

C. Landscape Architectural Guidelines/Standards

1. Introduction

The landscape will play a significant role in establishing a distinctive character for the Winchester Properties. It will unify the various land uses, as well as provide an overall community identity.

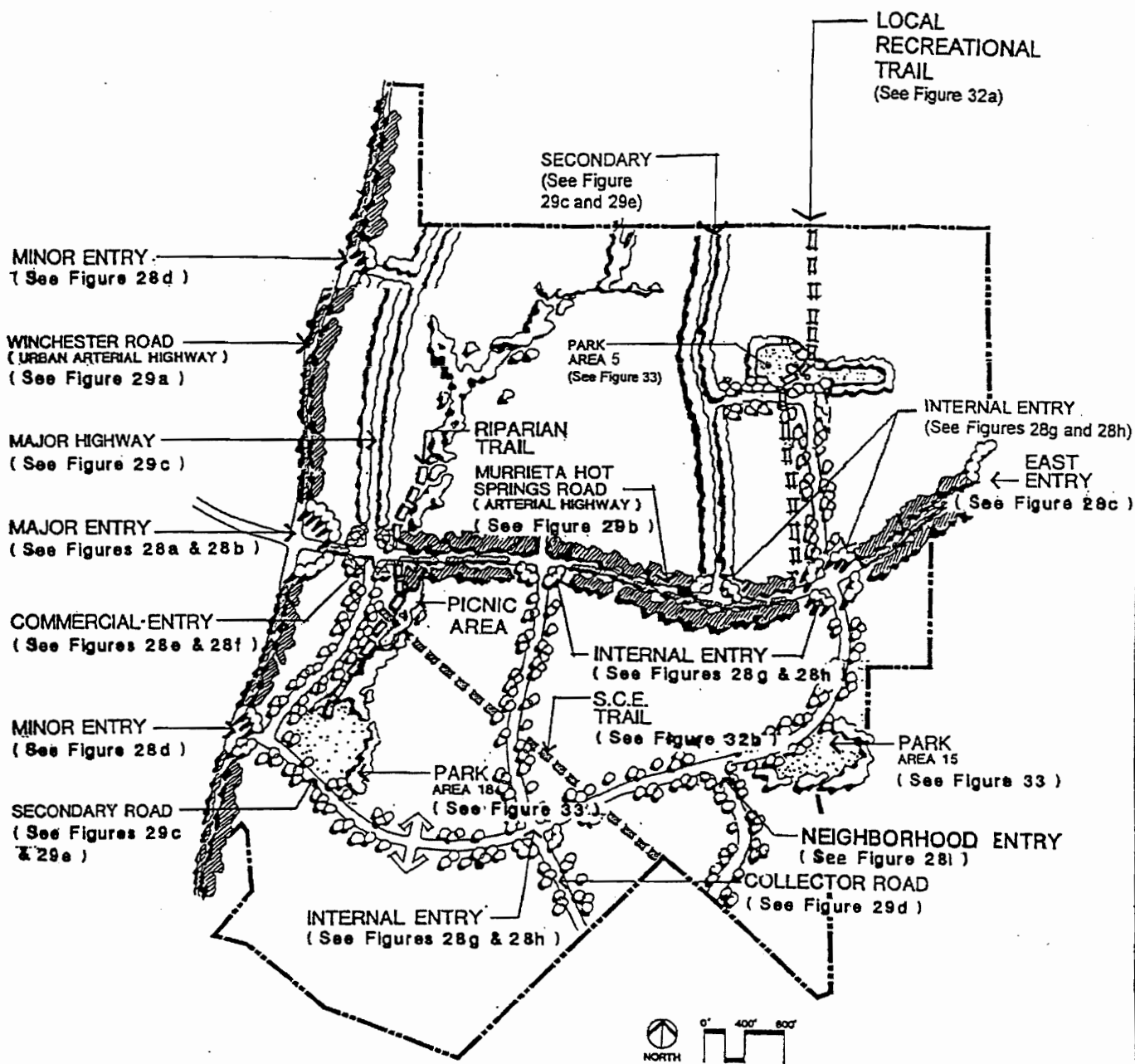
The purpose of the following landscape guidelines is to describe and illustrate how this unified and distinctive identity can be achieved. The guidelines have been divided into the six identified below. The categories represent the entire vocabulary of landscape elements within the Winchester Community Plan. Used in conjunction with the design guidelines for planning and architecture, a high quality attractive community is virtually assured.

The categories are further divided into subcategories within which descriptions and plans, elevations and perspective drawings convey overall design "intent". The "Landscape Theme Plan" (Figure 27) is a "key" map that identifies these subcategories. The Theme Plan includes call-outs for all exhibits in the text (i.e. major highway, major entry, neighborhood entry). It will be useful to refer to it when reviewing the text in order to understand the locations of the various landscape elements within the community.

- o Entry Themes/Monumentation/Signage
- o Streetscape Themes
- o Community Walls/Fences
- o Community Trails and Greenbelts
- o Park Master Plans
- o Landscape Guidelines

2. Entry Themes/Monumentation/Signage

Entry themes, monumentation and signage will play an important role in creating an impressive and inviting atmosphere for the community. The initial impression of a community is often formulated by the quality and character developed at the entries.



SOURCE : LAND/ PLAN/ DESIGN GROUP

Landscape Theme Plan WINCHESTER PROPERTY



T&R Planning Consultants
 2501 PINE HILLS BLVD. SUITE 100
 SANTA ANA, CALIF. 92705 (714) 241-1234
 10000 EMBURY DRIVE, SUITE 200
 SAN DIEGO, CALIF. 92126 (619) 594-1234

Figure 27

Within the Winchester Properties, a variety and hierarchy of entries have been developed. These range from the "Major Entry" at the intersection of Winchester Road and Murrieta Hot Springs Road to "Neighborhood Entries" located within the community along interior streets. The landscape theme plan, as shown on Figure 27, identifies their locations within the community. They are described and illustrated on the following pages.

a) Major Community Entry:

Located at the intersection of Winchester Road and Murrieta Hot Springs Road, this is the primary gateway into the community. It will consist of two vertical monuments that emphasize and define the community entry. Low curved stucco walls will sweep out from the columns with two smaller accent columns flanking each wall. The low walls will include signage naming the community. Formal vertical form trees will sweep behind the walls and reinforce the importance of the entry. (See Figures 28a and 28b.)

b) East Community Entry:

Located at the eastern boundary of the site along Murrieta Hot Springs Road, this area provides an opportunity to create the "east entry" community identification. It is designed to be consistent with the "Major Community Entry" and will include identical plant materials and detailing of signage walls. Since it is not as primary as the major entry, it will not include the vertical columns and will be generally smaller in scale. (See Figure 28c.)

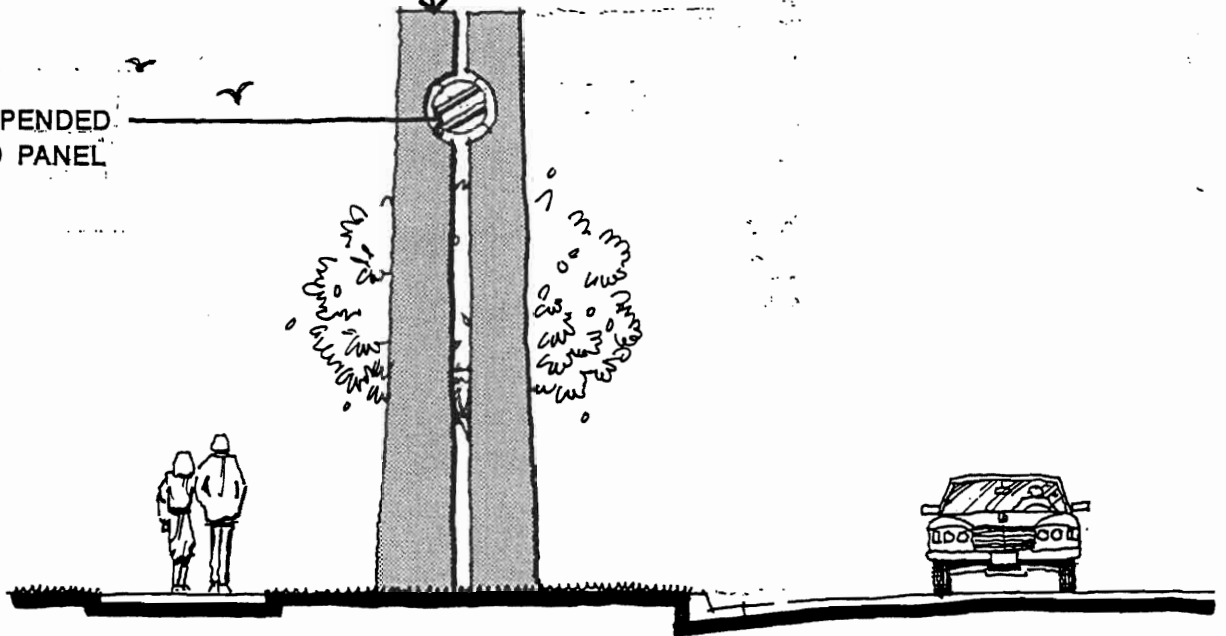
c) Minor Project Entries:

Located along Winchester Road these two entries provide alternate access to the community. The northern entry accesses the business park and the southern entry accesses the residential areas. (See Figure 28d.)

Both entries will include columns connected to smaller columns and attached with either a low wall or trellis type overhead structure. These entries may include stucco or other finishes such as cultured stone. While both minor entry monuments will maintain a similar scale, the actual final detailing will be tailored to its respective residential or business park orientation. Community logotype may occur on the entry features.

MONUMENT

SUSPENDED
LOGO PANEL



NOTE FINAL LOGO DESIGN TO BE DETERMINED

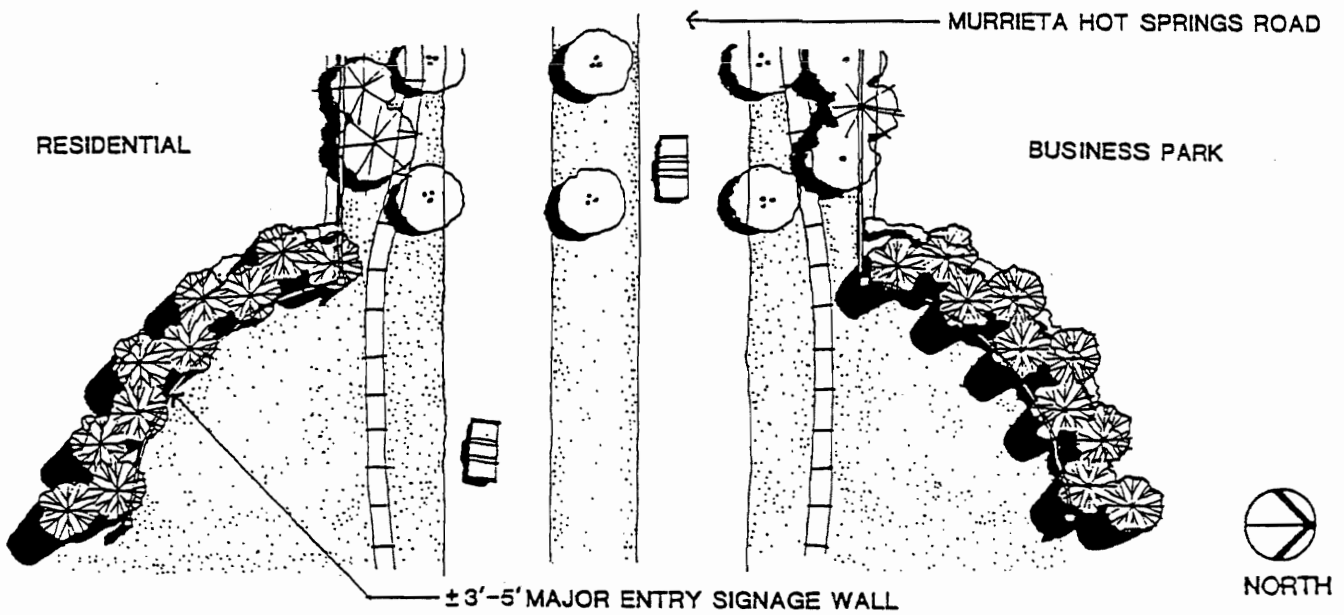
Figure 28b

Conceptual Major Entry Monument WINCHESTER PROPERTY



T&B Planning Consultants
INC. 1141 ALBANY STREET #101
SANTA ANA, CALIF. 92701 (714) 642-7721
5050 LEBLANCH DRIVE, SUITE 100
SAN DIEGO, CALIF. 92121 (619) 544-8100

SOURCE : LAND/PLAN/DESIGN GROUP



PLAN

SOURCE : LAND/ PLAN/ DESIGN GROUP

Figure 28c

East Entry WINCHESTER PROPERTY



T&B Planning Consultants
 2820 MARILYN BLVD. #101
 SAN ANA, CA 92705-1741 (949) 661-3774
 3000 CARLETON DRIVE, SUITE 200
 SAN DIEGO, CA 92108 (619) 546-8166

4) Commercial Entry:

The commercial entry is located at the intersection of Murrieta Hot Springs Road and the Major Highway. This area will be defined by low curved stucco walls with pilasters at each end. Identification of the commercial area will be located on the curved walls. Formal masses of trees will form a backdrop to the curved walls. (See Figures 28e and 28f.)

5) Internal Residential Entries:

These occur at entries to the major residential streets from Murrieta Hot Springs Road or the Secondary Road. These entries will reinforce the overall community themes that occur at the major and minor entries. Two types of internal entries will occur. In conditions where the area outside the community wall or fence is sloping, a curved low wall with pilasters will occur with a backdrop of informal massings of trees, shrubs and ground cover (Plan A). In cases where there is a gentle or essentially level conditions, the 5-1/2 to 6 foot high theme wall will become the signage wall with informal clusters of trees, shrubs and ground covers concentrated at the entry (Plan B). (See Figures 28g and 28h.)

6) Neighborhood Entries:

The residential streets that take access directly off Murrieta Hot Springs Road or the Secondary Road will include a sign wall with pilasters on each end and an opportunity for a logotype panel. Much like the "Internal Entries", they will accent entries into residential areas and reinforce the community identity. However, the scale of these entry monuments will be smaller than internal entries as they emphasize individual neighborhood characters. (See Figure 28i.)

7) Business Park Entries:

The business park entries will occur at intersections of arterial highways with major highways and industrial collectors. These entries will provide an overall continuity and theme to the business park areas as well as provide continuity with the community "major" and "minor" entry monuments. Besides sign wall material selection, these monuments will be differentiated from the residential monuments through landscape treatment. While in residential areas informal tree massings define sign areas, formal vertical tree massings will define business park entries. Logotypes will be provided on the sign walls to identify the name of the business park. (See Figure 28j.)

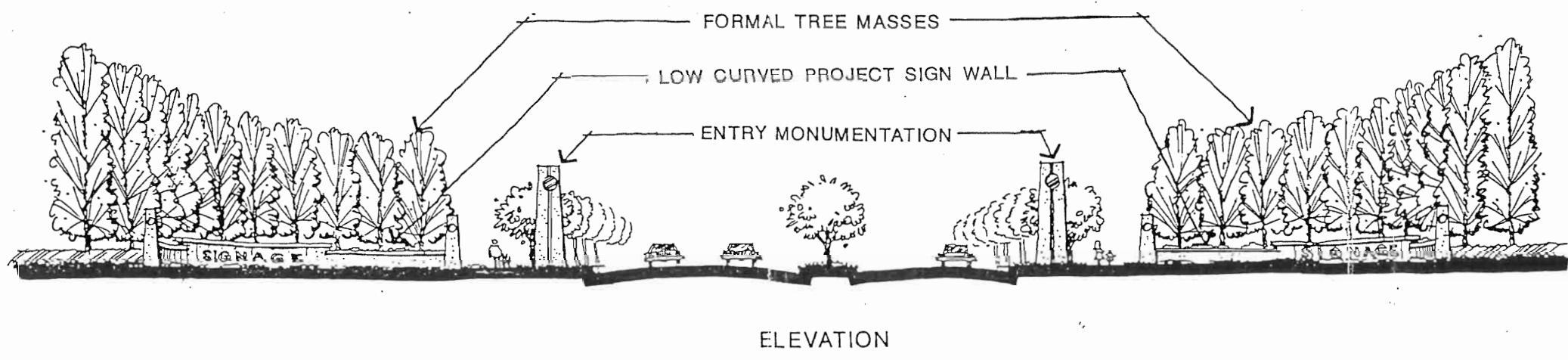
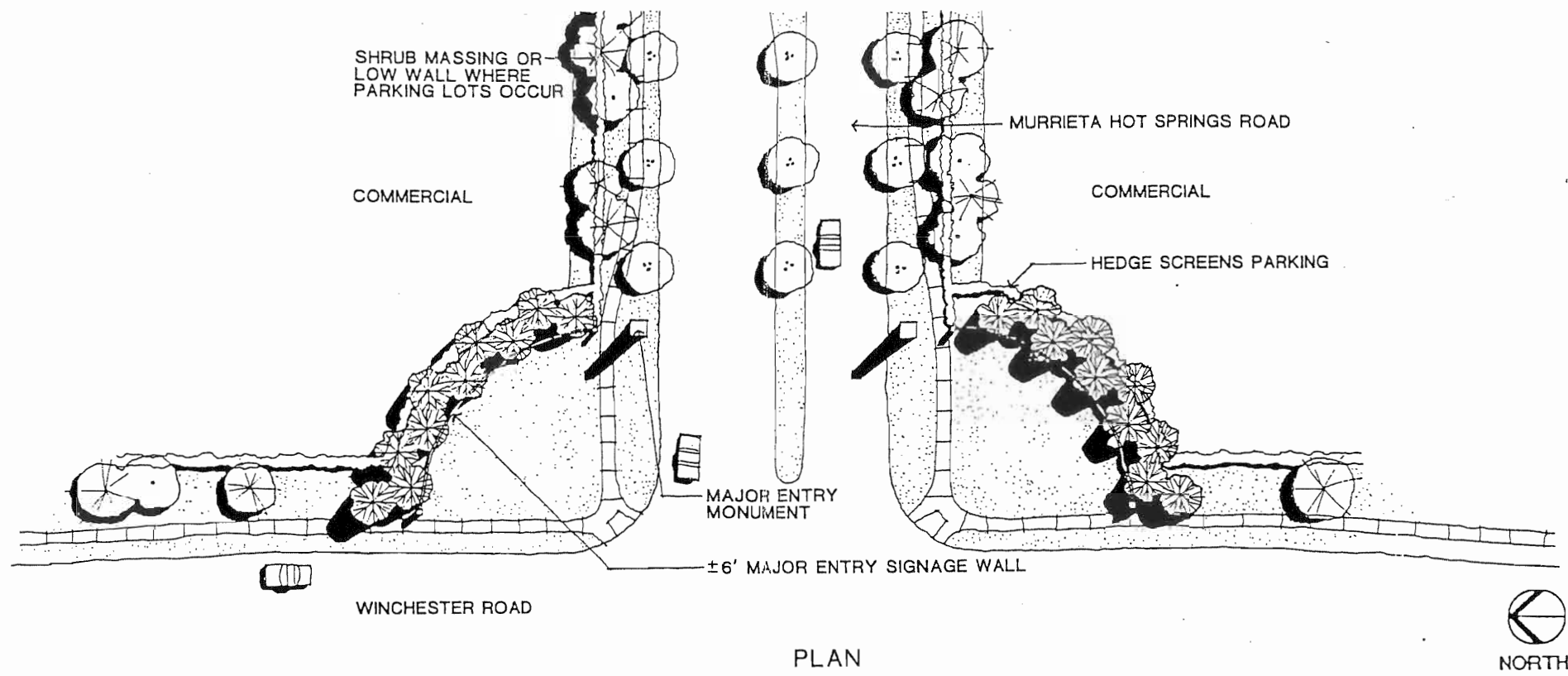


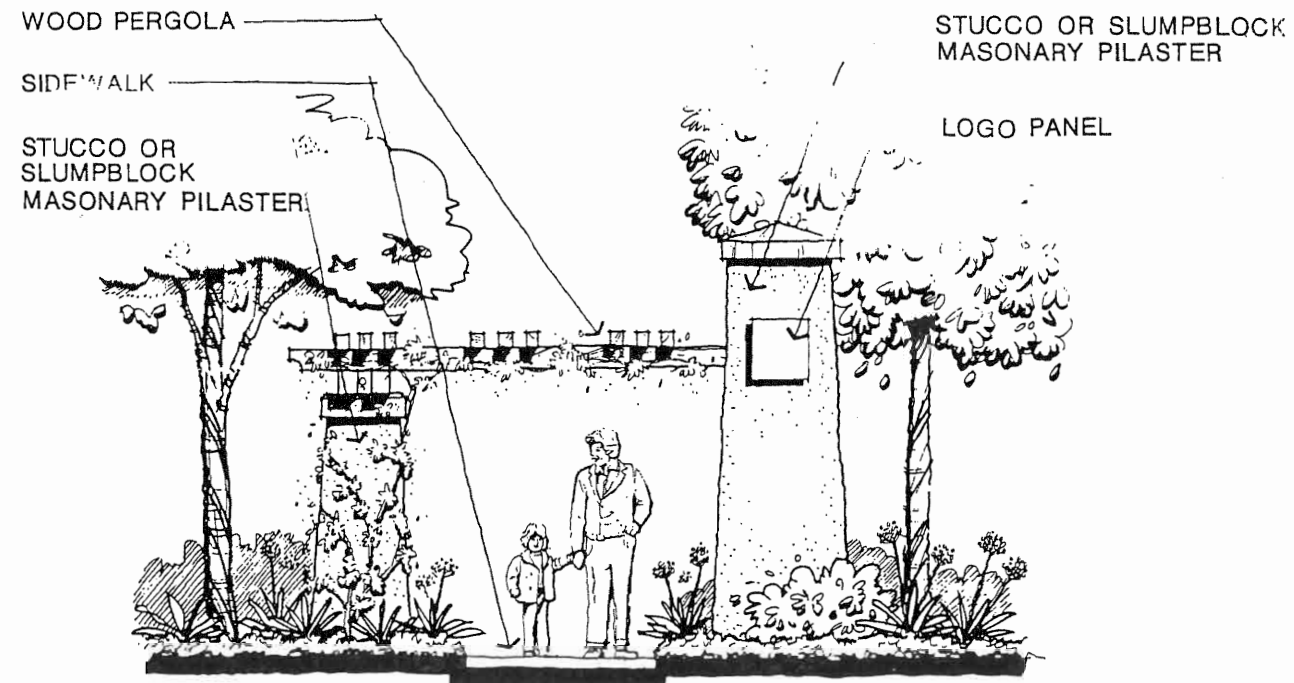
Figure 28a

Major Entry
WINCHESTER PROPERTY

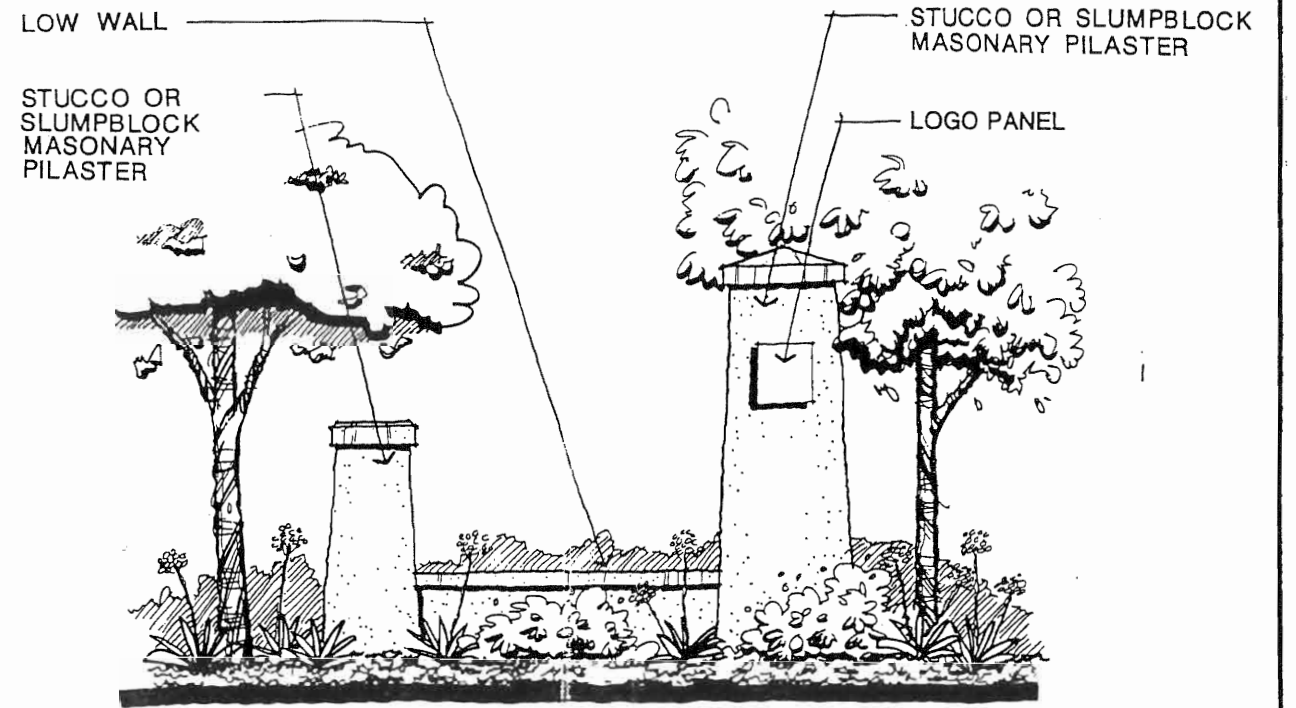


T&B Planning Consultants
200 HALLAZAR STREET, SUITE 200
SAN JOSE, CALIF. 95128 (415) 432-2771
SAN DIEGO, CALIF. 92108 (619) 541-4200

SOURCE: LAND/PLAN/DESIGN GROUP



RESIDENTIAL



BUSINESS PARK

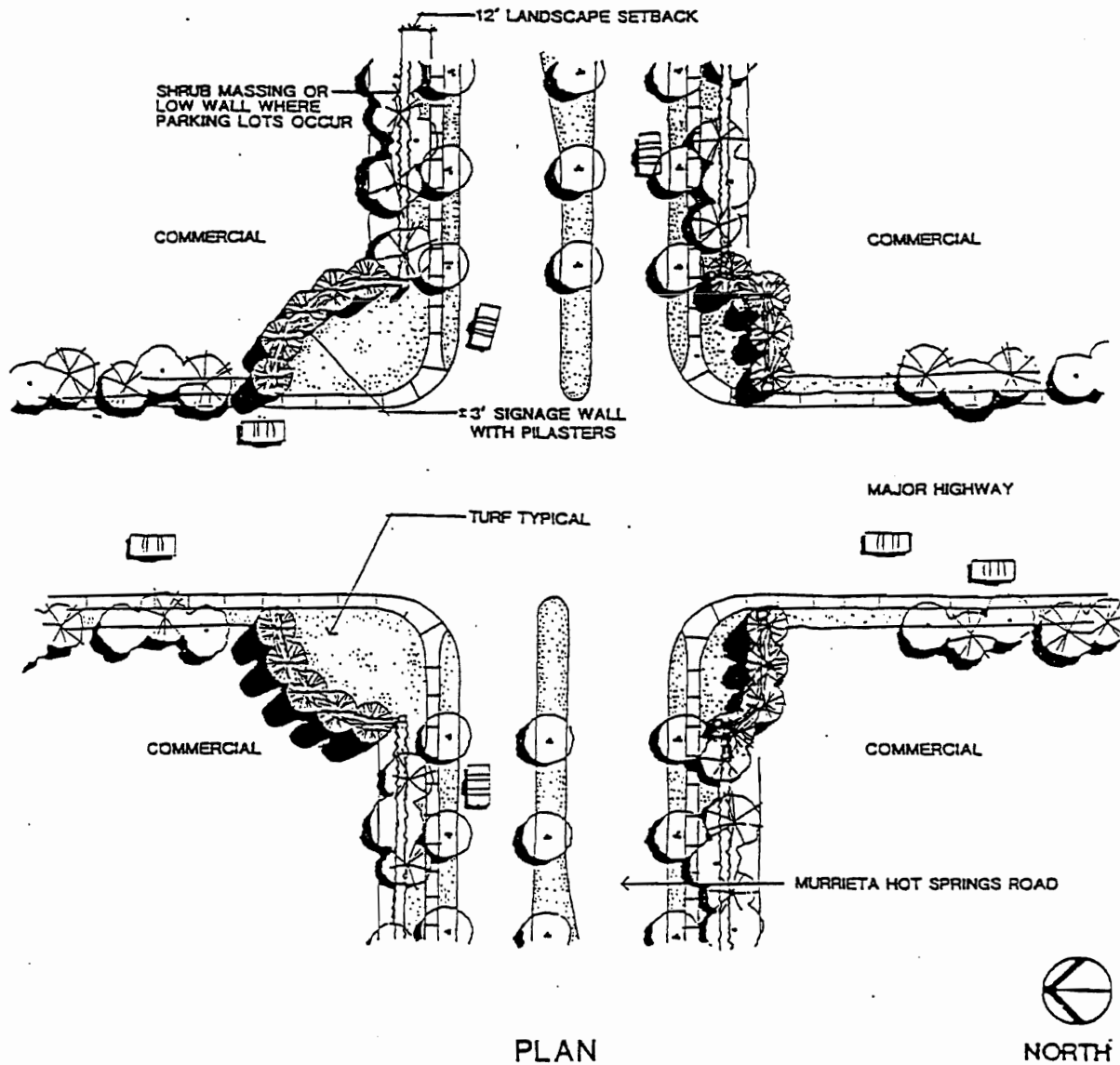
Figure 28d

Minor Entries
WINCHESTER PROPERTY



T&R Planning Consultants
1542 HALLADAY STREET, SUITE 200
SAN JOSE, CALIF. 95128-1402-2771
SAN FRANCISCO OFFICE, SUITE 204
SAN DIEGO, CALIF. 92101-1876-54-624

SOURCE : LAND/PLAN/DESIGN GROUP



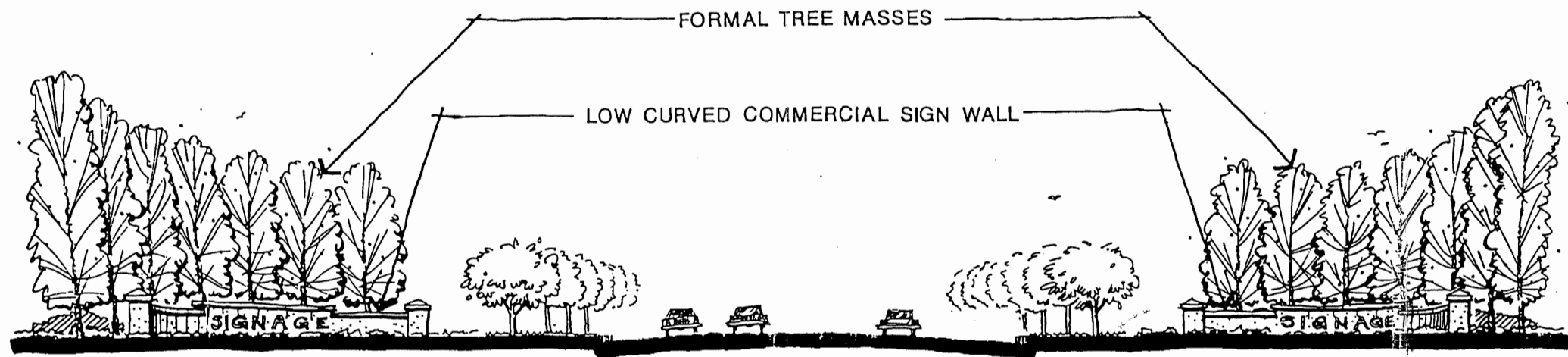
SOURCE : LAND/ PLAN/ DESIGN GROUP

Figure 28e

Commercial Entry WINCHESTER PROPERTY



T&B Planning Consultants
 2047 HAWTHORNE BLVD. SUITE 200
 SAN DIEGO, CALIF. 92161-4423
 6075 CAMELINA DRIVE, SUITE 200
 SAN ANTONIO, CALIF. 78217-3600



ELEVATION
(Looking North)

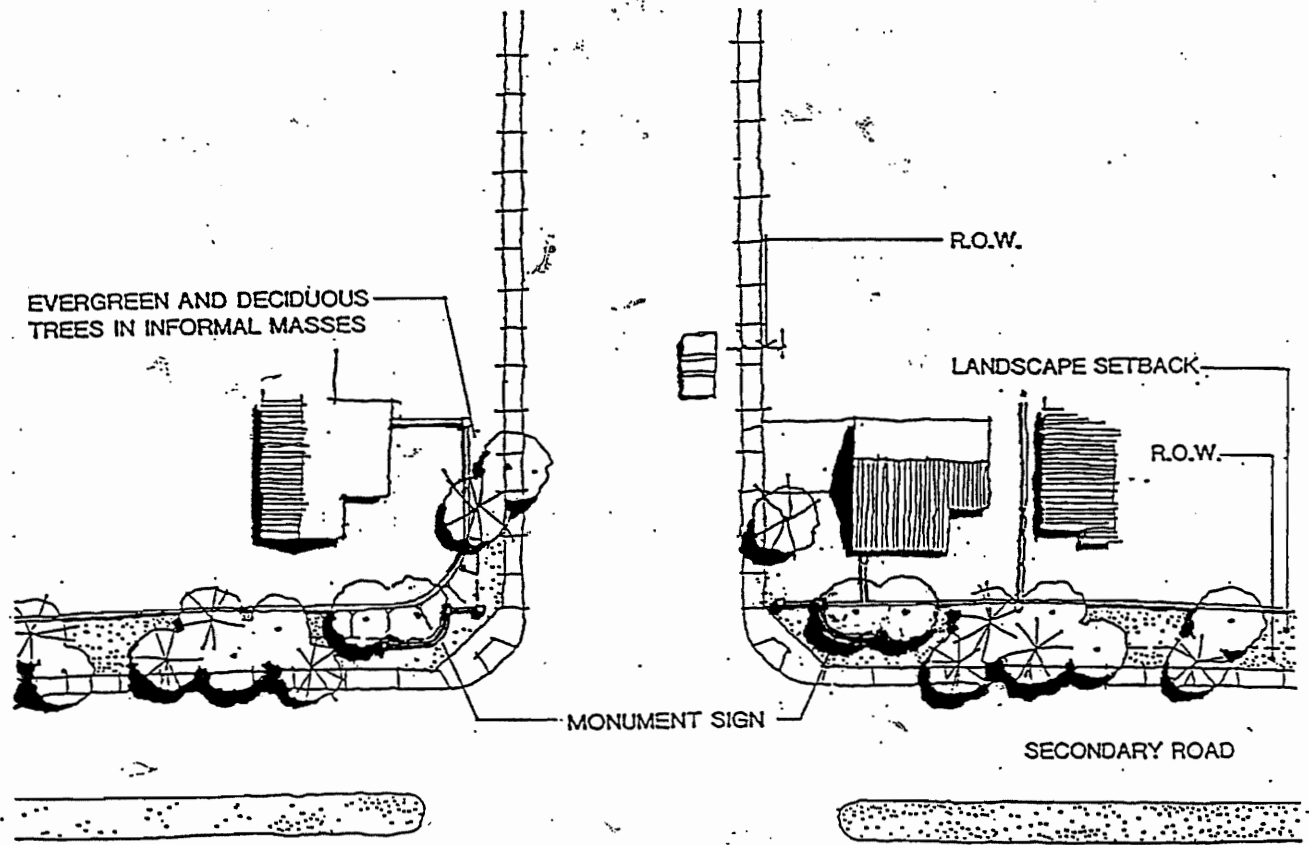
Figure 28f

Commercial Entry
WINCHESTER PROPERTY



T&R Planning Consultants SOURCE : LAND/PLAN/DESIGN GROUP

2845 HAWAIIAN DRIVE, SUITE 200
SAN ANTONIO, TEXAS 78240-2000
SAN ANTONIO, TEXAS 78240-2000



PLAN

SOURCE : LAND/ PLAN/ DESIGN GROUP

Figure 28g.

Internal Residential Entry WINCHESTER PROPERTY



T&B Planning Consultants
 1010 MARLBOROUGH STREET, SUITE 200
 SAN ANTONIO, TEXAS 78204-1643
 512-343-1111 FAX 512-343-1112



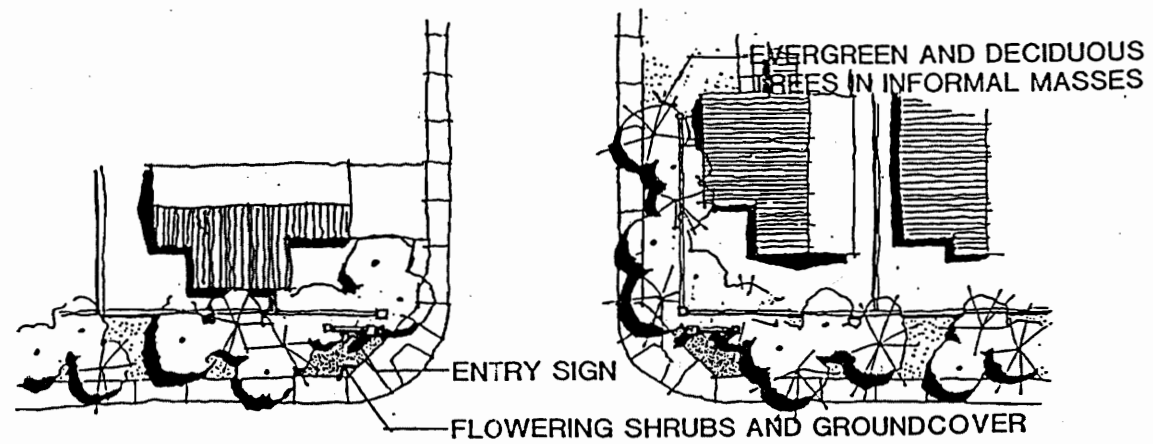
Figure 28h

Internal Residential Entry WINCHESTER PROPERTY

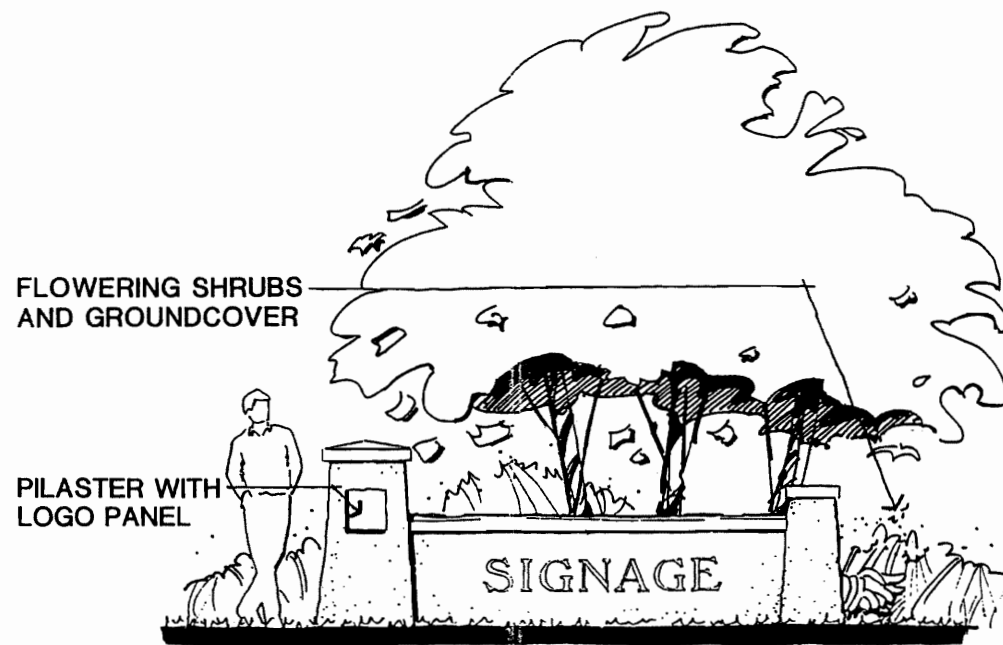


T&R Planning Consultants
2122 HALLMARK SUITE 100
SAN ANTONIO, TEXAS 78214-1000
SAN ANTONIO, TEXAS 78214-1000
SAN ANTONIO, TEXAS 78214-1000

SOURCE : LAND/PLAN/DESIGN GROUP



PLAN



ELEVATION

Figure 28i

Neighborhood Entry
WINCHESTER PROPERTY



T&B Planning Consultants
1201 HAWAIIAN BLVD. #100
SAN ANTONIO, TEXAS 78204-1774
SAN ANTONIO, TEXAS 78204-1774
SAN ANTONIO, TEXAS 78204-1774

SOURCE : LAND/PLAN/DESIGN GROUP

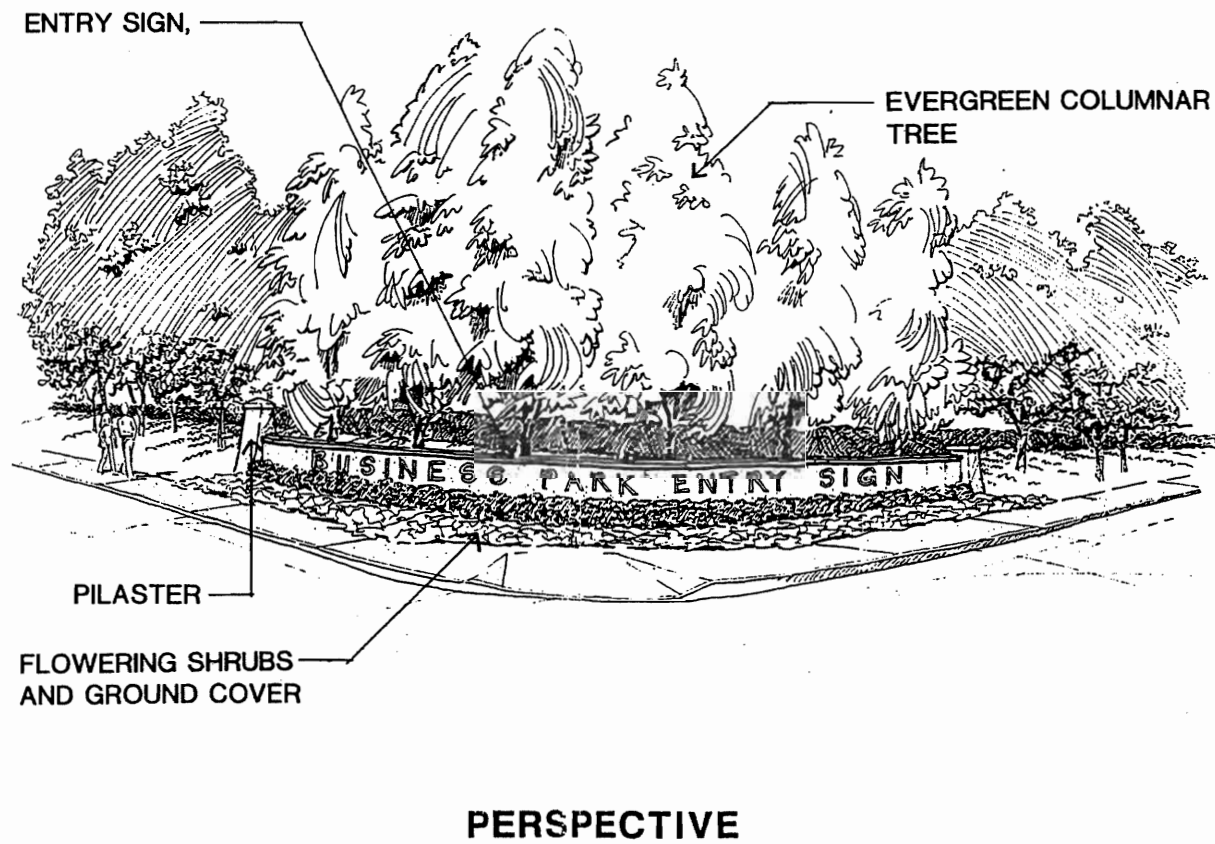
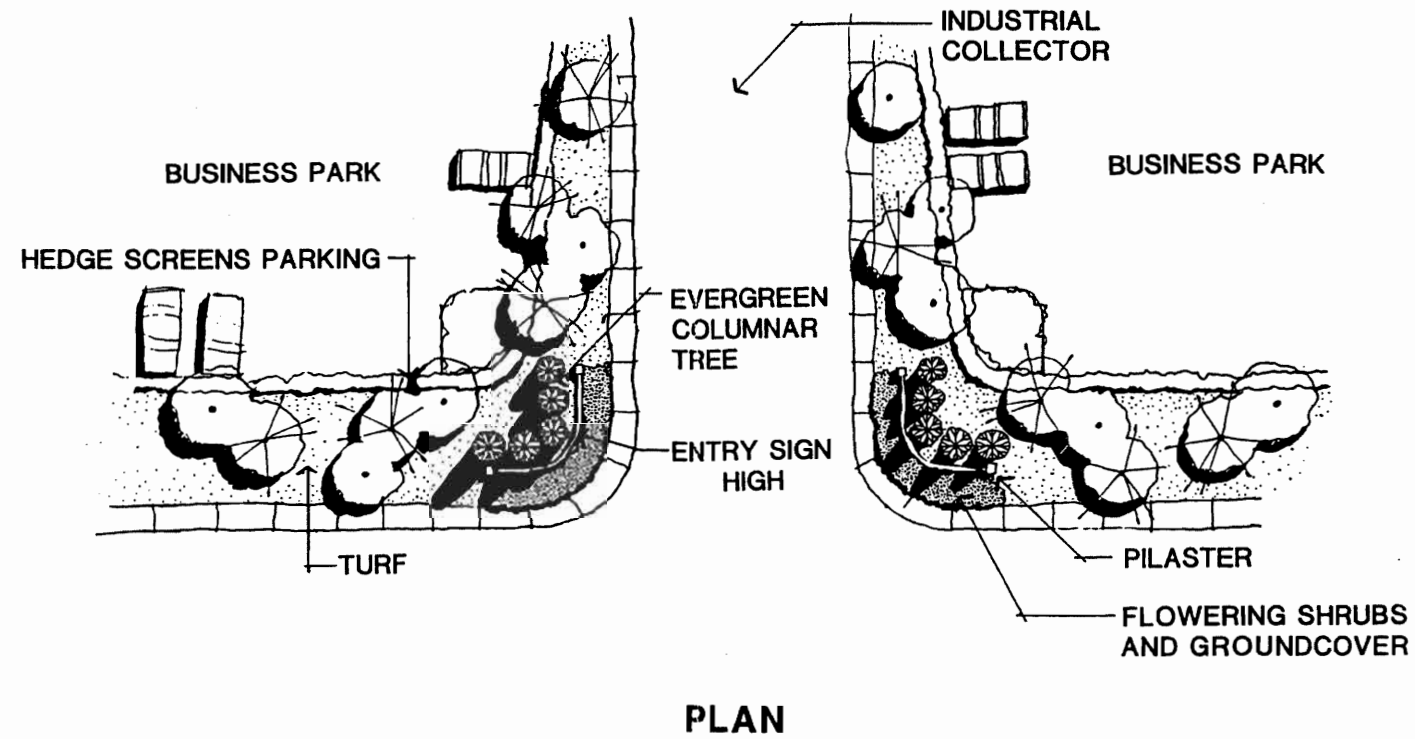


Figure 28j

**Business Park Entry
WINCHESTER PROPERTY**



T&B Planning Consultants
 1425 HAWAIIAN STREET, SUITE 200
 SAN JOSE, CALIF. 95128 (415) 941-2774
 SAN FRANCISCO OFFICE: (415) 774-1100
 SAN DIEGO OFFICE: (619) 594-4444

SOURCE : LAND/PLAN/DESIGN GROUP

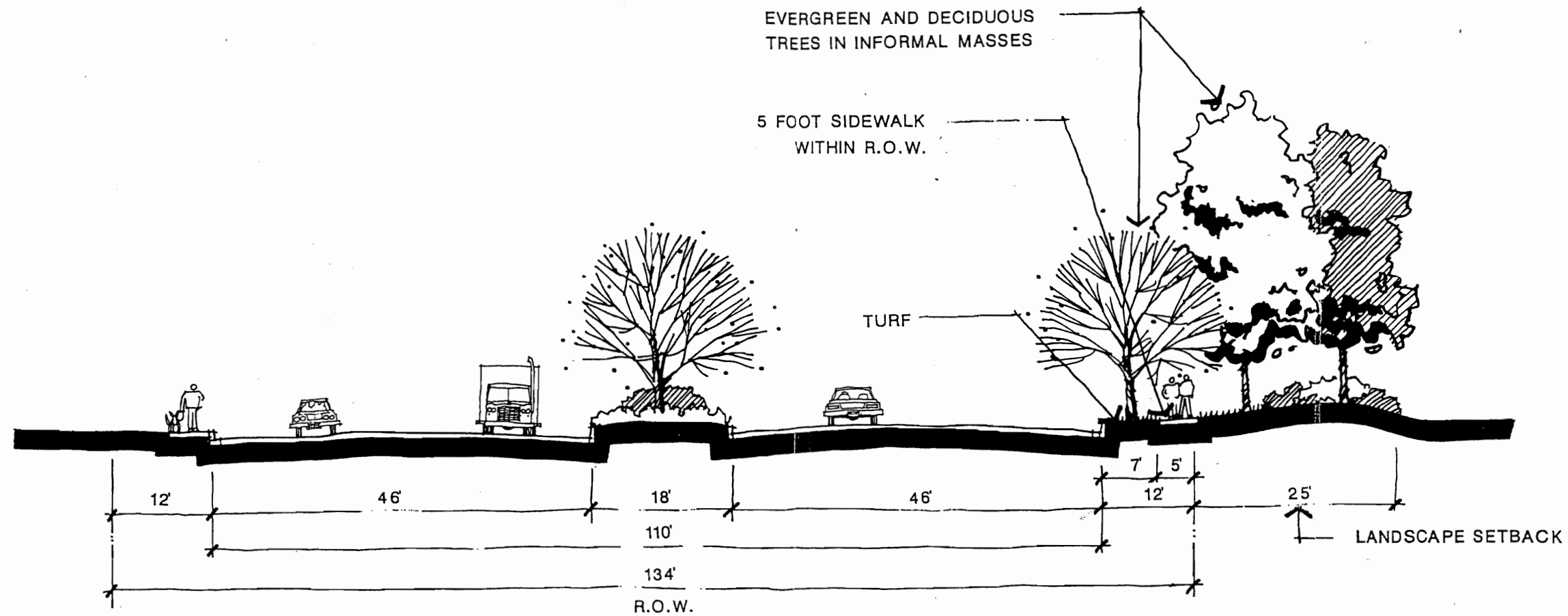


Figure 29a

Winchester Road Section
WINCHESTER PROPERTY

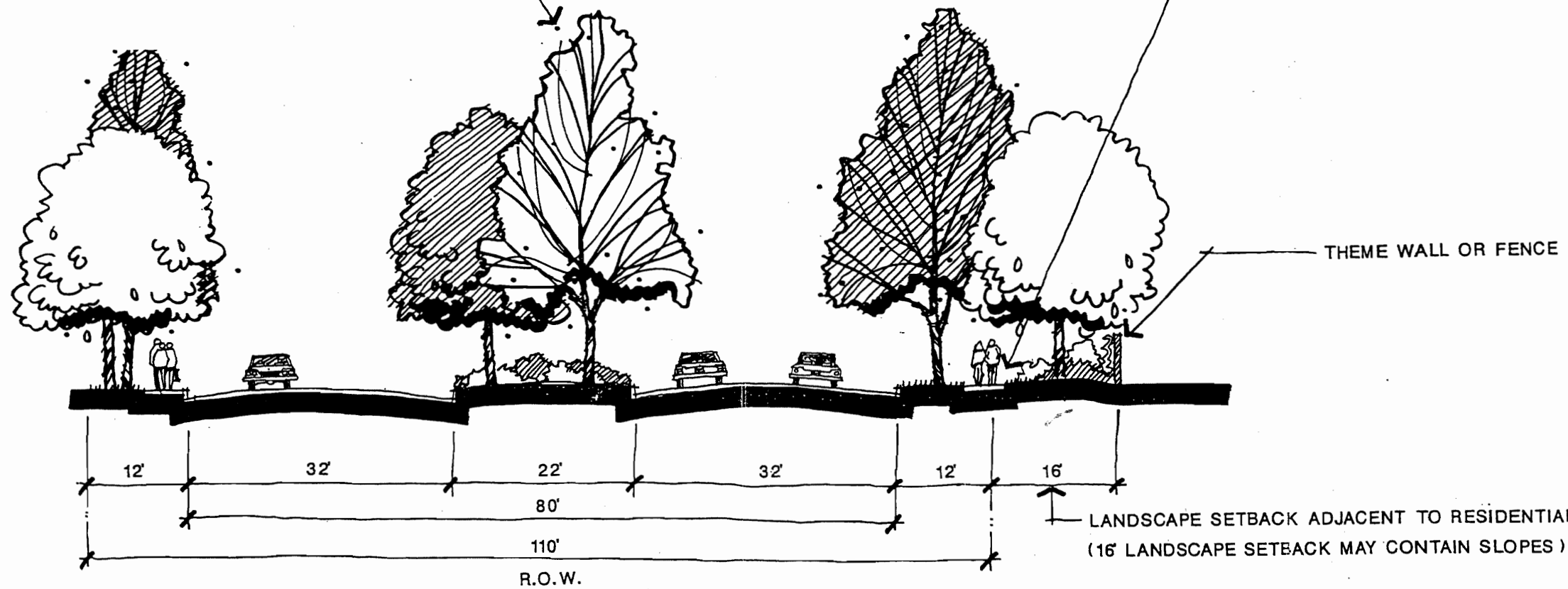


T&B Planning Consultants
1071 HALLMARK DRIVE SUITE 100
SAN JOSE, CALIF. 95128-1000
SAN CARLOS, CALIF. 95050
SAN DIEGO, CALIF. 92108

SOURCE : LAND/PLAN/DESIGN GROUP

INFORMAL VERTICAL EVERGREEN
AND DECIDUOUS MASSES BOTH
SIDES AND MEDIAN

SIDEWALK LOCATION MAY
VARY, REFER TO PLANS
AND TEXT



LANDSCAPE SETBACK ADJACENT TO RESIDENTIAL USE
(16' LANDSCAPE SETBACK MAY CONTAIN SLOPES)

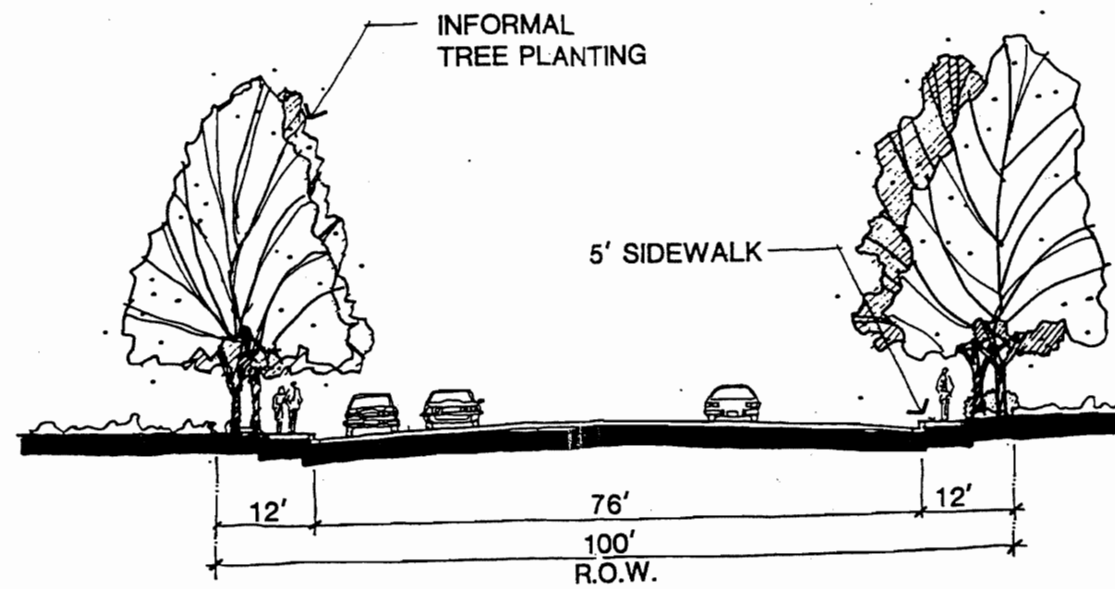
Figure 29b

Murrieta Hot Springs Road Section WINCHESTER PROPERTY

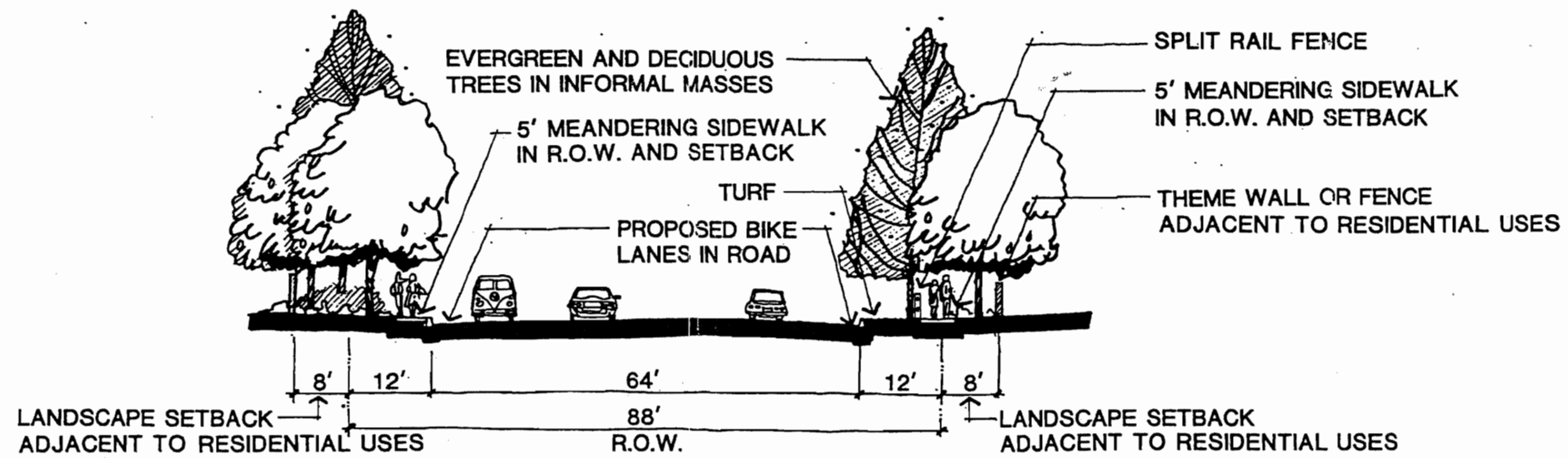


T&B Planning Consultants
2100 HALLIDAY STREET #100
SAN LEAN, CALIF. 92780-7740 652-2778
8000 CENTER STREET, SUITE 200
SAN DIEGO, CALIF. 92121 444-1800

SOURCE : LAND/PLAN/DESIGN GROUP



MAJOR HIGHWAY



SECONDARY ROAD

Figure 29c

Roadway Cross Sections
WINCHESTER PROPERTY



T&B Planning Consultants
2825 HALLADAY STREET, SUITE 100
SAN JOSE, CALIF. 95128-4422
3101 CHURCH STREET, SUITE 200
SAN DIEGO, CALIF. 92106-3400

SOURCE: LAND/PLAN/DESIGN GROUP

3. Streetscape Themes

The selection of trees, shrubs, ground covers and vines will establish the overall landscape character for Winchester and will play a major role in unifying the various land uses into a cohesive community design.

In several cases within the plan, particularly within residential areas, additional landscape area has been incorporated into the streetscape to enhance its visual quality. A maximum of 2:1 slopes may occur within the landscape areas.

The landscape theme is developed from the existing character of the site, which includes a meandering creek with rolling hills and a country-like image. Plant materials that reinforce this character such as Oaks, Alders, Sycamores along with many others have been identified in the plant material palette (Table IV). Within the following streetscape sections a particular tree has been selected as the major theme tree to be used with groupings of other trees, shrubs and ground covers. This will establish a consistent streetscape theme while allowing variety to occur.

Winchester Road: Winchester Road is a divided major high-way and falls under CalTrans purview. As such planting along Winchester will be required to meet all standards of CalTrans. The theme planting will consist of informal masses of evergreen and deciduous trees with the primary tree of *Platanus acerifolia* (London Plane Tree). This predominant tree will establish a continuity to the streetscape character and reinforce the community identity. (See Figure 29a.)

Murrieta Hot Springs Road: This divided Road is the primary east/west access through the community. It will continue the theme established along Winchester with informal masses of evergreen and deciduous trees, with a pre-dominance of *Platanus acerifolia* (London Plane Tree) to create an overall continuity. Sixteen feet of additional landscape area has been added adjacent to residential uses to.) enrich and enhance the overall streetscape character. (See Figure 29b.)

Major Highway: This major highway is an important north/ south arterial that provides the primary access to the commercial business park and residential areas. Within the business parks/commercial areas, the *Podocarpus gracilior* (Fern Pine) tree has been selected to create the dominant effect. It will provide a stately image mixed with informal masses of evergreen and deciduous trees within the residential area, south of Murrieta Hot Springs Road. *Brachychiton populneus*, the Bottle Tree, will be the primary theme tree. (See Figure 29c)

Secondary Road: This secondary road is the primary east/ west access within the residential portion of the planned community. It will include informal plantings of evergreen and deciduous trees. The primary tree to establish the overall theme will be the *Alnus rhombifolia*, White Alder. Eight additional feet of landscape area has been added adjacent to residential uses. (See Figures 29c and 29e)

Industrial Collector: This streetscape will provide an image to the entire business park. Informal groupings of trees will compliment the overall community while selection of the *Cupaniopsis anacardioides*, Carrot Wood, as a dominant street tree will differentiate the business park from other uses. (See Figure 29d)

Collector: Located in the residential area this smaller scale street is most suited to a smaller scale grouping of trees. The *Bauhinia variegata*, Purple Orchid Tree, has been selected as the major tree which is more delicate and produces attractive seasonal flowers. Eight feet of additional landscape area is required along non-access collector roads to enhance overall streetscape character. This additional landscape area is not required where lots take direct access from a collector street. (See Figure 29d)

4. Community Walls/Fences

Community walls and fences that can be viewed from public streets form an integral part of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards has been developed for community walls and fences as illustrated in Figure 30. The location of each wall or fence will vary depending upon final detail design and grading considerations. In general, solid walls will be located, adjacent to residential uses along major highways and secondary roads where the residential lot is at approximately the same grade as the street. In cases where a lot is significantly above the street grade, a "view fence" or "combination fence" may be provided to take advantage of view. In all cases, the noise mitigation requirements as identified in the specific plan shall be met.

7. Planting Guidelines

a) Plant Material Palette

The plant palette (Table IV) was developed with emphasis on plant suitability to this region and the community theme. Selections were made with respect to growth factors such as climate and soil conditions and maintenance concerns. Plant materials have been selected to reinforce project identity and to promote a unified appearance. Plant compositions that add variety to the community theme are encouraged.

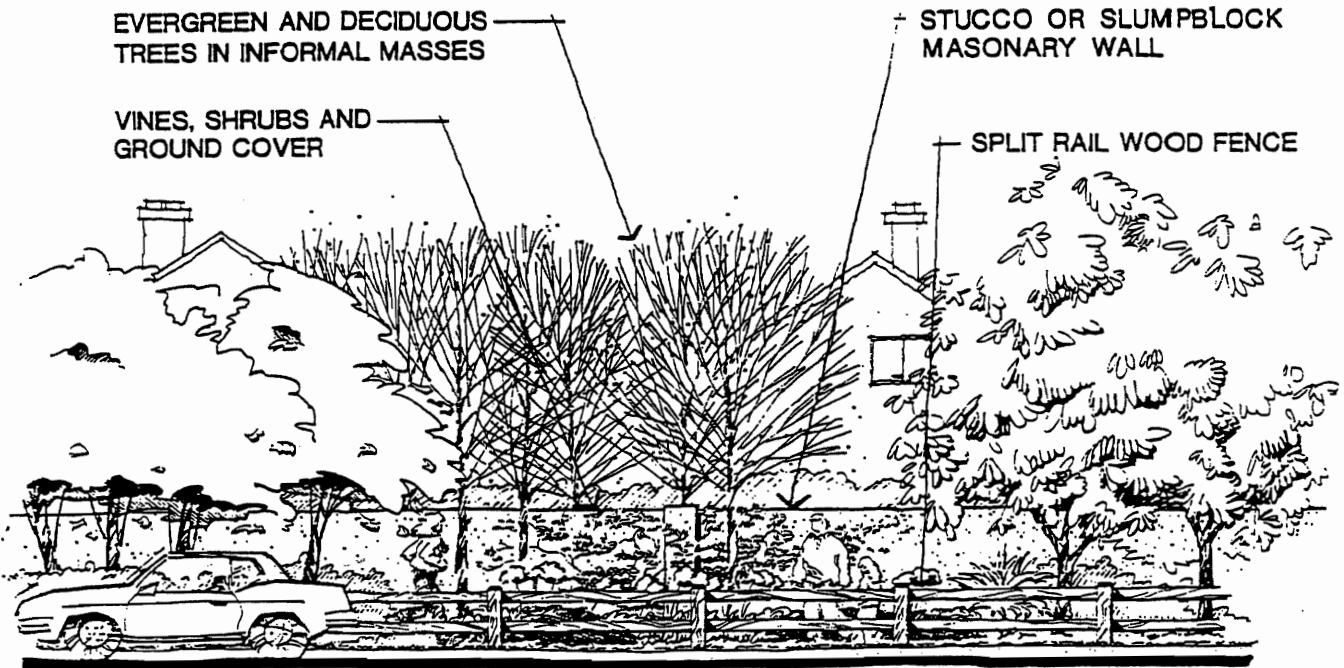
The palette should also be utilized to form compositions that complement the style of the architecture. Compositions that rely on plants with drought tolerant characteristics are encouraged.

b) Planting Time

Plant establishment will be simplified as well as more successful if certain precautions are taken. It is most desirable to plant during the more mild spring or fall months due to the temperature extremes that occur during winter and summer months. Trees and shrubs should be acclimated to the area in order for them to better withstand winter frosts and extreme summer heat. It should be noted that even acclimated plant material installed in harsher summer or winter months will be slower and more difficult to establish due to the area's temperature extremes.

c) Landscape Development

All landscaped areas shall be installed with trees, shrubs, ground cover, vines, and/or turf. Plant materials shall be selected from the plant palette contained as part of these guidelines. Smooth transitions from landscaped common areas to adjoining properties



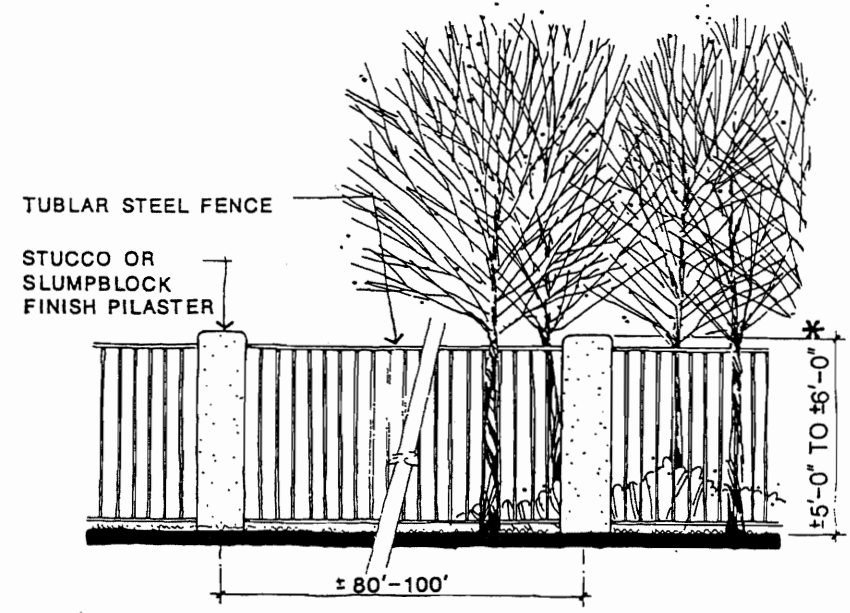
SOURCE : LAND/ PLAN/ DESIGN GROUP

Figure 29e

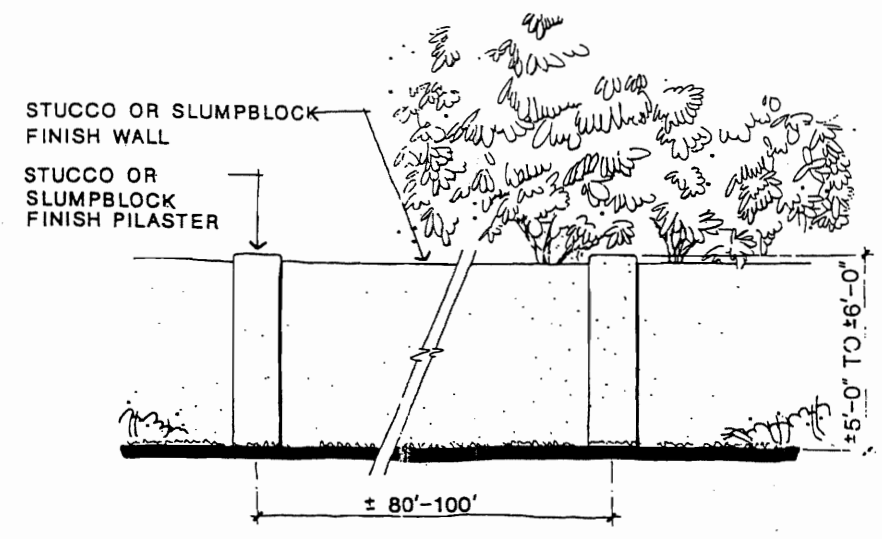
Secondary Roadway Elevation WINCHESTER PROPERTY



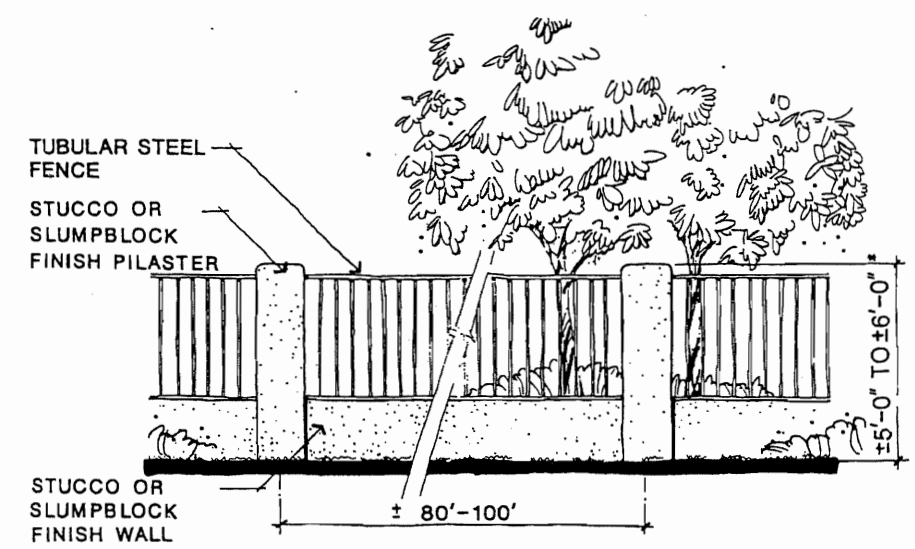
T&R Planning Consultants
 2100 HALLMARK DRIVE 2ND
 SUITE 100 SAN ANTONIO, TEXAS 78208
 512-343-1111 FAX 512-343-1112
 2000 W. 10TH ST. SUITE 100
 SAN ANTONIO, TEXAS 78208



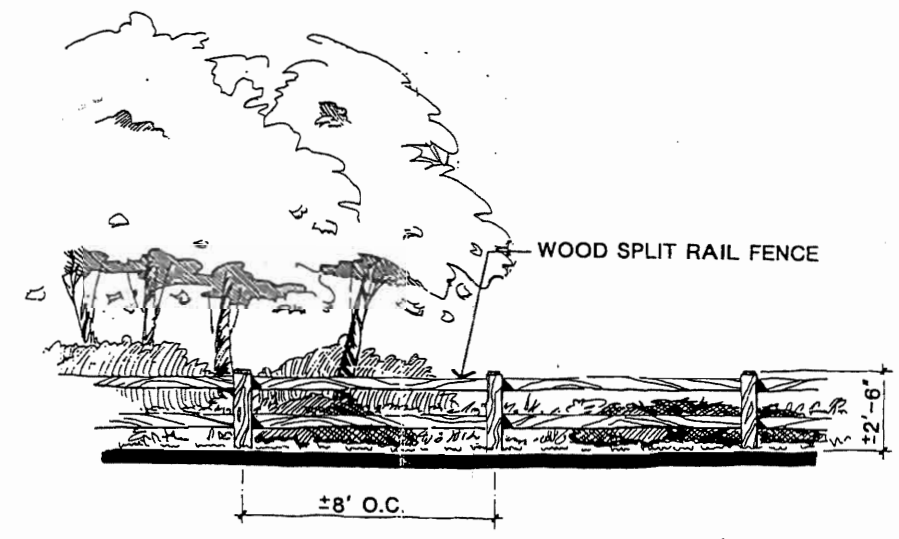
VIEW FENCE



THEME WALL



COMBINATION LOW WALL/VIEW FENCE



SPLIT RAIL FENCE

Figure 30

**Community Walls & Fences
WINCHESTER PROPERTY**

T&B
T&B Planning Consultants
1200 HALLMARK DRIVE, SUITE 100
SAN ANTONIO, TEXAS 78216
SAN ANTONIO, TEXAS 78216
SAN ANTONIO, TEXAS 78216

SOURCE: LAND/PLAN/DESIGN GROUP

*VIEW FENCE OR COMBINATION LOW WALL/VIEW FENCE
MAY BE 3'-0" HIGH WHEN OCCURRING ON TOP OF SLOPE

5. Community Trails and Greenbelts

The trails within the community will provide pedestrian access to areas throughout the community as well as opportunities for jogging, strolling, and scenic walks, particularly along Tualota Creek.

Riparian Greenbelt: Located along the Tualota Creek, this trail will provide a scenic corridor and direct access to the park site. The trail will be located to take advantage of the most scenic views. Plant materials such as Alders, Sycamores, and Oaks will be planted and naturalized, no irrigation is to be provided in these areas. (See Figure 31). The picnic areas, as shown on Figure 27, south of Murrieta Hot Springs Road, will include two picnic tables and a barbeque adjacent to P.A. 11.

Local Recreational Trail: Within the northeasterly area of the community a trail has been located within the SCE easement per SCE approval. It will remain within a naturalized condition, reflecting the existing character of the site. Plant material will be naturalized, no irrigation will be provided. (See Figure 32a.)

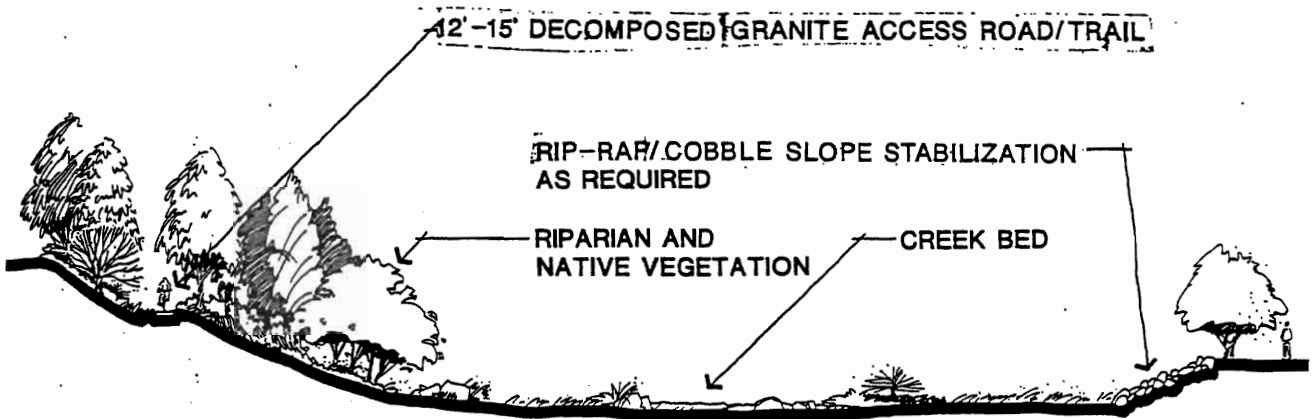
6. Park Master Plans

Three active park areas are included in the community plan. Planning Area 4B includes a 5 acre park, Planning Area 15 includes a 4 acre park, and Planning Area 18 includes an 8 acre park. The latter two parks are adjacent to potential future elementary school sites. All three parks are designed to provide both active and passive recreational uses (See Figure 33).

Planning Area 4B Park Master Plan: Planning Area 4B is located along proposed "D" Street at the intersection of "D" Street and "F" Street adjacent to the business park (Planning Area 4A) in the northern portion of the community. It will include parking, a restroom facility, a combination softball/soccer field, a tot lot, and a picnic area. The landscape will consist of informal masses of evergreen, deciduous and flowering trees to blend with the surrounding community theme.

Planning Area 15 Park Master Plan: Located along the Secondary Road at the southeast portion of the community, this 4 acre site provides a neighborhood park facility adjacent to an elementary school site. As the site has been master planned to respond to the contours of the site, its location has shifted from the original Specific Plan Location. The restroom building and parking lot is located central to the site with areas for active and passive uses provided. These include a tennis court, 2 multi-use sports courts, parking, along with a combined soccer/football/softball field. Landscape materials will be used to reinforce the community theme through informal masses of evergreen, deciduous and flowering trees.

Planning Area 18 Park Master Plan: This site is located adjacent to the secondary road and is contiguous to the creek. It will include parking, a restroom facility, two tennis courts, 2 multi-use sports courts along with one soccer/football field, two softball fields and a tot lot. Court areas are sited north/ south for the optimum orientation. The landscape will consist of informal masses of trees that will blend into the overall country-like character of the creek and community streetscapes.



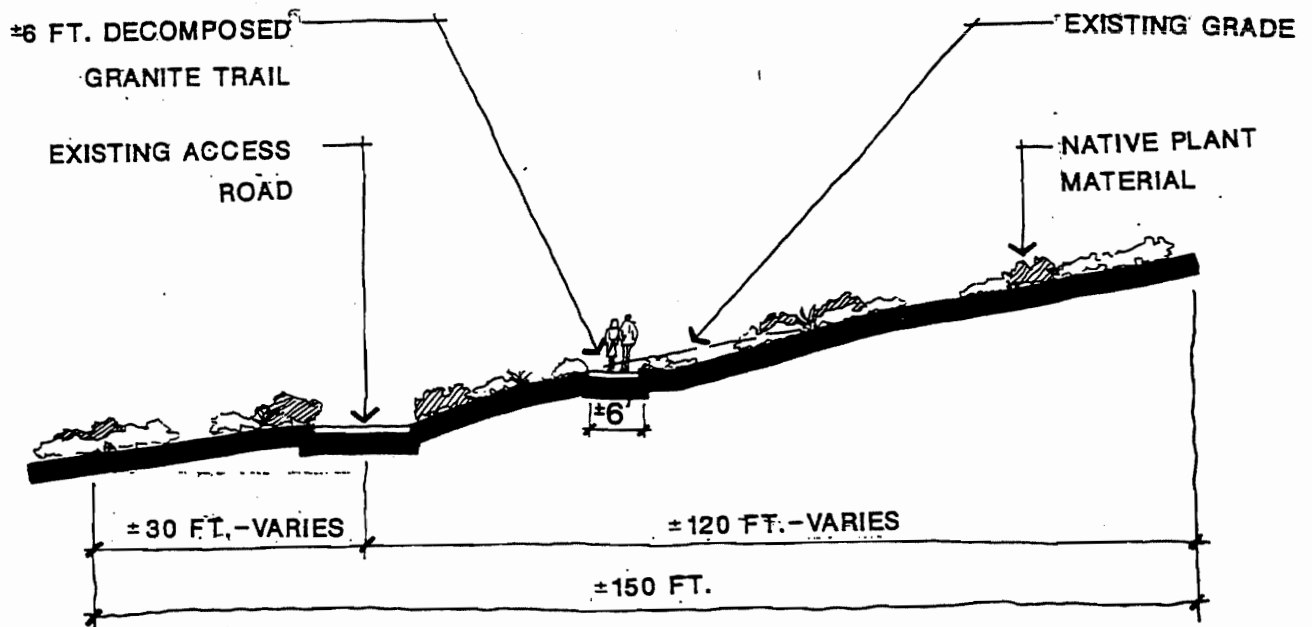
SOURCE : LAND/PLAN/DESIGN GROUP

Riparian Section WINCHESTER PROPERTY

Figure 31



T&B Planning Consultants
 1200 HILLTOP DRIVE SUITE 100
 SAN JOSE, CALIF. 95128-1274
 4080 CHURCH DRIVE SUITE 200
 SAN DIEGO, CALIF. 92106-3404



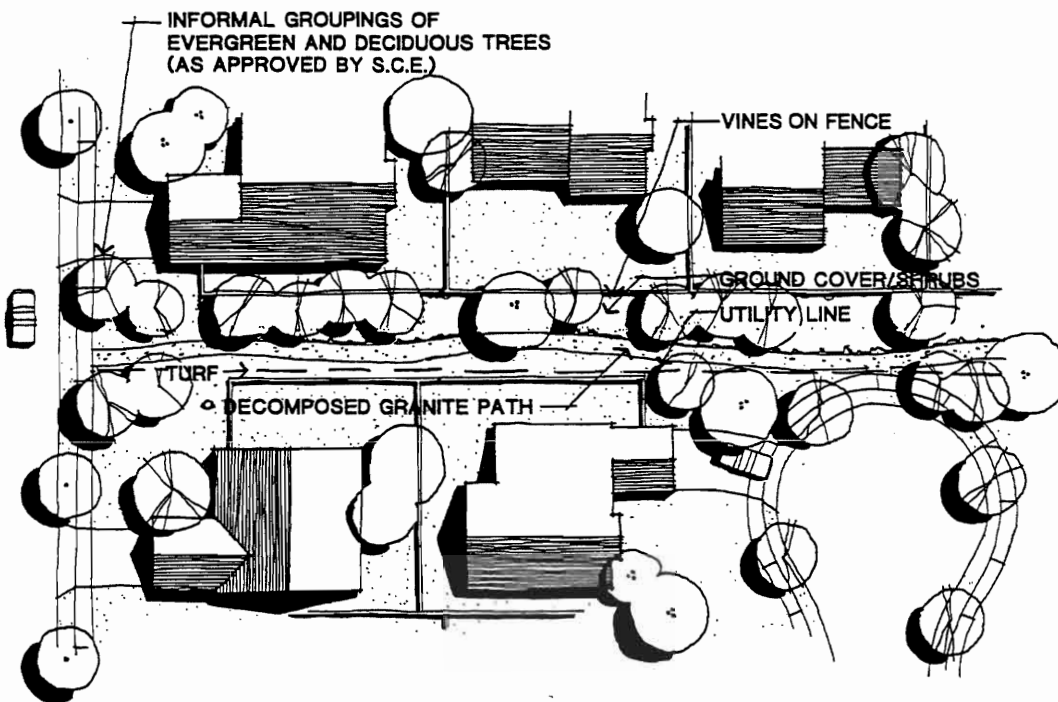
SOURCE : LAND/PLAN/DESIGN GROUP

Figure 32a

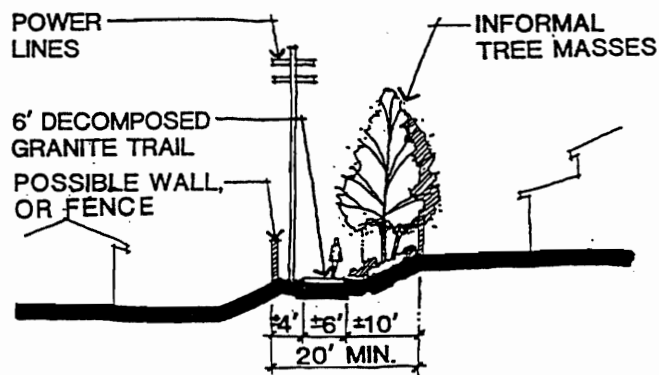
MWD Trail WINCHESTER PROPERTY



T&B Planning Consultants
 210 MILLIKEN BLVD. SUITE 300
 SAN ANTONIO, TEXAS 78201-1701
 2101 LINDBERG DR. SUITE 100
 SAN DIEGO, CALIF. 92108-3404



PLAN



SECTION

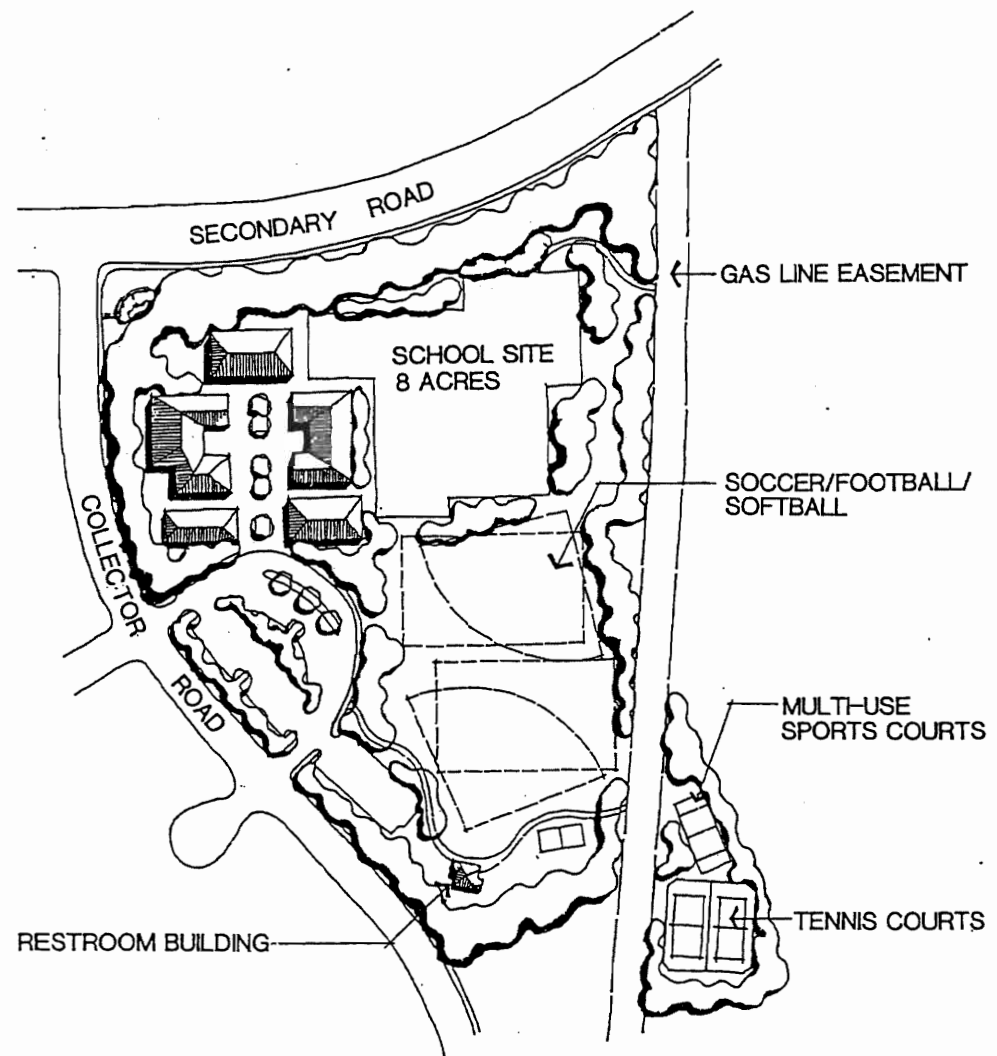
SOURCE : LAND/ PLAN/ DESIGN GROUP

SCE Trail WINCHESTER PROPERTY

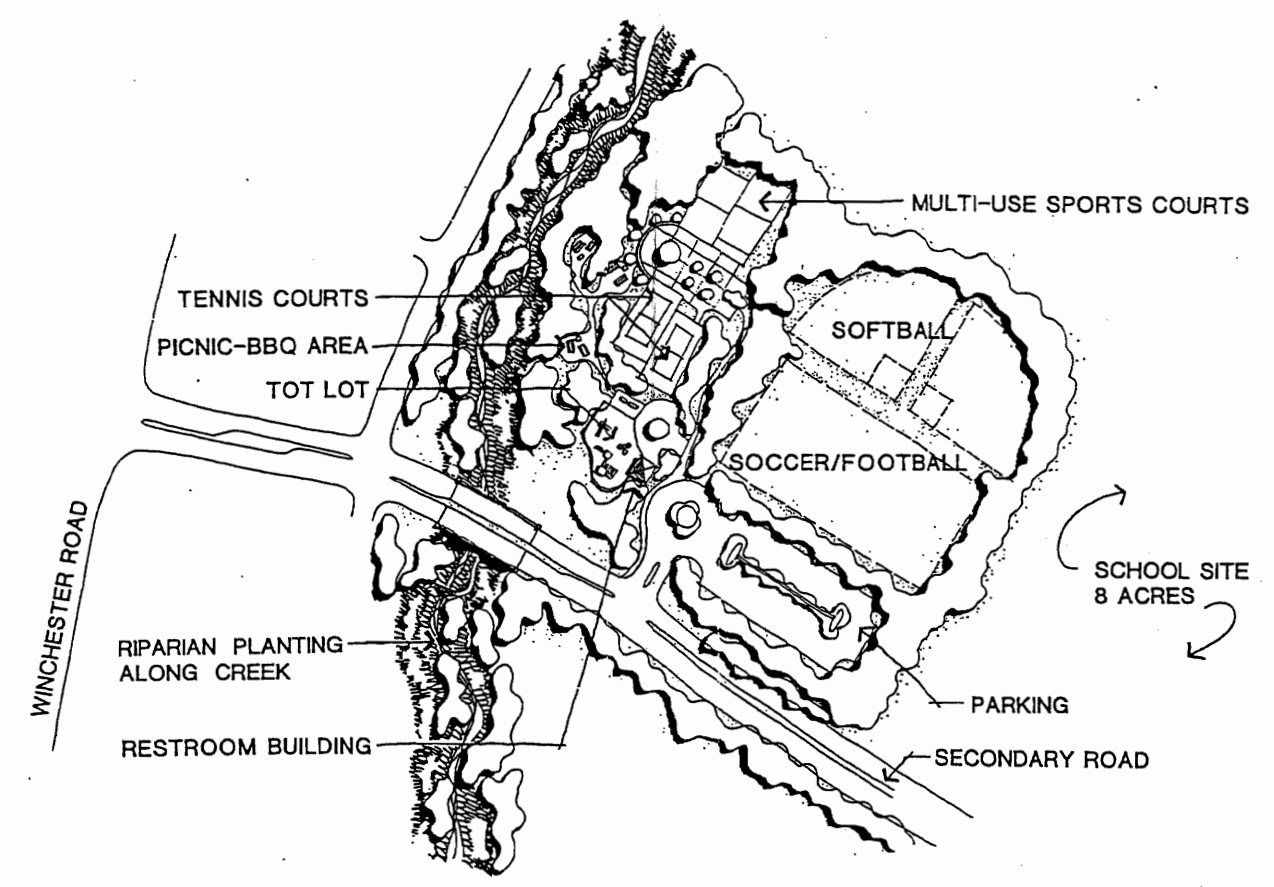
Figure 32b



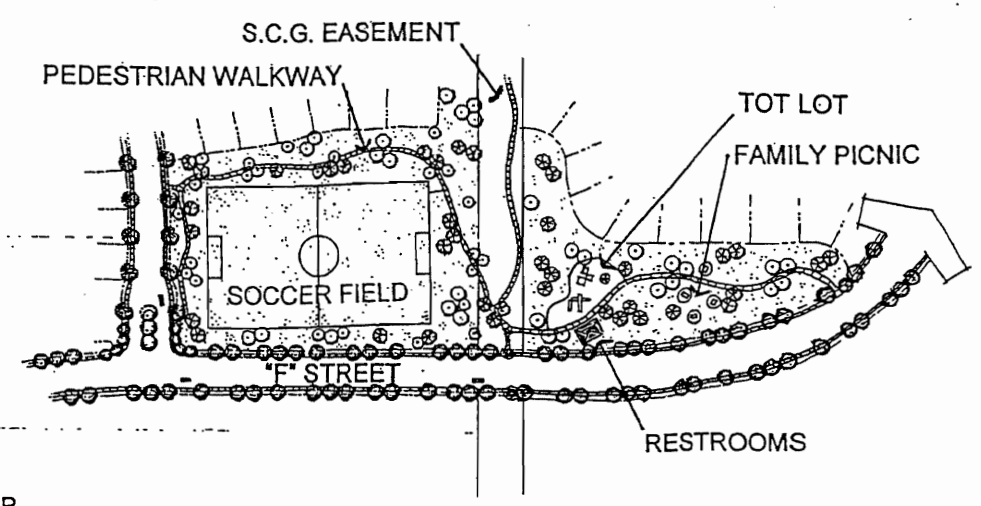
T&B Planning Consultants
 240 HALLAND BLVD. SUITE 200
 SAN ANTONIO, CALIF. 78205-0700 843-2754
 2675 LINDEN BLVD. SUITE 200
 SAN DIEGO, CALIF. 92108-3900



PLANNING AREA 15



PLANNING AREA 18



PLANNING AREA 5



Figure 33

Park Master Plans
WINCHESTER PROPERTY



T&B Planning Consultants
2100 PINEHURST DRIVE SW
DUNWOODY, GA 30114
404-488-8888

SOURCE: LAND/PLAN/DESIGN GROUP

TABLE IV

PLANT MATERIALS PALETTE

BOTANICAL NAMES	COMMON NAME,
Acacia baileyana	Bailey Acacia
Arbutus menziesii Arbutus unedo	Madrone
Brachychiton populneus	Strawberry Tree
Calocedrus decurrens	Bottle Tree
Ceratonia siliqua	Incense Cedar
Citrinus species	Carob
Cupaniopsis anacardioides	Citrus varieties'
Eucalyptus camaldulensis Eucalyptus citriodora	Carrot Wood
Eucalyptus Nicholii	Red Gum
Eucalyptus polyanthemos Eucalyptus rudis	Lemon Scented Gum
Eucalyptus viminalis	Willow-Leafed Peppermint
Geijera parvifolia	Silver Dollar Gum
Hymenosporum flavum	Desert Gum
Magnoliagrاندliflora	Manna White Gum
Maytenus boaria	Australian Willow
Melaleuca leucadendra	Sweetshade
Olea europaea 'Fruitless'	Southern Magnolia Mayten Tree
Pinus canariensis	Cajeput Tree
Pinus coulteri	Fruitless Olive
Pinus eldarica	Canary Island Pine
Pinus halepensis	Coulter Pine
Pinus pinea	Mondell Pine
Pinus thunbergiana Podocarpus gracilior	Allepo Pine
Quercus agrifolia	Stone Pine
Quercus ilex	Japanese Black Pine
Rhus lancea	Fern Pine
Schinus molle	California Live Oak
Schinus terebinthifolius	Holly Oak
Ulmus parvifolia 'Drake'	No Common Name
	California Pepper Brazilian Pepper -Evergreen Elm
Tress -- Deciduous	
Albizia julibrissin	Mimosa Tree White
Alnus rhombifolia	Alder
Bauhinia variegata	Purple Orchid Tree
Chorisia speciosa Cercis occidentalis Fraxinus velutina 'Modesta'	Silk Floss Tree
Fraxinus	Redbud
Ginkgo biloba	Modesto Ash Evergreen
Jacaranda acutifolia	Ash Maidenhair Tree
	Jacaranda

Winchester Properties (SilverHawk)

IV. DESIGN GUIDELINES

Koelreuteria bipinnata Koelreuteria panniculata
Lagerstroemia indica Liquidambar styraciflua
Liriodendron tulipifera
Platanus acerifolia Populus nigra 'Italica' Prunus
species
Pyrus kawakamii
Salix babylonica
Tipuana tip

Palms

Cocos plumosa
Phoenix canariensis Phoenix dactylifera
Washingtonia filifera Washingtonia robusta

Shrubs

Abelia 'Edward Goucher'
Acacia ongerup*
Acacia redolens*
Arctostaphylos species Callistemon species
Ceanothus species
Cistus species
Cocculus laurifolius
Cortaderia selloana Cotoneaster species
Euonymus japonica
Hebe coed
Ilex species
Lantana species
Ligustrum japonicum
Mahonia aquifolium & 'Compacta'
Nandina domestica & 'Compacta'
Nerium oleander
Osmanthus fragrans Phormium tenax
Photinia Fraseri
Pittosporum tobira & 'Wheeler's Dwarf'
Pittosporum tobira 'Variegata'
Plumbago capensis
Podocarpus macrophyllus
Prunus caroliniana
Pyracantha species
Raphiolepis indica
Rhus ovata
Ribes sanguineum

Chinese Flame Tree
Golden Rain Tree
Crape Myrtle
Sweet Gum
Tulip Tree
London Plane Tree
Lombardy Poplar
Flowering Plum
Evergreen Pear
Weeping Willow Tipu
Tree

Queen Palm
Canary Island Date Palm Date
Palm
California Fan Palm Mexican
Fan Palm

Edward Goucher Abelia
No Common Name
No Common Name
Manzanita
Bottlebrush
California Lilac Rockrose
Snailseed
Pampus Grass
Cotoneaster
Evergreen Euonymus
Veronica
Holly
Lantana
Japanese Privet
Oregon Grape
Heavenly Bamboo
Oleander
Sweet Olive Flax
Photinia
Mock Orange
No Common Name
Cape Plumbago Yew
Pine
Carolina Laurel Cherry
Firethorn
Pink Indian Hawthorn
Sugar Bush
Pink Winter Currant

Winchester Properties (SilverHawk)

IV. DESIGN GUIDELINES

Ribes speciosum

Temstroemia gymnanthera

Xylosma congestum

Sub Shrubs

Agapanthus africanus Arctostaphylos species
Ceanothus species Hemerocallis species Lonicera
japonica 'Halliana' Mimulus cardinalis Moraea
bicolor

Vines

Bougainvillea spectabilis*
Doxantha unguis-cati Ficus pumila
Gelsemium sempervirens Jasminum
mesnyi
Jasminum polyanthum Lonicera
japonica Wisteria floribunda

Ground Covers

Ajuga reptans
Arctostaphylos edmundsii
Baccharis pilularis 'Twin Peaks'
Campanula poscharskyana
Gazania splendens 'Mitsuwa Yellow'
Hypericum calycinum
Lonicera japonica
Nandina domestica 'Harbour Dwarf'
Potentilla verna
Trachelospermum jasminoides Rosemarinus officinalis

Fuchsia - Flowering Gooseberry
Ternstroemia
Xylosma

Lily of the Nile
Manzanita
California Lilac
Day Lily
Hall's Honeysuckle
Monkey Flower
Fortnight Lily

Bougainvillea
Cat's Claw Vine
Creeping Fig
Carolina Jasmine
Primrose Jasmine No
Common Name
Japanese Honeysuckle
Wisteria

Carpet Bugle
Little Sir Manzanita
Coyote Brush Serbian
Bellflower
Gazania
Aaron's Beard
Honeysuckle
Dwarf Heavenly Bamboo
Spring Cinquefoil
Star Jasmine
Rosemary

are encouraged and can easily be obtained; i.e. landscape development occurring adjacent to existing or planned common areas should use plant material compositions that are compatible.

d) Climate Constraints

The Winchester Properties are located around the interior thermal belt areas that exist within much of Southern California. The materials listed in the plant palette (Table IV) are suited to the climate that prevails in this type of interior thermal belt area. Summer highs range from approximately 90 to 110 degrees Fahrenheit while wintertime lows range from approximately 10 to 15 degrees Fahrenheit. Site-specific conditions such as topography and exposure will constrain the use of more tender plant species.

e) Horticultural Soils Test Requirements

Due to the varied soil types that exist within the area, horticultural soils tests are important for proper landscape development. Such reports are recommended and can be obtained prior to landscape installation from a qualified agricultural laboratory. The test summaries should include analysis of soil fertility and agricultural suitability and provide recommendations for pre-plant amendments, backfill mix and post plant maintenance fertilization.

f) Irrigation

Automatic irrigation is required as a part of landscape development. Irrigation systems shall be designed with head to head coverage with additional coverage necessary to accommodate summer wind patterns. Controllers shall be capable of repeating individual systems during the course of a day to expedite plant establishment. Brown line pipe may be used on 2:1 slopes within private lots and located on the soil surface. All other pipe shall be buried below ground.

For aesthetic concerns as well as safety, irrigation heads within turf areas or adjacent to curbs, drives, wheel stops, walks or other hardscape should be the pop-up type. All additional equipment, such as controllers and backflow preventers, should be located to minimize their impact on the streetscape.

g) Landscape Maintenance

The landscape maintenance of each parcel is the responsibility of the owner, home owners association (HOA) or similar entity as agreed upon by the developer and county. This maintenance shall be all inclusive of practices necessary to keep all landscape areas healthy, neat and trimmed. Diseased and/or dead plant materials shall be removed and replaced. Hard surface areas shall be kept free from debris.