the pedestrian.
- Furniture such as large potted plants, light poles, seat walls and tables and chairs shall be incorporated throughout the center, where feasible, to encourage pedestrian activity and to create a pedestrian oriented environment.
- Ensure street furniture is durable, decorative and designed at a human scale.
- Distribute street amenities along the street scene at focal and activity points to help lead the pedestrian and improve the overall experience of the pedestrian walking throughout the development.

5.5.6 WALKWAYS

To reinforce the pedestrian orientation of the proposed commercial Planning Areas, walkways shall be provided throughout the commercial site and the adjacent land uses. In addition, a Master Trail Plan (Exhibit 3.4) was developed which offers a variety of non-vehicular walkways and trails throughout all the Villages of McCanna Hills.

5.5.7 LIGHTING

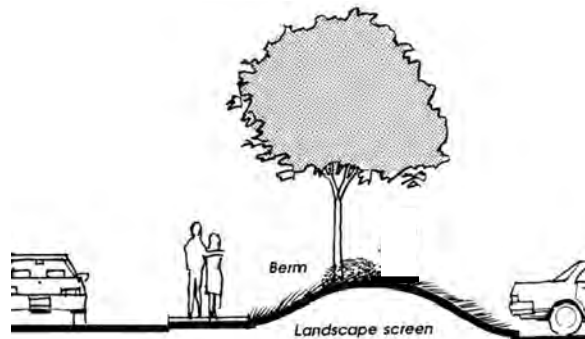
- Lighting of the site and structures should be designed for visibility, security and night usage where applicable. Security lighting should be designed as part of the overall lighting plan.
- All lighting fixtures, including spot lights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas should be focused, directed and arranged to prevent glare or direct illumination on streets or adjoining property.



- Structures should be washed with a focus on signage for identification.
- Light fixtures that compliment the architectural design shall be incorporated into the building or site.
- Light fixtures should be designed at the scale that is sensitive and compatible with the development. For example, pedestrian-scaled light fixtures that are shorter and more decorative should be for sidewalks, pathways and local streets. Whereas taller fixtures would be appropriate on major streets, common open space areas or at entries to provide adequate visibility and safety.
- Lighting of trees in focal areas is encouraged for both definition and direction where night use is anticipated.
- Flood lighting is acceptable, when necessary, for security reasons in areas such as, but not limited to parking lots, service areas, loading zones or automobile dominated areas.

5.5.8 Parking

- Provide for adequate separation between parking and storefronts to allow for comfortable pedestrian travel spaces.
- Parking lot lighting fixtures should be appropriately styled so as to complement the architectural style of the buildings.
- Parking lot areas are encouraged to provide landscaped berms, mounding or hedges to help screen parking areas. The landscaping materials shall be consistent in their application and complement the theme of McCanna Hills.



Note: for illustration purposes only. Not intended to be replicated exactly, or construed as a rigid formula for design.

5.5.9 Service Area Screening

The service areas and loading zones are a functional and necessary part of all commercial development. Ideally, these areas would be located at the rear of the building, out of public view. However, sometimes due to site constraints, it is not possible to locate these areas at the rear of buildings. Therefore, the following standards shall be implemented when siting service areas or loading zones:

- When possible, orient the buildings to place the service area at the rear of the buildings to minimize the visual impact of the service area.
- Loading zones shall be site planned to avoid exposure to adjacent residential streets and areas. Walls, fences and trellis structures can also be used to help screen loading and delivery areas.
- If service areas, loading zones or delivery doors, are located within public view, they shall be screened by any combination of walls, berms, landscaping, or other similar feature.
- All ingress and egress locations should be designed to reduce impacts on the existing street system and pedestrian circulation.

5.5.10 Outdoor Storage

Commercial outdoor storage, service and trash collection areas should be screened from public view and adjacent residential uses. Utilize site design and building placement to minimize these impacts.

5.6 Commercial Development Standards

As stated above, the proposed commercial sites within the McCanna Hills Specific Plan are envisioned to be more of a Town Square or Village type development. These sites are envisioned to be integrated into the surrounding community and be oriented toward the pedestrian. This would be achieved by providing pedestrian access to the commercial sites from the adjacent land uses, by appropriate building placement, and by designing architecture that is sensitive to the human scale.

Typical commercial development standards would not be appropriate for a Town Square development project. Therefore, to ensure the Town Square or Village type development occurs within Planning Areas 31 and 51, the following development standards shall apply:

1. Lot Area. There is no minimum lot area requirement.
2. Floor Area Ratio (FAR). A target floor area ratio shall be 0.35. The Planning Director may administratively increase the FAR for a proposed development to ensure an adequate amount of local commercial space is developed to serve the community.
3. Lot Coverage. The maximum lot coverage of the site shall be sixty (60%) percent.
4. Setbacks.
 - a. Buildings may be placed at the front setback line, or set back ten (10') to allow a pedestrian pathway in front of the building.
 - b. Where the side or rear yard is adjacent to the street, the setback shall be ten (10') feet.
 - c. Where the side or rear yard is adjacent to a residential development, the setback shall be increased to twenty (20') feet to serve as a buffer between the differing land uses.
 - d. Setback areas may be used for driveways, parking and landscaping.
5. Height Requirements. All buildings and structures shall not exceed forty (40') feet in height and a three (3) story height limit.
6. Landscaping.
 - a. A minimum of fifteen (15) percent of the site shall be landscaped. Parking lot landscaping shall be included in the overall percentage.
 - b. Landscaping shall be provided within the parking lot to provide shade and break up the paved area.
 - c. The landscaping should be complimentary to the native planting contained on site. Ornamental landscaping is permitted.
 - d. Landscaping should be placed to guide the pedestrian through the site and provide shade opportunities along the way.

7. Parking. Automobile storage space shall generally be five (5) spaces for every one thousand (1,000) square feet of gross leasable floor area.
8. Mechanical Equipment. All roof mounted mechanical equipment shall be screened from the ground elevation view to a maximum sight distance of 1,320 feet. Screening shall be incorporated into the architecture with similar materials and finishes.
9. Refuse Collection Areas and Loading/Unloading.
 - a. Storage and trash collection structures and loading docks shall not be located within any required setback area, including front, side and rear yards.
 - b. Place collection facilities in such a manner as to minimize noise or odor nuisance.
 - c. Refuse collection areas and structures shall be conveniently accessible to the building they are designed to serve, but out of public view.
 - d. Structures and loading docks, which are used for storage or trash collection, shall be screened by a combination of the following, including but not limited to: landscaping, berming/mounding, hedges, solid walls/fencing, architectural features, as to not be visible from a public street or from any adjacent residential area (see Section 5.5.4 Accessory Structures for additional Design Guidelines for accessory structures).
10. Lighting.
 - a. The level of on-site lighting, as well as the type of lighting fixtures, shall comply with all applicable requirements of the County of Riverside and Mount Palomar Observatory.
 - b. The maximum height for parking area lighting fixtures shall not exceed thirty (30') feet.

5.6.1 SIGN PROGRAM

Special signage guidelines and standards are required for Planning Areas 31 and 51 as these areas are envisioned to be developed as a Town Square or Village. Effective signage will contribute to the unique feel and the pedestrian scale of the development. Special signage requirements will also identify the Planning Areas, while at the same time, effectively providing the necessary visibility needed by commercial development. These guidelines and standards, when combined with the architectural, site and landscape guidelines and standards, will help create a “sense of place” in Planning Area 31 and 51.

❖ General Sign Guidelines

1. Appropriate.
 - a. Generally, small, low key signage program for tenant spaces.
 - b. Encourage the use of graphics and less text to create a more pedestrian (not automobile) oriented signs.
 - c. Building mounted signs for project identity.

- d. Eye level signs; window and door signs, including pedestrian oriented projecting signs.
- e. Signs consistent with building texture, color and architectural style.
- f. Uniquely shaped signs that are related to the product or service provided (i.e., barber poll).
- g. Signs which have illumination sources consistent with Mount Palomar lighting standards and restrictions.
- h. Acceptable sign types include wall mount individual letters, which may have interior illumination.
- i. Freestanding monument signs shall be low profile and incorporate McCanna Hills entry monument type features and landscaping.

2. Inappropriate/Prohibited

- a. Typical “can” or “box” signs with entire face areas in plastic.
- b. Individual plastic channel letters.
- c. Signs mounted above building rooflines (parapet), or roof-mounted signs.
- d. Signs which incorporate any manner of mechanical movement, audible elements, flashing or intermittent lighting, and/or moving or otherwise animated forms.
- e. Signs which interfere with or conflict with any traffic control device, create a safety hazard by obstructing the clear view of pedestrian or vehicular traffic or interfere with efficient operations of emergency vehicles.
- f. Signs, which prevent free access to or from any fire escape, door, window or exit, or access to any standpipe.
- g. Landscaping or the use of annual or ornamental flowers that form a sign or message.
- h. Signs not in scale with the pedestrian orientation.
- i. Signs painted onto building surfaces or trash bins and their enclosures.
- j. Signs with disproportionate, visually distracting, or reflective surfaced background or graphics.
- k. Signs with non-contrasting background/graphics, which render the sign illegible.
- l. Freestanding pole signs are not allowed.
- m. Inflatable signs.
- n. Off-site signage.

❖ **General Sign Standards and Specifications**

1. A comprehensive sign program for the entire Commercial Center should be developed.
2. All signage shall be approved by the master developer and require compliance with County of Riverside standards, including the issuance of building permits as required.
3. The area of a sign or logo with individual letters shall be measured by a rectangle around the outside of the lettering and/or the pictorial symbol.

4. Planning and Building and Safety Departments review and approval is required prior to the placing, erecting, moving, or reconstructing of any sign within the Specific Plan area.
5. All permanent signs shall require a permit to erect or attach the sign.
6. If a situation arises that is not covered by these sign regulations or the type of permit required, the Director of Planning shall provide written interpretation after consulting the County's Sign Ordinance.
7. All building-mounted signs shall meet all applicable County, state and federal codes.
8. All signs containing electrical components shall conform to the Uniform Lighting Code.
9. Signs shall be placed to be compatible with the building and accent the architectural design of the structure.
10. Sign colors should be compatible with the building.
11. Signs and letter sizes shall be used which are complementary to the building scale.
12. Signs shall have concealed illumination sources, either internal or external.
13. Entry and monument signs shall be architecturally compatible with the Center.

❖ **Building Mounted Signs**

Retail and office uses may have a maximum of two (2) square feet of sign area per linear foot of business frontage. Each business may have a maximum of two (2) signs per business on the front elevation, or side elevation if on a corner lot. One (1) additional sign may be permitted on the rear elevation if a business has a rear access entry. The total length of all signs shall be less than forty (40%) percent of the building frontage. Any combination of the following sign types may be used to arrive at the total allowable square footage.

1. **Wall Signs**

Wall signs shall have a maximum letter height of sixteen (16") inches. Wall signs shall be placed in a location approved by the building owner or property manager. Wall signs shall always be in portion and scale with the building elevation and building entry. Internal illumination of wall signs is permitted. To the extent feasible, landscaping shall be planted to coordinate with the location of the sign so that the visibility of the sign is maintained when the landscaping matures.

2. **Awning Signs**

Twenty percent (20%) maximum coverage allowed of the total exterior surface of each awning and located at the base of the awning. Internal illumination is prohibited.

3. **Projecting Signs**

No more than one (1) projecting sign will be allowed per tenant. The maximum size may not exceed eight (8) square feet and shall not extend more than three feet (3')

from the wall surface. Projecting signs shall only be attached to buildings and shall not be illuminated. Signs may encroach into the public right-of-way a maximum of three feet (3') and have a vertical clearance of eight (8') feet subject to approval of the Director of Public Works.

❖ **Accessory Signs**

1. Monument Signs

One multi-tenant monument sign shall be permitted per center. The maximum sign area shall be twenty four (24) square feet and no more than six feet in height. The monument sign shall have a minimum of fifty (50) square feet of landscaping around the base of the sign.

2. Building Name Signs

The intent of the building sign is to identify the center. The maximum size shall not exceed 10% of the wall surface of the building elevation. If the building name sign does not advertise a specific business, then the sign shall not be toward the permitted sign allowance for the building.

3. Permanent Window Signs

Store identity, graphics, typography and/or company logo may be silkscreened or etched on the tenant's window. The maximum square foot graphic area allowed per window shall not exceed twenty-five percent (25%) of the total window area from the exterior of the building, whichever is greater. Signs shall not be permitted on doors.

4. Hanging Signs and Under Canopy Signs

Hanging signs and under canopy signs are strongly encouraged as they are designed for the pedestrian and add a human scale to the building.

No more than one (1) hanging sign shall be allowed per tenant. Signs are permitted under a canopy and parallel to the primary street; maximum size of three (3) square feet; minimum of eight feet (8') vertical clearance shall be required from walking grade to the bottom of the sign.

5. Menu Boards

One menu board, up to five (5) square feet in area, is allowed for each restaurant or other eating establishment. Menu boards may contain only the name of the establishment and the food available inside. The menu board must be located on a wall adjacent to the main customer entrance.

6. Daily Special Signs

One display area, up to five (5) square feet in area, is allowed for each restaurant or other eating establishment. Daily Special signs may contain only the name of the menu item. The daily special sign must be located near the entrance or hostess stand.

❖ **Address Numerals**

All building mounted address numerals are to conform with all graphic requirements for signage, herein and the requirements of the Fire Department.

❖ **Directional Signage**

1. Shall consist of small-scale signs that are compatible with the buildings architecture and wall signs.
2. Shall have contrasting background/graphic colors.
3. Shall have direct or indirect concealed illumination.
4. Individual directional signs shall not exceed three (3) square feet in area, or have an overall height exceeding three feet (3') above finished grade.

❖ **Leasing and Temporary Signs**

1. Leasing, temporary, and future facilities signage shall be permitted for any office or institutional use, provided that the maximum area does not exceed sixteen (16) square feet, nor shall the height of the sign exceed eight feet (8') above finished grade.
2. Temporary window signs shall not be illuminated, shall be limited to fifteen percent (15%) of the tenant's storefront glass area, and shall be displayed for no more than fourteen (14) consecutive days. All other temporary signs shall be regulated and permitted pursuant to the Riverside County Sign Ordinance for commercial development.
3. A-frames are permitted no more than twelve (12) days per month. The A-frame signs may be up to 3.5' tall and 3.5 wide. The sign shall be located outside of the public right-of-way in a location that will not impede pedestrian travel or conflict with vehicular line of sight.
4. Grand Opening. For each use of business one temporary (1) grand opening sign is allowed. The maximum area shall not exceed sixty (60) square feet and shall not be located beyond the top of the eave line or parapet wall. The width shall not exceed sixty (60%) of the business. They may be allowed for any period of time during the first one hundred twenty (120) days of business.
5. Flags. A maximum of three (3) colored flags, which contain no writing, insignia or logos may be displayed for no more than sixty (60) consecutive days. The flags may be located on any elevation, provided the location of flags is approved by the building owner or property manager.

5.7 Landscape Guidelines

5.7.1 Community Entries

Community Entry treatments are to occur at the four major roadways entering the community. The Community Entries are on north Foothill Avenue, south of Walnut Avenue; on Orange Avenue west of Foothill Avenue; on Orange Avenue east of Foothill Avenue; and on south Foothill Avenue. Community entries may provide the initial opportunity for project identification and create gateways into the community, define community and neighborhood boundaries, reinforce the McCanna Hills style and enhance the aesthetics of the community. The community's entries shall include dedicated public landscape space adjacent to the roadway (i.e. easement and/or landscape lot), where appropriate, located on one side of the street and depict a 'landmark' in the surrounding natural environment that typify McCanna Hills with natural and supplemented rock outcroppings and historic tree plantings. The monuments should include a community monument sign and logo, pedestrian and landscape lighting and enhanced paving. The landscaping shall incorporate a combination of broad canopy and flowering accent trees, shrubs and groundcovers. Native or native looking stone will be considered at all entries to the greatest extent feasible. Refer to Exhibits 5.1 through 5.3 and Table 5.5, MASTER PLANT PALETTE.

5.7.2 Village Entries

Village Entries are used to identify major entries into the individual Villages. These entry statements should match on each side of the street entering the village as a secondary gateway. They should also reflect the surrounding landform that typifies McCanna Hills with the use of rock outcroppings and historic tree plantings. The design for the monuments may reflect the design of the primary monument with lighted sign copy. The landscape design shall compliment and reinforce the trees utilized for the adjoining streetscape. It is anticipated that the village neighborhood entry monuments may be adjacent to community walls and/or fences. In all cases the design of the entry features should be coordinated. Refer to Exhibits 5.1, 5.4 and 5.5. The entries are off of streets classified as a secondary highway or greater and shall be consistent with County of Riverside Design Standards and Guidelines on such entries.

5.7.3 Neighborhood Entries

Neighborhood planning area entries encourage a sense of smaller neighborhoods amidst the larger community. Planning area neighborhood entries will be similar to the County of Riverside standard without the median and decorative pavement and with signage when appropriate. Refer to Exhibits 5.1, 5.6 and 5.7. These entries are off of streets classified as collector or lower.

5.7.4 Major Roadways Streetscape

The community entry corridor streets are Orange Avenue and Foothill Avenue. As the primary corridors they set the tone for McCanna Hills community by creating an experience equally pleasant for both vehicular and pedestrian traffic. This is accomplished through use of broad canopy evergreen street trees shading both walkways and streets. Boulders and benches may be placed at key locations to delineate trail connections. Orange Avenue intersects Foothill Avenue at the Village Core, this is the main intersection within the community. This intersection may feature walls consistent with the community entries, shade structure and planting complimentary to the surrounding environment. Refer to Exhibits 5.8 through 5.12.

Orange Avenue is the central arterial street running east to west. This street has an 18-foot planted median. The median may be planted with water conservative shrubbery and large evergreen canopy trees. The 21-foot parkway right of way has an 8-foot parkway with street tree, a 5-foot sidewalk and 8-foot planting area with tree on the southern side. The northern side has a 5-foot parkway with canopy street tree, a 5-foot sidewalk, a 5-foot planting area, and a 8-foot County community trail that extends outside of the right of way. Refer to Exhibit 5.12, ORANGE AVENUE STREETScape CONCEPT.

Nuevo Road has a 14-foot planted median. The 21-foot parkway right of way on the north side has a 5-foot parkway with street tree, a 5-foot sidewalk, a 5-foot planting area and an 8-foot County community trail that extends outside of the right of way. The parkway should be planted in a consistent manner with Orange Avenue.

Antelope Road contains a 12-foot painted median. The 21-foot parkway right of way on the west side has a 5-foot parkway with street tree, a 5-foot sidewalk, a 5-foot planting area, and an 8-foot County community trail that extends outside of the right of way.

Where the streetscapes meet the open space, a transition of native and naturalized plants will be provided to blend the open space areas with the community.

5.7.5 Secondary Roadway Streetscape

Foothill Avenue (South of Orange) has an 18-foot parkway right of way on each side of the street. The westerly 18-foot right of way has a 7-foot parkway with street tree, a 5-foot sidewalk and 6-foot planting area with tree. The easterly 18-foot right of way has a 5-foot parkway with street tree, a 5-foot sidewalk, a 5-foot planting area, and an 8-foot County community trail that extends outside of the right of way.

Foothill Avenue (North of Orange), Walnut Avenue and the Loop Road have a 15-foot right of way on each side of the street. Each 15-foot right of way has a 6-foot parkway with street tree, a 5-foot sidewalk and 4-foot planting area with tree.

5.7.6 Local Streets Streetscape

Local streets have a 10-foot right of way that contains a 5-foot planted parkway with street tree and a 5-foot curb parallel sidewalk. Refer to Exhibit 5.13, LOCAL STREETScape CONCEPT and Exhibit 5.14, BLOCKEND CONDITIONS CONCEPT.

**TABLE 5-5
McCanna Hills Specific Plan
Master Plant Palette**

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
TREES:							
Albizia julibrissen	Silk Tree		X				
Alnus cordata	Italian Alder		X	X			
Brahea edulis	Guadalupe Palm	X					
Butia capitata	Pindo Palm	X					
Callistemon species	Bottle Brush		X			X	
Causurina cunninghamiana	River She-Oak		X			X	X
Cedrus deodara	Deodar Cedar	X			X		
Celtis sinensis	Chinese Hack Berry				X		
Ceratonia siligua	Carob Tree		X				
Cercis canadensis	Easter Redbud		X	X		X	
Cercis occidentalis	Western Redbud		X	X		X	
Chamaerops humilis	Mediterranean Fan Palm	X					
Cinnamomum camphora	Camphor Tree	X	X		X		X
Cupressus sempervirens	Italian Cypress	X					
Eriobotrya deflexa	Bronze loquat						
Eucalyptus citriodora	Lemon Sented gum					X	
Eucalyptus polyanthemus	Silver Dollar Gum					X	
Geijera parviflora	Australian Willow						
Ginkgo biloba	Maidenhair Tree	X					
Gleditsia tricanthos "Shademaster"	Honey Locust				X		
Hymenosporum flavum	Sweetshade				X		

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
Jubaea chilensis	Chilean Wine Palm	X					
Juniperus c. 'Torulosa'	Hollywood Juniper	X					
Koelreuteria bipinata	Chinese Flame				X		
Lagerstroemia fauriei	Crape Myrtle	X					
Laurus nobilus	Sweet Bay		X				X
Liquidambar styraciflua	American Sweet Gum					X	
Liriodendron tulipifera	Tulip Tree					X	
Magnolia grandiflora	Southern Magnolia	X					
Trees (Con't):							
Magnolia stellata	Star Magnolia						
Melaleuca linarifolia	Cajeput Tree					X	
Olea europea	European Olive	X					
Persea americana	Avocado					X	
Phoenix canariensis	Canary Island Date Palm	X					
Phoenix dactylifera	Date Palm	X					
Pinus canariensis	Canary Island Pine					X	
Pinus eldarica	Afghan Pine					X	
Pinus halepensis	Aleppo Pine				X	X	
Pistachia chinensis	Chinese Pistachio				X		
Platanus acerifolia "Bloodgood"	London Plane Tree				X		
Platanus racemosa	California Sycamore					X	
Podocarpus gracilior	Fern Pine				X		
Populus fremontii	Western Cottonwood					X	
Prunus caroliniana	Carolina Laurel Cherry					X	
Pyrus calleryana "Bradford"	Bradford Pear	X					
Pyrus kawakamii	Ornamental Pear	X					
Quercus agrifolia	Coast Live Oak	X				X	
Quercus rubra	Red Oak	X					
Quercus virginiana	Southern Live Oak	X					
Rhus lancea	African Sumac					X	
Robinia ambigua "Purple Robe"	Locust				X		
Robinia pseudoacacia	Locust		X		X		

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
Schinus molle	California Pepper					X	
Tipuana tipu	Tipu Tree				X		
Tristania conferta	Brisbane Box					X	
Ulmus parvifolia	Evergreen Elm				X		
Umbularia californica	California Laurel						X
Washingtonia filifera	California Fan Palm	X					
Washingtonia robusta	Mexican Fan Palm	X					
Zelkova serrata	Sawtooth Zelkova		X		X		

SHRUBS:							
Abelia x grandiflora	Glossy Abelia					X	
Abutilon x hybridum	Flowering Maple	X					
Acacia redolens	Acacia					X	
Acanthus mollis "Oak Leaf"	Grecian Pattern Plant						
Achillea millefolium	Common Yarrow					X	
Agapanthus a. "Queen Anne"	Lily of the Nile	X					
Agave americana	Century Plant	X					
Agave attenuata	Foxtail Agave	X					
Aloe vera	Aloe	X					
Arbutus unedo	Strawberry Tree					X	X
Azalea "George Tabor"	George Tabor Azalea	X					
Azalea indica "California Sunset"	California Sunset Azalea	X	X				
Baccharis pilularis	Dwarf Coyote Bush						X
Bambusa multiplex	Clumping bamboo		X				
Buddleja davidii	Butterfly Bush		X	X			
Buxus m. japonica "Green Beauty"	Japanese Boxwood	X					
Camellia japonica	Camellia						
Camellia sanqua	Camellia						
Ceanothus ssp.	Wild Lilac		X			X	X
Cistus ssp.	Rockrose		X	X		X	X
Coreopsis v. "Moonbeam"	Moonbeam threadleaf coreopsis		X				
Cotoneaster parneyi	Parney Cotoneaster		X	X		X	

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
Dietes bicolor	Fortnight Lily	X	X	X			
Dryopteris erythrosora	Autumn Fern						
Echinacea purpure	Purple Cone flower						
Echium candicans	Pride of Madeira	X	X			X	X
Elaeagnus pungens	Silverberry		X	X		X	
Encelia californica	California sunflower						X
Escallonia fradesii	Frade's Escallonia		X			X	
Feijoa sellowiana	Pineapple Guava	X				X	X
Felicia amelliodes	Blue Margarite	X	X				
Geranium x "Johnson's Blue"	Johnson's Blue Cranesbill		X	X			
SHRUBS (con't):							
Geranium x "Pink Spice"	Pink Spice Cranesbill						
Geranium x "Biokovo"	Biokovo Cranesbill						
Grevillea 'Noellii'	Noel's Grevillea		X			X	
Hebe speciosa	Showy Hebe	X	X				
Helianthemum nummularium	Sun Rose						
Helictotrichon sempervirens	Blue Oat Grass						
Hemerocallis spp.	Daylily	X	X	X			
Hemerocallis x hybrids	Evergreen Daylily	X	X	X			
Hesperaloe parviflora	Red Yucca						
Heteromeles arbutifolia	Toyon					X	X
Heuchera species	Coral Bells	X					X
Hydrangea macrophylla	Hydrangea	X	X				
Hydrangea quercifolia "Alice"	Alice Oakleaf Hydrangea						
Ilex vomitoria "Stokes Dwarf"	Stokes Dwarf Yaupon Holly						
Juniperus chinensis "Mint"	Mint Julep Juniper						
Juniperus scopulorum "Grey Gleam"	Gray Gleam Juniper						
Kniphofia uvaria	Red Hot Poker	X	X				
Lantana species	Lantana	X				X	
Lavandula stoechas	Spanish Lavender	X	X				
Leonotis leonurus	Lion's Tail	X	X				
Leptospermum scoparium	New Zealand Tea		X			X	

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
Ligustrum j. 'Texanum'	Japanese Privet		X			X	
Ligustrum japonicum 'Texanum'	Texas Wax Leaf Privet		X	X			
Liriope gigantea	Giant Lily Turf	X	X	X			
Liriope muscari "Lilac Beauty"	Lilac Beauty Lily Turf						
Loropetalum chinensis "Sizzling Pink"	Sizzling Pink Fringe Flower						
Mimulus ssp.	Monkey Flower						X
Miscanthus sinensis "Gracillimus"	Maiden Grass	X	X				
Myoporum 'Pacificum'	Myoporum		X	X		X	
Nandina domestica "Gulf Stream"	Gulf Stream Nandina						
Opuntia littoralis	Coastal Prickly Pear						X
Pennisetum setaceum	Fountain Grass		X	X			
SHRUBS (con't):							
Pennisetum setaceum 'Rubrum'	Purple Fountain Grass		X	X			
Penstemon x "Apple Blossom"	Apple Blossom Penstemon						X
Phormim tenax	Flax	X	X			X	
Photinea	Photinea		X			X	
Pittosporum spp.	Mock Orange	X	X	X		X	
Pittosporum tobira	Mock Orange	X	X	X		X	
Plumbago auriculata	Cape Plumbago			X		X	
Prunus carolina	Bright 'N' Tight Carolina Laurel					X	
Pyracantha ssp.	Firethorne					X	
Rhamnus californica	Calif. Coffeeberry						X
Rhaphiolepis indica	India Hawthorne	X	X			X	
Rhaphiolepis i. "Clara"	India Hawthorne	X	X	X		X	
Rhaphiolepis l. "Majestic Beauty"	India Hawthorne	X	X	X			
Rhus ovata	Sugar Bush						X
Ribes speciosum	Fuschia Flowering Gooseberry						X
Rosa x Noatraum	Flowering Carpet	X				X	
Rosamrinus o. "Tuscan Blue"	Tuscan Blue Rosemary	X				X	
Rosmarinus o. "Prostratus"	Prostrate Rosemary			X		X	
Rumohra adiantiformis	Leatherleaf Fern						
Salvia greggi "Furman's Red"	Furman's Red Autumn Sage						

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
Salvia leucantha "Santa Barbara"	Santa Barbara Sage						
Santolina chamaecyparissus	Lavender Cotton						
Staychys byzantina	Lamb's Ear	X					
Stipa pulchra	Purple Needle grass						X
Viburnum japonica	Japanese Viburnum					X	
Viburnum tinus	Spring Tinus					X	
Westringia rosmariniformis	Wynyabbie Gem'	X	X			X	
Xylosma congestum "Compacta"	Compact Xylosma					X	
Yucca recurvifolia	Soft Leaf Yucca						
GROUNDCOVER:							
Campanula portenschlagiana	Dalmatian Bellflower						
Festuca ovina "Glaucia"	Blue Fescue	X	X				
GROUNDCOVER (Con't.):							
Fragaria chiloensis	Beach Strawberry	X	X				
Hypericum calycinum	Aaron's Beard						
Lantana camara	Lantana					X	
Lantana camara "American Red"	Lantana					X	
Lantana x "Spreading Sunset"	Lantana					X	
Liriope spicata "Silver Dragon"	Creeping Lily Turf	X	X				
Lonicera japonica 'Halliana'	Halls Honeysuckle					X	
Marathon II or Medallion II	Turf	X					
Oenothera speciosa "Siskiyou"	Siskiyou Evening Primrose						
Pachysandra t.s "Green Sheen"	Green Sheen Japanese Spurge						
Rosmarinus officianalis	Prostrate Rosemary	X	X			X	
Scabiosa c. "Butterfly Blue"	Pincushion Flower	X					
Scaevola "Mauve Clusters"	Fan Flower		X				
Trachelospermum jasminoides	Star Jasmine						
Verbena peruviana "St. Paul"	Saint Pul Verbena		X	X		X	
Vinca major	Periwinkle		X	X		X	
VINES/ESPALIERS:							
Clematis armandii	Evergreen Clematis						
Distictus "Rivers"	Purple Trumpet						
Distictus buccinatoria	Blood-red Trumpet						
Grewia occidentalis	Lavender Starflower						

PLANT NAMES		LOCATION					
		Entry	Parks	Trails	Street Trees	Slopes	Open Space
Botanical Names	Common Names						
Hardenbergia Lilac	Lilac						
Jasminum polyanthemum	Evergreen Jasmine						
Macfaydena unguis-cati	Cat's claw vine						
Pandorea jasminoides	Bower Vine						
Parthenocissus tricuspidata	Boston Ivy						
Podocarpus gracilior	Fern Pine						
Rosa banksiae	White Lady Bank's Rose						
Solandra maxima	Cup-of-Gold						
Solanum jasminoides	Potatoe Vine						
Trachelospermum	Star Jasmine						
Vigna caracalla	Snail Vine						
Wisteria sinensis	Chinese Wisteria						

5.7.7 Front Yard Landscaping

New residences shall be provided with front yard landscaping and an automatic irrigation system. Drought tolerant landscape materials should be used to the greatest extent possible. Landscaping shall be provided as follows:

- A minimum of six, five-gallon shrubs, one 15-gallon tree shall be planted along the front of all homes (garage and side yard gate areas are excluded)
- Creative project design uses of hardscape, decorative gravels, and placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
- Shrub areas should receive a 3-inch layer of mulch to conserve water and help control weeds.
- Location of landscaping shall be in accordance with applicable County Ordinances.

5.7.8 Transition Areas

Landscaped transition areas are intended to occur where deemed appropriate between McCanna Hills residential areas and existing off-site residential area to the west and between residential areas and open space within the Specific Plan Area. The developer will work with the County of Riverside Planning Staff to determine the appropriate design and location of these transition areas during the design of ultimate development plans in these planning areas. Fencing will be provided where appropriate and manufactured slopes shall be planted with trees, shrubs and ground cover when they occur. Transition areas between residential and commercial shall maintain privacy and safety while screening views as appropriate and providing noise attenuation. Refer to Exhibit 5.15A, PROJECT BOUNDARY TRANSITION AREA CONCEPTS, and Exhibit 5.15B, OPEN SPACE TRANSITION AREA CONCEPTS, for concept examples of transition area where they may occur as deemed appropriate. Exhibits and text in Section 4.0, *Planning Area Specific Development Standards*, contain additional illustrations and discussion regarding the potential location and use of transition areas.

5.8 Community Elements

5.8.1 Entry Treatments

Community entry treatments shall be provided on major roadways entering McCanna Hills.

The community entry treatments should be designed to achieve two design concepts; achieving a sense of place and community, where vehicular and pedestrian experiences are equally important, and harmony with surrounding environment.

These basic concepts are repeated through the use of local building materials, earth oriented natural colors, indigenous rock, and water-wise plants to echo the surrounding natural landscape.

Maintaining harmony with the natural environment is an important objective; therefore natural materials should be used whenever feasible. Proposed entry treatments are described further in Sections 5.7.1, 5.7.2, 5.7.3 and 5.7.4 and their proposed locations and concepts are illustrated in Exhibits 5.1 through 5.9 of this Specific Plan.

5.8.2 Walls and Fences

The walls and fences philosophy of the McCanna Hills Specific Plan is to minimize the use of walls or fencing, but instead use landscaping such as hedges, berms, mounding, or a combination of berms and low walls or “green walls”.

It is understood that walls and fencing will be necessary in some locations throughout the neighborhoods to provide protection from roadway noise, to allow privacy and security in residential areas, and to define space. When walls are required, the walls shall be planted with vigorous, self-clinging vines with the intent of letting the vines eventually cover the wall completely to create a “green wall” (see Exhibit 5.16 A).

The walls and fencing proposed for McCanna Hills have been designed so that they will add to the overall community character and will not be visually obstructive. The proposed wall and fencing elevations, heights and materials are shown in Exhibits 5.16 A, B and C.

Perimeter walls and fencing may be provided along major thoroughfares and project boundaries. The proposed conceptual location of the community perimeter walls are depicted on individual Planning Area exhibits contained within Section 4 of the Specific Plan. Please see Section 4 for proposed location of perimeter walls or fencing. However, the precise location of the walls and fencing within McCanna Hills shall be determined at the tentative tract map stage.

Community perimeter walls should occur on side and rear property lines along streets. They shall be constructed of colored block and cap or ornamental metal (view fencing). The color of fencing shall be tan, brown or other neutral colors to compliment the natural environment and proposed architecture within the McCanna Hills.

When a “green wall” is not used and a wall is exposed to public view, the wall shall be a decorative block with enhanced features such as pilasters and changes in wall planes. Pilasters may be constructed of the same colored block and cap as the perimeter wall. Pilasters shall occur on the outside corner of a wall or at a wall terminus when viewed from the street.

View fencing should be located in the rear yards of those properties abutting open space and lots with substantial views beyond site boundaries (see Exhibit 5.16 B). This

fencing allows views but not physical access. The design of the fencing should consist of steel tubing and be of a color that will blend in with the landscape. View fencing should be considered at the top of all slopes 30-feet tall and greater.

Interior, side and rear yard fencing may be of wood or PVC construction (see Exhibit 5.16 C). Earth tone colors are encouraged. If PVC fencing is used, any coloring shall be integral to the material. All front yard return walls, and walls located along public streets should be of colored block construction and in keeping with the community character. Refer to Exhibits 5.16, CONCEPT WALLS AND FENCING ELEVATIONS.

Walls should be sited to provide additional setback areas at neighborhood entries to accommodate entry monumentation, signage, lighting, architectural elements and landscaping.

Walls and fences may be used for entry monumentation, to reinforce circulation paths, to define outdoor living spaces, and provide screening when necessary.

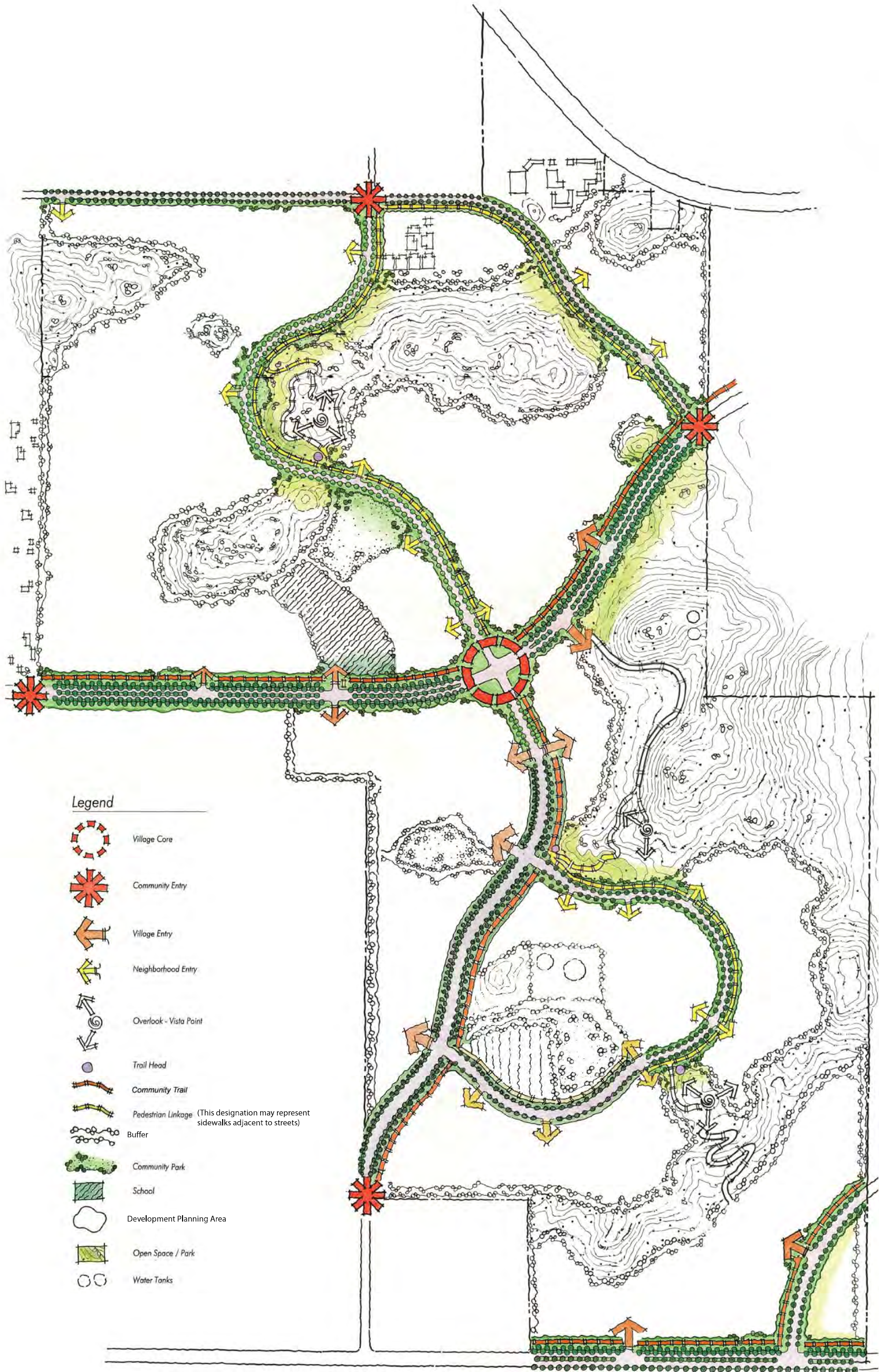
All walls or fences shall be of good quality construction and durable. Walls and fences which require limited maintenance and have an anti-graffiti finish are encouraged. The maximum wall or fence height should be five-feet, six inches (5.6"), unless an increase in height is necessary for noise attenuating purposes.

5.8.3 Signage

Unique community identification signage may be located within the slopes at two of the community entry locations, reflecting the rustic nature of the area. One sign could be located upon the south-facing slope at the intersection of Nuevo Road and Antelope Road, while a second sign could be located upon the northwest-facing slope at the intersection of Walnut Avenue and North Foothill Avenue. The design of the community entry signage is depicted on Exhibit 5.17, COMMUNITY IDENTIFICATION SIGNAGE. The Village may have its own individual signage provided that the selected materials are consistent with the overall McCanna Hills style. Signage should extend from stones, stonewalls or pilasters. Accent lighting is encouraged in these areas. Directional signage should be unique to the McCanna Hills project. It should enhance and compliment community intersection monumentation and neighborhood entries. Signage may consist of steel letters secured to perimeter walls for neighborhood entries consistent with the overall McCanna Hills monumentation signage.

5.8.4 Lighting

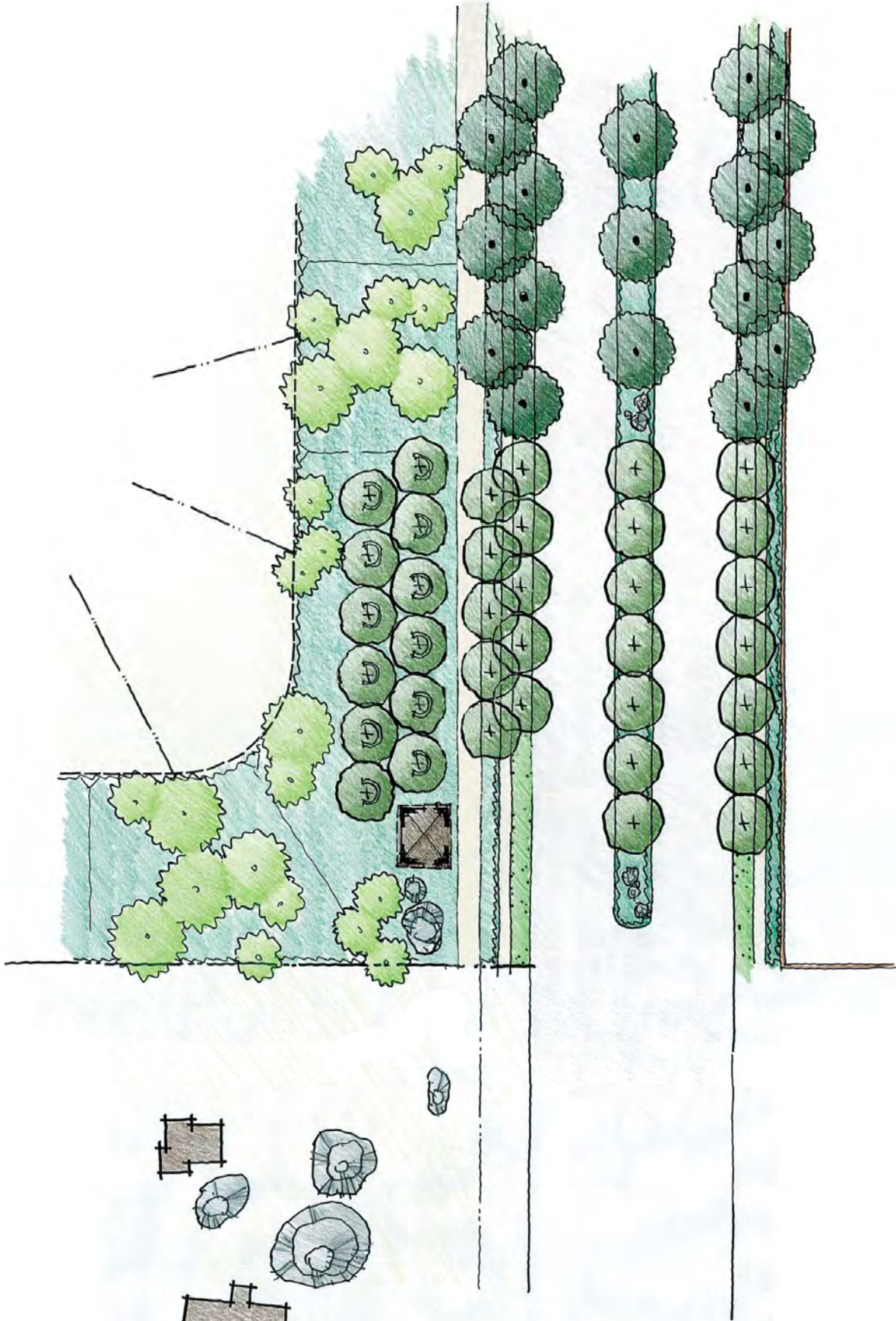
All public street lighting should comply with Riverside County standards where applicable. Lighting proposed within the residential, commercial, park and recreational, and street areas shall conform to a uniform set of criteria established for the McCanna Hills project. Each village may develop its own lighting standards, provided that the selected lighting is consistent with the overall McCanna Hills lighting criteria and Riverside County standards.



OPEN SPACE TRAIL NOTE:
 The Open Space Trails and Trail Overlooks on this exhibit are conceptual examples of potential open space amenities that will be provided where feasible. Actual locations of Open Space Trails will be determined based on a more detailed analysis of the topography in these areas.

COMMUNITY ENTRY NOTE:
 The Community Entry locations depicted on this exhibit are conceptual and intended to represent generalized locations for proposed enhanced entry treatments at the four main project entry roads. Actual location of the Community Entries will be determined at preparation of more detailed tentative tract maps and site plans.





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INTERNATIONAL

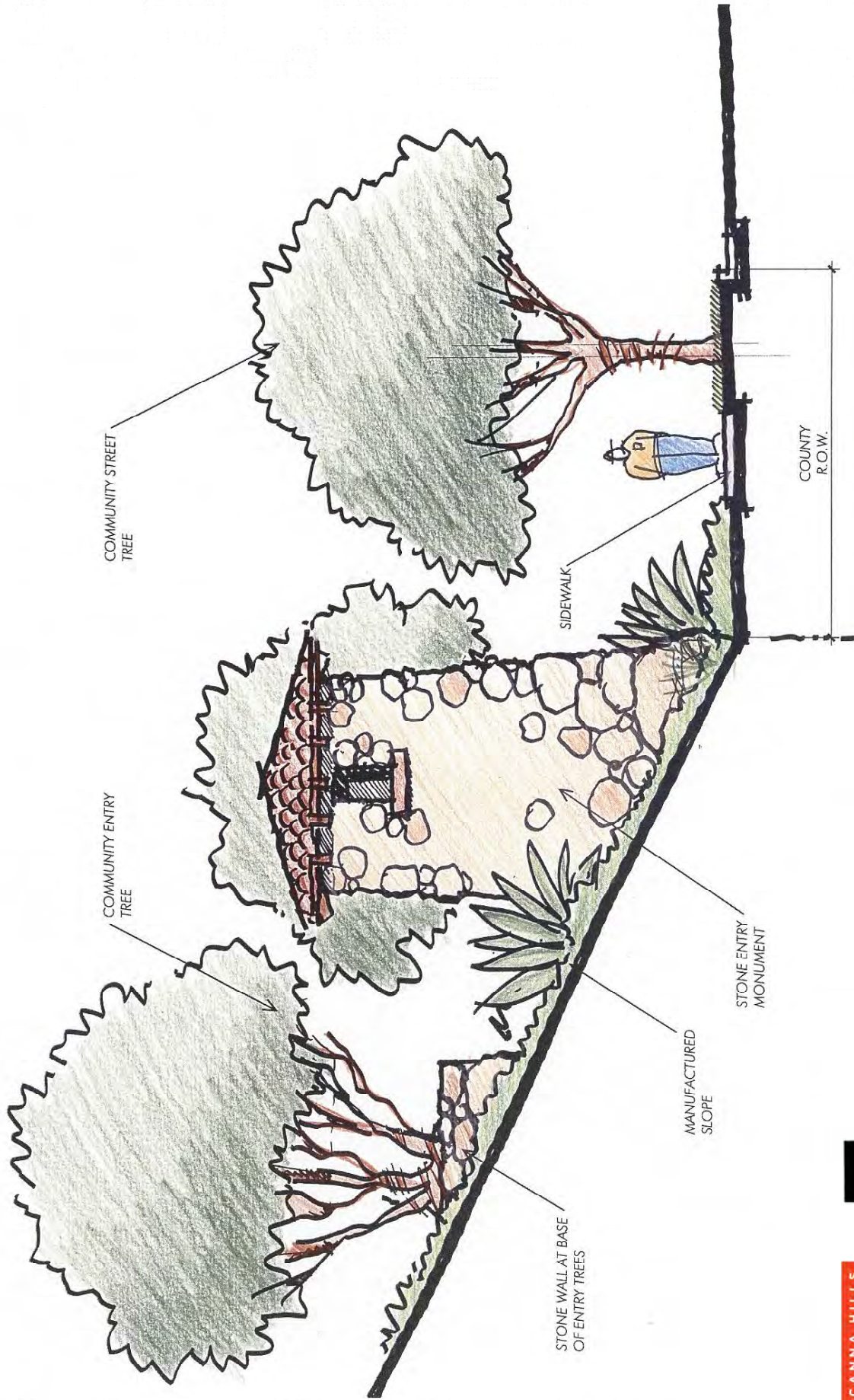
NO SCALE

04-15-2015 JN 145159

MCCANNA HILLS
SP 246 AMENDMENT 3

COMMUNITY ENTRY CONCEPT - PLAN VIEW

EXHIBIT 5.2



COMMUNITY STREET TREE

COMMUNITY ENTRY TREE

SIDEWALK

COUNTY R.O.W.

STONE WALL AT BASE OF ENTRY TREES

MANUFACTURED SLOPE

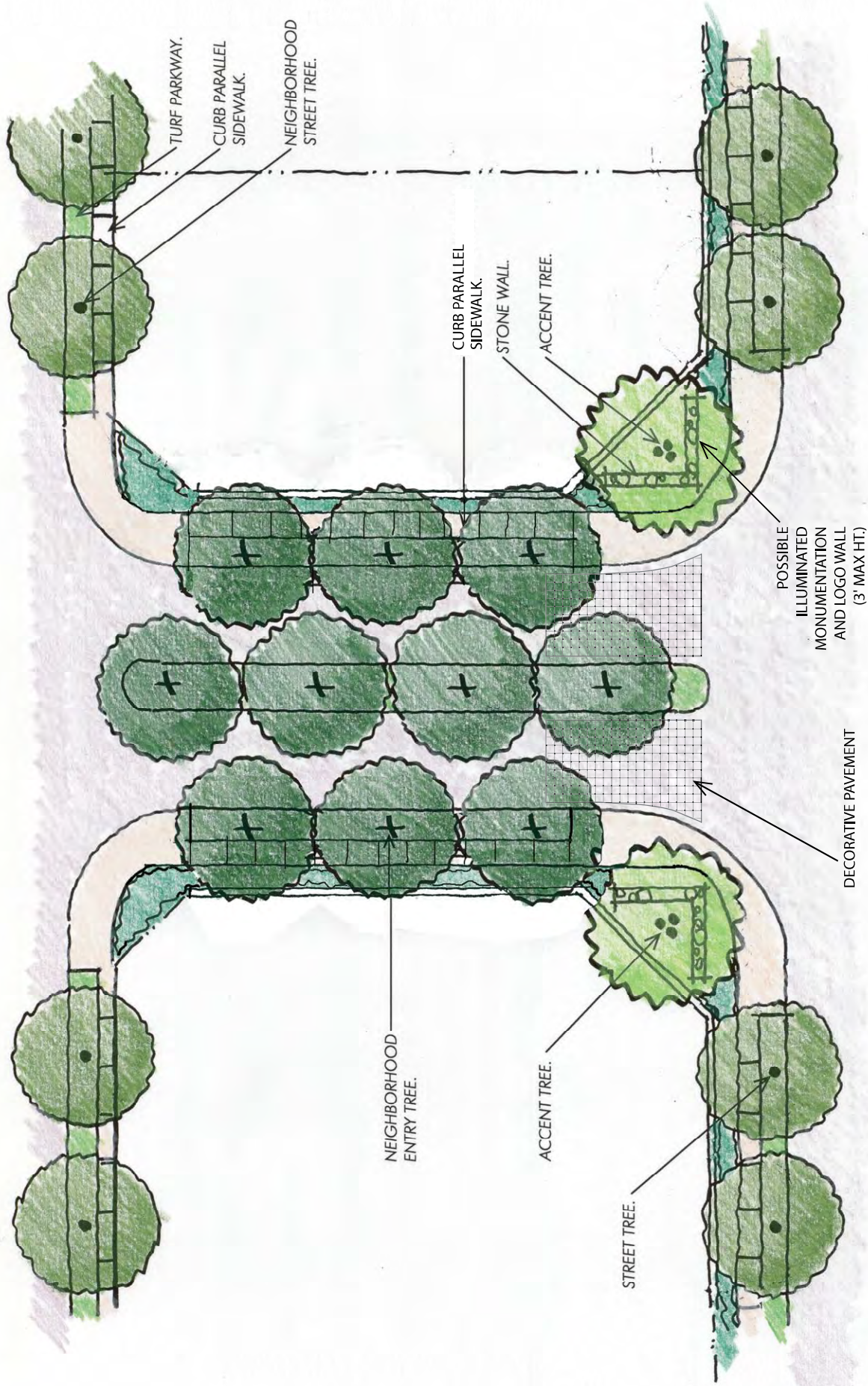
STONE ENTRY MONUMENT



Michael Baker INTERNATIONAL

NO SCALE

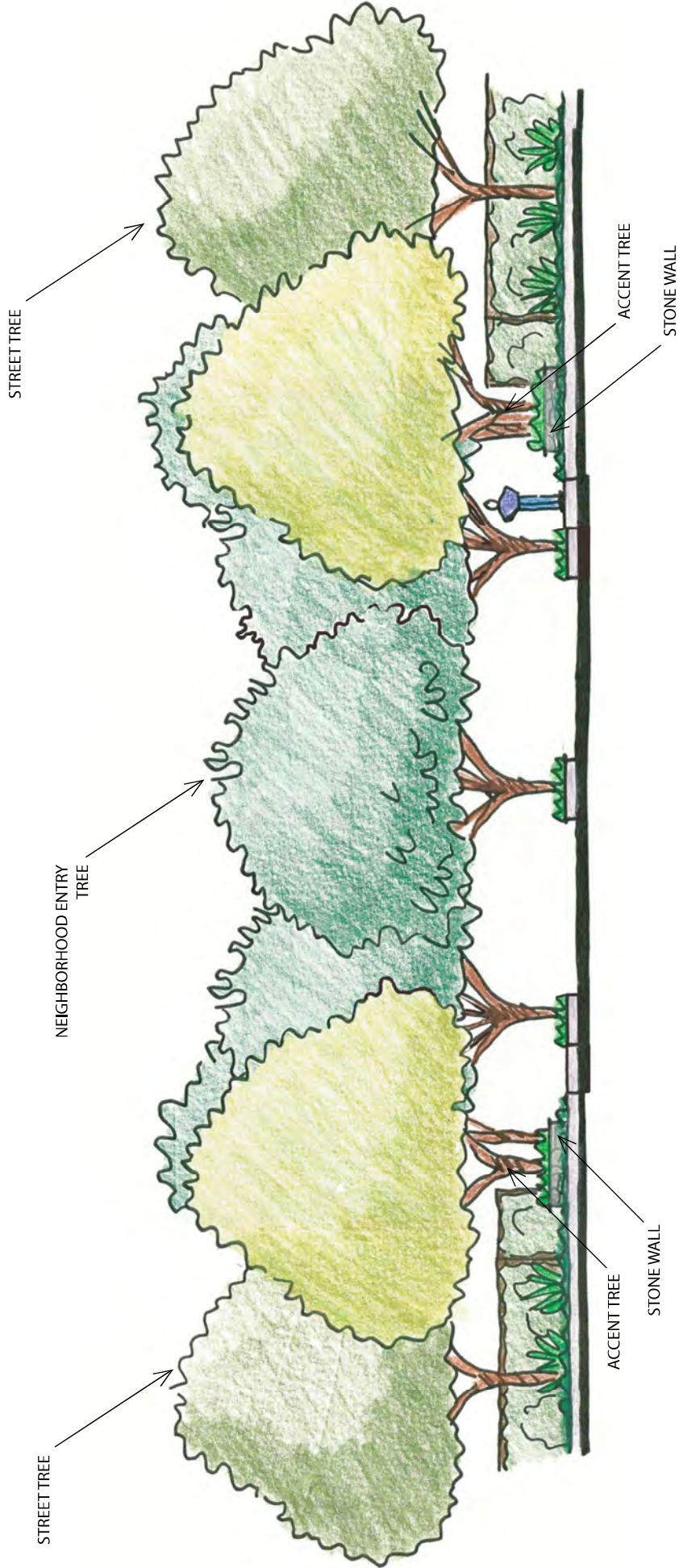
04-15-2015 IN 145159

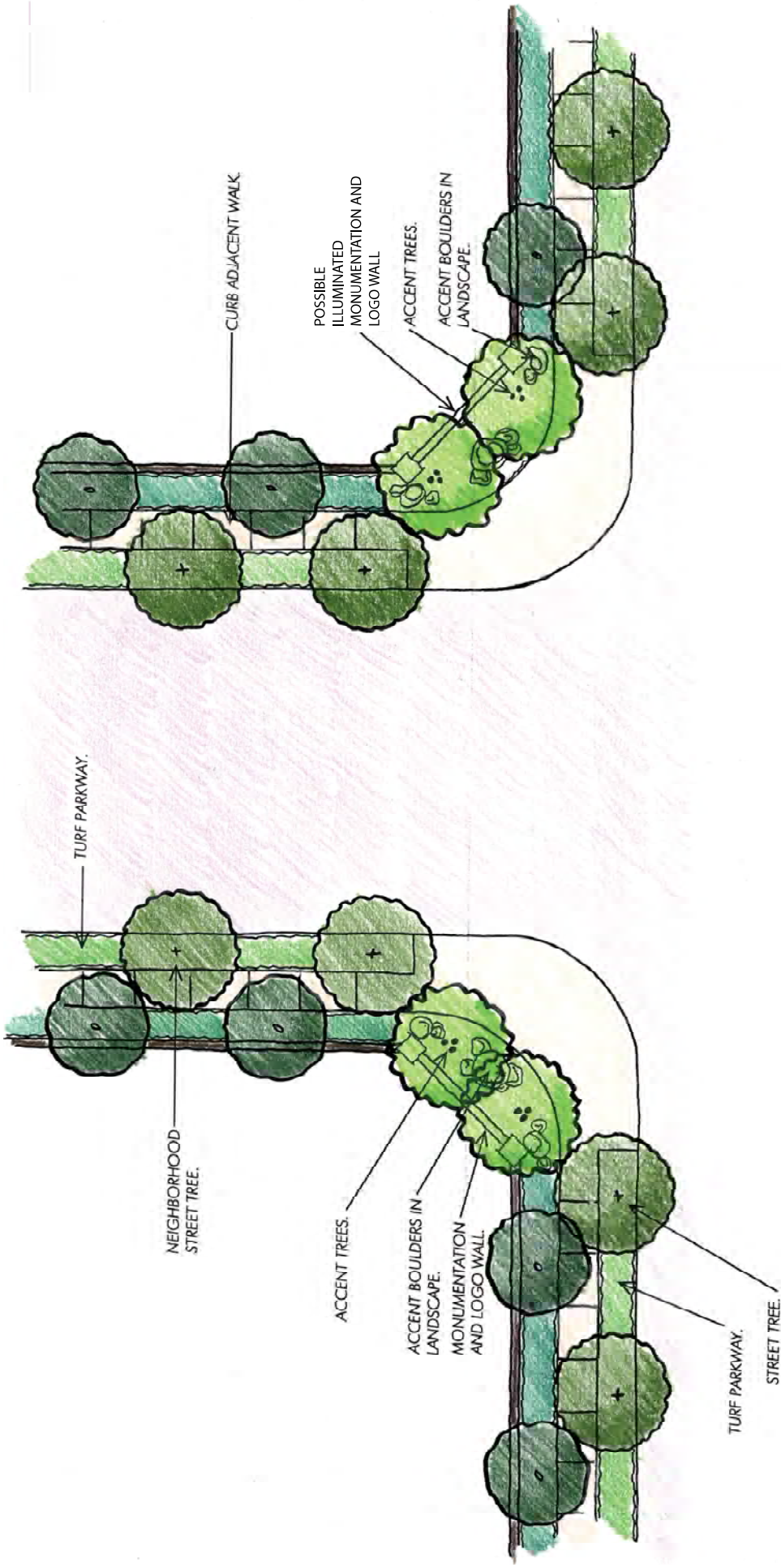


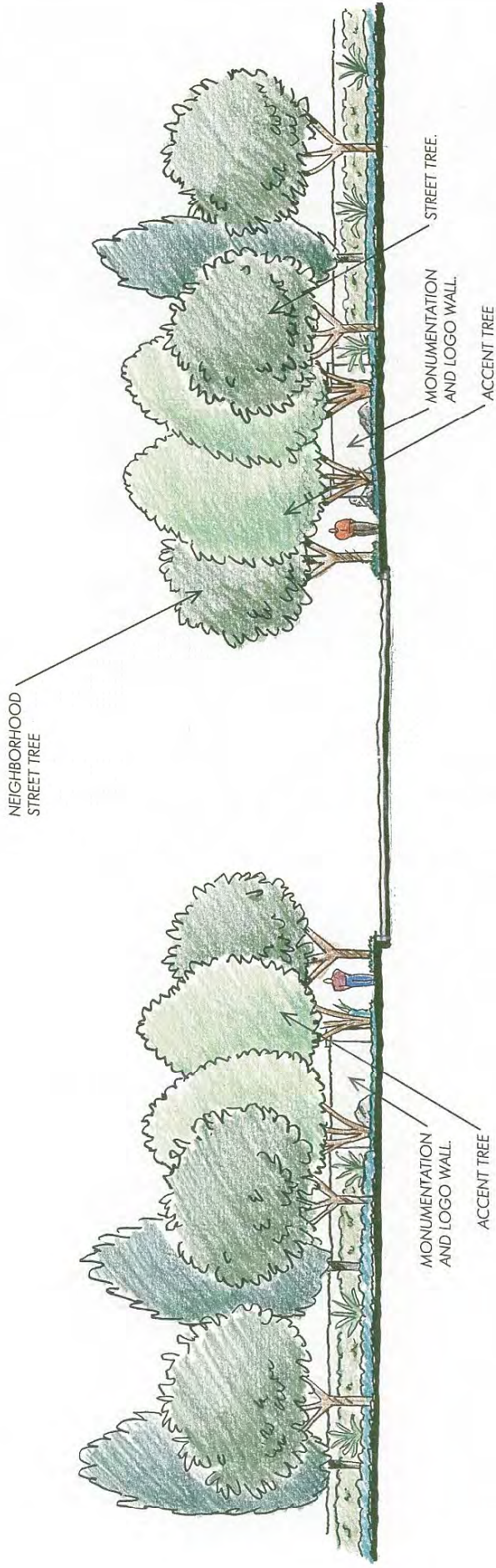
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04-15-2015 JN 145159



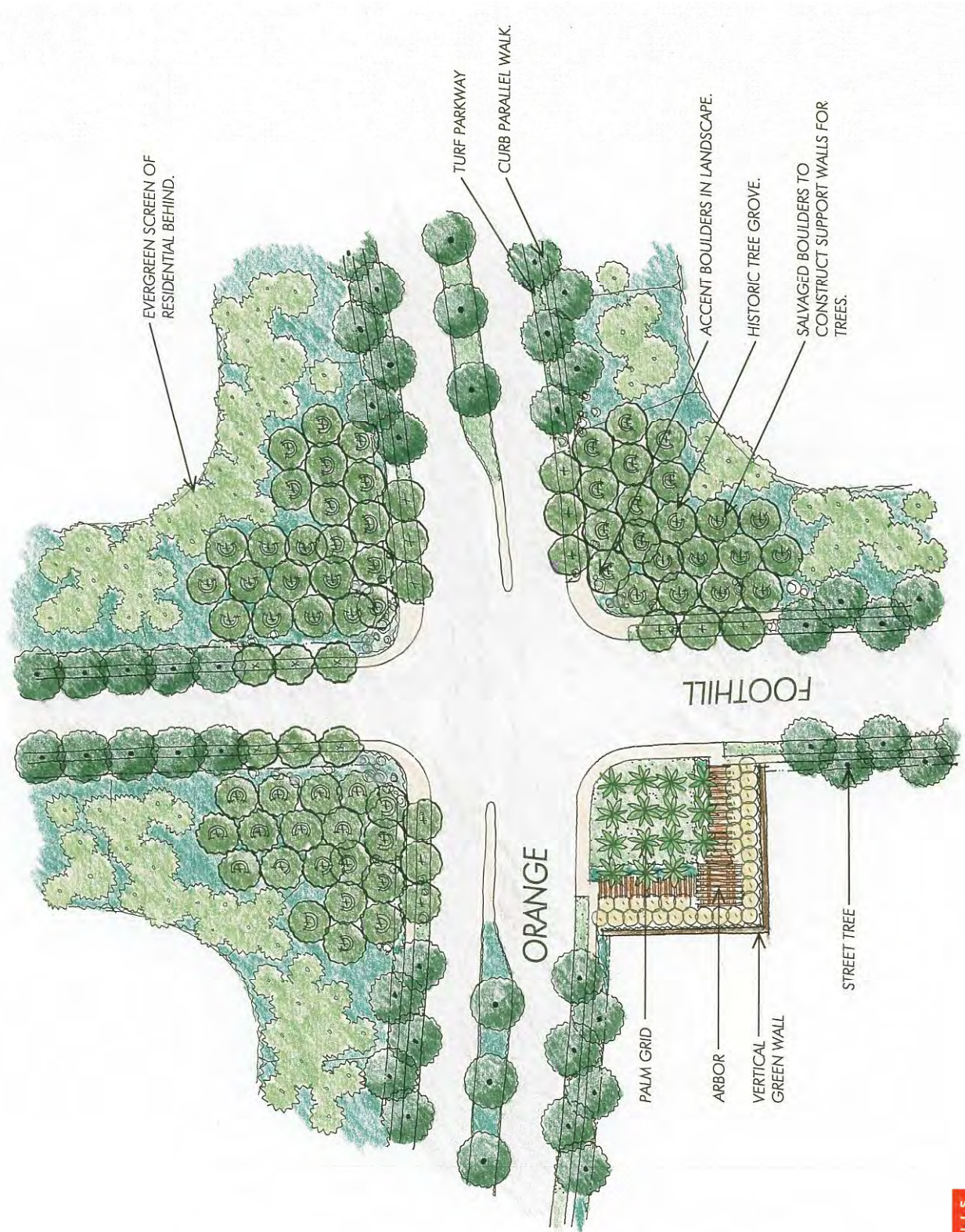


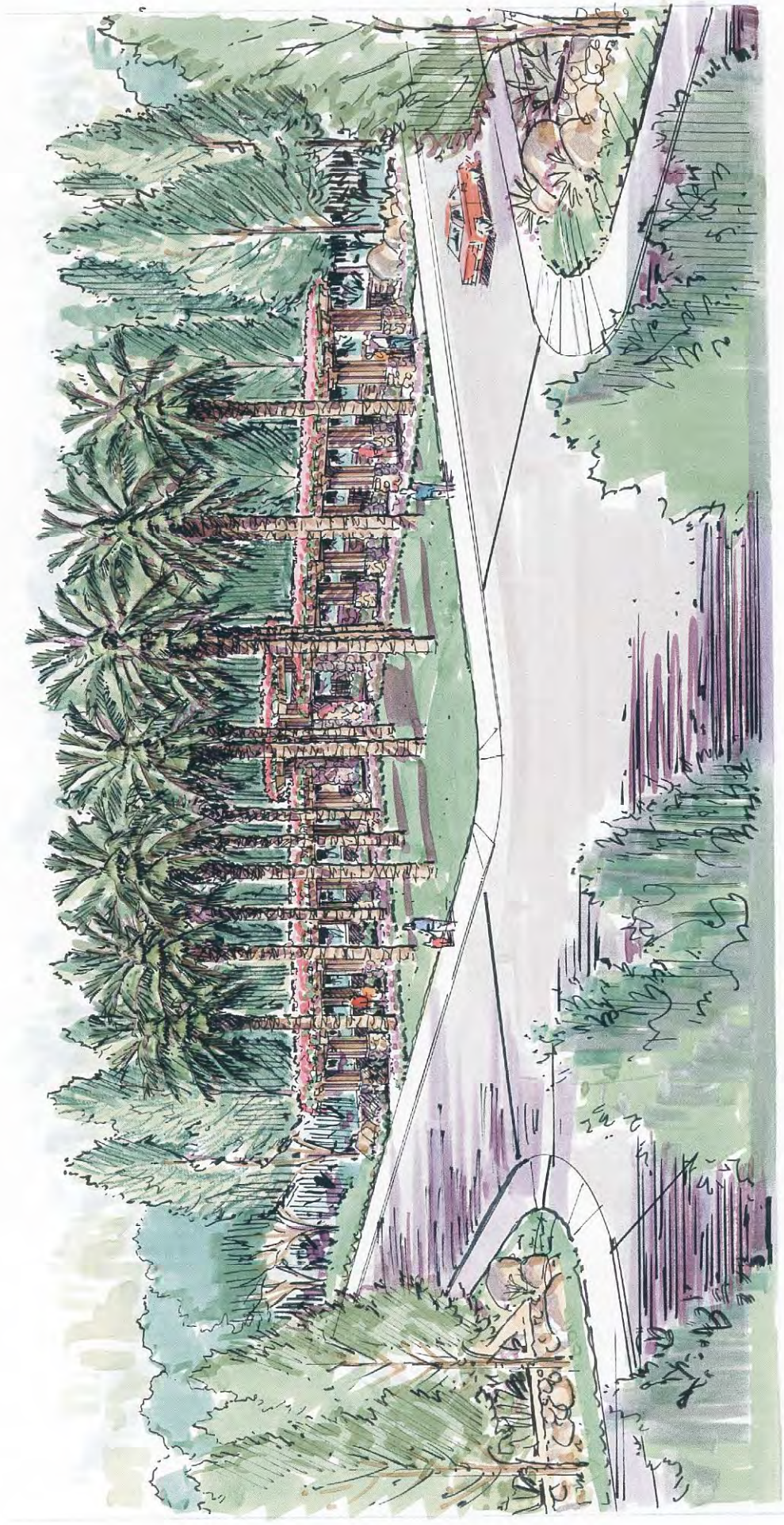


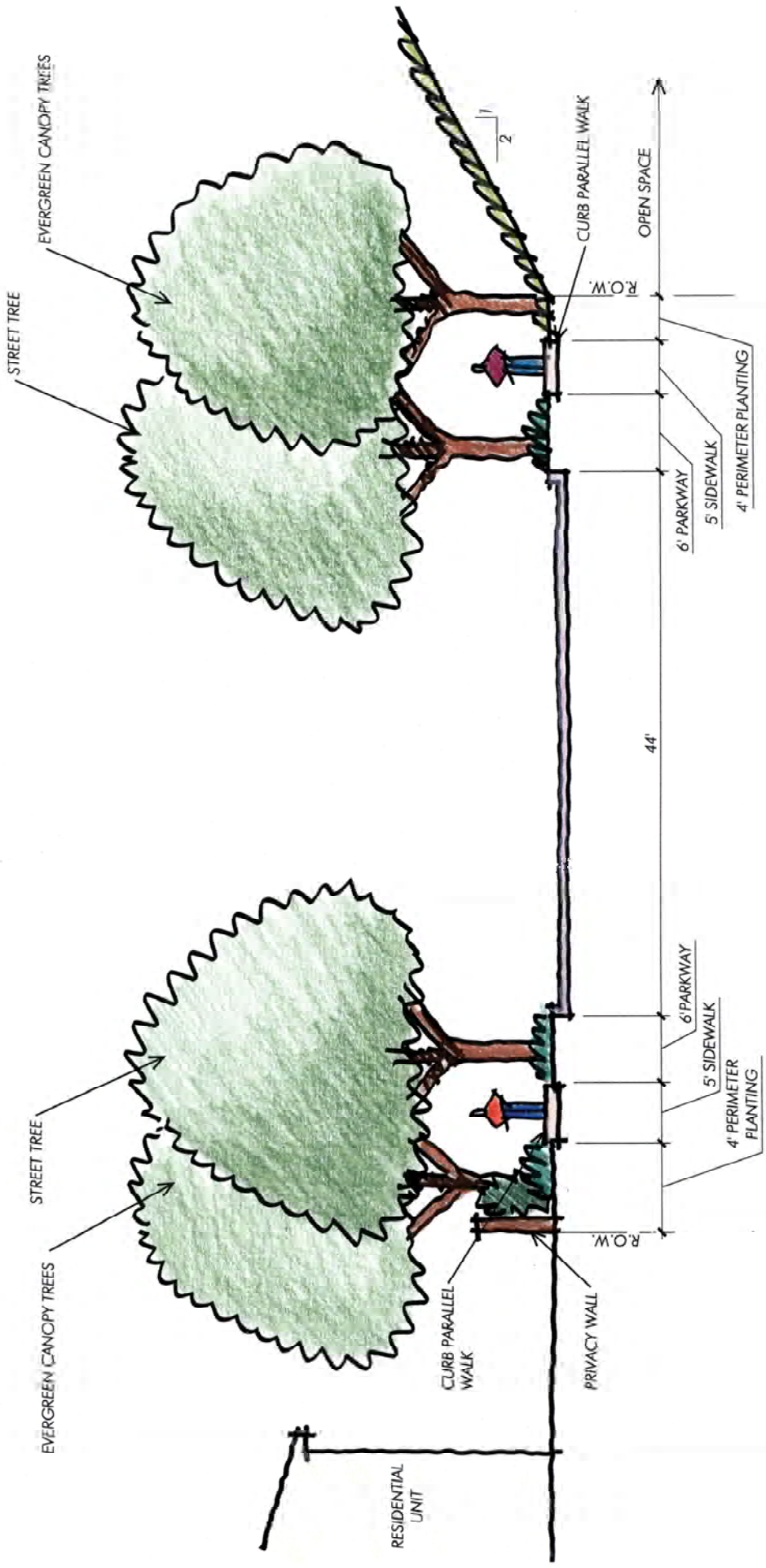


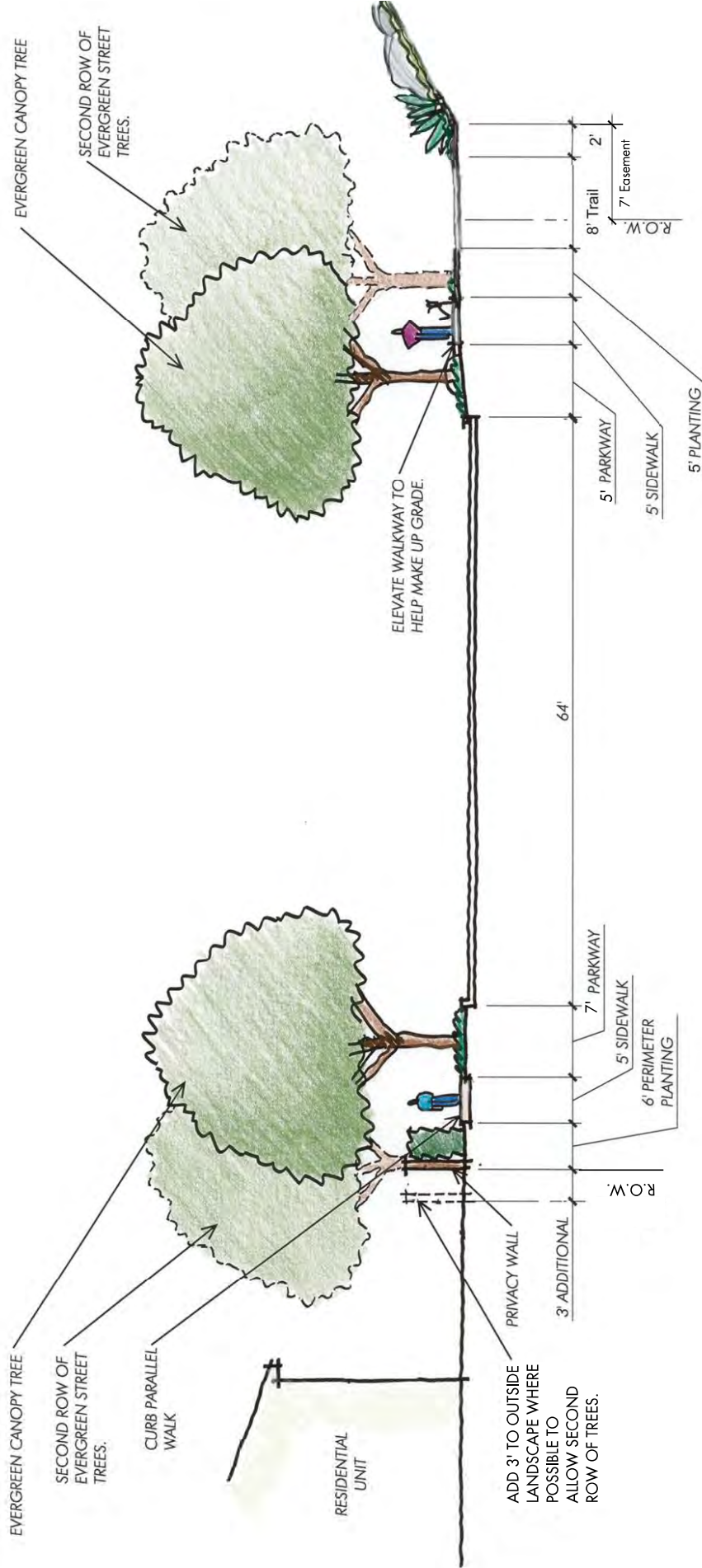
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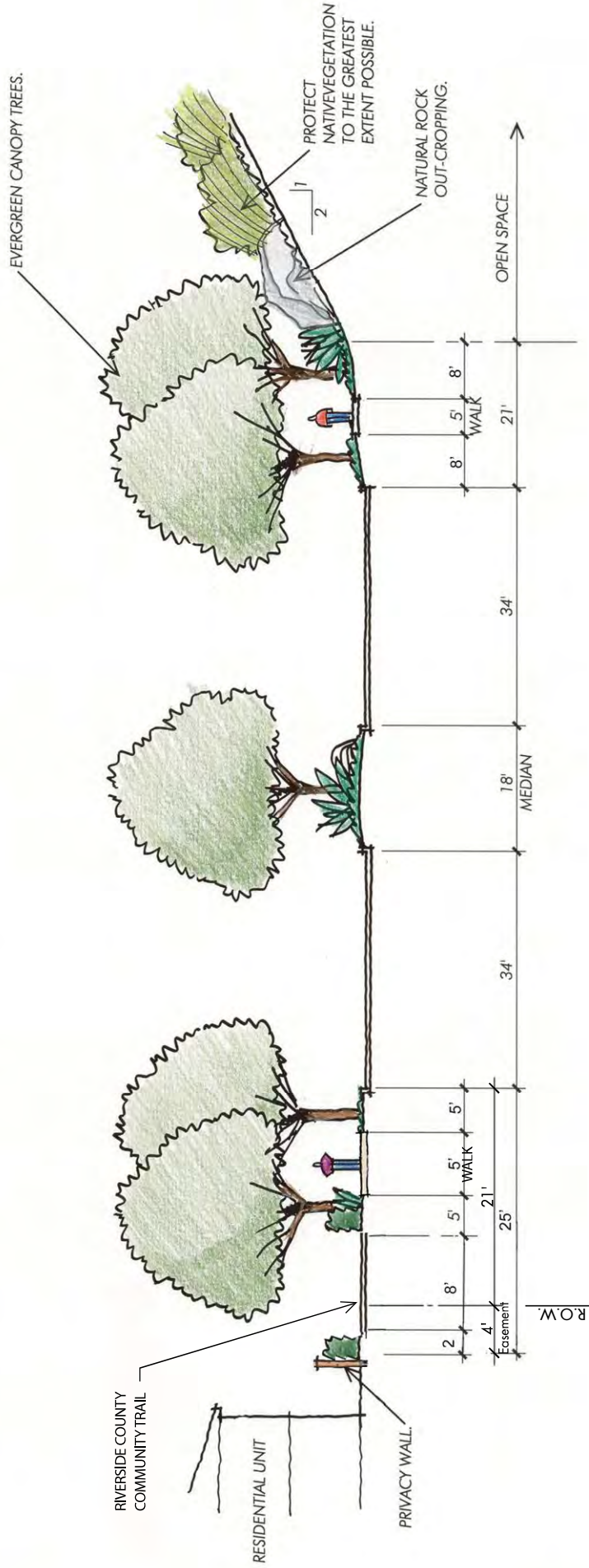
04-15-2015 JN 145159





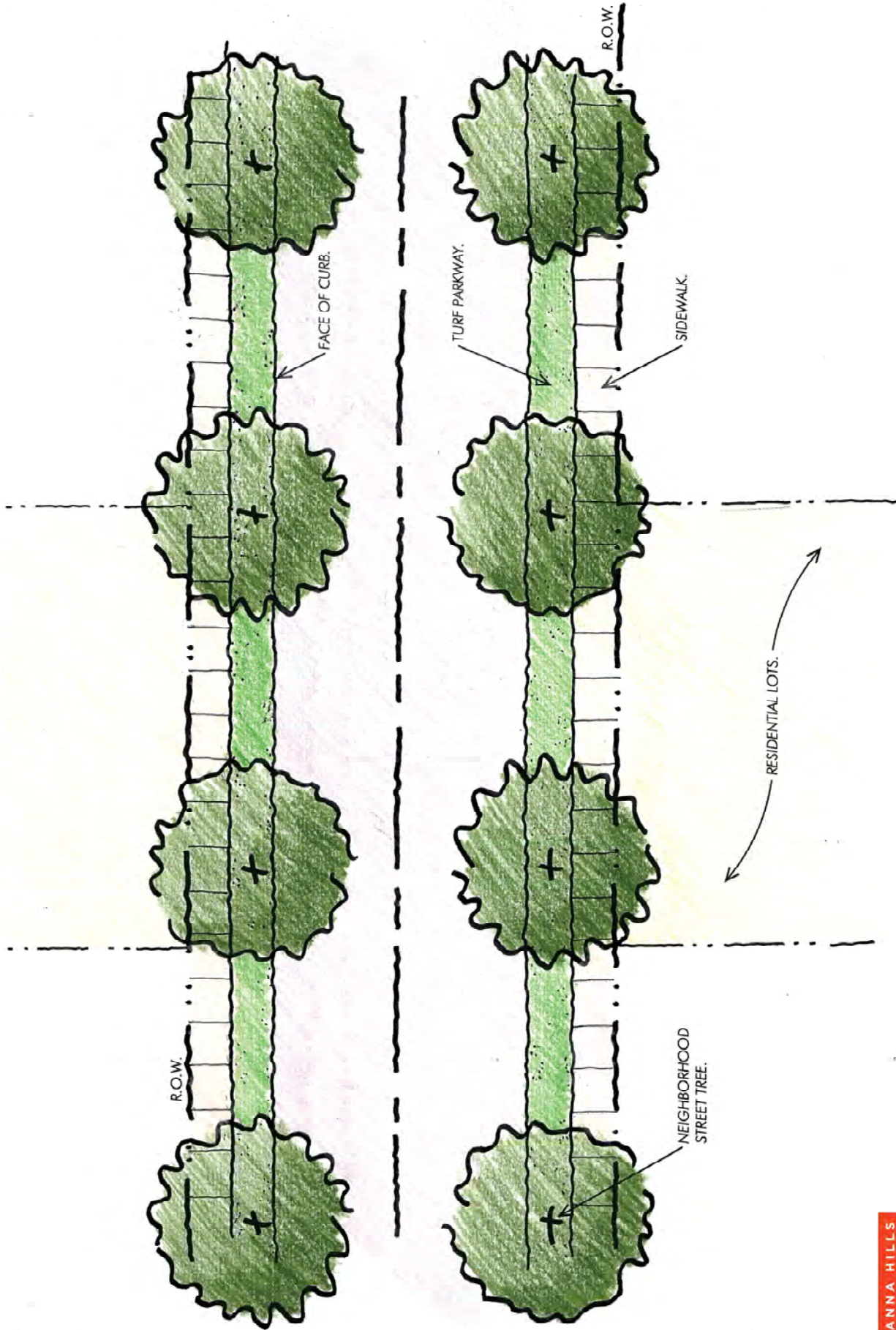






NOTE:
 East Orange Avenue is used as an example for this illustration,
 other portions of this roadway will differ pursuant to the
 adjacent use.

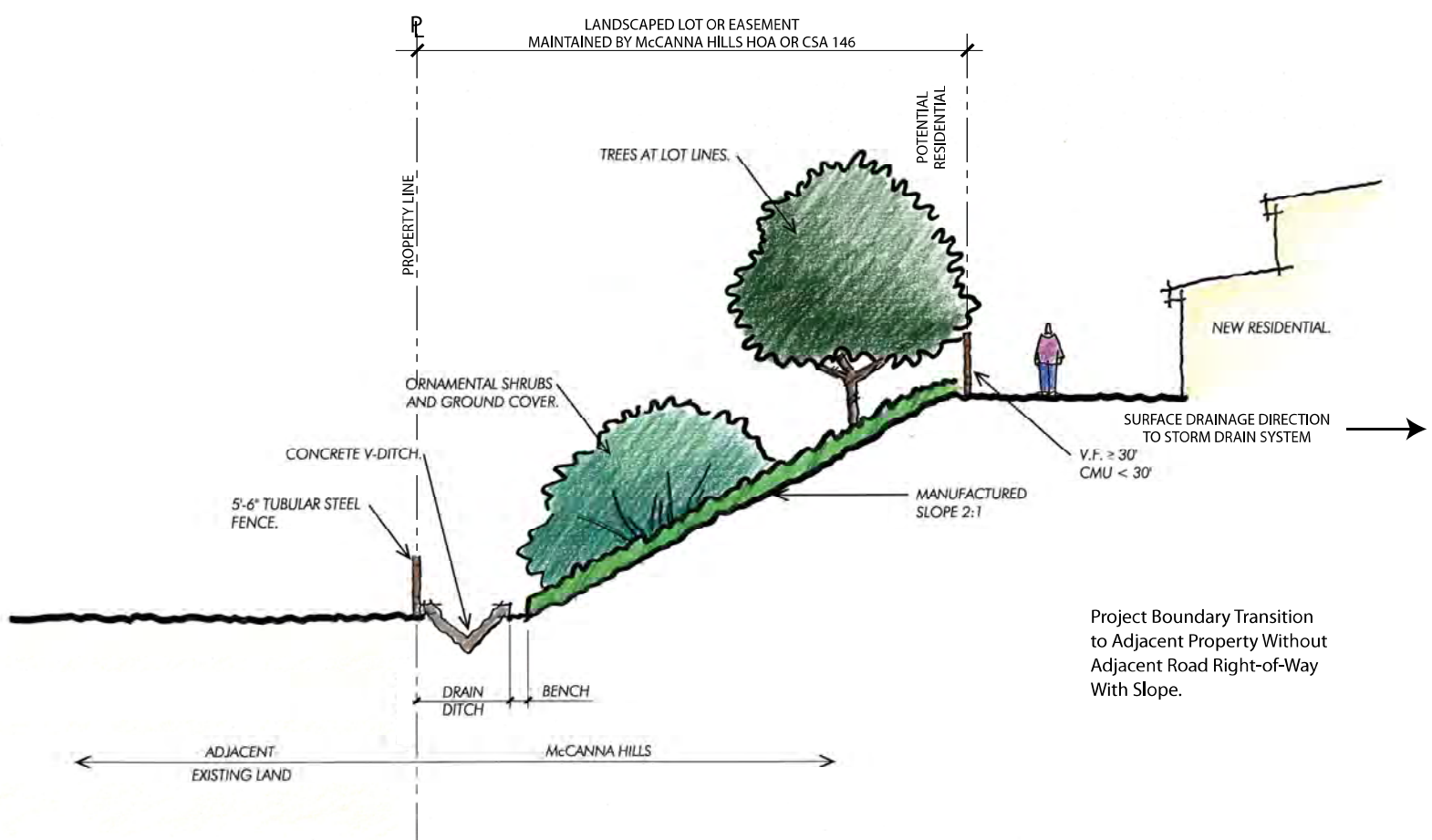
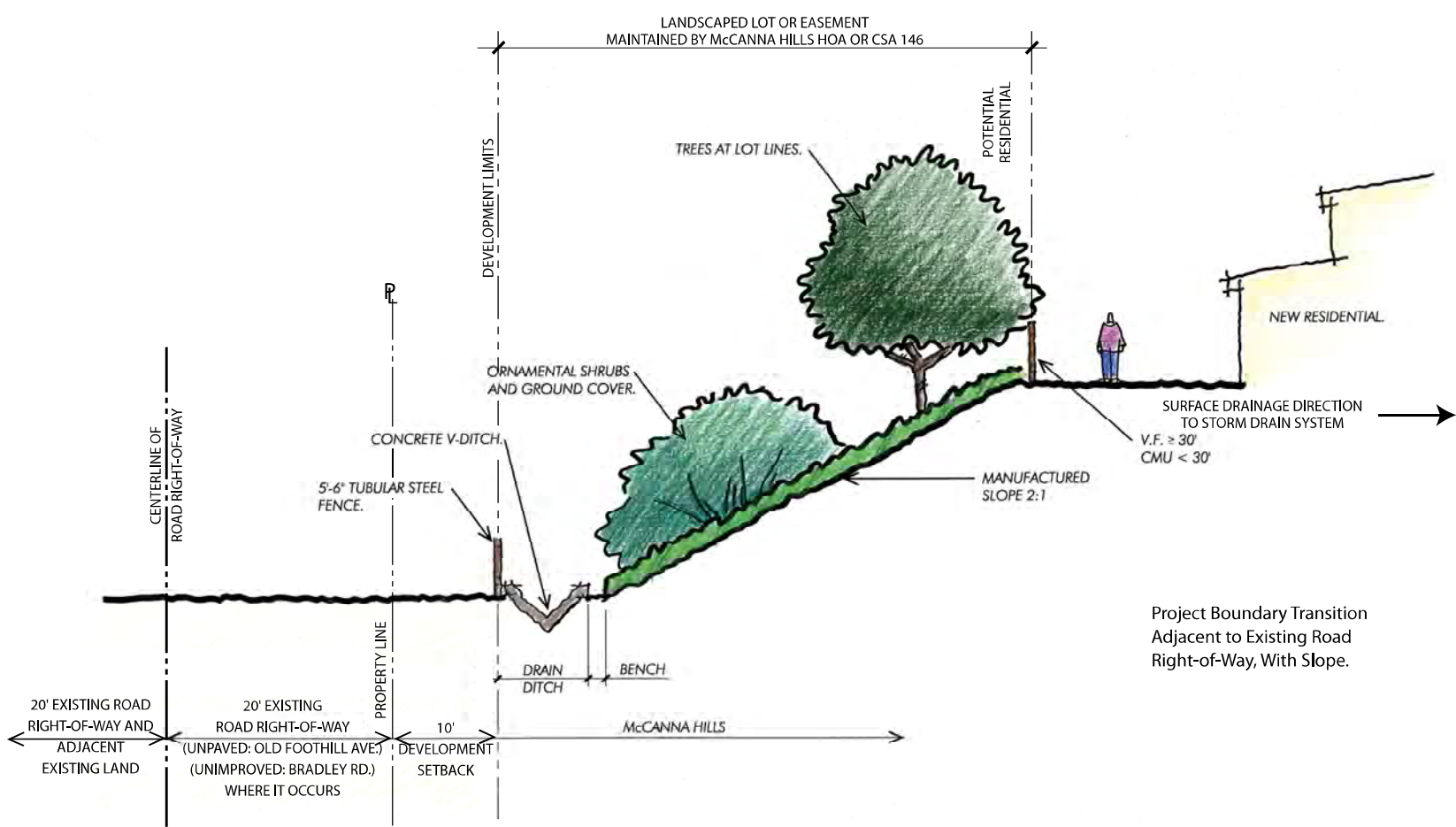
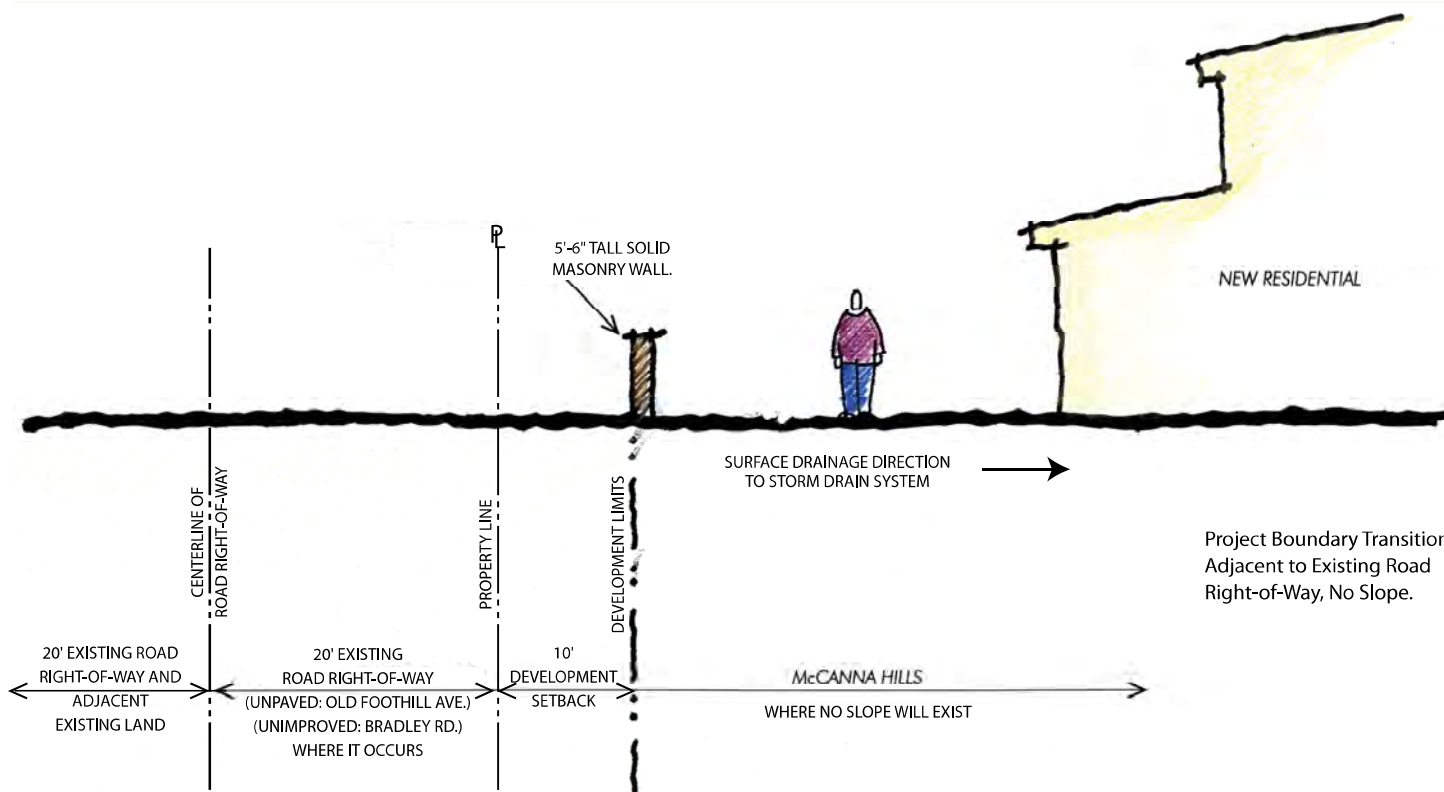


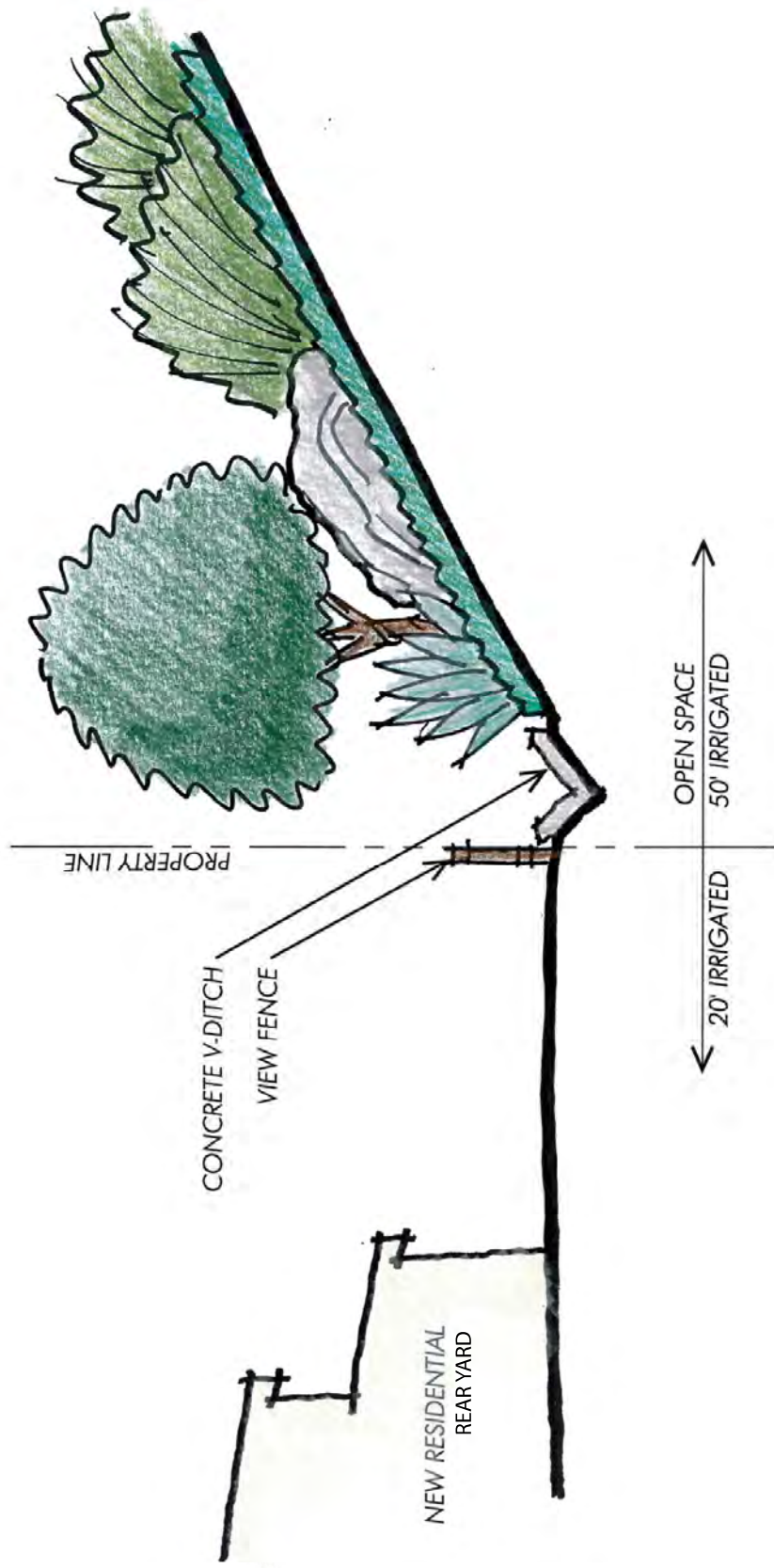




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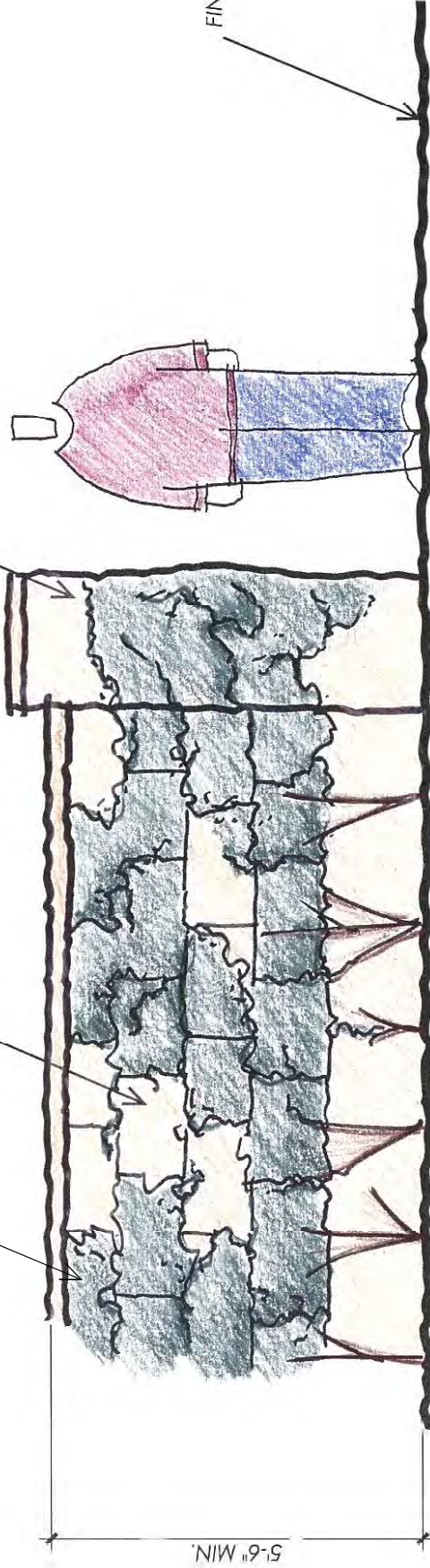
NO SCALE



VIGOROUS, SELF-CLINGING VINES OR OTHER SIMILAR PLANT MATERIAL TO BE USED FOR SCREENING PURPOSES WHERE WALL FACE IS WITHIN PUBLIC VIEW.

INTEGRAL COLOR PRECISION BLOCK WALL WITH MATCHING 2" CAP.

24" SQ. INTEGRAL COLOR PRECISION BLOCK PILASTER.



5'-6" MIN.

FINISH GRADE.



NO SCALE

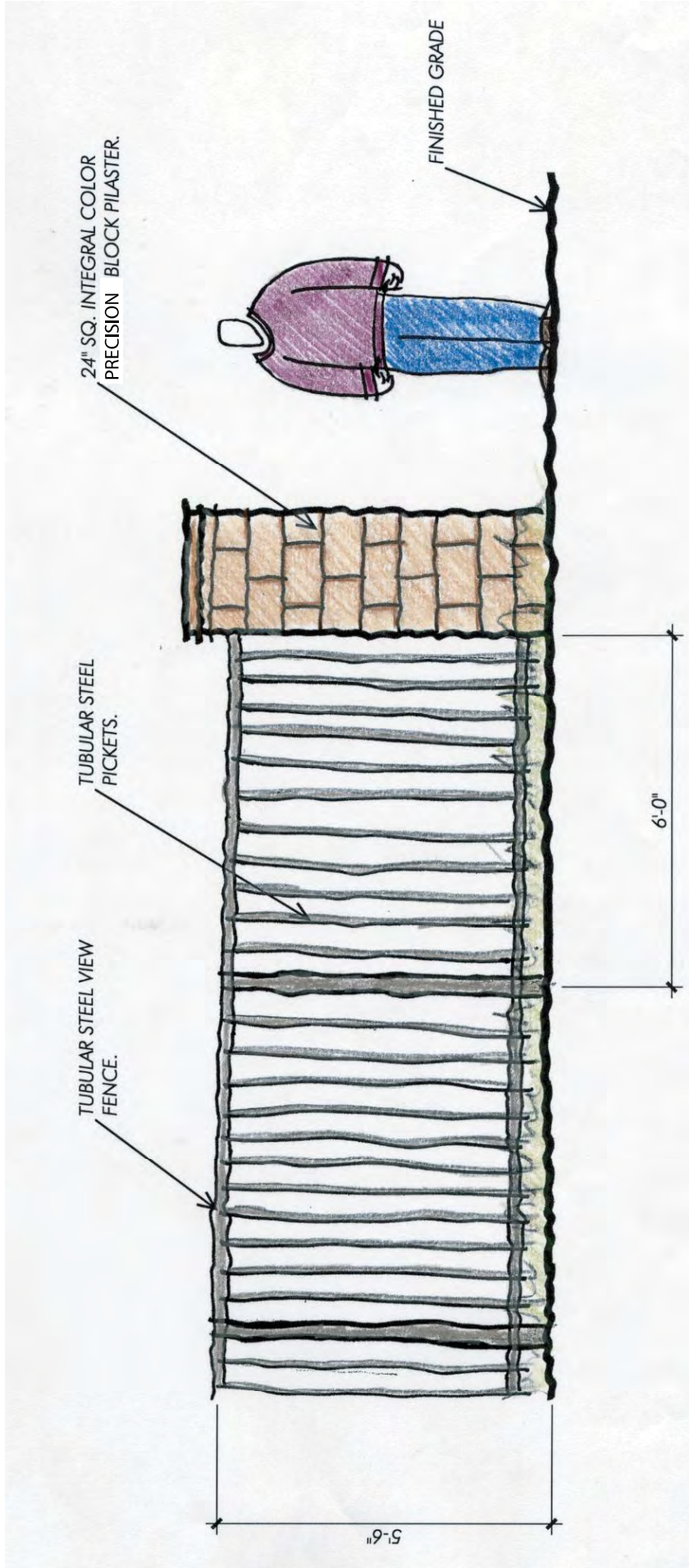
MCCANNA HILLS

SP 246 AMENDMENT 3

CONCEPT WALLS AND FENCING ELEVATIONS

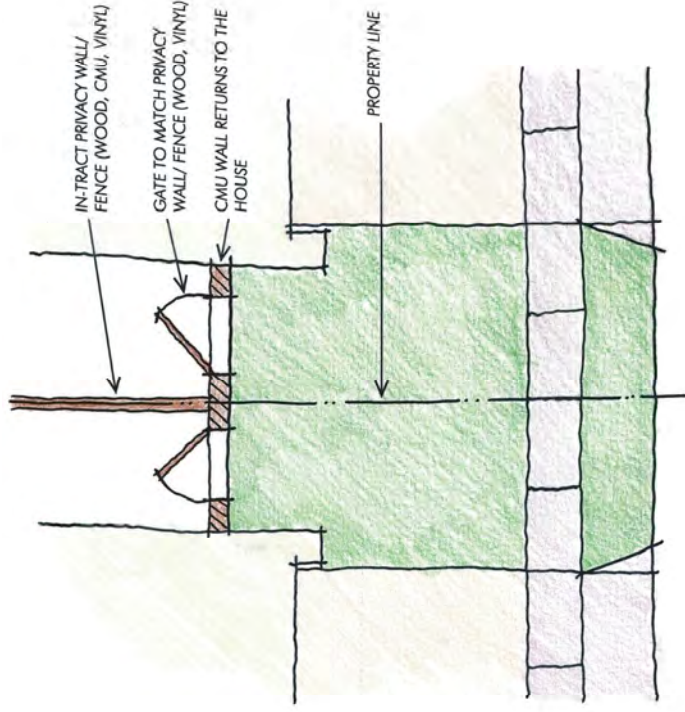
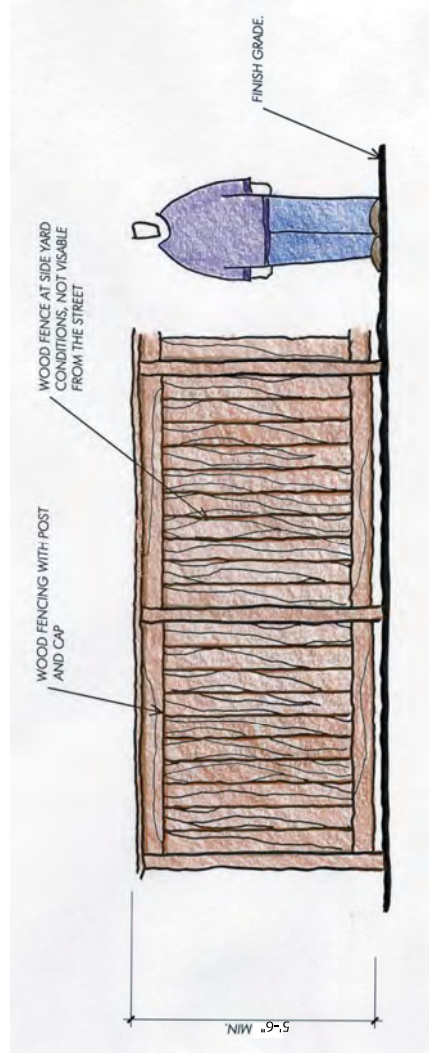
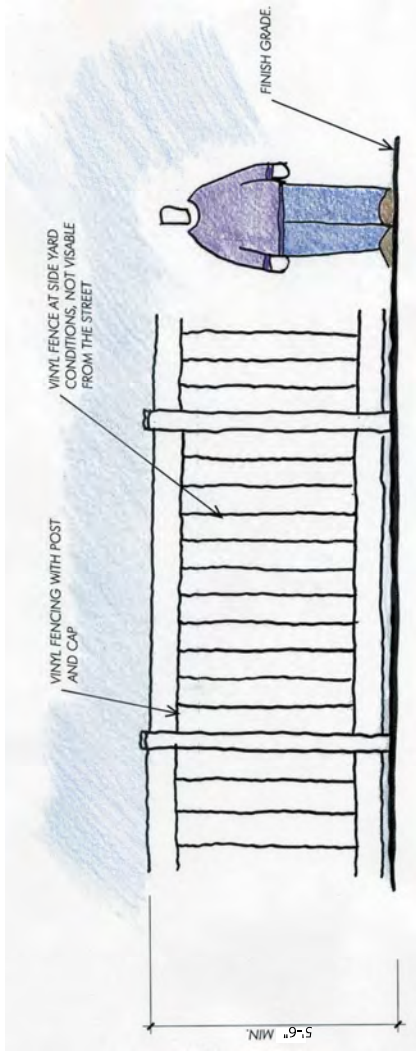
EXHIBIT 5.16 A

04-15-2015 145159



NO SCALE

04-15-2015 JN 145159



NO SCALE



04-15-2015, IN 145159

RUSTIC ENTRY
SIGNAGE (20' +/-)

EXISTING BOULDERS
TO REMAIN

REVEGETATE
DISTURBED AREAS

