

- (11) This area requires the preparation of an acoustical report.
- (12) General mitigation measures are presented in Section II. No special measures apply specifically to this planning area.

b. Specific Development Requirements

- (1) Development of Planning Area I-6 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

7. PLANNING AREA I-7 (SEE EXHIBITS III-48, III-47, AND III-50)

a. General Requirements

- (1) The 16.7-acre I-7 planning area permits 92 single family dwellings at a density of 5.5 DU/acre.
- (2) Access to I-7 will be from Knabe Road and Clay Canyon Drive (see Exhibit III-48).
- (3) A drainage channel runs along the western face of the site, and will be buffered with special treatment (see Exhibits III-23 and III-48).
- (4) Secondary streetscape will buffer Area I-7 from Knabe Road (see Exhibit III-12).
- (5) Collector streetscape will buffer area along Clay Canyon Drive (see Exhibit III-16).
- (6) Primary intersection treatment will be constructed at the intersection of Knabe Road and Clay Canyon Drive (see Exhibits III-8 and III-11).
- (7) Secondary intersection treatment will be constructed at the other entry to Planning Area I-7 (see Exhibits III-8 and III-12).
- (8) Front yard landscaping consistent will be provided (see Exhibit III-26 and Section II.D.10.(1)).
- (9) Walls and fencing shall be provided as follows (see Exhibits III-27, III-28, and III-29).
 - (a) Masonry wall along Knabe Road and Clay Canyon Drive.
 - (b) Wood fence along drainage channel.
 - (c) Rear and side yard wood fencing shall be provided to all dwelling units (see Exhibit III-28).
- (10) This area requires the preparation of an acoustical report.
- (11) General mitigation measures are presented in Section II. No special measures apply specifically to this planning area.

b. Specific Development Requirements

- (1) Development of Planning Area I-7 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

8. PLANNING AREA I-8 (SEE EXHIBITS III-51 AND III-52)

a. General Requirements

- (1) The 21.0-acre I-8 planning area permits 210 dwelling units at a density of 10 DU/acre.
- (2) Access to Specific Plan area I-8 will be from Claystone Avenue via Knabe Road (see Exhibit III-7).
- (3) Edge design along I-15 will buffer the site from the freeway. This edge treatment will be designed as part of the required plot plan for Planning Area I-8.
- (4) Collector streetscape will also buffer the site from Claystone Avenue (see Exhibit III-16).
- (5) Front yard landscaping consistent will be provided (see Exhibit III-26 and Section II.D.10.(1)).
- (6) This area requires the preparation of an acoustical report.
- (7) General mitigation measures are presented in Section II. No special measures specifically apply to this planning area.

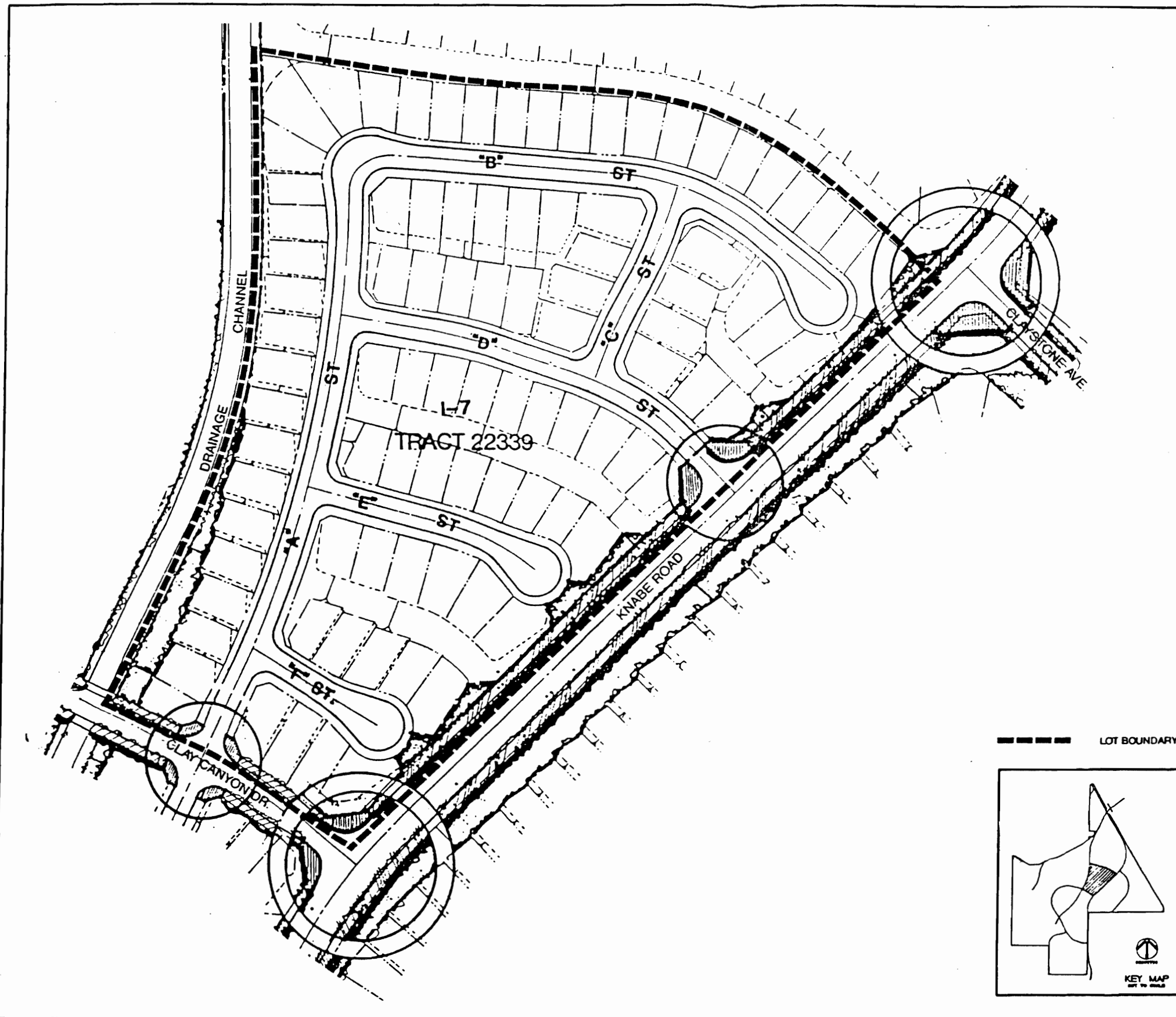
b. Specific Development Requirements

- (1) Development of Planning Area I-8 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

9. PLANNING AREA I-9 (SEE EXHIBIT III-53)

a. General Requirements

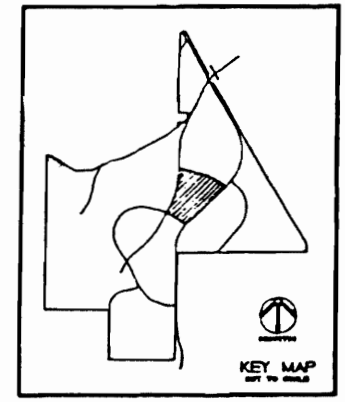
- (1) The 4.0-acre neighborhood commercial center lies on the west side of the I-15 Freeway within the east portion of the overall Wild Rose Development site (see Exhibit III-53).
- (2) Access will be from Knabe Road and Claystone Avenue (see Exhibit III-8).



LEGEND

- PRIMARY ENTRY, PRIMARY INTERSECTION, SECONDARY INTERSECTION
- PALM TREES
WASHINGTONIA ROBUSTA
- FLOWERING ACCENT TREES
JACARANDA ACUTIFOLIA
KOELREUTERIA
TIJUANA TIJU
LAGERSTROEMIA INDICA
- EVERGREEN TREES
CUPANOPSIS ANACARDIOIDES
PINUS MALEPENSIS
ERIOBOTRYA DEFLEXA
JUMPERUS CHINENSIS TORULOSA
EUCALYPTUS CITRIDORA
- DECIDUOUS TREES
POPULUS NIGRA TAUCA
PRUNUS CERASIFERA
- EVERGREEN SHRUBS
AGAPANTHUS AFRICANUS
NERIUM OLEANDER
PITOSPORUM TOBIIRA
XYLOSMA CONGESTUM COMPACTA
TECOMARIA CAPENSIS
- GROUND COVER
TRAILING YELLOW GAZANNA
HEDERA HELIX MAHNS
- ROSES
- TURF
- ▬ STREETScape-KNABE ROAD
- ▬ STREET TREES
PLATANUS ACERIFOLIA
ALNUS RHOMBIFOLIA
LUDUDAMBER STYRACFLUA
- EVERGREEN SHRUBS
AGAPANTHUS AFRICANUS
NERIUM OLEANDER
PITOSPORUM TOBIIRA
XYLOSMA CONGESTUM COMPACTA
RAPHOLEPIS INDICA
TECOMARIA CAPENSIS
- GROUND COVER
TRAILING YELLOW GAZANNA
HEDERA HELIX MAHNS
O'CONNORS LEGUME
- VINES
PARTHENOCISSUS TRICUSPIDATA
- TURF
- ▬ STREETScape-COLLECTOR STREET
- ▬ STREET TREES
JACARANDA ACUTIFOLIA
KOELREUTERIA
TIJUANA TIJU
- EVERGREEN SHRUBS
GREVILLE A NOELII
HEMEROCALLIS
LANTANA MONTIVDENSIS
PHOTNIA FRASERI
TECOMARIA CAPENSIS
VIBURNUM JAPONICUM
- GROUND COVER
HEDERA HELIX MAHNS
TRAILING YELLOW GAZANNA
- VINES
PARTHENOCISSUS TRICUSPIDATA
- TURF
- ▬ SLOPE PLANTING
- ▬ TREES
EUCALYPTUS CITRIDORA
PINUS MALEPENSIS
- EVERGREEN SHRUBS
SAME AS SHRUBS OF ADJACENT ROAD
- GROUND COVER
SAME AS GROUND COVERS OF ADJACENT ROAD

▬▬▬▬▬ LOT BOUNDARY



**WILD ROSE
UDC HOMES**

REVISED ON JUNE 27, 89
DATE JUNE 18, '89
NOT TO SCALE

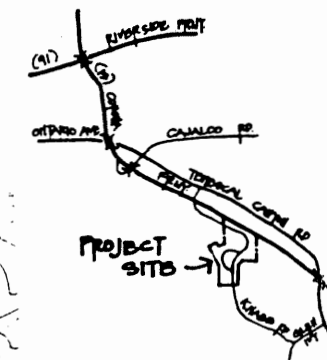
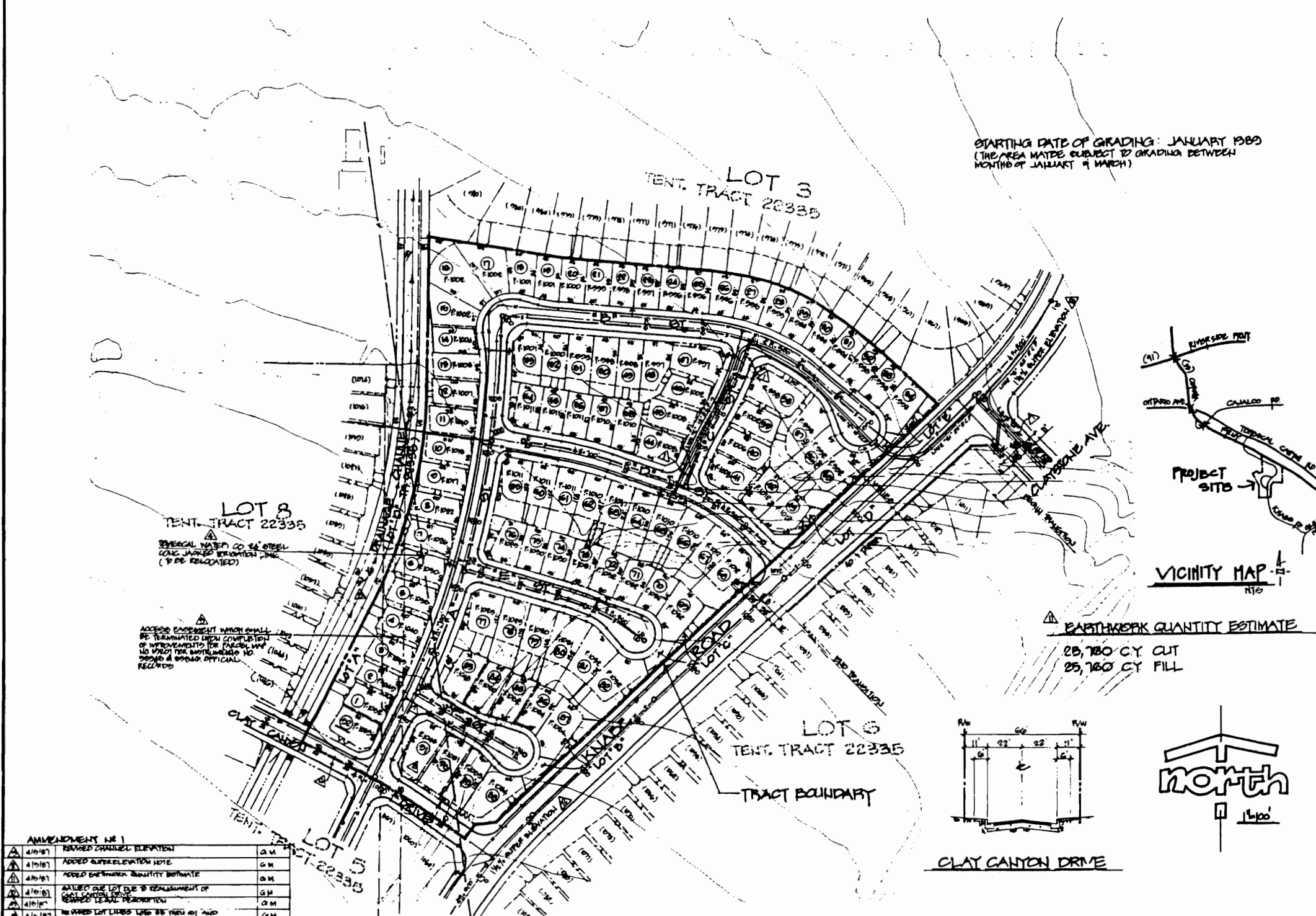


COUNTY OF RIVERSIDE

NOTES:

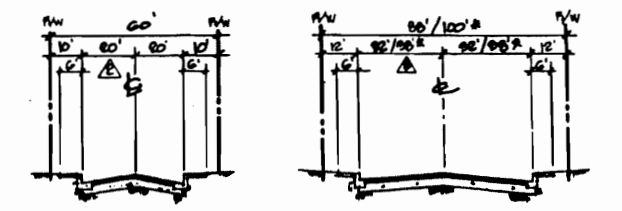
1. PURPOSE: SINGLE FAMILY HOMES
2. PRESENT USE: VACANT LAND
3. PROPOSED ZONING: R-2
4. SPECIFIC PLAN LAND USE DESIGNATION:
5. UTILITY INFORMATION: ALL UTILITIES TO BE UNDERGROUND.
 - A. WATER SERVICE: LEE LAKE WATER DISTRICT.
 - B. SEWER SERVICE: LEE LAKE WATER DISTRICT
 - C. GAS SOURCE: SO. CAL. GAS COMPANY
 - D. ELECTRIC SOURCE: SO. CAL. EDISON
 - E. TELEPHONE SERVICE: PACIFIC BELL
 - F. CABLE TV:
6. SPECIFIC PLAN NO. APPROVED AUGUST 1986 GOVERNS DEVELOPMENT OF THIS PROJECT.
7. MINIMUM LOT SIZE: 4000 S.F.

STARTING DATE OF GRADING: JANUARY 1989
(THE AREA MAY BE SUBJECT TO GRADING BETWEEN MONTHS OF JANUARY & MARCH)



VICINITY MAP

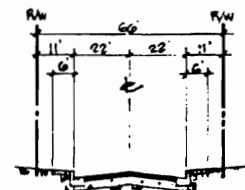
TYPICAL STREET SECTIONS: U.T.S.



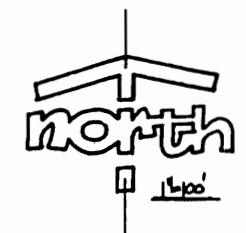
INTERIOR ST. "A", "B", "C", "D", "E" 4' F"
KNAVE ROAD 100' P.W. WITH 76' CURB TO CURB 180' L.O.S. DEG. @ INTERSECTION OF KNAVE ROAD & CLAY CANYON AVE N.T.S.

EARTHWORK QUANTITY ESTIMATE

25,780 CY CUT
25,780 CY FILL



CLAY CANYON DRIVE



PREPARED BY:
CHURCH ENGINEERING
2501 ALDIN AVE.
IRVINE, CA 92714
(714) 660-8800

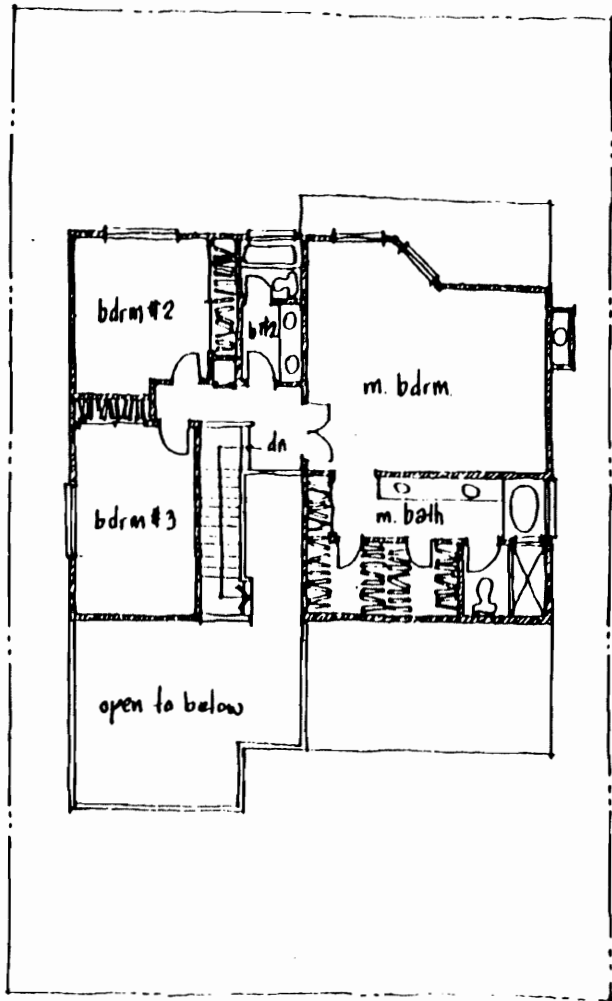
PREPARED FOR:
POOTHILL PROPERTIES
510 WEST CHASE DR.
CORONA, CA 92720
(714) 737-6821

* THE OWNER OF RECORD CONSENTS TO THE FILING OF THIS MAP
92 NUMBERED LOTS
5 LETTERED LOTS
16.7 ACRES GROSS
SCALE: 1"=100'
CONTOUR: 2 FOOT
DATE: JANUARY 1987

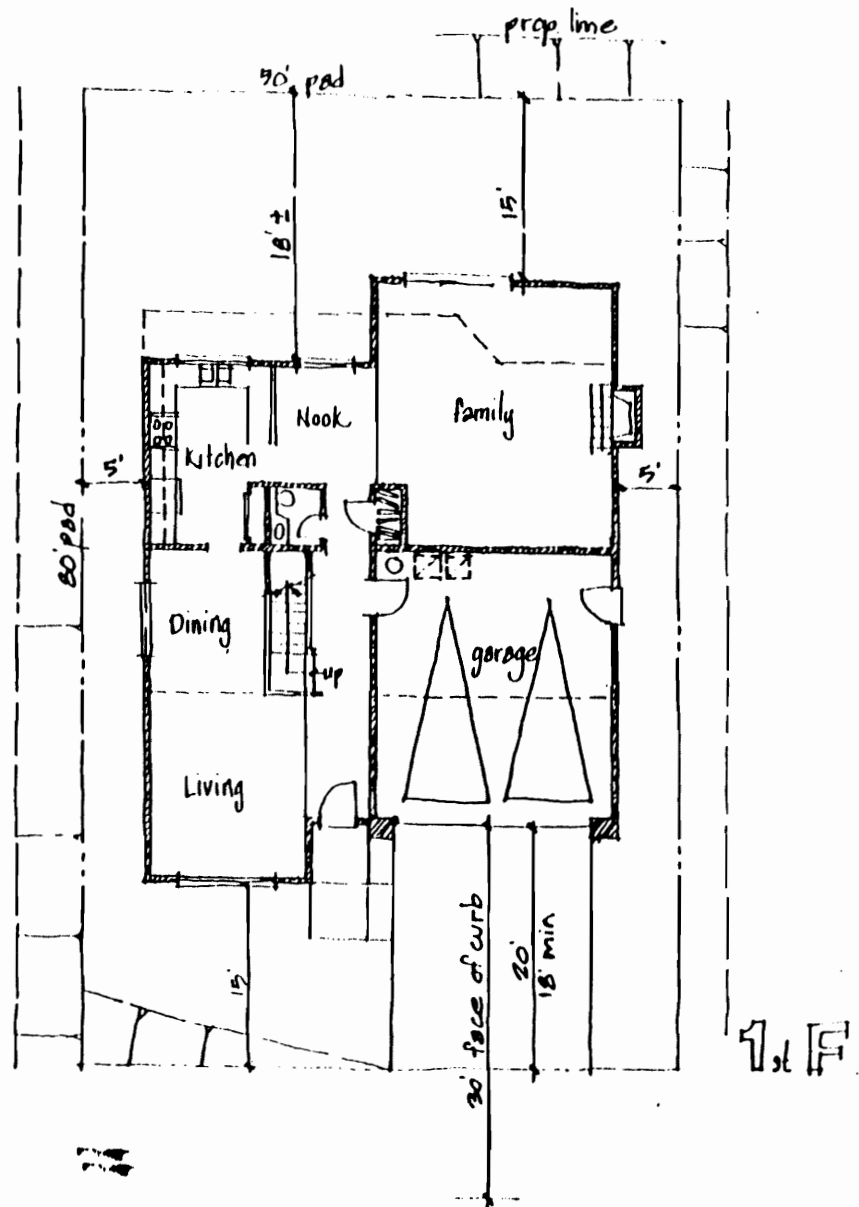
LEGAL DESCRIPTION:
PARCEL 7 OF PARCEL MAP NO. 19201 FILED IN BOOK 129, PAGES 66/42, RECORDS OF RIVERSIDE COUNTY. (LOT 4 OF TENTATIVE TRACT 22335)

AMENDMENT NO.	REVISIONS	BY
4/10/87	REVISED CHANNEL ELEVATION	G.M.
4/10/87	ADDED SURFELEVATION NOTE	G.M.
4/10/87	ADDED EARTHWORK QUANTITY ESTIMATE	G.M.
4/10/87	ADDED ONE LOT DUE TO REARRANGEMENT OF	G.M.
4/10/87	REVISED LEGAL DESCRIPTION	G.M.
4/10/87	REVISED LOT LINES AND TO BE NEW AND	G.M.
4/10/87	ADDED LOT 5	G.M.
4/10/87	REVISED CLAY CANYON AVE ROAD WIDTH	G.M.
4/10/87	REVISED TRACT BOUNDARY & CLAY CANYON DR.	G.M.
4/10/87	REVISED WIDTH (SEE STREET SECTIONS) OF	G.M.
4/10/87	KNAVE ROAD	G.M.
4/10/87	ADDED CENTERLINE WATER LINE FOR	G.M.
4/10/87	REVISIONS	G.M.
4/10/87	REVISED INTERIOR STREETS WIDTH 6' TO	G.M.
4/10/87	(CURE TO CURB) & SIDEWALK 4'-6" WIDE	G.M.
4/10/87	REVISED & INTERSECTIONS ADDED TO PARCEL	G.M.
4/10/87	MAP	G.M.

TENTATIVE TRACT 22339



2nd F



1st F