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**SUBSTANTIAL CONFORMANCE # 1  
TO SPECIFIC PLAN NO. 198**

**BELLE MEADOWS**

**I. Summary of Changes**

Substantial Conformance No. 1 incorporates minor changes into the Belle Meadows Ranch Specific Plan No. 198, to make the document consistent with the lotting detail of Tentative Tract Map No. 30852. Substantial Conformance No. 1 for Belle Meadows Ranch Specific Plan 198/EIR 208 reflects changes and refinements made to acreages and dwelling unit allocations within a portion of of the Specific Plan to reflect Tentative Tract Map 30852. However, the eastern 80 acres of the Adopted Specific Plan are excluded from this Substantial Conformance. This 80 acre area includes all of PA 1C and all of PA 3, and portions of PA 1B (10 acres) and 6B (24 acres). No changes to the unit counts or acreages from the Adopted Specific Plan are proposed for PA 1B, 1C, or PA 3, but because PA 6B is partially within the area of the Substantial Conformance, PA 6B has been increased from 38 to 40.5 acres as part of the Substantial Conformance.

Tentative Tract Map No. 30852 includes all of Planning Areas 1A, 2A, 2B, 4A, 4B, 5B, and 6A. TM 30582 also includes portions of Planning Areas 1B, and 6B but does not include Planning Areas 1C, 3, 5A and 6C.

The Substantial Conformance results in the reduction of the total dwelling units from 328 to 294 dwelling units. Open space, including conserved areas, trails and a passive park is increased from 152 acres to 152.2 acres.

Modifications to the Specific Plan are listed below and are statistically summarized in Table 1, *Belle Meadows Ranch Summary of Changes*:

- The number of dwelling units is reduced from 328 to 294 dwelling units. Open Space for conservation and recreation is increased from 152 acres to 152.2 acres and 67.6 acres have been re-designated Rural Mountainous (10 acre minimum).
- Planning Area 1A: The acreage of Planning Area 1A is decreased from 240.0 to 237.8 acres, the number of dwelling units is decreased by 19 units from 231 units to 212 units, and the land use designation remains Very Low Density Residential (1 acre minimum);
- Planning Area 1B: The acreage of Planning Area 1B remains unchanged at 14.0 acres, and the unit count remains unchanged at 13 units, and the land use designation remains Very Low Density Residential (1 acre minimum). However, 4.0 acres and 4 dwelling units of PA 1B are within the boundaries of the Substantial Conformance. ;
- Planning Area 1C: The acreage and dwelling units designated for Planning Area 1C remains unchanged from the Adopted Specific Plan and is outside the boundaries of the Substantial Conformance.
- Planning Area 2A: The acreage of Planning Area 2A is decreased from 34.0 to 10.6 acres, the number of dwelling units is decreased by 13 units from 22 units to 9 units, and the land use designation remains Very Low Density Residential (1 acre minimum);
- Planning Area 2B: The acreage of Planning Area 2B is decreased from 35.0 to 31.8 acres, the number of dwelling units is increased by 4 units from 24 units to 28 units, and the land use designation remains Very Low Density Residential (1 acre minimum);

- Planning Area 2A: The acreage of Planning Area 2A is decreased from 34.0 to 10.6 acres, the number of dwelling units is decreased by 13 units from 22 units to 9 units, and the land use designation remains Very Low Density Residential (1 acre minimum);
- Planning Area 2B: The acreage of Planning Area 2B is decreased from 35.0 to 31.8 acres, the number of dwelling units is increased by 4 units from 24 units to 28 units, and the land use designation remains Very Low Density Residential (1 acre minimum);
- Planning Area 3: The acreage and dwelling units designated for Planning Area 3 remain unchanged from the Adopted Specific Plan. PA 3 is outside the boundaries of the Substantial Conformance.
- Planning Area 4A: The acreage of Planning Area 4A is decreased from 27.0 acres to 5.6 acres, the number of dwelling units is decreased by 4 units from 4 units to 0 units, and the land use designation is changed from Estate Density Residential (2 acre minimum) to Open Space – Recreation.
- Planning Area 4B: The acreage of Planning Area 4B is reduced from 42.0 acres to 41.4 acres, the number of dwelling units is decreased by 2 units from 6 to 4 units, and the land use designation is changed from Estate Density Residential (2 acre minimum) to Rural Mountainous (10 acre minimum).
- Planning Area 5A: The acreage of Planning Area 5A increased from 5.0 acres to 26.2 acres, and the land use designation changes from Clubhouse to Rural Mountainous (10 acre minimum); however, no units are proposed within this Planning Area.
- Planning Area 5B: The acreage of Planning Area 5B is decreased from 10.0 acres to 7.5 acres and the land use designation is changed from Equestrian Center to Open Space – Recreation.
- Planning Area 6A: The acreage of Planning Area 6A is decreased from 39.0 acres to 30.7 acres and the land use designation is changed from Open Space to Open Space – Conservation.
- Planning Area 6B: The acreage of Planning Area 6B is increased from 38.0 acres to 40.5 acres and the land use designation is changed from Open Space to Open Space – Conservation.
- Planning Area 6C: The acreage of Planning Area 6C is increased from 60.0 acres to 67.9 acres and the land use designation is changed from Open Space to Open Space – Conservation.

***NOTE: This is the FIRST Substantial Conformance for Specific Plan 198.***



- Planning Area 3: The acreage and dwelling units designated for Planning Area 3 remain unchanged from the Adopted Specific Plan. PA 3 is outside the boundaries of the Substantial Conformance.
- Planning Area 4A: The acreage of Planning Area 4A is decreased from 27.0 acres to 5.6 acres, the number of dwelling units is decreased by 4 units from 4 units to 0 units, and the land use designation is changed from Estate Density Residential (2 acre minimum) to Open Space – Recreation.
- Planning Area 4B: The acreage of Planning Area 4B increased from 42.0 acres to 46.9 acres, the number of dwelling units is decreased by 2 units from 6 to 4 units, and the land use designation is changed from Estate Density Residential (2 acre minimum) to Rural Mountainous (10 acre minimum).
- Planning Area 5A: The acreage of Planning Area 5A increased from 5.0 acres to 26.2 acres, and the land use designation changes from Clubhouse to Rural Mountainous (10 acre minimum); however, no units are proposed within this Planning Area.
- Planning Area 5B: The acreage of Planning Area 5B is decreased from 10.0 acres to 7.5 acres and the land use designation is changed from Equestrian Center to Open Space – Recreation.
- Planning Area 6A: The acreage of Planning Area 6A is decreased from 39.0 acres to 30.7 acres and the land use designation is changed from Open Space to Open Space – Conservation.
- Planning Area 6B: The acreage of Planning Area 6B is increased from 38.0 acres to 40.5 acres and the land use designation is changed from Open Space to Open Space – Conservation.
- Planning Area 6C: The acreage of Planning Area 6C is increased from 60.0 acres to 67.9 acres and the land use designation is changed from Open Space to Open Space – Conservation.

**TABLE 1 SUMMARY OF CHANGES**

SPECIFIC PLAN NO. 198			SUBSTANTIAL CONFORMANCE NO. 1				
Planning Area	Land Use/ Density	Acres	Dwelling Units	Planning Area	Land Use/ Density	Acres	Dwelling Units
<i>Planning Area 1</i>							
1a	Residential (1.0-0.8 du/ac)	240	231	1a *	VLDR (1-acre min.)	237.8	212
1b	Residential (1.0-0.8 du/ac)	14	13	1b *	VLDR (1-acre min.)	14.0	13
1c	Residential (1.0-0.8 du/ac)	18	17	1c	VLDR (1-acre min.)	18.0	17
<i>Planning Area 2</i>							
2a	Residential (0.8-0.4 du/ac)	34	22	2a *	VLDR (1-acre min.)	10.6	9
2b	Residential (0.8-0.4 du/ac)	35	24	2b *	VLDR (1-acre min.)	31.8	28
<i>Planning Area 3</i>							
3	Residential (0.4-0.2 du/ac)	28	11	3	Rural Residential (5-acre min.)	28.0	11
<i>Planning Area 4</i>							
4a	Residential (0.2-0.1 du/ac)	27	4	4a *	Open Space - Recreation	5.6	--
4b	Residential (0.2-0.1 du/ac)	42	6	4b *	Rural Mountainous (10-acre min.)	41.4	4
<i>Planning Area 5</i>							
5a	Clubhouse	5	--	5a *	Rural Mountainous (10-acre min.)	26.2	0
5b	Equestrian Center	10	--	5b *	Open Space - Recreation	7.5	--
<i>Planning Area 6</i>							
6a	Open Space	39	--	6a *	Open Space - Conservation	30.7	--
6b	Open Space	38	--	6b *	Open Space - Conservation	40.5	--
6c	Open Space	60	--	6c *	Open Space - Conservation	67.9	--
Roads		--	--	Roads		30.0	--
<b>TOTAL</b>		<b>590</b>	<b>328</b>			<b>590</b>	<b>294</b>

*Note: Substantial Conformance #1 includes 510 acres and a maximum of 257 dwelling units.*

**I. PROJECT DEVELOPMENT PLAN****A. INTRODUCTION****1. Project Location**

The proposed project is located in the Gavilan Hills area of Western Riverside County. It lies approximately six miles south of the City of Riverside. Figure 1, *Regional Map*, illustrates the regional location of the site while Figure 2, *Vicinity Map*, identifies the general project location.

The site is situated at the southwesterly corner of the Gavilan Plateau. Lake Mathews Drive passes immediately northeast of the site and serves as its primary access. Estelle Mountain Road traverses the easterly boundary of the site. Dawson Canyon extends from the project site westerly to the Temescal Valley.

**2. Project Description**

The Belle Meadows Ranch project is a residential development consisting of approximately 590 acres. The project provides for 294 single family dwelling units with lot sizes ranging from 1 to 10-acre minimums and common open space areas as depicted in Figure 3, *Specific Plan Land Use Plan*. Descriptions of each proposed land use are as follows:

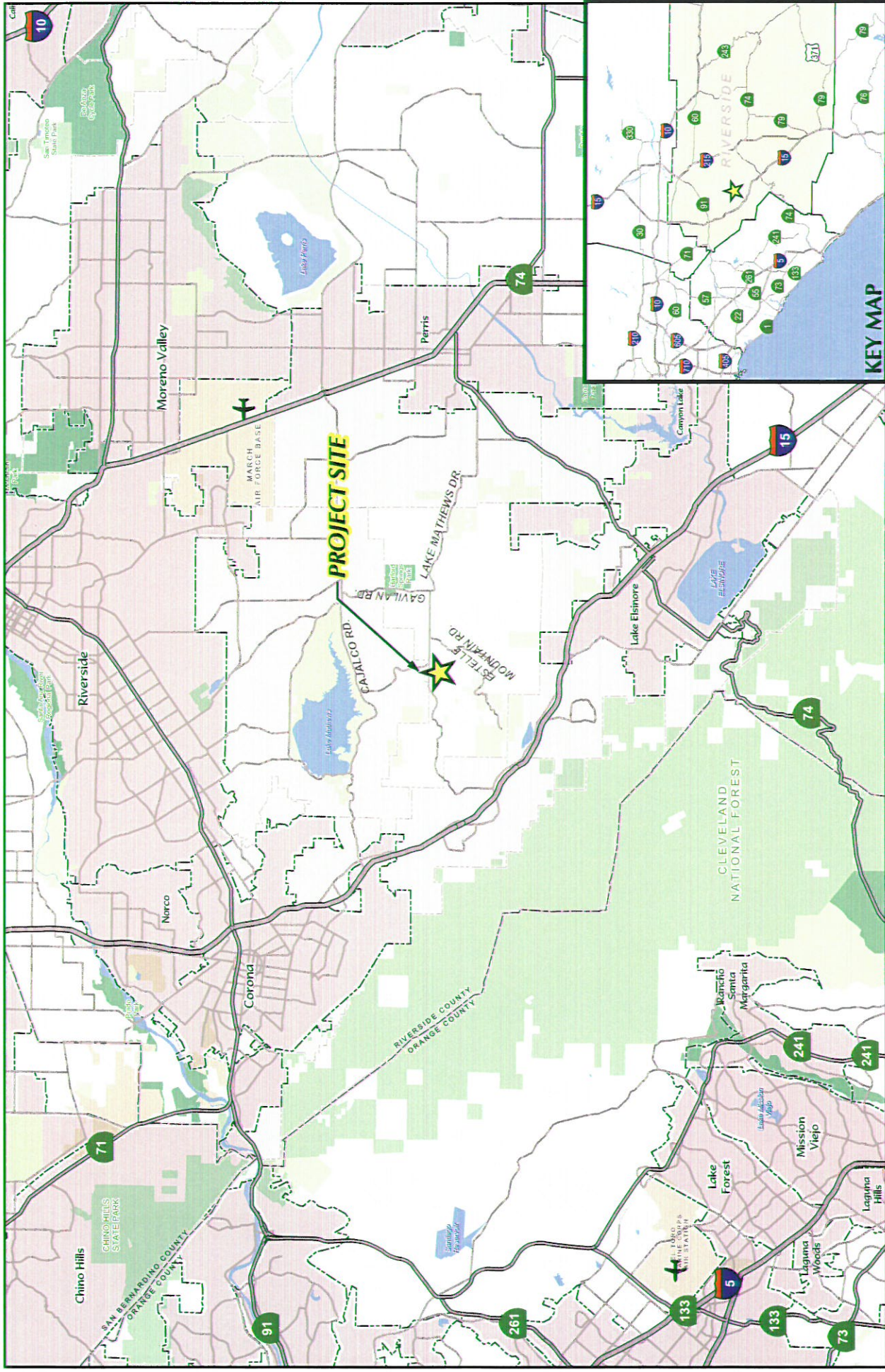
**Residential:** Residential development will be restricted to single family homes ranging from Very Low Density Residential (1-acre minimum) to Rural Residential (5-acre minimum). Although 67.6 acres of Rural Mountainous designations are provided in Planning Area 4B and Planning Area 5A, no residential units are proposed for Planning Area 5A. General residential densities, as proposed, will permit a maximum of 294 dwelling units. Maximum overall project density will be 0.5 dwellings per acre, or 1.0 dwelling unit per 2.0 acres.

Parcel sizes are distributed throughout the site based upon topography. One acre minimum lots are located in the meadow and rolling hill areas located in the northern portion of the site. Larger lots are required in the steeper southeast portion of the site.

The grading concept proposed for Belle Meadows Ranch is highly sensitive to the existing topography and minimizes the grading needed to achieve the development. Canyons, which serve as project drainages, will be preserved in their natural state. Lot placement is designed to conform to the project's terrain. Natural drainages and flood plain areas are protected by conservation easements and 5-foot fences. These areas will be maintained by the Home Owners Association.

Assuming an average population of 3.01 persons per dwelling unit, the project will increase the regional population by 885 persons at buildout.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH

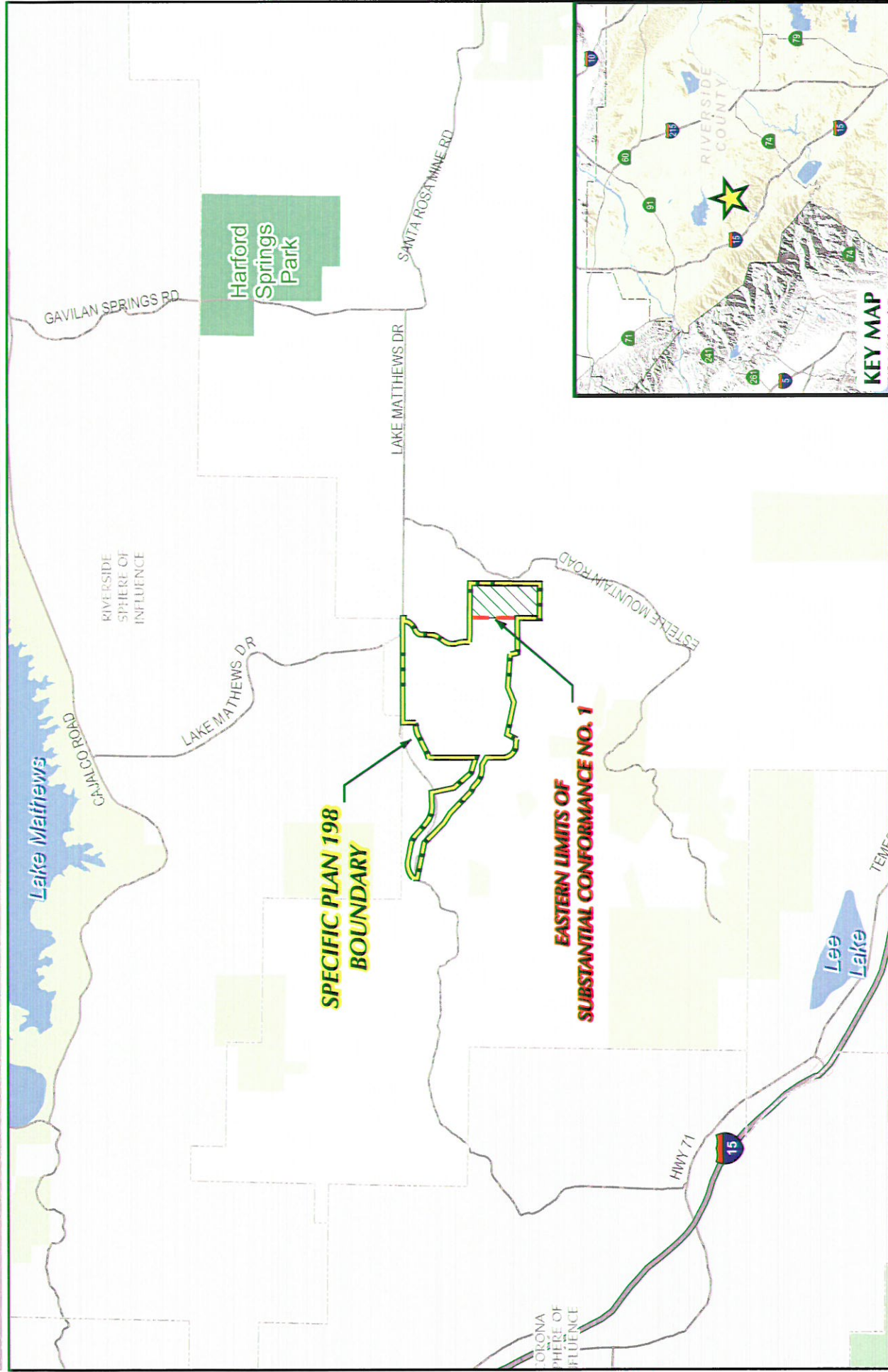


**FIGURE 1**  
**REGIONAL MAP**

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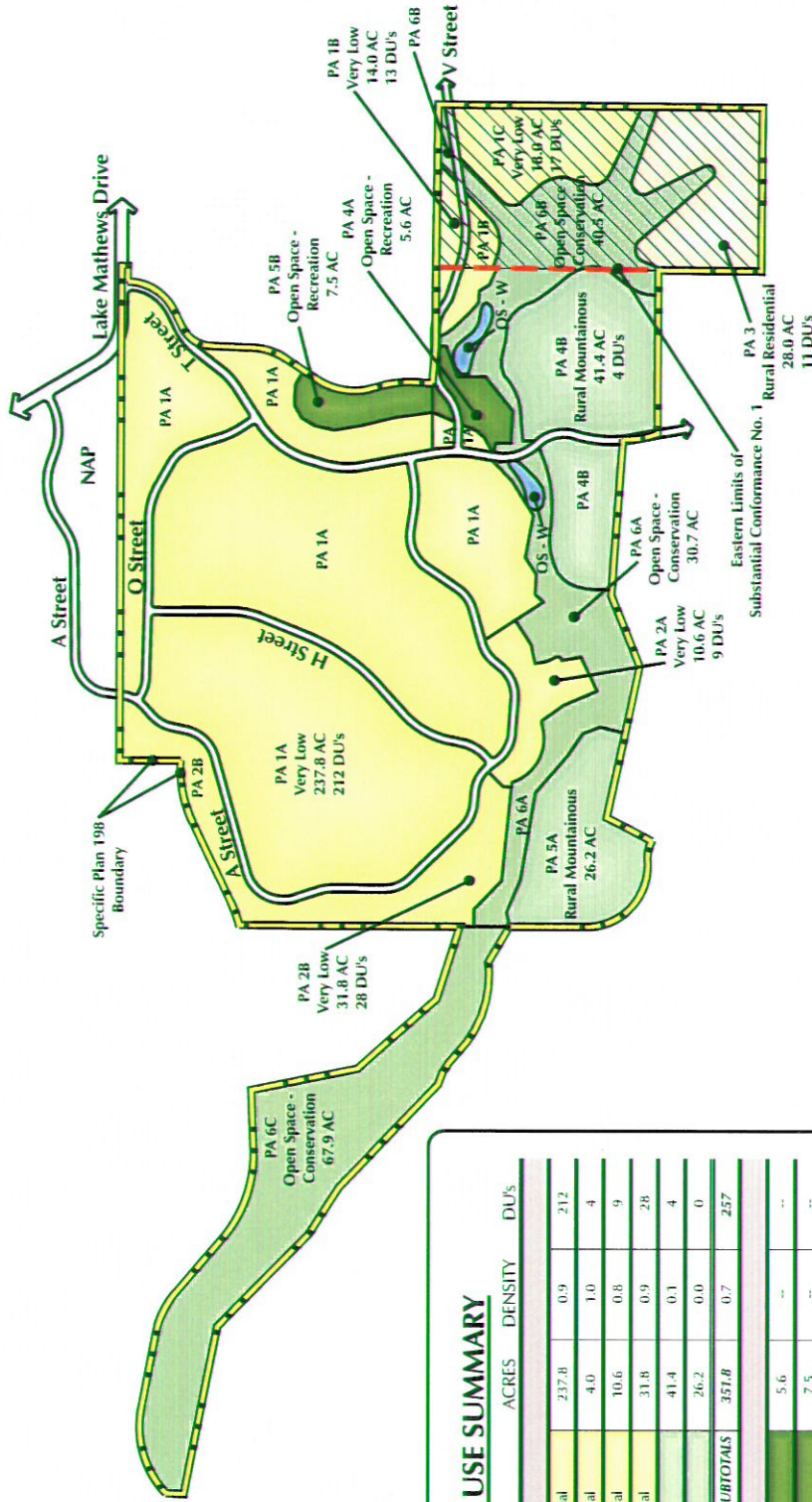
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# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



**FIGURE 2**  
**VICINITY MAP**

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



## LAND USE SUMMARY

LAND USE	ACRES	DENSITY	DU's
<b>RESIDENTIAL</b>			
PA 1A - Very Low Density Residential	237.8	0.9	212
PA 1B - Very Low Density Residential	4.0	1.0	4
PA 2A - Very Low Density Residential	10.6	0.8	9
PA 2B - Very Low Density Residential	31.8	0.9	28
PA 4B - Rural Mountainous	41.4	0.1	4
PA 5A - Rural Mountainous	26.2	0.0	0
<b>- RESIDENTIAL SUBTOTALS</b>	<b>351.8</b>	<b>0.7</b>	<b>257</b>
<b>NON-RESIDENTIAL</b>			
PA 5B - Open Space - Recreation	5.6	--	--
PA 5C - Open Space - Recreation	7.5	--	--
PA 6A - Open Space - Conservation	30.7	--	--
PA 6B - Open Space - Conservation	16.5	--	--
PA 6C - Open Space - Conservation	67.9	--	--
<b>- NON-RESIDENTIAL SUBTOTALS</b>	<b>128.2</b>	<b>--</b>	<b>--</b>
<b>PROJECT ROADWAYS</b>	<b>30.0</b>	<b>--</b>	<b>--</b>
<b>SUBSTANTIAL CONFORMANCE TOTALS</b>	<b>510.0</b>	<b>0.5</b>	<b>257</b>

Note: Specific Plan 198 consists of 590 Acres and 294 DUs.



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**Open Space:** Approximately 139.1 acres will be maintained as natural open space including steep canyons, riparian habitats, two existing lakes, and other environmentally significant areas. Planning Area 5A, although designated for Rural Mountainous land uses, will remain undeveloped. Approximately 13.1 acres will be designated as recreational open space with uses limited to equestrian and hiking trails, and picnicking sites. A passive park located in Planning Area 4A may contain picnic facilities, open meadows, and a horse corral. The total of 152.2 acres of open space and park areas will be maintained by the Homeowners' Association.

No commercial or industrial land uses are proposed nor permitted within the project.

### 3. Existing Land Uses

The vacant project site formerly encompassed two ranches, which were predominantly undeveloped rangeland used for cattle grazing. Figure 4, *Aerial Photograph*, provides a view of the site's undeveloped condition.

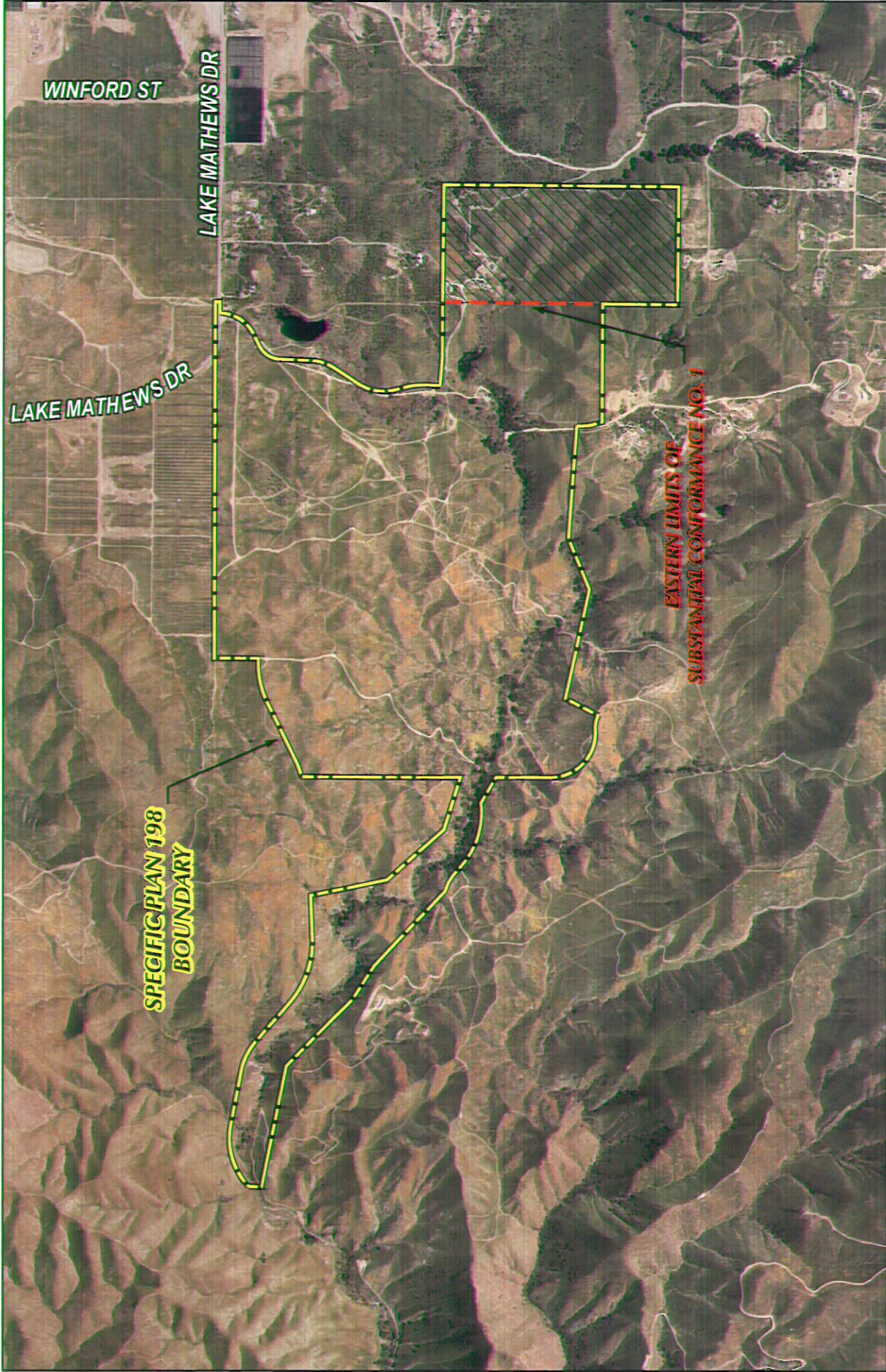
The area primarily consists of rural/agricultural development as depicted in Figures 5, *Existing Land Use*, and 6, *Existing Zoning*. Rural residential development is scattered throughout the Gavilan Plateau and is located north, east, and south of the project site. The Lake Mathews Estates development is located approximately one-half mile north of the project. Lot sizes in this development average approximately 2.0 acres.

Development east and south of the site occurs on parcel sizes ranging from 5 acres to 20 acres. Parcels immediately north and northeast of the project are currently developed as citrus groves. Parcel sizes for these agricultural lands are 20 acres or greater.

The site is zoned as Specific Plan (SP) 198, as illustrated in Figure 7, *Adopted RCIP Land Use Plan Map*. Areas to the north and southeast are zoned R-A-2 and R-A-5. Parcels to the northwest and southwest are zoned R-A-10.

While the site does have slopes which exceed 25%, it predominantly constitutes rolling hills and ephemeral drainages, as illustrated in Figure 8, *Slope Analysis*.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: Eagle Aerial; Date Flown: May, 2008



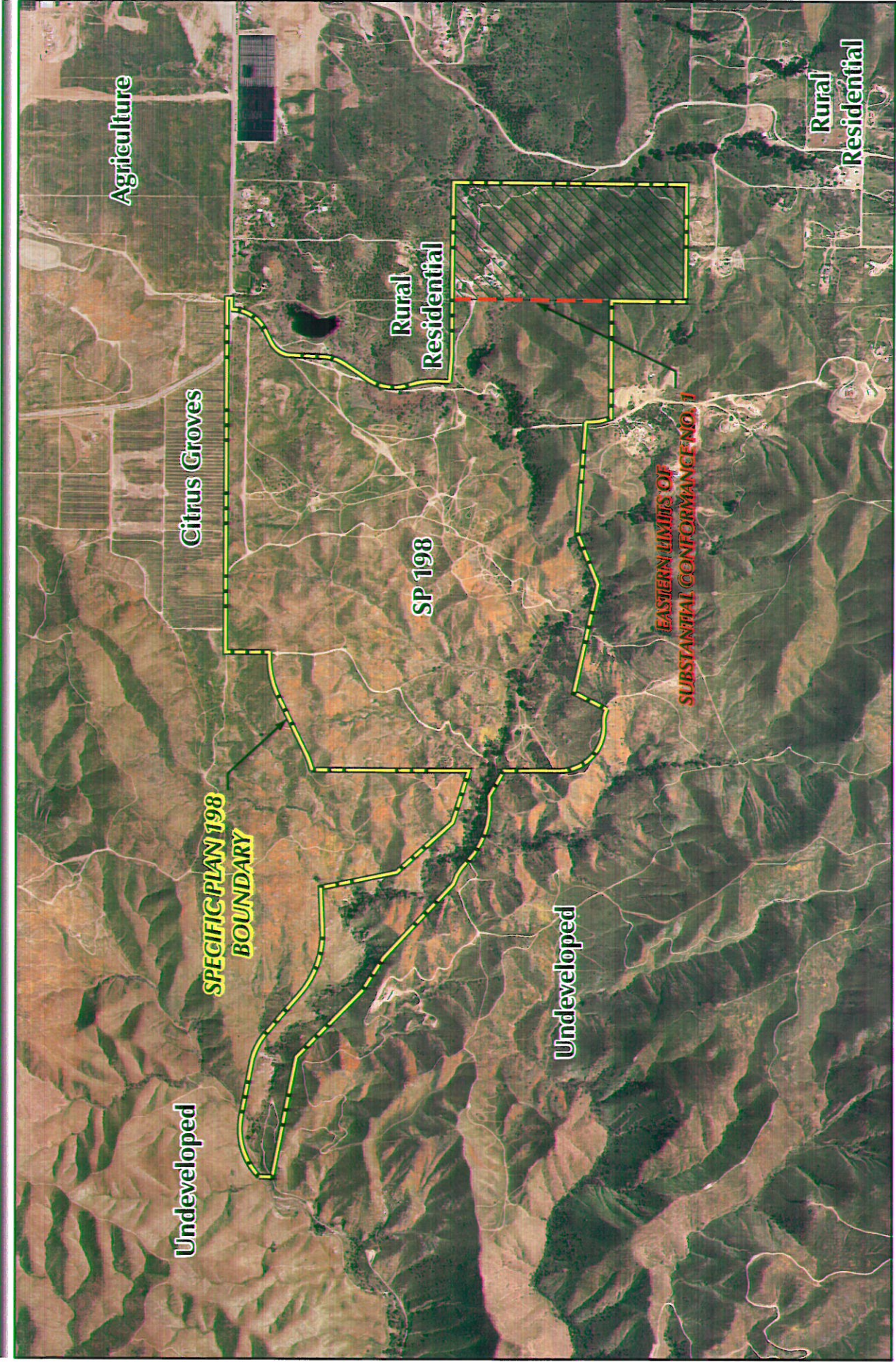
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FIGURE 4

## AERIAL PHOTOGRAPH



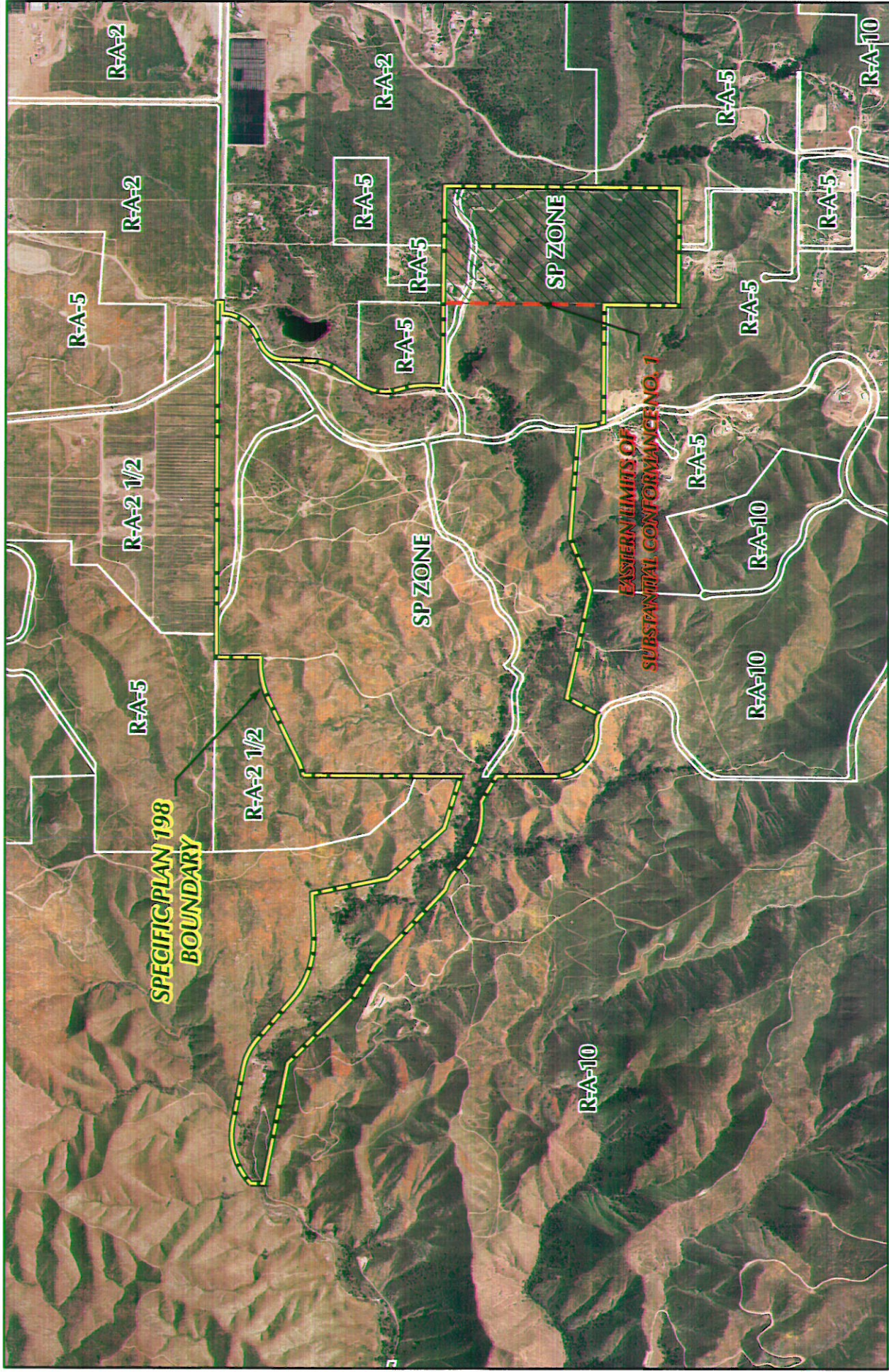
# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



0 375 750 1,500 Feet

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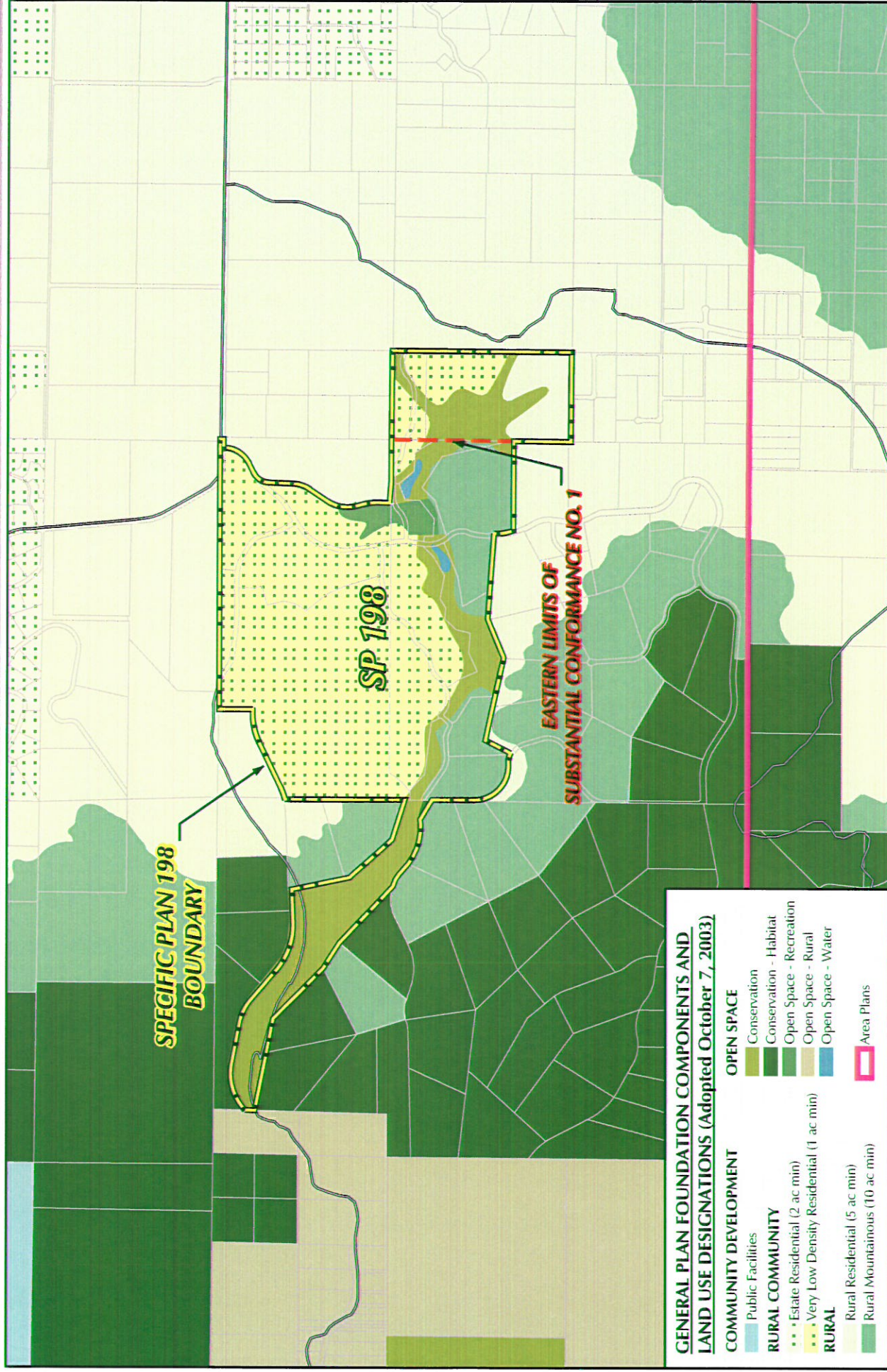


**FIGURE 6  
EXISTING ZONING**

0 375 750 1,500 Feet

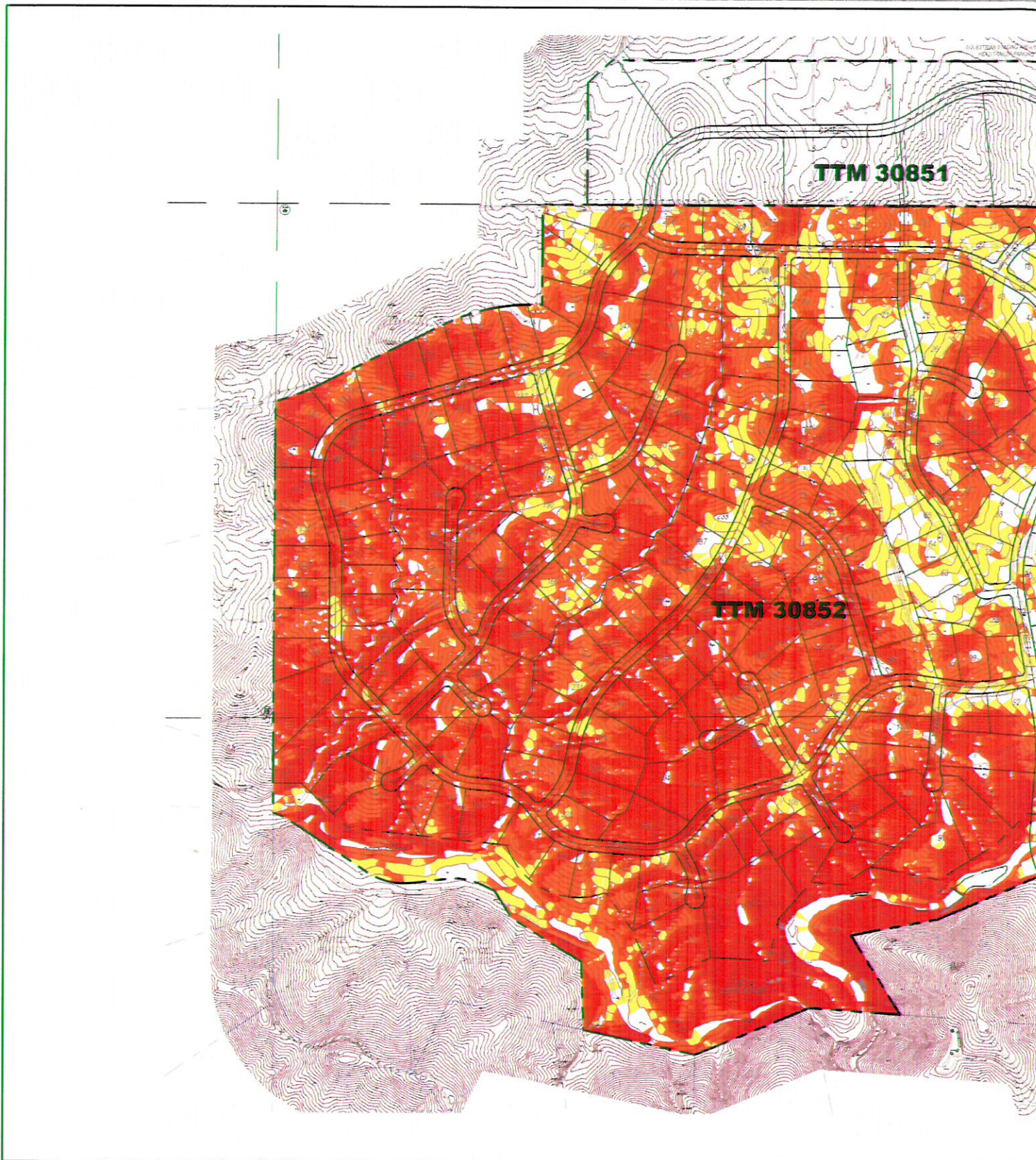
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# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



**FIGURE 7**  
**ADOPTED RCIP LAND USES**  
**PAGE 12**

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: Keller Consulting, Inc.

not to scale



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**B. SPECIFIC PLAN IMPLEMENTATION PROGRAM**

**1. Consolidated Land Use Plan**

The Belle Meadows Ranch Specific Plan proposes three major land uses: single family residential, open space - recreation, and open space - conservation. Residential land uses will range from Very Low Density Residential, with minimum 1-acre lot sizes, to Rural Mountainous, with minimum 10-acre lot sizes. Although Rural Mountainous land use designations are present, no residences are proposed within these areas. Development of the Rural Mountainous areas will require a specific plan amendment. Figure 3, *Specific Plan Land Use Plan*, illustrates the general location of the major land uses. Table 2, *Specific Plan Land Uses* summarizes the land use type, approximate acreage, and average units within each density area.

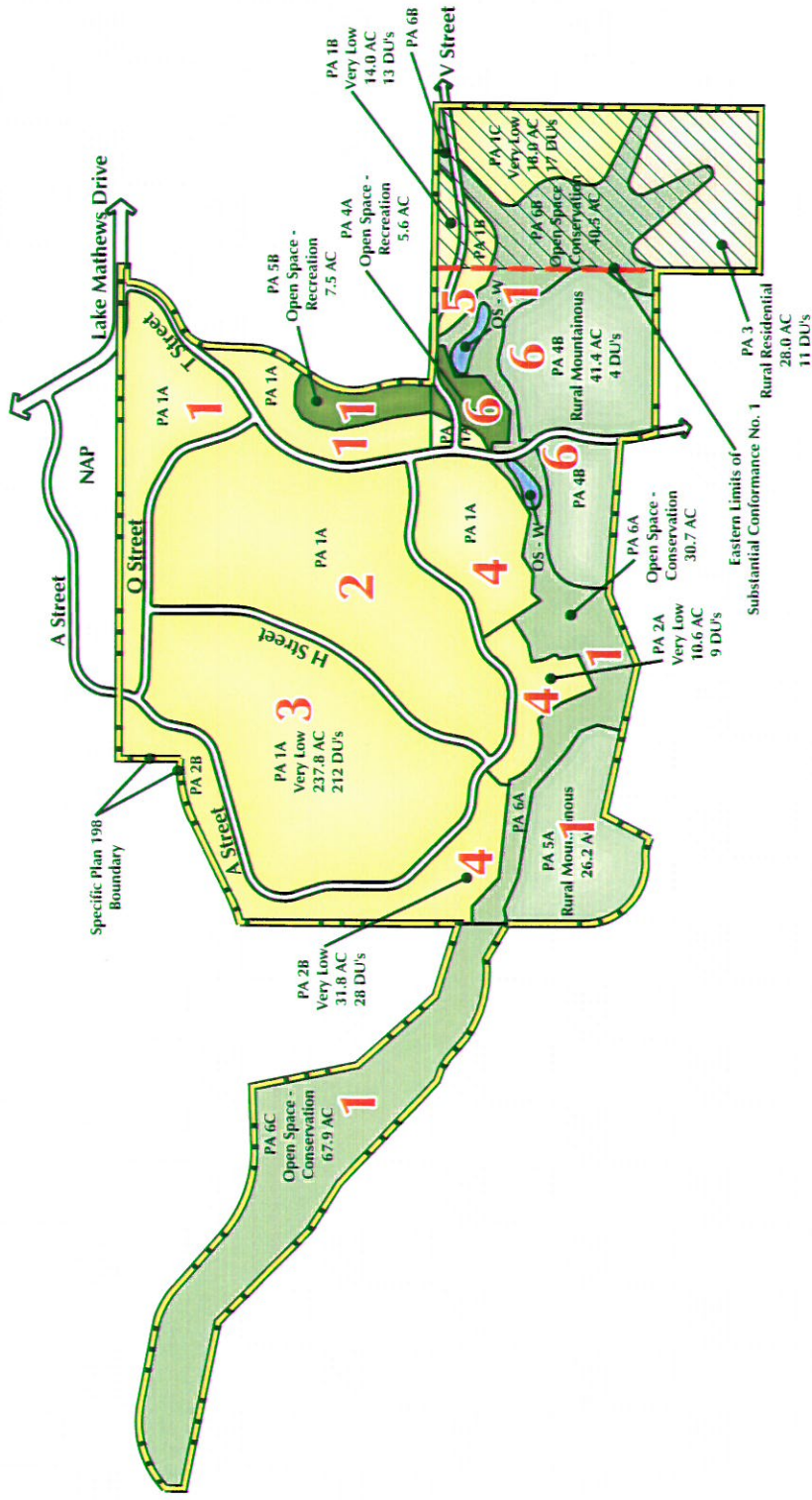
**TABLE 2  
SPECIFIC PLAN LAND USES**

<b>LAND USE</b>	<b>DENSITY</b>	<b>ACRES</b>	<b>MAXIMUM UNITS</b>
Very Low Density Residential	0.6 - 0.9 Du/Ac	309.5	279
Rural Residential	.2 Du/Ac	25.2	11
Rural Mountainous	-	73.1	4
Open Space – Recreation	-	13.1	-
Open Space – Conservation	-	139.1	-
Roads		30	
<b>TOTAL</b>		<b>590</b>	<b>294</b>

**a. Planning Areas/Phasing**

The proposed project has been divided into six phases based upon land use categories as illustrated in Figure 9, *Phasing Plan*. Sub-areas which relate to specific land uses and densities are provided within each planning area. Table 3, *Detailed Land Use Summary*, summarizes land uses and densities by planning area.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



**Legend**

# Phasing Number

0 375 750 1,500 Feet

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**TABLE 3  
DETAILED LAND USE SUMMARY**

<b>PLANNING AREA</b>	<b>LAND USE/DENSITY</b>	<b>ACRES</b>	<b>MAXIMUM UNITS</b>
<i>Planning Area 1</i>			
1a	VLDR (0.9 Du/Ac)	237.8	212
1b	VLDR (0.6 Du/Ac)	14.0	13
1c	VLDR (0.9 Du/Ac)	18.0	17
<i>Planning Area 2</i>			
2a	VLDR (0.8 Du/Ac)	10.6	9
2b	VLDR (0.9 Du/Ac)	31.8	28
<i>Planning Area 3</i>			
3	Rural Residential (0.2 Du/Ac)	28.0	11
<i>Planning Area 4</i>			
4a	Open Space - Recreation	5.6	--
4b	Rural Mountainous	41.1	4
<i>Planning Area 5</i>			
5a	Rural Mountainous	26.2	0
5b	Open Space - Recreation	7.5	--
<i>Planning Area 6</i>			
6a	Open Space - Conservation	30.7	--
6b	Open Space - Conservation	40.5	--
6c	Open Space - Conservation	67.9	--
Roads		30.0	--
<b>TOTAL</b>		<b>590</b>	<b>294</b>

**b. Residential Component**

The Belle Meadows Ranch project proposes a maximum of 294 single family detached residential units. Residential parcel sizes will range from 1-acre to 10-acre minimums. Residential densities are based upon site-specific environmental constraints with emphasis placed upon terrain. The higher density areas are located on meadows and running hills in the northern section. Areas of steep terrain along the west and south boundaries have the largest lot sizes.

**c. Open Space and Recreation Component**

The 152.2 acres of open space, recreational and undeveloped rural mountainous land uses account for approximately 26 percent of the total project site. The common open space system is intended to preserve sensitive environmental characteristics of the site while providing for a range of recreational opportunities. Figure 10, *Open Space and Trails Plan*, illustrates the open space and recreational land use areas.

Open space areas include the portion of Dawson Canyon that passes through the site. Specific areas of Dawson Canyon have been identified as environmentally sensitive and will be maintained in a predominantly natural state. The existing system of equestrian and hiking trails connect to regional and community trails within the project as well as the proposed Riverside County Trails Plan.

Figures 11, *Regional Trails and Community Trails*, illustrate typical hiking and equestrian trail design within the project. The onsite trail system will be maintained by the project homeowners' association.

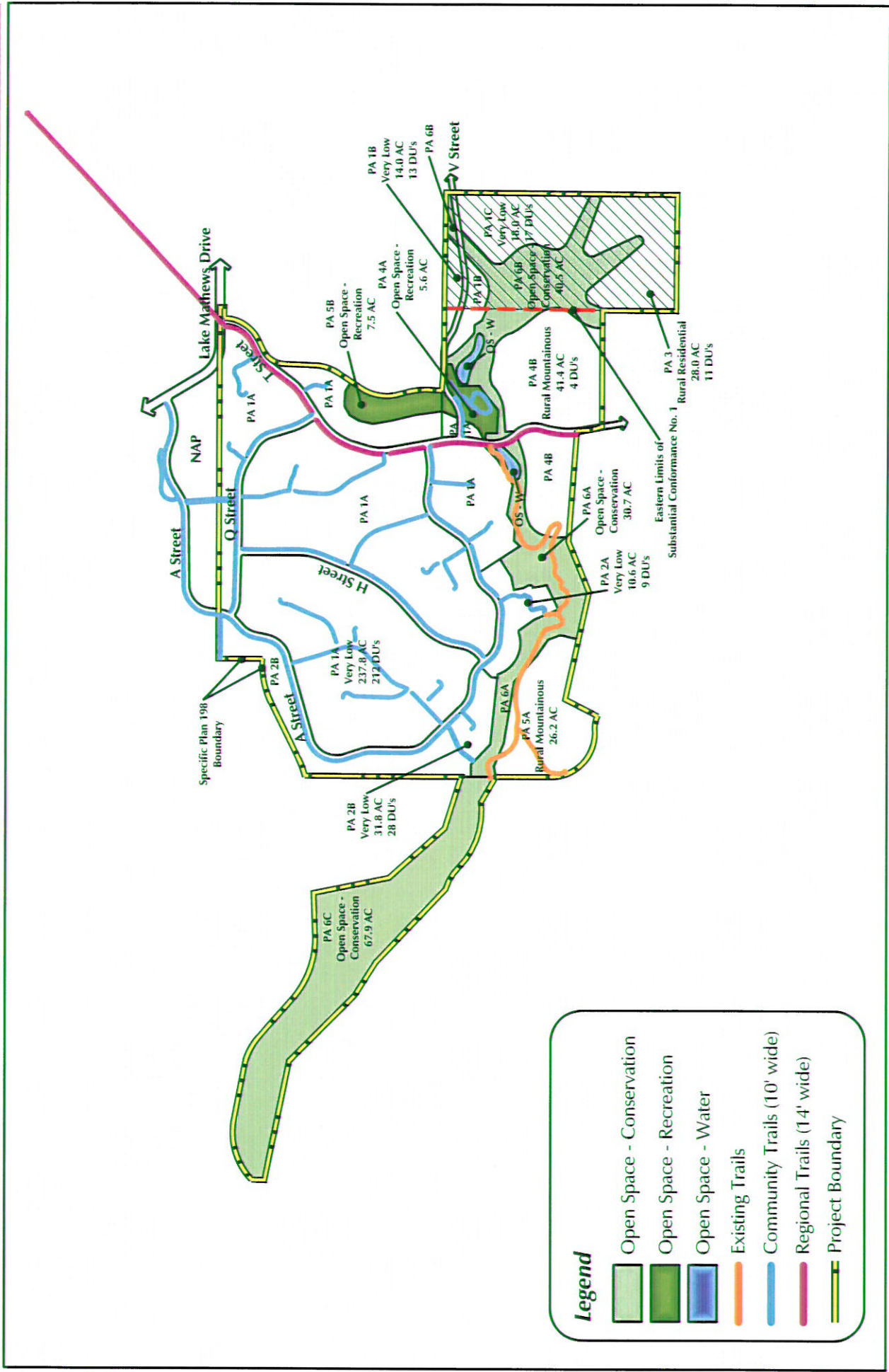
The equestrian trail system will connect an equestrian staging area located offsite to the north and the passive park in Planning Area 4A. The passive park is intended to provide amenities such as picnic area, open meadows, and possibly a horse corral.

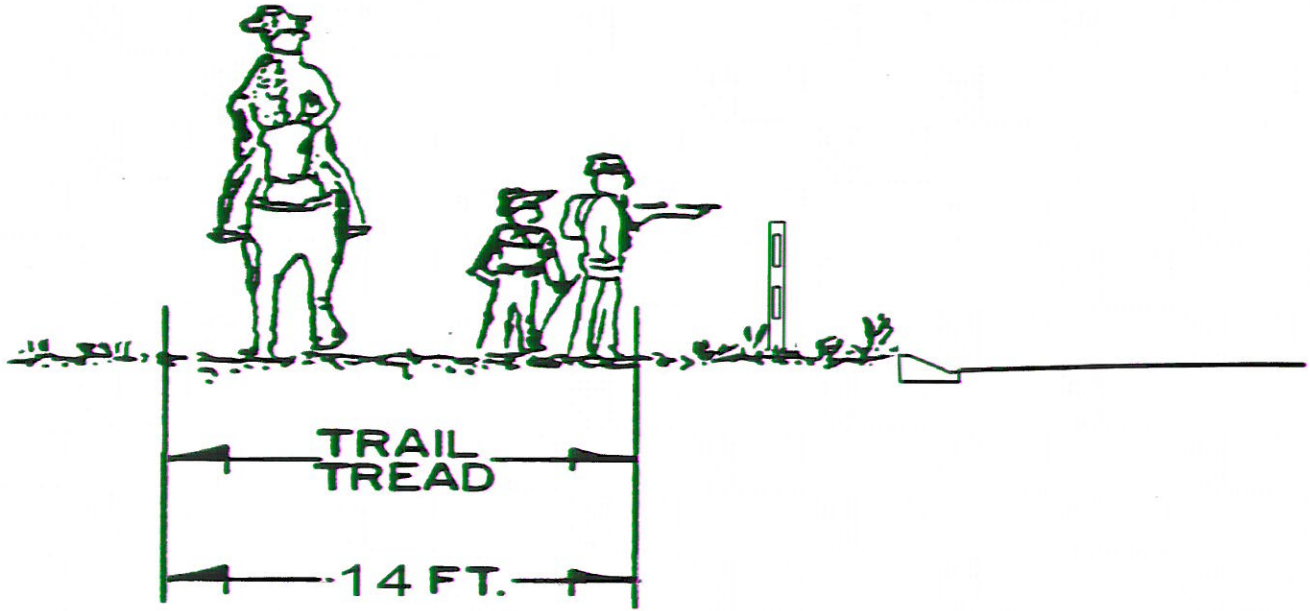
d. Circulation Component

Internal project circulation will be provided by a system of public roads as illustrated in Figure 13, *Circulation Plan*. Road rights-of-way will be in accordance with Riverside County Ordinance 460, or as approved by the Transportation Department. All roads serving improved parcels will be paved to Riverside County Road Department standards, Figure 14, *Typical Road Sections*, illustrates typical sections of each road type identified in the project circulation plan. All roads shall maintain a finished grade of no more than 15 percent. In addition, all in-tract roads shall have wedge curbs in order to enhance the rural look and feel of the community.

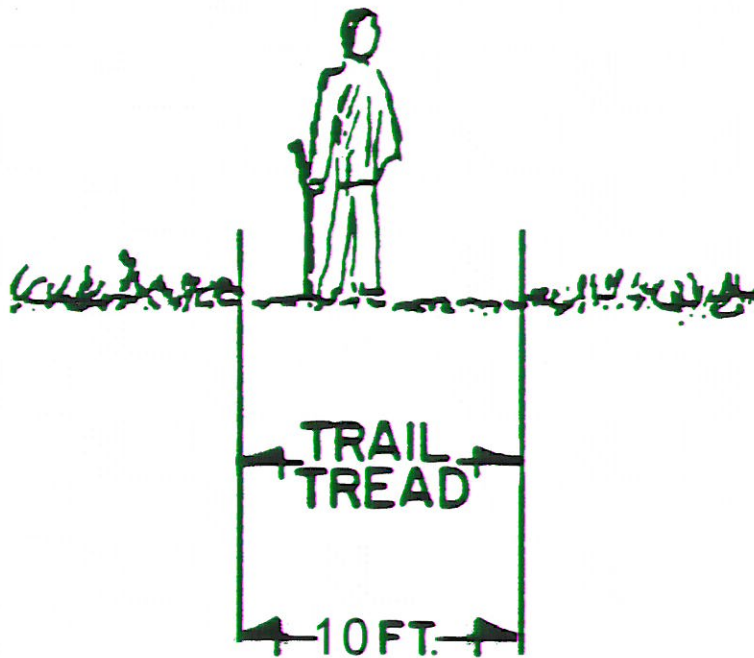


# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH





REGIONAL TRAIL



COMMUNITY TRAIL



not to scale



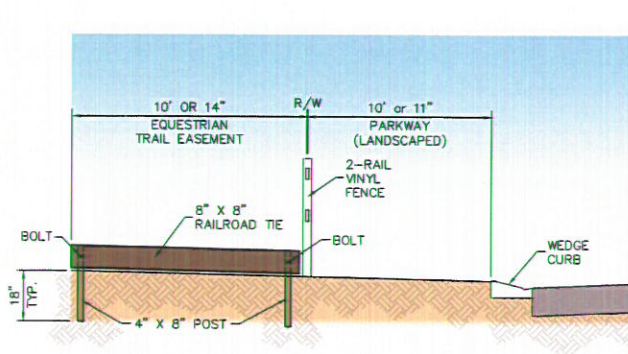
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17542 East 17th Street, Suite 100 Tustin, CA 92780  
p. 714.505.6360 f. 714.505.6361  
www.tbplanning.com

**FIGURE 11**  
**REGIONAL AND COMMUNITY TRAILS**

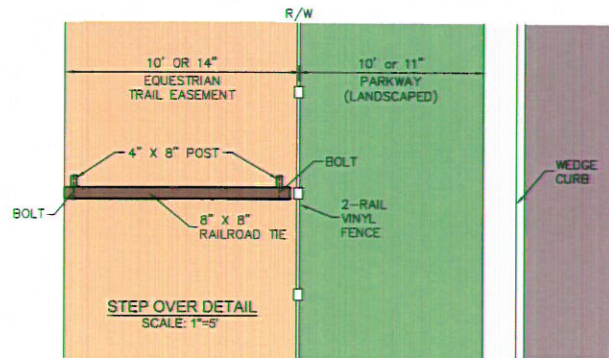
# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



PROPOSED CONDITION FOR DRIVEWAY/TRAIL CROSSING



TRAIL STEP-OVER DETAIL - CROSS SECTION



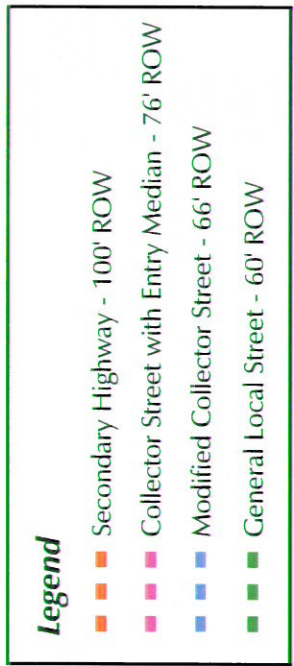
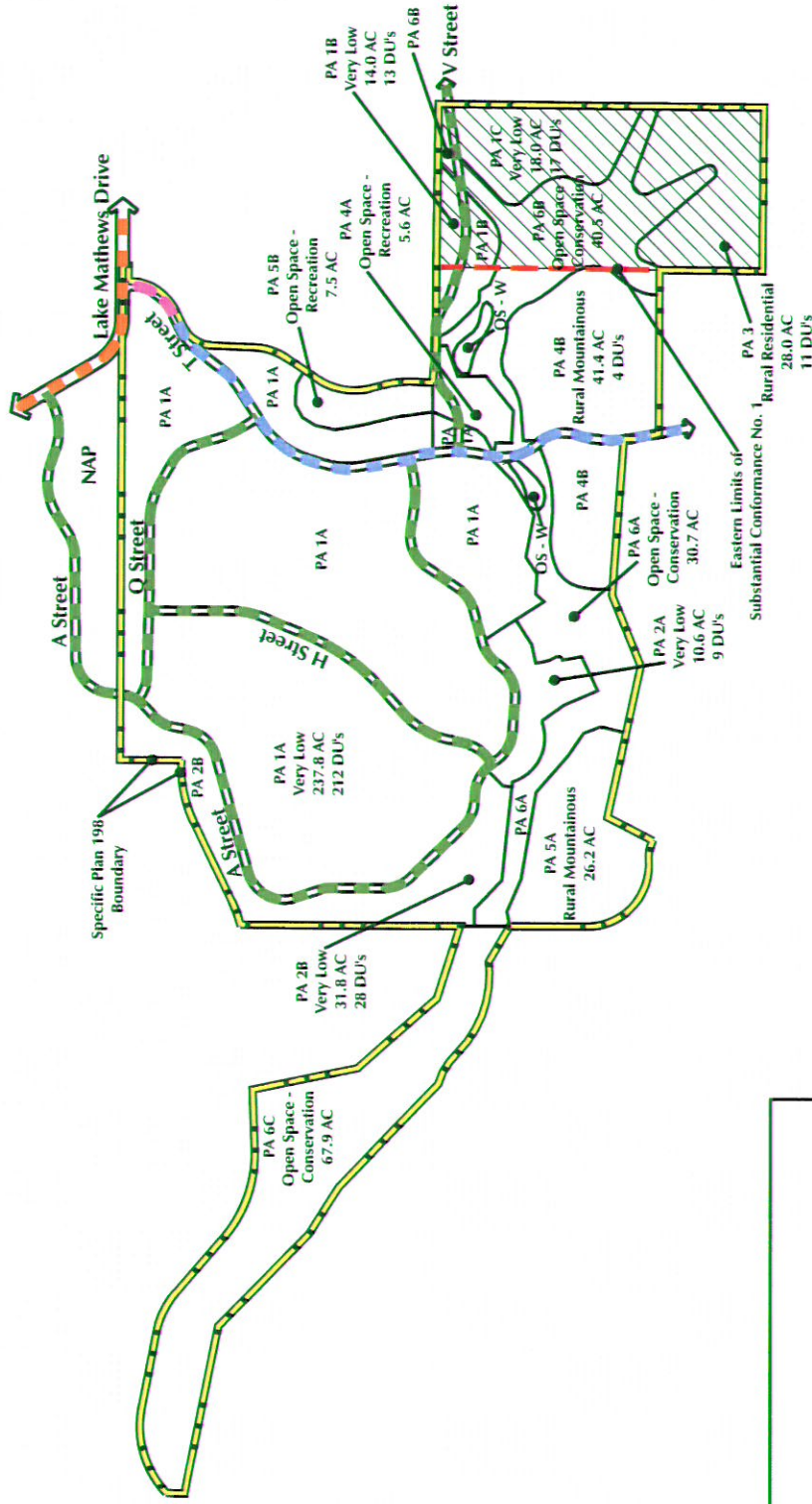
TRAIL STEP-OVER DETAIL - PLAN VIEW



TRAIL STEP-OVER EXAMPLES



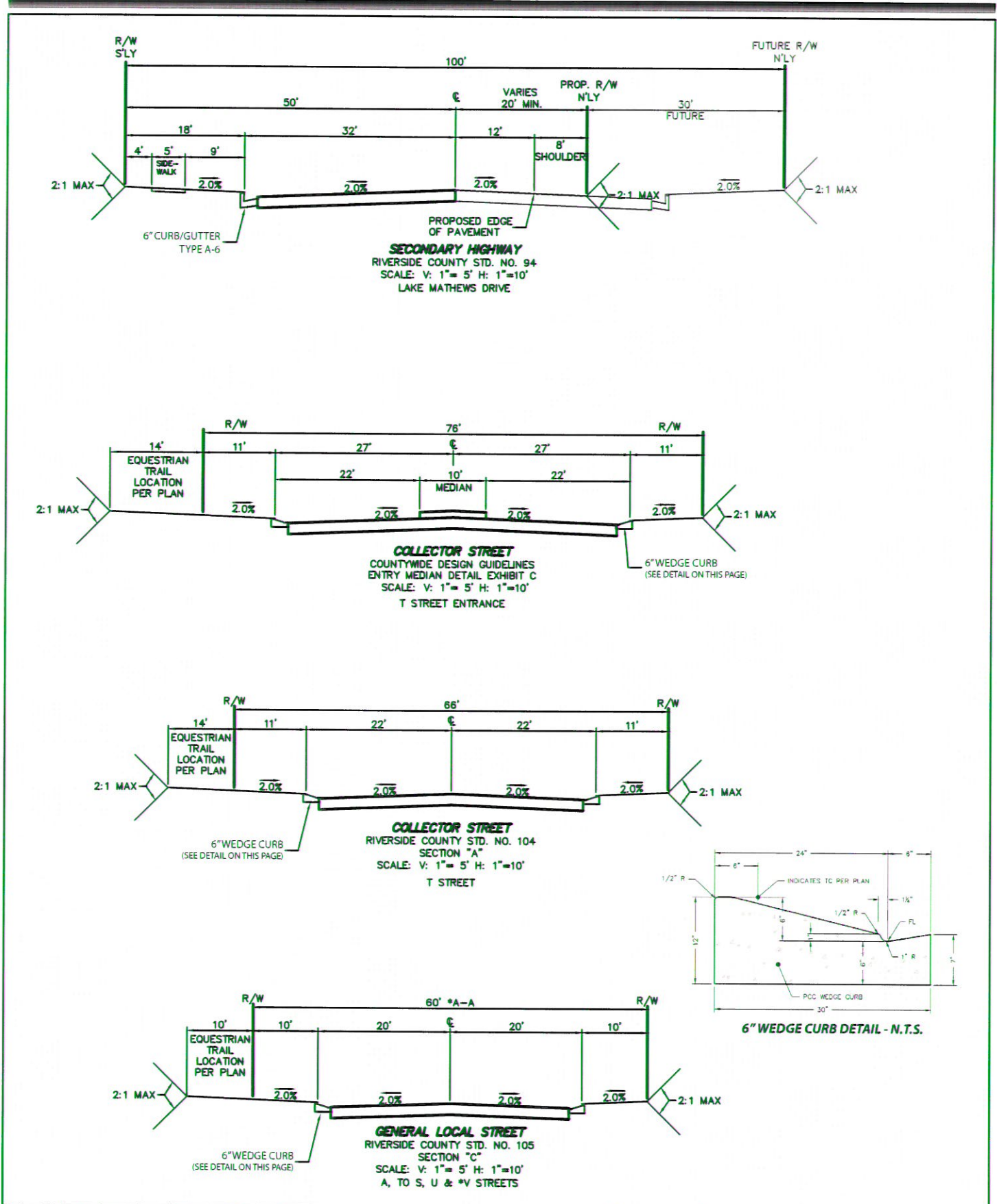
# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



0 475 750 1,500 Feet

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# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: Keller Consulting



## FIGURE 14 TYPICAL ROAD SECTIONS

e. Public Facilities Plan

Development of Belle Meadows Ranch requires the design and implementation of a master public facilities plan. Of primary concern is the provision of domestic water service and domestic wastewater (sewage) disposal.

Domestic Water will be provided by Western Municipal Water District Improvement District #4 and conveyed through the site as illustrated in Figure 15, *Master Water Plan*. Onsite water mains will connect to the existing water system and storage facilities east of the site. Water pipe sizes depicted on the plan are preliminary, and will be solidified during final engineering.

All parcels will be served by individual on-site domestic wastewater disposal systems (septic systems). Disposal systems will be constructed based upon site specific soil percolation tests, performed by a qualified soils engineer and approved by the Riverside County Department of Health.

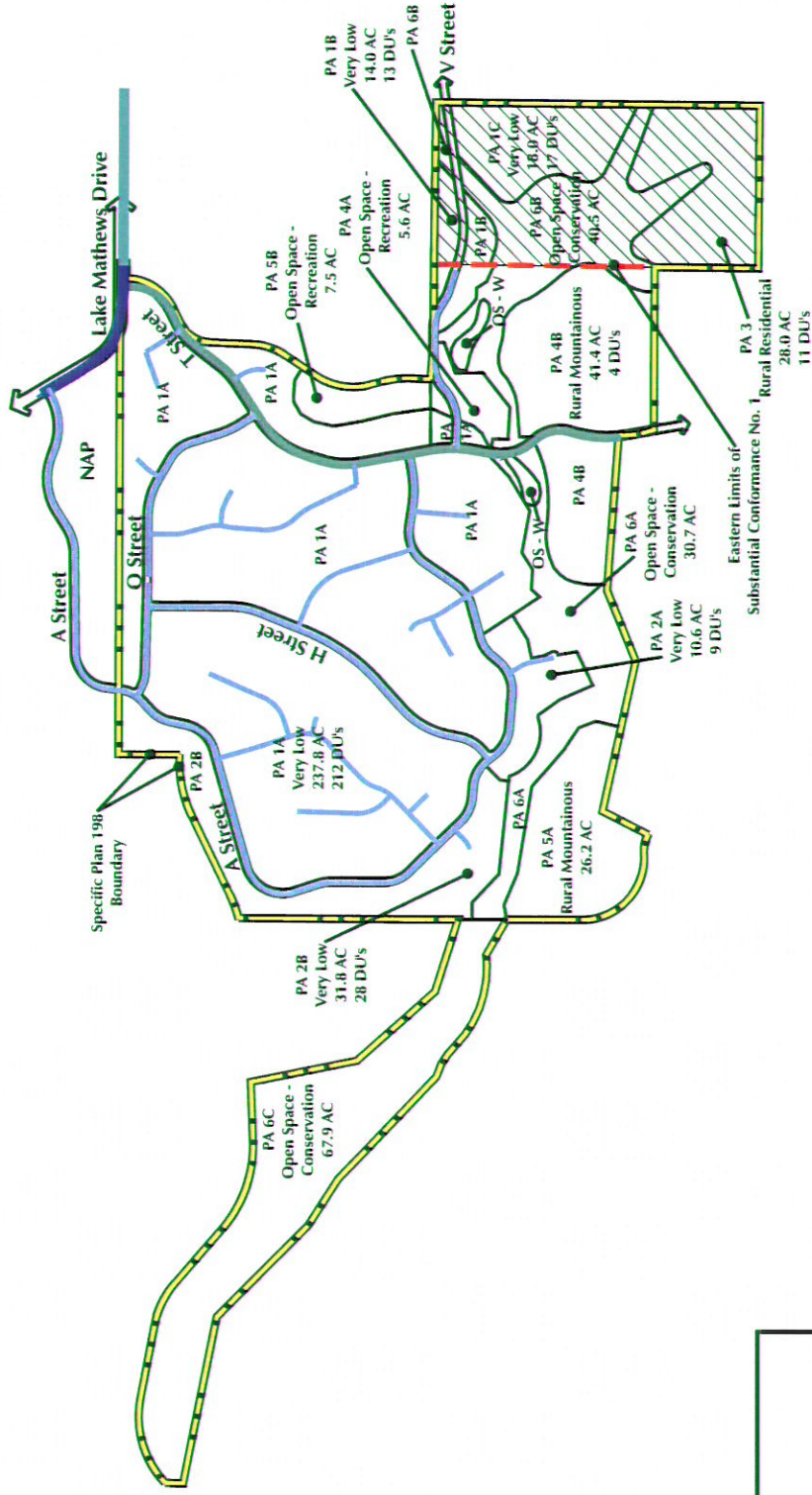
Public facilities for the project will be provided as determined necessary to serve the phased development. Major facilities will be developed as part of the first residential development phase.

These will include the following:

- Extension/upgrading of electric, natural gas, and telephone services to project site
- Construction of water lines necessary to service the first development phase.

Water mains and other utility lines will be extended within each concurrent development phase.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



**Legend**

- 14" Existing Water Line
- 14" Proposed Water Line
- 12" Proposed Water Line
- 8" Proposed Water Line

Source: Keller Consulting

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f. Conceptual Grading Plan

The project site contains a wide range of slopes and terrain. Grading practices are designed to be compatible with each type of terrain encountered. Slopes exceeding 25 percent are generally located along Dawson Canyon. The majority of the canyon area is proposed for open space uses and no grading will occur. The remainder of the site is divided into a gently sloping meadow area and rolling hills with scattered areas of 25 percent slope.

Building pads will be constructed throughout the lesser sloping areas using typical Riverside County grading standards. Any slopes created as part of the grading plan will be stabilized through re-vegetation and provided with adequate drainage control.

The grading concept proposed for Belle Meadows Ranch is sensitive to the existing topography. Canyons, which serve as project drainages, will be preserved in their natural state. Lot placement conforms to the project's terrain to the extent practical. Grading will be performed consistent with Riverside County standards. Finished road grades will not exceed 15 percent. All cut and fill slopes will be stabilized through re-vegetation or retaining walls.

g. Drainage Plan

A series of drainage courses converge on the site and empty into Dawson Canyon. Water will be conveyed through the project using existing natural drainage patterns. All major drainage courses will be retained in a natural state. Drainage areas and flood plain areas located at the rear of lots will be protected by a conservation easement prohibiting development, and will be maintained by the Homeowners Association.

Runoff from individual parcels will be conveyed to major channels by adjacent streets or rear lot drainage courses. Streets conveying drainage will be designed in accordance to Riverside County standards. Roads which cross drainage courses will be provided with drainage structures designed to Riverside County Road Department and Riverside County Flood Control District standards.

h. Landscaping Plan

Landscaping will be required on all developed parcels within the project. Common areas to be landscaped and maintained by the Homeowners' Association including the following:

- Equestrian trails
- Pedestrian Trails
- Conservation Easements
- Open Space Areas
- The Passive Park

These areas will be landscaped using plant species common to Western Riverside County and Gavilan Plateau. Fire retardant and drought tolerant species will be used whenever possible. The rural equestrian atmosphere will be enhanced by the requirement for fencing consistent with the rural equestrian theme, along all roads and surrounding each developed parcel.



All developed home sites will be required to provide and maintain landscaping acceptable to landscape guidelines established within the project's CC&R' s. Landscaping similar to the common area landscape standards will be encouraged for all residential street frontages.

Owners of undeveloped parcels will be required to maintain their lots in a safe attractive manner prior to improvement. This will include the clearing of dead brush which may create a fire hazard and the removal of litter which creates a health hazard and is aesthetically displeasing.

Open space areas within Dawson Creek may either be deeded to and maintained by a Conservation Authority or recorded as a conservation easement and maintained by CSA.

i. Maintenance

Parkway landscaping and street lights will be maintained by County Landscape, Lighting and Maintenance District 89-1.

**DESIGN GUIDELINES**

**FOR**

**SP198**

**SUBSTANTIAL CONFORMANCE # 1**

**AND**

**TENTATIVE TRACT MAPS**

**30851 AND 30852**

## **I. INTRODUCTION**

### **A. EXECUTIVE SUMMARY**

#### **1. PURPOSE**

This Design Guidelines document has been prepared as a stand-alone document for the County of Riverside to facilitate processing and approval of Tract 30852, and for Tract 30851, which lies adjacent to the north of SP198 and provides secondary access to TR30852, which encompasses a 363.9-acre portion of the 590-acre BELLE MEADOWS RANCH (TR30851 AND TR30852) Specific Plan. This document provides detailed text and exhibits intended to guide site planning, architecture, and landscape architecture to create a cohesive project identity. The BELLE MEADOWS RANCH (TR30851 AND TR30852) Design Guidelines are intended to establish standards consistent with County policies and assure that together, TR30851 and TR30852 will result in an attractive, well-designed community.

These Design Guidelines provide the essential link between the requirements of the Countywide Design Guidelines and actual development within the project area. By functioning as a regulatory document, the BELLE MEADOWS RANCH (TR30851 AND TR30852) Design Guidelines provide a means of implementing the County's Design Guidelines while reflecting the distinctive rural character of the area and promoting the project theme. All future development plans or other similar entitlements shall be consistent with guidelines set forth in this document and with applicable County regulations.

Design Guidelines are a living document intended to be flexible and subject to modification over time to respond to unanticipated conditions such as changes in taste, community desires, the marketplace, economic conditions, or adjacent land uses. However, it is critical that these guidelines are followed in order to unite landscape, hardscape, and community elements in a cohesive manner. It is the goal of this document to provide opportunities for creativity and visual interest while maintaining consistency with the California Ranch theme chosen for BELLE MEADOWS RANCH (TR30851 AND TR30852).

The Design Guidelines consist of two principal components: Landscape Design Guidelines and Architectural Design Guidelines. These elements complement and reinforce one another to define the design concept, physical character, and rural theme of BELLE MEADOWS RANCH (TR30851 AND TR30852). Landscape Design Guidelines are comprised of community elements and development concepts such as plant palettes, project entries, streetscapes, edge conditions, and recreational amenities. These guidelines also present general requirements relative to irrigation, plant material guidelines, planting, and maintenance. The plant palette is organized by material type and provides a specific list of plants that are compatible with the California Ranch theme. The Architectural Design Guidelines articulate the characteristics of the built environment and are intended to evoke a rural atmosphere by utilizing the architectural elements consistent with both traditional European and related early California design. Elements such as architectural theme, building massing and scale, materials and colors, walls and fences, outdoor lighting, and site planning guidelines combine to form a distinctive identity that defines BELLE MEADOWS RANCH as a desirable community.

The landscape design guidelines are intended to be the driving force of the project theme, with architecture playing a secondary, more flexible role. Landscape Design Guidelines establish the project's character and provide thematic continuity throughout the entire community. Through the

thematic blending of hardscape and planting elements, the landscape plan helps to create a strong sense of identity.

**a. DESIGN GOALS**

Implementation of these Design Guidelines will ensure that BELLE MEADOWS RANCH (TR30851 AND TR30852), are developed as a high quality, aesthetically pleasing community. Based on Design Strategies outlined in the Riverside County Integrated Project (RCIP) and Riverside County General Plan, it is the County's desire to advance several specific development goals including:

- Ensure that new homes are constructed in neighborhoods that are interesting and varied in appearance.
- Utilize building materials and enhanced landscaping to promote a look of quality, both at the time of initial occupancy, as well as in future years.
- Encourage efficient use of land while creating high quality communities that will maintain their economic values and long-term desirability as places to live and work.
- Incorporate conveniently located and accessible neighborhood parks, trails, and open space.
- Provide functional public access to recreational opportunities in relation to the overall open space system.

In addition to the County's goals, several additional goals specific to the BELLE MEADOWS RANCH (TR30851 AND TR30852) Design Guidelines have also been developed:

- To provide the County of Riverside with the necessary assurance that BELLE MEADOWS RANCH (TR30851 AND TR30852) will develop in accordance with the quality and character proposed within this document.
- To design a community whose theme is in concert with the unique rural character of the Lake Mathews/Woodcrest Area Plan.
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality and thematic consistency.
- To provide context to County staff, the Planning Commission, and the Board of Supervisors in the review of future development projects within the community.
- To provide development guidelines which permit BELLE MEADOWS RANCH (TR30851 AND TR30852) to develop its own theme and character while interacting with and responding to adjacent areas.

**b. APPLICABILITY OF DESIGN GUIDELINES**

Provisions of the Riverside County Countywide Design Guidelines supplement the minimum specifications for land development in Riverside County Ordinance No. 348, and should be incorporated by reference in all applicable development Conditions of Approval for BELLE

MEADOWS RANCH (TR30851 AND TR30852). Although the County's Design Guidelines do not pertain to residential projects exceeding ½ -acre minimum lot sizes, this Design Guidelines document will use the County's guidelines as a basis and modify them to apply to a rural, large lot community. The Belle Meadows Specific Plan No. 198 was adopted in 1986 and is designated as a Rural Community Development Specific Plan. Because the Countywide Design Guidelines were not formulated until 2003, design guidelines have been prepared for BELLE MEADOWS RANCH (TR30851 AND TR30852) to be consistent with applicable County's requirements.

**c. DESIGN GUIDELINES FORMAT**

This Design Guidelines document is organized into three chapters, as detailed below:

- Chapter 1 – Introduction:** includes the document's purpose, intent, authority, actions, approvals, and format.
- Chapter 2 – Architectural Design Guidelines:** contains design guidelines which will define residential architecture and architectural elements.
- Chapter 3 – Landscape Design Guidelines:** contains design guidelines which will provide landscaping specifications and define the community theme and character.

**B. PROJECT SETTING**

BELLE MEADOWS RANCH (TR30851 AND TR30852) is located within the Lake Mathews/Woodcrest Area Plan of unincorporated Riverside County. This primarily rural area is characterized by its remarkable scenic attributes which include mountain views, rolling terrain, water bodies, riparian corridors, and citrus groves. Substantial amounts of land are provided for rural and equestrian uses, with more traditional urban development along transportation corridors. The project is located in a part of western Riverside County with relatively low residential densities and minimal commercial development. Areas to the west and south of the site are designated by the RCIP as Rural Mountainous (10-acre minimum lot size) and Conservation – Habitat. Estate Density Residential Development (2-acre minimum lot size) is planned to the north and east of the project, beyond which lies Estate Density Residential with a Rural Community Development Foundation Component designation. Several Specific Plans have been approved within the Lake Mathews/Woodcrest Area Plan. The Gavilan Hills Specific Plan No. 308 and the El Nido Specific Plan No. 130 are generally located to the east of BELLE MEADOWS RANCH, and are the only Specific Plans within the project vicinity.

As illustrated in Figure I-1, *Regional Map*, regional access to the site is provided by Interstate 15 (I-15) and State Route 74 (SR 74). These roadways connect to the project via Cajalco Road, Lake Mathews Drive, and Estelle Mountain Road, all of which are located to the north as shown in Figure I-2, *Vicinity Map*. Further to the north of the project is Lake Mathews, a 2,800-acre reservoir functioning primarily as a major source of fresh water for southern California. The project is separated from Lake Mathews by the 13,000-acre Estelle Mountain Reserve, a conservation area that provides habitat for several species. This range also extends to the west and south of BELLE MEADOWS RANCH (TR30851 AND TR30852). The site is located on the southwestern corner of the Gavilan Hills plateau.



## **II. ARCHITECTURAL DESIGN GUIDELINES**

This section sets forth guidelines for the architectural components of BELLE MEADOWS RANCH (TR30851 AND TR30852). Architectural Design Guidelines are intended to complement the Landscape Design Guidelines to develop a cohesive and attractive community that evokes the California Ranch theme. The architectural and landscape design themes are created by integrating the rural project setting with the rich and varied architectural forms associated with traditional European and early California design. This theme provides a related, yet varied palette of architectural styles to allow residences to establish an identity, while remaining consistent with the overall project concept. Similarly, the landscape theme is intended to balance the architectural guidelines and provide a cohesive background canvas for architectural variety. This section also identifies certain key architectural “elements” that should be considered in all residential development. It is the intent of these guidelines to establish a consistent architectural expression that reflects the California Ranch theme, while at the same time allowing for creativity in design and implementation.

### **A. ARCHITECTURAL STYLES AND DESIGN**

A design style has been created for BELLE MEADOWS RANCH (TR30851 AND TR30852), which utilizes architecture in keeping with the rural character of the area. Although a design style is not required by the Countywide Design Standards and Guidelines, the project will incorporate the following requirements to ensure a high-quality and interesting residential development:

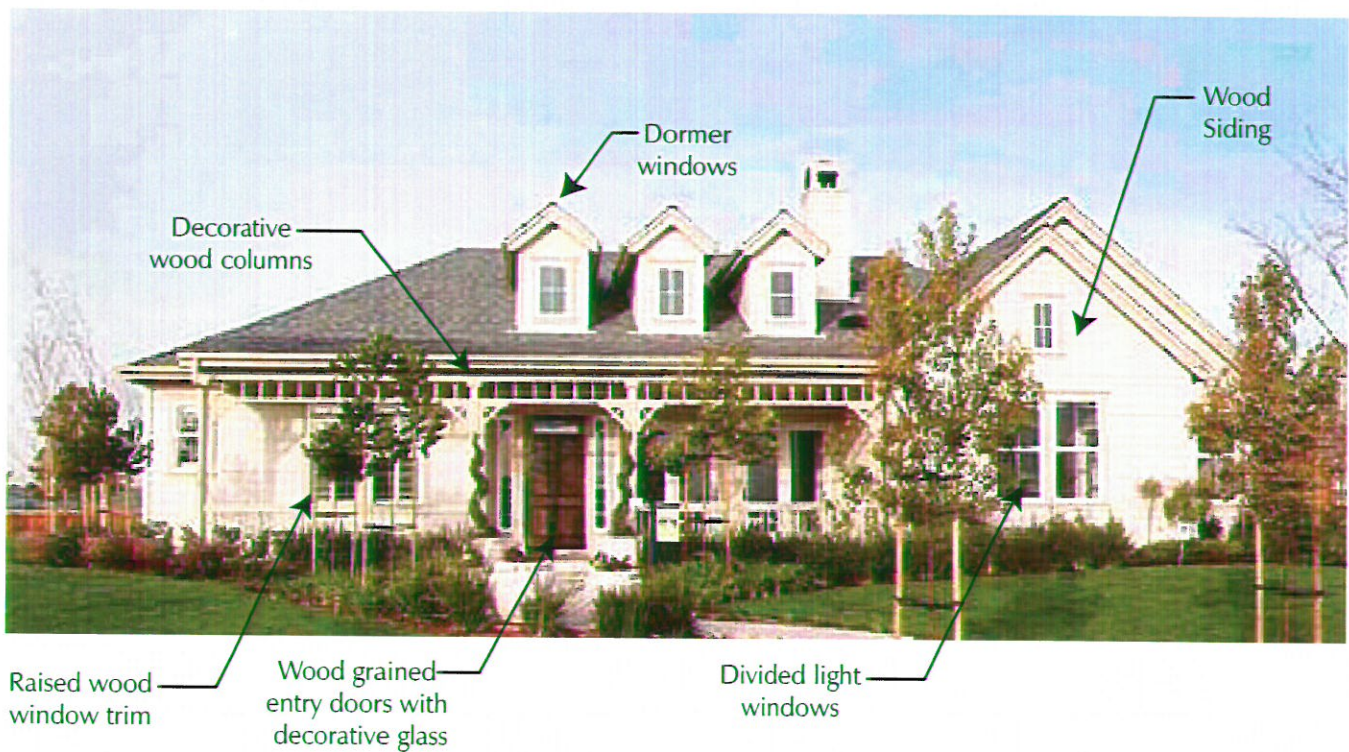
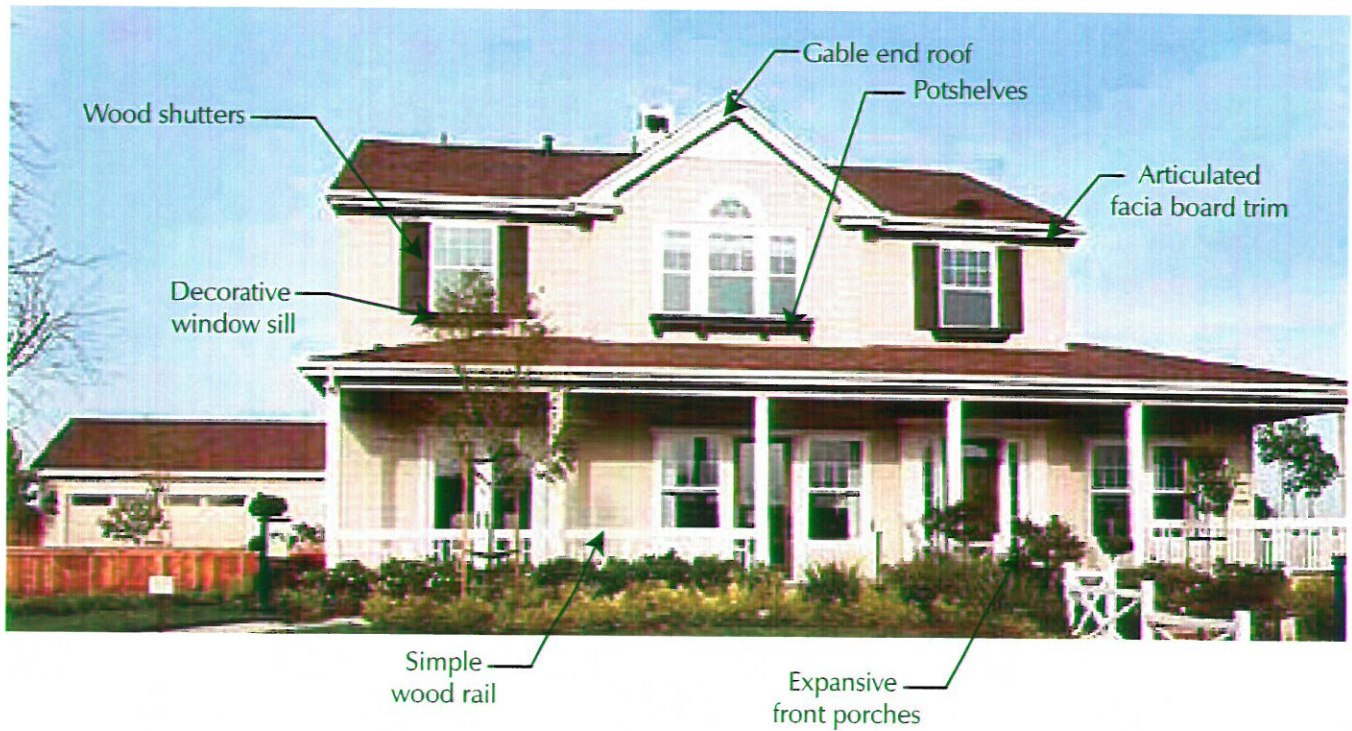
- A minimum of three distinct architectural styles.
- A minimum of seven different floor plans.
- A minimum of three distinct elevations per floor plan.

The design goal of the BELLE MEADOWS RANCH (TR30851 AND TR30852) Design Guidelines is to create contemporary interpretations of several historical styles rather than exact recreations. In order to achieve an appropriate interpretation of a particular style, it is essential to adhere to the style’s characteristics and details such as materials, forms, and color. The project should incorporate a mix of architectural product types and styles to evoke a strong, coherent identity resulting in an aesthetically pleasing community. The architectural styles selected include Farmhouse, French Country, Santa Barbara/California Ranch, Santa Fe/Southwestern, and Tuscan architectural styles. A description of these styles and the architectural elements typically associated with them are provided in Figures II-1 through II-5.

Equally important is the development of residences that exhibit excellent design and provide for a high level of livability. Architectural diversity should be created by combining building materials, colors, and textures in conjunction with architectural features (e.g. roofs, windows, doors, façades, trim) rather than by designing buildings that vary greatly in architectural style. All architecture should enhance and enrich the community theme. Architecture of individual homes should possess a historic basis that is familiar and climatically appropriate.

Allowing a variety of architectural styles emphasizes the importance of designing creative and fresh residential neighborhoods and homes. Architectural design creativity, attention to detail, and respect

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



**FIGURE II-1**

## **FARMHOUSE ARCHITECTURAL STYLE**



# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Rear view from street: Building setback, articulation and rear yard slopes reduce visual impact of building



Articulation and interesting components on all facades adds to improving building elevations



Diversity creates a pleasing streetscape



FIGURE II-6

## TYPICAL REAR AND SIDE ELEVATIONS

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH

Grand entries offer a sense of arrival rather than just a front door at this scale



Large homes allow for 3-car garages without dominating the facade



Bold elements are not overwhelming at this scale



Mass does not have to dominate the streetscape when designed with the surroundings in mind



Massing can also be broken into parts with different roof planes and landscaping which breaks up the facade



Wrap-around porches are feasible at this scale

**FIGURE II-7**  
**MASS AND SCALE**

**3. ROOF CHARACTERISTICS**

The roofline of a house is a significant component of a building's composition when used to define a particular architectural style. A roof's composition should allow for a clean interface with the building and the building façade, as shown in Figure II-8, *Typical Roofs, Building Materials and Colors*. Roofs should not be overbearing nor give the appearance of being disjointed or cut-up. It is important to choose the roof pitch, characteristics, and materials that are consistent with the selected architectural style. Varying roof pitches on the same building should be avoided unless they are integral to the architectural style or extending over porches and balconies.

A roof's color is an important element in many architectural styles and should be in keeping with the total presentation of the overall building. Roof materials and colors selected for an architectural style should reflect the elements that are typically used in that style. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character. In addition, roof colors shall vary from one house to the next, and roofing materials should be non-combustible.

Design Guidelines:

- Roof articulation may be achieved by changes in plane or by the use of traditional roof forms such as gables, hips, and dormers.
- Where appropriate, a mix of gable and hip roof lines shall be incorporated, along with architectural projections, wider and overhanging eaves, exposed rafter ends, and extended rooflines.
- Dormer windows can be used to avoid monotonous rooflines and to provide additional living space on upper stories.
- Roofs will be sloped with variations in height to provide a visually interesting streetscape.
- Roof trim materials shall be of similar materials and complementary colors. Roof vents and appurtenances shall be painted to match the roof color.
- Chimneys and spark arrestors shall act as thematic forms and vertical architectural elements. Chimney caps shall have low profiles and shall not be visually distracting. Materials consistent with or complementary to the structure are required.
- A-frame and mansard type roofs are discouraged unless they are part of a coordinated design theme and style.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



French Country roofs - flat concrete tiles ranging in color from light to dark



Stone Facades, accenting shutters and Old World/Tuscan appearance



Farmhouse siding and complimentary fence



Mission style tile roofs in medium brown allow the terra cotta to remain their natural color and coordinate with earth tone stucco colors



Stone and brick accents tie in architectural style

## FIGURE II-8 TYPICAL ROOF, BUILDING MATERIALS AND COLORS

**4. BUILDING MATERIALS AND COLORS**

Building materials and colors are important elements when used to achieve an effective representation of a specific architectural style. Colors should be as authentic as possible when compared to the traditional color palette of the selected style. Consideration will also be given to colors available in the contemporary market. Material breaks, transitions, and termination should produce complimentary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers.

The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complimentary color and material palettes along any given street. The selected architectural styles for BELLE MEADOWS RANCH (TR30851 AND TR30852) allow for a diversity of colors and materials. Figure II-8, *Typical Roofs, Building Materials and Color*, provides examples illustrating how these elements should be used in conjunction with one another.

Design Guidelines:

- A variety of colors and textures is encouraged, while maintaining overall design continuity in the neighborhood.
- The colors and materials on adjacent residential structures shall be varied to establish a separate identity for each dwelling.

**5. WINDOWS AND DOORS**

Window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen. Windows that are appropriate to the selected architectural style are an essential component in defining a building's character, and should enhance rather than dominate the overall architectural theme of the home. Window and door size and shape should be carefully considered to ensure a balanced relationship with the surrounding walls and roof. Windows should be chosen as to their size, shape, proportions, casings, and divisions, as well as color and repetition, and should be in keeping with the selected architectural style.

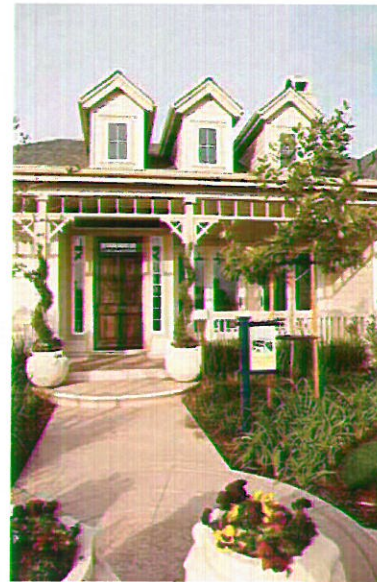
Entry doors should be designed proportionally to the walls surrounding them, appropriate to the selected architectural style, and prominent in character. Accent shutters, used with either windows or doors, should be in keeping with the size and dimension of the window or door. Historically, it was the purpose of these elements to cover the window or door; therefore the elements should reflect that original purpose wherever possible. Figure II-9, *Windows and Doors*, illustrates recommended articulation of these features.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Rounded front entry door

Courtyard gate and front entry door



Gabled dormer windows



Setback front entry door

Potshelves may be used to add visual interest and detailing to the elevations



Recessed doors add interest and architectural flair



Shutters and ironwork enhancements



The following design considerations are based on the traditional use of the windows and doors within each architectural style. The use of these elements in a contemporary version of any selected architectural style should consider the essence of the doors and windows historically, while adapting them to today's codes and economics.

Design Guidelines:

- Deep-set openings are encouraged to convey the impression of wall thickness and create strong shadows. Front door surround treatment, including a cover for weather protection, shall use decorative trim appropriate to the architectural style, recessing, or sidelights.
- Pot shelves, pilasters, and brick and tile accents are encouraged around doors, windows, and entries, particularly near front and side entries that are easily visible from the street.
- Window pediments, small roof elements, overhangs, and projections over windows, doors, and garage doors shall be incorporated into the architectural detailing.
- A variety of window and door treatments will occur. French doors, door panels, dormer windows, latticed or multi-paned windows, and decorative shutters will be incorporated into the design of residences.

## 6. PATIOS, PORCHES, AND BALCONIES

The incorporation of patios, porches, and balconies as part of the architectural vocabulary is encouraged for both aesthetic and practical reasons. These features integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior, and provide shelter. Porches and balconies break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along neighborhood streets, front porches add an element of personal scale and ambiance, where neighbors can socialize with one another.

The use of front porches and rear patios with a minimum usable width of six feet is encouraged. This is an important design feature that is appropriate to particular architectural styles. A porch rail should be included to define the space and add architectural detail to the porch and the front elevation of the house. A railing is only needed with certain architectural styles. Figure II-10, *Patios, Porches, and Balconies*, provides examples of how porches and balconies should be articulated within BELLE MEADOWS RANCH (TR30851 AND TR30852).

Design Guidelines:

- Patios, balconies, and porches shall be compatible with the overall architectural theme, style, and design of the structure.
- Porches and balconies shall be used to articulate and reduce mass, as well as to provide shadow relief.
- A variety of low and high walls will be used to define porches and patios.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Porches and balconies which compliment the facade in scale and have ample room for seating



Patio with outdoor fireplace



Patio with overhang



Materials and architectural elements are used within the patios, porches, and balconies to enhance the architectural style of the house



FIGURE II-10

## PATIOS, PORCHES AND BALCONIES



- Materials used to construct these features shall be appropriate to the designated architectural style. Where balconies are proposed, façades should vary in size and plane.

## 7. GARAGES

To achieve an attractive streetscene, particular attention must be given to the design, placement and orientation of garages in residential neighborhoods. Figure II-11, *Garages*, illustrates how garages should be designed to ensure that they do not detract from the overall appearance of the neighborhood. While maintaining an awareness of the contemporary market and the targeted market segment, architectural design and house orientation should be used to the extent practical to minimize the impact of the garage on the residential streetscene.

Although BELLE MEADOWS RANCH (TR30851 AND TR30852) has established an architectural character based on the rural nature of the area, the automobile plays an important role in today's society. While the garage is a necessary component in all contemporary versions of the suggested architectural styles, careful consideration must be given to garage location, variation, and placement along each residential street.

Garage doors are a major visual element and should be treated as a key architectural component. Garage door design should reflect a slightly recessed door and individual bays should be provided, which are offset and separated from one another. This will eliminate visually extensive garage door façades. Three and two car garage configurations can be divided into two/one and one/one configurations to allow for entry courts and auto arrival courts. Accent colors should be used to compliment the architecture and provide visual variety along the streetscape. Where provided, garage door windows should correspond to the window forms of the house. Landscape vines and tree wells should be introduced to soften the visual impact of the garage door and accent the garage façade.

The following measures are encouraged in order to reduce the impact of garages:

- Side loaded, swing-in, or detached orientations.
- Garage setbacks greater than the front yard living area setback.
- Rear of lot garage placement with driveway access from the front of the lot.
- Tandem garages for third cars.
- Garage door design considerations that include recessed doors, creative panel design, windows, and color.
- A porte-cochère architectural element.
- Using accent colors for garage doors to complement the architecture.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Porte-cochere element



3 Car Garage Variations from the street side



Separate doors break up the facade and add variety



Rear-access garages help hide the view of large 2 car garage doors



Separate structures use second story elements such as windows to help minimize visual impacts of garage doors



Side-entry allows for an interesting street elevation

**FIGURE II-11  
GARAGES**

Design Guidelines

- Residential plans that feature attached garage designs whose entries are from the side (side loaded garages) are encouraged.
- The visual impact of garages shall be reduced by the use of additional setbacks from the curb face where garage doors must face the street or by the use of side-facing or rear garages (including detached garages) where possible.
- Where more than two garage doors face the street, the third garage door shall have an increased setback or offset. Setbacks for side loaded garages shall be consistent with those specified in Ordinance 348.
- Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, and maximum height.
- Detached garages located at the rear of the property, and “drive through” or tandem garages are encouraged.

**8. COLUMNS AND POSTS**

Columns and posts are important design components in many of the suggested architectural styles for BELLE MEADOWS RANCH (TR30851 AND TR30852), and are often signature elements of a particular style. Columns and posts should be incorporated as structural and aesthetic design elements and should be dimensioned appropriately so that a solid and durable image is conveyed. The scale and dimension of these elements varies depending upon the architectural style. The elements should reflect the selected style when they are introduced in the design proposals.

### **III. LANDSCAPE DESIGN GUIDELINES**

#### **A. INTRODUCTION**

The BELLE MEADOWS RANCH Landscape Design Guidelines establish a landscape theme for the project and set forth criteria for landscaping. The purpose of these guidelines is to develop the thematic components of the community and provide a foundation from which the Architectural Design Guidelines can evolve. Together, the Landscape and Architectural Design Guidelines combine to form a distinctive rural community with a strong identity.

The location of thematic community landscape elements including streetscenes, entry monumentation, recreational amenities, and edge conditions are identified in Figure III-1, *Community Image Plan*. The central design theme chosen for the BELLE MEADOWS RANCH Design Guidelines is "California Ranch", which is carried out within the community by consistent application of related landscape elements. The theme is both appropriate to the semi-rural area of the County and the vision for BELLE MEADOWS RANCH. It is intended that this theme be expressed in coordination with the project setting, which serves as a basis around which key aspects of the project can evolve. Thematic landscape elements are major project improvements that occur at the community or neighborhood design level and which establish a unified design theme for the BELLE MEADOWS RANCH.

Specific landscaping treatments occur throughout the project, which define focal points or community features and enhance the project theme. Figure III-2, *Conceptual Landscape Plan*, depicts the location and type of trees planned at specific locations throughout the community and creates a hierarchy of common thematic elements. General design guidelines and design criteria for the community are contained in the sections that follow.

#### **B. STREETSCAPES**

Landscaping of perimeter and internal streets provides thematic continuity throughout the community and further enhances the project theme. A hierarchy of streetscapes are planned to differentiate roadways while creating a unified and harmonious appearance. Streetscape landscaping reflects the project's California Ranch theme, rural environs, and equestrian-friendly trail system in addition to utilizing materials selected from the plant palette.

Four types of streetscapes with distinctive landscape treatments are proposed within BELLE MEADOWS RANCH, as shown in Figures III-2 through III-6. Landscape treatments include elements such as medians, trails, and parkway trees to enhance the roadways. Streetscapes are provided as follows:

- Secondary Highway: Lake Mathews Drive (100-foot right-of-way)
- Collector Street: "T" Street (76-foot right-of-way)
- Modified Collector Street: "T" Street (66-foot right-of-way)
- Interior Street (60-foot right-of-way)

**SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH**

**TTM 30851**



Source: IDLA



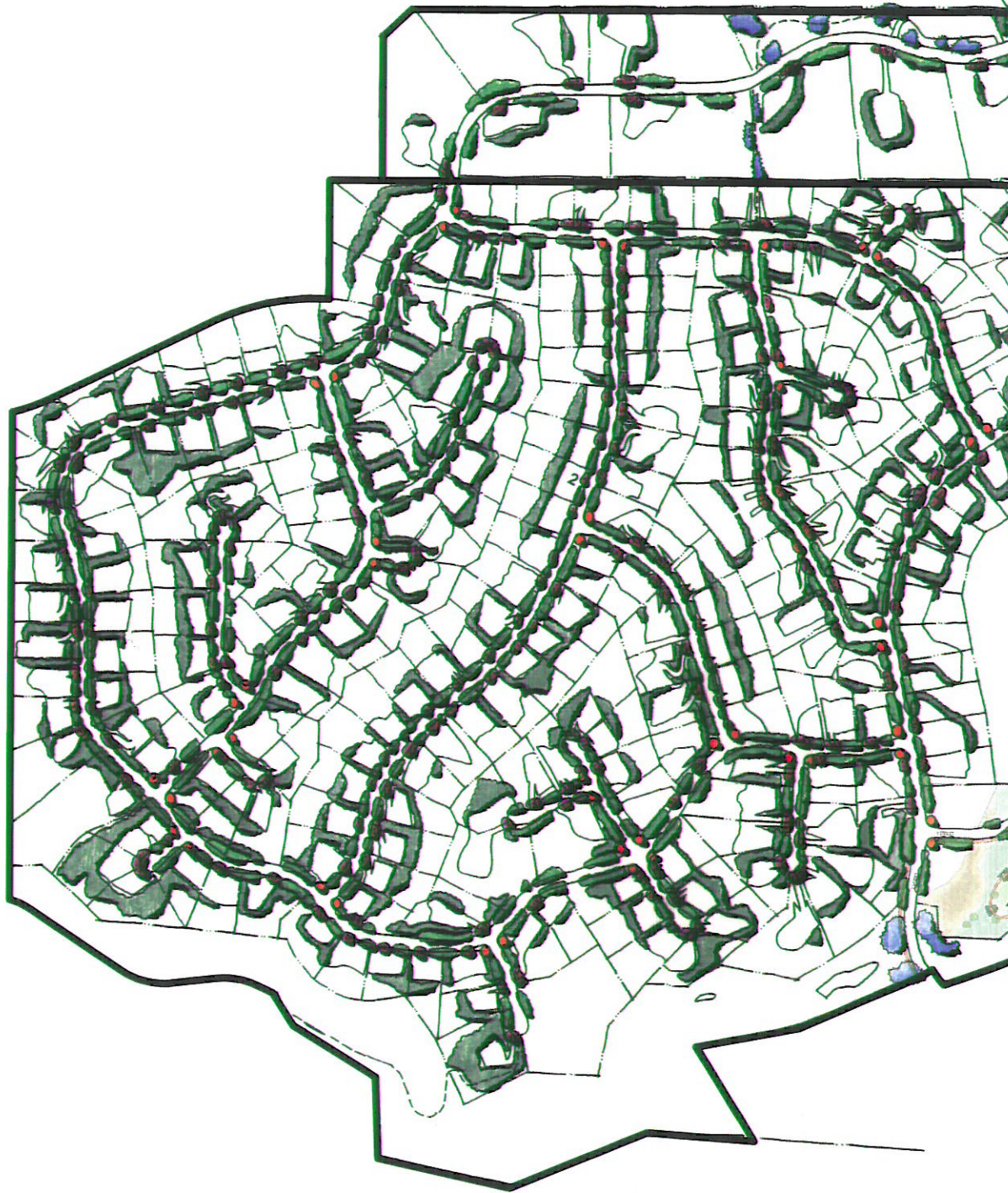
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# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: IDLA



not to scale



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**1. SECONDARY HIGHWAY STREETScape**

A Secondary Highway streetscape is provided along Lake Mathews Drive, which consists of a 100-foot right-of-way with 18-foot landscaped parkways on either side of the pavement as illustrated in Figure III-3, *Lake Mathews Drive Section*. Half-width streetscape improvements are planned for Lake Mathews Drive. This roadway serves both of the primary project entrances to the community and should provide a sense of arrival. A 5'-0" 3-rail vinyl fence will parallel Lake Mathews Drive. A combination of community entry trees, riparian grove trees, informal street trees, and drive accent trees is planned as illustrated in Figure III-2, *Conceptual Landscape Plan*.

**2. MODIFIED COLLECTOR STREET SECTION**

A Collector Street with a 76-foot right-of-way is planned along "T" Street from its intersection with Lake Mathews Drive to approximately 400 feet to the south. Figure III-4, *Modified Collector Street Section*, depicts the roadway separated by a 10-foot median, with 11-foot landscaped parkways on either side. A 14-foot wide equestrian trail with a 2-rail vinyl fence is provided along the western side of the street. This roadway encompasses a primary entry, and is an important thematic component of the project. Landscaping similar to the Lake Mathews Drive streetscene will be provided along Street "T" at a slightly reduced scale.

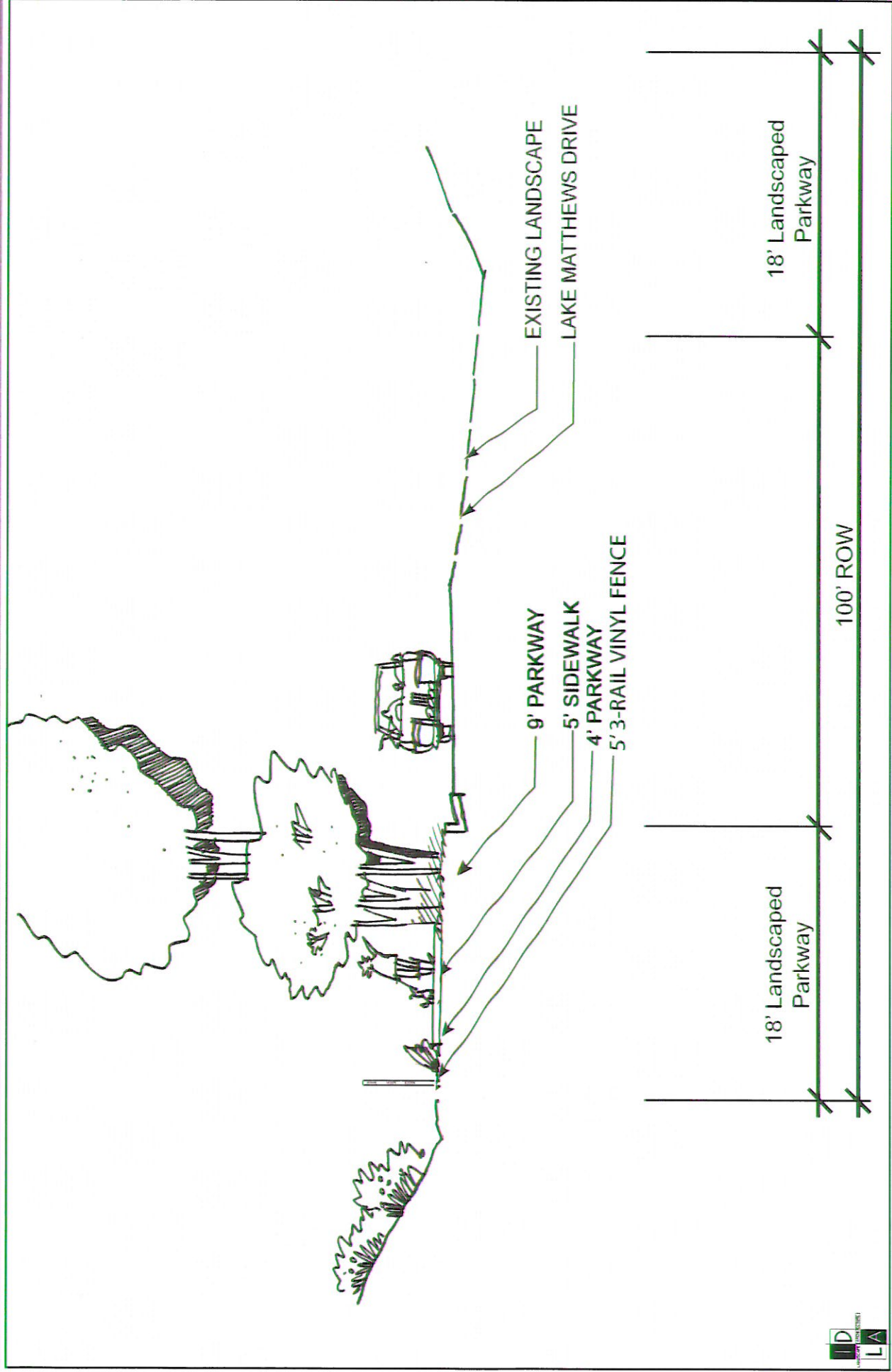
**3. COLLECTOR STREET SECTION**

The Collector Street with a 76-foot right-of-way transitions into a Collector Street with a 66-foot right-of-way, which is provided along the majority of "T" Street. As illustrated in Figure III-5, *Collector Street Section*, this streetscape provides 11-foot landscaped parkways on either side of the road and will incorporate a 14-foot wide equestrian trail including a 2-rail vinyl fence outside the right-of-way. Several neighborhood entries and landscaping nodes are located along this street, and the landscaping will be similar to that of the Modified Collector Street.

**4. INTERIOR STREET SECTION**

Interior Streets provide access from Collector Streets to individual residences. Landscaping for these streets are depicted in Figure III-6, *Interior Street Section*, and will incorporate informal street trees and drive accent trees, with community entry trees at neighborhood entrances. The streetscape for Interior Streets consists of a 60-foot right-of-way with 10-foot landscaped parkways on either side. A 10-foot equestrian trail with a 2-rail vinyl fence, is also provided along the roadway outside of the right-of-way in specific locations.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH

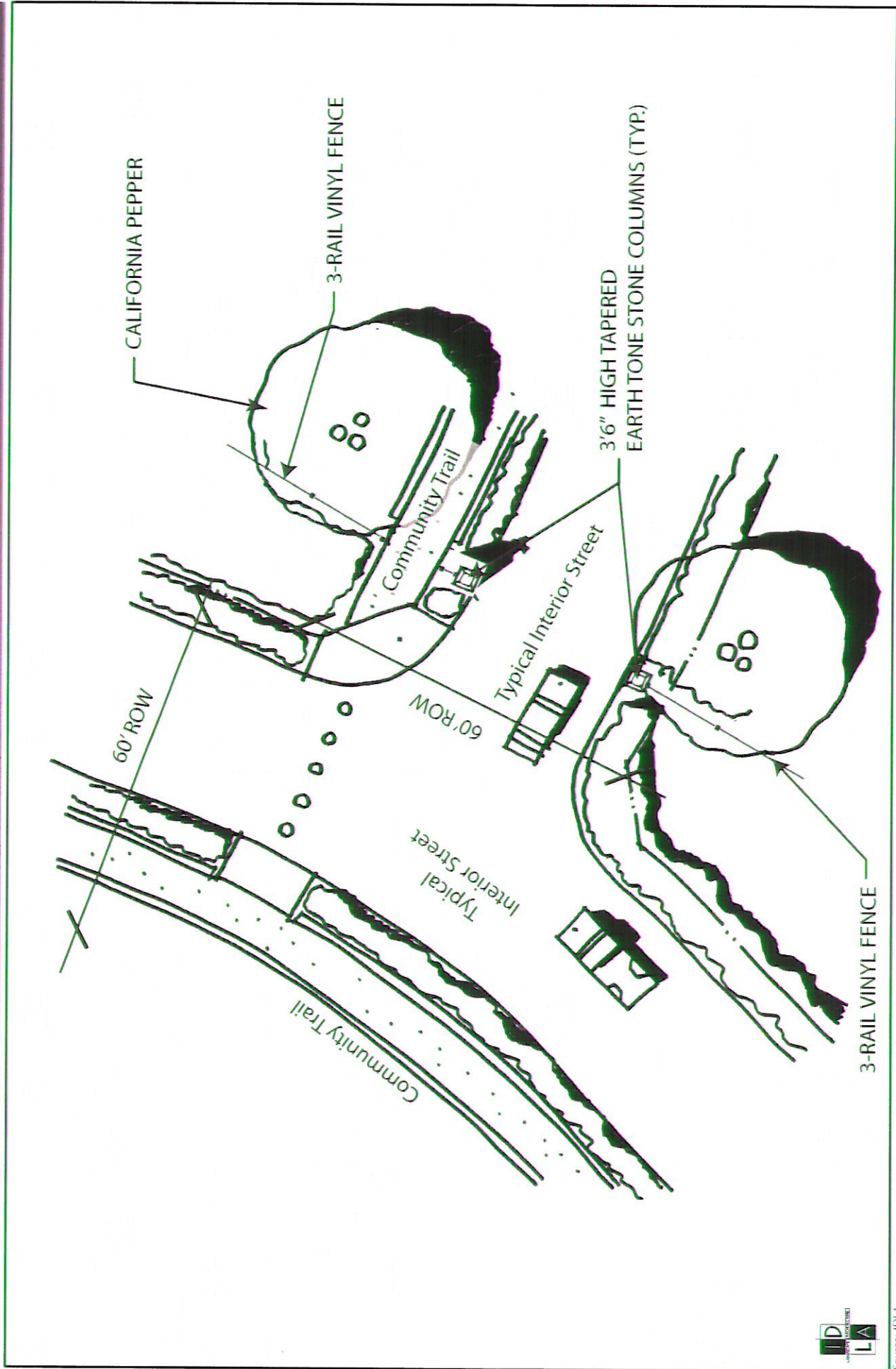


Source: IDLA

## FIGURE III-3 LAKE MATTHEWS DRIVE SECTION



# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: IDLA

## FIGURE III-10 NEIGHBORHOOD ENTRY - PLAN VIEW

## D. PARKS AND RECREATION

BELLE MEADOWS RANCH provides an array of recreational amenities appropriate for the rural, equestrian-oriented nature of the area. Hiking trails, a passive park, and equestrian trails are provided throughout the community, and are described in greater detail below.

### 1. TRAILS

A variety of trails are provided throughout BELLE MEADOWS RANCH as illustrated in Figure III-12, *Walk and Trail Exhibit*. These trails are generally located along project roadways and connect residents to features such as the passive nature park or equestrian staging area. Class 2 Bike Trails are planned within “A”, “K”, and “T” Streets, which provide access to Lake Mathews Drive, existing trails and the passive park.

The 10 and 14-foot community trails are separated from roadways by a landscaped parkway and 2-rail vinyl fence as depicted in Figure III-13, *10-foot Wide Equestrian Trail*. Additional landscaping is provided on the alternate side of the trail as well to separate it from the adjacent land use. Community trails connect to community features, such as the equestrian staging area in Tract 30851, and provide access to County regional trails.

The 14-foot trail along “T” Street is intended to serve as the regional trail indicated within the Woodcrest/Lake Mathews Area Plan Trails Map. This trail spans the entire length of the project and runs north to south.

As shown in Figure 12, *Trail Component Details*, trail crossings will be constructed with interlocking pavers to provide a non-slip surface. In addition, step-overs will be installed within the trails to prevent the use of trails by motorized vehicles.

### 2. PASSIVE NATURE PARK

As shown in Figure III-14, *Passive Nature Park*, an approximate 5.0-acre passive nature park is provided in the southern portion of the project. The park is located above Dawson Creek amid existing Oak tree groves, which will be preserved in their natural condition. Amenities provided within the park may include picnic tables, meadows, and a country pavilion as well as a potential horse corral with hitching posts and water. A multi-purpose trail suitable for pedestrian, equestrian, and bicycle use extends through the park connecting BELLE MEADOWS RANCH to offsite areas and 14-foot regional equestrian trails within the project.

### 3. EQUESTRIAN STAGING AREA

An equestrian staging area is planned in Tract 30851, located immediately north of the project, which will provide equestrians in this portion of the County with the opportunity to enjoy BELLE MEADOWS RANCH. It is anticipated that riders will park their horse trailers in the staging area and connect to trails within the community. The equestrian staging area will feature amenities such as a parking lot and loading zone for horse trailers, hitching posts and water sources, open meadows, picnic areas, and a 10-foot wide trail. The staging area will be surrounded by 3-rail vinyl fencing and provide a pull-through driveway, as illustrated in Figure III-15, *Equestrian Staging Area*.



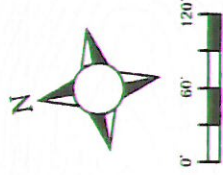


Source: IDLA

**FIGURE III-13**

**10-FOOT WIDE EQUESTRIAN TRAIL**

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



**FIGURE III-14**  
**PASSIVE NATURE PARK**  
**PAGE III-18**

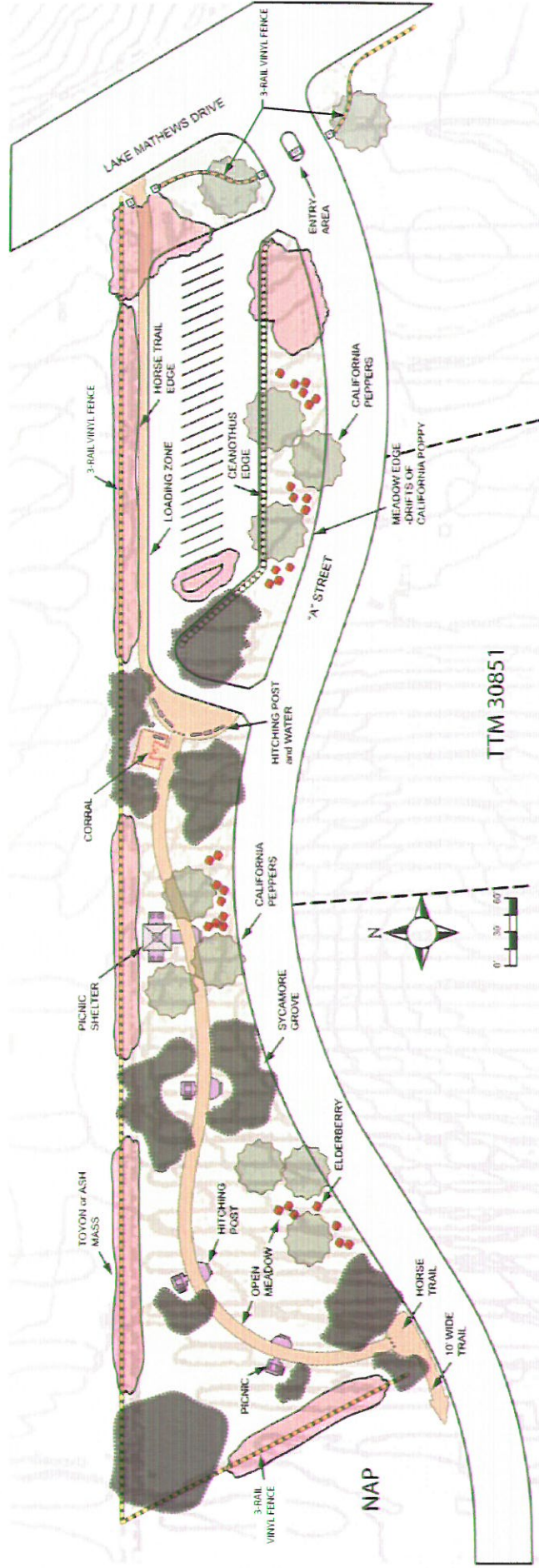


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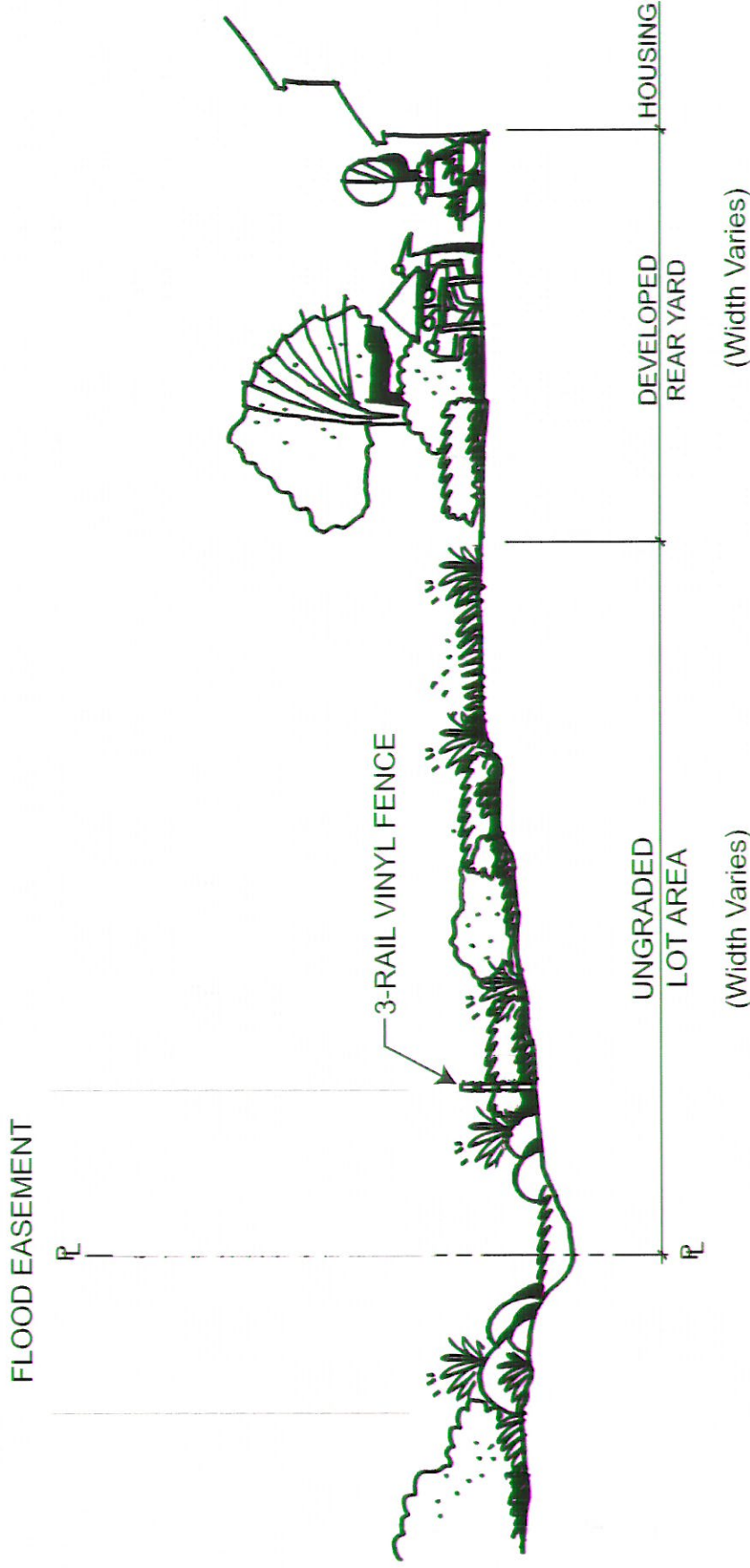
**FIGURE III-15**  
**EQUESTRIAN STAGING AREA**



Source: IDLA



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Source: IDLA

**FIGURE III-16**

**OPEN SPACE TRANSITION**

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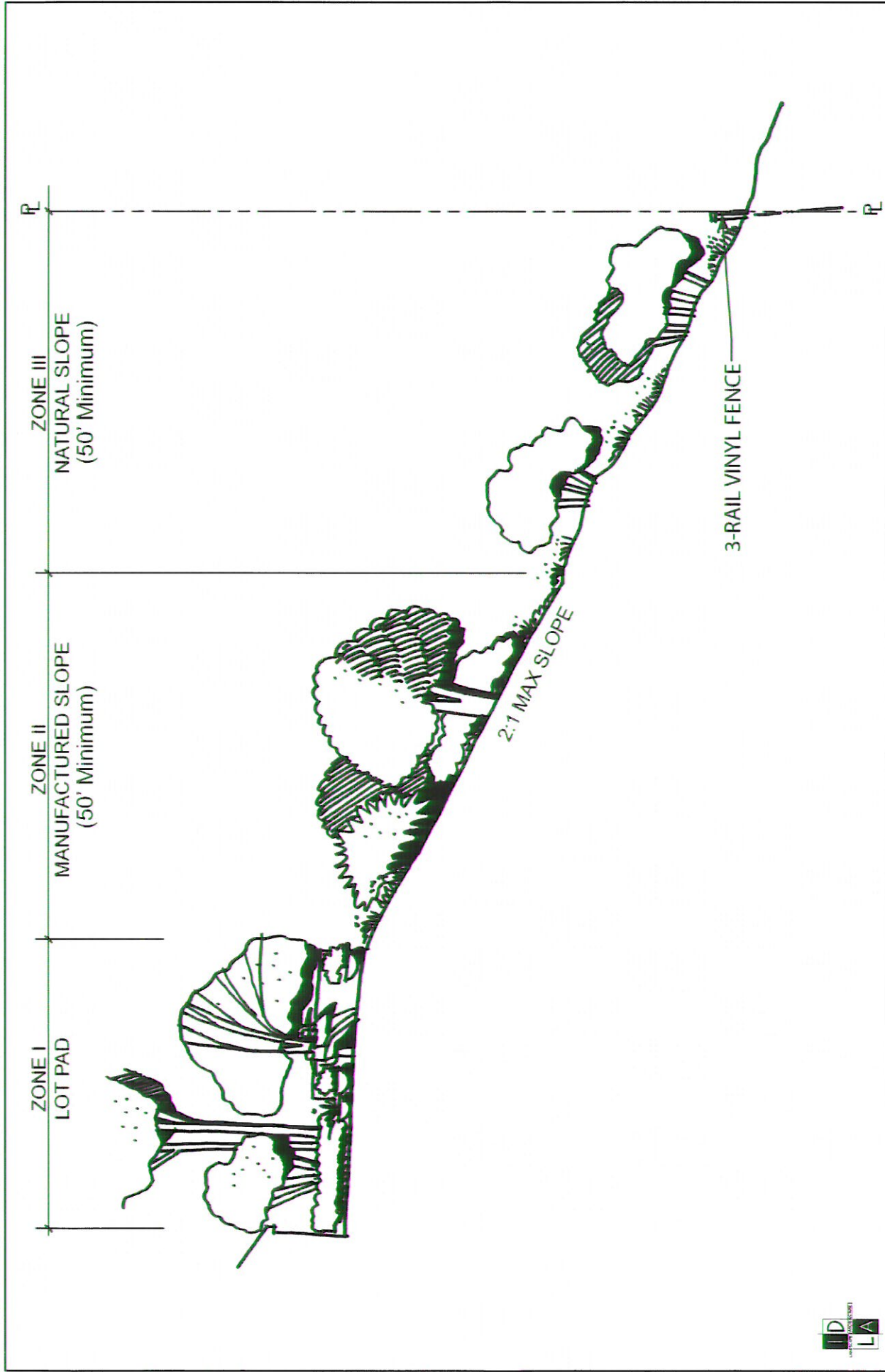
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FIGURE III-17

## FUEL MODIFICATION UP SLOPE CONDITION



# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: IDLA

FIGURE III-18

## FUEL MODIFICATION DOWNSLOPE CONDITION

## **G. COMMUNITY WALLS AND FENCING**

Walls and fencing will be used throughout the community to complement the overall design theme, establish community identity, provide protection from roadway and other noise, reiterate the "California Ranch" theme, and provide privacy and security in residential areas. The locations of each type of each type of wall and fence are identified in Figure III-19, *Wall and Fence Exhibit*. Detailed descriptions of individual walls and fences are provided below.

### **1. 3-RAIL VINYL FENCE**

The 3-rail vinyl fence is provided around the perimeter of BELLE MEADOWS RANCH and between individual lots, as shown in Figure III-19, *Wall and Fence Exhibit* and Figure III-20, *3-Rail Vinyl Fence*. This fencing type will be 5 feet in height and is utilized where some separation is necessary, but a view is still desirable.

### **2. PRIMARY ENTRY ELEVATION**

This elevation will be used as a component of the Primary Entrance as depicted on Figure III-19, *Wall and Fence Exhibit*. Figure III-8, *Primary Entry – Elevation*, depicts a 5'-0" 3-rail vinyl fence on each side of the entryway. The fence is flanked by 3'-6" high tapered earth stone columns topped with stucco caps. Signage identifying the project is mounted on the wall.

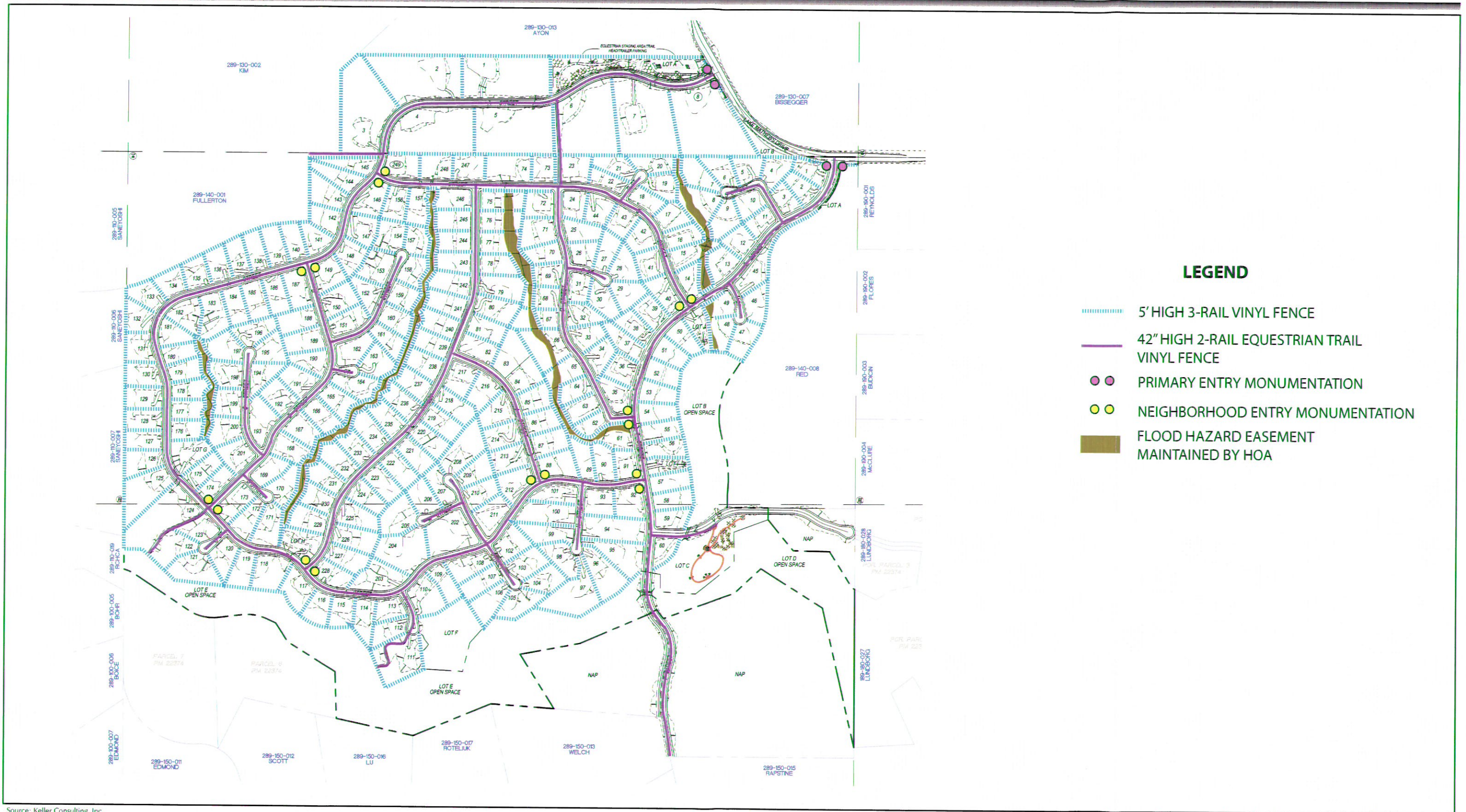
### **3. NEIGHBORHOOD ENTRY ELEVATION**

The Neighborhood Entry Elevation is located at entrances to neighborhoods within BELLE MEADOWS RANCH in accordance with Figure III-19, *Wall and Fence Exhibit*. As shown in Figure III-11, *Neighborhood Entry – Elevation*, the 5'-0" 3-rail vinyl fencing are flanked by 3'-6" high tapered earth stone columns topped with stucco caps.


### **4. 2-RAIL VINYL FENCE**

The 2-rail vinyl fence is provided adjacent to equestrian trails at appropriate locations throughout BELLE MEADOWS RANCH. This 42 inch high fence will be articulated as shown in Figure III-21, *2-Rail Wood Fence*, and is intended to reinforce the rural project theme.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



## LEGEND

-  5' HIGH 3-RAIL VINYL FENCE
-  42" HIGH 2-RAIL EQUESTRIAN TRAIL VINYL FENCE
-  PRIMARY ENTRY MONUMENTATION
-  NEIGHBORHOOD ENTRY MONUMENTATION
-  FLOOD HAZARD EASEMENT MAINTAINED BY HOA

Source: Keller Consulting, Inc.

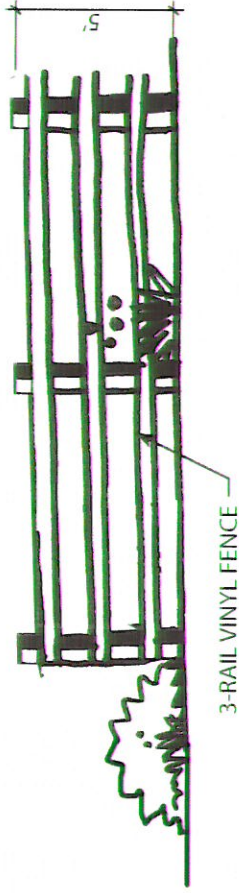


1 inch = 10 feet

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**FIGURE III-19  
WALL AND FENCE EXHIBIT**

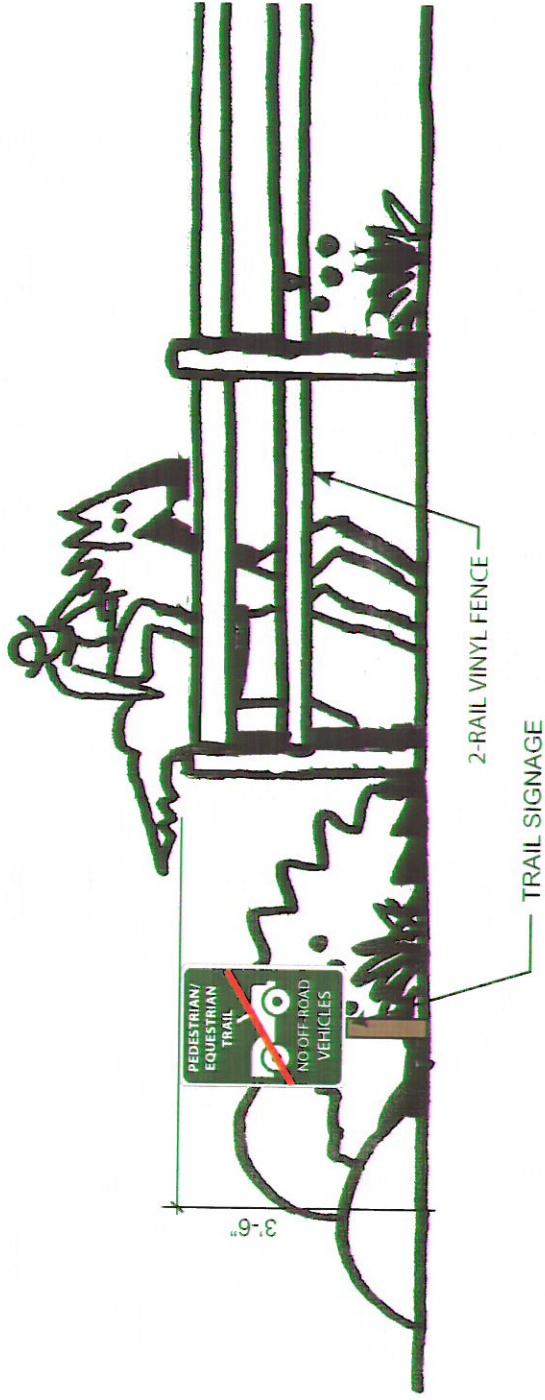


Source: IDLA



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# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: IDLA

**FIGURE III-21**  
**2-RAIL VINYL FENCE**

## **H. PLANTING GUIDELINES**

The following sections detail guidelines that should be followed in the installation and maintenance of landscaped areas the community. The following sections provide information on general standards which should be followed in the design and installation of landscaping.

### **1. IRRIGATION**

All landscaped areas within the community shall be provided with a complete, automatic irrigation system. The system must conform to all requirements of the County of Riverside. Irrigation systems for landscape development of residential areas shall provide uniform water coverage. Irrigation system design shall provide precipitation rates that avoid saturated soil conditions, cause surficial erosion or discharge excessive amounts of run-off water into public or private streets or adjacent properties. All irrigation systems will be controlled by an automatic irrigation dual-program controller.

The following general irrigation concepts and site conditions shall be considered in the design and installation of irrigation systems:

- Pop-up orientation type sprinkler heads shall be used adjacent to all walks, drives, and curbs to avoid breakage and reduce maintenance costs.
- Irrigation for slope areas shall not apply water at a precipitation rate over the water absorption capacity of the soil.
- All planting areas shall include permanent, automatic, water-conserving irrigation systems. Irrigation systems will provide automatic rain shut-off devices.
- All irrigation shall include backflow prevention that meets local codes. Irrigation backflow prevention devices shall be screened with plant materials to minimize public visibility.
- Backflow protection devices shall be installed on all irrigation systems which are connected to a potable water system.
- Private irrigation systems should be designed to apply water slowly allowing plants to be deep soaked and to reduce run off. Drip and bubble systems are encouraged.
- Irrigation scheduling should be adjusted quarterly to meet plant requirements.
- The irrigation clock shall be programmed to operate during low water demand periods of the day, such as early morning.
- Irrigation systems designed for use with both domestic and reclaimed water are encouraged.
- Irrigation systems should be as water-efficient as possible.

## 2. LANDSCAPE PLANTING

Because of the climate extremes in the project area, the installation of plant materials during the coldest winter months (December through March) or the hottest summer/fall months (July through September) should be avoided. If planting must be done during these periods, plant establishment may be difficult, and may require a prolonged period of time. In all installation, the use of plant materials acclimated to the project area should be encouraged.

BELLE MEADOWS RANCH is a custom lot community; therefore, front yard landscaping will be completed on an individual basis and is the responsibility of the homeowner.

## I. OUTDOOR LIGHTING

Plans for street lighting, park lighting and monument accent lighting will be created subsequent to the tentative map level for each phase of the project and coordinated with the appropriate governing agencies. Street lighting will be located in such a manner as to not detract from the overall ambiance of the community theme and environment. Street lighting will be provided only where necessary such as at major intersections and at the end of cul-de-sacs in order to retain dark skies and the rural nature of the area. Street lighting and post design will also reflect community theme and will be consistent with ordinance No. 655 Palomar Observatory Zone 'B'. Precise locations for streetlights will be determined once street layout and configuration have been identified.

BELLE MEADOWS provides standards for outdoor lighting to ensure that the rural character of the area is maintained and to avoid unnecessary over-lighting. This intent will be achieved by minimizing obtrusive lighting aspects such as glare, trespass, energy waste, and sky glow through the establishment of specific standards regarding lighting design, installation, color, and use. Reasons for limiting ambient light include the preservation of nighttime skies and community aesthetics, reduction of irritation to surrounding communities and wildlife, and conservation of natural resources. The intent of these lighting policies is to maintain a dark night sky while providing effective nighttime visibility. Lighting standards for the project are as follows:

- Compliance with lighting standards will initially be the responsibility of the County. Lighting standards on private property will be enforced by CSA No. 148.
- Lighting shall be used primarily for safety purposes. It may also be used to distinguish significant community features and locations, such as entry monuments and parks.
- The community shall maintain an overall level of low ambient brightness. This intent will be achieved through the selection of lamp and light fixtures, placement, and output levels during the design process.
- Night lighting shall be directed away from open space and MSHCP conservation areas to protect species from direct night lighting. Where necessary, shielding shall be incorporated to ensure that ambient lighting in the MSHCP conservation areas is not increased.
- Lighting fixtures installed by the developer, builders, and Homeowners' Association for new construction shall be fully shielded to reduce ambient light emissions.

- All lighting should be carefully considered in regards to necessity and community compatibility. Different land uses dictate the types and amounts of light needed.
- Holiday lighting is exempt from these requirements.
- Wall-mounted lighting fixtures on residences shall be shielded to maintain low levels of ambient light.
- Street lighting and post design will also reflect community theme and will be consistent with ordinance No. 655 Palomar Observatory Zone ‘B’.
- Street lighting shall be dark sky lighting and designed to be constructed at the street intersections, knuckles, and end of cul-de-sac.

**J. NOISE**

Wildlife within MSHCP conservation areas should not be subject to noise that would exceed residential noise standards. Where necessary, noise generating land uses affecting the MSHCP conservation areas shall incorporate setbacks, berms or walls to minimize noise pursuant to applicable regulations pertaining to land use noise standards.

**K. MAINTENANCE**

Maintenance responsibility of common areas is defined in Figure III-22, *Maintenance Responsibility Plan*. Parks, open space, manufactured and non-shaded slopes, and trails will be maintained by either the Homeowners’ Association or the Landscape and Lighting Maintenance District (LLMD). The Riverside County Transportation District will maintain public streets.

**L. SUGGESTED PLANT PALETTE**

The following plant palette was developed to include a variety of plant materials which are compatible with the Riverside County climate, reflect the overall theme of BELLE MEADOWS RANCH, and provide opportunities for decreased water consumption.

**Table III-1  
PLANT PALETTE**

BOTANICAL NAME	COMMON NAME
<b>EVERGREEN TREES *</b>	
Acacia baileyana	Bailey Acacia
Albizia julibrissin	Silk Tree
Arbutus unedo	Strawberry Tree
Brachychiton acerifolius	Australian Flame Tree
Brachychiton populneus	Bottle Tree
Casurina stricta	Mountain She-Oak
Cedrus deoldara	Deodar Cedar
Ceratonia seliqua	Carob
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat



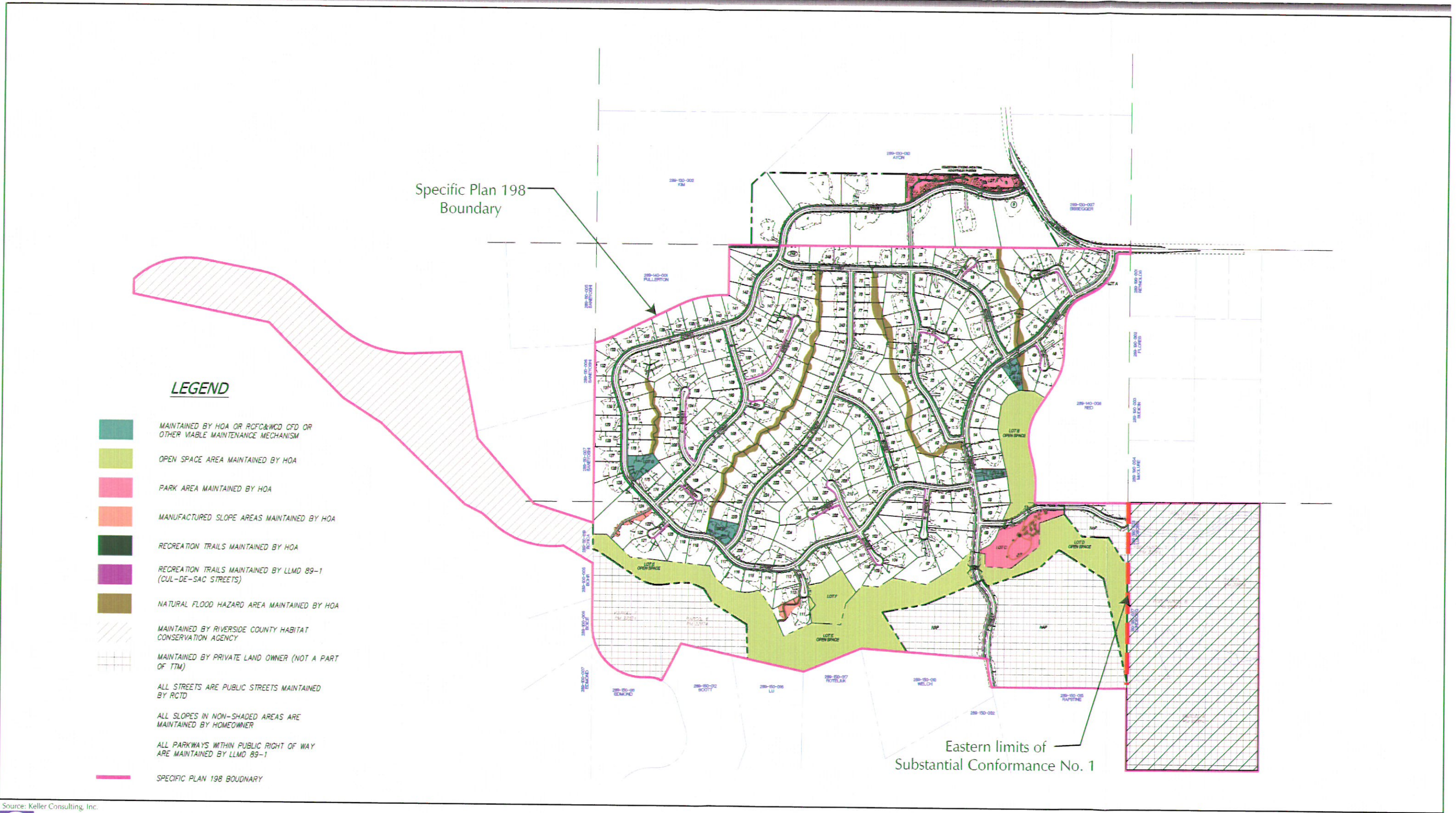
Eucalyptus camaldulensis	Redgum
Eucalyptus leucoxylon 'Rosea'	White Ironbark
Eucalyptus sideroxylon	Red Ironbark
Fraxinus uhdei	Evergreen Ash and Shamel Ash
Magnolia grandiflora	Southern Magnolia
Maytenus boaria	Mayten Tree
Melaleuca quinquenervia	Cajeput Tree
Olea europaea	Swan Hill Olive
Olea europaea 'fruitless'	Wilsoni
Pinus pinea	Italian Stone Pine
Podocarpus gracilior	Fern Pine
Pyrus kawakamii	Evergreen Pear
Quercus agrifolia	Coast Live Oak
Querus ilex	Holly Oak
Rhus lancea	African Sumlac
Schinus molle	California Pepper
<b>DECIDUOUS TREES *</b>	
Alnus rhombifolia	White Alder
Bauhinia variegata	Purple Orchid Tree
Calodendrum capense	Cape Chestnut
Fraxinus raywood	Raywood Ash
Fraxinus velutina 'modesto'	Modesto Ash
Gleditsia triacanthos	Honey Locust
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstoemia indica	Crepe Myrtle
Liquidambar styraciflua	Sweet Gum
Platanus acerfolia	London Plane Tree
Platanus racemosa	California Sycamore
Prunus campanulata	Flowering Cherry
Prunus cerasifera	Purple Leaf Plum
"Krauter Vesuvius" or "Newport"	
Pyrus calleryana 'Aristocrat'	Ornamental Pear
Pyrus calleryana 'Bradford'	Ornamental Pear
Robina pseudoacacia	Black Locust
Sophora japonica	Japanese Pagoda Tree
<b>SHRUBS</b>	
Abelia 'Edward Goucher'	Edward Goucher Abelia
Acacia ongerup	Acacia
Acacia redolens	Acacia
Arctostaphylos	Manzanita
Ceanothus	California Lilac
Cistus	Rockrose
Cocculus laurifolius	Snailseed
Cotoneaster	Cotoneaster
Cotoneaster divaricatus	Spreading Cotoneaster
Dendromecon rigida	Bush Poppy
Eleagnus pungens	Silver Berry
Escallonia fradesii	Escallonia

<i>Euonymus fortunei</i>	Euonymus
<i>Euonymus japonica</i>	Evergreen Euonymus
<i>Heteromeles arbutifolia</i>	Toyon, California Holly
<i>Hibiscus rosa-sinensis</i>	Chinese Hibiscus
<i>Ilex</i>	Holly
<i>Juniperus</i>	Lantana
<i>Ligustrum japonicum</i>	Japanese Privet
<i>Magnolia soulangeana</i>	Saucer Magnolia
<i>Mahonia aquifolium</i> and 'compacta'	Oregon Grape
<i>Nandina domestica</i> and 'compacta'	Heavenly Bamboo
<i>Nandina domestica</i> 'nana compacta'	Compact Heavenly Bamboo
<i>Osmanthus fragrans</i>	Sweet Olive
<i>Phormium tenax</i>	Flax
<i>Photinia fraseri</i>	Photinia
<i>Pittosporum tobira</i> 'Wheeler's ' Dwarf	Wheeler's Dwarf Tobira
<i>Plumbago auriculata</i> 'P capensis'	Cape Plumbago
<i>Podocarpus macrophyllus</i>	Yew Pine
<i>Prunus caroliniana</i>	Carolina Laurel Cherry
<i>Prunus ilicifolia</i>	Hollyleaf Cherry
<i>Pyracantha</i>	Firethorn
<i>Raphiolepis indica</i>	Indian Hawthorn
<i>Rhus ovata</i>	Sugar Bush
<i>Ribes sanguinum</i>	Pink Winter Currant
<i>Ribes speciosum</i>	Fuchsia - Flowering Gooseberry
<i>Romneya coulteri</i>	Matilija Poppy
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Viburnum tinus</i> 'Spring Bouquet	Laurustinus
<i>Xylosma congestum</i>	Xylosma
<i>Xylosma congestum</i> 'compacta'	Compact Xylosma
<b>SUB SHRUBS</b>	
<i>Abelia grandifolia</i>	Prostrata
<i>Agapanthus africanus</i>	Lily of the Nile
<i>Arctostaphylos</i>	Manzanita
<i>Baccharis pilularis</i> prostrates	Dwarf Coyote Bush
<i>Ceanothus</i>	California Lilac and Anchor Bay
<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Cistus villosus</i>	Rockrose
<i>Clivia miniata</i>	Clivia
<i>Dietes vegeta</i>	Fortnight Lily
<i>Hemerocallis specia</i>	Day Lily
<i>Juniperus</i>	Juniper
<i>Liriope gigantea</i>	Liriope
<i>Mimulus cardinalis</i>	Monkey Flower
<i>Moraea bicolor</i>	Fortnight Lily
<i>Penstemon</i>	Beard Tongue
<i>Rhus ovata</i>	Sugar Bush
<i>Rhynchospermum jasminoides</i>	Star Jasmine
<b>VINES</b>	

Cissus antarctica	Kangaroo Treevine
Cissus hypoglauca	Cissus
Clytostoma callistegioides	Violet Trumpet Vine
Doxantha unguis-cati	Cat's Claw Vine
Ficus pumila	Creeping Fig
Gelsemium sempervirens	Carolina Jasmine
Jasminum mesnyi	Primrose Jasmine
Jasminum polyanthum	Jasmine
Lonicera japonica	Japanese Honeysuckle
Parthenocissus tricuspidata	Boston Ivy
Trachelospermum jasminoides	Star Jasmine
Wisteria floribunda	Japanese Wisteria
GROUNDCOVERS	
Ajuga reptans	Carpet Bugle
Arctostaphylos 'Pacific Mist'	Manzanita
Campanula poscharskyana	Serbian Bellflower
Gazania splendens 'Mitsuwa Yellow'	Gazania
Hypericum calycinum	Aaron's Beard
Juniperus	Juniper
Lantana montividentis	Lantana and Confetti
Lonicera japonica 'Halliana'	Honeysuckle
Myoporum parvifolium	Myoporum
Nandina domestica 'Harbour dwarf'	Dwarf Heavenly Bamboo
Trachelospermum (Rhynchospermum) jasminoides	Star Jasmine
Rosemarinus officinalis	Rosemary

\* Note: The tree palette contained within this table represent selection flexibility and diversity in tree selection to be utilized in subsequent landscape plan details. Changes in tree types can be substituted provided that they are listed within this listing of trees.

# SUBSTANTIAL CONFORMANCE #1, SP 198 BELLE MEADOWS RANCH



Source: Keller Consulting, Inc.



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**FIGURE III-22**  
**MAINTENANCE RESPONSIBILITY PLAN**