



RIVERSIDE COUNTY PLANNING DEPARTMENT

9:00 AM

SEPTEMBER 20, 2017

**Planning
Commissioners
2017**

1st District
Carl Bruce
Shaffer

2nd District
Aaron Hake
Chairman

3rd District
Ruthanne Taylor-
Berger
Vice-Chairman

4th District
Bill Sanchez

5th District
Eric Kroencke

**Assistant TLMA
Director**
Charissa Leach,
P.E.

Legal Counsel
Michelle Clack
Deputy
County Counsel

AGENDA

REGULAR MEETING

RIVERSIDE COUNTY PLANNING COMMISSION

COUNTY ADMINISTRATIVE CENTER

First Floor Board Chambers

4080 Lemon Street, Riverside, CA 92501

Any person wishing to speak must complete a "SPEAKER IDENTIFICATION FORM" and submit it to the Hearing Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply provide your name and address and state that you agree with the previous speaker(s).

Any person wishing to make a presentation that includes printed material, video or another form of electronic media must provide the material to the Project Planner at least 48 hours prior to the meeting.

In compliance with the Americans with Disabilities Act, if you require reasonable accommodations, please contact Elizabeth Sarabia, TLMA Commission Secretary, at (951) 955-7436 or e-mail at esarabia@rivco.org. Requests should be made at least 72 hours prior to the scheduled meeting. Alternative formats are available upon request.

CALL TO ORDER:

SALUTE TO THE FLAG – ROLL CALL

1.0 CONSENT CALENDAR: 9:00 a.m. or as soon as possible thereafter (Presentation available upon Commissioners' request)

1.1 FIRST EXTENSION OF TIME REQUEST for TENTATIVE PARCEL MAP NO. 33530 – Applicant: MIG, Inc. c/o Dierdre McCollister – First Supervisorial District – Noth Perris Zoning Area – Mead Valley Area Plan: Community Development: Business Park (CD-BP) (0.25 – 0.60 FAR) – Location: Northerly of Nuevo Road, southerly of Orange Avenue, easterly of Webster Avenue, and westerly of Interstate 215 (I-215) – 104.45 Acres – Zoning: Industrial Park (I-P) – Approved Project Description: Schedule "E" Subdivision of 104.45 acres. The land division hereby permitted is to subdivide 104.45 acres into nine (9) parcels with lots ranging from 1.16 acres to 27.06 acres – **REQUEST:** First Extension of Time Request for Tentative Parcel Map No. 33530, extending the expiration date to June 19, 2018. Project Planner: Ash Syed at (951) 955-6035 or email at asyed@rivco.org.

1.2 SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 32165 – Applicant: Mark Lundberg – Fifth Supervisorial District – Nuevo Zoning Area – Lakeview/Nuevo Area Plan: Rural Community: Low Density Residential (RC-LDR) (1/2 Acre Minimum) – Location: Northerly side of Montgomery Avenue, southerly side of Park Avenue, and westerly of Hansen Avenue – 49.9 Gross Acres – Zoning: Residential Agricultural (R-A) – Rural Residential (R-R) – Approved Project Description: Schedule "B" Subdivision of 49.9 acres into 72 residential lots with a minimum lot size of 21,780 sq. ft. and two (2) water quality basins and one (1) open space lot totaling 7.41 acres – **REQUEST:** Second Extension of Time Request for Tentative Tract Map No. 32165, extending the expiration date to December 21, 2017. Project Planner: Arturo Ortuño at (951) 955-0314 or email at aortuno@rivco.org

1.3 FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 35161 – Applicant: Javin Investments – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan: Community Development: Medium Density Residential (CD-MDR) (2-5 DU/AC) – Location: Southerly of Thompson Road, easterly of Pourroy Road, and westerly of Sunny Hills Drive – 19.4 Gross Acres – Zoning: Specific Plan No. 286, Planning Area No. 34 (SP00286A5, PA 34) – Approved Project Description: Schedule "A" Subdivision of 19.4 gross acres into 51 single family residential lots with a minimum lot size of 7,200 sq. ft., one (1) lot for a detention basin, and one (1) open space lot for roadway landscape treatments – **REQUEST:** First Extension of Time Request for Tentative Tract Map No. 35161, extending the expiration date to June 22, 2018. Project Planner: Arturo Ortuño at (951) 955-0314 or email at aortuno@rivco.org.

1.4 FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 35477 – Applicant: G8 Development, Inc. – Third Supervisorial District – Ramona Zoning District – San Jacinto Valley Area Plan: Community Development: Very High Density Residential (CD-VHDR) (14-20 DU/AC) – Location: Northerly of Whittier Avenue, southerly of Mayberry Avenue, and westerly of Girard Street – 2.69 Gross Acres – Zoning: General Residential (R-3) – Approved Project Description: Schedule "A" Subdivision of a 37-unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two (2) playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. front yard area. Total development proposal includes 28,152 sq. ft. of building

footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure – **REQUEST:** First Extension of Time Request for Tentative Tract Map No. 35477, extending the expiration date to July 16, 2018. Project Planner: Arturo Ortuño at (951) 955-0314 or email at aortuno@rivco.org.

- 1.5 **FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 36430** – Applicant: Strata Mountain Gate, LLC c/o Eric Flodline – Third Supervisorial District – Winchester Zoning Area – Harvest Valley/Winchester Area Plan: Community Development: Medium Density Residential (CD-MDR) (2-5 du/ac) – Location: Northerly of Matthews Road, southerly of McLaughlin Road, easterly of Briggs Road, and westerly of Emperor Road – 180 Acres – Zoning: Specific Plan No. 260, Planning Area 40 (S-P) – Approved Project Description: Schedule A, the land division hereby permitted is to divide 180 acres into 340 residential lots, one (1) park, one (1) school site, and community trail – **REQUEST:** First Extension of Time Request for Tentative Tract Map No. 36430, extending the expiration date to August 2, 2018. Project Planner: Ash Syed at (951) 955-6035 or email at asyed@rivco.org.
- 1.6 **FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 34556** – Applicant: John Romero – Fourth Supervisorial District – Lower Coachella Valley Zoning District – Eastern Coachella Valley Area Plan: Community Development: Medium Density Residential (CD-MDR) (2-5 du/ac) – Location: Northerly of 60th Avenue, southerly of 58th Avenue, easterly of Van Buren Street, and westerly of Harrison Street – 164 Acres – Zoning: One-Family Dwellings (R-1) – Approved Project Description: Schedule A, the land division hereby permitted is to divide approximately 164 acres into 301 residential lots with private streets and recreational amenities including internal and perimeter trails and approximately 62 acres of common open space located within Assessors Parcel Numbers 759-090-001, 002, 003 etc. – **REQUEST:** First Extension of Time Request for Tentative Tract Map No. 34556, extending the expiration date to October 2, 2018. Project Planner: Ash Syed at (951) 955-6035 or email at asyed@rivco.org.
- 1.7 **FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 33913** – Applicant: Rafik Morgan – Fifth Supervisorial District – Cherry Valley Zoning District – The Pass Area Plan: Rural Community: Very Low Density Residential (RC: VLDR) (1 ac min) – Location: Northerly of Orchard Street, southerly of Passview Drive, easterly of Nancy Avenue, and westerly of Mountain View Avenue – 18.0 Acres – Zoning: Light Agriculture (A-1) – Approved Project Description: The land division hereby permitted is a Schedule “B” Subdivision of 18.0 gross acres into 18 residential lots with a minimum lot size of one (1) gross acre – **REQUEST:** First Extension of Time Request for Tentative Tract Map No. 33913, extending the expiration date to September 3, 2018. Project Planner: Ash Syed at (951) 955-6035 or email at asyed@rivco.org.
- 1.8 **FIRST EXTENSION OF TIME for TENTATIVE TRACT MAP NO. 32778** – Applicant: Jennell Lawrence – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan: Community Development: Medium Density Residential (CD:MDR) – Location: Southeast of Anz Road, Southwest of El Mirador Court – 20.42 Acres – Zoning: One-Family Dwellings (R-1) – APPROVED PROJECT DESCRIPTION: Schedule A: The land division hereby permitted is to subdivide 20.42 acres into 44 single family residential lots with a minimum lot size of 7,211 square feet and five open space lots for drainage, water quality, and natural open space. - **REQUEST:** FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 32778, extending the expiration date to October 2, 2018. Project Planner: Ash Syed at 951-955-6035 or email at asyed@rivco.org.
- 1.9 **SECOND EXTENSION OF TIME for TENTATIVE TRACT MAP NO. 33688** – Applicant: James Rapp – First Supervisorial District – Glen Ivy Zoning Area – Temescal Canyon Area Plan: Rural Community: Low Density Residential (RC: LDR) (1/2 ac min) – Location: North of Hunt Road, South of Stone Canyon Drive, East of Knabe Street, West of I-15 – 48.6 Acres – Zoning: One-Family Dwellings (R-1) – APPROVED PROJECT DESCRIPTION: The land division hereby permitted is for a Schedule "A" subdivision of 48.6 acres to be subdivided into 54 single-family residential lots. – **REQUEST:** SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 33688, extending the expiration date to September 1, 2018. Project Planner: Ash Syed at 951-955-6035 or email at asyed@rivco.org.
- 2.0 GENERAL PLAN AMENDMENT INITIATION PROCEEDINGS: 9:00 a.m. or as soon as possible thereafter (Presentation available upon Commissioners' request).
NONE
- 3.0 PUBLIC HEARING – CONTINUED ITEMS: 9:00 a.m. or as soon as possible thereafter.
- 3.1 **GENERAL PLAN AMENDMENT NO. 1218 (Entitlement/Policy Amendment)** – Exempt from the California Environmental Quality Act (CEQA) – Applicant: County of Riverside – All Supervisorial Districts – All Area Plans – All Zoning Areas/Districts – All Zoning – Location: Unincorporated areas of Riverside County – **REQUEST:** The 2017 Mid-Cycle Housing Element Update (General Plan Amendment No. 1218) includes limited changes to the 2013-2021 Housing Element adopted on December 6, 2016. Because the 2013-2021 Housing Element was recently adopted, the focus of the 2017 Mid-Cycle Housing Element Update (“Update” or “GPA No. 1218”) is on providing information and data in the Housing Element tables where current information is available, and in the accompanying text, as needed, including a status update of implementing the Eight Year Action Plan. No land use, program, or housing needs strategy changes are being considered at this time within the context of this limited scope. The Eight Year Action Plan is also currently contained in General Plan Appendix K. In order to eliminate confusion and redundancy, the Eight Year Action Plan will be removed from Appendix K but will be maintained as a critical component of the Housing Element. Project Planner: Peter Hersh at (951) 955-8514 or email at PHersh@rivco.org, or Robert Flores at (951) 955-1195 or email at RFlores@rivco.org.
- 4.0 PUBLIC HEARING – NEW ITEMS: 9:00 a.m. or as soon as possible thereafter.
- 4.1 **CHANGE OF ZONE NO. 7905 AND TENTATIVE TRACT MAP NO. 36963** – Intent to Adopt a Negative Declaration – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Lake Mathews Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC-EDR) (2 acre lot minimum) – Location: Northerly of Big Sky Circle, southerly of El Mineral Road, westerly of Spencer Butte Drive, and easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½) – **REQUEST:** Change of Zone No. 7905 proposes to


change the project site's zoning classification from Residential Agricultural 2 ½-acre minimum (R-A-2 ½) to Residential Agricultural 2-acre minimum (R-A-2), Tentative Tract Map No. 36963, a Schedule "C" Subdivision proposes to subdivide approximately 79.67 gross acres into 31 two-acre lot minimum, single family residential lots and three (3) letter lots for Water Quality Basins. Project Planner: Deborah Bradford at (951) 955-6646 or email at dbradfor@rivco.org.

- 4.2 **GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169**, – Intent to Adopt a Mitigated Negative Declaration – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD-CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P) – Location: Northeasterly corner of Grant Street and Magnolia Avenue – 4.16 acres – **REQUEST:** A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD-VHDR)(14-20 DU/AC), a Tentative Tract Map for a Schedule "A" Subdivision of 4.16 acres into 65 single family residential units, a recreation area, a tot lot playground, and additional parking areas as part of a condominium plan, and a Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3). Project Planner: Brett Dawson at (951) 955-0972 or email at bdawson@rivco.org.
- 4.3 **CHANGE OF ZONE NO. 7922/CONDITIONAL USE PERMIT NO. 3758** – Intent to Adopt a Negative Declaration – Owner/Applicant: BLP Desert, LP/Polk Meadows, LP – Representative: Greg Beaver – Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan – Commercial Retail (C-R) – Location: Northerly of Avenue 42, easterly of Washington Avenue, and westerly of Yucca Lane – 5.06 Gross Acres – Zoning: C-P-S & C-1/C-P – **REQUEST:** Change of Zone from General Commercial (C-1/C-P) – Scenic Highway Commercial (C-P-S) to General Commercial (C-1/C-P) on an approximate 3.64 acre portion of a 5.06 acre property to accommodate a proposed mini-warehouse project and change of zone from Scenic Highway Commercial (C-P-S) and General Commercial (C-1/C-P) to Scenic Highway Commercial (C-P-S) on 1.42 acres to accommodate vacant portion of the subject property. Conditional Use Permit proposes a mini-warehouse project of approximately 91,125 sq. ft. with eight (8) mini-storage buildings up to 13 feet in height in accordance with Section 18.46 (Mini-Warehouses) of Zoning Ordinance No. 348. Typical mini-warehouse units are sized approximately 5 feet by 10 feet, 10 feet by 10 feet, 10 feet by 20 feet, and 10 feet by 25 feet. The project also includes a 634 square foot office with 12 customer parking spaces and a 1,322 sq. ft. caretaker's residence with 600 sq. ft. garage up to 24 feet in height. Total square footage of the proposed mini-warehouse project and related buildings is approximately 93,658 sq. ft. Project Planner: Jay Olivas at (760) 863-7050 or email at [jolivas@rivco.org](mailto:jolivias@rivco.org).
- 4.4 **CHANGE OF ZONE NO. 7901 AND TENTATIVE TRACT MAP NO. 36644** – Intent to Adopt a Negative Declaration – Applicant: Neil Gascon – Engineer/Representative: K&A Engineering – Third Supervisorial District – Rancho California – Southwest Area Plan: Community Development: Medium Density Residential (CD-MDR)(2-5 dwelling units per acre) – 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road – Zoning: Residential Agricultural (5 Acre Minimum) (R-A-5) – **REQUEST:** The Change of Zone proposes to change the zoning classification from Residential Agricultural 5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" Subdivision of 12.9 acres into 35 single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. Project Planner: David Alvarez at (951) 951-5719 or email at daalvarez@rivco.org.
- 4.5 **CHANGE OF ZONE NO. 7929 – WINERY DISTRICT CONSISTENCY ZONING PROGRAM ("Program")** – No New Environmental Documentation is Required – Applicant: County of Riverside – Third Supervisorial District – Southwest Area Plan: Agriculture: Agriculture (AG-AG) – Rural: Rural Mountainous (R-RM) – Rural: Rural Residential (R-RR) – Rural Community: Estate Density Residential (RC-EDR) – Temecula Valley Wine Country Policy Area – Winery District ("Winery District") – Rancho California Zoning Area – Zoning: Residential Agricultural – (R-A) – Residential Agricultural – 2, 2 ½, 5, 10 and 20 Acre Minimums (R-A-2, R-A-2 ½, R-A-5, R-A-10 and R-A-20) – Rural Residential (R-R) – Light Agriculture – 10 and 20 Acre Minimums (A-1-10 and A-1-20 – Citrus Vineyard (C/V) – Citrus Vineyard – 5, 10, and 20 Acre Minimums (C/V, C/V-5, C/V-10, and CV-20) – Location: The Winery District is located both on the northern and southern end of the Temecula Valley Wine Country Policy Area: the northern portion of the Winery District is bounded by Lake Skinner to the north, Butterfield Ranch Road to the west, De Portola Road (north/south) to the east, and Madera De Playa Drive and Los Nogales Road to the south, with a "peninsula" extending down to the intersection of De Portola Road and Pauba Road; the southern portion of the Winery District is bounded by California State Highway 79 to the north, Anza Road to the west, and Pauba Road to the east – **REQUEST:** The Program proposes to change the various zone classifications of 131 parcels totaling approximately 1,833 acres within the Winery District to either the Wine Country – Winery (WC-W) Zone or the Wine Country – Winery Existing (WC-WE) Zone, as shown on Exhibit 1. This Program is focused on fostering economic and agricultural development by providing an opportunity for existing wineries, agricultural facilities, and property owners with development proposals to option into the County initiated General Plan consistency zoning effort. The Program's approach is to have voluntary participation by landowners who want to develop their parcels within the Winery District in conformance with the WC-W or WC-WE zones, as applicable, in order to further the intent of the Temecula Valley Wine Country Community Plan. Project Planner: Robert Flores at (951) 955-1195 or email at RFlores@rivco.org.
- 5.0 WORKSHOPS:
NONE
- 6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA
- 7.0 DIRECTOR'S REPORT
- 8.0 COMMISSIONERS' COMMENTS

1.1

Agenda Item No.
Area Plan: Mead Valley
Zoning Area: North Perris
Supervisorial District: First
Project Planner: Ash Syed
Planning Commission Hearing: September 20, 2017

TENTATIVE PARCEL MAP NO. 33530
FIRST EXTENSION OF TIME
Applicant: MIG, Inc.
c/o Deirdre McCollister



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow for the recordation of the final map: Schedule E - The land division hereby permitted is to subdivide 104.45 acres into nine (9) parcels with lots ranging from 1.16 acres to 27.06 acres.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE PARCEL MAP NO. 33530

BACKGROUND:

Tentative Parcel Map No. 33530 was originally approved at Planning Commission on June 19, 2007. It proceeded to the Board of Supervisors along with Change of Zone No. 7169 where both applications were approved on August 24, 2007.

Tentative Parcel Map No. 33530R1 was fast-tracked and approved at the Board of Supervisors on December 22, 2009.

The First Extension of Time for Tentative Parcel Map No. 33530R1 was received June 19, 2017, on the expiration date, June 19, 2017. The Applicant and the County negotiated conditions of approval and reached consensus on July 26, 2017.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant July 26, 2017 indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

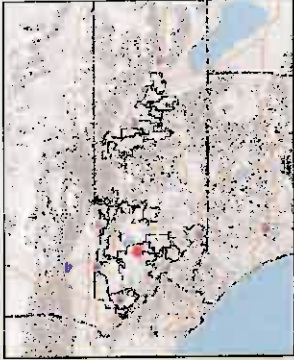
EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become June 19, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the **FIRST EXTENSION OF TIME REQUEST** for **TENTATIVE PARCEL MAP NO. 33530** extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to June 19, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for PM33530R1



- Legend**
- Display Parcels
 - City Boundaries
 - Cities
 - roadsanno
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers

Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



0 1,594 3,188 Feet



REPORT PRINTED ON... 8/23/2017 3:18:09 PM


© Riverside County RCIT GIS

Extension of Time Environmental Determination

Project Case Number: PM33530
 Original E.A. Number: EA 40213
 Extension of Time No.: First
 Original Approval Date: June 19, 2007
 Project Location: North of Nuevo Road, South of Orange Avenue, East of Webster Avenue, and West of I-215.
 Project Description: Schedule E - The land division hereby permitted is to subdivide 104.45 acres into nine (9) parcels with lots ranging from 1.16 acres to 27.06 acres.

On June 19, 2007, this Tentative Parcel Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL.
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME.

Signature: 
 Ash Syed, Planner

Date: August 23, 2017
 Charissa Leach, P.E. Assistant TLMA Director



Principal Global Investors

July 25, 2017

Planning Department
County of Riverside
4080 Lemon Street, 12th Floor
Riverside, CA 92502

RE: 1st Extension of Time for Nuevo 2 – Tentative Parcel Map 33530
Letter of Acceptance for Conditions Of Approval

On behalf FR/CAL Harvill Road, LLC, as Owner of the approximately 104.45 acre property within Parcel Map 33530, we accept the seven (7) new Conditions of Approval referred to in the itemized list below for the Extension of Time #1. We understand that these Conditions will apply to the Planning Department approval for Parcel Map 33530 and may be considered “Met” if they duplicate another similar condition issued by the Planning Department.

New Conditions:

- 50. REQ E HEALTH DOCUMENTS. 5
- 50. FINAL ACCESS AND MAINT. 36
- 60. REQ BMP SWPPP WQMP. 7
- 60. FINAL WQMP FOR GRADING. 1
- 80. WQMP AND MAINTENANCE. 1
- 90. WQMP REQUIRED. 1
- 90. WQMP COMP AND BNS REG. 10

Should you have any questions regarding the Extension of Time, please contact our Property Manager, Dan Sibson, Senior Vice President at IDS Real Estate Group at 213.362.9314 or email Dan at dsibson@idsrealestate.com.

Sincerely,

FR/Cal Harvill Road, LLC

a Delaware limited liability company

By: FirstCal Industrial, LLC,
a Delaware limited liability company,
its sole member

By: California State Teachers' Retirement System,
a public entity, its member

By: Principal Real Estate Investors, LLC,
a Delaware limited liability company,
its authorized agent

By: 
William G. Williams III
Investment Director – Asset Management

07/26/17
13:27

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

PARCEL MAP Parcel Map #: PM33530

Parcel: 305-270-061

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 5 EOT1 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 7 EOT1 - REQ BMP SWPPP WQMP

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

07/26/17
13:27

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

PARCEL MAP Parcel Map #: PM33530

Parcel: 305-270-061

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 7 EOT1 - REQ BMP SWPPP WQMP (cont.)

RECOMMND

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

60.TRANS. 1 EOT1 - FINAL WQMP FOR GRADING

RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

atersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60.TRANS. 36 EOT1 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality

07/26/17
13:27

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

PARCEL MAP Parcel Map #: PM33530

Parcel: 305-270-061

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 36

EOT1 - FINAL ACCESS AND MAINT (cont.)

RECOMMND

features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1

EOT1 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

07/26/17
13:27

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 4

PARCEL MAP Parcel Map #: PM33530

Parcel: 305-270-061

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.
2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.
3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.
4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.
5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 10 EOT1 - WQMP COMP AND BNS REG

RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

07/26/17
13:27

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

PARCEL MAP Parcel Map #: PM33530

Parcel: 305-270-061

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 10

EOT1 - WQMP COMP AND BNS REG (cont.)

RECOMMND

established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)



RIVERSIDE COUNTY

PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

Memorandum

1.15

To: Planning Commission

Date: August 28, 2017

From: Ash Syed, Project Planner, Planning Department

RE: Continuation to September 20th Planning Commission for Agenda Item 1.4 (Tentative Parcel Map No. 33530 First Extension of Time)

To the Planning Commission,

Revision to Applicant Exhibits/Maps and Staff Report to include the revised boundaries and project description for the Parcel Map. Continuation from September 6th Planning Commission agenda to September 20th.


Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7040

102

Agenda Item No.
Area Plan: Lakeview/Nuevo
Zoning Area: Nuevo
Supervisory District: Fifth
Project Planner: Arturo Ortuño
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 32165
SECOND EXTENSION OF TIME
Applicant: Mark Lundberg



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow the recordation of the final map to subdivide 49.9 acres into 72 residential lots with a minimum lot size of 21,780 sq. ft. and two (2) water quality basins and one (1) open space lot totaling 7.41 acres.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 32165

BACKGROUND:

Tentative Tract Map No. 32165 was originally approved at Planning Commission on October 26, 2005. The project proceeded to the Board of Supervisors for final approval on December 21, 2005. A minor change to Tentative Tract Map No. 32165 was approved at Board of Supervisors on September 18, 2007. In the minor change to the tract a change from sewer to septic and adjustment of minimum lot size from 20,000 sq. ft. to 21,780 sq. ft. occurred, resulting in a reduction of lots from 78 to 72.

The first Extension of Time was approved at Planning Commission on August 3, 2016.

The second Extension of Time was received December 21, 2016, ahead of the expiration date of December 21, 2016. The applicant and the County have been negotiating conditions of approval and reached consensus on August 16, 2017.

The County Planning Department, as part of the review of this Extension of Time request recommends the addition of seven (7) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant (dated August 16, 2017) indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

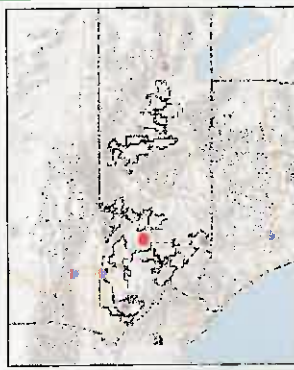
Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become December 21, 2017. If a final map has not been recorded prior this date, a third extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 32165, extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to December 21, 2017, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

2nd EOT for TR32165

Vicinity Map



- Legend**
- Display Parcels
 - City Boundaries
 - Cities
 - roads
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - US-FWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers

Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



0 1,717 3,434 Feet



REPORT PRINTED ON... 8/25/2017 3:06:29 PM

© Riverside County RCIT GIS

Extension of Time Environmental Determination

Project Case Number: TR32165

Original E.A. Number: 39483

Extension of Time No.: Second


Original Approval Date: December 21, 2005

Project Location: North side of Montgomery Avenue, South side of Park Avenue, and West of Hansen Avenue

Project Description: Schedule "B" Subdivision of 49.9 acres into 72 residential lots with a minimum lot size of 21,780 sq. ft. and two (2) water quality basins and one (1) open space lot totaling 7.41 acres.

On December 21, 2005, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL .
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME .

Signature: 
Arturo Ortuño, Contract Planner

Date: August 25, 2017
For Charissa Leech, Assistant TLMA Director

Ortuno, Arturo

From: Mark Lundberg <marklundberg@gmail.com>
Sent: Wednesday, August 16, 2017 5:46 PM
To: Ortuno, Arturo
Cc: 'Steve Austin'
Subject: RE: TR32165

Follow Up Flag: Follow up
Flag Status: Completed

Arturo,

Please be advised that the proposed recommended conditions of approval for our extension of time on TTM No.32165 as listed below are all acceptable to us:

50. REQ E HEALTH DOCUMENTS 80. WQMP AND MAINTENANCE
50. FINAL ACCESS AND MAINT 90. WQMP REQUIRED
60. REQ BMP SWPPP WQMP 90. WQMP COMP AND BNS REG
60. FINAL WQMP FOR GRADING

We accept the conditions and look forward to approval of the Second Extension of time request for TTM 32165.

Mark Lundberg
Managing Member of Nuevo Partners, LLC
19102 - 92nd Ave West
Edmonds, Washington 98020
206-948-4022

From: Ortuno, Arturo [mailto:AOrtuno@rivco.org]
Sent: Wednesday, August 16, 2017 9:43 AM
To: Mark Lundberg; Wheeler, Timothy
Subject: RE: TR32165

Attn: Mark Lundberg
19102 92nd Ave West
Edmonds, WA 98020

RE: SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 32165.

The County Planning Department has determined it necessary to recommend the addition of seven (7) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

Please review the proposed conditions of approval attached in this correspondence. If these conditions are acceptable, then submit a short written letter/memo/email that clearly references this case, the acceptance of each condition by name and number, and clearly state that you, the Extension of Time Applicant, accept these conditions. This documentation will then be included in the staff report package. The attached document is a copy of the recommended conditions which are identified as follows:

TRACT MAP Tract #: TR32165M1

Parcel: 427-120-004

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 4

EOT2 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 39

EOT2 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are

TRACT MAP Tract #: TR32165M1

Parcel: 427-120-004

50. PRIOR TO MAP RECORDATION

50.TRANS. 39 EOT2 - FINAL ACCESS AND MAINT (cont.) RECOMMND

provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 16 EOT2 - REQ BMP SWPPP WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR32165M1

Parcel: 427-120-004

60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 1

EOT2 - FINAL WQMP FOR GRADING

RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 5

EOT2 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR32165M1

Parcel: 427-120-004

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 9

EOT2 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.

2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 9

EOT2 - WQMP COMP AND BNS REG

RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

04/06/17
09:44

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

TRACT MAP Tract #: TR32165M1

Parcel: 427-120-004

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 9

EOT2 - WQMP COMP AND BNS REG (cont.)

RECOMMND


established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

1.3

Agenda Item No.
Area Plan: Southwest
Zoning Area: Rancho California
Supervisorial District: Third
Project Planner: Arturo Ortuño
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 35161
FIRST EXTENSION OF TIME
Applicant: Javin Investments



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow the recordation of the final map to subdivide 19.4 gross acres into 51 single family residential lots with a minimum lot size of 7,200 square feet, one (1) lot for a detention basin, and one (1) open space lot for roadway landscape treatments.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 35161

BACKGROUND:

Tentative Tract Map No. 35161, along with Change of Zone No. 7647, Specific Plan No. 286 and Substantial Conformance No. 2, was approved at Planning Commission on April 7, 2010. The project proceeded to the Board of Supervisors for final approval on June 22, 2010.

The first Extension of Time was received May 3, 2017, ahead of the expiration date of June 22, 2017. The applicant and the County have been negotiating conditions of approval and reached consensus on August 23, 2017.

W

The County Planning Department, as part of the review of this Extension of Time request recommends the addition of four (4) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant (dated August 23, 2017) indicating the acceptance of the four (4) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

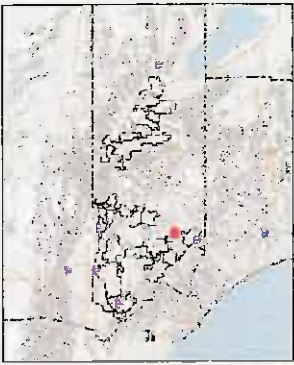
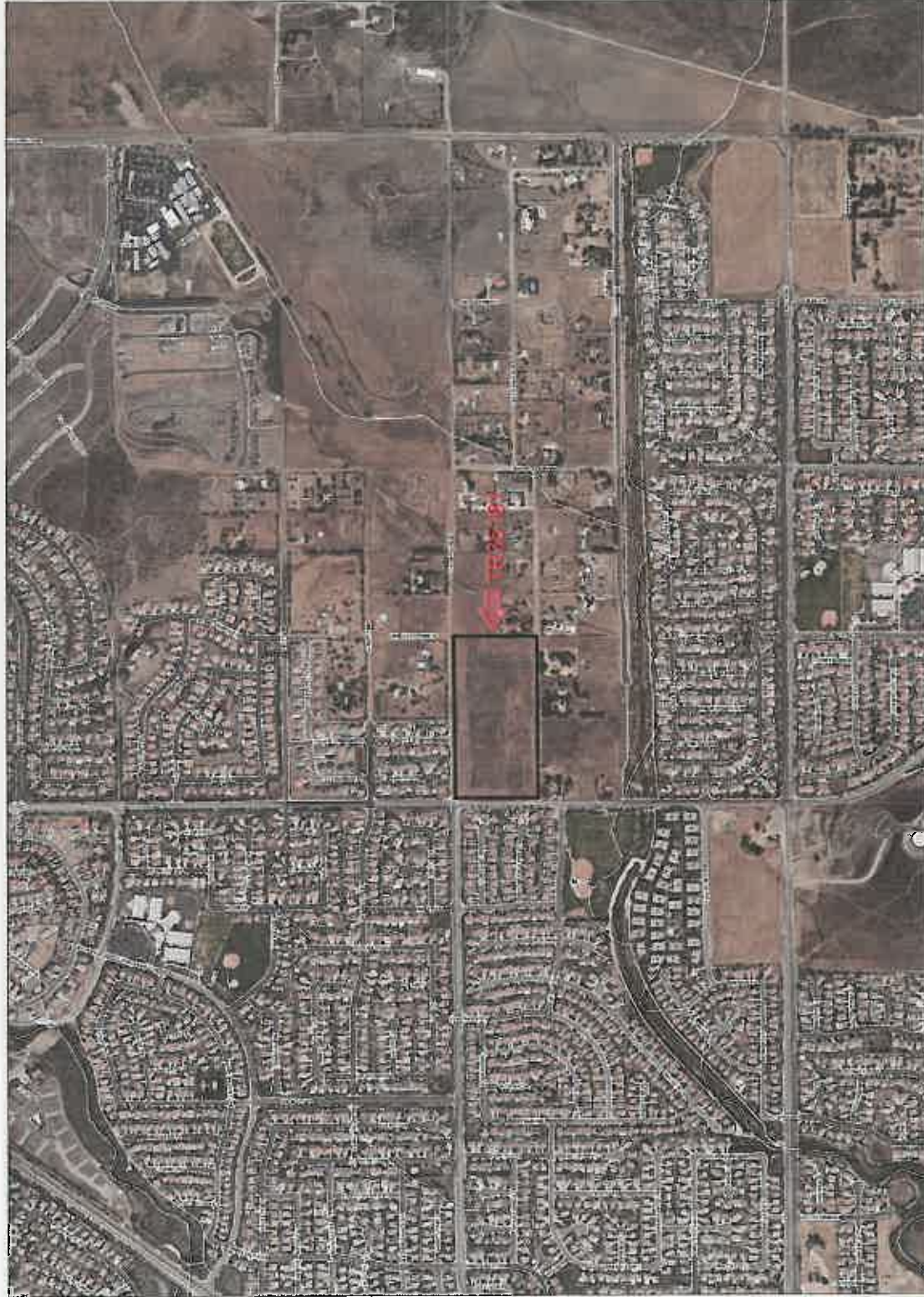
Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become June 22, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 35161, extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to June 22, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for TR35161

Vicinity Map




Legend


- Display Parcels
- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



0 1,470 2,939 Feet

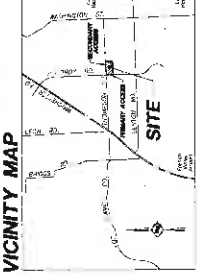
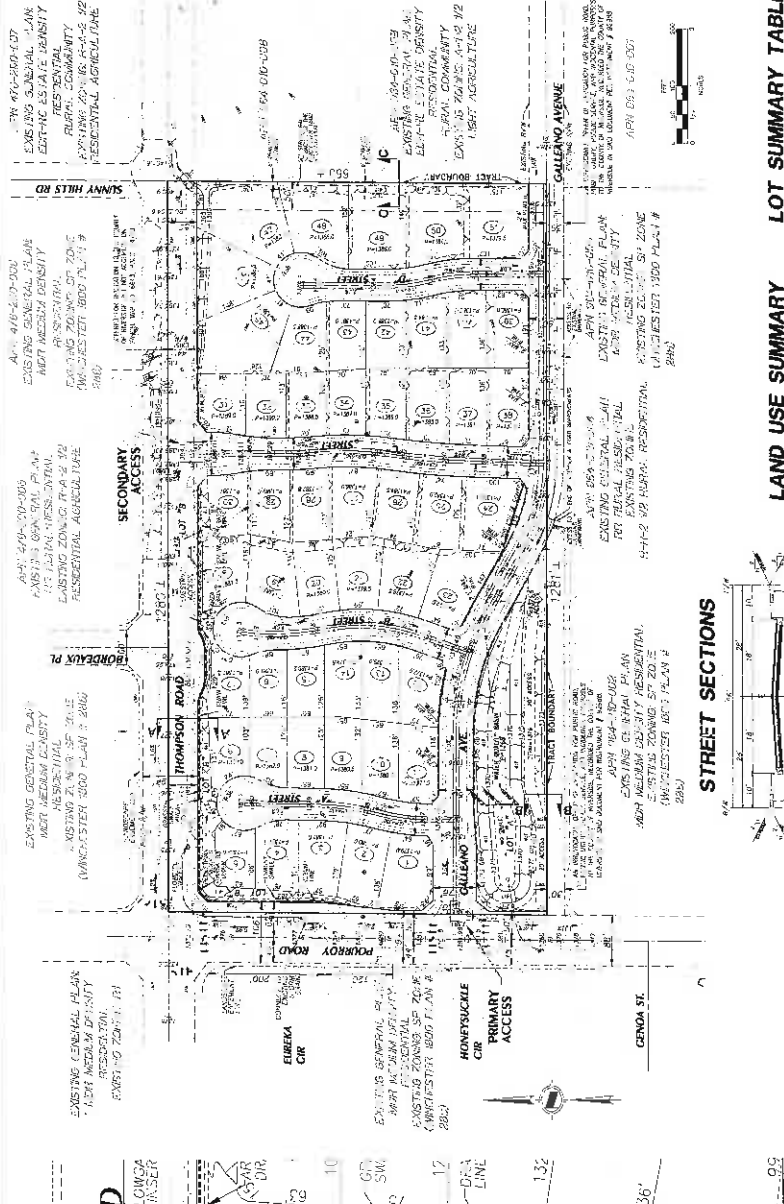


REPORT PRINTED ON... 8/25/2017 1:49:42 PM

© Riverside County RCIT GIS

INTERSECTION DETAIL

TO BE SUBMITTED TO THE APPLICANT COUNTY ENGINEER FOR REVIEW



NOTES

1. EXISTING ZONING: UNCLASSIFIED (U.C.)
2. EXISTING ZONING: UNCLASSIFIED (U.C.)
3. EXISTING ZONING: UNCLASSIFIED (U.C.)
4. EXISTING ZONING: UNCLASSIFIED (U.C.)
5. EXISTING ZONING: UNCLASSIFIED (U.C.)
6. EXISTING ZONING: UNCLASSIFIED (U.C.)
7. EXISTING ZONING: UNCLASSIFIED (U.C.)
8. EXISTING ZONING: UNCLASSIFIED (U.C.)
9. EXISTING ZONING: UNCLASSIFIED (U.C.)
10. EXISTING ZONING: UNCLASSIFIED (U.C.)
11. EXISTING ZONING: UNCLASSIFIED (U.C.)
12. EXISTING ZONING: UNCLASSIFIED (U.C.)
13. EXISTING ZONING: UNCLASSIFIED (U.C.)
14. EXISTING ZONING: UNCLASSIFIED (U.C.)
15. EXISTING ZONING: UNCLASSIFIED (U.C.)
16. EXISTING ZONING: UNCLASSIFIED (U.C.)
17. EXISTING ZONING: UNCLASSIFIED (U.C.)
18. EXISTING ZONING: UNCLASSIFIED (U.C.)

LEGEND

- 1. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 2. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 3. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 4. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 5. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 6. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 7. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 8. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 9. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 10. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 11. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 12. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 13. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 14. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 15. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 16. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 17. EXISTING ZONING: UNCLASSIFIED (U.C.)
- 18. EXISTING ZONING: UNCLASSIFIED (U.C.)

LEGAL DESCRIPTION

SECTION 18, TOWNSHIP 19 N, RANGE 10 E, COUNTY OF...
 THE COUNTY OF...
 THE COUNTY OF...

STATEMENT OF OWNERSHIP

I, THE UNDERSIGNED, JOSEPH TURLEY, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE ABOVE DESCRIBED LAND AND THAT I HAVE THE AUTHORITY TO EXECUTE THIS INSTRUMENT.

DATE	10/31/2011
W.O.	3778.1
GROSS AREA	13.4 AC.
CONTIGUOUS INTERVAL	
TOTAL LOTS	51 UNNUMBERED 2 LETTERED

PREPARED BY:

PROPERTY OWNER & PREPARED FOR:
 JOSEPH TURLEY
 APR 864-09-006
 309 WEST COLUMBIA AVE.
 SALT LAKE CITY, UT 84119
 E-MAIL: img@turley.com



H&A
 HUNSAKER & ASSOCIATES
 ENGINEERS, ARCHITECTS, & SURVEYORS
 1175 WEST 1000 SOUTH, SUITE 200
 SALT LAKE CITY, UT 84119

**AMENDMENT #1
 TENTATIVE TRACT
 MAP NO. 35161**

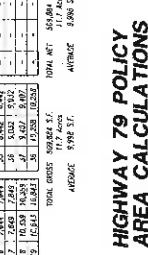
LAND USE SUMMARY

ACTING	AREA	PERCENT
RESIDENTIAL	11.7 AC.	86.6%
AGRICULTURE	1.7 AC.	12.6%
TOTAL	13.4 AC.	100.0%

UTILITY CONTACTS

UTILITY CONTACTS:
 ELECTRIC: UTILITY COMPANY
 WATER: CITY OF SALT LAKE CITY
 GAS: UTILITY COMPANY
 TELEPHONE: UTILITY COMPANY

STREET SECTIONS



LOT SUMMARY TABLE

LOT	AREA	PERCENT
1	1.2	8.96%
2	1.5	11.20%
3	1.8	13.43%
4	2.1	15.67%
5	2.4	17.91%
6	2.7	20.15%
7	3.0	22.39%
8	3.3	24.63%
9	3.6	26.87%
10	3.9	29.11%
11	4.2	31.35%
12	4.5	33.59%
13	4.8	35.83%
14	5.1	38.07%
15	5.4	40.31%
16	5.7	42.55%
17	6.0	44.79%
18	6.3	47.03%
19	6.6	49.27%
20	6.9	51.51%
21	7.2	53.75%
22	7.5	56.00%
23	7.8	58.24%
24	8.1	60.48%
25	8.4	62.72%
26	8.7	64.96%
27	9.0	67.20%
28	9.3	69.44%
29	9.6	71.68%
30	9.9	73.92%
31	10.2	76.16%
32	10.5	78.40%
33	10.8	80.64%
34	11.1	82.88%
35	11.4	85.12%
36	11.7	87.36%
37	12.0	89.60%
38	12.3	91.84%
39	12.6	94.08%
40	12.9	96.32%
41	13.2	98.56%
42	13.5	100.00%

HIGHWAY 79 POLICY AREA CALCULATIONS

AREA OF POLICY	13.4 AC.
MINIMUM POLICY	13.4 AC.
PERCENT POLICY	100.00%



SECTION A-A
 SECTION B-B
 SECTION C-C


Extension of Time Environmental Determination

Project Case Number: TR35161
 Original E.A. Number: 41909
 Extension of Time No.: First
 Original Approval Date: June 22, 2010
 Project Location: South of Thompson Road, East of Pourroy Road and West of Sunny Hills Drive

Project Description: Schedule "A" Subdivision of 19.4 gross acres into 51 single family residential lots with a minimum lot size of 7,200 square feet, one (1) lot for a detention basin, and one (1) open space lot for roadway landscape treatments.

On June 22, 2010, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL.
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME.

Signature: 
 Arturo Ortuño, Contract Planner

Date: August 25, 2017
 For Charissa Leech, Assistant TLMA Director

Ortuno, Arturo

From: Richard Valdez <vslengineering@gmail.com>
Sent: Wednesday, August 23, 2017 7:11 AM
To: Ortuno, Arturo
Subject: Re: FW: 1st EOT for TR35161

Thank you Arturo. The revised Conditions are acceptable.

Please proceed with your staff report to the Planning Commission.

Richard Valdez
VSL Engineering
Office 951-296-3930
Mobile 951-660-5860

On Wed, Aug 9, 2017 at 8:37 AM, Ortuno, Arturo <AOrtuno@rivco.org> wrote:

Good morning Richard,

I attached both the original conditions of approval with your comments and also the revised conditions. The title of the conditions are a default name when staff combined multiple conditions to make one, but I did edit certain conditions in order to take out WQMP requirement verbiage.

Arturo Ortuño

Riverside County Planning Dept.

4080 Lemon Street – 12th Floor

Riverside, CA 92501

[951-955-0314](tel:951-955-0314)



TRACT MAP Tract #: TR35161

Parcel: 964-010-001

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 1

EOT1 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1

EOT1 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR35161

Parcel: 964-010-001

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 3 EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.
2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.
3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.
4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.
5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 7 EOT1 - WQMP COMP AND BNS REG

RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

07/25/17
11:22

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

TRACT MAP Tract #: TR35161

Parcel: 964-010-001

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 7

EOT1 - WQMP COMP AND BNS REG (cont.)

RECOMMND

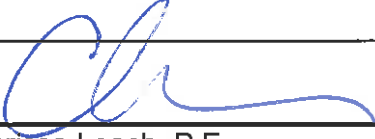
established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

114

Agenda Item No.
Area Plan: San Jacinto Valley
Zoning District: Ramona
Supervisorial District: Third
Project Planner: Arturo Ortuño
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 35477
FIRST EXTENSION OF TIME
Applicant: G8 Development, Inc.



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow the recordation of the final map to subdivide a 37-unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. front yard area. Total development proposal includes 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 35477

BACKGROUND:

Tentative Tract Map No. 35477 was originally approved at Planning Commission on July 16, 2014.

The first Extension of Time was received May 18, 2017, ahead of the expiration date of July 16, 2017. The applicant and the County have been negotiating conditions of approval and reached consensus on July 3, 2017.

The County Planning Department, as part of the review of this Extension of Time request recommends the addition of six (6) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant (dated July 3, 2017) indicating the acceptance of the six (6) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

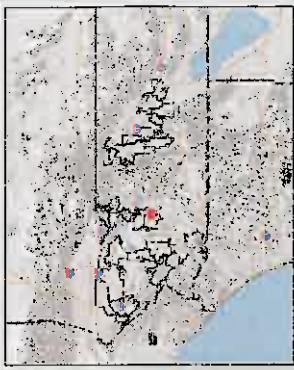
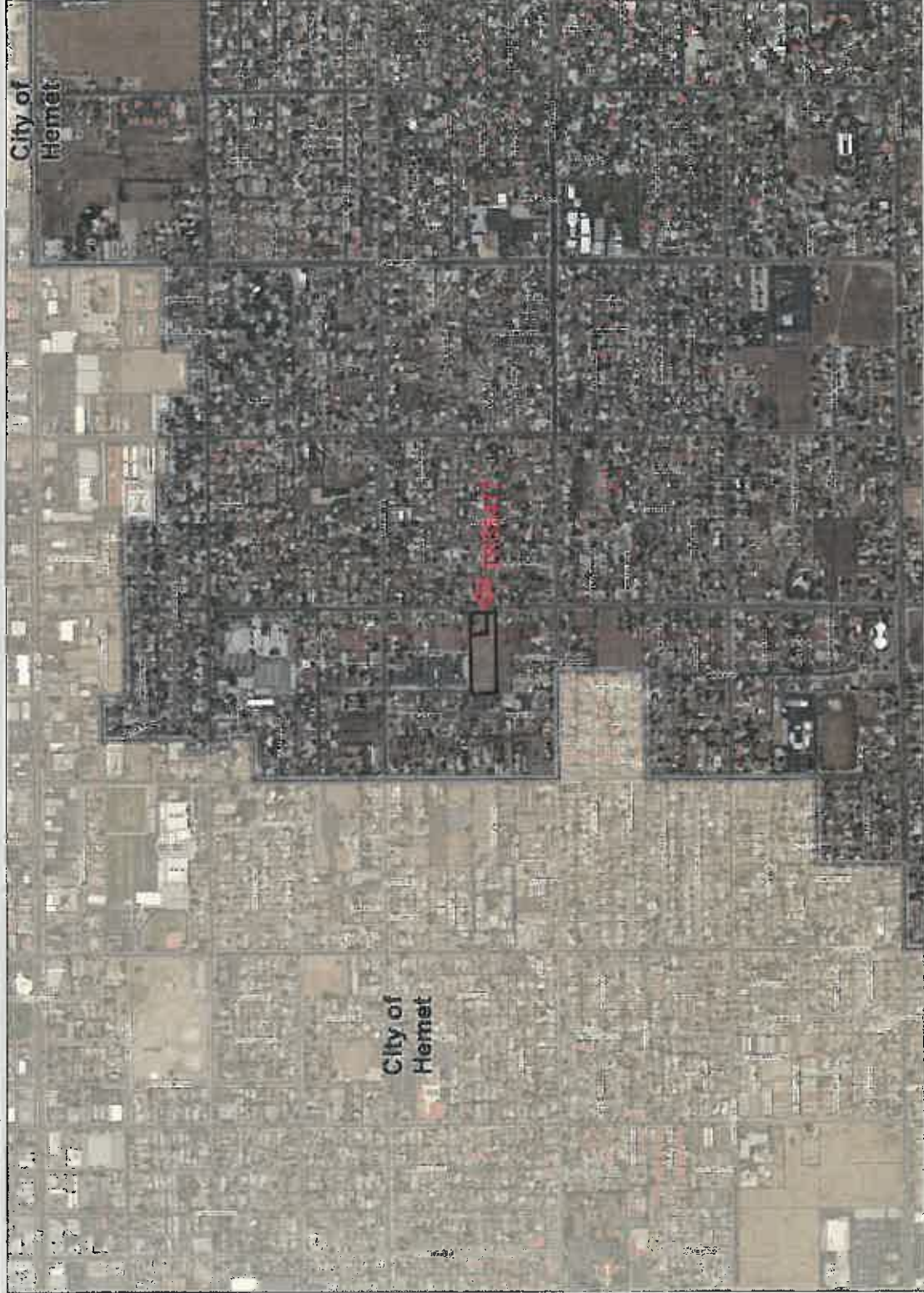
Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become July 16, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 35477, extending the expiration date to July 16, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for TR35477

Vicinity Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

Notes

"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.




Extension of Time Environmental Determination

Project Case Number: TR35477
 Original E.A. Number: 41303
 Extension of Time No.: First
 Original Approval Date: July 16, 2014
 Project Location: North of Whittier Avenue, South of Mayberry Avenue, and West of Girard Street

Project Description: Schedule "A" Subdivision of a 37-unit condominium complex on 2.69 gross acres. The proposal includes a 10,019 sq. ft. landscape area including two playgrounds, a 2,172 sq. ft. pool area, and a 5,725 sq. ft. front yard area. Total development proposal includes 28,152 sq. ft. of building footprint area, 18,740 sq. ft. of landscaping area (including pool), and 112 parking spaces. There currently exists one (1) residential structure.

On July 16, 2014, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL .
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME .

Signature: 
 Arturo Ortuño, Contract Planner

Date: August 3, 2017
 For Charissa Leech, Assistant TLMA Director



Riverside County Planning Dept.
Arturo Ortuño, Contract Planner
4080 Lemon Street -- 12th Floor
Riverside, CA 92501
951-955-0314

RE: EXTENSION OF TIME REQUEST for No. 35477.

The County Planning Department has determined it necessary to recommend the addition of new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

I have reviewed the proposed conditions of approval specifically listed by name and number identified as follows:

- | | |
|----------------------------|---------------------------|
| 50. REQ E HEALTH DOCUMENTS | 80. WQMP AND MAINTENANCE |
| 50. FINAL ACCESS AND MAINT | 90. WQMP REQUIRED |
| 60. REQ BMP SWPPP WQMP | 90. WQMP COMP AND BNS REG |
| 60. FINAL WQMP FOR GRADING | |

These conditions are acceptable and I clearly state that I, the Extension of Time Applicant accept these conditions. This documentation will then be included in the staff report package.

If you have any questions, comments, or concerns regarding this correspondence from me, the EOT applicant, accepting the recommended conditions per the directions provided above please feel free to contact me as indicated below.

Thank you,

Angela Hodgdon, General Manager
G8 Development, Inc.
7626 El Cajon Blvd.
La Mesa, CA 91943
Office: 619-354-8736
Fax: 619-465-0302
Cell: 619-322-7137

08/21/17
15:48

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 1 ~~EOT1 - REQ E HEALTH DOCUMENTS~~

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 13 EOT1 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are

08/21/17
15:48

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

50. PRIOR TO MAP RECORDATION

50.TRANS. 13 EOT1 - FINAL ACCESS AND MAINT (cont.) RECOMMND

provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 2 EOT1 - FINAL WQMP FOR GRADING RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 2 EOT1 -WQMP AND MAINTENANCE RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

TRACT MAP Tract #: TR35477

Parcel: 447-150-045

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2 EOT1 -WQMP AND MAINTENANCE (cont.)

RECOMMND

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 8 EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 6 EOT1 - WQMP COMP AND BNS REG

RECOMMND


Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

1.5

Agenda Item No.
Area Plan: Harvest Valley/Winchester
Zoning Area: Winchester
Supervisory District: Third
Project Planner: Ash Syed
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 36430
FIRST EXTENSION OF TIME
Applicant: Strata Mountain Gate, LLC
c/o Eric Flodline



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow for the recordation of the final map: Schedule A: The land division hereby permitted is to divide 180 acres into 340 residential lots, 1 park, 1 school site, and community trail.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 36430

BACKGROUND:

Tentative Tract Map No. 36430 was originally approved at Planning Commission on July 31, 2014. It proceeded to the Board of Supervisors along with Change of Zone No. 7780 where both applications were approved on September 9, 2014.

The First Extension of Time was received August 2, 2017, ahead of the expiration date, September 9, 2017. The Applicant and the County negotiated conditions of approval and reached consensus on August 30, 2017.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant, August 30, 2017 indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

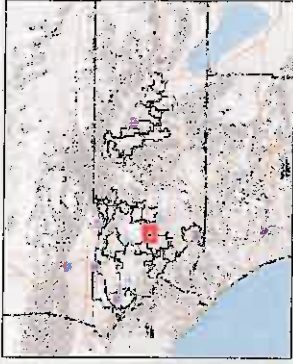
EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become September 9, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 36430 extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to September 9, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for TR36430 Vicinity Map



Legend

Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



0 3,833

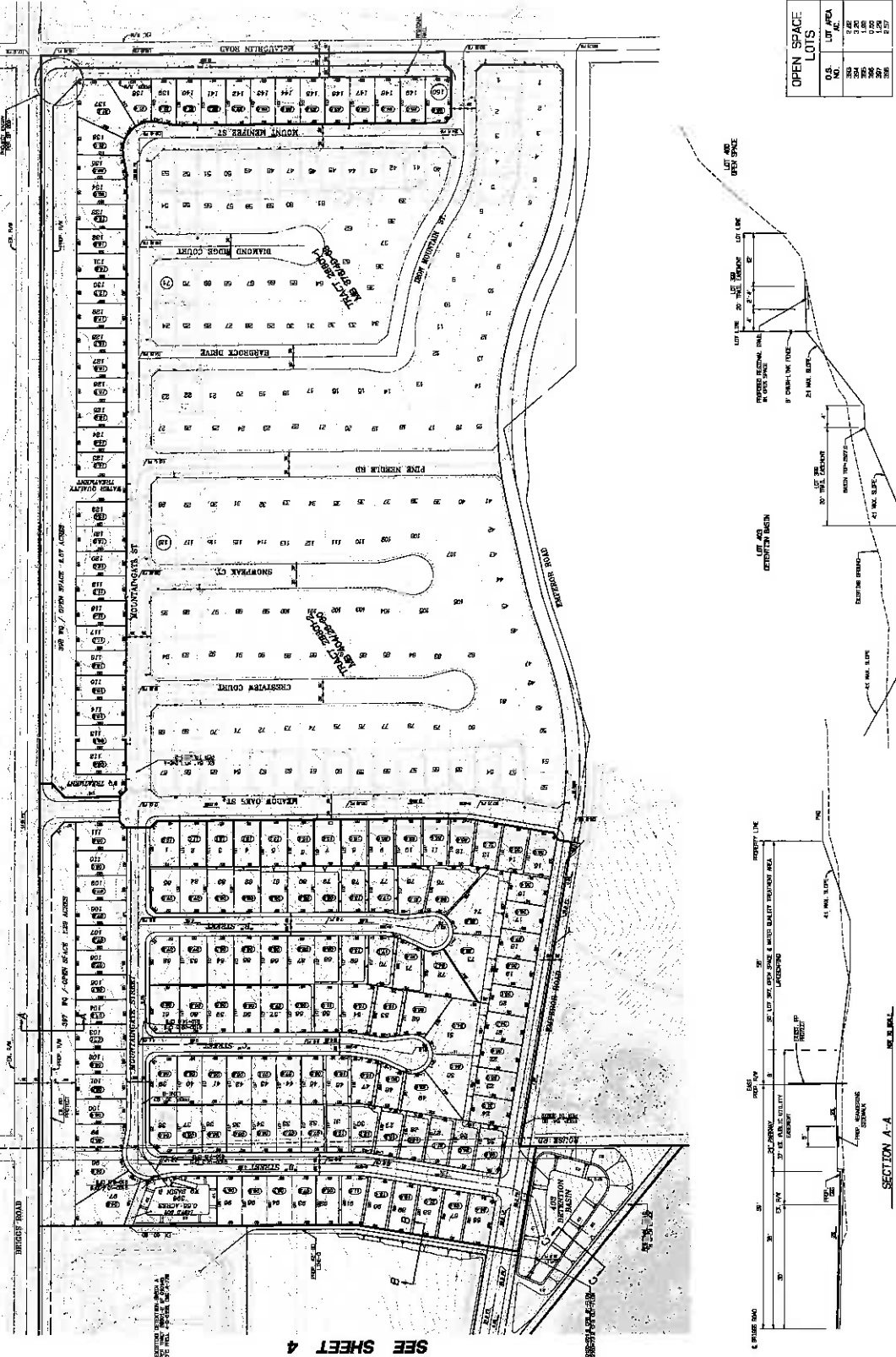
7,666 Feet



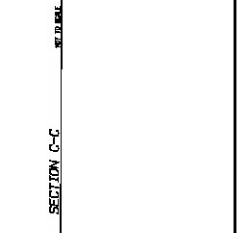
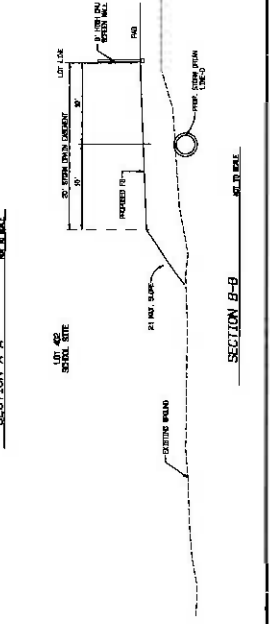
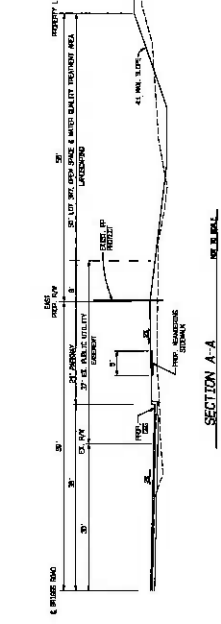
REPORT PRINTED ON... 8/8/2017 11:20:47 AM

© Riverside County RCIT GIS

LOT NO.	LOT AREA (S.F.)	LOT NO.	LOT AREA (S.F.)	LOT NO.	LOT AREA (S.F.)	LOT NO.	LOT AREA (S.F.)
1	7800	10	7800	19	7800	28	7800
2	7800	11	7800	20	7800	29	7800
3	7800	12	7800	21	7800	30	7800
4	7800	13	7800	22	7800	31	7800
5	7800	14	7800	23	7800	32	7800
6	7800	15	7800	24	7800	33	7800
7	7800	16	7800	25	7800	34	7800
8	7800	17	7800	26	7800	35	7800
9	7800	18	7800	27	7800	36	7800
37	7800	46	7800	55	7800	64	7800
38	7800	47	7800	56	7800	65	7800
39	7800	48	7800	57	7800	66	7800
40	7800	49	7800	58	7800	67	7800
41	7800	50	7800	59	7800	68	7800
42	7800	51	7800	60	7800	69	7800
43	7800	52	7800	61	7800	70	7800
44	7800	53	7800	62	7800	71	7800
45	7800	54	7800	63	7800	72	7800
73	7800	82	7800	91	7800	100	7800
74	7800	83	7800	92	7800	101	7800
75	7800	84	7800	93	7800	102	7800
76	7800	85	7800	94	7800	103	7800
77	7800	86	7800	95	7800	104	7800
78	7800	87	7800	96	7800	105	7800
79	7800	88	7800	97	7800	106	7800
80	7800	89	7800	98	7800	107	7800
81	7800	90	7800	99	7800	108	7800
109	7800	118	7800	127	7800	136	7800
110	7800	119	7800	128	7800	137	7800
111	7800	120	7800	129	7800	138	7800
112	7800	121	7800	130	7800	139	7800
113	7800	122	7800	131	7800	140	7800
114	7800	123	7800	132	7800	141	7800
115	7800	124	7800	133	7800	142	7800
116	7800	125	7800	134	7800	143	7800
117	7800	126	7800	135	7800	144	7800
145	7800	154	7800	163	7800	172	7800
146	7800	155	7800	164	7800	173	7800
147	7800	156	7800	165	7800	174	7800
148	7800	157	7800	166	7800	175	7800
149	7800	158	7800	167	7800	176	7800
150	7800	159	7800	168	7800	177	7800
151	7800	160	7800	169	7800	178	7800
152	7800	161	7800	170	7800	179	7800
153	7800	162	7800	171	7800	180	7800



OPEN SPACE LOTS	LOT AREA (S.F.)
1	1500
2	1500
3	1500
4	1500
5	1500
6	1500
7	1500
8	1500
9	1500
10	1500
11	1500
12	1500
13	1500
14	1500
15	1500
16	1500
17	1500
18	1500
19	1500
20	1500
21	1500
22	1500
23	1500
24	1500
25	1500
26	1500
27	1500
28	1500
29	1500
30	1500
31	1500
32	1500
33	1500
34	1500
35	1500
36	1500
37	1500
38	1500
39	1500
40	1500
41	1500
42	1500
43	1500
44	1500
45	1500
46	1500
47	1500
48	1500
49	1500
50	1500
51	1500
52	1500
53	1500
54	1500
55	1500
56	1500
57	1500
58	1500
59	1500
60	1500
61	1500
62	1500
63	1500
64	1500
65	1500
66	1500
67	1500
68	1500
69	1500
70	1500
71	1500
72	1500
73	1500
74	1500
75	1500
76	1500
77	1500
78	1500
79	1500
80	1500
81	1500
82	1500
83	1500
84	1500
85	1500
86	1500
87	1500
88	1500
89	1500
90	1500
91	1500
92	1500
93	1500
94	1500
95	1500
96	1500
97	1500
98	1500
99	1500
100	1500
101	1500
102	1500
103	1500
104	1500
105	1500
106	1500
107	1500
108	1500
109	1500
110	1500
111	1500
112	1500
113	1500
114	1500
115	1500
116	1500
117	1500
118	1500
119	1500
120	1500
121	1500
122	1500
123	1500
124	1500
125	1500
126	1500
127	1500
128	1500
129	1500
130	1500
131	1500
132	1500
133	1500
134	1500
135	1500
136	1500
137	1500
138	1500
139	1500
140	1500
141	1500
142	1500
143	1500
144	1500
145	1500
146	1500
147	1500
148	1500
149	1500
150	1500



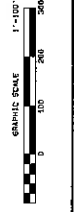
MOUNTAIN GATE
IN THE COUNTY OF KERN, CALIFORNIA
TENTATIVE TRACT MAP 36430
GRADING PLAN AND SECTIONS

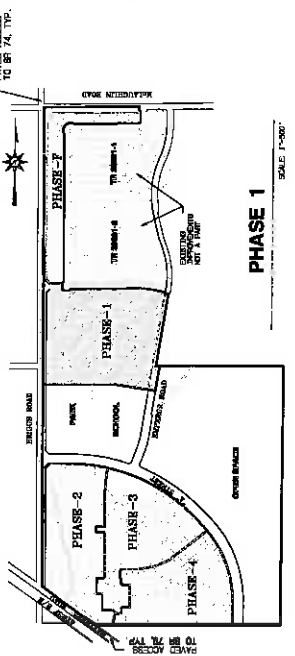
DATE: 11-15-23
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

WEBB
CITY ENGINEER
COUNTY OF KERN

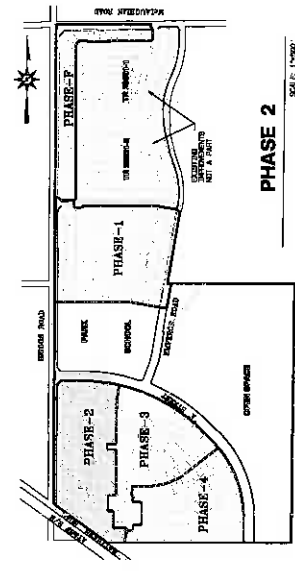
DATE: 11-15-23
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

FILE: [Name]
PROJECT: [Name]

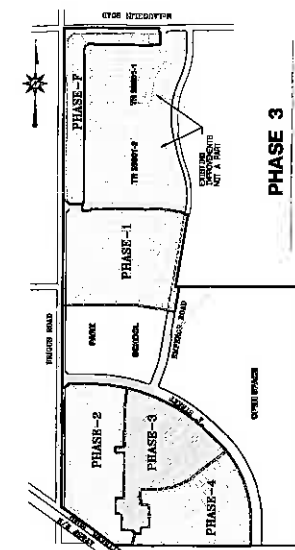




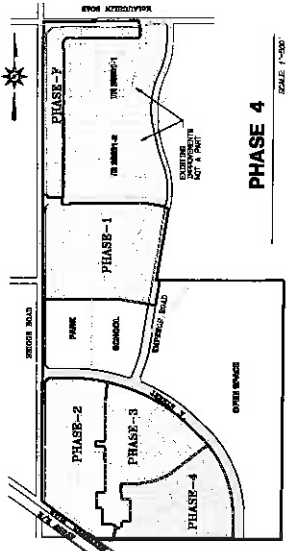
PHASE 1
SCALE 1"=300'



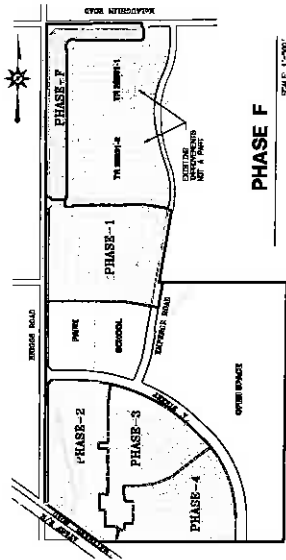
PHASE 2
SCALE 1"=300'



PHASE 3
SCALE 1"=300'



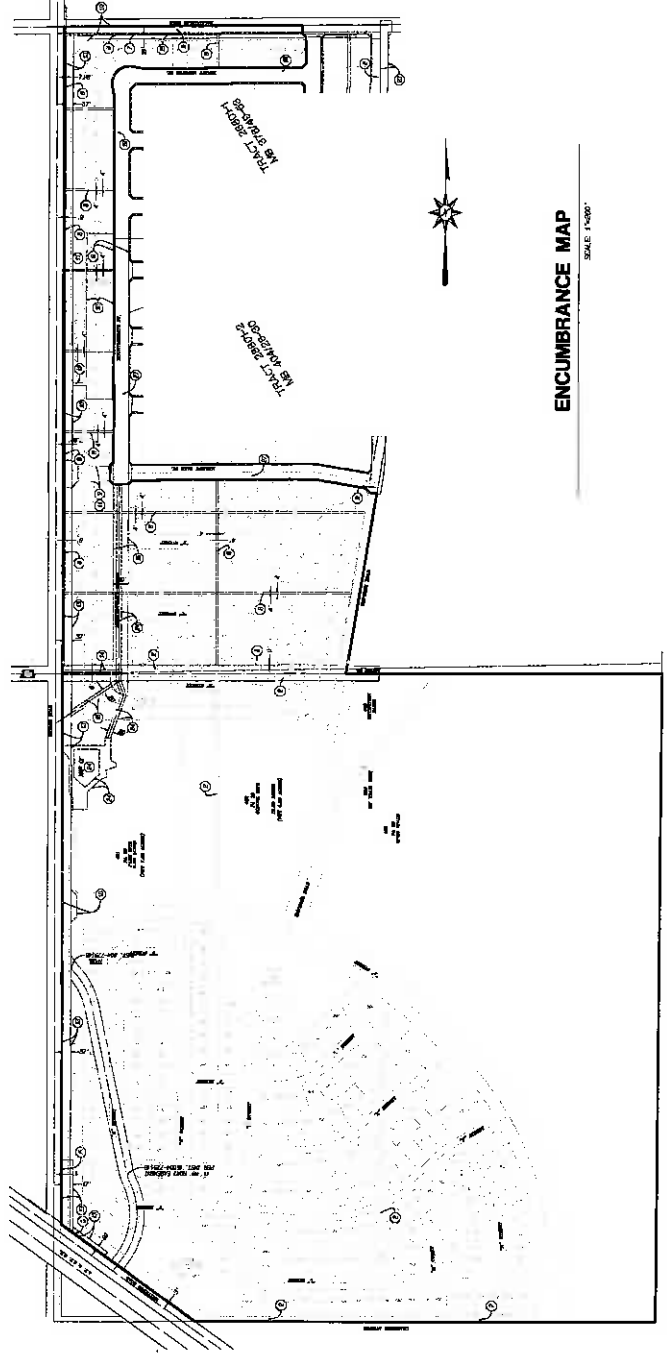
PHASE 4
SCALE 1"=300'



PHASE F
SCALE 1"=300'

SUMMARY

PLANING AREA	ALLOWED (U)	TOTAL (U)	TOTAL (S)	TOTAL (T)	TOTAL (A)
PH 3A	320	71	115	30	30
PH 40	272	50	70	14	14
TOTAL		121	185	44	44



ENCUMBRANCE MAP
SCALE 1"=300'

- BASEMENTS NOTES:**
1. THE CURRENTS BROWN HERBERT ARE PER TITLE REPORT NO. 91472986, DATED 03/14/2011.
 2. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
 3. ALL UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 4. A WATER MAIN LINE EXISTING WITH 12" DIA. PIPE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 5. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 6. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 7. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 8. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 9. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 10. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 11. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 12. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 13. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 14. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 15. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 16. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 17. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 18. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 19. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 20. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 21. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 22. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 23. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 24. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 25. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.
 26. ALL EXISTING UTILITIES ARE TO BE DEEPENED TO THE BASE OF THE FOUNDATION.

MOUNTAIN GATE
BY THE COUNTY OF STANISLA, CALIFORNIA
TENTATIVE TRACT MAP 36490
PHASING & ENCUMBRANCE MAP

DATE: 03/14/2011
DRAWN BY: J. WEBB
CHECKED BY: J. WEBB
SCALE: 1"=300'

DATE: 03/14/2011
DRAWN BY: J. WEBB
CHECKED BY: J. WEBB
SCALE: 1"=300'

Extension of Time Environmental Determination

Project Case Number: TR36430

Original E.A. Number: EA42516

Extension of Time No.: First


Original Approval Date: September 9, 2014

Project Location: North of Matthews Road, South of McLaughlin Road, East of Briggs Road, West of Emperor Road.

Project Description: Schedule A: The land division hereby permitted is to divide 180 acres into 340 residential lots, 1 park, 1 school site, and community trail.

On September 9, 2014, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL.
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME.

Signature: 
Ash Syed, Planner

Date: August 31, 2017
Charissa Leach, P.E. Assistant TLMA Director

Syed, Ashiq

From: Fayres Hall <fayres.hall@webbassociates.com>
Sent: Wednesday, August 30, 2017 3:08 PM
To: Syed, Ashiq
Subject: FW: Recommended Conditions of Approval for 1st EOT of TR36430
Attachments: 1st EOT TR36430 Email COA.PDF

Hi Ash,

Is the email below sufficient for acceptance of the COA's?

Thanks,
Fayres

Fayres E Hall - Land Development Specialist I
Albert A. Webb Associates
3788 McCray Street, Riverside, CA 92506
t: 951.320.6085
e: fayres.hall@webbassociates.com w: www.webbassociates.com
[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Eric Flodine [mailto:EricF@strataequity.com]
Sent: Monday, August 28, 2017 4:03 PM
To: Fayres Hall; Mo Faghihi; Susan Paradiso; Sarah Kowalski
Subject: RE: Recommended Conditions of Approval for 1st EOT of TR36430

These are acceptable to Strata, and we have no further comments prior to PC schedule.

All the best,

Eric Flodine

From: Fayres Hall [mailto:fayres.hall@webbassociates.com]
Sent: Monday, August 28, 2017 3:53 PM
To: Mo Faghihi <mo.faghihi@webbassociates.com>; Susan Paradiso <sjparadiso@drhorton.com>; Eric Flodine <EricF@strataequity.com>; Sarah Kowalski <sarah.kowalski@webbassociates.com>
Subject: RE: Recommended Conditions of Approval for 1st EOT of TR36430

Attached is the updated PDF of recommended conditions for the EOT on TR36430 with part 3 of 50. E... Health.1 removed (see attached email). Please let me know if this is acceptable and we can proceed with getting this scheduled for Planning Commission.

Thanks,
Fayres

Fayres E Hall - Land Development Specialist I
Albert A. Webb Associates
3788 McCray Street, Riverside, CA 92506

t: 951.320.6085

e: fayres.hall@webbassociates.com w: www.webbassociates.com

[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Syed, Ashiq [<mailto:ASyed@rivco.org>]

Sent: Tuesday, August 08, 2017 2:55 PM

To: Eric Flodine

Cc: Fayres Hall

Subject: Recommended Conditions of Approval for 1st EOT of TR36430

Mr. Flodine,

I am Ash Syed. I have been assigned to process your Extension of Time (EOT) request for TR36430. Attached are the recommended Conditions of Approval (COA).

Attn: Eric Flodine
3788 McCray Street
Riverside, CA 92506

RE: FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 36430

The County Planning Department has determined it necessary to recommend the addition of seven (7) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

Please review the proposed conditions of approval attached in this correspondence. If these conditions are acceptable, then submit a short written letter/memo/email that clearly references this case, the acceptance of each condition by name and number, and clearly state that you, the Extension of Time Applicant, accept these conditions. This documentation will then be included in the staff report package. The attached document is a copy of the recommended conditions which are identified as follows:

50. E HEALTH. 1
50. TRANS. 25
60. BS GRADE. 15
60. TRANS. 4
80. TRANS. 7
90. BS GRADE. 9
90. TRANS. 12

If the addition of the conditions is not acceptable, please notify me so we can discuss your concerns. If the issue cannot be resolved, then I will direct you to contact the individual Department representative to discuss this matter further.

Once the conditions have been accepted, I will begin preparing the staff report package for a Planning Commission hearing as a consent item. County Ordinance requires that conditions added thru the extension of time process are presented to and accepted by the applicant. If you, the EOT applicant, is unable to accept these conditions, the Planning Department will recommend denial of this extension of time request. An opportunity will, if requested, be provided for arguments to be made to the hearing body justifying why this request should be approved without the recommended conditions of approval.

I am eager to move this case forward and continue the extension of time process. If you have not contacted me within thirty (30) days, I will begin preparing this case with a recommendation of denial. I need one of two items to proceed:

- 1) Correspondence from you, the EOT applicant, accepting the recommended conditions per the directions provided above; or,
- 2) Correspondence from you, the EOT applicant, advising me of the concerns with the recommended conditions. If the concern still exists after our discussion, then direction on how to approach the issue will be given and additional time will be provided until the issue is resolved.

If you have any questions, comments, or concerns regarding this email, please feel free to contact me as indicated below.



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Ash Syed – Planner

4080 Lemon Street, 12th Floor

Riverside, CA 92501

Email: asyed@rivco.org

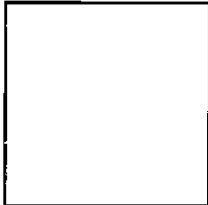
Phone: 951-955-6035

Confidentiality Disclaimer

This email is confidential and intended solely for the use of the individual(s) to whom it is addressed. The information contained in this message may be privileged and confidential and protected from disclosure. If you are not the author's intended recipient, be advised that you have received this email in error and that any use, dissemination, forwarding, printing, or copying of this email is strictly prohibited. If you have received this email in error please delete all copies, both electronic and printed, and contact the author immediately.

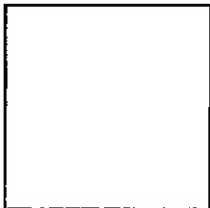
[County of Riverside California](#)

Click [here](#) to report this email as spam.



Join our mailing list!

[Protection Notice](#)



TRACT MAP Tract #: TR36430

Parcel: 461-020-006

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 1 EOT1 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 25 EOT1 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR36430

Parcel: 461-020-006

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 15 EOT1 - REQ BMP SWPPP WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

60.TRANS. 4 EOT1 - FINAL WQMP FOR GRADING RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at:

TRACT MAP Tract #: TR36430

Parcel: 461-020-006

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 4

EOT1 - FINAL WQMP FOR GRADING (cont.)

RECOMMND

www.rcflood.org/npdes. For any questions, please contact
(951) 712-5494.

atersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No.
R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met"
if it duplicates another similar condition issued by this
department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 7

EOT1 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP
facilities described in the approved Final WQMP. The
project shall be responsible for performing all activities
described in the WQMP and that copies of the approved Final
WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall
be submitted to the Transportation Department for review
and approval prior to issuance of occupancy permits. A
maintenance organization will be established with a funding
source for the permanent maintenance. The maintenance plan
shall require that all BMP facilities are inspected, if
required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met"
if it duplicates another similar condition issued by this
department)

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 9

EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall
comply with the following:

1. Obtain inspection of all treatment control BMPs and/or
clearance from the Building and Safety Department. All
structural BMPs described in the project - specific WQMP

TRACT MAP Tract #: TR36430

Parcel: 461-020-006

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 9 EOT1 - WQMP REQUIRED (cont.)

RECOMMND

and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.

2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 12 EOT1 - WQMP COMP AND BNS REG

RECOMMND

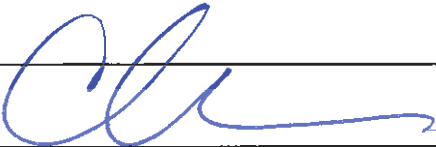
Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

1.6

Agenda Item No.
Area Plan: Eastern Coachella Valley
Zoning District: Lower Coachella Valley
Supervisory District: Fourth
Project Planner: Ash Syed
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 34556
FIRST EXTENSION OF TIME
Applicant: John Romero



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow for the recordation of the final map: Schedule A - The land division hereby permitted is to divide approximately 164 acres into 301 residential lots with private streets and recreational amenities including internal and perimeter trails and approximately 62 acres of common open space located within Assessors Parcel Numbers 759-090-001, 002, 003 etc.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 34556

BACKGROUND:

Tentative Tract Map No. 34556 was originally approved at Planning Commission on June 27, 2007. It proceeded to the Board of Supervisors along with Change of Zone No. 7291 where both applications were approved on October 2, 2007.

The First Extension of Time was received August 9, 2017, ahead of the expiration date, October 2, 2017. The Applicant and the County negotiated conditions of approval and reached consensus on August 28, 2017.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant, August 28, 2017 indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

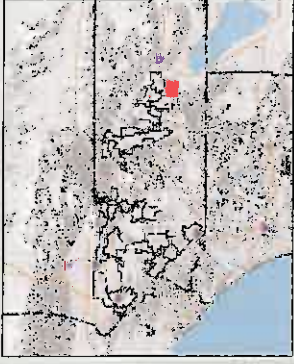
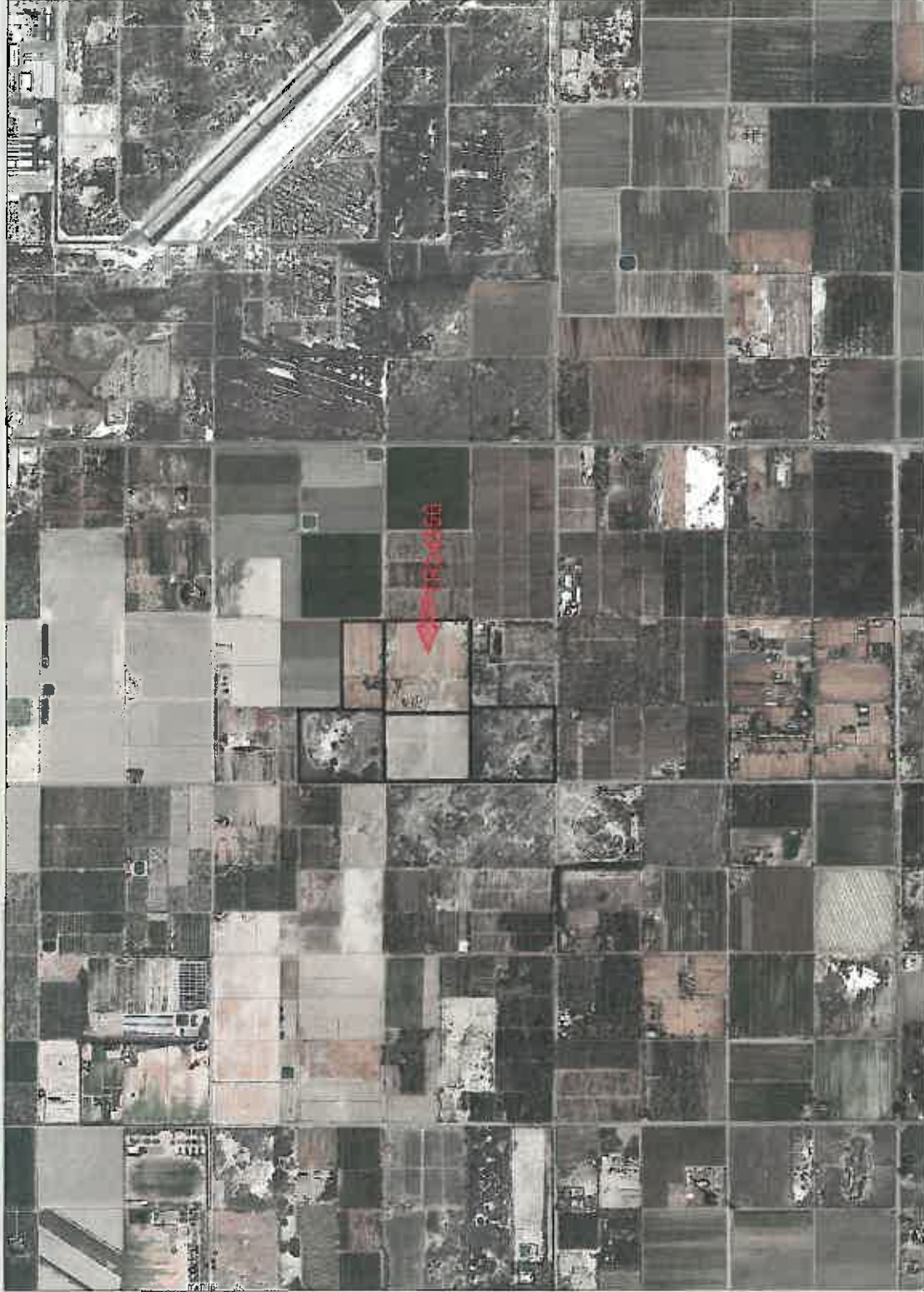
Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become October 2, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 34556, extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to October 2, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for TR34556

Vicinity Map



Legend

- City Boundaries
- Cities

Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



5,761 Feet

2,881

0

REPORT PRINTED ON ... 8/24/2017 11:17:03 AM

© Riverside County RCIT GIS

TENTATIVE TRACT MAP NO. 34556 IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AMENDMENT NO. 1

OWNER:
THE RIVERSIDE TRACT, INC.
A CORPORATION OF CALIFORNIA
10000 RIVERSIDE BLVD., SUITE 100
RIVERSIDE, CALIFORNIA 92504

APPLICANT:
THE RIVERSIDE TRACT, INC.
A CORPORATION OF CALIFORNIA
10000 RIVERSIDE BLVD., SUITE 100
RIVERSIDE, CALIFORNIA 92504

PREPARED BY:
JAMES W. HARRIS, CIVIL ENGINEER
10000 RIVERSIDE BLVD., SUITE 100
RIVERSIDE, CALIFORNIA 92504

LEGAL DESCRIPTION:
THE RIVERSIDE TRACT, INC. HAS BEEN GRANTED BY THE COUNTY OF RIVERSIDE, CALIFORNIA, A TRACT MAP NO. 34556, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, FOR THE PURPOSE OF DIVIDING THE TRACT INTO 100 LOTS, 10000 RIVERSIDE BLVD., SUITE 100, RIVERSIDE, CALIFORNIA 92504.

SITE DATA:
1. AREA: 100.00 AC.
2. PERMITS: NONE
3. UTILITIES: NONE
4. ADJACENT PROPERTIES: NONE
5. ZONING: NONE
6. EASEMENTS: NONE
7. ELEVATION: 1000 FT.

GENERAL NOTES:
1. THIS TRACT MAP IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, AND THE STATE OF CALIFORNIA.
2. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE EASEMENTS, RIGHTS-OF-WAY, AND OTHER INTERESTS.
3. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE RECORDS AND DOCUMENTS ON FILE WITH THE COUNTY CLERK OF RIVERSIDE, CALIFORNIA.

LEGEND:
1. LOT: 100' x 100'
2. ALLEY: 10' x 100'
3. DRIVE: 10' x 100'
4. ROAD: 10' x 100'
5. RAILROAD: 10' x 100'
6. CANAL: 10' x 100'
7. STREAM: 10' x 100'
8. FENCE: 10' x 100'
9. UTILITY: 10' x 100'
10. EASEMENT: 10' x 100'

BASES OF BEARING:
THE BEARING ON THE BOUNDARIES OF THE TRACT MAP IS BASED ON THE SURVEY OF THE BOUNDARIES OF THE TRACT MAP.

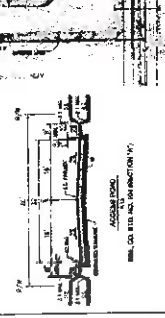
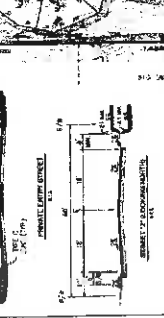
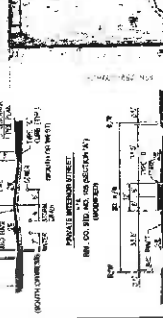
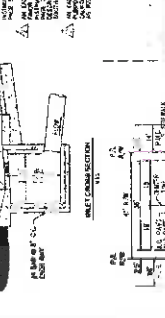
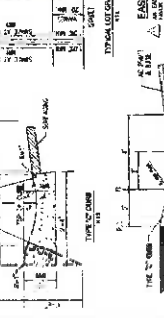
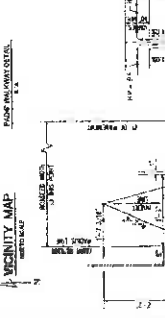
BEING CHAINED:
THE CHAINING WAS DONE BY THE SURVEYOR IN ACCORDANCE WITH THE SURVEYING ACTS OF CALIFORNIA.

COMMENTS:
THIS TRACT MAP IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, AND THE STATE OF CALIFORNIA.

PLANS:
1. PLAN OF THE TRACT MAP
2. PLAN OF THE ALLEYS
3. PLAN OF THE DRIVES
4. PLAN OF THE ROADS
5. PLAN OF THE RAILROADS
6. PLAN OF THE CANALS
7. PLAN OF THE STREAMS
8. PLAN OF THE FENCES
9. PLAN OF THE UTILITIES
10. PLAN OF THE EASEMENTS

ADDITIONAL NOTES:
1. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, AND THE STATE OF CALIFORNIA.
2. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE EASEMENTS, RIGHTS-OF-WAY, AND OTHER INTERESTS.
3. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE RECORDS AND DOCUMENTS ON FILE WITH THE COUNTY CLERK OF RIVERSIDE, CALIFORNIA.

AMENDMENT NO. 1



AMENDMENT NO. 1

BASES OF BEARING:
THE BEARING ON THE BOUNDARIES OF THE TRACT MAP IS BASED ON THE SURVEY OF THE BOUNDARIES OF THE TRACT MAP.

BEING CHAINED:
THE CHAINING WAS DONE BY THE SURVEYOR IN ACCORDANCE WITH THE SURVEYING ACTS OF CALIFORNIA.

COMMENTS:
THIS TRACT MAP IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, AND THE STATE OF CALIFORNIA.

PLANS:
1. PLAN OF THE TRACT MAP
2. PLAN OF THE ALLEYS
3. PLAN OF THE DRIVES
4. PLAN OF THE ROADS
5. PLAN OF THE RAILROADS
6. PLAN OF THE CANALS
7. PLAN OF THE STREAMS
8. PLAN OF THE FENCES
9. PLAN OF THE UTILITIES
10. PLAN OF THE EASEMENTS

ADDITIONAL NOTES:
1. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, AND THE STATE OF CALIFORNIA.
2. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE EASEMENTS, RIGHTS-OF-WAY, AND OTHER INTERESTS.
3. THE TRACT MAP IS SUBJECT TO ALL APPLICABLE RECORDS AND DOCUMENTS ON FILE WITH THE COUNTY CLERK OF RIVERSIDE, CALIFORNIA.

AMENDMENT NO. 1


Extension of Time Environmental Determination

Project Case Number: TR34556
 Original E.A. Number: EA40684
 Extension of Time No.: First
 Original Approval Date: October 2, 2007
 Project Location: North of 60th Avenue, South of 58th Avenue, East of Van Buren Street, West of Harrison Street.

Project Description: Schedule A - The land division hereby permitted is to divide approximately 164 acres into 301 residential lots with private streets and recreational amenities including internal and perimeter trails and approximately 62 acres of common open space located within Assessors Parcel Numbers 759-090-001, 002, 003 etc.

On October 2, 2007, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL .
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME .

Signature: 
 Ash Syed, Planner

Date: August 28, 2017
 Charissa Leach, P.E. Assistant TLMA Director

Syed, Ashiq

From: John Romero <john@rmcreloans.com>
Sent: Monday, August 28, 2017 10:00 AM
To: Syed, Ashiq
Subject: RE: Recommended Conditions of Approval for 1st EOT of TR34556

Good morning Ash,

As the Extension of Time applicant for case #TR34566, I accept all of the Recommended Conditions of Approval listed below for the 1st Extension of Time.

50. E HEALTH. 5
50. TRANS. 55
60. BS GRADE. 10
60. TRANS. 8
80. TRANS. 6
90. BS GRADE. 3
90. TRANS. 14

Please contact me if you need any other actions from me to proceed with the submission of the Extension of Time for the September 20th Planning Commission Hearing.

I appreciate your assistance in helping obtain this 1st of 5 extensions available to case #TR34566.

Sincerely,

John Romero
Van Buren Estates Lenders, LLC

From: Syed, Ashiq [mailto:ASyed@rivco.org]
Sent: Monday, August 28, 2017 8:19 AM
To: John Romero <john@rmcreloans.com>
Subject: RE: Recommended Conditions of Approval for 1st EOT of TR34556

Sure thing John,

After you accept these 7 general conditions of approval, I can submit the EOT for the September 20th Planning Commission Hearing.



Ash Syed – Planner
4080 Lemon Street, 12th Floor
Riverside, CA 92501

Email: asyed@rivco.org
Phone: 951-955-6035

From: John Romero [<mailto:john@rmcreloans.com>]
Sent: Thursday, August 24, 2017 2:44 PM
To: Syed, Ashiq <ASyed@rivco.org>
Subject: RE: Recommended Conditions of Approval for 1st EOT of TR34556

Hello Ashiq,

Thank you Ash for this email. I will comply promptly with your request to extend the Approval.

Thanks again.

John Romero
650-401-3235

From: Syed, Ashiq [<mailto:ASyed@rivco.org>]
Sent: Thursday, August 24, 2017 12:46 PM
To: John Romero <john@rmcreloans.com>
Subject: Recommended Conditions of Approval for 1st EOT of TR34556

Mr. Romero,

I am Ash Syed. I have been assigned to process your Extension of Time (EOT) request for TR34556. Attached are the recommended Conditions of Approval (COA).

Attn: John Romero
1419 Burlingame Avenue, Suite R
Burlingame, CA 94010

RE: FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 34556.

The County Planning Department has determined it necessary to recommend the addition of seven (7) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

Please review the proposed conditions of approval attached in this correspondence. If these conditions are acceptable, then submit a short written letter/memo/email that clearly references this case, the acceptance of each condition by name and number, and clearly state that you, the Extension of Time Applicant, accept these conditions. This documentation will then be included in the staff report package. The attached document is a copy of the recommended conditions which are identified as follows:

- 50. E HEALTH. 5
- 50. TRANS. 55
- 60. BS GRADE. 10
- 60. TRANS. 8
- 80. TRANS. 6
- 90. BS GRADE. 3
- 90. TRANS. 14

If the addition of the conditions is not acceptable, please notify me so we can discuss your concerns. If the issue cannot be resolved, then I will direct you to contact the individual Department representative to discuss this matter further.

Once the conditions have been accepted, I will begin preparing the staff report package for a Planning Commission hearing as a consent item. County Ordinance requires that conditions added thru the extension of time process are presented to and accepted by the applicant. If you, the EOT applicant, is unable to accept these conditions, the Planning Department will recommend denial of this extension of time request. An opportunity will, if requested, be provided for arguments to be made to the hearing body justifying why this request should be approved without the recommended conditions of approval.

I am eager to move this case forward and continue the extension of time process. If you have not contacted me within thirty (30) days, I will begin preparing this case with a recommendation of denial. I need one of two items to proceed:

- 1) Correspondence from you, the EOT applicant, accepting the recommended conditions per the directions provided above; or,
- 2) Correspondence from you, the EOT applicant, advising me of the concerns with the recommended conditions. If the concern still exists after our discussion, then direction on how to approach the issue will be given and additional time will be provided until the issue is resolved.

If you have any questions, comments, or concerns regarding this email, please feel free to contact me as indicated below.



Ash Syed – Planner
4080 Lemon Street, 12th Floor
Riverside, CA 92501
Email: asyed@rivco.org
Phone: 951-955-6035

Confidentiality Disclaimer

This email is confidential and intended solely for the use of the individual(s) to whom it is addressed. The information contained in this message may be privileged and confidential and protected from disclosure. If you are not the author's intended recipient, be advised that you have received this email in error and that any use, dissemination, forwarding, printing, or copying of this email is strictly prohibited. If you have received this email in error please delete all copies, both electronic and printed, and contact the author immediately.

[County of Riverside California](#)

08/24/17
12:33

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

TRACT MAP Tract #: TR34556

Parcel: 759-090-003

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 5

EOT1 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 55

EOT1 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are

08/24/17
12:33

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

TRACT MAP Tract #: TR34556

Parcel: 759-090-003

50. PRIOR TO MAP RECORDATION

50.TRANS. 55

EOT1 - FINAL ACCESS AND MAINT (cont.)

RECOMMND

provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 10

EOT1 - REQ BMP SWPPP WQMP

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

08/24/17
12:33

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

TRACT MAP Tract #: TR34556

Parcel: 759-090-003

60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 8

EOT1 - FINAL WQMP FOR GRADING

RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

atersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 6

EOT1 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

08/24/17
12:33

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 4

TRACT MAP Tract #: TR34556

Parcel: 759-090-003

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 3 EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.
2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.
3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.
4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.
5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 14 EOT1 - WQMP COMP AND BNS REG

RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

08/24/17
12:33

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

TRACT MAP Tract #: TR34556

Parcel: 759-090-003

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 14

EOT1 - WQMP COMP AND BNS REG (cont.)

RECOMMND

established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

1.7

Agenda Item No.
Area Plan: The Pass
Zoning District: Cherry Valley
Supervisory District: Fifth
Project Planner: Ash Syed
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 33913
FIRST EXTENSION OF TIME
Applicant: Rafik Morgan



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow for the recordation of the final map: Schedule 'B' subdivision of 18.0 gross acres into 18 residential lots with a minimum lot size of one (1) gross acre.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 33913

BACKGROUND:

Tentative Tract Map No. 33913 was originally approved at Planning Commission on September 3, 2008. It proceeded to the Board of Supervisors and was received and filed on October 21, 2008.

The First Extension of Time was received August 16, 2017, ahead of the expiration date, September 3, 2017. The Applicant and the County negotiated conditions of approval and reached consensus on August 29, 2017.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant August 29, 2017 indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

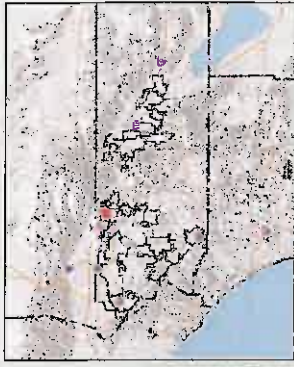
EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become September 3, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 33913, extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to September 3, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for TR33913 Vicinity Map



Legend

- City Boundaries
- Cities



0 1,376 2,751 Feet



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED CN... 8/22/2017 2:39:57 PM

© Riverside County RCIT GIS

Notes

TENTATIVE TRACT MAP NO. 33913

IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA BEING A SUBDIVISION OF PARCEL 2 AND PORTION OF PARCEL 4 OF PARCEL MAP NO. 12548 ON FILE IN BOOK 70, PAGE 108, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

PREPARED: DECEMBER 2007

PROPOSED STREET NAMES:

1. LOCATION VIEW SHOWN
2. STREET NAME
3. 100-FOOT WIDE

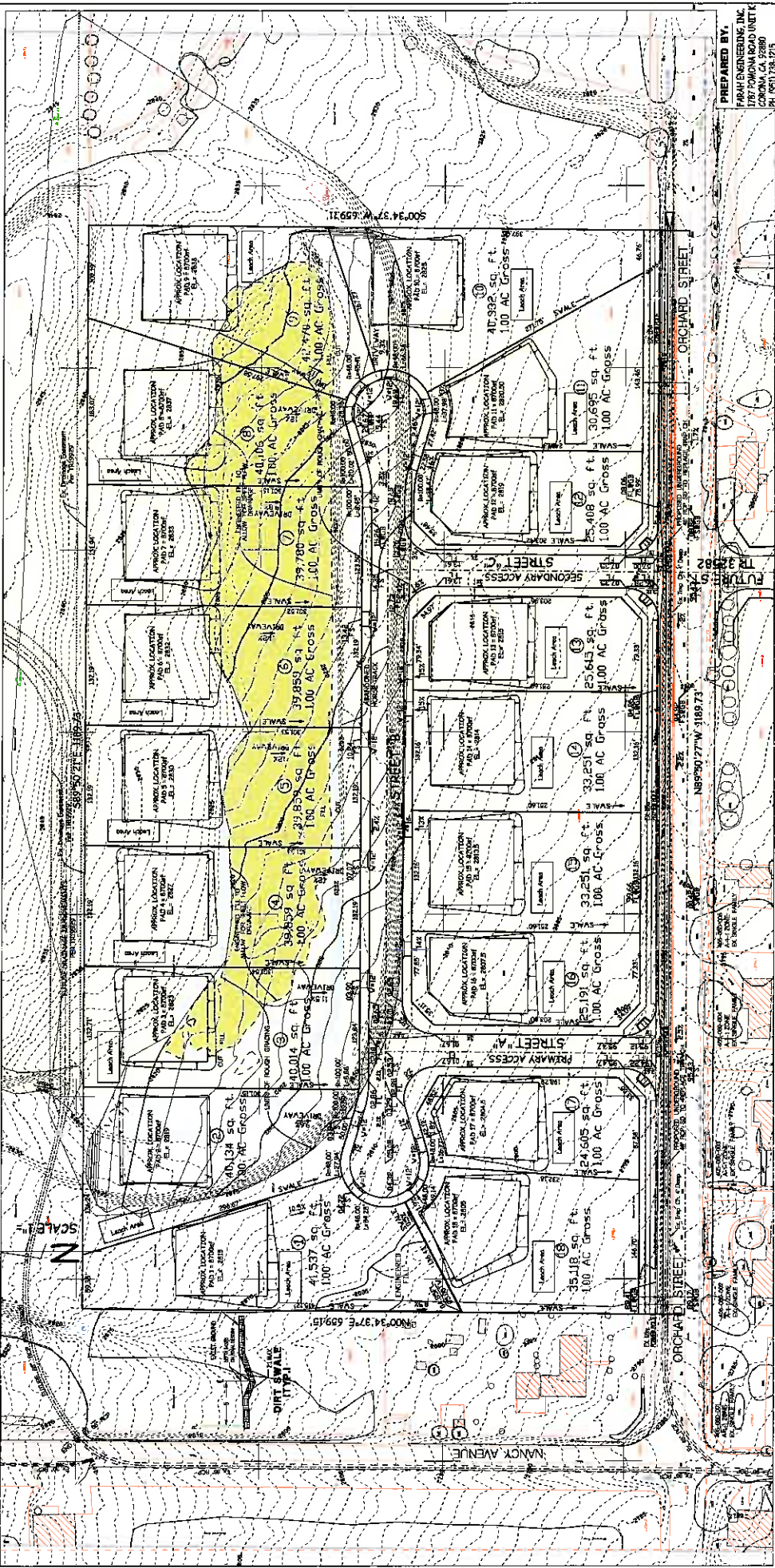
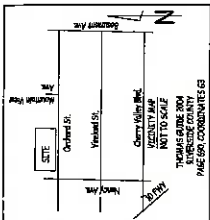
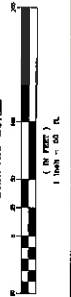
PROPOSED IMPROVEMENT SCHEDULE, B
TOTAL GROSS AREA
18.0 ACRES

UTILITY COMPANIES:

- ELECTRICITY: SOUTHERN CALIFORNIA Edison COMPANY
- WATER: SAN ANTONIO WATER DISTRICT
- SEWER: SAN ANTONIO WATER DISTRICT
- TELEPHONE: SBC COMMUNICATIONS
- CABLE TELEVISION: SBC COMMUNICATIONS
- POSTAL SERVICE: UNITED STATES POSTAL SERVICE

- ## NOTES:
1. PROPOSED IMPROVEMENT SCHEDULES
 2. THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE ENTIRE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
 3. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 4. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 5. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 6. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 7. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 8. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 9. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 10. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 11. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 12. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 13. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 14. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 15. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 16. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 17. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 18. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 19. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL
 20. THE ZONING AND PROPOSED LAND USE IS RESIDENTIAL

GRAPHIC SCALE



OWNER OF RECORD/APPLICANT:
MANTON GENERAL CORP. PARTNERS, INC.
7380 HWY III, SUITE #202
PALM BEACH, CA 92250
PH: (760) 940-2199 FAX: (760) 940-2175

REPRESENTATIVE: MR. DAVID MORAN
7380 HWY III, SUITE #202
PALM BEACH, CA 92250
PH: (760) 940-2199 FAX: (760) 940-2175

PREPARED BY:
FRANK ENGINEERS, INC.
1007 PASCADENA ROAD UNIT 1
CORONA, CA 92680
PH: (951) 338-2213

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE, PARCEL 2 AND PORTION OF PARCEL 4 OF PARCEL MAP NO. 12548 ON FILE IN BOOK 70, PAGE 108, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA. THIS MAP IS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION MAP ACT, CHAPTER 439, CIVIL CODE, CALIFORNIA, AND THE SUBDIVISION MAP ACT, CHAPTER 439, CIVIL CODE, CALIFORNIA. THIS MAP IS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION MAP ACT, CHAPTER 439, CIVIL CODE, CALIFORNIA. THIS MAP IS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION MAP ACT, CHAPTER 439, CIVIL CODE, CALIFORNIA.

BENCH MARK:
ELEV. = 81.936
BENCH MARK IS A CONCRETE MONUMENT WITH AN IRON ROD 1.00 METER LONG AND A DIAMETER OF 1.25 CM. IT IS LOCATED AT THE CORNER OF ORCHARD STREET AND NANCE AVENUE. THE BENCH MARK IS A CONCRETE MONUMENT WITH AN IRON ROD 1.00 METER LONG AND A DIAMETER OF 1.25 CM. IT IS LOCATED AT THE CORNER OF ORCHARD STREET AND NANCE AVENUE.

PROPOSED STREETS A, B, & C

PROPOSED STREETS A, B, & C

Extension of Time Environmental Determination

Project Case Number: TR33913

Original E.A. Number: EA41032

Extension of Time No.: FIRST

Original Approval Date: September 3, 2008

Project Location: North of Orchard Street, South of Passview Drive, East of Nancy Avenue, West of Mountain View Avenue.

Project Description: The land division hereby permitted is a Schedule 'B' subdivision of 18.0 gross acres into 18 residential lots with a minimum lot size of one (1) gross acre.

On September 3, 2008, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL .
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME .

Signature: 
Ash Syed, Planner

Date: August 29, 2017
Charissa Leach, P.E. Assistant TLMA Director

Syed, Ashiq

From: Rafik Morgan <rafikmorgan007@gmail.com>
Sent: Tuesday, August 29, 2017 1:24 PM
To: Syed, Ashiq
Subject: FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 33913

"RE: FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 33913

As the applicant for the above referenced case, I accept the 7 conditions stated in the attachment to your email dated August 22, 2017 summarized as follows:

50. E HEALTH. 2
51. TRANS. 37
52. BS GRADE. 14
53. TRANS. 1
54. TRANS. 1
55. BS GRADE. 3
56. TRANS. 10

Thanks

Rafik Morgan"

08/22/17
15:28

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

TRACT MAP Tract #: TR33913

Parcel: 407-110-034

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 2

EOT1 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.

2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.

3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 37

EOT1 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are

TRACT MAP Tract #: TR33913

Parcel: 407-110-034

50. PRIOR TO MAP RECORDATION

50.TRANS. 37 EOT1 - FINAL ACCESS AND MAINT (cont.) RECOMMND

provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 14 EOT1 - REQ BMP SWPPP WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR33913

Parcel: 407-110-034

60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 1 EOT1 - FINAL WQMP FOR GRADING

RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

atersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1 EOT1 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

08/22/17
15:28

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 4

TRACT MAP Tract #: TR33913

Parcel: 407-110-034

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 3 EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.

2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 10 EOT1 - WQMP COMP AND BNS REG

RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

08/22/17
15:28

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

TRACT MAP Tract #: TR33913

Parcel: 407-110-034

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 10

EOT1 - WQMP COMP AND BNS REG (cont.)

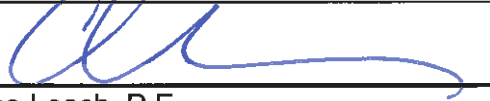
RECOMMND

established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

Agenda Item No.
Area Plan: Southwest
Zoning Area: Rancho California
Supervisory District: Third
Project Planner: Ash Syed
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 32778
FIRST EXTENSION OF TIME
Applicant: Jennell Lawrence



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow for the recordation of the final map: Schedule A: The land division hereby permitted is to subdivide 20.42 acres into 44 single family residential lots with a minimum lot size of 7,211 square feet and five open space lots for drainage, water quality, and natural open space.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 32778

BACKGROUND:

Tentative Tract Map No. 32778 was originally approved at Planning Commission on July 25, 2007. It proceeded to the Board of Supervisors along with Change of Zone No. 7042 where both applications were approved on October 2, 2007.

A Minor Change to Tentative Tract Map No. 32778 was applied for on May 2, 2008, however it is currently on hold due to outstanding fees.

The First Extension of Time was received August 14, 2017, ahead of the expiration date, October 2, 2017. The Applicant and the County negotiated conditions of approval and reached consensus on August 23, 2017.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant on August 23, 2017 indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

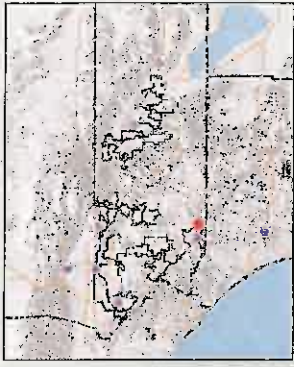
EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become October 2, 2018. If a final map has not been recorded prior this date, a second extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 32778, extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to October 2, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.

1st EOT for TR32778 Vicinity Map



Legend

-  City Boundaries
-  Cities



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 8/22/2017 4:05:16 PM

© Riverside County RCIT GIS

Notes


Extension of Time Environmental Determination

Project Case Number: TR32778
 Original E.A. Number: EA39781
 Extension of Time No.: First
 Original Approval Date: October 2, 2007
 Project Location: Southeast of Anz Road, Southwest of El Mirador Court.

Project Description: Schedule A: The land division hereby permitted is to subdivide 20.42 acres into 44 single family residential lots with a minimum lot size of 7,211 square feet and five open space lots for drainage, water quality, and natural open space.

On October 2, 2007, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME , because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL .
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME .

Signature: 
 Ash Syed, Planner

Date: August 25, 2017
 Charissa Leach, P.E. Assistant TLMA Director



THE RANCON GROUP

41391 Kalmia Street, Suite 200 • Murrieta, CA 92562 Tel: 951.696.0600 Fax: 951.834.9801 www.rancongroup.com

August 23, 2017

To: Ash Syed

From: Dan Long

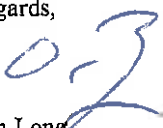
Re: Acceptance of EOT-1 Conditions of Approval for CASE TR32778

Mr. Syed:

I am the applicant for the EOT Case TR32778. I accept the following conditions of approval associated with this Extension of Time Request.

1. **Prior to Map Recordation**
50-E-HEALTH.4 – EOT1-REQ HEALTH DOCUMENTS
50-TRANS.40 – EOT1- FINAL ACCESS AND MAINT
2. **Prior to Grading Permit Issuance**
60-BS-GRADE.14 – EOT1 – REQ BMP SWPPP WQMP
60-BS-TRANS.1 – EOT1- FINAL WQMP FOR GRADING
3. **Prior to Building Permit Issuance**
80.TRANS.4 – EOT1 – WQMP AND MAINTENANCE
4. **Prior to Building Final Inspection**
90.BS GRADE.3 – EOT1 – WQMP REQUIRED
90.TRANS.8 – EOT1 – WQMP COMP AND BNS REG

Regards,


Dan Long

TRACT MAP Tract #: TR32778

Parcel: 952-250-005

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 4

EOT1 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 40

EOT1 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are

TRACT MAP Tract #: TR32778

Parcel: 952-250-005

50. PRIOR TO MAP RECORDATION

50.TRANS. 40 EOT1 - FINAL ACCESS AND MAINT (cont.) RECOMMND

provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 14 EOT1 - REQ BMP SWPPP WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR32778

Parcel: 952-250-005

60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 1 EOT1 - FINAL WQMP FOR GRADING

RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

atersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 4 EOT1 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR32778

Parcel: 952-250-005

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90 BS GRADE. 3

*EOT1 - WQMP REQUIRED

RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.
2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.
3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.
4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.
5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 8

EOT1 - WQMP COMP AND BNS REG

RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

08/22/17
16:42

Riverside County LMS
CONDITIONS OF APPROVAL

TRACT MAP Tract #: TR32778

Parcel: 952-250-005

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 8 EOT1 - WQMP COMP AND BNS REG (cont.) RECOMMND

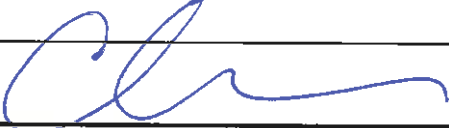
established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

1.9

Agenda Item No.
Area Plan: Temescal Canyon
Zoning Area: Glen Ivy
Supervisory District: First
Project Planner: Ash Syed
Planning Commission Hearing: September 20, 2017

TENTATIVE TRACT MAP NO. 33688
SECOND EXTENSION OF TIME
Applicant: James Rapp



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT EXTENSION OF TIME STAFF REPORT

The applicant of the subject case has requested an extension of time to allow for the recordation of the final map: Schedule "A" - subdivision of 48.6 acres to be subdivided into 54 single-family residential lots.

Unless specifically requested by the applicant, this request will not be discussed at the time it is presented to the Planning Commission as a consent calendar item.

CEQA: The subject case has conformed to the requirements of the California Environmental Quality Act, and all impacts have been analyzed in order to protect the public health, safety and welfare. No new environmental documentation is required prior to the extension of time.

GENERAL PLAN: Unless otherwise noted, the subject case had been determined to be consistent with the General Plan and all of its elements.

REQUEST:

SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP NO. 33688

BACKGROUND:

Tentative Tract Map No. 33688 was originally approved at Planning Commission on October 1, 2008. It proceeded to the Board of Supervisors along with Change of Zone No. 7258 where both applications were approved on September 1, 2009.

A revision to Tentative Tract Map No. 33688 was originally approved at Planning Commission on April 19, 2017. It was approved at the Board of Supervisors on June 6, 2017.

The First Extension of Time for Tentative Tract Map No. 33688 was approved at Planning Commission on October 19, 2016.

The Second Extension of Time was received August 15, 2017, ahead of the expiration date, September 1, 2017. The Applicant and the County negotiated conditions of approval and reached consensus on August 30, 2017.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public.

The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant, August 30, 2017 indicating the acceptance of the seven (7) recommended conditions.

FURTHER PLANNING CONSIDERATIONS:

EFFECT OF Senate Bill No. 1185 (SB1185): On July 15, 2008, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 12 month extension on previously approved subdivision maps set to expire between July 15, 2008 and January 1, 2011.

EFFECT OF Assembly Bill No. 333 (AB333): On July 15, 2009, AB333 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 15, 2009 and January 1, 2012.

EFFECT OF Assembly Bill No. 208 (AB208): On July 13, 2011, AB208 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between July 13, 2011 and January 1, 2014.

EFFECT OF Assembly Bill No. 116 (AB116): On July 11, 2013, AB116 was signed into law, which grants a one-time extension of existing subdivision maps so developers can build immediately when the demand for housing goes up. It gives developers an automatic 24 month extension on previously approved subdivision maps set to expire between January 1, 2000 and July 11, 2013.

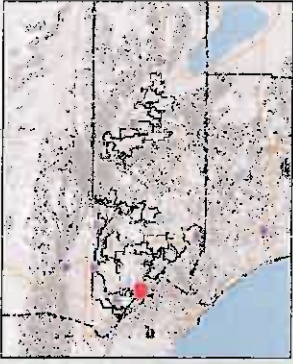
Therefore, upon an approval action by the Planning Commission, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, the tentative map's expiration date will become September 1, 2018. If a final map has not been recorded prior this date, a third extension of time request must be filed 180 days prior to map expiration.

RECOMMENDATION:

APPROVAL of the **SECOND EXTENSION OF TIME REQUEST for **TENTATIVE TRACT MAP NO. 33688**, extending the expiration date and to reflect SB1185, AB333, AB208, and AB116 benefits to September 1, 2018, subject to all the previously approved and amended Conditions of Approval with the applicant's consent.**

2nd EOT for TR33688

Vicinity Map



Legend

-  City Boundaries
-  Cities

Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON: 8/28/2017 2:34:34 PM
© Riverside County RCIT GIS



0 2,683 5,367 Feet



Extension of Time Environmental Determination

Project Case Number: TR33688
Original E.A. Number: EA40576
Extension of Time No.: Second
Original Approval Date: September 1, 2009
Project Location: North of Hunt Road, South of Stone Canyon Drive, East of Knabe Street, West of I-15.

Project Description: The land division hereby permitted is for a Schedule "A" subdivision of 48.6 acres to be subdivided into 54 single-family residential lots.

On September 1, 2009, this Tentative Tract Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL.
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME.

Signature: 
Ash Syed, Planner

Date: August 30, 2017
Charissa Leach, P.E. Assistant TLMA Director

Syed, Ashiq

From: jim rapp <jimrapp@rocketmail.com>
Sent: Wednesday, August 30, 2017 7:37 AM
To: Syed, Ashiq
Cc: dave4dj; Walt Cormey; Ron Walecki; Ian T. Sinderhoff
Subject: TR33688 added conditions below- we accept and agree

We accept and agree to the below added conditions for TR33688

James Rapp

Syed, Ashiq

From: Syed, Ashiq
Sent: Tuesday, August 29, 2017 8:29 AM
To: 'jimrapp@rocketmail.com'
Cc: dave4djc
Subject: Recommended Conditions of Approval for 2nd EOT of TR33688
Attachments: 2nd EOT TR33688 E-mail COA.pdf

Mr. Rapp,

I am Ash Syed. I have been assigned to process your Extension of Time (EOT) request for TR33688. Attached are the recommended Conditions of Approval (COA).

Attn: James Rapp
2221 Windsong Court
Safety Harbor, FL 34695

RE: SECOND EXTENSION OF TIME REQUEST for TENTATIVE TRACT MAP No. 33688.

The County Planning Department has determined it necessary to recommend the addition of seven (7) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

Please review the proposed conditions of approval attached in this correspondence. If these conditions are acceptable, then submit a short written letter/memo/email that clearly references this case, the acceptance of each condition by name and number, and clearly state that you, the Extension of Time Applicant, accept these conditions. This documentation will then be included in the staff report package. The attached document is a copy of the recommended conditions which are identified as follows:

50. E HEALTH. 9
50. TRANS. 43
60. BS GRADE. 15
60. TRANS. 1
80. TRANS. 3
90. BS GRADE. 9
90. TRANS. 11

If the addition of the conditions is not acceptable, please notify me so we can discuss your concerns. If the issue cannot be resolved, then I will direct you to contact the individual Department representative to discuss this matter further.

Once the conditions have been accepted, I will begin preparing the staff report package for a Planning Commission hearing as a consent item. County Ordinance requires that conditions added thru the extension of time process are presented to and accepted by the applicant. If you, the EOT applicant, is unable to accept these conditions, the Planning Department will recommend denial of this extension of time request. An opportunity will, if requested, be provided for arguments to be made to the hearing body justifying why this request should be approved without the recommended conditions of approval.

I am eager to move this case forward and continue the extension of time process. If you have not contacted me within thirty (30) days, I will begin preparing this case with a recommendation of denial. I need one of two items to proceed:

- 1) Correspondence from you, the EOT applicant, accepting the recommended conditions per the directions provided above; or,
- 2) Correspondence from you, the EOT applicant, advising me of the concerns with the recommended conditions. If the concern still exists after our discussion, then direction on how to approach the issue will be given and additional time will be provided until the issue is resolved.

If you have any questions, comments, or concerns regarding this email, please feel free to contact me as indicated below.



Ash Syed
Environmental Planner
4080 Lemon Street, 12th Floor
Riverside, CA 92501
Email: asyed@rivco.org
Phone: 951-955-6035

TRACT MAP Tract #: TR33688

Parcel: 283-140-010

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 39

EOT2 - REQ E HEALTH DOCUMENTS

RECOMMND

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

50.TRANS. 43

EOT2 - FINAL ACCESS AND MAINT

RECOMMND

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are

TRACT MAP Tract #: TR33688

Parcel: 283-140-010

50. PRIOR TO MAP RECORDATION

50.TRANS. 43 EOT2 - FINAL ACCESS AND MAINT (cont.) RECOMMND

provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 15 EOT2 - REQ BMP SWPPP WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on the grading plan.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR33688

Parcel: 283-140-010

60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 1 EOT2 - FINAL WQMP FOR GRADING

RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

atersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 3 EOT2 -WQMP AND MAINTENANCE

RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRACT MAP Tract #: TR33688

Parcel: 283-140-010

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 9 EOT2 - WQMP REQUIRED RECOMMND

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.
2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.
3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.
4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.
5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

TRANS DEPARTMENT

90.TRANS. 11 EOT2 - WQMP COMP AND BNS REG RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are

08/29/17
08:13

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 5

TRACT MAP Tract #: TR33688

Parcel: 283-140-010

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 11

EOT2 - WQMP COMP AND BNS REG (cont.)

RECOMMND

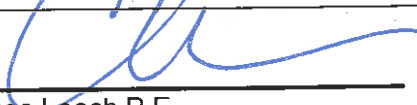
established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

3.1

Agenda Item No.:
Area Plan: All
Zoning: All
Supervisory District: All
Project Planner: Peter Hersh
Planning Commission: September 20, 2017
Continued From: September 6, 2017

General Plan Amendment No. 1218, 2017 Mid-Cycle Housing Element Update (Entitlement/Policy Amendment)
CEQA Exempt
Applicant: County of Riverside
Consultant: Michael Baker International



Charissa Leach P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION:

The 2017 Mid-Cycle Housing Element Update (General Plan Amendment No. 1218) includes limited changes to the 2013-2021 Housing Element adopted on December 6, 2016. Because the 2013-2021 Housing Element was recently adopted, the focus of the 2017 Mid-Cycle Housing Element Update ("Update" or "GPA No. 1218") is on providing information and data in the Housing Element tables where current information is available, and in the accompanying text, as needed, including a status update of implementing the Eight Year Action Plan. No land use, program, or housing needs strategy modifications are being considered at this time within the context of this limited scope. A technical component of GPA No. 1218 is the proposed removal of the Eight Year Action Plan from General Plan Appendix K.

PROJECT LOCATION:

The Riverside County General Plan Housing Element applies to the unincorporated areas of Riverside County.

BACKGROUND:

Government Code Section 65581 requires every city and county to prepare a Housing Element as part of its General Plan. These Housing Elements are reviewed by the California Department of Housing and Community Development (HCD) for compliance with State housing element law. Government Code Section 65583 requires jurisdictions to identify adequate sites to address their very low, low, moderate, and above moderate income housing needs for all economic segments of the community based on their Regional Housing Needs Allocation (RHNA).

General Plan Amendment No. 1122

The County adopted the Fifth Cycle 2013-2021 Housing Element on December 6, 2016 pursuant to Government Code Section 65588 as constituting the "fifth revision of the housing element". That effort was a comprehensive update pursuant to State housing element law primarily to address the RHNA allocation which consists of a formulaic allocation of housing, with emphasis on affordable housing, representing a collaborative effort between the County and the Southern California Association of Governments to identify the county's housing need. The planning process associated with the 2013-2021 Housing Element included an inventory of suitable sites, community outreach efforts, and drafting policies

specific to each unique community for the purpose of determining the current and future housing needs of all income groups and formulating goals, policies and programs to address those needs.

On April 27, 2017, HCD determined that the 2013-2021 Housing Element “meets the statutory requirements of State housing element law.” However, HCD’s letter noted that because the Government Code Section 65588(e)(4) deadline for approval of the 2013-2021 Housing Element within 120 days of October 13, 2013 was not met, the County would be required to “revise its next element by October 15, 2017.”

General Plan Amendment No. 1218

Pursuant to Government Code Section 65588(e)(4) the County is now undertaking a limited scope 2017 Mid-Cycle Housing Element Update without proposing any land use, program, or strategic direction modifications. The Update is limited to the evaluation of the various components of the 2013-2021 Housing Element’s Eight Year Action Plan (Attachment B). Additionally, tables and related text in the draft Update have been edited primarily in response to demographic information made available by the 2010-2014 American Community Survey (ACS). The ACS is compiled by the US Census Bureau. The updated tables are listed in Attachment C.

Pursuant to state law, the Update was provided to HCD on June 17, 2017 for a 60-day review. On August 29, 2017, HCD concluded via letter that the “draft element meets the statutory requirements of state housing element law” (Attachment D). HCD reviewed the Update consisting primarily of Attachments B and C, as discussed above. HCD requested a number of additional modifications which are summarized below.

- Clarifying changes to evaluations associated with Eight Year Action Plan action items 1.1g, 1.3d, 2.1h, 3.3a.
- Clarifying changes to Eight Year Action Plan action items 1.1i, 1.3d, 1.5b, 2.1d, 3.3a, 3.5b, and 4.1b.
- Addition of date headings to Table H-37, H-38, H-39, H-40, H-41, H-42, H-43, and H-44.
- Clarification of compliance with the RHNA on page H-73.
- Clarification of compliance with state law affecting the construction of second units on single family lots on pages H-116 and H-117.

The additional HCD-requested modifications are provided in Attachment E to this staff report.

A technical component of GPA No. 1218 is the proposed removal of the Eight Year Action Plan from General Plan Appendix K. This appendix is a compendium of implementing actions from the various general plan elements. So as to avoid confusion in the future with the Eight Year Action Plan appearing in two places in the General Plan and, therefore, presenting a need to change the same information in two different locations, staff is proposing removal of the Eight Year Action Plan from Appendix K. Nevertheless, the Eight Year Action Plan will remain as a critical component of the Housing Element.

NOTIFICATION AND PUBLIC OUTREACH:

Public Hearing

Pursuant to the County’s Land Use Ordinance (Ordinance No. 348), a newspaper notice of this public hearing was posted as required by Section 1.6 of Ordinance No. 348. The public hearing notice was

General Plan Amendment No. 1218, 2017 Mid-Cycle Housing Element Update (Entitlement/Policy Amendment)

Planning Commission Staff Report: (September 20, 2017)

Page 3 of 6

published in the Desert Sun, Press Enterprise, and Unidos (Spanish translation of notice) newspapers. Additionally, this notice was mailed to the interest groups which participated in the preparation of the 2013-2021 Housing Element adopted on December 6, 2016. The notice was also mailed to the Pechanga Band of Luiseño Mission Indians which had requested a consultation in response to the proposed draft Update.

It should be noted that this public hearing was initially noticed for the September 6, 2017 Planning Commission hearing. Because of an administrative error with noticing, the public hearing was re-noticed for this date, September 20, 2017, and was continued to this date from September 6, 2017 without discussion on the latter date.

Community and Interest Group Outreach

The draft Update was posted on <http://planning.rctlma.org/AdvancedPlanning/2017Mid-CycleHousingElementUpdate.aspx>, the Housing Element web page on the County Planning Department web site, on June 12, 2017. Notification of draft Update availability was mailed to the above interest groups on June 9, 2017. Additionally, hard copies of the draft Update were provided to the Planning Department public information counters in Riverside and Palm Desert as well as to the main libraries in the City of Riverside and City of Palm Springs.

TRIBAL CONSULTATION:

State law requires that an opportunity for consultation be made available to Native American tribes in the County when the County is considering a general plan amendment and a CEQA project compliance document, Senate Bill (SB) 18 and Assembly Bill (AB) 52, respectively. An SB 18 mailed notice was sent to the tribes on March 31, 2017. The notice explained that the County was processing a Mid-Cycle Housing Element update which did not propose land use changes. No notification was provided pursuant to AB 52 because the Update is exempt from CEQA and AB 52 consultation is only required when an environmental impact report, mitigated negative declaration or a negative declaration is prepared for a project.

In response to the SB 18 notice, the County received the attached letter from the Pechanga Band of Luiseño Mission Indians (Attachment F) requesting consultation. The County responded by explaining that GPA No. 1218 is only updating texts and tables, and there are no changes to land uses which could otherwise affect tribal lands or tribal cultural resource sites.

AIRPORT LAND USE COMMISSION (ALUC):

Public Utilities Code Section 21676 requires review of proposed general plan amendments for consistency with the airport land use compatibility plan. On August 3, 2017 ALUC determined that the proposed GPA No. 1218 will not "increase density of residential use or introduce new uses within any zoning classification. Therefore, this amendment has no possibility for having an impact on the safety of air navigation within airport influence areas located within unincorporated Riverside County." ALUC concluded that the proposed GPA No. 1218 is "consistent with the 2004 Riverside County Airport Land Use Compatibility Plan and all other applicable adopted Airport Land Use Compatibility Plans."

COMMENT LETTER FROM LEADERSHIP COUNSEL FOR JUSTICE & ACCOUNTABILITY:

In response to notification that the Update was available for review and comment, the Leadership Counsel for Justice & Accountability submitted the attached July 19, 2017 letter (Attachment G) indicating that the

County must complete a comprehensive update to its Housing Element. The attached response to this letter provides that the County will be undertaking a limited scope update at this time with the requested comprehensive update to be undertaken in association with the 2021-2029 Housing Element.

GENERAL PLAN AMENDMENT FINDINGS:

GPA No. 1218 is an Entitlement/Policy Amendment. Therefore, the following findings are required by Section 2.4.C.2. of the Riverside County Land Use Ordinance (Ordinance No. 348):

1. The proposed change does not involve a change in or conflict with:
 - a. The Riverside County Vision.
 - i. The Riverside County General Plan Vision discusses fundamental values, which include housing. Specifically, the County's housing value identifies that the County acknowledges "shelter as one of the most basic community needs and value the willingness of our communities and their leaders to accept housing for our growing population in our communities, particularly with respect to the ongoing shortage of affordable housing and its negative impacts on our communities". The County's values drive the County's vision, and the Housing Element's goals, policy, and actions facilitate the implementation of the County's housing vision. Updating the Housing Element implements the County Vision. Therefore, the Mid-Cycle update does not involve a change in or conflict with the County Vision relative to meeting housing needs.
 - b. Any General Planning Principles set forth in General Plan Appendix B: The Mid-Cycle update does not change or conflict with any General Planning Principles.
 - i. Principle I.D.1 provides, "The Housing Element should be revised to adopt policies that address the real-world projections of overall housing growth and demands for housing of varied type, style, price, and density, while encouraging a wide range of choices and opportunities within the framework of the larger economy and the realities of the marketplace." The Mid-Cycle Housing Element update's limited scope changes maintain these objectives because no land use, program, or strategic direction modifications are being proposed which otherwise could result in change or conflict with this General Planning Principle.
 - c. Any Foundational Component designation in the General Plan: The Mid-Cycle update does not conflict with any foundation component designation because no foundation component changes are proposed.
2. The proposed amendment would either contribute to the purposes of the General Plan or, at a minimum, would not be detrimental to them.
 - a. This limited scope update provides current information on the status of implementing the Housing Element's Eight Year Action Plan and brings demographics information current based on the 2010-2014 ACS and other relevant sources. Within the context of a limited scope update, the essence of which is to provide the decision-maker and the public with more current information without affecting land use, program, or strategic direction changes, such an effort contributes to the purposes of the General Plan which is to inform the public of the County's planning efforts.

3. An amendment is required to comply with an update of the Housing Element or change in State Housing Element Law.
 - a. The County adopted the Fifth Cycle 2013-2021 Housing Element on December 6, 2016 pursuant to Government Code Section 65588, constituting the “fifth revision of the housing element.” On April 27, 2017, HCD determined that the 2013-2021 Housing Element “meets the statutory requirements of State housing element law.” However, HCD’s letter noted that because the Government Code Section 65588(e)(4) deadline for approval of the 2013-2021 Housing Element within 120 days of October 13, 2013 was not met, the County would be required to “revise its next element by October 15, 2017.” Therefore, pursuant to Government Code Section 65588(e)(4), the County is now undertaking the 2017 Mid-Cycle Housing Element Update as a limited scope update without any land use, program, or strategic direction changes to comply with the requirement to update the Housing Element pursuant to the State’s housing element law.

CEQA COMPLIANCE:

The Update does not propose any land use, programmatic or strategic direction changes. It only changes the Housing Element by updating tables and text with more current demographic information and updating the implementation status of the Eight Year Action Plan. No development or earth disturbing activities are approved with the adoption of GPA No. 1218. Therefore, the Update is exempt from CEQA pursuant to State CEQA Guidelines Section 15061(b)(3) because it can be seen with certainty that there is no possibility that GPA No. 1218 may have a significant effect on the environment.

STAFF RECOMMENDATIONS:

ADOPT PLANNING COMMISSION RESOLUTION NO. 2017-008 (Attachment H) recommending adoption of General Plan Amendment No. 1218 to the Riverside County Board of Supervisors.

RECOMMEND THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:

FIND General Plan Amendment No. 1218 exempt from CEQA pursuant to State CEQA Guidelines Section 15061(b)(3) because it can be seen with certainty that there is no possibility that GPA No. 1218 may have a significant effect on the environment; and,

TENTATIVELY APPROVE GENERAL PLAN AMENDMENT NO. 1218, an Entitlement/Policy Amendment, which updates current information and data in the Housing Element tables and the Eight Year Action Plan as reflected in Attachments B, C and E, respectively, and removes the Eight Year Action Plan from General Plan Appendix K, based upon the findings and conclusions incorporated in the staff report, and subject to a resolution of adoption by the Board of Supervisors.

General Plan Amendment No. 1218, 2017 Mid-Cycle Housing Element Update (Entitlement/Policy Amendment)

Planning Commission Staff Report: (September 20, 2017)

Page 6 of 6

ATTACHMENTS (on CD):

- Attachment A: Draft 2017-2021 Housing Element**
- Attachment B: Housing Element Eight Year Action Plan Update**
- Attachment C: Housing Element Table Updates**
- Attachment D: August 29, 2017 Letter from HCD**
- Attachment E: HCD Requested Modifications**
- Attachment F: Letter from Pechanga Band of Luiseno Mission Indians and Response**
- Attachment G: Letter from Leadership Counsel for Justice & Accountability and Response**
- Attachment H: Planning Commission Resolution No. 2017-008**

Y:\Planning Case Files-Riverside office\GPA01218\PC\PC 9.20.17\Mid-Cycle Update Housing Element Staff Report - PC 9.20.17 (final).docx

Date Prepared: 06/28/17

Date Revised: 09/6/17

CHAPTER 8 – HOUSING ELEMENT 2017 - 2021

Encouraging the development of diverse and distinct communities with a wide range of housing choices suitable for all residents.

Riverside County Strategic Plan



RIVERSIDE COUNTY
PLANNING DEPARTMENT

TABLE OF CONTENTS
Chapter 8: Housing Element

INTRODUCTION.....H-1

- CONSISTENCY WITH STATE PLANNING LAW H-1
- HOUSING ELEMENT REQUIREMENTS H-2
- CITIZEN PARTICIPATION..... H-2
- GENERAL PLAN CONSISTENCY..... H-2
- HOUSING ELEMENT ORGANIZATION..... H-3
- SUMMARY AND CONCLUSIONS: HOUSING NEEDS H-3

EVALUATION OF THE PREVIOUS HOUSING ELEMENT.....H-6

- PROGRESS IN IMPLEMENTING THE PAST ELEMENT GOALS AND OBJECTIVES H-6

COMMUNITY PROFILEH-35

- DATA SOURCES H-35
- DEMOGRAPHIC TRENDS H-36
- EMPLOYMENT TRENDS H-39
- HOUSEHOLD CHARACTERISTICS H-43
- HOUSING STOCK CHARACTERISTICS H-49
- SPECIAL NEEDS GROUPS H-57
- PRESERVATION OF ASSISTED UNITS AT RISK OF CONVERSION H-65

HOUSING RESOURCES.....H-71

- OVERVIEW OF THE REGIONAL HOUSING NEEDS ASSESSMENT H-71
- AVAILABILITY OF SITES FOR HOUSING H-74
- PROGRESS TOWARD MEETING THE RHNA H-103
- SPECIFIC PLANS IN THE COUNTY..... H-104

CONSTRAINTSH-108

- GOVERNMENTAL CONSTRAINTS H-108
- NON-GOVERNMENTAL CONSTRAINTS H-133

EIGHT-YEAR ACTION PLANH-148

- EIGHT-YEAR GOALS, POLICIES AND ACTIONS H-148
- IMPLEMENTING RESOURCES H-163
- QUANTIFIED OBJECTIVES..... H-181

APPENDIX

- Appendix P-1a – Area Plan Maps
- Appendix P-1b – Additional Sites Inventory
- Appendix P-1c – Citizen Participation

LIST OF TABLES

Table H-1 Regional Population Growth Trends, 2000–2016 H-36

Table H-2 County/City Population Growth Trends, 2000–2016 H-36

Table H-3 Population, Households, and Employment Distribution, 2014 H-37

Table H-4 Age Distribution 2010–2016 H-39

Table H-5 Employment by Industry, 2009–2014 H-40

Table H-6 Employment Trends by Industry, 2010–2020 H-41

Table H-7 Riverside County Largest Employers H-42

Table H-8 Job-Household Ratios, Unincorporated Riverside County, 2010–2014 H-43

Table H-9 Household Characteristics 2014 H-43

Table H-10 Household Size Distribution 2010 H-44

Table H-11 Overcrowding, 2014 H-44

Table H-12 2016 Income Limits by Persons in Household H-45

Table H-13 Household Income, 2014 H-46

Table H-14 Percentage of Low-Income Households Overpaying for Housing H-48

Table H-15 Housing Cost as a Percentage of Household HH Income H-48

Table H-16 Housing Inventory by Type, 2014 H-50

Table H-17 Housing Inventory by Tenure, 2014 H-51

Table H-18 Age of Housing Stock H-52

Table H-19 Combined Housing Rehabilitation and Replacement Need H-53

Table H-20 Riverside County Sale Activity, December 2016 and 2015 H-54

Table H-21 Cost Comparison for New Manufactured Homes 2000–2007 H-55

Table H-22 Average Rents by Unit Type, 2016 H-56

Table H-23 Housing Affordability by Income Level H-56

Table H-24 Householders by Age and Tenure H-57

Table H-25 Disabilities Age 18+ H-59

Table H-26 Developmentally Disabled Residents, by Age H-60

Table H-27 Distribution of Unsheltered Homeless Population H-62

Table H-28 Homeless Shelter Resources, 2017 H-62

Table H-29 Farm Workers, 2013 H-64

Table H-30 Inventory of Assisted Units H-66

Table H-31 2014–2021 Regional Housing Needs Allocation Unincorporated County H-71

Table H-32 Unaccommodated Need from the 2006–2014 Planning Period H-72

Table H-33 4th and 5th Cycle RHNA to Accommodate H-72

Table H-34 Approved or Entitled Projects Prior to October 2014 H-73

Table H-35 Determining RHNA Shortfall H-73

Table H-36 Area Plan Capacity Summary H-76

Table H-37 Eastern Coachella Valley Area Plan H-77

Table H-38 Elsinore Area Plan H-83

Table H-39 Harvest Valley/Winchester Area Plan H-85

Table H-40 Highgrove Area Plan H-88

Table H-41 LaReview/Nuevo Area Plan H-90

Table H-42 Mead Valley Area Plan H-92

Table H-43 The Pass Area Plan H-93

Table H-44 Western Coachella Valley Area Plan H-97

Table H-45 Comparison of Regional Housing Need and Available Capacity H-104

Table H-46 Housing Potential of Specific Plans in Unincorporated Riverside County H-104

Table H-47 Land Use Designations Summary H-109

Table H-48 Summary of Residential Zoning Requirements H-115

Table H-49 Zoning Use Index Summary H-116

Table H-50 Residential Parking Requirements H-121

Table H-51 Density Bonus H-122

Table H-52 Representative Project Development Fees H-126

Table H-53 Other Mitigation Fees H-129

Table H-54 Developer Impact Fee Summary by Area Plan..... H-131

Table H-55 Local Development Processing Timelines H-132

Table H-56 Water and Sewer Providers, 2013 H-135

Table H-57 Water and Sewer Providers by Area Plan H-136

Table H-58 Energy Conservation Programs Summary H-146

Table H-59 Eight-Year Action Plan Summary..... H-149

Table H-60 Housing Resources Programs Summary..... H-164

Table H-61 Quantified Objectives 2014 – 2021 H-182



Chapter 8

Housing Element

Introduction

The Housing Element of the Riverside County (County) General Plan identifies and establishes the County’s policies with respect to meeting the needs of existing and future residents in Riverside County. It establishes policies that will guide County decision-making and sets forth an action plan to implement its housing goals over the next eight years. The commitments are in furtherance of the statewide housing goal of “early attainment of decent housing and a suitable living environment for every California family,” as well as a reflection of the concerns unique to Riverside County.

Consistency with State Planning Law

The Housing Element is one of the seven General Plan elements mandated by the state of California, as articulated in Sections 65580 to 65589.8 of the Government Code. State law requires that the Housing Element consist of “an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement and development of housing.” The residential character of the County is, to a large extent, determined by the variety, location, and maintenance of its housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population. It establishes policies that will guide County decision-making, and sets forth an action program to implement housing goals through 2021.

State law also requires that jurisdictions evaluate their Housing Elements every eight years to determine their effectiveness in achieving county and state housing goals and objectives, and to adopt an updated Housing Element that reflects the results of this evaluation. The 5th Cycle Housing Element statutory update in the Southern California Association of Governments (SCAG) region covers the planning period October 15, 2013, through October 15, 2021.

In 2013, Senate Bill (SB) 375 was amended with an emphasis on timely adoption of the Housing Element. If a jurisdiction subject to an eight-year planning period fails to adopt the element by the statutory due date and does not adopt the housing element within 120 days from the statutory due date, the jurisdiction must update and adopt the element at four-year intervals until at least two consecutive four-year updates have been adopted by the applicable due dates. Riverside County adopted its Housing Element in December 2016 and therefore is now on a four-year update cycle. The 5th Cycle Housing Element due date was October 15, 2013.

This Housing Element represents the County’s mid-cycle update, covering the 2014–2017 time frame. Once the County adopts the 2014–2017 mid-cycle update and submits the 6th Cycle Housing Element by the required due date, the County will return to an eight-year cycle.

Housing Element Requirements

Government Code Section 65583 requires the Housing Element to include the following components:

- A review of the previous element's goals, policies, programs, and objectives to ascertain the effectiveness of each of these components, as well as the overall effectiveness of the Housing Element.
- An assessment of housing needs and an inventory of resources and constraints related to meeting these needs.
- An analysis and program for preserving assisted housing developments.
- A statement of community goals, quantified objectives, and policies relative to the maintenance, preservation, improvement, and development of housing.
- A program which sets forth an eight-year planning period schedule of actions that the County is undertaking, or intends to undertake, in implementing the policies set forth in the Housing Element.

Citizen Participation

The California Government Code requires that local governments make diligent efforts to solicit public participation from all economic segments of the community, especially low-income persons, in the development of the Housing Element. During the preparation of the Housing Element updates, public input is actively encouraged in a variety of ways. Please refer to Appendix P-1c for all public participation efforts.

General Plan Consistency

The Housing Element of the General Plan is only one facet of a county's planning program. The California Government Code requires that General Plans contain an integrated, consistent set of goals and policies. The Housing Element is, therefore, affected by development policies contained in the Land Use Element, which establishes the location, type, intensity, and distribution of land uses throughout the County. The Circulation Element establishes policies for providing essential streets and roadways to all housing that is developed. The policies contained in other elements of the General Plan affect the quality of life that citizens expect.

This 2013–2021 Housing Element update was part of a larger County effort to update the entire General Plan. As stated above, it is imperative that all elements remain consistent with the General Plan. Concurrent with adopting the 2013-2021 Housing Element, amendments to the Land Use Element and Safety Element were also adopted to ensure internal consistency between General Plan Elements. In addition, as portions of the General Plan may be amended, the County periodically reviews the elements of the General Plan, including the Housing Element, to ensure internal consistency is maintained. Under state law, Housing Elements are to be reviewed and updated every eight years.

The General Plan update project, General Plan Amendment No. 960 (GPA No. 960), comprised a comprehensive review of necessary updates to the Riverside County General Plan's policies, maps, and implementing directions. The County adopted GPA No. 960 and the County's Climate Action Plan (CAP) in December 2015.

Due to the passage of Senate Bill (SB) 974 relating to flood protection and fire protection, which became effective on January 1, 2017, the County is reviewing the Safety Element of the General Plan for applicable changes. The

County also completed an analysis of disadvantaged unincorporated communities to comply with SB 244 requirements and has identified several disadvantaged communities within the unincorporated county. The County amended the Land Use Element concurrently with the 5th Cycle Housing Element update to address the requirements of SB 244 and ensure consistency with the Housing Element.

Housing Element Organization

The Housing Element is divided into six sections.

1. The first section provides an overview of the scope and purpose of the Housing Element, and the remaining sections address the required components identified above.
2. Section two reviews the accomplishments of the first half of the 5th Cycle Housing Element, 2013–2017.
3. The third section is the community profile which provides an overview of population, employment, and housing characteristics in the County.
4. Section four identifies existing housing needs and describes future housing needs for the 2017–2021 planning period.
5. Section five addresses factors that either facilitate or impede housing development in the unincorporated County.
6. Section six is the County’s Eight-Year Action Plan, which includes a statement of housing goals and policies and describes the housing programs that will be implemented in order to implement these goals and policies. This section also summarizes the quantified objectives for the 2013–2021 planning period.

Summary and Conclusions: Housing Needs

Demographics

- Between 2000 and 2016 Riverside County grew by over 800,000 people, or approximately 52 percent compared to 16 percent for California as a whole. Due to the incorporation of multiple cities between 2008 and 2011, the unincorporated County population declined by 13 percent.
- About 16 percent of Riverside County’s population in 2016 lived in unincorporated areas.
- The western county area accounts for approximately 79 percent of the unincorporated County’s population.

Employment

- According to the California Employment Development Department (EDD), Riverside and San Bernardino Counties are expected to add 206,700 jobs, a 16 percent increase, between 2010 and 2020. The three industry sectors responsible for almost 62 percent of the new jobs are transportation, trade, and utilities; professional and business services; and leisure and hospitality.

- Riverside County serves as a bedroom community that supplies a portion of the labor pool for the Los Angeles-Orange County and the San Diego County metropolitan areas.
- The unincorporated County's job to household ratio has significantly increased since 2010. Overall, the unincorporated County has gone from 0.61 jobs per household to 1.18 jobs per household. In 2014, the Countywide average was 1.28 jobs per household.

Housing Characteristics

- The median income for a family of four in 2016 for Riverside County was \$65,000. Incomes among homeowners were generally higher than those among renters and western County residents generally had higher incomes than eastern County residents.
- Mobile homes represented almost one quarter of all housing units in the unincorporated County in 2014. The majority (69 percent) of the remaining units were single-family detached units.
- The unincorporated area of Riverside County experienced a 17 percent vacancy rate in 2014. There was a 27 percent vacancy rate in the eastern County area and a 12 percent vacancy rate in the western County area.
- Based on the 2010–2014 American Community Survey (ACS), over half of the housing stock in the unincorporated County was 30 years or older. Moreover, between 2000 and 2014, the unincorporated County added 43,372 new units, a 32 percent increase.
- Riverside County rental rates and purchase prices are relatively affordable compared to the urbanized Los Angeles/Orange County and San Diego County areas.

Existing Housing Needs

- According to the 2010–2014 ACS, approximately 13 percent of renter households and 5 percent owner-occupied units were overcrowded in unincorporated Riverside County.
- During 2010–2014, there were approximately 29 percent of lower income, owner-occupied households overpaying for housing and approximately 42 percent of lower income, renter-occupied households overpaying for housing in unincorporated Riverside County.
- It is estimated that 9 percent of the unincorporated area population was 65 years of age or older in 2016.
- The 2010–2014 ACS reported 20,996 households with five or more persons, representing 19 percent of all households in the unincorporated county. Of these, about 36 percent were renters and 64 percent were owners.
- In 2014, there were 16,604 female-headed households, or 15 percent of all households.
- According to the 2010–2014 ACS, 41,522 persons, age 18 years or older, and living in the unincorporated county, reported some kind of limitation; this represents approximately 11 percent of the total population (Table H-22).

- According to the Inland Regional Center, there are 8,555 persons with developmental disabilities within the unincorporated County. This makes up 2 percent of the total population.
- In 2016, there were approximately 2,165 homeless persons (adults and children) in Riverside County, down from 4,500 persons in 2007.
- According to the EDD, the annual average employment by industry between 2010 and 2020 within the Riverside-San Bernardino-Ontario Metropolitan Statistical Area (consisting of Riverside and San Bernardino Counties) is expected to reach 1.46 million, or a gain of 206,700 jobs for an annual growth rate of 1.6 percent.

Future Housing Needs

- According to the adopted SCAG Regional Housing Needs Assessment, 30,303 new housing units are needed to accommodate anticipated population growth in the unincorporated areas of Riverside County during the eight-year period from January 1, 2014, to October 31, 2021.

Evaluation of the Previous Housing Element

Progress in Implementing the Past Element Goals and Objectives

State law requires communities to assess the achievements under adopted housing programs as part of the update of their Housing Elements. These results should be quantified wherever possible, but may be qualitative where necessary. These results need to be compared with what was projected or planned in the earlier element. Where significant shortfalls exist between what was planned and achieved, the reasons for such differences must be discussed. As the past planning period extended from January 1, 2006, to June 30, 2014, it is appropriate to evaluate the following:

- The appropriateness of the housing goals, policies, and programs in contributing to the attainment of the past element's objectives.
- The effectiveness of the element in attainment of the County's housing goals and objectives.
- The progress of the County in implementing the previous Housing Element.

The matrix on the following page, Progress in Implementing Programs and Objectives, provides a mid-cycle review (progress from 2013 to 2017) of the accomplishments for each program included in the 2013–2021 Housing Element, along with recommendations for the current element, where appropriate.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.1a: Use funding available for the production and subsidization of lower- and moderate-income housing, priority given to lower income households (including extremely low-, very low, and low-income households). Work with public or private sponsors to identify candidate sites and to make applications to state and federal housing programs for new construction of rental housing for seniors and other special needs, and take all actions necessary to expedite processing and approval of such projects. Utilize public financing tools when available, including but not limited to: multifamily revenue bonds and Community Development Block Grant (CDBG)/Home Investment Partnership Act (HOME) funds to provide low-interest loans, and where feasible, leverage other state and federal financing obtained by the developer (e.g., Low Income Housing Tax Credits [LIHTC], CHFA multifamily housing assistance programs, HCD Multifamily Housing Loans), and other financing available.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority/TLMA</p> <p>Time Frame: The County is an entitlement community for CDBG funds. Annually apply for LIHTC, CHFA multifamily housing assistance programs, HCD Multifamily Housing Loans, etc.</p>	<p>The County uses various funding sources to provide for long term affordability of rental units. Funding sources include continuing redevelopment property tax proceeds, County HOME, LIHTC, HCD and CDBG in order to reduce market rents. A total of 1775 units countywide are so subsidized with subsidies running as far out as 2069. Please see Housing Element Table H-27 for additional information.</p> <p>Additionally, between 2013 and 2016, the County received an annual federal allocation of approximately between \$1.6 million and \$1.7 million in HOME Investment Partnership Act Funds which were utilized for various housing program activities including gap financing for the development and construction of special needs housing projects including farm worker housing projects and projects with supportive housing services. Developers apply directly to HCD for farm worker housing grants or County Mental Health for project funding for supportive housing projects.</p> <p>Between 2013 and 2016, the County did not partner with other entities or identify sites for senior housing projects. However, during the same period, 81 units were secured with federal and state funds for mental health support services, 180 mobile home spaces for farmworkers, and 14 mobile homes for low income farmworker families. One site for future development was identified in the unincorporated Oasis community in 2015.</p> <p>Housing Element Table H-65 provides quantified objectives for affordable housing which is built or planned during the pendency of this Housing Element. A total of 474 affordable new construction units are identified in the categories of single family and multiple family. Also included are 34 Senior Home Repair Program units as well as an additional 79 units provide through the Mortgage Credit Certificate Program, Down Payment Assistance Program and the Security Deposit Assistance Program. All units are affordable within the income levels of Very Low, Low, and Moderate.</p>	<p>Continue.</p>
<p>1.1b: Continue utilization of tax-exempt revenue bonds for the financing of new multifamily construction.</p>	<p>Resources: County tax allocation bonds; California Debt Limit Allocation</p>	<p>The County did not issue or utilize tax exempt revenue bonds to finance new construction of multi-family housing between 2013 and 2016.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.1c: Continue to utilize federal and state funding programs to assist prospective owners and renters of mobile homes in funding the purchase and/or installment of mobile home units.</p>	<p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: As projects come forward, assist with the process of applying for funding on the developer's behalf.</p> <p>Resources: Former RDA funds, HCD CalHome grants, HCD Joe Serna Jr. Farm Worker Housing Grants (FWHG), USDA Rural Development loans, and other HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Annually, or in response to the Notice of Funding Availability (NOFA).</p>	<p>A total of eleven (11) mobile home parks, with 12 units in each park for a total of 132 units, are continuing to receive redevelopment agency funding for the purpose of providing rental subsidies to lower income households. While the State eliminated redevelopment agencies by statute, property tax redevelopment proceeds continue to be collected for obligations encumbered before legislative action eliminated the redevelopment agencies. The subsidies terminate between 2039 and 2059 for these mobile home parks – Aguirre, Arellano, Barroso, Duarte, Ferro, Hernandez, Hope Ranch, MVR, Rodriguez, Vargas, and Villalobos.</p>	<p>Continue.</p>
<p>1.1d: Continue to offer fast track/priority processing, gap financing options, density bonus and fee deferral and subsidies (when funding is available) to developers of County-assisted projects proposing new housing, mixed-use or infill projects affordable to lower-income households, farm workers, seniors, and other special needs groups.</p>	<p>Responsible Agency: EDA/TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department.</p>	<p>The County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose. However, to support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonuses pursuant to Government Code Section 65915. It should be noted that fast-track processing can only occur when the private sector expeditiously provides project related information in response to a County request for such information to ensure quick project review turnarounds. Also, the adoption of the Highest Density Residential and Mixed Use Area land use designations may obviate the need for density bonus requests as these designations provide increased flexibility to achieve residential densities.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.1e: When funding is available, the County shall assist to write down land costs of acquiring sites, offer assistance with land acquisition, and other upfront costs as well as assistance in securing federal or state housing financing resources for projects which reserve a proportion of units affordable to lower-income households (incomes below 80 percent of the County median).</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority, TLMA</p> <p>Time Frame: Review resources on an annual basis through 2021.</p>	<p>Between 2013 and 2016, the County provided annual acquisition cost assistance using HOME funds for the 4- phase Blossom Apartments in the unincorporated Valle Vista community. The County will continue to annually review the availability of funding sources for such purpose.</p>	<p>Continue.</p>
<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department.</p>	<p>The County remains committed to fast-track processing of affordable and special needs residential projects in the affected zoning classifications, including the R-7 classification as provided under the Constraints section of the Housing Element. However, since the inception date of this Housing Element, no projects no private or special needs projects were proposed which would have been considered for expedited processing.</p>	<p>Continue.</p>
<p>1.1g: Continue to promote use of density bonus provisions and ensure consistency with state law.</p> <p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>Resources: General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing.</p>	<p>To support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonus provisions established by State Law, pursuant to Government Code Section 65915. However, since the inception date of this Housing Element, no private or special needs projects were proposed which would have been considered for a density bonus in return for providing affordable housing. It should be noted that the newly created HHDR General Plan land use designation allows densities of up to 40 units per acre and will likely provide sufficient flexibility regarding the financing for residential projects with affordable units so that consideration of a density bonus may not be needed. The concurrently created R-7 zone provides greater flexibility regarding site development standards in order to achieve the higher densities attainable with the HHDR land use designation.</p>	<p>Continue.</p>
<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>Resources: HOME</p> <p>Responsible Agency: EDA</p>	<p>A Community Housing Development Organization (CHDO) is a private nonprofit, community-based service organization that has obtained or intends to obtain staff with the capacity to develop affordable housing for the community it serves. As a Participating Jurisdiction (PJ), the County of Riverside must set-aside at least</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus.</p>	<p>Time Frame: Review on a project by project bases, as projects are proposed.</p> <p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Ongoing, as projects are processed, and annual outreach with local developers.</p>	<p>fifteen percent (15%) of HOME allocations for housing development activities in which qualified CHDOs are the owners, developers, and/or sponsors of the housing.</p> <p>Between 2013 and 2016, the Coachella Valley Housing Coalition, Riverside Housing Development Corporation, and Mercy House were certified as CHDOs.</p> <p>EDA/Housing managed the construction of 676 housing (rentals and mobile homes units between 2013 and 2016 which were subsidized by using HOME and redevelopment agency funds, with commitments made for the latter before the legislature eliminated redevelopment property tax increments in 2012. Of this total, 442 units were restricted for occupancy by extremely low income and very low income households.</p> <p>However, the County did not use financial assistance, land write-downs, regulatory incentives, or other incentives to facilitate the development of extremely low income housing.</p>	Continue.
<p>1.1j: Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>Resources: SERAF, property transfer tax, commercial linkage and boomerang funds</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Annually</p>	<p>None of these funding sources have been pursued since the dissolution of the county's redevelopment agency.</p>	Continue.
<p>1.2a To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2f), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and an equitable development pattern. Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1a.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA/GIS</p> <p>Time Frame: Annually monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>	<p>In order to facilitate the development of affordable housing, the County has established the Highest Density Residential (HHDR) land use designation allowing between 20 and 40 dwelling units per acre and has established a Mixed Use Area land use designation allowing for a composite of uses which maximizes compatibility between residential, commercial, and recreational uses with flexibility for density and intensity of use.</p> <p>Intensification and densification of areas are primarily located within community planning areas which are better served with surface transit and existing infrastructure systems in order to facilitate the location of affordable housing.</p> <p>The County's experience has been that higher density residential projects are typically located where densification and</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.2b: Where feasible, the County shall work with nonprofits in the development of County-owned sites in planning areas where affordable housing is needed. Combine provision of sites with other subsidy/assistance programs.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available. Responsible Agency: EDA/Housing Authority Time Frame: Annually meet with non-profit developers.</p>	<p>intensification is permitted which is also near transit routes and urbanizing unincorporated community plan areas. The residents of such projects are more likely to use public transportation if it is conveniently available recognizing the cost factor usually being less than driving, especially to and from employment.</p> <p>The County will review how the designated sites have been used for development of lower income housing as part its next comprehensive Housing Element update for the period of 2021 - 2029 which is expected to commence in 2018.</p> <p>In 2015, one mobile home park project area in the unincorporated Thermal community was rehabilitated for farmworker housing using a combination of previously encumbered redevelopment set-aside funds (\$1.4 million) along with a \$50,000 grant from Coachella Valley Air Quality Enhancement Project Fund. No other funding source was used for this rehabilitation project. A total of 14 such mobile home units were identified for the stated purpose.</p> <p>Meetings with non-profit developers are scheduled in response to mutual interest in promoting such affordable housing or special needs projects.</p>	<p>Continue.</p>
<p>1.2c: Work with advocate and outreach groups in the Coachella Valley to identify sites suitable for farm worker housing in the Coachella Valley.</p>	<p>Resources: General Fund Responsible Agency: TLMA Time Frame: Continue to meet with the Housing Review Committee quarterly to discuss farm worker housing.</p>	<p>Please see response to Action 1.2b, above.</p>	<p>Continue.</p>
<p>1.2d: The County will continue to allow for reduced parking requirements for senior and affordable housing projects as well as pursue the following revisions to the County's parking standards to more easily accommodate higher densities on multifamily and mixed-use sites. Further study of these revisions shall be conducted before changes to the Zoning Ordinance are made:</p> <p>Reductions in the number of spaces required for affordable or senior housing projects, if it can be</p>	<p>Resources: General Fund Responsible Agency: TLMA Time Frame: Review standards and revise as necessary within two years of adoption of the Housing Element.</p>	<p>The County considers the availability of adequate parking to be key consideration to the success of residential projects. As such, it has not undertaken a systematic reduction of parking standards and requirements for residential projects. However, affordable and special needs housing projects are evaluated on a case by case basis for reduction of parking requirements and standards to ensure viability. Examples of reductions include the number of spaces, consideration of shared parking, inclusion of carports instead of garages, and tandem parking.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>demonstrated that the expected tenants will own fewer cars than the regular standards anticipate – or if spaces will not be “preassigned” to specific units in the project. Allowances for some of the spaces to be tandem or uncovered, provided that none of the spaces extend into the front yard setback.</p> <p>Standards for “shared parking” when uses with different peaking characteristics (such as offices and apartments) are combined in a single structure.</p> <p>Reductions to the space requirements for studio and one-bedroom apartments (presently two spaces per unit).</p> <p>In addition, the County should explore the feasibility of an ordinance which would prohibit the long-term storage of cars in designated parking spaces in multifamily complexes, thereby ensuring that the spaces remain available for tenant use.</p> <p>The County will also evaluate the associated costs with the current parking requirements to ensure they are not a constraint on development.</p>		<p>Currently, parking requirements are not considered to be a constraint for affordable housing projects; therefore the County has not revised the current standards.</p>	
<p>1.2e: The County will provide for the inclusion of mixed-income housing in future new growth areas of the county through development agreements and other mechanisms. To facilitate the development of affordable housing on smaller parcels (50 to 150 units in size), the County will routinely coordinate with property owners and give high priority to processing subdivision maps that include rezoned R-7 sites or affordable housing units. Also, an expedited review process will be available for the subdivision of larger sites into buildable lots where the development application can be found consistent with the General Plan and applicable specific plan.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department.</p>	<p>Development agreements are typically used for large, multiphase, and long-term build-out projects with the benefit of locking in land use policies and regulations in return for providing public benefits such as affordable housing. The County has not processed such a project since the inception of this Housing Element. The vesting tentative map has provided the same level of protection against changes to land use policies and regulations for smaller scale, single phase residential projects without the need to negotiate for public benefits.</p> <p>The County remains committed to fast-track processing of affordable and special needs residential projects in the affected zoning classifications, including the R-7 classification as provided under the Constraints section of the Housing Element.</p> <p>Fast-track processing is achieved by committing additional staff resources to the project approval process and increasing the type of land use permitted by right as opposed to being evaluated through a discretionary approval process.</p>	<p>Continue.</p>
<p>1.2f: 1) In order for the County to meet the remaining unaccommodated portions of the 2006–2013 and 2014–2021 Regional Housing Needs Allocations (RHNA) that total 24,272 housing units, the County will process a</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p>	<p>On December 6, 2016, the County adopted a Housing Element update covering the period of 2013 through 2021, designating land use areas as Highest Density Residential (HHDR), Mixed Use Areas (MUA) which include densities of up to 40 units per acre</p>	<p>Completed.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>General Plan redesignation and rezoning for approximately 2,908 acres of land located in 10 area plans to either the Highest Density Residential (HHDR) designation or the Mixed Use Area (MUA) with an R-7 or Mixed Use zoning.</p> <p>All rezoned sites will permit owner-occupied and rental multifamily developments by right and will not require a conditional use permit, a planned unit development permit, or any other discretionary review. All sites will accommodate a minimum of 20 units per acre and at least 16 units per site, per state law requirements.</p>	<p>Time Frame: This is being done concurrently with the Housing Element. Adoption of the Housing Element is planned before the end of 2016.</p>	<p>and a corresponding R-7 zone which allows the same maximum residential density.</p> <p>With completion of this rezoning, the County now has sufficient capacity to meet its 2014-2021 RHNA, and 2006-2013 unmet RHNA.</p>	
<p>1.2g: To ensure that there is a sufficient supply of multifamily zoned land to meet the County's regional housing needs allocation (RHNA), the County will help facilitate lot consolidations to combine small residential lots into larger developable lots by annually meeting with local developers to discuss development opportunities and incentives for lot consolidation to accommodate affordable housing units. As developers/owners approach the County interested in lot consolidation for the development of affordable housing, the County will offer the following incentives on a project by project basis:</p> <ul style="list-style-type: none"> allow affordable projects to exceed the maximum height limits, lessen set-backs, and/or reduce parking requirements. <p>The County will also consider offsetting fees (when financially feasible) and concurrent/fast tracking of project application reviews to developers who provide affordable housing.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department. Annually meet with local developers to discuss development opportunities and incentives for lot consolidation.</p>	<p>No lots have been consolidated for the purpose of providing affordable housing. Therefore, the County has not provided any incentives for the purpose of lot consolidation in furtherance of affordable housing.</p> <p>The County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose. However, to support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonuses pursuant to Government Code Section 65915.</p> <p>Additional fees are assessed for infrastructure programs such as roads, bridges, and traffic signals, as well as for parks, schools, habitat preservation and environmental mitigation. The assessment of such fees are required by state or local laws. General fund monies are no longer sufficient to meet infrastructure, public service, and facility needs.</p> <p>The HHDR land use designation and R-7 zoning classification have been established in part to spread the cost of the various fees across a greater number of dwelling units (higher densities) which will have the net effect of reducing fees for individual units.</p>	Continue.
<p>1.2h As development is proposed for an unincorporated community, County staff will work closely with the developer and the service provider to facilitate adequate</p>	<p>Resources: General Fund</p>	<p>The roadway improvement component of the County's Transportation Improvement Program is updated biennially providing for the construction, operation, and maintenance of</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>infrastructure to support the development. The County will continue to coordinate with various service providers to ensure adequate infrastructure and services are available to serve proposed development.</p> <p>Continue to coordinate with service providers to assess the needs for infrastructure and services, and plans for expansion. Communicate with service providers as major development applications are received to discuss and pursue plans for future expansion to ensure adequate infrastructure and services are available to meet the County's RHNA consistent with housing development trends.</p> <p>As part of coordination and communication with service providers, provide assistance as appropriate to encourage infrastructure improvements in communities with infrastructure and service deficiencies.</p> <p>Seek and support funding applications for infrastructure and service expansions that are consistent with the County's General Plan.</p> <p>Provide a copy of the adopted Housing Element to the various service providers serving the unincorporated communities and provide assistance to providers to facilitate establishing procedures to grant priority service to the development of housing with units affordable to lower income households.</p> <p>As part of coordination and communication with service providers, provide assistance as appropriate to encourage infrastructure improvements in communities with infrastructure and service deficiencies. The County will prioritize time and resources to areas of the highest need.</p> <p>As funding permits, CDBG and/or HOME funds provide gap financing to affordable projects as a means to reducing the costs of development, including infrastructure improvements. At least annually meet with developers and community stakeholders to discuss and pursue or support additional funding resources.</p> <p>Annually explore and pursue funding opportunities for area plan updates as necessary to promote development within existing communities with active transportation and access to services and amenities.</p>	<p>Implementing Resources</p> <p>Responsible Agency: TLMA/EDA</p> <p>Time Frame: Ongoing 2014-2021, as projects are processed through the Planning Department.</p> <p>Annually apply for funding, as NOFAs are released.</p>	<p>roads, bridges and transportation facilities provided to meet capacity as well as maintenance needs. Roadway improvements are categorized as new facilities and capacity expansion, maintenance/rehabilitation, new bridges, and safety including associated infrastructure such as traffic signals, sidewalks, bikeways, and drainage. Local funding sources include developer fees, multi-jurisdictional funds for regional and sub regional roads (such as the Transportation Urban Mitigation Fee), special district fees for roads, bridges, and traffic signals, and the Measure A local streets and road program derived from sales tax proceeds.</p> <p>The county's five-year capital projects infrastructure improvements to manage surface water runoff and drainage are provided by the Riverside County Flood Control and Water Conservation District. During the timeframe of this Housing Element improvements consisted of new and repaired storm drains and associated lines, new drainage channels and restoration of existing ones, retention and detention basins, and dam restoration and repair. These drainage projects are located countywide to meet capacity needs and maintenance to provide for public health and safety. Project funding is primarily through property and sales tax revenue in the general fund. Limited funding is also provided through area drainage plan fees imposed on development projects and by other government entities. A total of ten projects were so funded, countywide.</p> <p>It should be noted that the County provides for road and flood control facility improvements, as noted above. Other services such as water and sewer are provided by various countywide service districts which are responsible for determining their own service and related infrastructure needs.</p> <p>Project related infrastructure requirements are typically provided by the developer, or fair share fees are assessed through project conditions of approval. Infrastructure improvements provided beyond fair share requirements are reimbursed to the developer. Project fees and infrastructure funding requirements are reviewed with the development community when development projects are proposed. In-lieu fees or improvements required for project approval directly benefit the developer project. When fair share fees are paid, improvements are provided by the County using a</p>	

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.3a: Continue to work with non-profit organizations to provide funding resources and assistance with the production of self-help housing for ownership and multifamily farm worker housing opportunities. The County will also provide incentives for the set-aside of agricultural land for farmworker housing.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: HOME entitled, annually apply for HUD and HCD grants.</p>	<p>combination of fees obtained from multiple developers and jurisdictions and other funding sources described above.</p> <p>Housing Element requirements are reviewed with the development community along with the remainder of the General Plan as well as the Zoning Ordinance when residential projects are proposed.</p> <p>In 2016, the County participated in one self-help project and has offered funding for development and construction to incentivize acquisition of land for farmworker housing.</p> <p>In 2013, the County provided 180 spaces for mobile home housing for farmworker housing using previously identified and committed redevelopment set aside funds.</p>	<p>Continue.</p>
<p>1.3b: The County will process an amendment to Ordinance No. 348, to comply with Health and Safety Code Sections 17021.5 and 17021.6. For the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Within 6 months of adoption of the Housing Element.</p>	<p>The County is undertaking a comprehensive zoning code amendment which is expected to be adopted in early 2018, ensuring that employee housing will be permitted by right in agricultural zones is included in the work effort.</p>	<p>Continue.</p>
<p>1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Annually meet with developers.</p>	<p>The County developed 180 units for farmworkers in 2013, and in 2016, provided 14 mobile homes for low income farmworker families. One site for future development for farmworker housing was identified in the unincorporated Oasis community in 2015.</p> <p>The County meets with developers to address farmworker housing needs periodically to identify development funding sources and potential available sites. Such meetings can occur annually, or more or less frequently based on collaboration opportunities.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households.</p>	<p>Resources: Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Once funding has been approved and as loans are processed. Based on HOME funds availability at the time of application.</p>	<p>The County's Mobile Home Tenant Loan (MHTL) program was established to improve substandard living conditions of mobile home owners living in un-permitted mobile home parks. The MHTL program provides financial assistance to mobile home owners by providing a zero percent (0%) interest loan in an amount up to \$45,000. The funds from the loan are used to purchase a unit that will replace the existing substandard unit and will be installed in a permitted site. In 2013, a total of 180 households were assisted through the MHTL program (60 were extremely low-income and 120 were very low-income.) As a supplement to the MHTL loan, HCD Farm Worker Housing Grants (FWHG) were utilized to provide a matching source of funds. The County supplemented 157 MHTL loans. The County also provided RDA funding to construct the mobile home park, Mountain View Estates, thereby restricting affordability through recorded covenants and regulatory agreements. No MHTL funds were available between 2014 and 2016 because such funds were based on redevelopment agency property tax proceeds which could no longer be encumbered since the legislature eliminated redevelopment agencies in 2012.</p> <p>On September 13, 2016, the Housing Authority of the County of Riverside Board of Commissioners approved funding for the MHTL program to assist approximately 83 households.</p> <p>No HOME funds have been used to assist the development of farmworker housing units.</p>	<p>Continue.</p>
<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>	<p>Resources:</p> <p>Responsible Agency: Department of Mental Health</p> <p>Time Frame: Ongoing.</p>	<p>Through the Riverside Community Health System - Behavior Health, the County provides diversified services to those living on the streets or at risk of homelessness, including the mentally ill. This effort is managed by an administrative services manager through the Housing Opportunities Partnerships and Education program (HHOPE).</p>	<p>Continue.</p>
<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>Resources: HUD Supportive Housing Program, Shelter Plus Care</p> <p>Responsible Agency: Department of Public Social Services</p>	<p>Between 2013 and 2016, the County provided assistance through the Shelter Plus Care Housing Program to 128 qualified units for sheltering homeless persons with disabilities. During the period, the annual assistance subsidy for this number of units has been between approximately \$925,000 and \$1 million.</p> <p>Meetings to address the implications of new legislation are conducted as bills are proposed and signed at least annually, and more frequently as needed to address impacts on the County.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p>	<p>Time Frame: Meet annually with County legislative advocates to address implications of new legislation.</p> <p>Resources:</p> <p>Responsible Agency: Department of Mental Health in conjunction with EDA</p> <p>Time Frame: Within the two years of adoption of the Housing Element.</p>	<p>Design criteria guidelines are not provided for special needs affordable housing development projects assisted by the County. Design criteria may be dictated by the source of funding and its requirements, on a project by project basis. For projects assisting mentally disabled individuals, Mental Health Services Act (MHSA) funds are used to design and build the supportive housing units consistent with the Riverside University Health System – Behavioral Health Community Services and Support (CSS) Plan. These units are designed to accommodate the homeless or those at risk of homelessness as well as those individuals with severe and persistent mental illness. A total of 15 units of such qualifying housing are integrated into each project using MHSA funds. From 2013 through 2016 a total of 60 supportive units were provided in the unincorporated area in four projects consisting of 331 units. At this time, the County has not determined that there is need to develop such design criteria and will not be undertaking same.</p>	<p>Continue.</p>
<p>1.4d: Promote the integration of special needs housing into affordable housing communities.</p>	<p>Resources:</p> <p>Responsible Agency: Department of Mental Health</p> <p>Time Frame: Ongoing, throughout the planning period.</p>	<p>The County's 2014-2019 Consolidated Plan is guided by the commitment and priority to provide decent housing by preserving the affordable housing stock; increasing the availability of affordable housing; reducing discriminatory barriers; increasing the supply of supportive housing for those with special needs; and transitioning homeless persons and families into housing. HOME, RDA and CalHome funds have been used to fund projects and activities targeting persons of low- and moderate-income and their families throughout the County, including those in special needs categories such as elderly persons, farm workers, severely disabled adults, homeless persons, kids aging out of foster care and persons living with HIV/AIDS.</p>	<p>Continue.</p>
<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.</p>	<p>Resources: HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill Program, Supportive Housing Program/Shelter Plus Care program</p>	<p>Both the Continuum of Care and Supportive Housing Programs continue to be implemented by the County to meet special housing needs requirements.</p> <p>The Riverside University Health System – Behavior Health continuing housing programs utilize a safe haven model in their services. The Place and The Path, which follow a low-demand, drop-in model for providing homeless outreach and permanent</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
	<p>Implementing Resources</p> <p>Responsible Agency: Department of Public Social Services</p> <p>Time Frame: Ongoing, throughout the planning period.</p>	<p>supportive housing to homeless individuals with serious mental health conditions remain active and successful. Both facilities are operated using a nonprofit provider whose program model emphasizes peer-to-peer engagement and support. Those linked to permanent housing at either location must have a diagnosed mental illness and be considered chronically homeless. Ninety-nine percent of provider staff has received mental health services themselves (as consumers of care or peers) and many have also experienced prolonged periods of homelessness. The Path and The Place are partially funded by HUD permanent supportive housing grants. Currently the referrals for the housing for these two programs are through the HomeConnect Coordinated entry system. The Place, located in the Western end of the county in the city of Riverside in a local homeless Access campus location, was opened in 2007 and provides permanent housing for 25 adults, along with supportive services, laundry and shower facilities, meals, referrals, and fellowship for drop-in center guests. The drop-in center operates 24/7/365 and serves as a portal of entry for hard-to-engage homeless individuals with a serious mental health disorder. The Path, located in Eastern end of the county in north Palm Springs, was opened in 2009 and provides permanent supportive housing for 25 adults as well.</p>	
<p>1.5a: In cooperation with nonprofits and local jurisdictions, assist in the development of transitional housing facilities in established regions of the county where the need is highest.</p>	<p>Resources: HUD</p> <p>Responsible Agency: Department of Public Social Services</p> <p>Time Frame: Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POLIS project to site facilities.</p>	<p>No new transitional housing facilities were developed in 2016.</p>	<p>Continue.</p>
<p>1.5b: Assist with the expansions of the number of emergency shelters in identified areas of Riverside County in cooperation with nonprofit organizations and local jurisdictions.</p>	<p>Resources: HCD</p> <p>Responsible Agency: Department of Public Social Services</p> <p>Time Frame: Ensure the emergency shelter needs of</p>	<p>Now new emergency shelters were developed or expanded in 2106.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.5c: Process an amendment to Ordinance No. 348 to add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses and subject only to those restrictions that apply to other residential uses of the same type in the same zone.</p>	<p>mentally ill and domestic violence victims are addressed.</p> <p>Resources: General Fund</p> <p>Responsible Agency: TLMMA</p> <p>Time Frame: Within 6 months of adoption of the Housing Element.</p>	<p>The County is undertaking a comprehensive zoning code amendment which is expected to be adopted in early 2018. Ensuring that transitional and supportive housing will be permitted by right in residential zones is included in the work effort.</p>	<p>Continue.</p>
<p>1.6a: Continue to work with nonprofit organizations in providing homeownership opportunities through the Rural Development Self Help program and other self-help construction programs within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>Resources: HOME; HUD, Rural Development Self Help Program</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Establish an annual meeting with CHDOs to provide policy direction.</p>	<p>In 2016, the County completed one self-help project located in the community of North Shore in the unincorporated area of the County (11 units). In, 2016, the County provided HOME assistance for construction of 22 homes for low-income families to support a developer's self-help program. Each of the 22 households also received assistance from the USDA's Rural Development Self Help Program.</p>	<p>Continue.</p>
<p>1.7a: Continue to provide for greater flexibility in the design of single-family development through the processing of PUDs, specific plans, and area plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.</p>	<p>Resources:</p> <p>Responsible Agency: TLMMA/Building and Safety</p> <p>Time Frame: Ongoing, as projects are processed.</p>	<p>The County continues to support private sector residential specific plans and has zoning provisions allowing for clustering of development through a planned residential development (PRD).</p>	<p>Continue.</p>
<p>1.7b: Encourage construction of new mobile home parks and manufactured housing to increase the supply of affordable dwelling units by continuing to waive the fees(when funding is available) as an incentive.</p>	<p>Resources:</p> <p>Responsible Agency: TLMMA/Building and Safety</p> <p>Time Frame: Ongoing, as projects are processed.</p>	<p>Regarding any residential development, including mobile home parks, the County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose.</p> <p>Additional fees are assessed for infrastructure programs such as roads, bridges, and traffic signals, as well as for parks, schools, habitat preservation and environmental mitigation. The assessment of such fees are required by state or local laws.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.7c: Encourage new large-scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed-use development.</p>	<p>Resources: Responsible Agency: TLMA Time Frame: Ongoing, as projects are processed.</p>	<p>General fund monies are no longer sufficient to meet infrastructure, public service, and facility needs. In order to facilitate the development of larger scale, higher density affordable housing, the County has established the Highest Density Residential (HHDR) land use designation and the R-7 zone allowing between 20 and 40 dwelling units per acre and has established a Mixed Use Area land use designation allowing for a composite of uses which maximizes compatibility between residential, commercial, and recreational uses with flexibly for density and intensity of use. The County continues to support private sector residential specific plans and has zoning provisions allowing for clustering of development through a planned residential development (PRD).</p>	<p>Continue.</p>
<p>1.7d: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	<p>Resources: General Fund Responsible Agency: EDA/TLMA Time Frame: Consider adopting provisions within two years. Continue to pursue on an ongoing basis.</p>	<p>The County continues to support private sector residential specific plans and has zoning provisions allowing for clustering of development through a planned residential development (PRD). As with any residential project proposed using a specific plan or PRD zoning, the opportunities for promoting affordable housing are always examined.</p>	<p>Continue.</p>
<p>1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing.</p>	<p>Resources: General Fund Responsible Agency: EDA/TLMA Time Frame: Explore options by July 2016; consider adopting an ordinance by July 2017.</p>	<p>In lieu of pursuing an inclusionary affordable housing requirement. The County has established the Highest Density Residential (HHDR) land use designation and the R-7 zone allowing between 20 and 40 dwelling units per acre. By allowing for flexibility in density and design for areas so designated, the development community has flexibility to maximize affordable housing opportunities. Nevertheless, the County remains committed to adopting an inclusionary housing program. However, there is no timeframe at this time for so doing. Based on the flexibility provided by these land use and zoning changes which facilitate the provision of affordable housing, the County does not believe there to be a need to adopt inclusionary housing requirements at this time.</p>	<p>Continue.</p>
<p>2.1a: When funding is available, advertise and promote the availability of funds for the following: Rehabilitation of single-family and mobile home dwelling units.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing provides information on the availability of various funding sources for housing rehabilitation including CDBG, Neighborhood Stabilization Program, and HOME funds. Between 2013 and 2016, at total of 67 dwelling units in the unincorporated area were rehabilitated using such funds.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
Rehabilitation of multifamily units.	<p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing, as funding is available. Provide informational materials as funding permits.</p> <p>Entitled, apply annually HCD and HUD.</p>		
2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.	<p>Resources: HUD Capital funds</p> <p>Responsible Agency: Housing Authority</p> <p>Time Frame: Ongoing, throughout the planning period.</p>	<p>The EDA/Housing was allocated between approximately \$1 million to \$1.2 million annually from federal Capital Funds to modernize public housing between 2013 and 2016. An additional approximately \$300K to \$1 million from the same source for the same years was expended to maintain, repair, and improve public housing properties.</p>	
2.1c: Continue utilization of tax-exempt private activity bonds for the financing of multifamily housing rehabilitation.	<p>Resources: Tax-exempt private activity bonds</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: As projects come forward assist with the process for applying for funding on the developers behalf.</p>	<p>The County did not issue and utilize tax exempt private activity bonds to finance rehabilitation of multifamily housing.</p>	Continue.
2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards.	<p>Resources: CDBG</p> <p>Responsible Agency: EDA/</p> <p>Time Frame: Continue program when funding becomes available.</p>	<p>In 2013, the County assisted a total of 2 households in the unincorporated area through the CDBG funded Home Repair Program. No such funding was available between 2014 and 2016.</p>	Continue.
2.1e: Department of Community Action (DCA) shall continue to implement the Home Weatherization program	<p>Resources: Department of Energy, Southern California</p>	<p>The County continued to provide assistance to conserve existing single family housing through weatherization programs using</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>to conserve existing single-family housing through weatherization and/or rehabilitation.</p>	<p>Gas, California Conservation Corp.</p> <p>Responsible Agency: DCA</p> <p>Time Frame: As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>	<p>LIHEAP and DOE funds. In 2016, a total of 322 dwelling units received such assistance.</p>	
<p>2.1f Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Resources: Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Once funding has been approved. Assist at least 5 households during the planning period.</p>	<p>In 2013 and 2014, the County assisted a total of 18 households through the Senior Home Rehabilitation Program. No such assistance was provided in 2015 and 2016.</p>	<p>Continue.</p>
<p>2.1g Through the Home Enhancement Program the, assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>Resources: CDBG</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Provide grants to at least 5 households</p>	<p>This information was not available as of the preparation of this evaluation. However, it is estimated that approximately \$395,000 was also allocated in 2016 for this purpose from CDBG funds.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>throughout the planning period.</p> <p>Resources: General Fund</p> <p>Responsible Agency: EDATA/LIMA</p> <p>Time Frame: Develop a plan by summer 2017.</p>	<p>The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations. Although a formal plan has not yet been created, the County will manage staff resources and will continue to move forward to develop a plan to conduct proactive rehabilitation efforts as budget and staffing permits.</p>	<p>Continue.</p>
<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>	<p>Resources:</p> <p>Responsible Agency: Building and Safety Department/ Department of Environmental Health, Code Enforcement</p> <p>Time Frame: Ongoing, on a case-by-case basis.</p>	<p>The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations.</p>	<p>Continue.</p>
<p>2.2b Through the Mobile Home Tenant Loan Foreclosure/Abandonment Program, the County will provide assistance where it is economically feasible to recover and preserve an abandoned or foreclosed mobilehome and return it to the affordable housing stock.</p>	<p>Resources: Low and Moderate Income Housing Asset Funds, 2010 Housing Taxable Bond Proceeds</p> <p>Responsible Agency: EDATA/Housing Authority</p> <p>Time Frame: Preserve a minimum of 17 mobilehomes</p>	<p>Because this program was recently approved by the County in November 2015, program implementation has just started so that no mobile homes have been returned to the affordable housing stock.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>2.3a: As funding is available, preserve existing affordable mobile home housing stock. The County will also work with park owners and tenants to explore homeownership opportunities such as through the MPRROP program.</p>	<p>for very low-income households. Preserve at least 8 within the Housing Element planning period.</p> <p>Resources: CDBG and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Annually explore funding sources and as NOFAs are released.</p>	<p>Please see response to Action 2.2b, above.</p> <p>The MPRROP Program is not used by the County.</p>	<p>Continue.</p>
<p>2.3b: Organize bilingual outreach materials and activities to educate and inform the farm worker community about available rehabilitation programs and resources.</p>	<p>Resources:</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Continue to hold quarterly meetings to discuss.</p> <p>As funding for programs is available, bilingual brochures will be provided.</p>	<p>Through the help of non-profit partners, the County's programs have been translated and extended to the farmworker communities through bilingual outreach materials and through community meetings that also use translators for the purpose of reaching farmworkers.</p>	<p>Continue.</p>
<p>2.4a: Ensure that County assisted affordable housing remains affordable by doing the following: Through the maintenance of an inventory of County assisted units with monitoring of expiration dates on an annual basis. Priority on providing financial assistance, where feasible and if funding is available, to preserve County assisted affordable units at risk of conversion to market rate during the planning period Conduct annual compliance monitoring site visits and file audits of County assisted units as part of ongoing compliance requirements enforced by loan agreements. Coordinate with owners of at-risk units to have the property owners provide education and work with tenants regarding their rights and conversion procedures.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Annually review existing covenants and update as necessary. County will coordinate with owners of at-risk units to have the owners provide tenant education within 30 days of a notice of conversion.</p>	<p>In 2013, EDA Housing monitored 35 projects in the county unincorporated area totaling 1569 dwelling units of which 1114 were income restricted. By 2016, these numbers increased to 42 projects in the unincorporated area, consisting of 1709 dwelling units of which 1207 were income restricted.</p> <p>No units have been lost to date due to expiration.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments.</p> <p>2. Education and training of County staff.</p> <p>3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers, and residents in emergency shelters and transitional housing facilities.</p>	<p>Resources: CDBG</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p>	<p>The County continues to use the Fair Housing Council of Riverside County to complete audits of lenders and rental establishments.</p> <p>Annually, housing staff attend workshops hosted by the Fair Housing Council of Riverside County to obtain the latest updates in regulations, best practices and discuss current issues facing lenders, property managers, homebuyers and renters.</p>	Continue.
<p>3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements.</p>	<p>Resources:</p> <p>Responsible Agency: EDA</p> <p>Time Frame: 2019</p>	<p>The next update to the County's Analysis of Impediments which has been renamed Affirmatively Furthering Fair Housing (AFFH) is in 2019.</p>	Continue.
<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>	<p>Resources: First Time Home Buyer Down Payment Assistance Program</p> <p>Responsible Agency: EDA/Fair Housing Council</p> <p>Time Frame: Ongoing, as funding permits.</p>	<p>In 2016, the Fair Housing Council served 2470 persons including a combination of landlord and tenant contacts, fair housing contacts, foreclosure prevention counseling, various workshops, and general one on one counseling.</p>	Continue.
<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following:</p> <p>Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities.</p> <p>Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law</p>	<p>Resources:</p> <p>Responsible Agency: Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p> <p>Time Frame: Ongoing, as projects are processed.</p>	<p>The County's HOME Investment Partnership Act (HOME) program, a federally funded program, follows housing accessibility requirements at 24 CFR Part 8, complying with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and the Disability/Accessibility Provisions of the Fair Housing Act of 1988. Dwelling units must be designed and constructed in accordance with the Uniform Federal Accessibility Standards (UFAS) which is deemed to comply with the Section 504 regulation. 24 CFR Part 8.22, New construction—housing facilities, provides requirements for new construction of multi-family projects, that 5 percent (5%) of the units (but not less than one unit) must be accessible to individuals with mobility impairments, and an additional 2 percent (2%) of the units (but not</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>to be affordable to persons with disabilities or persons with special needs.</p> <p>Develop a policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County's website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>	<p>Develop a reasonable accommodation procedure by Spring 2016.</p> <p>Develop an outreach program by Spring 2016.</p>	<p>less than one unit) must be accessible to individuals with sensory impairments. It should be noted that Section XIXe of Ordinance 348.4840, amended in June 2016, addresses reasonable accommodation needs for persons with disabilities, consistent with state law.</p> <p>Additionally, the County's Building Code provides accessibility criteria for disabled persons. There is no separate design criteria provided in the Building Code.</p> <p>The County provides personal and web site assistance to persons with disabilities and therefore requiring special accommodations, specifically for residents who are completing applications for Section 8 or Public Housing Programs. Additionally, the County has prepared a guide book with procedures for the disabled to pursue Section 8 assistance.</p> <p>There is no separate coordination with the Inland Regional Center regarding services for disabled persons.</p>	
<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates).</p> <p>2. Family Unification Program.</p> <p>3. Family Self Sufficiency (FSS) Program.</p> <p>4. Housing Opportunities for Persons with AIDS (HOPWA).</p> <p>5. Veteran's Affairs Supportive Housing Program (VASH).</p> <p>6. Foster Care Youth Program.</p> <p>7. Tenant Based Rental Assistance Program.</p>	<p>Resources: HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p> <p>Responsible Agency: Housing Authority, EDA, DPSS</p> <p>Time Frame: Programs will continue as funding is obtained.</p>	<p>The County used the following programs to assist households in 2013:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$69,973,083 in total Housing Assistance Payments (HAP) assisted 8,713 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 237 households were veterans and 4,554 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program.</p> <p>The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2013, the FSS program served 547 participants. A total of 9 families graduated and therefore no longer required rental assistance. Of the graduates, 1 has purchased their own homes.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2012-13, the HOPWA program provided a total of</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
		<p>\$601,848 in HAP assistance. An average of 90 individuals were assisted on a monthly basis.</p> <p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 333 homeless veterans with monthly rental assistance.</p> <p>Foster Care Youth Program. A total of 3 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 102 households were assisted under the SDA program and no funding was available for the TBRA program.</p> <p>Family Unification Program. The FUP assisted 147 households.</p> <p>Homeless Prevention and Rapid-Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2012-13 fiscal year, 54 persons received rapid re-housing and 137 persons received homeless prevention assistance.</p> <p>The County used the following programs to assist households in 2014:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$68,216,901 in total Housing Assistance Payments (HAP) assisted 8,468 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 292 households were veterans and 4,341 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program. The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2014, the FSS program served 538 participants. A total of 9 families graduated and therefore no longer required rental assistance.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2013-14, the HOPWA program provided a total of \$516,005 in HAP assistance. An average of 77 individuals were assisted on a monthly basis.</p>	

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
		<p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 373 homeless veterans with monthly rental assistance.</p> <p>Foster Care Youth Program. A total of 4 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 84 households were assisted under the SDA program and no funding was available for the TBRA program.</p> <p>Family Unification Program. The FUP assisted 124 households.</p> <p>Homeless Prevention and Rapid-Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2013-14 fiscal year, 191 persons received ESG rapid re-housing assistance and 40 persons received ESG homeless prevention assistance.</p> <p>The County used the following programs to assist households in 2015:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$67,768,501 in total Housing Assistance Payments (HAP) assisted 8,730 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 412 households were veterans and 4,340 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program. The FSS Program assists families to become economically independent from government financial assistance within a five-year period. On December 8, 2015, the HA received \$483,000 to link Riverside County adults in the HCV program to local organizations that provide job training, childcare, counseling, transportation, and job placement. This was the third largest award made in California. In 2015, the FSS program served 506 participants. A total of 9 families graduated and therefore no longer required rental assistance. Of the graduates, 2 have purchased their own homes.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2014-15, the HOPWA program provided a total of</p>	

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
		<p>\$454,739 in HAP assistance. An average of 71 individuals were assisted on a monthly basis.</p> <p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 416 homeless veterans with monthly rental assistance.</p> <p>Foster Care Youth Program. A total of 3 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 178 households were assisted under the SDA program and 27 households were assisted under the TBRA program.</p> <p>Family Unification Program. The FUP assisted 124 households.</p> <p>Homeless Prevention and Rapid-Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2014-15 fiscal year, 190 persons received ESG rapid re-housing assistance and 82 persons received ESG homeless prevention assistance.</p> <p>The County used the following programs to assist households in 2016:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$67,071,527 in total Housing Assistance Payments (HAP) assisted 8,701 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 507 households were veterans and 4,278 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program. The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2016, the FSS program served 400 participants. A total of 11 families graduated and therefore no longer required rental assistance. Of the graduates, 1 purchased their own home.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2015-16, the HOPWA program provided a total of</p>	

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
	<p>Resources: HUD</p> <p>Responsible Agency: Housing Authority</p> <p>Time Frame: Ongoing as interested persons contact the Housing Authority.</p>	<p>\$472,504 in HAP assistance. An average of 73 individuals were assisted on a monthly basis.</p> <p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 451 homeless veterans with monthly rental assistance.</p> <p>Foster Care Youth Program. A total of 3 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 268 households were assisted under the SDA program and 43 were assisted under the TBRA program.</p> <p>Family Unification Program. The FUP assisted 132 households.</p> <p>Homeless Prevention and Rapid-Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2015-16 fiscal year, 25 persons received ESG rapid re-housing assistance and 81 persons received ESG homeless prevention assistance. A total 39 persons received HPRP assistance through the Housing Authority.</p>	Continue.
<p>3.3c: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program, previously known as Section 8 Rental Assistance Program).</p>	<p>Resources: HUD</p> <p>Responsible Agency: Housing Authority</p> <p>Time Frame: Ongoing as interested persons contact the Housing Authority.</p>	<p>The County continues to administer the Shelter Plus Care Program throughout the County, including western Riverside County.</p>	Continue.
<p>3.3d: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.</p>	<p>Resources: HUD Shelter Plus Care</p> <p>Responsible Agency: Housing Authority/ DPSS</p> <p>Time Frame: Ongoing, throughout the planning period.</p>	<p>Please see response to Action 3.3b, above.</p>	Continue.
<p>3.3e: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).</p>	<p>Resources: HUD Housing Choice Voucher Program</p>	<p>Please see response to Action 3.3b, above.</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
	<p>Responsible Agency: Housing Authority</p> <p>Time Frame: Ongoing, throughout the planning period.</p>		
<p>3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.</p>	<p>Resources: FEMA, ESG, EHAP</p> <p>Responsible Agency: DPSS</p> <p>Time Frame: Ongoing, throughout the planning period.</p>	<p>Please see response to Action 3.3b, above.</p>	<p>Continue.</p>
<p>3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.</p>	<p>Resources: HUD Supportive Housing program; Shelter Plus Care</p> <p>Responsible Agency: DPSS</p> <p>Time Frame: Ongoing.</p>	<p>Both programs continue to be administered throughout the county.</p>	<p>Continue.</p>
<p>3.3h: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the Consumer Price Index.</p>	<p>Resources:</p> <p>Responsible Agency: County Executive Office</p> <p>Time Frame: Ongoing.</p>	<p>Ordinance No. 760 is codified in the Riverside County Code of Ordinances as Chapter 5.36, Mobile Home Park Rent Stabilization.</p>	<p>Continue.</p>
<p>3.4a: Continue to implement the Mortgage Credit Certificate Program (MCC) for low- to moderate-income homeowners.</p>	<p>Resources: CDLAC</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing. Funding will be available once the Housing Element is in compliance.</p>	<p>Between 2013 and 2016, 180 low and moderate income homeowners received such assistance.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>3.4b: Continue to provide down payment assistance and closing cost assistance to low-income first-time homebuyers through the First Time Home Buyer Program.</p>	<p>Resources: HOME</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing. Funding will be available once the Housing Element is in compliance.</p>	<p>Between 2013 and 2016, 58 low income first time home buyers received such assistance.</p>	<p>Continue.</p>
<p>3.5a: Work with public or private sponsors to encourage acquisition/rehabilitation of existing multifamily units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available., CDBG, HUD</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing. Annually meet with interested developers.</p>	<p>Between 2013 and 2016, 22 units have been acquired and rehabilitated for this purpose.</p>	<p>Continue.</p>
<p>3.5b: Consider the conversion of small older hotels to transitional housing facilities, emergency shelters, or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. The Department of Social Services shall work with participating jurisdictions when requested.</p> <p>In addition, the County will process an amendment to Ordinance No. 348 to define SROs and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit.</p>	<p>Resources: HUD, HCD</p> <p>Responsible Agency: DPSS, nonprofits</p> <p>Time Frame: Within six months of adoption of the Housing Element.</p>	<p>The County is undertaking a comprehensive zoning code amendment which is expected to be adopted in early 2018. This work effort includes addressing the allowance of single room occupancy (SRO) units in general commercial zones.</p> <p>In the absence of a regulatory structure for entitling projects providing SRO units, no such units have been provided to date.</p>	<p>Continue.</p>
<p>4.1a: To ensure fees do not pose a constraint to the development of housing, the County will review its fees on an annual basis.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Annually.</p>	<p>Regarding development or infrastructure fees, the County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose.</p> <p>Additional fees are assessed for infrastructure programs such as roads, bridges, and traffic signals, as well as for parks, schools, habitat preservation and environmental mitigation. The assessment of such fees are required by state or local laws.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>4.1b: Update the definition of family so that it does not limit the number of persons per household, and does not require that persons are related by blood.</p>	<p>Resources: General Fund Responsible Agency: TLMA</p> <p>Time Frame: Within six months of adoption of the Housing Element.</p>	<p>General fund monies are no longer sufficient to meet infrastructure, public service, and facility needs.</p> <p>While actual fee amounts may change, no modifications are proposed to the approach and structure detailed above.</p> <p>The County annually reviews the nexus and applicable fee to ensure that the two are fully correlated.</p>	<p>Continue.</p>
<p>4.2a: Propose and advocate legislative efforts to promote jobs/housing balance. Participate in subregional (WRCOG and CVAG) and regional (SCAG) agency meetings to: Establish housing goals beyond county lines that reflect housing markets. Ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary. Encourage the production of affordable housing such as construction defect litigation reform and additional low-income tax credits.</p>	<p>Resources: General Fund Responsible Agency: EDAs/ Housing Authority Executive Office/TLMA</p> <p>Time Frame: Establish a meeting with County's legislative advocates to ascertain the existing impact and proposed legislation.</p>	<p>The County continues to participate in WRCOG, CVAG, and SCAG meetings with consideration given to personnel resources available for such meetings and if the topic(s) of the meetings relate to county priorities. It should be noted that the primary focus of WRCOG and CVAG meetings is on city government matters. However, the County does undertake expansive coordination with SCAG and these agencies in the allocation of RHNA numbers for the production of dwelling units, including affordable housing, in the respective jurisdictions and the region as a whole.</p> <p>Meetings to address the implications of new legislation are conducted as bills are proposed and signed at least annually, and more frequently as needed to address impacts on the County.</p>	<p>Continue.</p>
<p>4.3a: Review the Housing Element on an annual basis to determine the effectiveness of the programs in achieving the County's housing goals and objectives. The County will provide the annual report to the Board of Supervisors as to the effectiveness of the Housing Element. A copy of this report will be sent to the California Department of Housing and Community Development (HCD) and the Governor's Office of Planning and Research (OPR).</p>	<p>Resources: General Fund Responsible Agency: EDAs/TLMA</p> <p>Time Frame: Annually in April.</p>	<p>The annual report on the County's housing programs is being undertaken concurrent with this mid-cycle update of the Housing Element.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>5.1a: Continue to promote and support energy efficiency in new construction by encouraging developers to utilize available energy programs through the local utility providers and once adopted, to be consistent with the County's Climate Action Plan.</p>	<p>Resources: Energy Efficiency Block Grant (EECBG) funded by the Department of Energy (DOE).</p> <p>Responsible Agency: TLMA/Building and Safety</p> <p>Time Frame: Implement Climate Action Plan that will include incentives for production of renewable energy resources and greater efficiencies than Title 24. Ongoing as projects are processed through the Planning Department.</p>	<p>All developers comply with the County's building codes which are based on Title 24 of the California Code of Regulations, also known as the Building Standards Code and the energy efficiency requirements contained therein. The County does not impose separate or different requirements.</p> <p>The County amended its General Plan by adopting a Climate Action Plan on December 8, 2015.</p>	<p>Continue.</p>
<p>5.1b: The Department of Community Action shall continue to operate the LIHEAP and Home Weatherization programs to reduce maintenance and energy costs for households with low incomes and increase efforts to inform the public about available energy conservation programs.</p>	<p>Resources: California Conservation Corp., DOE, state Department of Community Services and Development, WEEK, Emergency Contingency Funds</p> <p>Responsible Agency: DCA</p> <p>Time Frame: Ongoing.</p>	<p>The County continued to provide assistance to conserve existing single family housing through weatherization programs using LIHEAP and DOE funds. Between 2013 and 2016, a total of 2296 dwelling units received such assistance.</p>	<p>Continue.</p>

Community Profile

An accurate assessment of existing and future resident demographic characteristics and housing needs forms the basis for establishing program priorities and quantified objectives in the Housing Element. This section presents statistical information and analysis of demographic and housing factors that influence housing demand, availability, and cost. The focus of this section is identifying the need for housing according to income level as well as by special needs groups.

Data Sources

The US Census, which is completed every ten years, is an important source of information for the community profile. It provides the most reliable and in-depth data for demographic characteristics of a locality. The California Department of Finance is another source of valuable data and is more current than the census. However, the Department of Finance does not provide the depth of information that can be found in the US Census Bureau reports. Whenever possible, Department of Finance data and other local sources were used in the Housing Needs Assessment in order to provide the most current profile of the community.

The 2010 Census did not collect information in several categories that are required for the assessment of housing needs. Furthermore, some of this data, particularly for trends that change significantly on an annual basis, is now outdated. Where this is the case, the assessment references US Census Bureau ACS data or Esri forecasts data. The ACS provides estimates of numerous housing-related indicators based on samples averaged over a five-year period. Esri forecast data is determined by using a mix of inputs from Esri's updated demographics, the decennial census, American Community Survey (ACS), and business data. The Community Profile reflects the 2010-2014 ACS data as well as 2016 Esri forecasts.

Where possible, data is broken out by eastern and western portions of the unincorporated County. This allows a more accurate depiction of trends in Riverside County. The following describes the jurisdictions (cities and census-designated places [CDP]) that are included in the eastern and western regions.

Eastern Region

Cities: Blythe, Cathedral City, Coachella, Desert Hot Springs, Indian Wells, Indio, La Quinta, Palm Desert, Palm Springs, Rancho Mirage

CDPs: Bermuda Dunes, Desert Center, Desert Edge, Desert Palms, Garnet, Indio Hills, Mecca, Mesa Verde, North Shore, Oasis, Ripley, Sky Valley, Thermal, Thousand Palms, Vista Santa Rosa, Whitewater

Western Region

Cities: Banning, Beaumont, Calimesa, Canyon Lake, Corona, Eastvale, Hemet, Jurupa Valley, Lake Elsinore, Menifee, Moreno Valley, Murrieta, Norco, Perris, Riverside, San Jacinto, Temecula, Wildomar

CDPs: Aguanga, Anza, Cabazon, Cherry Valley, Coronita, East Hemet, El Cerrito, El Sobrante, French Valley, Good Hope, Green Acres, Highgrove, Home Gardens, Homeland, Idyllwild-Pine Cove, Lakeland Village, Lake Matthews, Lake Riverside, Lakeview, March Air Reserve Base (ARB), Mead Valley, Mountain Center, Nuevo, Romoland, Temescal Valley, Valle Vista, Warm Springs, Winchester, Woodcrest

Demographic Trends

Regional Growth

Between April 1, 2000, and January 1, 2016, Riverside County's population as a whole grew by over 800,000 people or by approximately 52 percent (Table H-1). When looking at the unincorporated portion of the County, there was a decrease in population of 13 percent. This is most likely due to the recent incorporations of Eastvale, Jurupa Valley, Menifee, and Wildomar.

Table H-1 Regional Population Growth Trends, 2000–2016

Area	4/1/2000 ¹	4/1/2010 ¹	1/1/2016 ²	Change 2000–2016 (%)
Unincorporated	420,721	504,392	364,413	-13%
Cities	1,124,666	1,685,249	1,983,415	76%
Riverside County	1,545,387	2,189,641	2,347,828	52%
California	33,873,086	37,559,440	39,255,883	16%

Sources:

1. US Census Bureau 2010; 2. Department of Finance

Table H-2 presents the percentage change in population of the cities in Riverside County between 2000 and 2016. The fastest-growing cities during this period were Beaumont and Murrieta, where the percentage changes in population were 296 percent and 157 percent, respectively. This is significantly different than the population change that occurred in the unincorporated County, which was a decrease of 13 percent. While the unincorporated County experienced growth overall between 2000 and 2010, the incorporation of the cities of Eastvale in 2010 and Jurupa Valley in 2011 led to an overall 15 percent decrease between 2010 and 2012. Had several cities not incorporated between 2000 and 2012, the population growth within land areas in the unincorporated county in 2000 would have resulted in an unincorporated population increase of 48 percent by 2012 (the unincorporated population plus the cities of Eastvale, Jurupa Valley, Menifee, and Wildomar).

Table H-2 County/City Population Growth Trends, 2000–2016

County/City	April 1, 2000	April 1, 2010	2016	% Change (2000–2016)
Banning	23,562	29,603	30,834	31%
Beaumont	11,384	36,877	45,118	296%
Blythe	20,465	20,817	19,813	-3%
Calimesa	7,139	7,879	8,289	16%
Canyon Lake	9,952	10,561	10,681	7%
Cathedral City	42,647	51,200	54,261	27%
Coachella	22,724	40,704	45,407	100%
Corona	124,966	152,374	164,659	32%
Desert Hot Springs	16,582	25,938	29,048	75.5%
Eastvale*	n/a	n/a	63,162	-
Hemet	58,812	78,657	80,070	36%
Indian Wells	3,816	4,958	5,412	42%
Indio	49,116	76,036	88,058	79%
Jurupa Valley*	n/a	n/a	98,177	-

County/City	April 1, 2000	April 1, 2010	2016	% Change (2000–2016)
Lake Elsinore	28,930	51,821	61,006	111%
La Quinta	23,694	37,467	39,977	69%
Menifee*	n/a	77,519	89,004	-
Moreno Valley	142,379	193,965	205,383	44%
Murrieta	44,282	103,466	113,795	157%
Norco	24,157	27,063	26,896	11%
Palm Desert	41,155	48,445	49,335	20%
Palm Springs	42,805	44,552	46,654	9%
Perris	36,189	68,386	73,722	104%
Rancho Mirage	13,249	17,218	18,070	36%
Riverside	255,166	303,871	324,696	27%
San Jacinto	23,779	44,199	47,656	100%
Temecula	57,716	100,097	109,064	89%
Wildomar*	n/a	32,176	35,168	-
Unincorporated	420,721	504,392	364,413	-13%
County Total	1,545,387	2,190,241	2,347,828	52%

Source: Demographic Research Unit, Department of Finance

* Cities incorporated after 2000.

Table H-3 displays the estimated population, housing units, households, and employment for the unincorporated areas of Riverside County for 2014. The results show that the western portion of the County contains approximately 79 percent of the unincorporated area's population, 73 percent of its housing units, 76 percent of its households, and 80 percent of its employment. In comparison, the eastern County contains 21 percent of the population, 27 percent of the housing units, 24 percent of the household, and 20 percent of the employment. The most populous area within the eastern County is the Western Coachella Valley Area.

Table H-3 Population, Households, and Employment Distribution, 2014

Planning Area ¹	Population	% of Total	Housing Units	% of Total	Households	% of Total	Employment	% of Total
Western County								
Aguanga CDP	897	0%	589	1%	418	0%	341	38%
Anza CDP	2,356	1%	1,329	1%	897	1%	954	40%
Cabazon CDP	3,266	1%	935	1%	880	1%	1,197	37%
Cherry Valley CDP	6,823	2%	2,941	3%	2,705	3%	3,055	45%
Coronita CDP	3,397	1%	951	1%	935	1%	1,670	49%
East Hemet CDP	18,188	6%	6,069	6%	5,410	6%	7,839	43%
El Cerrito CDP	5,551	2%	1,530	1%	1,467	2%	2,594	47%
El Sobrante CDP	14,855	5%	4,124	4%	3,905	4%	7,568	51%
French Valley CDP	26,753	9%	7,514	7%	7,115	8%	12,542	47%
Good Hope CDP	8,911	3%	2,434	2%	2,166	2%	3,837	43%
Green Acres CDP	2,330	1%	618	1%	563	1%	835	36%
Highgrove CDP	4,067	1%	1,266	1%	1,130	1%	1,972	48%
Home Gardens CDP	11,701	4%	3,119	3%	2,848	3%	5,378	46%

Planning Area ¹	Population	% of Total	Housing Units	% of Total	Households	% of Total	Employment	% of Total
Homeland CDP	5,921	2%	2329	2%	1,967	2%	2,556	43%
Idyllwild-Pine Cove CDP	2,562	1%	4,133	4%	1,150	1%	1,408	55%
Lakeland Village CDP	11,343	4%	3,965	4%	3,551	4%	5,624	50%
Lake Mathews CDP	5,518	2%	1,845	2%	1,611	2%	2437	44%
Lake Riverside CDP	858	0%	340	0%	277	0%	360	42%
Lakeview CDP	1,723	1%	525	0%	443	0%	849	49%
March ARB CDP	1,129	0%	730	1%	508	1%	341	30%
Meadowbrook CDP	3,447	1%	1,157	1%	1,032	1%	1,350	39%
Mead Valley CDP	19,851	7%	4,779	5%	4,486	5%	8,695	44%
Mountain Center CDP	75	0%	35	0%	18	0%	12	16%
Nuevo CDP	7,345	2%	2,123	2%	1,974	2%	3,348	46%
Romoland CDP	1,682	1%	466	0%	373	0%	939	56%
Temescal Valley CDP	24,714	8%	8,180	8%	7,760	9%	12,228	49%
Valle Vista CDP	15,995	5%	6,357	6%	5,641	6%	6,415	40%
Warm Springs CDP	3,163	1%	812	1%	805	1%	1,394	44%
Winchester CDP	2,717	1%	839	1%	790	1%	1,447	53%
Woodcrest CDP	15,951	5%	4,728	4%	4,440	5%	8,255	52%
<i>Subtotal</i>	<i>233,089</i>	<i>79%</i>	<i>76,762</i>	<i>73%</i>	<i>67,265</i>	<i>76%</i>	<i>107,440</i>	<i>80%</i>
Eastern County								
Bermuda Dunes CDP	7,719	3%	3,770	4%	2,811	3%	4,167	54%
Desert Center CDP	208	0%	207	0%	69	0%	78	38%
Desert Edge CDP	4,244	1%	3,448	3%	2,184	2%	1,164	27%
Desert Palms CDP	6,776	2%	5,307	5%	4,099	5%	913	13%
Garnet CDP	6,380	2%	2,361	2%	1,928	2%	2,856	45%
Indio Hills CDP	910	0%	411	0%	291	0%	426	47%
Mecca CDP	8,912	3%	2,215	2%	1,986	2%	4,321	48%
Mesa Verde CDP	1,004	0%	386	0%	342	0%	466	46%
North Shore CDP	3,184	1%	837	1%	700	1%	1,364	43%
Oasis CDP	5,807	2%	1,420	1%	1,297	1%	2,699	46%
Ripley CDP	659	0%	321	0%	256	0%	264	40%
Sky Valley CDP	2,493	1%	1,594	2%	973	1%	1,013	41%
Thermal CDP	3,570	1%	988	1%	949	1%	1,575	44%
Thousand Palms CDP	7,956	3%	3,972	4%	2,895	3%	3,220	40%
Vista Santa Rosa CDP	2,815	1%	831	1%	676	1%	1,396	50%
Whitewater CDP	469	0%	370	0%	172	0%	146	31%
<i>Subtotal</i>	<i>63,106</i>	<i>21%</i>	<i>28,438</i>	<i>27%</i>	<i>21,628</i>	<i>24%</i>	<i>26,068</i>	<i>20%</i>
Unincorporated Total	296,195	100%	105,200	100%	88,893	100%	133,508	100%
Riverside County Total	1,901,431	87%	676,617	87%	579,389	87%	885,263	87%

Source: 2010–2014 American Community Survey

Age Composition

The age distribution for the western and eastern portions of Riverside County is presented in Table H-4. According to 2016 ESRI data, roughly 38 percent of unincorporated Riverside County's population is prime working age, falling between 25 and 54 years of age. Another 22 percent of the population is school age, falling between 5 and 17 years of age. Roughly 27 percent of the population is over 55 years of age. The remaining 15 percent of the population comprises preschoolers and young adults. The unincorporated western and eastern County have slightly different age trends. Eastern County has a slightly lower working age population (32 percent) than western County (39 percent) and western County has a significantly lower population of retirement aged individuals (13 percent) than eastern County (22 percent).

Table H-4 Age Distribution 2010–2016

Age Group	2010				2016			
	Western Unincorp.	Eastern Unincorp.	Unincorp. Total	County Total	Western Unincorp.	Eastern Unincorp.	Unincorp. Total	County Total
Preschool (0-4)	19,712	6,362	26,074	157,741	20,886	6,116	27,002	170,223
School (5-17)*	58,409	15,421	73,830	442,958	65,991	16,582	82,573	512,477
Young Adult (18-24)*	25,663	7,290	32,953	222,768	19,593	5,282	24,875	173,914
Prime Working (25-54)	110,017	27,541	137,558	839,939	116,314	27,028	143,342	915,660
Mature (55-64)	29,757	9,092	38,849	204,339	35,731	9,908	45,639	255,319
Retirement (65+)	31,000	16,738	47,738	248,779	38,908	18,660	57,568	313,928
Total	274,558	82,444	357,002	2,116,524	297,423	83,576	380,999	2,341,521

Sources: US Census Bureau 2010; ESRI forecasts for 2016

*2016 Data had slightly different divisions for these cohorts, i.e., 5-19 and 20-24

Employment Trends

Employment Characteristics

According to the 2010- 2014 ACS, the estimated number of employed residents in all of Riverside County for all industries was 895,237. Of this, 1.7 percent or 15,006 were farm jobs, while 98.3 percent or 880,231 were non-farm jobs. The largest job sectors in the County were educational services (20 percent), retail trade (13 percent), Information (12 percent) and arts and entertainment (11 percent). A further breakdown is provided in the table below, which includes information on earnings and income levels by sector.

Table H-5 Employment by Industry, 2009–2014

Subject	Riverside County, California			
	Total		Median Earnings	Income Level
	Estimate	Percentage	Estimate	
Civilian employed population 16 years and over	895,237	100%	\$31,604	Very Low
Educational services, health care and social assistance	182,989	20%	\$35,449	Low
Retail trade	117,559	13%	\$22,865	Extremely Low
Arts, entertainment, and recreation, and accommodation and food services	101,782	11%	\$18,193	Extremely Low
Professional, scientific, and management, and administrative and waste management services	90,006	10%	\$29,847	Very Low
Manufacturing	82,197	9%	\$39,487	Low
Construction	72,345	8%	\$35,150	Low
Transportation and warehousing, and utilities	48,905	6%	\$41,701	Low
Other services, except public administration	47,240	5%	\$21,318	Extremely Low
Finance and insurance, real estate and rental and leasing	47,036	5%	\$41,823	Low
Public administration	47,036	5%	\$41,823	Low
Wholesale trade	46,143	5%	\$65,452	Moderate
Agriculture, forestry, fishing and hunting, and mining	15,006	2%	\$19,562	Extremely Low
Information	14,322	12%	\$47,774	Low

Source: 2010–2014 American Community Survey

Table H-6 projects the annual average employment by industry between 2010 and 2020 within the Riverside-San Bernardino-Ontario Metropolitan Statistical Area, which includes Riverside and San Bernardino Counties. Over this 10-year period, employment is expected to reach 1.46 million, or gain 206,700 jobs, for an annual growth rate of 2 percent. By comparison, during the same period, California’s annual growth rate is estimated to be the same at 2 percent. Riverside and San Bernardino Counties account for approximately 8.5 percent of California’s total non-farm employment. This will increase to 9.2 percent of the California’s non-farm employment growth during this period. The three industry sectors responsible for almost 62 percent of the new jobs are transportation, trade, and utilities; professional and business services; and leisure and hospitality. Using the annual average percentage growth rate for all non-farm employment of 2 percent as a baseline, the fastest growing non-farm industry sector is transportation, warehousing, and utilities, which is expected to grow 3 percent. In addition to the 206,700 job gain between 2010 and 2020, an estimated 315,500 job openings are also expected to become available. New jobs together with job openings would therefore total about 522,200 job openings during this period.

As the national economy improved during the 1990s, Riverside County’s economy also improved with the unemployment rate dropping from a high in 1993 of 12 percent (71,000 unemployed) to 5 percent (36,500 unemployed) in 2000. Between 2000 and 2010, the unemployment rate for Riverside County averaged 6 percent. Since 2006, the height of the “housing bubble” and accompanying economic downturn, the unemployment rate steadily increased to a high of 13 percent in May 2009, and has declined with economic recovery to 4.9 percent as of April 2017. Riverside County’s unemployment rate is just slightly higher than the statewide rate of 4.5 percent (California Labor Market Info).

Table H-6 Employment Trends by Industry, 2010–2020

Industry	Employment			Percent Distribution		
	2010	2020	change	2010	2020	change
Total Employment	1,253,300	1,460,000	206,700	100.0%	100.0%	0.0%
Total Farm	15,000	14,000	-1,000	3%	1.0%	-0.2%
Total Non-Farm	1,238,300	1,446,000	207,700	99%	99.0%	0.2%
Natural Resources and Mining	1,000	900	-100	0.1%	0.1%	0%
Construction	59,700	69,300	9,600	5%	4.7%	0%
Manufacturing	85,100	88,400	3,300	7%	6%	-0.7%
Durable Goods (321, 327, 331-339)	55,300	59,000	3,700	4%	4%	-0.4%
Nondurable Goods (311-316, 322-326)	29,800	29,400	-400	2%	2%	-0.4%
Trade, Transportation and Utilities	270,800	336,600	65,800	22%	23%	1.4%
Wholesale Trade	48,600	60,500	11,900	4%	4%	0.3%
Retail Trade	155,500	190,800	35,300	12%	13%	0.7%
Transportation, Warehousing and Utilities	66,600	85,300	18,700	5%	6%	0.5%
Utilities	5,800	6,400	600	0.5%	0.4%	0.0%
Transportation and Warehousing	60,900	78,900	18,000	5%	5%	0.5%
Information	15,800	15,600	-200	1%	1%	-0.2%
Financial Activities	41,000	45,400	4,400	3%	3%	-0.2%
Finance and Insurance	25,500	28,400	2,900	2%	2%	-0.1%
Real Estate and Rental and Leasing	15,500	17,100	1,600	1%	1%	-0.1%
Professional and Business Services	123,400	156,500	33,100	10%	11%	0.9%
Education and Health Services	133,800	169,800	36,000	11%	12%	1.0%
Educational Services (Private)	15,600	21,000	5,400	1%	1%	0.2%
Health Care and Social Assistance	118,200	148,800	30,600	9%	10%	0.8%
Leisure and Hospitality	122,800	151,300	28,500	10%	10%	0.6%
Arts, Entertainment, and Recreation	15,800	18,100	2,300	1%	1%	0.0%
Accommodation and Food Services	106,900	133,200	26,300	9%	9%	0.6%
Other Services	38,200	43,300	5,100	3%	3%	-0.1%
Government	234,300	243,600	9,300	19%	17%	-2.0%
Federal Government	22,700	19,800	-2,900	2%	1%	-0.5%
State Government	29,300	31,000	1,700	2%	2%	-0.2%
Local Government	182,300	192,800	10,500	15%	13%	-1.3%

Source: CA Employment Development Department

Large Employers

There are several businesses and organizations in Riverside County that employ a large number of residents from Riverside or nearby counties, though the majority of these employers are located in cities rather than the unincorporated County. Table H-7 identifies the County's largest employers. Each of these employers have 1,000 to 4,999 employees.

Table H-7 Riverside County Largest Employers

Employer Name	Location	Industry
1,000 – 4,999 Employees		
Amazon Fulfillment Ctr	Moreno Valley	Distribution Centers (whls)
Boston Scientific Corp	Temecula	Physicians & Surgeons Equip & Supls-Whls
Corrections Dept	Norco	Government Offices-State
Desert Regional Medical Ctr	Palm Springs	Hospitals
Eisenhower Medical Ctr	Rancho Mirage	Hospitals
Fantasy Springs Resort Casino	Indio	Casinos
Handsome Rewards	Perris	Internet & Catalog Shopping
Hemet Valley Medical Ctr	Hemet	Hospitals
Hotel At Fantasy Springs	Indio	Casinos
Inland Valley Medical Ctr	Wildomar	Hospitals
J W Marriott-Desert Springs Resort	Palm Desert	Hotels & Motels
La Quinta Resort	La Quinta	Resorts
Morongo Casino Resort & Spa	Cabazon	Casinos
Morongo Tribal Gaming Ent	Banning	Business Management Consultants
Pechanga Resort-Casino Showroom	Temecula	Casinos
Riverside Community Hospital	Riverside	Hospitals
Riverside University Health	Moreno Valley	Hospitals
Robertson's Ready Mix	Corona	Concrete-Ready Mixed
Southwest Healthcare System	Murrieta	Hospitals
Starcrest of California	Perris	Internet & Catalog Shopping
Starcrest Products	Perris	Gift Shops
Sun World Intl LLC	Coachella	Fruits & Vegetables-Wholesale
Universal Protection Svc	Palm Desert	Security Guard & Patrol Service
US Air Force Dept	March ARB	Military Bases

Source: California Employment Development Department 2016

Jobs / Housing Balance

In its 2001 paper “The New Economy and Jobs/Housing Balance in Southern California,” SCAG defined jobs/housing balance as the “provision of an adequate supply of housing to house workers employed in a defined area (i.e., community or sub region). Alternatively, a jobs/housing balance can be defined as an adequate provision of employment in a defined area that generates enough local workers to fill the housing supply.” Based on earlier commuter surveys, SCAG determined that commuters preferred one-way commute times of less than 30 minutes (14 minutes was the ideal), based on average commute speeds, and jobs within 14 miles of home. From this information, SCAG established that jobs-to-household ratios of 1.0 to 1.29 were balanced. Areas with ratios significantly different from this standard would be considered to be out of balance.

Traffic patterns on the major east–west transportation routes indicate that Riverside County serves as a bedroom community that supplies a substantial portion of the labor pool for the Los Angeles-Orange County metropolitan

area. Additionally, Riverside County also serves as a bedroom community for San Diego County. Between 2010 and 2014, the jobs-to-household ratio increased throughout the County, as shown in Table H-8.

Table H-8 Job-Household Ratios, Unincorporated Riverside County, 2010–2014

	Total County		Western Unincorporated		Eastern Unincorporated		Unincorporated Total	
	2010	2014	2010	2014	2010	2014	2010	2014
Employment	700,266	885,263	47,339	107,440	20,116	26,068	67,455	133,508
Households	653,977	690,388	83,746	85,269	26,120	27,664	109,866	112,933
Jobs-Household Ratios	1.07	1.28	0.57	1.26	0.77	0.94	0.61	1.18

Source: Riverside County Center for Demographic Research 2012; Department of Finance 2010; 2010–2014 American Community Survey

Note: Data not seasonally adjusted.

Household Characteristics

The following is an analysis of household size and income characteristics. By definition a "household" consists of all the people occupying a dwelling unit.

Households Type and Size

A household refers to the people occupying a home, such as a family, a single person, or unrelated persons living together. Family households often prefer single-family homes or condominiums to accommodate children, while non-family households generally occupy smaller apartments or condominiums.

Table H-9 displays household composition as reported by the 2010–2014 ACS. In unincorporated Riverside County, families comprised 79.3 percent of all households in the western part of the County, of which 41.8 percent were families with children under 18. In the eastern portion of the County, families comprised 68.5 percent of all households, of which 29.6 percent were families with children under 18.

Table H-9 Household Characteristics 2014

Jurisdiction	Households	Percentage of Households		
		Families	Families With Children Under 18	Non-Family
Unincorporated Western	89,111	79.3%	41.8%	20.7%
Unincorporated Eastern	27,664	68.5%	29.6%	31.5%
Riverside County	724,521	74.0%	41.1%	26.0%

Source: 2010–2014 American Community Survey

Persons per Household

The distribution of household size for Riverside County is displayed in Table H-10. The data indicates that 61 percent of households in Riverside County contain two to four persons, 18 percent contain one person, and 21 percent contain five or more persons. The County's eastern area tends to have slightly more one-person or two-person households and fewer households with three or more people. This is at least partially explained by the fact that a higher percentage of retirement-age persons live in the Coachella Valley than in the western portions of the county.

Table H-10 Household Size Distribution 2010

Household Size	Western County Area		Eastern County Area		Riverside County	
	Unincorp.	Percentage	Unincorp.	Percentage	Unincorp.	Percentage
1 person	13,579	16.23%	6,662	23.12%	20,241	17.99%
2 persons	24,167	28.88%	10,510	36.47%	34,677	30.83%
3-4 persons	27,438	32.79%	6,465	22.43%	33,903	30.14%
5+ persons	18,483	22.09%	5,181	17.98%	23,664	21.04%
Total	83,667	100.00%	28,818	100.00%	112,485	100.00%

Source: US Census Bureau, 2010.

Overcrowding

In response to higher housing prices, lower-income households must often be satisfied with smaller, less adequate housing for available money. This may result in overcrowding. Overcrowding causes a strain on physical facilities, does not provide a satisfying environment, and eventually causes conditions which contribute both to deterioration of the housing stock and neighborhoods in general. A household is considered to be overcrowded if there is more than 1.0 person per room. A typical two-bedroom apartment with a living room and kitchen (a total of four rooms excluding bathrooms and hallways) would be considered overcrowded if it had more than four occupants.

Overcrowding varies with tenure and income. Based on 2010–2014 ACS data provided by the US Census Bureau regarding overcrowding within the unincorporated area of Riverside County (Table H-11), approximately 13 percent of renter households were reported to be overcrowded or severely overcrowded. Only 5 percent of owner-occupied units were overcrowded or severely overcrowded. These statistics indicate that overcrowding is more prevalent among renter households than owner households. These percentages are consistent with the western portions of the county. The eastern unincorporated county had a slightly higher percentage of owner-occupied overcrowded households (8 percent).

Among owner households, overcrowding can often be alleviated by a room addition to the home. However, many lower-income households may lack the resources for a room addition, or the owners may be constrained by lot size or other physical constraints.

Table H-11 Overcrowding, 2014

Persons per Room	Owner		Renter		Total Households	
	Households	Percentage	Households	Percentage	Households	Percentage
Eastern Unincorporated Riverside County						
1.00 or less (Not Overcrowding)	16,528	92%	6,464	86%	22,992	91%
1.01 to 1.50 (Overcrowded)	1,009	6%	759	10%	1,768	7%
1.51 or more (Severely Overcrowded)	346	2%	250	3%	596	2%
Total	17,883	100%	7,473	100%	25,356	100%
Percent Overcrowded by Tenure	8%		14%		9%	
Western Unincorporated Riverside County						
1.00 or less (Not Overcrowding)	60,780	95%	19,041	87%	79,821	93%

Persons per Room	Owner		Renter		Total Households	
	Households	Percentage	Households	Percentage	Households	Percentage
1.01 to 1.50 (Overcrowded)	2,220	3%	2,232	10%	4,452	5%
1.51 or more (Severely Overcrowded)	732	1%	638	3%	1,370	2%
Total	63,732	100%	21,911	100%	85,643	100%
Percent Overcrowded by Tenure	5%		13%		7%	
Total Unincorporated Riverside County						
1.00 or less (Not Overcrowding)	77,308	95%	25,505	87%	102,813	93%
1.01 to 1.50 (Overcrowded)	3,229	4%	2,991	10%	6,220	6%
1.51 or more (Severely Overcrowded)	1,078	1%	888	3%	1,966	2%
Total	81,615	100%	29,384	100%	110,999	100%
Percent Overcrowded by Tenure	5%		13%		7%	

Source: 2010–2014 American Community Survey

Household Income

The state of California uses five income categories to determine housing affordability and need in communities. This method is consistent with definitions of low- and moderate-income households used in various federal and state housing programs, e.g., Section 8 and state density bonus law. These categories are as follows:

- Extremely Low Income—less than or equal to 30% of median income
- Very Low Income—31% to 50% of median income
- Low Income—51% to 80% of median income
- Moderate Income—81% to 120% of median income
- Above Moderate Income—more than 120% of median income

The California Department of Housing and Community Development (HCD) develops annual median household income estimates and income limits (as shown on Table H-12) for Riverside County. The median income for a family of four in 2016 was \$65,000.

Table H-12 2016 Income Limits by Persons in Household

Income Category	Number of Persons in Household							
	1	2	3	4	5	6	7	8
Extremely Low	\$14,100	\$16,100	\$20,160	\$24,300	\$28,440	\$32,580	\$36,730	\$40,890
Very Low	\$23,450	\$26,800	\$30,150	\$33,500	\$36,200	\$38,900	\$41,550	\$44,250
Low	\$37,550	\$42,900	\$48,250	\$53,600	\$57,900	\$62,200	\$66,500	\$70,800
Moderate	\$54,600	\$62,400	\$70,200	\$78,000	\$84,250	\$90,500	\$96,700	\$102,950

Area Median Income: \$65,000

Source: Department of Housing and Community Development: Official State Income Limits for 2016

Table H-13 presents the distribution of household income in unincorporated Riverside County as reported in the 2016 ESRI forecast. In Riverside County as a whole, the largest income brackets are \$50,000 to \$74,999 (18 percent) and \$100,000 to \$149,999 (15 percent). Additionally, 30 percent of all households earn less than \$34,999, which is on the cusp of falling into the extremely low income range, and 11 percent of households earn more than \$150,000 per year, falling into the above moderate range.

In the eastern unincorporated portion of Riverside, household income is fairly evenly distributed, with the largest categories being households earning \$35,000–\$49,999 and \$50,000–\$74,999 (both 16 percent). A total of 43 percent of households earn \$34,999 or less, which is on the cusp of falling into the extremely low income range. Very few households earn more than \$150,000 (6 percent total), which fall into the above moderate range.

In the western unincorporated county, income patterns are similar but are overall higher than in the east. The largest categories are household incomes earning \$50,000–\$74,999 and \$100,000–\$150,000 (both 17 percent). Additionally, 14 percent of all households earn more than \$150,000, which fall into the above moderate income range.

Table H-13 Household Income, 2014

Annual Income	Eastern Unincorporated County		Western Unincorporated County		Riverside County Total	
	Number	Percentage	Number	Percentage	Number	Percentage
Less than \$14,999	4,384	15%	8,031	9%	74,882	10%
\$15,000 to \$24,999	4,363	15%	7,869	9%	69,081	10%
\$25,000 to \$34,999	3,894	13%	7,978	9%	68,615	10%
\$35,000 to \$49,999	4,777	16%	10,297	12%	96,364	13%
\$50,000 to \$74,999	4,709	16%	15,442	17%	128,074	18%
\$75,000 to \$99,999	2,708	9%	11,472	13%	94,185	13%
\$100,000 to \$149,999	2,657	9%	15,406	17%	109,901	15%
\$150,000 to \$199,999	966	3%	7,472	8%	46,395	6%
\$200,000 or more	913	3%	5,136	6%	37,009	5%
Total Households	29,371	100%	89,103	100%	724,506	100%

Source: 2010–2014 American Community Survey

Extremely Low-Income Households

Extremely low-income households are those earning 30 percent or less of the area median income. In 2016, the upper limit of this income category was \$24,300 for a family of four. Those with the lowest incomes may experience the greatest challenges in finding suitable, affordable housing. Extremely low-income households often have a combination of housing challenges related to income, credit status, disability or mobility status, family size, household characteristics, supportive service needs, or a lack of affordable housing opportunities. These households typically include seniors on social security, individuals with disabilities, single parents, and low-wage workers. Some extremely low-income individuals and households are homeless.

Many extremely low-income households will be seeking rental housing and most likely facing an overpayment, overcrowding, or substandard housing condition. Some extremely low-income households could have members with mental or other disabilities and special needs.

When breaking the data down even more—considering the data in Table H-13 and using the aforementioned \$24,300 threshold—approximately 22 percent (or 24,702 households) of households in unincorporated Riverside County fell into the extremely low-income range, according to the 2010–2014 ACS. Of those households, 41 percent were renters and 59 percent were homeowners.

To address the range of needs, the County provides zoning for a variety of housing types. The County has included Action 3.5b to consider the conversion of small older hotels to transitional housing facilities, emergency shelters, or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. Action 3.5b also states that the County will process an amendment to Ordinance No. 348 to define SROs and permit them in the General Commercial Zone (C-1/C-P) with a conditional use permit.

In addition, the County has included Action 1.1i, which encourages the development of housing for extremely low-income households through a variety of activities, such as outreach to housing developers on an annual basis; providing financial assistance (when feasible) or in-kind technical assistance or land writedowns; providing expedited processing; identifying grant and funding opportunities; applying for or supporting applications for funding on an ongoing basis; reviewing and prioritizing local funding at least twice in the Housing Element planning period; and offering additional incentives beyond the density bonus.

Households Overpaying for Housing

State housing policy recognizes that cooperative participation of the private and public sectors is necessary to expand housing opportunities to all economic segments of the community. A primary state goal is the provision of decent housing and suitable living environment for Californians of all economic levels. Historically, the private sector generally responds to the majority of the community's housing needs through the production of market-rate housing. However, the percentage of the population on a statewide basis that can afford market-rate housing is declining. By definition, a household is considered to be overpaying “when housing cost exceeds 30 percent of gross household income” (Health & Safety Code, Section 50052.5).

In determining existing need for affordable housing, it is necessary to relate income to housing costs and rent prices. Affordability is defined by the Department of Housing and Urban Development (HUD) as the expenditure of no more than 30 percent of the household income for housing costs using a hypothetical family of four persons. Severe cost burden occurs when a household spends more than 50 percent of its total income on housing, including utilities. Incidence of cost burden is of concern for the reasons previously discussed. Incidence of cost burden is most significant among lower-income households since, by definition, their income is so small that overpaying for housing endangers their ability to pay for other necessities. Cost burden is also a concern among owner-occupied households, as sufficient resources to properly maintain the home or make repairs when needed may not be available, thus accelerating deterioration of the home.

Overall, cost burden among renter households tended to be most prevalent among the lower-income households. As well, large renter families with lower incomes experienced severe cost burdens. Among the total renter population, the highest incidence of overpayment was found among the elderly. This may have been due to the fact that most elderly households have fixed incomes, yet rent and utility costs continue to rise. Since many elderly households also have high health care costs, overpayment for housing may cause these households to forgo needed medical attention. The cost of an illness or hospitalization may place these households in serious jeopardy.

A distinction between renter and owner housing overpayment is important—while homeowners may overextend themselves financially to purchase a home, owners maintain the option of selling the home and may realize tax benefits or appreciation in value. (Due to the drop in home values during the mid- to late 2000s, some owners who purchased at the peak of the market may be “upside down,” i.e., their current equity is less than their loan amount.

This is reflected in the increased foreclosure rates during that period.) Renters, on the other hand, are limited to the rental market, and are generally required to pay the rent established by the market. The discrepancy in overpaying between renter and owner households is largely reflective of the tendency for renter households to have lower incomes than owner households.

According to the 2010–2014 ACS, there are a total of 18,112 (29 percent) lower-income, owner-occupied households overpaying for housing and 13,985 (42 percent) lower income, renter-occupied households overpaying for housing in unincorporated Riverside County. Table H-14 shows the number of low-income households overpaying.

Table H-14 Percentage of Low-Income Households Overpaying for Housing

Households	Unincorp. Eastern County		Unincorp. Western County		Total Unincorp. Riverside County		Total All County Households
	Owner	Renter	Owner	Renter	Owner	Renter	
Incomes Less than 80% of the AMI	21,598	10,398	41,116	22,632	62,714	33,030	110,999
Spending 30% or More of Household Income on Housing	5,566	3,970	12,546	10,015	18,112	13,985	47,805
	26%	38%	31%	44%	29%	42%	43%

Source: 2010–2014 American Community Survey

Table H-15 presents the housing cost as a percentage of household income. The total unincorporated county has 36,869 households or 44 percent of households paying more than 30 percent of household income toward housing costs. Breaking this down further, the eastern unincorporated county has 36 percent of owner-occupied households paying more than 30 percent for housing, and 53 percent of renter-occupied households overpaying. The western unincorporated county has slightly higher percentages, with 40 percent and 55 percent respectively.

Table H-15 Housing Cost as a Percentage of Household (HH) Income

Income Range	Total Households	% Total Households	30+ HH Income*	30+% of HH Income
Eastern Unincorporated Riverside County				
Owner-Occupied Housing Units				
Less than \$20,000	3,798	20%	2,859	42%
\$20,000-34,999	3,799	20%	1,730	26%
\$35,000-49,999	3,202	17%	977	14%
\$50,000+	7,759	41%	1,188	18%
Zero or Negative income	225	1%	--	--
<i>Subtotal</i>	18,783	--	6,754	36%
Renter-Occupied Housing Units				
Less than \$20,000	2,160	27%	1,999	48%
\$20,000-34,999	1,626	21%	1162	28%
\$35,000-49,999	1,413	18%	809	19%
\$50,000 +	1,809	23%	212	5%
Zero or Negative Income or No Cash Rent	855	11%	--	--
<i>Subtotal</i>	7,863	--	4,182	53%
Total	26,646	--	10,936	41%

Income Range	Total Households	% Total Households	30+ HH Income*	30+% of HH Income
Western Unincorporated Riverside County				
Owner-Occupied Housing Units				
Less than \$20,000	6,142	10%	4,650	19%
\$20,000-34,999	7,314	12%	4,279	17%
\$35,000-49,999	7,102	11%	3,617	14%
\$50,000 +	41,623	66%	12,505	50%
Zero or Negative income	651	1%	--	--
<i>Subtotal</i>	62,832	--	25,051	40%
Renter-Occupied Housing Units				
Less than \$20,000	4,167	19%	4,129	35%
\$20,000-34,999	4,254	20%	3,734	32%
\$35,000-49,999	2,895	13%	2,152	18%
\$50,000 +	8,367	39%	1,803	15%
Zero or Negative Income or No Cash Rent	1,838	9%	--	--
<i>Subtotal</i>	21,521	--	11,818	55%
Total	84,353	--	36,869	44%

Source: 2010 – 2014 American Community Survey

Housing Problems for Lower-Income Households

Table H-15 shows that in unincorporated Riverside County, about 75 percent of lower-income renters are estimated to be overpaying. Among lower-income owners, 58 percent are estimated to be overpaying. Of the 106,577 households in 2013, lower-income households who were overpaying (28,125) made up about 26 percent of all households in unincorporated Riverside County.

To assist with the housing need for extremely low-income households, the County has included Action 1.1.i, which encourages the development of housing for extremely low-income households through a variety of activities, such as outreach to housing developers on an annual basis; providing financial assistance (when feasible) or in-kind technical assistance or land writedowns; providing expedited processing; identifying grant and funding opportunities; applying for or supporting applications for funding on an ongoing basis; reviewing and prioritizing local funding at least twice in the planning period; and/or offering additional incentives beyond the density bonus.

Housing Stock Characteristics

This section summarizes the housing inventory and prevailing market conditions in Riverside County.

Housing Type

Table H-16 summarizes the distribution of housing by type in the unincorporated portions of Riverside County in 2014. Of the 136,745 units in the unincorporated County, 72 percent were single-family homes, 23 percent were mobile homes, and multifamily homes comprised a total of 4 percent of the housing stock. When comparing this

to 2007, the percentages were almost identical, with 70 percent representing single-family homes, 22 percent mobile homes, and 5 percent making up multifamily units.

Second units are also a component of the housing stock in the unincorporated area of Riverside County. From 2006 to August 2013, 383 building permits were issued for second units in the County’s unincorporated area. From January 2013 to February 2017, a total of 60 building permits were issued for second units in the County’s unincorporated area.

Table H-16 Housing Inventory by Type, 2014

Planning Area	SF Detached	SF Attached	Multiple 2-4	Multiple 5+	Mobile Homes	Boat, RV, Van, etc.*	Total
Western County Area	72,935	2,187	1,501	2,825	17,663	328	97,439
	75%	2%	2%	3%	18%	<1%	100%
Eastern County Area	21,860	653	518	1,774	13,115	386	38,306
	57%	2%	1%	5%	34%	1%	100%
Total	94,795	2,840	2,019	4,599	30,778	714	136,745
	70%	2%	1%	3%	23%	1%	100%

Source: 2010–2014 American Community Survey

Vacancy Rates and Tenure

The vacancy rate is an indicator of the general availability of housing. It also reflects how well available units meet the current housing market demand. A low vacancy rate suggests that households may have difficulty finding housing within their price range; a high vacancy rate may indicate an imbalance between household characteristics and the type of available units, an oversupply of housing units, or large numbers of homes that are for seasonal use, recreational use, or occasional use. The availability of vacant housing units provides households with choices on different unit types to accommodate changing needs (e.g., single persons, newly married couples, and elderly households typically need smaller units than households with school-age children). A low vacancy rate may contribute to higher market rents and prices, and may limit the choices of households in finding adequate housing. It may also be related to overcrowding, as discussed later.

Table H-17 provides occupancy and tenure characteristics for the unincorporated areas of Riverside County based on the 2010–2014 ACS. The data indicated a 27 percent vacancy rate in the eastern County area and a 12 percent vacancy rate in the western County area. These figures combine to give the entire unincorporated area of Riverside County a 17 percent vacancy rate in 2014.

In 2014, occupancy rates were higher in owned units (61 percent) than in rental units (22%). Owned units are more prevalent in both planning areas and particularly in the western County area, where owned units represent over three quarters of occupied units. The unusually high vacancy rate in the eastern County area is due primarily to the large number of vacation homes.

Table H-17 Housing Inventory by Tenure, 2014

Planning Area	Total Units	Occupied Units		Vacant Units		
		Rental	Owner	For Rent	For Sale	Other*
Western County Area	96,713	21,521	62,832	1,180	1,339	9,214
		22%	65%	1%	1%	10%
Eastern County Area	37,096	7,863	18,783	920	851	8,397
		21%	51%	2%	2%	23%
Total	133,809	29,384	81,615	2,100	2,190	17,611
		22%	61%	2%	2%	13%

Source: 2010–2014 ACS

*Includes seasonal, recreational, occasional use, for migrant workers and other vacant

Age and Condition of Housing Stock

Age is one measure of housing stock conditions and a factor for determining the need for rehabilitation. Without proper maintenance, housing units deteriorate over time. Thus, units that are older are more likely to be in need of major repairs (e.g., a new roof or plumbing). As a general rule of thumb, houses 30 years old or older are considered aged and are more likely to require major repairs. In addition, older houses may not be built to current standards for fire and earthquake safety.

When looking at Table H-18, approximately 32 percent of the housing stock in unincorporated areas was relatively new, 20 years old or less in age. According to the 2010–2014 ACS, approximately half of the housing stock in both the eastern and western portions of the County was built before 1987 (30 years or older). Based on this, it is safe to assume that a majority of these units are in need of some type of rehabilitation.

It should also be noted that approximately one quarter of all housing units in the unincorporated County are manufactured homes. Experience has shown that these structures age much more rapidly than those of traditional construction; therefore, assumptions regarding housing conditions based solely on age may not be valid for manufactured homes. The County has paid particular attention to the illegal and unsafe mobile home parks in the Coachella Valley. As of March 2016, according to Riverside County Code Enforcement, there are approximately 602 unpermitted and potentially substandard mobile home units within the Eastern unincorporated portion of the county and 252 unpermitted and potentially substandard mobile home units within the Western unincorporated portion of the county.

The County has assigned staff from the following agencies/organizations to address this issue: Economic Development Agency; Environmental Health Department; Building and Safety Department; Code Enforcement; and Department of Animal Services. The County previously developed an array of programs, allocating millions of dollars of redevelopment funds to assist mobile home park owners and residents in bringing the parks and residences up to code.

Table H-18 Age of Housing Stock

Year Housing Unit Built	Eastern Unincorporated Riverside County		Western Unincorporated Riverside County		Total Unincorporated Riverside County		Riverside County	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent
2010 or later	317	0.8%	1,362	1.4%	1,679	1%	8,139	1.0%
2000 to 2009	10,593	27.1%	31,100	31.9%	41,693	31%	221,856	27.4%
1990 to 1999	7,962	20.4%	12,613	12.9%	20,575	15%	127,654	15.8%
1980 to 1989	7,776	19.9%	19,061	19.6%	26,837	20%	177,117	21.9%
1970 to 1979	6,819	17.4%	16,324	16.8%	23,143	17%	123,064	15.2%
1960 to 1969	2,845	7.3%	8,340	8.6%	11,185	8%	66,407	8.2%
1950 to 1959	1,846	4.7%	4,663	4.8%	6,509	5%	52,072	6.4%
1940 to 1949	548	1.4%	2,175	2.2%	2,723	2%	17,400	2.1%
1939 or earlier	387	1.0%	1,799	1.8%	2,186	2%	16,717	2.1%
Total	39,093	100.0%	97,438	100%	136,531	100%	810,426	100.0%

Source: 2010–2014 American Community Survey

Substandard Housing

As shown in Table H-18, the housing stock in unincorporated areas is relatively new, with over 91 percent of all units built after 1960. According to the 2010 Census, only 0.5 percent of all Riverside County housing units lacked complete kitchen facilities and only 1.5 percent lacked complete plumbing facilities. As a result, a relatively small proportion of units should require major rehabilitation.

According to 2010-2014 American Community Survey 5-Year Estimates for the County of Riverside, it is estimated that about 7,097 housing units (less than 1 percent) in Riverside County lack complete kitchen or plumbing facilities. According to the 2010- 2014 ACS, there are 136,745 housing units within unincorporated areas of Riverside County. According to the California Statewide Housing Plan, about 10 percent of housing units statewide are estimated to be in need of rehabilitation or repair. The California Statewide Housing Plan 2015-2025 has not been completed and therefore the County relied on the prior California Statewide Housing Plan. On the basis of the 10 percent estimation, it is estimated that about 13,675 units in the unincorporated Riverside County could have some physical problem requiring attention. The aging housing stock within the unincorporated areas of Riverside County further supports the need for substantial rehabilitation (see Table H-19).

**Table H-19
Combined Housing Rehabilitation and Replacement Need**

Housing Stock		Units Needing Rehabilitation						Units Needing Replacement			
Year Built	Total Number of Units Unincorp. Riverside ¹	Current Rate of County Assistance By Age Category ²	Units Assisted Rehabilitation or Replacement (Low Range)	Western County ²	Eastern County ²	% of Units That May Have Lead-Based Paint Hazards ⁴	Units Assisted Lead-Based Paint Mitigation (High Range)	% Rate of Replacement Need	Units Needing Replacement (Assisted)	Western County ³	Eastern County ³
2000 or later	40,043	0	0	0	0	n/a	n/a	0	0	0	0
1990 to 1999	35,828	3.0%	1,075	570	505	n/a	n/a	5%	107	57	51
1980 to 1989	44,641	12.7%	5,668	3,854	1,814	n/a	n/a	10%	566	385	181
1960 to 1979	49,048	11.1%	5,433	3,694	1,739	29.9%	14,645	20%	1,087	739	348
1940 to 1959	17,818	19.9%	3,548	2,413	1,135	49.4%	8,800	30%	1,065	724	341
1939 or earlier	4,023	53.5%	2,152	1,463	689	186.9%	7,518	40%	860	585	275
Total Units:	191,401		17,876	11,994	5,882		30,963		3,685	2,490	1,196

1. Source: 2006 US Census of Population and Housing Summary

2. A total of 1513 units were inspected between March 1992 and February 2002 for County Rehab Program eligibility. 1150 were assisted. Source: Housing Rehab Master Database 2002

3. Based on historical percentages of assistance for Riverside County Housing Rehabilitation Programs from program inception to present. Source: Annual Performance Reports (APR) and Consolidated Annual Performance and Evaluation Reports (CAPER)

4. National Center for Lead-Safe Housing

Housing Costs and Rents

New Home Price Trends

Between 2001 and 2006, the height of the “housing bubble,” median housing prices in the County rose from \$172,894 to \$420,000, a 143 percent increase in price. Between 2006 and January 2009, prices fell from a high of \$420,000 to a low of \$195,000, a 54 percent decline (source: DataQuick Information Systems).

Table H-20 compares median sales prices by community for December 2015 and December 2016. Over this period, the median sales price for Riverside County increased from \$320,000 to \$345,000, an increase of 8 percent.

Table H-20 Riverside County Sale Activity, December 2016 and 2015

County/City/Area	#Sold	Median Price Dec 2016	Median Price Dec 2015	% Change Yr-to-Yr
Riverside County	3,527	\$345,000	\$320,000	7.8%
Aguanga	5	\$325,000	\$287,500	13.0%
Anza	3	\$126,250	\$192,500	-34.4%
Banning	48	\$210,000	\$200,000	5.0%
Beaumont	119	\$308,137	\$289,000	6.6%
Blythe	12	\$186,000	\$124,000	50.0%
Cabazon	3	\$173,000	\$125,000	38.4%
Calimesa	20	\$345,750	\$354,000	-2.3%
Cathedral City	58	\$280,000	\$227,000	23.3%
Coachella	29	\$228,000	\$222,500	2.5%
Corona	332	\$475,000	\$430,000	10.5%
Desert Hot Springs	44	\$185,000	\$149,000	24.2%
Hemet	150	\$219,500	\$208,000	5.5%
Idyllwild	16	\$312,250	\$154,000	102.8%
Indian Wells	17	\$600,000	\$549,000	9.3%
Indio	148	\$286,750	\$287,500	-0.3%
La Quinta	130	\$357,500	\$407,500	-12.3%
Lake Elsinore	213	\$345,500	\$325,000	6.3%
Menifee	93	\$360,000	\$366,500	-1.8%
Mira Loma	65	\$493,000	\$384,000	28.4%
Moreno Valley	208	\$282,000	\$262,000	7.6%
Mountain Center	5	\$270,000	\$379,500	-28.9%
Murrieta	245	\$383,250	\$360,000	6.5%
Norco	32	\$441,000	\$475,000	-7.2%
Nuevo	9	\$330,000	\$300,000	10.0%
Palm Desert	186	\$293,500	\$250,000	17.4%
Palm Springs	133	\$380,000	\$357,000	6.4%
Perris	101	\$315,000	\$273,000	15.4%
Rancho Mirage	58	\$407,000	\$500,000	-18.6%

County/City/Area	#Sold	Median Price Dec 2016	Median Price Dec 2015	% Change Yr-to-Yr
Riverside	425	\$360,000	\$340,000	5.9%
San Jacinto	88	\$242,500	\$230,000	5.4%
Sun City	111	\$265,000	\$230,000	15.2%
Temecula	181	\$420,000	\$390,000	7.7%
Thermal	3	\$72,500	\$220,000	-67.0%
Thousand Palms	2	\$160,000	\$220,000	-27.3%
Wildomar	33	\$380,500	\$330,000	15.3%
Winchester	86	\$385,500	\$376,250	2.5%

Source: CoreLogic 2017

Manufactured Homes

Based on costs provided by regional builders, the cost of new manufactured housing currently ranges from \$62,000 to \$400,000. There would be an additional cost of preparing the land, which varies between \$20,000 and \$40,000. Most manufactured housing developed in the County serves cost-constrained families, providing an affordable alternative to traditional stick-built development. Table H-21 shows that a four-person, very low-income household can afford a maximum sales price of \$123,100 and a four-person, low-income household can afford a maximum sales price of \$190,400, meaning that manufactured housing is affordable to both very low- and low-income households. A manufactured home may also be used as a second housing unit under Ordinance No. 348 (zoning ordinance).

Mobile homes, because of differences in materials and construction technology, have in the past not been as durable as traditional stick-built homes. Repairs may be more difficult for the same reasons. The County continues to address unpermitted mobile home parks. Of particular concern are the health and safety of the residents in illegal and unsafe mobile homes or mobile parks in the Coachella Valley. As of March 2016, according to Riverside County Code Enforcement, there are approximately 602 unpermitted and potentially substandard mobile home units within the Eastern unincorporated portion of the county and 252 unpermitted and potentially substandard mobile home units within the Western unincorporated portion of the county.

Table H-21 Cost Comparison for New Manufactured Homes 2000–2007

	2000	2001	2002	2003	2004	2005	2006	2007
Average Sales Price*	\$77,202	\$83,041	\$76,352	\$79,983	\$88,250	\$97,940	\$109,940	\$113,143
Average Square Footage*	1,340	1,346	1,356	1,385	1,416	1,418	1,441	1,411
Cost per Square Foot	\$57.61	\$61.69	\$56.31	\$57.75	\$63.72	\$69.07	\$76.29	\$80.19
Average Price Per Square Foot of New Single-Family Houses in Western U.S. ¹	\$79.93	\$82.77	\$89.31	\$93.43	\$102.26	\$114.45	\$120.66	\$121.78
New Manufactured Units Sold								
California	6,372	6,568	7,195	7,481	9,206	9,412	8,744	5,876
Riverside County	638	704	800	1,099	1,408	1,413	1,136	665
Riverside Units as a Percentage of State Sales	10%	11%	11%	15%	15%	15%	13%	11%

*Represents average of a two-section manufactured home only, no fees or land included.

Source: California Manufactured Housing Institute, Northwest Research Group, Sawtooth Research Group.

1. US Census Bureau Characteristics of New Housing.

Rental Prices

According to various apartment listing websites, the average rent for housing units varies widely depending on location. Table H-22 identifies a sampling of rental listing prices for a variety of areas in Riverside County. Generally, the rental price of units in the eastern County are significantly lower than the western County, and available units in the unincorporated County will be slightly lower than those in the cities listed below.

Table H-22 Average Rents by Unit Type, 2016

Jurisdiction	1-bedroom	2-bedroom	3-bedroom
Blythe	\$520	\$930	\$1,089
Eastvale	\$1,320	\$2,050	\$2,237
Temecula	\$995	\$1,403	\$1,697
Wildomar	\$1,170	\$1,564	\$1,816

Sources: trulia.com, craigslist.org, 2016

Housing Affordability

Table H-23 shows the affordable rents and maximum purchase price, based on the HCD income limits for Riverside County. As shown, the maximum affordable rent is \$838 monthly for a very low-income, four-person household, \$1,340 for a low-income household, and \$1,950 for a moderate-income household. As shown in Table H-22, two- and three-bedroom units were renting at a range of \$930 to \$2,237, and therefore are out of the affordability range for very low-income households and slightly out of the affordability range for low-income households, but within a price range for moderate-income households. As shown in Table H-22, some units on the lower end of the price range are within reach of both very low- and low-income households.

As of December 2016, the median sales price for all single-family homes in Riverside County was \$345,000 (Table H-20). The maximum affordable sales price for a four-person household is \$123,100 for a very low-income household, \$190,400 for a low-income household, and \$276,400 for a moderate-income household (Table H-20). While the overall County median income is not affordable to very low-, low-, or moderate-income households, there are areas in the County that would be affordable to these income levels.

Table H-23 Housing Affordability by Income Level

	Income Level (Based on a Four-person Household)		
	Very Low	Low	Moderate
Annual Income	\$33,500	\$53,600	\$78,000
Monthly Income	\$2,792	\$4,467	\$6,500
Maximum Monthly Gross Rent ¹	\$838	\$1,340	\$1,950
Maximum Purchase Price ²	\$123,100	\$190,400	\$276,400

Source: 2016 Income Limits, Department of Housing and Community Development, monthly mortgage calculation: <http://www.realtor.com/home-finance/financial-calculators/home-affordability-calculator.aspx?source=web>

1. Affordable housing cost for renter-occupied households assumes 30% of gross household income, not including utility cost.

2. Affordable housing sales prices are based on the following assumed variables: approximately 10% down payment, 30-year fixed rate mortgage at 4% annual interest rate.

Special Needs Groups

California housing law requires that the special needs of certain household groups be addressed by each jurisdiction in its Housing Element. The special needs groups include elderly, persons with disabilities, large families, female heads of household, the homeless, and farm workers. These households typically experience difficulty in securing decent, affordable housing. Housing problems experienced by these groups may include, but are not limited to: insufficient number of bedrooms to accommodate the number of persons residing in the unit; limited availability of studio and one-bedroom units for single persons; monthly housing payments which severely limit remaining expendable income; accessibility problems for persons with disabilities or persons with limited mobility; the housing unit needs moderate or greater repair; and insufficient parking or access to public transportation. In terms of tenure, rental households generally have higher percentages of housing problems than owner households. Overall, generally the population segments with the greatest housing assistance needs are households earning less than 50 percent of the County median income.

Elderly Persons

The special housing needs of the elderly are an important concern since many retired persons are likely to be on fixed low incomes. In addition, the elderly maintain special needs related to housing construction and location. The elderly often require ramps, handrails, and lower cupboards and counters to allow greater access and mobility. They also may need special security devices for their homes to allow greater self-protection. In terms of location, because of limited mobility, the elderly also typically need to have access to public facilities (e.g., medical and shopping) and public transit facilities. The County of Riverside is committed to addressing the special needs of senior citizens. As such, the County offers a variety of resources and housing programs to meet these needs.

It is estimated that in 2016, approximately 9 percent of the unincorporated area population was 65 years of age or older (34,145 persons). According to the 2010–2014 ACS, approximately 28,753 seniors were householders representing 24 percent of all households in the unincorporated County. Of those households, approximately 25,501 were owner-occupied and 3,252 were renter-occupied. Table H-24 provides an additional breakdown for the eastern and western portions of the unincorporated County.

Table H-24 Householders by Age and Tenure

Householder Age	Owners		Renters		Total	
	Number	Percentage	Number	Percentage	Number	Percentage
Eastern Unincorporated Riverside County						
65-74 Years	3,645	42%	689	63%	4,334	44%
75 Plus years	5,045	58%	406	37%	5,451	56%
<i>Subtotal</i>	8,690	34%	1,095	34%	9,785	34%
Western Unincorporated Riverside County						
65-74 Years	9,991	59%	1,304	60%	11,295	60%
75 Plus years	6,820	41%	853	40%	7,673	40%
<i>Subtotal</i>	16,811	66%	2,157	66%	18,968	66%
Total Unincorporated Riverside County						
65-74 Years	13,636	53%	1,993	61%	15,629	54%
75 Plus years	11,865	47%	1,259	39%	13,124	46%
<i>Subtotal</i>	25,501	100%	3,252	100%	28,753	100%

Source: 2010–2014 American Community Survey

Large Households

According to the 2010–2014 ACS, there are approximately 20,996 households with five or more persons, representing 19 percent of all households in the unincorporated county. Of these, about 36 percent were renters and 64 percent were owners. Large households are included as a special needs group because they require larger dwellings with more bedrooms. These households typically have the highest cost burdens. This is especially true for renter households, because multifamily rental units are typically smaller than single-family units.

In addition to space requirements, large households often face a significant cost burden for housing. Large, very low-income households will continue to be among the most impacted in terms of finding and maintaining affordable and appropriate housing. Market-rate housing options available to this segment often include overcrowded rental units or poorly maintained single-family homes.

Statistics for the unincorporated area indicate that there are sufficient three-bedroom and above units to accommodate need. However, the majority of these units are offered at rents which are affordable to moderate-income households and above, with only a small proportion affordable to the upper income range of low-income households. This indicates that although there are resources available to meet the needs of large renter households, there are not sufficient numbers to accommodate the need, as the available units may be out of the price range for a number of households, and a number of the larger units may be rented by smaller households who are able to afford the market rent.

In order to increase the production of housing units for large families, the County utilizes local, state, and federal resources.

Female-Headed Households

Female-headed households are included as a special needs group because of the low rate of homeownership, lower incomes, and high poverty rates experienced by this group. According to the 2010–2014 ACS, there were 16,604 female-headed households (15 percent of all households) within unincorporated Riverside County.

Persons with Disabilities

Physical and developmental disabilities can hinder access to housing units of traditional design. Examples of housing design features that may be needed to accommodate persons with disabilities include level entries, wider doorways, larger bathrooms, lever-style door handles, hand-held showerheads, lower kitchen counters, and pull-out shelves.

According to the 2010–2014 ACS, 41,522 individuals (11 percent), 18 years of age or older and living in the unincorporated county, reported a limitation. The breakdown in population by type of limitation for the eastern and western unincorporated County is shown in Table H-25.

To meet the special needs of disabled residents, the County operates programs for home repair, rental assistance, and improving accessibility.

Table H-25 Disabilities Age 18+

	Type of Disability						With a Disability	Total Population 18+	Percentage with Disability
	Hearing	Vision	Cognitive	Ambulatory	Self Care	Independent Living			
Eastern Unincorporated Riverside County	8,174	3,922	5,308	10,778	4,390	6,780	10,418	77,466	13%
Western Unincorporated Riverside County	17,228	10,906	22,854	31,452	12,500	23,188	31,104	284,542	11%
Total Unincorporated County	25,402	14,828	28,162	42,230	16,890	29,968	41,522	362,008	11%

Source: 2010–2014 American Community Survey

Persons with Developmental Disabilities (Senate Bill 812)

SB 812 requires the County to include in the special housing needs analysis the needs of individuals with a developmental disability within the community. According to Section 4512 of the Welfare and Institutions Code, a "developmental disability" means a disability that originates before an individual attains age 18 years, continues, or can be expected to continue, indefinitely, and constitutes a substantial disability for that individual which includes mental retardation, cerebral palsy, epilepsy, and autism. This term shall also include disabling conditions found to be closely related to mental retardation or to require treatment similar to that required for individuals with mental retardation, but shall not include other handicapping conditions that are solely physical in nature.

Many developmentally disabled persons can live and work independently within a conventional housing environment. More severely disabled individuals require a group living environment where supervision is provided. The most severely affected individuals may require an institutional environment where medical attention and physical therapy are provided. Because developmental disabilities exist before adulthood, the first issue in supportive housing for the developmentally disabled is the transition from the person's living situation as a child to an appropriate level of independence as an adult.

The California Department of Developmental Services currently provides community-based services to approximately 243,000 persons with developmental disabilities and their families through a statewide system of 21 regional centers, four developmental centers, and two community-based facilities. The Inland Regional Center is one of 21 regional centers in the state of California that provides point of entry to services for people with developmental disabilities. The center is a private, nonprofit community agency that contracts with local businesses to offer a wide range of services to individuals with developmental disabilities and their families.

The following information (Table H-26) from the Inland Regional Center provides a closer look at the disabled population. As shown below, there are 8,555 persons within the zip codes listed that are served by the Inland Regional Center. This makes up 2 percent of the total population.

Table H-26 Developmentally Disabled Residents, by Age

Zip Code	0-14	15-22	23-54	55-65	65+	Totals
92220	57	25	74	9	5	170
92223	130	45	97	15	14	301
92230	9	2	8	2	1	22
92282	1	3	5			9
92503	259	129	253	39	13	693
92504	147	60	143	24	11	385
92505	135	66	195	33	23	452
92507	158	56	122	13	6	355
92508	93	51	104	5	5	258
92509	258	127	208	44	13	650
92518	3		2	1		6
92530	169	73	109	11	3	365
92532	96	35	63	1		195
92536	4	2	9			15
92539	8	4	4			16
92544	171	62	157	20	16	426
92545	134	53	138	14	3	342
92548	24	7	25	2		58
92549	3	1	5	1	1	11
92553	267	121	314	59	17	778
92555	139	77	159	21	7	403
92561	1	4	4			9
92563	215	79	119	4	2	419
92567	34	8	11	1	1	55
92570	142	93	154	4	1	394
92585	70	26	45	3	2	146
92587	49	19	27	3	2	100
92592	208	93	117	6	2	426
92595	93	35	60	8	1	197
92881	71	50	63	4	2	190
92882	237	89	146	15	4	491
92883	108	42	57	9	2	218
Totals	3,493	1,537	2,997	371	157	8,555

Source: Inland Regional Center 2017

There are a number of housing types appropriate for people living with a development disability: rent-subsidized homes, licensed and unlicensed single-family homes, inclusionary housing, Section 8 vouchers, special programs for home purchase, HUD housing, and SB 962 homes, which are Adult Residential Facilities for Persons with Special Health Care Needs. The design of housing-accessibility modifications, the proximity to services and transit, and the availability of group living opportunities represent some of the considerations that are important in serving this special needs group.

Homeless Population

Every two years, Riverside County conducts a homeless count; the most recent was completed in January 2016. The 2016 survey was a slightly modified version of the 2015 Count and Survey tool based on feedback from volunteers. The primary purpose of the count is to determine how many people are homeless on a given day and gain demographic information about homelessness in Riverside County. An interview or observational survey, or both, could be chosen based on the situation. Ideally, every homeless person would be interviewed, but obviously this was not possible in all cases due to a variety of concerns such as safety, language barriers, or refusal. Therefore, some counts also provided demographic information about the adults counted related to location (whether a person was counted on the streets or in a residential facility that serves homeless people), age, gender, ethnicity, and the state born. The 2016 count revealed the following for Riverside County as a whole:

- **Total Number of Unsheltered Homeless Persons:** There are approximately 1,351 adults and children who are homeless on a given day in Riverside County, with 116 of those persons reported living in the unincorporated areas.
- **Total Number of Sheltered Homeless Persons:** There are approximately 814 homeless individuals who stayed in emergency shelters (including domestic violence shelters or using hotel/motel vouchers) or transitional housing during the count. This represents an 8 percent decrease from the 2015 sheltered count of 883.
- **Location:** Approximately 62 percent of homeless adults and children live on the streets and nearly 38 percent live in shelters or transitional housing programs on a given day throughout Riverside County.
- **Gender:** 70 percent of homeless adults are men and nearly 30 percent are women on a given day throughout Riverside County.
- **Race and Ethnicity:** 61 percent of unsheltered homeless individuals identified as white; 12 percent as black or African American; 6 percent as American Indian or Alaska Native; 1 percent as Asian; 1 percent as Native Hawaiian or Pacific Islander; 4 percent as multiple races. Of those who responded, 28 percent identified as Hispanic, which is an increase from 24 percent in 2015. About 22 percent did not answer the question.
- **Children:** 1 percent of homeless persons are children under the age of 18 living with a homeless parent(s) on a given day throughout Riverside County.

The County provides services to homeless persons in both the incorporated and unincorporated areas of the County, through the Department of Public Health and Department of Public Social Services (DPSS).

The large numbers of homeless persons, the high cost of housing, and the number of people living in poverty combine to create a very serious situation. This combination of circumstances exacerbates the problem of finding suitable and affordable housing for homeless and at-risk families.

Table H-27 identifies the cities and communities in which homeless adults and their children were encountered during the January 2016 homeless count.

Table H-27 Distribution of Unsheltered Homeless Population

Location	Persons Counted	Percentage
Incorporated Cities	1,235	91%
Unincorporated Areas	116	9%
Eastern	40	3%
Western	76	6%
Total Unsheltered	1,351	100%

Source: County of Riverside 2016 Point-in-Time Homeless County Report

Each year, in the period of November 1 through March 31, the Emergency Cold Weather Shelter Program (ECWSP) provides emergency shelter for homeless persons that cannot gain admittance into a regular, full-time shelter. California National Guard armories are used for the ECWSP, as well as other suitable facilities as needed. The Riverside and Indio armories, each with a bed capacity of 136, are operated under this program for an average of 90 nights, providing a total of approximately 25,000 shelter bed nights. Riverside County, through DPSS, contracts with local community-based organizations to provide this program in appropriate locations.

In general, the homeless population in Riverside County is concentrated around urbanized cities where homeless services and transportation are readily accessible. Although no emergency or transitional shelters exist in unincorporated areas, the County has recognized the need for these facilities throughout the County and has passed local ordinances implementing Senate Bill (SB) 2, as well as targeted the eastern and mid-County areas due to lack of shelter services in those areas. SB 2 strengthens existing housing element requirements to provide the opportunity for the development of emergency shelters and transitional and supportive housing. Through partnerships between the DPSS and nonprofits, programs such as the Supportive Housing Program, the Shelter Plus Care Program, the Emergency Shelter Grants Program (ESG), the Community Services Block Grant program, Federal Emergency Management Agency, and the Emergency Food and Shelter Program are existing resources for the support and development of homeless facilities in Riverside County.

Table H-28 shows some of the shelter resources available to the homeless in Riverside County. It should be noted that there are many organizations and agencies that provide other services such as emergency food, vouchers, and rental/mortgage payment assistance. All of these facilities are located in cities where services are available. A complete list of these resources can be found in Riverside County 2009–2014 Consolidated Plan.

The County is committed to working with area nonprofit agencies and addressing homeless problems from all sides, which includes providing prevention, outreach, and shelter services.

Table H-28 Homeless Shelter Resources, 2017

Shelter Name	Type of Shelter	City	Clientele or Needs Served	Number of Beds ¹
Alternatives to Domestic Violence	Emergency	Riverside/ Corona	Women & children	15
God's Helping Hand	Emergency	Perris	General	15
I Care Shelter	Emergency	Riverside	Families	30
Operation SafeHouse	Emergency	Riverside	Runaway youth	17
Valley Restart Shelter	Emergency	Hemet	Families	89
Friends of Jefferson House	Transitional	Riverside	Substance abuse/dually diagnosed	30
God's Helping Hand	Transitional	Perris	Substance abuse	15
Inland AIDS Project	Transitional	Riverside	HIV/AIDS	20
Lutheran Social Services	Transitional	Riverside	Families	30

Shelter Name	Type of Shelter	City	Clientele or Needs Served	Number of Beds ¹
Operation SafeHouse	Transitional	Riverside	Youth	20
Riverside Recovery Resources	Transitional	Hemet	Substance abuse	21
Valley Restart Shelter	Transitional	Hemet	Families	54
Whiteside Manor	Transitional	Riverside	Dually diagnosed	47
Whiteside Manor	Transitional	Riverside	Substance abuse	122
Whiteside Manor	Transitional	Riverside	Substance abuse/women	21
Friends of Jefferson House	Permanent	Riverside	Substance abuse/dually diagnosed	30
Valley Restart Shelter	Permanent	Hemet	Families	32
CVAG Area				
ABC Recovery Center	Emergency	Indio	Women & children	68
Coachella Valley Rescue Mission	Emergency	Indio	General	20
Nightingale Manor	Emergency	Palm Springs	Families	40
Richard Allen Community Services	Emergency	Blythe	General	28
Shelter From the Storm	Emergency	Palm Springs	Women & children	60
ABC Recovery Center	Transitional	Indio	Substance abuse	40
Episcopal Community Services	Transitional	Cathedral City	HIV/AIDS	34

1. A total of 1,090 full-time beds are available in the County. Some of the beds are double-counted in this table as some shelters provide emergency, transitional, and/or permanent shelter beds.

Source: Riverside County Consolidated Plan 2009-2014

Farm workers

Agricultural production is an important component of Riverside County's economy. According to the 2012 Agricultural Production Report prepared by the Agricultural Commissioner's Office, the total gross valuation of agricultural production in Riverside County was \$1.2 billion. Moreover, for every dollar received by an agriculturalist, most economists estimate there is a multiplier effect of 3.5 times that amount injected into the local economy, or \$4.4 billion in this case. With respect to agricultural crop valuation by agricultural district, the Coachella Valley District produced the most at 56 percent, or approximately \$544 million; the San Jacinto/Temecula Valley District produced 16 percent, or approximately \$158 million; the Riverside/Corona District produced 11 percent, or approximately \$111 million; and the Palo Verde District produced 16 percent, or approximately \$155 million. A thriving and productive work force is critical to maintaining this billion dollar industry. Riverside County made farm worker and migrant farm worker housing needs in western Riverside County and the Coachella Valley an affordable housing priority in its "Riverside Urban County Community Planning and Development Programs (CDBG, ESG, and HOME) Five Year Consolidated Plan for 2009-2014." To better understand the living conditions and daily service needs of the farm worker population in the eastern Coachella Valley, one of the County's most important agricultural areas, Riverside County also commissioned the 2006 Coachella Valley Farm Worker Survey.

Farm workers are traditionally defined as persons whose primary incomes are earned through permanent or seasonal agricultural labor. Permanent farm laborers work in the fields, processing plants, or support activities on a generally year-round basis. When workload increases during harvest periods, the labor force is supplemented by seasonal workers, often supplied by a labor contractor. For some crops, farms may hire migrant workers, defined as those whose travel prevents them from returning to their primary residence every evening. Farm workers have special housing needs because they earn lower incomes than many other workers and move throughout the season from

one harvest to the next. However, recent trends indicate that a growing number of farm workers are permanent residents.

The housing needs of farm workers will differ depending on whether they are migrant or seasonal workers. Migrant workers generally are in need of temporary shelter, which may include campgrounds or grower-provided boardinghouse-type facilities. Seasonal workers are more likely to need permanent low-cost housing and larger units to accommodate their families. Suitable housing types would include manufactured homes as well as traditional single-family homes or multifamily apartments.

Farm worker housing is often substandard or nonexistent. Over the past decade much housing has been demolished and not replaced. In addition, in many areas, farm workers must move frequently to seek employment. Larger farms may provide labor camp housing, but often this is not the case. As a result, many farm workers must camp out or sleep in their vehicles. Where housing is available, it is often expensive, overcrowded, and lacking adequate sanitary facilities.

According to the US Department of Agriculture (USDA), in its 2012 Census of Agriculture, and the 2009–2013 ACS, there were 13,843 farm workers in unincorporated Riverside County (see Table H-29). Of those farm workers, the majority (9,642 or 70 percent) were located in eastern unincorporated Riverside County. There was only a slightly higher number of permanent farm workers than seasonal workers, at 54 percent and 46 percent, respectively. When looking at the 2010–2014 ACS, there are 6,544 persons employed in agriculture, forestry, fishing and hunting, or mining in the unincorporated County.

Table H-29 Farm Workers, 2013

	Unincorporated Riverside County	Eastern Unincorporated Riverside County	Western Unincorporated Riverside County
Farm Operations with Less Than 10 Employees			
Permanent	1,631	1,136	495
Seasonal (less than 150 days)	1,609	1,121	488
Total	3,240	2,257	983
Farm Operations with 10 or More Employees			
Permanent	5,849	4,074	1,775
Seasonal (less than 150 days)	4,754	3,311	1,443
Total	10,603	7,385	3,218
Total All Farm Workers			
Permanent	7,480	5,210	2,270
Seasonal (less than 150 days)	6,363	4,432	1,931
Total	13,843	9,642	4,201

Source: USDA 2012 Census of Farmworkers and 2009–2013 American Community Survey

To meet the needs of farm workers, Riverside County has a number of programs for the preservation and rehabilitation of existing mobile home parks and individual units as well as programs directed toward new construction. There are also programs directed toward migrant seasonal workers.

Preservation of Assisted Units at Risk of Conversion

Overview

State housing element law requires an analysis of existing assisted housing developments that are eligible to change from low-income housing uses during the next 10 years (through 2027) due to expiring subsidies, mortgage prepayments, or expiration of affordability restrictions, and development of programs aimed at their preservation. The following must be included in each Housing Element as part of its preservation analysis:

- An inventory of assisted housing units at risk of converting to market rate within 10 years.
- An analysis of the costs of preserving and/or replacing these units.
- Resources that could be used to preserve the at-risk units.
- Program efforts for preservation of at-risk units.
- Quantified objectives for the number of at-risk units to be preserved during the Housing Element planning period.

Use restrictions, as defined by state law, means any federal, state, or local statute, regulation, ordinance, or contract which, as a condition of receipt of any housing assistance (e.g., rental subsidy, mortgage subsidy, mortgage insurance) to an assisted housing development, establishes maximum limitations on tenant income as a condition of eligibility for occupancy.

Inventory of Assisted Units at Risk

Table H-30 summarizes the assisted, multifamily rental units in the unincorporated communities of Riverside County. Included are all multifamily rental units assisted under federal, state, and/or local programs, including HUD programs, state and local bond programs, redevelopment programs and local in-lieu fee, tax credit, HOME funds, density bonus, public housing, or direct assistance programs, in the unincorporated County.

According to Table H-30, there are no known units at-risk of converting to market rate before 2027. Should a property become at risk, the County maintains an active list of resources by which to preserve that property.

A few of the projects listed in Table H-27 have a subsidy termination as “until sold”. These units, formerly public housing, were approved by HUD 1/1/2016 for conversion, but did not convert until 10/1/2016 via the process called Rental Assistance Demonstration (RAD) conversion. From 2013 to 2016, the units were still “Public Housing” managed and operated by the HACR until the conversion and transfer to its non-profit arm, Riverside County Housing Corporation (RCHC). Affordability was and is indefinite unless the HACR/RCHC loses its funding due to federal cuts. The HACR does not anticipate losing this funding in the years to come, nor does the RCHC have any plans of selling these properties.”

Table H-30 Inventory of Assisted Units

Project	Location	Form of Assistance	Total Units	Assisted Units	Subsidy Termination
Aguirre MHP	Thermal	County RDA	12	12	2041
Arellano MHP	Thermal	County RDA	12	12	2047
Ashley House	Unincorporated DHS	County RDA	1	1	2062
Barroso MHP	Thermal	County RDA	12	12	2040
Chapultepec Apartments (Mecca Family Apts)	Mecca	County RDA, LIHTC	31	30	2058
Clinton Family Apartments	Mecca	County HOME, LIHTC	59	58	2063
Desert Rose Apartments	Ripley	County RDA, HCD, FWHG, USDA	76	75	2063
Dr. Clair S. Johnson Apartments	Mecca	County Project Based Vouchers	40	40	until sold*
Duarte MHP	Thermal	County RDA	12	12	2040
Fairview Lake Townhomes	Unincorporated Lake Elsinore	County Project Based Vouchers	16	16	until sold*
Ferro MHP	Thermal	County RDA	12	12	2039
Halter Hillside Apt	Sun City	USDA	118	110	2046
Hernandez MHP	Thermal	County RDA	12	12	2040
Highgrove Blossom Apts	Highgrove	County RDA, LIHTC	89	87	2069
Highland Park Place Apartments	Unincorporated Riverside	County Project Based Vouchers	4	4	until sold*
Hope Ranch	Thermal	County RDA	12	12	2059
Las Mananitas	Mecca	County RDA, CDBG	16	16	2032
Legacy Family Apartments	Thousand Palms	County RDA, MHSA, CalHFA, LIHTC	81	80	2067
Lincoln Family Apartments	Mecca	County HOME, LIHTC	57	56	2062
Mecca Apartments II	Mecca	County HOME, HCD, LIHTC	60	59	2060
Mecca III Apartments	Mecca	County RDA, LIHTC	58	57	2060
Mountain View Estates	Thermal	County RDA	181	90	2067
MVR MHP	Thermal	County RDA	12	12	2059
Nueva Vista Apartments	Mecca	County HOME, HCD, LIHTC	32	31	2050
Orange Blossom (RDA) Apartments	Valle Vista	County RDA	45	44	2066
Orange Blossom I (HOME) Apartments	Valle Vista	County HOME	12	11	2069
Paseo de los Heroes I (Mecca Mobile Home Park)	Mecca	County RDA, HCD	106	106	2056
Paseo de los Heroes II	Mecca	County RDA, FWHG, USDA, LIHTC	53	52	2067
Paseo de los Poetas	Mecca	County HOME, LIHTC	21	21	2060
Pie De La Cuesta c/o Hyder & Co.	Mecca	USDA	68	58	2034
Ripley/Mesa Verde Infill Housing	Ripley/Mesa Verde	County RDA	10	10	2054
Rodriguez MHP	Thermal	County RDA	12	12	2045
San Antonio El Desierto	Mecca	HCD	100	100	2043
Tamarisk Villas	Ripley	HUD, USDA	50	50	2037

Project	Location	Form of Assistance	Total Units	Assisted Units	Subsidy Termination
Thermal Apartments	Thermal	County Project Based Vouchers	28	28	until sold*
Thermal II Apartments	Thermal	County Project Based Vouchers	25	25	until sold*
Thunderbird/San Jacinto Vista Apartments (Site A)	Mecca	LIHTC	102	100	2033
Vargas MHP	Thermal	County RDA	12	12	2041
Villalobos MHP	Thermal	County RDA	12	12	2040
Villas Oscar Romero	Mecca	HCD	50	49	2043
Total Assisted Units			1,721	1,596	

Source: Riverside County Economic Development Agency; California Housing Partnership Corporation 2017

* The units, formerly public housing, were approved by HUD 1/1/2016 for conversion, but did not convert until 10/1/2016 via the process called Rental Assistance Demonstration (RAD) conversion. From 2013 to 2016, the units were still "Public Housing" managed and operated by the HACR until the conversion and transfer to its non-profit arm, Riverside County Housing Corporation (RCHC). Affordability was and is indefinite unless the HACR/RCHC loses its funding due to federal cuts. The HACR does not anticipate losing this funding in the years to come, nor does the RCHC have any plans of selling these properties. .

Cost of Preservation versus Replacement

The cost of preserving units projected to expire in 2027 is estimated to be less in most cases to the County than replacing the units through new construction. Replacing the units with rehabilitated units may be cost-effective in some instances. Actual costs involved in each option will depend on the rental and real estate market situations at the time the affordability restrictions on these projects expire.

Preservation of the units as affordable may require financial incentives to the project owners to extend low-income use restrictions. Other scenarios for preservation would involve purchase of the affordable units by a nonprofit or public agency, or local subsidies to offset the difference between affordable and market rents. Scenarios for preservation depend on the type of project at risk.

Resources for Preservation

Funding Sources

The types of resources needed for preserving at-risk units fall into three categories: 1) financial resources available to purchase existing units or develop replacement units; 2) entities with the intent and ability to purchase and/or manage at-risk units; and 3) programs to provide replacement funding for potentially lost Housing Choice Voucher Program rent subsidies (previously known as the Section 8 Program).

Public Financing/Subsidies—A variety of federal, state, and local programs are available for potential acquisition, subsidy, or replacement of at-risk units. Due to both the high costs of developing and preserving housing and limitations on the amounts and uses of funds, a variety of funding sources would be required. The following summarizes financial resources available to the County for preservation of assisted, multifamily rental housing units.

Federal Programs

Community Development Block Grant (CDBG)—This program is intended to enhance and preserve the County’s affordable housing stock. CDBG funds are awarded to the County on a formula basis for housing and community development activities. Eligible activities include acquisition, rehabilitation, economic development, and public services. CDBG grants benefit primarily persons/households with incomes not exceeding 80 percent of the County median family income.

HOME Investment Partnership—HOME funding is a flexible grant program which is awarded to the County on a formula basis for housing activities that take into account local market conditions, inadequate housing, poverty, and housing production costs. HOME funding is provided to jurisdictions to either assist rental housing or home ownership through acquisition, construction, reconstruction, and/or rehabilitation of affordable housing, as well as possible property acquisition, site improvements, and other expenses related to the provision of affordable housing and projects that serve a group identified as having special needs related to housing.

Housing Choice Voucher (Section 8) Program—This program provides rental assistance payments to owners of private market-rate units on behalf of very low-income tenants.

Section 811/202 Program—Nonprofit organizations and consumer cooperatives are eligible to receive no interest capital advances from HUD for the construction of very low-income rental housing for senior citizens and persons with disabilities. Project-based assistance is also provided in conjunction with this program. Section 811 can be used to develop group homes, independent living facilities, and intermediate care facilities. Eligible activities include acquisition, rehabilitation, new construction, and rental assistance.

HUD Low Income Housing Preservation and Resident Homeownership Act (LIHPRHA)—LIHPRHA was enacted in response to concern over the prepayment of HUD-assisted housing. The legislation addresses the prepayment of units assisted under Section 221(d) (3) and Section 236 (Section 236 replaced the Section 221(d) (3) program in 1968). Generally, the law facilitates the preservation of these low-income units by providing incentives to property owners to either retain their units as low-income, or to sell the project to priority purchasers (tenants, nonprofits, or governmental agencies.) Pursuant to LIHPRHA, HUD must offer a package of incentives to property owners to extend the low-income use restrictions. These incentives would ensure property owners of an 8 percent return on the recalculated equity of their property, provided the rents necessary to yield this return fall within a specified federal cost limit. The cost limits are either 120 percent of the FMR, or the prevailing rent in the local market. If HUD can provide the owner with this return, the owner cannot prepay the mortgage. The owner must either stay in the program, or offer to sell the project (a “voluntary” sale) to a priority purchaser for a 12-month option period or other purchasers for an additional three months. The owner is required to document this choice in a plan of action.

If HUD cannot provide the owner with the 8 percent return, i.e., the rents required would exceed federal cost limits, the owner may prepay only after offering the sale to priority purchasers for 12 months, or other qualified buyers for an additional three months (a “mandatory” sale), and filing a plan of action which demonstrates that conversion will not adversely impact affordable housing, or displace tenants. According to the California Housing Partnership Corporation, most projects in California will fall within federal cost limits, except those with exceptionally high rental value or condominium conversion potential.

Projects that are preserved under either of these methods are required to maintain affordability restrictions for the remaining useful life of the project, which is defined minimally as 50 years. Despite these requirements, property owners may still be able to prepay. First, the owner may prepay the property if no bona fide offer to purchase the property is made. Second, HUD may not provide some of the discretionary monies to priority purchasers in

preservation sales. Finally, the overall success of the preservation efforts is contingent on congressional appropriation of sufficient funding to HUD.

State Programs

California Housing Finance Agency (CHFA) Multiple Rental Housing Programs—This program provides below market-rate financing to builders and developers of multiple-family and elderly rental housing. Tax-exempt bonds provide below market-rate mortgage money. Eligible activities include new construction, rehabilitation, and acquisition of properties with 20-150 units.

Low Income Housing Tax Credit (LIHTC)—This program provides tax credits to individuals and corporations that invest in low-income rental housing. Tax credits are sold to corporations and people with high tax liability and proceeds are used to create housing. Eligible activities include new construction, rehabilitation, and acquisition.

California Community Reinvestment Corporation (CCRC)—This private, nonprofit mortgage banking consortium provides long-term debt financing for affordable multifamily rental housing. Eligible activities include new construction, rehabilitation, and acquisition.

Nonprofit Entities—Nonprofit entities serving the County can be contacted to gauge their interest and ability in acquiring and/or managing units at risk of conversion. A partial listing of entities with resources in the Riverside County area follows:

- Alternatives to Domestic Violence
- Shelter From the Storm
- Banning Partners for a Revitalized Community
- Catholic Charities
- Coachella Valley Housing Coalition (CVHC)
- Fair Housing Council of Riverside County
- Family Service Association of Riverside County
- Habitat For Humanity
- Lutheran Social Services
- Shared Housing

Program Efforts to Preserve At-Risk Units

The following housing programs have been developed to address the preservation of assisted very low-income units eligible to convert to market rate. The Riverside County Economic Development Agency will be responsible for implementing the programs. Funding for implementation could be provided through funding sources cited above.

Monitoring At-Risk Units

The County will maintain contact with owners of at-risk units as the use restriction expiration dates approach. The County will communicate to the owners the importance of the units to the supply of affordable housing in the County as well as its desire to preserve the units as affordable.

Rental Subsidies—If HUD funding is discontinued at some point in the future within the next planning period to subsidize affordable units, and other methods to preserve the at-risk units fail, the County will determine if it can assign financial resources to provide rental assistance to very low-income tenants to cover the difference between their current rents and market rents as well as continue to promote the development of affordable housing. If the owners of a project at risk of converting intend to convert their units to market rate, the County will evaluate the feasibility of implementing the options available to preserve bond-financed units at risk of conversion: (1) offer rental subsidies using HOME or other available funding; (2) work with the property owner to refinance the mortgage at lower interest rates; (3) work with nonprofit entities to evaluate the potential for acquisition of the complex (although, as only a portion of the units are at risk, this may not be feasible); (4) consider acquisition and rehabilitation of the project.

Housing Corporation—The 2009–2014 Consolidated Plan identifies the possibility of the County exploring the potential of establishing a nonprofit housing development corporation as an effective institutional mechanism for increasing the supply of affordable housing. Its establishment and operation, it is believed, would result in a net increase in the County's inventory of very low-, low-, and moderate-income housing. In 2014, the Riverside County Housing Corporation was established to develop and increase the supply of affordable housing.

Housing Resources

Overview of the Regional Housing Needs Assessment

California’s housing element law requires that each city and county develop local housing programs designed to meet its “fair share” of housing needs for all income groups, as determined by the jurisdiction’s Council of Governments, when preparing the state-mandated Housing Element of its General Plan. This fair share allocation concept seeks to ensure that each jurisdiction accepts responsibility for the housing needs of not only its current population, but also for those households who might reasonably be expected to reside within the jurisdiction in the future, particularly lower-income households.

The fair share allocation process begins with the California Department of Finance’s projection of statewide housing need for the eight-year planning period October 2013–October 2021, which is then apportioned by HCD among the state’s various regions. Estimates of housing need are based on anticipated population growth, migration, household formation rates, employment forecasts, and other factors. These regional housing need allocations are then further allocated to individual jurisdictions and are a key component in the preparation of local housing plans and programs. In the six-county Southern California region, which includes Riverside County, SCAG is the agency responsible for assigning fair share need “targets” to each jurisdiction.

A local jurisdiction’s fair share of regional housing need is the number of additional dwelling units that would be required to accommodate the anticipated growth in households, replace expected demolitions and conversion of housing units to non-housing uses, and achieve a future vacancy rate that allows for the healthy functioning of the housing market. The fair share is allocated by four income categories: very low, low, moderate, and above moderate, defined as households earning up to 50 percent, 80 percent, 120 percent, and more than 120 percent of the county median income, respectively. The allocations are further adjusted to avoid an overconcentration of lower-income households (less than 80% of the AMI).

The 2014–2021 Riverside County Regional Housing Needs Allocation (RHNA)

Table H-31 presents the RHNA allocation for Riverside County for the eight-year planning period from 2014 to 2021 as approved by SCAG in October 2012. As a whole, the unincorporated county was allocated 30,303 housing units for the 2014–2021 planning period. This allocation represents a decrease of approximately 20,312 units as compared to the 2006–2014 RHNA planning period. This decrease was based upon the reexamination of growth trends and incorporation of the cities of Menifee, Eastvale, Jurupa Valley, and Wildomar during the previous planning period.

Table H-31 2014–2021 Regional Housing Needs Allocation Unincorporated County

Income Category	Allocation
Extremely Low	3,586
Very Low	3,587
Low	4,871
Moderate	5,534
Above Moderate	12,725
Total	30,303

Source: SCAG, Final Regional Housing Needs Assessment 2012

Unaccommodated Regional Housing Need Allocation from the 4th Cycle

Action 1.2t in the 2008–2014 Housing Element stated that the County planned to redesignate a minimum of 595 acres of land to the Highest Density Residential (HHDR) designation. This would have given the County an additional capacity of 15,173 units that would allow for 30 units per acre and therefore be appropriate to meet a portion of the lower-income RHNA. Because the County completed its 4th round Housing Element later than expected, the County was not able to meet the rezone/redesignation deadline of October 15, 2013; and now had an unaccommodated need from the previous planning period.

Table H-32 shows the County’s land capacity available during the 4th round planning period. Based on this capacity, the County had an unaccommodated need of 14,968 units from the previous planning period.

Table H-32 Unaccommodated Need from the 2006–2014 Planning Period

4th Cycle RHNA		Units Built ¹	Approved Projects ²	Remaining RHNA	Vacant Land Capacity	Remaining Need
Very Low	11,979	259	1,101	10,619	73	14,968
Low	8,324	271	3,631	4,422		
Moderate	9,363	10,603	2	-1,242	1,436	0
Above Moderate	20,949	10,604	64,192	-53,847	10,383	0
Total	50,615	21,737	68,926	-40,048	11,892	14,968

Source: SCAG, Riverside County, 2013

1. Capacity is based on analysis included in the 4th Cycle Housing Element, Table H-54

2. Capacity is based on analysis included in the 4th Cycle Housing Element, Table H-55

Based on the unaccommodated need from the previous cycle and the need of the 5th Cycle RHNA, the County needed to accommodate 45,271 units across all four income groups. Table H-33 shows the RHNA by income group that the County needed to accommodate for the 4th and 5th Cycles.

Table H-33 4th and 5th Cycle RHNA to Accommodate

Income Category	Unaccommodated Need from the 4th Cycle	5th Cycle RHNA	Total RHNA to Accommodate
Very Low	10,546	7,173	17,719
Low	4,422	4,871	9,293
Moderate	0	5,534	5,534
Above Moderate	0	12,725	12,725
Total	14,968	30,303	45,271

Source: SCAG, Riverside County, 2015

Approved Housing Units

One way of meeting a portion of the County’s RHNA is to look at approved, entitled, or built projects’ “available units.” These units can be subtracted from the total allocation if they were available prior to the 5th Housing Element cycle deadline of October 2014. Table H-34 lists the approved or entitled projects that were available before the deadline.

Table H-34 Approved or Entitled Projects Prior to October 2014

Project/Unit	Total Proposed Units	Affordability Level				Funding Source
		Very Low	Low	Mod	Abv. Mod	
Specific Plan Units	59,254		1,626	34,238	23,390	Affordability based on Zoning and GP designation, and affordability requirements in the specific plan
Los Vinedos (Phase 1)	42	41			1	HOME funds
Nuestro Orgullo Self Help Homes	291	44	39		208	RDA Bond Proceeds
Highgrove Blossom Apartments	89	43	45		1	RDA, LIHTC (Built 2014)
Total	59,676	128	1,710	34,238	23,600	

Source: Riverside County Economic Development Agency, August 2015

Note: For more detailed information regarding the affordable units within the specific plans, refer to page H-105 and H-106.

Remaining RHNA to Accommodate

When looking at the total RHNA the County needs to accommodate, listed in Table H-33, and the approved or entitled projects listed in Table H-35 and the discussion on projected units, the County did not have a shortfall to meet its moderate- and above moderate-income RHNA.

However, the County did identify a shortfall of 25,174 units in the very low- and low-income categories. Since the County had a shortfall in the very low- and low- income categories, at least 50 percent of the shortfall (12,587 units) needed to be accommodated on sites designated for exclusively residential uses, at appropriate densities.

Table H-35 Determining RHNA Shortfall

Income Category	RHNA to Accommodate	Approved Projects	RHNA Shortfall to Accommodate
Very Low	17,719	128	17,591
Low	9,293	1,710	7,853
Moderate	5,534	34,238	0
Above Moderate	12,725	23,600	0
Total	45,271	59,676	25,174

Source: SCAG, Riverside County, 2015

Note: With completion of the rezone and land use designation change in December 2016, the County no longer has a RHNA shortfall. This table is included to provide detail on the past shortfall from the first half of the planning period.

Availability of Sites for Housing

The RHNA process assigned unincorporated Riverside County 30,303 units in new construction need. With its proximity to surrounding counties, infrastructure capability, and available land, it is anticipated that the majority of growth during the next eight years will occur within the sphere of influence areas of incorporated cities, and in areas for which specific plans or tract maps have been prepared. These properties include vacant and undeveloped lands presently in the unincorporated County that are adjacent to or within service hookup distance from public sewer, water, and street systems. The County's policy is to promote compact development in strategically located activity centers, along with infill opportunities within existing urban areas, in order to minimize development pressures on vacant land on the urban fringe.

With completion of the rezone and land use designation changes in December 2016, there is ample vacant land within these areas that is designated for residential uses that satisfies the RHNA new construction need.

In a limited capacity, infill projects throughout unincorporated communities contribute to the County's future housing stock. County policy recommends that growth be concentrated near or within existing urban and suburban areas to maintain the rural and open space character of Riverside County to the greatest extent possible. Under the General Plan, higher-density residential areas are sited near employment nodes, commercial cores, and major transportation corridors, and in conjunction with resort, recreation, and tourist areas.

Land Analysis

For the 2013–2021 Housing Element update, the County prepared a site inventory using the County's geographical information system to identify vacant parcels that could readily be developed to meet the County's regional housing needs. The County prepared an inventory of vacant and underutilized properties. The discussion below describes how the parcels were chosen and discusses how the County is able to meet its RHNA.

Rezone and Land Use Amendment to Meet the County's Lower Income RHNA

Housing element law requires jurisdictions to provide an analysis showing that zones identified for lower-income households are sufficient to encourage such development. The law provides two options for preparing the analysis: (1) describe market demand and trends, financial feasibility, and recent development experience; or (2) utilize default density standards deemed adequate to meet the appropriate zoning test. According to state law, the default density standard for the Riverside County is 30 dwelling units per acre.

The Highest Density Residential (HHDR) land use designation allows for 20 to 40 units per acre. In addition, the Mixed Use Area (MUA) land use designation allows for a percentage of HHDR on each site. The County identified several potential sites, approximately 5,000 acres in total, in which the land use designation was changed and the sites were rezoned to accommodate the RHNA (Action 1.2f). This was completed concurrently with the adoption of this Housing Element in December 2016.

All of the rezoned and redesignated sites permit owner-occupied and rental multifamily developments by right and do not require a plot plan, conditional use permit, a planned unit development permit, or any other discretionary review. All sites can accommodate a minimum of 20 units per acre and at least 16 units per site, per state law requirements.

Area Plans

The County is relying on sites located across 9 area plans, which include 22 communities, to meet its regional housing need. Within each community, different neighborhoods are identified as appropriate for higher-density development.

Site Selection Criteria

During the 5th Cycle Housing Element update, the County used a set of criteria to evaluate the sites. The site selection criteria were organized into six categories to determine which sites were appropriate to rezone and redesignate to a higher density:

- A) Countywide general evaluation to identify communities in which to locate potential HHDR/MUA sites
- B) Availability of local community-supportive facilities and services
- C) Availability of intra- and interregional transportation facilities
- D) Availability of supportive on-site and site-edge land use and environmental characteristics
- E) Availability of primary on-site infrastructure (roads, sewer, and water)
- F) Flexibility in individual site development options

Determining Capacity

In an effort to determine each site's realistic capacity, the County evaluated the implementation of its current multifamily development standards and on-site improvement requirements (e.g., setbacks, building height, parking, and open space requirements) as well as current development occurring in the County. It was determined that relying on the net acreage accounted for these requirements and was consistent with development.

Small sites make up 3 percent of the total HHDR units that the County is relying on to meet a portion of its lower-income RHNA. Small sites were only included if the sites were contiguous to another site within the inventory and had the same property owner. The County has included Action 1.2g to assist with the lot consolidation of smaller sites.

Underutilized sites make up 5 percent of the total HHDR sites that the County is relying on to meet a portion of its lower-income RHNA. After each area plan in the tables following this discussion there is further analysis on each underutilized site.

Should the County need additional capacity, sites listed in Appendix P-1b can be available after further analysis is completed.

Table H-36 summarizes the area plans based on the capacity. Please refer to Appendix P-1a – Area Plan Maps for maps of all sites included in both the inventory below as well as the additional sites included in Appendix P-1b.

Within the area plans, many of the sites identified as appropriate to accommodate the County's lower-income RHNA are large sites, allowing for more than 150 units per parcel. As previously discussed, it was determined that larger sites were more appropriate to select because they offered both flexibility in development options, as well as,

in the case of MUAs, reasonable opportunities for walkable, mixed-use communities to be developed, preferably in the context of urban infill development. Large sites make approximately 65 percent of the total inventory. To assist in facilitating the development of affordable housing on smaller parcels (50 to 150 units in size), the County will routinely give high priority and fast track authorization to processing subdivision maps that include affordable housing units. Also, the County will expedite the review process for the subdivisions of larger sites into buildable lots where the development application can be found consistent with the General Plan, applicable specific plan, and Master Environmental Impact Report. Through adoption of these mechanisms, the County has the ability to provide adequate sites to accommodate its share of the region’s housing needs (Action 1.2e).

The following discussion describes each area plan within the County that is available to accommodate a portion of the County’s RHNA. As mentioned previously, small sites were only included if the sites were contiguous to another site within the inventory and had the same property owner. Sites with an asterisk (*) denote that the site is contiguous; property owner names are listed below the APN if any sites have the same owner. To quickly navigate the maps in Appendix P-1a, all sites in the inventory provide both the neighborhood number and the lot number.

Table H-36 shows the capacity for each area plan broken down by community. Please note that this table does not account for capacity of any sites listed in Appendix P-1b.

Note: Some of the area plans project for zero units. This is because the units were not currently being counted toward meeting the County’s RHNA. There is capacity for these area plans (see Appendix P-1b - Additional Sites Inventory) and the County can use these sites once more analysis is completed.

Table H-36 Area Plan Capacity Summary

Area Plan	HHDR Units			MUA Units	Total All Units
	Vacant	Underutilized	Total	Vacant	
Eastern Coachella Valley	7,491	93	7,584	11,552	19,136
Elsinore	0	0	0	464	464
Harvest Valley/Winchester	883	0	883	3,801	4,684
Highgrove	501	29	530	1,675	2,205
Lakeview/Nuevo	408	0	408	3,948	4,356
Mead Valley	508	0	508	892	1,400
Temescal Canyon	0	0	0	0	0
The Pass	1,229	123	1,351	2,617	3,969
Western Coachella Valley	563	61	624	10,988	11,612
Total	11,582	306	11,888	35,937	47,826

Source: Riverside County 2015

Chapter 8 Housing Element

Eastern Coachella Valley Area Plan

Table H-37 Eastern Coachella Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Mecca Town Center										
Vacant Parcels										
727112011	38.69	HDR	A-1-5	HHDR	R-7	30	1161		1	1
727112002	38.59	HDR	A-1-5	HHDR	R-7	30	1158		1	2
727112024	39.75	HDR	A-1-5	HHDR	R-7	30	1192		1	6
727112023	39.52	HDR	A-1-5	HHDR	R-7	30	1186		1	7
727111009	39.32	MHDR	A-1-5	HHDR	R-7	30	1180		1	5
727111008	38.60	MHDR	A-1-5	HHDR	R-7	30	1158		1	4
727100006	39.37	RR	A-1-5	MUA (50% HHDR)	MIXED USE	30		591	2	1
727100003	37.48	RR	A-1-5	MUA (50% HHDR)	MIXED USE	30		562	2	2
727100007	12.43	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30		186	3	1
727250005	42.79	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30		642	4	2
727250005	15.46	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		232	4	2
727271019	43.98	AG	W-2	MUA (75% HHDR)	MIXED USE	30		990	5	2
727271020	8.26	CR	W-2	MUA (75% HHDR)	MIXED USE	30		186	5	3
727271005	3.25	MDR	W-2	MUA (75% HHDR)	MIXED USE	30		73	5	5
727271020	6.5	VHDR	W-2	MUA (75% HHDR)	MIXED USE	30		146	5	3
727271019	38.52	AG	W-2	MUA (75% HHDR)	MIXED USE	30		867	5	2
727272026	72.7	AG	A-1-5	MUA (25% HHDR)	MIXED USE	30		545	6	3
Subtotal							7,035	5,020		

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
North Shore Town Center										
Vacant Sites										
723143003* Bermejo	0.62	VLDR	W-2	HHDR	R-7	30	18		1	83
723143004* Bermejo	0.49	VLDR	W-2	HHDR	R-7	30	15		1	89
723162008* Milner	0.3	VLDR	W-2	HHDR	R-7	30	9		1	22
723162009* Milner	0.3	VLDR	W-2	HHDR	R-7	30	9		1	25
723162022* Milner	0.41	VLDR	W-2	HHDR	R-7	30	12		1	53
723162023* Milner	0.38	VLDR	W-2	HHDR	R-7	30	11		1	71
723173002* Palacios ¹	0.25	VLDR	W-2	HHDR	R-7	30	8		1	54
723144006* Allen	0.36	VLDR	W-2	HHDR	R-7	30	11		1	84
723144005* Allen	0.37	VLDR	W-2	HHDR	R-7	30	11		1	88
723162003* Miranda ¹	0.3	VLDR	W-2	HHDR	R-7	30	9		1	5
723161009* Roberts ¹	0.35	VLDR	W-2	HHDR	R-7	30	11		1	30
723162007* Zaragoza ¹	0.29	VLDR	W-2	HHDR	R-7	30	9		1	21
723163002* Spooner	0.17	VLDR	W-2	HHDR	R-7	30	5		1	66
72316300* Spooner ¹	0.17	VLDR	W-2	HHDR	R-7	30	5		1	109
723163003* Perez	0.16	VLDR	W-2	HHDR	R-7	30	5		1	10
723163017* Perez	0.17	VLDR	W-2	HHDR	R-7	30	5		1	106
723174005* Schall	0.38	VLDR	W-2	HHDR	R-7	30	11		1	18
723174006* Schall	0.37	VLDR	W-2	HHDR	R-7	30	11		1	32
723174002* Palafox	0.37	VLDR	W-2	HHDR	R-7	30	11		1	6
723174001 Palafox	0.36	VLDR	W-2	HHDR	R-7	30	11		1	28
723162015	0.59	VLDR	W-2	HHDR	R-7	30	18		1	13
723174017	0.6	VLDR	W-2	HHDR	R-7	30	18		1	24
723162013	0.59	VLDR	W-2	HHDR	R-7	30	18		1	27
723174021	0.55	VLDR	W-2	HHDR	R-7	30	16		1	46

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/16/16	Zoning as of 12/16/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
723174020	0.55	VLDR	W-2	HHDR	R-7	30	17		1	47
723174013	0.88	VLDR	W-2	HHDR	R-7	30	26		1	73
725160014	3.28	VLDR	W-2	HHDR	R-7	30	99		1	100
723124004	0.55	VLDR	W-2	HHDR	R-7	30	16		1	103
723141001	1.08	VLDR	W-2	HHDR	R-7	30	32		1	119
725150008	2.17	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		23	2	59
725160003	2.58	CT	W-2	MUA (35% HHDR)	MIXED USE	30		27	2	60
725160002	9.84	CT	W-2	MUA (35% HHDR)	MIXED USE	30		103	2	63
725160010	2.15	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		23	2	64
725160004	4.83	CT	W-2	MUA (35% HHDR)	MIXED USE	30		51	2	67
723240002	4.71	MDR	W-2	MUA (35% HHDR)	MIXED USE	30		49	2	69
725210005	21.27	CT	W-2	MUA (35% HHDR)	MIXED USE	30		223	2	77
723240012	59.35	CT	W-2	MUA (35% HHDR)	MIXED USE	30		623	2	79
723221001	6.32	CR	W-2	MUA (35% HHDR)	MIXED USE	30		66	2	81
725210012	11.86	CT	W-2	MUA (35% HHDR)	MIXED USE	30		125	2	82
725210005	7.92	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		83	2	77
725160004	3.7	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		39	2	67
725160002	2.45	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		26	2	63
725160001	15.29	CT	W-2	MUA (35% HHDR)	MIXED USE	30		161	2	61
725150007	5.23	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		55	2	80
Subtotal							457	1,677		
Underutilized Sites (see site description following this table)										
723173003* Palacios	0.28	VLDR	W-2	HHDR	R-7	30	9		1	58
723162004* Miranda	0.3	VLDR	W-2	HHDR	R-7	30	9		1	16
723174014* Roberts	0.37	VLDR	W-2	HHDR	R-7	30	11		1	64
723162006* Zaragoza	0.29	VLDR	W-2	HHDR	R-7	30	9		1	31

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/16/16	Zoning as of 12/16/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
723162014	0.6	VLDR	W-2	HHDR	R-7	30	18		1	12
723174028	0.74	VLDR	W-2	HHDR	R-7	30	22		1	108
723162027	0.53	VLDR	W-2	HHDR	R-7	30	16		1	45
Subtotal							93	0		
Oasis Town Center										
Vacant Parcels										
755142011	38.37	AG	W-2	MUA (50% HHDR)	MIXED USE	30		576	1	1
755162011	2.81	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		42	2	5
755162009	9.42	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		141	2	10
755162011	1.95	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		29	2	5
755162001	5.07	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		76	2	6
755162004	8.2	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		123	2	1
755161010	19.37	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		291	2	14
755161009	18.39	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		276	2	3
755161009	2.08	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		31	2	3
755162003	7.02	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		105	2	12
755162003	1.96	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		29	2	12
755161008	17.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		261	2	11
755161008	14.25	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		214	2	11
755161014	8.89	AG	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		133	2	9
755161014	5.6	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		84	2	9
755161014	6.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		96	2	9
755162010	4.91	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		74	2	4
Subtotal							0	2,581		

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Thermal Town Center										
Vacant Parcels										
757090027	8.21	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		123	1	3
757090028	20.56	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		308	1	1
757090029	46.32	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		695	1	2
757090004	76.51	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		1148	2	2
Subtotal							0	2,274		
Eastern Coachella Area Plan Total							7,586	11,552		

1. Site is contiguous with an underutilized site.

Underutilized sites

There are seven underutilized sites included in the Eastern Coachella Area Plan within the North Shore Town Center. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Land Use as of 12/6/16	Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
723173003* Palacios ¹	0.28	HHDR	R-7	9	1	58	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162004* Miranda ¹	0.3	HHDR	R-7	9	1	16	MF - MOBILE HOME	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723174014* Roberts ¹	0.37	HHDR	R-7	11	1	64	R2 - RESIDENTIAL	Parcel has a single-family home on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.

APN	Net Acreage	Land Use as of 12/6/16	Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
723162006* Zaragota ¹	0.29	HHDR	R-7	9	1	31	R2 - RESIDENTIAL	Parcel has a duplex on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162014	0.6	HHDR	R-7	18	1	12	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723174028	0.74	HHDR	R-7	22	1	108	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162027	0.53	HHDR	R-7	16	1	45	R2 - RESIDENTIAL	Parcel has a duplex on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.

1. Site is contiguous with a vacant site.

Chapter 8 Housing Element

Elsinore Area Plan

Table H-38 Elsinore Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Lee Lake Community										
Vacant Parcels										
393070012* Corona Canyon	2.6	OS-W	W-1	MUA (30% HHDR)	MIXED USE	30		23	1	3
393070012* Corona Canyon	0.98	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		9	1	3
393070012* Corona Canyon	0.59	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		5	1	3
393070015* Chase	11.53	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		104	1	2
393070015* Chase	0.43	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		4	1	2
393070015* Chase	0.22	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		2	1	2
393070015* Chase	0.04	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		0	1	2
393070006* Sycamore Creek Marketplace	0.09	LI	N/A	MUA	MIXED USE	30			2	1
393070008* Sycamore Creek Marketplace	2.17	LI	M-SC	MUA	MIXED USE	30		0	2	2
393070009* Sycamore Creek Marketplace	1.9	LI	M-SC	MUA	MIXED USE	30		0	2	3
393070010* Sycamore Creek Marketplace	5.9	LI	M-SC	MUA	MIXED USE	30		0	2	4
393070007* Sycamore Creek Marketplace	1.14	LI	M-SC	MUA	MIXED USE	30		0	2	5
393070005* Sycamore Creek Marketplace	0.14	LI	M-SC	MUA	MIXED USE	30		0	2	6
						Subtotal	0	147		
Underutilized Parcels (see site description following this table)										
393070013* Dar Inv	12.2	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		110	1	1
393070013* Dar Inv	0.07	OS-W	W-1	MUA (30% HHDR)	MIXED USE	30		0	1	1
						Subtotal	0	110		

Meadowbrook Town Center										
Vacant Parcels										
345220085		7.28	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30	109	2	1
349080070		1.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	21	1	5
349100008		2.15	CR	R-A-2	MUA (50% HHDR)	MIXED USE	30	32	1	8
349342018		1.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30	20	1	12
349080077		1.67	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	25	1	31
Subtotal							0	207		
Elsinore Area Plan Total										
							0	464		

Underutilized sites

There are two underutilized sites included in the Elsinore Area Plan within the Lee Lake Community. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Land Use as of 12/6/16	Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
391070056* Dar Inv	12.2	MUA (30% HHDR)	MIXED USE		1	1	C1 - COMMERCIAL	Very large parcel with 2 commercial buildings on site. Most of the parcel is vacant and available for additional development.
391070056* Dar Inv	0.07	MUA (30% HHDR)	MIXED USE		1	1	C1 - COMMERCIAL	Very large parcel with 2 commercial buildings on site. Most of the parcel is vacant and available for additional development.

Chapter 8 Housing Element

Harvest Valley/Winchester Area Plan

Table H-39 Harvest Valley/Winchester Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Winchester Community (West)										
Vacant Parcels										
462080006	9.64	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		72	1	1
462080009	8.75	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		66	1	3
462080012	8.36	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		63	1	4
462080007	9.53	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		71	1	7
462080008	8.63	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		65	1	9
462080010	8.33	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		62	1	12
462090001	155.7	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1168	1	14
462080005	5.18	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		39	1	2
Subtotal							0	1,606		
Winchester Town Center										
Vacant Parcels										
462100037	0.59	MDR	R-R	HHDR	R-7	30	18		1	1
462100041	4.74	MDR	R-R	HHDR	R-7	30	142		1	2
462100005	1.93	MDR	R-R	HHDR	R-7	30	58		1	3
462100007	3.83	MDR	R-R	HHDR	R-7	30	115		1	4
462100012	0.81	MDR	R-R	HHDR	R-7	30	24		1	5
462100014	4.14	MDR	R-R	HHDR	R-7	30	124		1	6
462100015	5.22	MDR	R-R	HHDR	R-7	30	157		1	7
462100042	3.64	MDR	R-R	HHDR	R-7	30	109		1	8
462100010	1.75	MDR	R-R	HHDR	R-7	30	52		1	9
462100011	1.73	MDR	R-R	HHDR	R-7	30	52		1	10
462100008	1.03	MDR	R-R	HHDR	R-7	30	31		1	11
462140012	4.67	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		70	2	1
462140015	2.89	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		43	2	3

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
462151001	4.05	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		61	2	10
463060002	2.98	CR	R-R	MUA (50% HHDR)	MIXED USE	30		45	3	12
463080003	2.4	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		18	4	7
463100006	2.14	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		16	4	10
463100002	4.67	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		35	4	14
462100020	2.71	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		28	5	1
462100019	4.62	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		49	5	6
462100021	1.96	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		21	5	7
462100025	2.42	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		25	5	8
462110002	1.85	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		19	5	17
462110008	4.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		44	5	18
462110001	2.72	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		29	5	23
462110004	4.74	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		50	5	33
462110005	2.69	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		28	5	34
462174001	3.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		33	5	36
462110013	4.33	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	5	38
462110012	2.56	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		27	5	39
462164001	2.75	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		29	5	40
462110003	4.27	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	5	46
46318030	1.75	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		26	6	5
463142007	1.11	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		17	6	12
462120001	1.77	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		27	7	1
462120003	2.74	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		41	7	2
462120002	4.91	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		74	7	3
462120005	3.57	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		54	7	4
462120016	4.32	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		65	7	6
462120004	4.93	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		74	7	8

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot	
462120015	1.8	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		27	7	10	
463160011	4.35	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		46	8	11	
463160010	4.77	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	13	
463160009	4.7	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		49	8	19	
463160012	4.27	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		45	8	20	
463160021	1.72	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		18	8	21	
463160014	4.78	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	22	
463120013	4.29	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	8	24	
463160023	4.78	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	26	
463160013	3.97	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		42	8	27	
463160017	4.39	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		66	9	2	
463160015	2.93	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		44	9	3	
463160018	2.5	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		38	9	4	
463160019	2.52	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		38	9	5	
463160020	4.34	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		65	9	6	
463130005	2.6	CR	R-R	MUA (50% HHDR)	MIXED USE	30		39	9	7	
463130001	4.43	CR	R-R	MUA (50% HHDR)	MIXED USE	30		66	9	8	
463130008	4.32	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		65	9	10	
463160016	1.94	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		29	9	12	
463160022	2.45	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		26	8	25	
463160048	2.27	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		24	8	18	
463080009	2.73	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		21	4	1	
463130007	2.05	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		31	9	1	
463160031	4.86	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		51	8	5	
463100003	4.59	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		34	4	13	
Subtotal							883	2,195			
Harvest Valley/Winchester Area Plan Total							883	3,801			

Highgrove Area Plan

Table H-40 Highgrove Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Highgrove Town Center										
Vacant Parcels										
255060016	12.87	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		290	3	2
255060015	8.09	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		182	3	4
255060017	6.54	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		147	3	6
255060018	10.8	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		243	3	8
255110015	7.39	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		166	3	9
255040010	6.99	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		105	1	12
255110003	4.9	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		110	3	13
255110005	4.93	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		111	3	14
255110006	4.84	LI	I-P	MUA (75% HHDR)	MIXED USE	30		109	3	15
255110004	4.87	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		110	3	17
255040017	1.79	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		27	1	19
255040010	1.33	LI	I-P	MUA (50% HHDR)	MIXED USE	30		20	1	12
255170012	0.56	LDR	R-1-20000	HHDR	R-7	30	17		2	4
255170014	8.93	LDR	R-1-20000	HHDR	R-7	30	268		2	5
255170005	2.19	LDR	R-1-20000	HHDR	R-7	30	66		2	2
255170011	5.02	LDR	R-1-20000	HHDR	R-7	30	151		2	1
255040014	0.69	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		10	1	1
255040015	3.01	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		45	1	22
							Subtotal	502		
Underutilized Parcels (see site description following this table)										
255170013	0.98	LDR	R-1-20000	HHDR	R-7	30	29		2	3
							Subtotal	29		
							Subtotal	530	1,978	
Highgrove Area Plan Total										

Chapter 8 Housing Element

Underutilized Sites

There is one underutilized site included in the Highgrove Area Plan within the Highgrove Town Center. The table below describes why this site is suitable for redevelopment.

APN	Net Acreage	Land Use as of 12/6/16	Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
255170013	0.98	HHDR	R-7	29	2	3	R-1 RESIDENTIAL	Parcel is part of a 9-acre group of four contiguous parcels owned by the same owner. This parcel will likely be joined with the other three parcels to form a larger project One parcel has a small structure and utility buildings. It is assumed that the parcels would be joined with the other parcels. The other parcels are part of a citrus grove.

Lakeview/Nuevo Area Plan

Table H-41 Lakeview/Nuevo Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Lakeview Town Center										
Vacant Parcels										
308150003	5.14	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		39	1	10
308150007	68.34	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		513	1	11
308140006	28.49	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		214	1	21
308140007	16.82	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		126	1	22
308150006	20.01	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		150	1	50
426060004	3.78	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		57	3	1
426060005	10.52	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		158	3	2
426440007	5.63	MHDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		85	3	5
426060007	2.18	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		33	3	6
426440006	2.48	MHDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		37	3	8
426440008	3.81	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		57	3	9
426060020	1.9	CR	C-P-S	HHDR	R-7	30	57		5	1
426060002	0.64	CR	C-P-S	HHDR	R-7	30	19		5	2
426060003	4.9	CR	C-P-S	HHDR	R-7	30	147		5	3
426091001	2.33	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		35	6	7
426073008	1.23	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		18	6	11
426073009	1.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	6	12
426101004	1.11	MDR	R-1	HHDR	R-7	30	33		7	3
426101003	1.52	MDR	R-1	HHDR	R-7	30	46		7	4
426083007	1.5	CR	C-P-S	HHDR	R-7	30	45		7	5
426060022*	29.72	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		446	3	11

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
426060022*	0.27	CR	C-P-S	HHDR	R-7	30	8		5	4
426060006	4.84	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		73	3	4
426060012	1.75	CR	C-P-S	HHDR	R-7	30	52		5	5
Subtotal							407	2,061		

Nuevo Community (Western Area)

Vacant Parcels

307240004	9.61	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		144	1	2
307240007	9.56	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		143	1	4
307240060	9.79	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		147	1	5
307240008	9.29	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		139	1	6
307240006	9.27	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		139	1	7
307270026	0.88	CR	R-R	MUA (75% HHDR)	MIXED USE	30		20	2	3
307270027	0.76	CR	R-R	MUA (75% HHDR)	MIXED USE	30		17	2	4
307270025	1.12	CR	R-R	MUA (75% HHDR)	MIXED USE	30		25	2	5
310270012	1.81	CR	R-R	MUA (75% HHDR)	MIXED USE	30		41	2	10
310270014	15.09	CR	R-R	MUA (75% HHDR)	MIXED USE	30		339	2	11
310270006	4.73	CR	R-R	MUA (75% HHDR)	MIXED USE	30		107	2	12
310230027	9.67	CR	R-R	MUA (75% HHDR)	MIXED USE	30		218	2	14
310270011	1.88	CR	R-R	MUA (75% HHDR)	MIXED USE	30		42	2	17
310270013	2.17	CR	R-R	MUA (75% HHDR)	MIXED USE	30		49	2	20
307270029	1.75	CR	R-R	MUA (75% HHDR)	MIXED USE	30		39	2	22
307270012	1.05	CR	R-R	MUA (75% HHDR)	MIXED USE	30		24	2	23
307270023	6.55	CR	R-R	MUA (75% HHDR)	MIXED USE	30		147	2	27
307270019	4.83	CR	R-R	MUA (75% HHDR)	MIXED USE	30		109	2	30
Subtotal							0	1,889		

Lakeview/Nuevo Area Plan Total

Subtotal							407	3,950		
-----------------	--	--	--	--	--	--	------------	--------------	--	--

Mead Valley Area Plan

Table H-42 Mead Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Good Hope Community										
Vacant Parcels										
326240061	2.2	MDR	R-R	HHDR	R-7	30	66		2	9
326250039	3.65	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		33	1	10
326250029	1.3	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		12	1	19
326250037	4.25	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		38	1	25
326250043	4.34	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		39	1	26
326250011	9.96	MDR	R-R	HHDR	R-7	30	299		1	27
326240077	2.7	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		24	3	31
326240079	5.91	CR	R-R	MUA (30% HHDR)	MIXED USE	30		53	1	34
326250040	9.57	CR	R-R	MUA (30% HHDR)	MIXED USE	30		86	1	36
326250038	1.86	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		17	1	39
326250001	4.77	MDR	R-R	HHDR	R-7	30	143		2	48
326240085	1.64	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		15	1	14
							Subtotal	508		
Mead Valley Community (I-215/Nuevo Rd. Vicinity)										
Vacant Parcels										
305270030	1.62	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		24	3	1
305270031	1.42	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		21	3	2
305270032	2.3	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		34	3	14
							Subtotal	0		
Mead Valley Town Center										
Vacant Parcels										
318130005	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	4
318160001	2.04	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		31	1	9

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
318160002	2.25	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		34	1	10
318140007	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	16
318130001	2.05	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		31	1	21
318160004	1.2	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		18	1	24
318070005	1.3	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		19	1	28
318130002	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	35
318070006	1.3	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	1	45
318070010	1.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	49
318100011	13.96	RC-LDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		209	2	1
318160003	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	38
318130012	3.2	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		48	1	32
Subtotal							0	495		
Mead Valley Area Plan Total							508	891		

The Pass Area Plan

Table H-43 The Pass Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Cabazon Town Center										
Vacant Parcels										
519180018	14.32	CR	C-P-S	HHDR	R-7	30	430		1	1
519330001	1.97	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		21	2	11
519180014	9.3	CR	W-2	MUA (35% HHDR)	MIXED USE	30		98	2	12
519330010	1.77	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		19	2	17
519330007	2.49	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		26	2	50
519330008	4.78	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		50	2	51
526023016	1.87	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		20	2	71

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
526021008	2.53	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		27	2	87
519240009	9.96	HI	M-SC	MUA (35% HHDR)	MIXED USE	30		105	3	2
519340002	9.61	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		101	3	5
519260003	1.48	LI	W-2-5	MUA (35% HHDR)	MIXED USE	30		16	3	6
519350001	8.9	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		93	3	14
519250006	4.18	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		44	3	18
519320012	2.74	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		29	3	24
519260006	1.5	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		16	3	26
519270008	3.27	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		34	3	28
526040008	6.71	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		101	4	6
526050001	5.88	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		88	4	7
526131002	4.46	MDR	R-6	HHDR	R-7	30	134		5	1
526131004	4.81	MDR	R-6	HHDR	R-7	30	144		5	2
526160009	4.38	LDR	R-A	HHDR	R-7	30	131		6	1
526160008	8.28	LDR	W-2	HHDR	R-7	30	249		6	5
526080002	9.69	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		145	7	1
526070001	1.07	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		16	7	3
526060006	3.81	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		57	7	4
526060005	1.14	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		17	7	5
526050013	8.64	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		130	7	6
526080001	9.72	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		146	7	7
526123001	9.18	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		138	8	1
526143023	1.18	CR	R-1	MUA (50% HHDR)	MIXED USE	30		18	8	2
526132022	2.81	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		42	9	4
526132025	1.5	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		23	9	5
526132003	1.04	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		16	9	8
526150011	2.33	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		35	10	20

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot	
526142043	1.8	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		27	10	26	
526150015	9.52	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		143	10	27	
526150010	4.85	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		73	10	30	
526143025	1.55	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		23	10	35	
526150001	9.7	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		145	10	38	
526150002	9.31	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		140	10	39	
526180006	4.71	LDR	R-A	HHDR	R-7	30	141	0	11	1	
519250007	6	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		63	3	33	
519340001	9.6	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		101	3	27	
519240010	1.85	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		19	3	22	
519260007	4.76	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		50	3	4	
519240005	6.76	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		71	3	1	
526090001	6.32	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		95	7	2	
Subtotal							1,229	2,621			
Underutilized Parcels (see site description following this table)											
526160011	0.91	LDR	R-A	HHDR	R-7	30	27		6	2	
526160010	0.93	LDR	R-A	HHDR	R-7	30	28		6	3	
526160012	2.25	LDR	R-A	HHDR	R-7	30	68		6	4	
Subtotal							123				
The Pass Area Plan Total							1,352	2,621			

Underutilized Sites

There are three underutilized sites included in The Pass Area Plan within the Cabazon Town Center. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Land Use as of 12/6/16	Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
526160011	0.91	HHDR	R-7	27	6	2	MF - MOBILE HOME	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.
526160010	0.93	HHDR	R-7	28	6	3	MO - MOBILE HOME	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.
526160012	2.25	HHDR	R-7	68	6	4	R1 - RESIDENTIAL	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.

Chapter 8 Housing Element

Western Coachella Valley Area Plan

Table H-44 Western Coachella Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Desert Edge/Southeast Desert Hot Springs Community										
Vacant Parcels										
657260008	8.98	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		135	2	1
656330015	8.84	CR	W-2	MUA (50% HHDR)	MIXED USE	30		133	5	1
						Subtotal	0	268		
I-10/Haugen Lehmann Ave Community										
Vacant Parcels										
517300019	6.38	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		144	1	38
517290016	2.57	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		58	1	50
						Subtotal	0	202		
North Palm Springs Community										
Vacant Parcels										
664200011	2.26	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	4
664200001	2.29	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	8
664200004	2.18	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		33	1	9
664200012	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	1	11
664200002	2.25	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	16
664200030	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	22
664200014	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	23
664200015	2.46	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	24
664200025	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	26
664200027	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	1	27
664200033	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	28
664200016	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	29
664200017	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	30

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
664200031	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	37
664200022	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	40
664200023	2.52	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	41
664200036	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	42
664200003	2.23	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	43
664200005	2.26	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	44
664200037	2.11	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		32	1	45
664200013	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	46
664200024	2.48	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	53
664200026	2.53	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	54
664200028	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	55
664200032	2.48	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	56
664200034	2.53	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	57
664200020	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	73
664270001	40.2	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		603	2	1
664270002	40.16	MDR	W-2	MUA (50% HHDR)	MIXED USE	30		602	2	2
664240002	39.79	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		597	2	3
664200018	1.27	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		19	1	47
Subtotal						0		2,815		
Rushmore/Kimdale Community										
Vacant Parcels										
520094005* Rossetti	0.3	MDR	R-R	HHDR	R-7	30	9		1	38
520094004* Rossetti	0.3	MDR	R-R	HHDR	R-7	30	9		1	69
520106004* Fitzpatrick	0.27	MDR	R-R	HHDR	R-7	30	8		1	68
520106005* Fitzpatrick	0.32	MDR	R-R	HHDR	R-7	30	9		1	111
520094002* Haefeli	0.3	MDR	R-R	HHDR	R-7	30	9		1	25
520094001* Haefeli	0.3	MDR	R-R	HHDR	R-7	30	9		1	40

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
520091002* Mission Springs Water Dist	0.26	MDR	R-R	HHDR	R-7	30	8		1	9
520091001* Mission Springs Water Dist	0.26	MDR	R-R	HHDR	R-7	30	8		1	64
520104006* Brossman	0.29	MDR	R-R	HHDR	R-7	30	9		1	92
520104005* Brossman	0.33	MDR	R-R	HHDR	R-7	30	10		1	95
520123001* Yagami	0.26	MDR	R-R	HHDR	R-7	30	8		1	98
520106013* Yagami	0.26	MDR	R-R	HHDR	R-7	30	8		1	140
520080017* SCE	2.85	MDR	R-R	HHDR	R-7	30	86		1	1
520080016* SCE	7.52	MDR	R-R	HHDR	R-7	30	226		1	63
520102008* Rucker1	0.3	MDR	R-R	HHDR	R-7	30	9		1	90
520102007* Rucker1	0.3	MDR	R-R	HHDR	R-7	30	9		1	139
520110006	0.95	MDR	R-R	HHDR	R-7	30	28		1	7
520110013	0.99	MDR	R-R	HHDR	R-7	30	30		1	12
520080001	2.41	MDR	R-R	HHDR	R-7	30	72		1	17
Subtotal							564	0		
Underutilized Parcels (see site description following this table)										
520121001* Jones	0.27	MDR	R-R	HHDR	R-7	30	8		1	29
520121002* Jones	0.32	MDR	R-R	HHDR	R-7	30	10		1	76
520102009* Rucker	0.3	MDR	R-R	HHDR	R-7	30	9		1	55
520110007	0.6	MDR	R-R	HHDR	R-7	30	18		1	73
520105002	0.56	MDR	R-R	HHDR	R-7	30	17		1	84
Subtotal							62	0		

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Thousand Palms Community (I-10/Cook St. Vicinity)										
Vacant Parcels										
694120008	34.39	BP	I-P	MUA (50% HHDR)	MIXED USE	30		516	1	2
694120007	33.28	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		499	1	3
						Subtotal	0	1,015		
Thousand Palms Town Center										
Vacant Parcels										
693040023	2.96	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		44	2	1
693040022	89.9	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		1349	2	5
650270001	19.48	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		146	3	28
650300011	2.31	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		17	3	37
650300017	9.42	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		71	3	43
650290001	4.83	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		36	3	44
650300013	5	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		37	3	48
650290002	4.88	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		37	3	50
650300018	19.58	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		147	3	53
650300018	9.85	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		74	3	53
650310001	3.31	CR	C-P-S	HHDR	R-7	30	99		4	1
650310002	3.37	CR	C-P-S	HHDR	R-7	30	101		4	2
650310001	1.03	CR	R-3-6000	HHDR	R-7	30	31		4	1
650310002	0.99	CR	R-3-6000	HHDR	R-7	30	30		4	2
651140006	18.99	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		285	5	1
651140007	2.98	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		45	5	2
651140008	2.07	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		31	5	3
694071017	1.18	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		18	5	13
694060003	2.49	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		37	5	27
694060002	2.7	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		41	5	30

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Land Use as of 12/6/16	Zoning as of 12/6/16	Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot		
694060022	24.07	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		361	5	32		
694060023	18.07	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		271	5	33		
651140005	9.49	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		142	5	35		
693230019	4.83	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		72	5	36		
693230013	11.51	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		173	5	37		
693230010	8.77	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		132	5	38		
693230011	5.92	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		89	5	39		
694060022	11.32	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		170	5	32		
694060022	8.92	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		134	5	32		
694060022	5.41	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		81	5	32		
694060022	1.5	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		23	5	32		
694060022	1.36	MHDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	5	32		
651140007	2.09	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		31	5	2		
651140005	5.49	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		82	5	35		
694060023	17.99	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		270	5	33		
694060023	5	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		75	5	33		
694120010	17.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		257	6	1		
694050001	40.58	MHDR	R-T	MUA (50% HHDR)	MIXED USE	30		609	6	2		
694050012	38.54	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		578	6	3		
694050011	27.59	MHDR	R-3	MUA (50% HHDR)	MIXED USE	30		414	6	4		
694120011	6.92	MHDR	R-3	MUA (50% HHDR)	MIXED USE	30		104	6	5		
694120010	1.85	CR	R-3	MUA (50% HHDR)	MIXED USE	30		28	6	1		
694050012	9.28	CR	R-3	MUA (50% HHDR)	MIXED USE	30		139	6	3		
694120011	1.34	CR	R-3	MUA (50% HHDR)	MIXED USE	30		20	6	5		
						Subtotal	261	6,690				
						Western Coachella Valley Area Plan Total					887	10,990

1. Site is contiguous with an underutilized site.

Underutilized Sites

There are five underutilized sites included in the Western Coachella Valley Area Plan within the Rushmore/Kimdale Community. The table below describes why these sites are suitable for redevelopment. Please note that the sites in the table below with a current site use of “MF – Mobilehome” are not located within a mobile home park.

APN	Net Acreage	Land Use as of 12/6/16	Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
520121001* Jones	0.27	HHDR	R-7	8	1	29	MF - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520121002* Jones	0.32	HHDR	R-7	10	1	76	MO - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520102009* Rucker	0.3	HHDR	R-7	9	1	55	MO - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520110007	0.6	HHDR	R-7	18	1	73	MF - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multi-family housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520105002	0.56	HHDR	R-7	17	1	84	R1 - RESIDENTIAL	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.

Projected Housing Units

Another way the County was able to meet a portion of its RHNA was to project the number of units that are assumed to be built based on approvals in past years. The County approves a large number of manufactured homes and second units, and therefore it was appropriate to project these unit types as meeting a portion of the County's lower-income RHNA.

Manufactured Home Capacity

Based on costs provided by regional builders, the cost of new manufactured housing ranges from \$62,000 to \$400,000. There would be an additional cost of preparing the land, which varies between \$20,000 and \$40,000. Most manufactured housing developed in the County serves cost-constrained families, providing an affordable alternative to traditional stick-built development. Table H-20 shows that a four-person, very low-income household can afford a maximum sales price of \$123,100 and a four-person, low-income household can afford a maximum sales price of \$190,400, meaning manufactured housing is affordable to both very low- and low-income households.

Over the past five years, there was an average of 112 mobile/manufactured homes added to the County's housing stock per year. Projecting these 112 units over the remaining RHNA period (six years) gives the County a projected capacity of 670 manufactured/mobile homes.

Secondary Dwelling Unit Capacity

The County considers second units appropriate for low-income households as either a primary residence or as farm worker housing. Currently, there is no available data for second unit rental rates in the County. Therefore, the County relied on rental rates for one-bedroom units identified in Table H-22 as a proxy for second unit rental rates. Extrapolating from this, the average monthly rent of one-bedroom units in the unincorporated County is approximately \$1,000. As shown in Table H-23, low-income households can afford between \$940 (one-person) and \$1,340 (four-person) in monthly housing costs without being cost burdened. Comparing the rental rates with the affordability of low-income households shows that second units are appropriate to credit toward the County's lower-income RHNA.

The County tracks second unit data and therefore was able to look at the trends over the past 11 years. Over that time frame, an average of 55 second units were built per year. The County took a conservative approach and is only assuming that 70 percent of the 55 units (39 units) will be affordable to lower-income households. Projecting these 39 units at 70 percent over the remaining RHNA period (six years) gives the County a projected capacity of 232 second units.

Progress toward Meeting the RHNA

Based on the land analysis, the County has sufficient land to accommodate its shortfall RHNA from the 4th round as well as the 5th round RHNA. Table H-45 compares the County's remaining RHNA and the capacity of the nine area plans.

As previously discussed, the County had a shortfall of the very low- and low- income categories, and therefore was required to meet at least 50 percent of that shortfall (12,587 units) on sites designated for exclusively residential uses, at appropriate densities. As shown in Table H-45, the County has a capacity of 11,888 HHDR units and 976 for second units and mobile home units. This gives the County a total lower-income capacity of 12,864. Comparing

that to the 50 percent residential requirement of 12,587, the County has a surplus of 277 units being met on solely residential sites.

Table H-45 Comparison of Regional Housing Need and Available Capacity

Income Category	Remaining RHNA to Accommodate ¹	Area Plan Capacity ²		Second Unit/ Mobile Home Capacity	Total Capacity	RHNA Surplus
		HHDR ³	MUA			
Very Low	25,174	11,888	35,937	976	48,801	23,627
Low						
Moderate	0					
Above Moderate	0					
Total	25,174	11,888	35,937	976	48,801	23,627

Source: Riverside County 2015

1. Refer to Table H-35 for additional details.

2. Refer to Table H-36 for capacity explanation.

3. Note the County is meeting 50% of the RHNA shortfall (12,587 units) on solely residential land and with second unit/mobile home capacity, also located on solely residential land.

Specific Plans in the County

Over 300 specific plans have been processed in the County since 1973. A specific plan is an important planning tool as it establishes the permitted number of dwelling units; accommodates a variety of housing types including attached and multifamily uses; and fosters clustering concepts, leaving room for open space and other amenities. Additionally, specific plan requirements call for infrastructure plans (water, sewer, drainage, and circulation) to be prepared to support the proposed development, thereby ensuring that the community will be adequately served by infrastructure systems. The majority of the approved specific plans have been built out over the years per their approvals, or have had selected phases, neighborhoods, or tract maps processed and constructed under the umbrella of the specific plan. Other specific plans processed under the County’s jurisdiction have been annexed into the incorporated boundaries of one of the cities in the County. As a result, they no longer offer potential for additional units within the unincorporated area.

There are 34 specific plans located in the unincorporated Riverside County with planned densities resulting in a unit potential of 59,579 housing units (Table H-46).

Table H-46 Housing Potential of Specific Plans in Unincorporated Riverside County

Number	Name	Max DUs	Remaining DUs
183	Rancho Nuevo	508	505
184	Rancho Bella Vista	1,998	938
198	Belle Meadows	440	440
208	Cal Neva	1,670	623
212	Mesa Grande	200	200
238	Crown Valley Village	591	305
239	Stoneridge	1,900	1,898
246	McCanna Hills	2,967	2,903
250	Gateway Center	553	553

251A1	Lakeview Nuevo Village	315	314
256	Sycamore Creek	1,765	780
260	Menifee North	2,388	2,188
284	Quinta Do Lago	1,318	523
286	Winchester 1800	4,870	2,362
288	The Crossroads in Winchester	795	793
293	Winchester Hills	5,690	626
303	Kohl Ranch	7,171	7,171
310	Domenigoni/Barton Properties	4,186	4,019
312	French Valley	1,793	1,504
313	Morgan Hill	1,121	394
317	The Retreat	545	183
322	BSA Properties	421	421
323	Spring Mountain Ranches	1,461	1,461
325	Lake Mathews Golf & CC	295	295
327	Toscana	1,443	1,443
330	Springbrook Estates	650	650
333	Renaissance Ranch	355	355
336	Desert Dunes	2,250	2,250
343	Northstar	970	970
360	Valante	460	460
362	Panorama	2,718	2,718
369	Thermal 551	2,354	2,354
375	Travertine	16,655	16,655
380	Keller Crossing	320	320
Total Units		73,136	59,574

Source: Riverside County 2015

Specific Plans with Densities to Meet Lower-Income Housing Needs

There are two specific plans within the unincorporated County that have densities appropriate to meet a portion of the County's lower-income RHNA: Valante and Travertine. The Valante Specific Plan includes densities that allow for up to 30 units per acre. This density is assumed affordable to lower-income households. The Travertine Specific Plan calls for at least 10 percent of the units to be affordable to 35 percent to 120 percent of the area median income.

Valante Specific Plan

Valante is an approved plan that will allow for 460 units. Of those units, 243 are planned for very high-density residential development allowing up to 30 dwelling units per acre. In order for this project to move forward, a subdivision map will need to be filed and a public hearing before the Planning Commission will need to occur. Once the hearing has been held, development can occur through building permits.

Travertine Specific Plan

Travertine is an approved plan that will allow for 16,655 units with densities ranging from 2–20 or more units per acre. The plan has an affordability requirement of 10 percent of the total units, or 1,666 units that must fall between 35–120 percent of the area median income and shall require a minimum of 167 units to be affordable to very low-income households. To determine the affordability breakdown, the County applied the moderate-income RHNA percentage requirement and then assumed the remaining units would be allocated toward very low and low income. This breaks down to 283 units allocated toward moderate income, and 1,383 allocated toward very low and low income.

Availability of Infrastructure

As mentioned above, specific plan requirements call for the preparation of infrastructure plans (water, sewer, drainage, and circulation) to support the proposed development to ensure that the community will be adequately served by infrastructure systems. However, a significant portion of vacant parcels in Winchester Valley in the southeast portion of the Western Riverside Council of Governments (WRCOG) and the vast majority of vacant parcels in Coachella Valley Association of Governments (CVAG) do not lie within a specific plan. The impact of infrastructure on the overall capacity and timing of development is critical in these areas.

General Plan policy requires that urban development with densities of two dwelling units per acre or higher must provide domestic water, sewage disposal, street improvements, and fire protection. The HHDR density exceeds two units per acres. Thus, all the sites that are identified for redesignation and rezoning will have available infrastructure.

Although there are approximately 42 independent water and/or sanitary agencies operating in unincorporated Riverside County, only 67 percent of vacant parcels in WRCOG and 49 percent of vacant parcels in CVAG are within a water or sanitation district. Even then, some communities such as Cherry Valley, Cabazon, Idyllwild, the Palo Verde Valley, and portions of Winchester Valley rely on septic systems.

Development in unincorporated areas outside water district service areas face the greatest infrastructure impacts, especially when located in non-contiguous areas with no infrastructure readily available. In CVAG's agricultural areas, the development of farm labor mobile home parks may be conditioned by the County to construct on-site subsurface sewage disposal systems (septic tanks) as a temporary measure until such time as sewer lines from an established sewer district become available. Connection to the system would be made at that time. In addition, the drilling of underground wells may be approved to provide adequate water supply when water lines are not available. Both well water supply and the installation of subsurface sewage disposal systems must meet all current Department of Environmental Health requirements.

Street improvements are another infrastructure need of new housing in unincorporated Riverside County. While roads in agricultural areas provide adequate access within the unincorporated Coachella and Palo Verde Valleys, most are designed to conduct agricultural runoff and are insufficient for the development of housing. Extension of roadways and the construction of curbs, gutters, sidewalks, and retention basins may require project coordination and/or the need for subsidies from the County when constructed in conjunction with housing development.

These parcels are located within several County specific plans and along major transportation corridors which currently provide master planned opportunities for higher densities to occur as well as infrastructure opportunities to facilitate this development. As previously indicated, all parcels listed in the site inventory are located within water districts, which provide the facilitation of sewer, water, and wastewater provisions for new development. The units described in Table H-46 have the appropriate infrastructure available for development.

The impact of infrastructure on the overall capacity and timing of current and future development is therefore minimal given the capacity of the County to:

- Provide coordination and/or financial assistance for the construction of street improvements.
- Permit the construction of subsurface sewage disposal systems as an interim measure when sewer lines are unavailable or infeasible to construct.
- Permit the drilling of wells to provide on-site water supply when water lines are unavailable or infeasible to construct.

Environmental Site Constraints on Housing

Environmental factors may also adversely affect a parcel's potential for development. Factors, such as land with slopes greater than 25 percent, may pose significant financial constraints that render housing development infeasible. Environmental hazards are discussed and mapped in further detail in the Safety Element in the County's General Plan as well as in the County's adopted Multiple Species Habitat Conservation Plan. The presence of an environmental constraint does not necessarily preclude the development of a site for housing. In many cases, environmental constraints may be ameliorated through proper site design, infrastructure improvements, or other mitigation measures.

Constraints

Governmental Constraints

Governmental constraints are policies, standards, requirements, or actions imposed by the various levels of government upon land and housing ownership and development. Although federal and state agencies play a role in the imposition of governmental constraints, these agencies are beyond the influence of local government and are therefore not addressed in this document.

Land Use Controls

General Plan

A general plan is a set of long-term goals and policies that the community uses to guide development decisions.

The Land Use Element of the Riverside County General Plan identifies the location, distribution, and density of land uses in the County. Densities are expressed as dwelling units per acre. The Riverside County General Plan Land Use Map consists of five broad Foundation Component land uses: Agriculture, Rural, Rural Community, Open Space, and Community Development. Each of these Foundation Components is subdivided into more detailed land use designations at the area plan level. In addition, the General Plan Land Use Map includes a number of overlays which allow residential uses. Table H-47, Land Use Designations Summary, describes all the land use designations used in the Riverside County General Plan, including those accommodating residential land uses.

The Community Center designation provides for the development of a complementary and creative mix of retail, professional office, light industrial, business park, civic, recreational open space, and higher-density residential uses. Community Centers are located along transit lines and major circulation facilities to enhance accessibility and create a focal point for the surrounding community. Transit, bicycle, and other such facilities that enhance pedestrian movement and civic vitality are prominent features within Community Centers. Housing densities in the Community Center designation range from 5 to 40 units per acre.

The General Plan identifies the following four types of Community Centers, differentiated by size, scale, and land use emphasis: Village Centers, Town Centers, Employment Centers, and Tourist Centers.

The Rural Village Overlay allows a concentration of development within areas of rural character. Rural Villages serve a similar function as the Community Centers except that they are of a much smaller scale. Like Community Centers, Rural Villages allow a range of residential and local-serving employment, shopping, educational, and recreational/cultural opportunities. They also serve as a focal point for the surrounding community. Limited in their size and scope, Rural Villages allow a mixture of uses that respond to local demand. They are not like conventional suburban subdivisions. This type of overlay allows for residential development ranging from Low Density Residential to Medium Density Residential, as well as the uses specified in the Commercial Retail land use designation.

The County's analysis of governmental constraints upon the maintenance, improvement, or development of housing for all income levels is detailed and specific. The cumulative impacts generated from the development of affordable housing developments are small in comparison to market-rate projects. This is due to several factors, such as public-private partnerships, the County's Fast Track process and program, and an exemption from many County impact fees (such as developer impact fees, open space, etc.), but primarily in where most affordable housing units added during the last planning period were developed by the County of Riverside, the Redevelopment Agency,

or the County’s Housing Authority, agencies which are not subject to most constraints as identified in the Housing Element. The most critical constraints to the process and development of affordable units are those associated with land use—in particular, parcels that are inconsistent with their General Plan designation and therefore may require a zoning classification change to allow multifamily housing. To address these constraints, the County will develop a programmatic rezoning process to bring these incorrectly zoned parcels into conformity with the overlying General Plan designation. This program, in conjunction with the development of an affordable housing ordinance for private development applications, will employ significant steps to solve rezoning as a constraint for affordable housing development for both private and public entities.

The elimination of government constraints that preclude the provision of housing for persons with disabilities, supportive housing, transitional housing, and emergency shelters are coordinated by the County Land Use Division and Economic Development Agency. The primary subsidy provided by the County remains the Fast Track Program, in which processing time and fees are subsidized and in some cases exempted for the projects in question.

Riverside County’s residential development standards have not constrained housing development in the County, nor have they been an obstacle to the development of affordable housing. The densities generally match the zoning categories and the setback and height requirements relate well to the densities permitted. Lot size requirements also are reasonable.

Table H-47 Land Use Designations Summary

Foundation Component	Area Plan Land Use Designation	Building Intensity Range (du/ac or FAR) 1, 2,3	Notes
Agriculture	Agriculture (AG)	10 ac min.	Agricultural land including row crops, groves, nurseries, dairies, poultry farms, processing plants, and other related uses. One single-family residence allowed per 10 acres except as otherwise specified by a policy or an overlay.
Rural	Rural Residential (RR)	5 ac min.	Single-family residences with a minimum lot size of 5 acres. Allows limited animal-keeping and agricultural uses, recreational uses, compatible resource development (not including the commercial extraction of mineral resources) and associated uses and governmental uses.
	Rural Mountainous (RM)	10 ac min.	Single-family residential uses with a minimum lot size of 10 acres. Areas of at least 10 acres where a minimum of 70% of the area has slopes of 25% or greater. Allows limited animal-keeping, agriculture, recreational uses, compatible resource development (which may include the commercial extraction of mineral resources with approval of a SMP) and associated uses and governmental uses.
	Rural Desert (RD)	10 ac min.	Single-family residential uses with a minimum lot size of 10 acres. Allows limited animal-keeping, agriculture, recreational, renewable energy uses including solar, geothermal and wind energy uses, as well as associated uses required to develop and operate these renewable energy sources, compatible resource development (which may include the commercial extraction of mineral resources with approval of SMP), and governmental and utility uses.
Rural Community	Estate Density Residential (RC-EDR)	2 ac min.	Single-family detached residences on large parcels of 2 to 5 acres. Limited agriculture, intensive equestrian and animal-keeping uses are expected and encouraged.
	Very Low Density Residential (RC-VLDR)	1 ac min.	Single-family detached residences on large parcels of 1 to 2 acres. Limited agriculture, intensive equestrian and animal-keeping uses are expected and encouraged.

Foundation Component	Area Plan Land Use Designation	Building Intensity Range (du/ac or FAR) <small>1, 2,3</small>	Notes
	Low Density Residential (RC-LDR)	.5 ac min.	Single-family detached residences on large parcels of 1/2 to 1 acre. Limited agriculture, intensive equestrian and animal-keeping uses are expected and encouraged.
Open Space	Conservation (C)	N/A	The protection of open space for natural hazard protection, and natural, archaeological, Native American, and scenic resource preservation. Existing agriculture is permitted.
	Conservation Habitat (CH)	N/A	Applies to public and private lands conserved and managed in accordance with adopted Multi-Species Habitat and other Conservation Plans. Must comply with GPA 1120 and in accordance with related Riverside County policies.
	Water (W)	N/A	Includes bodies of water and natural or artificial drainage corridors. Extraction of mineral resources subject to SMP may be permissible provided that flooding hazards are addressed and long-term habitat and riparian values are maintained.
	Recreation (R)	N/A	Recreational uses including parks, trails, athletic fields, and golf courses. Neighborhood parks are permitted within residential land uses.
	Rural (RUR)	20 ac min.	One single-family residence allowed per 20 acres. Extraction of mineral resources subject to SMP may be permissible provided that scenic resources and views are protected.
	Mineral Resources (MR)	N/A	Mineral extraction and processing facilities. Areas held in reserve for future mineral extraction and processing.
Community Development	Estate Density Residential (EDR)	2 ac min.	Single-family detached residences on large parcels of 2 to 5 acres. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged.
	Very Low Density Residential (VLDR)	1 ac min.	Single-family detached residences on large parcels of 1 to 2 acres. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged.
	Low Density Residential (LDR)	.5 ac min.	Single-family detached residences on large parcels of 1/2 to 1 acre. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged.
	Medium Density Residential (MDR)	2 - 5 du/ac	Single-family detached and attached residences with a density range of 2 to 5 dwelling units per acre. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged. Lot sizes range from 5,500 to 20,000 sq. ft.; typical 7,200 sq. ft. lots allowed.
	Medium High Density Residential (MHDR)	5 - 8 du/ac	Single-family attached and detached residences with a density range of 5 to 8 dwelling units per acre. Lot sizes range from 4,000 to 6,500 sq. ft.
	High Density Residential (HDR)	8 - 14 du/ac	Single-family attached and detached residences, including townhouses, stacked flats, courtyard homes, patio homes, townhouses, and zero lot line homes.
	Very High Density Residential (VHDR)	14 - 20 du/ac	Single-family attached residences and multifamily dwellings.
	Highest Density Residential (HHDR)	20+ du/ac	Multifamily dwellings, includes apartments and condominium. Multi-storied (3+) structures are allowed.
	Commercial Retail (CR)	0.20 - 0.35 FAR	Local and regional serving retail and service uses. The amount of land designated for Commercial Retail exceeds that amount anticipated to be necessary to serve the County's population at buildout. Once buildout of

Foundation Component	Area Plan Land Use Designation	Building Intensity Range (du/ac or FAR) 1, 2,3	Notes
			Commercial Retail reaches the 40% level within any area plan, additional studies will be required before CR development beyond the 40% will be permitted.
	Commercial Tourist (CT)	0.20 - 0.35 FAR	Tourist-related commercial including hotels, golf courses, and recreation/amusement activities.
	Commercial Office (CO)	0.35 - 1.0 FAR	Variety of office-related uses including financial, legal, insurance and other office services.
	Light Industrial (LI)	0.25 - 0.60 FAR	Industrial and related uses including warehousing/distribution, assembly and light manufacturing, repair facilities, and supporting retail uses.
	Heavy Industrial (HI)	0.15 - 0.50 FAR	More intense industrial activities that generate significant impacts such as excessive noise, dust, and other nuisances.
	Business Park (BP)	0.25 - 0.60 FAR	Employee intensive uses, including research and development, technology centers, corporate offices, "clean" industry, and supporting retail uses.
	Public Facilities (PF)	< 0.60 FAR	Civic uses such as County administrative buildings and schools.
	Community Center (CC)	5 - 40 du/ac 0.10 - 0.3 FAR	Includes combination of small-lot single family residences, multifamily residences, commercial retail, office, business park uses, civic uses, transit facilities, and recreational open space within a unified planned development area. This also includes Community Centers in adopted specific plans.
	Mixed Use Area		This designation is applied to areas outside of Community Centers. The intent of the designation is not to identify a particular mixture or intensity of land uses, but to designate areas where a mixture of residential, commercial, office, entertainment, educational, and/or recreational uses, or other uses is planned.

Overlays and Policy Areas

Overlays and Policy Areas are not considered a Foundation Component. Overlays and Policy Areas address local conditions and can be applied in any Foundation Component. The specific details and development characteristics of each Policy Area and Overlay are contained in the appropriate area plan.

Community Development Overlay (CDO)	Allows Community Development land use designations to be applied through General Plan Amendments within specified areas within Rural, Rural Community, Agriculture, or Open Space Foundation Component areas. Specific policies related to each Community Development Overlay are contained in the appropriate area plan.
Community Center Overlay (CCO)	Allows for either a Community Center or the underlying designated land use to be developed.
Rural Village Overlay (RVO) and Rural Village Overlay Study Area (RVOSA)	The Rural Village Overlay allows a concentration of residential and local serving commercial uses within areas of rural character. The Rural Village Overlay allows the uses and maximum densities/intensities of the Medium Density Residential and Medium High Density Residential and Commercial Retail land use designations. In some rural village areas, identified as Rural Village Overlay Study Areas, the final boundaries will be determined at a later date during the consistency zoning program. (The consistency zoning program is the process of bringing current zoning into consistency with the adopted General Plan.)
Watercourse Overlay (WCO)	The Watercourse Overlay designates watercourses, including natural or controlled stream channels and flood control channels.
Specific Community Development Designation Overlay	Permits flexibility in land use designations to account for local conditions. Consult the applicable area plan text for details.
Policy Areas	Policy Areas are specific geographic districts that contain unique characteristics that merit detailed attention and focused policies. These policies may impact the underlying land use designations. At the area plan level, Policy Areas accommodate several locally specific designations, such as the Limonite Policy Area (Jurupa Area Plan), or the Scott Road Policy Area (Sun City/Menifee Valley Area Plan). Consult the applicable area plan text for details.

Foundation Component	Area Plan Land Use Designation	Building Intensity Range (du/ac or FAR) 1, 2,3	Notes
<p>Notes:</p> <p>1. FAR = Floor area ratio, which is the measurement of the amount of nonresidential building square footage in relation to the size of the lot. Du/ac = dwelling units per acre, which is the measurement of the amount of residential units in a given acre.</p> <p>2. The building intensity range noted is exclusive, that is, the range noted provides a minimum and maximum building intensity.</p> <p>3. Clustering is encouraged in all residential designations. The allowable density of a particular land use designation may be clustered in one portion of the site in smaller lots, as long as the ratio of dwelling units/area remains within the allowable density range associated with the designation. The rest of the site would then be preserved as open space or a use compatible with open space (e.g., agriculture, pasture or wildlife habitat). Within the Rural Foundation Component and Rural Designation of the Open Space Foundation Component, the allowable density may be clustered as long as no lot is smaller than 1/2 acre. This 1/2 acre minimum lot size also applies to the Rural Community Development Foundation Component. However, for sites adjacent to Community Development Foundation Component areas, 10,000 square foot minimum lots are allowed. The clustered areas would be a mix of 10,000 and 1/2 acre lots. In such cases, larger lots or open space would be required near the project boundary with Rural Community and Rural Foundation Component areas.</p>			

Density is a critical factor in the development of affordable housing. In theory, maintaining low densities typically increases the cost of construction while higher density lowers the per unit land cost. More intense residential development can be achieved through a number of mechanisms, including amending the land use designation to allow higher-density residential uses, density bonus provisions, clustering of residential development, and zero lot line/small lot development, subject to local development standards. Clustering housing can produce higher densities on a portion of land while retaining the overall density of the entire property. This method generally requires the portions of the property not utilized for residential development to remain in open space or be developed as an amenity such as a park or golf course. The County’s Medium Density Residential, Medium High Density Residential, High Density Residential, Very High Density Residential, Highest Density Residential, and Community Center designations, which allow the combination of residential and commercial developments, accommodate the clustering concept and a diversity of housing types. Clustering of housing allows for higher density uses in areas where the overall density typically would not accommodate housing products which may be affordable to low- and moderate-income households.

The General Plan land use designations allow for a wide range of development at densities suitable to accommodate all income categories. Therefore, they are not considered a constraint to the provision of housing.

Ordinance No. 348

Under the Ordinance No. 348 (zoning ordinance), development must comply with specific, enforceable development standards such as minimum lot requirements, minimum setbacks, maximum building heights, and a list of allowable uses. Table H-48 summarizes residential development standards by zone. Zoning is applied lot-by-lot, whereas the General Plan has a community-wide perspective. The zoning applied to a lot must be consistent with the General Plan.

Ordinance No. 348 sets forth the classifications. Table H-49 summarizes residential uses allowed within these zones.

A great deal of mixed development is permitted in these residential zones; however, lot sizes are generally no smaller than 7,200 square feet, unless recreational facilities are provided as part of the development. Lot sizes within a specific plan or planned residential development (PRD) may vary from the typical 7,200-square-foot requirement, particularly for the higher-density single-family detached and attached product types.

Ordinance No. 348 also establishes development standards for PRDs, which are intended to do the following:

1. Foster and encourage innovative design, variety, and flexibility in housing types which would not otherwise be allowed in other zoning classifications.
2. Ensure the provision of open space as a part of the development.
3. Provide a greater diversity in housing choices.

The total number of dwelling units in a PRD may not exceed that which would be permitted if the project were a standard lot development. The height of buildings may not exceed the height permitted in the zone in which the project is located. There are also minimum standards for living areas. The maximum permitted density and height limits may be reduced if it is determined to be necessary for a PRD to achieve compatibility with the area in which the development is located. In PRDs for senior citizens, a minimum percentage of the residential units must be adaptable for persons with disabilities.

The need for affordable housing is recognized as one of the most significant housing problems facing the County. The County has, therefore, established the R-6 zone (Residential Incentive), incentives, and zoning requirements. The current requirements of the R-6 zone restrict the selling price to one of the following: 1) the average price of all dwelling units within the R-6 zone shall not exceed 80 percent of the average homes sales price in a market area; 2) the selling price of 25 percent of the dwelling units shall be at an amount affordable to families earning no greater than 120 percent of the County median income; or 3) the selling price of 15 percent of the dwelling units must be affordable to families earning no more than 80 percent of the County median income. The allowable density within this zone is flexible based on physical and service constraints as well as location, but must be no less than 4 units per acre. The density may exceed the density permitted by the underlying General Plan Land Use Element. The zone also has minimum lot size and open space requirements.

The R-6 zone was utilized in two County-assisted affordable housing developments. Amendments to the General Plan were made to convert existing commercial zoning to the R-6 zone for the Mission Villas Senior Apartments (1997) and the Mission LaRue Senior Apartments (2002-3). The R-6 zoning allowed the projects to exceed the maximum density of 16-20 dwelling units per acre and provide affordable housing at 24 dwelling units per acre and 20.5 dwelling units per acre, respectively. This zone is currently being reevaluated to increase its effectiveness.

Concurrently with the adoption of the fifth (5th) Cycle Housing Element update, the County established the HHDR General Plan Land Use Element designation, which allows for residential densities of up to 40 units per acre. The R-7 zone provides increasingly flexible site development standards to facilitate achieving the higher residential densities. As discussed above, higher densities allow for reduced construction costs and efficient allocation of utilities and infrastructure. Requirements for the R-7 zone are provided in Table H-49.

This page intentionally left blank.

Chapter 8 Housing Element

Development Standards

Table H-48 Summary of Residential Zoning Requirements

Development Standards	R-1, R-1A, R-2	R-2A	R-3	R-3A	R-4	R-6****	R-7 (attached)	R-7 (detached)	R-A	R-R	R-R-O	R-T****	R-T-R	R-D	A-1, A-2	A-P	A-P (Operations)	A-D	A-D (Operations)	MU
Lot Dimensions																				
Minimum Lot Size (sf)	7,200	7,200	7,200	9,000	3,500	5,000	None	None	20,000	0.5 acres	0.5 acres	7200	40000	20,000	20,000	5 ac	5 ac	20 ac	20 ac	None
Minimum Lot Width (ft)	60	60	60	60	40	30	None	None	100	80	80	60	100	100	100	200	200	x	x	None
Depth (ft)	100	100	100	100	80	x	n/a	n/a	150	150	150	100	100	150	150	x	x	x	x	None
Setbacks																				
Front (ft)	50	20	10	10	10	10	n/a	n/a	20	20	20	20	20	20	20	20	50	20	20	15'
Side (ft)	5*	5*	5	5**	5***	Varies	n/a	n/a	5	5	5	5	5	10	5	10	25	10	25	0'
Rear (ft)	10	10	10	10	10	10	n/a	n/a	10	10	10	5	5	5	10	10	25	10	25	n/a
Height																				
Feet	40	30	50-75	50-75	40-50	35-50	75/100	40'	40	40	40	40	40	50-75	40	40	50-105	40	50-105	75/100
Floors	3	2	n/a	n/a	n/a	n/a	n/a	n/a	3	3	3	3	3	n/a	n/a	n/a	n/a	n/a	n/a	11*****

Source: Riverside County, April 2017

Notes: This table is just a summary table. Refer to Ordinance No. 348 (zoning ordinance) for specifics regarding development standards. If there is any inconsistency between this Table H-46 and the requirements provided for these zones in Ordinance No. 348, the site development standards in Ordinance No. 348 shall apply.

*10-foot setback on corner lots.

**20-foot front setback for single-family. Setbacks are for buildings not over 35 feet in height. See Section 18.18 for detached accessory building setbacks.

***Multiple buildings must have 20-foot separation between buildings. No structural encroachments permitted in front, side, or rear yards except as provided in Section 18.19.

****Additional setbacks may be required depending on height and adjacent land uses.

*****Minimum size of mobile home shall be 450 square feet. Minimum size of conventional one-family house shall be 750 square feet. Mobile home front setbacks may be reduced to 10 feet if community recreational facilities exist in tract. Minimum frontage of 30 feet. If Community Recreation/Open Space is developed as part of the subdivision: (a) A minimum of 500 square feet for each residential lot shall be usable recreational area. (b) Combined square footage of community area and lot area, excluding street right of way, shall total no less than 6,000 square feet for each residential lot.

*****Minimum floor to ceiling height.

Zoning for a Variety of Housing Types¹³

Table H-49 Zoning Use Index Summary

Use Description	R-P	R-O	R-1	R-1A	R-2	R-2A	R-3	R-3A	R-7	R-4	R-5	R-6	R-7	R-8	R-9	sp	C-1	A-1	A-2	A-D	N-A	C/N	W-1	W-2	W2 M	C-1	C-P-S	C-R	P			
Second Dwelling Units ¹	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	SUP	A																
Apartment Houses					PP	PP	PP	CUP		P		PP	P			A																
Boarding, Rooming, Lodging Houses ²					PP	PP	PP	PP				PP	PP			A								PP								
Residential Care Facility ³																																
Dwellings - Agricultural Mobile home ⁴	PP	PP		P		PP	PP	CUP		P		PP	P			A			PP	PP			PP									
Dwellings - Multiple, Apartment ⁵																																
Dwellings - One Family ^{6,7}	P	P	P	P	P	P	PP	P		P	PP	PP				A			P	P			P							P		
Emergency Shelter																																
Migrant Agricultural Workers Mobile Home Park	CUP	CUP																														
Mobile Home Parks ¹¹	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	A					CUP		CUP	CUP								
Mobile Home - Single Family ⁶	P	P	P	P	P	P	PP	P		P	PP	PP				A			P	P			P									
Farm Labor Camp ¹²	CUP	CUP																														
Planned Residential Development ¹⁰	P	P	P	P	P	P	P	P		P		PP				A			P	P		CUP										
Transitional and Supportive Housing ⁹																																

Source: Riverside County Planning Department - Ordinance No. 348 (zoning ordinance)

Key: CUP, Conditional Use Permit; P, Permitted; PP, Permitted; PUP, Public Use Permit; SUP, Second Dwelling Unit Permit; A - Allowed

Note: Please refer to Ordinance No. 348 (zoning ordinance) for the respective specific plan for allowable uses and development requirements.

1. The lot is zoned for a one-family dwelling as a permitted use; provided, however, that the lot may not be part of a planned residential development or located in the R-6 zone.

2. A building where lodging and meals are provided for compensation for 6 but not more than 15 persons, not including rest homes.

3. Requirements for establishing these uses and their subcategories are provided in Article XVI of Ordinance 348.

4. One additional mobile home, excluding principal dwelling, for each 10 acres being farmed (occupied by owner, operator, or employee). SUP not required if 10 acres are being farmed.

5. A building or portion thereof used to house two or more families, including domestic employees or each such family, living independently of each other, and doing their own cooking.

6. A building or structure, including a mobile home or manufactured home, containing one kitchen and used to house not more than one family, including domestic employees. Zone A-D only allows one family.

7. Guest dwellings are allowed in all zones which permit single-family residential units provided the standards of Section 21.31 are met.

8. Where a permitted and existing commercial use is established and the unit is a part of the approval.

9. A residential development including, but not limited to, statutory and non-statutory condominiums, cluster housing, townhouses, community apartment projects and mobile home developments, that is permitted reduced lot area, width and depth requirements, and building setback requirements by integrating into the overall development open space and outdoor recreational facilities, which may include recreational and public buildings (tennis, basketball courts, etc.)

10. A mobile home park is any area or tract of land where one or more mobile home lots are rented or leased or held out for rent or lease to accommodate mobile home use for human habitation. The rental paid for any such mobile home shall be deemed to include rental for the lot it occupies. Notwithstanding the foregoing definition, any person, not including a mobile home park operator, who owns a mobile home and owns, rents, or leases the land upon which the mobile home is located, is permitted to rent, lease, sublease, let out, or file out for occupancy the mobile home and the land upon which the mobile home is located, without obtaining a permit to construct or operate a mobile home park.

11. Any building or group of buildings where five or more farm employees are housed.

12. Action 1.5c is included to amend the Zoning Ordinance to allow transitional and supportive housing types as residential uses and will only be subject to those restrictions that apply to other residential uses of the same type in the same zone.

13. If there is any inconsistency between this Table H-46 and the requirements provided for these zones in Ordinance No. 348, the zoning in Ordinance No. 348 shall apply.

Multifamily Units

The County recognizes the importance of multifamily units in meeting affordable housing needs and providing residents with a variety of housing choices. The multifamily units permitted in the County include but are not limited to two-family, multifamily, bungalow courts, and apartment units.

Mobile Homes and Manufactured Homes

For purposes of permit issuance, a mobile home on a foundation system is allowed on all lots zoned to permit single-family dwellings. The installation of manufactured homes, not on foundations, is allowed whenever it is specifically provided for in the various zone classifications, and is subject to the requirements and standards set forth in those zones.

A mobile home permitted in the R-R, R-D, W-2, and W-2-M zones must have the following: a floor living area of at least 450 square feet, a lot size of at least 2,500 square feet with a width of at least 30 feet, and an opaque skirt screening the area between the ground level and the floor level of the unit. Mobile home parks must have a masonry wall 6 feet in height erected along the perimeter of the park. Manufactured homes outside of these zones must comply with the same standards except that they must have a floor living area of at least 750 square feet.

Manufactured homes provide an additional opportunity for affordable housing in the County. Section 65852.7 of the California Government Code requires that the County permit manufactured homes in all residential zones. Riverside County is in full compliance with this section of the Government Code (Table H-49). In all zones where manufactured homes are permitted "by right" or through the issuance of a conditional use permit (CUP), there are standards for unit size, density, minimum size of space, perimeter walls, and automobile storage. However, these requirements are not onerous and are similar to requirements of surrounding cities and counties.

Second Units

Second units also provide opportunities for affordable units. Second units are currently allowed where the lot is zoned for a one-family dwelling as a permitted use (without a discretionary permit), and the lot is at least 7,200 square feet in size, but are not allowed on lots located within a PRD or located within the R-6 zone. Under the Land Use Ordinance, second units may be occupied by any person without rent, but if rented, an annual certification by the property owner is required, certifying that the renter is of low or moderate income as defined by Section 50093 of the Health and Safety Code.

The County has amended Ordinance No. 348 (zoning ordinance) to permit second units on residential lots zoned for single-family or multifamily residential use, subject to issuance of a second unit permit. This provision was made in response to state of California legislation promoting additional housing opportunities for elderly relatives and rental purposes. The ordinance requires property owners to submit an annual certification that the second units are being offered without rent (for relatives, for example) or rents in the low- to moderate-income range based upon HUD statistics. Ordinance No. 348 does not require any excessive restrictions that would be a constraint to the development of second units.

In January 2017, SB 1069 (Chapter 720, Statutes of 2016) and AB 2299 (Chapter 735, Statutes of 2016) made several changes to address barriers to the development of Second Units (Accessory Dwelling Units). The County has revised action 3.5b to ensure they are meeting all State Law requirements.

Congregate Care Facilities

The Land Use Ordinance also addresses special needs groups. It provides for congregate care residential facilities, allowing an opportunity for transitional housing and for independent living units. Specifically, congregate care residential facilities are a housing arrangement where non-medical care and supervision are provided as well as meals and social, recreational, homemaking, and security services. Congregate care residential facilities with six or fewer persons are permitted “by right” in all residential zones. Congregate care residential facilities with seven or more persons are subject to a Public Use Permit (PUP) and/or CUP, depending on the zone and land use designation.

Farm Worker Housing

Farm worker housing is allowed with a CUP in the following zones: Rural Residential (R-R), Rural Residential, Outdoor Advertising (R-R-O), Light Agriculture (A-1), Heavy Agriculture (A-2), and the Citrus Vineyard (C-V) zoning classification. However, to comply with Health and Safety Code Sections 17021.5 and 17021.6, the County has included Action 1.3b, which states: for the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located.

The County of Riverside Economic Development Agency (EDA) sponsored an amendment to Ordinance No. 348 (zoning ordinance) which promotes a fast track status to farm worker housing and other types of special needs and affordable housing. In short, the amendment authorizes projects receiving fast track status to be scheduled for public hearing within 90 days of application submittal. This is a significant cost savings compared to the average time frame of 187 days for the average CUP application and an average cost of \$37,000. For example, CUP No. 3645 is a proposal for farm worker housing for very low- and low-income agricultural workers. The project was submitted to the County of Riverside on May 27, 2010, and was approved, i.e., entitled, by August 2011, for a total of 15 months at a cost of \$33,630.30. While this time frame and cost is above average, the project is not located within an established water district and currently faces significant water conveyance and quality issues that impact the public welfare of the existing community. The project proposes to rectify these infrastructure concerns as they upgrades the existing property have already occurred to alleviate the majority of the water quality concerns. This project is an example of even the most complex of planning- and infrastructure-related concerns being associated with a project that still is able to come to fruition; however, the project has not been developed to date.

Emergency Shelters, and Transitional and Supportive Housing

The California Health and Safety Code (Section 50801) defines an emergency shelter as “housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. No individual or households may be denied emergency shelter because of an inability to pay.” The current Zoning Ordinance does not allow emergency shelters, transitional housing, or permanent supportive housing in any zoning district.

Senate Bill 2 (Cedillo, 2007) requires jurisdictions to allow emergency shelters and transitional housing without a conditional use permit. The County must identify a zone or zones where emergency shelters will be allowed as a permitted use without a conditional use permit or other discretionary permit. The zone or zones identified must have land available to accommodate an emergency shelter.

In addition, the housing element must demonstrate that transitional housing and supportive housing are permitted as a residential use and only subject to those restrictions that apply to other residential dwellings of the same type in the same zone (Government Code Section 65583(a)(5)). In other words, transitional housing and supportive housing are permitted in all zones allowing residential uses and are not subject to any restrictions (e.g., occupancy limit) not imposed on similar dwellings (e.g., single family home, apartments) in the same zone in which the transitional housing and supportive housing is located. For example, transitional housing located in an apartment building in a multifamily zone is permitted in the same manner as an apartment building in the same zone and supportive housing located in a single family home in a single family zone is permitted in the same manner as a single family home in the same zone.

In the current Land Use Ordinance, emergency/transitional shelters with six or fewer beds and County-owned shelters are exempt, and emergency/transitional shelters with more than six beds are classified as a congregate or group facility and implicitly included as such in the zoning ordinance. Shelters or transitional housing with seven or more beds are subject to a CUP or PUP.

Emergency shelters. The County permits emergency shelters by right, without discretionary review, in the Industrial Park (I-P) zone. The I-P zone is appropriate for an emergency shelter because of its close proximity to municipal services, the uses in the zone are compatible (the main use is service commercial, and there are no manufacturing or industrial uses), and there is sufficient land available in the form of vacant lots and vacant warehouses. Currently the County has 181 vacant parcels available for an emergency shelter. These parcels range in size from less than an acre to 295 acres (average parcel size of 12 acres). In addition to available vacant land, the County has 132 sites with available warehouses that would be appropriate for an emergency shelter, ranging in size from 290 square feet to 800,000 square feet (average square footage of 25,000).

The County has objective development and management standards that are designed to encourage and facilitate the development of or conversion to an emergency shelter. Those standards can be found in Ordinance No. 348.

Transitional and Supportive Housing. To comply with SB 2 requirements, the County has included Action 1.5c which states that transitional and supportive housing types will be treated as a residential use and will only be subject to those restrictions that apply to other residential uses of the same type in the same zone. The County will process an amendment to Ordinance No. 348 to do the following: (1) revise the definition of transitional housing and supportive housing to be consistent with Health and Safety Code Sections 50675.14 and 50675.2; and (2) list these as permitted uses within residential zones.

Housing for Persons with Disabilities

Senate Bill 520 (Chesbro, 2001), requires that the housing element analyze potential and actual constraints upon the development, maintenance and improvement of housing for persons with disabilities and demonstrate local efforts to remove governmental constraints that hinder the locality from meeting the need for housing for persons with disabilities (Section 65583(a)(4)). As part of the required constraints program, the element must include programs that remove constraints or provide reasonable accommodations for housing designed for persons with disabilities (Section 65583(c)(3)).

In compliance with SB 520, a complete evaluation of the County's zoning laws, practices, and policies was done as part of the Housing Element update process. No constraints to housing development for persons with disabilities were found at that time. However, Action 3.3a has been incorporated into the Housing Element to mitigate any possible constraints.

- **Reasonable accommodations**—In June 2016 the County amended Ordinance 348 to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.
- **Separation requirements for congregate care facilities**—The County’s ordinance currently states that congregate residential care facilities shall be located in accordance with all applicable developmental and locational guidelines under the General Plan and shall be located in those areas which offer appropriate services for the residents of these facilities, including necessary medical, transportation, shopping, recreational, and nutritional programs.
- **Separation requirements for parolee-probationer homes**—The County requires that there shall be a 2,000-foot separation requirement between parolee-probationer homes.
- **Site planning requirements**—The site planning requirements for group homes and residential care facilities are no different than for other residential uses in the same zone.
- **Definition of family**—The County’s definition of family states: “One or more persons living together as a single housekeeping unit in a single dwelling unit.”

Extremely Low-Income Households

Extremely low-income households typically comprise persons with special housing needs, including but not limited to persons experiencing homelessness or at risk of homelessness, persons with substance abuse problems, and farm workers. Assembly Bill 2634 (Lieber, 2006) requires the quantification and analysis of existing and projected housing needs of extremely low-income households. Housing elements must also identify zoning to encourage and facilitate supportive housing and single-room occupancy units.

Action 3.5b states that the County will process an amendment of its zoning ordinance to explicitly define and allow for single-room occupancy units in the General Commercial (C-1/C-P) zone. In addition, to encourage and facilitate the development of housing affordable to extremely low-income households, Action 1.1i states that the County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis; providing financial assistance (when feasible) or in-kind technical assistance or land writedowns; providing expedited processing; identifying grant and funding opportunities; applying for or supporting applications for funding on an ongoing basis; reviewing and prioritizing local funding at least twice in the planning period; and/or offering additional incentives beyond the density bonus.

The Riverside County Department of Mental Health has taken steps to hire a mental health housing coordinator, whose responsibilities will include the development of design criteria for housing suitable for the homeless mentally disabled (Actions 1.4a, 1.4c, and 1.4d). The development standards for shelters are the same as for other structures in the applicable zoning designation.

Parking Requirements

In Southern California, providing sufficient parking for vehicles is an essential part of good planning. At the same time, parking can constrain the development of housing. For every parking space that is required, there is that much less land available for development. Excessive parking requirements can thus drive the cost of development up and the amount of housing down.

Residential parking standards are not deemed to be a constraint to the development, improvement, and maintenance of housing. The current standards (see Table H-50) are similar to other counties, match current vehicle ownership patterns of residents, and do not have an impact on the cost or supply of housing. In an effort to assist with the development of housing affordable to lower-income households, the County will continue to allow for parking reductions for affordable projects and will review possible parking alternatives to ensure parking requirements are not a constraint to the development of housing (Action 1.2d).

Table H-50 Residential Parking Requirements

Type of Residential Development	Required Parking Spaces	Comments
Single Family:	2 spaces/unit	
Second Units:	2 spaces/unit	May have a carport depending upon compatibility with surrounding uses.
Multifamily:		
Single bedroom or studio	1.25 spaces/unit	In addition, 1 space/employee ¹
Two bedrooms/unit	2.25 spaces/unit	
Three or more bedrooms/unit	2.75 spaces/unit	
Planned Residential Development:		
Single bedroom dwelling unit	1.5 spaces/unit	Senior (parking spaces shall be located no more than 150 feet from the unit they serve)
Two or more bedrooms dwelling unit	2.5 spaces/unit	
Senior	Same as single- and multifamily requirements	
Mobile Home Parks	2 spaces/travel trailer or mobile home	Spaces may be tandem but must provide 1 guest space for every 8 mobile home spaces

Note: Unless otherwise specified, all parking must be within 300 feet of the use served, on the same parcel as the use, or on an adjoining appropriately zoned parcel. If there is any inconsistency between this Table H-47 and the requirements provided for these zones in Ordinance No. 348, the site development standards in Ordinance No. 348 shall apply

1. On-site employee parking (e.g., manager, landscaper)

Source: Riverside County Ordinance No. 348 (zoning ordinance).

The County's Land Use Ordinance assigns parking standards with the intent to promote efficient land use as well as reduce street congestion and traffic hazards and promote vehicular and pedestrian safety. To ensure these goals are reached, the County requires a parking plot plan for dwelling units containing more than two families. In the case of mixed-land uses, the total required number of parking spaces equals the sum of the requirements for the various uses computed separately, unless approved otherwise. The granting of a shared parking provision (allowing uses with different hours of operation to share parking spaces to satisfy parking requirements) would translate into a reduction in acreage required for parking spaces and an associated reduction in land cost. Shared parking could be used as an incentive to the provision of higher density and affordable housing.

A multifamily project that was approved September 28, 2010, on 0.41 acres and proposed eight residential units (19.5 dwelling units/ac) complied with the parking standards as prescribed by the County Ordinance No. 348 (zoning ordinance) as specified for high-density housing development while being able to maximize overall density of nearly 20 dwelling units per acre. With that being said, the County, and as previously stated, is considering the development of an affordable housing ordinance that will more effectively implement the state's density bonus program, as well as facilitate affordable housing development in the County. As part of this ordinance, the County intends to develop parking standards specific designed for projects that meet the income requirements of affordability in the County.

Density Bonus

Beyond local requirements, state law allows a developer to increase the density of a residential development up to 35 percent when the development includes either 11 percent very low-income units, 20 percent low-income units, or 40 percent moderate-income units (Government Code Sections 65915 and SB 1818). Table H-51 shows the density bonus required by state law for providing a given percentage of units affordable to those with very low, low, and moderate incomes.

Table H-51 Density Bonus

Income Level	Percent of Project Made Affordable	Density Bonus	Additional Density Bonus for Every 1% Increase in the Number of Affordable Units above the Initial Amount up to the Maximum	Maximum Density Bonus	Percent of Project Made Affordable to Receive Maximum Bonus
Very Low	5%	20%	2.5%	35%	11%
Low	10%	20%	1.5%	35%	20%
Moderate (Applies to Condominiums and Planned Residential Developments Only)	10%	5%	1.0%	35%	40%

Source: Government Code Section 65915 and SB 1818

As the percentage of affordable units increases, Government Code Section 65915 requires the County to grant increasing concessions or incentives to the developer. These concessions and incentives may include reductions in zoning standards, development standards, design requirements, mixed-use zoning, or the cost of development. To make a project economically feasible, applicants may also request the waiver of development standards which are defined as site or construction conditions. The County of Riverside complies with the density bonus provisions required by state law in residential zones when requested by the project applicant.

Design Standards

Design guidelines were initially developed by the Transportation and Land Management Agency (Planning Department) for the Rubidoux Village Area. Later, design guidelines were created for the Second, Third, and Fifth Supervisorial Districts. With the exception of commercial development, these district guidelines have been supplanted by the Countywide Design Standards and Guidelines.

These guidelines were adopted to advance several specific development goals of the districts, including:

- Ensuring that new homes are constructed in neighborhoods that are interesting and varied in appearance.
- Utilizing building materials and enhanced landscaping to promote a look of quality, both at the time of initial occupancy, as well as in future years.
- Encouraging efficient use of land while creating high-quality communities that will maintain their economic value and long-term desirability as places to live and work.
- Incorporating conveniently located neighborhood parks, trails, and open space.

The Transportation and Land Management Agency has also assisted five communities in the Coachella Valley and three communities in western Riverside County to capture and articulate the communities' vision for themselves and develop guidelines to promote a unique and lasting sense of place for these communities. The communities in the Coachella Valley are Bermuda Dunes, Desert Edge, Mecca, Thermal, and Vista Santa Rosa. The communities or areas in western Riverside County are Citrus Vineyard Policy Area, Lake View Nuevo, and Temescal Valley. Design guidelines are now being developed for the Anza area of western Riverside County.

In general, the guidelines were prepared to address market-rate housing developments. Because the guidelines have not been adopted by ordinance, the applicability of the guidelines to individual developments is currently subject to the discretion of the Board of Supervisors.

Generally, affordable housing approved in the unincorporated County has been multiple-family in nature. With the exception of the Mecca Design Guidelines, none of the other guidelines apply to multiple-family development at this time. The Mecca Design Guidelines for multiple-family homes encourage techniques which reduce perceived size and scale of these larger buildings as well as incorporate features which enliven wall surfaces and facades, preventing monotonous and blank elevations. The cost of these exterior enhancements may be offset by durable, cost-conscious, interior treatments.

Additionally, the Lakeview Nuevo Design Guidelines do provide guidance for the interface between new development and the existing rural areas. The goal is to help accommodate larger projects, like multifamily development, while preserving the rural ambience. Therefore, at present, design guidelines have had little or no effect on affordable housing.

Discussions with the development community have identified only three items which have increased market-rate housing cost. These are:

- Tile roofs
- Masonry walls on interior lot lines
- Decorative masonry walls extending from the lot line fences or walls to the side of the houses, separating the front and back yards, called "return" walls

These discussions have revealed the following information:

1. Market-rate builders virtually always install some type of tile or concrete tile roof, guidelines notwithstanding. So this requirement results in no added cost to market-rate housing, and, as stated above, does not apply to affordable housing.
2. The interior masonry walls do add to the cost of market-rate units. However, these have not been required on affordable housing. The builders in several situations involving market-rate housing have also had the requirement waived upon request.
3. The decorative masonry return walls add cost to market-rate housing, depending on the length of the wall (which should be as little as 5 feet) and the type of gate material used on one side.

To facilitate the goals of the design guidelines, the County has developed a number of policies that may provide financial incentives, bonus densities, fast-tracking, and fee waivers to those developers that include units in their projects that will be sold to low- and moderate-income households.

Building Codes

A variety of building and safety codes, while adopted for purposes of preserving public health and safety, and ensuring the construction of safe and decent housing, have the potential to increase the cost of housing construction or maintenance. However, any increased cost is justified by the corresponding protection of public health and safety.

Through the periodic amendment of Ordinance No. 457 (Building Codes and Fees), Riverside County establishes its local building codes, incorporating international and state standards with minor modifications to fit local conditions. The County's building codes are based on regulations necessary to protect public health, safety, and welfare. The County adopts updates as the code is amended. Residential code enforcement in Riverside County is performed on a complaint basis. Through a review of all applicable building code amendments approved by the County Board of Supervisors during the plan period, none have impacted the development process, cost, timing, or in any way increased the burden or constraint of government controls on the production of housing. The County has made amendments, listed below, to the local code. These amendments have been made to ensure public health and safety and do not pose a constraint to the development of housing.

Building Code Amendments

1. No building permit shall be issued if it violates any state law or county ordinance.
2. Level lots shall have the finished floor elevated a minimum of 1 foot above the adjacent ground.
3. Sloping lots shall have a finished floor elevated a minimum of 1 foot above the finished pad elevation measured at the upstream edge of the structure.
4. Where the lot drains toward the adjacent road or is subject to water impound behind an adjacent road, the finished floor shall be elevated a minimum of 1 foot above the center line of that adjacent road.
5. The submission of a building permit shall be subject to a deposit-based fee.

Americans with Disabilities Act—The County's building code requires that new residential construction comply with the federal Americans with Disabilities Act (ADA). The ADA provisions include requirements for a minimum percentage of units in new developments to be fully accessible to persons with disabilities. Provisions of fully accessible units may also increase the overall project development costs. Unlike the Uniform Building Code, however, enforcement of ADA requirements is administered under federal law.

The ADA Standards for Accessible Design, or the ADA Standards, refer to the requirements necessary to make a building or other facility architecturally (physically) accessible to people with disabilities. The ADA Standards identify what features need to be accessible, set forth the number of those features that need to be made accessible, and then provide the specific measurements, dimensions, and other technical information needed to make the feature accessible.

Compliance with building codes and the ADA may increase the cost of housing production and can also impact the viability of rehabilitation of older properties required to be brought up to current standards. These regulations, however, provide minimum standards that must be complied with to ensure the development of safe and accessible housing.

Site Improvements

Site improvement costs include the cost of providing access to the site, clearing the site, and grading the pad area. In the case of a subdivision, such costs may also include major improvements such as building roads and installing sewer, water, and other utilities. As with land costs, several variables affect costs, including site topography and proximity to established roads, sewers, and water lines. Engineering and other technical assistance costs are usually included with site improvements as these services are required to ensure that development is constructed according to established codes and standards.

The County sets forth varying levels of improvement standards that are dependent upon the lot size and density of a particular development. Typical site improvements for high-density development include half-width street improvements for all frontage streets, built to General Plan standards. A typical local street width is 56 feet with 32 feet of pavement (two lanes). In addition, the appropriate level of right of way landscaping, 8-inch curb and gutter, and sidewalk improvements (either curb or parkway adjacent) are required for property frontage. Water, sewer, and drainage facilities are traditionally not under the direct control of the County. The County of Riverside coordinates with several water and sewer districts that directly administer the construction of water and sewer improvements. These improvements, for a high-density/affordable housing project, typically require both potable and reclaimed water systems. With respect to flood control and drainage facilities, these on-site improvements are under the direct control of either the Riverside County Flood Control and Water Conservation District or the Coachella Valley Water District (CVWD). On-site drainage facilities can range from 24 inches to 72 inches in diameter depending upon site conditions. These and other site improvement costs are typical of unincorporated jurisdictions in California and do not impose a significant constraint on housing development in the unincorporated areas of Riverside County. The County does not impose any unusual requirements as conditions of approval for new development.

Development Fees

Various fees and assessments are charged by the County and other agencies to cover the cost of processing development permits and providing services.

Development fees are passed on to renters and homeowners in the cost of housing, and thus affect housing affordability. Fees associated with the extension and installation of utilities can be particularly significant. Most agencies involved in the County's development review process obtain a majority of their operating revenues through development fees, and this trend is likely to continue in the future. These fees also help ensure quality development and the provision of adequate public services. As such, fee waivers as an incentive to produce affordable housing could adversely affect the General Fund. In the past, the County has used redevelopment housing set-aside funds to help pay application fees and other costs associated with the development review process; however, this method of reducing some of the processing costs associated with affordable housing projects cannot continue to be utilized, since Redevelopment funds are no longer available for any purpose except for continuing legally mandated obligations.

The County also refrains from imposing fees on second units on existing family lots even though they may contribute to the need for public facilities. This policy is based upon second units providing relatively affordable housing for low- and moderate-income households without public subsidy.

Planning, Surveyor and Building Fees

The County has an established fee schedule, effective as of January 1, 2017, based on the permits and requirements of Ordinance No. 348, Ordinance No. 460, and other ordinances and CEQA.

The County acknowledges that fees and the requirements for CUPs are potential constraints to development of housing affordable to farm workers and very low-income households, as are any requirements for expenditures of funds by these persons or households. The fees for the processing of development applications are based on the average cost of these applications, but the fees are deposit-based. If a lower than average number of person-hours is needed to process the application, the applicant is provided with a refund at the end of the process. If a higher than average number of person-hours is required to process the application, additional funds are required from the applicant. The purpose of the deposit-based system is to establish a nexus between the resources used to process the application and the fee charged for its processing on an individualized basis. The only alternative would be for the fees to be subsidized by another entity (such as the Housing Authority or a nonprofit entity such as the Coachella Valley Housing Coalition).

Plot Plan No. 24228 is a proposal for 81 affordable housing apartments within 10 two-story multiple dwelling buildings, one community building, and 217 parking spaces on 14.2 acres, which was approved in 2009. Information has been presented in Table H-52 that demonstrates the comprehensive amount of planning fees that are required for such a project. Plot Plan No. 24228 is being presented as an example of a privately entitled affordable housing project in order to establish an appropriate baseline for calculating the total impact of development fees and exactions placed onto such projects by the County of Riverside. This is important to recognize as publically developed projects do not incur the amount of fees typically required of privately developed projects.

Table H-52 Representative Project Development Fees

Department	Fees	Amount
Building & Safety	BRS & BNR Plan Check & Building Permit Inspection Fees* (*Deposit Based)	\$72,574.42
	NPDES Inspections Fee* *Included in Deposit Based Grading Permit.	\$4,714.13
	Grading Bonds	\$22,500.00
	Geo-tech Soils Report	\$1,897.20
Transportation	Improvement Plan set package* *Including plan check, bonds, and inspection fees for streets, street lights, traffic signals, etc.	\$91,095.12
	Lighting and Landscaping District. Annexation Fees	\$2,500.00
Environmental Health Dept.	Acoustical Study Review Fees	\$500.00
Coachella Valley Water Dist	Plan Review Fees for Water & Sewer	\$3,572.00
	Drainage Plan Submittal Review	<i>Transportation Dept. review</i>
Fire Dept.	Fire's Building Plan Check Fee* (ORD 671) *\$1,056.00/Bldg. Permit Deposit-Based	\$13,728.00
TLMA	Development Impact Fees* (ORD. 659) *\$2,481/Dwelling Unit	\$200,961.00
	Open Space Mitigation Fee (ORD. 875) *\$1,284/Dwelling Unit	\$104,004.00
	Transportation Uniform Mitigation Fee (TUMF) (ORD. 673) *\$1,276.80/Dwelling Unit TUMF Exempt if Determined Low-Income Housing	\$103,420.80

Department	Fees	Amount
Planning Dept., Landscaping Section**	Landscaping Minor Plot Plan Fees* *Deposit Based	\$2,040.00
Total Fees		\$623,706.67

Source: Riverside County Transportation and Land Management Agency.

*Note: The information in this table includes actual fees associated to an approved multi-family development (Plot Plan No. [PP] 24228).

**Note: Currently, the Transportation Department reviews landscaping plans and permits; however, the Planning Department was responsible of this role during the processing of PP24228.

Riverside County's Surveyor's Office charges separate fees for surveying, survey monument field inspection, Ordinance No. 653 (Record of Survey, Recording Fee and Corner Records), and hourly miscellaneous fees. In most cases the land development processing fees are on a deposit-based system, with the actual cost basis determined on an established base fee plus additional costs per number of units, acreage, or other factors. All fees charged per acre are based on the gross acreage of the project site. All fees, with the exception of Fish and Game Fees, and selected miscellaneous fees, are subject to an additional 2.0% Land Management System Fee surcharge.

The Building and Safety Department has divided its fee schedule into three different categories: 1) fixed permit fees, 2) deposit-based fees and 3) commercial and residential mobile home fees. Building and Safety permit fees vary by the specific type of permit. In relation to housing, many of the Building and Safety fixed permit fees relate to miscellaneous permits such as residential electrical permits and wall/fencing permits where fees can range anywhere from \$199.08 (Repeat Garden Wall-Tract) to \$696.76 (Residential Water Tank). Deposits for residential building permits are valuation based and the permits range from items such as single-family attached permits and multifamily permits and also include miscellaneous permits such as hourly inspection permits. Initial deposits for deposit-based fee permits can range anywhere from \$495.52 (Res. Retaining Wall) to \$6,281.67 (Single Family Residential Attached) depending on permit type. Lastly, mobile home permit fees can either be fixed or deposit-based depending on the type of permit. Mobile home (commercial or residential) fixed-fee permits range from \$211.02 (residential -rehabilitate factory built) to \$412.69 (commercial - low profile manufactured building). Mobile home deposit-based fee permits range from residential site preparation permits to commercial site preparation built permits, which range from \$568.43 to \$868.84, respectively. Refer to Riverside County Ordinance 671 for further information.

County Mitigation Fees

In addition to the aforementioned fees, the County assesses various mitigation fees in order to help mitigate development occurring within the County. The most common mitigation fees are: (1) Development Mitigation Fee; (2) Transportation Uniform Mitigation Fee; (3) Western Riverside County Transportation Uniform Mitigation Fee; (4) Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee; (5) Coachella Valley Multiple Species Habitat Conservation Plan Mitigation Ordinance; (6) Traffic Signal Mitigation Fee; (7) Road and Bridge Benefit District Fee; (8) Riverside County Fire Mitigation Fee; and (9) Stephens' Kangaroo Rat Fee.

Development Impact Fee (Ordinance No. 659)— One of the primary purposes of the Development Mitigation Fee is to alleviate the impacts created by new residential development in unincorporated areas of the County for the following three basic types of facilities: public facilities; regional parkland and recreational trails; and habitat conservation and open space. Specific facilities impacted include: communication facilities; hospital facilities; health services; mental health facilities; libraries; regional parks; juvenile detention facilities; public social service facilities; transportation; sheriff and jail facilities; courts; County government facilities; and habitat conservation and open space. The Public Facilities Fee was determined by identifying specific facilities according to the areas served and levying fees for those areas based on the construction costs, revenue sources, and number of persons anticipated

to be served. Overall, the combined Development Mitigation Fees range from \$2,670 to \$3,249 per unit for multi-family construction and \$3,648 to \$4,473 per unit for residential construction depending on location, physical terrain, and level of service currently in the area, etc. Refer to Riverside County Ordinance No. 659 for further information.

Transportation Uniform Mitigation Fee (Ordinance No. 673)—The County established the Transportation Uniform Mitigation Fee (TUMF) program for funding the engineering, purchasing of right-of-way, and constructing of transportation improvements required by the year 2030 in the Coachella Valley. This fee is required of only those land developments in the Coachella Valley. The fee amounts are based on an equation involving the number of average weekday trips generated by a particular development. Trip generation rates are calculated at \$192 per average daily trip for all residential developments. Refer to Riverside County Ordinance No. 673 for further information.

Western Riverside County Transportation Uniform Mitigation Fee (Ordinance No. 824)—Fees collected pursuant to Ordinance No. 824 shall be used to help pay for the construction and acquisition of land associated with enlarging the capacity of the Regional System of Highways and Urban Arterials in Western Riverside County. Such improvements have been identified in the 2009 Nexus Study. The fee is imposed on new developments that treat impacts on traffic and the need for improvements. TUMF fees range from \$8,873 per single-family residential unit to \$6,231 per multifamily residential unit. Refer to Riverside County Ordinance No. 824 for further information.

Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee (Ordinance No. 810)—The Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee was established in order to implement the goals and objectives of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) and to mitigate the impacts caused by new developments in western Riverside County. The fee will supplement the financing of the acquisition of lands supporting species covered by the MSHCP and to pay for new development's share of this cost. The fee commonly referred to as the "Open Space" fee ranges from \$859 per dwelling unit for residential developments with a density greater than 14.1 dwelling units per acre to \$1,651 per dwelling unit for residential developments with a density of less than 8.0 dwelling units per acre. Refer to Riverside County Ordinance No. 810 for further information.

Coachella Valley Multiple Species Habitat Conservation Plan Mitigation Fee (Ordinance No. 875)—The fee was established in order to acquire and conserve lands necessary to implement the MSHCP. The fee shall be paid for each residential unit, development project, or portion thereof to be constructed within the County that is within the boundaries of the Coachella Valley MSHCP. Three categories of the fee are defined for residential development and range from \$230 per dwelling unit for residential developments with a density greater than 14.1 dwelling units per acre and \$1,254 per dwelling unit for residential developments with a density of less than 8.0 dwelling units per acre. Refer to Riverside County Ordinance No. 875 for further information.

Traffic Signal Mitigation Fee (Ordinance No. 748)—The Traffic Signal Mitigation Program Ordinance was established to fund the installation of traffic signals and related road improvements needed to mitigate the cumulative environmental impacts of additional traffic generated by new development projects. The current fee is \$232 per single-family residential unit and \$216 per multifamily unit. For senior/retirement single-family residential the current fee is \$155 per dwelling unit and for senior/retirement multifamily residential the current fee is \$144 per dwelling unit. Refer to Riverside County Ordinance No. 748 for further information.

Road and Bridge Benefit District Fee— The County created a program establishing areas of benefit and for determining RBBDF fees to be collected to finance the construction and project development (preliminary and final design, environmental, right-of-way acquisition and contract administration) costs of major thoroughfares and bridges to serve each designated area. Residential developments within an established area of benefit pay the

residential RBBB fee per dwelling unit. Additionally, commercial developments pay the RBBB fee per acre or per square foot depending on classification. There are currently four Road and Bridge Benefit Districts established for Riverside County: Southwest; Mira Loma; Menifee Valley; and Scott Road. Each District is divided into various zones in which the fee amounts are determined. RBBB fee amounts are adjusted for any TUMF credits that may be eligible for development projects that are included in certain Community Facilities Districts (CFD), which fall within the RBBB boundaries. In addition, development projects that construct RBBB facilities may be eligible to receive RBBB credits/reimbursements. Examples of residential fee amounts include: Menifee Valley RBBB ranging from \$2,918/unit in Zone E4 to \$5,074/unit in Zone E1; Southwest RBBB ranging from \$1,248/unit in Zone C to \$2,197/unit in Zone D; and Scott Road RBBB ranging from \$727/unit in Zone A1 to \$1,047/unit in Zone B1. These fee rates are subject to change. The County no longer collects RBBB fees in the Mira Loma District as the boundaries of this District now fall within the jurisdictions of the City of Eastvale and the City of Jurupa Valley. These cities now collect the RBBB fees in their respective jurisdictions. Refer to Riverside County Ordinance No. 460, Section 10.30 for further information regarding major thoroughfares and bridges fees.

Other Mitigation Fees—In addition to the mitigation fees summarized in the previous sections, other environmental and localized fees may be imposed upon a project. Some of these fees are associated with a particular area or jurisdiction of the County and are not applicable to all projects. These fees are summarized in Table H-53.

Table H-53 Other Mitigation Fees

Fee Name	Conditioning Entity	Fee Amount/Basis	Purpose of Fee
Library Fees	County of Riverside Planning Department	Fee amount based on location	Construction and book purchases for a public library in Temecula.
School District	Each of Riverside County's 23 School districts	Fee amount based on square footage of structures -varies district-to-district	Construction and improvement of school facilities.
Quimby Act/Park Fees	Riverside County Regional Park and Open Space District County Service Area (CSA)	Fees vary by County Service Area (CSA) region and Park District	Purchase or improvement of recreation and park service lands for area residents. Fees can be paid in lieu of the dedication of land for parks.
Development Agreement	Contractual agreement conditioned by Planning Department	Based on contractual agreement between the developer and the County	Fee intended to pay for unfunded portions of public facilities, public services, parks, and habitat costs incurred by new growth.
Air Quality Fee	County of Riverside Planning Department	\$12.00 per lot (residential tract/parcel maps)	Funds staffing for Air Quality Element of County General Plan and implementing ordinances.

Note: Fees in table reflect conditions as of 2006. These fees may have been restructured or revised in the interim. The table is provided to identify potential additional cost sources to development. It is not to be used as a means of calculating development fee costs for a project.

Infrastructure Fees

The County, along with various agencies, charges fees for the provision of drainage, water, and sewer services. The fees are generally established based on regional service areas, and vary according to type and level of service provided by each agency and/or the County. The Riverside County Flood Control and Water Conservation District has established 18 Area Drainage Plans (ADP), with fees ranging from \$131 per acre in the Salt Creek (Winchester/North and South Hemet) ADP to \$21,052 in the Homeland/Romoland (Line A Sub-Watershed) ADP.

There are numerous water and sewer providers in Riverside County, the largest being the Eastern Municipal Water District (EMWD), Western Municipal Water District (WMWD), and Coachella Valley Water District. Each service provider charges different fee amounts for service, usually as a per-unit fee. A complete inventory of fees by

individual agency is simply too large to itemize in this document. As an example, however, EMWD, which serves a large portion of the County's geographic area, charges fees on a sliding scale according to zone for water backup service, a water deposit, a water equity fee, and water meter fees. Sewer services typically entail a sewer equity fee and a sewer connection fee averaging around \$5,224 per unit. Coachella Valley Water District typically assesses \$3,600 (service size of 1") to \$4,940 (service size of 2") for residential connection and meter installation.

Comprehensive Mitigation Fee Review

The County also has an established comprehensive mitigation fee schedule, which was reviewed for appropriateness in September 2001, and will be subsequently revised where applicable. The mitigation fees generally address the added demands of growth in population, housing, and employment on the County's public facilities and infrastructure.

The County of Riverside completed a Comprehensive Mitigation Fee Review study, which was approved by the Board of Supervisors on November 11, 2006. The Comprehensive Mitigation Fee Review study and fee exemptions under Ordinance No. 659, including Table H-47, Other Mitigation Fees, centers only on those fees and exactions that are imposed and collected by the County's Planning Department for new construction in unincorporated areas. The ordinance contains exemptions for the following residential uses: a) reconstruction of a residential unit damaged or destroyed by fire or other natural causes; b) rehabilitation or remodeling of an existing residential building, and additions to an existing residential unit or building; c) the location or installation of a mobile home, without a permanent foundation, on any site; d) residential units in publicly subsidized projects constructed as housing for low-income households as such households are defined pursuant to Section 50079.5 of the Health and Safety Code (except any project or project applicant receiving a tax credit provided by the State of California Franchise Tax Board); e) detached second unit permits; f) construction of a single-family residential unit on a property wherein a mobile home, installed pursuant to an installation permit, was previously located prior to January 22, 1989; and g) construction of a residential unit replacing a residential unit which has been acquired by the Metropolitan Water District of Southern California for purposes of constructing Diamond Valley Lake. In addition, the fees would be reduced by 33.3 percent for senior citizens' residential units.

Ordinance No. 659 establishes development mitigation fees already exempted:

(a) Residential units in publicly subsidized projects constructed as housing for low-income households as such households are defined pursuant to section 50079.5 of the Health and Safety Code (except any project or project applicant receiving a tax credit provided by the State of California Franchise Tax Board); (b) the location or installation of a mobile home, without a permanent foundation, on any site; and (c) construction of any residential units in the Palo Verde Valley. It should be noted that mobile home parks and recreational vehicle parks are the only major types of residential use that requires a CUP; apartment projects are processed through a less costly plot plan review process and subdivisions are processed through the tract map process. Except for the amount of the fee and the review body, the plot plan review process is similar to the CUP review process in that CEQA review occurs and conditions are imposed that must be fulfilled before the project can be built or occupied.

Table H-54 summarizes the total fees (described above) imposed on residential development by the County. An analysis of developer impact fees charged under Ordinance No. 659, when applied to the County's 19 area plans, indicates that developer impact fees average about \$100 more in the western County area plans than the eastern County area plans. This is due in part to the different population densities of the two regions but also reflective of the Countywide effects of Proposition 13 that limited property taxes to 1 percent, resulting in an increase of infrastructure costs borne by the developer.

Chapter 8 Housing Element

An update to the development mitigation fees was adopted by the Board of Supervisors on January 13, 2015, which went into effect March 14, 2015.

Table H-54 Developer Impact Fee Summary by Area Plan

Developer Impact Fee by Area Plans Commencing 11-13-15	Single-Family Residential (\$ per dwelling unit)	Multifamily Residential (\$ per dwelling unit)
Eastern County		
Western Coachella Valley	\$3,669	\$2,704
Desert Center	\$3,648	\$2,670
Palo Verde Valley	\$3,705	\$2,710
Eastern Coachella Valley	\$4,385	\$3,187
Western County		
Jurupa	\$3,669	\$2,685
Highgrove	\$4,320	\$3,142
Reche Canyon/Badlands	\$4,234	\$3,081
Eastvale	\$3,669	\$2,685
Temescal Canyon	\$4,281	\$3,115
Lake Mathews / Woodcrest	\$4,473	\$3,249
March Air-Force Base*	\$3,669	\$2,685
San Jacinto Valley	\$4,059	\$2,957
Riverside Extended Mountain (REMAP)	\$3,851	\$2,813
Lakeview / Nuevo	\$3,698	\$2,705
Mead Valley	\$4,159	\$3,029
Elsinore	\$3,832	\$2,799
Harvest Valley / Winchester	\$3,669	\$2,685
Sun City / Menifee Valley	\$3,669	\$2,685
Southwest (SWAP)	\$3,669	\$2,685
The Pass	\$3,985	\$2,907

Source: Ordinance No. 659.13 (Establishing a Development Impact Fee Program) – an Ordinance of the County of Riverside amending Ordinance No. 659 – effective March 14, 2015

*This area is governed by the March JPA General Plan Land Use Plan, not a County of Riverside Area Plan, although its boundaries are clearly defined.

Local Processing and Permit Procedures

A lengthy development review process can add to the cost of an affordable housing project through increased loan carrying charges, potentially increasing the cost per unit and correspondingly reducing profit margins and the incentive to develop affordable housing. Builders and developers frequently cite the cost of holding land during the evaluation and review process as a significant factor to the cost of housing. Holding costs associated with delays in processing have been estimated to add between 1.1 percent and 1.8 percent to the cost of a dwelling unit for each month of delay. Historically, the length of time it has taken to process housing and other types of projects in the County has varied according to the number of projects submitted and the amount of staff available to administer the processing tasks, as well as the complexity of the project.

Approval for an individual single-family home can usually be processed within months of submittal to the County; however, timing may vary depending on the complexity of the review. Developments requiring CUPs, General Plan Amendments, specific plans, planned development approvals, and other discretionary actions require more in-depth review, resulting in a longer processing timeline, particularly if environmental impact reports are required. Table H-55 lists the average processing times for various procedures from application to Board of Supervisors consideration of a project and approval.

Table H-55 Local Development Processing Timelines

Item	Approximate Length of Time From Submittal to First Public Hearing
Conditional Use Permit	9-12 months
Plot Plan	9-12 months
Specific Plan	12-15 months
Tentative Tract Map	9-12 months
Parcel Maps	6 months
Variance	6 months
Zone Change	9-12 months
General Plan Amendment	9-15 months
Environmental Documentation (EIR)	12-15 months

Source: Riverside County Planning Department, April 2017

The minimum time frame from submittal to first hearing for any case with an environmental assessment is two months. Review times differ depending on the case type and the complexity of the case. Tract maps and changes of zone may run anywhere from six to eight months, where General Plan amendments and specific plans with an environmental impact report may run one to two years, respectively. These estimated time frames would be achieved if there are no issues associated with the case and no submittal or review of additional information. The estimated time frames do not take into consideration those permits that may subsequently be required from other departments, such as Building and Safety, which may take additional time.

A single-family residential unit with the correct zoning and General Plan designation does not require a six- to nine-month process for development. A single-family residential unit only requires a building permit application to be reviewed and issued by the Department of Building and Safety; this process takes about two to three weeks at the maximum. However, as described previously in our responses, the County’s Fast Track review will apply to both building permit applications as well as discretionary (CEQA level) projects that qualify as affordable housing projects. For entitlement projects, the applications will be scheduled for public hearing within 90 days from the date of application. For building permit applications, the permits should be issued within two to three weeks from the original application date. With respect to the permit conditions, findings, and conclusions associated with such entitlement applications, these conditions typically do not exceed the requirements of building code, transportation improvements, and requirements to protect the public health and safety.

SB 375 Sustainable Community Plan

In 2008, the California legislature passed and the governor signed SB 375, which mandates creation of a strategy that guides development toward transportation infrastructure improvements so as to reduce vehicle miles traveled and, thereby, reduce the amount of greenhouse gases released into the atmosphere. The strategy is based upon the projected successful attainment of greenhouse gas reduction targets established by the California Air Resources Board for the six-county SCAG region. The bill also extends the RHNA’s five-year cycle to an eight-year cycle once

a strategy is adopted and if the Housing Element continues to be certified in a timely fashion. Since the SB 375 process will establish regional greenhouse gas emissions reduction targets in concert with the Regional Transportation Plan, it is conceivable that development patterns could shift to meet the regional targets, with the possible consequence that development in Riverside County might be reduced. While it is too early in the implementation process of SB 375 to accurately predict outcomes from the legislation, its implementation could become a constraint on the creation of affordable housing in Riverside County.

Non-Governmental Constraints

Environmental Constraints

The physical environment places numerous constraints on various types of development including housing. Development activities both impact the environment and are impacted by the environment. For example, a housing development may destroy habitat or increase water runoff on neighboring property. Conversely, a housing development built on or adjacent to a fault line may suffer damage in an earthquake. Large portions of the County have one or more environmental constraints including flood-prone areas, areas of potential seismic hazard, areas of excessive slope, conservation areas, Native American, historic, and/or archaeological resources, areas with inappropriate conditions for septic tanks, and other environmental issues. These problems may reduce the density allowed or bring into play mitigation measures, tribal consultations, or other necessary requirements. While mitigation measures and other requirements may add to the initial cost of the project, they often reduce the overall cost of the project to the local community. The County Planning Department has developed an environmental database with an extensive mapping system as part of the General Plan to facilitate a timely identification of environmental hazards and resources.

CEQA is the foundation of environmental law and policy in the state. CEQA performs a number of functions: 1) it informs the decision-makers and the public of significant environmental effects of a proposed project; 2) it identifies ways to reduce or avoid damage to the environment; 3) it prevents or reduces environmental damage through the use of feasible alternatives or mitigation measures; 4) it provides to the public an agency's reasons for approving a project having significant environmental effects; and 5) it brings affected agencies and the public into the review and planning process at an early stage.

The environmental review process provides useful information to the jurisdiction about impacts on local environments and needed mitigation measures, as well as useful construction and market information for builders, buyers, lenders, and others.

The environmental review process facilitates housing by:

- Directing housing development away from environmental hazards and resources and ensuring a reasonable level of public safety from environmental hazards through avoidance or mitigation.
- Ensuring that adequate public facilities such as sewer, water, and roads will be available.
- Ensuring that adequate public services such as schools, fire protection, police, and health services will be available.

The environmental review process adds to housing development costs in the following ways (not all projects require all these costs):

- Environmental assessment fees (with initial case submittal).
- Environmental impact report review fees.
- Consultant costs for preparing preliminary studies.
- Consultant costs for preparing environmental impact report or other technical studies, if required.
- Increasing permit processing time, thereby increasing the total interest costs on borrowed money, property taxes, and other holding costs.
- Costs of mitigation of potential environmental impacts.

Overall, the benefits of thoughtful environmental regulation to the public outweigh its costs.

Infrastructure Constraints

The expansion of supporting infrastructure systems is a critical component contributing to the cost of construction and subsequent prices to the owner or renter. Development places demands on all public services. It is the County's policy that infrastructure for roads, water, sewer, and drainage should be in place before urban development occurs. Required levels of improvement vary based on the location and intensity of development. One method for controlling the pace of growth is incremental, logical extension of the backbone system necessary to support urban development. If the capacity is not available, private developers will be required to construct the backbone facilities or incremental improvements to the existing system to serve large developments. In many cases, some form of County financing may be required to assist in the financing of large front-end capital improvement projects.

The network of man-made and public-owned facilities, such as roads, water, drainage, and sewage facilities, create the internal framework of communities in Riverside County. The timing and pattern of the improvement and/or extension of these facilities impacts the distribution and density of land uses. Some infrastructure improvements, most notably roadways, water, and sewer systems, play a major role in the determination of the location, intensity, and timing of future development. The General Plan Land Use Element requires that capital facilities be made available to future housing sites. The implementation program of the Housing Element must identify adequate sites that will be made available through appropriate land use designation and zoning/development standards. The sites need to have adequate supporting public services and facilities to promote and encourage the development of a variety of housing for all income levels. The location of major circulation systems, sewer facilities, water trunk lines and pumping stations, etc. in the County can also impact communities and cities both within and adjacent to the County by encouraging or impeding the direction of growth.

The infrastructure required in Riverside County varies widely from region to region. Development in the majority of the western portion of the County and the Coachella Valley is typical of suburban Southern California. Infrastructure requirements in more rural areas of the County, typically on properties with lots over 5 acres, are more flexible. However, large tracts and developments in rural areas are generally required to have urban levels of service.

Supporting infrastructure for farm worker housing presents a special challenge for the County. Manufactured homes provide some of the most affordable housing options for farm workers, but wastewater disposal is often a problem due to the lack of access to sewage trunk lines and treatment facilities. Many of these developments rely on septic systems, which can cause health risks. Wastewater “package plants” may be an option in some instances. The County has a variety of programs that could be of assistance in providing adequate wastewater treatment (see Eight-Year Action Plan, Chapter 6).

The majority of improvements in the County’s infrastructure backbone systems have been occurring within and adjacent to cities in response to growth pressures. Connections to infrastructure systems are most effectively expanded within and adjacent to existing urbanized areas, usually within the spheres of influence of cities. Areas under the County’s jurisdiction that are within a municipal sphere of influence have generally been analyzed as part of their general plans, specific plans, or master plans for infrastructure. Development under a specific plan typically requires plans for infrastructure to be prepared and methods of financing for both on- and off-site improvements identified and incorporated into the conditions of approval. In some instances, unincorporated communities and/or unincorporated areas may be contained within a service area, most often sewer services, operated by a city.

In primarily developed areas, upgrading of such systems is sometimes necessary to accommodate new development or as a redevelopment/infill improvement. New development in the currently undeveloped areas within the “urban” land use designations will entail the provision of, at a minimum, the following infrastructure: major and local streets; curbs, gutters, and sidewalks (if development standards require); water and sewer lines; storm drainage; and street lighting. Such improvements may constitute up to 10 percent or more of the building permit valuation. In many cases, these improvements may be dedicated to the County, which is then responsible for their maintenance. The cost of such facilities is usually borne by developers, and is typically added to the cost of the new housing units and eventually passed on to the homebuyer, tenant, or property owner. If these improvements are maintained by a homeowner’s association, the cost of such maintenance is typically assessed to the homeowner on a monthly basis. While these costs do not render a project infeasible, they contribute to the range of factors which affect the affordability of a project.

The County only identified available parcels in the site inventory that are currently located within an established water district that provides wholesale potable water and acts as the lead agency in the development of infrastructure in the County. In Table H-56, the County has summarized the capacity of each water district providing services to the unincorporated County compared to the proposed number of units after the rezone and redesignation of each area plan to meet the County’s RHNA. Table H-57 breaks out each area plan and shows the water and minor water district provider for that area. While full capacity is difficult to quantify, the County believes that based on current development trends, coupled with its plans for the need of future water and wastewater capacity that will occur as development increases, there is sufficient water and wastewater capacity to meet the current RHNA. It is also safe to assume that affordable housing projects are typically built where public services are available, thus also being located in areas where water and sewer capacity is readily available. For more rural sites, it is assumed that as development occurs, availability of capacity will increase. To ensure water and sewer are not a constraint to development, the County has included Action 1.2h to work closely with the developer and the service provider to facilitate adequate infrastructure to support the development.

Table H-56 Water and Sewer Providers, 2013

Water/Sewer Provider	Proposed Area Plan Units	Water Connections Available	Sewer Connections Available
Rancho California Water District		29,600	13,500
Lee Lake Water District		1,700	1,700
Coachella Valley Water District	31,862	81,800	8,100

Water/Sewer Provider	Proposed Area Plan Units	Water Connections Available	Sewer Connections Available
Mission Springs Water District		7,800	3,300
Western Municipal Water District	3,915	17,100	3,300
Desert Water Agency	3,641	16,800	300
Yucaipa Valley Water District		10,000	15,100
Elsinore Valley Water District		27,200	31,200
Rubidoux Community Services District		6,000	5,600
Beaumont Cherry Valley Water District		6,600	Septic
Pine Cove Water District		1,000	Septic
Lake Hemet Municipal Water District		1,300	--
Eastern Municipal Water District	20,331	135,000	230,000
Palo Verde Irrigation District		1	n/a
San Gorgonio Pass Water Agency ²	4,170	124	Septic--

Source: Riverside County 2016

1. Water is currently only provided for agriculture uses, but as development occurs, this could be a viable source for residential projects. This has occurred within other water districts.

2. As homes are built more connections will be available.

Table H-57 Water and Sewer Providers by Area Plan

Area Plan	Water Provider	Minor Water District Provider	Total All Units
Eastern Coachella Valley			23,629
Mecca Town Center	CVWD	Mecca Sanitary District	13,388
North Shore Town Center	CVWD		2,227
Oasis Town Center	CVWD		4,649
Thermal Town Center	CVWD	Thermal Sanitary District	3,365
Elsinore			1,407
Lee Lake Community	WMWD	Elsinore Valley Municipal Water District	1,200
Meadowbrook Town Center	WMWD	Elsinore Valley Municipal Water District	207
Harvest Valley/Winchester			4,684
Winchester Community (West)	EMWD		1,606
Winchester Town Center	EMWD		3,078
Highgrove			2,508
Highgrove Town Center	WMWD	City of Riverside Water District	2,508
Lakeview/Nuevo			11,324
Lakeview Town Center	EMWD		9,435
Nuevo Community (Western Area)	EMWD		1,889
Mead Valley			3,891
Good Hope Community	EMWD		782
Mead Valley Town Center	EMWD		495

Area Plan	Water Provider	Minor Water District Provider	Total All Units
Mead Valley Community (I-215/Nuevo Rd Vicinity)	EMWD		2,614
Southwest			432
French Valley Airport Vicinity	EMWD		432
Temescal Canyon			0
Home Gardens Town Center	WMWD	Home Gardens Sanitary District	0
		Home Garden County Water District	
The Pass			4,170
Cabazon Town Center	SGPWA	Cabazon County Water District	4,170
Western Coachella Valley			11,873
Desert Edge/Southeast Desert Hot Springs Community	CVWD		267
	DWA		
I-10/Haugen Lehmann Ave Community	DWA	Mission Springs Water District	201
North Palm Springs Community	DWA	Mission Springs Water District	2,815
Rushmore/Kimdale Community	DWA	Mission Springs Water District	624
Thousand Palms Community (I-10/Cook St. Vicinity)	CVWD		1,015
Thousand Palms Town Center	CVWD		6,951
Total			63,918

Source: Riverside County 2016

Water and Sewer

The operation of community water and wastewater distribution, collection, and treatment systems is typically undertaken by public agencies. Public water and wastewater services are carried out by a combination of:

- Regional agencies which serve several communities and cities.
- City-operated collection and treatment facilities serving the area within the city and sometimes adjacent cities and unincorporated areas.
- Special districts serving unincorporated communities.

There are a number of water and wastewater facilities located throughout the County, allowing most of the urban areas to be served by sewers. Exceptions occur in the more rural desert and mountain areas. As demands for sewer service increase, providing an adequate level of wastewater treatment will become more costly. New state water quality requirements and wastewater treatment limitations may have impacts on development potential and costs. In order to coordinate land use planning with wastewater facilities, many agencies at state, regional, and local levels must successfully interact and exchange information. Interagency coordination may become complicated due to the variety of state, regional, and local agencies and independent districts involved.

The County's ability to absorb growth in the more urbanized areas has been facilitated by the ability of wastewater agencies to respond to demands for service. In the more rural County areas designated as Agricultural, Rural Residential, Rural Mountainous, or Rural Desert, as well as some areas designated for Very Low Density Residential,

or Low Density Residential, public collection and treatment of wastewater may not be available, and other methods such as septic system, package wastewater treatments plants, or alternative systems may be required. The County generally does not require an individual unit which is proposed to be located more than 200 feet from an existing sewer line to connect to the existing system; rather, it is permitted to use a septic system. Residential tracts, however, are generally required to be hooked up to a sewer system unless the costs of system extension are prohibitive to development. In some areas of the County, industrial, commercial, and agricultural wastewater may be incompatible with the treatment of domestic wastewater and may require separate collection and treatment, which compounds service needs. The following sections summarize the service providers in various subareas of the County.

Northwestern Riverside County—The Northwestern Riverside County Analysis Area includes the Cities of Corona, Eastvale, Jurupa Valley, Norco, Moreno Valley, and Perris. Significant unincorporated areas include Mead Valley and El Cerrito. The Cities of Eastvale and Jurupa Valley incorporated in 2010 and 2011, respectively.

The principal water and sewer agencies in northwestern Riverside County are EMWD, WMWD, Home Gardens Sanitary District, and West San Bernardino County Water District. In addition, the Rubidoux Community Service District (CSD), Edgemont CSD, and Jurupa CSD provide water and sewer services. Both EMWD and WMWD are municipal water districts, and comply with the California Water Conservation Council and best management practices. Within this area, WMWD provides only water services and does not operate a sewer treatment plant or sewer collection facilities. Stormwater runoff and drainage services are also handled by these districts/agencies within their respective service areas.

Water and sewer usage factors vary widely between the different agencies, because of variations in household size and landscaping patterns within the various districts. Each of the water and sewer districts and CSDs have the current capacity to meet demand, and adequate expansion capacity to meet projected demand. Both the Rubidoux and Edgemont CSDs have already sized their current facilities to meet future development needs. It is reported that current facilities and/or infrastructure are in good operating condition.

Southwestern Riverside County—The Southwestern Riverside County Analysis Area encompasses the Cities of Lake Elsinore, Murrieta, Temecula, and Wildomar. Significant unincorporated areas include Temescal Canyon, El Cerrito, and French Valley. Wildomar incorporated on July 1, 2008.

Primary water and sewer providers include EMWD, WMWD, Rancho California Water District, Elsinore Valley Municipal Water District, and Lee Lake Water District. Both EMWD and WMWD comply with the California Water Conservation Council and best management practices. Within this area, WMWD provides only water services and does not operate a sewer treatment plant or sewer collection facilities. According to all service districts, they have adequate capacity to meet current demand and adequate expansion capacity to meet projected development. The current facilities and/or infrastructure are reported to be in good operating condition.

Central Riverside County—The Central Riverside County Analysis Area covers the western portion of the County from the Lakeview/Nuevo communities on the west and southwest to the Cities of San Jacinto and Hemet on the north and east. Significant unincorporated areas include Winchester and Lakeview/Nuevo. Sun City/Menifee incorporated on October 1, 2008, as the City of Menifee.

Water and sewer providers include EMWD and Lake Hemet MWD, both of which are organized as municipal water districts. Both districts provide full water distribution and storage facilities. The Lake Hemet MWD has a tiered water rate system in which costs increase for those customers using more water. The Lake Hemet MWD collects sewage but does not have sewage treatment capabilities. The service districts stated that they have adequate current capacity to meet demand and adequate expansion capacity to meet projected development. The current facilities and/or infrastructure are reported to be in good operating condition.

San Gorgonio Pass Area—The San Gorgonio Pass Area encompasses the Cities of Banning, Beaumont, and Calimesa, as well as the unincorporated areas of Cherry Valley and Cabazon. Water service is provided by four districts: Beaumont-Cherry Valley Water District; San Gorgonio Pass Water Agency; High Valley Water District; and the Cabazon County Water District. The Beaumont-Cherry Valley Water District is organized as an irrigation district, and serves a limited number of customers within a 10-square-mile area. The San Gorgonio Pass Water Agency provides water for groundwater recharge, as well as supplemental domestic water supplies to the City of Banning, Beaumont-Cherry Valley Water District, and Yucaipa Valley Water District. The agency was created to be the direct contractor to provide State Water Project water to customers as a wholesale agency. Sewage services are not currently available within the unincorporated portions of the Pass Area; septic systems are therefore the primary sewage treatment systems used. Each district or agency also handles their service area's stormwater runoff and drainage needs.

Each of the water agencies serving the Pass Area currently has, or is projected to have, adequate capacity to meet current and future demand (distribution and storage facilities are proposed but not yet constructed for the San Gorgonio Pass Water Agency). The High Valley Water District reports that its infrastructure is currently being upgraded. The Cabazon Water District recently incorporated with another water agency with facilities that are less than adequate, and will require upgrading and improvement in the future.

Mountains Area—The Mountains Area generally covers the Santa Rosa Mountains and Anza-Borrego desert areas, located between the Coachella Valley on the east, and the San Jacinto Valley and Temecula Valley to the west. No incorporated cities are located within this area. The significant unincorporated communities are Idyllwild, Pine Cove, Anza, Aguanga, and Pinyon Pines.

The principal water agencies in this area are: the Fern Valley Water District; Idyllwild Water District; Pine Cove Water District; and Pinyon Pines County Water District. No sewer agencies exist in the Mountains Area. As such, sewer services are provided through septic systems. The Fern Valley Water District operates as a California water district which is authorized to produce, store, transmit, and distribute water for irrigation and domestic uses. Additionally, the Fern Valley Water District may acquire or operate any drainage or reclamation works related to the operation of authorized water services. The other three districts are organized as County water districts and provide for the furnishing of sufficient water, including storage, and for the disposal of stormwater.

Coachella Valley—The Coachella Valley encompasses the desert region bounded by the Santa Rosa Mountains to the west and south, and the San Bernardino County line on the north. Included in this area are the Cities of Cathedral City, Coachella, Desert Hot Springs, Indian Wells, Indio, La Quinta, Palm Desert, Palm Springs, and Rancho Mirage. Unincorporated communities include Bermuda Dunes, Garnet, Mecca, Thermal, and Thousand Palms.

The principal water and sewer agencies serving the Coachella Valley are the Coachella Valley Water District (CVWD), Valley Sanitary District, and the Desert Water Agency. In addition, a number of small agencies with fewer than 200 water connections serve portions of the Coachella Valley. The CVWD and Mission Springs Water District operate as County water districts with authority granted under the California Water Code, and provide both water and sewer services. The Valley Sanitary District provides wastewater collection and treatment to areas in and around Indio. The Desert Water Agency provides full water service and sewer collection service (no treatment facilities) primarily to the Palm Springs area.

All of the water and sewer districts serving the Coachella Valley report that they have the current capacity to meet demand, as well as adequate expansion capacity to meet projected demand. Current facilities and/or infrastructure were reported to be in good operating condition.

Eastern Desert and the Palo Verde Valley—The Eastern Desert and the Palo Verde Valley areas encompass lands east of the Coachella Valley. The only city in this area is Blythe. The City of Blythe provides domestic water and wastewater collection and treatment services for the City and surrounding unincorporated areas. The City is considering taking over several County service areas located in the unincorporated areas of Ripley and Mesa Verde Colonias to provide water and sewer services.

The City of Blythe's facilities are currently adequate to meet current demand. The City currently operates one secondary wastewater treatment plant. Domestic water is obtained by wells. At present a number of conflicts exist between the use of on-site wells and individual septic systems. For additional development to occur within unincorporated areas, a more centralized water and/or wastewater collection system will need to be employed and additional facilities constructed. The City of Blythe is in the process of analyzing the needs and projecting potential demand.

Adequacy of Current Facilities—With the majority of growth projected to occur in western Riverside County and the Coachella Valley region, strong increased demands will be placed on the water and sewer infrastructure of these areas. These areas are able to meet current demands and are prepared to expand to meet future needs. There are, however, three areas where infrastructure improvements may be required. While water demands are currently being met, the Eastern Desert and Palo Verde Valley areas are in need of more centralized facilities for additional development to occur. Sewer infrastructure here is also less developed. The San Geronio Pass Area and the Mountains Area currently rely solely on septic tanks and the Eastern Desert and Palo Verde Valley areas are, again, in need of a centralized collection facility. The San Geronio Pass Area and the Mountains Area are projected to experience low to moderate rates of growth, and will need to develop adequate sewer infrastructure to meet projected demand. These infrastructure conditions may pose a constraint to housing development. The Eight-Year Action Plan (Chapter 6) includes policies and actions intended to address infrastructure deficiencies and prioritize capital improvements.

Standard Septic Permit Process and Procedures for Septic Systems

A standard single-family residential home that requires sub-surface wastewater disposal is required to conform to the following process.

An Onsite Wastewater Treatment System (OWTS) report is required for design of an OWTS for all single-lot developments (except for specified areas in the Coachella Valley).

The OWTS reports for single lots will only be accepted by the Department of Environmental Health if they are prepared by certain professionals. Only the grading engineer, who has expertise in designing on-site wastewater systems or the professional who performed the actual percolation test, can prepare the OWTS report and must have one of the following valid registrations:

- Registered Civil Engineer
- Registered Engineering Geologist
- Registered Environmental Health Specialist

The report must include the necessary property and technical information as specified on pages 13-17 of the OWTS Technical Guide Manual. A Plot Plan, with the OWTS report as specified above, shall be submitted to the Department of Environmental Health with a deposit-based fee of \$89.00 per parcel. A deposit-based fee of \$600 per parcel is required if inspection of the system is also deemed necessary.

The average time frame for Plot Plan review and decision is two to three weeks.

Drainage

The Riverside County Flood Control and Water Conservation District has established 17 area drainage plans (ADP) to collect fees as a condition of subdivision to finance flood control and drainage facilities as authorized by Ordinance No. 460. ADP fees are levied on a per acre basis, and are paid when a grading permit is issued, or a building permit if no grading permit is necessary. In addition, some of the agencies providing water and sewer system services listed above also provide for drainage systems. In more rural areas, drainage is primarily provided by surface systems, and connection to improve systems is not warranted.

Circulation

Current transportation conditions are directly related to a combination of economic events and social changes that have occurred over the past two decades. Residential and industrial land in Los Angeles, Orange, and San Diego Counties are nearing saturation. As a result, development has spread outward to Riverside County as it is the next region with undeveloped acreage. The County is growing from a collection of small cities and unincorporated communities with a largely agrarian base to an area with multiple centers of economic activity and a large tourism base. The rapid growth in employment and population has increased the number of trips on the freeway and arterial highway systems. This intense travel demand has reduced level of service on significant portions of the system. In particular, severe congestion and low travel speeds during peak travel hours are experienced in the rapidly developing Western Riverside County and portions of the Coachella Valley.

One of the most visible effects of rapid growth has been in the circulation system. The ability to move on streets and highways is projected by regional planning agencies and the California Department of Transportation (Caltrans) to become substantially worse as more traffic is generated and the ability to finance improvements is uncertain. While additional facilities are needed, the majority of funding for roads and highways is now being spent on maintenance. As a result, developers are often required to install the needed roadway system upgrades to accommodate development and growth, which significantly adds to the costs of the project and is subsequently passed on to the homeowner, renter, or property owner. The TUMF program and the extension of the Measure A half-cent transportation sales tax are expected to significantly increase investment in the circulation system.

Land Costs

Land costs are one of the major components of housing development costs. Land prices vary to such an extent that it is difficult to give average prices within small geographic regions. Factors affecting the costs of land include overall availability within a given sub-region; environmental site conditions and constraints; public service and infrastructure availability; aesthetic considerations such as views, terrain, and vegetation; the proximity to urban areas; and parcel size. Generally, more remote areas have less expensive land available and larger tracts of land. Smaller and more expensive parcels are located closer to urbanized areas.

Land costs in the unincorporated County are typically reflective of their location within the western or eastern part of the County, and similar to jurisdictions within those areas, the following average land costs (price per acre) were identified: Mecca: \$52,300; Highgrove: \$23,500; and Thermal: \$33,500 (Landwatch.com 2017).

Rising costs of land are often related to the limited availability of buildable land. In Riverside County, which has the largest expanses of buildable land, this has not historically been considered a problem. In fact, much of the recent development pressure in the County has been attributed to lower land costs relative to surrounding Orange, Los Angeles, and San Diego Counties land prices. While land prices increased rapidly during the last planning period through 2005, current land prices have declined during the economic recession that affected housing and building nationwide. Land costs in the next several years may actually help keep the cost of some new housing affordable.

While rising land costs tend to directly increase housing costs, declining land costs should give developers more options in serving the affordable housing market segment, recognizing that some land currently held by developers was purchased at substantially higher prices than may be the case now.

Construction Costs

The cost of construction depends primarily on the cost of materials and labor, which are influenced by market demand. The cost of construction will also depend on the type of unit being built and the quality of product being produced. Labor-saving materials and construction techniques are available but tend to reduce the quality of the finished product. The cost of labor is based on numerous factors, including housing demand, the number of contractors in the area, and the unionization of workers. The typical construction costs for wood frame, single-family construction of average to good quality ranges from \$120 to \$140 per square foot, while custom homes and units with extra amenities may run higher. Costs for wood frame, multifamily construction average about \$50 per square foot excluding parking. Using current pricing sources, the average cost for a newly constructed 1,500-square-foot single-family home (not including land) in the Riverside County region would be \$178,000 (Building-cost.net 2017).

The construction cost of housing affects the affordability of new housing and may be considered a constraint to affordable housing in the Riverside area. A reduction in construction costs can be brought about in several ways. A reduction in amenities and quality of building materials in new homes (still above the minimum acceptability for health, safety, and adequate performance) may result in lower sales prices. State housing law provides that local building departments can authorize the use of materials and construction methods if the proposed design is found to be satisfactory and the materials or methods are at least equivalent to that prescribed by the applicable building codes. The County of Riverside has adopted the latest version of the Uniform Building, Plumbing, Mechanical and Electrical Codes and has made no modifications to the code which would add to the cost of housing.

In addition, prefabricated, factory-built housing may provide lower-priced products by reducing labor and material costs. As the number of units built at once increases, savings in construction costs over the entire development are generally realized as a result of an economy of scale, particularly when combined with density bonus provisions. The County may also implement programs to write down land costs or provide other incentives such as waivers in development standards or processing fees in order to increase affordability.

Cost and Availability of Financing

The availability of financing affects the developer's ability to fund residential construction projects, as well as people's ability to purchase, refinance, or improve a home. Although many of these potential constraints are driven by market conditions, jurisdictions have some leverage in instituting policies and programs that address these constraints.

Construction Financing

Construction financing affects the feasibility of building new housing. The past few years have seen a restructuring of the construction financing industry in response to the housing market downturn. During the housing boom of the late 1980s, it was not uncommon for developers to receive construction loans for 100 percent or more of a project's estimated future value. Following the housing market downturn of the early 1990s, however, financial institutions tightened regulations for construction loans, requiring developers to put up 25 percent of the project value.

This cycle repeated itself with the housing market boom of the early 2000s. Relaxed lending rules allowed developers to secure a loan with only a 10 percent equity contribution (Apartment Finance Today 2009). With the downturn, however, expected housing prices significantly declined and apartment rents were also showing a decline. Loan underwriting grew more conservative, with maximum leveraging topping out at 75 percent. Equity requirements also changed dramatically, rising to 15 to 30 percent in 2009.

Although there is no hard threshold for the amount of required equity which is too much before a project would be deemed infeasible to a developer, the higher the proportion of equity required, the more unlikely that a developer would proceed with the project. Not only would it require more upfront cash, but a higher equity contribution means a project must be able to achieve an even higher value at completion in order to generate the net cash flow necessary to meet the minimum acceptable cash-on-cash return threshold. These types of trends underscore the condition of the housing market in Southern California today.

Affordable Housing Financing

The economic downturn also impacted financing for affordable housing. One example is the Low Income Housing Tax Credit (LIHTC) program, which is an affordable housing source available for developers wishing to build affordable units in Riverside County. LIHTCs provide affordable housing developers an allocation of tax credits, which they sell to investors to raise equity for projects. Investors that purchase tax credits are able to reduce their federal tax liability dollar-for-dollar, so that the purchase of \$1,000 in tax credits reduces tax liability by \$1,000. As a result of the equity made available through the sale of tax credits, a developer can complete projects with less debt and pass on cost savings in the form of lower rent.

Historically, Fannie Mae and Freddie Mac provided 40 percent of LIHTC investments, and banks motivated by the Community Reinvestment Act (CRA) provided 40 percent. The LIHTC program is now facing significant challenges. Fannie Mae and Freddie Mac no longer make new investments. In addition, the substantial losses that many financial institutions continue to incur have eliminated or reduced their ability to use tax credits.

Home Purchase, Refinancing, and Improvement Financing

The Home Mortgage Disclosure Act (HMDA) requires many financial institutions to maintain, report, and publicly disclose information about mortgages. The Consumer Financial Protection Bureau hosts HMDA data on its website (<https://www.consumerfinance.gov/>). The table below shows the failure, denial, and origination rates in 2010 and 2015 for conventional mortgages for owner-occupied, 1- to 4-unit family homes (including manufactured housing) in Riverside County for purchase, refinance, and improvements. While there were many more applications in 2015 as compared to 2010 (65,570 versus 40,619), the rates of failures, denials, and originations remained constant.

	2010		2015	
	Number	Percentage	Number	Percentage
Failures	9,010	22%	14,553	22%
Denials	8,514	21%	13,792	21%
Originations	23,095	57%	37,225	57%
Total	40,619	100%	65,570	100%

Source: Consumer Financial Protection Bureau (<https://www.consumerfinance.gov/>)

Failures include files closed for incompleteness, application withdrawn by applicant, and application approved but not accepted.

Interest rates have a significant impact on the costs borrowers will pay for home purchases, refinances, and home improvement loans. Annual average interest rates on a 30-year fixed-rate mortgage before the housing crisis were around 6 percent (6.41 in 2006, 6.03 in 2008). In response to the housing crisis and economic downturn, the Federal Reserve lowered interest rates to stimulate economic activity. Annual average interest rates were 4.69 in 2010 and 3.98 in 2013. They remained low at 3.65 in 2016. However, since November 2016, interest rates have risen sharply (3.54 percent in early November 2016 and 4.2 in March 2017). For people considering selling their homes and purchasing a different home, the increase in interest rates may be a disincentive to do so. Borrowers will also be less likely to refinance with the higher interest rates.

Conclusion

Interest rates at the present time are not a constraint to affordable housing. Financing for both construction and long-term mortgages is generally available in Riverside County, subject to normal underwriting standards. A more critical impediment to homeownership involves both the affordability of the housing stock and the ability of potential buyers to fulfill down payment requirements. Conventional home loans typically require 5 to 20 percent of the sales price as a down payment, which is the most significant constraint to first-time homebuyers. This indicates a need for flexible loan programs and a method to bridge the gap between the down payment and a potential homeowner's available funds. The availability of financing for developers under current economic conditions may also pose a constraint on development outside of the County's control.

NIMBYism

Public opposition can be a powerful obstacle to the development of low-cost housing or housing for persons with special needs. The "Not in My Backyard" (NIMBY) syndrome occurs when existing residents feel threatened by new development that is perceived to adversely affect their neighborhood property values or security. One strategy for overcoming NIMBYism is for County staff and project proponents to work with community leaders to improve the level of mutual understanding and attempt to address legitimate concerns during the planning stages of new projects, transforming NIMBYs to YIMBYs (Yes in My Backyard).

Local Efforts to Remove Housing Constraints

It is clear that fees charged as part of the development process add to the ultimate cost of housing and are typically passed on to the homeowner through the purchase price or rent charged. Although the County does not waive planning and building fees, these upfront fees may be subsidized wholly or in part by the County through its various financial resources for projects which propose affordable housing components. In addition, publicly subsidized projects constructed as housing for lower-income households are specifically exempted from development fees.

Mitigation Fees in Ordinance No. 659. Manufactured homes not on permanent foundations and units approved through the second unit permit processes are also exempt. The exemption for second units specifically references their role in providing relatively affordable housing for low- and moderate-income households without public subsidy. Under current zoning provisions, the second unit may be occupied by any person without rent, or the second unit may also be rented; provided, however, that rental occupancy shall be limited to persons and families of low or moderate income as defined in Section 50093 of the Health and Safety Code. Therefore, although considered a significant contributing factor to the affordability of housing, the fees charged by the County to bring a project through the development process from application to occupancy are not considered an unreasonable constraint to housing.

The County's development approval process is designed to accommodate, not hinder, development. While the past recession reduced the overall number of projects submitted to the County for review, reductions in County agencies involved in the development review process were also experienced concurrently. To address the issue of processing of projects in this context, the County approved a Fast Track/priority processing system for qualified affordable housing projects. This processing system is administered by the EDA and the Planning Department.

One problem area in the priority processing of affordable housing projects had been the permit processing/building inspection stage, which follows project approval but occurs prior to final occupancy. During this time period many conditions of approval must be met, paperwork processed, and representatives from a number of County agencies involved. At this stage, a project is most vulnerable to delays on both the part of the County staff and the developer, or the developer's representative. The County instituted the Fast Track processing system to address these issues, and the delays in processing have been improved significantly and/or mitigated completely. The County continues to refine the process to improve processing times.

The EDA provides staff that serves as liaisons between developers of affordable housing and the County agencies involved in the development review process. The liaison service helps facilitate the development review process by increasing communication between the developer and various County departments, and improving the resolution of issues that might arise during the approval, permit, and inspection phases of a project. As supported by responsive processing times, and the relative facility of permit procedure, the County's processing and permitting procedures have not been felt to constrain the development of housing.

Energy Conservation

Although the County of Riverside implements various housing programs, affordable housing is not less expensive to live in merely because the development costs are minimized. Ongoing expenses related to housing are also a factor of affordability.

The cost of housing includes not only the rent, but also utility costs. Higher utility expenses reduce affordability. Building "affordable" homes is not the same as making homes affordable to live in. Cheaply built homes invite callbacks, complaints, and discomfort, and waste energy. Therefore, additional first costs to improve energy efficiency do not make housing less affordable in the long run. Energy efficiency in affordable housing, more than any other building sector, makes a critical impact on the lives of tenants. According to HUD, "utility bills burden the poor and can cause homelessness." Table H-55 summarizes the County's programs related to energy conservation that can be considered and engaged in the production of affordable housing.

Table H-58 Energy Conservation Programs Summary

Housing Program	Program Intent/Description	Funding Source ¹	Eligible Activities	Sponsor
Utility Assistance Program	Low-income households are assisted with utility expenses. Several resources are leveraged to provide each consumer with maximum assistance.			Department of Community Action
241(a) Rehabilitation Loans for Multifamily Projects	Provides mortgage insurance for improvements, repairs, or additions to multifamily projects.	HUD	Energy conservation Multifamily rehabilitation	Applied for by others
Community Development Block Grant Entitlements	Provides formula funds to metropolitan cities and urban counties to support the development of viable urban communities by providing decent housing and a suitable living environment and expanding economic opportunities.	HUD/EECBG (DOE)	Acquisition Infrastructure improvements Group homes/homeless and transitional housing Housing preservation and rehabilitation New construction (if completed by nonprofit groups)/self-help housing Public services and community facilities Landlord/tenant mediation Accessibility retrofit and energy conservation Administration Energy efficiency education	County of Riverside EDA
Community Facilities Loans	To provide loan and loan guarantees to fund the construction, enlargement, or improvement of community facilities in rural areas, towns and cities up to a population.	Rural Housing Service	Community facilities Infrastructure/public works	Applied for by others
Rural Housing Preservation Grants	Supports the rehabilitation and repair of homeownership and rental housing for very low- and low-income households living in rural substandard housing.	Rural Housing Service	Rehabilitation Construction Preservation of affordable housing Energy conservation	Applied for by others

Chapter 8

Housing Element

Housing Program	Program Intent/Description	Funding Source ¹	Eligible Activities	Sponsor
CalHOME	Loans and grants to local public agencies and nonprofit developers to assist individual households through deferred payment loans; direct, forgivable loans to assist development of projects involving multiple ownership units, including single-family subdivisions.	HCD	Acquisition Energy conservation Infrastructure development New construction single family	County EDA, or applied for by nonprofit agencies
DOE Energy Weatherization Assistance Program	Reduces the heating and cooling costs for low-income families by improving energy efficiency of their homes. Focuses on low-income seniors, individuals with disabilities, and families with children. Assistance includes: (1) in-home energy education; (2) energy-related home repairs; (3) blower door guided air sealing; 4) heat system safety tests, repair and tune; (5) duct insulation and sealing; (6) attic insulation; and (7) hot water savings measures.	California Department of Community Services and Development	Energy conservation Rehabilitation and repair	County of Riverside Department of Community Action
Low Income Home Energy Assistance Program (LIHEAP)	The LIHEAP block grant is funded by the Department of Health and Human Services and provides financial assistance and home weatherization. This is accomplished through three components: (1)the Weatherization Program which provides free weatherization services to improve the energy efficiency of homes including attic insulation, weather stripping, minor housing repairs and related conservation measures; (2) the Home Energy Assistance Program which provides financial assistance to eligible households to offset the costs of heating or cooling dwellings; and (3) the Energy Crisis Intervention Program which provides payments for weather-related emergencies.	California Department of Community Services and Development	Financial assistance Energy conservation	County of Riverside Department of Community Action
Neighborhood Housing Services	NHS is a three-way partnership among neighborhood residents, local government and local businesses. NRC provides direct technical assistance, expendable grants and capital grants to NHS, which makes loans for rehabilitation.	Neighborhood Reinvestment Group	Rehabilitation Energy conservation Community services/facilities	Applied for by others
County Weatherization Program	Provides weatherization services and assistance through grants and financial assistance. Activities may include energy conservation measures, weatherization such as weather stripping, water heater wrap, insulation of various home components, and financial assistance.	Southern California Gas, Dept. of Energy, WEER, LIHEAP	Weatherization rehabilitation	Department of Community Action

Eight-Year Action Plan

Eight-Year Goals, Policies and Actions

An important component of the Housing Element is the County's description of what it hopes to achieve during the current planning period. This is accomplished with a statement of the County's goals, policies, actions, and quantified objectives relative to the maintenance, preservation, improvement, and development of housing to meet the present and future needs of all economic segments of the population, as well as ongoing coordination and program implementation. This analysis includes an eight-year schedule of actions that the County is undertaking or intends to undertake to implement the policies and achieve the goals and objectives of the Housing Element. The legislative requirements for what must be included in the Action Plan are as follows:

- Improvement and conservation of housing, including affordable housing stock [Sec 65583(b) and Sec. 65583(c)(4)].
- Production of housing as set forth in the goals and quantified objectives [Sec. 65583(b)].
- Assist in the development of housing to meet the needs of very low-, low- and moderate-income households [Sec.65583(c)(2)].
- Address, and where possible, remove governmental constraints [Sec. 65583(c)(3)].
- Adequate sites for housing [Sec. 65583(c)(1)].
- Adequate provision of housing for existing and projected needs, including regional share, for all economic segments of the community [Sec. 65583(c)].
- Promotion of equal housing opportunities for all persons [Sec.65583 (c)(6)].
- Preserve assisted housing at risk of converting to non-low income uses [Sec. 65583(c) (6)].

This section of the Housing Element presents the County's Housing Action Plan for the period 2013–2021, as shown in Table H-59. It is the overriding objective of the County to ensure that all residents of the County have decent, safe, sanitary, and affordable housing regardless of income. This statement guides the County's actions with respect to housing. The specific objectives (described in the Quantified Objectives section) and policies included in this Housing Element are intended to provide a wide variety of actions, programs, and tools to implement the County's general goals.

Table H-59 Eight-Year Action Plan Summary

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
GOAL 1: TO ASSIST IN THE DEVELOPMENT OF ADEQUATE HOUSING TO MEET THE COUNTY'S FAIR SHARE OF THE REGION'S HOUSING NEEDS FOR ALL ECONOMIC SEGMENTS OF THE POPULATION, WITH AN EMPHASIS ON LOWER-INCOME HOUSEHOLDS AND HOUSEHOLDS WITH SPECIAL NEEDS.				
Policy 1.1: Encourage housing developers to produce affordable units by providing assistance and incentives for projects that include new affordable units available to lower/moderate-income households or special needs housing.	1.1a: Use funding available for the production and subsidization of lower- and moderate-income housing, priority given to lower income households (including extremely low-, very low, and low-income households). Work with public or private sponsors to identify candidate sites and to make applications to state and federal housing programs for new construction of rental housing for seniors and other special needs, and take all actions necessary to expedite processing and approval of such projects. Utilize public financing tools when available, including but not limited to: multifamily revenue bonds and Community Development Block Grant (CDBG)/Home Investment Partnership Act (HOME) funds to provide low-interest loans, and where feasible, leverage other state and federal financing obtained by the developer (e.g., Low Income Housing Tax Credits [LIHTC], CHFA multifamily housing assistance programs, HCD Multifamily Housing Loans), and other financing available.	HOME and other HUD and HCD grants as they become available. See Implementing Resources summary table.	EDA/Housing Authority/TLMA	The County is an entitlement community for CDBG funds. Annually apply for LIHTC, CHFA multifamily housing assistance programs, HCD Multifamily Housing Loans, etc.
	1.1b: Continue utilization of tax-exempt revenue bonds for the financing of new multifamily construction.	County tax allocation bonds; California Debt Limit Allocation	EDA/Housing Authority	As projects come forward, assist with the process of applying for funding on the developer's behalf.
	1.1c: Continue to utilize federal and state funding programs to assist prospective owners and renters of mobile homes in funding the purchase and/or installment of mobile home units.	Former RDA funds, HCD CalHome grants, HCD Joe Serna Jr. Farm Worker Housing Grants (FWHG), USDA Rural Development loans, and other HCD grants as they become available.	EDA/Housing Authority	Annually, or in response to the Notice of Funding Availability (NOFA).
	1.1d: Continue to offer fast track/priority processing, gap financing options, density bonus and fee deferral and subsidies (when funding is available) to developers of County-assisted projects proposing new housing, mixed-use or infill projects affordable to lower-income households, farm workers, seniors, and other special needs groups.	HOME and other HUD and HCD grants as they become available.	EDA/TLMA	Ongoing, as projects are processed through the Planning Department.
	1.1e: When funding is available, the County shall assist to write down land costs of acquiring sites, offer assistance with land acquisition, and other upfront costs as well as assistance in securing federal or state housing financing resources for projects which reserve a proportion of units affordable to lower-income households (incomes below 80 percent of the County median).	HOME and other HUD and HCD grants as they become available.	EDA/Housing Authority, TLMA	Review resources on an annual basis through 2021.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, as projects are processed through the Planning Department.</p>
	<p>1.1g: Continue to promote use of density bonus provisions and adopt an ordinance to ensure consistency with state law.</p>	<p>General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p>	<p>TLMA</p>	<p>Ongoing. Within 6 months of adoption of the Housing Element.</p>
	<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME</p>	<p>EDA</p>	<p>Review on a project by project bases, as projects are proposed.</p>
	<p>1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus. The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting a minimum of: 11 households to Expand the Affordable Rental Housing Stock; 11 households to Improve the Conditions of Substandard Housing; and 11 households to Address Farmworker Housing Needs.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing Authority</p>	<p>Ongoing, as projects are processed, and annual outreach with local developers.</p>
	<p>1.1j: Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>EDA</p>	<p>Annually</p>
<p>Policy 1.2: Ensure the availability of suitable sites for the development of affordable housing to meet the needs of all household income levels, including farm workers and other special needs populations.</p>	<p>1.2a To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2f), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and an equitable development pattern. . Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1b.</p>	<p>General Fund</p>	<p>TLMA/GIS</p>	<p>Annually monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.2b: Where feasible, the County shall work with non-profits in the development of County-owned sites in planning areas where affordable housing is needed. Combine provision of sites with other subsidy/assistance programs.</p>	HOME and other HUD and HCD grants as they become available.	EDA/Housing Authority	Annually meet with non-profit developers.
	<p>1.2c: Work with advocate and outreach groups in the Coachella Valley to identify sites suitable for farm worker housing in the Coachella Valley.</p>		TLMA	Continue to meet with the Housing Review Committee quarterly to discuss farm worker housing.
	<p>1.2d: The County will continue to allow for reduced parking requirements for senior and affordable housing projects as well as pursue the following revisions to the County's parking standards to more easily accommodate higher densities on multifamily and mixed-use sites. Further study of these revisions shall be conducted before changes to the Zoning Ordinance are made:</p> <ul style="list-style-type: none"> - Reductions in the number of spaces required for affordable or senior housing projects, if it can be demonstrated that the expected tenants will own fewer cars than the regular standards anticipate – or if spaces will not be "preassigned" to specific units in the project. - Allowances for some of the spaces to be tandem or uncovered, provided that none of the spaces extend into the front yard setback. - Standards for "shared parking" when uses with different peaking characteristics (such as offices and apartments) are combined in a single structure. - Reductions to the space requirements for studio and one-bedroom apartments (presently two spaces per unit). - In addition, the County should explore the feasibility of an ordinance which would prohibit the long-term storage of cars in designated parking spaces in multifamily complexes, thereby ensuring that the spaces remain available for tenant use. - The County will also evaluate the associated costs with the current parking requirements to ensure they are not a constraint on development. 	General Fund	TLMA	Review standards and revise as necessary within two years of adoption of the Housing Element.
	<p>1.2e: The County will provide for the inclusion of mixed-income housing in future new growth areas of the county through development agreements and other mechanisms. To facilitate the development of affordable housing on smaller parcels (50 to 150 units in size), the County will routinely coordinate with property owners and give high priority to processing subdivision maps that include rezoned R-7 sites or affordable housing units. Also, an expedited review process will be available for the subdivision of larger sites into buildable lots where the</p>	General Fund	TLMA	Ongoing, as projects are processed through the Planning Department.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>development application can be found consistent with the General Plan and applicable specific plan.</p>			
	<p>1.2f: 1) In December 2016 the County processed a General Plan redesignation and rezoning for approximately 5,000 acres of land located in 10 area plans to either the Highest Density Residential (HHDR) designation or the Mixed Use Area (MUA) with an R-7 or Mixed Use zoning. All rezoned sites permit owner-occupied and rental multifamily developments by right and do not require a plot plan, conditional use permit, a planned unit development permit, or any other discretionary review. All sites can accommodate a minimum of 20 units per acre and at least 16 units per site, per state law requirements. The County will continue to review the available sites to ensure there is sufficient capacity to meet the RHNA throughout the remainder of the planning period.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, update as projects are processed through the Planning Department.</p>
	<p>1.2g: To ensure that there is a sufficient supply of multifamily zoned land to meet the County's regional housing needs allocation (RHNA), the County will help facilitate lot consolidations to combine small residential lots into larger developable lots by annually meeting with local developers to discuss development opportunities and incentives for lot consolidation to accommodate affordable housing units. As developers/owners approach the County interested in lot consolidation for the development of affordable housing, the County will offer the following incentives on a project by project basis:</p> <ul style="list-style-type: none"> - allow affordable projects to exceed the maximum height limits, - lessen set-backs, and/or - reduce parking requirements. - The County will also consider offsetting fees (when financially feasible) and concurrent/fast tracking of project application reviews to developers who provide affordable housing. 	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, as projects are processed through the Planning Department. Annually meet with local developers to discuss development opportunities and incentives for lot consolidation.</p>
	<p>1.2h As development is proposed for an unincorporated community, County staff will work closely with the developer and the service provider to facilitate adequate infrastructure to support the development. The County will continue to coordinate with various service providers to ensure adequate infrastructure and services are available to serve proposed development. Continue to coordinate with service providers to assess the needs for infrastructure and services, and plans for expansion. Communicate with service providers as major development applications are received to discuss and pursue plans for future expansion to ensure adequate infrastructure and services are available to meet the County's RHNA consistent with housing development trends.</p>	<p>General Fund</p>	<p>TLMA/EDA</p>	<p>Ongoing 2014- 2021, as projects are processed through the Planning Department. Annually apply for funding, as NOFAs are released.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>As part of coordination and communication with service providers, provide assistance as appropriate to encourage infrastructure improvements in communities with infrastructure and service deficiencies.</p> <p>Seek and support funding applications for infrastructure and service expansions that are consistent with the County's General Plan.</p> <p>Provide a copy of the adopted Housing Element to the various service providers serving the unincorporated communities and provide assistance to providers to facilitate establishing procedures to grant priority service to the development of housing with units affordable to lower income households.</p> <p>As part of coordination and communication with service providers, provide assistance as appropriate to encourage infrastructure improvements in communities with infrastructure and service deficiencies. The County will prioritize time and resources to areas of the highest need.</p> <p>As funding permits, CDBG and/or HOME funds provide gap financing to affordable projects as a means to reducing the costs of development, including infrastructure improvements. At least annually meet with developers and community stakeholders to discuss and pursue or support additional funding resources.</p> <p>Annually explore and pursue funding opportunities for area plan updates as necessary to promote development within existing communities with active transportation and access to services and amenities.</p>			
<p>Policy 1.3: Assist in the development of new farm worker housing.</p>	<p>1.3a: Continue to work with non-profit organizations to provide funding resources and assistance with the production of self-help housing for ownership and multifamily farm worker housing opportunities. The County will also provide incentives for the set-aside of agricultural land for farmworker housing.</p> <p>1.3b: The County will process an amendment to Ordinance No. 348 (zoning ordinance), to comply with Health and Safety Code Sections 17021.5 and 17021.6. For the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing Authority</p>	<p>HOME entitled, annually apply for HUD and HCD grants.</p>
		<p>General Fund</p>	<p>TLMA</p>	<p>Within 6 months of adoption of the Housing Element.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p>	<p>General Fund</p>	<p>EDA/Housing Authority</p>	<p>Annually meet with developers.</p>
	<p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside. Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households. The County will assist approximately a minimum of 83 households with the MHTL program.</p>	<p>Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside. HOME funds</p>	<p>EDA/Housing Authority</p>	<p>As loans are processed. Based on HOME funds availability at the time of application.</p>
<p>Policy 1.4: Assist in the development of additional housing for the mentally disabled.</p>	<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>		<p>Department of Mental Health</p>	<p>Ongoing.</p>
	<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>HUD Supportive Housing Program, Shelter Plus Care</p>	<p>Department of Public Social Services</p>	<p>Meet annually with County legislative advocates to address implications of new legislation.</p>
	<p>1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p>		<p>Department of Mental Health in conjunction with EDA</p>	<p>Within the two years of adoption of the Housing Element.</p>
	<p>1.4d: Promote the integration of special needs housing into affordable housing communities.</p>		<p>Department of Mental Health</p>	<p>Ongoing, throughout the planning period.</p>
	<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.</p>	<p>HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill program, Supportive Housing Program/Shelter Plus Care program</p>	<p>Department of Public Social Services</p>	<p>Ongoing, throughout the planning period.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
Policy 1.5: Assist in the development of additional emergency, transitional, and permanent supportive housing for homeless persons and families.	1.5a: In cooperation with nonprofits and local jurisdictions, assist in the development of transitional housing facilities in established regions of the county where the need is highest. 1.5b: Assist with the expansions of the number of emergency shelters in identified areas of Riverside County in cooperation with nonprofit organizations and local jurisdictions. Prioritize resources for the Eastern portion of the County.	HUD HCD	Department of Public Social Services Department of Public Social Services	Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POLIS project to site facilities. Ensure the emergency shelter needs of mentally ill and domestic violence victims are addressed. Ongoing, as funding is available.
	1.5c: Process an amendment to Ordinance No. 348 (zoning ordinance) to add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses and subject only to those restrictions that apply to other residential uses of the same type in the same zone.	General Fund	TLMA	Within 6 months of adoption of the Housing Element.
Policy 1.6: Support self-help housing programs (e.g., Habitat for Humanity and Coachella Valley Housing Coalition).	1.6a: Continue to work with nonprofit organizations in providing homeownership opportunities through the Rural Development Self Help program and other self-help construction programs within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME program.	HOME, HUD, Rural Development Self Help Program	EDA	Establish an annual meeting with CHDOs to provide policy direction.
Policy 1.7: Encourage innovative housing, site plan design, and construction techniques to promote new affordable housing by the private sector.	1.7a: Continue to provide for greater flexibility in the design of single-family development through the processing of PUDs, specific plans, and area plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts. 1.7b: Encourage construction of new mobile home parks and manufactured housing to increase the supply of affordable dwelling units by continuing to waive the fees (when funding is available) as an incentive.		TLMA/Building and Safety TLMA/Building and Safety	Ongoing, as projects are processed. Ongoing, as projects are processed.
	1.7c: Encourage new large-scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed-use development.		TLMA	Ongoing, as projects are processed.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.7d: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Consider adopting provisions within two years. Continue to pursue on an ongoing basis.</p>
	<p>1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Explore options by the end of 2017 consider adopting an ordinance by the end of 2018.</p>
<p>GOAL 2: TO CONSERVE AND IMPROVE THE CONDITION OF THE HOUSING STOCK, PARTICULARLY AFFORDABLE HOUSING.</p>				
<p>Policy 2.1: Continue to pursue all available federal, state, and local funds to assist housing rehabilitation.</p>	<p>2.1a: When funding is available, advertise and promote the availability of funds for the following: Rehabilitation of single-family and mobile home dwelling units. Rehabilitation of multifamily units.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA</p>	<p>Ongoing, as funding is available. Provide informational materials as funding permits. Entitled, apply annually HCD and HUD.</p>
	<p>2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.</p>	<p>HUD Capital funds</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>2.1c: Continue utilization of tax-exempt private activity bonds for the financing of multifamily housing rehabilitation.</p>	<p>Tax-exempt private activity bonds</p>	<p>EDA/Housing Authority</p>	<p>As projects come forward assist with the process for applying for funding on the developers behalf.</p>
	<p>2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards. The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting a minimum of 85 households.</p>	<p>CDBG</p>	<p>EDA/</p>	<p>Continue program when funding becomes available.</p>
	<p>2.1e: Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single-family housing through weatherization and/or rehabilitation.</p>	<p>Department of Energy, Southern California Gas, California Conservation Corp.</p>	<p>DCA</p>	<p>As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>2.1f Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p>	<p>EDA/Housing Authority</p>	<p>Once funding has been approved. Assist at least 5 households during the planning period.</p>
	<p>2.1g Through the Home Enhancement Program the, assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>CDBG</p>	<p>EDA</p>	<p>Provide grants to at least 5 households throughout the planning period.</p>
	<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Develop a plan by summer 2019.</p>
<p>Policy 2.2: Enhance the quality of existing residential neighborhoods by including adequate maintenance of public facilities in the County's capital improvement program and requiring residents and landlords to maintain their properties in good condition.</p>	<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>		<p>Building and Safety Department/ Department of Environmental Health, Code Enforcement</p>	<p>Ongoing, on a case-by-case basis.</p>
	<p>2.2b Through the Mobile Home Tenant Loan Foreclosure/Abandonment Program, the County will provide assistance where it is economically feasible to recover and preserve an</p>	<p>Low and Moderate Income Housing Asset Funds, 2010 Housing Taxable Bond Proceeds</p>	<p>EDA/Housing Authority</p>	<p>Preserve a minimum of 17 mobilehomes for very low-income households. Preserve</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	abandoned or foreclosed mobilehome and return it to the affordable housing stock.			at least 8 within the Housing Element planning period.
Policy 2.3 Facilitate rehabilitation and preservation of farm worker housing.	<p>2.3a: As funding is available, preserve existing affordable mobile home housing stock. The County will also work with park owners and tenants to explore homeownership opportunities such as through the MPRROP program.</p> <p>2.3b: Organize bilingual outreach materials and activities to educate and inform the farm worker community about available rehabilitation programs and resources.</p>	CDBG and other HUD and HCD grants as they become available.	EDA/Housing Authority	Annually explore funding sources and as NOFAs are released.
Policy 2.4: Preserve the affordability of federal, state, and county subsidized units at risk of conversion to market rate, or other affordable housing resources.	<p>2.4a: Ensure that County assisted affordable housing remains affordable by doing the following: Through the maintenance of an inventory of County assisted units with monitoring of expiration dates on an annual basis. Priority on providing financial assistance, where feasible and if funding is available, to preserve County assisted affordable units at risk of conversion to market rate during the planning period Conduct annual compliance monitoring site visits and file audits of County assisted units as part of ongoing compliance requirements enforced by loan agreements. Coordinate with owners of at-risk units to have the property owners provide education and work with tenants regarding their rights and conversion procedures.</p>	HOME and other HUD and HCD grants as they become available.	EDA/Housing Authority	Annually review existing covenants and update as necessary. County will coordinate with owners of at-risk units to have the owners provide tenant education within 30 days of a notice of conversion.
GOAL 3: TO PROMOTE EQUAL HOUSING OPPORTUNITIES FOR ALL PERSONS REGARDLESS OF RACE, AGE, SEXUAL ORIENTATION, RELIGION, SEX, ETC.				
Policy 3.1: Continue to support fair housing laws and organizations that provide fair housing information and enforcement.	<p>3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments. 2. Education and training of County staff. 3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers, and residents in emergency shelters and transitional housing facilities.</p> <p>3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements.</p>	CDBG	EDA/ Housing Authority	EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.
Policy 3.2: Provide housing information and counseling to low-income households	3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or	First Time Home Buyer Down Payment Assistance Program	EDA/ Fair Housing Council	2019 Ongoing, as funding permits.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>and households with special housing needs.</p>	<p>recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>			
<p>Policy 3.3: Provide housing services to persons with special needs, including child care, and the homeless.</p>	<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage “universal design” features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs. Continue to review the County’s formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities to ensure consistency with state law. Specifically review section 6.e. of the current procedure and revise as necessary. Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County’s website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>		<p>Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p>	<p>Ongoing, as projects are processed. Revise the County’s reasonable accommodation procedure by Spring 2018. Develop an outreach program by early 2018.</p>
	<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates). 2. Family Unification Program. 3. Family Self Sufficiency (FSS) Program. 4. Housing Opportunities for Persons with AIDS (HOPWA). 5. Veteran’s Affairs Supportive Housing Program (VASH). 6. Foster Care Youth Program. 7. Tenant Based Rental Assistance Program.</p>	<p>HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p>	<p>Housing Authority, EDA, DPSS</p>	<p>Programs will continue as funding is obtained.</p>
	<p>3.3c: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program, previously known as Section 8 Rental Assistance Program).</p>	<p>HUD</p>	<p>Housing Authority</p>	<p>Ongoing as interested persons contact the Housing Authority.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>3.3d: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.</p>	<p>HUD Shelter Plus Care</p>	<p>Housing Authority/ DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3e: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).</p>	<p>HUD Housing Choice Voucher Program</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.</p>	<p>FEMA, ESG, EHAP</p>	<p>DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.</p>	<p>HUD Supportive Housing program, Shelter Plus Care</p>	<p>DPSS</p>	<p>Ongoing.</p>
	<p>3.3h: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the Consumer Price Index.</p>		<p>County Executive Office</p>	<p>Ongoing.</p>
<p>Policy 3.4: Support programs that offer low- and moderate-income households the opportunity for homeownership.</p>	<p>3.4a: Continue to implement the Mortgage Credit Certificate Program (MCC) for low- to moderate-income homeowners.</p>	<p>CDLAC</p>	<p>EDA</p>	<p>Ongoing. Funding will be available once the Housing Element is in compliance.</p>
	<p>3.4b: Continue to provide down payment assistance and closing cost assistance to low-income first-time homebuyers through the First Time Home Buyer Program.</p>	<p>HOME</p>	<p>EDA</p>	<p>Ongoing. Funding will be available once the Housing Element is in compliance.</p>
<p>Policy 3.5: Expand the availability of affordable and/or special needs housing through acquisition or conversion.</p>	<p>3.5a: Work with public or private sponsors to encourage acquisition/rehabilitation of existing multifamily units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median.</p>	<p>HOME and other HUD and HCD grants as they become available., CDBG, HUD</p>	<p>EDA</p>	<p>Ongoing. Annually meet with interested developers.</p>
	<p>3.5b: Consider the conversion of small older hotels to transitional housing facilities, emergency shelters, or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. The Department of Social Services shall work with participating jurisdictions when requested. Assist with available housing for extremely low and lower income households by: (1) Process an amendment to Ordinance No. 348 (zoning ordinance) to define SROs and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit</p>	<p>HUD, HCD</p>	<p>DPSS, nonprofits</p>	<p>Within six months of adoption of the Housing Element.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	(2) Review Ordinance 348 to ensure consistency with state law concerning accessory dwelling units (AB2299 and SB 1069), including evaluating and addressing potential constraint such as lot sizes to ensure promoting the development of accessory dwelling units.			
Goal 4 Establish Adequate Planning, Administrative and Fiscal Tools to Implement Housing Policies				
<p>Policy 4.1: Evaluate the County's planning policies, codes, development review procedures, and fees as part of the Housing Element update cycle to ensure that they do not represent unjustified constraints to the development of housing. (Note: Other elements of the General Plan address various components of residential neighborhoods that could add to the cost of housing—e.g., Safety Element or Circulation Element—but are considered essential ingredients of balanced communities.)</p>	<p>4.1a: To ensure fees do not pose a constraint to the development of housing, the County will review its fees on an annual basis.</p>	General Fund	TLMA	Annually.
	<p>4.1b: Continue to review the definition of family so that it does not limit the number of persons per household, and does not require that persons are related by blood.</p>	General Fund	TLMA	Ongoing
<p>Policy 4.2: Ensure that administrative functions are consistent with housing policies and goals.</p>	<p>4.2a: Propose and advocate legislative efforts to promote jobs/housing balance. Participate in subregional (WRCOG and CVAG) and regional (SCAG) agency meetings to: Establish housing goals beyond county lines that reflect housing markets. Ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary. Encourage the production of affordable housing such as construction defect litigation reform and additional low-income tax credits.</p>	General Fund	EDA/ Housing Authority Executive Office/TLMA	Establish a meeting with County's legislative advocates to ascertain the existing impact and proposed legislation.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>Policy 4.3: Consistently monitor and review the effectiveness of the Housing Element programs and other County activities in addressing housing need.</p>	<p>4.3a: Review the Housing Element on an annual basis to determine the effectiveness of the programs in achieving the County's housing goals and objectives. The County will provide the annual report to the Board of Supervisors as to the effectiveness of the Housing Element. A copy of this report will be sent to the California Department of Housing and Community Development (HCD) and the Governor's Office of Planning and Research (OPR).</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Annually in April.</p>
<p>GOAL #5: REDUCE PER CAPITA RESIDENTIAL ENERGY USE.</p>				
<p>Policy 5.1: Encourage the use of energy conservation features in residential construction and remodeling.</p>	<p>5.1a: Continue to promote and support energy efficiency in new construction by encouraging developers to utilize available energy programs through the local utility providers and once adopted, to be consistent with the County's Climate Action Plan.</p>	<p>Energy Efficiency Block Grant (EECBG) funded by the Department of Energy (DOE).</p>	<p>TLMA/Building and Safety</p>	<p>Implement Climate Action Plan that will include incentives for production of renewable energy resources and greater efficiencies than Title 24. Ongoing as projects are processed through the Planning Department.</p>
	<p>5.1b: The Department of Community Action shall continue to operate the LIHEAP and Home Weatherization programs to reduce maintenance and energy costs for households with low incomes and increase efforts to inform the public about available energy conservation programs.</p>	<p>California Conservation Corp., DOE, state Department of Community Services and Development, WEEK, Emergency Contingency Funds</p>	<p>DCA</p>	<p>Ongoing.</p>

Implementing Resources

Table H-60, below, provides a general listing of available federal, state, private and local resources and programs which may: (1) be currently administered by the County in order to fund its programs, implement its current and proposed actions, and achieve its housing objectives; (2) not currently be administered or utilized by the County but which may be applied for on behalf of the County or other entities including individual jurisdictions, nonprofit agencies/CHDOs, developers, public housing authorities and other providers of housing; or (3) not be available to public jurisdictions but may be applied for by others (nonprofits, for-profit developers, homeowners, public service providers, etc.). The listing is comprehensive in terms of summarizing resources which are applicable to the County and its needs, but is not inclusive of every program available at the federal, state, or private level.

Table H-60 Housing Resources/Programs Summary

Housing Program	Program Intent/Description	Funding Source ¹	Eligible Activities	Sponsor
County Programs/Resources				
General/Multiple Applications				
CDBG Housing Loan Fund	Provides "gap" financing for housing development or rehabilitation projects that serve lower-income households. Financing is provided at below market rate, second or third position loans, in amounts and terms necessary to make a project serving lower-income households financially feasible. The developer is required to provide the bulk of the financing (between 75% to 90%) from non-CDBG sources.	HUD CDBG Allocation	New construction Rehabilitation Acquisition	County EDA
Homeownership Assistance for First-Time Home Buyers and Low-Income Community				
First Time Home Buyer (FTHB) Down Payment Assistance Program	The FTHB program provides HOME funds for down payment assistance to low- and very low-income households that have not owned homes within a three-year period. The program is available for households with an annual income that is not greater than 80% of the area median income published by HUD. The FTHB program provides 20% of the purchase price with a 15-year affordability period as a silent second loan.	HOME	Down payment assistance	County EDA
Mortgage Credit Certificate (MCC) Program	The California Debt Limit Allocation Committee (CDLAC) administers a tax-exempt private activity bond program that provides mortgage credit certificates to qualified buyers toward the purchase of single-family homes. The County of Riverside applies for these competitive funds annually. Offers income tax credit for qualified home buyers in unincorporated County and all participating cities. Qualified buyers use the MCC to reduce the federal tax liability by applying the credit to their net tax due equal to 15% of the annual interest paid on their mortgage loan.	CDLAC tax-exempt private activity bonds	Tax credit	County EDA
Housing Choice Mortgage Voucher Program	The Housing Choice Voucher (HCV) Homeownership Program (HP) allows qualified participants the option to purchase a home and use the HVC Housing Assistance Payment (HAP) toward mortgage payments and other housing costs.	HUD	Monthly Mortgage Assistance	County of Riverside Housing Authority
Riverside/San Bernardino County Housing and Finance Agency Lease Purchase Program	Lease revenue pass-through obligation bonds are issued by the California Cities Home Ownership Authority to fund a lease-purchase program that assists potential first time homebuyers countywide.	California Cities Home Ownership Authority bonds	Lease payment assistance	
Improve Conditions of Substandard Housing and Existing Affordable Housing				
Housing Rehabilitation Program (HRP and CHRP)	The HRP has two sources of funding, each of which governs how and where the program can be used. The HRP program provides one-time grants of up to \$20,000 to qualified low-income homeowners to repair or improve the quality of their homes. The grant allows homeowners to address both interior and exterior health and safety issues, housing quality standards, and handicapped accessibility improvements, and enhance the exterior appearance of their properties. Program participants using the HRP funded with CDBG funds must live in a participating city	CDBG – Participating cities (CHRP)	Interior rehabilitation Exterior rehabilitation	County of Riverside

Chapter 8

Housing Element

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
	or the unincorporated County. Both programs require a 10-year affordability covenant.			
Senior Home Repair Program (SHRP)	The SHRP provides one-time grants of up to \$6,000 to qualified extremely low-income and very low-income senior homeowners (62 years or older) or extremely low-income and very low-income disabled persons of any age to repair or improve their homes. The grant requires that the repairs address health and safety issues and handicapped accessibility improvements.	CDBG Home Improvement Loan Fund	Rehabilitation and repair	County EDA
Enhanced Home Repair (EHR)	The EHR program provides one-time grants up to \$6,000 to extremely low-income and very low-income households for home repair or enhancements to address health and safety issues. The program is available to all homeowners regardless of age and it does not require a specific disability.	CDBG	Rehabilitation and repair	County EDA
CDBG Housing Loan Fund	The Housing Loan Fund is a CDBG-funded revolving loan fund which provides low interest and gap financing to private entities intending to improve the conditions of substandard housing and improve the conditions of existing rental housing affordable to low-income families, which is one of the five Consolidated Plan primary goals.	HUD-CDBG allocation	Rehabilitation Acquisition and rehabilitation New construction of special needs housing Build infrastructure to support new construction of affordable housing	County EDA
HOME Program	See HOME description under Federal Resources.			
Address Farm Worker/Migrant Farm Worker Housing Needs				
Mobile Home Park Assistance Loan Program	Provides financing for mobile home park rehabilitation and improvement projects to save very low- and low-income farm worker housing in the Coachella Valley. Eligibility is limited to existing unpermitted mobile home parks located in the unincorporated areas of the Coachella Valley. Affordability is protected by a 45-year deed restriction.		Preserve and rehabilitate mobile home parks	County EDA
Transitional and Supportive Housing	Ordinance No. 348.4706 was adopted March 22, 2011, to allow such facilities in compliance with Senate Bill 2 (which amended Sections 65582, 65583, and 65589.5 of the California Government Code), Transitional and supportive housing for more than six (6) individuals is considered a multifamily residence and is permitted subject to a discretionary permit as other multifamily housing units are permitted within the County. The County does not institute special or unique restrictions for transitional or supportive housing that would prevent the development of such uses.	Private funding	Emergency Shelters Homeless Shelters Transitional support centers	Planning
Farm Worker Housing	Farm worker housing projects are authorized with a Conditional Use Permit in the R-R, R-R-O, A-1, and A-2 zones. Fast Track authority is available for all farm worker projects	Private funding,	Farm labor camps	Planning, EDA
Mobile Home Tenant Loan Assistance Program	This program, recently combined with the Mobile Home Tenant Grant program, offers a loan to mobile home owners who are tenants of unpermitted mobile home parks or agricultural housing facilities and whose mobile home coach does not		Preserve and rehabilitate mobile homes and provide	County EDA

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Agricultural Housing Assistance Loan Fund Program	comply with state and local laws, and which do not have the physical and structural capacity to be repaired. The program provides financial assistance in the form of loans up to \$40,000 for rehabilitation to bring a mobile home unit up to code compliance, or may be used for replacement of the units if rehabilitation is structurally infeasible. Eligibility is restricted to very low-income owner occupants of mobile homes in the unincorporated areas of the Coachella Valley. Provides financial aid in terms of an at- or below-market interest loan up to \$75,000 to bring existing agricultural housing facilities in danger of closure due to lack of facility compliance with federal, state and/or local laws and regulations up to code, or to provide infrastructure improvement projects. Targeted solely to low-income farm workers in the unincorporated areas of the Coachella Valley. Units are restricted for a term of 55 years.		home ownership opportunities Rehabilitation Infrastructure improvements	County EDA
Assist in Development of Affordable Rental Housing				
HOME Program	Continue to provide loans to eligible nonprofits, CHDOs and developers of affordable housing for new construction and acquisition of affordable rental housing projects. 15% of the HOME allocation granted for Riverside County is reserved for private, nonprofit organizations.	HOME	New construction Acquisition/rehabilitation Tenant-based rental and security deposit assistance	County EDA
CDBG	The CDBG Housing Loan Fund is a revolving loan fund which provides low interest and gap financing to private entities in pursuit of achieving the expansion of the affordable rental housing stock for low-income and special needs households, which is one of the primary goals of the County's Consolidated Plan.	HUD-CDBG Allocation Program	New construction acquisition/rehabilitation	County EDA
Provide Shelter for Homeless				
Once in a Lifetime Homeless and Diversion Payment Program	Provide funds to qualified applicants to cover living costs.	Federal, state and local	Homelessness prevention	County DPSS
CDBG	The County allocates a portion of CDBG funds to provide assistance for public services and public facilities to operate and support emergency shelters and transitional facilities.	HUD-CDBG allocations	Operation expenses of emergency shelters and transitional facilities	County EDA
Continuum of Care Homeless Assistance Program	The County's Continuum of Care program is administered by the Department of Public Social Services (DPSS). The program addresses homeless programs and services utilizing a variety of funding resources and programs. See Continuum of Care (McKinney Act), Supportive Housing Program, Shelter Plus Care, and Housing Choice Voucher Program (Section 8 Moderate Rehabilitation) for SRO program under the Federal Resources heading)	Federal ESG, CDBG, FEMA, Supportive Housing Program, Shelter Plus Care; state HCD	Homeless outreach Homeless prevention Homeless facilities Transitional facilities Permanent supportive housing support services	County DPSS
Emergency Cold Weather Shelter Program	Provide emergency cold weather shelter at four locations throughout the County, including two National Guard Armories.	HUD Emergency Shelter Grants, Emergency Food and	Cold weather shelters	County DPSS

Chapter 8 Housing Element

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Federal Emergency Shelter Grants	See description under Federal Resources.	Shelter Grants, General Fund		
Emergency Food and Shelter National Board Program	See description under Federal Resources.			
Emergency Housing Assistance Program	See description under State Resources.			
Federal Emergency Management Agency	See description under Federal Resources.			
HOME Investment Partnership Formula Grant Program	See description under Federal Resources.			
Housing Assistance				
County Weatherization Program	Provide weatherization services and assistance through grants and financial assistance. Activities may include energy conservation measures, weatherization such as weather stripping, water heater wrap, insulation of various home components, etc., and financial assistance.	Southern California Gas, DOE, WEER, LIHEAP	Weatherization Rehabilitation	Department of Community Action
Misc.				
Density Bonus Ordinance	Provides for the adoption of a Density Bonus Ordinance consistent with state law by.		New construction	County Planning Department
Federal Resources				
223(f) mortgage Insurance for Purchase/Refinance	Mortgage insurance for purchase or refinance of existing multifamily units.	HUD	Acquisition New construction Administration	Applied for by others
241(a) Rehabilitation Loans for Multi-Family Projects	Provides mortgage insurance for improvements, repairs, or additions to multifamily projects	HUD	Energy conservation Multifamily rehabilitation	Applied for by others
221(d)(3) and (4) Mortgage Insurance for Rental Housing	Provides mortgage insurance to fund good quality rental or cooperative housing for low- and moderate-income families.	HUD	New construction Refinance	Applied for by others
Capital Fund Grant Program	Funds are allocated for the modernization of all HUD affordable housing. This modernization includes compliance with Section 504 of the Rehabilitation Act of 1972 for accessibility requirements and capital improvements in the affordable housing projects.	HUD	Rehabilitation Accessibility retrofit	County of Riverside Housing Authority

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Community Development Block Grant (CDBG) Entitlements	Provides formula funds to metropolitan cities and urban counties to support the development of viable urban communities by providing decent housing and a suitable living environment and expanding economic opportunities.	HUD	Acquisition Infrastructure improvements Group homes/homeless and transitional housing Housing preservation and rehabilitation New construction (if completed by nonprofit groups)/self-help housing Public services and community facilities Landlord/tenant mediation Accessibility retrofit and energy conservation Administration	County of Riverside EDA
Community Development Technical Assistance Grants	Provides technical assistance funds under four separate technical assistance programs: CDBG technical assistance; Community Housing Development Organization (CHDO) technical assistance; HOME technical assistance, and Supportive Housing technical assistance.	HUD	Technical assistance	Applied for by others/County
Community Facilities Loans	To provide loan and loan guarantees to fund the construction, enlargement, or improvement of community facilities in rural areas, towns, and cities with populations up to 50.	Rural Housing Service	Community facilities Infrastructure/public works	Applied for by others
Congregate Housing Services Program	Provides grants to public agency or private nonprofits to provide meals and other supportive services to frail elderly and persons with disabilities residents in federally assisted housing. Also supports remodeling to meet accessibility needs.	HUD	Group homes/congregate Care social services Administration	Applied for by others
Continuum of Care for Homeless Persons (McKinney)	Provides grants to assist the homeless through a combined NOFA for three programs: Supportive Housing, Section 8 SRO, and Shelter Plus Care. These programs provide services and transitional or permanent housing for homeless persons. (Specific programs are described individually in this matrix.)	HUD	Rent subsidies (S+C) Rental housing rehabilitation Acquisition of group homes, homeless shelters, transitional housing and SROs.	Administered by County of Riverside DPSS
Disaster Relief Program	Provides grants for assistance to jurisdictions and victims hit by emergencies or disasters, as declared by the President. Funds are for repair, restoration, reconstruction or replacement of public and nonprofit facilities, loans to local government to cover tax and revenue losses, and emergency shelter for up to 18 months.	FEMA	Homeless shelters, SROs, and transitional housing Rehabilitation	Applied for by others and County (as needed)

Chapter 8

Housing Element

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Disposition of HUD Multifamily Housing	To dispose of multifamily housing owned or financed by HUD that is delinquent, under workout or foreclosed with mechanisms designed to preserve the low- and moderate-income housing stock. Provides loans and rent subsidies for a 15-year term, with priority given to nonprofit organizations.	HUD	Acquisition New rental housing Preserve existing affordable housing	Applied for by others
Emergency Food and Shelter (EFS) Program	EFS meets the needs of the hungry and homeless by providing funds to local public agencies and nonprofits to provide emergency food and shelter. Program funds are used to provide the following housing assistance, as determined by the local board in funded jurisdictions: lodging in a mass shelter or hotel; one month of rent or mortgage payment; one month's utility bill; and minimal repairs to allow a sheltering facility to function during the program year.	HUD	Homeowner assistance Rental assistance Emergency shelter assistance	Administered by County DPSS
Emergency Shelter Grants (ESG)	An entitlement program established under the Stewart B. McKinney Act. Annual grant funds are allocated on a formula basis. Funds are provided to jurisdictions for renovation, rehabilitation, conversion of buildings for use as emergency shelters for the homeless, and for payment of specific costs associated with maintenance and operation of shelters for homeless prevention activities. Eligible subrecipients are nonprofit shelter providers and public agencies. The County administers the funds from this program for a number of homeless facilities and services, and selects nonprofit agencies to receive ESG funds for emergency shelter and essential services for homeless.	HUD	Homelessness prevention Rehabilitation/conversion of buildings for use as shelters Cold weather shelters 30% on essential services Operating costs	Administered by County EDA
FDIC Affordable Housing Program	Sell homes and multifamily property to provide homes for low- and moderate-income households. Provides purchase assistance for rehabilitation costs and closing costs.	Federal Deposit Insurance Corporation	Acquisition Rehabilitation	Applied for by others
FEIMA	FEIMA offers disaster assistance for housing through low interest loans or cash grants for individuals and disaster grant assistance for the repair, replacement, or restoration of disaster damaged publicly owned facilities and the facilities of certain nonprofit organizations.	Federal Emergency Management Agency	Housing assistance Rehabilitation Homeless and transitional housing	FEIMA
Federal Home Loan Bank Affordable Housing Program	Federal law requires each of the 12 District Federal Home Loan Banks to establish an Affordable Housing Program under which the District Bank provides low cost funds to member saving institutions for below market rate loans or grants for affordable housing activities. Member banks then provide grants and below market loans to organizations for the purchase, construction, and/or rehabilitation of rental housing. A minimum of 20% of the units must be occupied and affordable to very low-income households.	Federal Home Loan Bank	Acquisition New rental unit construction Rental unit rehabilitation	Applied for by others
Federal Home Loan Bank Community Investment Program	This program provides long-term funding at fixed rates to develop rental housing, including acquisition, rehabilitation and construction, or to finance first-time home purchases for families and individuals with incomes up to 115% of the area median income.	Federal Home Loan Bank	Acquisition New rental unit construction Rental unit rehabilitation First time homeowner assistance	Applied for by others

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
HUD Single Family Property Disposition Program	Sells HUD-acquired single-family properties to expand homeownership opportunities and strengthen neighborhoods. Up to 10% of HUD-held single-family properties are made available for lease for use in homeless programs – rent is \$1.00 per year. Nonprofit organizations may purchase properties for use in homeless programs for 30% less than the HUD fair market value.	HUD	Homeowner assistance Homeless facilities Rehabilitation	Applied for by others
Homeless Providers Grants and Per Diem Program	Provides grants to nonprofits and public entities to develop programs that help veterans recover from homelessness, including transitional housing and supportive services for homeless veterans.	Department of Veterans Affairs	Acquisition Operation Social services Homeless facilities	Applied for by others
Housing Opportunities for Persons with AIDS (HOPWA)	Funds are allocated to the City of Riverside on behalf of all of the jurisdictions in Riverside County. Funds are made available countywide for supportive social services, affordable housing development, and rental assistance. Provides local governments and nonprofits the opportunity to devise long-term strategies for meeting the housing needs of persons with AIDS and their families.	HUD	Project- or tenant-based rental assistance Supportive services and prevention activities Primary medical care administration Acquisition, rehabilitation, and leasing of property	Administered by the City of Riverside
HOME Investment Partnership Formula Grant Program	The HOME Investment Partnerships program affords state and local government the flexibility to fund a wide range of low-income housing activities through housing partnerships among states, localities, private industry, and nonprofit organizations. The intent of this program is to expand the supply of decent, safe, and sanitary affordable housing. The HOME program provides local funds to finance the development of affordable ownership and rental housing, preservation of existing housing, and homeownership assistance. The County of Riverside utilizes HOME funds for: new construction assistance to CVHC, Habitat for Humanity, other CHDOs, developers, and participating jurisdictions; transitional housing facilities; predevelopment assistance, the First Time Home Buyers Assistance Program; and acquisition and/or rehabilitation of mobile homes and multifamily units. 15% of a state or local jurisdiction's HOME funds must be set aside for use by community-based nonprofit organizations (CHDOs). (See programs under County Resources.)	HUD	New construction Multifamily acquisition and/or rehabilitation Site improvements CHDO assistance Homeowner assistance Tenant-based security deposit assistance Administration	County EDA
Inner City Ventures Fund	As the lending arm of the Community Partners, this program provides loan financing to rehabilitation projects in endangered, low-, moderate-, and mixed-income historic neighborhoods.	National Trust for Historic Preservation	Rehabilitation Homeless/SROs/ transitional facilities	Applied for by others
Low Income Housing Preservation – Tenant Assistance/Capacity Building	Provides grants to enable resident groups and nonprofits to buy HUD-assisted multifamily projects. Pre-development and resident capacity grants available.	HUD	Acquisition Preservation of affordable housing	Applied for by others (nonprofits)

Chapter 8 Housing Element

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Low Income Housing Tax Credit Equity Program	Equity investment for acquisition and rehabilitation of rental programs.	National Affordable Housing Trust	New construction and rehabilitation of rental units Preservation of affordable housing Acquisition Transitional/SROs	Applied for by others
National Preservation Loan Fund	Program makes loans to establish or expand preservation-revolving funds and loan pools and to acquire and/or rehabilitate historic building sites and districts. Properties must be listed in the National Register of Historic Places.	National Trust for Historic Preservation	Acquisition Rehabilitation Self-help housing Homeless/SRO and transitional housing	Applied for by others
RECDs	Tenant assistance to ensure that residents do not pay more than 30% of their income for rent.	Rural Housing Service	Tenant assistance	Applied for by others (nonprofit agencies)
Rural Development Loan Program	Loan program to provide housing for farm workers.	Rural Housing Service	New construction	Applied for by others (nonprofit agencies - CVHC)
Rural Self Help Housing Technical Assistance Grants	Provides grants to sponsoring organizations to provide technical and supervisory assistance which will help low-income households participate in self-help housing construction.	Rural Housing Service	New construction and rehabilitation of single family units Self-help housing	Applied for by others
Rural Homeless Housing Assistance	Provides grants to nonprofits in rural areas to provide direct emergency assistance to those in rural areas that are homeless or at risk of becoming homeless. Assistance may be used for rents, utility or mortgage assistance, security deposit, or short-term lodging in motels.	HUD	Emergency/transitional shelter Rehabilitation Rental assistance	Applied for by others
Rural Housing Preservation Grants	Supports the rehabilitation and repair of homeownership and rental housing for very low- and low-income households living in rural substandard housing.	Rural Housing Service	Rehabilitation Construction Preservation of affordable housing Energy conservation	Applied for by others
Section 515 Rural Rental Housing Loans	Makes loans for the creation of rental housing in rural areas for persons with incomes below 80% of the County median.	Rural Housing Service	Acquisition Infrastructure New construction and rehabilitation of rental housing Group homes Operation	Applied for by others

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Section 202 Supportive Housing for the Elderly	Provides capital grants and operating subsidies for supportive housing for the elderly in the way of loans, grants, and rent subsidies.	HUD	Acquisition New rental construction and rehabilitation Operation Rental assistance Social services	Applied for by others
Section 521 Rural Rental Assistance Program	Provides direct rental assistance payments in conjunction with applications for rural rental housing projects for very low- and low-income tenants.	Rural Housing Service	Rent subsidies	Applied for by others
Section 523/524 Rural Housing Site Loans	Provides loans to enable public and private nonprofit groups to obtain and develop land for housing sites in rural areas.	Rural Housing Service	Acquisition Infrastructure	Applied for by others
Housing Choice Voucher Program	The Housing Choice Voucher program provides rent subsidies to owners of housing units on behalf of extremely low- and very low-income tenants. Under this program, tenants pay 30% of their monthly income on rent. In order to be compliant with regulatory requirements, the Housing Authority will release families to result in a lease up of 75% of the families being at or below 30% of the median income (extremely low income).	HUD	Rental assistance	Administered by County Housing Authority
Section 8 Mainstream Program for Persons with Disabilities	Funds are available through Public Housing Authorities and nonprofit disability organizations to provide Section 8 rent subsidies targeted to people with disabilities.	HUD	Rental assistance	Administered by County Housing Authority
Section 8 Moderate Rehabilitation Program for Single-Room Occupancy (SRO) Dwellings for Homeless Individuals	This program, one of the three programs under the McKinney Continuum of Care Program umbrella, provides public housing authorities and nonprofit organizations with rehabilitation assistance to convert existing facilities into SROs for homeless individuals. SRO projects enter into agreements with the Housing Authority which provides Section 8 rental assistance to those units for up to 10 years.	HUD	Rehabilitation assistance	Administered by DPSS
Section 108 Loan Guarantee	Program allows jurisdictions to pledge future CDBG grants as collateral to guarantee private market loans to allow large community development projects, such as acquisition of property, rehabilitation, demolition, etc.	HUD	All uses	County and participating jurisdictions are eligible
Section 538 Rural Rental Housing	Provides guaranteed loans to lenders and eligible housing providers to generate new and better affordable housing in rural areas.	Rural Housing Service	New rental construction	Applied for by others
Section 811 Supportive Housing for Persons With Disabilities	Provides funding to developers of housing for persons with disabilities, low-income households. Provides capital grants and project rental assistance contracts to nonprofit sponsored housing developments for persons with disabilities. Section 811 provides 100% of the development costs (which do not have to be repaid) if the project remains available to very low-income people with disabilities for 40 years.	HUD	Acquisition Group homes New construction and rehabilitation of rental units Social services	Applied for by others

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Self-Leveraging Revolving Loan Fund	Work with participating banks to establish revolving loan funds with CDBG seed money and matching bank funds.	CDBG; banks	New construction Rehabilitation Infrastructure improvements Housing assistance	County EDA
Shelter Plus Care Program	Provides rental assistance that is either tenant-based, project-based, or sponsor-based to maximize independence for homeless persons with disabilities, primarily those with mental illness, chronic problems with alcohol or drugs and AIDS or related diseases.	HUD	Rehabilitation of rental units Tenant- or sponsor-based rental assistance Social services	Administered by DPSS
Self Help Home Ownership Opportunity Program	Program funded by an allocation from HUD which funds land acquisition and infrastructure for sweat equity homes.	Housing Assistance Council	Acquisition Infrastructure New construction single family	Applied for by others (nonprofits)
Supportive Housing Program	This program is one of the three programs under the McKinney Continuum of Care Program umbrella. The program provides supportive housing and/or supportive services to homeless persons. Funding can be used for transitional housing facilities, permanent supportive housing for persons with disabilities, or other supportive services.	HUD	Transitional housing construction, acquisition, leasing or rehabilitation Operating costs Supportive services	Administered by County DPSS
Use of Federal Real Property to Assist Homeless	To lease, permit, or donate certain real property (land or buildings) for use to assist the homeless. HUD surveys each federal agency each quarter to determine which properties are excess, surplus, unutilized, or underutilized.	HUD	Emergency shelter, transitional housing or SROs New rental construction	Applied for by others
Federal Emergency Shelter Grant program	Provides grants for rehabilitation and operation of emergency shelters.	HUD	Rehabilitation Operation	Administered by EDA
Youth Build	Provides grants for projects employing economically disadvantaged young adults to build or rehabilitate housing and housing-related facilities. Aim is to provide these young adults with meaningful on-site training in housing construction and rehabilitation.	HUD	New construction Rehabilitation Operations Social services/job training	Administered by EDA
State Resources				
Multifamily Housing Program – Acquisition and Rehabilitation Component	Acquisition and rehabilitation of existing affordable rental housing. Priority is given to projects currently subject to regulatory restrictions that may be terminated. Terms for loans are 55 years.	HCD	Preservation of existing affordable housing Rent subsidies Multifamily rehabilitation Acquisition	Applied for by others

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
CDBG Economic Development Allocation – Enterprise Fund Component	Program reserves block grant funds for cities and counties, which in turn make loans to businesses, fund public infrastructure improvements, or fund activities that will foster the development of micro-enterprises	HCD	Business start-up Infrastructure development	Cities or County are eligible
CDBG Economic Development Allocation – Over the Counter Component	Loans to businesses and grants to cities and counties for infrastructure required to assist businesses that create or retain jobs for low-income persons.	HCD	Business start up Infrastructure development	Cities or County are eligible
CDBG Planning/Technical Assistance	Provides grants to be used for planning and feasibility studies related to public works, housing rehabilitation and construction, community facilities, public services and community development.	HCD	Planning technical assistance	Cities or County are eligible
California Self-Help Housing program	Provides grants to governmental agencies, nonprofit, and cooperatives to provide technical assistance to participants who are building their own residence. 10% simple interest loans made to sponsor organizations to assist with project development and construction.	HCD	New construction assistance Administration	Applied for by others
CalHOME	Loans and grants to local public agencies and nonprofit developers to assist individual households through deferred payment loans; direct, forgivable loans to assist development of projects involving multiple ownership units, including single-family subdivisions.	HCD	Acquisition Energy conservation Infrastructure development New construction single-family	County EDA, or applied for by nonprofit agencies
CHFA 501(c)(3) Preservation Mortgage Program	Provides 30-year term acquisition loans to nonprofit agencies for acquisition and refinance of existing assisted projects. Requires that 20% or more of the units be reserved for households with incomes below 50% of the County median.	California Housing Finance Agency (CHFA)	Acquisition Refinance	Applied for by others
CHFA Affordable Housing Partnership Program	Below market rate, long-term mortgage loans combined with purchase assistance for income eligible first-time homebuyers to purchase a single-family home. Eligible sales price varies by County and are the same as under the CHFA Single Family program.	California Housing Finance Agency	Acquisition Purchase homes	Applied for by others
CHFA Builder Lock (BLOCK)	Builder/developers may purchase forward commitments for permanent mortgage financing for CHFA eligible borrowers tied to their construction/marketing program at single-family developments.	California Housing Finance Agency	New construction of single-family and multifamily units	Applied for by nonprofits and for-profit organizations
CHFA California Home Ownership Assistance Program (CHAP)	Equity sharing mortgage participation loan whereby the state provides loans up to 49% of the purchase price of a home with the balance funded by a private lender.	California Housing Finance Agency	Housing assistance	Applied for by others
CHFA CHAP 100% Loan Program	Provides 100% of the financing needs of first-time homebuyers.	California Housing Finance Agency	Housing Assistance	Applied for on behalf of others
CHFA Bridge Loan Program	A second loan program designed to provide tax-exempt funds necessary to meet the 50% basis test required for 4% tax credits.	California Housing Finance Agency	Housing Assistance	Applied for by others

Chapter 8

Housing Element

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
CHFA HELP Program	To provide affordable housing opportunities through program partnerships with local government entities consistent with locality affordable housing priorities. Provides loans for acquisition, gap financing, construction, redevelopment and pre-development. Funds must be used to directly provide affordable housing units with minimum affordability term of 10 years.	California Housing Finance Agency	Acquisition Preservation of affordable units Rehabilitation	County of Riverside Housing Authority
CHFA Mobile Home Park Tenant Acquisition Program	Provides tax-exempt bond financing for tenant acquisition of mobile home parks in conjunction with the state Mobile Home Park Resident Ownership program and/or local government funding. Program is conjunction with Bank of America. Funds have been suspended at this time.	CHFA	Mobile home park purchase assistance	Applied for by others
DOE Energy Weatherization Assistance Program	Reduces the heating and cooling costs for low-income families by improving energy efficiency of their homes. Focuses on low-income seniors, individuals with disabilities, and families with children. Assistance includes: (1) in-home energy education; (2) energy-related home repairs; (3) blower door guided air sealing; (4) heat system safety tests, repair and tune; (5) duct insulation and sealing; (6) attic insulation; and (7) hot water savings measures.	California Department of Community Services and Development	Energy conservation Rehabilitation and repair	County of Riverside Department of Community Action
Emergency Housing Assistance Program	Each county receives a grant allocation. Eligible activities include operating facilities to provide emergency or transitional shelter acquisition, construction, expansion or rehabilitation, counseling, rental assistance, equipment purchases, and program costs.	HCD	Emergency shelter	County of Riverside DPSS
Family Housing Demonstration Program (FHDP)	An FHDP development has three components consisting of housing, supporting services which may include an on-site child care center, and a job training and development program. The program provides loans for gap financing—the future funding of which requires voter approval for bond issuance.	HCD	Acquisition New rental construction Rehabilitation	Applied for by others (nonprofit agencies – CVHC)
Farm Worker Housing Assistance program	Provides grants to public and private nonprofits to provide technical assistance to farm workers and farm worker housing agencies toward securing temporary or permanent housing.	Employment and Training Administration	Technical assistance and counseling	Applied for by others
Farm Worker Housing Grant Program	Provides loans, grants, down payment assistance and technical assistance to provide housing opportunities for agricultural households.	HCD	Acquisition New construction Rehabilitation Self-help housing	Applied for by others
State Emergency Shelter Grant program	Provides grants for rehabilitation and operation of emergency shelters.	HCD	Rehabilitation Operation	Applied for by others
Joe Serna Jr. Farm Worker Housing Grant Program	Provides owner-occupied and rental units for agricultural workers, with priority for lower-income households. Provides grants to assist development or rehabilitation of various types of housing projects for agricultural worker households. An affordability term of 40 years is required for new rental housing; an affordability term of 20 years is required for rehabilitation.	HCD	Acquisition Site development New construction and rehabilitation of rental units Mortgage writedowns	County EDA, or applied for by nonprofits

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Loan Packaging Program	To increase access to capital for low-income communities with a focus on financing housing at affordable rates and terms.	Low Income Housing Fund	Acquisition New construction Rehabilitation Homeless SRO/transitional housing Mobile home park purchase assistance	Applied for on behalf of others
LIHF Mortgage Banking Pools	Increases access to capital for low income communities. Provides bridge loans for tax credit purposes.	Low Income Housing Fund	New construction Rehabilitation Transitional/SROs Self-help housing	Applied for by others
Low Income Home Energy Assistance Program (LIHEAP)	The LIHEAP block grant is funded by the Department of Health and Human Services and provides financial assistance and home weatherization. This is accomplished through three components: (1) the Weatherization Program which provides free weatherization services to improve the energy efficiency of homes including attic insulation, weather stripping, minor housing repairs, and related conservation measures; (2) the Home Energy Assistance Program (HEAP) which provides financial assistance to eligible households to offset the costs of heating or cooling dwellings; and (3) the Energy Crisis Intervention Program which provides payments for weather-related emergencies.	California Department of Community Services and Development	Financial assistance Energy conservation	County of Riverside Department of Community Action
Low Income Housing Tax Credit Program	To encourage low-income housing production and provide lower rents by offering a federal and state income tax credit based on the cost of acquiring, rehabilitating, or constructing low-income housing. Terms of affordability are for 55 years. Construction and permanent financing are required from other sources.	State Tax Credit Allocation Committee	Acquisition New construction and rehabilitation of rental units Preservation of affordable housing SROs	Applied for by others
Mobile Home Park Resident Ownership Program	Provides acquisition loans and construction/rehabilitation loans for purchase of mobile homes parks by resident organizations, as well as down payment assistance and rent subsidies.	HCD	Mobile home park purchase assistance Acquisition of mobile home parks	Applied for by others
Mobile Home Park Resident Ownership Program	Technical assistance to mobile home park organizations and low interest loans for conversion or acquisition.	HCD	Housing assistance Supportive services/technical assistance Administration	Applied for by others
Multifamily Low Income Housing Program	Program provides tax-exempt bond financing for a variety of projects, such as for multifamily and seniors, representing direct benefits to cities.	California Statewide Communities Development Authority	Acquisition New rental construction Rental rehabilitation	Applied for by others

Housing Program	Program Intent/Description	Funding Source ¹	Eligible Activities	Sponsor
Proposition 84 Office of Migrant Services	Uses general obligation bonds to fund new construction or conversion and rehabilitation of existing facilities to migrant housing. Provides loans, grants, gap financing and assistance.	HCD	Acquisition New construction and rehabilitation of rental housing	Applied for on behalf of others
Multifamily Housing Program	New construction/rehabilitation, or acquisition and rehabilitation of permanent or transitional rental housing, and the conversion of non-residential structures to rental housing.	HCD	Acquisition New construction and rehabilitation of rental housing Preservation of affordable housing Transitional housing/SROs	Applied for by others
Preservation Financing Program	Provides tax-exempt financing for the acquisition or refinancing of projects with expiring Section 8 contracts that would opt out of subsidy contracts.	CHFA	Acquisition Preservation of affordable housing	Applied for by others (nonprofits)
Rural Seed Money Loan programs	HAC operates a number of revolving loan funds to provide seed money for rural housing and development projects intended to benefit very low- and low-income persons.	State Housing Assistance Council (HAC)	Acquisition Infrastructure New construction Rehabilitation Preservation of affordable housing Self-help housing	Applied for by others
Surplus Land Priority Sale	California Government Code requires that a 60-day advance notice priority be given in the sale or lease of excess properties to sponsors or government agencies that would develop low- and moderate-income housing.	California Department of Transportation	Land acquisition New construction	Applied for by others or County
Surplus Property Sale	Program allows for a 30-day period during which agencies wishing to purchase land for park, open space, or low- and moderate-income housing can have priority over other purchasers.	California Department of Water Resources	Land acquisition New construction	Applied for by others or County
Tax-Exempt Affordable Mortgage Program	Provides bond-financed fixed-rate mortgages for 30 to 40 years to developers of housing that have at least 20% of the units occupied and affordable to households making less than 50% of the County median.	CHFA	Acquisition New construction and rehabilitation of rental units	Applied for by others (nonprofits, for-profits and public housing agencies)

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Tax-Exempt Private Activity Bond Program	CDLAC administers the tax-exempt private activity bond program available annually for California. The bonds issued are purchased by the private sector and the repayment is not an obligation of the state or federal government. Agencies and organizations authorized to issue tax-exempt private activity bonds must receive an allocation from CDLAC. Two programs apply to housing: (1) Multifamily Rental Housing: State and local agencies can issue tax-exempt housing revenue bonds to assist developers of multifamily rental housing units acquire land and construct new projects or purchase and rehabilitate existing units. (2) Single Family Housing: State and local agencies can issue tax-exempt mortgage revenue bonds to fund mortgages for homebuyers. The tax-exempt source of funds reduces the interest rate paid by purchasers by approximately 1% or more depending on current market conditions.	California Debt Limit Allocation Committee (CDLAC)	New construction or rehabilitation of rental units Acquisition and rehabilitation of rental units Homeowner assistance	County of Riverside through the state (for MCC program)
Private Resources				
Affordable Housing Program	Provides grants or subsidized interest rate loans for purchase, construction, or rehabilitation of owner-occupied housing by very low-, low-, and moderate-income households and/or to finance the purchase, construction, or rehabilitation of rental housing.	Federal Home Loan Bank of San Francisco	Acquisition Homeless and transitional facilities Mobile home park purchase assistance New construction Rehabilitation Self-help housing	Applied for by others
Bridge Financing program	Provides bridge financing for tax credit projects.	Rural Community Assistance Corporation	New rental housing	Applied for by others
CRA Lending	Includes tax credit, Affordable Housing Program, and permanent loans for housing and community development.	SAMCO	Homeless and transitional housing New rental units Multifamily rehab	Applied for by others
Adtech.net	Grants for down payment assistance for first time homebuyers.	Adtech	Housing Assistance	Applied for by others
Bridge Loan Program	Provide a bridge loan to provide flow of funding between project closing and equity pay-ins by tax credit investors. To be used with tax credit projects by nonprofit organizations.	Local Initiatives Managed Assets Corp.	Rehabilitation Acquisition New rental construction	Applied for by others
California Community Reinvestment Corporation	Nonprofit mortgage banking consortium that pools resources through a revolving blind loan pool to reduce lender risk in financing affordable housing. Provides long-term debt financing for affordable single-family and multifamily housing, acquisition, preservation, and rehabilitation.	California Community Reinvestment Corporation	Acquisition	Applied for by others

Chapter 8

Housing Element

Housing Program	Program Intent/Description	Funding Source'	Eligible Activities	Sponsor
Community Development Finance Department	Department will address the credit needs of low- and moderate-income families by providing real estate-related credit products. Provides construction/rehab loans.	Union Bank of California, NA	Acquisition Infrastructure development New construction Rehabilitation Self-help housing	Applied for by others
House America	Program provides affordable residential lending for low- and moderate-income individuals.	Countywide Home Loans	Acquisition	Applied for by others
Mercy Loan Fund	Makes loans to projects in which conventional financing is not available or not affordable and promotes innovative and effective financing arrangements.	Mercy Loan Fund	New construction Rehabilitation Acquisition	Applied for by others
Neighborhood Housing Services (NHS)	NHS is a three-way partnership among neighborhood residents, local government, and local businesses. NRG provides direct technical assistance, expendable grants and capital grants to NHS, which makes loans for rehabilitation.	Neighborhood Reinvestment Group (NRG)	Rehabilitation Energy conservation Community Services/facilities	Applied for by others
Nonprofit Program	Program purchases loans from lenders, such as community loan funds, community development financial institutions, and commercial banks, so that lenders can recycle loan funds to increase the development or acquisition of low- and moderate-income housing.	Local Initiatives Managed Assets Corporation	New construction and rehabilitation of rental units Preservation of affordable housing Homeless/SRO and transitional housing Mobile home park purchase assistance	Applied for by others
Permanent Loan Program	Program provides 10- and 15-year fully amortized loans.	Rural Communities Assistance Corp.	Acquisition Community facilities Mobile home park purchase assistance New construction and rehabilitation of rental units SROs Public works	Applied for by others
Pre-development/ Construction Loan Program	A revolving loan fund making loans at below market rates to finance a multitude of activities related to general housing and community facility projects.	Rural Communities Assistance Corp	See above New construction/ rehabilitation of single-family units Infrastructure Self-help housing	Applied for by others

Housing Program	Program Intent/Description	Funding Source ¹	Eligible Activities	Sponsor
Self Help Housing Program	Program provides technical assistance to individuals participating in self-help housing.	Self-Help Enterprises	Technical assistance	Applied for by others
Southern California Gas Company – Direct Weatherization Program	Contracts with the Riverside County Department of Community Action to provide funds for assistance to low-income households for weatherization measures and energy-efficiency measures including such actions as weather stripping, water heater wrapping, installation of low-flow shower heads, and others specific to individual needs.	Southern California Gas Company	Energy conservation	County of Riverside Department of Community Action
WorldBRIDGE Initiative	Provides lower interest construction financing for affordable or mixed-income rental housing or affordable home ownership through a consortium of World Savings/Calera/Wells Fargo Bank of America.	Bridge Housing Corp.	New construction SROs	Applied for by others

Source: Riverside County, 2013

Quantified Objectives

State Housing Law requires that each jurisdiction establish the maximum number of housing units that will be constructed, rehabilitated, and preserved over the planning period. The Quantified Objectives for the Housing Element reflect the planning period from January 1, 2014 through October 1, 2021.

It is important to note that while the Quantified Objectives are required to be part of the Housing Element and the County will strive to obtain these objectives, the County cannot guarantee that these needs will be met given limited financial and staff resources, the current development climate in the county, and the changing gap in the affordability of housing resources and incomes. Satisfaction of the County's share of regional housing needs will depend heavily on the cooperation of private funding sources and developers, as well as resources of the state, federal, and County programs that are used to support the needs of the lower-income and special needs households. Additionally, outside economic forces heavily influence the housing market. Current economic challenges have chilled much of the activity in the new housing market. The Quantified Objectives assume optimum conditions for the production of housing; however, environmental, physical, and market conditions exert influence on the timing, type, and cost of housing production in a community. State law recognizes that a locality may not be able to accommodate its regional fair share housing need.

New Construction

Table H-61 contains the quantified objectives that will be used as guidelines toward meeting the County of Riverside's new construction objectives for the planning period, inclusive of 2014–2021, and compares them to the fair share established by the RHNA.

Quantified objectives for new construction are based on the following factors and assumptions:

- County records of units completed between 2008 and 2013.
- Entitled projects either under construction or awaiting Board of Supervisors review and approval, or projects which have been the subject of negotiation with the County but for which permits are pending.
- Potential projects for which builder, developers, or nonprofit entities have expressed interest in pursuing but no activity in terms of filing permit applications, or negotiations with the County, have occurred at this point.
- Potential units established as targets by the 2013–2021 Action Plan utilizing federal, state, or local funding options, such as senior units and multifamily units utilizing multifamily revenue bonds, federal funding, CHFA, or tax credit financing assistance obtained by others, or transitional/permanent housing facilities.
- Potential market rate units (with yet undetermined builders, developers, or other entities), located primarily within adopted specific plans, based on past development trends.

Rehabilitation/Conservation

The County's Housing Rehabilitation Programs (RHRP and CHRP) for single-family and mobile home units, the Minor and Enhanced Senior Home Repair programs, the CDBG Housing Loan Fund, the Mobile Home Tenant Assistance Program, the Mobile Home Park Assistance Loan program, the Agricultural Housing Loan program, and multifamily rehabilitation projects utilizing HOME will address the rehabilitation of housing units owned

and/or rented to lower-income households in the County. It is assumed that the majority of moderate- and above-moderate income households will rehabilitate units as needed through private efforts

Preservation

Currently, there are no units at-risk units of converting to market rate over the next 10-years.

Table H-61 Quantified Objectives 2014 – 2021

Unit Type/Description	# Units		Income Levels				
	Incorp.	Unincorp	EL	Very Low	Low	Mod	Above Mod
New Construction							
Single Family Affordable/Assisted							
Nuestro Orgullo Self Help Homes, Mecca		291		44	39	208	
Tierra Bonita Self Help Homes, Coachella	39				39		
Perris Single-Family Homes, Perris	2				2		
Canal Street Homes, Jurupa Valley	2				2		
Mustang Lane Infill Housing Project, Jurupa Valley	5				5		
Jurupa Valley CalVet REN Community, Jurupa Valley	26				26		
<i>Subtotal Single-Family Affordable</i>	74	291		44	113	208	
Multi-Family Affordable/Assisted							
Paseo de los Heroes III, Mecca		81		80			
Villa Hermosa Phase 2, Indio	68			67			
Vista Rio Apartments Phase I, Jurupa Valley	39		5	17	16		
March Veterans Village Apartments, JPA	138			118	18		
Illinois Avenue Apartments, Beaumont	38			18	19		
Madera Vista Apartments, Temecula	30			8	21		
Mission Gateway Villas, Jurupa Valley	68		18	49			
Veterans Village of Cathedral City	60		38	21			
Wildomar Apartments, Wildomar	204				202		
Vista Montana Apartments, Coachella	80				79		
Oasis Villas Phase I (Middleton), Thermal		51			50		
Oasis Villas Phase II (Middleton), Thermal		51			50		
Villa Verde Apartments Phase I (Calle Verde), Coachella	85		9	75			
Villa Verde Apartments Phase II (Calle Verde), Coachella	68		7	60			
<i>Subtotal Multi-Family Affordable</i>	878	183	77	513	455	0	0
Mobile Homes & Parks Affordable/Assisted							
Bravo Mobile Home Park Phase 2	12				12		
Mountain View Estates Phase 2	120			80			
<i>Subtotal Mobile Home Affordable</i>	132			80	12		
Total New Construction:	1,084	474	77	637	580	208	0

Chapter 8 Housing Element

Unit Type/Description	# Units		Income Levels				
	Incorp.	Unincorp	EL	Very Low	Low	Mod	Above Mod
Rehabilitation/Preservation							
Senior Home Repair Programs		34		34			
Total Rehabilitation/Preservation		34		34			
Assistance							
Mortgage Credit Certificate (MCC) Program	190		1	30	159		
MCC projected	84				84		
First Time Homebuyers (FTHB) Program	61	8		4	61	4	
FTHB projected	140				140		
Down Payment Assistance Program (DPAP)		30		15	15		
Tenant Based Rental Assistance (TBRA)	118		48	70			
TBRA projected	70			70			
Security Deposit Assistance (SDA) Program	452	41	318	160			
SDA projected	500		300	200			
Total Assistance	1,615	79	667	549	459	4	
Total All Units	2,699	587	744	1,220	1,039	212	0

Source: Riverside County, 2017

APPENDIX P1-A – AREA PLAN MAPS

**EASTERN COACHELLA VALLEY
AREA PLAN**



LIVERMORE COUNTY
PLANNING DEPARTMENT

**Supervisor Benoit
Supervisor District 4
Eastern Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

Proposed HHDR(Highest
Density Residential) or
MUA(Mixed-Use Area)
Neighborhoods

Supervisor District

Roads

Area Plans

Medium Density Residential

Commercial Retail

Business Park

Rural Residential

Agriculture

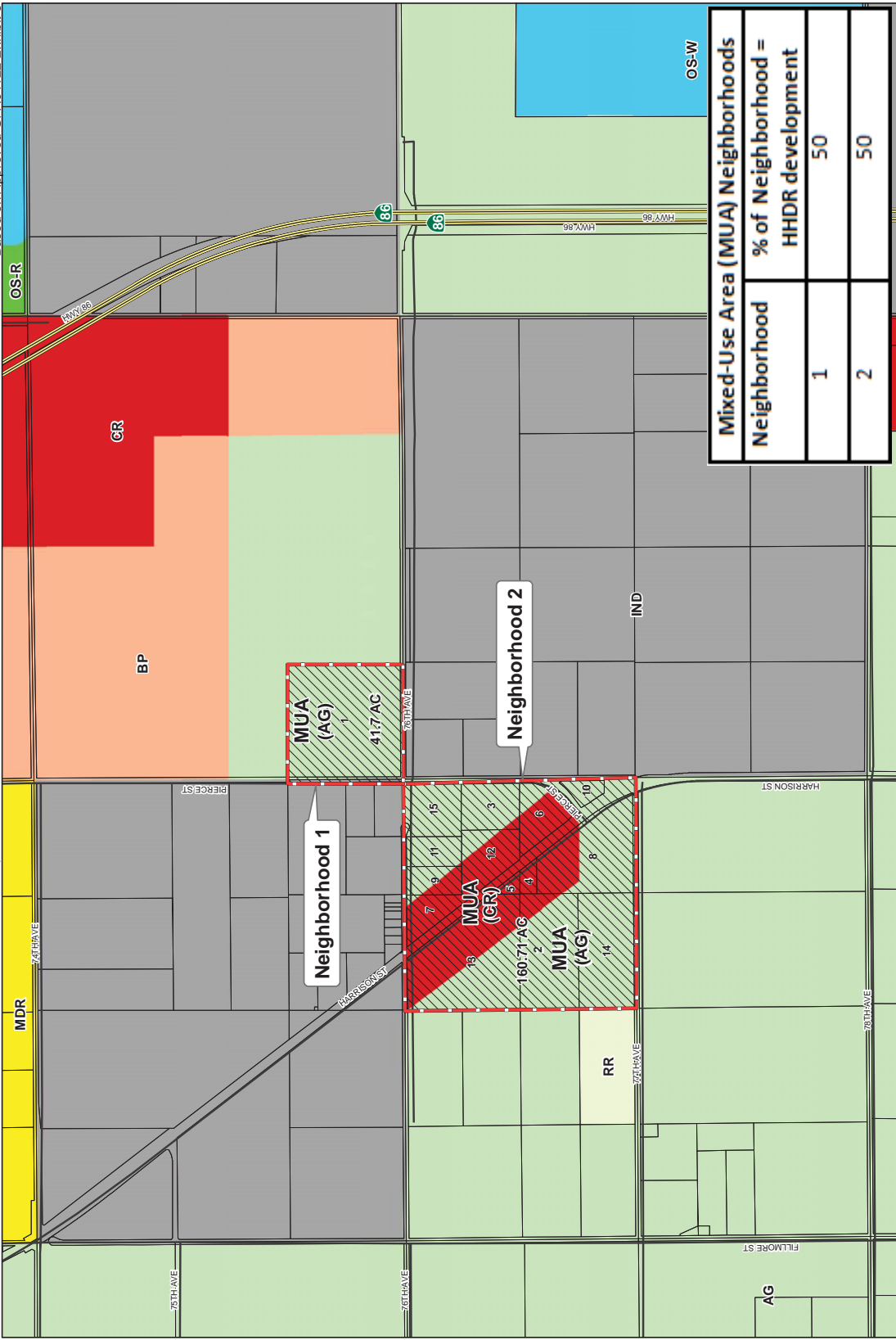
Open Space Recreation

Water

Indian Lands

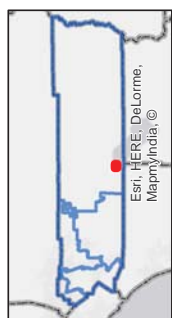
Oasis Town Center GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



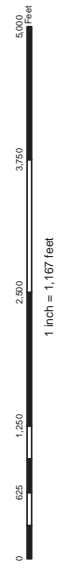
Mixed-Use Area (MUA) Neighborhood	% of Neighborhood = HHDR development
1	50
2	50

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©
surveying or engineering standards. The County of Riverside makes no
warranty or guarantee as to the content (this source is often third party),
accuracy, timeliness, or completeness of any of the data provided, and
any use of this product with respect to accuracy and precision shall be the
sole responsibility of the user.

Zoning District: Lower Coachella Valley District





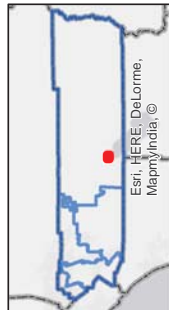
LIVERMORE COUNTY
PLANNING DEPARTMENT

Supervisor Benoit
Supervisory District 4
Eastern Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area)
Neighborhoods

- Supervisory District
- Roads
- PARCELS
- Rail Roads
- Water
- Area Plans
- Very Low Density Residential
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Very High Density Residential
- Commercial Retail
- Commercial Tourist
- Community Center
- Light Industrial
- Rural Residential
- Agriculture
- Water
- Indian Lands

December 6, 2016

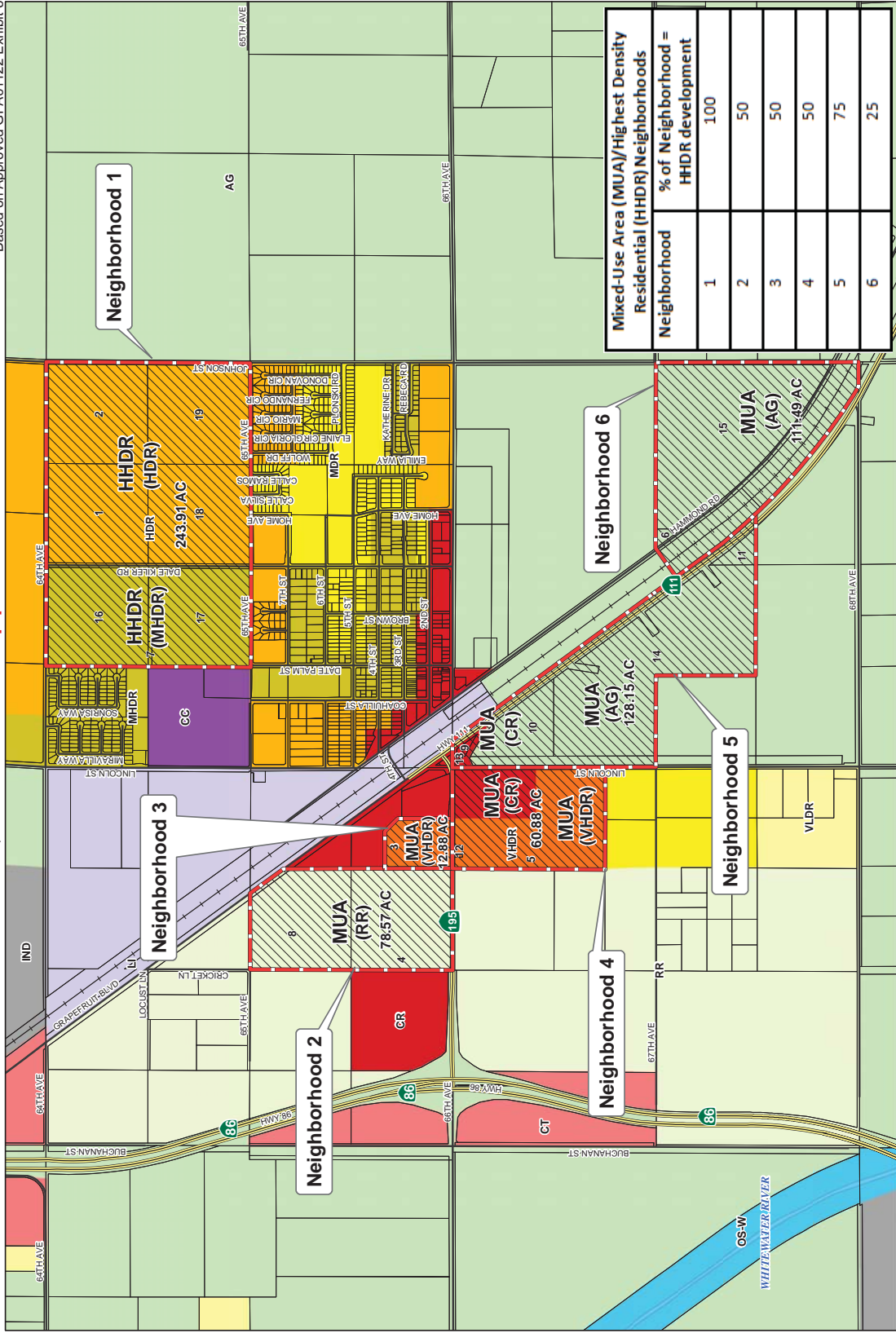


Esri, HERE, DeLorme,
MapmyIndia, ©

Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

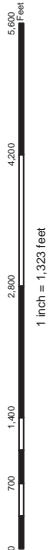
Mecca Town Center GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Neighborhood	Mixed-Use Area (MUA)/Highest Density Residential (HHDR) Neighborhoods	% of Neighborhood = HHDR development
1		100
2		50
3		50
4		50
5		75
6		25

Zoning District: Mecca District

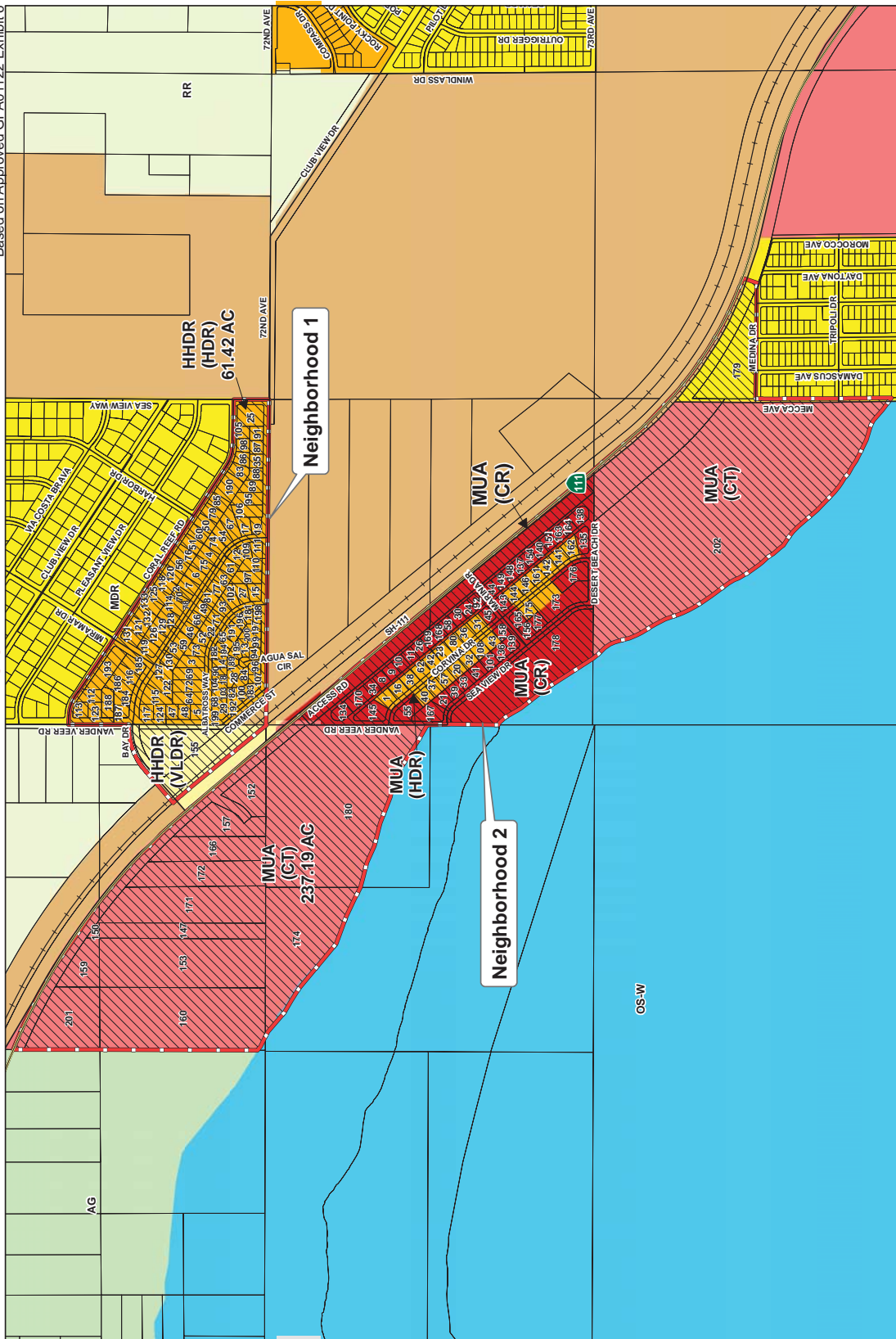




LIVERMORE COUNTY
PLANNING DEPARTMENT

North Shore Town Center GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6

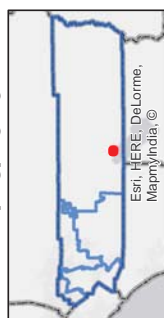


**Supervisor Benoit
Supervisory District 4
Eastern Coachella
Valley Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

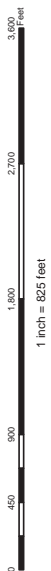
- Roads
- Supervisory District
- Parcels
- Rail Roads
- Area Plans
- Very Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial Retail
- Commercial Tourist
- Rural Residential
- Rural Desert
- Agriculture
- Water

12/29/2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©
warranty or guarantee as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Zoning District: Lower Coachella Valley District





RIVERSIDE COUNTY
PLANNING DEPARTMENT

Supervisor Benoit
Supervisor District 4
Eastern Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest
Density Residential)
MUA (Mixed-Use Area)
Neighborhoods

Airports

Runways

Supervisor District

Roads

Parcels

Rail Roads

Water

Chutes

Area Plans

Rural Community - Estate
Density Residential

Rural Community - Low Density
Residential

Medium Density Residential

Medium High Density
Residential

High Density Residential

Commercial Retail

Commercial Tourist

Light Industrial

Heavy Industrial

Business Park

Public Facilities

Rural Residential

Agriculture

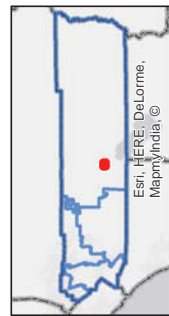
Conservation

Open Space Recreation

Water

City

December 6, 2016



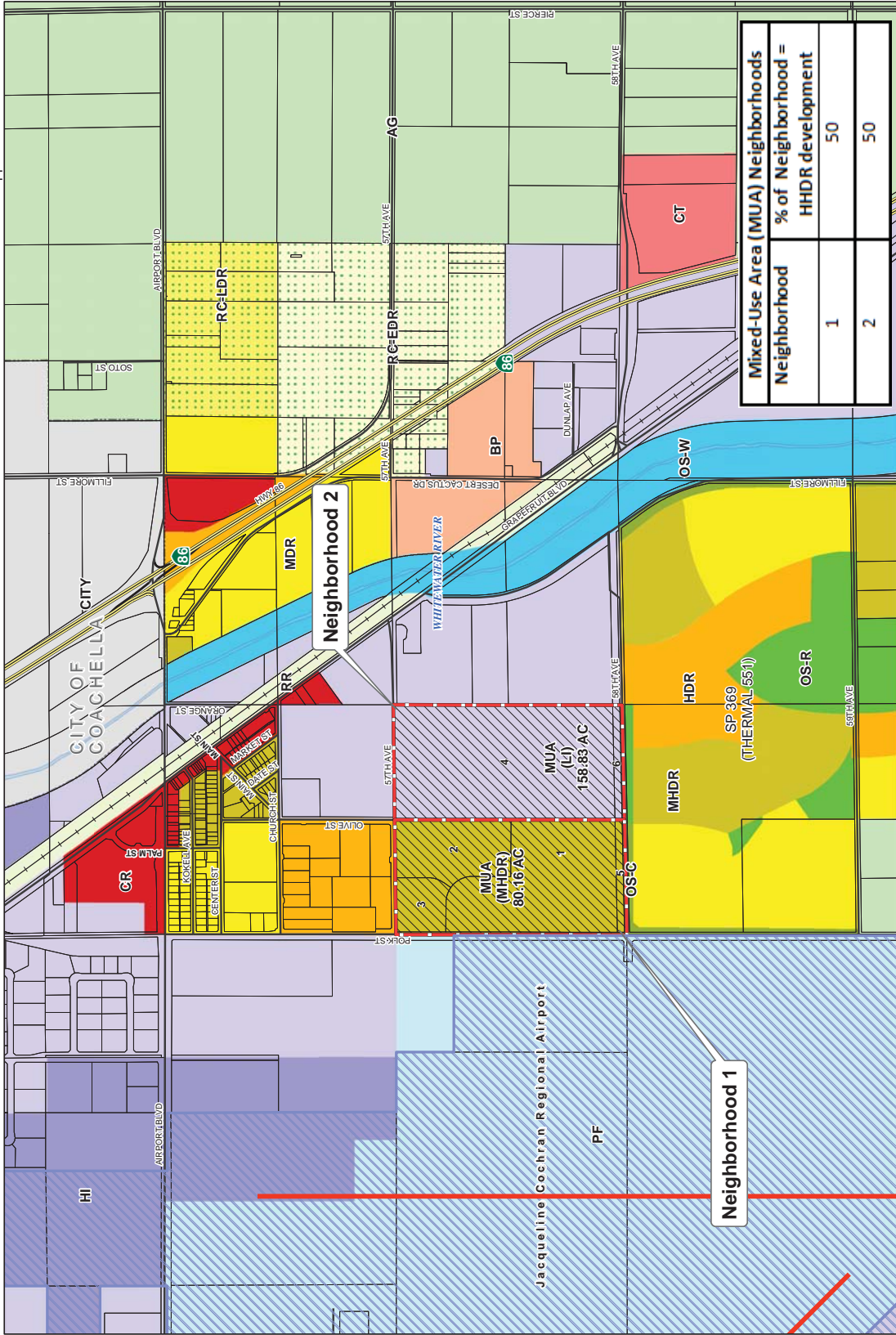
Esri, HERE, DeLorme,
MapmyIndia, ©

Disclaimer: Maps and data are to be used for reference purposes only. Riverside County Planning Department makes no warranty or guarantee as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Thermal Town Center

GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood HHDR development
1	50
2	50

Zoning District: Lower Coachella Valley District



**ELSINORE
AREA PLAN**



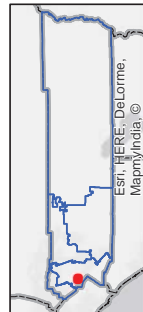
LIVERDALE COUNTY
PLANNING DEPARTMENT

**Supervisor Jeffries
Supervisory District 1
Elsinore Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

**Proposed
HHDR (Highest
Density Residential)
or MUA (Mixed-Use
Area) Neighborhoods**

- Roads
- Supervisory District
- Parcels
- Area Plans
- Specific Plan
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Very High Density Residential
- Commercial Retail
- Commercial Tourist
- Light Industrial
- Rural Residential
- Rural Mountainous
- Conservation
- Conservation Habitat
- Open Space Recreation
- Open Space Rural
- Water
- Freeway

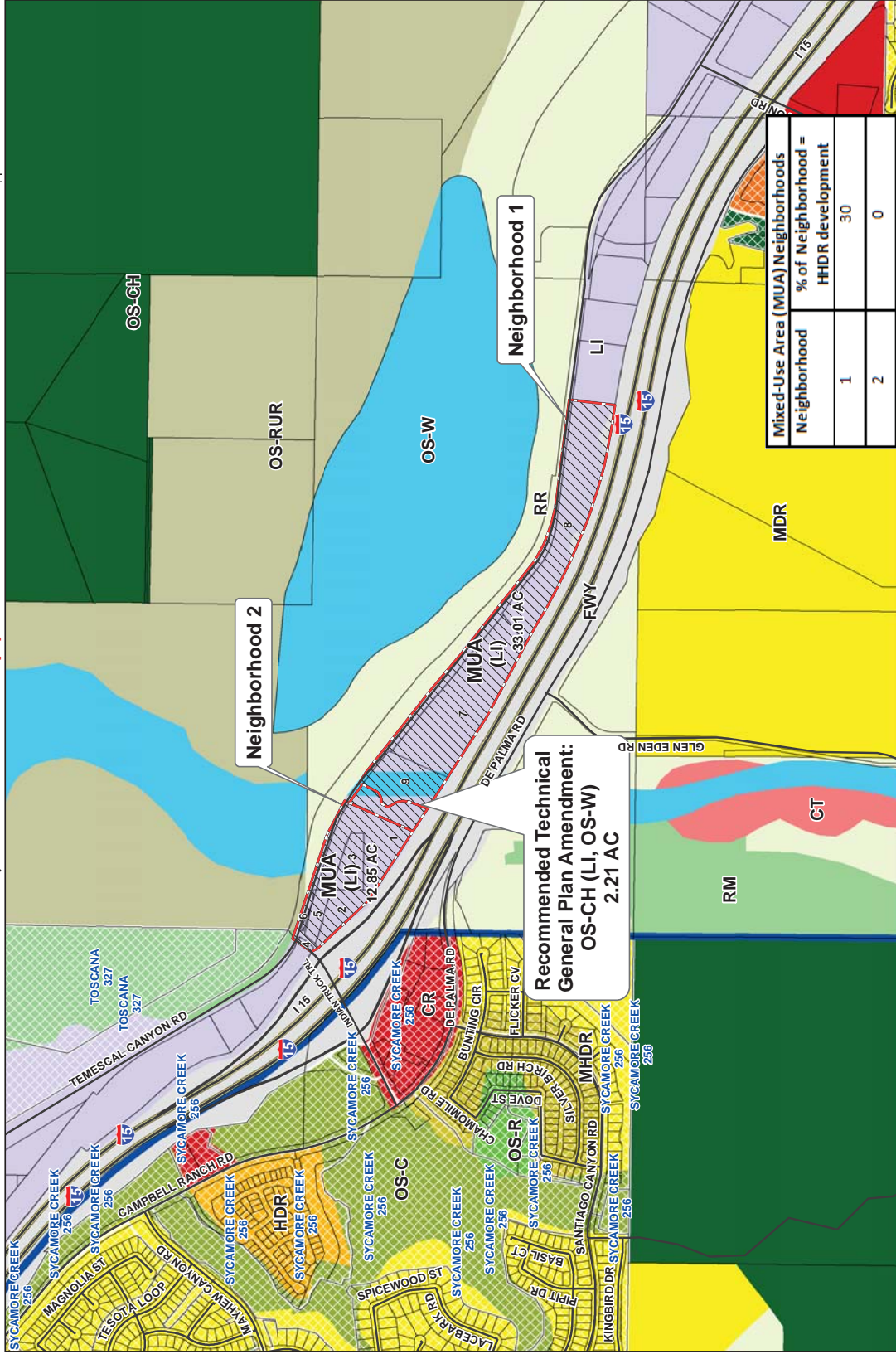
December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy, and precision shall be the sole responsibility of the user.

Lee Lake Community GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Zoning District: Temescal Area





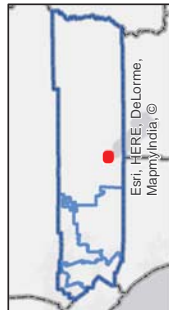
LIVERMORE COUNTY
PLANNING DEPARTMENT

Supervisor Benoit
Supervisory District 4
Eastern Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area)
Neighborhoods

- Supervisory District
- Roads
- PARCELS
- Rail Roads
- Water
- Area Plans
- Very Low Density Residential
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Very High Density Residential
- Commercial Retail
- Commercial Tourist
- Community Center
- Light Industrial
- Rural Residential
- Agriculture
- Water
- Indian Lands

December 6, 2016

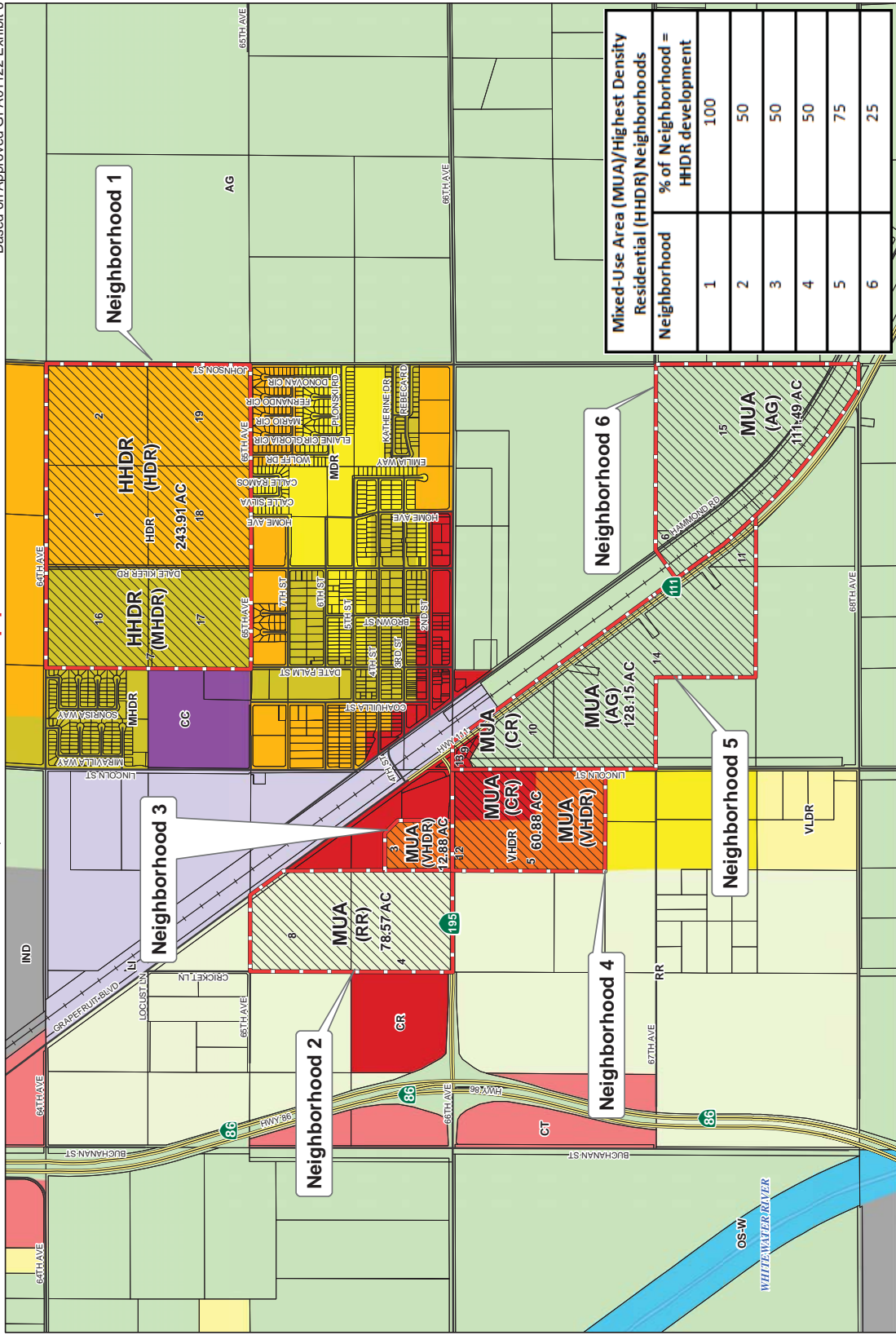


Esri, HERE, DeLorme,
MapmyIndia, ©

Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Mecca Town Center GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Neighborhood	Mixed-Use Area (MUA)/Highest Density Residential (HHDR) Neighborhood	% of Neighborhood = HHDR development
1		100
2		50
3		50
4		50
5		75
6		25

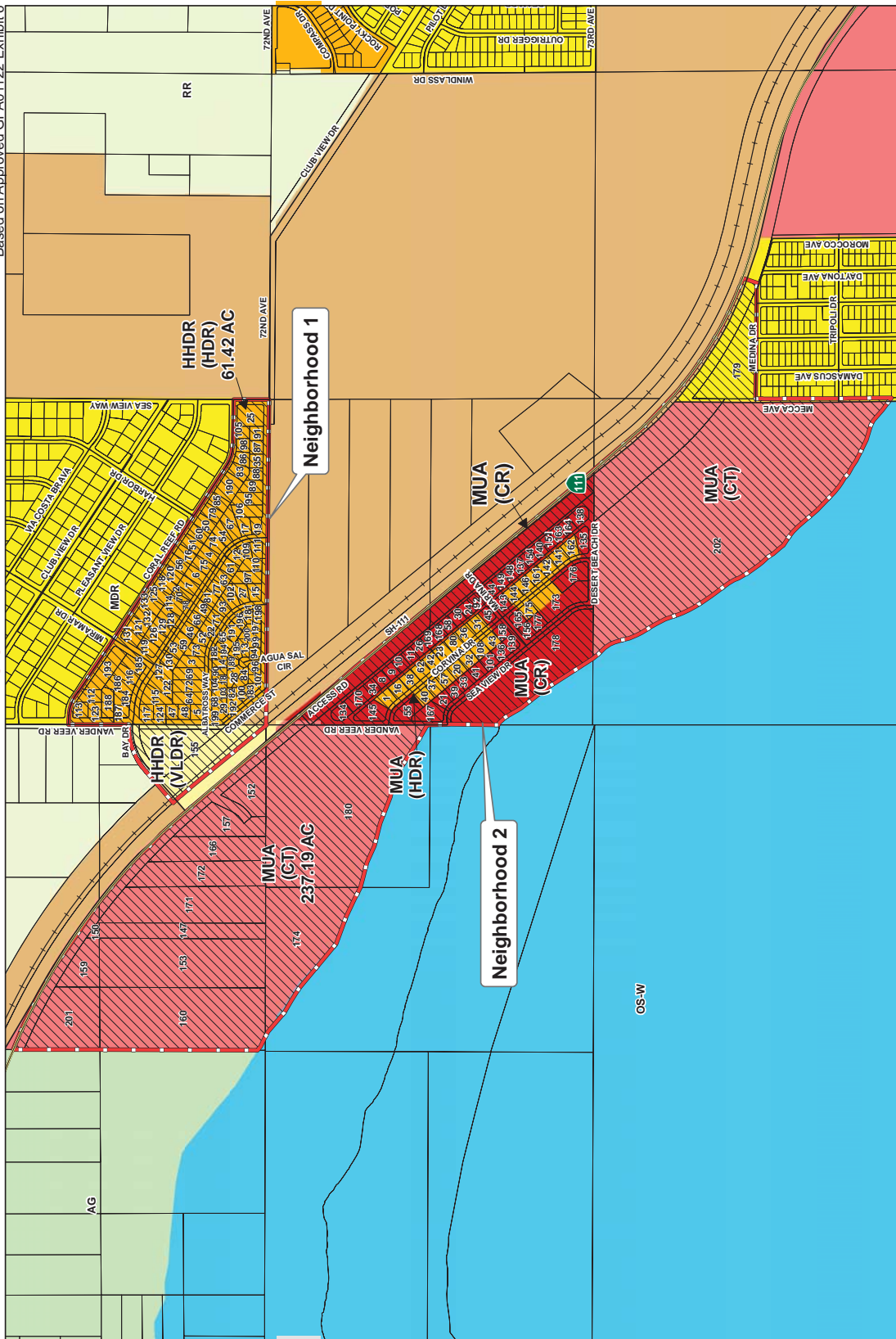
Zoning District: Mecca District





North Shore Town Center GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6

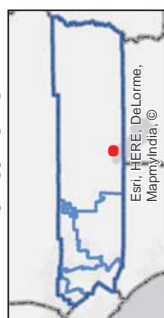


**Supervisor Benoit
Supervisory District 4
Eastern Coachella
Valley Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

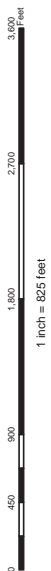
- Roads
- Supervisory District
- Parcels
- Rail Roads
- Area Plans
- Very Low Density Residential
- Medium Density Residential
- High Density Residential
- Commercial Retail
- Commercial Tourist
- Rural Residential
- Rural Desert
- Agriculture
- Water

12/29/2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©

Zoning District: Lower Coachella Valley District





RIVERSIDE COUNTY
PLANNING DEPARTMENT

Supervisor Benoit
Supervisor District 4
Eastern Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest Density Residential) Neighborhoods

MUA (Mixed-Use Area)

Neighborhoods

Airports

Runways

Supervisor District

Roads

Parcels

Rail Roads

Water

Chutes

Area Plans

Rural Community - Estate Density Residential

Rural Community - Low Density Residential

Medium Density Residential

Medium High Density Residential

High Density Residential

Commercial Retail

Commercial Tourist

Light Industrial

Heavy Industrial

Business Park

Public Facilities

Rural Residential

Agriculture

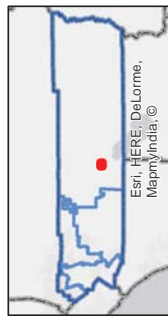
Conservation

Open Space Recreation

Water

City

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©

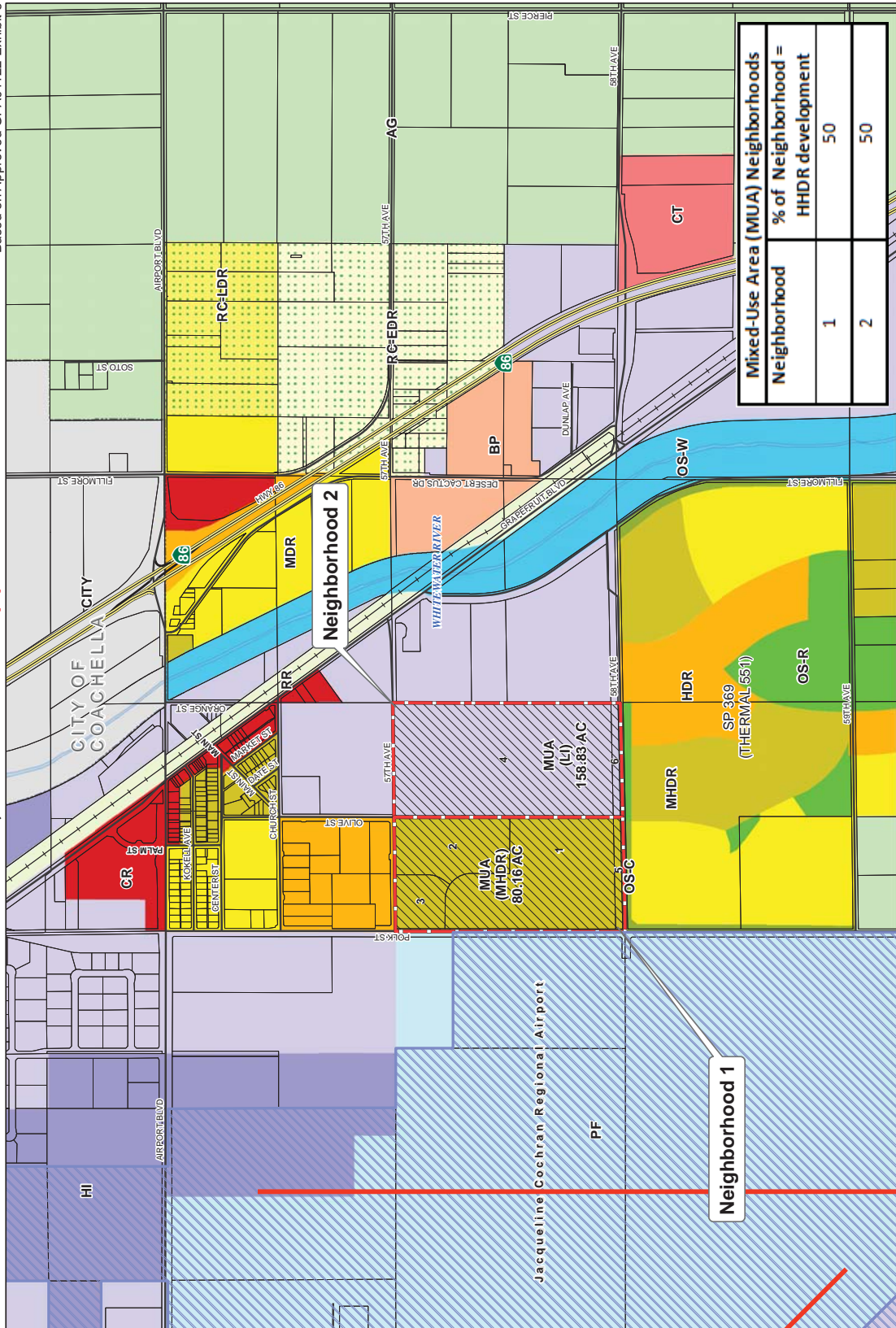
surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and

Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Thermal Town Center

GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood HHDR development
1	50
2	50

Zoning District: Lower Coachella Valley District



1 inch = 1,167 feet





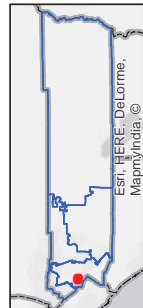
LIVERDALE COUNTY
PLANNING DEPARTMENT

**Supervisor Jeffries
Supervisory District 1
Elsinore Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

**Proposed
HHDR (Highest
Density Residential)
or MUA (Mixed-Use
Area) Neighborhoods**

- Roads
- Supervisory District
- Parcels
- Area Plans
- Specific Plan
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Very High Density Residential
- Commercial Retail
- Commercial Tourist
- Light Industrial
- Rural Residential
- Rural Mountainous
- Conservation
- Conservation Habitat
- Open Space Recreation
- Open Space Rural
- Water
- Freeway

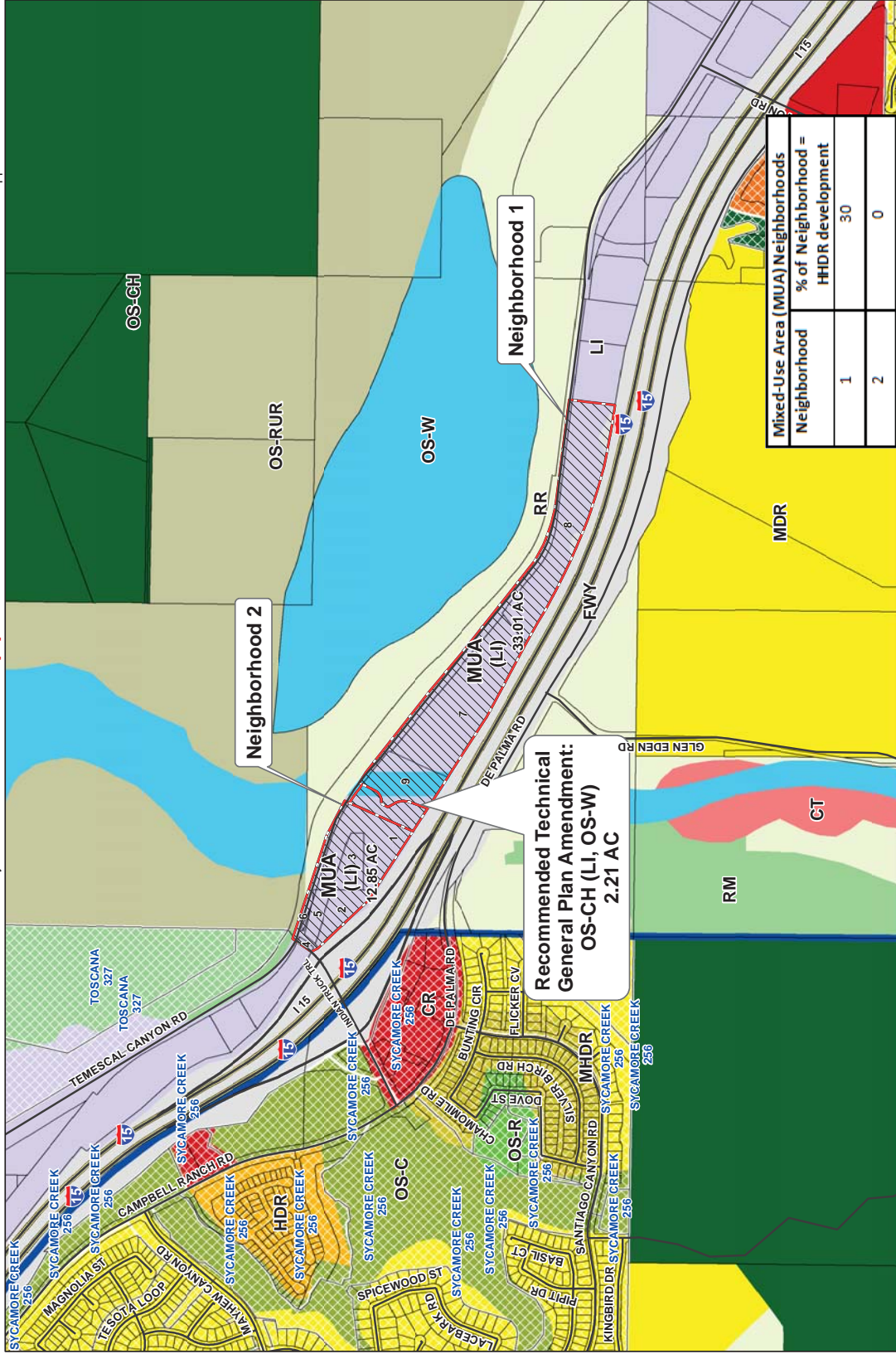
December 6, 2016



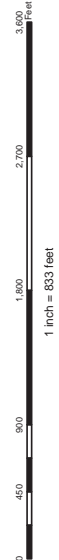
Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Lee Lake Community GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Zoning District: Temescal Area





RIVERSIDE COUNTY
PLANNING DEPARTMENT

Meadowbrook Town Center

GPA 01122, CZ 07902 : Approved General Plan

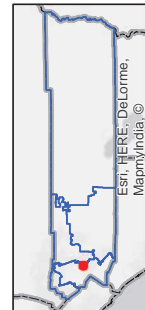
Based on Approved GPA01122 Exhibit 6

**Supervisor Jeffries
Supervisory District 1
Elsinore Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

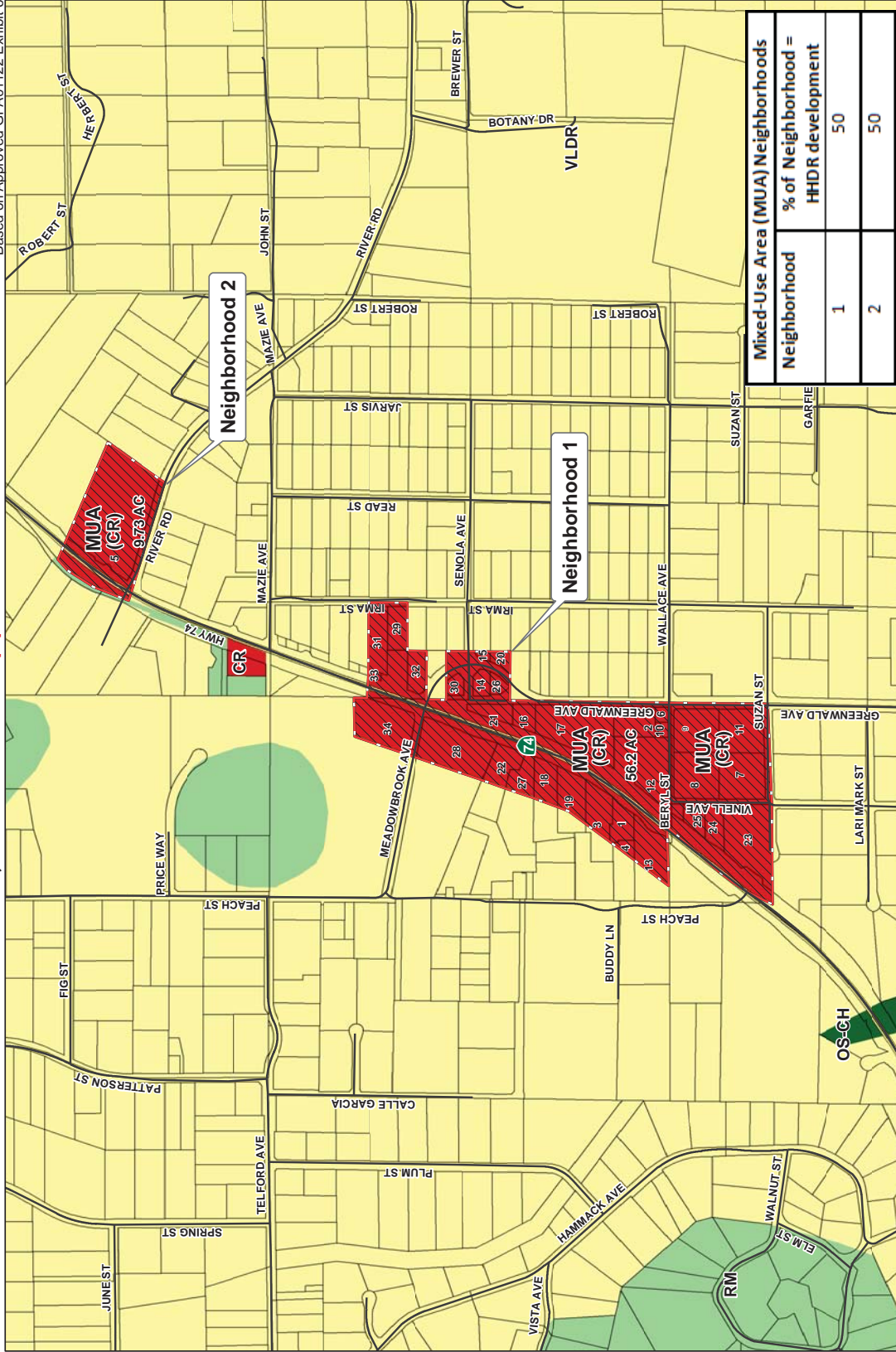
Proposed HHDR (Highest Density Residential or Mixed-Use Area)
Neighborhoods

- Roads
- Supervisory District
- Parcels
- Area Plans
- Very Low Density Residential
- Commercial Retail
- Rural Mountainous
- Conservation Habitat

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood HHDR development
Neighborhood 1	50
Neighborhood 2	50

Zoning District: Meadowbrook District & Area



**HARVEST VALLEY/WINCHESTER
AREA PLAN**



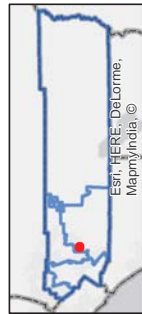
Supervisor Washington
Supervisory District 3
Harvest Valley/Winchester
Area Plan

Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR
(Highest Density Residential) or
MUA (Mixed-Use Area) Neighborhoods

- Roads
- Rail Roads
- Supervisory District
- River
- PARCELS
- Area Plans
- Specific Plan
- Rural Community-Estate Density Residential
- Very Low Density Residential
- Low Density Residential
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Commercial Retail
- Light Industrial
- Public Facilities
- Rural Mountainous
- Conservation
- Conservation Habitat
- Open Space Recreation

December 6, 2016

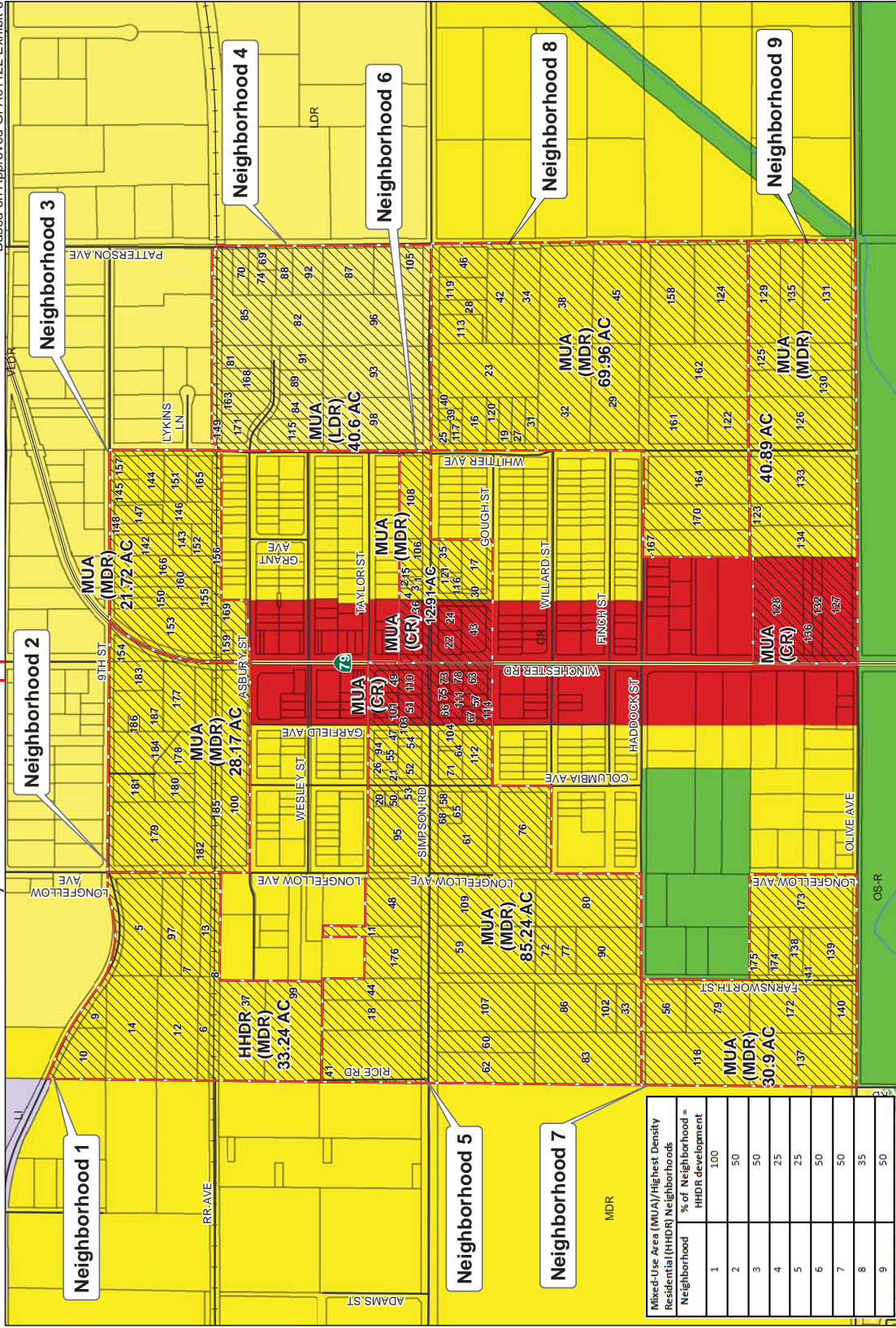


Disclaimer: Maps and data are to be used for reference purposes only.
surveying or engineering standards. The County of Riverside makes no
warranty or guarantee as to the content (this source is often third party),
accuracy, timeliness, or completeness of any of the data provided, and
any use of this product with respect to accuracy and precision shall be the
sole responsibility of the user.

Winchester Town Center

GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



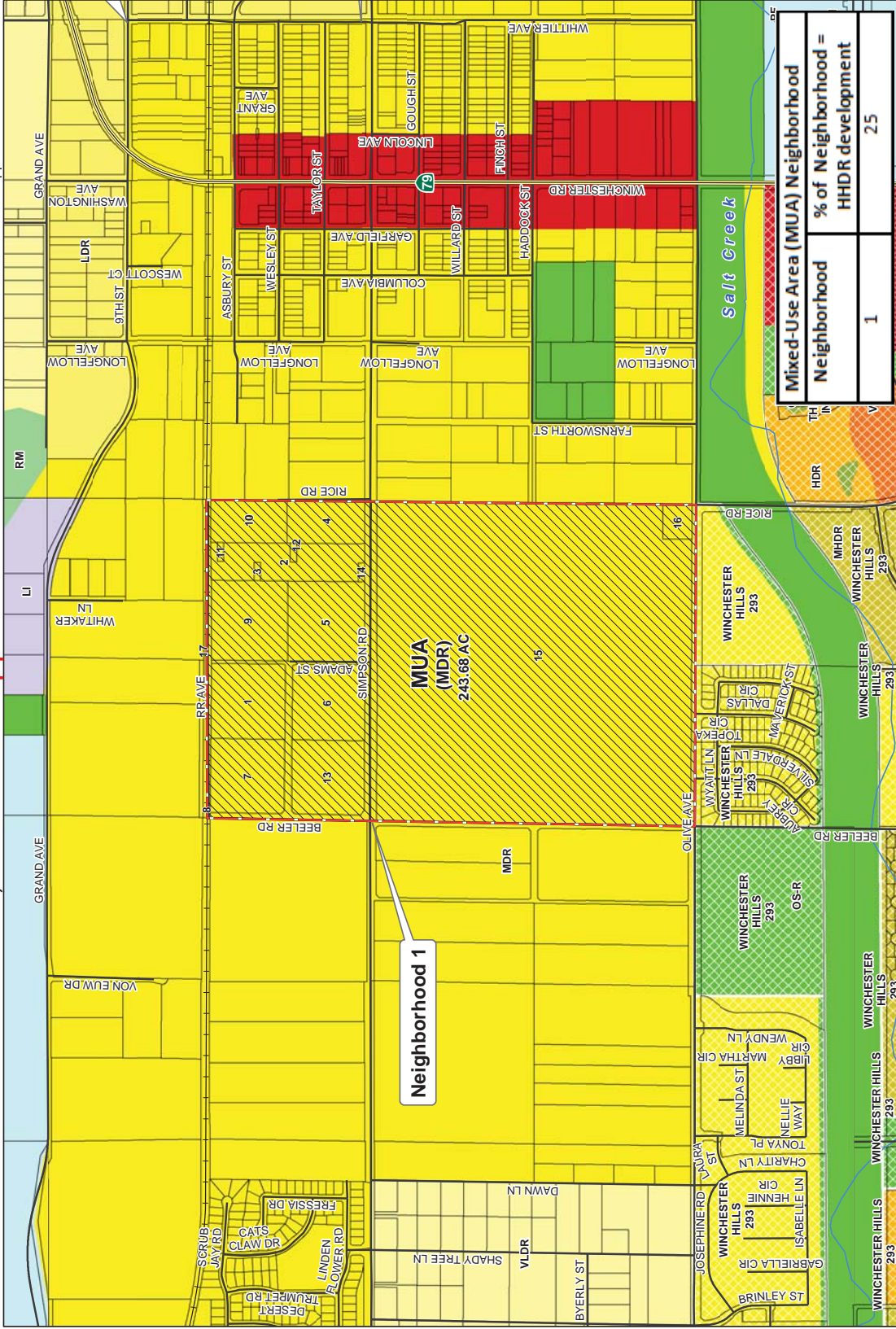
Mixed-Use Area (MUA)/Highest Density Residential (HHDR) Neighborhood	% of Neighborhood = HHDR development
1	100
2	50
3	50
4	25
5	25
6	50
7	50
8	35
9	50

Zoning District: Winchester Area

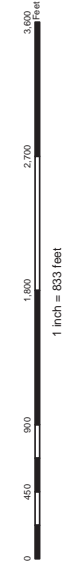


Winchester Community (Western Area) GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhood	
Neighborhood	1
% of Neighborhood = HHDR development	25

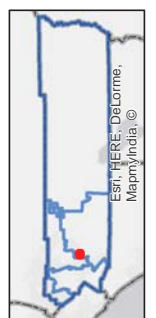


Zoning District: Winchester Area



- Supervisor Washington Supervisorial District 3 Harvest Valley/Winchester Area Plan
- Riverside County General Plan 5th Cycle Housing Element
- Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods
- Roads
- Rail Roads
- Water
- Supervisorial District
- PARCELS
- Cities
- Area Plans
- Specific Plans
- Very Low Density Residential
- Low Density Residential
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Very High Density Residential
- Commercial Retail
- Light Industrial
- Public Facilities
- Rural Mountainous
- Conservation
- Open Space Recreation

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Riverside County Planning Department makes no warranty or guarantee as to the content (the source is often third party), accuracy, completeness, or timeliness of any of the data provided, and any use of this product with respect to accuracy, and precision shall be the sole responsibility of the user.



**HIGHGROVE
AREA PLAN**

Highgrove Town Center

GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



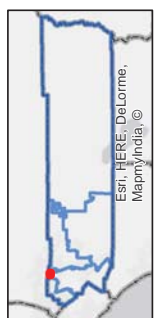
Supervisor Tavaglione
Supervisory District 2
Highgrove Area Plan

Riverside County
General Plan 5th Cycle
Housing Element

- Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods
- Parcels
- Roads
- Railroads
- Cities
- Area Plans
- Specific Plan

- General Plan Land Use**
- Low Density Residential
 - Medium Density Residential
 - High Density Residential
 - Highest Density Residential
 - Commercial Retail
 - Light Industrial
 - Public Facilities
 - Rural Residential
 - Rural Mountainous
 - Conservation
 - Open Space Recreation

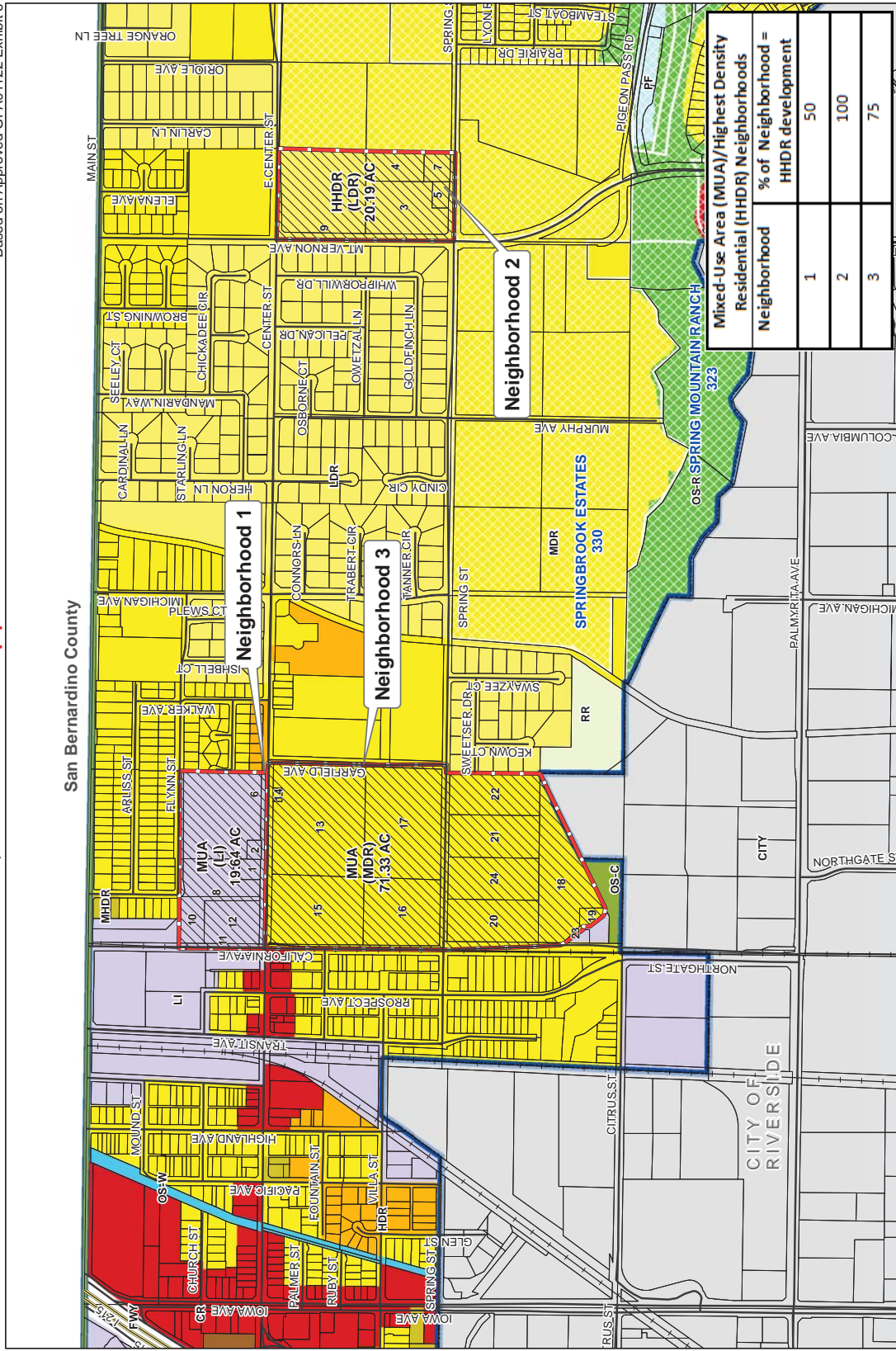
December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. No warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy, and precision shall be the sole responsibility of the user.

Esri, HERE, DeLorme, MapmyIndia ©

San Bernardino County



Mixed-Use Area (MUA)/Highest Density Residential (HHDR) Neighborhoods	% of Neighborhood = HHDR development
1	50
2	100
3	75



Zoning District: University District



**LAKEVIEW/ NUEVO
AREA PLAN**

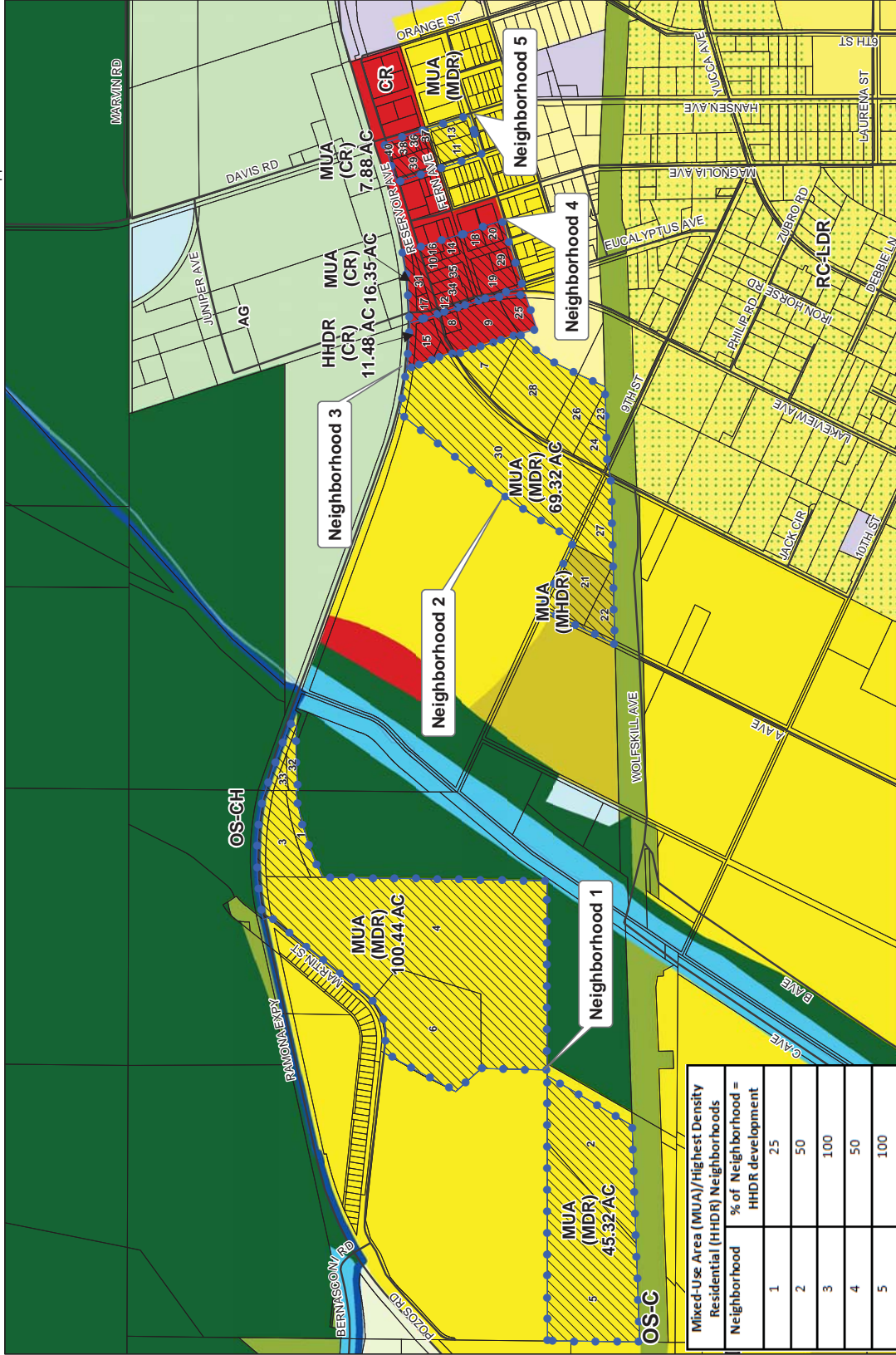


RIVERSIDE COUNTY
PLANNING DEPARTMENT

Lakeview Town Center

GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6



Supervisor Ashley
Supervisory District 5
Lakeview/Nuevo Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

Supervisory District

Roads

Parcels

Water

Area Plans

Rural Community - Low Density Residential

Very Low Density Residential

Low Density Residential

Medium Density Residential

Medium High Density Residential

Commercial Retail

Light Industrial

Public Facilities

Rural Residential

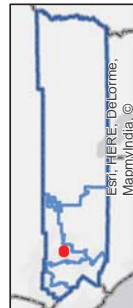
Agriculture

Conservation

Conservation Habitat

Water

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Zoning District: Pettis Reservoir District
Lakeview Area
Nuevo Area



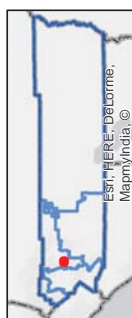


RIVERSIDE COUNTY
PLANNING DEPARTMENT

Supervisor Ashley
Supervisory District 5
Lakeview/Nuevo Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

- Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods
- Supervisory District
- Roads
- Parcels
- Water
- Cities
- Area Plans
- Specific Plan
- Low Density Residential
- Medium Density Residential
- Medium High Density Residential
- Very High Density Residential
- Commercial Retail
- Community Center
- Public Facilities
- Rural Residential
- Agriculture
- Conservation
- Conservation Habitat
- Open Space Recreation
- Water
- City

December 6, 2016



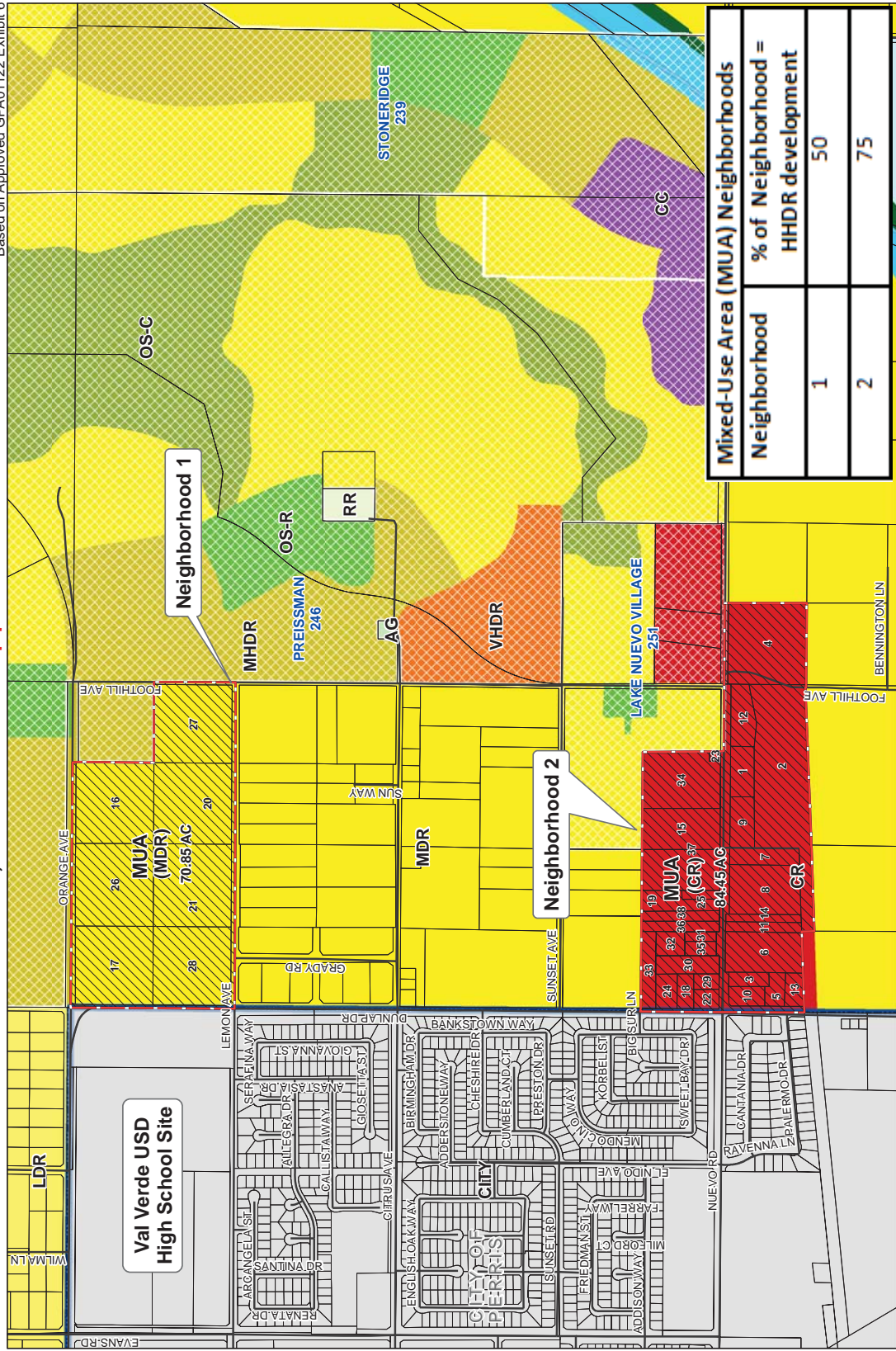
Esri | HERE | DeLorme
MapmyIndia, ©

Disclaimer: Maps and data are to be used for reference purposes only. Riverside County Planning Department makes no warranty or guarantee as to the content (the source is often third party), accuracy, completeness, or timeliness of any of the data provided, and any use of this product with respect to accuracy, and precision shall be the sole responsibility of the user.

Nuevo Community (Western Area)

GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhoods	
Neighborhood	% of Neighborhood = HHDR development
1	50
2	75

Zoning District: Nuevo Area



**MEAD VALLEY
AREA PLAN**



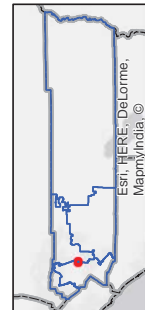
RIVERSIDE COUNTY
PLANNING DEPARTMENT

**Supervisor Jeffries
Supervisory District 1
Mead Valley Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

- Roads
- Supervisory District
- Parcels
- Cities
- Area Plans
- Rural Community - Very Low Density Residential
- Medium Density Residential
- Commercial Retail
- Light Industrial
- City

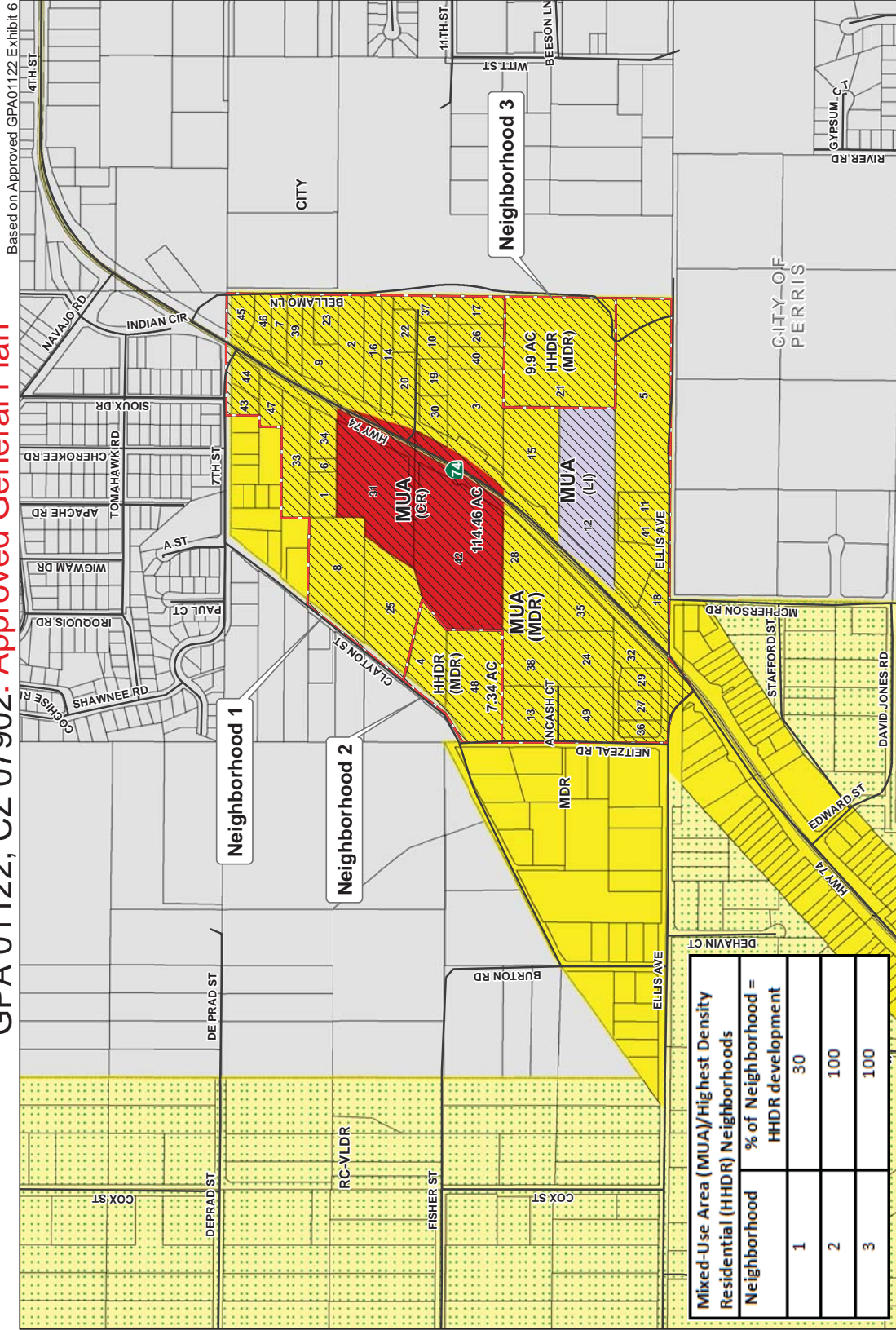
December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided. Any use of this product with respect to accuracy, and precision shall be the sole responsibility of the user.

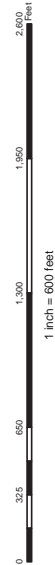
Good Hope Community

GPA 01122, CZ 07902: Approved General Plan



Mixed-Use Area (MUA)/Highest Density Residential (HHDR) Neighborhood	% of Neighborhood = HHDR development
1	30
2	100
3	100

Zoning District: Good Hope Area



Based on Approved GPA 01122 Exhibit 6



SIVERSVILLE COUNTY
PLANNING DEPARTMENT

Mead Valley Town Center

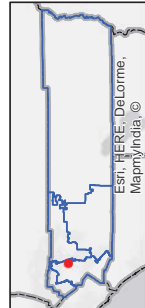
GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6

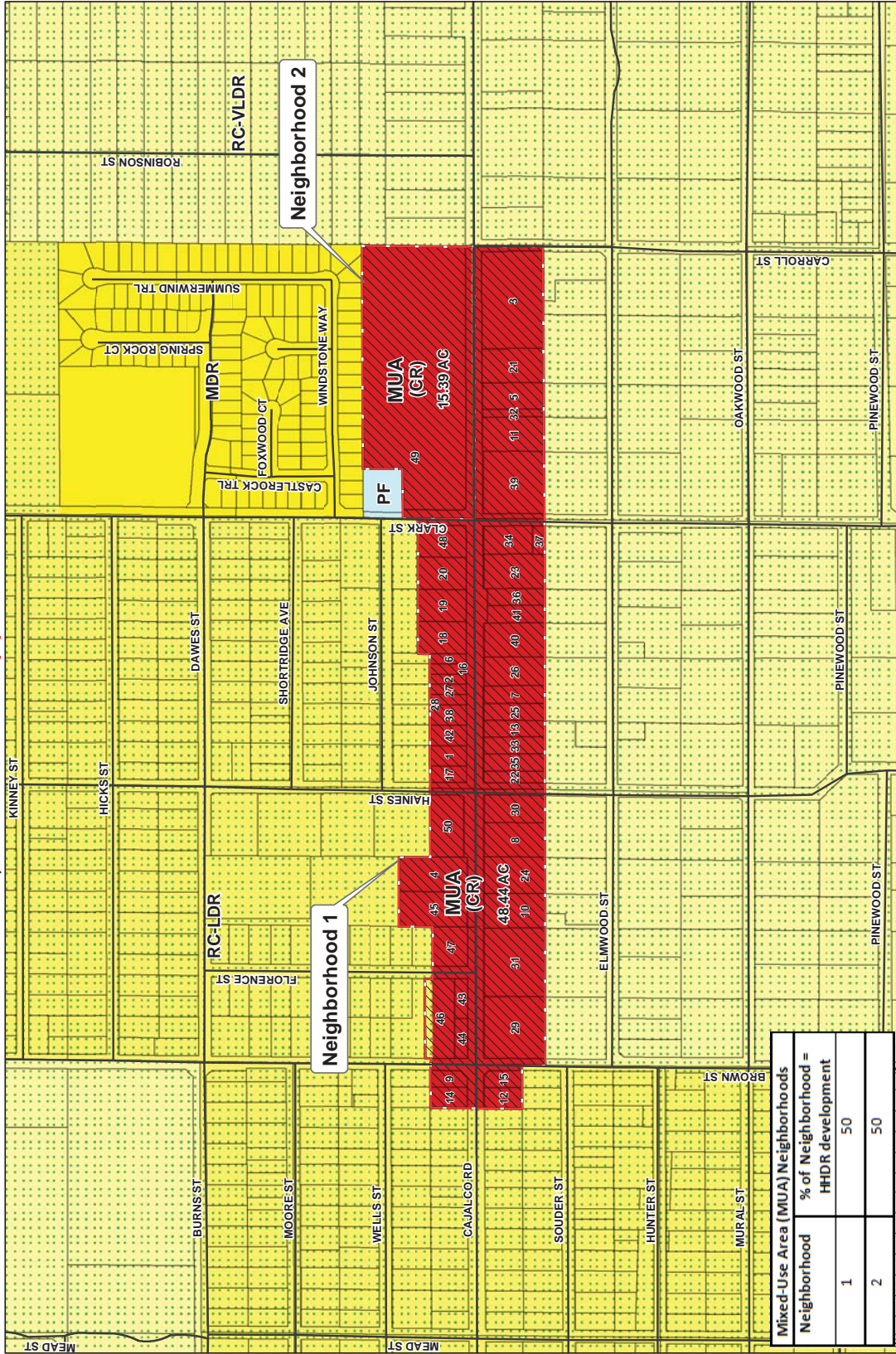
Supervisor Jeffries
Supervisory District 1
Mead Valley Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

- Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods
- Roads
- Supervisory District
- Parcels
- Area Plans
- Rural Community - Very Low Density Residential
- Rural Community - Low Density Residential
- Medium Density Residential
- Commercial Retail
- Public Facilities

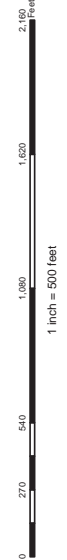
December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, integrity, or completeness of any of the data provided, and Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



Neighborhood	Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood = HHDR development
1	50	50
2	50	50



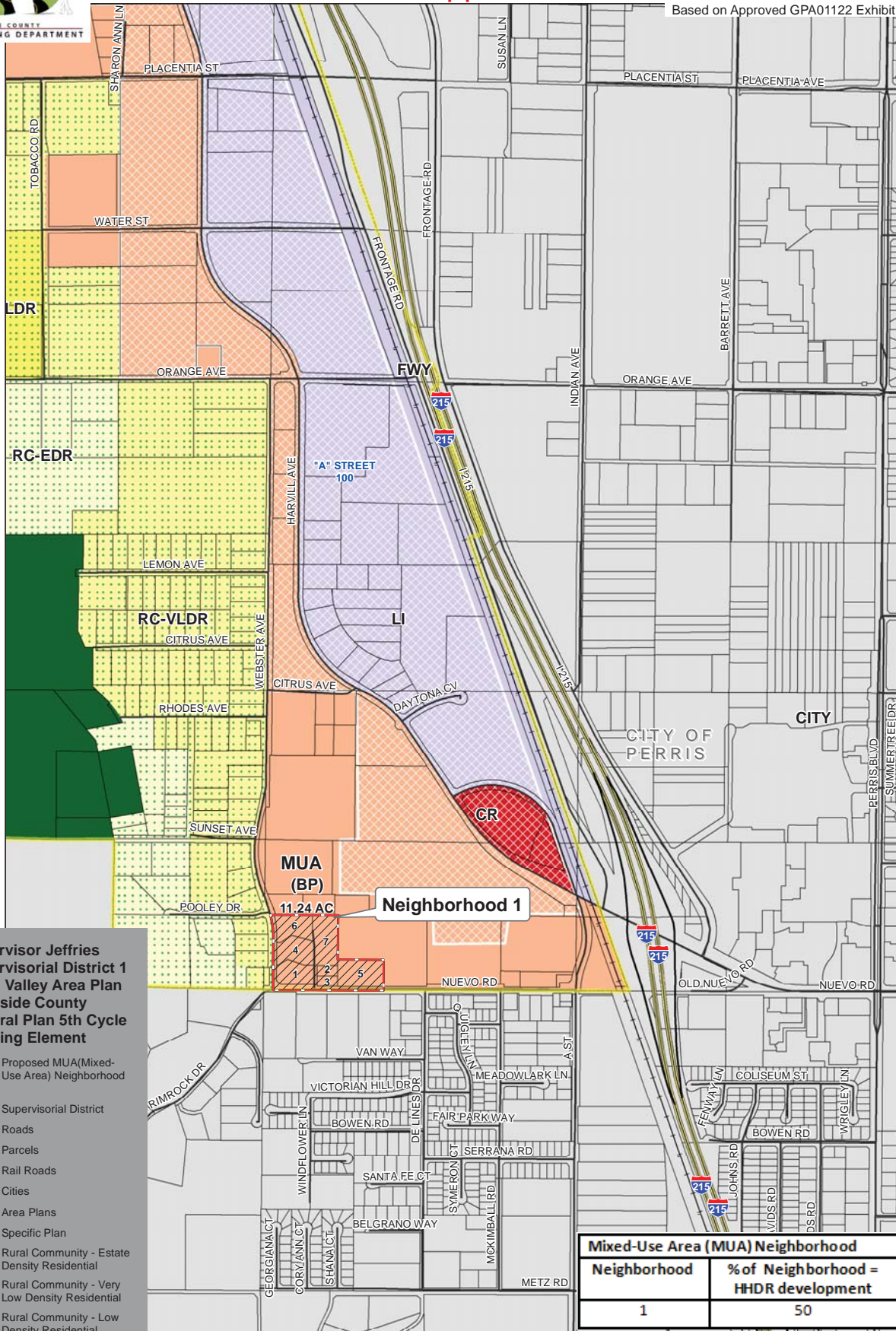


Mead Valley Community (I-215/Nuevo Rd Vicinity)

GPA 01122, CZ 07902: **Approved General Plan**



Based on Approved GPA01122 Exhibit 6

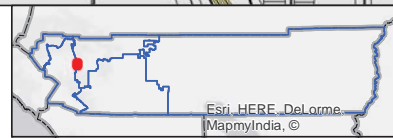


Supervisor Jeffries Supervisory District 1 Mead Valley Area Plan Riverside County General Plan 5th Cycle Housing Element

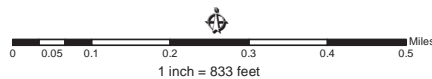
- Proposed MUA (Mixed-Use Area) Neighborhood
- Supervisorial District
- Roads
- Parcels
- Rail Roads
- Cities
- Area Plans
- Specific Plan
- Rural Community - Estate Density Residential
- Rural Community - Very Low Density Residential
- Rural Community - Low Density Residential
- Commercial Retail
- Light Industrial
- Business Park
- Conservation Habitat
- City
- Freeway

Zoning District: North Perris Area

Mixed-Use Area (MUA) Neighborhood	
Neighborhood	% of Neighborhood = HHDR development
1	50



December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

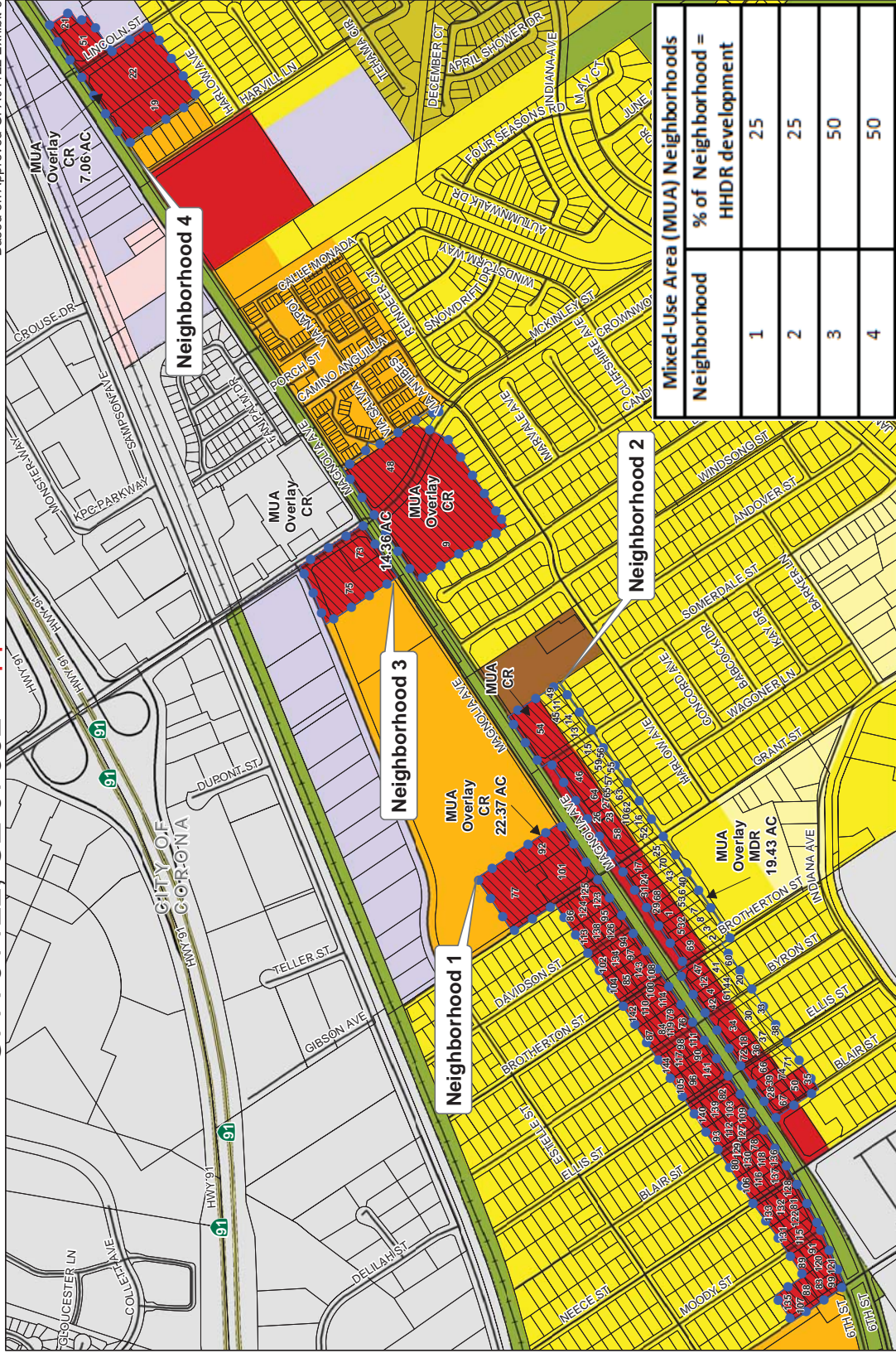
Mickey Zolezo \agency\magis\Projects\Planning\HousingElement\HHRD_Mapping\Work\Exhibits\BOS_Approved\MeadValley\Comm\215Nuevo_Exhibit6.mxd

**TEMESCAL VALLEY
AREA PLAN**

Home Gardens Town Center

GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6



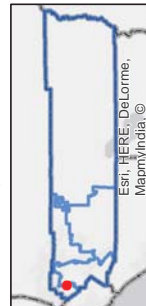
**Supervisor Tavaglione
Supervisorial District 2
Temescal Canyon Area
Plan**

**Riverside County
General Plan 5th Cycle
Plan**

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

- Parcels
- Supervisorial District
- Roads
- Rail Roads
- Cities
- Area Plans
- Very Low Density Residential
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Highest Density Residential
- Commercial Retail
- Commercial Office
- Light Industrial
- Conservation
- City

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©



Zoning District: East Corona District

Map of Riverside County, California



**THE PASS
AREA PLAN**



RIVERSIDE COUNTY
PLANNING DEPARTMENT

**Supervisor Ashley
Supervisorial District 5
The Pass Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

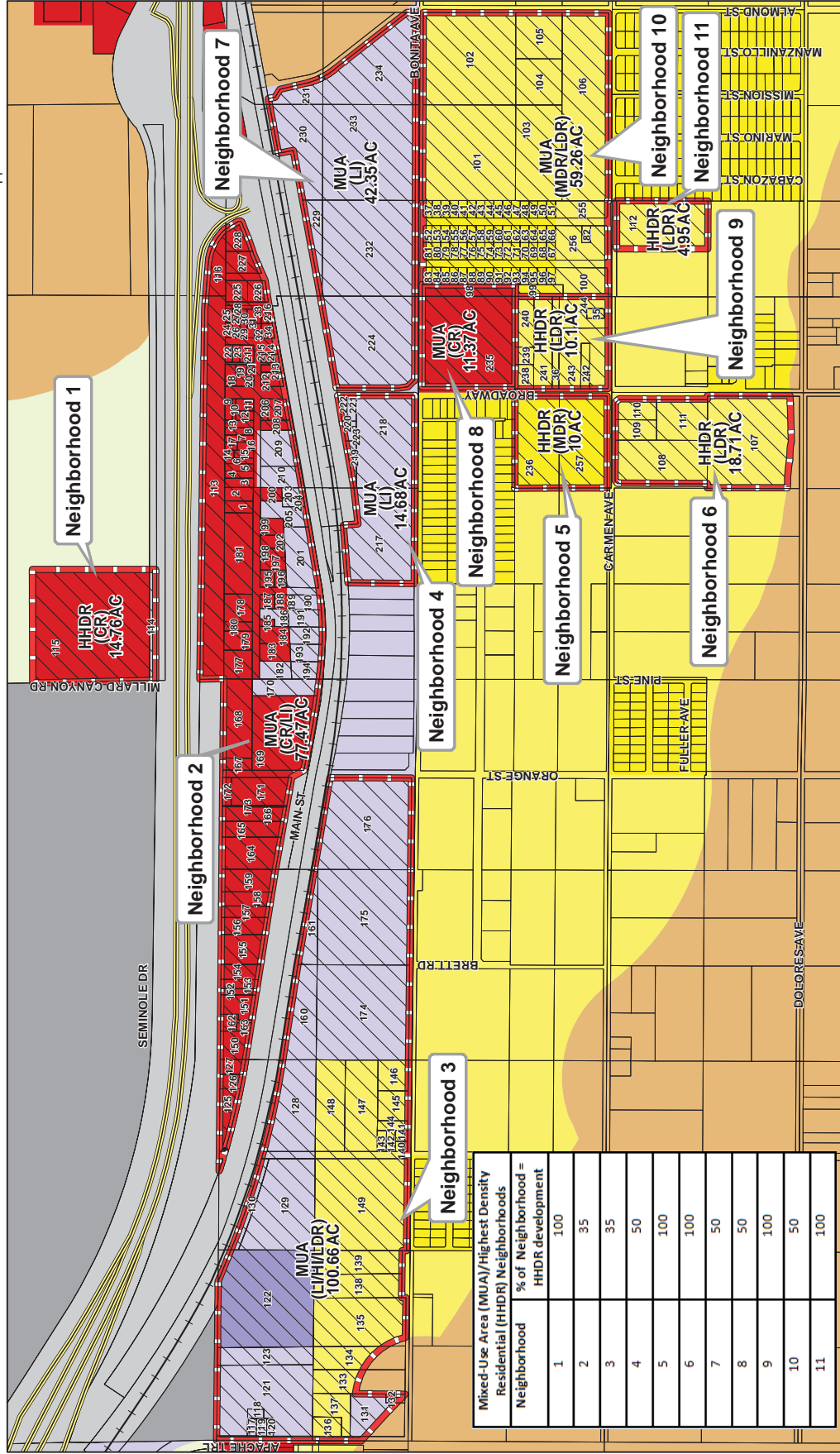
- Proposed HHDR(Highest Density Residential) or MUA(Mixed-Use Area) Neighborhoods
- Supervisorial District
- Roads
- Parcels
- Rail Roads
- Area Plans
- Very Low Density Residential
- Low Density Residential
- Medium Density Residential
- Commercial Retail
- Light Industrial
- Heavy Industrial
- Rural Residential
- Rural Mountainous
- Rural Desert
- Conservation
- Indian Lands
- Freeway

December 6, 2016



**aba on o n enter
GPA 01122 0 02 Approved Genera P an**

Based on Approved GPA01122 Exhibit 6



Neighborhood	Mixed-Use Area (MUA)/Highest Density Residential (HHDR) Neighborhoods	% of Neighborhood = HHDR development
1		100
2		35
3		35
4		50
5		100
6		100
7		50
8		50
9		100
10		50
11		100

onh nstri t aba on Pass esert istri ts



is ai er apa and data are to be sed or reeren ep iposes on
ap eat res are approx ate and are not ne essant a rate to
s rve in or en inerrin standards he o n t o iverside a es no
arrant or arantee as to the ontent the so r e is o ten third part
a ra ti eness or o peteness o an o the data provided and
ass es no e a responsibility or the in or alton obtained on this ap
An se o this prod t rth respe t to a ra and pie ision sha be
the soe responsibility o the ser

**WESTERN COACHELLA VALLEY
AREA PLAN**



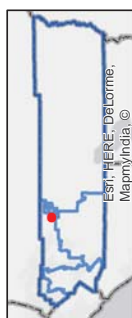
LIVERMORE COUNTY
PLANNING DEPARTMENT

Supervisor Ashley
Supervisory District 5
Western Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

- Supervisory District
- Roads
- Parcels
- Rail Roads
- Area Plans
- Medium Density Residential
- Commercial Retail
- Conservation Habitat
- Open Space Rural
- Water
- Freeway

December 6, 2016

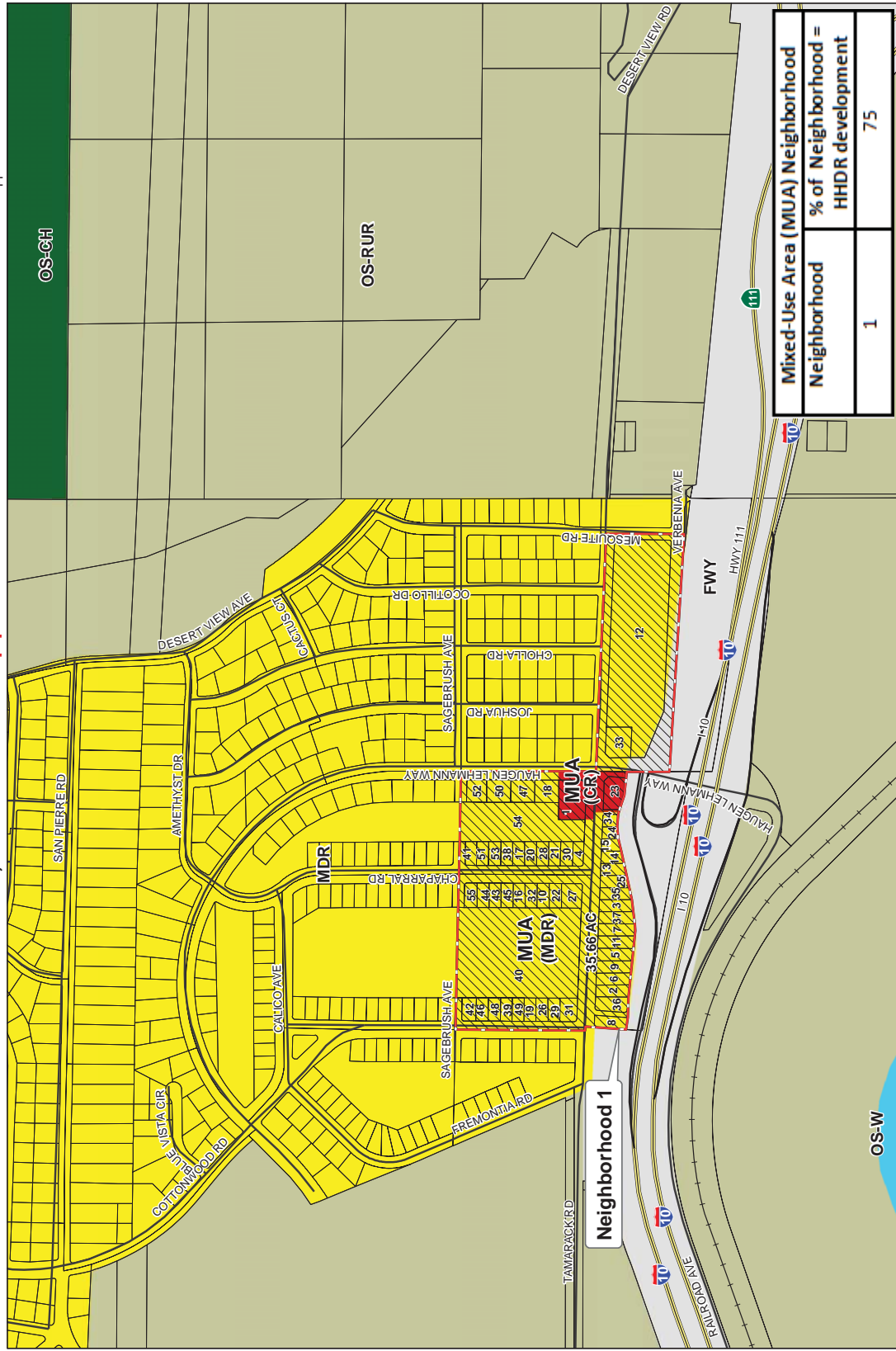


Disclaimer: Maps and data are to be used for reference purposes only. Surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

I-10 / Haugen Lehmann Ave Community

GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhood	1
% of Neighborhood HHDR development	75

Zoning District: Whitewater Area



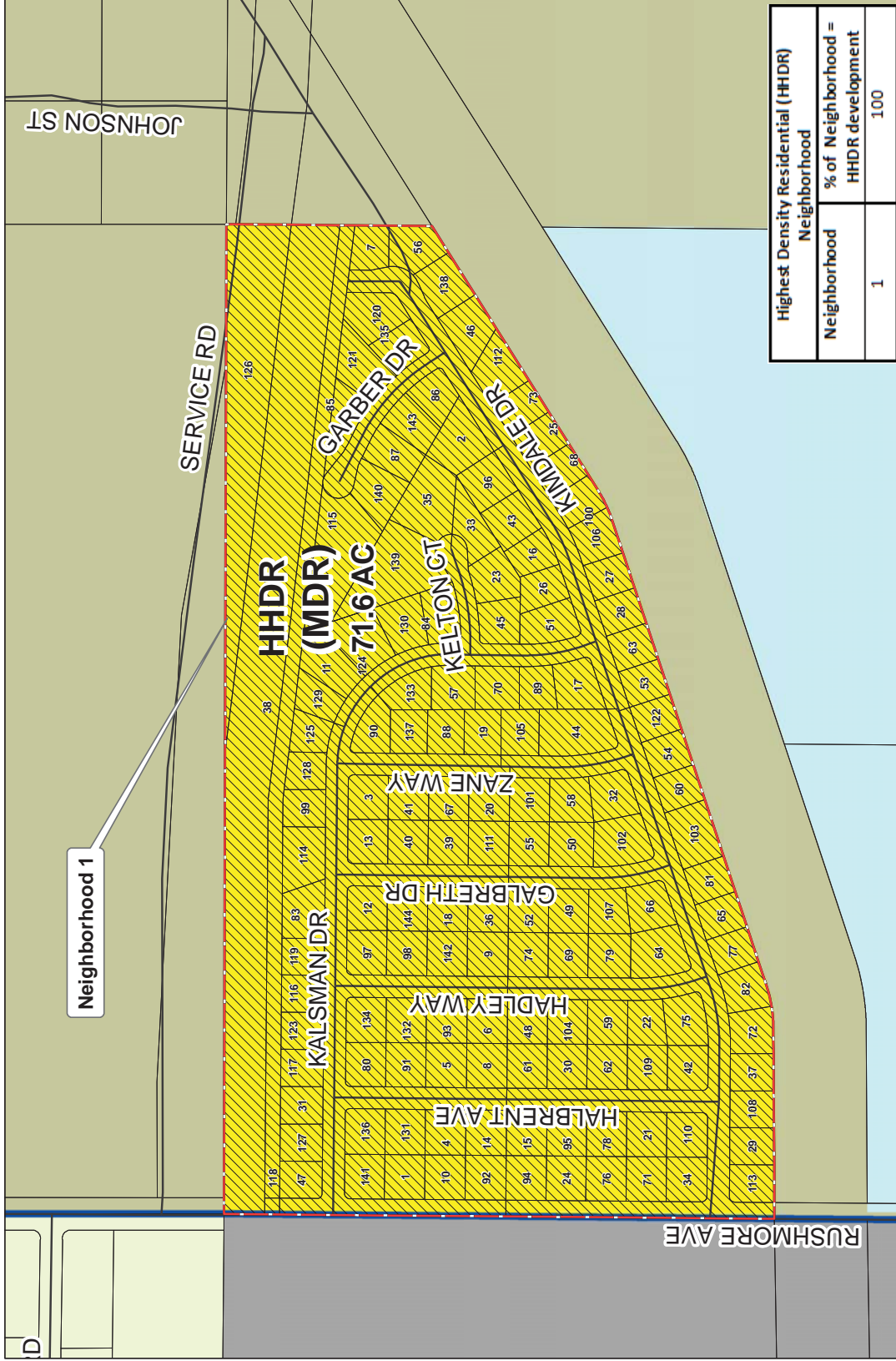


LIVERMORE COUNTY
PLANNING DEPARTMENT

Rushmore / Kimdale Community

GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6



Neighborhood 1

Highest Density Residential (HHDR) Neighborhood	
Neighborhood	1
% of Neighborhood = HHDR development	100

Supervisor Ashley
Supervisory District 5
Western Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

Supervisory District

Roads

Parcels

Area Plans

Medium Density Residential

Public Facilities

Rural Residential

Open Space Rural

Indian Lands

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product, with respect to accuracy and precision shall be the sole responsibility of the user.

Zoning District: Whitewater Area





LIVERMORE COUNTY
PLANNING DEPARTMENT

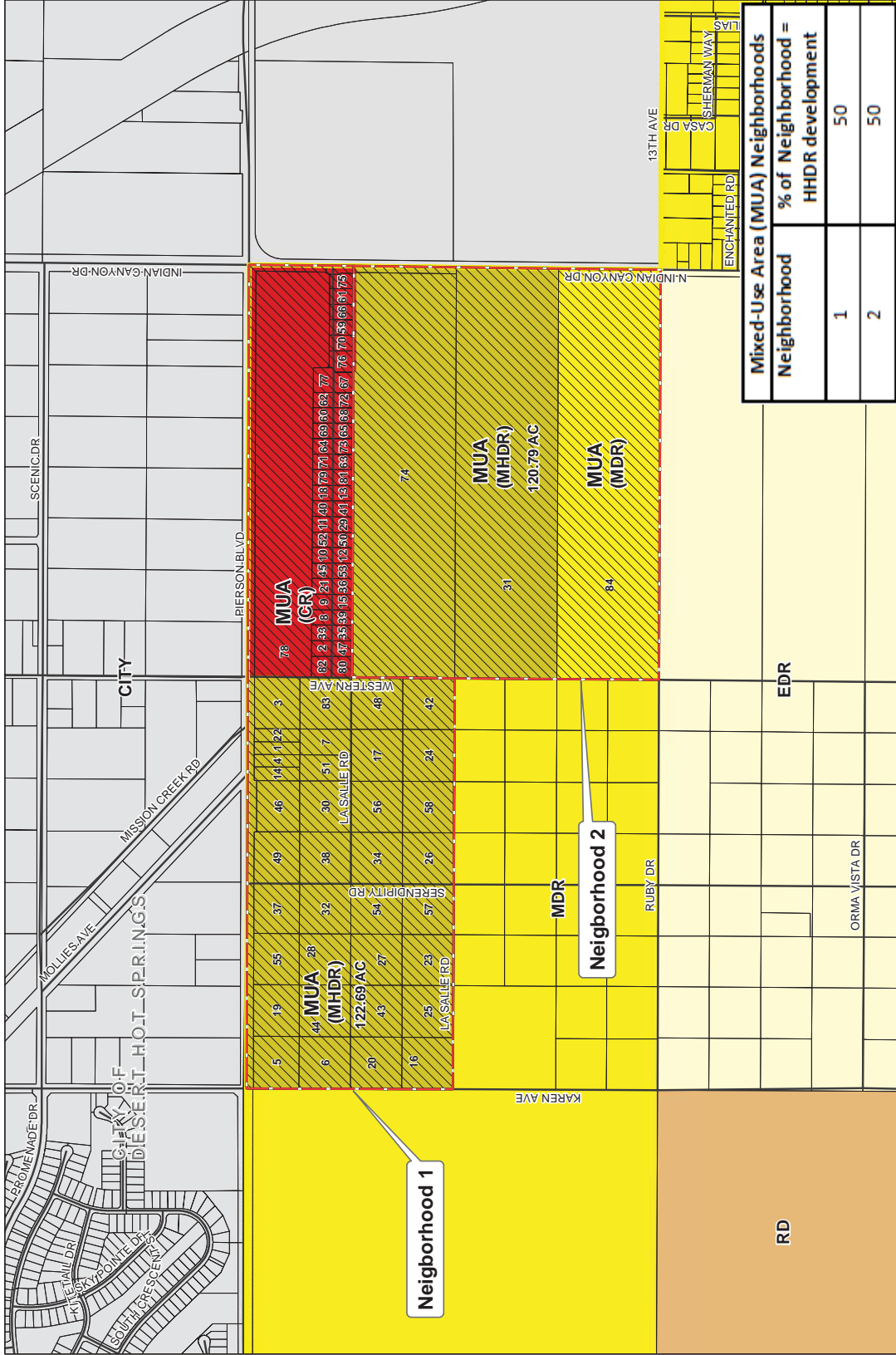
North Palm Springs Community GPA 01122, CZ 07902 : Approved General Plan

Based on Approved GPA01122 Exhibit 6

Supervisor Ashley
Supervisorial District 5
Western Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR(Highest Density Residential) or MUA(Mixed-Use Area) Neighborhoods

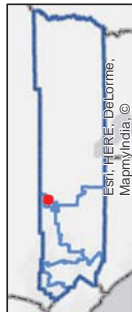
- Supervisory District
- Roads
- Parcels
- Cities
- Area Plans
- Estate Density Residential
- Medium Density Residential
- Medium High Density Residential
- Commercial Retail
- Rural Desert
- City



Neighborhood 1

Neighborhood 2

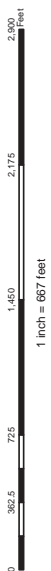
December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©



Zoning District: Pass & Desert District



Mixed-Use Area (MUA) Neighborhood	% of Neighborhood HHDR development
1	50
2	50





LIVERMORE COUNTY
PLANNING DEPARTMENT

Supervisor Benoit
Supervisory District 4
Western Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

Proposed HHDR/Highest
Density Residential) or
MUA(Mixed-Use Area)
Neighborhoods

Supervisory District

Roads

Parcels

Rail Roads

Cities

Area Plans

Specific Plan

Medium Density Residential

Medium High Density
Residential

High Density Residential

Very High Density Residential

Commercial Retail

Commercial Tourist

Commercial Office

Light Industrial

Business Park

Mixed Use Planning

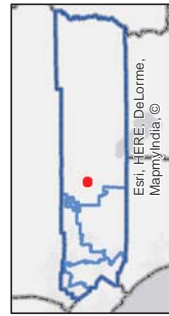
Conservation Habitat

Open Space Recreation

City

Freeway

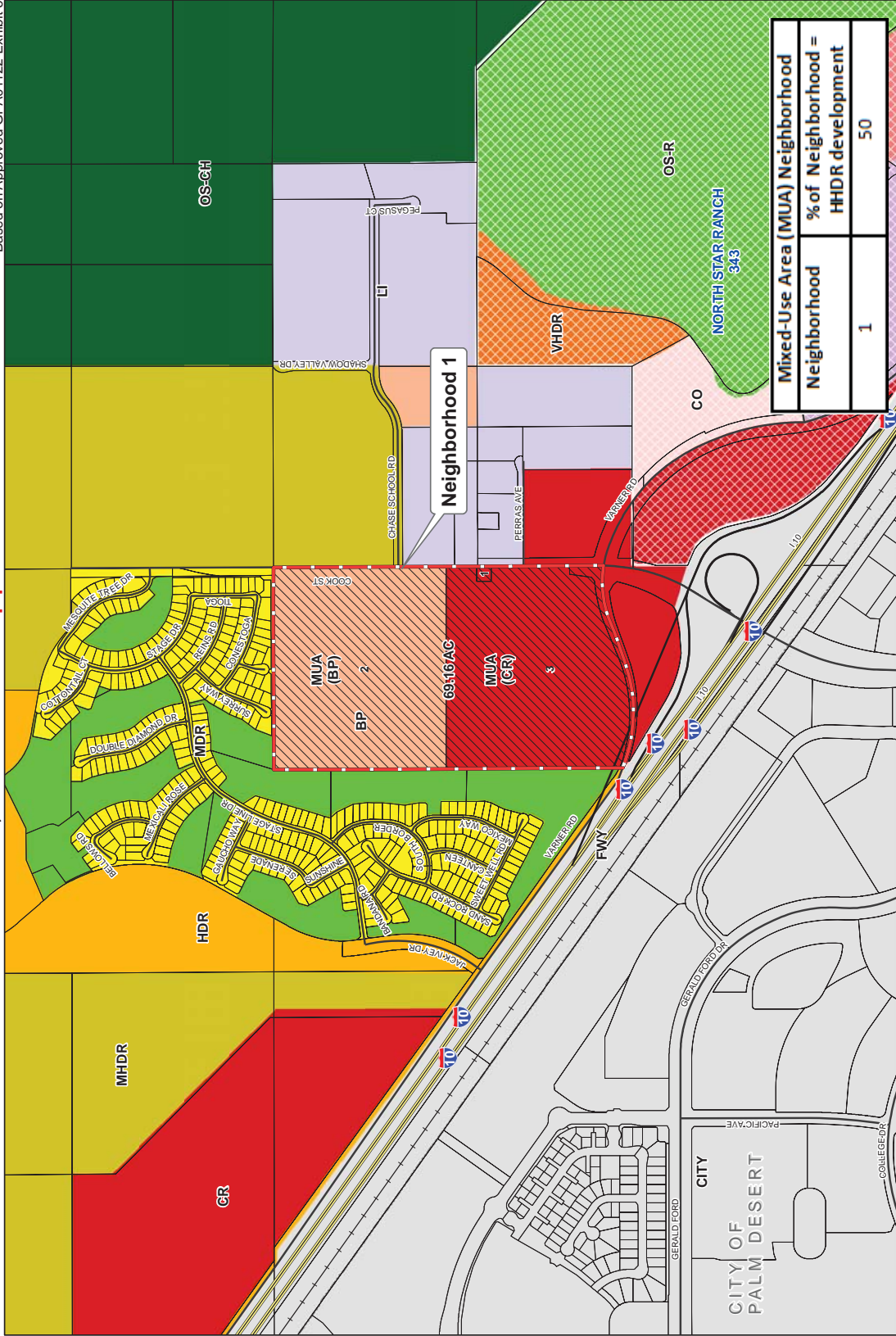
December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©
warranty or guarantee as to the content (this source is often third party),
accuracy, timeliness, or completeness of any of the data provided, and
Any use of this product with respect to accuracy and precision shall be the
sole responsibility of the user.

Thousand Palms Community (I-10/Cook St Vicinity) GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhood	% of Neighborhood = HHDR development
1	50



Zoning District: Thousand Palms District

1 inch = 667 feet

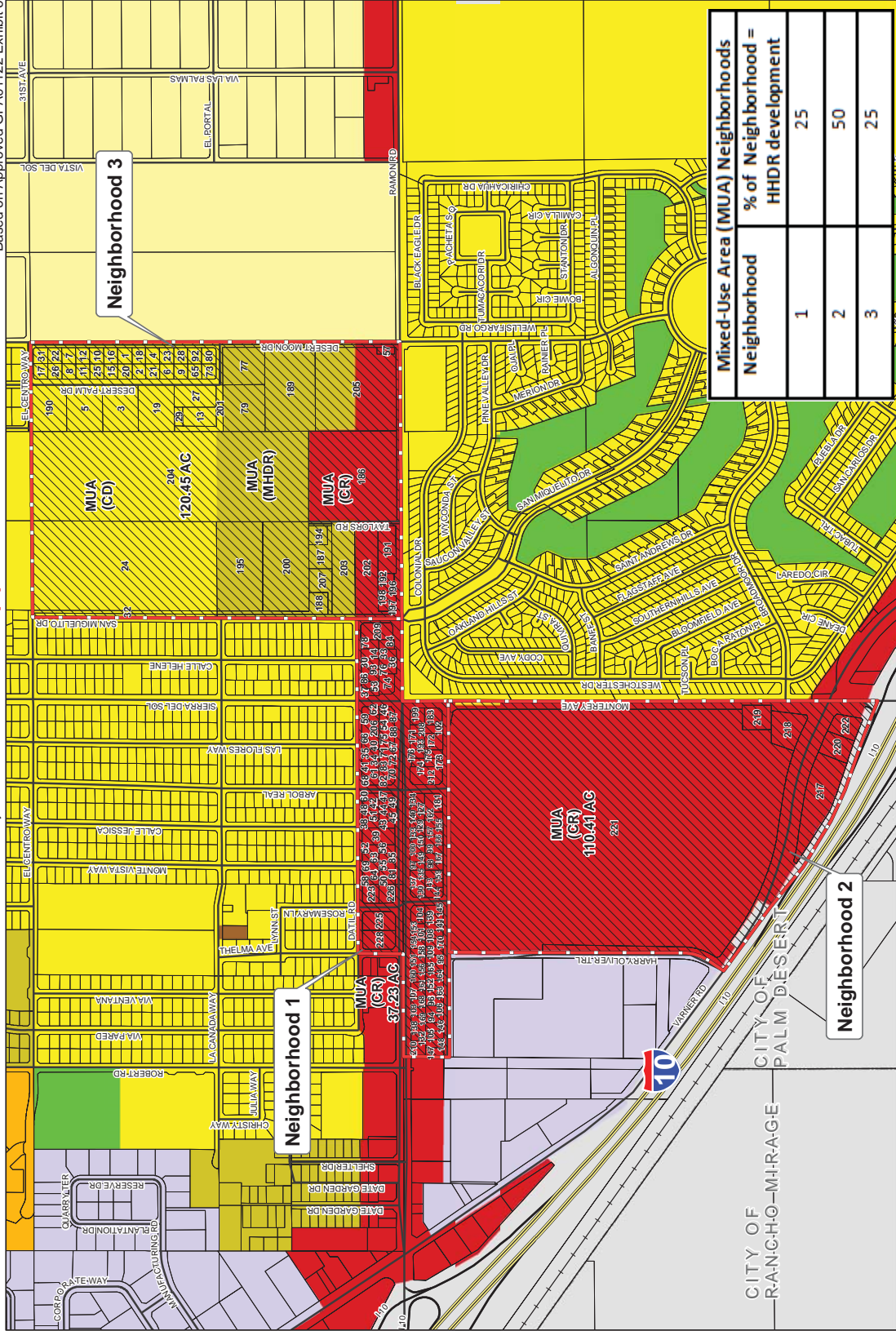




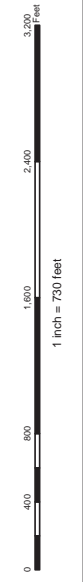
Thousand Palms Town Center - Northern Portion

GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood = HHDR development
1	25
2	50
3	25



**Supervisor Benoit
Supervisory District 4
Western Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element**

Proposed HHDR (Highest Density Residential) or MUA (Mixed-Use Area) Neighborhoods

Supervisory District

Roads

Parcels

Rail Roads

Ches

Area Plans

Very Low Density Residential

Medium Density Residential

Medium High Density Residential

High Density Residential

Highest Density Residential

Commercial Retail

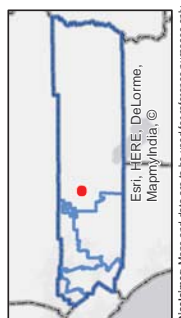
Light Industrial

Open Space Recreation

City

Freeway

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. Esri, HERE, DeLorme, MapmyIndia, ©

Surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

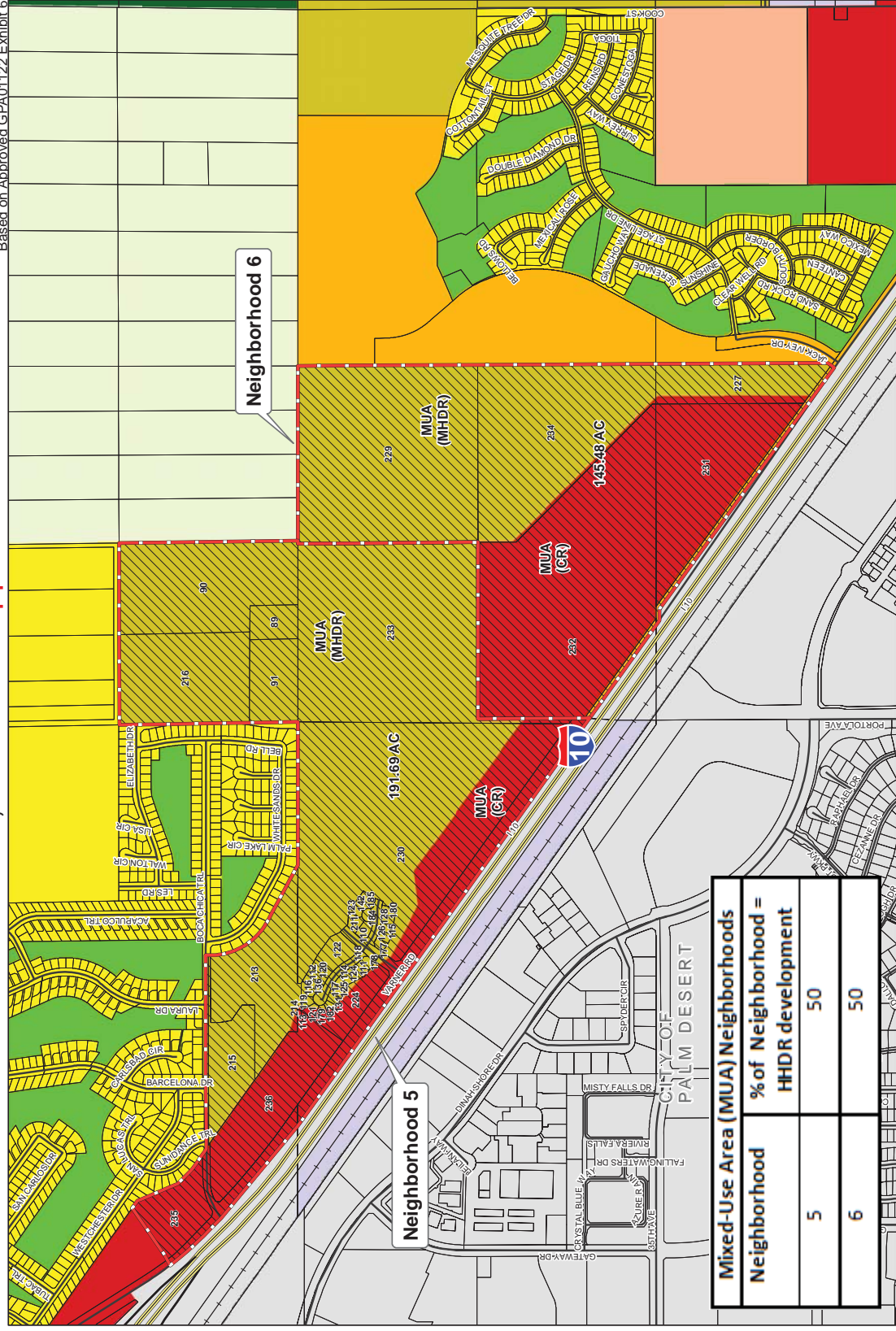
Zoning District: Thousand Palms District



Thousand Palms Town Center - Southern Portion

GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6



Neighborhood 6

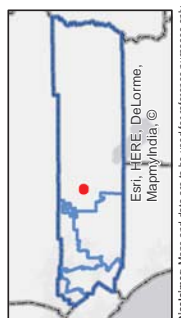
Neighborhood 5

Supervisor Benoit
Supervisory District 4
Western Coachella Valley
Area Plan
Riverside County
General Plan 5th Cycle
Housing Element

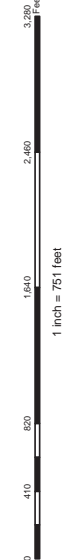
- Proposed HHDR(Highest Density Residential) or Neighborhoods
- Supervisory District
- Roads
- Rail Roads
- Cities
- Area Plans
- Medium Density Residential
- Medium High Density Residential
- High Density Residential
- Commercial Retail
- Light Industrial
- Business Park
- Rural Residential
- Conservation Habitat
- Open Space Recreation
- City
- Freeway

Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood = HHDR development
5	50
6	50

December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. No warranty or guarantee is made as to the content (this source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product, with respect to accuracy and precision shall be the sole responsibility of the user.



Zoning District: Thousand Palms District



Desert Edge/Southeast Desert Hot Springs Community GPA 01122, CZ 07902: Approved General Plan

Based on Approved GPA01122 Exhibit 6

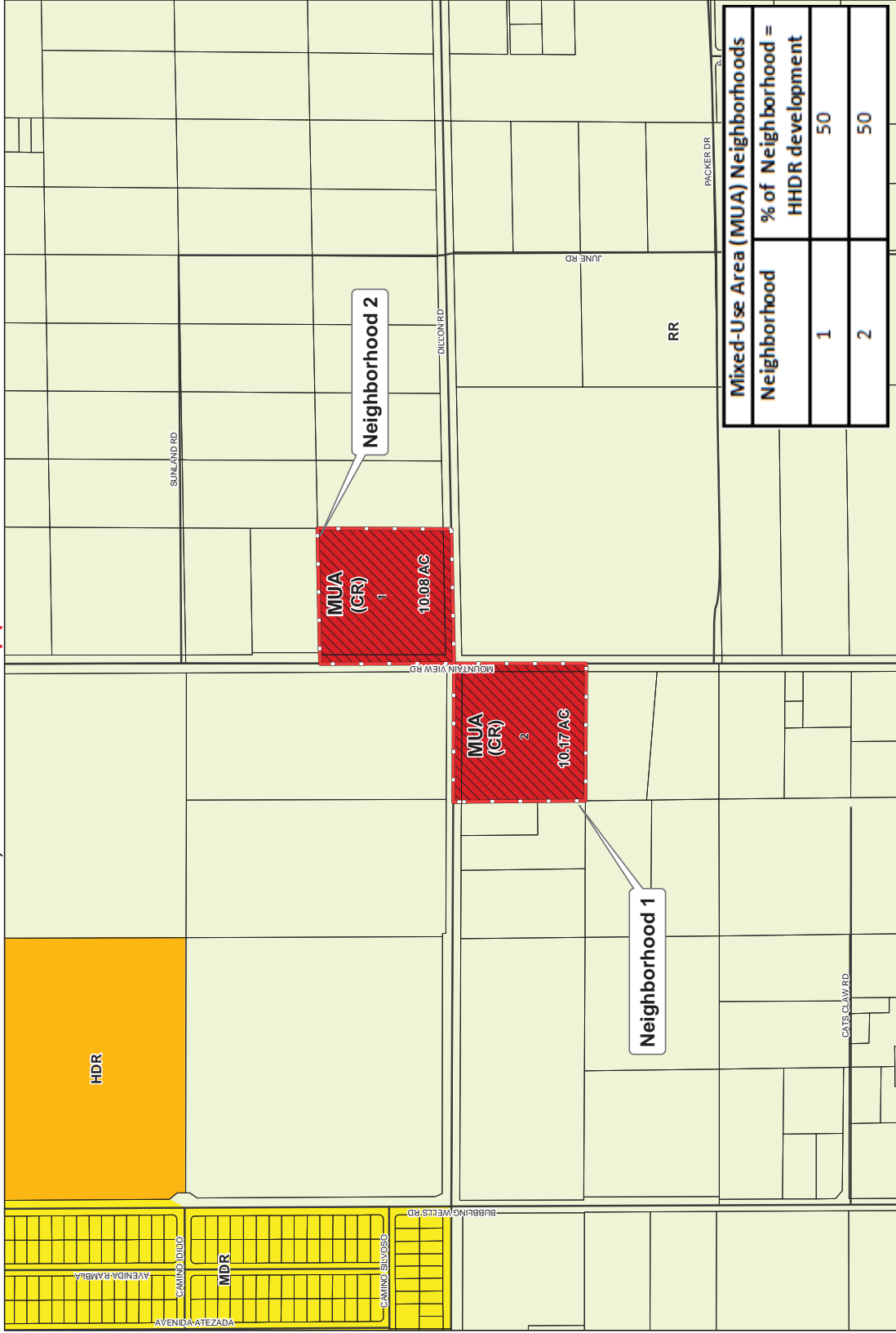


**Supervisor Benoit
Supervisory District 4
Western Coachella Valley
Area Plan**

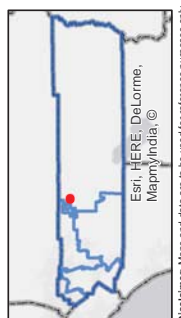
**Riverside County
General Plan 5th Cycle**

Proposed HHDR(Highest Density Residential) or MUA(Mixed-Use Area) Neighborhoods

- Supervisory District
- Roads
- Parcels
- Area Plans
- Medium Density Residential
- High Density Residential
- Commercial Retail
- Rural Residential

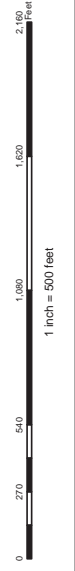


December 6, 2016



Disclaimer: Maps and data are to be used for reference purposes only. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and any use of this product with respect to accuracy, and precision shall be the sole responsibility of the user.

Zoning District: Pass & Desert District



Mixed-Use Area (MUA) Neighborhoods	% of Neighborhood = HHDR development
1	50
2	50



APPENDIX P-1B
ADDITIONAL SITES INVENTORY

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	IMU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
Eastern Coachella Valley Area Plan													
Mecca Town Center													
727111005	0.35	MHDR	A-1-5	HHDR	R-7	30	10		AV - AGRICULTURE	EASTERN COACHELLA VALLEY AREA PLAN	MECCA TOWN CENTER	SITE 1	7
727250004	0.36	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30	30	5	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	MECCA TOWN CENTER	SITE 4	12
7272721015	0.06	CR	W-2	MUA (75% HHDR)	MIXED USE	30	30	1	YD - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	MECCA TOWN CENTER	SITE 5	13
7272721020	0.62	CR	C-P-S	MUA (75% HHDR)	MIXED USE	30	30	14	AF - AGRICULTURE	EASTERN COACHELLA VALLEY AREA PLAN	MECCA TOWN CENTER	SITE 5	9
7272721019	0.50	VHDR	W-2	MUA (75% HHDR)	MIXED USE	30	30	11	AF - AGRICULTURE	EASTERN COACHELLA VALLEY AREA PLAN	MECCA TOWN CENTER	SITE 5	14
727272008	0.99	AG	A-1-5	MUA (25% HHDR)	MIXED USE	30	7		YD - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	MECCA TOWN CENTER	SITE 6	6
North Shore Town Center													
723161002	0.37	VLDR	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	56
723162011	0.29	VLDR	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	48
723162018	0.28	VLDR	W-2	HHDR	R-7	30	8		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	52
723162005	0.30	VLDR	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	49
723174004	0.37	CR	W-2	HHDR	R-7	30	11		CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	50
723162002	0.29	VLDR	W-2	HHDR	R-7	30	9		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	59
723161006	0.19	VLDR	W-2	HHDR	R-7	30	6		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	2
723174003	0.36	VLDR	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	60
723174015	0.37	VLDR	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	74
723162020	0.28	VLDR	W-2	HHDR	R-7	30	8		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	71
723163011	0.17	VLDR	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	65
723161011	0.05	VLDR	W-2	HHDR	R-7	30	1		CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	78
723162017	0.35	VLDR	W-2	HHDR	R-7	30	10		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	73
723163007	0.17	VLDR	W-2	HHDR	R-7	30	5		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	90
723162021	0.31	VLDR	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	93
723163018	0.22	VLDR	W-2	HHDR	R-7	30	7		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	82
723174009	0.39	VLDR	W-2	HHDR	R-7	30	12		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	83
723163023	0.31	VLDR	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	84
723174010	0.30	VLDR	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	86
723174022	0.40	VLDR	W-2	HHDR	R-7	30	12		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	89
723174025	0.28	VLDR	W-2	HHDR	R-7	30	8		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	87
723174026	0.29	VLDR	W-2	HHDR	R-7	30	9		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	91
723163004	0.17	VLDR	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	103
723163005	0.17	VLDR	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	104
723163029	0.17	VLDR	W-2	HHDR	R-7	30	5		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	99
723163032	0.17	VLDR	W-2	HHDR	R-7	30	5		NO CLASSIFICATION	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	107
723163022	0.22	VLDR	W-2	HHDR	R-7	30	7		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	96
723163028	0.17	VLDR	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	94
723174011	0.27	VLDR	W-2	HHDR	R-7	30	8		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	98
723174012	0.24	VLDR	W-2	HHDR	R-7	30	7		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	105
723161005	0.14	VLDR	W-2	HHDR	R-7	30	4		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	70
723162016	0.46	VLDR	W-2	HHDR	R-7	30	14		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	3
723161007	0.36	VLDR	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	7
723161008	0.37	VLDR	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	6
723162012	0.32	VLDR	W-2	HHDR	R-7	30	10		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	5

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
723163006	0.17	VLDL	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	18
723163008	0.17	VLDL	W-2	HHDR	R-7	30	5		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	14
723173001	0.26	VLDL	W-2	HHDR	R-7	30	8		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	12
723163024	0.33	VLDL	W-2	HHDR	R-7	30	10		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	28
723174018	0.35	VLDL	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	17
723163027	0.24	VLDL	W-2	HHDR	R-7	30	7		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	13
723174024	0.29	VLDL	W-2	HHDR	R-7	30	9		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	35
723124003	0.41	VLDL	W-2	HHDR	R-7	30	12		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	112
723124001	0.34	VLDL	W-2	HHDR	R-7	30	10		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	113
723141005	0.46	VLDL	W-2	HHDR	R-7	30	14		CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	116
723144007	0.38	VLDL	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	119
723143005	0.34	VLDL	W-2	HHDR	R-7	30	10		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	127
723124002	0.31	VLDL	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	123
723144002	0.37	VLDL	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	121
723144008	0.37	VLDL	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	126
723143006	0.29	VLDL	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	130
723144001	0.37	VLDL	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	131
723144003	0.37	VLDL	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	132
723144004	0.37	VLDL	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	133
723161001	0.36	VLDL	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	120
723141006	0.42	VLDL	W-2	HHDR	R-7	30	13		CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	185
723141003	0.33	VLDL	W-2	HHDR	R-7	30	10		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	184
723163012	0.37	VLDL	W-2	HHDR	R-7	30	11		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	191
723163025	0.18	VLDL	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	189
723163010	0.18	VLDL	W-2	HHDR	R-7	30	5		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	194
723163026	0.24	VLDL	W-2	HHDR	R-7	30	7		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	195
723163030	0.24	VLDL	W-2	HHDR	R-7	30	7		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	200
723163015	0.19	VLDL	W-2	HHDR	R-7	30	6		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	181
723163031	0.19	VLDL	W-2	HHDR	R-7	30	6		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	197
723163016	0.19	VLDL	W-2	HHDR	R-7	30	6		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	198
723163009	0.17	VLDL	W-2	HHDR	R-7	30	5		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	182
723163014	0.21	VLDL	W-2	HHDR	R-7	30	6		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	196
723163020	0.24	VLDL	W-2	HHDR	R-7	30	7		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	183
723141004	0.51	VLDL	W-2	HHDR	R-7	30	15		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	186
723161003	0.36	VLDL	W-2	HHDR	R-7	30	11		YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	128
723141002	0.29	VLDL	W-2	HHDR	R-7	30	9		YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 1	187
723212007	0.27	CR	C-P-5	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	8
723212005	0.35	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	1
723212009	0.28	CR	C-P-5	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	9
723212008	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	16
723212011	0.28	CR	C-P-5	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	10
723212013	0.27	CR	C-P-5	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	11
723222001	0.33	CR	C-P-5	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	21
723223001	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	23

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
723222004	0.33	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	20
723212006	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	34
723223009	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	24
723222006	0.33	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	32
723212015	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	26
723211004	0.30	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	37
723223005	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	31
723223007	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	30
723222003	0.32	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	33
723212010	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	38
723211003	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	40
723212014	0.30	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	42
723222002	0.32	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	39
723222005	0.32	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	41
723222010	0.33	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	43
723223008	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	45
723225002	0.26	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	44
723211001	0.46	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	55
723212012	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	62
723222013	0.33	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	57
723223006	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	58
723223010	0.27	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	80
723222007	0.32	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	92
723222009	0.33	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	101
723222011	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	136
723225001	0.25	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	139
723212002	0.36	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	143
723225003	0.33	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	145
723225004	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	144
723222012	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	149
723225006	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	158
723225007	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	148
723225013	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	161
723224002	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	151
723224001	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	165
723225010	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	156
723225015	0.28	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	YD - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	154
723225017	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	162
723225018	0.42	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	164
723225016	0.46	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	138
723225008	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	135
723225012	0.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	137
723225009	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	140

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
725150009	0.18	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	150
723212016	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	169
723223004	0.26	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	168
723211002	0.69	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		7	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	167
723224006	1.35	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		14	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	173
723224006	0.47	CR	R-3	MUA (35% HHDR)	MIXED USE	30		5	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	176
723224003	0.34	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	177
723224005	0.67	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		7	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	173
723211001	0.17	CR	R-3	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	55
723224006	0.41	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	176
725160003	1.33	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		14	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	147
723225015	0.10	HDR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YD - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	162
723212002	0.36	CR	R-3	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	145
723212005	0.01	HDR	C-P-S	MUA (35% HHDR)	MIXED USE	30		0	YY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	1
725160001	0.32	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	AY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	160
725150007	0.54	CT	W-2	MUA (35% HHDR)	MIXED USE	30		6	AY - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	201
725160008	2.79	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		29	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	157
725160008	0.13	CT	W-2	MUA (35% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	157
723212001	0.39	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	134
725160005	2.80	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		29	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	172
725160005	2.17	CT	W-2	MUA (35% HHDR)	MIXED USE	30		23	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	172
725160006	2.87	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		30	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	166
725160006	1.05	CT	W-2	MUA (35% HHDR)	MIXED USE	30		11	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	166
723225014	0.29	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	163
723212017	0.54	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		6	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	170
723225011	0.35	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	CA - APARTMENT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	141
723223003	0.34	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		4	CA - APARTMENT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	36
723222008	0.32	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	CA - APARTMENT	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	108
723225005	0.33	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	146
723224004	0.32	HDR	R-3	MUA (35% HHDR)	MIXED USE	30		3	R2 - RESIDENTIAL	EASTERN COACHELLA VALLEY AREA PLAN	NORTH SHORE TOWN CENTER	SITE 2	175
Oasis Town Center													
755162001	0.26	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		4	AZ - AGRICULTURE	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	7
755162004	0.37	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		6	AZ - AGRICULTURE	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	3
755162010	0.03	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		0	YS - VACANT	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	11
755161011	1.08	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		16	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	5
755161015	1.51	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		23	MO - MOBILE HOME	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	4
755162012	5.52	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		83	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	6
755162012	2.27	AG	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		34	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	10
755162012	1.76	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		26	C1 - COMMERCIAL	EASTERN COACHELLA VALLEY AREA PLAN	OASIS TOWN CENTER	SITE 2	6
Elsionre Area Plan													
Meadowbrook Town Center													
349342023	0.11	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	33
349342017	0.86	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	29
349342029	0.82	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		12	CY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	32

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
349124024	0.12	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	15
349342025	0.36	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		5	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	30
349124024	0.41	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		6	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	14
349080075	0.63	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		9	CY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	21
349124027	0.32	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		5	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	20
349124027	0.29	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		4	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	26
349080077	0.81	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		12	CY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	34
349080070	0.13	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	13
349080023	0.20	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	10
349080065	1.06	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		16	C1 - COMMERCIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	22
349080064	0.56	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		8	C1 - COMMERCIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	16
349080078	2.79	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		42	C1 - COMMERCIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	28
349080078	0.19	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	28
349080077	3.62	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		54	C1 - COMMERCIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	17
349100043	0.58	CR	R-R	MUA (50% HHDR)	MIXED USE	30		9	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	25
349100006	2.13	CR	R-A-2	MUA (50% HHDR)	MIXED USE	30		32	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	8
349080020	1.28	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		19	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	2
349080017	0.17	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		3	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	4
349080017	0.07	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		1	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	4
349080024	0.20	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		3	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	6
349100007	2.01	CR	R-A-2	MUA (50% HHDR)	MIXED USE	30		30	MF - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	9
349080066	1.18	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		18	MO - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	19
349100046	0.77	CR	R-R	MUA (50% HHDR)	MIXED USE	30		12	MR - MOBILE HOME	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	24
349100044	3.25	CR	R-R	MUA (50% HHDR)	MIXED USE	30		49	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	23
349080069	0.99	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		15	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	18
349080071	2.09	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		31	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	12
349080068	0.79	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		12	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	1
349080068	0.01	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		0	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	1
349100009	2.00	CR	R-A-2	MUA (50% HHDR)	MIXED USE	30		30	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	11
349080072	1.09	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		16	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	3
349080072	0.00	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		0	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	3
349080072	0.13	CR	W-2-M-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	3
349080067	0.80	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		12	R2 - RESIDENTIAL	ELSIONRE AREA PLAN	MEADOWBROOK TOWN CENTER	SITE 1	27
Harvest Valley/Winchester Area Plan													
Winchester Community (West)													
462080016	0.18	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	3
462080013	0.18	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	11
462080014	0.18	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	12
462080015	0.19	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	14
462090002	1.63	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		12	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	16
462080004	5.15	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		39	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	4
462080011	8.45	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		63	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER COMMUNITY (WEST)	SITE 1	6

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
Winchester Town Center													
463060018	0.55	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		8	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	154
462151001	0.57	MDR	M-SC	MUA (50% HHDR)	MIXED USE	30		9	NO CLASSIFICATION	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	100
463060026	1.01	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		15	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	151
463060005	0.90	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		13	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	160
463060004	0.93	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		14	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	155
463060003	0.94	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		14	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	150
463060022	1.01	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		15	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	165
463077001	0.27	MDR	M-SC	MUA (50% HHDR)	MIXED USE	30		4	CY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	159
463077002	0.71	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		11	CY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	169
463077002	0.26	MDR	M-SC	MUA (50% HHDR)	MIXED USE	30		4	CY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	169
463080023	0.96	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		7	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	89
463080024	0.95	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		7	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	91
462100062	0.95	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		10	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	11
462164007	0.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	50
462165005	0.71	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		7	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	52
462164003	0.16	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	53
462171005	0.17	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	68
462172001	0.09	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	64
462173001	0.36	CR	R-R	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	66
462172003	0.63	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		7	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	71
462110010	0.87	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		9	AN - AGRICULTURE	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	72
462110011	0.87	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		9	AN - AGRICULTURE	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	77
462110006	0.90	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		9	AY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	102
462166004	0.52	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	CY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	110
462172004	0.35	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	104
462173011	0.18	CR	R-R	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	111
462173009	0.08	CR	C-R	MUA (35% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	114
462110007	0.88	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		9	AY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	33
463118007	0.24	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		4	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	4
463118009	0.08	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	2
463118010	0.08	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	1
463118012	0.65	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		10	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	106
463118011	0.16	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	15
463118008	0.08	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	3
463142002	0.10	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	121
463142005	0.09	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		1	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	30
463142007	1.11	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		17	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	17
463141009	0.50	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		7	CY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	22
463141002	0.51	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	24
463142006	0.72	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		11	YY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	35
463141008	1.00	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		15	CY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	43
462120012	0.86	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		13	AY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 7	175
462120013	0.88	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		13	AN - AGRICULTURE	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 7	174

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
462120014	0.56	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		8	AY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 7	138
462120006	0.92	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		14	AY - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 7	140
462120038	0.34	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		5	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 7	141
463130011	0.86	CR	R-R	MUA (50% HHDR)	MIXED USE	30		13	YR - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 9	132
463080011	0.69	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		5	YS - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	88
462140021	0.99	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		15	YS - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	180
463160042	0.72	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		8	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	28
463160036	0.25	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		3	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	39
463130010	0.89	CR	R-R	MUA (50% HHDR)	MIXED USE	30		13	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 9	136
462166003	0.52	CR	R-R	MUA (35% HHDR)	MIXED USE	30		5	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	51
462165003	0.17	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	55
463160027	0.53	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		6	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	120
462172005	1.06	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		11	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	112
462165002	0.17	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	26
462164006	0.15	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	20
462173006	0.18	CR	C-R	MUA (35% HHDR)	MIXED USE	30		2	YS - VACANT	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	67
462173003	0.10	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	75
462140016	1.29	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		19	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	183
462173005	0.29	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	78
462173008	0.53	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		6	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	63
462166007	0.47	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	49
462173004	0.15	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	73
463118006	1.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	C1 - COMMERCIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	36
462140022	1.11	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		17	CX - CHURCH	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	178
463060032	1.10	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		16	M2 - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	146
463060029	0.56	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		8	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	143
463160034	1.31	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		14	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	46
462171004	0.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	65
463080020	1.01	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		8	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	81
463080010	1.30	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		10	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	92
463060025	0.52	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		8	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	157
462171002	0.35	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		4	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	58
463060031	0.79	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		12	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	147
463120017	2.59	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		27	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	167
463080018	0.96	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		7	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	163
463060024	0.50	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		8	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	145
463080007	0.68	LDR	R-R	MUA (50% HHDR)	MIXED USE	30		5	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	70
463160028	0.53	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		6	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	19
462165011	0.17	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	47
463080006	0.79	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		6	MF - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	74
463080017	0.78	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		6	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	171
463160030	0.54	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		6	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	31
463100005	2.12	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		16	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	105
462140009	0.17	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		3	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	186

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
463160037	0.25	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		3	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	40
463060030	0.56	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		8	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	152
463060006	1.88	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		28	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	166
463120018	2.53	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		27	MO - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	170
463160029	0.53	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		6	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	27
462165001	0.17	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	21
462140017	1.66	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		25	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	187
462140023	1.72	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		26	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	184
463160047	2.26	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		24	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	42
463060016	1.11	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		17	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	142
462140020	0.87	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		13	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	181
462140014	1.99	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		30	MR - MOBILE HOME	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 2	177
462110009	4.14	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		43	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	109
462165010	0.34	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	94
463142001	0.34	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		5	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 6	116
462166005	0.53	CR	R-R	MUA (35% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	101
463160041	1.15	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		12	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	113
463160026	0.99	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		10	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	16
463160044	0.25	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	25
462173010	0.27	CR	C-R	MUA (35% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	57
462165013	0.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	54
463060020	1.04	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		16	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	144
463160043	0.25	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	117
463160033	0.98	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		10	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 8	119
462171003	2.61	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		27	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	61
463060015	0.58	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		9	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 3	148
463080022	1.02	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		8	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	84
462165012	0.17	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	103
463080021	1.39	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		10	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	115
463100001	4.06	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		30	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	98
462100067	2.15	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		23	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 5	176
463080005	0.38	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	69
463130006	2.88	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		43	R1 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 9	134
463080019	1.01	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		8	R2 - RESIDENTIAL	HARVEST VALLEY/WINCHESTER AREA PLAN	WINCHESTER TOWN CENTER	SITE 4	168

Highgrove Area Plan

Highgrove Town Center													
255060014	0.15	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		3	CY - VACANT	HIGHGROVE AREA PLAN	HIGHGROVE TOWN CENTER	SITE 3	14
255110029	0.48	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		11	CY - VACANT	HIGHGROVE AREA PLAN	HIGHGROVE TOWN CENTER	SITE 3	19
255110019	0.09	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		2	CY - VACANT	HIGHGROVE AREA PLAN	HIGHGROVE TOWN CENTER	SITE 3	23
255040016	3.03	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		45	C1 - COMMERCIAL	HIGHGROVE AREA PLAN	HIGHGROVE TOWN CENTER	SITE 1	12
255040009	0.35	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		5	R1 - RESIDENTIAL	HIGHGROVE AREA PLAN	HIGHGROVE TOWN CENTER	SITE 1	2

APN	Acreage	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
Lakeview/Nuevo Area Plan													
Lakeview Town Center													
308150004	1.47	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		11	AY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 1	1
426020005	0.58	MDR	SP ZONE	MUA (25% HHDR)	MIXED USE	30		4	AI - AGRICULTURE	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 1	33
426020006	1.07	MDR	SP ZONE	MUA (25% HHDR)	MIXED USE	30		8	YY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 1	32
426060008	0.78	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		12	YY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 2	23
426440007	0.53	MDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		8	AI - AGRICULTURE	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 2	21
426072001	0.49	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		7	CY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	17
426073009	0.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		5	CY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	10
426074005	0.65	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		10	CY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	14
426092002	0.73	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		11	CY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	18
426092006	0.74	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		11	CY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	20
426083010	0.15	CR	C-P-S	HHDR	R-7	30	5		MY - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 7	36
426083009	0.48	CR	C-P-S	HHDR	R-7	30	14		YR - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 7	38
426060022	0.27	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		4	AS - VACANT	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 2	30
426091002	0.74	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		11	C1 - COMMERCIAL	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	29
426072002	0.63	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		9	C1 - COMMERCIAL	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	31
426083008	0.31	CR	C-P-S	HHDR	R-7	30	9		C1 - COMMERCIAL	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 5	40
426073002	0.52	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	C1 - COMMERCIAL	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	12
426083011	0.17	CR	C-P-S	HHDR	R-7	30	5		M2 - MOBILE HOME	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 5	37
426074002	0.53	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	LAKEVIEW TOWN CENTER	SITE 4	16
Nuevo Community (Western Area)													
307270028	0.60	CR	R-R	MUA (75% HHDR)	MIXED USE	30		13	YR - VACANT	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	29
307270024	0.17	CR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	23
307270020	4.85	CR	C-P-S	MUA (75% HHDR)	MIXED USE	30		109	CR - COMMERCIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	15
307240001	9.27	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		139	MF - MOBILE HOME	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 1	17
310270004	0.94	CR	R-R	MUA (75% HHDR)	MIXED USE	30		21	MF - MOBILE HOME	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	13
307270018	0.51	CR	R-R	MUA (75% HHDR)	MIXED USE	30		11	MO - MOBILE HOME	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	25
307270016	1.22	CR	R-R	MUA (75% HHDR)	MIXED USE	30		27	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	38
310270009	5.30	CR	R-R	MUA (75% HHDR)	MIXED USE	30		119	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	8
310270008	0.90	CR	R-R	MUA (75% HHDR)	MIXED USE	30		20	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	14
307270015	1.24	CR	R-R	MUA (75% HHDR)	MIXED USE	30		28	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	36
310270010	1.77	CR	R-R	MUA (75% HHDR)	MIXED USE	30		40	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	7
307270014	0.46	CR	R-R	MUA (75% HHDR)	MIXED USE	30		10	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	31
310270007	1.15	CR	R-R	MUA (75% HHDR)	MIXED USE	30		26	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	11
307270006	1.72	CR	R-R	MUA (75% HHDR)	MIXED USE	30		39	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	33
307270017	1.92	CR	R-R	MUA (75% HHDR)	MIXED USE	30		43	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	19
310270002	0.85	CR	R-R	MUA (75% HHDR)	MIXED USE	30		19	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	3
310270001	1.06	CR	R-R	MUA (75% HHDR)	MIXED USE	30		24	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	10
307240061	9.77	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		147	R1 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 1	21
307270013	0.69	CR	R-R	MUA (75% HHDR)	MIXED USE	30		15	R2 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	35
310270003	0.94	CR	R-R	MUA (75% HHDR)	MIXED USE	30		21	R2 - RESIDENTIAL	LAKEVIEW/NUOVO AREA PLAN	NUEVO COMMUNITY (WESTERN AREA)	SITE 2	5

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
Mead Valley Area Plan													
Good Hope Community													
326240037	0.29	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YY - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	6
326240080	0.84	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YR - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	7
326250028	1.01	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YY - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	26
326250031	1.01	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YR - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	27
326250032	0.76	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YR - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	29
326250027	1.00	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YY - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	40
326240018	0.54	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			YY - VACANT	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	43
326250035	1.07	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MR - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	1
326250041	6.56	LI	R-R	MUA (30% HHDR)	MIXED USE	30			C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	18
326250024	2.53	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	12
326240008	4.66	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			M2 - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	38
326240075	0.81	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			M2 - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	8
326250023	2.47	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	46
326240050	1.12	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	49
326250025	2.51	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	20
326240054	0.84	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	24
326250022	2.53	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	19
326240074	0.71	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	13
326250020	1.02	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MF - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	44
326250030	0.58	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MO - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	41
326240053	0.76	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MO - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	36
326250042	1.01	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MO - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	30
326240060	4.42	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MO - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	32
326240027	1.11	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			MO - MOBILE HOME	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	25
326250036	10.79	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	14
326240044	0.75	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	5
326240030	1.03	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	22
326250018	1.12	MDR	R-R	MUA (50% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	23
326240084	0.97	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	11
326240083	1.01	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	45
326240048	0.96	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	39
326240078	0.77	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	10
326240081	1.00	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	47
326240047	0.98	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	34
326240082	1.57	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	37
326240076	2.07	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R2 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	9
326240076	2.07	MDR	R-R	MUA (30% HHDR)	MIXED USE	30			R2 - RESIDENTIAL	MEAD VALLEY AREA PLAN	GOOD HOPE COMMUNITY	SITE 1	2
Mead Valley Community (I-215/Nuevo Rd Vicinity)													
305270028	0.38	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY COMMUNITY (I-215/NUOVO RD VICINITY)	SITE 3	2
305270026	0.39	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY COMMUNITY (I-215/NUOVO RD VICINITY)	SITE 3	3
305270044	2.23	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		34	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY COMMUNITY (I-215/NUOVO RD VICINITY)	SITE 3	5
305270029	1.55	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		23	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY COMMUNITY (I-215/NUOVO RD VICINITY)	SITE 3	6

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
Mead Valley Town Center													
3180900031	0.85	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	20
3180900023	0.21	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	16
3180900013	0.33	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		5	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	17
3180900032	0.85	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	18
3180900018	0.21	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	27
3180900017	0.21	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	28
3180900015	0.41	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	42
3181400019	0.74	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		11	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	13
3181400021	0.39	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	37
3181400015	0.56	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	7
3181400016	0.56	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	YR - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	35
3181400020	0.56	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	32
3181400022	0.19	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	34
3180900020	0.21	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	6
3180900024	0.21	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	2
3191810012	0.43	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	9
3181400017	0.54	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	33
3181400003	0.58	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		9	YY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	25
319052029	0.33	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		5	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	14
319052015	0.42	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	36
3191810033	0.34	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		5	YR - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	12
318061027	0.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		5	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	43
318061030	0.30	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		4	CY - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	44
318061037	0.92	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		14	C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	46
318061037	0.34	RC-LDR	R-R-1/2	MUA (50% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	46
318130003	0.25	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		4	YS - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	19
3181400029	0.52	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	41
3181400028	0.55	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		8	C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	22
3180900030	0.85	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	YS - VACANT	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	15
3181400004	0.93	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		14	C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	26
318062011	0.76	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		11	C1 - COMMERCIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	47
3181400005	1.12	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	CX - CHURCH	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	40
3180900014	0.41	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	M2 - MOBILE HOME	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	1
3181600005	1.12	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	8
3180900028	0.85	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	48
318130004	0.87	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	5
3180900016	0.41	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	MEAD VALLEY AREA PLAN	MEAD VALLEY TOWN CENTER	SITE 1	38

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
Temescal Canyon Area Plan													
Home Gardens Town Center													
115241030	0.14	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	99
115262017	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	114
115242033	0.17	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	81
115262013	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	YR - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	84
115241011	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	88
115262033	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	100
115261019	0.08	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	107
115241010	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	98
115251013	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	YY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	116
115241015	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	120
115241014	0.17	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	121
115273018	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	YY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	123
115251015	0.18	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	136
135041008	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	31
135041013	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	43
135041016	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	53
135061018	0.15	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	52
135041015	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	6
135032003	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	12
135061002	0.11	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CX - CHURCH	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	26
135061021	0.01	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		0	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	23
135031027	0.23	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	30
135031007	0.23	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	38
135022005	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	50
135022029	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	YY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	67
135041023	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	68
135041002	0.37	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		3	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	69
135032005	0.09	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	61
115241017	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	89
135041020	0.18	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	2
115261034	0.20	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	111
135041004	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	32
115261020	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	117
115242031	0.25	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	122
115273017	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	95
115273036	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	126
115251014	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	137
135022028	0.05	CR	R-1	MUA (25% HHDR)	MIXED USE	30		0	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	74
135022030	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	66
135041003	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	5
135032028	0.20	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	47
135022003	0.23	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	39

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
135041018	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	YR - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	8
135032006	0.13	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	YY - VACANT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	44
115273035	0.20	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	125
115273020	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	124
115251034	0.15	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	90
115251034	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	78
115241012	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	83
115262032	0.14	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	76
135061020	0.66	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	46
115274016	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	97
115262016	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	79
135032005	0.09	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	61
135031002	0.23	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	18
135041005	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	1
115252033	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	82
135031031	0.44	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	34
135103005	2.22	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		33	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 3	48
135061022	0.53	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		4	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	58
135032002	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	4
135151021	2.67	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		40	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 4	22
115274032	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	94
115274033	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	108
115274015	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	143
135022031	0.38	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	71
135041022	0.16	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	29
115241029	0.20	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	91
115300049	2.16	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		16	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	77
135032029	0.11	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	42
135031032	0.11	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	72
115300050	2.23	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		33	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 3	75
115300051	0.56	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		8	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 3	73
135151023	2.04	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		31	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 4	19
135170041	0.22	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 4	21
135170039	0.90	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		14	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 4	51
135103005	0.14	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 3	48
135031001	0.12	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CA - APARTMENT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	36
135031006	0.24	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	CA - APARTMENT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	37
135063020	1.31	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		10	CA - APARTMENT	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	54
115252017	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	103
115242030	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	115
115241009	0.23	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	135
115242032	0.17	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	128
115252016	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	79
115262014	0.07	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	119

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
115252032	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	127
115251016	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	118
115273015	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	138
115242017	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	131
115300047	0.90	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		7	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	92
115300052	1.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		9	CR - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	101
115261033	0.42	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		3	CT - COMMERCIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	141
135061003	0.12	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CX - CHURCH	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	27
135061004	0.12	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	CX - CHURCH	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	64
135102001	6.43	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		96	CX - CHURCH	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 3	9
115251019	0.08	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	129
115252014	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	112
135061017	0.14	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	16
115242018	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	133
115251012	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	106
115251018	0.13	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	130
135032027	0.22	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	41
115262019	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	110
115262020	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	142
115274018	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	134
135061014	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	63
115242017	0.21	MDR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	132
135041012	0.21	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	70
135022006	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	35
115251020	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	80
115252013	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	84
135041009	0.19	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	24
115261014	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	96
135041017	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	7
115274019	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	102
115273021	0.21	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	86
135061011	0.12	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	55
135063013	0.17	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	45
135063015	0.18	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	49
135032026	0.21	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	60
115261013	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	105
135063014	0.17	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	11
115262012	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	87
115274012	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	104
135022002	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	28
115252020	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	140
135061010	0.14	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	59
135032007	0.21	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	20
135061008	0.14	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	15

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
115261021	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	144
135061012	0.13	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	57
135031026	0.23	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	33
135063011	0.17	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	13
135063012	0.12	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	14
135061015	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	65
135061016	0.14	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	62
135061009	0.13	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	10
135041010	0.20	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	56
115273014	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	17
135041019	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	113
135041011	0.17	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	3
115274013	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 2	25
115252019	0.22	CR	C-1/C-P	MUA (25% HHDR)	MIXED USE	30		2	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	85
135041014	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	TEMESCAL CANYON AREA PLAN	HOME GARDENS TOWN CENTER	SITE 1	139
													40

The Pass Area Plan

Cabazon Town Center													
519250003	0.92	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		10	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	125
519250004	0.34	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	126
519320001	0.86	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		9	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	150
519320003	0.80	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		8	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	151
519330012	0.10	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	173
519330006	0.38	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	167
519320004	0.24	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	152
519320006	0.64	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		7	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	154
519320015	0.13	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	MY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	163
519330002	1.04	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		11	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	165
519330003	0.99	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		10	YY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	166
526021006	0.59	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		6	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	179
526021005	0.42	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	2
526031004	0.18	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	6
526031014	0.23	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	13
526033001	0.25	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	18
526031013	0.18	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	12
526031001	0.29	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	3
526031002	0.23	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	4
526060003	0.75	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		8	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	227
526060004	0.65	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		7	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	228
526031010	0.08	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	10
526033003	0.09	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	20
526035008	0.23	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	31
519320014	0.35	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	162
519320010	0.76	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		8	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	158

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
5193330011	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	172
5260600001	0.51	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	225
5260350005	0.05	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	28
5260330009	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	211
5260350110	0.11	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	33
5260230020	0.94	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		10	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	205
5260320005	0.92	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		10	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	210
5260220003	0.57	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		6	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	184
5260320003	0.32	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	208
5260320001	0.17	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	206
5260340002	0.16	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	213
5260230018	0.23	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		2	NO CLASSIFICATION	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	203
5260230019	0.21	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		2	NO CLASSIFICATION	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	204
5260600002	0.45	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	226
5260230003	0.36	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	197
5260340005	0.15	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	YY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	215
5260220008	0.10	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	189
5260230004	0.24	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	198
5260230005	0.43	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	199
5260210007	0.29	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	YS - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	180
5260330006	0.14	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	23
5260350004	0.06	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	27
5260330004	0.08	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	21
5260230007	0.31	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	200
5260320004	1.33	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		14	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	209
5260340003	0.17	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	YY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	214
5260350011	0.19	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	34
5260220007	0.20	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	188
5192400002	0.16	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	118
5193200013	1.20	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		13	CY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	161
5192700005	0.33	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		3	YY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	144
5192600004	0.14	LI	W-2-5	MUA (35% HHDR)	MIXED USE	30		2	YY - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	132
5192500009	0.74	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		8	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	130
5260500002	0.33	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		5	YD - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 4	219
5260500006	0.25	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		4	YS - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 4	221
5260500007	0.21	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 4	222
5260500005	0.08	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		1	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 4	220
5260500009	0.19	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 4	223
5261320002	0.35	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		5	YD - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 9	239
5261320021	0.44	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		7	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 9	242
5261320020	0.18	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 9	35
5261410010	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	46
5261430009	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	91
5261410009	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	45

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
526143012	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	94
526142031	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	70
526142012	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	63
526143015	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	67
526142028	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	97
526142015	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	66
526143010	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	92
526142032	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	71
526143024	0.50	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		8	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	99
526143013	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	95
526141015	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	66
526142013	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	64
526143014	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	96
526142014	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	65
526141012	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	63
526142030	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	69
526142029	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	68
526141014	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	65
526141016	0.98	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		15	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	255
526142044	0.16	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	82
526143001	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	83
526142040	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	79
526143005	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	87
526142038	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	77
526142003	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	54
526142005	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	56
526141008	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	44
526142006	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	57
526141005	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	41
526143006	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	88
526141007	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	43
526141006	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	42
526143007	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	89
526142036	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	75
526142004	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	55
526142037	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	76
526142007	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	58
526143008	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	90
526143024	0.10	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	99
519260005	1.18	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		12	MR - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	133
519270003	0.20	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		2	MR - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	142
526022012	0.60	LI	R-2	MUA (35% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	193
526035006	0.11	CR	C-P-5	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	29
519240004	0.12	LI	M-5C	MUA (35% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	120

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
526023002	0.22	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	196
526132024	0.69	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		10	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 9	36
526023017	0.34	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	202
526032002	0.46	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	207
526031012	0.24	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	11
526022009	0.43	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	190
519320007	1.35	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		14	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	155
526022010	0.63	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		7	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	191
519330009	1.21	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		13	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	170
526034001	0.33	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	212
519190001	1.10	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		12	C1 - COMMERCIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	116
526031009	0.17	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	CX - CHURCH	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	9
519270001	0.14	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		1	MF - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	140
519240003	0.21	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		2	MF - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	119
526142034	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	MF - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	73
519270007	1.02	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		11	MO - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	146
519260013	2.29	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		24	MO - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	138
519260014	2.27	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		24	MR - MOBILE HOME	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	139
526022004	0.11	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	185
526033005	0.14	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	22
526031006	0.22	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	7
526031017	0.17	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	15
526132004	1.85	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		28	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 9	241
519240001	0.17	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	117
526035003	0.12	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	26
526132001	0.50	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		7	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 9	238
519320009	0.59	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	157
519270004	0.21	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	143
526035009	0.11	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	32
526023001	0.27	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	195
526035001	0.12	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	24
526031007	0.23	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	8
519270009	2.92	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		31	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	148
526021003	0.86	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		9	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	178
526035002	0.11	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	25
519270010	9.23	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		97	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	149
519320005	0.36	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	153
519270002	0.14	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	141
519270006	1.00	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		10	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	145
526022006	0.23	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	187
526142008	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	59
526035012	0.15	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	216
526031003	0.23	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	5
526143004	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	86

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
519260012	1.16	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		12	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	137
526141003	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	39
526141011	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	47
526142039	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	78
526142010	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	61
526141013	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	49
519260011	0.61	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 3	136
526143011	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	93
526142042	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	81
526141004	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	40
526142009	0.16	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	60
519320008	0.85	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		9	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	156
526035007	0.11	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	30
526142041	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	80
526150012	2.33	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		35	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	105
526141002	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	38
526142035	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	74
526142033	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	72
526022005	0.43	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		5	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	186
526141001	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	37
526022011	0.62	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		6	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	192
526143002	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	84
519250005	0.39	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	127
526142001	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	52
526142002	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	53
526143003	0.17	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 10	85
526022001	0.62	CR	R-2	MUA (35% HHDR)	MIXED USE	30		6	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	182
526021004	0.37	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		4	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	1
526031016	0.08	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	14
526031018	0.14	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		2	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	16
526031019	0.11	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		1	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	17
526022002	0.59	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		6	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	183
526022013	0.55	LI	R-2	MUA (35% HHDR)	MIXED USE	30		6	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	194
526021001	0.89	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		9	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	177
519320011	1.28	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		13	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	159
526033002	0.26	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		3	R2 - RESIDENTIAL	THE PASS AREA PLAN	CABAZON TOWN CENTER	SITE 2	79
Western Coachella Area Plan													
I-10/Haugen Lehmann Ave Community													
517300012	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/Haugen Lehmann Ave Community	SITE 1	10
517300006	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/Haugen Lehmann Ave Community	SITE 1	19
517300013	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/Haugen Lehmann Ave Community	SITE 1	32
517290008	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/Haugen Lehmann Ave Community	SITE 1	21
517290011	0.62	CR	R-R	MUA (75% HHDR)	MIXED USE	30		14	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/Haugen Lehmann Ave Community	SITE 1	1
517330001	0.23	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/Haugen Lehmann Ave Community	SITE 1	8

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
517330003	0.23	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	2
517330008	0.25	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	7
517290010	0.15	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		3	YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	4
517330004	0.24	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		5	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	6
517330006	0.25	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	5
517330007	0.26	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	11
517330013	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	13
517330014	0.15	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	14
517330015	0.13	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	15
517330012	0.20	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	25
517300007	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	26
517300008	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	29
517300009	0.23	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	31
517300002	0.27	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	36
517330019	0.25	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	37
517330011	0.22	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	35
517330017	0.11	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	34
517290001	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	41
517290014	0.31	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		7	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	50
517300003	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	48
517300016	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	43
517290013	0.31	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		7	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	47
517300005	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	49
517300018	0.18	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	55
517290015	0.26	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	52
517300004	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	39
517290004	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MR - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	38
517330020	0.37	CR	R-R	MUA (75% HHDR)	MIXED USE	30		8	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	23
517340006	0.44	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		10	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	12
517340008	6.47	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		146	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	51
517290002	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	27
517300010	0.29	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		6	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	20
517290006	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	44
517300017	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	17
517290005	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	45
517300015	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	24
517300016	0.11	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		2	MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	22
517300011	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	16
517300014	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	MR - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	28
517290007	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	18
517290012	0.31	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		7	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	42
517300001	0.19	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	53
517290003	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	9
517330005	0.24	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		5	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	Proposed Density	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
517330010	0.23	MDR	R-R	MUA (75% HHDR)	MIXED USE	30	30		5	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	3
517290009	0.17	MDR	R-R	MUA (75% HHDR)	MIXED USE	30	30		4	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	30
517300002	0.16	MDR	R-R	MUA (75% HHDR)	MIXED USE	30	30		4	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	I-10/HAUGEN LEHMANN AVE COMMUNITY	SITE 1	46
North Palm Springs Community														
664200008	0.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30	30		8	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	4
664200009	0.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30	30		8	YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	1
664200010	0.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30	30		8	YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	22
664250002	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	2
664250003	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	33
664250004	0.29	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	8
664200007	0.59	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30	30		9	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	14
664250008	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	10
664250010	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	11
664250011	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	9
664250006	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	21
664250024	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	41
664250025	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	13
664250011	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	40
664250012	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	18
664250016	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	35
664250017	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	39
664250018	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	15
664250019	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	36
664250007	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	45
664250009	0.29	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	52
664250015	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	47
664250020	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	53
664250022	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	50
664260017	0.22	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	61
664260010	0.29	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	68
664260014	0.21	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	70
664260015	0.21	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	59
664260004	0.29	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	60
664260011	0.29	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	72
664260008	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	65
664260002	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	64
664260009	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	65
664260005	0.29	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	62
664260016	0.21	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	66
664260003	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	69
664260001	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	71
664260007	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	63
664260018	0.21	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	75
664250001	0.40	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30	30		6	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	82

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
664250013	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	79
664250014	0.41	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		6	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	80
664250026	0.31	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	81
664260012	0.39	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		6	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	67
664260016	0.45	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		7	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	77
664260013	0.27	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		4	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	76
664260017	0.15	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	61
664260014	0.16	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	70
664260015	0.15	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	59
664260016	0.15	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	66
664260018	0.13	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	75
664260013	0.21	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		3	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	76
664260006	0.03	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		0	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	77
664240001	16.85	CR	W-2	MUA (50% HHDR)	MIXED USE	30		253	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	78
664240001	6.90	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		103	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	78
664200029	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	16
664200021	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	20
664250023	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		5	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	29
664200019	1.27	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		19	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	7
664250021	0.30	CR	W-2-M	MUA (50% HHDR)	MIXED USE	30		5	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	12
664200035	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	NORTH PALMS SPRINGS COMMUNITY	SITE 1	24
Rushmore/Kimdale Community													
520091005	0.26	MDR	R-R	HHDR	R-7	30	8		MY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	123
520091011	0.25	MDR	R-R	HHDR	R-7	30	7		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	128
520092001	0.30	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	136
520093001	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	134
520110016	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	135
520091012	0.24	MDR	R-R	HHDR	R-7	30	7		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	125
520110001	0.27	MDR	R-R	HHDR	R-7	30	8		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	129
520110017	0.40	MDR	R-R	HHDR	R-7	30	12		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	120
520110004	0.36	MDR	R-R	HHDR	R-7	30	11		MY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	130
520092002	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	131
520110010	0.31	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	143
520092006	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	10
520110008	0.45	MDR	R-R	HHDR	R-7	30	14		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	2
520093005	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	8
520110002	0.44	MDR	R-R	HHDR	R-7	30	13		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	11
520123014	0.27	MDR	R-R	HHDR	R-7	30	8		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	7
520122003	0.32	MDR	R-R	HHDR	R-7	30	10		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	33
520092004	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	14
520122002	0.34	MDR	R-R	HHDR	R-7	30	10		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	23
520123008	0.28	MDR	R-R	HHDR	R-7	30	8		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	25
520121005	0.35	MDR	R-R	HHDR	R-7	30	11		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	17
520123004	0.26	MDR	R-R	HHDR	R-7	30	8		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	27

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	IMU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
520104003	0.33	MDR	R-R	HHDR	R-7	30	10		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	32
520101004	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	21
520101006	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	34
520091003	0.27	MDR	R-R	HHDR	R-7	30	8		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	41
520102006	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	32
520106002	0.27	MDR	R-R	HHDR	R-7	30	8		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	29
520123013	0.36	MDR	R-R	HHDR	R-7	30	11		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	56
520123011	0.38	MDR	R-R	HHDR	R-7	30	12		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	46
520103008	0.30	MDR	R-R	HHDR	R-7	30	9		YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	74
520101008	0.30	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	76
520103007	0.29	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	69
520123002	0.26	MDR	R-R	HHDR	R-7	30	8		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	63
520102003	0.30	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	59
520102005	0.34	MDR	R-R	HHDR	R-7	30	10		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	75
520101007	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	71
520106006	0.31	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	82
520091010	0.27	MDR	R-R	HHDR	R-7	30	8		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	99
520110014	0.34	MDR	R-R	HHDR	R-7	30	10		YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	85
520093007	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	91
520110005	0.33	MDR	R-R	HHDR	R-7	30	10		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	84
520122004	0.34	MDR	R-R	HHDR	R-7	30	10		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	96
520092005	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	92
520105001	0.29	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	105
520101010	0.30	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	94
520104001	0.29	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	101
520121004	0.26	MDR	R-R	HHDR	R-7	30	8		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	89
520102002	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	104
520103003	0.30	MDR	R-R	HHDR	R-7	30	9		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	107
520104004	0.43	MDR	R-R	HHDR	R-7	30	13		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	102
520106010	0.42	MDR	R-R	HHDR	R-7	30	13		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	103
520101005	0.30	MDR	R-R	HHDR	R-7	30	9		YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	110
520106003	0.27	MDR	R-R	HHDR	R-7	30	8		YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	108
520106009	0.27	MDR	R-R	HHDR	R-7	30	8		MR - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	81
520095008	0.29	MDR	R-R	HHDR	R-7	30	9		MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	13
520123006	0.27	MDR	R-R	HHDR	R-7	30	8		MR - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	100
520103005	0.43	MDR	R-R	HHDR	R-7	30	13		MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	64
520122007	0.27	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	26
520101009	0.29	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	24
520091004	0.26	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	117
520096003	0.27	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	88
520095007	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	40
520091009	0.42	MDR	R-R	HHDR	R-7	30	13		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	114
520110003	0.44	MDR	R-R	HHDR	R-7	30	13		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	124
520093002	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	132

APN	Acreage	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	IMU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
520093008	0.29	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	80
520094003	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	18
520104002	0.31	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	58
520110007	0.60	MDR	R-R	HHDR	R-7	30	18		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	35
520092003	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	4
520091008	0.37	MDR	R-R	HHDR	R-7	30	11		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	83
520106011	0.26	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	60
520122005	0.34	MDR	R-R	HHDR	R-7	30	10		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	43
520095002	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	41
520095006	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	39
520103001	0.29	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	52
520106012	0.26	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	54
520095003	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	67
520103004	0.33	MDR	R-R	HHDR	R-7	30	10		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	66
520091007	0.26	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	119
520103002	0.29	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	49
520092007	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	1
520110015	0.42	MDR	R-R	HHDR	R-7	30	13		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	121
520106001	0.28	MDR	R-R	HHDR	R-7	30	8		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	113
520095005	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	111
520101001	0.30	MDR	R-R	HHDR	R-7	30	9		MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	15
520122001	0.30	MDR	R-R	HHDR	R-7	30	9		MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	45
520110009	0.28	MDR	R-R	HHDR	R-7	30	8		MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	86
520095001	0.29	MDR	R-R	HHDR	R-7	30	9		MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	3
520123005	0.31	MDR	R-R	HHDR	R-7	30	9		MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	106
520105002	0.56	MDR	R-R	HHDR	R-7	30	17		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	44
520092008	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	141
520102004	0.26	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	28
520093004	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	6
520094008	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	97
520102004	0.28	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	22
520094007	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	98
520122008	0.35	MDR	R-R	HHDR	R-7	30	10		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	51
520110012	0.38	MDR	R-R	HHDR	R-7	30	11		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	140
520091006	0.26	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	116
520101002	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	78
520101003	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	95
520123007	0.28	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	68
520095004	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	20
520110011	0.33	MDR	R-R	HHDR	R-7	30	10		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	87
520096001	0.28	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	90
520095002	0.27	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	137
520102001	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	48
520121003	0.32	MDR	R-R	HHDR	R-7	30	10		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	70

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
520106008	0.26	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	65
520122006	0.26	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	16
520093006	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	5
520102010	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	61
520123010	0.37	MDR	R-R	HHDR	R-7	30	11		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	112
520123009	0.28	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	73
520094006	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	142
520123012	0.36	MDR	R-R	HHDR	R-7	30	11		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	138
520093003	0.30	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	93
520096004	0.28	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	19
520103006	0.32	MDR	R-R	HHDR	R-7	30	9		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	79
520106007	0.26	MDR	R-R	HHDR	R-7	30	8		R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	RUSHMORE/KIMDALE COMMUNITY	SITE 1	77
Thousand Palms Community (I-10/Cook St Vicinity)													
694120001	0.22	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		2	YS - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS COMMUNITY (I-10/COOK ST VICINITY)	SITE 1	1
Thousand Palms Town Center													
650263004	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	93
650173003	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	41
650132005	0.36	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		3	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	223
650263013	0.19	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	33
650263014	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	36
650263001	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	37
650164010	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	48
650164009	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	51
650164008	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	38
650164034	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	43
650164026	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	45
650164015	0.15	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	44
650164014	0.15	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	49
650173010	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	59
650173001	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	68
650164011	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	42
650164001	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	58
650164033	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	50
650164029	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	56
650164025	0.12	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	47
650173025	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	54
650173027	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	46
650173011	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	62
650164012	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	60
650263015	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	76
650173032	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	72
650173027	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	71
650173031	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	67
650173030	0.12	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	75

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
693020014	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	170
693020012	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	95
693020007	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	96
693020005	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	94
693031016	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	100
693031014	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	97
693020034	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	101
693020027	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	107
693020025	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	103
693032003	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	102
693031006	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	99
693031004	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	98
693020015	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	108
693020013	0.17	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	109
693020006	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	106
693020004	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	146
693032009	0.15	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	193
650263005	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	30
650263003	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	86
650263006	0.20	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	14
650263002	0.15	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	53
693032008	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	171
650173034	0.29	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	206
693032007	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	208
650133011	0.73	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		5	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	225
650133012	0.72	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		5	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	228
693020021	0.28	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	210
693040017	0.84	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		13	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 2	219
693040014	0.71	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		11	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 2	222
650282006	1.99	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		15	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	19
650281011	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	28
650282002	0.19	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		1	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	29
650282007	1.97	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		15	YS - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	3
650281007	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	1
650281017	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	6
650281016	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	9
650282003	0.75	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		6	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	13
650251043	0.69	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		5	YY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	32
650281001	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	31
650300010	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	57
650290014	0.20	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	198
650290013	0.20	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	196
650290022	0.84	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		6	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	188
650290027	1.02	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		8	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	191

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
650290015	0.20	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	197
650290023	0.75	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		6	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	207
694072001	0.25	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		4	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	110
694071011	0.14	CR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	121
694071006	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	113
694071005	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	125
694071007	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	114
694072003	0.13	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	117
694071003	0.15	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	123
694072008	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	111
694071004	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	115
694072009	0.15	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	124
694071008	0.13	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	126
694072004	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	131
694072007	0.14	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	142
694072006	0.16	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	128
694072005	0.17	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	180
694071010	0.13	CR	R-4	MUA (50% HHDR)	MIXED USE	30		3	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	177
694072002	0.27	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		4	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	185
693230012	0.03	CR	R-4	MUA (50% HHDR)	MIXED USE	30		1	YD - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	179
693230013	0.10	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	CT - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	211
693230013	0.12	CR	R-5	MUA (50% HHDR)	MIXED USE	30		2	CT - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	213
694060003	0.12	MHDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		2	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	213
694060003	0.06	MHDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		1	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	224
693230013	0.01	CR	R-4	MUA (50% HHDR)	MIXED USE	30		0	CT - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	224
694071011	0.05	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		1	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	213
694071010	0.03	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		0	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	121
694071009	0.05	CR	R-4	MUA (50% HHDR)	MIXED USE	30		1	YR - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	179
694060023	0.31	MHDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		5	AY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	182
693230019	0.29	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		4	AY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	233
693230019	0.17	CR	R-3	MUA (50% HHDR)	MIXED USE	30		3	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	233
693031023	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CY - VACANT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	235
650173028	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	134
650164035	0.65	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	70
650290018	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	39
693032005	0.29	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	192
693032003	0.17	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	199
693031022	0.38	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	84
650263022	0.36	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	181
693032014	0.17	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	74
													175

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
693032015	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	176
693032012	0.36	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	172
693020019	0.30	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		2	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	104
693032004	0.35	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	183
693032016	0.13	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	174
693032013	0.18	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	173
650132007	0.35	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		3	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	226
693032006	0.68	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	212
650263026	0.62	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		5	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	209
693040010	1.25	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		9	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 2	218
693040013	0.82	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		6	C1 - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 2	220
650164005	0.17	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CA - APARTMENT	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	52
650164002	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	64
650164004	0.17	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	63
650164030	0.17	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	85
650173007	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	66
650173006	0.15	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	40
650290020	2.59	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		19	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	202
650164003	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	69
650173002	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	41
650173005	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	35
650173004	0.14	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	34
650164031	0.16	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		1	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 1	55
650300015	3.91	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		29	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	205
650300015	3.09	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		23	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	205
650290025	0.86	CR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		6	CR - COMMERCIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	205
650290025	0.42	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		3	MF - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	194
650290024	0.75	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		6	MO - MOBILE HOME	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	187
650281003	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	7
650281025	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	26
650281004	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	12
650281024	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	8
650281012	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	92
650281018	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	21
650281014	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	73
650281022	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	25
650281006	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	16
650281020	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	20
650281013	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	80
650290019	2.53	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		19	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	203
650281015	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	65
650281009	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	4
650281019	0.24	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	2
650281021	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	15

APN	Acres	Land Use	Zoning	Proposed Land Use	Proposed Zoning	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Current Use of Site	Area Plan	Community	Neighborhood	Lot #
694071013	0.21	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	136
650281010	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	23
650281026	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	17
650281005	0.27	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	4
650281023	0.25	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	11
650282005	1.96	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		15	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	190
694071014	0.20	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	136
694071015	0.21	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		3	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	112
650281002	0.26	MDR	R-4	MUA (50% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	22
694071012	0.16	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		1	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	119
694071012	0.01	CR	R-4	MUA (50% HHDR)	MIXED USE	30		0	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	119
650281008	0.26	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		2	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	18
650282012	1.11	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		8	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	27
694071016	0.24	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		4	R1 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 5	120
650282008	1.98	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		15	R2 - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	5
650300014	1.85	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		14	RX - RESIDENTIAL	WESTERN COACHELLA VALLEY AREA PLAN	THOUSAND PALMS TOWN CENTER	SITE 3	77
Total	677.98						1799	7007					

**APPENDIX P-1C
CITIZEN PARTICIPATION**

Citizen Participation

The California Government Code requires that local governments make diligent efforts to solicit public participation from all economic segments of the community, especially low-income persons, in the development of the Housing Element. During the preparation of this Housing Element update, public input was actively encouraged in a variety of ways.

The County continues to participate in the quarterly meetings of the Housing Review Committee. These public meetings discuss all aspects of affordable housing and how to assist the citizens of Riverside County in meeting their housing needs, particularly as it relates to the unincorporated Coachella Valley area.

As of the 5th Cycle Housing Element update, the permanent members of the Housing Review Committee Advisory Council were:

A representative for the 4th District Supervisor, a representative for the 36th District US House of Representatives, a representative for the 56th District State Assembly, a representative for the 28 District State Senate, Housing Ombudsman, Transportation Land Management Agency, Riverside County Building and Safety, Riverside County Environmental Health, California Department of Housing and Community Development, , US Department of Agriculture, Imperial Irrigation District, Coachella Valley Water District, Office of Social Concerns, Catholic Charities, Torres Martinez Desert Cahuilla Indians, Desert Alliance for Community Empowerment, Coachella Valley Housing Coalition, Riverside County Economic Development Agency, California Rural Legal Assistance, Inc., Tenant Mobile Home Owner–Sergio Duran, Mobile Home Park Owner–Robert Melkesian, Nonprofit Housing Provider–Pueblo Unido, and Non-Developer Representative– Michelle Hasson.

The 5th Cycle Housing Element update was adopted in December 2016. The County began work on the subsequent Mid-Cycle update in January 2017. Since this Mid-Cycle update follows so closely after the adoption of the 5th Cycle update, its focus is on providing more current information by updating Housing Element’s tables and accompanying text. No policy changes or other substantive changes are proposed in this Mid-Cycle update. As such, the public outreach commensurate with this Mid-Cycle update is focused on posting the updated Housing Element on the County Planning Department’s website, notifications of Housing Element availability to interest groups, and providing hard copies for review at the County’s Planning Department and local libraries. The County will then compile responses to comments received and provide them to the Riverside County Planning Commission and Board of Supervisors as part of the Housing Element Mid-Cycle update for approval and adoption at public hearings before the two decision making bodies.

In an effort to continue to encourage public input throughout the update process, the County released the Public Review Draft Housing Element on June 2, 2017. The Housing Element was posted to the County’s website, a hard copy was available at the Planning Department public information counter, located at 4080 Lemon Street, 9th Floor, Riverside, CA 92501 and an electronic copy was provided to advocates two weeks prior to submittal to the California Department of Housing and Community Development (HCD) for review and comment. Hard copies will also be available for review at the Palm Springs Public Library (Central Library) located at 300 S. Sunrise Way, Palm Springs, CA 92262 and the Riverside Public Library located at 3581 Mission Inn Avenue, Riverside, CA 92501.

The Housing Element was also presented at two public hearings to the Planning Commission and Board of Supervisors, respectively for approval and adoption.

Public Notices

Notice of all hearings are provided to the County’s list of interested parties, which include representatives of low-income and special needs groups, non-profit and for-profit housing developers, community organizations, and other governmental agencies. In addition, to accommodate the needs of Spanish-speaking residents, the County provides the services of qualified translators at community workshops.

HCD Review

The Draft and Final Housing Element were also provided to the Department of Housing and Community Development for review and comment, as required by law.

5th Cycle Housing Element Update – 2015 Outreach Efforts

The public participation effort during the drafting of the 5th Cycle Housing Element included:

- Community Workshops held in three locations around Riverside County
 - June 8, 2015 – Mecca
 - June 9, 2015 - Mead Valley
 - June 10, 2015 - Cabazon

During the 5th cycle Housing Element update Riverside County took a new approach to the community workshops. Each workshop was an open house–style meeting with interactive stations allowing participants to learn about the Housing Element and participate in activities at their own pace. A member of the project team was available at each station to answer questions and guide participants through the activities. The workshops had good attendance over a three-day period with approximately 70 people attending and providing feedback on the Housing Element update.

Station 1: Housing Element Overview

An ongoing PowerPoint presentation provided participants with an overview of the Housing Element’s content, process, and schedule.

Station 2: Housing Program and Services

Workshop participants were asked to identify the topics most important to them from a variety of housing programs and services. Workshop participants identified farm worker housing and home maintenance and rehabilitation programs as the highest priority.

Riverside County Housing Programs and Services									
Program	This service is important to me and/or my friends and family				Riverside County should support this program or service				Comments
	Agree	Disagree	Neutral	N/A	Agree	Disagree	Neutral	N/A	
Age in place resources	9	0	0	0	7	0	0	0	Do not gentrify communities
Down payment assistance	7	1	0	0	5	3	0	0	

Emergency shelters and homeless services	9	1	0	0	7	2	0	0	
Energy-efficient resources	7	0	0	0	6	0	0	0	Youth programs, park activities
Fair housing assistance	7	0	0	0	3	1	0	0	
Farm worker housing	13	1	1	0	10	1	0	0	No dormitory-style housing, family housing
Homeownership education	7	1	0	0	7	1	0	0	
Home maintenance and rehabilitation	11	0	0	0	8	1	0	0	
Recovery and treatment facilities	6	4	0	0	6	1	0	0	
Services for persons with physical or developmental disabilities	6	0	0	0	4	1	0	0	
Transitional and supportive housing	8	3	0	0	5	3	0	0	

Station 3: Housing Types

Using sticky dots, participants were asked to identify housing types they would like to see more of in Riverside County. Mixed-use and affordable housing were identified as the highest priority, followed by senior housing/assisted living and single-family homes.

What Housing Types Do We Need More of in Riverside County?		
Single-Family Home	Townhouse	Condos/Apartments
12	8	9
Mixed-Use Building	Senior Housing/Assisted Living	Affordable Housing
20	14	20
Energy-Efficient Home	ADA-Accessible Housing	Mobile Home
11	7	6

Additional comments included the following:

- I think Riverside County should set aside an area that senior citizens can enjoy model airplanes (mechanical park). This facility should be located near senior housing with property values increasing. Flying sites are disappearing. Riverside Radio Control Club has a site south on the Old K-Mart near the highway that could be sold to commercial businesses.
- I would like a transit oriented type development in the Harvest Valley Winchester Area along with mixed use.
- No high density homes in Mead Valley, Good Hope
- No condos, no high density housing

- For a well balanced high density development – transit oriented and mixed use components are a necessity!! A successful combination.

Station 4: Housing Sites

This station provided maps on the sites needed to be rezoned to accommodate high-density residential development. Participants had the opportunity to provide comments regarding the selected sites on Post-it notes. Comments received included:

- Too much high density residential [in Thousand Palms]. Not a [good] fit and no infrastructure to support additional density. Should be single family residential only.
- No services [to support high density north of Datil Road in Thousand Palms].

Participants were also given a map of Riverside County to identify areas of the county that lack adequate services or have issues (water, sewer, flooding issues, etc.). The following comments were received:

- Rural communities in Blythe area need affordable housing. There is no housing available for seasonal farm workers during peak harvest season.
- Unincorporated areas of eastern Riverside County need infrastructure, water, sewage, flood control, and affordable housing, farm worker housing.
- Lack flood control, potable water, sewer system, and overall infrastructure to build sustainable and healthy communities.

Station 5: Environmental Review

An overview poster described the purpose of the Environmental Impact Report (EIR) that will be prepared for the Housing Element. Using dots, participants had the opportunity to identify the environmental topics that are most important to them. Participants of the three 2015 workshops identified hydrology and water quality and recreation as very important to address in the EIR.

Environmental Impact Considerations					
Environmental Consideration	This is Very Important	This is Important	This is Not Important	I Have No Opinion	Comment
Aesthetics	2	2	1	0	
Agricultural & Mineral Resources	6	1	1	0	
Air Quality/Greenhouse Gases	5	0	0	0	Mead Valley agriculture/urban interface
Biological Resources	3	1	0	0	
Cultural Resources	2	0	1	1	
Geology and Soils	3	1	0	0	
Hydrology and Water Quality	10	0	0	0	
Hazards and Hazardous Materials	4	1	0	0	

Land Use and Planning	8	0	0	0	
Noise	4	3	0	0	
Population and Housing	7	0	0	0	
Public Services	3	2	1	0	
Recreation	9	1	1	0	
Transportation and Circulation	8	1	0	0	
Utilities and Service Systems	5	1	0	0	

Station 6: Other Comments and Suggestions

Participants had the option to write any additional comments on Post-it notes and place them on a poster. Participants were also able to return completed comment cards before leaving. The following are the comments provided.

There is a high concentration of housing for the low income in Cabazon. This is going to create more problems for an already poor community and more safety problems for the community.

With all of this housing developing in Riverside County, the demands are going to increase for electricity and water. Firstend vetoed the huge solar plant in the desert to keep with the electricity demand. Nuclear power plants are going to be needed. Huge problems are going to happen.

I support the Winchester Town Association's Land Use Planning. Thank you for your efforts to incorporate:

- Hwy 79 alignment
 - Metrolink & related parking and services
 - Mixed use
 - A walkable/bike-able community with a diverse set of zoning for the long term use of all our residents
 - Great schools & parks
 - Senior housing
-

We moved away from the city to live in a rural atmosphere. The city is encroaching on our peaceful life. Two housing developments have already been built near us. Now a third is proposed that will cover two sides of our property. This is distressing.

Opposed to high density product along Ramon Road near Desert Moon & Via Las Palmas in Thousand Palms. Current zoning is partial commercial which should remain for balanced economic development.

High density also will affect values in neighborhoods where homes are in excess of 5,000 sf. Will council be reducing our property taxes at a time where they are increasing tax basis again?

Lastly, roads and infrastructure are not in place to support influx of housing with HHDR proposal. Would like to see EIR when available.

Please do not separate affordable housing and low income housing.

Keep in mind that Riverside County has the largest amount of mobile home parks. This is due to the lack of housing availability. We need to offer this resource to the farmers and hospitality workers who feed us. Without their work our lifestyle will be much different. We need to provide dignity and humane housing for the population who create a billion dollar revenue in our community.

Can you send me a detailed map of the various Housing Element community workshop areas?

Farm workers - Offer humane housing to the population of the county who generate 1 million dollars and who have to live in their cars with temperature above 105 degrees.

Summary

Over 70 community members were able to provide their feedback on the Housing Element update at three workshops in June 2015. Feedback was received via post-it notes, comment cards, and interactive exercises. Through this feedback, a few common themes emerged, including the following:

- **Senior and farm worker housing are priorities.** The special needs of housing for farm workers and seniors were identified throughout the workshops. Participants felt that Riverside County was in need of more senior housing/assisted living facilities to support the growing number of seniors in the community. The creation of new farm worker housing to provide decent and affordable housing for seasonal workers was also a priority.
 - **Response:** The County has included programs 1.1d, 1.1f, 1.3a, and 1.3b to assist with the need for housing for farmworkers and seniors.
- **Mixed-use development opportunities.** Participants emphasized the need for balanced growth including mixed-use and transit-oriented development housing options.
 - **Response:** Through identification of the sites for the sites inventory, the County has created a new mixed use zone and designated several hundred acres as appropriate for mixed use development. Please refer to the Housing Resources section for more detailed information.
- **Protect community character.** Participants felt that the character of communities throughout the county should be protected. New development including high-density residential, mixed-use, and commercial should take into consideration the needs of the community, provide economic development, and ensure the availability of infrastructure and services.
 - **Response:** Through identification of the sites for the sites inventory, the County looked at several different criteria to determine the needs of the community. Please refer to the Housing Resources section for more detailed information.
- **Need for affordable housing.** Developing new affordable housing was identified as a top priority in Riverside County. In addition to developing new affordable housing, continued home maintenance and rehabilitation was also seen as a priority and a way to continue to preserve existing affordable housing in the county.
 - **Response:** The County has included programs 1.7a – 1.7e and 2.1a – 2.1d to assist with the need for new affordable housing as well as maintenance and rehabilitation of existing housing.

Comments Received

Following the release of the draft 5th Cycle Housing Element in December 2013, both the California Rural Legal Assistance (CRLA) and the Leadership Counsel for Justice and Accountability (LCJA) provided written comments. A meeting was held on April 17, 2014 with representatives of these two organizations to discuss their comments and revisions to the Housing Element with respect to the issues raised in their comment letters. Another meeting

was held with these two organizations on March 30, 2015 to solicit suggestions on the Housing Element and housing related programs.

The County received two comment letters (February 2014 and March 2016) from CRLA and the LCJA which included comments concerning several topics. The County has added several programs as well as additional analysis to address these concerns. Below list the concerns and how the County addressed each item.

1. Lack of public participation
 - **Response:** The County met with both CRLA and LCJA twice to gather additional information on their concerns. In addition, the County held three workshops with 70 participants to gain feedback on the draft Housing Element as well as the newly proposed sites to meet the County's RHNA.
2. Ensuring General Plan consistency
 - **Response:** The County reviewed the Housing Element and General Plan element to ensure consistency. In addition, the County is in the process of amending its Safety and Land Use Elements to ensure compliance with SB 1241 and SB 244.
3. Additional analysis needed on the progress of programs
 - **Response:** The County completed a thorough update of each program with a review of the previous element section of the Housing Element and quantified data where available. The County also provided an explanation if a program was modified or deleted.
4. Community profile data should include Eastern and Western data, not just the County as a whole, as well as additional analysis
 - **Response:** The Housing Element was revised to include Eastern and Western data where available. Additional analysis for overpayment, overcrowding and housing conditions was also included.
5. Additional programs needed to assist with farmworker housing, mobilehomes, and special needs housing
 - **Response:** The County has added actions 1.1a, 1.2a, 1.3c, 1.3d, 1.5c, 2.1f, 2.1g, 2.1h, and 2.2b to further assist with the need of farmworker housing, mobilehomes, and special needs housing, specifically extremely low-income and transitional and supportive housing types.
6. Must include a complete sites analysis including addressing environmental and infrastructure constraints
 - **Response:** The County has revised the Housing Element to accommodate the 4th Cycle RHNA shortfall as well as the 5th Cycle RHNA. The County did a full survey of 10 Area Plans and concurrently with the adoption of this Housing Element will be creating new R-7 and MUA zoning classifications. Owner and renter occupied housing will be permitted by-right without and discretionary review of these sites. The County also reviewed its infrastructure capacity and provided additional analysis as well as action 1.2h.
7. Program objectives need to be revisited

- **Response:** The County completed a full review of its 8-year action plan and revised programs as necessary. Several repetitive programs were combined and stronger objectives were included.

During the initial draft of the 2013 – 2021 Housing Element that was released in December 2013, the County consulted with the Pechanga Band of Mission Indians. It was requested that language to reinforce the County's continuous effort to work with Tribal Governments to protect cultural/archaeological resources be included in the document. The County's 2015 General Plan includes a policy in the Multipurpose Open Space Element, Policy OS 19.2 which states:

The County of Riverside shall establish a Cultural Resources Program in consultation with Tribes and the professional cultural resources consulting community. At a minimum, the County would address each of the following:

- application of the Cultural Resources Program to projects subject to environmental review;
- government-to-government consultation;
- application processing requirements; information database(s);
- confidentiality of site locations;
- content and review of technical studies;
- professional consultant qualifications and requirements;
- site monitoring;
- examples of preservation and mitigation techniques and methods;
- curation, and
- the descendant community consultation requirements of local, state and federal law. (AI 144).

The County believes this language is sufficient to address the Pechanga Band of Mission Indians request and no additional policies will be included in the Housing Element.

Chapter 8 Housing Element

Evaluation of the Previous Housing Element

Progress in Implementing the Past Element Goals and Objectives

State law requires communities to assess the achievements under adopted housing programs as part of the update of their Housing Elements. These results should be quantified wherever possible, but may be qualitative where necessary. These results need to be compared with what was projected or planned in the earlier element. Where significant shortfalls exist between what was planned ~~or what was~~ and achieved, the reasons for such ~~difference~~ differences must be discussed. As the past planning period extended from January 1, 2006, to June 30, 2014, it is appropriate to evaluate the following:

- The appropriateness of the housing goals, policies, and programs in contributing to the attainment of the past element's objectives.
- The effectiveness of the element in attainment of the County's housing goals and objectives.
- The progress of the County in implementing the previous Housing Element.

~~Table H-4~~The matrix on the following page, Progress in Implementing ~~Housing Goals,~~ Programs and Objectives ~~contains, provides a summary of the results of this evaluation~~mid-cycle review (progress from 2013 to 2017) of the ~~previous~~ accomplishments for each program included in the 2013-2021 Housing Element, along with recommendations for the current element, where appropriate.

Housing Element

Chapter 8

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Adopt 1.1a: Use funding available for the production and subsidization of lower- and moderate-income housing priority given to lower income households (including extremely low-, very low- and low-income households). Work with public or private sponsors to identify candidate sites and to make applications to state and federal housing programs for new construction of rental housing for seniors and other special needs, and take all actions necessary to expedite processing and approval of such projects. Utilize public financing tools when available, including but not limited to: multifamily revenue bonds and Community Development Block Grant (CDBG)/Home Investment Partnership Act (HOME) funds to provide low-interest loans, and where feasible, leverage other state and federal financing obtained by the developer (e.g., Low Income Housing Tax Credits (LIHTC), CHFA multifamily housing assistance programs, HCD Multifamily Housing Loans), and other financing available.</u></p>	<p>Objective (Qualified) Resources: HOME and other HUD and HCD grants, as they become available.</p> <p>Responsible Agency: FDA/Housing Authority/TLMA</p> <p>Time Frame: The County is an entitlement community for CDBG funds. Annually apply for LIHTC. CHFA multifamily housing assistance programs, HCD Multifamily Housing Loans, etc.</p>	<p>Result/Effectiveness: The County uses various funding sources to provide for long term affordability of rental units. Funding sources include continuing redevelopment property tax proceeds, County HOME, LIHTC, HCD and CDBG in order to reduce market rents. A total of 1775 units countywide are so subsidized with subsidies running as far out as 2069. Please see Housing Element Table H-27 for additional information.</p> <p>Additionally, between 2013 and 2016, the County received an annual federal allocation of approximately between \$1.6 million and \$1.7 million in HOME Investment Partnership Act Funds which were utilized for various housing program activities including gap financing for the development and construction of special needs housing projects including farm worker housing projects and projects with supportive housing services. Developers apply directly to HCD for farm worker housing grants or County Mental Health for project funding for supportive housing projects.</p> <p>Between 2013 and 2016, the County did not partner with other entities or identify sites for senior housing projects. However, during the same period, 81 units were secured with federal and state funds for mental health support services, 180 mobile home spaces for farmworkers, and 14 mobile homes for low income farmworker families. One site for future development was identified in the unincorporated Oasis community in 2015.</p> <p>Housing Element Table H-65 provides quantified objectives for affordable housing which is built or planned during the pendency of this Housing Element. A total of 474 affordable new construction units are identified in the categories of single family and multiple family. Also included are 34 Senior Home Repair Program units as well as an additional 79 units provide through the Mortgage Credit Certificate Program, Down Payment Assistance Program and the Security Deposit Assistance Program. All units are affordable within the income levels of Very Low, Low, and Moderate.</p>	<p>Continue, Modify, or Delete</p> <p>Continue/Modify/Delete</p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1.1a: Use, to the greatest extent possible, all funding available for the production and subsidization of low and moderate income housing. Utilize public financing tools when available, including but not limited to multi-family revenue bonds, the CDBG, Housing Loan Fund, HOME funds, RDA Set-Aside funds to provide low interest loans, and where feasible, leverage other state and federal financing obtained by the developer (e.g., Low Income Housing Tax Credits (LIHTC), CHFA multi-family housing assistance programs, HCD Multi-Family Housing Loans), and other financing available. All projects receiving public assistance will be required to remain affordable in compliance with the requirements of the program in which they participate.</p> <p>Timing: 2014 for implementation</p> <p>Responsibility: EDVA, RDA/Housing Authority 1.1b: Continue utilization of tax-exempt revenue bonds for the financing of new multifamily construction.</p>	<p>Review and revise, if necessary, the County's Fast Track Policies.</p> <p>Develop an affordability ordinance that provides direction and incentives to the development community to encourage areas and opportunities for affordable housing.</p> <p>development Resources: County tax allocation bonds; California Debt Limit Allocation</p> <p>Responsible Agency: EDVA/Housing Authority</p> <p>Time Frame: As projects come forward, assist with the process of applying for funding on the developer's behalf.</p>	<p>The County's fast track policies have been updated and reviewed and now include provisions regarding renewable energy. Although an affordability ordinance has not yet been developed, this is still something the County wishes to develop. This is pending funding.</p> <p>The County has produced and subsidized 1,652 units within unincorporated areas of the County of Riverside since 2006. 2,544 units countywide. Riverside County's contribution has primarily been funding from RDA or HOME. Other funding sources include LIHTC, HCD programs, Bonds, CDBG, and USDA. The County did not issue or utilize tax exempt revenue bonds to finance new construction of multi-family housing between 2013 and 2016.</p>	<p>Continue.</p>
<p>1.1c: Continue to utilize federal and state funding programs to assist prospective owners and renters of mobile homes in funding the purchase and/or installation of mobile home units. Action 1.1b: Continue utilization of tax-exempt revenue bonds for the financing of new multi-family construction.</p> <p>Timing: Continue program through planning period - 2014</p> <p>Responsibility: Housing Authority</p>	<p>Tax Exempt Private Activity Bond Program Resources: Former RDA funds; HCD CalHome grants; HCD Joe Serra Jr. Farm Worker Housing Grants (FWHG); USDA Rural Development loans, and other HCD grants as they become available.</p> <p>Responsible Agency: EDVA/Housing Authority</p>	<p>The Housing Authority of the County of Riverside utilized tax-exempt Multifamily Housing Revenue Bonds to construct Mission Village Senior Apartments, a 102-unit affordable senior complex in Jurupa Valley completed on May 17, 2010. The project was completed prior to incorporation of Jurupa Valley. A total of eleven (11) mobile home parks, with 12 units in each park for a total of 132 units, are continuing to receive redevelopment agency funding for the purpose of providing rental subsidies to lower income households. While the State eliminated redevelopment agencies by statute, property tax redevelopment proceeds continue to be collected for obligations encumbered before legislative action eliminated the redevelopment agencies. The subsidies terminable between 2039 and 2059 for these mobile</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Table 1.14 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Action 1.1d</u>: Continue to offer fast track/priority processing and financing options (when funding is available) to developers of County-assisted projects proposing new housing, mixed-use or infill projects affordable to lower-income households, farm workers, seniors, and other special needs groups. The County will continue to offer fast-track/priority processing and financing options to developers of mobile home projects in response to the purchase and installation of mobile home units.</p> <p><u>Timing</u>: Annually, or in response to the Notice of Funding Availability (NOFA)</p> <p><u>Responsibility</u>: EDA</p>	<p><u>Time Frame</u>: Annually, or in response to the Notice of Funding Availability (NOFA).</p> <p><u>Resources</u>: HOME and other HUD and HUD grants as they become available.</p> <p><u>Responsible Agency</u>: <u>EDAT/IMA</u></p> <p><u>Time Frame</u>: Ongoing, as projects are processed through the Planning Department.</p>	<p>home parks – Aquirre, Arealano, Barroso, Duarte, Ferro, Hernandez, Hope Ranch, MVR, Rodriguez, Vargas, and Villalobos.</p> <p>The County received two awards of \$1.5 million each in both 2009 and in 2013. These awards assisted approximately 20 to 40 mobile homes during the 2006-2014 planning period.</p> <p>State Farm Worker Housing Grants (FWHG) funds were used for Mobile Home Tenant Loan (MHTL) program and Federal GalHome grant funds were used for Fee Land mobile home loans. The County can only defer or reduce development fees when projects, deferred or reduced fees are generally not available, because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose. However, to support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonuses pursuant to Government Code Section 65915. It should be noted that fast-track processing can only occur when the private sector expeditiously provides project related information in response to a County request for such information to ensure quick project review turnarounds. Also, the adoption of the Highest Density Residential and Mixed Use Area land use designations may obviate the need for density bonus requests, as these designations provide increased flexibility to achieve residential densities.</p>	Continue.
<p><u>Action 1.14c</u>: When funding is available, the County shall assist to write down land costs of acquiring sites, offer fast track/priority processing, gap assistance with land acquisition, and other upfront costs as well as assistance in securing federal or state housing financing options, density bonus and fee subsidies to developers of County-assisted resources for projects proposing new housing, mixed-use or infill projects which reserve a proportion of units affordable to lower-income households, farm workers, seniors, and other special needs groups.</p>	<p><u>Review programs annually and revise as necessary</u> Resources: HOME and other HUD and HUD grants as they become available.</p> <p><u>Responsible Agency</u>: <u>EDA/Housing Authority, IMA</u></p>	<p>The County fast tracks all affordable projects. Specifically, Mission Village Senior Apartments and Desert Meadows Apartments were developed with the help of fast track/priority processing. Highgrove Apartments is under construction with the help of fast track/priority processing. A number of projects in the entitlement stages were halted due to the dissolution of redevelopment.</p> <p><u>In June 2014, the County's Economic Development Agency (EDA) entered into a HOME loan agreement with Desert Alliance for Community Empowerment (DACE) for the development and construction of an 84-unit mobile home park (Los Vireados) for extremely low-income farm worker households. Between 2013 and</u></p>	Continue.

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Timing</u>—Review annually through end of planning period</p> <p><u>Responsibility</u>—EPA/RDA/TLMA (incomes below 80 percent of the County median).</p>	<p><u>Time Frame</u>: Review resources on an annual basis through 2021.</p> <p><u>Resources</u>: General Fund</p> <p><u>Responsible Agency</u>: TLMA</p> <p><u>Time Frame</u>: Ongoing, as projects are processed through the Planning Department.</p>	<p>2016, The County provided annual acquisition cost assistance using HOME funds for the 4-phase Blossom Apartments in the unincorporated Valle Vista community.</p> <p>The County will continue to annually review the availability of funding sources for such purpose.</p> <p>Prior to the dissolution of redevelopment in California, the County did offer assistance to acquire land and assistance to secure federal or state housing financing for the development of affordable housing, which may include off-site infrastructure improvement.</p> <p>The County will utilize available funding sources such as HOME funds and HSP or apply for grants to continue this program.</p> <p>In June 2014, the County's Economic Development Agency (EDA) entered into a HOME loan agreement with Desert Alliance for Community Employment (DACE) for the development and construction of an 84 unit mobile home park (see Vines) for extremely low income farm worker households. The County remains committed to fast-track processing of affordable and special needs residential projects in the affected zoning classifications, including the R-7 classification as provided under the Constraints section of the Housing Element. However, since the inception date of this Housing Element, no projects no private or special needs projects were proposed which would have been considered for expedited processing.</p>	<p>Continue.</p>
<p>1.1e-Where feasible and/or necessary, the County shall offer assistance with land acquisition, off-site infrastructure improvements, and other up-front costs, as well as assistance in securing federal or state housing financing resources for projects which reserve a proportion of units affordable to households with incomes below 80 percent of the County median.</p> <p><u>Timing</u>—Review resources on an annual basis through 2014</p> <p><u>Responsibility</u>—EDA, TLMA 1f. Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors, and other special needs groups when received.</p>	<p><u>Additional policies and procedures should be adopted with the new zoning ordinance that would prioritize affordable housing projects</u>: Resources: General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p> <p><u>Responsible Agency</u>: TLMA</p>	<p>The County continues to give permit priority to projects providing affordable units. To support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonuses pursuant to Government Code Section 65915. However, since the inception date of this Housing Element, no private or special needs projects were proposed which would have been considered for a density bonus in return for providing affordable housing. It should be noted that the newly created HDRR General Plan land use designation allows densities of up to 40 units per acre and will likely provide sufficient flexibility regarding the financing for residential projects with affordable units so that consideration of a density bonus may not be needed. The concurrently created R-7 zone provides</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Table 4-4-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p> <p>1g. Continue to promote use of density bonus provisions and ensure consistency with state law.</p>	<p><u>Time Frame: Ongoing.</u></p> <p><u>Resources: HOME</u></p> <p><u>Responsible Agency: EDA</u></p> <p><u>Time Frame: Review on a project by project basis, as projects are proposed.</u></p>	<p>greater flexibility regarding site development standards in order to achieve the higher densities attainable with the HHDR land use designation.</p> <p>The County continues to give permit priority to projects providing affordable units. A Community Housing Development Organization (CHDO) is a private nonprofit, community-based service organization that has obtained or intends to obtain staff with the capacity to develop affordable housing for the community it serves. As a Participating Jurisdiction (P.J.), the County of Riverside must set aside at least fifteen percent (15%) of HOME allocations for housing development activities in which qualified CHDOs are the owners, developers, and/or sponsors of the housing.</p> <p>Between 2013 and 2016, the Coachella Valley Housing Coalition, Riverside Housing Development Corporation, and Mercy House were certified as CHDOs.</p>	<p>Continue.</p>
<p>Action 1.1g: (numbering is off due to revisions) Consider adopting a special density bonus provision, or other incentives to promote the construction of rental housing with three or more bedrooms.</p> <p>Timing – To be adopted as part of 2013 General Plan update.</p> <p>Responsibility: LW 1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus.</p>	<p>Develop an affordable housing incentives provision or ordinance. Resources: HOME and other HUD and HCD grants, as they become available.</p> <p><u>Responsible Agency: EDA/Housing Authority</u></p> <p><u>Time Frame: Ongoing, as projects are processed, and annual outreach with local developers.</u></p>	<p>The County has not adopted a special density bonus and the County feels the current state density bonus law is meeting the needs of the community. EDA/Housing managed the construction of 676 housing (rentals and mobile homes) units between 2013 and 2016 which were subsidized by using HOME and redevelopment agency funds, with commitments made for the latter before the legislature eliminated redevelopment property tax increments in 2012. Of this total, 442 units were restricted for occupancy by extremely low income and very low income households.</p> <p>However, the County did not use financial assistance, land writedowns, regulatory incentives, or other incentives to facilitate the development of extremely low income housing.</p>	<p>Delete. Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1.1b. Consider developing a fee assistance program with sliding scale pegged to affordable housing units provided. 1.1) Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>Resources: SERAF, property transfer tax, commercial linkage and boomerang funds</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Annually</p>	<p>The County has not yet developed a fee assistance program with sliding scale pegged to affordable housing units provided due to lack of funding. None of these funding sources have been pursued since the dissolution of the county's redevelopment agency.</p>	<p>Delete, due to lack of funding. Continue.</p>
<p>Action 1.1c. Promote the continued use of density bonus provisions on a case-by-case basis to provide affordable housing, particularly in high density, mixed use and infill areas.</p> <p>Timing: 2014 - for implementation</p> <p>Responsibility: TLM&EDA 1.2a. To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2b), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and all equitable development pattern.</p> <p>Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1a.</p>	<p>Develop an affordability ordinance that provides direction and incentives to the development community to encourage areas and opportunities for affordable housing developments that also implements State Law Resources: General Fund</p> <p>Responsible Agency: TLM&GIS</p> <p>Time Frame: Annually</p> <p>monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>	<p>The County continues to implement state density bonus requirements. In order to facilitate the development of affordable housing, the County has established the Highest Density Residential (HHDR) land use designation allowing between 20 and 40 dwelling units per acre and has established a Mixed Use Area land use designation allowing for a composite of uses which maximizes compatibility between residential, commercial, and recreational uses with flexibility for density and intensity of use.</p> <p>Intensification and densification of areas are primarily located within community planning areas which are better served with surface, transit and existing infrastructure systems in order to facilitate the location of affordable housing.</p> <p>The County's experience has been that higher density residential projects are typically located where densification and intensification is permitted which is also near transit routes and urbanizing/unincorporated community plan areas. The residents of such projects are more likely to use public transportation if it is conveniently available recognizing the cost factor usually being less than driving, especially to and from employment.</p> <p>The County will review how the designated sites have been used for development of lower income housing as part its next comprehensive Housing Element update for the period of 2021-2029 which is expected to commence in 2018.</p>	<p>Modify combine with action 1.1) Continue.</p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Housing Element

Chapter 8

Actions	<p><u>Table 8-1-1</u> Progress to Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</p>	Evaluation	<p><u>Continue, Modify, or Delete</u></p>
<p><u>Action 1.1: Review State Density Bonus provisions and adopt incentives program as part of 2b. Where feasible, the Comprehensive General Plan Update to ensure consistency County shall work with state law.</u> <u>Timing: Consider adopting non-profits in the development of County-owned sites in planning areas where affordable housing incentives program, including density bonuses where appropriate, as part is needed. Combine provision of the 2013 General Plan Update.</u> <u>Responsibility: TLMA sites with other subsidy/assistance programs.</u></p>	<p><u>General Plan Incentives Program Resources: HOME and other HUD and HUD grants as they become available.</u> <u>Responsible Agency: EDW/Housing Authority</u> <u>Time Frame: Annually meet with non-profit developers.</u> <u>Resources: General Fund</u> <u>Responsible Agency: TLMA</u> <u>Time Frame: Continue to meet with the Housing Review Committee quarterly to discuss farm worker housing.</u> <u>Consider as part of affordable housing incentives program Resources: General Fund</u> <u>Responsible Agency: TLMA</u> <u>Time Frame: Review standards and revise as necessary within two years of adoption of the Housing Element.</u></p>	<p>The County continues to implement state density bonus requirements in 2015, one mobile home park project area in the unincorporated Thermal community was rehabilitated for farmworker housing using a combination of previously encumbered redevelopment set-aside funds (\$1.4 million) along with a \$50,000 grant from Coachella Valley Air Quality Enhancement Project Fund. No other funding source was used for this rehabilitation project. A total of 14 such mobile home units were identified for the stated purpose. <u>Meetings with non-profit developers are scheduled in response to mutual interest in promoting such affordable housing or special needs projects.</u> <u>In June 2014, the County's Economic Development Agency (EDA) entered into a HOME loan agreement with Desert Alliance for Community Employment (DAE) for the development and construction of an 84-unit mobile home park (Los Vireos) for extremely low income farm worker households. Please see response to Action 1.2b. above.</u></p>	<p><u>Continue, Modify, or Delete</u></p> <p><u>Continue, Modify, combine with action 1.11</u></p>
<p><u>1.2d: The County will continue to allow for reduced parking requirements for senior and affordable housing projects as well as pursue the following revisions to the County's parking standards to more easily accommodate higher densities on multifamily and mixed-use sites. Further study of these revisions shall be conducted before changes to the Zoning Ordinance are made:</u> <u>Reductions in the number of spaces required for affordable or senior housing projects. If it can be demonstrated that the experienced tenants will own fewer cars than the regular standards anticipate – or if spaces will not be preassigned” to specific units in the project.</u></p>	<p><u>Consider as part of affordable housing incentives program Resources: General Fund</u> <u>Responsible Agency: TLMA</u></p>	<p>The County has not yet developed a fee assistance program with sliding scale pegged to affordable housing units provided due to lack of funding. The County considers the availability of adequate parking to be key consideration to the success of residential projects. As such, it has not undertaken a systematic reduction of parking standards and requirements for residential projects. However, affordable and special needs housing projects are evaluated on a case by case basis for reduction of parking requirements and standards to ensure viability. Examples of reductions include the number of spaces, consideration of shared parking, inclusion of carports instead of garages, and tandem parking.</p>	<p>Delete. The County does not wish to explore this at this time. <u>Continue.</u></p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Allowances for some of the spaces to be tandem or uncovered, provided that none of the spaces extend into the front yard setback.</p> <p>Standards for "shared parking" when uses with different peaking characteristics (such as offices and apartments) are combined in a single structure.</p> <p>Reductions to the space requirements for studio and one-bedroom apartments (presently two spaces per unit).</p> <p>In addition, the County should explore the feasibility of an ordinance which would prohibit the long-term storage of cars in designated parking spaces in multifamily complexes, thereby ensuring that the spaces remain available for tenant use.</p> <p>The County will also evaluate the associated costs with the current parking requirements to ensure they are not a constraint on development. Action 1.14: Develop fee assistance program with sliding scale pegged to affordable housing units provided.</p> <p>Timing: With consideration of the General Plan Density Bonus Incentives Program during the 2013 General Plan Update</p> <p>Responsibility: TMA</p>	<p>Review program and if necessary, increase staffing levels and resources to assist in outreach. Resources: General Fund</p> <p>Responsible Agency: TMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department.</p>	<p>Currently, parking requirements are not considered to be a constraint for affordable housing projects; therefore the County has not revised the current standards.</p>	<p>Continue.</p>
<p>Action 1.11: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p> <p>Timing: Review annually through planning period.</p> <p>Responsibility: EBA 1, 2e. The County will provide for the inclusion of mixed-income housing in future new growth areas of the county through development agreements and other mechanisms. To facilitate the development of affordable housing on smaller parcels (60 to 160 units in size), the County will routinely coordinate with property owners and give high priority to processing subdivision maps that include rezoned R-7 sites or affordable housing units. Also, an expedited review process will be available for the subdivision of larger sites into buildable lots where</p>		<p>The Economic Development Agency (EDA) continues to encourage Habitat for Humanity chapters to apply as CHDOs at the time of submitting projects that meet CHDO requirements pursuant to HOME regulations. Development agreements are typically used for large, multiphase, and long-term build-out projects with the benefit of locking in land use policies and regulations in return for providing public benefits such as affordable housing. The County has not processed such a project since the inception of this Housing Element. The vesting tentative map has provided the same level of protection against changes to land use policies and regulations for smaller scale, single phase residential projects without the need to negotiate for public benefits.</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Progress to Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>the development application can be found consistent with the General Plan and applicable specific plan.</p>		<p>The County remains committed to fast-track processing of affordable and special needs residential projects in the affected zoning classifications, including the R-7 classification, as provided under the Constraints section of the Housing Element.</p> <p>Fast-track processing is achieved by committing additional staff resources to the project approval process and increasing the type of land use permitted by right, as opposed to being evaluated through a discretionary approval process.</p>	
<p>1.2f.1) In order for the County to meet the remaining unaccommodated portions of the 2006-2013 and 2014-2021 Regional Housing Needs Allocations (RHNA) that total 24,272 housing units, the County will process a General Plan redesignation and rezoning for approximately 2,908 acres of land located in 10 area plans to either the Highest Density Residential (HHR) designation or the Mixed Use Area (MUA) with an R-7 or Mixed Use zoning.</p> <p>All rezoned sites will permit owner-occupied and rental multifamily developments by right and will not require a conditional use permit, a planned unit development permit, or any other discretionary review. All sites will accommodate a minimum of 20 units per acre and at least 16 units per site, per state law requirements. Action 1.11c Continue to exempt publicly subsidized projects for low income households per Ordinance 659.</p> <p>Timing: Review exemptions on a quarterly basis. Responsibility: TLMA</p>	<p>Ordinance 659. Implement a tracking mechanism to review performance. Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: This is being done concurrently with the Housing Element. Adoption of the Housing Element is planned before the end of 2016.</p>	<p>As part of Ordinance 659, all publicly subsidized projects for low income households are exempt. On December 6, 2016, the County adopted a Housing Element update covering the period of 2013 through 2021, designating land use areas as Highest Density Residential (HHR), Mixed Use Areas (MUA) which include densities of up to 40 units per acre and a corresponding R-7 zone which allows the same maximum residential density.</p> <p>With completion of this rezone, the County now has sufficient capacity to meet its 2014-2021 RHNA, and 2006-2013 unmet RHNA.</p>	<p>Delete.</p> <p>The County has an ordinance which states that publicly subsidized projects are exempt, therefore a program in the Housing Element is not needed. Completed.</p>
<p>Action 1.1a: Work with public or private sponsors to make applications to State and Federal housing programs for new construction of rental housing for seniors and other special needs and take all actions necessary to expedite processing and approval of such projects.</p> <p>See Implementing Resources Matrix for other special needs housing funding (Table H-6b).</p> <p>Timing: Continue policy</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department. Annually meet.</p>	<p>No lots have been consolidated for the purpose of providing affordable housing. Therefore, the County has not provided any incentives for the purpose of lot consolidation in furtherance of affordable housing.</p> <p>The County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available, because only private sector development fees are used to pay.</p>	<p>Modify. Continue with action 1.1a.</p> <p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Responsibility: EBA</u></p> <p>1.2a. To ensure that there is a sufficient supply of multifamily zoned land to meet the County's regional housing needs allocation (RHNA), the County will help facilitate lot consolidations to combine small residential lots into larger developable lots by annually meeting with local developers to discuss development opportunities and incentives for lot consolidation to accommodate affordable housing units. As developers/owners approach the County interested in lot consolidation for the development of affordable housing, the County will offer the following incentives on a project by project basis:</p> <ul style="list-style-type: none"> allow affordable projects to exceed the maximum height limits. lessen setbacks, and/or reduce parking requirements. <p>The County will also consider offsetting fees (when financially feasible) and concurrent/ fast tracking of project application reviews to developers who provide affordable housing.</p>	<p>with local developers to discuss development opportunities and incentives for lot consolidation.</p>	<p>staff time for processing. No general fund monies are available for that purpose. However, to support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonuses pursuant to Government Code Section 65915.</p> <p><u>Additional:</u> The County worked with public and private sponsors to make applications to state and federal housing programs for new construction of rental housing for special needs such as Operation Safe House and Mountain View Estates.</p> <p><u>In June 2014, the County's Economic Development Agency (EDA) entered into a HOME loan agreement with Desert Alliance for Community Employment (DACE) for the development and construction of an 84-unit mobile home park (as-needed) for extremely low income farm worker households. Fees are assessed for infrastructure programs such as roads, bridges, and traffic signals, as well as for parks, schools, habitat preservation and environmental mitigation. The assessment of such fees are required by state or local laws. General fund monies are no longer sufficient to meet infrastructure, public service, and facility needs.</u></p>	
<p><u>Action 1.1a:</u> The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land write-downs, providing expedited processing of identifying grant and funding opportunities, applying for supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: <u>TLM/EDA</u></p> <p>Time Frame: Ongoing 2014-2021, as projects are processed through the Planning Department.</p>	<p>The County requires that all multifamily projects restrict anywhere from 10 to 30 percent of the total units for extremely low-income households. While no projects for extremely low income households were developed, the County continues to encourage housing for extremely low income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land write-downs, providing expedited processing of identifying grant and funding opportunities, applying for supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Inserted Cells
 Inserted Cells
 Inserted Cells

Actions	Table 4-4 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Timing: Ongoing, as projects are processed, and annual outreach with local developers</p> <p>Responsibility: EDA</p> <p>1.2h. As development is proposed for an unincorporated community, County staff will work closely with the developer and the service provider to facilitate adequate infrastructure to support the development. The County will continue to coordinate with various service providers to ensure adequate infrastructure and services are available to serve proposed development.</p> <p>Continue to coordinate with service providers to assess the needs for infrastructure and services, and plans for expansion. Communicate with service providers as major development applications are received to discuss and pursue plans for future expansion to ensure adequate infrastructure and services are available to meet the County's RHNA consistent with housing development trends.</p> <p>As part of coordination and communication with service providers, provide assistance as appropriate to encourage infrastructure improvements in communities with infrastructure and service deficiencies.</p> <p>Seek and support funding applications for infrastructure and service expansions that are consistent with the County's General Plan.</p> <p>Provide a copy of the adopted Housing Element to the various service providers serving the unincorporated communities and provide assistance to providers to facilitate establishing procedures to grant priority service to the development of housing with units affordable to lower income households.</p> <p>As part of coordination and communication with service providers, provide assistance as appropriate to encourage infrastructure improvements in communities with infrastructure and service deficiencies. The County will prioritize time and resources to areas of the highest need.</p>	<p>Annually apply for funding, as NOFAs are released.</p>	<p>Planning period, and/or offering additional incentives beyond the density bonus. The roadway improvement component of the County's Transportation Improvement Program is updated biennially providing for the construction, operation, and maintenance of roads, bridges and transportation facilities provided to meet capacity as well as maintenance needs. Roadway improvements are categorized as new facilities and capacity expansion, maintenance/rehabilitation, new bridges, and safety including associated infrastructure such as traffic signals, sidewalks, bikeways, and drainage. Local funding sources include developer fees, multi-jurisdictional funds for regional and sub-regional roads (such as the Transportation Urban Mitigation Fee), special district fees for roads, bridges, and traffic signals, and the Measure A local streets and road program derived from sales tax proceeds.</p> <p><u>The county's five-year capital projects infrastructure improvements to manage surface water runoff and drainage are provided by the Riverside County Flood Control and Water Conservation District. During the timeframe of this Housing Element improvements consisted of new and repaired storm drains and associated lines, new drainage channels and restoration of existing ones, retention and detention basins, and dam restoration and repair. These drainage projects are located countywide to meet capacity needs and maintenance to provide for public health and safety. Project funding is primarily through property and sales tax revenue in the general fund. Limited funding is also provided through area drainage plan fees imposed on development projects and by other government entities. A total of ten projects were so funded, countywide.</u></p> <p>It should be noted that the County provides for road and flood control facility improvements, as noted above. Other services such as water and sewer are provided by various countywide service districts which are responsible for determining their own service and related infrastructure needs.</p>	

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>As funding permits, CDBG and/or HOME funds provide gap financing to affordable projects as a means to reducing the costs of development, including infrastructure improvements. At least annually meet with developers and community stakeholders to discuss and pursue or support additional funding resources.</p> <p>Annually explore and pursue funding opportunities for area plan updates, as necessary to promote development within existing communities with active transportation and access to services and amenities.</p>	<p>Annually review projects assisted.</p> <p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: HOME entitled annually apply for HUD and HCD grants.</p> <p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Within 6 months of adoption of the Housing Element.</p>	<p>Project related infrastructure requirements are typically provided by the developer, or fair share fees are assessed through project conditions of approval. Infrastructure improvements provided beyond fair share requirements are reimbursed to the developer. Project fees and infrastructure funding requirements are reviewed with the development community when development projects are proposed. In-lieu fees or improvements required for project approval directly benefit the developer project. When fair share fees are paid, improvements are provided by the County using a combination of fees obtained from multiple developers and jurisdictions and other funding sources described above.</p> <p>Housing Element requirements are reviewed with the development community along with the remainder of the General Plan as well as the Zoning Ordinance when residential projects are proposed.</p> <p>2,519 units (1,509 units restricted) were created countywide, including those developed within participating cities. From January 1, 2006, to 2014, 1,223 units (935 units restricted) were created within unincorporated areas of the County. In 2016, the County participated in one self-help project and has offered funding for development and construction to incentivize acquisition of land for farmworker housing.</p> <p>In 2013, the County provided 180 spaces for mobile home housing for farmworker housing using previously identified and committed redevelopment set aside funds.</p>	<p>Modify- Combine with action 1-1a. Continue.</p>
<p>Action 1.2a- Utilize HOME and Redevelopment Set-Aside funds to write-down land costs of acquiring sites and CDBG funds for off-site improvements for projects for lower income households where feasible.</p> <p>Responsibility- EDA/RDA 1.3a: Continue to work with non-profit organizations to provide funding resources and assistance with the production of self-help housing for ownership and multifamily farm worker housing.</p> <p>The County will also provide incentives for the set-aside of agricultural land for farmworker housing.</p>	<p>1.3b: The County will process an amendment to Ordinance No. 348, to comply with Health and Safety Code Sections 17021.5 and 17021.6. For the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee.</p>	<p>Delete- Combine with action 1-1a. Continue.</p>	<p>Modify- Combine with action 1-1a. Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Table 8-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located. <u>Action 1.2b. Work with public or private sponsors to identify candidate sites for new construction of rental housing for seniors and other special needs, and take all actions necessary to expedite processing and approval of such projects.</u></p> <p>Responsibility: EDVA/TLMA</p>	<p>Develop an affordable housing ordinance that will <u>augment the R-6 zoning and offer new opportunities to private developers</u></p> <p>Resources: General Fund Responsible Agency: <u>EDVA/Housing Authority</u></p> <p>Time Frame: <u>Annually meet with developers.</u></p>	<p><u>No new housing developed occurred within the R-6 zone. The County developed 180 units for farmworkers in 2013, and in 2016, provided 14 mobile homes for low income farmworker families. One site for future development for farmworker housing was identified in the unincorporated Oasis community in 2015.</u></p>	<p><u>Delete-Continue.</u></p>
<p><u>Action 1.2c: Continue to allow the development of affordable housing in the R-6 zone, or similar zoning concepts. Utilize incentives for development within this zone as established in Ordinance No. 348, or as provided in the General Plan.</u></p> <p>Timing: 2014 for implementation</p> <p>Responsibility: TLMA 1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p>	<p>Resources: Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS, 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment</p>	<p><u>County staff identified areas of the county with adequate infrastructure and limited environmental constraints that are most suited to the construction of housing, particularly housing affordable to low/moderate income households, and high density product types. Refer to the adequate sites inventory of this Housing Element. The County's Mobile Home Tenant Loan (MHTL) program was established to improve standard living conditions of mobile home owners living in un-permitted mobile home parks. The MHTL program provides financial assistance to mobile home owners by providing a zero percent (0%) interest loan in an amount up to \$45,000. The funds from the loan are used to purchase a unit that will replace the existing substandard unit and will be installed in a permitted site. In 2013, a total of 180,</u></p>	<p><u>Delete. This action is completed. Continue.</u></p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Additionally, through the HOME Program, The County will provide assistance for the development, construction of housing, particularly housing, or rehabilitation of affordable housing for low- and moderate- income farm worker households, and high density product types.</p> <p>Timing: Sites have been identified through site inventory.</p> <p>Responsibility: THARRPOT GIS.</p>	<p><u>Table H-1</u> <u>Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</u></p> <p>Agency for the County of Riverside. HOME funds</p> <p>Responsible Agency: <u>EDA/Housing Authority</u></p> <p>Time Frame: Once funding has been approved and as loans are processed. Based on HOME funds availability at the time of application.</p>	<p>households were assisted through the MHTL program (60 were extremely low-income and 120 were very low-income.) As a supplement to the MHTL loan, HCD Farm Worker Housing Grants (FWHG) were utilized to provide a matching source of funds. The County supplemented 157 MHTL loans. The County also provided RDA funding to construct the mobile home park, Mountain View Estates, thereby restricting affordability through recorded covenants and regulatory agreements. No MHTL funds were available between 2014 and 2016 because such funds were based on redevelopment agency property tax proceeds which could no longer be encumbered since the legislature eliminated redevelopment agencies in 2012.</p> <p>No HOME funds have been used to assist the development of farmworker housing units.</p>	<p><u>Continue, Modify, or Delete</u></p>
<p>Action 1.2b: (numbering is off due to revisions) The Housing Authority shall continue to develop new affordable very low income rental housing units under the HUD Public Housing Development Program and state tax exempt private activity bond financing. 1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>	<p><u>Resources:</u></p> <p>Responsible Agency: Department of Mental Health</p> <p>Time Frame: Ongoing.</p>	<p>The Housing Authority has not developed any new public housing units.</p> <p>The Housing Authority may develop affordable housing inhibited from the dissolution of redevelopment agencies or through its affordable housing development program, and if available with state tax exempt bond financing. However, the Housing Authority's public housing stock cannot be expanded per HUD regulations.</p> <p>Through the Riverside Community Health System, Behavior Health, the County provides diversified services to those living on the streets or at risk of homelessness, including the mentally ill. This effort is managed by an administrative services manager through the Housing Opportunities Partnerships and Education program (HHOPE).</p>	<p><u>Delete, Combine with action 1.1a, Continue.</u></p>
<p>Action 1.2c: As part of the General Plan update process, establish a Land Use Inventory which provides the mechanism to monitor acreage and location, by General Plan designation, of vacant and underutilized land, as well as build-out of approved projects, utilizing the County's GIS system and supported by mapping. Update the Land Use Inventory on an annual basis. (Also see Policy 4.2, Action 4.2b.)</p>	<p><u>Resources:</u> HUD Supportive Housing Program, Shelter Plus Care</p> <p>Responsible Agency: Department of Public Social Services</p>	<p>The Housing Element includes a complete list of available sites. Between 2013 and 2016, the County provided assistance through the Shelter Plus Care Housing Program to 128 qualified units for sheltering homeless persons with disabilities. During the period, the annual assistance subsidy for this number of units has been between approximately \$925,000 and \$1 million.</p>	<p><u>Modify, Combine with action 1.2f. New action 1.2a-Continue.</u></p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Table 1-4-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Timing: Concurrent with Comprehensive General Plan update for 2013.</p> <p>Responsibility: TLWAPCH-GIS 1.4b; Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p> <p>Action 1.2f: (numbering is off due to revisions) Consider land swapping of County land and other incentives for provision of design criteria for housing suitable for the provision of mentally disabled for use by affordable housing projects-developers.</p>	<p><u>Resources:</u></p> <p><u>Responsible Agency:</u> Department of Mental Health in conjunction with <u>EDA</u></p> <p><u>Time Frame:</u> Within the two years of adoption of the Housing Element.</p>	<p><u>Meetings to address the implications of new legislation are conducted as bills are proposed and signed at least annually, and more frequently as needed to address impacts on the County.</u></p>	<p><u>Continue.</u></p>
<p>Action 1.2f: Utilize the County GIS system to facilitate preliminary strategic planning studies to identify vacant or underutilized commercial properties for infill construction or adaptive reuse in high density areas.</p> <p>Timing: Implementation shall take place through 2013 General Plan Update</p> <p>Responsibility: EDA/TLWAPCH-GIS 1.4d; Promote the integration of special needs housing into affordable housing communities.</p>	<p><u>County GIS/County General Plan Update Resources:</u></p> <p><u>Responsible Agency:</u> Department of Mental Health</p> <p><u>Time Frame:</u> Ongoing throughout the planning period.</p>	<p>No land swapping opportunities occurred. Design criteria guidelines are not provided for special needs affordable housing development projects assisted by the County. Design criteria may be dictated by the source of funding and its requirements, on a project by project basis. For projects assisting mentally disabled individuals, Mental Health Services Act (MHSA) funds are used to design and build the supportive housing units consistent with the Riverside University Health System – Behavioral Health Community Services and Support (CSS) Plan. These units are designed to accommodate the homeless or those at risk of homelessness as well as those individuals with severe and persistent mental illness. A total of 15 units of such qualifying housing are integrated into each project using MHSA funds. From 2013 through 2016 a total of 60 supportive units were provided in the unincorporated area in four projects consisting of 331 units. At this time, the County has not determined that there is need to develop such design criteria and will not be undertaking same.</p>	<p>Modify-Combine with action 1.2e. New action 1.2a-Continue.</p>
<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care</p>	<p><u>County GIS/County General Plan Update Resources:</u></p>	<p><u>The County provided funding to SafeHouse. The County works with nonprofits to deed them any available County-owned sites.</u></p>	<p><u>Continue.</u></p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill. Action 1-29: Where feasible, the County shall work with non-profits in the development of County-owned sites in planning areas where affordable housing is needed. Combine provision of sites with either subsidy/assistance programs.</p> <p>Timing: Concurrent with Comprehensive General Plan update for 2013.</p> <p>Responsibility: EDA</p>	<p>HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill program, Supportive Housing Program/Shelter Plus Care program</p> <p>Responsible Agency: Department of Public Social Services</p> <p>Time Frame: Ongoing, throughout the planning period.</p>	<p>and assists them with the fast tracking and in some cases the funding should be available. Both the Continuum of Care and Supportive Housing Programs continue to be implemented by the County to meet special housing needs requirements.</p> <p>The Riverside University Health System – Behavior Health continuing housing programs utilize a safe haven model in their services. The Place and The Path, which follow a low demand drop-in model for providing homeless outreach and permanent supportive housing to homeless individuals with serious mental health conditions remain active and successful. Both facilities are operated using a nonprofit provider whose program model emphasizes peer-to-peer engagement and support. Those linked to permanent housing at either location must have a diagnosed mental illness and be considered chronically homeless. Ninety-nine percent of provider staff has received mental health services themselves (as consumers of care or peers) and many have also experienced prolonged periods of homelessness. The Path and The Place are partially funded by HUD permanent supportive housing grants. Currently the referrals for the housing for these two programs are through the HomeConnect Coordinated entry system. The Place, located in the Western end of the county in the city of Riverside in a local homeless Access campus location, was opened in 2007 and provides permanent housing for 25 adults, along with supportive services, laundry and shower facilities, meals, referrals, and fellowship for drop-in center quests. The drop-in center operates 24/7/365 and serves as a portal of entry for hard-to-engage homeless individuals with a serious mental health disorder. The Path, located in Eastern end of the county in north Palm Springs, was opened in 2009 and provides permanent supportive housing for 25 adults as well.</p> <p>The Housing Element includes a complete list of available sites. No new transitional housing facilities were developed in 2016.</p>	<p>Inserting Cells</p> <p>Inserting Cells</p> <p>Inserting Cells</p>
<p>Action 1-2b: Identify areas of the County where urban fill is appropriate based on General Plan land use policy and Area Plan designations, and encourage infill development through the use of incentives.</p> <p>Responsibility: TMMWE/DARCH GIS 1.5a: In cooperation with nonprofits and local jurisdictions, assist in the</p>	<p>Establish targets for number Resources: HUD, Responsible Agency: Department of Housing and Public Social Services</p>		<p>Modify, Combine with Action 1-2b, Continue.</p>

Housing Element

Chapter 8

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>development of transitional housing facilities in established regions of the county where the need is highest.</p>	<p>Time Frame: Maintain current funding. Utilize the County's 10-Year Plan to Be provided End Homelessness and the POLIS project to site facilities.</p>		
<p>Action 1-2f: As part of the General Plan update, designate residential land use districts in the unincorporated County within close proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development. Designate less intensive uses in more rural areas.</p> <p>Timing: Concurrent with Comprehensive General Plan update for 2013.</p> <p>Responsibility: TLMA 1.5b: Assist with the expansions of the number of emergency shelters in identified areas of Riverside County in cooperation with nonprofit organizations and local jurisdictions.</p>	<p>None provided Resources: <u>HCD</u> Department of Public Social Services</p> <p>Time Frame: Ensure the emergency shelter needs of mentally ill and domestic violence victims are addressed.</p>	<p>All sites have been identified in the General Plan update, which web released on the County's website in March 2014. Now new emergency shelters were developed or expanded in 2106.</p>	<p>Continue. Modify. Combine with action 1-2f.</p>
<p>Action 1-2j: Ensure that redevelopment revitalization plans include provisions for new affordable housing for projects within established redevelopment and target areas.</p> <p>Timing: Annually review RDA Sub area plans to ensure through the planning period.</p> <p>Responsibility: 21.5c: Process an amendment to Ordinance No. 348 to add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses, and subject only to those restrictions that apply to other residential uses of the same type in the same zone.</p>	<p>RDA Sub area plans Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Within 6 months of adoption of the Housing Element.</p>	<p>The Economic Development Agency (EDA) and the Housing Authority will carry on redevelopment efforts utilizing land assets transferred from the former RDA to the Housing Authority and available funding sources such as HOME funds and ASP or apply for grants to assist redevelopment. The County is undertaking a comprehensive zoning code amendment which is expected to be adopted in early 2018. Ensuring that transitional and supportive housing will be permitted by right in residential zones is included in the work effort.</p>	<p>Delete, due to the dissolution of the redevelopment agency. Continue.</p>
<p>Action 1-2k: Maintain an inventory of County-owned lands with potential for low- and moderate income housing.</p> <p>Responsibility: TLMA EDA 1.6a: Continue to work with nonprofit organizations in providing homeownership opportunities through the Rural Development Self Help</p>	<p>Estimate how many affordable units might be created through this approach Resources: HOME.</p>	<p>The County estimates that 269 affordable units were created in unincorporated areas of the county for low- and moderate income housing. In 2016, the County completed one self-help project located in the community of North Shore in the unincorporated area of the County (11 units). In 2016, the County</p>	<p>Continue. Modify. Combine with action 1-2c.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>program and other self-help construction programs within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HUD Rural Development Self Help Program Responsible Agency: EDA Time Frame: Establish an annual meeting with CHDOs to provide policy direction.</p>	<p>provided HOME assistance for construction of 22 homes for low-income families to support a developer's self-help program. Each of the 22 households also received assistance from the USDA's Rural Development Self-Help Program.</p>	
<p>Action 1.2b: The Housing Authority shall continue to develop new affordable very low income rental housing units under the HUD Public Housing Development Program and State tax exempt private activity bond financing.</p>	<p>HUD Public Housing Development Program; Tax Exempt Private Activity Bond Program; Resources; Responsible Agency: TUMA/Building and Safety</p>	<p>The Housing Authority has not developed any new public housing units.</p>	Delete
<p>Responsibility: Housing Authority 1.7a: Continue to provide for greater flexibility in the design of single-family development through the processing of PUDs, specific plans, and area plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.</p>	<p>Time Frame: Ongoing, as projects are processed</p>	<p>The Housing Authority may develop affordable housing in the future from the dissolution of redevelopment or through its affordable housing development program, and if available with state tax exempt bond financing, but the Housing Authority's public housing stock cannot be expanded per HUD regulations. The County continues to support private sector residential specific plans and has zoning provisions allowing for clustering of development through a planned residential development (PRD).</p>	
<p>Action 1.2m: Encourage potential developers to identify candidate vacant sites and underutilized properties by referring them to the County's Land Use Inventory.</p>	<p>Land Use Inventory is available for developers to identify candidate sites; Resources; Responsible Agency: TUMA/Building and Safety</p>	<p>The Housing Element includes a complete list of available sites. Regarding any residential development, including mobile home parks, the County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose.</p>	Modify - Combine with action 1.2a - Continue.
<p>Responsibility: EDA/TUMA; RCIT; GIS; 1.7b: Encourage construction of new mobile home parks and manufactured housing to increase the supply of affordable dwelling units by continuing to waive the fees (when funding is available) as an incentive.</p>	<p>Time Frame: Ongoing, as projects are processed</p>	<p>Additional fees are assessed for infrastructure programs such as roads, bridges, and traffic signals, as well as for parks, schools, habitat preservation and environmental mitigation. The assessment of such fees are required by state or local laws. General fund monies are no longer sufficient to meet infrastructure, public service, and facility needs.</p>	

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1.2a: Consider land swapping of County land and other incentives for the provision of affordable housing projects.</p> <p>Responsibility: EDA 1.7c: Encourage new large-scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed-use development.</p>	<p>Continue policy. EDA will consider land swapped for development of affordable housing. Resources:</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed.</p>	<p>No land swapping opportunities occurred but the County will continue to consider this as an option for the development of affordable housing in order to facilitate the development of larger scale, higher density affordable housing. The County has established the Highest Density Residential (HHR) land use designation and the R-7 zone allowing between 20 and 40 dwelling units per acre and has established a Mixed Use Area land use designation allowing for a composite of uses which maximizes compatibility between residential, commercial, and recreational uses with flexibility for density and intensity of use. The County continues to support private sector residential specific plans and has zoning provisions allowing for clustering of development through a planned residential development (PRD).</p>	<p>Delete/Continue.</p>
<p>Action 1.2a: Prepare a land inventory of sites suitable for farm worker housing in the Coachella Valley as a priority. Timing: Concurrent with General Plan Update (2017)</p> <p>Responsibility: TLMA</p> <p>1.7a: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: EDATLMA</p> <p>Time Frame: Consider adopting provisions within two years. Continue to pursue on an ongoing basis.</p>	<p>As part of the amendment to Ordinance 348 (Zoning Ordinance), planned for spring 2016 farm worker housing will be permitted as an agricultural land use designation consistent with Health and Safety Code Sections 17921.5 and 17921.6. A list of sites has not been completed.</p> <p>During the County's efforts to identify sites to meet the County's RHNA, Thermal Town Center was identified as appropriate to include which is an area that would be suitable to accommodate farm worker housing. The County continues to support private sector residential specific plans and has zoning provisions allowing for clustering of development through a planned residential development (PRD). As with any residential project proposed using a specific plan or PRD zoning, the opportunities for promoting affordable housing are always examined.</p>	<p>Continue.</p>
<p>Action 1.2a: Identify appropriately zoned land transferred to the new Cities of Wildomar and Menifee to determine their fair share of the County of Riverside's RHNA housing target for the current planning period.</p> <p>Timing: Prepare agreement and have in place with cities by 1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems</p>	<p>Resources: General Fund</p> <p>Responsible Agency: EDATLMA</p> <p>Time Frame: Explore options by July 2016; consider adopting an ordinance by July 2017.</p>	<p>The County worked with the newly incorporated cities of Wildomar, Eastvale, and In lieu of pursuing an inclusionary affordable housing requirement. The County has established the Highest Density Residential (HHR) land use designation and the R-7 zone allowing between 20 and 40 dwelling units per acre. By allowing for flexibility in density and design for areas so designated, the development community has flexibility to maximize affordable housing opportunities. Nevertheless, the County remains committed to adopting an inclusionary housing program. However, there is no timeframe at this time for so doing.</p>	<p>Delete/Continue.</p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing. and</p> <p>Responsibility: TLMA, RCEG</p> <p>Action 1.2a: The County will continue to allow for reduced parking requirements for senior and affordable housing projects as well as pursue the following revisions to the County's parking standards to more easily accommodate higher densities on multi-family and mixed-use sites: 2.1a: When funding is available, advertise and promote the availability of funds for the following:</p> <ul style="list-style-type: none"> Rehabilitation of single-family and mobile home dwelling units. Rehabilitation of multifamily units. <p>Further study of these revisions shall be conducted before changes to the Zoning Ordinance are made</p> <p>Reductions in the number of spaces required for affordable or senior housing projects, if it can be demonstrated that the expected benefits will outweigh any loss of parking spaces or if spaces will not be "pre-assigned" to specific units in the project.</p> <p>Allowances for some of the spaces to be tandem or uncovered, provided that none of the spaces extend into the front yard setback</p> <p>Standards for "shared parking" when used with different parking characteristics (such as offices and apartments) are combined in a single structure</p> <p>Reductions to the space requirements for studio and one bedroom apartments (presently 2 spaces per unit)</p> <p>In addition, the County should explore the feasibility of an ordinance which would prohibit the long-term storage of</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing, as funding is available. Provide informational materials as funding permits.</p> <p>Entitled: apply annually HCD and HUD.</p>	<p>Based on the flexibility provided by these land use and zoning changes which facilitate the provision of affordable housing, the County does not believe there to be a need to adopt inclusionary housing requirements at this time. Measures to determine their fair share of the County of Riverside's RHMA target for the current planning period. This action is complete and will not continue.</p> <p>The County allows for reduced parking requirements for senior and affordable housing projects. The County is planning to revise some of the requirements as part of the affordable housing ordinance.</p> <p>EDA/Housing provides information on the availability of various funding sources for housing rehabilitation including CDBG, Neighborhood Stabilization Program, and HOME funds. Between 2013 and 2016, a total of 67 dwelling units in the unincorporated area were rehabilitated using such funds.</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>cars in designated parking spaces in multi-family complexes, thereby ensuring that the spaces may remain available for tenant use.</p> <p>The County will also evaluate the associated costs with the current parking requirements to ensure they are not a barrier to development.</p> <p>Timing: Review alternative parking options and revise as necessary by December 2013.</p> <p>Responsibility: TLMA</p>	<p>Resources: HUD Capital Funds</p> <p>Responsible Agency: Housing Authority</p> <p>Time Frame: Ongoing throughout the planning period.</p>	<p>As part of this Housing Element, the County has identified several thousand sites that will be used to meet its 4th and 5th cycle RHNA many of the sites are smaller sites. The County will work with developers as projects come forward to help facilitate the development of affordable housing on smaller sites. The EDAs Housing was allocated between approximately \$1 million to \$1.2 million annually from Federal Capital Funds to modernize public housing between 2013 and 2016. An additional approximately \$300K to \$1 million from the same source for the same years was expended to maintain, repair, and improve public housing properties.</p>	<p>Continue</p>
<p>Action 1.2c: The County will provide for the inclusion of mixed income housing in future new growth areas of the county through development agreements and other mechanisms. To facilitate the development of affordable housing on smaller parcels (50 to 150 units in size), the County will routinely coordinate with property owners and give high priority to processing subdivision maps that include rezoned R-4 sites or affordable housing units. Also, an expedited review process will be available for the subdivision of larger sites into buildable lots where the development application can be found consistent with the General Plan and applicable Specific Plan.</p> <p>Timing: Ongoing as projects are processed.</p> <p>Responsibility: TLMA 2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.</p>	<p>Resources: Tax exempt private activity bonds</p> <p>Responsible Agency: EDAs/Housing Authority</p> <p>Time Frame: As projects come forward assist with the process for applying for</p>	<p>The County amended Ordinance 348 (Zoning Ordinance) in December 2014 to comply with Government Code Section 65952.2 (AB 1866) and remove the 1-acre minimum lot size requirement for second units. The County did not issue and utilize tax exempt private activity bonds to finance rehabilitation of multifamily housing.</p>	<p>Continue. Delete. This has been completed.</p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Funding on the developers' behalf.</u></p> <p><u>Resources: CDBG.</u></p> <p><u>Responsible Agency: EDAC</u></p> <p><u>Time Frame: Continue program when funding becomes available.</u></p>	<p>Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</p>	<p><u>Evaluation</u></p>	<p><u>Continue, Modify, or Delete</u></p>
<p>Action 1.2i: To ensure the County has enough land to meet its Regional Housing Needs Allocation (RHNA) the County will amend the Land Use Map of this General Plan to add a minimum of 505 acres to the Highest Density Residential designation (HHR). The County has identified several possible vacant sites to redesignate (see Appendix B).</p> <p>All redesignated sites will permit owner-occupied and rental multi-family developments by right and will not require a conditional use permit, a planned unit development permit, or any other discretionary review.</p> <p>2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards. All sites will accommodate a minimum of 20 units per acre and at least 16 units per site per state law requirements. Although density is not determined by the zoning, to ensure multi-family development is permitted, the County will also rezone the sites to the R-4 zone permitting owner-occupied and rental multi-family development by right.</p> <p><u>Timing: Amend the Land Use Map and rezone sites by summer 2013.</u></p> <p><u>Responsibility: TAMA</u></p>	<p><u>Resources: CDBG.</u></p> <p><u>Responsible Agency: EDAC</u></p> <p><u>Time Frame: Continue program when funding becomes available.</u></p>	<p>This is being done concurrently with the Housing Element Adoption of the Housing Element before the end of 2014. In 2013, the County assisted a total of 2 households in the unincorporated area through the CDBG funded Home Repair Program. No such funding was available between 2014 and 2016.</p>	<p>Continue.</p>
<p>2.1e: Department of Community Action 1.3a- Continue (DCA) shall continue to provide funding resources through implement the Federal HOME Home Weatherization program, the County Housing Loan Fund (CDBG) and Redevelopment Agency 20% Set Aside funds to non-profit organizations for the development of farm worker conserve existing single-family housing.</p> <p><u>Timing: 2006-2014</u></p> <p><u>Responsibility: EDA</u></p> <p><u>Through weatherization and/or rehabilitation.</u></p>	<p>CDBG Housing Loan Fund- Agricultural Housing Assistance Fund Program</p> <p>Resources: Department of Energy, Southern California Gas, California Conservation Corp.</p> <p>Responsible Agency: DCA</p>	<p>Countywide, 929 units were constructed for farm worker housing- 820 of those units were created within unincorporated areas of the county. The number of units qualified for the construction of farm worker housing between 2006 and 2014 was drastically reduced due to the elimination of development in California by operation of law as of February 1, 2012, and also impacted due to federal budget cuts to HOME and CDBG.</p> <p><u>In June 2014, the County's Economic Development Agency (EDA) entered into a HOME loan agreement with Desert Alliance for Community Empowerment (DACE) for the development and construction of an 84 unit mobile home park (Los Vinedos) for extremely low-income farm worker households.</u></p>	<p>Modify- Combine with actions 1.3a- 1.3b, and 1.3d- Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	<p>Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</p>	Evaluation	Continue, Modify, or Delete
<p>Action 1.3b: Prepare a Countywide Gap Analysis and Farm Worker Housing Plan to be integrated into the Department of Community Action's Annual Local Plan Timing: 2009</p> <p>Responsibility: CRLA, Dept. of Community Action 2. If Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Time Frame: As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p> <p>Resources: Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p> <p>Responsible Agency: <u>EDA Housing Authority</u></p> <p>Time Frame: Once funding has been approved, Assist at least 5 households during the planning period.</p>	<p>The County continued to provide assistance to conserve existing single family housing through weatherization programs using LIHEAP and DOE funds. In 2016, a total of 322 dwelling units received such assistance.</p> <p>The County does not have the resources to assume full responsibility for this type of study, but would be interested in collaborating with a nonprofit entity that is more active in the Coachella Valley to complete one. In 2013 and 2014, the County assisted a total of 18 households through the Senior Home Rehabilitation Program. No such assistance was provided in 2015 and 2016.</p>	<p>Delete. Funding is not available. Continue.</p>
<p>Action 1.3c: Continue to work with non-profit organizations such as CHHC and Habitat for Humanity in the production of self help housing for ownership and multi-family farm worker housing opportunities. Timing: 2006-2014</p> <p>Responsibility: EDA, non-profit organizations 2. 1q Through the Home Enhancement Program the assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing</p>	<p>888 units qualified for construction between 2006-2014 Resources: CDBG</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Provide grants to at least 5 households</p>	<p>From January 1, 2006 to June 2014, 461 units were constructed countywide by nonprofit-affordable housing organizations providing self help housing and multifamily farm worker housing opportunities. 362 of these units were created within unincorporated areas of the county. The number of units qualified for the production of self help housing for ownership and multifamily farm worker housing opportunities between 2006-2014 was drastically reduced due to the elimination of redevelopment in California by operation of law as of February 1,</p>	<p>Continue. Delete. Combine with action 1.3a.</p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>Throughout the planning period.</p>	<p>2012, and also impacted due to federal budget cuts to HOME and CDBG.</p> <p>The County continues to work with Coachella Valley Housing Authority and Desert Alliance for Community Empowerment (DACE) to assist in the production of self-help housing for ownership and multifamily farm-worker housing opportunities. This information was not available as of the preparation of this evaluation. However, it is estimated that approximately \$395,000 was also allocated in 2016 for this purpose from CDBG funds.</p>	<p>Continue, Modify or Delete</p>
<p><u>Action 1.3d. Develop incentives for the set-aside of agricultural land for farm worker housing. Continue policy and study feasibility of using Williamson Act land.</u></p> <p><u>Responsibility: EDA/TLMA2.1h. The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location, types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</u></p>	<p>Resources: General Fund</p> <p>Responsible Agency: EDA/TLMA</p> <p>Time Frame: Develop a plan by summer 2017.</p>	<p>The County has not yet developed an incentive for the set-aside of agricultural land for farm worker housing. The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations. A formal process beyond this will not be developed due to significant general fund budget limitations in the foreseeable future.</p> <p>Therefore, the County does not see a need to develop a plan at this time because on-going rehabilitation funding requests and rehabilitation required as a result of code enforcement complaints.</p>	<p>Continue, Delete, or Combine with action 1.3a.</p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Housing Element

Chapter 8

Actions	Table 4-4 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Action 1.3 e: The County will amend the Zoning Ordinance 2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks. To comply with Health and Safety Code Sections 17021.5 and 17021.6. For the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is specifically that differs in any other way from agricultural use. No conditional use permit, zoning variance or other zoning clearance shall be required of this employee housing that is not required of any other agricultural use in the same zone. The permitted agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located.</u></p> <p><u>Timing: Amend the Zoning Ordinance by December 2013. Responsibility: PLMA</u></p>	<p><u>Resources: Low and Moderate Income Housing Asset Funds, 2010 Housing Taxable Bond Proceeds</u></p> <p><u>Responsible Agency: EDA/Housing Authority</u></p> <p><u>Time Frame: Preserve a minimum of 17 mobile homes for very low-income households. Preserve at least planning period.</u></p>	<p>The County is in the process of amending Ordinance 348 (Zoning Ordinance) to comply with Health and Safety Code Sections 17021.5 and 17021.6. This will be completed by Spring 2014. The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations.</p>	<p>Continue.</p>
<p><u>Action 1.4a: Recruit and train a Mental Health Housing Coordinator or services coordinator by a non-profit organization.</u></p> <p><u>Timing: Continue</u></p> <p><u>Responsibility: Department of Mental Health 2b</u></p> <p>Through the Mobile Home Tenant Loan, Foreclosure/Abandonment Program, the County will provide assistance where it is economically feasible to recover and preserve an abandoned or foreclosed mobilehome and return it to the affordable housing stock.</p>	<p><u>Resources: Low and Moderate Income Housing Asset Funds, 2010 Housing Taxable Bond Proceeds</u></p> <p><u>Responsible Agency: EDA/Housing Authority</u></p> <p><u>Time Frame: Preserve a minimum of 17 mobile homes for very low-income households. Preserve at least planning period.</u></p>	<p>ACDWH established a centralized housing program (HHOPI) in 2005 and recently expanded the scope and range of services provided. The recent expansion also added an Administrative Services Manager position that reports to the Deputy Director of Housing. Both positions have been filled with trained staff. Because this program was recently approved by the County in November 2015, program implementation has just started so that no mobile homes have been returned to the affordable housing stock.</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Action 1.4b: Support current legislation to block grant Supportive Housing Program and Shelter Plus Care Program Funds.</p> <p>Timing: Meet quarterly with County Legislative Advocates to address implications of new legislation</p> <p>Responsibility: Department of Public Social Services 2.3a: As funding is available, preserve existing affordable mobile home housing stock. The County will also work with park owners and tenants to explore homeownership opportunities such as through the MPRROP program.</p>	<p>Supportive Resources: CDBG and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDVA Housing Program Shelter Plus Care Authority</p> <p>Time Frame: Annually explore funding sources and as NOFAs are released.</p>	<p>The County continues to support current legislation for block grant funding to aid the Supportive Housing Program and Shelter Plus Care Program. The County has not specifically met with legislative advocates about this legislation. However, the County's Continuum of Care (CoC), supported by the County of Riverside Department of Public Social Services, provides updates on legislation related to homeless and housing issues, including the Supportive Housing Program and Shelter Plus Care. CoC members (public and private homeless services providers) may and do advocate on legislation that will impact homeless services in the county. In addition, a contingent of CoC representatives (including County staff) attended a national conference in Washington D.C. sponsored by the National Alliance on Ending Homelessness, which provides an opportunity to meet with legislators to advocate for funding. Please see response to Action 2.2b, above.</p>	<p>Continue.</p>
<p>Action 1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p> <p>Timing: Implement by 2014</p> <p>Responsibility: Department of Mental Health in conjunction with EDVA 2.3b: Organize bilingual outreach materials and activities to educate and inform the farm worker community about available rehabilitation programs and resources.</p>	<p>Develop an affordability ordinance that will include design criteria and build upon current fee exemptions and fast track authority that currently provides assistance for affordable housing units for the mentally disabled. Resources:</p> <p>Responsible Agency: EDVA</p> <p>Time Frame: Continue to hold quarterly meetings to discuss.</p> <p>As funding for programs is available, bilingual brochures will be provided.</p>	<p>The MPRROP Program is not used by the County.</p> <p>The County has not yet developed an affordable housing ordinance. This will be partially addressed as part of the County's reasonable accommodation procedure. Through the help of non-profit partners, the County's programs have been translated and outreach materials and through community meetings that also use translators for the purpose of reaching farmworkers.</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Table 8-4 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1-4d: Update the 1993 "Assessment of the Status and Problems of Homeless Mentally Ill Persons in Riverside County" Timing: 2014</p> <p>Responsibility: Department of Mental Health 2.4a: Ensure that County assisted affordable housing remains affordable by doing the following:</p> <p>Through the maintenance of an inventory of County assisted units with monitoring of expiration dates on an annual basis.</p> <p>Priority on providing financial assistance, where feasible and if funding is available, to preserve County assisted affordable units at risk of conversion to market rate during the planning period. Conduct annual compliance monitoring site visits and file audits of County assisted units as part of ongoing compliance requirements.</p> <p>Coordinate with owners of at-risk units to have the property owners provide education and work with tenants regarding their rights and conversion procedures.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Annually review existing covenants and update as necessary. County will coordinate with owners of at-risk units to have the owners provide tenant education within 30 days of a notice of conversion.</p>	<p>The County has not updated this report and does not plan to update this report. This program is no longer applicable and will not be continued.</p> <p>In 2013, EDA Housing monitored 35 projects in the county unincorporated area totaling 1569 dwelling units of which 1114 were income restricted. By 2016, these numbers increased to 42 projects in the unincorporated area, consisting of 1709 dwelling units of which 1207 were income restricted.</p> <p>No units have been lost to date due to expiration.</p>	<p>Continue, Modify, or Delete</p> <p>Delete, Continue.</p>
<p>Action 1-4e: Promote the integration of special-needs housing into affordable housing communities, as disabled development projects maximize community opposition, add to development financing difficulties, and segregate persons with mental health disorders, promoting stigma. Timing: Implement by 2014</p> <p>Responsibility: Department of Mental Health 3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments.</p> <p>2. Education and training of County staff.</p> <p>3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers,</p>	<p>Special-needs housing will be integrated into proposed affordable housing. Responsible Agency: CDBG Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p>	<p>RCDMH has employed three primary strategies. The County continues to expand integrated supportive housing capacity. Employment of the Fair Housing Resource Specialists to contact apartment property managers to solicit and engage them in providing affordable housing to RCDMH consumers who would receive supportive services. This focused on establishing access to existing housing.</p> <p>Pursued HUD supportive permanent housing scattered site funding (new grants and Shelter Plus-Care vouchers) that would assist to establish housing options for very low income consumers. Scattered site funding helps to establish supportive housing that is integrated in general population housing.</p> <p>RCDMH invested \$10 million in Mental Health Services Act (MHSA) funds in new project development in partnership with the Economic Development Agency (EDA) and affordable housing developers. Funding was allocated to six new construction and</p>	<p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
and residents in emergency shelters and transitional housing facilities.		one acquisition/rehabilitation projects. Two projects were affordable housing senior communities; five were multifamily projects. Each project set aside 15 MHSA supportive housing units. One Habitat Council of success is that in each project, community based stigma and preconceptions have been significantly overcome and/or reduced. In total, MHSA funds have been used to create 105 new, integrated very low income (30% AMI) supportive housing units. Additionally, by leveraging funds to support affordable housing development, over 700 total affordable housing units were added to Riverside County. Development locations included Riverside (two projects), to complete audits of lenders and rental establishments.	
Action 1.4f-3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled as funding is available, and implement a new program to provide safe havens to the mentally ill. Responsibility: Department of Public Social Services	Shelter Plus Care Program Safe Haven for the Mentally Ill Program 268 beds were established during 1995-2008. Goal to meet or exceed previous amount Resources: Responsible Agency: EDA Time Frame: 2019 Resources: First Time Home Buyer Down Payment Assistance Program Responsible Agency: EDA Fair Housing Council	Annually, housing staff attend workshops hosted by the Fair Housing Council of Riverside County to obtain the latest updates in regulations, best practices and discuss current issues facing lenders, property managers, homebuyers and lenders. Wesley Valley, Menifee, Perris, Desert Hot Springs, and Thousand Palms. The County has continued to participate in the Shelter Plus Care Program and has several transitional housing facilities as well as permanent supportive housing. These units range in age from 2- years to 20 years. The next update to the County's Analysis of Impediments which has been renamed Affirmatively Furthering Fair Housing (AFFH) is in 2019.	Continue.
Action 1.5a: Support current legislation to block grant Supportive Housing program and Shelter Plus Care Funds and modify the current fair share funding ratio to allow for multiple continuums. Timing: Ongoing Responsibility: Department of Public Social Services 3.2a: Continue to use the services of the Fair		The County has several transitional housing facilities as well as permanent supportive housing. These units range in age from 2- years to 20 years. In 2016, the Fair Housing Council served 2470 persons including a combination of landlord and tenant contacts, fair housing contacts, foreclosure prevention counseling, various workshops, and general one on one counseling.	Continue, Modify, Combine with action 1.4b.

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Progress to Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>	<p><u>Time Frame:</u> Ongoing, as funding permits.</p>	<p><u>Evaluation:</u></p>	<p><u>Continue, Modify, or Delete</u></p>
<p><u>Action 1.5a3.3a:</u> Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the next following:</p> <p>Continue to cooperate with nonprofit agencies that provide placement or referral services through Shelter Strategy Includes provisions for persons with disabilities.</p> <p><u>Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. ***</u></p> <p>Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs permanent housing.</p> <p>Timing: Annually</p> <p>Responsibility: Department of Public Social Services Develop a policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities. Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County's website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>	<p><u>Resources:</u></p> <p>Responsible Agency: Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p> <p><u>Time Frame:</u> Ongoing, as projects are processed</p> <p>Develop a reasonable accommodation procedure by Spring 2016.</p> <p>Develop an outreach program by Spring 2016.</p>	<p>No progress.</p> <p><u>The County's HOME Investment Partnership Act (HOME)</u> program, a federally funded program, follows housing accessibility requirements at 24 CFR Part 8, complying with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and the Disability/Accessibility Provisions of the Fair Housing Act of 1988. Dwelling units must be designed and constructed in accordance with the Uniform Federal Accessibility Standards (UFAS) which is deemed to comply with the Section 504 regulation. 24 CFR Part 8.22. New construction—housing facilities, provides requirements for new construction of multi-family projects; that 5 percent (5%) of the units (but not less than one unit) must be accessible to individuals with mobility impairments, and an additional 2 percent (2%) of the units (but not less than one unit) must be accessible to individuals with sensory impairments. It should be noted that Section XIXe of Ordinance 349,4840 addresses reasonable accommodation needs for persons with disabilities.</p> <p><u>Additionally, the County's Building Code provides accessibility</u> criteria for disabled persons. There is no separate design criteria provided in the Building Code.</p> <p>The County provides personal and web site assistance to persons with disabilities, and therefore requiring special accommodations specifically for residents who are completing applications for Section 8 or Public Housing Programs. Additionally, the County has prepared a guide book with procedures for the disabled to pursue Section 8 assistance.</p> <p>There is no separate coordination with the Inland Regional Center regarding services for disabled persons.</p>	<p>Delete/Continue.</p>

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Action 3.3b: Continue to utilize the following programs to assist special needs households: 1. Section 8 that evaluation criteria Housing Choice Voucher Program (Section 8 Certificates).</p> <p>2. Family Unification Program.</p> <p>3. Family Self Sufficiency (FSS) Program.</p> <p>4. Housing Opportunities for Persons with AIDS (HOPWA).</p> <p>5. Veteran's Affairs Supportive Housing applications include provisions for new construction of units, not merely numbers of beds. Program (VASH). Timing: 2009.</p> <p>Responsibility: Department of Public Social Services.</p> <p>6. Foster Care Youth Program.</p> <p>7. Tenant Based Rental Assistance Program.</p>	<p><u>Table H-1</u></p> <p><u>Resources:</u> HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p> <p><u>Responsible Agency:</u> Housing Authority, EDA, DPSS</p> <p><u>Time Frame:</u> Programs will continue as funding is obtained.</p>	<p>The County used the following programs to assist households in 2013:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$69,973,083 in total Housing Assistance Payments (HAP) assisted 8,713 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 237 households were veterans and 4,554 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program.</p> <p>The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2013, the FSS program served 547 participants. A total of 9 families graduated and therefore no longer required rental assistance. Of the graduates, 1 has purchased their own homes.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2012-13, the HOPWA program provided a total of \$601,848 in HAP assistance. An average of 90 individuals were assisted on a monthly basis.</p> <p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 333 homeless veterans with monthly rental assistance.</p> <p>Foster Care Youth Program. A total of 3 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 102 households were assisted under the SDA program and no funding was available for the TBRA program.</p> <p>Family Unification Program. The FUP assisted 147 households.</p> <p>Homeless Prevention and Rapid Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2012-13 fiscal year,</p>	<p><u>Continue, Modify or Delete</u></p> <p>Continue, Delete</p>

Inserted Cells
 Inserted Cells
 Inserted Cells

Housing Element

Chapter 8

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
	<p>54 persons received rapid re-housing and 137 persons received homeless prevention assistance.</p> <p>The County used the following programs to assist households in 2014:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$68,216,901 in total Housing Assistance Payments (HAP) assisted 8,468 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 292 households were veterans and 4,341 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program. The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2014, the FSS program served 538 participants. A total of 9 families graduated and therefore no longer required rental assistance.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2013-14, the HOPWA program provided a total of \$516,005 in HAP assistance. An average of 77 individuals were assisted on a monthly basis.</p> <p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 373 homeless veterans with monthly rental assistance.</p> <p>DPSS is working with HUD to get all projects to develop as units, not beds. All permanent supportive housing is developed as units.</p> <p>Foster Care Youth Program. A total of 4 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 84 households were assisted under the SDA program and no funding was available for the TBRA program.</p> <p>Family Unification Program. The FUP assisted 124 households.</p>		

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
	<p>The County used the following programs to assist households in 2015:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$67,768,501 in total Housing Assistance Payments (HAP) assisted 8,730 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 412 households were veterans and 4,340 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program. The FSS Program assists families to become economically independent from government financial assistance within a five-year period. On December 8, 2015, the HA received \$483,000 to link Riverside County adults in the HCV program to local organizations that provide job training, childcare, counseling, transportation, and job placement. This was the third largest award made in California. In 2015, the FSS program served 506 participants. A total of 9 families graduated and therefore no longer required rental assistance. Of the graduates, 2 have purchased their own homes.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2014-15, the HOPWA program provided a total of \$454,739 in HAP assistance. An average of 71 individuals were assisted on a monthly basis.</p> <p>Veteran's Affairs Supportive Housing Program (VA SH). The VA SH program provided 416 homeless veterans with monthly rental assistance.</p>		

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
	<p>Foster Care Youth Program. A total of 3 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 178 households were assisted under the SDA program and 27 households were assisted under the TBRA program.</p> <p>Family Unification Program. The FUP assisted 124 households.</p> <p>Homeless Prevention and Rapid-Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2014-15 fiscal year, 190 persons received ESG rapid re-housing assistance and 82 persons received ESG homeless prevention assistance.</p> <p>The County used the following programs to assist households in 2016:</p> <p><u>Housing Choice Voucher Section 8 (HCV) Program.</u> The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$67,071,527 in total Housing Assistance Payments (HAP) assisted 8,701 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 507 households were veterans and 4,278 were disabled and/or elderly including veterans.</p> <p><u>Family Self Sufficiency (FSS) Program.</u> The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2016, the FSS program served 400 participants. A total of 11 families graduated and therefore no longer required rental assistance. Of the graduates, 1 purchased their own home.</p> <p><u>Housing Opportunities for Persons with AIDS (HOPWA).</u> In fiscal year 2015-16, the HOPWA program provided a total of \$472,504 in HAP assistance. An average of 73 individuals were assisted on a monthly basis.</p>		

Inserted Cells
Inserted Cells
Inserted Cells

Chapter 8

Housing Element

Actions	Table 8-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1.5a: Develop transitional housing facilities in established regions of the County where transitional housing shelters are needed in cooperation with non-profit and local jurisdictions.</p> <p>Timing: Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POCUS Project to site facilities.</p> <p>Responsibility: Department of Public Social Services.</p>	<p>Supportive Resources: HUD</p> <p>Responsible Agency: Housing Program/Shelter Plus Care program/Authority</p> <p>Time Frame: Ongoing as interested persons contact the Housing Authority.</p>	<p>Veteran's Affairs Supportive Housing Program (VASH). The VASH program provided 451 homeless veterans with monthly rental assistance.</p> <p>Foster Care Youth Program. A total of 3 youth were assisted.</p> <p>Tenant Based Rental Assistance (TBRA) and Security Deposit Assistance (SDA) Program. A total of 268 households were assisted under the SDA program and 43 were assisted under the TBRA program.</p> <p>Family Unification Program. The EUP assisted 132 households.</p> <p>Homeless Prevention and Rapid-Rehousing Program (HPRP). The Housing Authority continues to provide rapid re-housing and homeless prevention services to homeless families and families at imminent risk of homelessness. During the 2015-16 fiscal year, 28 persons received ESG rapid re-housing assistance and 81 persons received ESG homeless prevention assistance. A total of 39 persons received HPRP assistance through the Housing Authority.</p>	<p>Continue, Modify, or Delete</p>
<p>Action 1.5b: Develop transitional housing facilities in established regions of the County where transitional housing shelters are needed in cooperation with non-profit and local jurisdictions.</p> <p>Timing: Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POCUS Project to site facilities.</p> <p>Responsibility: Department of Public Social Services.</p>	<p>Supportive Resources: HUD</p> <p>Responsible Agency: Shelter Plus Care</p> <p>Responsible Agency: Housing Program/Authority/DPSS</p>	<p>DPSS is the lead collaborative applicant for the Continuum of Care. Please see response to Action 3.3b, above.</p> <p>The County has several transitional housing facilities as well as permanent supportive housing. These units range in age from 2- years to 20 years. The County continues to administer the Shelter Plus Care Program throughout the County, including western Riverside County.</p>	<p>Continue, Modify, or Delete with action 1.4f.</p> <p>Continue.</p>

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Progress to Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Department of Mental Health to administer Shelter Plus. Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.</p> <p>Action 1.5f: Expand the number of emergency shelters in identified areas of Riverside County in cooperation with non-profit organizations and local jurisdictions. Responsibility: Department of Public Social Services 3.3c: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).</p>	<p><u>Table H-4</u> <u>Progress to Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</u> Time Frame: Ongoing throughout the planning period. Emergency Resources: HUD Housing Assistance Choice Voucher Program- Emergency Shelter Grants- FEMA Ensure the emergency shelter needs of mentally ill and domestic violence victims are addressed. Responsible Agency: Housing Authority</p> <p>Time Frame: Ongoing throughout the planning period.</p>	<p>Ordinance 348 (Zoning Ordinance) was amended on March 22, 2011 to allow emergency shelters by right in the LP zone as well as adopting performance standards specific to that use. No public or private applications have been received since the ordinance was updated in 2011. There has been one shelter developed in the planning period. The County's ordinance is being used in. Please see response to Action 3.3b. above inmate</p>	<p>Continue.</p>
<p>Action 1.5g: Amend Ordinance 348 to include use and occupancy requirements for transitional and emergency shelters as follows: Allow for emergency shelter in the LP zone by right without disciplinary review. Add the current definition of transitional housing and supportive housing and to permit uses and subject only to these restrictions that apply to other residential uses of the same type in the same zone. Timing: Amend the Zoning Ordinance by December 2013. Responsibility: TLMA 3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on</p>	<p><u>Amend Ordinance</u> Resources: FEMA, ESG, EHAP Responsible Agency: DPSS</p>		

Inserted Cells
 Inserted Cells
 Inserted Cells

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>programs to prevent homelessness, including rental mortgage assistance.</p>			
<p><u>Time Frame: Ongoing, throughout the planning period.</u></p>			
<p><u>Actions</u></p>	<p><u>Table H-1</u> Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</p>	<p><u>Evaluation</u></p>	<p><u>Continue, Modify or Delete</u></p>
	<p><u>Ordinance 348 (Zoning Ordinance) was amended on March 27, 2014 to allow emergency shelters by right in the I-P zone as well as adopting performance standards specific to that use. The County is in the process of amending Ordinance 348 (Zoning Ordinance) to add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses and subject only to those restrictions that apply to other residential uses of the same type in the same zone. This will be completed by Spring 2016. Please see response to Action 3.3b. above.</u></p>	<p>Continue.</p>	

Inserted Cells
Inserted Cells
Inserted Cells

Housing Element

Chapter 8

Actions	Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>Action 1.6a: Identify and recruit Habitat for Humanity chapters within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME Program.</p> <p>Timing: Establish a quarterly meeting schedule with Habitat for Humanity to provide policy direction.</p> <p>Responsibility: ED&A 3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.</p>	<p>Table H-4: Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 Resources</p> <p>Resources: HUD Supportive Housing program, Shelter Plus Care</p> <p>Responsible Agency: DPSS</p> <p>Time Frame: Ongoing.</p>	<p>The Economic Development Agency (EDA) continues to encourage Habitat for Humanity chapters to apply as CHDOs at the time of submitting projects that meet CHDO requirements pursuant to HOME regulations. Both programs continue to be administered throughout the county.</p>	<p>Continue, Modify, or Delete</p>
<p>Action 1.6b: Continue to work with Habitat for Humanity and Coachella Valley Housing Coalition in providing homeownership opportunities through the Rural Development Self-Help program and other self-help construction programs. Refer to Implementing Resources Matrix for additional program funding. (Table H-5g)</p> <p>Timing: See objective in 1.6a</p> <p>Responsibility: ED&A 3.3h: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the Consumer Price Index.</p>	<p>Rural Development Self-Help Program Resources:</p> <p>Responsible Agency: County Executive Office</p> <p>Time Frame: Ongoing.</p>	<p>The Economic Development Agency (EDA) and Housing Authority continue to encourage nonprofit organizations to provide homeownership opportunities through the Rural Development Self-Help program and other self-help construction programs. Ordinance No. 760 is codified in the Riverside County Code of Ordinances as Chapter 5.36, Mobile Home Park Rent Stabilization.</p>	<p>Continue, Delete, or Combine with action 1.6a</p>
<p>Action 1.7a: Continue to provide for greater flexibility in the design of single-family development through the processing of PUDs, Specific Plans, and Area Plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.</p> <p>Timing: Implemented by 2014.</p> <p>Responsibility: TLWA Building and Safety 3.4a: Continue to implement the Mortgage Credit Certificate Program (MCC) for low- to moderate-income homeowners.</p>	<p>Develop an affordable housing ordinance that will implement State Housing Law and Density Bonus provisions. Update Ordinance 348 to provide for greater flexibility for high-density development. Update County's General Plan to provide additional policies that complement affordable housing development from private development. Resources: CDLAC</p> <p>Responsible Agency: EDA</p>	<p>State density bonus law continues to be implemented. This is an ongoing program and will be continued. In addition, Ordinance 348 (Zoning Ordinance) is being revised to accommodate higher density housing as part of the redesignation/rezoning effort. Between 2013 and 2016, 180 low and moderate income homeowners received such assistance.</p>	<p>Continue.</p>

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Action 1.7b: Maintain these provisions of Ordinance No. 348 providing opportunities for the lawful establishment of second units.</p> <p>Timing: Provisions have been established</p> <p>Responsibility: TMM Building and Safety 3.4b: Continue to provide down payment assistance and closing cost assistance to low-income first-time homebuyers through the First Time Home Buyer Program.</p>	<p>Time Frame: Ongoing. Funding will be available once the Housing Element is in compliance.</p> <p>Resources: HOME</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing. Funding will be available once the Housing Element is in compliance.</p>	<p>This program has been implemented through Ordinance 348 (Zoning Ordinance) and will not be continued. Between 2013 and 2016, 58 low income first time home buyers received such assistance.</p>	Delete/Continue.
<p>Action 1.7c: Continue to allow mobile homes in single family residential zones "by right" and mobile home parks subject to a CUP, and encourage construction of new mobile home parks and manufactured housing to increase the supply of affordable dwelling units. Continue to waive the fees associated with Ordinance No. 659 as an incentive.</p> <p>Timing: Ongoing</p> <p>Responsibility: TMM Building and Safety 3.5a: Work with public or private sponsors to encourage acquisition/rehabilitation of existing multifamily units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median.</p>	<p>Resources: HOME and other HUD and HCD grants as they become available. CDBG, HUD.</p> <p>Responsible Agency: EDA</p> <p>Time Frame: Ongoing. Annually meet with interested developers.</p>	<p>Provisions have been established including fast track authorization for any affordable housing farm worker housing mobile home parks. Between 2013 and 2016, 22 units have been acquired and rehabilitated for this purpose.</p>	Continue.
<p>Action 1.7d: Encourage new large scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed use development.</p> <p>Timing: Implemented by 2014</p> <p>Responsibility: TMM 3.5b: Consider the conversion of small older hotels to transitional housing facilities.</p>	<p>Update Ordinance 348 to establish design standards and specific criteria to encourage such developments. Provide for an affordability ordinance to regulate mandate affordable housing development in specific plans. Continue use of</p>	<p>Continue to encourage large scale developments with a range of housing types. The County is undertaking a comprehensive zoning code amendment which is expected to be adopted in early 2018. This work effort includes addressing the allowance of single room occupancy (SRO) units in general commercial zones.</p> <p>In the absence of a regulatory structure for entitling projects providing SRO units, no such units have been provided to date.</p>	Continue.

Housing Element

Chapter 8

Actions	Progress to Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p>emergency shelters, or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. The Department of Social Services shall work with participating jurisdictions when requested. In addition, the County will process an amendment to Ordinance No. 348 to define SROs and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit.</p>	<p><u>Table H-4</u> <u>Progress to Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 Resources</u></p> <p><u>Fast Track</u> <u>Process Resources: HUD, HCD</u></p> <p><u>Responsible Agency: DPSS, nonprofits</u></p> <p><u>Time Frame: Within six months of adoption of the Housing Element.</u></p>	<p>Regarding development or infrastructure fees, the County can only defer or reduce development fees when appropriate grants are available. Therefore, for private sector projects, deferred or reduced fees are generally not available because only private sector development fees are used to pay staff time for processing. No general fund monies are available for that purpose.</p>	<p><u>Modify - Combine with action 3.3b - Continue.</u></p>
<p><u>Action 1.7e: Encourage multi-family housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs.</u> <u>Timing - Implemented by 2014</u></p> <p><u>Responsibility: EDA/County Counsel</u> 4.1a. To ensure fees do not pose a constraint to the development of housing, the County will review its fees on an annual basis.</p>	<p><u>See Action 1.7d Resources: General Fund</u></p> <p><u>Responsible Agency: TLMA</u></p> <p><u>Time Frame: Annually</u></p>	<p><u>Additional: The County adheres to all state ADA requirements. Fees are assessed for infrastructure programs such as roads, bridges, and traffic signals, as well as for parks, schools, habitat preservation and environmental mitigation. The assessment of such fees are required by state or local laws. General fund monies are no longer sufficient to meet infrastructure, public service, and facility needs.</u></p> <p><u>While actual fee amounts may change, no modifications are proposed to the approach and structure detailed above.</u></p> <p><u>The County annually reviews the nexus and applicable fee to ensure that the two are fully correlated.</u></p>	<p>Continue.</p>
<p><u>Action 1.7f: Evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria.</u> <u>Timing - Adopt countywide provisions; thresholds or criteria for affordability to be used in the design of</u></p>	<p><u>Resources: General Fund</u></p> <p><u>Responsible Agency: TLMA</u></p>	<p><u>The County reviewed the existing specific plans as part of the 2006-2014 Housing Element land inventory and identified sites that would be appropriate for affordable housing development. Land Use Ordinance No. 348.483b was adopted on June 21, 2016 to make this definition change. The ordinance took effect on July 21, 2016.</u></p>	<p>Continue.</p>

Chapter 8

Housing Element

Actions	Table 11-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify, or Delete
<p><u>Specific Plans following adoption of General Plan update in 2008.</u></p> <p><u>Responsibility: EDATLMA 1b.</u> Update the definition of family so that it does not limit the number of persons per household, and does not require that persons are related by blood.</p> <p><u>Action 1.7g-1.2a.</u> Propose and advocate legislative efforts to promote jobs/housing balance. Participate in subregional (WRCOG and CVAG) and regional (SCAG) agency meetings to:</p> <p>Establish housing goals beyond county lines that reflect housing markets.</p> <p>Ensure that regional plans are consistent with County policies and goals. <u>Prepare legislative proposals as necessary.</u></p> <p>Encourage the production of affordable housing such as construction defect litigation reform, and additional low-income tax credits. <u>Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities.</u> Continue to enforce regulations and requirements.</p> <p><u>Timing:</u></p> <p><u>Responsibility:</u> TLMA</p>	<p><u>Time Frame:</u> Within six months of adoption of the <u>Housing Element.</u></p> <p><u>Resources:</u> General Fund</p> <p><u>Responsible Agency:</u> EDATLMA <u>Housing Authority</u> <u>Executive Office/TLMA</u></p> <p><u>Time Frame:</u> Establish a <u>meeting with County's</u> legislative advocates to ascertain the existing impact and proposed legislation.</p>	<p>The County encourages developers to accommodate persons with disabilities. The County is in the process of amending Ordinance 248 (Zoning Ordinance) to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities. This will be completed by Spring 2016. The County continues to participate in WRCOG, CVAG, and SCAG meetings with consideration given to personnel resources available for such meetings and if the topic(s) of the meetings relate to county priorities. It should be noted that the primary focus of WRCOG and CVAG meetings is on city government matters. However, the County does undertake expansive coordination with SCAG and these agencies in the allocation of RHINA numbers for the production of dwelling units, including affordable housing, in the respective jurisdictions and the region as a whole.</p>	<p>Continue, Modify, or Delete</p> <p>Continue, Modify, or Delete</p>
<p><u>Action 2.1a:</u> Advise and promote the availability of funds for the rehabilitation of single family and mobile home dwelling units through the CDBG-Minor and Enhanced Senior Home Repair Program and the two components of the Housing Rehabilitation Program: the RDA Set Aside-funded RHP in unincorporated County and the CDBG-funded CHRP in incorporated cities. Continue to distribute informational materials throughout redevelopment target areas.</p> <p><u>Timing:</u> Procedures are established and will continue.</p> <p><u>Responsibility:</u> EDATLMA</p>	<p><u>Housing Rehabilitation Program (RHRP and CHRP), Minor and Enhanced Senior Home Repair Program.</u></p> <p><u>Resources:</u> General Fund</p> <p><u>Responsible Agency:</u> EDATLMA</p> <p><u>Time Frame:</u> Annually in April.</p>	<p>Meetings to address the implications of new legislation are conducted as bills are proposed and signed at least annually, and more frequently as needed to address impacts on the County.</p> <p>The County advised and promoted the available programs via the County's website. Under MHTL, MHTL, and AGHL, 774 units were constructed countywide and 767 were constructed within unincorporated areas of the county. These programs are now discontinued due to the elimination of redevelopment in California by operation of law on February 1, 2012. Other sources of funding are being sought to fulfill construction for the MHTL program in 2014. The annual report on the County's housing programs is being undertaken concurrent with this mid-cycle update of the Housing Element.</p>	<p>Modify and continue</p> <p>Continue</p>

Housing Element

Chapter 8

Actions	Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2017 Resources	Evaluation	Continue, Modify, or Delete
<p>4.3a: Review the Housing Element on an annual basis to determine the effectiveness of the programs in achieving the County's housing goals and objectives. The County will provide the annual report to the Board of Supervisors as to the effectiveness of the Housing Element. A copy of this report will be sent to the California Department of Housing and Community Development (HCD) and the Governor's Office of Planning and Research (OPR).</p> <p>Action 2.1b: Advertise and promote the availability of funds administered by the County for the rehabilitation of multi-family units using HOME, CPBG Housing Loan Fund, and Redevelopment Set-Aside funds, as well as the HCD Multifamily Housing Loan Program available to developers through the State. Continue to distribute informational materials throughout redevelopment target areas.</p> <p>Timing: Procedures are established and will continue.</p> <p>Responsibility: EDARDA5.1a: Continue to promote and support energy efficiency in new construction by encouraging developers to utilize available energy programs through the local utility providers and once adopted, to be consistent with the County's Climate Action Plan.</p>	<p>Table H-1: Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2017 Resources</p> <p>HOME - CPBG Housing Loan Fund, HCD Multifamily Housing Loan Program Resources: Energy Efficiency Block Grant (EECBG) funded by the Department of Energy (DOE).</p> <p>Responsible Agency: TLMA/Building and Safety</p> <p>Time Frame: Implement Climate Action Plan that will include incentives for production of renewable energy resources and greater efficiencies than Title 24. Ongoing as projects are processed through the Planning Department.</p> <p>Mobile Home Park Assistance Loan Fund, Mobile Home Tenant Assistance Loan Program, Agricultural Housing Loan Program</p> <p>888 units were quantified for construction during the planning period. Resources: California Conservation Corp.</p>	<p>The County advertised and promoted the available programs via the County's website. The County advertises HOME funds on the website. Currently there is no funding available. As funding becomes available, the County will post NOFAs in the paper. All developers comply with the County's building codes which are based on Title 24 of the California Code of Regulations, also known as the Building Standards Code and the energy efficiency requirements contained therein. The County does not impose separate or different requirements.</p> <p>The County amended its General Plan by adopting a Climate Action Plan on December 8, 2015.</p>	<p>Continue, Modify, or Delete</p> <p>Combine with action 2.1a</p>
<p>Action 2.1c: Continue to utilize the Mobile Home Park Assistance Loan Fund and Mobile Home Tenant Assistance Loan programs for the rehabilitation of mobile homes in the 5.1b. The Department of Community Action shall continue to operate the LIHEAP and Home Weatherization programs to reduce maintenance and energy costs for households with low incomes and increase efforts to inform the public about available</p>	<p>Mobile Home Park Assistance Loan Fund, Mobile Home Tenant Assistance Loan Program, Agricultural Housing Loan Program</p> <p>888 units were quantified for construction during the planning period. Resources: California Conservation Corp.</p>	<p>Under MHHL, MHP, and AGHL, 774 units were constructed countywide and 767 were constructed within unincorporated areas of the county. These programs are no longer funded due to the elimination of redevelopment in California by operation of law on February 1, 2012. Other sources of funding such as state CalHOME will be utilized to fulfill construction of mobile homes in place of the MHHL program. The County continued to provide assistance to conserve existing single family housing through weatherization</p>	<p>Modify - Combine with action 2.1a Continue.</p>

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>energy conservation programs. Seacrest Valley, as well as the Agricultural Housing Loan Fund.</p> <p>Responsibility: EDA</p>	<p>DOE, state Department of Community Services and Development, WEEK, Emergency Contingency Funds.</p> <p>Responsible Agency: DCA</p> <p>Time Frame: Ongoing.</p>	<p>programs using LIHEAP and DOE funds. Between 2013 and 2016, a total of 2296 dwelling units received such assistance.</p>	
<p>Action 2-1d: The Housing Authority to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low and low income households.</p> <p>Responsibility: Housing Authority</p>	<p>Meet or exceed the quantified objectives from last planning period utilizing this funding.</p>	<p>Capital fund financing program spent from January 1, 2006, to June 30, 2014, totaling \$5,887,997.00—</p> <p>Individual grant sums below:</p> <p>Grant 50106 — \$743,669</p> <p>50107 — \$722,576</p> <p>50108 — \$762,625</p> <p>50109 — \$760,695</p> <p>ARRA 50109S — \$975,488</p> <p>Grant 50110 — \$740,965</p> <p>50111 — \$615,220</p> <p>50112 — \$566,759</p> <p>Grant 50113 was not expended by June 30, 2014—</p>	<p>Continue.</p>
<p>Action 2-1e: Continue utilization of tax exempt private activity bonds for the financing of multi-family housing rehabilitation.</p> <p>Responsibility: EDA/Housing Authority</p>	<p>424 multi-family units were rehabilitated during previous period. Most or exceed through current period.</p>	<p>102 multifamily units were newly constructed and financed by tax exempt private activity bonds, but no multifamily units were rehabilitated and financed by tax exempt private activity bonds.</p>	<p>Continue.</p>
<p>Action 2-1f: Research funding for historic preservation of structures such as adoption of a Mills Act ordinance which would give property tax relief for rehabilitation of historic property, as well as grants for the identification of historic structures.</p> <p>Timing: Ongoing</p> <p>Responsibility: EDA</p>	<p>Inner-Cities Venture Fund, National Preservation Loan Fund.</p>	<p>Procedures have been updated.</p>	<p>Delete. This is not something the County does.</p>
<p>Action 2-1g: Continue to provide funding from the Redevelopment Agency and CDBG-funded Housing</p>	<p>500 special needs units were quantified for.</p>	<p>In total, 1,176 units were assisted under housing rehabilitation programs; 730 were RDA funded for projects in the unincorporated areas of the county and 446 were CDBG-funded within.</p>	<p>Continue.</p>

Housing Element

Chapter 8

Actions	Table H-4 Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2017 RESOURCES	Evaluation	Continue, Modify, or Delete
<p>Rehabilitation Program to retrofit units to meet accessibility standards— Responsibility: EDVA/Building and Safety Department</p> <p>Action 2.14: Consider the adaptive reuse of small older motels to transitional housing facilities; emergency shelters or Single Resident Occupancy (SROs) in conjunction with qualified non-profit organizations. (Also see Policy 3.5, Action 3.5c.)</p> <p>In addition, the County will amend the Zoning Ordinance to define single-room occupancy units (SROs) and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit.</p> <p>Timing: Amend the Zoning Ordinance by December 2012— Responsibility: DPSS, TLMA, non-profits, EDA</p>	<p>assistance/construction during the planning period.</p> <p>Supportive Housing Program— Emergency Housing Assistance Program, HUD-SRO Moderate Rehabilitation Program</p>	<p>Participating cities: RDA funding is discontinued due to the elimination of redevelopment in California by operation of law on February 1, 2012, and CDBG funding is also discontinued due to federal budget cuts.</p> <p>No cases have resulted; however, program should continue and research should be continued.</p> <p>The County is in the process of amending Ordinance 348 (Zoning Ordinance) to define and permit SROs. This will be completed by the end of 2016.</p>	<p>Modify—Continue with action 2.5c.</p>
<p>Action 2.11: Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single family housing through weatherization and/or rehabilitation— Timing: Ongoing Responsibility: DCA</p>	<p>County HOME Weatherization Program, County Low-Income Home Efficiency Assistance Program</p> <p>As part of an ongoing program target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>	<p>There were approximately 693 households assisted through the Weatherization Program in 2014.</p>	<p>Continue</p>
<p>Action 2.2a: Continue to utilize RDA Set-Aside funding to eliminate conditions of blight; rehabilitate affordable units within the project areas; expand housing opportunities for low and moderate income households; and expand employment opportunities in selected target areas— Timing: Ongoing Responsibility: EDVA/RDA</p>	<p>Qualified objectives are included herein from RDA Set-Asides. 115 single-family units and 1,170 multi-family units are planned for construction.</p>	<p>Due to the elimination of redevelopment in California by operation of law as of February 1, 2012, this program will not be continued.</p>	<p>Delete</p>
<p>Action 2.2b: Ensure that currently sound housing is maintained through code enforcement activities— Continue to administer the Code Enforcement Program.</p>	<p>Code Enforcement Ordinance No. 457</p>	<p>There were 152 substandard housing cases opened in 2014.</p>	<p>Continue</p>

Chapter 8

Housing Element

Actions	Progress/Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>per Ordinance No. 457 to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use and occupancy of mobile home parks.</p> <p>Timing: Code Enforcement procedures, including a new case tracking system, has been upgraded and is on line since 2009.</p> <p>Responsibility: Building and Safety Department, Department of Environmental Health</p>	<p>Code Enforcement prioritizes safe and sound housing opportunities and maintenance of the County's existing housing stock. Priority permitting, including by lot limited to Fast Track Authorization is offered to residential code actions.</p>		
<p>Action 2.2c: Maintain and improve community facilities and infrastructure in sound condition utilizing available CDBG and RDA Set-Aside funds.</p> <p>Responsibility: EDARD</p>	<p>Redevelopment 5 Year Implementation Plan Consolidated Plan 328 beds within community facilities have been established with associated upgrades. Meet or exceed previous objectives.</p>	<p>Due to the elimination of redevelopment in California by operation of laws as of February 1, 2012, this program will be continued by the Economic Development Agency (EDA) through the Consolidated Plan.</p>	Delete
<p>Action 2.2c: (numbering is off due to revisions) Continue and enhance outreach efforts to educate and inform communities about available rehabilitation programs through presentations at community service organizations (DTA, Kiwanis), brochures and presentations at community facilities such as medical facilities, county government offices and one stop processing centers within participating jurisdictions.</p>		<p>Due to the lack of resources, the County has not yet met with service organizations to evaluate and revise outreach policies.</p>	Continue
<p>Action 2.2d: Continue and enhance outreach efforts to educate and inform communities about available rehabilitation programs through presentations at community service organizations (DTA, Kiwanis), brochures as well as presentations at community facilities such as medical facilities, county government offices and one stop processing centers within participating jurisdictions.</p>	<p>Outreach is coordinated through RDA staff.</p>	<p>Due to the elimination of redevelopment in California by operation of laws as of February 1, 2012, this program will be continued when the County has funding for rehabilitation programs. Information is provided at the senior center and community meetings are held as funding is available.</p>	Delete

Housing Element

Chapter 8

Actions	Table 11-4 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 RESOURCES	Evaluation	Continue, Modify, or Delete
<p>Timing: Establish quarterly meetings with service organizations to evaluate and revise, if necessary, outreach policies.</p> <p>Responsibility: EDVA/DCA</p>	<p>EDA Staff meets regularly with CHCs as they update their Housing Element</p>		
<p>Action 2.2a: EDA shall continue to work with each cooperating city so that each city can assume its fair share responsibility for rehabilitation of existing housing.</p> <p>Timing: Establish an annual reporting of fair share contributions.</p> <p>Responsibility: EDA</p>	<p>EDA Staff meets regularly with CHCs as they update their Housing Element</p>	<p>Due to lack of resources, reporting has not been completed.</p>	<p>Delete.</p>
<p>Action 2.2f: Environmental Health shall continue to respond to household sanitation complaints in respect to Ordinance No. 650 and No. 657.</p> <p>Timing: Programs are successful and will continue.</p> <p>Responsibility: Environmental Health Department</p>	<p>Ordinance No. 650 and No. 657 are implemented by Environmental Health Staff on a case-by-case basis</p>	<p>Environmental Health responds as necessary to household sanitation complaints.</p>	<p>Continue.</p>
<p>Action 2.2g: HCD shall continue to implement the employee housing (farm labor camp) enforcement program.</p> <p>Timing: Ongoing</p> <p>Responsibility: HCD</p>	<p>HCD Employee Housing Enforcement Program</p>	<p>HCD continues to implement the employee housing (farm labor camp) enforcement program</p>	<p>Delete.</p>
<p>Action 2.3a: Conserve existing affordable mobile home housing stock, utilizing the Mobile Home Park Loan Fund and Mobile Home Tenant Assistance Loan programs funded by CDBG, as well as the Agricultural Housing Assistance Fund which provides financial aid in the form of an at or below market interest rate loan up to \$75,000 to bring existing agricultural facilities up to code.</p> <p>Timing: See Policy 2.1.C</p> <p>Responsibility: EDVA/RDA</p>	<p>Mobile Home Tenant Assistance Program, Mobile Home Park Assistance Loan Program, Agricultural Housing Assistance Loan Fund</p>	<p>Currently there is no funding available but the County is looking at other funding sources - private financing through County intervention to fund infrastructure repairs.</p>	<p>Modify</p>
<p>Action 2.3b: Consolidate the Mobile Home Tenant Assistance Grant program with the Mobile Home Tenant Assistance Loan program and increase the maximum loan amount to \$35,000 per unit to accommodate replacement of existing substandard units.</p>	<p>Mobile Home Tenant Assistance Loan program 500 units were rehabilitated during the previous planning</p>	<p>Under MHHL, MHPL and ACHL, 774 units were constructed countywide and 767 were constructed within unincorporated areas of the county. These programs are no longer funded due to the elimination of redevelopment in California by operation of law on February 1, 2012. Other sources of funding such as state</p>	<p>Delete.</p>

Chapter 8

Housing Element

Actions	Progress/Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Responsibility: EDA</p> <p>Action 2.2c: Organize bilingual outreach materials and activities to educate and inform the farm worker community about available rehabilitation programs and resources.</p> <p>Timing: Establish annual reporting on policy with quarterly meeting schedule of stakeholders.</p> <p>Responsibility: EDA</p>	<p>Table H-1</p> <p>257 units are programmed for current period.</p> <p>Bilingual outreach programs are in process and coordinated by RDA staff with assistance from non profit, service organizations, and community volunteers</p>	<p>CalHOME will be utilized to fulfill construction of mobiles in place of the MHTL program.</p> <p>This program is complete and in the ongoing and monitoring stage. Materials are communicated on an "as requested" basis through the Desert Alliance for Community Empowerment (DACE) office in Coachella.</p>	<p>Continue</p>
<p>Action 2.4a: Ensure that affordable housing assisted with public funds remains affordable for the required time period through maintenance of an inventory of assisted units with monitoring of expiration dates on an annual basis. Public and private projects, utilizing such public funds, are required to record covenants on property title for a period of 55 years.</p> <p>Timing: Establish an annual review of existing covenants and update as necessary.</p> <p>Responsibility: EDW/Housing Authority/RDA</p>		<p>No units have been acquired or preserved for low- and moderate-income households. Monitoring will continue on an ongoing basis.</p>	<p>Modify. Combine with actions 2.4a and 2.4b.</p>
<p>Action 2.4b: Place a priority on providing financial assistance, where feasible, to preserve federal or state assisted, bond financed, density bonus, RDA-assisted or other types of affordable units at risk of conversion to market rate during the planning period through purchase of the units by a non-profit organization, assisting with low or no interest loans for rehabilitation, bond refinancing, market financing.</p> <p>Timing: Ongoing</p> <p>Responsibility: EDA</p>		<p>No projects or units have been found to be at risk. Monitoring will continue on an ongoing basis.</p>	<p>Delete. Combine with action 2.4a.</p>
<p>Action 2.4c: Assist non-profit and for-profit organizations with the acquisition and preservation of assisted single-family and multi-family units affordable to low and moderate income households.</p> <p>Timing: Ongoing</p>	<p>1,681 units were preserved during previous period. Most or exceed previous goal.</p>	<p>The Economic Development Agency (EDA) entered into a HOME loan agreement with a nonprofit developer to acquire and rehabilitate 3 and 4 plex properties (Orange Blossom Apartments) in 2014. Unfortunately, the agreement self-terminated due to the failure to acquire property. In addition, EDA partnered with nonprofit and for-profit developers and provided MSP funds for the</p>	<p>Delete. Combine with action 2.4a.</p>

Housing Element

Chapter 8

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 RESOURCES	Evaluation	Continue, Modify, or Delete
<p>Responsibility: EDAR/DA</p> <p>Action 2.4d: The County Housing Authority shall continue to work with HUD, private management companies, non-profit organizations, and participating cities, as applicable, to maintain subsidized projects. Timing: Annual reporting and ongoing</p> <p>Responsibility: Housing Authority/EDA</p>	<p>268 beds were created during the previous period.</p>	<p>acquisition, rehabilitation, and resale of nine foreclosed homes. Unfortunately, these are not in the unincorporated areas of the county.</p> <p>The EDA and Housing Authority monitor a Countywide portfolio of 112 projects for compliance consisting of a total of 6,211 units in which 2,097 are income restricted by the County. 45 of the projects are located within unincorporated areas of the county and consist of a total of 2,273 units in which 1,686 are income restricted.</p>	<p>Continue.</p>
<p>Action 2.4e: Continue to require maintenance of newly provided affordable housing projects through affordability covenants with the project proponent and the RDA, EDA, or Housing Authority. Conditions of Approval provide for the establishment of these requirements. In the case of public projects, covenants are recorded on the subject title.</p> <p>Timing: Ongoing as projects come forward</p> <p>Responsibility: RDA/EDA/Housing Authority</p>	<p>See Implementing Program for Policy 2.4a</p>	<p>Action is implemented on an ongoing basis as projects come forward.</p>	<p>Delete.</p>
<p>Action 2.4f: Develop strategies to maintain affordability of 63 identified at-risk units scheduled to expire in 2018. All practical and legitimate programs for maintaining affordability should be examined.</p> <p>Timing: Have strategies identified and in place by 2014 to be included in next Housing Element update.</p> <p>Responsibility: EDA</p>	<p>Preserve affordability of 63 potentially at-risk units.</p>	<p>The Economic Development Agency (EDA) and Housing Authority conduct annual compliance monitoring site visits and file audits as part of ongoing compliance requirements enforced by loan agreements. Many multifamily projects have additional affordability restrictions due to other funding sources, such as tax credits or HUD funding. Pursuant to HOME regulations, risk assessment procedures will be required for projects going forward which have already been implemented by the County.</p>	<p>Modify-Combine with action 2.4a.</p>
<p>Action 3.1a: Continue to utilize the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments 2. Education and training of County staff 3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers and residents in emergency shelters and transitional housing facilities. EDA staff coordinates with the Fair Housing Council and monitors</p>	<p>The Fair Housing Council provides services to both Cities and Counties.</p>	<p>The Economic Development Agency (EDA) staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p>	<p>Continue.</p>

Chapter 8

Housing Element

Actions	Progress/Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>their work program. Funding is proposed to continue to establish existing efforts.</p> <p>Timing- Ongoing</p> <p>Responsibility- Fair Housing Council/EDA/Housing Authority</p>			
<p>Action 3.1b- Update the 2003 Fair Housing Impediments Study.</p> <p>Timing- 2011</p> <p>Responsibility- EDA/Fair Housing Council</p>		<p>The County updated its Analysis of Impediments to Fair Housing Choice in 2009 and 2014. The next update will be completed in 2019.</p>	<p>Continue.</p>
<p>Action 3.1d- Provide financial assistance from CDBG to fair housing (See also 3.2b). EDARDA Staff regularly coordinates and monitors work programs of the Fair Housing Council, including but not limited to First Time Home Buying programs.</p> <p>Timing- Ongoing</p> <p>Responsibility- EDA</p>	<p>CDBG Funds are transferred via EDARDA staff</p>	<p>The County provides annual financial assistance from CDBG to fair housing. The County works closely with fair housing and helps with outreach on the First Time Home Buyer (FTHB) program.</p>	<p>Continue.</p>
<p>Action 3.2a- EDA shall continue to provide education and training for mortgage lenders applying for certification or re-certification to participate in the First Time Home Buyers Down Payment Assistance Program.</p> <p>Timing- DA staff regularly reports graduates of training programs. No specific target has been established.</p> <p>Responsibility- EDA</p>	<p>EDA staff regularly reports graduates of training programs. No specific target has been established.</p>	<p>The First Time Home Buyer (FTHB) program is still being funded and implemented, but funding is limited due to federal budget cuts. The County conducted six lender trainings in 2014.</p>	<p>Modify- Combine with action 3.2a.</p>
<p>Action 3.2b- Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English (See also 3.1d). EDARDA Staff regularly coordinates and monitors work programs of the Fair Housing Council, including but not limited to First Time Home Buying programs.</p> <p>Timing- Ongoing</p> <p>Responsibility- Fair Housing Council/EDA</p>	<p>First Time Homebuyers Down Payment Assistance Program</p>	<p>The Housing Authority of the County of Riverside (under the Economic Development Agency (EDA)) contracted with the Fair Housing Council to provide education and outreach services to the public.</p>	<p>Delete- Combine with action 3.2a.</p>
<p>Action 3.2a- Continue to facilitate coordination between the County participating jurisdictions, non-profit agencies,</p>	<p>Units produced have been detailed within the Housing</p>	<p>Units produced have been detailed within the Housing Element.</p>	<p>Delete-</p>

Housing Element

Chapter 8

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 RESOURCES	Evaluation	Continue, Modify, or Delete
<p>and community groups to implement food programs, emergency shelters and homeless assistance programs including the Supportive Housing Program, the Shelter Plus Care Program and the Emergency Housing Assistance Program. Coordination continues to occur between EDWRDA staff and community groups.</p> <p>Timing: Units produced have been detailed within the Housing Element.</p> <p>Responsibility: DPSS</p>	<p>Element: Supportive Housing Program, Shelter Plus Care, Emergency Housing Assistance Program</p>	<p>The County will have a reasonable accommodation procedure in place by summer 2016. In order to receive federal funding under the Home Investment Partnership Act (HOME) program, Riverside County Economic Development Agency (EDA) is required to meet housing accessibility requirements at 24 CFR Part 8, implementing Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794). The design and construction of multi-family dwellings as defined at 24 CFR 100.201 must comply with the requirements set forth in 24 CFR 100.205 implementing the Fair Housing Act. For new HOME (but not less than one unit) must be accessible to individuals with mobility impairments, and an additional 2% of the units restricted HOME (but not less than one unit) must be accessible to individuals with sensory impairments. Dwelling units designed and constructed in accordance with the Uniform Federal Accessibility Standards (UFAS) will be deemed to comply with the Section 504 regulation.</p> <p>The Department of Mental Health has contributed to the development and construction of housing for persons with disabilities.</p> <p>Helping the elderly and people with disabilities live independently in a healthy, safe environment remains the focus and mission of the Riverside County HSS Public Authority.</p>	<p>Modify - Combine with action 17e.</p>
<p>Action 3.3b: Ensure that persons with disabilities have increased access/placement in residential units rehabilitated or constructed through County programs. Continue to cooperate with non-profit agencies that provide placement or referral services for persons with disabilities.</p> <p>The County will amend Ordinance 348 to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.</p> <p>Timing: Implement ordinance by 2014. Develop a reasonable accommodation procedure by December 2012.</p> <p>Responsibility: Shared Housing, a Riverside Experience (SHARE), Housing Authority, Non-profit and Community Access Center, DPSS</p>	<p>The provision of an affordable housing ordinance will establish standards for special needs.</p>	<p>The County is in the process of amending Ordinance 348 (Zoning Ordinance) to develop a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.</p>	<p>Delete.</p>
<p>Action 3.3c: Increase housing choice for persons with disabilities through retrofit of existing housing and the continued enforcement of ADA requirements. Provide information to Community Access and County staff for dissemination and public outreach.</p>	<p>Through the establishment of a new affordability ordinance coupled with a GIS analysis to establish the best location for special need housing choices</p>		

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Timing: Implement ordinance by 2014.</p> <p>Responsibility: Community Access/ Building and Safety</p> <p>Action 3.2d: The Housing Authority shall continue to work in cooperation with local organizations that provide referral and support services to persons with disabilities. Timing: Establish quarterly reporting by the Housing Authority in their coordination and outreach to special needs communities.</p> <p>Responsibility: Housing Authority, DPSS</p>	<p>Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</p>	<p>This will be completed by Spring 2014.</p> <p>The Housing Authority continues to work with local organizations to provide targeted outreach to persons with disabilities. Specifically, the Housing Authority has fostered relationships and partnerships with Fair Housing Council of Riverside County, Community Access Center, local HIV providers, the VA Loma Linda, the Department of Public Social Services- CARE Team, and the Riverside County Office on Aging to provide housing information and support for persons with disabilities. Quarterly reports have not been provided but can be completed once a template is provided by the Transportation and Land Management Agency (TLMA).</p>	<p>Modify- Combine with action 3.3b.</p>
<p>Action 3.2e: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program previously known as Section 8 Rental Assistance Program). Timing: Establish a reporting mechanism to track rental certificates.</p> <p>Responsibility: Housing Authority</p>	<p>Mainstream Housing Opportunities for Persons with Disabilities program/ Housing Choice Voucher Program (previously known as Section 8 Rental Assistance Program)</p>	<p>The Housing Authority continues to prioritize housing for persons with disabilities within the wait list preference system of the Section 8 and Public Housing programs. Since 2013, over half of all households assisted through the Section 8 program are elderly and/or disabled households. The County assisted approximately 8,124 recipients with the HCV program in 2014.</p>	<p>Continue.</p>
<p>Action 3.2f: Continue to refer eligible participants to the SHARE Program. Responsibility: DPSS</p>	<p>The Department of Public Social Services provides education and management of the SHARE Program. 870 units have been provided under this program under the previous period. Set goal to meet or exceed program through DPSS</p>	<p>This program is complete and is addressed as part of the SHARE program outreach and will not be continued.</p>	<p>Delete.</p>
<p>Action 3.2g: The Department of Public Social Services will continue to administer homeless programs and services, and seek provision of additional emergency shelter, transitional and permanent supportive housing facilities in cooperation with non-profit organizations and homeless service providers. (See also 1.5a and 1.5f)</p>	<p>The Department of Public Social Services provides Supportive Housing Program, Shelter Plus Care, Emergency Housing Assistance Program, and FEMA programs.</p>	<p>Implementation of this action is ongoing. Addressed as part of other action items.</p>	<p>Delete.</p>

Housing Element

Chapter 8

Actions	Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2016 to June 30, 2014 RESOURCES	Evaluation	Continue, Modify, or Delete
<p>Timing: Continue. DPSS will focus on development of permanent supportive housing units.</p> <p>Responsibility: DPSS</p>	<p>7.255 Section 8 vouchers were issued on an annual basis between 1998 – 2005 within incorporated cities and 574 annually within the unincorporated county. Program will continue as funding is obtained.</p>	<p>The Housing Authority continues to operate and expand its special needs housing programs. As of 2014, those programs consisted of the following:</p> <ol style="list-style-type: none"> 1. Housing Choice Voucher Program (Section 8 Certificates) – through the HCY program, the County subsidized an average of 8,100 low-income households on a monthly basis. 2. Family Self Sufficiency Program. The FSS program served 522 participants in 2014. Eight families graduated this past year and therefore no longer required rental assistance. Of the eight graduates, two have purchased their own homes. 3. Family Self Sufficiency Program. The FSS program served 522 participants in 2014. Eight families graduated this past year and therefore no longer required rental assistance. Of the eight graduates, two have purchased their own homes. 4. Housing Opportunities for Persons with AIDS. The HOPWA program provided assistance to 160 individuals. 5. Veteran's Affairs Supportive Housing Program. The VASH program provided 372 homeless veterans with monthly rental assistance. 6. Foster Care Youth Program. 9 youth were assisted. 7. Tenant Based Rental Assistance Program. 16 households were assisted under the Tenant Based Rental Assistance Program. 8. Rapid Rehousing and Homeless Prevention Program. 160 households received rapid rehousing and prevention assistance and 20 households received emergency shelter and rental assistance. 	<p>Delete. Combine with action 3.3d.</p>
<p>Timing: Ongoing</p> <p>Responsibility: Housing Authority, EDA, DPSS</p>	<p>268 beds were provided as part of the Shelter Plus Care program during the last planning period (1998 – 2005). Current Planning period quantified objectives would be to meet or exceed this goal.</p>	<p>The Housing Authority has 135 rental vouchers for the Shelter Plus Care program. The majority of these rental certificates are earmarked for chronically homeless individuals. The service partnership has been expanded to include the Department of Mental Health, local HIV providers, the City of Riverside Homeless Access Center, and Operation SafeHouse.</p>	<p>Continue.</p>

Chapter 8

Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Action 3.2j: Maintain 460 public housing units and assist 8,400 extremely low and very low income recipients per year with Housing Choice Vouchers (Section 8 rental assistance vouchers). Timing: Ongoing annually Responsibility: Housing Authority</p>	<p>Housing Choice Voucher Program (formerly, Section 8 Rental Housing Assistance) Program has been quantified within the Housing Element and will be maintained.</p>	<p>The Housing Authority maintained 460 units of public housing (179 of which are located in the unincorporated areas of the county), 76 units of farm worker housing, and 8,523 Housing Choice Vouchers (Section 8).</p>	<p>Continue.</p>
<p>Action 3.2k: DPSS shall continue to work with non-profit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance. Timing: In March 2011, the County adopted Emergency Shelter provisions as part of Ordinance 348. In compliance with SB 2, As a result, a tracking mechanism will be established to report emergency shelter facilities constructed under these provisions. Responsibility: DPSS</p>	<p>Supportive Housing Program, Emergency Shelter Program, and Shelter Plus Care</p>	<p>In March 2011, the County adopted emergency shelter provisions as part of Ordinance 348 in compliance with SB 2. As a result, a tracking mechanism will be established to report emergency shelter facilities constructed under these provisions.</p>	<p>Continue.</p>
<p>Action 3.2l: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds. Timing: 2009 Responsibility: DPSS</p>	<p>Supportive Housing Program, Shelter Plus Care</p>	<p>The County continues to support legislation as the opportunity arises. Implementation of this action is ongoing.</p>	<p>Continue.</p>
<p>Action 3.2m: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the consumer price index (CPI). Timing: As the last amendment of Ord. 760 was 9/17/1996, during the Planning period, review of the effectiveness of Ord. 760 and proposed amendments is necessary. Responsibility: County Executive Office</p>	<p>Mobile Home Rent Stabilization Ordinance No. 760</p>	<p>Rent stabilization issues related to permitted mobile home parks occur infrequently. Governments in place related to allowed rent often preclude issues from arising which would trigger implementation of the ordinance. The County continues to implement this ordinance when issues do arise. This action is ongoing and will be continued.</p>	<p>Continue.</p>
<p>Action 3.4b: Continue to implement the Mortgage Credit Certificate Program (MCC) for low to moderate income homeowners. Timing: Ongoing</p>	<p>750 units were assisted through the MCC. Set goal to meet or exceed this previous planning objective.</p>	<p>Between 2006 and 2013, the County assisted 541 homeowners countywide through the MCC program, and 108 of the homeowners were assisted within unincorporated areas of the county. The County assisted an additional 95 households in 2014.</p>	<p>Continue.</p>

Housing Element

Chapter 8

Actions	Table H-4 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 RESOURCES	Evaluation	Continue, Modify, or Delete
<p>Responsibility: EDA</p> <p>Action 3.4d- Continue to provide down payment assistance and closing cost assistance to low income first time homebuyers through the First Time Homebuyers Program</p> <p>Timing: Ongoing</p> <p>Responsibility: EDA</p>	<p>500 units were assisted during the previous planning period. 81 units were assisted from 2006 – 2008. Set goal to meet or exceed previous periods results</p>	<p>Between 2006 and 2013, the County assisted 224 first time homebuyers throughout the county through the FTHB program. 69 of the first time homebuyers were assisted within unincorporated areas of the county. The County assisted an additional 7 households in 2014.</p>	<p>Continue</p>
<p>Action 3.4e- Continue to participate as an associate member of the Riverside San Bernardino Housing and Finance Agency Lease Purchase Program</p> <p>Timing: Ongoing</p> <p>Responsibility: EDA</p>	<p>26 units were assisted during the last period (1998 – 2005). Set goal to meet or exceed previous periods results</p>	<p>The Riverside San Bernardino Housing and Finance Agency Lease Purchase Program was dissolved and this program is no longer applicable and will not be continued</p>	<p>Delete</p>
<p>Action 3.4f- Investigate the feasibility of acquiring foreclosure homes and offering them to residents at prices affordable to low and moderate income households</p> <p>Timing: Implement program approved by the Board of Supervisors on November 25, 2008</p> <p>Responsibility: EDA</p>		<p>Implementation of this action did not occur during the foreclosure crisis. The foreclosure crisis has ended and this action is no longer appropriate and will not be continued</p>	<p>Delete</p>
<p>Action 3.4g- The Housing Authority implemented the Mortgage Voucher Assistance Program in April 2008. This program enables lower income households to use their Section 8 vouchers for home purchases. The Housing Authority will continue to market and find current Section 8 households who are renters and work with them to transition to homeownership until the program reaches capacity</p> <p>Timing: Ongoing</p> <p>Responsibility: Housing Authority</p>	<p>Housing Choice Voucher Program</p>	<p>Since January 1, 2006, 16 households have used their Section 8 vouchers for home purchases. The Housing Authority continues to issue Section 8 vouchers. The County did not assist any households interested in transitioning from renters to homeowners.</p>	<p>Delete. Funding and resources are not available</p>
<p>Action 3.5a- Work with public or private sponsors to encourage acquisition/rehabilitation of existing multi-family units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median</p>	<p>HUD Assisted Living Conversion Program for Eligible MF Projects. 243 multi-family, senior-restricted units were produced during the last planning period.</p>	<p>The Economic Development Agency (EDA) and Housing Authority continue to work with developers to identify housing for acquisition and rehabilitation for senior housing. Projects must meet amenity requirements for conversion to senior housing. At this time no projects or units have been acquired, rehabilitated, and converted for senior housing.</p>	<p>Continue</p>

Chapter 8 Housing Element

Actions	Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources	Evaluation	Continue, Modify or Delete
<p>Timing: 2006-2014 Responsibility: EDWRDA</p> <p>Action 3.5b: Assist eligible non-profit buyers in acquiring market rate apartments in exchange for reservation of a portion of the units to be made available at rents affordable to low and moderate income households.</p> <p>Timing: 2006-2014 Responsibility: EDWRDA</p>	<p>Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014 Resources</p> <p>(1998-2006)-502 multi-family senior units are programmed for the current planning period.</p> <p>20,256 market rate units were provided under the previous planning period. Set goal to meet or exceed previous periods results.</p>	<p>The Economic Development Agency (EDA) and Housing Authority continue to work with nonprofit developers to identify market rate housing in exchange for reservation of a portion of the units to be made available at rents affordable to low and moderate income households. At this time no projects or units have been acquired.</p>	<p>Delete- Combine with new program to evaluate housing units at risk of converting to market rate.</p>
<p>Action 3.5c: Consider the conversion of small-older hotels to transitional housing facilities, emergency shelters or SROs in conjunction with qualified non-profit organizations. The Department of Social Services shall work with participating jurisdictions when requested. (Also see Policy 2.1, Action 2.1b.)</p> <p>Timing: Ongoing Responsibility: DPSS, Non-profits</p>	<p>Supportive Housing Program HUD, SRO, Moderate Rehabilitation Program</p>	<p>No conversions occurred during the planning period. The County will continue to implement this program as opportunities arise.</p>	<p>Continue-</p>
<p>Action 4.1a: Revise Countywide Development Mitigation Fees.</p> <p>Timing: Ordinance No. 659 is reviewed on an annual basis with the last amendment approved on 08/10/10. Updates are provided as needed. Development Mitigation Fees provide exemptions for special needs and publicly subsidized affordable housing projects. Annual reviews will continue to analyze and evaluate the effectiveness of this ordinance.</p> <p>Responsibility: County Council/ILMA</p>	<p>Ordinance No. 659, 13 amended on 10/22/12.</p>	<p>A review of the Countywide Development Mitigation Fees is underway which will result in an updated nexus study.</p>	<p>Modify- Revise program to review fees on an annual basis.</p>
<p>Action 4.2a: Maintain an inventory of County-owned lands with potential for low and moderate income housing.</p> <p>Timing: Establish an annual review of all County-owned sites and evaluate with EDWRDA staff for potential scoring for affordable housing siting. To date, no existing</p>	<p>County GIS and Facilities Management</p>	<p>Action has been implemented throughout the planning period and will be continued.</p>	<p>Modify- Combine with action 1.2a.</p>

Housing Element

Chapter 8

<p>non-affordable housing sites have been converted to such uses. Responsibility: TMMWGIS Section</p>			
<p>Action 4.2b- Update the land use inventory on a continual basis. Timing- Annually Responsibility- TMMWGIS</p>	Housing Element Maintenance	This action has been implemented and is ongoing	Modify- Combine with action 1.2a-
<p>Action 4.2c- Identify and map areas of the County where urban infill is appropriate. Timing- Annually Responsibility- TMMWGIS</p>	Housing Element Maintenance	This action has been implemented and is ongoing	Modify- Combine with action 1.2a-
<p>Action 4.2d- Encourage the developer to provide current market analysis to determine supply and demand for special needs affordable housing projects as part of the application for County assistance. The establishment of an affordable housing ordinance will provide additional incentives that will complement the County's R-6 zone, State Law, and Density Bonus provisions. Timing- Implement by 2014. Responsibility- EDA</p>		It is County policy to provide this analysis for projects over 100 units. This approach has been implemented and is ongoing	Modify and continue
<p>Action 4.2e- Develop program for tracking and categorizing affordable units provided through the County's development review process. Maintain data base of new affordable housing provided. Timing- Develop tracking program and have in place by 2013. Responsibility- TMA</p>	Development review process	The Economic Development Agency (EDA) has a program for tracking and categorizing affordable units.	Delete- Will be completed as part of the annual review of the sites inventory
<p>Action 4.2f- Evaluate the affordability via interest rates, underwriting issues, cost per unit. Timing- Update annually Responsibility- EDA</p>		For the County's HOME program, affordability is evaluated at the time the application is received for review and must meet all HOME regulations prior to funding agreement	Delete-
<p>Action 4.2g- Determine strategies for specified needs: • Dispersed (County wide) versus target areas • Level of assistance (RDA induced or developer induced) • Non-profit versus for profit developers • Competitive application/RFP process first come, first served • Types</p>	Housing Element Maintenance	This action has not been completed and will be developed as part of the Affordable Housing Ordinance.	Delete

Chapter 8

Housing Element

<p>of housing – seniors, farm workers, special needs, assisted living, multi-family, mixed-use, transit-oriented developments, etc. • Market group – small family, large family, persons with disabilities, farm workers, etc. • Type of program – rehabilitation, new construction, rental housing, owner-occupied, acquisition of existing housing, etc. • Fee reductions, waivers or other incentives • Services such as child care</p> <p>Timing: These policies include provisions that have been previously quantified. The establishment of strategies for specific needs will be completed by the completion of the current planning period (2014)</p> <p>Responsibility: EDAPDA, TLMA</p>			
<p>Action 4.2b: Map the location of affordable projects developed by the County</p> <p>Timing: Maps will be completed by end of planning period (2014) and updated annually</p> <p>Responsibility: EDAPDA, TLMA</p>	<p>Program will be implemented as part of policy 4.2B and 4.2C</p>	<p>A map of affordable projects is provided on the County's website.</p>	<p>Delete</p>
<p>Action 4.2a: Ensure that redevelopment revitalization plans include provisions for new affordable housing, where feasible</p> <p>Timing: RDA Sub Area plans are reviewed and updated in accordance with State Law. The inclusionary aspects of new affordable housing are currently included in the work effort</p> <p>Responsibility: EDAPDA</p>	<p>Redevelopment Sub Area Master Plans</p>	<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	<p>Delete</p>
<p>Action 4.3b: Identify and summarize housing requirements and obligations annually (e.g. RDA inclusionary and replacement housing, implementation plans, housing production plans, new regulations and legislative mandates)</p> <p>Timing: Annual review is currently included in RDA work programs and updated in accordance with State Law</p> <p>Responsibility: RDVEDA</p>	<p>Redevelopment Sub Area Master Plans</p>	<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	<p>Delete</p>
<p>Action 4.2c: Identify programs of greatest use based on community needs, potential funding, available resources, prioritize programs based on funding sources such as grants, deferred/apprized loans, land write downs, loan guarantees, rental assistance, etc.</p> <p>Timing: These policies include provisions that have been previously quantified. The establishment of community</p>	<p>Redevelopment Sub Area Master Plans</p>	<p>This action has been implemented.</p>	<p>Delete</p>

Housing Element

Chapter 8

<p>needs, potential funding, and available resources will be completed by the completion of the current planning period (2014).</p> <p>Responsibility: RD/VEDA</p>	<p>Supportive Housing Program</p>	<p>This action has been implemented at the councils of government level and will be continued.</p>	<p>Modify Combine with action 4.3b.</p>
<p>Action 4.3d. Prepare and advocate legislative efforts to promote jobs/housing balance. Participate in sub-regional (WRCOG and CVAG) and regional (SCAG) agency meetings to establish housing goals beyond County lines and ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary.</p> <p>Timing: Establish a quarterly meeting schedule with County's legislative advocates to ascertain the impact existing and proposed legislation, including but not limited to SB 375. EDA and Planning Staff shall provide a report on the County's legislative platform with respect to affordable housing and Housing Element legislation.</p> <p>Responsibility: RD/VEDA, County Counsel</p>	<p>EDA Workforce Development Program</p>	<p>A primary objective for the County is commercial rehabilitation assistance and infrastructure improvements in designated commercial corridors identified by the County as low and moderate income areas. The County has implemented an economic development strategic plan that utilizes a combination of public and private sector financing to stimulate economic development through the following:</p> <ul style="list-style-type: none"> -The acquisition, construction, reconstruction, rehabilitation or installation of commercial or industrial buildings or real property. -The provision of assistance (such as loans, grants, and technical assistance) to private, nonprofit business. -Micro enterprise assistance to facilitate economic development. -Including financial support (such as grants and loans), technical assistance, and counseling. 	<p>Delete.</p>
<p>Action 4.3e. Implement the County's new economic development strategy which utilizes both public and private sector financing to stimulate economic development utilizing CDBG funding.</p> <p>Timing: The County's economic development strategy will be refined and implementation will be completed by 2014.</p> <p>Responsibility: EDA</p>	<p>Housing Element Maintenance</p>	<p>The Economic Development Agency (EDA) and Housing Authority send staff to training and workshops for implementation and administering of various programs. The agencies do not provide housing counseling or technical and referral services.</p>	<p>Delete.</p>
<p>Action 4.3f. Train County staff to implement programs, perform assessments, and provide housing counseling and technical service and referral services.</p> <p>Timing: The County will establish training modules to provide training for outreach and implementation of Housing Element policies by the end of the Planning period.</p> <p>Responsibility: TLM/VEDA</p>			

Chapter 8

Housing Element

<p>Action 4.3g: Direct and assist regional and local agencies, private developers and non-profit agencies to facilitate the attainment of County housing goals— Responsibility: TLMA/EDA</p>	<p>Housing Element Maintenance County staff will establish outreach materials, include training on affordable housing incentives for private and non-profit agencies.</p>	<p>This action has been completed and implemented through Desert Alliance for Community Empowerment (DAE)-outreach is ongoing</p>	<p>Delete</p>
<p>Action 4.2h: Seek changes in state policy to encourage the production of affordable housing such as construction defect litigation reform and additional low income tax credits— Timing: See Policy 4.3d Responsibility: EDA</p>	<p>Supportive Housing Program</p>	<p>The Economic Development Agency (EDA) and Housing Authority continue to seek changes in state and federal policies to encourage the production of affordable housing through the establishment of legislative platforms—</p>	<p>Delete-Combine with action 4.3d</p>
<p>Action 4.3i: Require management plans for special needs affordable housing projects to reduce potential opposition— Timing: As part of the establishment of an affordable housing and rezoning program, design standards for special need communities will be established. Implementation will occur within the planning period. (2014) Responsibility: EDA/PTMA/PLMA Planning</p>	<p>Housing Element Maintenance</p>	<p>The County's Economic Development Agency (EDA) entered into a HOME loan agreement with Desert Alliance for Community Empowerment (DAE) for Los Ynecos, a mobile home park for farm workers</p>	<p>Delete</p>
<p>Action 4.3j: Maintain adequate staffing levels to correspond to size and complexity of housing projects— Timing: Staffing levels to correspond to work load is a constant assessment of County staff. The program is ongoing through the planning period and will continue to the next planning period Responsibility: All County Departments</p>	<p>Development Review Procedures for private projects</p>	<p>The County maintains adequate staffing levels to correspond to size and complexity of housing projects.</p>	<p>Delete</p>
<p>Action 4.3k: Seek changes in State policy to revise the 1986 Tax Reform Act, which removed private incentives to construct and own rental housing and therefore contributed to the decline of multifamily construction— Timing: See Policy 4.3d Responsibility: EDA</p>	<p>Housing Element Maintenance</p>	<p>The Economic Development Agency (EDA) and Housing Authority have not sought changes in state policy to revise the 1986 Tax Reform Act, which removed private incentives to construct and own rental housing which therefore contributed to the decline of multifamily construction</p>	<p>Combine with action 4.3h</p>
<p>Action 4.2i: Continue the Housing Review Committee Advisory Council to continue to develop solutions for farm worker housing and services. Farm worker housing and services are established through a number of programs and policies. In addition, an affordable housing ordinance will be implemented as previously referenced and</p>		<p>The Housing Review Committee Advisory Council provides regular reporting on its work programs. Farm worker housing and services are established through a number of programs and policies. In addition, an affordable housing ordinance is being considered, as previously referenced, and additional zones will be modified to authorize farm worker housing projects.</p>	<p>Modify-Combine with other farm worker programs</p>

Housing Element

Chapter 8

<p>additional zones will be modified to authorize farm worker housing projects.</p> <p>Timing: The Housing Review Committee Advisory Council provides regular reporting on its work programs.</p> <p>Responsibility: EDAT/LMA</p>			
<p>Action 4.3m: Establish reasonable numeric targets for housing production annually, by region, income category and type. Ensure that numeric targets are consistent between the HUD 5-Year Consolidated Plan, Housing Element, AB315 Housing Production Plan and RDA Implementation Plans.</p> <p>Timing: Numeric targets for housing production are established through the Housing Element. By the end of the Planning Period, the County will reconcile the Housing Element quantified goals, HUD 5-year Consolidated Plan, AB315 Housing Production Plan and RDA Implementation Plans.</p> <p>Responsibility: EDAT/LMA</p>		<p>Due to the elimination of redevelopment in California by operation of law as of February 1, 2012, RDA Implementation Plans have been eliminated along with AB 315 Housing Production Plan. The 5-Year Consolidated Plan continues as a requirement of federal HUD funding and was updated in 2014 for the 2015-2019 period. The Housing Element continues as well.</p>	<p>Delete</p>
<p>Action 4.3n: Support changes in Redevelopment Law that increase home ownership eligibility by raising affordability criteria and respective mortgage payment maximums.</p> <p>Timing: See Policy 4.3d</p> <p>Responsibility: EDAT/LMA</p>		<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	<p>Delete</p>
<p>Action 4.3o: Support changes in Redevelopment Law that would allow expanded flexibility to use increment funds cooperatively across multiple jurisdictions to provide affordable housing outside of identified project areas.</p> <p>Timing: See Policy 4.3d</p> <p>Responsibility: EDAT/LMA</p>	<p>Housing Element Maintenance</p>	<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	<p>Delete</p>
<p>Action 4.4a: Develop a standardized system of annually reporting and monitoring housing activities. Information to be standardized should include, but not be limited to, jurisdiction in which the project is located, level of income (based on HUD classifications), household size and type of household (based on HUD classifications), the program(s) utilized for assistance and funding source, the agency or department responsible for the program or project, the total number of units, and other relevant</p>	<p>Housing Element Maintenance</p> <p>This policy shall be included within the implementation of policy 4.3m.</p>	<p>The County keeps track of the risk assessment for each project and completes annual site visits to monitor its documentation.</p>	<p>Modify. The County will complete its required Annual Housing Report.</p>

Chapter 8

Housing Element

<p>factors to be determined. The standardized system should be used for reporting in association with the Consolidated Annual Performance and Evaluation Report (CAPER), the Redevelopment Annual Housing Report, and the Housing Element Annual Housing Status Report. Responsibility: EDAR/DATLMA</p>				
<p>Action 4.4b- Monitor the expiration of affordability periods and assess replacement needs annually. Timing: Annually Responsibility: EDAR/DATLMA</p>	<p>Housing Element Maintenance This policy shall be included within the implementation of policy 4.3m.</p>	<p>This action is ongoing.</p>	<p>Modify. Combine with action 2.4a.</p>	
<p>Action 4.5a- Review the current housing and infrastructure expenditures and programs of the various departments and agencies in the County to determine where they are implemented geographically (i.e., in unincorporated County or within incorporated cities) and develop strategies to target the resources where they will most benefit the County. Responsibility: EDAR/DATLMA</p>	<p>Housing Element Maintenance This policy shall be included within the implementation of policy 4.3m.</p>	<p>Due to the lack of funding, the Transportation and Land Management Agency (TLMA) was unable to assign staff to this task.</p>	<p>Modify. Combine with action 4.3m.</p>	
<p>Action 4.4b- Identify and evaluate current and projected revenues such as general funds, federal and state entitlement grants, housing bonds, set-asides, etc. Timing: See Policy 4.3d Responsibility: EDAR/DATLMA</p>	<p>Housing Element Maintenance</p>	<p>Funding balances for CDBG, HOME, and ESG are reported each year in the County's Consolidated Annual Performance Evaluation Report (CAPER) and former RDA balances are listed in the Recognized Obligation Payment Schedule.</p>	<p>Delete.</p>	
<p>Action 4.5c- Evaluate financial resources for leveraging opportunities. Timing: See Policy 4.3d Responsibility: EDAR/DATLMA</p>	<p>Housing Element Maintenance</p>	<p>Every multifamily project has some type of leveraging and it is evaluated as necessary.</p>	<p>Delete.</p>	
<p>Action 4.5d- Determine the appropriateness of grants and loans. Develop and adopt grant policies that are consistent with housing goals. Timing: Establish a grant and loan policy by the end of the planning period. Responsibility: EDAR/DATLMA</p>	<p>Housing Element Maintenance</p>	<p>The County has not adopted grant policies but it does collaborate with other nonprofits. Improving the number of affordable units is in line with the County's mission.</p>	<p>Delete.</p>	
<p>Action 4.5e- Establish a funding plan and timing of activities. Timing: See Policy 4.5e Responsibility: EDAR/DATLMA</p>		<p>Priorities are set as part of the County's action plan. The action plan is available on the website.</p>	<p>Delete.</p>	

Chapter 8

Page H-19

December 6, 2016 County of Riverside Housing Element

Public Review Draft • June 2017

H-76

Housing Element

Chapter 8

<p>Action 4.5f: Prioritize financial assistance based on housing needs (e.g. special needs, large families, mixed use, multi-family, single-family, number of units, or cost per unit) Timing: See Policy 4.3m Responsibility: EDAR/DATLMA</p>		<p>This program has been completed as part of the 2014-2019 consolidated plan and will not be continued.</p>	<p>Delete.</p>
<p>Action 4.5g: Target future financial resources to meet future housing obligations Timing: See Policy 4.3m Responsibility: EDA, Housing Authority</p>	<p>Housing Element Maintenance</p>	<p>Ongoing. The Economic Development Agency (EDA) and Housing Authority continue to seek additional financial resources due to the elimination of redevelopment in California by operation of law as of February 1, 2012, and federal budget cuts to HOME and CDBG.</p>	<p>Delete.</p>
<p>Action 5.7a: Create incentives for energy conservation above and beyond the requirements of Title 24 by developing a sliding scale Fee Assistance Program. More energy measures—more fees waived. Responsibility: EDATLMA</p>	<p>Climate Action Plan (CAP) Develop a General Plan Energy Element that will include incentives for production of renewable energy resources and greater efficiencies than Title 24.</p>	<p>The CAP is being completed as part of the General Plan update 690 which is planned for final consideration December 2015. A Public Review Draft was released on the County's website in March 2014.</p>	<p>Modify. Combine with actions 5.1c, 5.1d, and 5.1f.</p>
<p>Action 5.1b: The Department of Community Action shall continue to operate the LHEAP and Home Weatherization programs to reduce maintenance and energy costs for households with low incomes and increase efforts to inform the public about available energy conservation programs. Timing: Ongoing Responsibility: DCA</p>	<p>County Home Weatherization Program/County Low Income Home Efficiency Assistance Program, consumer education workshops</p>	<p>The Department of Community Action continues to operate the LHEAP and Home Weatherization programs.</p>	<p>Continue.</p>
<p>Action 5.1c: Pursue grant funds for energy rehab costs and consumer education Timing: Annually, or in response to NOEAs Responsibility: DCA</p>		<p>The Economic Development Agency (EDA) and Housing Authority continue to encourage developers to pursue grant funds for energy rehab costs and consumer education.</p>	<p>Modify. Combine with action 5.1a.</p>
<p>Action 5.1d: Utilize bidding procedures in County rehabilitation programs to incorporate energy conservation measures. Timing: Ongoing Responsibility: EDA</p>	<p>County Housing Rehabilitation Programs (Senior Home Repair, CHRP and RHRR)</p>	<p>This action has been implemented and is ongoing.</p>	<p>Modify. Combine with action 5.1a.</p>
<p>Action 5.4c: Promote level pay utility payments for the Housing Choice Voucher Program recipients (Section 9). Timing: Ongoing Responsibility: Housing Authority</p>	<p>-</p>	<p>The Housing Authority analyzes utility usage countywide and annually revises utility allowance schedules on July 1. The utility allowance amounts are factored in the rent calculation when determining a participant's portion of rent. Each household is expected to pay 30 percent of its income toward rent and</p>	<p>Delete.</p>

Chapter 8

Housing Element

<p>Action 5-1f: Encourage developer incentives for the incorporation of active and passive energy conservation features in new residential construction</p> <p>Timing: Ongoing</p> <p>Responsibility: Building and Safety</p>	<p>County Energy Efficiency Programs</p>	<p>Utilities, and is allowed up to 40 percent at move-in. Portions can go up after move in and a family may pay a higher percentage of rent if the gross rent of the unit is above the applicable payment standard amounts. Gross rent equals the contract rent plus the applicable utility allowance amounts. Payment standards are based on a percentage of HUD-determined Fair Market Rent amounts.</p> <p>The County continues to encourage developer incentives for energy conservation features.</p>	<p>Modify- Combine with action 5-1a.</p>
<p>Action 5-1g: Support changes in Redevlopment law that increases home ownership eligibility by raising utility allowances and respective mortgage payment maximums.</p> <p>Timing: See Policy 4-34</p> <p>Responsibility: EDWARD/ELMA</p>	<p>Housing Element Maintenance</p>	<p>This action has not been implemented and due to the dissolution of the redevelopment agency will not be continued.</p>	<p>Delete.</p>
<p>Action 5-1h: Annually evaluate and update the Section 8- utility allowance tables to account for increases and or decreases of energy consumption and costs of consumption.</p> <p>Timing: Establish an annual reporting mechanism that provides reporting for Section utility allowance tables.</p> <p>Reporting mechanisms shall be established by the end of the planning period.</p> <p>Responsibility: Housing Authority</p>	<p>Housing Element Maintenance</p>	<p>The Section 8 and Public Housing utility tables are updated annually to account for adjustments in utility consumption and costs. This update includes an annual assessment study which justifies any adjustments and is updated on or about July 1 each year.</p>	<p>Delete.</p>

Community Profile Tables

Table	Revisions
Table H-1 Regional Population Growth Trends, 2000–2016	Updated with new DOF numbers
Table H-2 County/City Population Growth Trends, 2000–2016	Updated with new DOF numbers
Table H-3 Population, Households, and Employment Distribution, 2014	Updated with 2010- 2014 ACS data
Table H-4 Age Distribution 2010–2016	Updated with 2016 ESRI Forecasts
Table H-5 Employment by Industry, 2009–2014	Updated with 2010- 2014 ACS data
Table H-6 Employment Trends by Industry, 2010–2020	No changes
Table H-7 Riverside County Largest Employers	Updated with 2016 EDD data
Table H-8 Job-Household Ratios, Unincorporated Riverside County, 2010–2014	Updated with 2010- 2014 ACS data
Table H-9 Household Characteristics 2014	Updated with 2010- 2014 ACS data
Table H-10 Household Size Distribution 2010	No changes
Table H-11 Overcrowding, 2014	Updated with 2010- 2014 ACS data
Table H-12 2016 Income Limits by Persons in Household	Updated with HCD 2016 data
Table H-13 Household Income, 2014	Updated with 2010- 2014 ACS data
Table H-14 Percentage of Low-Income Households Overpaying for Housing	Updated with 2010- 2014 ACS data
Table H-15 Housing Cost as a Percentage of Household (HH) Income	Updated with 2010- 2014 ACS data
Table H-16 Housing Inventory by Type, 2014	Updated with 2010- 2014 ACS data
Table H-17 Housing Inventory by Tenure, 2014	Updated with 2010- 2014 ACS data
Table H-18 Age of Housing Stock	Updated with 2010- 2014 ACS data
Table H-19 Combined Housing Rehabilitation and Replacement Need	No changes
Table H-20 Riverside County Sale Activity, December 2016 and 2015	Updated with 2017 CoreLogic data
Table H-21 Cost Comparison for New Manufactured Homes 2000–2007	No changes
Table H-22 Average Rents by Unit Type, 2016	Updated with online housing sources
Table H-23 Housing Affordability by Income Level	Updated with 2016 income limits, mortgage calc.
Table H-24 Homeless by Age and Tenure	Updated with 2010- 2014 ACS data
Table H-25 Disabilities Age 18+	Updated with 2010- 2014 ACS data
Table H-26 Developmentally Disabled Residents, by Age	Updated with data from the Inland Regional Center
Table H-27 Distribution of Unsheltered Homeless Population	Updated with 2016 PIT count
Table H-28 Homeless Shelter Resources, 2017	Updated with Riverside County Con Plan.
Table H-29 Farm Workers, 2013	No changes
Table H-30 Inventory of Assisted Units	Updated with CHPC and Riverside County data

**DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
DIVISION OF HOUSING POLICY DEVELOPMENT**

2020 W. El Camino Avenue, Suite 500
Sacramento, CA 95833
(916) 263-2911 / FAX (916) 263-7453
www.hcd.ca.gov



PC STAFF REPORT ATTACHMENT D
August 29, 2017 Letter from HCD

August 29, 2017

Charissa Leach, Assistant Director
Transportation and Land Management Agency
Riverside County
4080 Lemon Street, 12th Floor
Riverside, CA 92501

Dear Ms. Leach:

RE: Riverside County 5th Cycle (2013-2021) 4 Year Update Draft Housing Element

Thank you for submitting the Riverside County's four year update draft housing element which was received for review on June 30, 2017. The Department also received revisions on August 22 and 28, 2017. Pursuant to Government Code (GC) Section 65585(b), the Department is reporting the results of its review.

The draft element meets the statutory requirements of State housing element law. This finding is based on, among other things, the County completing various zoning amendments in early 2018, such as amending zoning for employee housing and transitional and supportive housing and adopting a density bonus ordinance in compliance with GC Section 65915. The element will comply with State housing element law (GC, Article 10.6) when it is adopted and submitted to the Department, in accordance with GC Section 65585(g).

Public participation in the development, adoption and implementation of the housing element is essential to effective housing planning. Throughout the housing element process, the County must continue to engage the community, including organizations that represent lower-income and special needs households, by making information regularly available and considering and incorporating comments where appropriate.

The Department appreciates the hard work and cooperation of Robert Flores and Peter Hersh and your consultants in preparation of the housing element and looks forward to receiving Riverside County's adopted element. If you have any questions or need technical assistance, please contact Paul McDougall, of our staff, at (916) 263-7420.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Seeger for". The signature is stylized and includes the word "for" written in a smaller font at the end.

Jennifer Seeger
Assistant Deputy Director



Chapter 8 Housing Element

Introduction

The Housing Element of the Riverside County (County) General Plan identifies and establishes the County’s policies with respect to meeting the needs of existing and future residents in Riverside County. It establishes policies that will guide County decision-making and sets forth an action plan to implement its housing goals over the next eight years. The commitments are in furtherance of the statewide housing goal of “early attainment of decent housing and a suitable living environment for every California family,” as well as a reflection of the concerns unique to Riverside County.

Consistency with State Planning Law

The Housing Element is one of the seven General Plan elements mandated by the state of California, as articulated in Sections 65580 to 65589.8 of the Government Code. State law requires that the Housing Element consist of “an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement and development of housing.” The residential character of the County is, to a large extent, determined by the variety, location, and maintenance of its housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population. It establishes policies that will guide County decision-making, and sets forth an action program to implement housing goals through 2021.

State law also requires that jurisdictions evaluate their Housing Elements every eight years to determine their effectiveness in achieving county and state housing goals and objectives, and to adopt an updated Housing Element that reflects the results of this evaluation. The 5th Cycle Housing Element statutory update in the Southern California Association of Governments (SCAG) region covers the planning period October 15, 2013, through October 15, 2021.

In 2013, Senate Bill (SB) 375 was amended with an emphasis on timely adoption of the Housing Element. If a jurisdiction subject to an eight-year planning period fails to adopt the element by the statutory due date and does not adopt the housing element within 120 days from the statutory due date, the jurisdiction must update and adopt the element at four-year intervals until at least two consecutive four-year updates have been adopted by the applicable due dates. Riverside County adopted its Housing Element in December 2016 and therefore is now on a four-year update cycle. The 5th Cycle Housing Element due date was October 15, 2013.

This Housing Element represents the County’s mid-cycle update, covering the 2014–2017 time frame. Once the County adopts the 2014–2017 mid-cycle update, [and submits the 6th Cycle Housing Element by the required due date](#), the County will return to an eight-year cycle [for the 6th Cycle Housing Element](#).

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.1e: When funding is available, the County shall assist to write down land costs of acquiring sites, offer assistance with land acquisition, and other upfront costs as well as assistance in securing federal or state housing financing resources for projects which reserve a proportion of units affordable to lower-income households (incomes below 80 percent of the County median).</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority, TLMA</p> <p>Time Frame: Review resources on an annual basis through 2021.</p>	<p>Between 2013 and 2016, the County provided annual acquisition cost assistance using HOME funds for the 4- phase Blossom Apartments in the unincorporated Valle Vista community. The County will continue to annually review the availability of funding sources for such purpose.</p>	<p>Continue.</p>
<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department.</p>	<p>The County remains committed to fast-track processing of affordable and special needs residential projects in the affected zoning classifications, including the R-7 classification as provided under the Constraints section of the Housing Element. However, since the inception date of this Housing Element, no projects no private or special needs projects were proposed which would have been considered for expedited processing.</p>	<p>Continue.</p>
<p>1.1g: Continue to promote use of density bonus provisions and ensure consistency with state law.</p>	<p>Resources: General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing.</p>	<p>To support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonus provisions established by State Law, pursuant to Government Code Section 65915. However, since the inception date of this Housing Element, no private or special needs projects were proposed which would have been considered for a density bonus in return for providing affordable housing. It should be noted that the newly created HHDR General Plan land use designation allows densities of up to 40 units per acre and will likely provide sufficient flexibility regarding the financing for residential projects with affordable units so that consideration of a density bonus may not be needed. The concurrently created R-7 zone provides greater flexibility regarding site development standards in order to achieve the higher densities attainable with the HHDR land use designation.</p>	<p>Continue.</p>
<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>Resources: HOME</p> <p>Responsible Agency: EDA</p>	<p>A Community Housing Development Organization (CHDO) is a private nonprofit, community-based service organization that has obtained or intends to obtain staff with the capacity to develop affordable housing for the community it serves. As a Participating Jurisdiction (PJ), the County of Riverside must set-aside at least</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households.</p>	<p>Resources: Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Once funding has been approved and as loans are processed. Based on HOME funds availability at the time of application.</p>	<p>The County's Mobile Home Tenant Loan (MHTL) program was established to improve substandard living conditions of mobile home owners living in un-permitted mobile home parks. The MHTL program provides financial assistance to mobile home owners by providing a zero percent (0%) interest loan in an amount up to \$45,000. The funds from the loan are used to purchase a unit that will replace the existing substandard unit and will be installed in a permitted site. In 2013, a total of 180 households were assisted through the MHTL program (60 were extremely low-income and 120 were very low-income.) As a supplement to the MHTL loan, HCD Farm Worker Housing Grants (FWHG) were utilized to provide a matching source of funds. The County supplemented 157 MHTL loans. The County also provided RDA funding to construct the mobile home park, Mountain View Estates, thereby restricting affordability through recorded covenants and regulatory agreements. No MHTL funds were available between 2014 and 2016 because such funds were based on redevelopment agency property tax proceeds which could no longer be encumbered since the legislature eliminated redevelopment agencies in 2012.</p> <p>On September 13, 2016, the Housing Authority of the County of Riverside Board of Commissioners approved funding for the MHTL program to assist approximately 83 households.</p> <p>No HOME funds have been used to assist the development of farmworker housing units.</p>	<p>Continue.</p>
<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>	<p>Resources:</p> <p>Responsible Agency: Department of Mental Health</p> <p>Time Frame: Ongoing.</p>	<p>Through the Riverside Community Health System - Behavior Health, the County provides diversified services to those living on the streets or at risk of homelessness, including the mentally ill. This effort is managed by an administrative services manager through the Housing Opportunities Partnerships and Education program (HHOPE).</p>	<p>Continue.</p>
<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>Resources: HUD Supportive Housing Program, Shelter Plus Care</p> <p>Responsible Agency: Department of Public Social Services</p>	<p>Between 2013 and 2016, the County provided assistance through the Shelter Plus Care Housing Program to 128 qualified units for sheltering homeless persons with disabilities. During the period, the annual assistance subsidy for this number of units has been between approximately \$925,000 and \$1 million.</p> <p>Meetings to address the implications of new legislation are conducted as bills are proposed and signed at least annually, and more frequently as needed to address impacts on the County.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>throughout the planning period.</p> <p>Resources: General Fund</p> <p>Responsible Agency: EDA/TLMA</p> <p>Time Frame: Develop a plan by summer 2017.</p>	<p>The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations. Although a formal plan has not yet been created, the County will manage staff resources and will continue to move forward to develop a plan to conduct proactive rehabilitation efforts as budget and staffing permits. A formal process beyond this will not be developed due to significant general fund budget limitations in the foreseeable future.</p> <p>Therefore, the County does not see a need to develop a plan at this time because on-going rehabilitation funding requests and rehabilitation required as a result of code enforcement complaints.</p>	<p>Continue.</p>
<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>	<p>Resources:</p> <p>Responsible Agency: Building and Safety Department/ Department of Environmental Health, Code Enforcement</p> <p>Time Frame: Ongoing, on a case-by-case basis.</p>	<p>The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations.</p>	<p>Continue.</p>
<p>2.2b Through the Mobile Home Tenant Loan Foreclosure/Abandonment Program, the County will provide assistance where it is economically feasible to recover and preserve an abandoned or foreclosed mobilehome and return it to the affordable housing stock.</p>	<p>Resources: Low and Moderate Income Housing Asset Funds, 2010 Housing Taxable Bond Proceeds</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Preserve a minimum of 17 mobilehomes</p>	<p>Because this program was recently approved by the County in November 2015, program implementation has just started so that no mobile homes have been returned to the affordable housing stock.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments.</p> <p>2. Education and training of County staff.</p> <p>3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers, and residents in emergency shelters and transitional housing facilities.</p>	<p>Resources: CDBG</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p>	<p>The County continues to use the Fair Housing Council of Riverside County to complete audits of lenders and rental establishments.</p> <p>Annually, housing staff attend workshops hosted by the Fair Housing Council of Riverside County to obtain the latest updates in regulations, best practices and discuss current issues facing lenders, property managers, homebuyers and renters.</p>	Continue.
<p>3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements.</p>	<p>Resources:</p> <p>Responsible Agency: EDA</p> <p>Time Frame: 2019</p>	<p>The next update to the County's Analysis of Impediments which has been renamed Affirmatively Furthering Fair Housing (AFFH) is in 2019.</p>	Continue.
<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>	<p>Resources: First Time Home Buyer Down Payment Assistance Program</p> <p>Responsible Agency: EDA/Fair Housing Council</p> <p>Time Frame: Ongoing, as funding permits.</p>	<p>In 2016, the Fair Housing Council served 2470 persons including a combination of landlord and tenant contacts, fair housing contacts, foreclosure prevention counseling, various workshops, and general one on one counseling.</p>	Continue.
<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law</p>	<p>Resources:</p> <p>Responsible Agency: Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p> <p>Time Frame: Ongoing, as projects are processed.</p>	<p>The County's HOME Investment Partnership Act (HOME) program, a federally funded program, follows housing accessibility requirements at 24 CFR Part 8, complying with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and the Disability/Accessibility Provisions of the Fair Housing Act of 1988. Dwelling units must be designed and constructed in accordance with the Uniform Federal Accessibility Standards (UFAS) which is deemed to comply with the Section 504 regulation. 24 CFR Part 8.22, New construction—housing facilities, provides requirements for new construction of multi-family projects, that 5 percent (5%) of the units (but not less than one unit) must be accessible to individuals with mobility impairments, and an additional 2 percent (2%) of the units (but not</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>to be affordable to persons with disabilities or persons with special needs.</p> <p>Develop a policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County's website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>	<p>Develop a reasonable accommodation procedure by Spring 2016.</p> <p>Develop an outreach program by Spring 2016.</p>	<p>less than one unit) must be accessible to individuals with sensory impairments. It should be noted that Section XIXe of Ordinance 348.4840, amended in June 2016, addresses reasonable accommodation needs for persons with disabilities, consistent with state law.</p> <p>Additionally, the County's Building Code provides accessibility criteria for disabled persons. There is no separate design criteria provided in the Building Code.</p> <p>The County provides personal and web site assistance to persons with disabilities and therefore requiring special accommodations, specifically for residents who are completing applications for Section 8 or Public Housing Programs. Additionally, the County has prepared a guide book with procedures for the disabled to pursue Section 8 assistance.</p> <p>There is no separate coordination with the Inland Regional Center regarding services for disabled persons.</p>	
<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates).</p> <p>2. Family Unification Program.</p> <p>3. Family Self Sufficiency (FSS) Program.</p> <p>4. Housing Opportunities for Persons with AIDS (HOPWA).</p> <p>5. Veteran's Affairs Supportive Housing Program (VASH).</p> <p>6. Foster Care Youth Program.</p> <p>7. Tenant Based Rental Assistance Program.</p>	<p>Resources: HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p> <p>Responsible Agency: Housing Authority, EDA, DPSS</p> <p>Time Frame: Programs will continue as funding is obtained.</p>	<p>The County used the following programs to assist households in 2013:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$69,973,083 in total Housing Assistance Payments (HAP) assisted 8,713 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 237 households were veterans and 4,554 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program.</p> <p>The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2013, the FSS program served 547 participants. A total of 9 families graduated and therefore no longer required rental assistance. Of the graduates, 1 has purchased their own homes.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2012-13, the HOPWA program provided a total of</p>	<p>Continue.</p>

Approved Housing Units

One way of meeting a portion of the County's RHNA is to look at approved, entitled, or built projects' "available units." These units can be subtracted from the total allocation if they were available prior to the 5th Housing Element cycle deadline of October 2014. Table H-34 lists the approved or entitled projects that were available before the deadline.

Table H-34 Approved or Entitled Projects Prior to October 2014

Project/Unit	Total Proposed Units	Affordability Level				Funding Source
		Very Low	Low	Mod	Abv. Mod	
Specific Plan Units	59,254		1,626	34,238	23,390	Affordability based on Zoning and GP designation, and affordability requirements in the specific plan
Los Vinedos (Phase 1)	42	41			1	HOME funds
Nuestro Orgullo Self Help Homes	291	44	39		208	RDA Bond Proceeds
Highgrove Blossom Apartments	89	43	45		1	RDA, LIHTC (Built 2014)
Total	59,676	128	1,710	34,238	23,600	

Source: Riverside County Economic Development Agency, August 2015

Remaining RHNA to Accommodate

When looking at the total RHNA the County needs to accommodate, listed in Table H-33, and the approved or entitled projects listed in Table H-35 and the discussion on projected units, the County does not have a shortfall to meet its moderate- and above moderate-income RHNA.

However, the County does have identify a shortfall of 25,174 units in the very low- and low-income categories. Since the County has a shortfall in the very low- and low- income categories, at least 50 percent of the shortfall (12,587 units) needed to must be accommodated on sites designated for exclusively residential uses, at appropriate densities.

Table H-35 Determining RHNA Shortfall

Income Category	RHNA to Accommodate	Approved Projects	RHNA Shortfall to Accommodate
Very Low	17,719	128	17,591
Low	9,293	1,710	7,853
Moderate	5,534	34,238	0
Above Moderate	12,725	23,600	0
Total	45,271	59,676	25,174

Source: SCAG, Riverside County, 2015

Note: With completion of the rezone and land use designation change in December 2016, the County no longer has a RHNA shortfall. This table is included to provide detail on the past shortfall from the first half of the planning period.

Chapter 8 Housing Element

Eastern Coachella Valley Area Plan

Table H-37 Eastern Coachella Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Mecca Town Center										
Vacant Parcels										
727112011	38.69	HDR	A-1-5	HHDR	R-7	30	1161		1	1
727112002	38.59	HDR	A-1-5	HHDR	R-7	30	1158		1	2
727112024	39.75	HDR	A-1-5	HHDR	R-7	30	1192		1	6
727112023	39.52	HDR	A-1-5	HHDR	R-7	30	1186		1	7
727111009	39.32	MHDR	A-1-5	HHDR	R-7	30	1180		1	5
727111008	38.60	MHDR	A-1-5	HHDR	R-7	30	1158		1	4
727100006	39.37	RR	A-1-5	MUA (50% HHDR)	MIXED USE	30		591	2	1
727100003	37.48	RR	A-1-5	MUA (50% HHDR)	MIXED USE	30		562	2	2
727100007	12.43	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30		186	3	1
727250005	42.79	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30		642	4	2
727250005	15.46	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		232	4	2
727271019	43.98	AG	W-2	MUA (75% HHDR)	MIXED USE	30		990	5	2
727271020	8.26	CR	W-2	MUA (75% HHDR)	MIXED USE	30		186	5	3
727271005	3.25	MDR	W-2	MUA (75% HHDR)	MIXED USE	30		73	5	5
727271020	6.5	VHDR	W-2	MUA (75% HHDR)	MIXED USE	30		146	5	3
727271019	38.52	AG	W-2	MUA (75% HHDR)	MIXED USE	30		867	5	2
727272026	72.7	AG	A-1-5	MUA (25% HHDR)	MIXED USE	30		545	6	3
Subtotal							7,035	5,020		

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
North Shore Town Center										
Vacant Sites										
723143003* Bermejo	0.62	VLDR	W-2	HHDR	R-7	30	18		1	83
723143004* Bermejo	0.49	VLDR	W-2	HHDR	R-7	30	15		1	89
723162008* Milner	0.3	VLDR	W-2	HHDR	R-7	30	9		1	22
723162009* Milner	0.3	VLDR	W-2	HHDR	R-7	30	9		1	25
723162022* Milner	0.41	VLDR	W-2	HHDR	R-7	30	12		1	53
723162023* Milner	0.38	VLDR	W-2	HHDR	R-7	30	11		1	71
723173002* Palacios ¹	0.25	VLDR	W-2	HHDR	R-7	30	8		1	54
723144006* Allen	0.36	VLDR	W-2	HHDR	R-7	30	11		1	84
723144005* Allen	0.37	VLDR	W-2	HHDR	R-7	30	11		1	88
723162003* Miranda ¹	0.3	VLDR	W-2	HHDR	R-7	30	9		1	5
723161009* Roberts ¹	0.35	VLDR	W-2	HHDR	R-7	30	11		1	30
723162007* Zaragoza ¹	0.29	VLDR	W-2	HHDR	R-7	30	9		1	21
723163002* Spooner	0.17	VLDR	W-2	HHDR	R-7	30	5		1	66
72316300* Spooner ¹	0.17	VLDR	W-2	HHDR	R-7	30	5		1	109
723163003* Perez	0.16	VLDR	W-2	HHDR	R-7	30	5		1	10
723163017* Perez	0.17	VLDR	W-2	HHDR	R-7	30	5		1	106
723174005* Schall	0.38	VLDR	W-2	HHDR	R-7	30	11		1	18
723174006* Schall	0.37	VLDR	W-2	HHDR	R-7	30	11		1	32
723174002* Palafox	0.37	VLDR	W-2	HHDR	R-7	30	11		1	6
723174001 Palafox	0.36	VLDR	W-2	HHDR	R-7	30	11		1	28
723162015	0.59	VLDR	W-2	HHDR	R-7	30	18		1	13
723174017	0.6	VLDR	W-2	HHDR	R-7	30	18		1	24
723162013	0.59	VLDR	W-2	HHDR	R-7	30	18		1	27
723174021	0.55	VLDR	W-2	HHDR	R-7	30	16		1	46

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
723174020	0.55	VLDR	W-2	HHDR	R-7	30	17		1	47
723174013	0.88	VLDR	W-2	HHDR	R-7	30	26		1	73
725160014	3.28	VLDR	W-2	HHDR	R-7	30	99		1	100
723124004	0.55	VLDR	W-2	HHDR	R-7	30	16		1	103
723141001	1.08	VLDR	W-2	HHDR	R-7	30	32		1	119
725150008	2.17	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		23	2	59
725160003	2.58	CT	W-2	MUA (35% HHDR)	MIXED USE	30		27	2	60
725160002	9.84	CT	W-2	MUA (35% HHDR)	MIXED USE	30		103	2	63
725160010	2.15	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		23	2	64
725160004	4.83	CT	W-2	MUA (35% HHDR)	MIXED USE	30		51	2	67
723240002	4.71	MDR	W-2	MUA (35% HHDR)	MIXED USE	30		49	2	69
725210005	21.27	CT	W-2	MUA (35% HHDR)	MIXED USE	30		223	2	77
723240012	59.35	CT	W-2	MUA (35% HHDR)	MIXED USE	30		623	2	79
723221001	6.32	OR	W-2	MUA (35% HHDR)	MIXED USE	30		66	2	81
725210012	11.86	CT	W-2	MUA (35% HHDR)	MIXED USE	30		125	2	82
725210005	7.92	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		83	2	77
725160004	3.7	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		39	2	67
725160002	2.45	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		26	2	63
725160001	15.29	CT	W-2	MUA (35% HHDR)	MIXED USE	30		161	2	61
725150007	5.23	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		55	2	80
Subtotal							457	1,677		

Underutilized Sites (see site description following this table)

723173003* Palacios	0.28	VLDR	W-2	HHDR	R-7	30	9		1	58
723162004* Miranda	0.3	VLDR	W-2	HHDR	R-7	30	9		1	16
723174014* Roberts	0.37	VLDR	W-2	HHDR	R-7	30	11		1	64
723162006* Zaragoza	0.29	VLDR	W-2	HHDR	R-7	30	9		1	31

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
723162014	0.6	VLDR	W-2	HHDR	R-7	30	18		1	12
723174028	0.74	VLDR	W-2	HHDR	R-7	30	22		1	108
723162027	0.53	VLDR	W-2	HHDR	R-7	30	16		1	45
Subtotal							93	0		
Oasis Town Center										
Vacant Parcels										
755142011	38.37	AG	W-2	MUA (50% HHDR)	MIXED USE	30		576	1	1
755162011	2.81	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		42	2	5
755162009	9.42	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		141	2	10
755162011	1.95	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		29	2	5
755162001	5.07	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		76	2	6
755162004	8.2	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		123	2	1
755161010	19.37	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		291	2	14
755161009	18.39	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		276	2	3
755161009	2.08	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		31	2	3
755162003	7.02	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		105	2	12
755162003	1.96	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		29	2	12
755161008	17.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		261	2	11
755161008	14.25	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		214	2	11
755161014	8.89	AG	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		133	2	9
755161014	5.6	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		84	2	9
755161014	6.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		96	2	9
755162010	4.91	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		74	2	4
Subtotal							0	2,581		

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Thermal Town Center										
Vacant Parcels										
757090027	8.21	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		123	1	3
757090028	20.56	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		308	1	1
757090029	46.32	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		695	1	2
757090004	76.51	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		1148	2	2
Subtotal							0	2,274		
Eastern Coachella Area Plan Total							7,586	11,552		

1. Site is contiguous with an underutilized site.

Underutilized sites

There are seven underutilized sites included in the Eastern Coachella Area Plan within the North Shore Town Center. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/16/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
723173003* Palacios ¹	0.28	HHDR	9	1	58	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162004* Miranda ¹	0.3	HHDR	9	1	16	MF - MOBILE HOME	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723174014* Roberts ¹	0.37	HHDR	11	1	64	R2 - RESIDENTIAL	Parcel has a single-family home on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
723162006* Zaragota ¹	0.29	HHDR	R-7	9	1	31	R2 - RESIDENTIAL	Parcel has a duplex on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162014	0.6	HHDR	R-7	18	1	12	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723174028	0.74	HHDR	R-7	22	1	108	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162027	0.53	HHDR	R-7	16	1	45	R2 - RESIDENTIAL	Parcel has a duplex on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.

1. Site is contiguous with a vacant site.

Chapter 8 Housing Element

Elsinore Area Plan

Table H-38 Elsinore Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Lee Lake Community										
Vacant Parcels										
393070012* Corona Canyon	2.6	OS-W	W-1	MUA (30% HHDR)	MIXED USE	30		23	1	3
393070012* Corona Canyon	0.98	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		9	1	3
393070012* Corona Canyon	0.59	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		5	1	3
393070015* Chase	11.53	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		104	1	2
393070015* Chase	0.43	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		4	1	2
393070015* Chase	0.22	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		2	1	2
393070015* Chase	0.04	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		0	1	2
393070006* Sycamore Creek Marketplace	0.09	LI	N/A	MUA	MIXED USE	30			2	1
393070008* Sycamore Creek Marketplace	2.17	LI	M-SC	MUA	MIXED USE	30		0	2	2
393070009* Sycamore Creek Marketplace	1.9	LI	M-SC	MUA	MIXED USE	30		0	2	3
393070010* Sycamore Creek Marketplace	5.9	LI	M-SC	MUA	MIXED USE	30		0	2	4
393070007* Sycamore Creek Marketplace	1.14	LI	M-SC	MUA	MIXED USE	30		0	2	5
393070005* Sycamore Creek Marketplace	0.14	LI	M-SC	MUA	MIXED USE	30		0	2	6
						Subtotal	0	147		
Underutilized Parcels (see site description following this table)										
393070013* Dar Inv	12.2	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		110	1	1
393070013* Dar Inv	0.07	OS-W	W-1	MUA (30% HHDR)	MIXED USE	30		0	1	1
						Subtotal	0	110		

Meadowbrook Town Center										
Vacant Parcels										
345220085	7.28	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30	109	2	1	
349080070	1.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	21	1	5	
349100008	2.15	CR	R-A-2	MUA (50% HHDR)	MIXED USE	30	32	1	8	
349342018	1.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30	20	1	12	
349080077	1.67	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30	25	1	31	
Subtotal						0	207			
Elsinore Area Plan Total										
						0	464			

Underutilized sites

There are two underutilized sites included in the Elsinore Area Plan within the Lee Lake Community. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
391070056* Dar Inv	12.2	MUA (30% HHDR)	MIXED USE		1	1	C1 - COMMERCIAL	Very large parcel with 2 commercial buildings on site. Most of the parcel is vacant and available for additional development.
391070056* Dar Inv	0.07	MUA (30% HHDR)	MIXED USE		1	1	C1 - COMMERCIAL	Very large parcel with 2 commercial buildings on site. Most of the parcel is vacant and available for additional development.

Chapter 8 Housing Element

Harvest Valley/Winchester Area Plan

Table H-39 Harvest Valley/Winchester Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Winchester Community (West)										
Vacant Parcels										
462080006	9.64	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		72	1	1
462080009	8.75	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		66	1	3
462080012	8.36	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		63	1	4
462080007	9.53	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		71	1	7
462080008	8.63	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		65	1	9
462080010	8.33	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		62	1	12
462090001	155.7	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1168	1	14
462080005	5.18	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		39	1	2
Subtotal							0	1,606		
Winchester Town Center										
Vacant Parcels										
462100037	0.59	MDR	R-R	HHDR	R-7	30	18		1	1
462100041	4.74	MDR	R-R	HHDR	R-7	30	142		1	2
462100005	1.93	MDR	R-R	HHDR	R-7	30	58		1	3
462100007	3.83	MDR	R-R	HHDR	R-7	30	115		1	4
462100012	0.81	MDR	R-R	HHDR	R-7	30	24		1	5
462100014	4.14	MDR	R-R	HHDR	R-7	30	124		1	6
462100015	5.22	MDR	R-R	HHDR	R-7	30	157		1	7
462100042	3.64	MDR	R-R	HHDR	R-7	30	109		1	8
462100010	1.75	MDR	R-R	HHDR	R-7	30	52		1	9
462100011	1.73	MDR	R-R	HHDR	R-7	30	52		1	10
462100008	1.03	MDR	R-R	HHDR	R-7	30	31		1	11
462140012	4.67	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		70	2	1

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
462140015	2.89	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		43	2	3
462151001	4.05	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		61	2	10
463060002	2.98	CR	R-R	MUA (50% HHDR)	MIXED USE	30		45	3	12
463080003	2.4	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		18	4	7
463100006	2.14	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		16	4	10
463100002	4.67	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		35	4	14
462100020	2.71	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		28	5	1
462100019	4.62	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		49	5	6
462100021	1.96	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		21	5	7
462100025	2.42	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		25	5	8
462110002	1.85	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		19	5	17
462110008	4.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		44	5	18
462110001	2.72	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		29	5	23
462110004	4.74	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		50	5	33
462110005	2.69	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		28	5	34
462174001	3.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		33	5	36
462110013	4.33	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	5	38
462110012	2.56	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		27	5	39
462164001	2.75	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		29	5	40
462110003	4.27	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	5	46
463118030	1.75	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		26	6	5
463142007	1.11	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		17	6	12
462120001	1.77	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		27	7	1
462120003	2.74	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		41	7	2
462120002	4.91	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		74	7	3
462120005	3.57	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		54	7	4
462120016	4.32	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		65	7	6

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
462120004	4.93	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		74	7	8
462120015	1.8	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		27	7	10
463160011	4.35	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		46	8	11
463160010	4.77	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	13
463160009	4.7	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		49	8	19
463160012	4.27	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		45	8	20
463160021	1.72	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		18	8	21
463160014	4.78	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	22
463120013	4.29	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	8	24
463160023	4.78	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	26
463160013	3.97	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		42	8	27
463160017	4.39	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		66	9	2
463160015	2.93	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		44	9	3
463160018	2.5	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		38	9	4
463160019	2.52	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		38	9	5
463160020	4.34	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		65	9	6
463130005	2.6	CR	R-R	MUA (50% HHDR)	MIXED USE	30		39	9	7
463130001	4.43	CR	R-R	MUA (50% HHDR)	MIXED USE	30		66	9	8
463130008	4.32	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		65	9	10
463160016	1.94	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		29	9	12
463160022	2.45	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		26	8	25
463160048	2.27	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		24	8	18
463080009	2.73	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		21	4	1
463130007	2.05	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		31	9	1
463160031	4.86	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		51	8	5
463100003	4.59	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		34	4	13
							Subtotal	883	2,195	

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Harvest Valley/Winchester Area Plan Total										
							883	3,801		

Highgrove Area Plan

Table H-40 Highgrove Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Highgrove Town Center										
Vacant Parcels										
255060016	12.87	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		290	3	2
255060015	8.09	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		182	3	4
255060017	6.54	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		147	3	6
255060018	10.8	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		243	3	8
255110015	7.39	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		166	3	9
255040010	6.99	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		105	1	12
255110003	4.9	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		110	3	13
255110005	4.93	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		111	3	14
255110006	4.84	LI	I-P	MUA (75% HHDR)	MIXED USE	30		109	3	15
255110004	4.87	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		110	3	17
255040017	1.79	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		27	1	19
255040010	1.33	LI	I-P	MUA (50% HHDR)	MIXED USE	30		20	1	12
255170012	0.56	LDR	R-1-20000	HHDR	R-7	30	17		2	4
255170014	8.93	LDR	R-1-20000	HHDR	R-7	30	268		2	5
255170005	2.19	LDR	R-1-20000	HHDR	R-7	30	66		2	2
255170011	5.02	LDR	R-1-20000	HHDR	R-7	30	151		2	1
255040014	0.69	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		10	1	1

Chapter 8 Housing Element

255040015	3.01	LI	M-SC	MUA (50% HHDR)	MIXED USE	30	45	1	22
Subtotal						502	1,675		
Underutilized Parcels (see site description following this table)									
255170013	0.98	LDR	R-1-20000	HHDR	R-7	30	29	2	3
Subtotal						29	0		
Highgrove Area Plan Total						530	1,978		

Underutilized Sites

There is one underutilized site included in the Highgrove Area Plan within the Highgrove Town Center. The table below describes why this site is suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
255170013	0.98	HHDR	R-7	29	2	3	R-1 RESIDENTIAL	Parcel is part of a 9-acre group of four contiguous parcels owned by the same owner. This parcel will likely be joined with the other three parcels to form a larger project One parcel has a small structure and utility buildings. It is assumed that the parcels would be joined with the other parcels. The other parcels are part of a citrus grove.

Lakeview/Nuevo Area Plan

Table H-41 Lakeview/Nuevo Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Lakeview Town Center										
Vacant Parcels										
308150003	5.14	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		39	1	10
308150007	68.34	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		513	1	11
308140006	28.49	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		214	1	21
308140007	16.82	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		126	1	22
308150006	20.01	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		150	1	50
426060004	3.78	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		57	3	1
426060005	10.52	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		158	3	2
426440007	5.63	MHDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		85	3	5
426060007	2.18	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		33	3	6
426440006	2.48	MHDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		37	3	8
426440008	3.81	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		57	3	9
426060020	1.9	CR	C-P-S	HHDR	R-7	30	57		5	1
426060002	0.64	CR	C-P-S	HHDR	R-7	30	19		5	2
426060003	4.9	CR	C-P-S	HHDR	R-7	30	147		5	3
426091001	2.33	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		35	6	7
426073008	1.23	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		18	6	11
426073009	1.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	6	12
426101004	1.11	MDR	R-1	HHDR	R-7	30	33		7	3
426101003	1.52	MDR	R-1	HHDR	R-7	30	46		7	4
426083007	1.5	CR	C-P-S	HHDR	R-7	30	45		7	5
426060022*	29.72	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		446	3	11

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot	
426060022*	0.27	CR	C-P-S	HHDR	R-7	30	8		5	4	
426060006	4.84	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		73	3	4	
426060012	1.75	CR	C-P-S	HHDR	R-7	30	52		5	5	
Subtotal							407	2,061			
Nuevo Community (Western Area)											
Vacant Parcels											
307240004	9.61	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		144	1	2	
307240007	9.56	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		143	1	4	
307240060	9.79	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		147	1	5	
307240008	9.29	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		139	1	6	
307240006	9.27	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		139	1	7	
307270026	0.88	CR	R-R	MUA (75% HHDR)	MIXED USE	30		20	2	3	
307270027	0.76	CR	R-R	MUA (75% HHDR)	MIXED USE	30		17	2	4	
307270025	1.12	CR	R-R	MUA (75% HHDR)	MIXED USE	30		25	2	5	
310270012	1.81	CR	R-R	MUA (75% HHDR)	MIXED USE	30		41	2	10	
310270014	15.09	CR	R-R	MUA (75% HHDR)	MIXED USE	30		339	2	11	
310270006	4.73	CR	R-R	MUA (75% HHDR)	MIXED USE	30		107	2	12	
310230027	9.67	CR	R-R	MUA (75% HHDR)	MIXED USE	30		218	2	14	
310270011	1.88	CR	R-R	MUA (75% HHDR)	MIXED USE	30		42	2	17	
310270013	2.17	CR	R-R	MUA (75% HHDR)	MIXED USE	30		49	2	20	
307270029	1.75	CR	R-R	MUA (75% HHDR)	MIXED USE	30		39	2	22	
307270012	1.05	CR	R-R	MUA (75% HHDR)	MIXED USE	30		24	2	23	
307270023	6.55	CR	R-R	MUA (75% HHDR)	MIXED USE	30		147	2	27	
307270019	4.83	CR	R-R	MUA (75% HHDR)	MIXED USE	30		109	2	30	
Subtotal							0	1,889			
Lakeview/Nuevo Area Plan Total							407	3,950			

Mead Valley Area Plan

Table H-42 Mead Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Good Hope Community										
Vacant Parcels										
326240061	2.2	MDR	R-R	HHDR	R-7	30	66		2	9
326250039	3.65	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		33	1	10
326250029	1.3	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		12	1	19
326250037	4.25	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		38	1	25
326250043	4.34	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		39	1	26
326250011	9.96	MDR	R-R	HHDR	R-7	30	299		1	27
326240077	2.7	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		24	3	31
326240079	5.91	CR	R-R	MUA (30% HHDR)	MIXED USE	30		53	1	34
326250040	9.57	CR	R-R	MUA (30% HHDR)	MIXED USE	30		86	1	36
326250038	1.86	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		17	1	39
326250001	4.77	MDR	R-R	HHDR	R-7	30	143		2	48
326240085	1.64	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		15	1	14
							Subtotal	508		
Mead Valley Community (I-215/Nuevo Rd. Vicinity)										
Vacant Parcels										
305270030	1.62	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		24	3	1
305270031	1.42	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		21	3	2
305270032	2.3	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		34	3	14
							Subtotal	0		
Mead Valley Town Center										
Vacant Parcels										
318130005	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	4
318160001	2.04	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		31	1	9

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
318160002	2.25	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		34	1	10
318140007	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	16
318130001	2.05	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		31	1	21
318160004	1.2	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		18	1	24
318070005	1.3	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		19	1	28
318130002	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	35
318070006	1.3	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	1	45
318070010	1.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	49
318100011	13.96	RC-LDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		209	2	1
318160003	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	38
318130012	3.2	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		48	1	32
Subtotal							0	495		
Mead Valley Area Plan Total							508	891		

The Pass Area Plan

Table H-43 The Pass Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Cabazon Town Center										
Vacant Parcels										
519180018	14.32	CR	C-P-S	HHDR	R-7	30	430		1	1
519330001	1.97	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		21	2	11
519180014	9.3	CR	W-2	MUA (35% HHDR)	MIXED USE	30		98	2	12
519330010	1.77	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		19	2	17
519330007	2.49	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		26	2	50

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
519330008	4.78	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		50	2	51
526023016	1.87	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		20	2	71
526021008	2.53	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		27	2	87
519240009	9.96	HI	M-SC	MUA (35% HHDR)	MIXED USE	30		105	3	2
519340002	9.61	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		101	3	5
519260003	1.48	LI	W-2-5	MUA (35% HHDR)	MIXED USE	30		16	3	6
519350001	8.9	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		93	3	14
519250006	4.18	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		44	3	18
519320012	2.74	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		29	3	24
519260006	1.5	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		16	3	26
519270008	3.27	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		34	3	28
526040008	6.71	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		101	4	6
526050001	5.88	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		88	4	7
526131002	4.46	MDR	R-6	HHDR	R-7	30	134		5	1
526131004	4.81	MDR	R-6	HHDR	R-7	30	144		5	2
526160009	4.38	LDR	R-A	HHDR	R-7	30	131		6	1
526160008	8.28	LDR	W-2	HHDR	R-7	30	249		6	5
526080002	9.69	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		145	7	1
526070001	1.07	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		16	7	3
526060006	3.81	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		57	7	4
526060005	1.14	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		17	7	5
526050013	8.64	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		130	7	6
526080001	9.72	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		146	7	7
526123001	9.18	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		138	8	1
526143023	1.18	CR	R-1	MUA (50% HHDR)	MIXED USE	30		18	8	2
526132022	2.81	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		42	9	4

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MMU Site Capacity	Nbrhd	Lot	
526132025	1.5	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		23	9	5	
526132003	1.04	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		16	9	8	
526150011	2.33	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		35	10	20	
526142043	1.8	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		27	10	26	
526150015	9.52	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		143	10	27	
526150010	4.85	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		73	10	30	
526143025	1.55	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		23	10	35	
526150001	9.7	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		145	10	38	
526150002	9.31	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		140	10	39	
526180006	4.71	LDR	R-A	HHDR	R-7	30	141	0	11	1	
519250007	6	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		63	3	33	
519340001	9.6	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		101	3	27	
519240010	1.85	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		19	3	22	
519260007	4.76	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		50	3	4	
519240005	6.76	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		71	3	1	
526090001	6.32	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		95	7	2	
Subtotal							1,229	2,621			
Underutilized Parcels (see site description following this table)											
526160011	0.91	LDR	R-A	HHDR	R-7	30	27		6	2	
526160010	0.93	LDR	R-A	HHDR	R-7	30	28		6	3	
526160012	2.25	LDR	R-A	HHDR	R-7	30	68		6	4	
Subtotal							123				
The Pass Area Plan Total							1,352	2,621			

Underutilized Sites

There are three underutilized sites included in The Pass Area Plan within the Cabazon Town Center. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
526160011	0.91	HHDR	R-7	27	6	2	MF - MOBILE HOME	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.
526160010	0.93	HHDR	R-7	28	6	3	MO - MOBILE HOME	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.
526160012	2.25	HHDR	R-7	68	6	4	R1 - RESIDENTIAL	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.

Chapter 8 Housing Element

Western Coachella Valley Area Plan

Table H-44 Western Coachella Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Desert Edge/Southeast Desert Hot Springs Community										
Vacant Parcels										
657260008	8.98	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		135	2	1
656330015	8.84	CR	W-2	MUA (50% HHDR)	MIXED USE	30		133	5	1
						Subtotal	0	268		
I-10/Haugen Lehmann Ave Community										
Vacant Parcels										
517300019	6.38	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		144	1	38
517290016	2.57	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		58	1	50
						Subtotal	0	202		
North Palm Springs Community										
Vacant Parcels										
664200011	2.26	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	4
664200001	2.29	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	8
664200004	2.18	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		33	1	9
664200012	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	1	11
664200002	2.25	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	16
664200030	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	22
664200014	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	23
664200015	2.46	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	24
664200025	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	26
664200027	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	1	27
664200033	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	28
664200016	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	29
664200017	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	30

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
664200031	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	37
664200022	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	40
664200023	2.52	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	41
664200036	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	42
664200003	2.23	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	43
664200005	2.26	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	44
664200037	2.11	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		32	1	45
664200013	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	46
664200024	2.48	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	53
664200026	2.53	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	54
664200028	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	55
664200032	2.48	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	56
664200034	2.53	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	57
664200020	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	73
664270001	40.2	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		603	2	1
664270002	40.16	MDR	W-2	MUA (50% HHDR)	MIXED USE	30		602	2	2
664240002	39.79	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		597	2	3
664200018	1.27	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		19	1	47
Rushmore/Kimdale Community						Subtotal	0	2,815		
Vacant Parcels										
520094005* Rossetti	0.3	MDR	R-R	HHDR	R-7	30	9		1	38
520094004* Rossetti	0.3	MDR	R-R	HHDR	R-7	30	9		1	69
520106004* Fitzpatrick	0.27	MDR	R-R	HHDR	R-7	30	8		1	68
520106005* Fitzpatrick	0.32	MDR	R-R	HHDR	R-7	30	9		1	111
520094002* Haefeli	0.3	MDR	R-R	HHDR	R-7	30	9		1	25
520094001* Haefeli	0.3	MDR	R-R	HHDR	R-7	30	9		1	40

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
520091002* Mission Springs Water Dist	0.26	MDR	R-R	HHDR	R-7	30	8		1	9
520091001* Mission Springs Water Dist	0.26	MDR	R-R	HHDR	R-7	30	8		1	64
520104006* Brossman	0.29	MDR	R-R	HHDR	R-7	30	9		1	92
520104005* Brossman	0.33	MDR	R-R	HHDR	R-7	30	10		1	95
520123001* Yagami	0.26	MDR	R-R	HHDR	R-7	30	8		1	98
520106013* Yagami	0.26	MDR	R-R	HHDR	R-7	30	8		1	140
520080017* SCE	2.85	MDR	R-R	HHDR	R-7	30	86		1	1
520080016* SCE	7.52	MDR	R-R	HHDR	R-7	30	226		1	63
520102008* Rucker1	0.3	MDR	R-R	HHDR	R-7	30	9		1	90
520102007* Rucker1	0.3	MDR	R-R	HHDR	R-7	30	9		1	139
520110006	0.95	MDR	R-R	HHDR	R-7	30	28		1	7
520110013	0.99	MDR	R-R	HHDR	R-7	30	30		1	12
520080001	2.41	MDR	R-R	HHDR	R-7	30	72		1	17
Subtotal							564	0		
Underutilized Parcels (see site description following this table)										
520121001* Jones	0.27	MDR	R-R	HHDR	R-7	30	8		1	29
520121002* Jones	0.32	MDR	R-R	HHDR	R-7	30	10		1	76
520102009* Rucker	0.3	MDR	R-R	HHDR	R-7	30	9		1	55
520110007	0.6	MDR	R-R	HHDR	R-7	30	18		1	73
520105002	0.56	MDR	R-R	HHDR	R-7	30	17		1	84
Subtotal							62	0		

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Thousand Palms Community (I-10/Cook St. Vicinity)										
Vacant Parcels										
694120008	34.39	BP	I-P	MUA (50% HHDR)	MIXED USE	30		516	1	2
694120007	33.28	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		499	1	3
						Subtotal	0	1,015		
Thousand Palms Town Center										
Vacant Parcels										
693040023	2.96	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		44	2	1
693040022	89.9	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		1349	2	5
650270001	19.48	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		146	3	28
650300011	2.31	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		17	3	37
650300017	9.42	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		71	3	43
650290001	4.83	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		36	3	44
650300013	5	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		37	3	48
650290002	4.88	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		37	3	50
650300018	19.58	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		147	3	53
650300018	9.85	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		74	3	53
650310001	3.31	CR	C-P-S	HHDR	R-7	30	99		4	1
650310002	3.37	CR	C-P-S	HHDR	R-7	30	101		4	2
650310001	1.03	CR	R-3-6000	HHDR	R-7	30	31		4	1
650310002	0.99	CR	R-3-6000	HHDR	R-7	30	30		4	2
651140006	18.99	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		285	5	1
651140007	2.98	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		45	5	2
651140008	2.07	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		31	5	3
694071017	1.18	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		18	5	13
694060003	2.49	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		37	5	27
694060002	2.7	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		41	5	30

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot	
694060022	24.07	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		361	5	32	
694060023	18.07	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		271	5	33	
651140005	9.49	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		142	5	35	
693230019	4.83	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		72	5	36	
693230013	11.51	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		173	5	37	
693230010	8.77	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		132	5	38	
693230011	5.92	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		89	5	39	
694060022	11.32	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		170	5	32	
694060022	8.92	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		134	5	32	
694060022	5.41	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		81	5	32	
694060022	1.5	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		23	5	32	
694060022	1.36	MHDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	5	32	
651140007	2.09	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		31	5	2	
651140005	5.49	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		82	5	35	
694060023	17.99	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		270	5	33	
694060023	5	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		75	5	33	
694120010	17.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		257	6	1	
694050001	40.58	MHDR	R-T	MUA (50% HHDR)	MIXED USE	30		609	6	2	
694050012	38.54	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		578	6	3	
694050011	27.59	MHDR	R-3	MUA (50% HHDR)	MIXED USE	30		414	6	4	
694120011	6.92	MHDR	R-3	MUA (50% HHDR)	MIXED USE	30		104	6	5	
694120010	1.85	CR	R-3	MUA (50% HHDR)	MIXED USE	30		28	6	1	
694050012	9.28	CR	R-3	MUA (50% HHDR)	MIXED USE	30		139	6	3	
694120011	1.34	CR	R-3	MUA (50% HHDR)	MIXED USE	30		20	6	5	
							Subtotal	261			
							Western Coachella Valley Area Plan Total		887	10,990	

1. Site is contiguous with an underutilized site.

Underutilized Sites

There are five underutilized sites included in the Western Coachella Valley Area Plan within the Rushmore/Kimdale Community. The table below describes why these sites are suitable for redevelopment. Please note that the sites in the table below with a current site use of “MF – Mobilehome” are not located within a mobile home park.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
520121001* Jones	0.27	HHDR	R-7	8	1	29	MF - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520121002* Jones	0.32	HHDR	R-7	10	1	76	MO - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520102009* Rucker	0.3	HHDR	R-7	9	1	55	MO - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520110007	0.6	HHDR	R-7	18	1	73	MF - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multi-family housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520105002	0.56	HHDR	R-7	17	1	84	R1 - RESIDENTIAL	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.

Multifamily Units

The County recognizes the importance of multifamily units in meeting affordable housing needs and providing residents with a variety of housing choices. The multifamily units permitted in the County include but are not limited to two-family, multifamily, bungalow courts, and apartment units.

Mobile Homes and Manufactured Homes

For purposes of permit issuance, a mobile home on a foundation system is allowed on all lots zoned to permit single-family dwellings. The installation of manufactured homes, not on foundations, is allowed whenever it is specifically provided for in the various zone classifications, and is subject to the requirements and standards set forth in those zones.

A mobile home permitted in the R-R, R-D, W-2, and W-2-M zones must have the following: a floor living area of at least 450 square feet, a lot size of at least 2,500 square feet with a width of at least 30 feet, and an opaque skirt screening the area between the ground level and the floor level of the unit. Mobile home parks must have a masonry wall 6 feet in height erected along the perimeter of the park. Manufactured homes outside of these zones must comply with the same standards except that they must have a floor living area of at least 750 square feet.

Manufactured homes provide an additional opportunity for affordable housing in the County. Section 65852.7 of the California Government Code requires that the County permit manufactured homes in all residential zones. Riverside County is in full compliance with this section of the Government Code (Table H-49). In all zones where manufactured homes are permitted "by right" or through the issuance of a conditional use permit (CUP), there are standards for unit size, density, minimum size of space, perimeter walls, and automobile storage. However, these requirements are not onerous and are similar to requirements of surrounding cities and counties.

Second Units

Second units also provide opportunities for affordable units. Second units are currently allowed where the lot is zoned for a one-family dwelling as a permitted use (without a discretionary permit), and the lot is at least [7,200 square feet](#) in size, but are not allowed on lots located within a PRD or located within the R-6 zone. Under the Land Use Ordinance, second units may be occupied by any person without rent, but if rented, an annual certification by the property owner is required, certifying that the renter is of low or moderate income as defined by Section 50093 of the Health and Safety Code.

The County has amended Ordinance No. 348 (zoning ordinance) to permit second units on residential lots zoned for single-family or multifamily residential use, subject to issuance of a second unit permit. This provision was made in response to state of California legislation promoting additional housing opportunities for elderly relatives and rental purposes. The ordinance requires property owners to submit an annual certification that the second units are being offered without rent (for relatives, for example) or rents in the low- to moderate-income range based upon HUD statistics.

Ordinance No. 348 does not require any excessive restrictions that would be a constraint to the development of second units.

[In January 2017, SB 1069 \(Chapter 720, Statutes of 2016\) and AB 2299 \(Chapter 735, Statutes of 2016\) made several changes to address barriers to the development of Second Units \(Accessory Dwelling Units\). The County has revised action 3.5b to ensure they are meeting all State Law requirements.](#)

- **Reasonable accommodations**—~~In June 2016 the County amended Ordinance 348 to~~ ~~Currently, the County’s ordinance does not contain a reasonable accommodation procedure. Action 3.3a states that the County will develop a policy to~~ include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.
- **Separation requirements for congregate care facilities**—The County’s ordinance currently states that congregate residential care facilities shall be located in accordance with all applicable developmental and locational guidelines under the General Plan and shall be located in those areas which offer appropriate services for the residents of these facilities, including necessary medical, transportation, shopping, recreational, and nutritional programs.
- **Separation requirements for parolee-probationer homes**—The County requires that there shall be a 2,000-foot separation requirement between parolee-probationer homes.
- **Site planning requirements**—The site planning requirements for group homes and residential care facilities are no different than for other residential uses in the same zone.
- **Definition of family**—The County’s definition of family states: “One or more persons living together as a single housekeeping unit in a single dwelling unit.

Extremely Low-Income Households

Extremely low-income households typically comprise persons with special housing needs, including but not limited to persons experiencing homelessness or at risk of homelessness, persons with substance abuse problems, and farm workers. Assembly Bill 2634 (Lieber, 2006) requires the quantification and analysis of existing and projected housing needs of extremely low-income households. Housing elements must also identify zoning to encourage and facilitate supportive housing and single-room occupancy units.

Action 3.5b states that the County will process an amendment of its zoning ordinance to explicitly define and allow for single-room occupancy units in the General Commercial (C-1/C-P) zone. In addition, to encourage and facilitate the development of housing affordable to extremely low-income households, Action 1.1i states that the County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis; providing financial assistance (when feasible) or in-kind technical assistance or land writedowns; providing expedited processing; identifying grant and funding opportunities; applying for or supporting applications for funding on an ongoing basis; reviewing and prioritizing local funding at least twice in the planning period; and/or offering additional incentives beyond the density bonus.

The Riverside County Department of Mental Health has taken steps to hire a mental health housing coordinator, whose responsibilities will include the development of design criteria for housing suitable for the homeless mentally disabled (Actions 1.4a, 1.4c, and 1.4d). The development standards for shelters are the same as for other structures in the applicable zoning designation.

Parking Requirements

In Southern California, providing sufficient parking for vehicles is an essential part of good planning. At the same time, parking can constrain the development of housing. For every parking space that is required, there is that much

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, as projects are processed through the Planning Department.</p>
	<p>1.1g: Continue to promote use of density bonus provisions and ensure consistency with state law.</p>	<p>General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p>	<p>TLMA</p>	<p>Ongoing.</p>
	<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME</p>	<p>EDA</p>	<p>Review on a project by project bases, as projects are proposed.</p>
	<p>1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus. The County of Riverside's Five-Year Consolidated Plan (2014-2018), anticipates assisting: 11 households to Expand the Affordable Rental Housing Stock; 11 households to Improve the Conditions of Substandard Housing; and 11 households to Address Farmworker Housing Needs.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing Authority</p>	<p>Ongoing, as projects are processed, and annual outreach with local developers.</p>
	<p>1.1j) Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>EDA</p>	<p>Annually</p>
<p>Policy 1.2: Ensure the availability of suitable sites for the development of affordable housing to meet the needs of all household income levels, including farm workers and other special needs populations.</p>	<p>1.2a To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2f), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and an equitable development pattern. . Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1b.</p>	<p>General Fund</p>	<p>TLMA/GIS</p>	<p>Annually monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p> <p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households. The County will assist approximately 83 households with the MHTL program.</p>	<p>General Fund</p> <p>Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p>	<p>EDA/Housing Authority</p> <p>EDA/Housing Authority</p>	<p>Annually meet with developers.</p> <p>Once funding has been approved and the loans are processed. Based on HOME funds availability at the time of application.</p>
<p>Policy 1.4: Assist in the development of additional housing for the mentally disabled.</p>	<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>		<p>Department of Mental Health</p>	<p>Ongoing.</p>
	<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>HUD Supportive Housing Program, Shelter Plus Care</p>	<p>Department of Public Social Services</p>	<p>Meet annually with County legislative advocates to address implications of new legislation.</p>
	<p>1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p>		<p>Department of Mental Health in conjunction with EDA</p>	<p>Within the two years of adoption of the Housing Element.</p>
	<p>1.4d: Promote the integration of special needs housing into affordable housing communities.</p>		<p>Department of Mental Health</p>	<p>Ongoing, throughout the planning period.</p>
	<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.</p>	<p>HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill program, Supportive Housing Program/Shelter Plus Care program</p>	<p>Department of Public Social Services</p>	<p>Ongoing, throughout the planning period.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>Policy 1.5: Assist in the development of additional emergency, transitional, and permanent supportive housing for homeless persons and families.</p>	<p>1.5a: In cooperation with nonprofits and local jurisdictions, assist in the development of transitional housing facilities in established regions of the county where the need is highest.</p>	<p>HUD</p>	<p>Department of Public Social Services</p>	<p>Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POLIS project to site facilities.</p>
	<p>1.5b: Assist with the expansions of the number of emergency shelters in identified areas of Riverside County in cooperation with nonprofit organizations and local jurisdictions. Prioritize resources for the Eastern portion of the County.</p>	<p>HCD</p>	<p>Department of Public Social Services</p>	<p>Ensure the emergency shelter needs of mentally ill and domestic violence victims are addressed. Ongoing, as funding is available.</p>
	<p>1.5c: Process an amendment to Ordinance No. 348 (zoning ordinance) to add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses and subject only to those restrictions that apply to other residential uses of the same type in the same zone.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Within 6 months of adoption of the Housing Element.</p>
<p>Policy 1.6: Support self-help housing programs (e.g., Habitat for Humanity and Coachella Valley Housing Coalition).</p>	<p>1.6a: Continue to work with nonprofit organizations in providing homeownership opportunities through the Rural Development Self Help program and other self-help construction programs within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME, HUD, Rural Development Self Help Program</p>	<p>EDA</p>	<p>Establish an annual meeting with CHDOs to provide policy direction.</p>
<p>Policy 1.7: Encourage innovative housing, site plan design, and construction techniques to promote new affordable housing by the private sector.</p>	<p>1.7a: Continue to provide for greater flexibility in the design of single-family development through the processing of PUDs, specific plans, and area plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.</p>		<p>TLMA/Building and Safety</p>	<p>Ongoing, as projects are processed.</p>
	<p>1.7b: Encourage construction of new mobile home parks and manufactured housing to increase the supply of affordable dwelling units by continuing to waive the fees (when funding is available) as an incentive.</p>		<p>TLMA/Building and Safety</p>	<p>Ongoing, as projects are processed.</p>
	<p>1.7c: Encourage new large-scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed-use development.</p>		<p>TLMA</p>	<p>Ongoing, as projects are processed.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.7d: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Consider adopting provisions within two years. Continue to pursue on an ongoing basis.</p>
	<p>1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Explore options by the end of 2017 consider adopting an ordinance by the end of 2018.</p>
<p>GOAL 2: TO CONSERVE AND IMPROVE THE CONDITION OF THE HOUSING STOCK, PARTICULARLY AFFORDABLE HOUSING.</p>				
<p>Policy 2.1: Continue to pursue all available federal, state, and local funds to assist housing rehabilitation.</p>	<p>2.1a: When funding is available, advertise and promote the availability of funds for the following: Rehabilitation of single-family and mobile home dwelling units. Rehabilitation of multifamily units.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA</p>	<p>Ongoing, as funding is available. Provide informational materials as funding permits. Entitled, apply annually HCD and HUD.</p>
	<p>2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.</p>	<p>HUD Capital funds</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>2.1c: Continue utilization of tax-exempt private activity bonds for the financing of multifamily housing rehabilitation.</p>	<p>Tax-exempt private activity bonds</p>	<p>EDA/Housing Authority</p>	<p>As projects come forward assist with the process for applying for funding on the developers behalf.</p>
	<p>2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards. The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting 85 households.</p>	<p>CDBG</p>	<p>EDA/</p>	<p>Continue program when funding becomes available.</p>
	<p>2.1e: Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single-family housing through weatherization and/or rehabilitation.</p>	<p>Department of Energy, Southern California Gas, California Conservation Corp.</p>	<p>DCA</p>	<p>As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>2.1f Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p>	<p>EDA/Housing Authority</p>	<p>Once funding has been approved. Assist at least 5 households during the planning period.</p>
	<p>2.1g Through the Home Enhancement Program the, assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>CDBG</p>	<p>EDA</p>	<p>Provide grants to at least 5 households throughout the planning period.</p>
	<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Develop a plan by summer 2017 before the end of the <u>planning period (2021)</u>.</p>
<p>Policy 2.2: Enhance the quality of existing residential neighborhoods by including adequate maintenance of public facilities in the County's capital improvement program and requiring residents and landlords to maintain their properties in good condition.</p>	<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>		<p>Building and Safety Department/ Department of Environmental Health, Code Enforcement</p>	<p>Ongoing, on a case-by-case basis.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>at risk of conversion to market rate, or other affordable housing resources.</p>	<p>Through the maintenance of an inventory of County assisted units with monitoring of expiration dates on an annual basis. Priority on providing financial assistance, where feasible and if funding is available, to preserve County assisted affordable units at risk of conversion to market rate during the planning period. Conduct annual compliance monitoring site visits and file audits of County assisted units as part of ongoing compliance requirements enforced by loan agreements. Coordinate with owners of at-risk units to have the property owners provide education and work with tenants regarding their rights and conversion procedures.</p>			<p>coordinate with owners of at-risk units to have the owners provide tenant education within 30 days of a notice of conversion.</p>
<p>GOAL 3: TO PROMOTE EQUAL HOUSING OPPORTUNITIES FOR ALL PERSONS REGARDLESS OF RACE, AGE, SEXUAL ORIENTATION, RELIGION, SEX, ETC.</p>				
<p>Policy 3.1: Continue to support fair housing laws and organizations that provide fair housing information and enforcement.</p>	<p>3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments. 2. Education and training of County staff. 3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers, and residents in emergency shelters and transitional housing facilities. 3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements.</p>	<p>CDBG</p>	<p>EDA/ Housing Authority</p>	<p>EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p> <p>2019</p>
<p>Policy 3.2: Provide housing information and counseling to low-income households and households with special housing needs.</p>	<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program. 3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs.</p>	<p>First Time Home Buyer Down Payment Assistance Program</p>	<p>EDA/ Fair Housing Council</p>	<p>Ongoing, as funding permits.</p>
<p>Policy 3.3: Provide housing services to persons with special needs, including child care, and the homeless.</p>	<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs.</p>		<p>Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p>	<p>Ongoing, as projects are processed. Develop a reasonable-accommodation procedure by early 2018. Develop an outreach program by early 2018.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>Develop aContinue to review the County's policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities to ensure consistency with state law.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County's website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>			
	<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates). 2. Family Unification Program. 3. Family Self Sufficiency (FSS) Program. 4. Housing Opportunities for Persons with AIDS (HOPWA). 5. Veteran's Affairs Supportive Housing Program (VAISH). 6. Foster Care Youth Program. 7. Tenant Based Rental Assistance Program.</p>	<p>HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VAISH, Foster Care Youth Program, TBRA</p>	<p>Housing Authority, EDA, DPSS</p>	<p>Programs will continue as funding is obtained.</p>
	<p>3.3c: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program, previously known as Section 8 Rental Assistance Program).</p>	<p>HUD</p>	<p>Housing Authority</p>	<p>Ongoing as interested persons contact the Housing Authority.</p>
	<p>3.3d: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.</p>	<p>HUD Shelter Plus Care</p>	<p>Housing Authority/ DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3e: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).</p>	<p>HUD Housing Choice Voucher Program</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.</p>	<p>FEMA, ESG, EHAP</p>	<p>DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.</p>	<p>HUD Supportive Housing program, Shelter Plus Care</p>	<p>DPSS</p>	<p>Ongoing.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	3.3c: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program, previously known as Section 8 Rental Assistance Program).	HUD	Housing Authority	Ongoing as interested persons contact the Housing Authority.
	3.3d: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.	HUD Shelter Plus Care	Housing Authority/ DPSS	Ongoing, throughout the planning period.
	3.3e: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).	HUD Housing Choice Voucher Program	Housing Authority	Ongoing, throughout the planning period.
	3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.	FEMA, ESG, EHAP	DPSS	Ongoing, throughout the planning period.
	3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.	HUD Supportive Housing program, Shelter Plus Care	DPSS	Ongoing.
	3.3h: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the Consumer Price Index.		County Executive Office	Ongoing.
Policy 3.4: Support programs that offer low- and moderate-income households the opportunity for homeownership.	3.4a: Continue to implement the Mortgage Credit Certificate Program (MCC) for low- to moderate-income homeowners. 3.4b: Continue to provide down payment assistance and closing cost assistance to low-income first-time homebuyers through the First Time Home Buyer Program.	CDLAC HOME	EDA EDA	Ongoing. Funding will be available once the Housing Element is in compliance. Ongoing. Funding will be available once the Housing Element is in compliance.
Policy 3.5: Expand the availability of affordable and/or special needs housing through acquisition or conversion.	3.5a: Work with public or private sponsors to encourage acquisition/rehabilitation of existing multifamily units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median. 3.5b: Consider the conversion of small older hotels to transitional housing facilities, emergency shelters, or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. The Department of Social Services shall work with participating jurisdictions when requested.	HOME and other HUD and HCD grants as they become available., CDBG, HUD	EDA EDA	Ongoing. Annually meet with interested developers. Within six months of adoption of the Housing Element.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>Assist with available housing for extremely low and lower income households by: (1) In addition, the County will process an amendment to Ordinance No. 348 (zoning ordinance) to define SROs and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit (2). Review Ordinance 348 to ensure consistency with state law concerning accessory dwelling units (AB2299 and SB 1069), including evaluating and addressing potential constraint such as lot sizes to ensure promoting the development of accessory dwelling units.</p>			
<p>Goal 4 Establish Adequate Planning, Administrative and Fiscal Tools to Implement Housing Policies</p>				
<p>Policy 4.1: Evaluate the County's planning policies, codes, development review procedures, and fees as part of the Housing Element update cycle to ensure that they do not represent unjustified constraints to the development of housing. (Note: Other elements of the General Plan address various components of residential neighborhoods that could add to the cost of housing—e.g., Safety Element or Circulation Element—but are considered essential ingredients of balanced communities.)</p>	<p>4.1a: To ensure fees do not pose a constraint to the development of housing, the County will review its fees on an annual basis.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Annually.</p>
	<p>4.1b: Update theContinue to review the definition of family so that it does not limit the number of persons per household, and does not require that persons are related by blood.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Within six months of adoption of the Housing Element.Ongoing</p>
<p>Policy 4.2: Ensure that administrative functions are consistent with housing policies and goals.</p>	<p>4.2a: Propose and advocate legislative efforts to promote jobs/housing balance. Participate in subregional (WRCOG and CVAG) and regional (SCAG) agency meetings to: Establish housing goals beyond county lines that reflect housing markets. Ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary.</p>	<p>General Fund</p>	<p>EDA/ Housing Authority Executive Office/TLMA</p>	<p>Establish a meeting with County's legislative advocates to ascertain the existing impact and proposed legislation.</p>

Approved Housing Units

One way of meeting a portion of the County’s RHNA is to look at approved, entitled, or built projects’ “available units.” These units can be subtracted from the total allocation if they were available prior to the 5th Housing Element cycle deadline of October 2014. Table H-34 lists the approved or entitled projects that were available before the deadline.

Table H-34 Approved or Entitled Projects Prior to October 2014

Project/Unit	Total Proposed Units	Affordability Level				Funding Source
		Very Low	Low	Mod	Abv. Mod	
Specific Plan Units	59,254		1,626	34,238	23,390	Affordability based on Zoning and GP designation, and affordability requirements in the specific plan
Los Vinedos (Phase 1)	42	41			1	HOME funds
Nuestro Orgullo Self Help Homes	291	44	39		208	RDA Bond Proceeds
Highgrove Blossom Apartments	89	43	45		1	RDA, LIHTC (Built 2014)
Total	59,676	128	1,710	34,238	23,600	

Source: Riverside County Economic Development Agency, August 2015

Note: For more detailed information regarding the affordable units within the specific plans, refer to page H-105 and H-106.

Remaining RHNA to Accommodate

When looking at the total RHNA the County needs to accommodate, listed in Table H-33, and the approved or entitled projects listed in Table H-35 and the discussion on projected units, the County ~~does~~ not have a shortfall to meet its moderate- and above moderate-income RHNA.

However, the County ~~does have~~ ~~identify~~ a shortfall of 25,174 units in the very low- and low-income categories. Since the County ~~has~~ a shortfall in the very low- and low- income categories, at least 50 percent of the shortfall (12,587 units) ~~needed to~~ ~~must~~ be accommodated on sites designated for exclusively residential uses, at appropriate densities.

Table H-35 Determining RHNA Shortfall

Income Category	RHNA to Accommodate	Approved Projects	RHNA Shortfall to Accommodate
Very Low	17,719	128	17,591
Low	9,293	1,710	7,853
Moderate	5,534	34,238	0
Above Moderate	12,725	23,600	0
Total	45,271	59,676	25,174

Source: SCAG, Riverside County, 2015

Note: With completion of the rezone and land use designation change in December 2016, the County no longer has a RHNA shortfall. This table is included to provide detail on the past shortfall from the first half of the planning period.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, as projects are processed through the Planning Department.</p>
	<p>1.1g: Continue to promote use of density bonus provisions and <u>adopt an ordinance to ensure consistency with state law.</u></p>	<p>General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p>	<p>TLMA</p>	<p>Ongoing. <u>Within 6 months of adoption of the Housing Element.</u></p>
	<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME</p>	<p>EDA</p>	<p>Review on a project by project bases, as projects are proposed.</p>
	<p>1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus. <u>The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting a minimum of: 11 households to Expand the Affordable Rental Housing Stock; 11 households to Improve the Conditions of Substandard Housing; and 11 households to Address Farmworker Housing Needs.</u></p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing Authority</p>	<p>Ongoing, as projects are processed, and annual outreach with local developers.</p>
	<p>1.1j) Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>EDA</p>	<p>Annually</p>
<p>Policy 1.2: Ensure the availability of suitable sites for the development of affordable housing to meet the needs of all household income levels, including farm workers and other special needs populations.</p>	<p>1.2a To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2f), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and an equitable development pattern. . Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1b.</p>	<p>General Fund</p>	<p>TLMA/GIS</p>	<p>Annually monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p> <p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households. <u>The County will assist approximately a minimum of 83 households with the MHTL program.</u></p>	<p>General Fund</p> <p>Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p>	<p>EDA/Housing Authority</p> <p>EDA/Housing Authority</p>	<p>Annually meet with developers.</p> <p>Once funding has been approved and As loans are processed. Based on HOME funds availability at the time of application.</p>
Policy 1.4: Assist in the development of additional housing for the mentally disabled.	<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>		Department of Mental Health	Ongoing.
	<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>HUD Supportive Housing Program, Shelter Plus Care</p>	Department of Public Social Services	<p>Meet annually with County legislative advocates to address implications of new legislation.</p> <p>Within the two years of adoption of the Housing Element.</p> <p>Ongoing, throughout the planning period.</p>
	<p>1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p> <p>1.4d: Promote the integration of special needs housing into affordable housing communities.</p>		<p>Department of Mental Health in conjunction with EDA</p> <p>Department of Mental Health</p>	
	<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.</p>	<p>HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill program, Supportive Housing Program/Shelter Plus Care program</p>	Department of Public Social Services	<p>Ongoing, throughout the planning period.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.7d: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	General Fund	EDA/TLMA	Consider adopting provisions within two years. Continue to pursue on an ongoing basis.
	<p>1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing.</p>	General Fund	EDA/TLMA	Explore options by the end of 2017 consider adopting an ordinance by the end of 2018.
GOAL 2: TO CONSERVE AND IMPROVE THE CONDITION OF THE HOUSING STOCK, PARTICULARLY AFFORDABLE HOUSING.				
<p>Policy 2.1: Continue to pursue all available federal, state, and local funds to assist housing rehabilitation.</p>	<p>2.1a: When funding is available, advertise and promote the availability of funds for the following: Rehabilitation of single-family and mobile home dwelling units. Rehabilitation of multifamily units.</p>	HOME and other HUD and HCD grants as they become available.	EDA	Ongoing, as funding is available. Provide informational materials as funding permits. Entitled, apply annually HCD and HUD.
	<p>2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.</p>	HUD Capital funds	Housing Authority	Ongoing, throughout the planning period.
	<p>2.1c: Continue utilization of tax-exempt private activity bonds for the financing of multifamily housing rehabilitation.</p>	Tax-exempt private activity bonds	EDA/Housing Authority	As projects come forward assist with the process for applying for funding on the developers behalf.
	<p>2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards. <u>The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting a minimum of 85 households.</u></p>	CDBG	EDA/	Continue program when funding becomes available.
	<p>2.1e: Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single-family housing through weatherization and/or rehabilitation.</p>	Department of Energy, Southern California Gas, California Conservation Corp.	DCA	As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>2.1f Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p>	<p>EDA/Housing Authority</p>	<p>Once funding has been approved. Assist at least 5 households during the planning period.</p>
	<p>2.1g Through the Home Enhancement Program the, assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>CDBG</p>	<p>EDA</p>	<p>Provide grants to at least 5 households throughout the planning period.</p>
	<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Develop a plan by summer 2017 2019</p>
<p>Policy 2.2: Enhance the quality of existing residential neighborhoods by including adequate maintenance of public facilities in the County's capital improvement program and requiring residents and landlords to maintain their properties in good condition.</p>	<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>		<p>Building and Safety Department/ Department of Environmental Health, Code Enforcement</p>	<p>Ongoing, on a case-by-case basis.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>Policy 3.2: Provide housing information and counseling to low-income households and households with special housing needs.</p>	<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>	<p>First Time Home Buyer Down Payment Assistance Program</p>	<p>EDA/ Fair Housing Council</p>	<p>Ongoing, as funding permits.</p>
<p>Policy 3.3: Provide housing services to persons with special needs, including child care, and the homeless.</p>	<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage “universal design” features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs. Develop aContinue to review the County’s policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities to ensure consistency with state law. Specifically review section 6. e. of the current procedure and revise as necessary.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County’s website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>	<p>Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p>	<p>Ongoing, as projects are processed. Develop a Revise the County’s reasonable accommodation procedure by Springearly 2018. Develop an outreach program by early 2018.</p>	<p>Ongoing, as projects are processed. Develop a Revise the County’s reasonable accommodation procedure by Springearly 2018. Develop an outreach program by early 2018.</p>
<p>Policy 3.3b: Provide housing services to persons with special needs, including child care, and the homeless.</p>	<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates). 2. Family Unification Program. 3. Family Self Sufficiency (FSS) Program. 4. Housing Opportunities for Persons with AIDS (HOPWA). 5. Veteran’s Affairs Supportive Housing Program (VASH). 6. Foster Care Youth Program. 7. Tenant Based Rental Assistance Program.</p>	<p>HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p>	<p>Housing Authority, EDA, DPSS</p>	<p>Programs will continue as funding is obtained.</p>



PECHANGA CULTURAL RESOURCES
Temecula Band of Luiseño Mission Indians

Post Office, Box 2183 • Temecula, CA 92593
Telephone (951) 770-6300 • Fax (951) 506-9491

June 20, 2017

Chairperson:
Neal Ibanez

Vice Chairperson:
Bridgett Barcello

Committee Members:
Andrew Masiel, Sr.
Darlene Miranda
Evie Gerber
Richard B. Scearce, III
Robert Villalobos

Director:
Gary DuBois

Coordinator:
Paul Macarro

Planning Specialist:
Tuba Ebru Ozdil

VIA E-MAIL and USPS

Heather Thomson
County Archaeologist
Riverside County, Planning Department
4080 Lemon Street, 12th Floor
Riverside, California 92502

Re: Pechanga Tribe Request for Consultation Pursuant to SB 18 for General Plan Amendment No. 1218

Dear Ms. Thomson:

This letter is written on behalf of the Pechanga Band of Luiseño Indians (hereinafter, “the Tribe”), a federally recognized Indian tribe and sovereign government in response to the SB 18 notice provided by Riverside County. This letter serves as the Tribe’s formal request for consultation under SB 18 for this Project. The Tribe hereby invokes its right to consult with Riverside County under SB 18 and after reviewing the information requested below, we may request additional consultation, which may include a face-to-face meeting.

Further, the Tribe formally requests, pursuant to Public Resources Code §21092.2, to be notified and involved in the entire CEQA environmental review process for the duration of the above referenced project (the “Project”). Please add the Tribe to your distribution list(s) for public notices and circulation of all documents, including environmental review documents, archeological reports, and all documents pertaining to this Project. The Tribe further requests to be directly notified of all public hearings and scheduled approvals concerning this Project. Please also incorporate these comments into the record of approval for this Project.

The Pechanga Tribe asserts that the Project area is part of ‘*Atáaxum* (Luiseño), and therefore the Tribe’s, aboriginal territory as evidenced by the existence of ‘*Atáaxum* place names, *tóota yixélval* (rock art, pictographs, petroglyphs), and an extensive Luiseño artifact record in the vicinity of the Project. This culturally sensitive area is affiliated with the Pechanga Band of Luiseño Indians because of the Tribe’s cultural ties to this area as well as extensive history with both this Project and other projects within the area. During our consultation we will provide more specific, confidential information on the resources located on and near this Project.

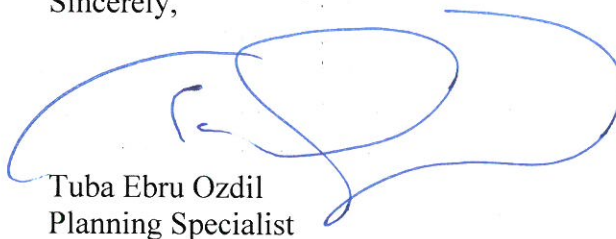
The Tribe has not received the Housing Element update draft for this Project. Please provide us copies of all available [reports, drafts, etc.] as soon as possible so that we may review them prior to our initial SB 18 meeting.

As you know, the SB 18 consultation process is ongoing and continues for the duration of the Project. As such, under both CEQA and SB 18 we look forward to working closely with Riverside County on ensuring that a full, comprehensive environmental review of the Project's impacts is completed. Further, we hope to assist Riverside County with ensuring that the Project is designed to avoid impacts to cultural resources, as mandated by CEQA, in addition to developing mitigation measures addressing the culturally appropriate and respectful treatment of human remains, cultural resources and inadvertent discoveries.

In addition to those rights granted to the Tribe under SB 18, the Tribe reserves the right to fully participate in the environmental review process, as well as to provide further comment on the Project's impacts to cultural resources and potential mitigation for such impacts. Further, the Tribe reserves the right to participate in the regulatory process and provide comment on issues pertaining to the regulatory process and Project approval.

The Pechanga Tribe looks forward to working together with Riverside County in protecting the invaluable Pechanga cultural resources found in the Project area. Please contact me at 951-770-6313 or at eozdil@pechanga-nsn.gov once you have had a chance to review these comments so that we might address the issues concerning the mitigation language. Thank you.

Sincerely,



Tuba Ebru Ozdil
Planning Specialist

cc Pechanga Office of the General Counsel

Flores, Robert

From: Thomson, Heather
Sent: Thursday, July 06, 2017 3:39 PM
To: Ebru Ozdil - Pechanga (eozdil@pechanga-nsn.gov)
Cc: Hersh, Peter; Flores, Robert
Subject: GPA01218
Attachments: SLAS12PL2M17070615340.pdf

Follow Up Flag: Follow up
Due By: Friday, July 07, 2017 8:00 AM
Flag Status: Completed

Good afternoon Ebru-

Please find as an attachment, a letter regarding your request to consult on GPA01218.



RIVERSIDE COUNTY

PLANNING DEPARTMENT

Charissa Leach
Assistant Director of TLMA-Community Development

July 06, 2017

Subject: Request for Consultation for General Plan Amendment No. 1218

Dear Ms. Ozdil:

We are in receipt of the Tribe's June 20, 2017 request for consultation regarding General Plan Amendment No. 1218 (Housing Element mid-cycle update). Prior to the receipt of your letter, there was an exchange of emails with staff whereby we provided the following descriptive information on the nature of the mid-cycle update relative to the 2013-2021 Housing Element.

As you may recall, the County adopted its 2013-2021 Housing Element comprehensive update on December 6, 2016. That effort included both SB 18 and AB 52 consultation opportunities with the tribal nations in Riverside County, including the Pechanga Tribe. The reason for such consultation was that the 2013-2021 Housing Element proposed countywide land use changes which had the potential to affect cultural sites. Because the current mid-cycle Housing Element update follows so closely after the December adoption date of the 2013-2021 Housing Element, staff is only proposing to update key information tables and accompanying text. No land use changes are proposed. So, there is no potential for this mid-cycle update to affect any cultural sites either on or off tribal lands.

We have gone to great lengths to ensure that the focus of the mid-cycle update is on the information tables and accompanying text, and at that primarily to add statistical information from the 2010-2014 American Communities Survey. Therefore, we believe that an SB 18 consultation on the Housing Element mid-cycle update is not warranted.

Your letter also references a consultation pursuant Public Resources Code Section 21092.2 regarding the "CEQA environmental review process" which we take to mean a request for consultation under AB 52. Because of the nature of this mid-cycle update as stated above, we believe that this project has no possibility that it can have a significant effect on the environment, and as such, it would not be subject to a CEQA compliance determination. Therefore, we also believe that an AB 52 consultation is not warranted.

Please be advised that the Housing Element mid-cycle update is posted on the Housing Element webpage on the Planning Department's website. It can be reviewed at your convenience. Or, in the alternative, please contact me for a meeting, separate from a formal consultation process, to review the update with track changes here in the office.

Sincerely,

Heather Thomson
PLANNING DEPARTMENT

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



PC STAFF REPORT ATTACHMENT G
LETTER/RESPONSE - LC for J&A

July 19, 2017

Sent via email to: rflores@rivco.org
Riverside County Planning Department
P.O. Box 1209
Riverside, CA 92502

Re: Draft 2017 Mid-Cycle Housing Element Update

To Whom it May Concern:

We are writing with regards to the Riverside County's Draft 2017 Mid-Cycle Housing Element Update. As indicated in written correspondence from the County Planning Department to our office dated June 9, 2017, the Mid-Cycle Update modifies only certain information and data contained in the 2013-2021 Housing Element and includes no policy changes or housing needs strategies. Leadership Counsel for Justice and Accountability hereby incorporates all comments previously submitted by Leadership Counsel and by other parties on the 2013-2017 Housing Element and drafts of that document, including but not limited to comments submitted by the Public Interest Law Project dated March 29, 2017. However, since the County did not adopt its Housing Element for the fifth cycle until December 6, 2016, more than three years after its deadline¹, the County must complete a comprehensive update to its housing element by October 15, 2017. Gov. Code § 65588(e)(4) (requiring jurisdictions that fail to adopt a housing element revision within 120 days of the deadline to do so to update their housing element every four years until the jurisdiction has adopted at least two consecutive timely revisions.)

The information and data changes encompassed by the Mid-Cycle Update do not satisfy this requirement, and the limited scope of public comment indicated by the Planning Department's June 9th letter is inadequate. The County must immediately initiate a comprehensive update of its 2013-2021 Housing Element informed by a robust public process to obtain input from residents of all economic segments of the community, especially lower-income residents impacted by the lack of affordable housing units in the County. Gov. Code § 65583(c)(8). Please respond to this letter by providing a timeline for this update, including public workshops, stakeholder and resident meetings, and public hearings and releases of draft revisions and environmental reviews.

Please contact me at (559) 369-2786 with any questions or to find a time to discuss this letter over the phone.

¹ See HCD, Housing Element Update Schedule for Regional Housing Needs Assessment, available at <http://www.hcd.ca.gov/community-development/housing-element/docs/housing-element-update-schedule.pdf>

Sincerely,

A handwritten signature in blue ink that reads "awerner". The signature is written in a cursive, flowing style.

Ashley E. Werner
Senior Attorney
Leadership Counsel for
Justice and Accountability



RIVERSIDE COUNTY

PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

August 17, 2017

Leadership Counsel for Justice & Accountability
Attention: Ashley E. Werner, Senior Attorney
764 P Street, Suite 012
Fresno, CA 93721

Subject: Draft 2017 Mid-Cycle Housing Element Update

Dear Ms. Werner:

The Riverside County Planning Department has received your July 19, 2017 letter in response to our notification to interest groups which participated in a comprehensive Housing Element update, designated as the 2013-2021 Housing Element which was approved by the Board of Supervisors on December 6, 2016. As you know, we are now undertaking a limited scope mid-cycle update of the Housing Element pursuant to State law.

The focus of the mid-cycle update is to bring current the tables and related text in the Element specifically to address changes resulting from the 2010-2014 American Communities Survey and to update the County's efforts in furtherance of the Element's Eight Year Action Plan. There are no proposals for any land use, program, or strategic direction changes.

Your letter notes that a comprehensive update is required at this time pursuant to Government Code Section 65588(e)(4). The County will be proceeding with a comprehensive update when it begins to undertake preparation of the 2021-2029 Housing Element with that effort expected to commence sometime in 2018. The County's focus on the mid-cycle update is as stated above for the following reasons...

- The substantive components of the 2013-2021 Housing Element are current through December of last year. Therefore, there are no relevant land use, programmatic or strategic directional changes to consider at this time.
- There is no new Regional Housing Needs Allocation which has been prepared for the County which would otherwise necessitate such changes.

Additionally, the County is involved in active CEQA litigation filed in response to the County's CEQA determinations for General Plan Amendment (GPA) No. 960 and the 2013-2021 Housing Element (GPA No. 1122), which may impact implementation of GPA No. 960 and the 2013-2021 Housing Element depending on the outcome of the litigation.

Leadership Counsel for Justice & Accountability
August 17, 2017
Page 2

We look forward to working with the Leadership Counsel on the 2021-2029 Housing Element. We will notify your office when this effort is commenced and invite correspondence regarding changes to Housing Element at that time.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter Hersh", with a long horizontal flourish extending to the right.

Peter Hersh
Planning Consultant/Principal Planner

C: Charissa Leach, Assistant TLMA Director, Community Development
Phayvanh Nanthavongdouangsy, Principal Planner
Robert Flores, Urban/Regional Planner III
Shellie Clack, Deputy County Counsel

PC STAFF REPORT ATTACHMENT H
PLANNING COMMISSION RESOLUTION NO. 2017-08

2
3 **RESOLUTION No. 2017-008**

4 **RECOMMENDING ADOPTION OF GENERAL PLAN AMENDMENT NO. 1218**

5 **(2017 Mid-Cycle Housing Element Update)**

6
7 **WHEREAS**, on September 6, 2017, the Planning Commission continued the public hearing
8 without discussion for General Plan Amendment No. 1218 to September 20, 2017 because of an
9 administrative error associated with public noticing in a newspaper of general circulation; and,

10 **WHEREAS**, pursuant to the provisions of Government Code Section 65350, a public hearing was
11 held before the Riverside County Planning Commission in Riverside, California on September 20, 2017, to
12 consider the above-captioned matter; and,

13 **WHEREAS**, all the provisions of the California Environmental Quality Act and the Riverside
14 County CEQA implementing procedures have been satisfied; and,

15 **WHEREAS**, the matter was discussed fully with testimony and documentation presented by staff,
16 the public and affected government agencies; now, therefore,

17 **BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED** by the Planning Commission
18 of the County of Riverside, in regular session assembled on September 20, 2017, that is has reviewed and
19 considered the staff report, staff's presentation and input from the public, and recommends the following
20 based on the staff report's findings and conclusions:

21 **FIND** General Plan Amendment No. 1218 exempt from CEQA pursuant to pursuant to State
22 CEQA Guidelines Section 15061(b)(3); and,

23 **TENTATIVELY APPROVE** General Plan Amendment No. 1218.
24
25
26
27
28

AVISO DE AUDIENCIA PUBLICA

UNA AUDIENCIA PÚBLICA ha sido programada, de acuerdo con la Ordenanza Número 348 del Condado de Riverside (Riverside County Land Use Ordinance No. 348), ante la Comisión de Planificación del Condado para considerar el proyecto que se muestra a continuación:

GENERAL PLAN AMENDMENT NO. 1218 (Entitlement/Policy Amendment) – CEQA Exempt – Applicant: County of Riverside – All Supervisorial Districts – All Area Plans – All Zoning Areas/Districts – All Zoning – Location: Unincorporated areas of Riverside County – **REQUEST (Traducción Española):** La actualización del Elemento de Vivienda de ciclo medio 2017 (General Plan Amendment No. 1218) incluye cambios limitados al Elemento de Vivienda 2013-2021 que fue adoptado el 6 de diciembre de 2016. Debido a que el Elemento de Vivienda 2013-2021 es esencialmente actual, el foco de la actualización de ciclo medio 2017 es para proporcionar información y datos actuales, si tal está disponible, en las tablas del Elemento de Vivienda y en el texto adjunto, según sea necesario, que incluye una actualización del estado de implementación del Plan de Acción de Ocho Años. No se consideran cambios en los usos de la tierra, el programa o la estrategia de necesidades de vivienda en este momento dentro del contexto de este alcance limitado. El Plan de Acción de Ocho Años también se encuentra en el Apéndice K del Plan General. Con fin de eliminar la confusión y la redundancia, el Plan de Acción de Ocho Años será removido del Apéndice K, pero mantendrá como componente crítico del Elemento de Vivienda. – Planificador de Proyecto: Roberto Flores por teléfono al (951) 955-1195 o por correo electrónico a RFlores@rivco.org.

HORA DE LA AUDIENCIA:	9:00 am o lo antes posible
FECHA DE LA AUDIENCIA:	20 de septiembre de 2017
LUGAR DE LA AUDIENCIA:	RIVERSIDE COUNTY ADMINISTRATIVE CENTER BOARD CHAMBERS, 1ST FLOOR 4080 LEMON STREET, RIVERSIDE, CA 92501

Para más información sobre este proyecto, por favor póngase en contacto con Roberto Flores por teléfono al (951) 955-1195 o por correo electrónico a rflores@rivco.org, o visite la página web de agendas de la Comisión de Planificación del Condado en <http://planning.rctlma.org/PublicHearings.aspx>.

El Departamento de Planificación del Condado de Riverside ha determinado que la aplicación arriba descrita está exenta de las disposiciones de la Ley de California Environmental Quality Act (CEQA). La Comisión de Planificación considerará la solicitud propuesta en la audiencia pública.

El expediente del proyecto propuesto se puede ver de lunes a viernes, a partir de las 8:00 de la mañana a 5:00 de la tarde en la oficina del Departamento de Planificación, ubicada en 4080 Lemon St. 12th Floor, Riverside, CA 92501.

Cualquier persona que desea comentar sobre el proyecto propuesto puede hacerlo por escrito entre la fecha de esta notificación y de la audiencia pública; o puede aparecer y ser escuchado en el tiempo y lugar indicados anteriormente. Todos los comentarios recibidos antes de la audiencia pública serán presentados a la Comisión de Planificación del Condado de Riverside, el cual considerará tales comentarios, además de los testimonios orales, antes de tomar una decisión sobre el proyecto.

Si este proyecto es impugnado ante un tribunal, las cuestiones pueden ser limitadas a las presentadas en la audiencia pública, descrito en este aviso, o en la correspondencia escrita a la Comisión de Planificación en, o antes de, la audiencia pública. Tenga en cuenta que como resultado de la audiencia pública y los comentarios, la Comisión de Planificación puede modificar en total o en parte el proyecto.

Por favor envía toda la correspondencia en escrito a:
RIVERSIDE COUNTY PLANNING DEPARTMENT
A la atención de: Roberto Flores
P.O. Box 1409, Riverside, CA 92502-1409

NOTICE OF PUBLIC HEARING

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider the project shown below:

GENERAL PLAN AMENDMENT NO. 1218 (Entitlement/Policy Amendment) – Exempt from the California Environmental Quality Act (CEQA) – Applicant: County of Riverside – All Supervisorial Districts – All Area Plans – All Zoning Areas/Districts – All Zoning – Location: Unincorporated areas of Riverside County – **REQUEST:** The 2017 Mid-Cycle Housing Element Update (General Plan Amendment No. 1218) includes limited changes to the 2013-2021 Housing Element adopted on December 6, 2016. Because the 2013-2021 Housing Element was recently adopted, the focus of the 2017 Mid-Cycle Housing Element Update (“Update” or “GPA No. 1218”) is on providing information and data in the Housing Element tables where current information is available, and in the accompanying text, as needed, including a status update of implementing the Eight Year Action Plan. No land use, program, or housing needs strategy changes are being considered at this time within the context of this limited scope. The Eight Year Action Plan is also currently contained in General Plan Appendix K. In order to eliminate confusion and redundancy, the Eight Year Action Plan will be removed from Appendix K but will be maintained as a critical component of the Housing Element.

TIME OF HEARING: 9:00 am or as soon as possible thereafter.
DATE OF HEARING: **September 20, 2017**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
BOARD CHAMBERS, 1ST FLOOR
4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project, Project Planners, Peter Hersh at (951) 955-8514 or email at PHersh@rivco.org, or Robert Flores at (951) 955-1195 or email at RFlores@rivco.org, or go to the County Planning Department’s Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above-described application is exempt from the provisions of the California Environmental Quality Act (CEQA). The Planning Commission will consider the proposed application at the public hearing.

The case file for the proposed project may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon St. 12th Floor, Riverside, CA 92501.

Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed amendment.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that as a result of the public hearing and comments, the Planning Commission may modify, in whole or in part, the proposed amendment.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Peter Hersh
P.O. Box 1409, Riverside, CA 92502-1409



Chapter 8

Housing Element

Introduction

The Housing Element of the Riverside County (County) General Plan identifies and establishes the County’s policies with respect to meeting the needs of existing and future residents in Riverside County. It establishes policies that will guide County decision-making and sets forth an action plan to implement its housing goals over the next eight years. The commitments are in furtherance of the statewide housing goal of “early attainment of decent housing and a suitable living environment for every California family,” as well as a reflection of the concerns unique to Riverside County.

Consistency with State Planning Law

The Housing Element is one of the seven General Plan elements mandated by the state of California, as articulated in Sections 65580 to 65589.8 of the Government Code. State law requires that the Housing Element consist of “an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement and development of housing.” The residential character of the County is, to a large extent, determined by the variety, location, and maintenance of its housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population. It establishes policies that will guide County decision-making, and sets forth an action program to implement housing goals through 2021.

State law also requires that jurisdictions evaluate their Housing Elements every eight years to determine their effectiveness in achieving county and state housing goals and objectives, and to adopt an updated Housing Element that reflects the results of this evaluation. The 5th Cycle Housing Element statutory update in the Southern California Association of Governments (SCAG) region covers the planning period October 15, 2013, through October 15, 2021.

In 2013, Senate Bill (SB) 375 was amended with an emphasis on timely adoption of the Housing Element. If a jurisdiction subject to an eight-year planning period fails to adopt the element by the statutory due date and does not adopt the housing element within 120 days from the statutory due date, the jurisdiction must update and adopt the element at four-year intervals until at least two consecutive four-year updates have been adopted by the applicable due dates. Riverside County adopted its Housing Element in December 2016 and therefore is now on a four-year update cycle. The 5th Cycle Housing Element due date was October 15, 2013.

This Housing Element represents the County’s mid-cycle update, covering the 2014–2017 time frame. Once the County adopts the 2014–2017 mid-cycle update, [and submits the 6th Cycle Housing Element by the required due date](#), the County will return to an eight-year cycle [for the 6th Cycle Housing Element](#).

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.1e: When funding is available, the County shall assist to write down land costs of acquiring sites, offer assistance with land acquisition, and other upfront costs as well as assistance in securing federal or state housing financing resources for projects which reserve a proportion of units affordable to lower-income households (incomes below 80 percent of the County median).</p>	<p>Resources: HOME and other HUD and HCD grants as they become available.</p> <p>Responsible Agency: EDA/Housing Authority, TLMA</p> <p>Time Frame: Review resources on an annual basis through 2021.</p>	<p>Between 2013 and 2016, the County provided annual acquisition cost assistance using HOME funds for the 4- phase Blossom Apartments in the unincorporated Valle Vista community. The County will continue to annually review the availability of funding sources for such purpose.</p>	<p>Continue.</p>
<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>Resources: General Fund</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing, as projects are processed through the Planning Department.</p>	<p>The County remains committed to fast-track processing of affordable and special needs residential projects in the affected zoning classifications, including the R-7 classification as provided under the Constraints section of the Housing Element. However, since the inception date of this Housing Element, no projects no private or special needs projects were proposed which would have been considered for expedited processing.</p>	<p>Continue.</p>
<p>1.1g: Continue to promote use of density bonus provisions and ensure consistency with state law.</p>	<p>Resources: General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p> <p>Responsible Agency: TLMA</p> <p>Time Frame: Ongoing.</p>	<p>To support significant affordable and special needs housing projects, the County provides for fast-track processing and the use of density bonus provisions established by State Law, pursuant to Government Code Section 65915. However, since the inception date of this Housing Element, no private or special needs projects were proposed which would have been considered for a density bonus in return for providing affordable housing. It should be noted that the newly created HHDR General Plan land use designation allows densities of up to 40 units per acre and will likely provide sufficient flexibility regarding the financing for residential projects with affordable units so that consideration of a density bonus may not be needed. The concurrently created R-7 zone provides greater flexibility regarding site development standards in order to achieve the higher densities attainable with the HHDR land use designation.</p>	<p>Continue.</p>
<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>Resources: HOME</p> <p>Responsible Agency: EDA</p>	<p>A Community Housing Development Organization (CHDO) is a private nonprofit, community-based service organization that has obtained or intends to obtain staff with the capacity to develop affordable housing for the community it serves. As a Participating Jurisdiction (PJ), the County of Riverside must set-aside at least</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households.</p>	<p>Resources: Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Once funding has been approved and as loans are processed. Based on HOME funds availability at the time of application.</p>	<p>The County's Mobile Home Tenant Loan (MHTL) program was established to improve substandard living conditions of mobile home owners living in un-permitted mobile home parks. The MHTL program provides financial assistance to mobile home owners by providing a zero percent (0%) interest loan in an amount up to \$45,000. The funds from the loan are used to purchase a unit that will replace the existing substandard unit and will be installed in a permitted site. In 2013, a total of 180 households were assisted through the MHTL program (60 were extremely low-income and 120 were very low-income.) As a supplement to the MHTL loan, HCD Farm Worker Housing Grants (FWHG) were utilized to provide a matching source of funds. The County supplemented 157 MHTL loans. The County also provided RDA funding to construct the mobile home park, Mountain View Estates, thereby restricting affordability through recorded covenants and regulatory agreements. No MHTL funds were available between 2014 and 2016 because such funds were based on redevelopment agency property tax proceeds which could no longer be encumbered since the legislature eliminated redevelopment agencies in 2012.</p> <p>On September 13, 2016, the Housing Authority of the County of Riverside Board of Commissioners approved funding for the MHTL program to assist approximately 83 households.</p> <p>No HOME funds have been used to assist the development of farmworker housing units.</p>	Continue.
<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>	<p>Resources:</p> <p>Responsible Agency: Department of Mental Health</p> <p>Time Frame: Ongoing.</p>	<p>Through the Riverside Community Health System - Behavior Health, the County provides diversified services to those living on the streets or at risk of homelessness, including the mentally ill. This effort is managed by an administrative services manager through the Housing Opportunities Partnerships and Education program (HHOPE).</p>	Continue.
<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>Resources: HUD Supportive Housing Program, Shelter Plus Care</p> <p>Responsible Agency: Department of Public Social Services</p>	<p>Between 2013 and 2016, the County provided assistance through the Shelter Plus Care Housing Program to 128 qualified units for sheltering homeless persons with disabilities. During the period, the annual assistance subsidy for this number of units has been between approximately \$925,000 and \$1 million.</p> <p>Meetings to address the implications of new legislation are conducted as bills are proposed and signed at least annually, and more frequently as needed to address impacts on the County.</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>throughout the planning period.</p> <p>Resources: General Fund</p> <p>Responsible Agency: EDA/TILMA</p> <p>Time Frame: Develop a plan by summer 2017.</p>	<p>The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations. Although a formal plan has not yet been created, the County will manage staff resources and will continue to move forward to develop a plan to conduct proactive rehabilitation efforts as budget and staffing permits. A formal process beyond this will not be developed due to significant general fund budget limitations in the foreseeable future.</p> <p>Therefore, the County does not see a need to develop a plan at this time because on-going rehabilitation funding requests and rehabilitation required as a result of code enforcement complaints.</p>	<p>Continue.</p>
<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>	<p>Resources:</p> <p>Responsible Agency: Building and Safety Department/ Department of Environmental Health, Code Enforcement</p> <p>Time Frame: Ongoing, on a case-by-case basis.</p>	<p>The County continues to implement a pro-active code enforcement program which responds to citizen complaints resulting in citations and correction requirements. Code enforcement officers also issue citations and correction requirements based on their own observations.</p>	<p>Continue.</p>
<p>2.2b Through the Mobile Home Tenant Loan Foreclosure/Abandonment Program, the County will provide assistance where it is economically feasible to recover and preserve an abandoned or foreclosed mobilehome and return it to the affordable housing stock.</p>	<p>Resources: Low and Moderate Income Housing Asset Funds, 2010 Housing Taxable Bond Proceeds</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: Preserve a minimum of 17 mobilehomes</p>	<p>Because this program was recently approved by the County in November 2015, program implementation has just started so that no mobile homes have been returned to the affordable housing stock.</p>	<p>Continue.</p>

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments.</p> <p>2. Education and training of County staff.</p> <p>3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers, and residents in emergency shelters and transitional housing facilities.</p>	<p>Resources: CDBG</p> <p>Responsible Agency: EDA/Housing Authority</p> <p>Time Frame: EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p>	<p>The County continues to use the Fair Housing Council of Riverside County to complete audits of lenders and rental establishments.</p> <p>Annually, housing staff attend workshops hosted by the Fair Housing Council of Riverside County to obtain the latest updates in regulations, best practices and discuss current issues facing lenders, property managers, homebuyers and renters.</p>	Continue.
<p>3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements.</p>	<p>Resources:</p> <p>Responsible Agency: EDA</p> <p>Time Frame: 2019</p>	<p>The next update to the County's Analysis of Impediments which has been renamed Affirmatively Furthering Fair Housing (AFFH) is in 2019.</p>	Continue.
<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>	<p>Resources: First Time Home Buyer Down Payment Assistance Program</p> <p>Responsible Agency: EDA/Fair Housing Council</p> <p>Time Frame: Ongoing, as funding permits.</p>	<p>In 2016, the Fair Housing Council served 2470 persons including a combination of landlord and tenant contacts, fair housing contacts, foreclosure prevention counseling, various workshops, and general one on one counseling.</p>	Continue.
<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following:</p> <p>Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities.</p> <p>Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law</p>	<p>Resources:</p> <p>Responsible Agency: Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p> <p>Time Frame: Ongoing, as projects are processed.</p>	<p>The County's HOME Investment Partnership Act (HOME) program, a federally funded program, follows housing accessibility requirements at 24 CFR Part 8, complying with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794) and the Disability/Accessibility Provisions of the Fair Housing Act of 1988. Dwelling units must be designed and constructed in accordance with the Uniform Federal Accessibility Standards (UFAS) which is deemed to comply with the Section 504 regulation. 24 CFR Part 8.22, New construction—housing facilities, provides requirements for new construction of multi-family projects, that 5 percent (5%) of the units (but not less than one unit) must be accessible to individuals with mobility impairments, and an additional 2 percent (2%) of the units (but not</p>	Continue.

Actions	Implementing Resources	Evaluation	Continue, Modify, or Delete
<p>to be affordable to persons with disabilities or persons with special needs.</p> <p>Develop a policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County's website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>	<p>Develop a reasonable accommodation procedure by Spring 2016.</p> <p>Develop an outreach program by Spring 2016.</p>	<p>less than one unit) must be accessible to individuals with sensory impairments. It should be noted that Section XIXe of Ordinance 348.4840, amended in June 2016, addresses reasonable accommodation needs for persons with disabilities, consistent with state law.</p> <p>Additionally, the County's Building Code provides accessibility criteria for disabled persons. There is no separate design criteria provided in the Building Code.</p> <p>The County provides personal and web site assistance to persons with disabilities and therefore requiring special accommodations, specifically for residents who are completing applications for Section 8 or Public Housing Programs. Additionally, the County has prepared a guide book with procedures for the disabled to pursue Section 8 assistance.</p> <p>There is no separate coordination with the Inland Regional Center regarding services for disabled persons.</p>	
<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates).</p> <p>2. Family Unification Program.</p> <p>3. Family Self Sufficiency (FSS) Program.</p> <p>4. Housing Opportunities for Persons with AIDS (HOPWA).</p> <p>5. Veteran's Affairs Supportive Housing Program (VASH).</p> <p>6. Foster Care Youth Program.</p> <p>7. Tenant Based Rental Assistance Program.</p>	<p>Resources: HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p> <p>Responsible Agency: Housing Authority, EDA, DPSS</p> <p>Time Frame: Programs will continue as funding is obtained.</p>	<p>The County used the following programs to assist households in 2013:</p> <p>Housing Choice Voucher Section 8 (HCV) Program. The County's HCV program is a HUD-funded rental assistance program that subsidizes the monthly rent for low-income families throughout Riverside County. Households are recertified for continued assistance once a year. The HCV program pays landlords annually on behalf of low income families. Approximately \$69,973,083 in total Housing Assistance Payments (HAP) assisted 8,713 clients. Of the clients served, whose incomes at admission must be at or below 50% AMI, 237 households were veterans and 4,554 were disabled and/or elderly including veterans.</p> <p>Family Self Sufficiency (FSS) Program.</p> <p>The FSS Program assists families to become economically independent from government financial assistance within a five-year period. In 2013, the FSS program served 547 participants. A total of 9 families graduated and therefore no longer required rental assistance. Of the graduates, 1 has purchased their own homes.</p> <p>Housing Opportunities for Persons with AIDS (HOPWA). In fiscal year 2012-13, the HOPWA program provided a total of</p>	<p>Continue.</p>

Approved Housing Units

One way of meeting a portion of the County's RHNA is to look at approved, entitled, or built projects' "available units." These units can be subtracted from the total allocation if they were available prior to the 5th Housing Element cycle deadline of October 2014. Table H-34 lists the approved or entitled projects that were available before the deadline.

Table H-34 Approved or Entitled Projects Prior to October 2014

Project/Unit	Total Proposed Units	Affordability Level				Funding Source
		Very Low	Low	Mod	Abv. Mod	
Specific Plan Units	59,254		1,626	34,238	23,390	Affordability based on Zoning and GP designation, and affordability requirements in the specific plan
Los Vinedos (Phase 1)	42	41			1	HOME funds
Nuestro Orgullo Self Help Homes	291	44	39		208	RDA Bond Proceeds
Highgrove Blossom Apartments	89	43	45		1	RDA, LIHTC (Built 2014)
Total	59,676	128	1,710	34,238	23,600	

Source: Riverside County Economic Development Agency, August 2015

Remaining RHNA to Accommodate

When looking at the total RHNA the County needs to accommodate, listed in Table H-33, and the approved or entitled projects listed in Table H-35 and the discussion on projected units, the County does not have a shortfall to meet its moderate- and above moderate-income RHNA.

However, the County does have identify a shortfall of 25,174 units in the very low- and low-income categories. Since the County has a shortfall in the very low- and low- income categories, at least 50 percent of the shortfall (12,587 units) needed to must be accommodated on sites designated for exclusively residential uses, at appropriate densities.

Table H-35 Determining RHNA Shortfall

Income Category	RHNA to Accommodate	Approved Projects	RHNA Shortfall to Accommodate
Very Low	17,719	128	17,591
Low	9,293	1,710	7,853
Moderate	5,534	34,238	0
Above Moderate	12,725	23,600	0
Total	45,271	59,676	25,174

Source: SCAG, Riverside County, 2015

Note: With completion of the rezone and land use designation change in December 2016, the County no longer has a RHNA shortfall. This table is included to provide detail on the past shortfall from the first half of the planning period.

Chapter 8 Housing Element

[Eastern Coachella Valley Area Plan](#)

Table H-37 Eastern Coachella Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Mecca Town Center										
Vacant Parcels										
727112011	38.69	HDR	A-1-5	HHDR	R-7	30	1161		1	1
727112002	38.59	HDR	A-1-5	HHDR	R-7	30	1158		1	2
727112024	39.75	HDR	A-1-5	HHDR	R-7	30	1192		1	6
727112023	39.52	HDR	A-1-5	HHDR	R-7	30	1186		1	7
727111009	39.32	MHDR	A-1-5	HHDR	R-7	30	1180		1	5
727111008	38.60	MHDR	A-1-5	HHDR	R-7	30	1158		1	4
727100006	39.37	RR	A-1-5	MUA (50% HHDR)	MIXED USE	30		591	2	1
727100003	37.48	RR	A-1-5	MUA (50% HHDR)	MIXED USE	30		562	2	2
727100007	12.43	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30		186	3	1
727250005	42.79	VHDR	W-2	MUA (50% HHDR)	MIXED USE	30		642	4	2
727250005	15.46	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		232	4	2
727271019	43.98	AG	W-2	MUA (75% HHDR)	MIXED USE	30		990	5	2
727271020	8.26	CR	W-2	MUA (75% HHDR)	MIXED USE	30		186	5	3
727271005	3.25	MDR	W-2	MUA (75% HHDR)	MIXED USE	30		73	5	5
727271020	6.5	VHDR	W-2	MUA (75% HHDR)	MIXED USE	30		146	5	3
727271019	38.52	AG	W-2	MUA (75% HHDR)	MIXED USE	30		867	5	2
727272026	72.7	AG	A-1-5	MUA (25% HHDR)	MIXED USE	30		545	6	3
Subtotal							7,035	5,020		

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
North Shore Town Center										
Vacant Sites										
723143003* Bermejo	0.62	VLDR	W-2	HHDR	R-7	30	18		1	83
723143004* Bermejo	0.49	VLDR	W-2	HHDR	R-7	30	15		1	89
723162008* Milner	0.3	VLDR	W-2	HHDR	R-7	30	9		1	22
723162009* Milner	0.3	VLDR	W-2	HHDR	R-7	30	9		1	25
723162022* Milner	0.41	VLDR	W-2	HHDR	R-7	30	12		1	53
723162023* Milner	0.38	VLDR	W-2	HHDR	R-7	30	11		1	71
723173002* Palacios ¹	0.25	VLDR	W-2	HHDR	R-7	30	8		1	54
723144006* Allen	0.36	VLDR	W-2	HHDR	R-7	30	11		1	84
723144005* Allen	0.37	VLDR	W-2	HHDR	R-7	30	11		1	88
723162003* Miranda ¹	0.3	VLDR	W-2	HHDR	R-7	30	9		1	5
723161009* Roberts ¹	0.35	VLDR	W-2	HHDR	R-7	30	11		1	30
723162007* Zaragoza ¹	0.29	VLDR	W-2	HHDR	R-7	30	9		1	21
723163002* Spooner	0.17	VLDR	W-2	HHDR	R-7	30	5		1	66
72316300* Spooner ¹	0.17	VLDR	W-2	HHDR	R-7	30	5		1	109
723163003* Perez	0.16	VLDR	W-2	HHDR	R-7	30	5		1	10
723163017* Perez	0.17	VLDR	W-2	HHDR	R-7	30	5		1	106
723174005* Schall	0.38	VLDR	W-2	HHDR	R-7	30	11		1	18
723174006* Schall	0.37	VLDR	W-2	HHDR	R-7	30	11		1	32
723174002* Palafox	0.37	VLDR	W-2	HHDR	R-7	30	11		1	6
723174001 Palafox	0.36	VLDR	W-2	HHDR	R-7	30	11		1	28
723162015	0.59	VLDR	W-2	HHDR	R-7	30	18		1	13
723174017	0.6	VLDR	W-2	HHDR	R-7	30	18		1	24
723162013	0.59	VLDR	W-2	HHDR	R-7	30	18		1	27
723174021	0.55	VLDR	W-2	HHDR	R-7	30	16		1	46

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
723174020	0.55	VLDR	W-2	HHDR	R-7	30	17		1	47
723174013	0.88	VLDR	W-2	HHDR	R-7	30	26		1	73
725160014	3.28	VLDR	W-2	HHDR	R-7	30	99		1	100
723124004	0.55	VLDR	W-2	HHDR	R-7	30	16		1	103
723141001	1.08	VLDR	W-2	HHDR	R-7	30	32		1	119
725150008	2.17	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		23	2	59
725160003	2.58	CT	W-2	MUA (35% HHDR)	MIXED USE	30		27	2	60
725160002	9.84	CT	W-2	MUA (35% HHDR)	MIXED USE	30		103	2	63
725160010	2.15	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		23	2	64
725160004	4.83	CT	W-2	MUA (35% HHDR)	MIXED USE	30		51	2	67
723240002	4.71	MDR	W-2	MUA (35% HHDR)	MIXED USE	30		49	2	69
725210005	21.27	CT	W-2	MUA (35% HHDR)	MIXED USE	30		223	2	77
723240012	59.35	CT	W-2	MUA (35% HHDR)	MIXED USE	30		623	2	79
723221001	6.32	OR	W-2	MUA (35% HHDR)	MIXED USE	30		66	2	81
725210012	11.86	CT	W-2	MUA (35% HHDR)	MIXED USE	30		125	2	82
725210005	7.92	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		83	2	77
725160004	3.7	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		39	2	67
725160002	2.45	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		26	2	63
725160001	15.29	CT	W-2	MUA (35% HHDR)	MIXED USE	30		161	2	61
725150007	5.23	CT	C-P-S	MUA (35% HHDR)	MIXED USE	30		55	2	80
Subtotal							457	1,677		

Underutilized Sites (see site description following this table)

723173003* Palacios	0.28	VLDR	W-2	HHDR	R-7	30	9		1	58
723162004* Miranda	0.3	VLDR	W-2	HHDR	R-7	30	9		1	16
723174014* Roberts	0.37	VLDR	W-2	HHDR	R-7	30	11		1	64
723162006* Zaragoza	0.29	VLDR	W-2	HHDR	R-7	30	9		1	31

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
723162014	0.6	VLDR	W-2	HHDR	R-7	30	18		1	12
723174028	0.74	VLDR	W-2	HHDR	R-7	30	22		1	108
723162027	0.53	VLDR	W-2	HHDR	R-7	30	16		1	45
Subtotal							93	0		
Oasis Town Center										
Vacant Parcels										
755142011	38.37	AG	W-2	MUA (50% HHDR)	MIXED USE	30		576	1	1
755162011	2.81	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		42	2	5
755162009	9.42	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		141	2	10
755162011	1.95	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		29	2	5
755162001	5.07	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		76	2	6
755162004	8.2	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		123	2	1
755161010	19.37	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		291	2	14
755161009	18.39	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		276	2	3
755161009	2.08	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		31	2	3
755162003	7.02	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		105	2	12
755162003	1.96	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		29	2	12
755161008	17.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		261	2	11
755161008	14.25	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		214	2	11
755161014	8.89	AG	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		133	2	9
755161014	5.6	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		84	2	9
755161014	6.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		96	2	9
755162010	4.91	AG	A-1-10	MUA (50% HHDR)	MIXED USE	30		74	2	4
Subtotal							0	2,581		

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New- Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Thermal Town Center										
Vacant Parcels										
757090027	8.21	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		123	1	3
757090028	20.56	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		308	1	1
757090029	46.32	MHDR	M-SC	MUA (50% HHDR)	MIXED USE	30		695	1	2
757090004	76.51	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		1148	2	2
Subtotal							0	2,274		
Eastern Coachella Area Plan Total							7,586	11,552		

1. Site is contiguous with an underutilized site.

Underutilized sites

There are seven underutilized sites included in the Eastern Coachella Area Plan within the North Shore Town Center. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/16/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
723173003* Palacios ¹	0.28	HHDR	9	1	58	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162004* Miranda ¹	0.3	HHDR	9	1	16	MF - MOBILE HOME	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723174014* Roberts ¹	0.37	HHDR	11	1	64	R2 - RESIDENTIAL	Parcel has a single-family home on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
723162006* Zaragota ¹	0.29	HHDR	R-7	9	1	31	R2 - RESIDENTIAL	Parcel has a duplex on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162014	0.6	HHDR	R-7	18	1	12	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723174028	0.74	HHDR	R-7	22	1	108	R1 - RESIDENTIAL	Parcel is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.
723162027	0.53	HHDR	R-7	16	1	45	R2 - RESIDENTIAL	Parcel has a duplex on site and is in a development with a large portion of the lots remaining vacant. The property values have declined by more than 50% over the past 10 years. Rezoning to higher density will provide an opportunity to join with other parcels for a more viable land use.

1. Site is contiguous with a vacant site.

Chapter 8 Housing Element

Elsinore Area Plan

Table H-38 Elsinore Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/16/16	Proposed Zoning as of 12/16/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Lee Lake Community										
Vacant Parcels										
393070012* Corona Canyon	2.6	OS-W	W-1	MUA (30% HHDR)	MIXED USE	30		23	1	3
393070012* Corona Canyon	0.98	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		9	1	3
393070012* Corona Canyon	0.59	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		5	1	3
393070015* Chase	11.53	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		104	1	2
393070015* Chase	0.43	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		4	1	2
393070015* Chase	0.22	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		2	1	2
393070015* Chase	0.04	FWY	M-SC	MUA (30% HHDR)	MIXED USE	30		0	1	2
393070006* Sycamore Creek Marketplace	0.09	LI	N/A	MUA	MIXED USE	30			2	1
393070008* Sycamore Creek Marketplace	2.17	LI	M-SC	MUA	MIXED USE	30		0	2	2
393070009* Sycamore Creek Marketplace	1.9	LI	M-SC	MUA	MIXED USE	30		0	2	3
393070010* Sycamore Creek Marketplace	5.9	LI	M-SC	MUA	MIXED USE	30		0	2	4
393070007* Sycamore Creek Marketplace	1.14	LI	M-SC	MUA	MIXED USE	30		0	2	5
393070005* Sycamore Creek Marketplace	0.14	LI	M-SC	MUA	MIXED USE	30		0	2	6
						Subtotal	0	147		
Underutilized Parcels (see site description following this table)										
393070013* Dar Inv	12.2	LI	M-SC	MUA (30% HHDR)	MIXED USE	30		110	1	1
393070013* Dar Inv	0.07	OS-W	W-1	MUA (30% HHDR)	MIXED USE	30		0	1	1
						Subtotal	0	110		

Meadowbrook Town Center											
Vacant Parcels											
345220085		7.28	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		109	2	1
349080070		1.4	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		21	1	5
349100008		2.15	CR	R-A-2	MUA (50% HHDR)	MIXED USE	30		32	1	8
349342018		1.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	1	12
349080077		1.67	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		25	1	31
							Subtotal	0	207		
Elsinore Area Plan Total											
							0	464			

Underutilized sites

There are two underutilized sites included in the Elsinore Area Plan within the Lee Lake Community. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
391070056* Dar Inv	12.2	MUA (30% HHDR)	MIXED USE		1	1	C1 - COMMERCIAL	Very large parcel with 2 commercial buildings on site. Most of the parcel is vacant and available for additional development.
391070056* Dar Inv	0.07	MUA (30% HHDR)	MIXED USE		1	1	C1 - COMMERCIAL	Very large parcel with 2 commercial buildings on site. Most of the parcel is vacant and available for additional development.

Chapter 8 Housing Element

Harvest Valley/Winchester Area Plan

Table H-39 Harvest Valley/Winchester Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Winchester Community (West)										
Vacant Parcels										
462080006	9.64	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		72	1	1
462080009	8.75	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		66	1	3
462080012	8.36	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		63	1	4
462080007	9.53	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		71	1	7
462080008	8.63	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		65	1	9
462080010	8.33	MDR	A-1-10	MUA (25% HHDR)	MIXED USE	30		62	1	12
462090001	155.7	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		1168	1	14
462080005	5.18	MDR	R-R	MUA (25% HHDR)	MIXED USE	30		39	1	2
Subtotal							0	1,606		
Winchester Town Center										
Vacant Parcels										
462100037	0.59	MDR	R-R	HHDR	R-7	30	18		1	1
462100041	4.74	MDR	R-R	HHDR	R-7	30	142		1	2
462100005	1.93	MDR	R-R	HHDR	R-7	30	58		1	3
462100007	3.83	MDR	R-R	HHDR	R-7	30	115		1	4
462100012	0.81	MDR	R-R	HHDR	R-7	30	24		1	5
462100014	4.14	MDR	R-R	HHDR	R-7	30	124		1	6
462100015	5.22	MDR	R-R	HHDR	R-7	30	157		1	7
462100042	3.64	MDR	R-R	HHDR	R-7	30	109		1	8
462100010	1.75	MDR	R-R	HHDR	R-7	30	52		1	9
462100011	1.73	MDR	R-R	HHDR	R-7	30	52		1	10
462100008	1.03	MDR	R-R	HHDR	R-7	30	31		1	11
462140012	4.67	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		70	2	1

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
462140015	2.89	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		43	2	3
462151001	4.05	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		61	2	10
463060002	2.98	CR	R-R	MUA (50% HHDR)	MIXED USE	30		45	3	12
463080003	2.4	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		18	4	7
463100006	2.14	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		16	4	10
463100002	4.67	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		35	4	14
462100020	2.71	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		28	5	1
462100019	4.62	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		49	5	6
462100021	1.96	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		21	5	7
462100025	2.42	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		25	5	8
462110002	1.85	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		19	5	17
462110008	4.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		44	5	18
462110001	2.72	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		29	5	23
462110004	4.74	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		50	5	33
462110005	2.69	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		28	5	34
462174001	3.18	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		33	5	36
462110013	4.33	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	5	38
462110012	2.56	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		27	5	39
462164001	2.75	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		29	5	40
462110003	4.27	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	5	46
463118030	1.75	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		26	6	5
463142007	1.11	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		17	6	12
462120001	1.77	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		27	7	1
462120003	2.74	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		41	7	2
462120002	4.91	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		74	7	3
462120005	3.57	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		54	7	4
462120016	4.32	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		65	7	6

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
462120004	4.93	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		74	7	8
462120015	1.8	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		27	7	10
463160011	4.35	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		46	8	11
463160010	4.77	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	13
463160009	4.7	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		49	8	19
463160012	4.27	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		45	8	20
463160021	1.72	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		18	8	21
463160014	4.78	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	22
463120013	4.29	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		45	8	24
463160023	4.78	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		50	8	26
463160013	3.97	MDR	R-1	MUA (35% HHDR)	MIXED USE	30		42	8	27
463160017	4.39	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		66	9	2
463160015	2.93	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		44	9	3
463160018	2.5	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		38	9	4
463160019	2.52	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		38	9	5
463160020	4.34	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		65	9	6
463130005	2.6	CR	R-R	MUA (50% HHDR)	MIXED USE	30		39	9	7
463130001	4.43	CR	R-R	MUA (50% HHDR)	MIXED USE	30		66	9	8
463130008	4.32	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		65	9	10
463160016	1.94	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		29	9	12
463160022	2.45	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		26	8	25
463160048	2.27	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		24	8	18
463080009	2.73	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		21	4	1
463130007	2.05	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		31	9	1
463160031	4.86	MDR	R-R	MUA (35% HHDR)	MIXED USE	30		51	8	5
463100003	4.59	LDR	R-R	MUA (25% HHDR)	MIXED USE	30		34	4	13
Subtotal							883	2,195		

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Harvest Valley/Winchester Area Plan Total										
							883	3,801		

Highgrove Area Plan

Table H-40 Highgrove Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Highgrove Town Center										
Vacant Parcels										
255060016	12.87	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		290	3	2
255060015	8.09	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		182	3	4
255060017	6.54	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		147	3	6
255060018	10.8	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		243	3	8
255110015	7.39	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		166	3	9
255040010	6.99	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		105	1	12
255110003	4.9	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		110	3	13
255110005	4.93	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		111	3	14
255110006	4.84	LI	I-P	MUA (75% HHDR)	MIXED USE	30		109	3	15
255110004	4.87	LI	M-SC	MUA (75% HHDR)	MIXED USE	30		110	3	17
255040017	1.79	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		27	1	19
255040010	1.33	LI	I-P	MUA (50% HHDR)	MIXED USE	30		20	1	12
255170012	0.56	LDR	R-1-20000	HHDR	R-7	30	17		2	4
255170014	8.93	LDR	R-1-20000	HHDR	R-7	30	268		2	5
255170005	2.19	LDR	R-1-20000	HHDR	R-7	30	66		2	2
255170011	5.02	LDR	R-1-20000	HHDR	R-7	30	151		2	1
255040014	0.69	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		10	1	1

Chapter 8 Housing Element

255040015	3.01	LI	M-SC	MUA (50% HHDR)	MIXED USE	30	45	1	22
Subtotal							502	1,675	
Underutilized Parcels (see site description following this table)									
255170013	0.98	LDR	R-1-20000	HHDR	R-7	30	29	2	3
Subtotal							29	0	
Highgrove Area Plan Total							530	1,978	

Underutilized Sites

There is one underutilized site included in the Highgrove Area Plan within the Highgrove Town Center. The table below describes why this site is suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
255170013	0.98	HHDR	R-7	29	2	3	R-1 RESIDENTIAL	Parcel is part of a 9-acre group of four contiguous parcels owned by the same owner. This parcel will likely be joined with the other three parcels to form a larger project One parcel has a small structure and utility buildings. It is assumed that the parcels would be joined with the other parcels. The other parcels are part of a citrus grove.

Lakeview/Nuevo Area Plan

Table H-41 Lakeview/Nuevo Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Lakeview Town Center										
Vacant Parcels										
308150003	5.14	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		39	1	10
308150007	68.34	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		513	1	11
308140006	28.49	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		214	1	21
308140007	16.82	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		126	1	22
308150006	20.01	MDR	R-A-5	MUA (25% HHDR)	MIXED USE	30		150	1	50
426060004	3.78	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		57	3	1
426060005	10.52	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		158	3	2
426440007	5.63	MHDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		85	3	5
426060007	2.18	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		33	3	6
426440006	2.48	MHDR	SP ZONE	MUA (50% HHDR)	MIXED USE	30		37	3	8
426440008	3.81	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		57	3	9
426060020	1.9	CR	C-P-S	HHDR	R-7	30	57		5	1
426060002	0.64	CR	C-P-S	HHDR	R-7	30	19		5	2
426060003	4.9	CR	C-P-S	HHDR	R-7	30	147		5	3
426091001	2.33	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		35	6	7
426073008	1.23	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		18	6	11
426073009	1.31	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	6	12
426101004	1.11	MDR	R-1	HHDR	R-7	30	33		7	3
426101003	1.52	MDR	R-1	HHDR	R-7	30	46		7	4
426083007	1.5	CR	C-P-S	HHDR	R-7	30	45		7	5
426060022*	29.72	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		446	3	11

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
426060022*	0.27	CR	C-P-S	HHDR	R-7	30	8		5	4
426060006	4.84	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		73	3	4
426060012	1.75	CR	C-P-S	HHDR	R-7	30	52		5	5
Subtotal							407	2,061		
Nuevo Community (Western Area)										
Vacant Parcels										
307240004	9.61	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		144	1	2
307240007	9.56	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		143	1	4
307240060	9.79	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		147	1	5
307240008	9.29	MDR	R-1	MUA (50% HHDR)	MIXED USE	30		139	1	6
307240006	9.27	MDR	R-R	MUA (50% HHDR)	MIXED USE	30		139	1	7
307270026	0.88	CR	R-R	MUA (75% HHDR)	MIXED USE	30		20	2	3
307270027	0.76	CR	R-R	MUA (75% HHDR)	MIXED USE	30		17	2	4
307270025	1.12	CR	R-R	MUA (75% HHDR)	MIXED USE	30		25	2	5
310270012	1.81	CR	R-R	MUA (75% HHDR)	MIXED USE	30		41	2	10
310270014	15.09	CR	R-R	MUA (75% HHDR)	MIXED USE	30		339	2	11
310270006	4.73	CR	R-R	MUA (75% HHDR)	MIXED USE	30		107	2	12
310230027	9.67	CR	R-R	MUA (75% HHDR)	MIXED USE	30		218	2	14
310270011	1.88	CR	R-R	MUA (75% HHDR)	MIXED USE	30		42	2	17
310270013	2.17	CR	R-R	MUA (75% HHDR)	MIXED USE	30		49	2	20
307270029	1.75	CR	R-R	MUA (75% HHDR)	MIXED USE	30		39	2	22
307270012	1.05	CR	R-R	MUA (75% HHDR)	MIXED USE	30		24	2	23
307270023	6.55	CR	R-R	MUA (75% HHDR)	MIXED USE	30		147	2	27
307270019	4.83	CR	R-R	MUA (75% HHDR)	MIXED USE	30		109	2	30
Subtotal							0	1,889		
Lakeview/Nuevo Area Plan Total							407	3,950		

Mead Valley Area Plan

Table H-42 Mead Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Good Hope Community										
Vacant Parcels										
326240061	2.2	MDR	R-R	HHDR	R-7	30	66		2	9
326250039	3.65	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		33	1	10
326250029	1.3	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		12	1	19
326250037	4.25	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		38	1	25
326250043	4.34	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		39	1	26
326250011	9.96	MDR	R-R	HHDR	R-7	30	299		1	27
326240077	2.7	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		24	3	31
326240079	5.91	CR	R-R	MUA (30% HHDR)	MIXED USE	30		53	1	34
326250040	9.57	CR	R-R	MUA (30% HHDR)	MIXED USE	30		86	1	36
326250038	1.86	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		17	1	39
326250001	4.77	MDR	R-R	HHDR	R-7	30	143		2	48
326240085	1.64	MDR	R-R	MUA (30% HHDR)	MIXED USE	30		15	1	14
							Subtotal	508		
Mead Valley Community (I-215/Nuevo Rd. Vicinity)										
Vacant Parcels										
305270030	1.62	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		24	3	1
305270031	1.42	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		21	3	2
305270032	2.3	BP	A-1-1	MUA (50% HHDR)	MIXED USE	30		34	3	14
							Subtotal	0		
Mead Valley Town Center										
Vacant Parcels										
318130005	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	4
318160001	2.04	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		31	1	9

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
318160002	2.25	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		34	1	10
318140007	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	16
318130001	2.05	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		31	1	21
318160004	1.2	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		18	1	24
318070005	1.3	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		19	1	28
318130002	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	35
318070006	1.3	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	1	45
318070010	1.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	49
318100011	13.96	RC-LDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		209	2	1
318160003	1.13	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		17	1	38
318130012	3.2	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		48	1	32
Subtotal							0	495		
Mead Valley Area Plan Total							508	891		

The Pass Area Plan

Table H-43 The Pass Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Cabazon Town Center										
Vacant Parcels										
519180018	14.32	CR	C-P-S	HHDR	R-7	30	430		1	1
519330001	1.97	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		21	2	11
519180014	9.3	CR	W-2	MUA (35% HHDR)	MIXED USE	30		98	2	12
519330010	1.77	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		19	2	17
519330007	2.49	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		26	2	50

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
519330008	4.78	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		50	2	51
526023016	1.87	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		20	2	71
526021008	2.53	CR	C-P-S	MUA (35% HHDR)	MIXED USE	30		27	2	87
519240009	9.96	HI	M-SC	MUA (35% HHDR)	MIXED USE	30		105	3	2
519340002	9.61	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		101	3	5
519260003	1.48	LI	W-2-5	MUA (35% HHDR)	MIXED USE	30		16	3	6
519350001	8.9	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		93	3	14
519250006	4.18	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		44	3	18
519320012	2.74	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		29	3	24
519260006	1.5	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		16	3	26
519270008	3.27	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		34	3	28
526040008	6.71	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		101	4	6
526050001	5.88	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		88	4	7
526131002	4.46	MDR	R-6	HHDR	R-7	30	134		5	1
526131004	4.81	MDR	R-6	HHDR	R-7	30	144		5	2
526160009	4.38	LDR	R-A	HHDR	R-7	30	131		6	1
526160008	8.28	LDR	W-2	HHDR	R-7	30	249		6	5
526080002	9.69	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		145	7	1
526070001	1.07	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		16	7	3
526060006	3.81	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		57	7	4
526060005	1.14	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		17	7	5
526050013	8.64	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		130	7	6
526080001	9.72	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		146	7	7
526123001	9.18	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		138	8	1
526143023	1.18	CR	R-1	MUA (50% HHDR)	MIXED USE	30		18	8	2
526132022	2.81	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		42	9	4

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MMU Site Capacity	Nbrhd	Lot	
526132025	1.5	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		23	9	5	
526132003	1.04	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		16	9	8	
526150011	2.33	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		35	10	20	
526142043	1.8	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		27	10	26	
526150015	9.52	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		143	10	27	
526150010	4.85	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		73	10	30	
526143025	1.55	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		23	10	35	
526150001	9.7	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		145	10	38	
526150002	9.31	LDR	R-A	MUA (50% HHDR)	MIXED USE	30		140	10	39	
526180006	4.71	LDR	R-A	HHDR	R-7	30	141	0	11	1	
519250007	6	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		63	3	33	
519340001	9.6	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		101	3	27	
519240010	1.85	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		19	3	22	
519260007	4.76	LDR	W-2-M	MUA (35% HHDR)	MIXED USE	30		50	3	4	
519240005	6.76	LI	M-SC	MUA (35% HHDR)	MIXED USE	30		71	3	1	
526090001	6.32	LI	M-SC	MUA (50% HHDR)	MIXED USE	30		95	7	2	
Subtotal							1,229	2,621			
Underutilized Parcels (see site description following this table)											
526160011	0.91	LDR	R-A	HHDR	R-7	30	27		6	2	
526160010	0.93	LDR	R-A	HHDR	R-7	30	28		6	3	
526160012	2.25	LDR	R-A	HHDR	R-7	30	68		6	4	
Subtotal							123				
The Pass Area Plan Total							1,352	2,621			

Underutilized Sites

There are three underutilized sites included in The Pass Area Plan within the Cabazon Town Center. The table below describes why these sites are suitable for redevelopment.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
526160011	0.91	HHDR	R-7	27	6	2	MF - MOBILE HOME	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.
526160010	0.93	HHDR	R-7	28	6	3	MO - MOBILE HOME	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.
526160012	2.25	HHDR	R-7	68	6	4	R1 - RESIDENTIAL	Parcel is within a larger neighborhood that is primarily vacant. This parcel can be joined with the other parcels in the neighborhood to form a larger, more valuable project.

Chapter 8 Housing Element

Western Coachella Valley Area Plan

Table H-44 Western Coachella Valley Area Plan

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Desert Edge/Southeast Desert Hot Springs Community										
Vacant Parcels										
657260008	8.98	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		135	2	1
656330015	8.84	CR	W-2	MUA (50% HHDR)	MIXED USE	30		133	5	1
						Subtotal	0	268		
I-10/Haugen Lehmann Ave Community										
Vacant Parcels										
517300019	6.38	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		144	1	38
517290016	2.57	MDR	R-R	MUA (75% HHDR)	MIXED USE	30		58	1	50
						Subtotal	0	202		
North Palm Springs Community										
Vacant Parcels										
664200011	2.26	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	4
664200001	2.29	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	8
664200004	2.18	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		33	1	9
664200012	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	1	11
664200002	2.25	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	16
664200030	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	22
664200014	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	23
664200015	2.46	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	24
664200025	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	26
664200027	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		39	1	27
664200033	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	28
664200016	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	29
664200017	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	30

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New Allowable Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
664200031	2.51	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	37
664200022	2.55	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	40
664200023	2.52	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	41
664200036	2.56	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	42
664200003	2.23	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	43
664200005	2.26	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		34	1	44
664200037	2.11	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		32	1	45
664200013	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	46
664200024	2.48	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	53
664200026	2.53	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	54
664200028	2.57	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	55
664200032	2.48	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		37	1	56
664200034	2.53	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	57
664200020	2.54	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		38	1	73
664270001	40.2	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		603	2	1
664270002	40.16	MDR	W-2	MUA (50% HHDR)	MIXED USE	30		602	2	2
664240002	39.79	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		597	2	3
664200018	1.27	MHDR	W-2	MUA (50% HHDR)	MIXED USE	30		19	1	47
Rushmore/Kimdale Community						Subtotal	0	2,815		
Vacant Parcels										
520094005* Rossetti	0.3	MDR	R-R	HHDR	R-7	30	9		1	38
520094004* Rossetti	0.3	MDR	R-R	HHDR	R-7	30	9		1	69
520106004* Fitzpatrick	0.27	MDR	R-R	HHDR	R-7	30	8		1	68
520106005* Fitzpatrick	0.32	MDR	R-R	HHDR	R-7	30	9		1	111
520094002* Haefeli	0.3	MDR	R-R	HHDR	R-7	30	9		1	25
520094001* Haefeli	0.3	MDR	R-R	HHDR	R-7	30	9		1	40

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
520091002* Mission Springs Water Dist	0.26	MDR	R-R	HHDR	R-7	30	8		1	9
520091001* Mission Springs Water Dist	0.26	MDR	R-R	HHDR	R-7	30	8		1	64
520104006* Brossman	0.29	MDR	R-R	HHDR	R-7	30	9		1	92
520104005* Brossman	0.33	MDR	R-R	HHDR	R-7	30	10		1	95
520123001* Yagami	0.26	MDR	R-R	HHDR	R-7	30	8		1	98
520106013* Yagami	0.26	MDR	R-R	HHDR	R-7	30	8		1	140
520080017* SCE	2.85	MDR	R-R	HHDR	R-7	30	86		1	1
520080016* SCE	7.52	MDR	R-R	HHDR	R-7	30	226		1	63
520102008* Rucker1	0.3	MDR	R-R	HHDR	R-7	30	9		1	90
520102007* Rucker1	0.3	MDR	R-R	HHDR	R-7	30	9		1	139
520110006	0.95	MDR	R-R	HHDR	R-7	30	28		1	7
520110013	0.99	MDR	R-R	HHDR	R-7	30	30		1	12
520080001	2.41	MDR	R-R	HHDR	R-7	30	72		1	17
Subtotal							564	0		
Underutilized Parcels (see site description following this table)										
520121001* Jones	0.27	MDR	R-R	HHDR	R-7	30	8		1	29
520121002* Jones	0.32	MDR	R-R	HHDR	R-7	30	10		1	76
520102009* Rucker	0.3	MDR	R-R	HHDR	R-7	30	9		1	55
520110007	0.6	MDR	R-R	HHDR	R-7	30	18		1	73
520105002	0.56	MDR	R-R	HHDR	R-7	30	17		1	84
Subtotal							62	0		

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot
Thousand Palms Community (I-10/Cook St. Vicinity)										
Vacant Parcels										
694120008	34.39	BP	I-P	MUA (50% HHDR)	MIXED USE	30		516	1	2
694120007	33.28	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		499	1	3
						Subtotal	0	1,015		
Thousand Palms Town Center										
Vacant Parcels										
693040023	2.96	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		44	2	1
693040022	89.9	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		1349	2	5
650270001	19.48	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		146	3	28
650300011	2.31	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		17	3	37
650300017	9.42	CR	C-P-S	MUA (25% HHDR)	MIXED USE	30		71	3	43
650290001	4.83	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		36	3	44
650300013	5	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		37	3	48
650290002	4.88	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		37	3	50
650300018	19.58	MDR	R-1	MUA (25% HHDR)	MIXED USE	30		147	3	53
650300018	9.85	MHDR	R-3-6000	MUA (25% HHDR)	MIXED USE	30		74	3	53
650310001	3.31	CR	C-P-S	HHDR	R-7	30	99		4	1
650310002	3.37	CR	C-P-S	HHDR	R-7	30	101		4	2
650310001	1.03	CR	R-3-6000	HHDR	R-7	30	31		4	1
650310002	0.99	CR	R-3-6000	HHDR	R-7	30	30		4	2
651140006	18.99	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		285	5	1
651140007	2.98	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		45	5	2
651140008	2.07	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		31	5	3
694071017	1.18	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		18	5	13
694060003	2.49	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		37	5	27
694060002	2.7	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		41	5	30

Chapter 8 Housing Element

APN	Net Acreage	Land Use	Zoning	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	New-Allowed Density	HHDR Site Capacity	MU Site Capacity	Nbrhd	Lot	
694060022	24.07	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		361	5	32	
694060023	18.07	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		271	5	33	
651140005	9.49	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		142	5	35	
693230019	4.83	CR	C-1/C-P	MUA (50% HHDR)	MIXED USE	30		72	5	36	
693230013	11.51	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		173	5	37	
693230010	8.77	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		132	5	38	
693230011	5.92	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		89	5	39	
694060022	11.32	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		170	5	32	
694060022	8.92	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		134	5	32	
694060022	5.41	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		81	5	32	
694060022	1.5	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		23	5	32	
694060022	1.36	MHDR	C-P-S	MUA (50% HHDR)	MIXED USE	30		20	5	32	
651140007	2.09	MHDR	R-4	MUA (50% HHDR)	MIXED USE	30		31	5	2	
651140005	5.49	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		82	5	35	
694060023	17.99	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		270	5	33	
694060023	5	MHDR	R-5	MUA (50% HHDR)	MIXED USE	30		75	5	33	
694120010	17.16	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		257	6	1	
694050001	40.58	MHDR	R-T	MUA (50% HHDR)	MIXED USE	30		609	6	2	
694050012	38.54	CR	C-P-S	MUA (50% HHDR)	MIXED USE	30		578	6	3	
694050011	27.59	MHDR	R-3	MUA (50% HHDR)	MIXED USE	30		414	6	4	
694120011	6.92	MHDR	R-3	MUA (50% HHDR)	MIXED USE	30		104	6	5	
694120010	1.85	CR	R-3	MUA (50% HHDR)	MIXED USE	30		28	6	1	
694050012	9.28	CR	R-3	MUA (50% HHDR)	MIXED USE	30		139	6	3	
694120011	1.34	CR	R-3	MUA (50% HHDR)	MIXED USE	30		20	6	5	
							Subtotal	261			
							Western Coachella Valley Area Plan Total		887	10,990	

1. Site is contiguous with an underutilized site.

Underutilized Sites

There are five underutilized sites included in the Western Coachella Valley Area Plan within the Rushmore/Kimdale Community. The table below describes why these sites are suitable for redevelopment. Please note that the sites in the table below with a current site use of “MF – Mobilehome” are not located within a mobile home park.

APN	Net Acreage	Proposed Land Use as of 12/6/16	Proposed Zoning as of 12/6/16	HHDR Site Capacity	Nbrhd	Lot	Current Use of Site	Description of Site
520121001* Jones	0.27	HHDR	R-7	8	1	29	MF - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520121002* Jones	0.32	HHDR	R-7	10	1	76	MO - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520102009* Rucker	0.3	HHDR	R-7	9	1	55	MO - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520110007	0.6	HHDR	R-7	18	1	73	MF - MOBILE HOME	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multi-family housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.
520105002	0.56	HHDR	R-7	17	1	84	R1 - RESIDENTIAL	This parcel is in a development that is over 30 years old. Several parcels still remain vacant. There is a possibility of a large County facility opening in this area, creating a demand for multifamily housing. Redeveloping this parcel as part of a larger higher-density project would have more value than the current market value of property in this development.

Multifamily Units

The County recognizes the importance of multifamily units in meeting affordable housing needs and providing residents with a variety of housing choices. The multifamily units permitted in the County include but are not limited to two-family, multifamily, bungalow courts, and apartment units.

Mobile Homes and Manufactured Homes

For purposes of permit issuance, a mobile home on a foundation system is allowed on all lots zoned to permit single-family dwellings. The installation of manufactured homes, not on foundations, is allowed whenever it is specifically provided for in the various zone classifications, and is subject to the requirements and standards set forth in those zones.

A mobile home permitted in the R-R, R-D, W-2, and W-2-M zones must have the following: a floor living area of at least 450 square feet, a lot size of at least 2,500 square feet with a width of at least 30 feet, and an opaque skirt screening the area between the ground level and the floor level of the unit. Mobile home parks must have a masonry wall 6 feet in height erected along the perimeter of the park. Manufactured homes outside of these zones must comply with the same standards except that they must have a floor living area of at least 750 square feet.

Manufactured homes provide an additional opportunity for affordable housing in the County. Section 65852.7 of the California Government Code requires that the County permit manufactured homes in all residential zones. Riverside County is in full compliance with this section of the Government Code (Table H-49). In all zones where manufactured homes are permitted "by right" or through the issuance of a conditional use permit (CUP), there are standards for unit size, density, minimum size of space, perimeter walls, and automobile storage. However, these requirements are not onerous and are similar to requirements of surrounding cities and counties.

Second Units

Second units also provide opportunities for affordable units. Second units are currently allowed where the lot is zoned for a one-family dwelling as a permitted use (without a discretionary permit), and the lot is at least [7,200 square feet](#) in size, but are not allowed on lots located within a PRD or located within the R-6 zone. Under the Land Use Ordinance, second units may be occupied by any person without rent, but if rented, an annual certification by the property owner is required, certifying that the renter is of low or moderate income as defined by Section 50093 of the Health and Safety Code.

The County has amended Ordinance No. 348 (zoning ordinance) to permit second units on residential lots zoned for single-family or multifamily residential use, subject to issuance of a second unit permit. This provision was made in response to state of California legislation promoting additional housing opportunities for elderly relatives and rental purposes. The ordinance requires property owners to submit an annual certification that the second units are being offered without rent (for relatives, for example) or rents in the low- to moderate-income range based upon HUD statistics.

Ordinance No. 348 does not require any excessive restrictions that would be a constraint to the development of second units.

[In January 2017, SB 1069 \(Chapter 720, Statutes of 2016\) and AB 2299 \(Chapter 735, Statutes of 2016\) made several changes to address barriers to the development of Second Units \(Accessory Dwelling Units\). The County has revised action 3.5b to ensure they are meeting all State Law requirements.](#)

- **Reasonable accommodations**—~~In June 2016 the County amended Ordinance 348 to~~ ~~Currently, the County’s ordinance does not contain a reasonable accommodation procedure. Action 3.3a states that the County will develop a policy to~~ include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.
- **Separation requirements for congregate care facilities**—The County’s ordinance currently states that congregate residential care facilities shall be located in accordance with all applicable developmental and locational guidelines under the General Plan and shall be located in those areas which offer appropriate services for the residents of these facilities, including necessary medical, transportation, shopping, recreational, and nutritional programs.
- **Separation requirements for parolee-probationer homes**—The County requires that there shall be a 2,000-foot separation requirement between parolee-probationer homes.
- **Site planning requirements**—The site planning requirements for group homes and residential care facilities are no different than for other residential uses in the same zone.
- **Definition of family**—The County’s definition of family states: “One or more persons living together as a single housekeeping unit in a single dwelling unit.”

Extremely Low-Income Households

Extremely low-income households typically comprise persons with special housing needs, including but not limited to persons experiencing homelessness or at risk of homelessness, persons with substance abuse problems, and farm workers. Assembly Bill 2634 (Lieber, 2006) requires the quantification and analysis of existing and projected housing needs of extremely low-income households. Housing elements must also identify zoning to encourage and facilitate supportive housing and single-room occupancy units.

Action 3.5b states that the County will process an amendment of its zoning ordinance to explicitly define and allow for single-room occupancy units in the General Commercial (C-1/C-P) zone. In addition, to encourage and facilitate the development of housing affordable to extremely low-income households, Action 1.1i states that the County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis; providing financial assistance (when feasible) or in-kind technical assistance or land writedowns; providing expedited processing; identifying grant and funding opportunities; applying for or supporting applications for funding on an ongoing basis; reviewing and prioritizing local funding at least twice in the planning period; and/or offering additional incentives beyond the density bonus.

The Riverside County Department of Mental Health has taken steps to hire a mental health housing coordinator, whose responsibilities will include the development of design criteria for housing suitable for the homeless mentally disabled (Actions 1.4a, 1.4c, and 1.4d). The development standards for shelters are the same as for other structures in the applicable zoning designation.

Parking Requirements

In Southern California, providing sufficient parking for vehicles is an essential part of good planning. At the same time, parking can constrain the development of housing. For every parking space that is required, there is that much

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, as projects are processed through the Planning Department.</p>
	<p>1.1g: Continue to promote use of density bonus provisions and ensure consistency with state law.</p>	<p>General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p>	<p>TLMA</p>	<p>Ongoing.</p>
	<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME</p>	<p>EDA</p>	<p>Review on a project by project bases, as projects are proposed.</p>
	<p>1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus. The County of Riverside's Five-Year Consolidated Plan (2014-2018), anticipates assisting: 11 households to Expand the Affordable Rental Housing Stock; 11 households to Improve the Conditions of Substandard Housing; and 11 households to Address Farmworker Housing Needs.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing Authority</p>	<p>Ongoing, as projects are processed, and annual outreach with local developers.</p>
	<p>1.1j) Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>EDA</p>	<p>Annually</p>
<p>Policy 1.2: Ensure the availability of suitable sites for the development of affordable housing to meet the needs of all household income levels, including farm workers and other special needs populations.</p>	<p>1.2a To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2f), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and an equitable development pattern. . Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1b.</p>	<p>General Fund</p>	<p>TLMA/GIS</p>	<p>Annually monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p> <p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households. The County will assist approximately 83 households with the MHTL program.</p>	<p>General Fund</p> <p>Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p>	<p>EDA/Housing Authority</p> <p>EDA/Housing Authority</p>	<p>Annually meet with developers.</p> <p>Once funding has been approved and the loans are processed. Based on HOME funds availability at the time of application.</p>
<p>Policy 1.4: Assist in the development of additional housing for the mentally disabled.</p>	<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>		<p>Department of Mental Health</p>	<p>Ongoing.</p>
	<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>HUD Supportive Housing Program, Shelter Plus Care</p>	<p>Department of Public Social Services</p>	<p>Meet annually with County legislative advocates to address implications of new legislation.</p>
	<p>1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p>		<p>Department of Mental Health in conjunction with EDA</p>	<p>Within the two years of adoption of the Housing Element.</p>
	<p>1.4d: Promote the integration of special needs housing into affordable housing communities.</p>		<p>Department of Mental Health</p>	<p>Ongoing, throughout the planning period.</p>
	<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.</p>	<p>HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill program, Supportive Housing Program/Shelter Plus Care program</p>	<p>Department of Public Social Services</p>	<p>Ongoing, throughout the planning period.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>Policy 1.5: Assist in the development of additional emergency, transitional, and permanent supportive housing for homeless persons and families.</p>	<p>1.5a: In cooperation with nonprofits and local jurisdictions, assist in the development of transitional housing facilities in established regions of the county where the need is highest.</p>	<p>HUD</p>	<p>Department of Public Social Services</p>	<p>Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POLIS project to site facilities.</p>
	<p>1.5b: Assist with the expansions of the number of emergency shelters in identified areas of Riverside County in cooperation with nonprofit organizations and local jurisdictions. Prioritize resources for the Eastern portion of the County.</p>	<p>HCD</p>	<p>Department of Public Social Services</p>	<p>Ensure the emergency shelter needs of mentally ill and domestic violence victims are addressed. Ongoing, as funding is available.</p>
	<p>1.5c: Process an amendment to Ordinance No. 348 (zoning ordinance) to add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses and subject only to those restrictions that apply to other residential uses of the same type in the same zone.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Within 6 months of adoption of the Housing Element.</p>
<p>Policy 1.6: Support self-help housing programs (e.g., Habitat for Humanity and Coachella Valley Housing Coalition).</p>	<p>1.6a: Continue to work with nonprofit organizations in providing homeownership opportunities through the Rural Development Self Help program and other self-help construction programs within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME, HUD, Rural Development Self Help Program</p>	<p>EDA</p>	<p>Establish an annual meeting with CHDOs to provide policy direction.</p>
<p>Policy 1.7: Encourage innovative housing, site plan design, and construction techniques to promote new affordable housing by the private sector.</p>	<p>1.7a: Continue to provide for greater flexibility in the design of single-family development through the processing of PUDs, specific plans, and area plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.</p>		<p>TLMA/Building and Safety</p>	<p>Ongoing, as projects are processed.</p>
	<p>1.7b: Encourage construction of new mobile home parks and manufactured housing to increase the supply of affordable dwelling units by continuing to waive the fees (when funding is available) as an incentive.</p>		<p>TLMA/Building and Safety</p>	<p>Ongoing, as projects are processed.</p>
	<p>1.7c: Encourage new large-scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed-use development.</p>		<p>TLMA</p>	<p>Ongoing, as projects are processed.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.7d: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Consider adopting provisions within two years. Continue to pursue on an ongoing basis.</p>
	<p>1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Explore options by the end of 2017 consider adopting an ordinance by the end of 2018.</p>
<p>GOAL 2: TO CONSERVE AND IMPROVE THE CONDITION OF THE HOUSING STOCK, PARTICULARLY AFFORDABLE HOUSING.</p>				
<p>Policy 2.1: Continue to pursue all available federal, state, and local funds to assist housing rehabilitation.</p>	<p>2.1a: When funding is available, advertise and promote the availability of funds for the following: Rehabilitation of single-family and mobile home dwelling units. Rehabilitation of multifamily units.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA</p>	<p>Ongoing, as funding is available. Provide informational materials as funding permits. Entitled, apply annually HCD and HUD.</p>
	<p>2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.</p>	<p>HUD Capital funds</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>2.1c: Continue utilization of tax-exempt private activity bonds for the financing of multifamily housing rehabilitation.</p>	<p>Tax-exempt private activity bonds</p>	<p>EDA/Housing Authority</p>	<p>As projects come forward assist with the process for applying for funding on the developers behalf.</p>
	<p>2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards. The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting 85 households.</p>	<p>CDBG</p>	<p>EDA/</p>	<p>Continue program when funding becomes available.</p>
	<p>2.1e: Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single-family housing through weatherization and/or rehabilitation.</p>	<p>Department of Energy, Southern California Gas, California Conservation Corp.</p>	<p>DCA</p>	<p>As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>2.1f Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p>	<p>EDA/Housing Authority</p>	<p>Once funding has been approved. Assist at least 5 households during the planning period.</p>
	<p>2.1g Through the Home Enhancement Program the, assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>CDBG</p>	<p>EDA</p>	<p>Provide grants to at least 5 households throughout the planning period.</p>
	<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Develop a plan by summer 2017 <u>before the end of the planning period (2021).</u></p>
<p>Policy 2.2: Enhance the quality of existing residential neighborhoods by including adequate maintenance of public facilities in the County's capital improvement program and requiring residents and landlords to maintain their properties in good condition.</p>	<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>		<p>Building and Safety Department/ Department of Environmental Health, Code Enforcement</p>	<p>Ongoing, on a case-by-case basis.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>at risk of conversion to market rate, or other affordable housing resources.</p>	<p>Through the maintenance of an inventory of County assisted units with monitoring of expiration dates on an annual basis. Priority on providing financial assistance, where feasible and if funding is available, to preserve County assisted affordable units at risk of conversion to market rate during the planning period. Conduct annual compliance monitoring site visits and file audits of County assisted units as part of ongoing compliance requirements enforced by loan agreements. Coordinate with owners of at-risk units to have the property owners provide education and work with tenants regarding their rights and conversion procedures.</p>			<p>coordinate with owners of at-risk units to have the owners provide tenant education within 30 days of a notice of conversion.</p>
<p>GOAL 3: TO PROMOTE EQUAL HOUSING OPPORTUNITIES FOR ALL PERSONS REGARDLESS OF RACE, AGE, SEXUAL ORIENTATION, RELIGION, SEX, ETC.</p>				
<p>Policy 3.1: Continue to support fair housing laws and organizations that provide fair housing information and enforcement.</p>	<p>3.1a: Continue to use the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments. 2. Education and training of County staff. 3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers, and residents in emergency shelters and transitional housing facilities. 3.1b: Update the Analysis of Impediments to Fair Housing choice per HUD requirements.</p>	<p>CDBG</p>	<p>EDA/ Housing Authority</p>	<p>EDA staff coordinates with the Fair Housing Council and monitors its work program. Funding is proposed to continue to establish existing efforts.</p> <p>2019</p>
<p>Policy 3.2: Provide housing information and counseling to low-income households and households with special housing needs.</p>	<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program. 3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs.</p>	<p>First Time Home Buyer Down Payment Assistance Program</p>	<p>EDA/ Fair Housing Council</p>	<p>Ongoing, as funding permits.</p>
<p>Policy 3.3: Provide housing services to persons with special needs, including child care, and the homeless.</p>	<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs.</p>		<p>Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p>	<p>Ongoing, as projects are processed. Develop a reasonable-accommodation procedure by early 2018. Develop an outreach program by early 2018.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>Develop aContinue to review the County's policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities to ensure consistency with state law.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County's website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>			
	<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates). 2. Family Unification Program. 3. Family Self Sufficiency (FSS) Program. 4. Housing Opportunities for Persons with AIDS (HOPWA). 5. Veteran's Affairs Supportive Housing Program (VAISH). 6. Foster Care Youth Program. 7. Tenant Based Rental Assistance Program.</p>	<p>HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VAISH, Foster Care Youth Program, TBRA</p>	<p>Housing Authority, EDA, DPSS</p>	<p>Programs will continue as funding is obtained.</p>
	<p>3.3c: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program, previously known as Section 8 Rental Assistance Program).</p>	<p>HUD</p>	<p>Housing Authority</p>	<p>Ongoing as interested persons contact the Housing Authority.</p>
	<p>3.3d: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.</p>	<p>HUD Shelter Plus Care</p>	<p>Housing Authority/ DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3e: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).</p>	<p>HUD Housing Choice Voucher Program</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.</p>	<p>FEMA, ESG, EHAP</p>	<p>DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.</p>	<p>HUD Supportive Housing program, Shelter Plus Care</p>	<p>DPSS</p>	<p>Ongoing.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	3.3c: Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program, previously known as Section 8 Rental Assistance Program).	HUD	Housing Authority	Ongoing as interested persons contact the Housing Authority.
	3.3d: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.	HUD Shelter Plus Care	Housing Authority/ DPSS	Ongoing, throughout the planning period.
	3.3e: Maintain public housing units and assist extremely low- and very low-income recipients with Housing Choice Vouchers (Section 8 rental assistance vouchers).	HUD Housing Choice Voucher Program	Housing Authority	Ongoing, throughout the planning period.
	3.3f: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.	FEMA, ESG, EHAP	DPSS	Ongoing, throughout the planning period.
	3.3g: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.	HUD Supportive Housing program, Shelter Plus Care	DPSS	Ongoing.
	3.3h: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the Consumer Price Index.		County Executive Office	Ongoing.
Policy 3.4: Support programs that offer low- and moderate-income households the opportunity for homeownership.	3.4a: Continue to implement the Mortgage Credit Certificate Program (MCC) for low- to moderate-income homeowners. 3.4b: Continue to provide down payment assistance and closing cost assistance to low-income first-time homebuyers through the First Time Home Buyer Program.	CDLAC HOME	EDA EDA	Ongoing. Funding will be available once the Housing Element is in compliance. Ongoing. Funding will be available once the Housing Element is in compliance.
Policy 3.5: Expand the availability of affordable and/or special needs housing through acquisition or conversion.	3.5a: Work with public or private sponsors to encourage acquisition/rehabilitation of existing multifamily units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median. 3.5b: Consider the conversion of small older hotels to transitional housing facilities, emergency shelters, or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. The Department of Social Services shall work with participating jurisdictions when requested.	HOME and other HUD and HCD grants as they become available., CDBG, HUD	EDA EDA	Ongoing. Annually meet with interested developers. Within six months of adoption of the Housing Element.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>Assist with available housing for extremely low and lower income households by: (1) In addition, the County will process an amendment to Ordinance No. 348 (zoning ordinance) to define SROs and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit (2). Review Ordinance 348 to ensure consistency with state law concerning accessory dwelling units (AB2299 and SB 1069), including evaluating and addressing potential constraint such as lot sizes to ensure promoting the development of accessory dwelling units.</p>			
<p>Goal 4 Establish Adequate Planning, Administrative and Fiscal Tools to Implement Housing Policies</p>				
<p>Policy 4.1: Evaluate the County's planning policies, codes, development review procedures, and fees as part of the Housing Element update cycle to ensure that they do not represent unjustified constraints to the development of housing. (Note: Other elements of the General Plan address various components of residential neighborhoods that could add to the cost of housing—e.g., Safety Element or Circulation Element—but are considered essential ingredients of balanced communities.)</p>	<p>4.1a: To ensure fees do not pose a constraint to the development of housing, the County will review its fees on an annual basis.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Annually.</p>
	<p>4.1b: Update theContinue to review the definition of family so that it does not limit the number of persons per household, and does not require that persons are related by blood.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Within six months of adoption of the Housing Element.Ongoing</p>
<p>Policy 4.2: Ensure that administrative functions are consistent with housing policies and goals.</p>	<p>4.2a: Propose and advocate legislative efforts to promote jobs/housing balance. Participate in subregional (WRCOG and CVAG) and regional (SCAG) agency meetings to: Establish housing goals beyond county lines that reflect housing markets. Ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary.</p>	<p>General Fund</p>	<p>EDA/ Housing Authority Executive Office/TLMA</p>	<p>Establish a meeting with County's legislative advocates to ascertain the existing impact and proposed legislation.</p>

Approved Housing Units

One way of meeting a portion of the County's RHNA is to look at approved, entitled, or built projects' "available units." These units can be subtracted from the total allocation if they were available prior to the 5th Housing Element cycle deadline of October 2014. Table H-34 lists the approved or entitled projects that were available before the deadline.

Table H-34 Approved or Entitled Projects Prior to October 2014

Project/Unit	Total Proposed Units	Affordability Level				Funding Source
		Very Low	Low	Mod	Abv. Mod	
Specific Plan Units	59,254		1,626	34,238	23,390	Affordability based on Zoning and GP designation, and affordability requirements in the specific plan
Los Vinedos (Phase 1)	42	41			1	HOME funds
Nuestro Orgullo Self Help Homes	291	44	39		208	RDA Bond Proceeds
Highgrove Blossom Apartments	89	43	45		1	RDA, LIHTC (Built 2014)
Total	59,676	128	1,710	34,238	23,600	

Source: Riverside County Economic Development Agency, August 2015

Note: For more detailed information regarding the affordable units within the specific plans, refer to page H-105 and H-106.

Remaining RHNA to Accommodate

When looking at the total RHNA the County needs to accommodate, listed in Table H-33, and the approved or entitled projects listed in Table H-35 and the discussion on projected units, the County ~~does~~ not have a shortfall to meet its moderate- and above moderate-income RHNA.

However, the County ~~does have~~ ~~identify~~ a shortfall of 25,174 units in the very low- and low-income categories. Since the County ~~has~~ a shortfall in the very low- and low- income categories, at least 50 percent of the shortfall (12,587 units) ~~needed to~~ ~~must~~ be accommodated on sites designated for exclusively residential uses, at appropriate densities.

Table H-35 Determining RHNA Shortfall

Income Category	RHNA to Accommodate	Approved Projects	RHNA Shortfall to Accommodate
Very Low	17,719	128	17,591
Low	9,293	1,710	7,853
Moderate	5,534	34,238	0
Above Moderate	12,725	23,600	0
Total	45,271	59,676	25,174

Source: SCAG, Riverside County, 2015

Note: With completion of the rezone and land use designation change in December 2016, the County no longer has a RHNA shortfall. This table is included to provide detail on the past shortfall from the first half of the planning period.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.1f: Continue to give priority to permit processing for non-County assisted projects providing affordable housing for seniors and other special needs groups when received.</p>	<p>General Fund</p>	<p>TLMA</p>	<p>Ongoing, as projects are processed through the Planning Department.</p>
	<p>1.1g: Continue to promote use of density bonus provisions and <u>adopt an ordinance to ensure consistency with state law.</u></p>	<p>General Fund, (HOME and other HUD and HCD grants as they become available to support financial incentives)</p>	<p>TLMA</p>	<p>Ongoing. <u>Within 6 months of adoption of the Housing Element.</u></p>
	<p>1.1h: Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.</p>	<p>HOME</p>	<p>EDA</p>	<p>Review on a project by project bases, as projects are proposed.</p>
	<p>1.1i: The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus. <u>The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting a minimum of: 11 households to Expand the Affordable Rental Housing Stock; 11 households to Improve the Conditions of Substandard Housing; and 11 households to Address Farmworker Housing Needs.</u></p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA/Housing Authority</p>	<p>Ongoing, as projects are processed, and annual outreach with local developers.</p>
	<p>1.1j: Due to the dissolution of the Redevelopment Agency, the County will annually explore a variety of new funding and housing and community development activities, such as: SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>SERAF, property transfer tax, commercial linkage and boomerang funds</p>	<p>EDA</p>	<p>Annually</p>
<p>Policy 1.2: Ensure the availability of suitable sites for the development of affordable housing to meet the needs of all household income levels, including farm workers and other special needs populations.</p>	<p>1.2a To ensure the County has enough land and sufficient programs to meet its Regional Housing Needs Allocation (RHNA), once the County has processed the General Plan redesignation and rezoning (action 1.2f), the County will annually monitor the effectiveness of the sites and programs to encourage development, particularly for lower income households. The County will also annually monitor proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development and an equitable development pattern. . Sites and programs such as incentives for small and large sites will be revised upon the outcome of an evaluation. Should additional sites need to be identified, the County can rely on sites located within Appendix P-1b.</p>	<p>General Fund</p>	<p>TLMA/GIS</p>	<p>Annually monitor the effectiveness of the sites inventory and programs and revise upon the outcome of the evaluation. A full review of the inventory will be done with the 2017 Housing Element update.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.3c: The County will partner with developers to assist with farmworker housing site identification, work with growers to identify strategies, and meet annually with developers and the agriculture industry to identify the constraints and solutions to development of farmworker housing.</p> <p>1.3d: Through the Mobile Home Tenant Loan (MHTL) Assistance Program the County will provide assistance for extremely low-income mobile home owners in un-permitted mobile home parks to purchase a replacement unit in a permitted mobile home park. The MHTL will provide financing for replacement of existing mobile home/coaches that will serve low income farm workers of the Coachella Valley in the County of Riverside.</p> <p>Additionally, through the HOME Program The County will provide assistance for the development, construction, or rehabilitation of affordable housing for low- and moderate-income farm worker households. <u>The County will assist approximately a minimum of 83 households with the MHTL program.</u></p>	<p>General Fund</p> <p>Funding for this program is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside.</p> <p>HOME funds</p>	<p>EDA/Housing Authority</p> <p>EDA/Housing Authority</p>	<p>Annually meet with developers.</p> <p>Once funding has been approved and As loans are processed. Based on HOME funds availability at the time of application.</p>
Policy 1.4: Assist in the development of additional housing for the mentally disabled.	<p>1.4a: Maintain a Mental Health Housing Coordinator or services coordination by a nonprofit organization.</p>		Department of Mental Health	Ongoing.
	<p>1.4b: Support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p>	<p>HUD Supportive Housing Program, Shelter Plus Care</p>	Department of Public Social Services	<p>Meet annually with County legislative advocates to address implications of new legislation.</p> <p>Within the two years of adoption of the Housing Element.</p> <p>Ongoing, throughout the planning period.</p>
	<p>1.4c: Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers.</p>		Department of Mental Health in conjunction with EDA	
	<p>1.4d: Promote the integration of special needs housing into affordable housing communities.</p>		Department of Mental Health	Ongoing, throughout the planning period.
	<p>1.4e: Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.</p>	<p>HUD, Shelter Plus Care Program Safe Haven for the Mentally Ill program, Supportive Housing Program/Shelter Plus Care program</p>	Department of Public Social Services	Ongoing, throughout the planning period.

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>1.7d: The County will explore the adoption of countywide provisions, thresholds, or criteria for affordability to be used in the design of specific plans. In addition, evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria to ensure that projects include a range of densities to meet the County's RHNA.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Consider adopting provisions within two years. Continue to pursue on an ongoing basis.</p>
	<p>1.7e: The County will explore the adoption of a local inclusionary housing program. The program could include requiring developers of certain types of housing developments to construct inclusionary affordable units or, in limited circumstances where the County deems construction of inclusionary units to be impractical, pay an in-lieu fee, or donate land to subsidize affordable housing development. Prior to adopting any inclusionary program, the County will conduct analysis to ensure that sufficient incentives exist to mitigate potential negative impacts from the program on the cost and supply of market rate housing.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Explore options by the end of 2017 consider adopting an ordinance by the end of 2018.</p>
<p>GOAL 2: TO CONSERVE AND IMPROVE THE CONDITION OF THE HOUSING STOCK, PARTICULARLY AFFORDABLE HOUSING.</p>				
<p>Policy 2.1: Continue to pursue all available federal, state, and local funds to assist housing rehabilitation.</p>	<p>2.1a: When funding is available, advertise and promote the availability of funds for the following: Rehabilitation of single-family and mobile home dwelling units. Rehabilitation of multifamily units.</p>	<p>HOME and other HUD and HCD grants as they become available.</p>	<p>EDA</p>	<p>Ongoing, as funding is available. Provide informational materials as funding permits. Entitled, apply annually HCD and HUD.</p>
	<p>2.1b: The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low- and low-income households.</p>	<p>HUD Capital funds</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>2.1c: Continue utilization of tax-exempt private activity bonds for the financing of multifamily housing rehabilitation.</p>	<p>Tax-exempt private activity bonds</p>	<p>EDA/Housing Authority</p>	<p>As projects come forward assist with the process for applying for funding on the developers behalf.</p>
	<p>2.1d: Continue to provide funding from CDBG-funded Housing Rehabilitation Program to retrofit units to meet accessibility standards. <u>The County of Riverside's Five-Year Consolidated Plan (2014-2018) anticipates assisting a minimum of 85 households.</u></p>	<p>CDBG</p>	<p>EDA/</p>	<p>Continue program when funding becomes available.</p>
	<p>2.1e: Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single-family housing through weatherization and/or rehabilitation.</p>	<p>Department of Energy, Southern California Gas, California Conservation Corp.</p>	<p>DCA</p>	<p>As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
	<p>2.1f Through the Senior Home Rehabilitation Program (SHRP) The County will provide one-time grants to qualified very low-income senior homeowners (62 years or older) or very low-income persons with disabilities of any age to repair or improve their homes within the scope of eligible program repairs. The grant requires that repairs address health and safety issues and handicapped accessibility improvements exclusively.</p>	<p>Funding is pending approval on the Recognized Obligation Payment Schedule (ROPS 16-17) from the California Department of Finance and pending final approval by the Board of Commissioners of the Housing Authority of the County of Riverside, as housing successor to the former Redevelopment Agency for the County of Riverside</p>	<p>EDA/Housing Authority</p>	<p>Once funding has been approved. Assist at least 5 households during the planning period.</p>
	<p>2.1g Through the Home Enhancement Program the, assist lower income homeowners fix or repair exterior problems to their homes such as minor roofing, broken/missing windows, exterior paint, etc. Funding may be used to eliminate health and safety issues, make the home more energy-efficient, and undertake eligible exterior improvements.</p>	<p>CDBG</p>	<p>EDA</p>	<p>Provide grants to at least 5 households throughout the planning period.</p>
	<p>2.1h The County will promote the maintenance, preservation, and rehabilitation of the existing housing stock to provide sanitary, healthy and safe housing opportunities. Together with residents and stakeholders, the County will develop a plan with specific timelines for implementation by Summer 2017 to prioritize and conduct proactive rehabilitation efforts to ensure that housing complies with basic habitability standards, while preventing displacement in addressing unsafe housing conditions and prioritizing efforts (i.e., location; types of units, rentals, versus resident owned). Timing for implementing the plan will seek to utilize existing efforts such as community plan updates or other activities and the plan will contain various strategies to avoid or lessen displacement and its impacts and on-going affordability such as integration with rehabilitation programs or other efforts to maintain the housing stock.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Develop a plan by summer 2017 2019</p>
<p>Policy 2.2: Enhance the quality of existing residential neighborhoods by including adequate maintenance of public facilities in the County's capital improvement program and requiring residents and landlords to maintain their properties in good condition.</p>	<p>2.2a: Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use, and occupancy of mobile home parks.</p>		<p>Building and Safety Department/ Department of Environmental Health, Code Enforcement</p>	<p>Ongoing, on a case-by-case basis.</p>

Policies	Actions	Implementing Resources	Responsible Agency	Time Frame
<p>Policy 3.2: Provide housing information and counseling to low-income households and households with special housing needs.</p>	<p>3.2a: Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English as well as for mortgage lenders applying for certification or recertification to participate in the First Time Home Buyer Down Payment Assistance Program.</p>	<p>First Time Home Buyer Down Payment Assistance Program</p>	<p>EDA/ Fair Housing Council</p>	<p>Ongoing, as funding permits.</p>
<p>Policy 3.3: Provide housing services to persons with special needs, including child care, and the homeless.</p>	<p>3.3a: Ensure that persons with disabilities (including persons with developmental disabilities) have increased access/placement in residential units rehabilitated or constructed through County programs by completing the following: Continue to cooperate with nonprofit agencies that provide placement or referral services for persons with disabilities. Encourage “universal design” features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Encourage multifamily housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs. Develop aContinue to review the County’s policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities to ensure consistency with state law. Specifically review section 6. e. of the current procedure and revise as necessary.</p> <p>Coordinate with the Inland Regional Center to implement an outreach program that informs families in the county on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services found on the County’s website, and providing housing-related training for individuals/families through workshops, as funding and staffing permit.</p>	<p>Shared Housing, a Riverside Experience (SHARE), Housing Authority, nonprofits and Community Access Center, DPSS</p>	<p>Ongoing, as projects are processed. Develop a Revise the County’s reasonable accommodation procedure by Springearly 2018. Develop an outreach program by early 2018.</p>	<p>Ongoing, as projects are processed. Develop a Revise the County’s reasonable accommodation procedure by Springearly 2018. Develop an outreach program by early 2018.</p>
	<p>3.3b: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates). 2. Family Unification Program. 3. Family Self Sufficiency (FSS) Program. 4. Housing Opportunities for Persons with AIDS (HOPWA). 5. Veteran’s Affairs Supportive Housing Program (VASH). 6. Foster Care Youth Program. 7. Tenant Based Rental Assistance Program.</p>	<p>HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p>	<p>Housing Authority, EDA, DPSS</p>	<p>Programs will continue as funding is obtained.</p>



PECHANGA CULTURAL RESOURCES
Temecula Band of Luiseño Mission Indians

Post Office, Box 2183 • Temecula, CA 92593
Telephone (951) 770-6300 • Fax (951) 506-9491

June 20, 2017

Chairperson:
Neal Ibanez

Vice Chairperson:
Bridgett Barcello

Committee Members:
Andrew Masiel, Sr.
Darlene Miranda
Evie Gerber
Richard B. Scearce, III
Robert Villalobos

Director:
Gary DuBois

Coordinator:
Paul Macarro

Planning Specialist:
Tuba Ebru Ozdil

VIA E-MAIL and USPS

Heather Thomson
County Archaeologist
Riverside County, Planning Department
4080 Lemon Street, 12th Floor
Riverside, California 92502

Re: Pechanga Tribe Request for Consultation Pursuant to SB 18 for General Plan Amendment No. 1218

Dear Ms. Thomson:

This letter is written on behalf of the Pechanga Band of Luiseño Indians (hereinafter, “the Tribe”), a federally recognized Indian tribe and sovereign government in response to the SB 18 notice provided by Riverside County. This letter serves as the Tribe’s formal request for consultation under SB 18 for this Project. The Tribe hereby invokes its right to consult with Riverside County under SB 18 and after reviewing the information requested below, we may request additional consultation, which may include a face-to-face meeting.

Further, the Tribe formally requests, pursuant to Public Resources Code §21092.2, to be notified and involved in the entire CEQA environmental review process for the duration of the above referenced project (the “Project”). Please add the Tribe to your distribution list(s) for public notices and circulation of all documents, including environmental review documents, archeological reports, and all documents pertaining to this Project. The Tribe further requests to be directly notified of all public hearings and scheduled approvals concerning this Project. Please also incorporate these comments into the record of approval for this Project.

The Pechanga Tribe asserts that the Project area is part of ‘Atáaxum (Luiseño), and therefore the Tribe’s, aboriginal territory as evidenced by the existence of ‘Atáaxum place names, *tóota yixélval* (rock art, pictographs, petroglyphs), and an extensive Luiseño artifact record in the vicinity of the Project. This culturally sensitive area is affiliated with the Pechanga Band of Luiseño Indians because of the Tribe’s cultural ties to this area as well as extensive history with both this Project and other projects within the area. During our consultation we will provide more specific, confidential information on the resources located on and near this Project.

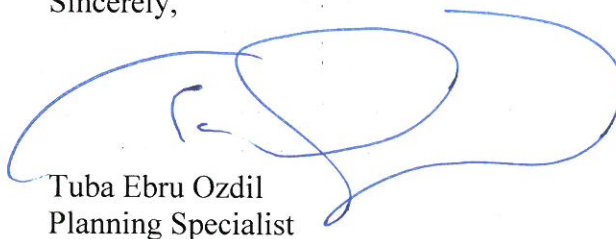
The Tribe has not received the Housing Element update draft for this Project. Please provide us copies of all available [reports, drafts, etc.] as soon as possible so that we may review them prior to our initial SB 18 meeting.

As you know, the SB 18 consultation process is ongoing and continues for the duration of the Project. As such, under both CEQA and SB 18 we look forward to working closely with Riverside County on ensuring that a full, comprehensive environmental review of the Project's impacts is completed. Further, we hope to assist Riverside County with ensuring that the Project is designed to avoid impacts to cultural resources, as mandated by CEQA, in addition to developing mitigation measures addressing the culturally appropriate and respectful treatment of human remains, cultural resources and inadvertent discoveries.

In addition to those rights granted to the Tribe under SB 18, the Tribe reserves the right to fully participate in the environmental review process, as well as to provide further comment on the Project's impacts to cultural resources and potential mitigation for such impacts. Further, the Tribe reserves the right to participate in the regulatory process and provide comment on issues pertaining to the regulatory process and Project approval.

The Pechanga Tribe looks forward to working together with Riverside County in protecting the invaluable Pechanga cultural resources found in the Project area. Please contact me at 951-770-6313 or at eozdil@pechanga-nsn.gov once you have had a chance to review these comments so that we might address the issues concerning the mitigation language. Thank you.

Sincerely,



Tuba Ebru Ozdil
Planning Specialist

cc Pechanga Office of the General Counsel

Flores, Robert

From: Thomson, Heather
Sent: Thursday, July 06, 2017 3:39 PM
To: Ebru Ozdil - Pechanga (eozdil@pechanga-nsn.gov)
Cc: Hersh, Peter; Flores, Robert
Subject: GPA01218
Attachments: SLAS12PL2M17070615340.pdf

Follow Up Flag: Follow up
Due By: Friday, July 07, 2017 8:00 AM
Flag Status: Completed

Good afternoon Ebru-

Please find as an attachment, a letter regarding your request to consult on GPA01218.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
Assistant Director of TLMA-Community Development

July 06, 2017

Subject: Request for Consultation for General Plan Amendment No. 1218

Dear Ms. Ozdil:

We are in receipt of the Tribe's June 20, 2017 request for consultation regarding General Plan Amendment No. 1218 (Housing Element mid-cycle update). Prior to the receipt of your letter, there was an exchange of emails with staff whereby we provided the following descriptive information on the nature of the mid-cycle update relative to the 2013-2021 Housing Element.

As you may recall, the County adopted its 2013-2021 Housing Element comprehensive update on December 6, 2016. That effort included both SB 18 and AB 52 consultation opportunities with the tribal nations in Riverside County, including the Pechanga Tribe. The reason for such consultation was that the 2013-2021 Housing Element proposed countywide land use changes which had the potential to affect cultural sites. Because the current mid-cycle Housing Element update follows so closely after the December adoption date of the 2013-2021 Housing Element, staff is only proposing to update key information tables and accompanying text. No land use changes are proposed. So, there is no potential for this mid-cycle update to affect any cultural sites either on or off tribal lands.

We have gone to great lengths to ensure that the focus of the mid-cycle update is on the information tables and accompanying text, and at that primarily to add statistical information from the 2010-2014 American Communities Survey. Therefore, we believe that an SB 18 consultation on the Housing Element mid-cycle update is not warranted.

Your letter also references a consultation pursuant Public Resources Code Section 21092.2 regarding the "CEQA environmental review process" which we take to mean a request for consultation under AB 52. Because of the nature of this mid-cycle update as stated above, we believe that this project has no possibility that it can have a significant effect on the environment, and as such, it would not be subject to a CEQA compliance determination. Therefore, we also believe that an AB 52 consultation is not warranted.

Please be advised that the Housing Element mid-cycle update is posted on the Housing Element webpage on the Planning Department's website. It can be reviewed at your convenience. Or, in the alternative, please contact me for a meeting, separate from a formal consultation process, to review the update with track changes here in the office.

Sincerely,

Heather Thomson
PLANNING DEPARTMENT

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



PC STAFF REPORT ATTACHMENT G
LETTER/RESPONSE - LC for J&A

July 19, 2017

Sent via email to: rflores@rivco.org
Riverside County Planning Department
P.O. Box 1209
Riverside, CA 92502

Re: Draft 2017 Mid-Cycle Housing Element Update

To Whom it May Concern:

We are writing with regards to the Riverside County's Draft 2017 Mid-Cycle Housing Element Update. As indicated in written correspondence from the County Planning Department to our office dated June 9, 2017, the Mid-Cycle Update modifies only certain information and data contained in the 2013-2021 Housing Element and includes no policy changes or housing needs strategies. Leadership Counsel for Justice and Accountability hereby incorporates all comments previously submitted by Leadership Counsel and by other parties on the 2013-2017 Housing Element and drafts of that document, including but not limited to comments submitted by the Public Interest Law Project dated March 29, 2017. However, since the County did not adopt its Housing Element for the fifth cycle until December 6, 2016, more than three years after its deadline¹, the County must complete a comprehensive update to its housing element by October 15, 2017. Gov. Code § 65588(e)(4) (requiring jurisdictions that fail to adopt a housing element revision within 120 days of the deadline to do so to update their housing element every four years until the jurisdiction has adopted at least two consecutive timely revisions.)

The information and data changes encompassed by the Mid-Cycle Update do not satisfy this requirement, and the limited scope of public comment indicated by the Planning Department's June 9th letter is inadequate. The County must immediately initiate a comprehensive update of its 2013-2021 Housing Element informed by a robust public process to obtain input from residents of all economic segments of the community, especially lower-income residents impacted by the lack of affordable housing units in the County. Gov. Code § 65583(c)(8). Please respond to this letter by providing a timeline for this update, including public workshops, stakeholder and resident meetings, and public hearings and releases of draft revisions and environmental reviews.

Please contact me at (559) 369-2786 with any questions or to find a time to discuss this letter over the phone.

¹ See HCD, Housing Element Update Schedule for Regional Housing Needs Assessment, available at <http://www.hcd.ca.gov/community-development/housing-element/docs/housing-element-update-schedule.pdf>

Sincerely,

A handwritten signature in blue ink that reads "awerner". The signature is written in a cursive, flowing style.

Ashley E. Werner
Senior Attorney
Leadership Counsel for
Justice and Accountability



RIVERSIDE COUNTY

PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

August 17, 2017

Leadership Counsel for Justice & Accountability
Attention: Ashley E. Werner, Senior Attorney
764 P Street, Suite 012
Fresno, CA 93721

Subject: Draft 2017 Mid-Cycle Housing Element Update

Dear Ms. Werner:

The Riverside County Planning Department has received your July 19, 2017 letter in response to our notification to interest groups which participated in a comprehensive Housing Element update, designated as the 2013-2021 Housing Element which was approved by the Board of Supervisors on December 6, 2016. As you know, we are now undertaking a limited scope mid-cycle update of the Housing Element pursuant to State law.

The focus of the mid-cycle update is to bring current the tables and related text in the Element specifically to address changes resulting from the 2010-2014 American Communities Survey and to update the County's efforts in furtherance of the Element's Eight Year Action Plan. There are no proposals for any land use, program, or strategic direction changes.

Your letter notes that a comprehensive update is required at this time pursuant to Government Code Section 65588(e)(4). The County will be proceeding with a comprehensive update when it begins to undertake preparation of the 2021-2029 Housing Element with that effort expected to commence sometime in 2018. The County's focus on the mid-cycle update is as stated above for the following reasons...

- The substantive components of the 2013-2021 Housing Element are current through December of last year. Therefore, there are no relevant land use, programmatic or strategic directional changes to consider at this time.
- There is no new Regional Housing Needs Allocation which has been prepared for the County which would otherwise necessitate such changes.

Additionally, the County is involved in active CEQA litigation filed in response to the County's CEQA determinations for General Plan Amendment (GPA) No. 960 and the 2013-2021 Housing Element (GPA No. 1122), which may impact implementation of GPA No. 960 and the 2013-2021 Housing Element depending on the outcome of the litigation.

Leadership Counsel for Justice & Accountability
August 17, 2017
Page 2

We look forward to working with the Leadership Counsel on the 2021-2029 Housing Element. We will notify your office when this effort is commenced and invite correspondence regarding changes to Housing Element at that time.

Sincerely,

A handwritten signature in black ink, appearing to read "Peter Hersh", with a long, sweeping underline.

Peter Hersh
Planning Consultant/Principal Planner

C: Charissa Leach, Assistant TLMA Director, Community Development
Phayvanh Nanthavongdouangsy, Principal Planner
Robert Flores, Urban/Regional Planner III
Shellie Clack, Deputy County Counsel

PC STAFF REPORT ATTACHMENT H
PLANNING COMMISSION RESOLUTION NO. 2017-08

2
3 **RESOLUTION No. 2017-008**

4 **RECOMMENDING ADOPTION OF GENERAL PLAN AMENDMENT NO. 1218**

5 **(2017 Mid-Cycle Housing Element Update)**

6
7 **WHEREAS**, on September 6, 2017, the Planning Commission continued the public hearing
8 without discussion for General Plan Amendment No. 1218 to September 20, 2017 because of an
9 administrative error associated with public noticing in a newspaper of general circulation; and,

10 **WHEREAS**, pursuant to the provisions of Government Code Section 65350, a public hearing was
11 held before the Riverside County Planning Commission in Riverside, California on September 20, 2017, to
12 consider the above-captioned matter; and,

13 **WHEREAS**, all the provisions of the California Environmental Quality Act and the Riverside
14 County CEQA implementing procedures have been satisfied; and,

15 **WHEREAS**, the matter was discussed fully with testimony and documentation presented by staff,
16 the public and affected government agencies; now, therefore,

17 **BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED** by the Planning Commission
18 of the County of Riverside, in regular session assembled on September 20, 2017, that is has reviewed and
19 considered the staff report, staff's presentation and input from the public, and recommends the following
20 based on the staff report's findings and conclusions:

21 **FIND** General Plan Amendment No. 1218 exempt from CEQA pursuant to pursuant to State
22 CEQA Guidelines Section 15061(b)(3); and,

23 **TENTATIVELY APPROVE** General Plan Amendment No. 1218.
24
25
26
27
28

AVISO DE AUDENCIA PUBLICA

UNA AUDIENCIA PÚBLICA ha sido programada, de acuerdo con la Ordenanza Número 348 del Condado de Riverside (Riverside County Land Use Ordinance No. 348), ante la Comisión de Planificación del Condado para considerar el proyecto que se muestra a continuación:

GENERAL PLAN AMENDMENT NO. 1218 (Entitlement/Policy Amendment) – CEQA Exempt – Applicant: County of Riverside – All Supervisorial Districts – All Area Plans – All Zoning Areas/Districts – All Zoning – Location: Unincorporated areas of Riverside County – **REQUEST (Traducción Española):** La actualización del Elemento de Vivienda de ciclo medio 2017 (General Plan Amendment No. 1218) incluye cambios limitados al Elemento de Vivienda 2013-2021 que fue adoptado el 6 de diciembre de 2016. Debido a que el Elemento de Vivienda 2013-2021 es esencialmente actual, el foco de la actualización de ciclo medio 2017 es para proporcionar información y datos actuales, si tal está disponible, en las tablas del Elemento de Vivienda y en el texto adjunto, según sea necesario, que incluye una actualización del estado de implementación del Plan de Acción de Ocho Años. No se consideran cambios en los usos de la tierra, el programa o la estrategia de necesidades de vivienda en este momento dentro del contexto de este alcance limitado. El Plan de Acción de Ocho Años también se encuentra en el Apéndice K del Plan General. Con fin de eliminar la confusión y la redundancia, el Plan de Acción de Ocho Años será removido del Apéndice K, pero mantendrá como componente crítico del Elemento de Vivienda. – Planificador de Proyecto: Roberto Flores por teléfono al (951) 955-1195 o por correo electrónico a RFlores@rivco.org.

HORA DE LA AUDENCIA:	9:00 am o lo antes posible
FECHA DE LA AUDENCIA:	20 de septiembre de 2017
LUGAR DE LA AUDENCIA:	RIVERSIDE COUNTY ADMINISTRATIVE CENTER BOARD CHAMBERS, 1ST FLOOR 4080 LEMON STREET, RIVERSIDE, CA 92501

Para más información sobre este proyecto, por favor póngase en contacto con Roberto Flores por teléfono al (951) 955-1195 o por correo electrónico a rflores@rivco.org, o visite la página web de agendas de la Comisión de Planificación del Condado en <http://planning.rctlma.org/PublicHearings.aspx>.

El Departamento de Planificación del Condado de Riverside ha determinado que la aplicación arriba descrita está exenta de las disposiciones de la Ley de California Environmental Quality Act (CEQA). La Comisión de Planificación considerará la solicitud propuesta en la audiencia pública.

El expediente del proyecto propuesto se puede ver de lunes a viernes, a partir de las 8:00 de la mañana a 5:00 de la tarde en la oficina del Departamento de Planificación, ubicada en 4080 Lemon St. 12th Floor, Riverside, CA 92501.

Cualquier persona que desea comentar sobre el proyecto propuesto puede hacerlo por escrito entre la fecha de esta notificación y de la audiencia pública; o puede aparecer y ser escuchado en el tiempo y lugar indicados anteriormente. Todos los comentarios recibidos antes de la audiencia pública serán presentados a la Comisión de Planificación del Condado de Riverside, el cual considerará tales comentarios, además de los testimonios orales, antes de tomar una decisión sobre el proyecto.

Si este proyecto es impugnado ante un tribunal, las cuestiones pueden ser limitadas a las presentadas en la audiencia pública, descrito en este aviso, o en la correspondencia escrita a la Comisión de Planificación en, o antes de, la audiencia pública. Tenga en cuenta que como resultado de la audiencia pública y los comentarios, la Comisión de Planificación puede modificar en total o en parte el proyecto.

Por favor envía toda la correspondencia en escrito a:
RIVERSIDE COUNTY PLANNING DEPARTMENT
A la atención de: Roberto Flores
P.O. Box 1409, Riverside, CA 92502-1409

NOTICE OF PUBLIC HEARING

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider the project shown below:

GENERAL PLAN AMENDMENT NO. 1218 (Entitlement/Policy Amendment) – Exempt from the California Environmental Quality Act (CEQA) – Applicant: County of Riverside – All Supervisorial Districts – All Area Plans – All Zoning Areas/Districts – All Zoning – Location: Unincorporated areas of Riverside County – **REQUEST:** The 2017 Mid-Cycle Housing Element Update (General Plan Amendment No. 1218) includes limited changes to the 2013-2021 Housing Element adopted on December 6, 2016. Because the 2013-2021 Housing Element was recently adopted, the focus of the 2017 Mid-Cycle Housing Element Update (“Update” or “GPA No. 1218”) is on providing information and data in the Housing Element tables where current information is available, and in the accompanying text, as needed, including a status update of implementing the Eight Year Action Plan. No land use, program, or housing needs strategy changes are being considered at this time within the context of this limited scope. The Eight Year Action Plan is also currently contained in General Plan Appendix K. In order to eliminate confusion and redundancy, the Eight Year Action Plan will be removed from Appendix K but will be maintained as a critical component of the Housing Element.

TIME OF HEARING: 9:00 am or as soon as possible thereafter.
DATE OF HEARING: **September 20, 2017**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
BOARD CHAMBERS, 1ST FLOOR
4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project, Project Planners, Peter Hersh at (951) 955-8514 or email at PHersh@rivco.org, or Robert Flores at (951) 955-1195 or email at RFlores@rivco.org, or go to the County Planning Department’s Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above-described application is exempt from the provisions of the California Environmental Quality Act (CEQA). The Planning Commission will consider the proposed application at the public hearing.

The case file for the proposed project may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon St. 12th Floor, Riverside, CA 92501.

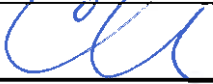
Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed amendment.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that as a result of the public hearing and comments, the Planning Commission may modify, in whole or in part, the proposed amendment.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Peter Hersh
P.O. Box 1409, Riverside, CA 92502-1409

Agenda Item No.
 Area Plan: Lake Mathews/Woodcrest
 Zoning District: Gavilan Hills
 Supervisorial District: First
 Project Planner: Deborah Bradford
 Planning Commission: September 20, 2017

TENTATIVE TRACT MAP NO. 36963
 CHANGE OF ZONE NO. 7905
 ENVIRONMENTAL ASSESSMENT NO. 42887
 Applicant: Paulino Rodriguez
 Engineer/Rep: Albert A. Webb Associates



Charissa Leach, P.E.
 Assistant TLMA Director

**COUNTY OF RIVERSIDE PLANNING DEPARTMENT
 STAFF REPORT**

PROJECT DESCRIPTION:

The proposed project consists of **Change of Zone No. 7905** to change the site's zoning classification from Residential Agricultural 2 ½-acre minimum (R-A-2 ½) to Residential Agricultural 2-acre minimum (R-A-2) and **Tentative Tract Map No. 36963** a Schedule 'C' subdivision of 79.67 gross acres into thirty-one, 2-acre minimum single family residential lots and 3 letter lots to be utilized for water quality basins. In addition the applicant is proposing Street "A" located vertically along the eastern portion of the site and Street "B" located horizontally along the southwestern portion of the site. A fourteen (14) foot wide community trail will be added along Olive Street and El Mineral Road.

PROJECT LOCATION:

The project site is located northerly of Big Sky Circle, southerly of El Mineral Road, westerly of Spencer Butte Drive, and easterly of Olive Street in unincorporated Riverside County.

BACKGROUND:

AB 52 Tribal Consultation

In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on April 13, 2016. Consultations were requested by the Pechanga Band of Luiseno Indians, the Soboba Band of Luiseno Indians and the Morongo Band. All tribes were provided the cultural report as well as project exhibits. Consultation was conducted with Morongo on June 8, 2016. No Tribal Cultural Resources were identified during this consultation meeting. Consultation was conducted with Soboba on June 07, 2016. No Tribal Cultural Resources were identified during this consultation. In a December 21, 2016 meeting with Pechanga, the Tribe told Planning that the project was situated within a cultural landscape and requested to monitor during ground disturbing activities to mitigate adverse impacts to the landscape. Consultation was concluded on January 31, 2017 with Pechanga and on February 2, 2017 with Soboba and Morongo.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Rural Community: Estate Density Residential (RC: EDR) (2 acre lot minimum).
2. Surrounding General Plan Land Use (Ex. #5): Located to the north and east is Rural Community: Estate Density Residential (RC: EDR) to the west is, Rural: Rural Residential (R: RR) and to the south is Rural: Rural Residential (R: RR) and Rural Community: Estate Density Residential (RC: EDR).
3. Existing Zoning (Ex. #3): Residential Agriculture, 2 ½ acre minimum (R-A-2 ½)

- | | |
|-----------------------------------|---|
| 4. Surrounding Zoning (Ex. #3): | Located to the north is Residential Agriculture 2 ½-acre minimum (R-A-2½), to the east, Residential Agriculture 2-acre minimum (R-A-2), to the south Residential Agriculture 2 ½-acre minimum (R-A-2½) and Residential Agriculture 5-acre minimum (R-A-5) and to the west Residential Agriculture 5-acre minimum (R-A-5). |
| 5. Existing Land Use (Ex. #1): | The project site is vacant. |
| 6. Surrounding Land Use (Ex. #1): | Located to the north, south, east, and west of the project area are single-family residential uses. |
| 7. Project Data: | Total Acreage: 79.67 acres |
| 8. Environmental Concerns: | See attached EA No.42887 |

RECOMMENDATIONS:

THE PLANNING COMMISSION RECOMMENDS THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:

ADOPT A NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42887, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

TENTATIVELY APPROVE CHANGE OF ZONE NO. 7905 amending the zoning classification for the subject property from Residential Agricultural 2 ½ acre minimum (R-A-2 ½) to Residential Agricultural 2 acre minimum (R-A-2). in accordance with Exhibit 3, based upon the findings and conclusions incorporated in the staff report, subject to the adoption of the zoning ordinance by the Board of Supervisors; and,

APPROVE TENTATIVE TRACT MAP NO. 36963, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached Environmental Assessment No. 42887, which is incorporated herein by reference.

1. The project site is designated Rural Community: Estate Density Residential (RC: EDR) (2-acre lot minimum) located in the Lake Matthews/Woodcrest Area Plan. The Project site is not located within a Specific Plan.
2. The proposed project is for the subdivision of a 79.67 acre site into thirty-one (31) single-family residential lots and three (3) letter lots to be utilized for water quality basins. The residential lots will be subdivided into a minimum lot size of two-acres. The project is consistent with County of Riverside's General Plan Rural Community: Estate Density Residential (RC: EDR) which allows for a minimum residential lot size of 2 acres.

3. The General Plan Land use designations surrounding the Project site are; Rural Community: Estate Density Residential (RC: EDR) to the north and east, Rural: Rural Residential (R: RR) to the west, and Rural: Rural Residential (R: RR) and Rural Community: Estate Density Residential (RC: EDR) to the south.
4. The existing Zoning Classification for the subject site is Residential Agricultural, 2 ½-acre minimum (R-A-2 ½).
5. The proposed Zoning Classification for the subject site is Residential Agricultural, 2-acre minimum (R-A-2)
6. The proposed subdivision is consistent with the required lot area dimensions and standards as set forth in the Development Standards of the R-A zoning classification. All lot configurations are rectangular in shape and exceeds the minimum width of 100 feet and minimum depth of 150 feet. The proposed Project will also conform to the development standards of the Residential Agricultural (R-A) Zoning Classification and all other applicable provisions of Ordinance No. 348.
7. The Project site is surrounded by properties which are Zoned Residential Agriculture 2 ½-acre minimum (R-A-2½) to the north, Residential Agriculture 2-acre minimum (R-A-2) to the east, Residential Agriculture 2 ½-acre minimum (R-A-2½) and Residential Agriculture 5-acre minimum (R-A-5) to the south and, Residential Agriculture 5-acre minimum (R-A-5) to the west.
8. The Project site is surrounded by single-family residential development and is compatible with the development pattern of the surrounding neighborhoods.
9. The project site is in located within the Fee Assessment Area for the Stephen's Kangaroo Rat Habitat Conservation Plan (SKRHCP). Per County Ordinance No. 663 and the SKRHCP, all applicants for development permits, including maps, within the boundaries of the Fee Assessment Area who cannot satisfy mitigation requirements through on-site mitigation, as determined through the environmental review process, shall pay a Mitigation Fee of \$500.00 per gross acre of the parcels proposed for development. Payment of the SKRHCP Mitigation Fee for this Project, instead of on-site mitigation, will not jeopardize the implementation of the SKRHCP as all core reserves required for permanent Stephen's Kangaroo Rat habitat have been acquired and no new land or habitat is required to be conserved under the SKRHCP.
10. The project site is located within a Very High fire hazard area and is within the State Responsibility Area ("SRA") for fire protection services. As a part of being within an SRA the Director of the Department of Forestry and Fire Protection or his/her designee shall be notified of applications for building permits, tentative parcel maps, tentative maps and use permits for construction or development with SRA's. Riverside County Code Section 8.32.050 (C) (2) states that the Fire Chief is authorized and directed to enforce all applicable State fire laws and provisions of this ordinance and to perform such duties as directed by the Board of Supervisors. Riverside's County Assistant Fire Marshall Swarouth stated that given they have the authority to enforce all applicable State fire laws that the notification requirement of Title 14 has been met. The following additional findings are required to be met:
 - a. The proposed Project is for the subdivision of 79.67 acres into thirty-one (31) single-family lots and three (3) letter lots to be utilized for water quality basins. Development of this project is in

compliance sections 4290 and 4291 of the Public Resources Code in that conditions of approval have been applied regarding, emergency access and egress, fire hydrant placement, interior sprinkler system, fuel modification, driveway access, address numbering, and emergency water standards. Fire protection services can easily access the site, from El Mineral and Olive Street.

- b. Fire protection and suppression services are available for the site through the California Department of Forestry and Fire Protection.
 - c. The project meets the regulations regarding road standards for fire equipment access adopted pursuant to Section 4290 et seq. of the Public Resources Code, the regulations adopted thereto, and Riverside County Ordinance No. 787. Presently, there is adequate accessibility to the project site for all emergency service vehicles. Once ultimate development has occurred and roadways have been installed emergency access will continue to be available.
11. Based on review by staff, the proposed Tentative Tract Map No. 36963 is consistent with the minimum improvements as outlined in Section 10.7 (*Schedule "C" Subdivision*) of Ordinance No. 460 and as follows:
- Streets – Condition of Approval 10. TRANS. 1 states that the tentative map must show acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's and that their omission or unacceptability may require the map to be resubmitted for further consideration. Condition of Approval 50. TRANS. 8 pertains to the required road dedication for private streets A – B designated as Local Roads. Condition of approval 50. TRANS. 9 refers to the maintenance of El Mineral and Big Sky Circle which includes paving and installation of curb and gutter. With these conditions the requirements of Ordinance No. 460 10.7 A. as it pertains to streets and street improvement has been met.
 - Domestic Water – Condition of Approval 10. E. HEALTH. 1 states that TR36963 is proposing potable water service from Western Municipal Water District (WMWD), and it is the responsibility of the developer to ensure that all requirements to obtain potable water service are met with WQMD as well as all other applicable agencies. Any existing onsite water well shall be properly removed or abandoned under permit with the Department of Environmental Health. With this condition the requirements of Ordinance No. 460 Section 10.7 B. as it pertains to domestic water has been met.
 - Fire Protection – Condition of Approval 10. FIRE. 2 requires that Schedule 'A' fire protection approved standard fire hydrants, be provided at each street intersection and spaced no more than 330 feet apart in any direction and that fire flow shall be 1,000 GPM for 2 hour duration at 20 PSI. With this condition, the requirements of Ordinance No. 460 Section 10.7 C has been met.
 - Sewage Disposal – Condition of Approval 80. E. HEALTH. 3 requires that plans be submitted to the Department of Environmental Health, showing the proposed subsurface sewage disposal system and floor plan/plumbing schedule to ensure proper septic tank sizing will be provided. With this condition, the requirements of Ordinance No. 460 Section 10.7 D has been met.
 - Electrical and Communication Facilities – No electrical or communication facilities are proposed. The proposed Project meets the requirements of Ordinance No. 460 Section 10.7 E.

12. The proposed project meets all the requirements of Government Code section 66474 and Ordinance No. 460 Section 7.1 as stated below:
- a) The proposed land division of a 79.67-acre site into 31 single-family residential lots and three (3) letter lots to be utilized for water quality basins and its design are consistent with the General Plan in that the Land Use Designation of Rural Community: Estate Density Residential (RC: EDR) encourages a density of single-family residential uses on large parcels of 2 to 5 acres. As proposed the subdivision will have a minimum lot size of 2 acres; therefore, the proposed project complies with these requirements. There is no applicable Specific Plan.
 - b) The design of the proposed subdivision is in compliance with the development standards for lots located in the R-A zoning classification in terms of shape and size. The lots proposed will be consistent with the development pattern in the project vicinity and the right-of-way improvements are consistent with the County of Riverside's road standards. The proposed project complies with this requirement.
 - c) The proposed land division is physically suitable for the proposed development and the proposed density of the development. The subdivision will be dividing a 79.67-acre site into 31 single-family residential lots and three (3) letter lots for water quality basins. The lot sizes proposed will meet the required lot width, depth and setbacks of the Residential Agricultural Zoning Classification. Existing roads currently provide access to the project site, and utilities and services will be available ensuring that the site is physically suitable for the prop. The overall density of one dwelling unit per two-acre lots is compatible with the existing and planned surrounding land uses which consists of Estate Density Residential and Rural land use designations which encourages detached single family residences on large parcels of 2 to 5 acres. The proposed subdivision will not result in an increase in density beyond that which is allowed per the General Plan. The proposed project complies with these requirements.
 - d) Environmental review of the proposed project determined that no significant environmental impacts would occur due to project implementation. Therefore, a Negative Declaration has been prepared which has determined that no environmental damage will occur, that no fish, or wildlife or their habitat will be damaged, and that no serious public health problems will be caused as a result of this land division or types of improvements proposed. The proposed project complies with these requirements.
 - e) The land division is located within a High Fire Hazard Area; however, emergency vehicles can easily access the project site from El Mineral and Olive Street. Fire Department conditions of approval, such as entry gates, fire hydrants, interior sprinklers, and blue dot reflectors will ensure that life and property are protected. The project site is not located within a fault zone, or within a ½ mile of a fault, there is no potential for liquefaction and is not located in a subsidence area. Therefore, health, welfare and safety of the community and property owners will not be jeopardized by the proposed land division. The proposed project complies with this requirement.
 - f) There are no existing easements within the Project site that would conflict with the design of Tentative Tract No. 36963. Easements for the proposed water quality basins will be

dedicated and maintained by the County of Riverside. These easements will not be utilized by the public for access onto the property within the proposed subdivision. The proposed project complies with this requirement.

13. The project site is located within the boundaries of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP). This Plan is a comprehensive, multi-jurisdictional Habitat Conservation Plan which focuses on conservation of species and their associate habitats in Western Riverside County, which includes the unincorporated Riverside County land west of the crest of the San Jacinto Mountains to the Orange County line. When a project site is located within a Criteria Area/Criteria Cell additional review would be required. Criteria Areas/Cells are land that has been identified as an area where conservation potentially needs to occur. The Project site is not located within a Criteria Area/Cell of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP); therefore, the project is considered consistent with the MSHCP and no further evaluation is needed.
14. In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on April 13, 2016. Consultations were requested by the Pechanga Band of Luiseno Indians, the Soboba Band of Luiseno Indians and the Morongo Band. All tribes were provided the cultural report as well as project exhibits. Consultation was conducted with Morongo on June 8, 2016. No Tribal Cultural Resources were identified during this consultation meeting. Consultation was conducted with Soboba on June 07, 2016. No Tribal Cultural Resources were identified during this consultation. In a December 21, 2016 meeting with Pechanga, the Tribe told Planning that the project was situated within a cultural landscape and requested to monitor during ground disturbing activities to mitigate adverse impacts to the landscape. Consultation was concluded on January 31, 2017 with Pechanga and on February 2, 2017 with Soboba and Morongo.
15. Environmental Assessment No. 42887 did not identify any potentially significant impacts.

CONCLUSIONS:

1. The proposed project is in conformance with the Rural Community: Estate Density Residential (RC: EDR) (2-acre lot minimum) and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the requirements of the Residential Agriculture zoning classification and all other applicable provisions of Ordinance No. 348.
3. The Tentative Tract Map proposal is consistent with the Schedule "C" map requirements and all other applicable provisions of Ordinance No. 460.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment based on the findings incorporated in the initial study.
6. The public's health, safety, and general welfare are protected through project design.

7. The proposed project will not preclude reserve design for the WRCMSHCP.

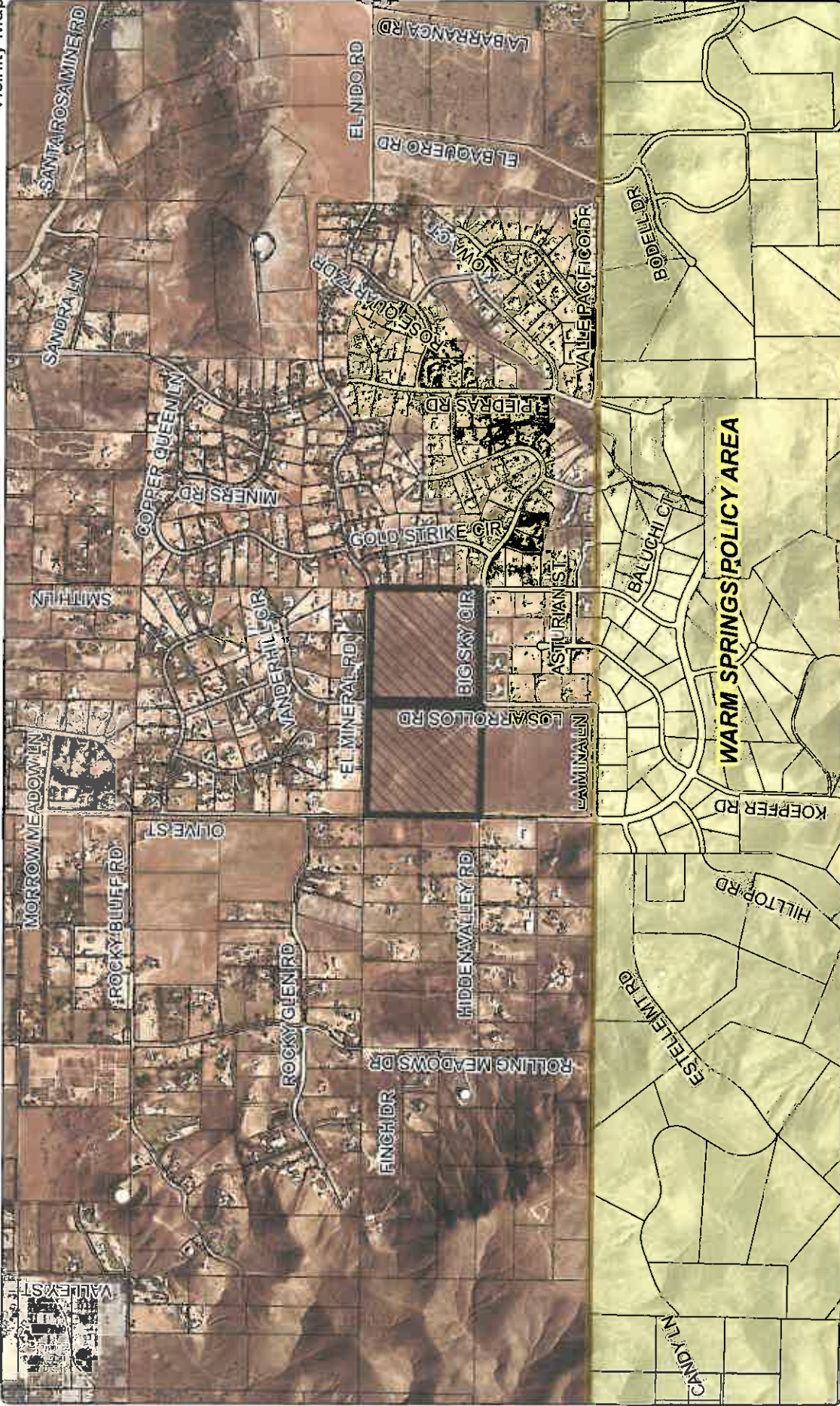
INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A County Service Area; or
 - b. A Sphere of Influence; or
 - c. A Liquefaction Area; or
 - d. An Airport Influence Area; or
 - e. A Cell Group of the Western Riverside County Multi-species Habitat Conservation Plan (WRMSHCP); or
 - f. A 100 year flood zone; or
 - g. A Fault Zone.
3. The project site is located within:
 - a. The boundaries of Perris & Perris Union High School District; and
 - b. Partially within the WRCMSHCP Fee Area; and
 - c. Partially within a Stephen's Kangaroo Rat Fee Area; and
 - d. High Fire Area and a State Responsibility Area.
4. The subject site is currently designated as Assessor's Parcel Number: 289-250-008 and 289-250-020.

RIVERSIDE COUNTY PLANNING DEPARTMENT
CZ07905 TR36963
VICINITY/POLICY AREAS

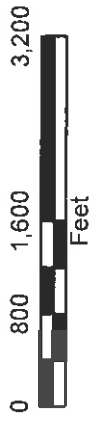
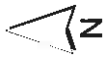
Supervisor: Jeffries
 District 1

Date Drawn: 08/02/2016
 Vicinity Map



Zoning Dist: Gavilan Hills

Author: Vinnie Nguyen



DISCLAIMER: The CS-536107-2/16, this County of Inverness submitted a new General Plan to the State of California for review. The County of Inverness is not responsible for the accuracy of the information provided in this vicinity map. The County of Inverness is not responsible for the accuracy of the information provided in this vicinity map. For further information, please contact the Inverness County Planning Department at (760) 939-2277. Inverness County, California. www.invernesscounty.ca.gov

RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07905 TR36963

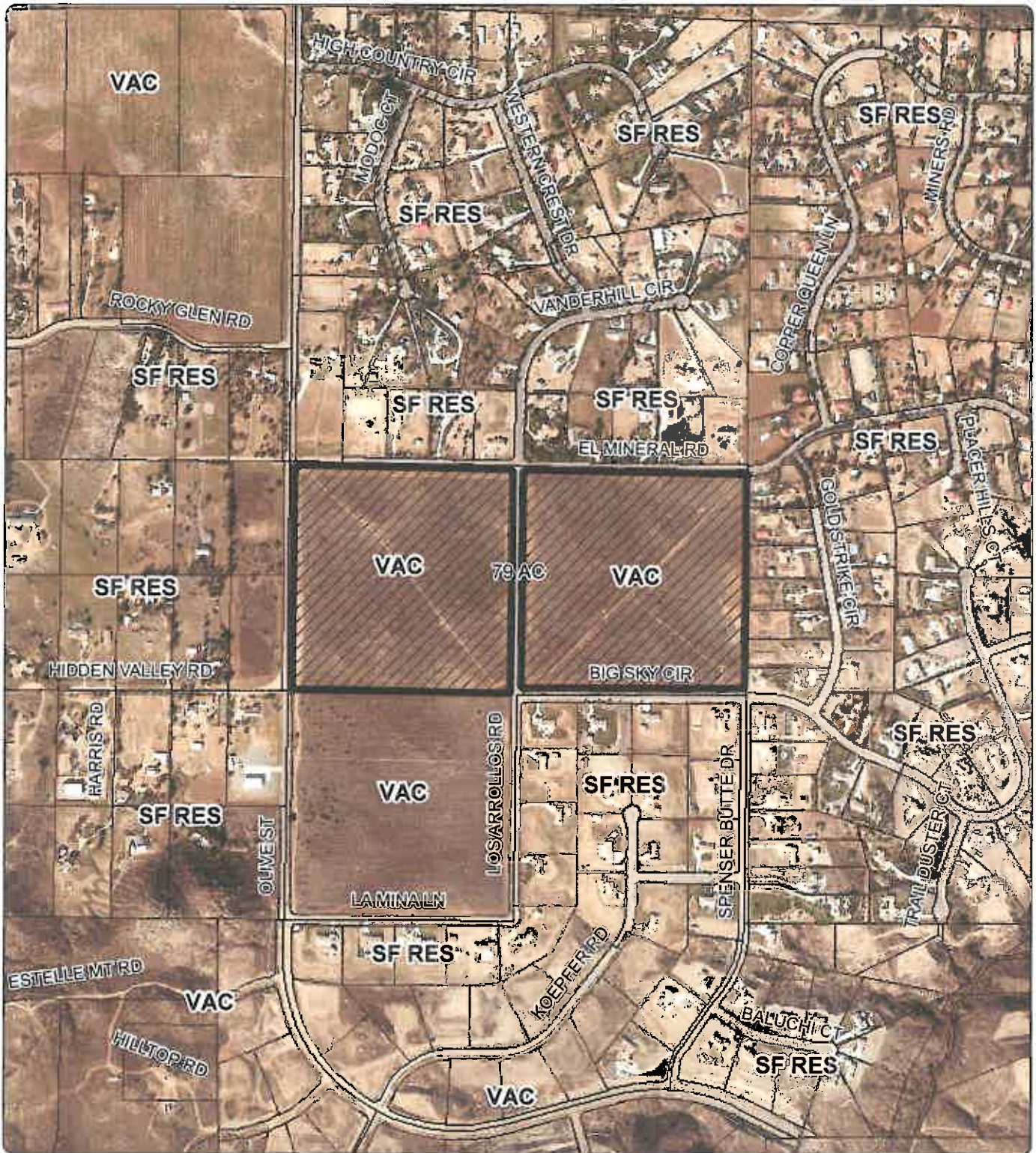
LAND USE

Supervisor: Jeffries

District 1

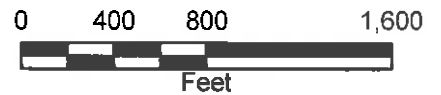
Date Drawn: 08/02/2016

Exhibit 1



Zoning Dist: Gavilan Hills

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)865-6277 (Eastern County) or Website <http://planning.rcdema.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07905 TR36963

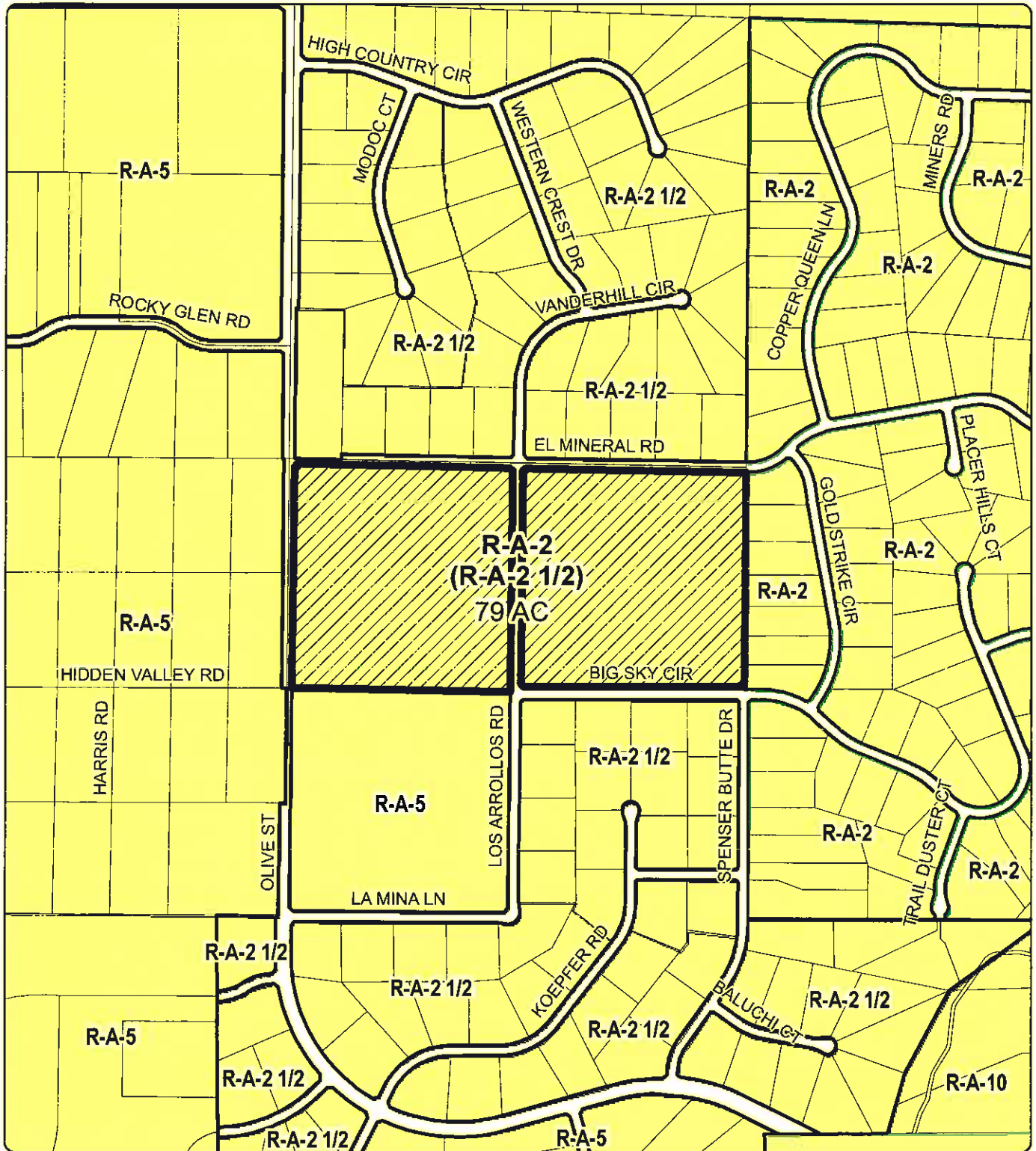
PROPOSED ZONING

Supervisor: Jeffries

District 1

Date Drawn: 08/02/2016

Exhibit 3



Zoning Dist: Gavilan Hills

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcplma.org>

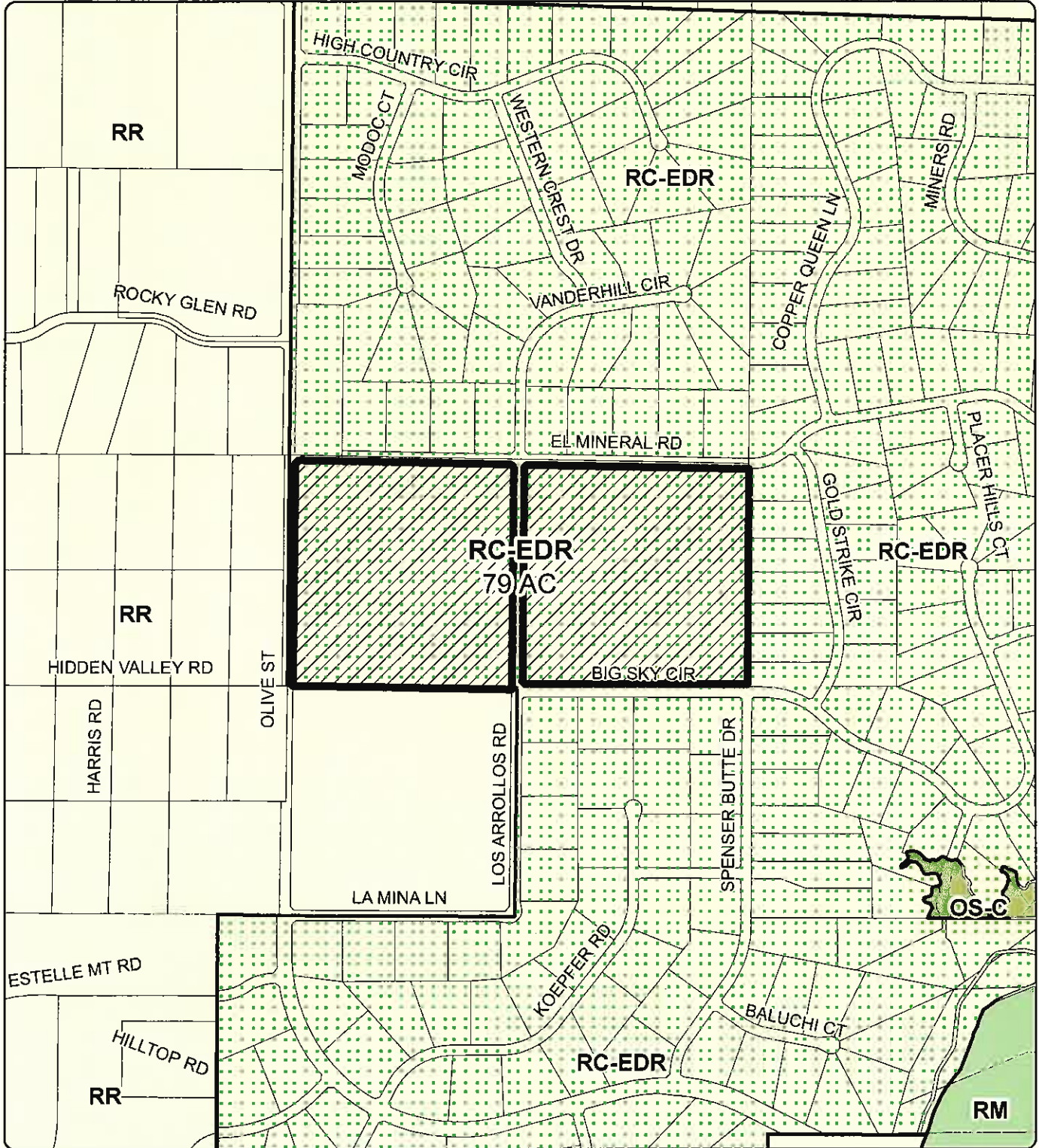
RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07905 TR36963

EXISTING GENERAL PLAN

Supervisor: Jeffries
District 1

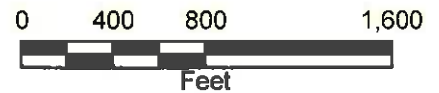
Date Drawn: 10/24/13
Exhibit 5



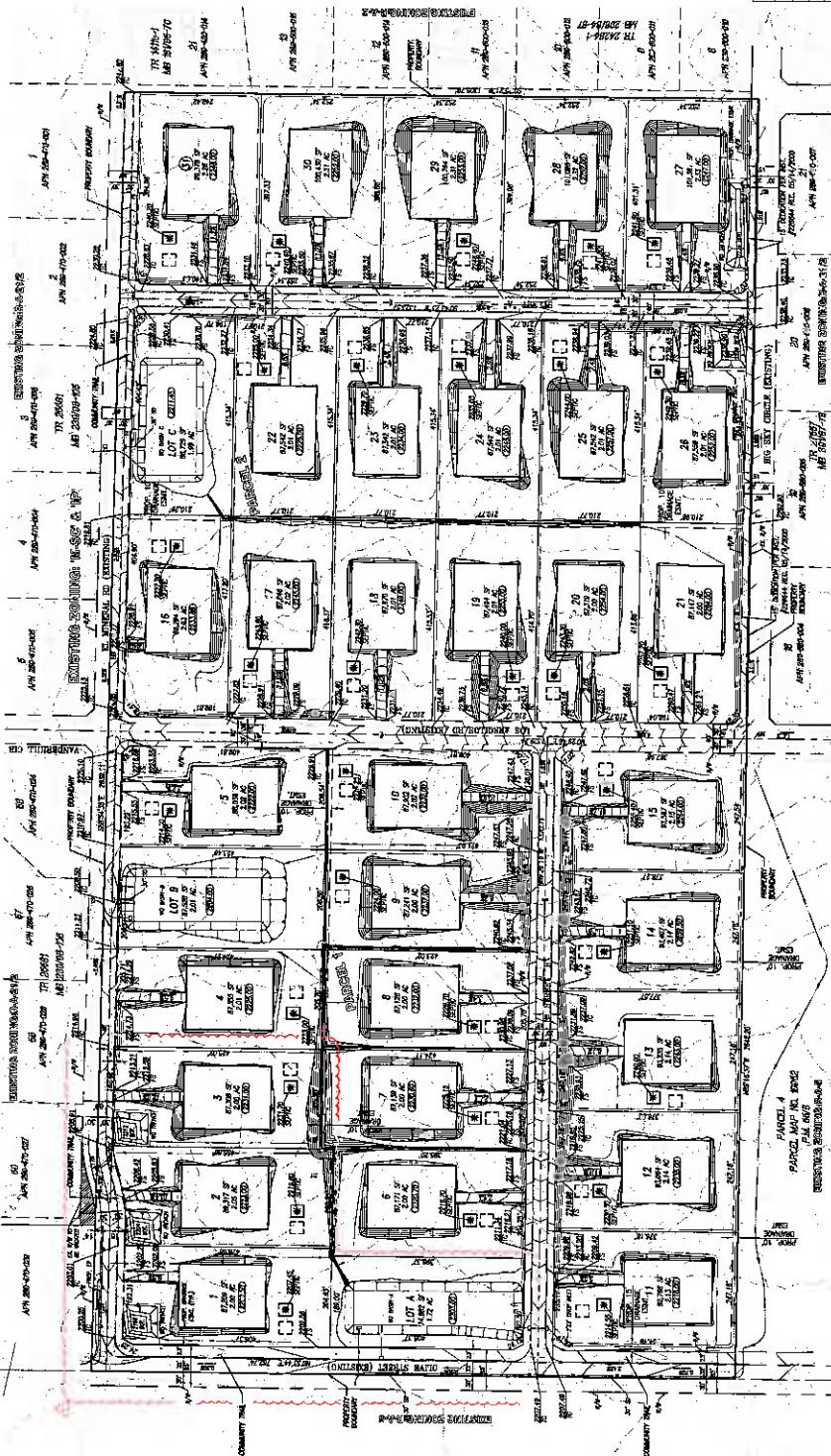
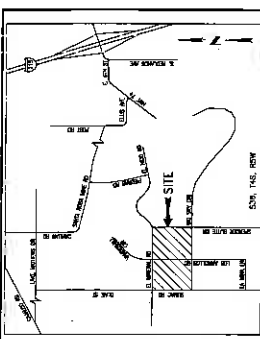
Zoning Dist: Gavilan Hills

Author: Vinnie Nguyen

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)956-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcplma.org>



TENTATIVE TRACT MAP NO 36963 COUNTY OF RIVERSIDE, CALIFORNIA



LAND USE SUMMARY

LAND USE	ACRES
RESIDENTIAL	1.2
COMMERCIAL	0.8
INDUSTRIAL	0.3
TOTAL	2.3

PARCEL AREA TABLE

PARCEL	ACRES	SQ FT
1	0.2	8712
2	0.2	8712
3	0.2	8712
4	0.2	8712
5	0.2	8712
6	0.2	8712
7	0.2	8712
8	0.2	8712
9	0.2	8712
10	0.2	8712
11	0.2	8712
12	0.2	8712
13	0.2	8712
14	0.2	8712
15	0.2	8712
16	0.2	8712
17	0.2	8712
18	0.2	8712
19	0.2	8712
20	0.2	8712
21	0.2	8712
22	0.2	8712
23	0.2	8712
24	0.2	8712
25	0.2	8712
26	0.2	8712
27	0.2	8712
28	0.2	8712
29	0.2	8712
30	0.2	8712

OWNER/ARCHITECT

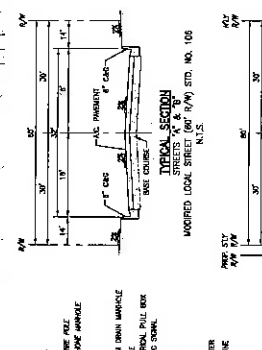
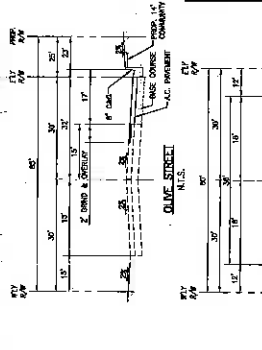
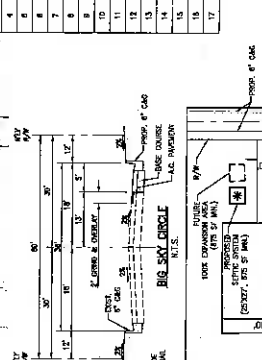
CIVIL ENGINEERING
1100 WEST MAIN STREET
RIVERSIDE, CA 92503
PHONE: (951) 941-1075

UTILITY PROVIDERS

GAS: CALIFORNIA GAS COMPANY
ELECTRICITY: SOUTHERN CALIFORNIA ELECTRIC COMPANY
CABLE: SBC COMMUNICATIONS

ASSIGNOR'S PARCEL NO.

APN 94-100-38-001



- ### LEGEND & ABBREVIATIONS
- 1. LOT
 - 2. LOT AREA
 - 3. LOT DIMENSIONS
 - 4. LOT COVERAGE
 - 5. LOT CENTERLINE
 - 6. LOT CORNER
 - 7. LOT BOUNDARY
 - 8. LOT SETBACK
 - 9. LOT FRONTAGE
 - 10. LOT DEPTH
 - 11. LOT WIDTH
 - 12. LOT HEIGHT
 - 13. LOT AREA
 - 14. LOT DIMENSIONS
 - 15. LOT COVERAGE
 - 16. LOT CENTERLINE
 - 17. LOT CORNER
 - 18. LOT BOUNDARY
 - 19. LOT SETBACK
 - 20. LOT FRONTAGE
 - 21. LOT DEPTH
 - 22. LOT WIDTH
 - 23. LOT HEIGHT
 - 24. LOT AREA

GENERAL INFORMATION

1. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

2. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

3. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

4. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

5. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

6. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

7. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

8. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

9. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

10. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

DATE: 5/25/2017

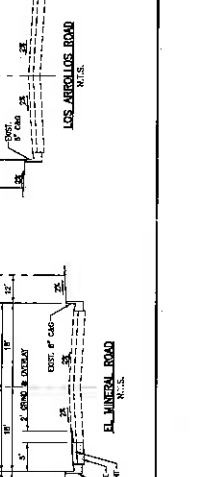
COUNTY OF RIVERSIDE
TENTATIVE TRACT MAP NO 36963
SCHEDULE 'C'

LEGAL DESCRIPTION

PARCELS 1, 2 AND 3 IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY PARCEL MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA.

PARCELS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30 IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY PARCEL MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA.

PARCEL 31 IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY PARCEL MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA.



MAP NOTES

1. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

2. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

3. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

4. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

5. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

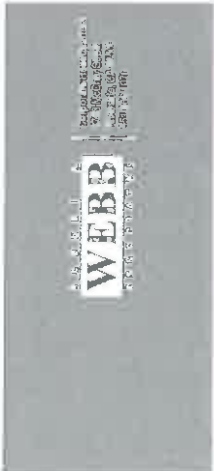
6. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

7. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

8. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

9. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.

10. THE TRACT MAP NO. 36963 IS A TENTATIVE TRACT MAP FOR THE PARTIAL REZONING OF THE TRACT SHOWN ON THE TRACT MAP NO. 36963, COUNTY OF RIVERSIDE, CALIFORNIA, TO BE A SINGLE-FAMILY RESIDENTIAL TRACT.



TRACT 36963 | RIVERSIDE COUNTY

CONCEPTUAL LANDSCAPE PLAN

LANDSCAPE CONCEPT THEORY

THE INTENT FOR THIS PROJECT IS TO PROVIDE A LANDSCAPE DESIGN THAT WILL THRIVE IN THE CLIMATE OF THE AREA AND PROVIDES YEAR-ROUND INTEREST AND BEAUTY. ALL OF THE PLANT MATERIAL THAT HAS BEEN PROPOSED FOR THIS PROJECT IS DROUGHT TOLERANT, HEAT AND COLD RESISTANT AND EASY TO MAINTAIN. THE PROPOSED LAYOUT OF THE PLANT MATERIAL WILL BE DONE IN A WAY THAT THE PLANTS WILL HAVE ENOUGH ROOM TO GROW TO THEIR FULL MATURITY WITHOUT HAVING TO BE PRUNED. THE USE OF WOOD MULCH AND DECOMPOSED GRANITE WILL INHIBIT WEED GROWTH AND HELP RETAIN SOIL MOISTURE IMPROVING THE GROWING CONDITIONS WHILE LOWERING WATER USE. THE FINISHED LANDSCAPE WILL INTEGRATE WELL INTO THE SURROUNDING EXISTING LANDSCAPE AREAS AND WILL PROVIDE SCREENING OF THE PROJECT FROM THE SURROUNDING ROADS. THE VARIETY OF COLOR, TEXTURES, AND FORMS TO ACCENT AND BEAUTIFY THE DEVELOPMENT. THE INTERIOR STREETS OF THE DEVELOPMENT WILL BE PLANTED WITH A VARIETY OF EQUALLY SPACED STREET TREES OF AT LEAST TWO DIFFERENT SPECIES PER STREET. TREES WILL PROVIDE SCREENING, SHADE, AND SOFTEN THE PAVED AREAS. THIS PROJECT WILL COMPLY WITH STATE OF CALIFORNIA MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE, COUNTY OF RIVERSIDE WATER EFFICIENT LANDSCAPE REQUIREMENTS ORDINANCE, AND LOCAL WATER USE EFFICIENCY ORDINANCE BY USING AN IET-EFFICIENT ("SMART") IRRIGATION CONTROLLER COMBINED WITH RAIN SENSORS AND FLOW SENSORS.

OWNER APPLICANT
 RANNEY FENCE FIRST
 477 N. 197TH AVE UNIT A
 BARTONDA, CA 92026
 CONTACT: JANE@RANNEYFENCE.COM
 PHONE: 951-252-1234
 EMAIL: JANE@RANNEYFENCE.COM



LANDSCAPE ARCHITECT
 ALBERT A. WEBB ASSOCIATES
 3708 HANCOCK STREET
 RIVERSIDE, CALIFORNIA 92506
 PH: (951) 286-1125 FAX: (951) 286-1256
 ALBERT@WEBBARCHITECT.COM

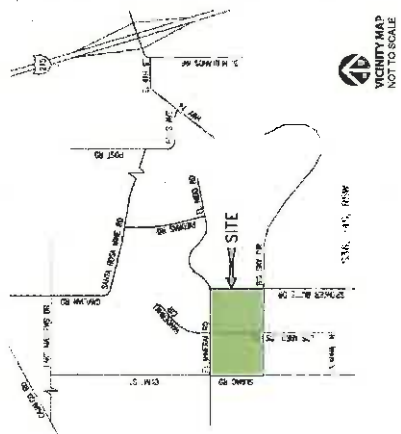
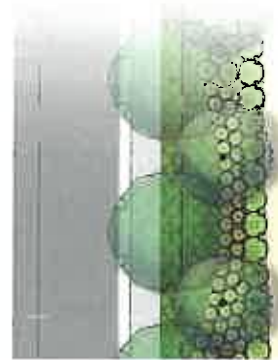


TABLE OF CONTENTS

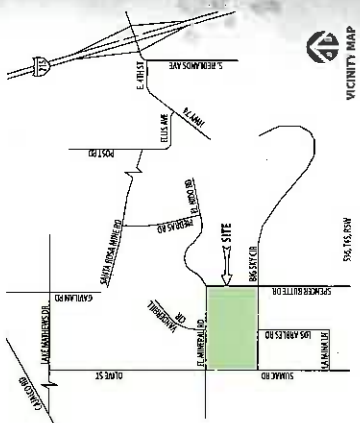
- SITE CONTEXT.....2
- CONCEPTUAL LANDSCAPE PLAN.....3
- ENLARGEMENTS.....4
- MAINTENANCE PLAN.....5



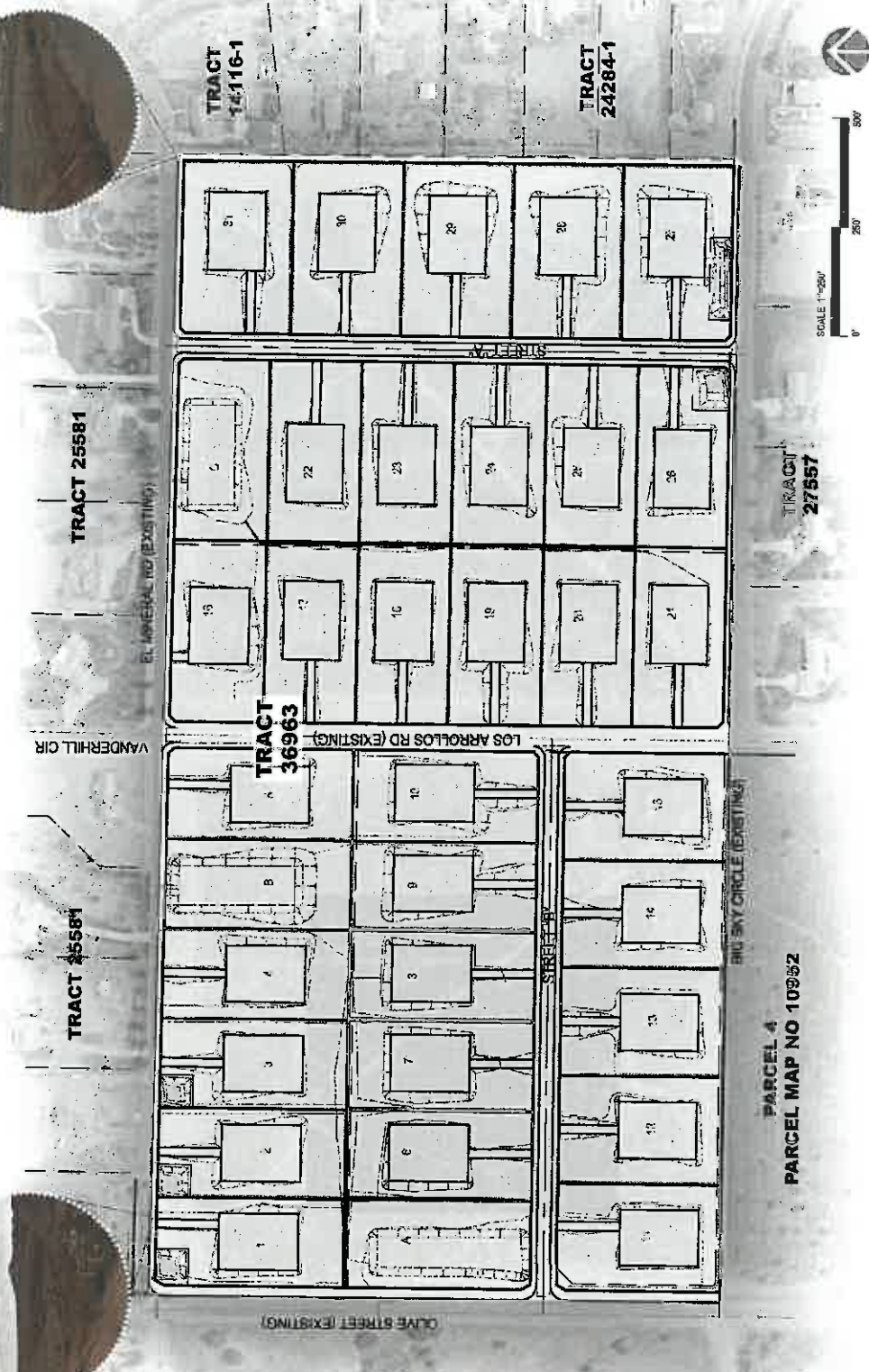
OWNER APPLICANT
 AMBER/PERFORMANCE TRUST
 ALBERTA WEBB ASSOCIATES
 3780 MACOP STREET
 PLEASANTON, CALIFORNIA 94588
 PHONE: (925) 428-2255 FAX: (925) 428-2256
 WWW.AMWEBB.COM
 PAUL@AMWEBB.COM

LANDSCAPE ARCHITECT
 ALBERTA WEBB ASSOCIATES
 3780 MACOP STREET
 PLEASANTON, CALIFORNIA 94588
 PHONE: (925) 428-2255 FAX: (925) 428-2256
 WWW.AMWEBB.COM
 PAUL@AMWEBB.COM

CIVIL ENGINEER
 ALBERTA WEBB ASSOCIATES
 3780 MACOP STREET
 PLEASANTON, CALIFORNIA 94588
 PHONE: (925) 428-2255 FAX: (925) 428-2256
 WWW.AMWEBB.COM
 PAUL@AMWEBB.COM



VICINITY MAP



ALBERT A. WEBB
 LICENSE NO. 10000
 STATE OF CALIFORNIA

WEBB ASSOCIATES
 3780 MacOp Street
 Pleasanton, CA 94588
 (925) 428-2255

TRACT 36963// SITE CONTEXT

PLANTING LEGEND

BOTANICAL NAME COMMON NAME	PLANT FACTOR	HEIGHT	WIDTH
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	LOW (0.3)	H: 3' W: 3'	
PISTACHIA GINSENGENS RED PINE	MED (0.5)	H: 3' W: 3'	
PLATANUS OCCIDENTALIS WESTERN Sycamore	MED (0.5)	H: 3' W: 3'	

SHRUBS/GRASSES/GROUND COVERS/VINES

BOTANICAL NAME COMMON NAME	PLANT FACTOR	HEIGHT	WIDTH
BACCHARIS PILLULARIS PIGEON WING	LOW (0.2)	H: 2' W: 4'	
CAULISTEMON LITTLE BUSH	LOW (0.2)	H: 3' W: 4'	
DORONICA AUSTRALIS BOTTLE BRUSH	MED (0.5)	H: 3' W: 4'	
MYRTLEBERRY	LOW (0.2)	H: 4' W: 5'	
ROSEMARY	LOW (0.2)	H: 3' W: 3'	
SAFFIA GREEN	LOW (0.2)	H: 3' W: 4'	

WATER QUALITY BASIN

BOTANICAL NAME COMMON NAME	PLANT FACTOR	HEIGHT	WIDTH
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	LOW (0.2)	H: 2' W: 3'	
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	LOW (0.2)	H: 2' W: 3'	
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	MED (0.5)	H: 3' W: 4'	
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	LOW (0.2)	H: 4' W: 5'	
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	LOW (0.2)	H: 3' W: 3'	
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	MED (0.5)	H: 3' W: 3'	
ACACIA GYMNORHIZA AUSTRALIAN WILLOW	LOW (0.2)	H: 4'	

IRRIGATION NOTES

- THE FOLLOWING ITEMS WILL BE INCORPORATED INTO THE FINAL IRRIGATION DESIGN PLANS AND SPECIFICATIONS
- SMART CONTROLLER W/ AN ET GATE WITH ACCESS TO REAL-TIME ET
- ANTI-DRAIN CHECK VALVES
- MASTER VALVE & BLOW OFF VALVE
- PRESSURE REGULATOR
- BAK-SERVING DEVICE
- HYDROZONES WILL BE PROPERLY DESIGNED
- NO OVERHEAD IRRIGATION WITHIN 24" OF NON-PERMEABLE SURFACES
- SUB-SURFACE OR LOW-PROFILE IRRIGATION WILL BE USED FOR IRREGULARLY SHAPED AREAS, OR AREAS LESS THAN 8 FEET IN WIDTH
- I AGREE TO SIGN A COMPLETE LANDSCAPE CONSTRUCTION DOCUMENT PACKAGE THAT COMPLIES WITH THE REQUIREMENTS OF ORDINANCE NO. 859.2, ORDINANCE 348, INCLUDING OFF-STREET PARKING AND SHADING REQUIREMENTS; THE CONDITIONS OF APPROVAL AND SUBSTANTIAL COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN SHOULD THE ORDINANCES BE REVISED THESE PLANS MAY BE SUBJECT TO CHANGE BASED ON THE UPDATED ORDINANCES*



07-02-2017

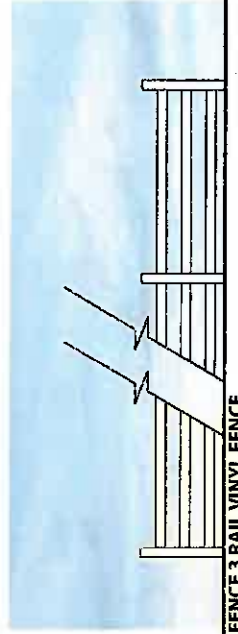
Albert A. Webb Associates

3794 Midway Street
Covina, CA 91724
951.986.1376



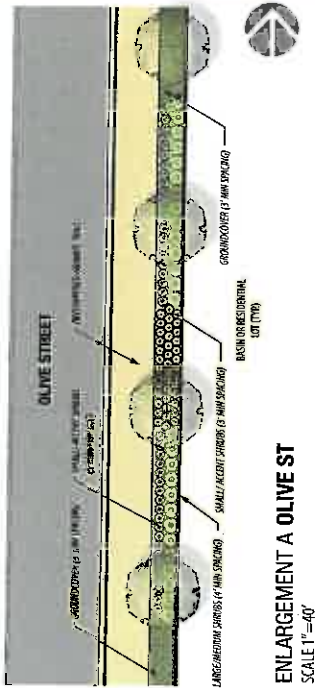
FENCE LEGEND

- 3 RAIL VINYL FENCE
- 3 RAIL VINYL GATE

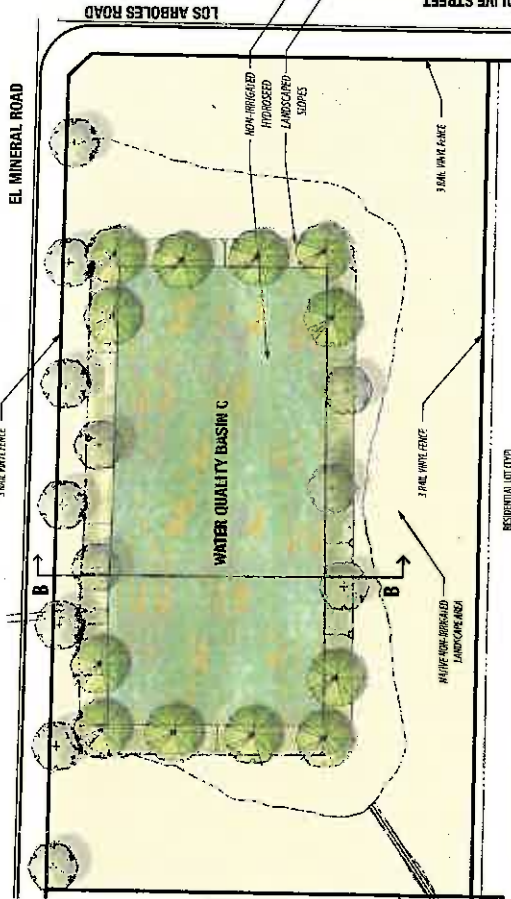


FENCE 3 RAIL VINYL FENCE

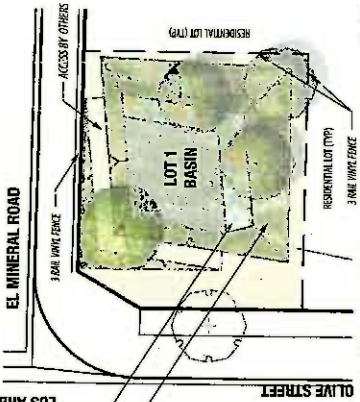
TRACT 36963 // CONCEPTUAL LANDSCAPE PLAN



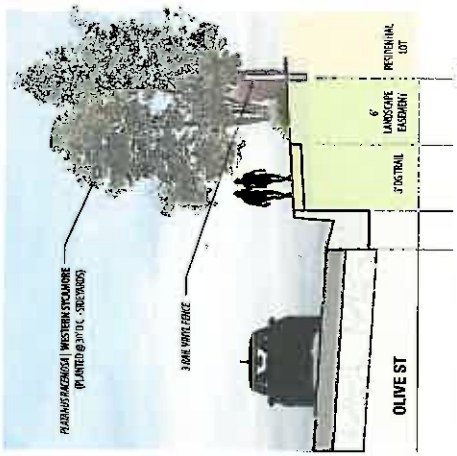
ENLARGEMENT A OLIVE ST
SCALE 1"=40'



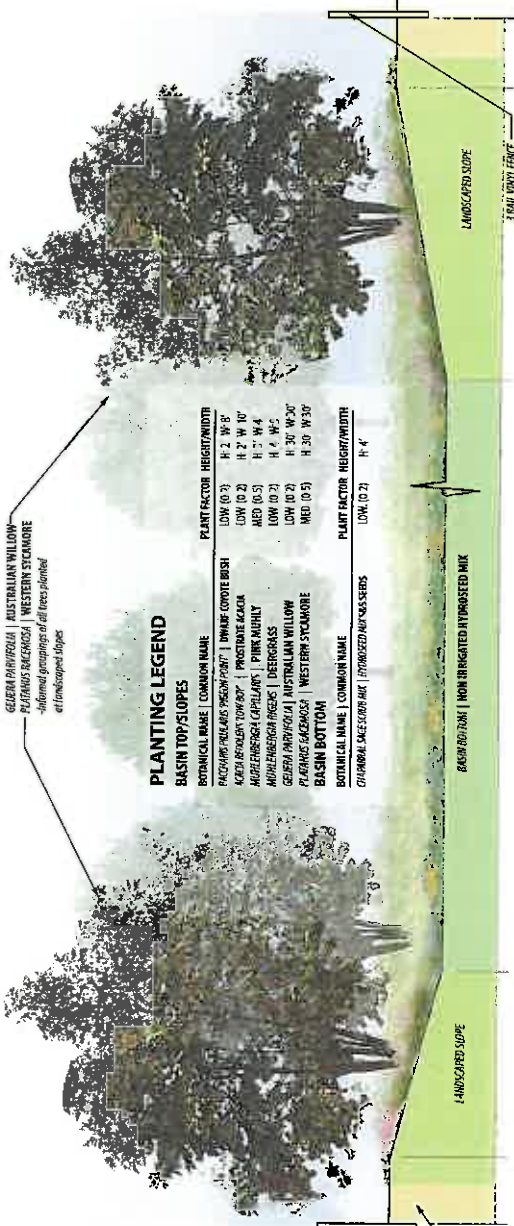
ENLARGEMENT B WATER QUALITY BASIN LOT C
SCALE 1"=60'



ENLARGEMENT C
TYP RESIDENTIAL LOT BASIN
SCALE 1"=40'



SECTION A OLIVE ST
SCALE 1/8"=1'-0"



SECTION B-B WATER QUALITY BASIN TYPICAL LAYOUT
SCALE NTS

PLANTING LEGEND

BOTANICAL NAME COMMON NAME	PLANT FACTOR	HEIGHT/WIDTH
FACTORY PLANTS (EUCALYPTUS) PRUNUS CRISTATA BUSH	LOW (0.3)	12' W 8'
LEUCOXYLON (EUCALYPTUS) PRUNUS CRISTATA BUSH	LOW (0.2)	12' W 10'
ACER (EUCALYPTUS) PRUNUS CRISTATA BUSH	MED (0.5)	15' W 4'
ACER (EUCALYPTUS) PRUNUS CRISTATA BUSH	LOW (0.3)	12' W 5'
ACER (EUCALYPTUS) PRUNUS CRISTATA BUSH	LOW (0.2)	12' W 3'
ACER (EUCALYPTUS) PRUNUS CRISTATA BUSH	MED (0.5)	15' W 3'



MAINTENANCE LEGEND

SYMBOL	DESCRIPTION	MAINTENANCE ENTITY	SYMBOL	DESCRIPTION	MAINTENANCE ENTITY
	RESIDENTIAL LOTS NATIVE/FLAT LANDSCAPE AREA= 2,382,673 SF.	HOMEOWNER		3 RAIL FENCE (15,983 LINEAR FT)	HOMEOWNER
	RESIDENTIAL LOTS CUT SLOPE LANDSCAPE (IRRIGATED) AREA= 355,102 SF.	HOMEOWNER		3 RAIL FENCE (9,838 LINEAR FT)	COUNTY OR RIVERSIDE
	PARKWAY LANDSCAPE AREA= 154,309 SF.	COUNTY OR RIVERSIDE		CONCRETE V-DITCH (2,164 LINEAR FT)	COUNTY OR RIVERSIDE
	NATIVE/FLAT LANDSCAPE (NON IRRIGATED) AREA= 130,241 SF.	COUNTY OF RIVERSIDE		3 RAIL MAINTENANCE FENCE (11 GATES)	COUNTY OF RIVERSIDE



WEBB ASSOCIATES
 Albert A. Webb
 3745 McCarty Street
 Riverside, CA 92506
 (951) 986-1070

TRACT 36963 // MAINTENANCE PLAN



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach, P.E.
Assistant TLMA Director*

NEGATIVE DECLARATION

Project/Case Number: Change of Zone No. 7905 and Tentative Tract Map No. 36963

Based on the Initial Study, it has been determined that the proposed project will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION (see Environmental Assessment/Initial Study).

COMPLETED/REVIEWED BY:

By: Deborah Bradford Title: Project Planner Date: August 8, 2017

Applicant/Project Sponsor: Paulino Rodriguez Date Submitted: March 24, 2016

ADOPTED BY: Planning Commission

Person Verifying Adoption: _____ Date: _____

The Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Deborah Bradford at (951) 955-6646.

Revised: 08/08/17
Y:\Planning Master Forms\CEQA Forms\Negative Declaration.doc
Please charge deposit fee case # ZEA42887 ZCFG6261

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42887
Project Case Type (s) and Number(s): Tentative Tract Map No. 36963 and Change of Zone No. 7905
Lead Agency Name: Riverside County Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Deborah Bradford, Project Planner
Telephone Number: (951)955-6646
Applicant's Name: Paulino Rodriguez
Applicant's Address: 4747 El Segundo Blvd., Hawthorne, CA 90250

I. PROJECT INFORMATION

Project Description: The proposed project consists of **Change of Zone No. 7905** to change the site's zoning classification from Residential Agricultural 2 ½-acre minimum (R-A-2 ½) to Residential Agricultural 2-acre minimum (R-A-2) and **Tentative Tract Map No. 36963** a Schedule 'C' subdivision of 79.67 gross acres into thirty-one 2-acre minimum single family residential lots and 3 letter lots to be utilized for water quality basins. In addition the applicant is proposing Street "A" located vertically along the eastern portion of the site and Street "B" located horizontally along the southwestern portion of the site. A fourteen (14) foot wide community trail will be added along Olive Street and El Mineral Road.

A. Type of Project: Site Specific ; Countywide ; Community ; Policy .

B. Total Project Area:

Residential Acres: 79.67	Lots: 34	Units: 31	Projected No. of Residents: 93
Commercial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other:			

C. Assessor's Parcel No(s): 289-250-008, 289-250-020

Street References: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street.

D. Section, Township & Range Description or reference/attach a Legal Description: Section 36, Township 4 South, Range 5 West

E. Brief description of the existing environmental setting of the project site and its surroundings: The proposed project site consists of two parcels of land and is located in the Lake Mathews/Woodcrest Area Plan. The project site is currently vacant and is surrounded by a series of low hills and ridgelines. Surrounding uses are comprised of mostly large lot, rural and mountainous residential uses. Elevations within the Project area range from 2,208 to 2,278 feet above mean sea level (amsl).

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The project is located in the Lake Mathews/Woodcrest Area Plan of the RCIP. The land use designation is Estate Density Residential (RC: EDR) (2-acre lot minimum).
2. **Circulation:** The project does not impact any transportation facilities referenced in the General Plan and meets all other applicable circulation policies.
3. **Multipurpose Open Space:** This project avoids natural watercourses and flood plains.
4. **Safety:** The project is located in a very high fire area and has been reviewed by the Fire Department and the Transportation Land Management Agency and will implement fire safety standards for which it was conditioned
5. **Noise:** Existing land uses in the project vicinity will not present noise compatibility issues with the proposed project
6. **Housing:** The proposed Project does not impact housing in that the site is currently vacant. Ultimate development of the site will result in the construction of thirty one single family residences. The proposed project would not conflict with the General Plan Housing Element policies.
7. **Air Quality:** The proposed Project has been conditioned to control any fugitive dust during grading and construction activities. The proposed Project meets all applicable Air Quality Element policies
8. **Healthy Communities:** The proposed Project has been condition to provide a 14 foot wide community trail along El Mineral Road and Olive Street which will promote physical activity. The Project is consistent with all applicable Healthy Community Policies.

B. General Plan Area Plan(s): Lake Mathews/Woodcrest.

C. Foundation Component(s): Rural Community

D. Land Use Designation(s): Estate Density Residential (EDR) (2-acre lot minimum).

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: N/A

G. Adjacent and Surrounding:

1. **Area Plan(s):** Lake Mathews/Woodcrest and Elsinore

2. **Foundation Component(s):** Rural and Rural Community

3. **Land Use Designation(s):** Rural Residential (5-acre lot minimum) and Estate Density Residential (2-acre lot minimum).

4. **Overlay(s), if any:** N/A

5. **Policy Area(s), if any:** To the south of project site is the Warm Springs Policy Area.

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Residential Agricultural 2 ½-acre minimum (R-A-2 ½)

J. Proposed Zoning, if any: Residential Agricultural 2-acre minimum (R-A-2)

K. Adjacent and Surrounding Zoning: Residential Agricultural 5-Acre Minimum (R-A-5) to the south and west. Residential Agricultural 2 ½-Acre Minimum (R-A-2 ½) to the north and south. Residential Agricultural 2-Acre Minimum (R-A-2) to the east.

II. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

III. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input checked="" type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/> I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An ADDENDUM to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

August 15, 2017

Date

Printed Name

For Charissa Leach, P.E., Assistant TLMA
Director

IV. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways" Google Earth, and Riverside County Lake Mathews/Woodcrest Area Plan, Figure 9, Scenic Highways.

Findings of Fact:

a) The nearest County Eligible Scenic Highways are Interstate 15 and Cajalco Road. The project site is not visible from Interstate 15 due to the mountains obscuring the view. Cajalco Road is located approximate 4 miles from the project site. Surrounding hills, scattered development and the distance from Cajalco Road would ensure that the project site would not be visible from this scenic roadway. Therefore, no impact will occur.

b) The project is located within the Lake Mathews/Woodcrest Area Plan and is characterized by riparian corridors to gently undulating terrain and to stark outcroppings. Development surrounding the area is scattered and can be characterized by rural and estate type development. The proposed project is to allow for a Change of Zone from R-A-2 ½ acre minimum to R-A-2 acre minimum and a Tract Map to subdivide two lots comprised of approximately 79.67 acres into thirty-one (31) single-family residential lots and three (3) letter lot for water quality basins. Future development of the project site will result in short term visual impacts to the area due to grading and construction activity. Visual impacts once the project site is ultimately developed will be subject to the Development Standards of the County of Riverside Zoning Ordinance as it pertains to the R-A zoning as well as the County's Design Guidelines. Therefore, less than significant impacts will occur regarding the aesthetic value of the proposed project.

Mitigation: No mitigation required.

Monitoring: No monitoring required.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to RCLIS (GIS database), the proposed project is located approximately 40.38 miles from the Mt. Palomar Observatory and is located in Zone B. The intent of Riverside County Ordinance No. 655 is to restrict the permitted use of certain light fixtures emitting into the night sky undesirable light rays which have a detrimental effect on astronomical observation and research. Zone B proscribes preferred types of lighting fixtures (i.e. low-pressure sodium lamps), shielding requirements, hours of operation, and regulates outdoor advertising display. With adherence to project conditions of approval and specifically adherence to Ordinance No. 655, any negative impacts to the nighttime use of the Mt. Palomar Observatory will remain at a less-than-significant level. A note will be made on the Environmental Constraints Sheet of the Final Map that the properties are located within Zone B of County Ordinance 655 and are subject to outdoor lighting restrictions (COA 10.PLANNING 23). This is a standard condition of approval and not considered mitigation for CEQA purposes.

Mitigation: No mitigation is required

Monitoring: No monitoring is required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The proposed residential land use will necessitate the installation of outdoor lighting for the maintenance of public safety and security. The County of Riverside has established standards for the design, placement, and operation of outdoor lighting. These standards set forth the preferred lighting source, identify maximum lighting intensity, dictate shielding requirements, and establish hours of operation. Because these standards are imposed on all outdoor lighting sources and because they must comply to obtain project approval, they are not considered mitigation. While ultimate development of the project site will increase the number and distribution of light sources in the vicinity of the project, impacts related to this issue will remain at a less than significant level, due to adherence to County lighting standards.

Mitigation: No Mitigation Required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Monitoring: No Monitoring Required

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) According to GIS database, the proposed project site is shown as land to be designated Local Importance, Other Lands and Urban-Built Up Land. The project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use. No impact will occur regarding this issue area.

b) According to GIS database, the proposed project is not located near any land used primarily for agricultural purposes, nor is it located in close proximity to any agricultural preserves, thus the project site is not subject to a Williamson Act (agricultural preserve) Contract and no impact will occur.

c) According to GIS database, there is no land within 300 feet of the proposed project which is zoned primarily for agricultural uses, therefore Ordinance No. 625 "Right to Farm" is not applicable and there is no impact.

d) The ultimate development of the project site will be for residential development, which could encourage the addition of more residential development within the vicinity. However, because there is no land nearby used primarily for agricultural purposes or within an agricultural preserve, the proposed development will have a less than significant impact on other changes in the environment which could result in the conversion of farmland.

Mitigation: No Mitigation Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

Monitoring: No Monitoring Required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," GIS database and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code Section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production. The project will have no impact.

b) The project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest; therefore, no impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

AIR QUALITY Would the project	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook

Findings of Fact:

a-c) The Project site is located in the South Coast Air Basin (SCAB) within the jurisdiction of South Coast Air Quality Management District (SCAQMD). Ultimate development of the site will result in the construction of thirty-one (31) single-family residences and three (3) water quality basins. An Air Quality Analysis was not required for this Project. However, to determine air quality impacts Planning Staff reviewed the Air Quality analysis for a recently adopted Mitigated Negative Declaration for a County project on a 45.5 acre site with 138 single-family residential lots proposed. The analysis determined that the project's ultimate construction of the single family residences will be subject to SCAQMD Rule 403 for fugitive dust. Short-term emissions consist of fugitive dust and other particulate matter, as well as exhaust emission generated by construction-related vehicles. The maximum daily emissions for the larger project during construction compared the SCAQMD daily regional thresholds and determined that the project will not exceed any of the short-term thresholds. Because the proposed Project is significantly smaller in terms of the number of residential units and with the incorporation of condition of approval 10. BS GRADE. 8 in regards to fugitive dust, impacts will be considered less than significant. Operation of the Project would not conflict with or obstruct implementation of the applicable air quality plan; violate any air quality standard or contribute substantially to an existing or projected air quality violation; or, result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors. The Project would result in residential development consistent with the area's existing development pattern. Impacts would be less than significant.

d-e) Sensitive receptors are people within the population who are particularly susceptible to health effects due to exposure to an air contaminant. CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding uses within the project vicinity include residential uses. The residential uses are considered sensitive receptors; however due to the residential nature of the proposed Project, it is not anticipated to generate substantial point source emissions. In addition, there are no substantial point source polluters within a one mile radius of the Project exposing the future residents of the project site to these pollutants. The proposed Project would result in a less than significant impacts in regards to these issue areas.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

f) According to the CEQA Air Quality Handbook, land uses associated with odor complaints include agricultural operations, wastewater treatment plants, landfills, and certain industrial operations (such as manufacturing uses that produce chemicals, paper, etc.). Odors are typically associated with industrial projects involving the use of chemicals, solvents, petroleum products, and other strong-smelling elements used in manufacturing processes, as well as sewage treatment facilities and landfills. The proposed residential development does not include any of the above noted uses or processes and will not create objectionable odors affecting a substantial number of people. No impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Sources: Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP); General MSHCP Habitat Assessment/Constraints Analysis completed by Cadre Environmental (May 18, 2016); MSHCP Focused Burrowing Owl Surveys completed by Cadre Environmental (June 11, 2016); Jurisdictional Determination prepared by Glen Lukos Associates (August 1, 2016)

Findings of Fact:

a) The project site is located within the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) Lake Mathews/Woodcrest Area Plan. The project site is not located within a MSHCP criteria area cell, group, or linkage area. Therefore, no Habitat Evaluation and Acquisition Negotiation Strategy (HANS) or Joint Project Review (JPR) are required. Less than significant impact will occur.

6.1.2 Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools

No MSHCP riparian, riverine or vernal pool resources were documented within the project site. A United States Geological Survey (USGS) blue line stream is mapped extending into a portion of APN 289-250-020 south from the northern project site boundary. Also, four (4) culverts are located along the western and northern project site boundaries which drain in a northern and westerly direction from the project site. However, no sign of flow (bed and bank), inundation, riparian vegetation, or wetland soils are located within the project site. The disturbed vegetation documented onsite does not represent suitable habitat for the southwestern willow flycatcher, least Bell’s vireo or western yellow-billed cuckoo. No additional surveys are required. The project is consistent with Section 6.1.2 of the MSHCP.

6.1.3 Protection of Narrow Endemic Plant Species

The project site occurs completely within a predetermined Survey Area for nine (9) MSHCP narrow endemic plant species. Based on a collective lack of suitable soils (clays, alkaline), hydrology (vernal pools), native vegetation (coastal sage scrub, chaparral, and grasslands), and historic and current disturbed condition of the project site, these species are not expected to be present. No additional surveys are required. The project is consistent with Section 6.1.3 of the MSHCP.

6.1.4 Guidelines Pertaining to the Urban/Wildlands Interface

The MSHCP Urban/Wildlands Interface guidelines presented in Section 6.1.4 are intended to address indirect effects associated with locating commercial, mixed uses and residential developments in proximity to a MSHCP Conservation Area. The Project Site is not located adjacent to an existing or proposed MSHCP Conservation Area. The project is consistent with Section 6.3.2 of the MSHCP.

6.3.2 Additional Survey Needs and Procedures

The project site does not occur within a predetermined Survey Area for criteria area plant species. The project site does not occur within a predetermined Survey Area for amphibians or mammals. No additional surveys are required.

However, the project site occurs completely within a predetermined Survey Area for the burrowing owl. Suitable burrowing owl burrows potentially utilized for refugia and/or nesting and foraging habitat was documented within and adjacent to the project site. Based on the presence of suitable habitat and known occurrences of the species in close proximity to the property, focused MSHCP burrowing owl surveys are required to determine the presence, absence and status of the species within and adjacent to the project site. Focused burrowing owl surveys were completed on May 28th, 31st, June 4th, and 9th 2016. No burrowing owl or characteristic sign were detected within or immediately adjacent to the project site during the 2016 survey effort. The project has been conditioned by the County of Riverside for a 30-day preconstruction burrowing owl survey prior to grading permit issuance to ensure protection

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

for this species and compliance with the conservation goals as outlined in the MSHCP. The project is consistent with Section 6.3.2 of the MSHCP and less than significant impact will occur.

Impacts related to conflicts with the provisions of the Western Riverside County Multiple Species Habitat Conservation Plan will be less than significant with adherence to County of Riverside Condition of Approval 60. EPD. 1.

b-c) Sensitive Plant Species

The MSHCP has determined that all of the sensitive species potentially occurring onsite have been adequately covered. However, additional surveys may be required for narrow endemic plants and/or criteria area species if suitable habitat is documented onsite and/or if the property is located within a predetermined "Survey Area". The Project Site does not occur within a predetermined Survey Area for MSHCP criteria area plant species. However, the Project Site does occur completely within a predetermined Survey Area for nine (9) MSHCP narrow endemic plant species. Based on a collective lack of suitable soils (clays, alkaline), hydrology (vernal pools), native vegetation (coastal sage scrub, chaparral, and grasslands), and historic and current disturbed condition of the Project Site, these species are not expected to be present.

Sensitive Wildlife Species

One sensitive bird species including the California horned lark (*Eremophila alpestrisactia*) – was documented onsite.

The MSHCP has determined that all of the sensitive species potentially occurring onsite have been adequately covered. However, additional surveys may be required for criteria area species and specific wildlife species if suitable habitat is documented onsite and/or if the property is located within a predetermined "Survey Area". The Project Site does not occur within a predetermined Survey Area for amphibians or mammals. No suitable habitat for the least Bell's vireo (*Vireo bellii pusillus*), southwestern willow flycatcher (*Empidonax traillii extimus*) or western yellow-billed cuckoo (*Coccyzus americanus*) was detected within or adjacent to the Project Site.

The Project Site occurs completely within a predetermined Survey Area for the burrowing owl. Suitable burrowing owl burrows potentially utilized for refugia and/or nesting and foraging habitat was documented within and adjacent to the Project Site. Based on the presence of suitable habitat and known occurrences of the species in close proximity to the property, focused MSHCP burrowing owl surveys are required to determine the presence, absence and status of the species within and adjacent to the Project Site. Focused burrowing owl surveys were completed on May 28th, 31st, June 4th, and 9th 2016. No burrowing owl or characteristic sign were detected within or immediately adjacent to the project site during the 2016 survey effort. The project has been conditioned by the County of Riverside for a 30-day preconstruction burrowing owl survey prior to grading permit issuance to ensure protection for this species and compliance with the conservation goals as outlined in the MSHCP.

The Project Site falls within the Stephens' kangaroo rat (*Dipodomys stephensi*, SKR) Fee Area outlined in the Riverside County SKR Habitat Conservation Plan (HCP). The project applicant shall pay the fees pursuant to County Ordinance No. 663 for the SKR HCP Fee Assessment Area as established and implemented by the County of Riverside.

Impacts to endangered, threatened, sensitive, candidate, or special-status species will be less than significant with adherence to existing regulations and with adherence to Riverside County Conditions of Approval.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

d) The Project Site is not located adjacent to extensive native open space habitats and does not represent a wildlife travel route, crossing or regional movement corridor between large open space habitats. The Project Site is primarily bordered on all sides by low density rural residential development. The Project Site is not located within a MSHCP designated core, extension of existing core, non-contiguous habitat block, constrained linkage, or linkage area.

The non-native vegetation documented onsite represents potential habitat for tree and ground nesting bird species including burrowing owl and killdeer. The project has been conditioned to conduct and provide the results of a preconstruction nesting bird survey prior to grading permit issuance.

Impacts related to wildlife movement will be less than significant with adherence to Riverside County conditions of approval. (COA 60. EPD. 1 and 2 and COA 80. EPD. 1).

e-f) As discussed in part a) of this section, no MSHCP riparian, riverine or vernal pool resources were documented within the project site and the disturbed vegetation documented onsite does not represent suitable habitat for the southwestern willow flycatcher, least Bell's vireo or western yellow-billed cuckoo. Therefore, no additional surveys are required and project is consistent with Section 6.1.2 of the MSHCP.

A U.S. Geological Survey blue line stream is mapped extending into a portion of APN 289-250-020 south from the northern Project Site boundary. Also, four culverts are located along the western and northern Project Site boundaries which drain in a northern and westerly direction from the Project Site. However, no sign of flow (bed and bank), inundation, riparian vegetation, or wetland soils are located within the Project Site. A Jurisdiction Delineation was prepared by Glen Lukos Associates. The Jurisdictional Delineation found no features that fall under the jurisdiction of California Department of Fish and Wildlife, U.S. Army Corps of Engineers, or Regional Water Quality Control Board. No riparian vegetation, Ordinary High Water Mark, or bed and banks were observed. Features onsite are described as swales and culverts drain flows from an adjacent road.

No impacts related to riparian habitat, sensitive natural communities, or federally protected wetlands will occur.

g) No oak or mature trees were documented within or adjacent to the Project Site. Therefore, the project will not conflict with the Riverside County Oak Tree Management Guidelines. No impacts will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

CULTURAL RESOURCES	Would the project			
8. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: On-site Inspection, Project Application Materials, PDA04993; Phase I Cultural Resource Assessment of Assessor's Parcel Numbers 289-250-008 and 289-250-020 in Unincorporated Riverside County, California (2016, Applied Earthworks).

Findings of Fact:

a-b) Based on an analysis of records and a survey of the property by an approved Riverside County Archaeological consultant, it has been determined that there are one or more historical resources within the project site. These resources include (CA-RIV-12337H), a historic-period orchard, within the Project area. Based on the results of this study, it has been determined that the historic resource(s) is not significant pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15064.5. Moreover, if the resource is not considered a significant historic resource pursuant to CEQA Section 15064.5, loss of the resource cannot contribute to a potentially significant cumulative impact. However, condition of approval 10. PLANNING. 2 requires that an archaeological monitor be present to ensure any unanticipated resources are managed according to procedures identified in the Cultural Resources Management Plan (CRMP). As such, impacts in this regard are considered less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required

9. Archaeological Resources				
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials, PDA04993; Phase I Cultural Resource Assessment of Assessor's Parcel Numbers 289-250-008 and 289-250-020 in Unincorporated Riverside County, California (2016, Applied Earthworks).

Findings of Fact:

a) Based on an analysis of records and a survey of the property by an approved Riverside County Archaeological consultant, it has been determined that the project site does not contain any archaeological resources. The results of the survey are provided in an archaeological survey report entitled, PDA04993; Phase I Cultural Resource Assessment of Assessor's Parcel Numbers 289-250-008 and 289-250-020 in Unincorporated Riverside County, California, prepared by Applied Earthworks, dated June 2016. Per conditions of approval 10. PLANNING. 2 and 60. PLANNING. 24, an archaeologist and Tribal Monitor will be present to ensure any unanticipated resources are managed according to procedures identified in the Cultural Resources Management Plan (CRMP). This is considered a standard Condition of Approval and pursuant to CEQA, is not considered mitigation. Therefore, impacts in this regard are considered less than significant.

b) Based upon analysis of records and a survey of the property it has been determined that there will be no impacts to significant archaeological resources as defined in California Code of Regulations, Section 15064.5

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

because they do not occur on the project site. Therefore no change in the significance of archaeological resources would occur with the implementation of the proposed project because there are no significant historical resources.

c) Based on an analysis of records and archaeological survey of the property, it has been determined that the project site does not include a formal cemetery or any archaeological resources that might contain interred human remains. Nonetheless, the project will be required to adhere to State Health and Safety Code Section 7050.5 if in the event that human remains are encountered and by ensuring that no further disturbance occur until the County Coroner has made the necessary findings as to origin of the remains. Furthermore, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. This is State Law, is also considered a standard condition of approval (COA 10. PLANNING. 1) and as pursuant to CEQA, is not considered mitigation. Therefore impacts in this regard are considered less than significant.

d) Based on an analysis of records including a Sacred Lands File Search conducted by the Native American Heritage Commission with negative results, and Native American consultation, it has been determined the project property is currently not used for religious or sacred purposes. Therefore, the project will not restrict existing religious or sacred uses within the potential impact area because there were none identified, and there will be no impact.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

10. Tribal Cultural Resources

Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k); or,

b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c). of Public Resources Code Section 5024.1 for the purpose of this paragraph, the lead agency shall consider the significance to a California Native tribe.

Source: Native American consultation

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

a-b) In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to all requesting tribes on April 13, 2016. Consultations were requested by the Pechanga Band of Luiseno Indians, the Soboba Band of Luiseno Indians and the Morongo Band. All tribes were provided the cultural report as well as project exhibits. Consultation was conducted with Morongo on June 8, 2016. No Tribal Cultural Resources were identified during this consultation meeting. Consultation was conducted with Soboba on June 07, 2016. No Tribal Cultural Resources were identified during this consultation. In a December 21, 2016 meeting with Pechanga, the Tribe told Planning that the project was situated within a cultural landscape and requested to monitor during ground disturbing activities to mitigate adverse impacts to the landscape.

Regarding the application of the term “cultural landscape,” Public Resources Code section 21074(b) limits its definition such that “[a] cultural landscape that meets the definition of [Public Resources Code section 21074] subsection (a) is a tribal cultural resource *to the extent that the landscape is geographically defined in terms of the size and scope of the landscape.*” (Emphasis added.) Accordingly, if an area that may potentially be considered a “cultural landscape” is *not* geographically defined in terms of the size and scope of the landscape, it cannot be found to be a “tribal cultural resource” even if it otherwise meets the qualifications for such in Public Resources code section 21074(a).

Planning requested Pechanga provide the geographic extent of the landscape as well as details regarding any impacts they felt the project would create. Pechanga was to provide this information along with mitigation recommendations, in writing, by the end of the following week (December 29, 2016). Planning acted in good faith and made several subsequent requests for the information substantiating Pechanga’s claim of a landscape and a geographic description of the extent of the landscape. To date, the information required has not been provided by the Tribe, and, accordingly, Planning has concluded that there is evidence available supporting a conclusion that there is a tribal cultural resources on the project site. Final correspondence along with the conditions of approval were sent to Pechanga on February 1, 2017 and to Soboba and Morongo on February 2, 2017. Consultation was concluded on January 31, 2017 with Pechanga and on February 2, 2017 with Soboba and Morongo.

Planning has determined that the project will not cause a significant adverse change to a Tribal Cultural Resource because there are none present within the project area. As such, there will be no impact to Tribal Cultural Resources.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 “Earthquake Fault Study Zones,” GIS database, Riverside County Geologic Report 2486: “Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California,” dated July 5, 2016.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact:

a-b) The project site is located within a seismically active region; however, no active or potentially active fault is presently known to exist at this site. This site is not located within a currently designated Alquist-Priolo Earthquake Fault Zone. The nearest zoned fault is the Elsinore fault located approximately seven (7) miles to the southwest of the subject site. California Building Code (CBC) requirements pertaining to residential development will minimize the potential for structural failure or loss of life during earthquakes by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. As CBC requirements are applicable to all residential development they are not considered mitigation for CEQA implementation purposes. Therefore, less than significant impacts will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", County of Riverside Geologic Report 2486: "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

Findings of Fact:

a) According to GIS database and County Geologic Report 2486 liquefaction is not considered to be a hazard at the subject site due to the underlying dense soils and great depth to groundwater. No impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required

13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," Geology Report 2486: "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

Findings of Fact:

a) The proposed project site is located in seismically active Southern California. With the incorporation of CBC requirements pertaining to new development the potential for structural failure or loss of life due to strong seismic ground shaking will be minimized by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. As CBC requirements are applicable to all

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan, Lake Mathews/Woodcrest Area Plan and Geology Report 2486: "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

Findings of Fact:

a) The site can be considered as having gently rolling hillside terrain. According to Figure 13 of the "Lake Mathews/Woodcrest Area Plan Steep Slope" the project site is not located in an area underlain by steep slopes. Elevation of the project site varies from 2,200 to 2,268 above mean sea level (amsl). Evidence of ancient landslides or slope instabilities at the project site were not observed during the geotechnical evaluation and determined that the potential for landslides are considered negligible. Impacts would be considered less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map" and Geology Report 2486: "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

Findings of Fact:

a) According to RCLIS (GIS database), the proposed project site is not located in an identified subsidence area, therefore there is no impact

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: On-site Inspection, Project Application Materials, Riverside County General Plan, Google Earth and Geology Report 2486: "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

Findings of Fact:

a) The Pacific Ocean is located approximately 35+ miles from the Project site; consequently, there is no potential for tsunamis to impact the Project. Steep hillsides subject to mudflow and no volcanoes are located on or near the site. The nearest large body of surface water is Lake Mathews, located approximately 6+ miles north of the Project site. Therefore, no impacts associated with seiches, mudflows, and/or volcanic hazards would occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

17. Slopes

a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials, Geology Report 2486: "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

Findings of Fact:

a) The Site area can be considered as having gently rolling hillside terrain. The site slopes gently down to the north-northwest, but is locally variable, with total relief of approximately 68 feet. The elevation of the subject site ranges from approximately 2200 to 2268 feet above mean sea level (amsl). Ultimate development of the site will involve grading that will be balanced and conform to the topography of the site. Grading be balance and will not require any exporting or importing of soil. Condition of approval 60. PLANNING 7. requires that graded slopes gradually adjust to the angle of the natural terrain, the graded form shall reflect the natural rounded terrain, the toes and tops of slopes shall be rounded, and where cut and/or fill slopes exceed 300 feet in horizontal length, the horizontal contours of the slope shall be curved in a continuous, undulating fashion. Compliance with this condition and all applicable codes and ordinances related to grading will ensure that Impacts related the change in topography or relief features will be considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

b) Final slopes will be constructed at gradients of 2:1 (horizontal run: vertical rise) or flatter, and will not exceed 10 feet in height. Therefore, the impact is considered less than significant.

c) The project will not result in grading that affects or negates subsurface sewage disposal systems. No impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

a) The development of the site could result in the loss of topsoil from grading activities, but not in a manner that will result in significant amounts of soil erosion. Implementation of Best Management Practices (BMPs) will reduce the impact to below a level of significance. Some BMPs include the use of sediment filters and gravel bags to prevent water run-off and soil erosion during construction activity. BMPs are required pursuant to the National Pollution Discharge Elimination System (NPDES) Impacts will be less than significant.

b) The project site's soil composition is comprised of Cajalco fine sandy loam and is not considered an expansive soil. Additionally, County of Riverside Geologic Report (GEO) No. 2486 reports that expansion Index laboratory testing performed on near-surface soils indicates a "very low" expansion potential. Therefore, no impact will occur.

c) Geological report 2486 and the percolation study for the proposed site has determined that the soils are capable of supporting the use of the proposed on-site sewage disposal system. Therefore, no impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
19. Erosion				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys and Project Application Materials,

Findings of Fact:

a) Implementation of the Project will involve grading and various construction activities. Standard construction procedures, and federal, state and local regulations implemented in conjunction with the site's Storm Water Pollution Prevention Plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge System (NPDES) general construction permit, will minimize potential for erosion during construction (COA 60. BS GRADE. 14). These practices will keep substantial amounts of soil material from eroding from the project site or into natural watercourses. Impacts will be less than significant.

b) The potential for on-site water erosion will increase due to grading and excavating activities during the construction phase. However, BMPs such as the use of gravel bags and sediment filters during construction activity will be implemented for maintaining water quality and reducing erosion. These requirements are standard conditions and not considered mitigation pursuant to CEQA. Impacts will be less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

20. Paleontological Resources				
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

The proposed Project is to allow for the subdivision of 79.67 acres into thirty-one (31) single-family residential lots and three (3) letter lots for water quality basins. As shown on the County's General Plan Paleontological Sensitivity Map and "Map my County" the project site is located within an area as having Low Potential for Paleontological Resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources. However, if fossil remains are encountered during site development, condition of approval 10. PLANNING. 3., has been incorporated to ensure protection of these resources, if encountered during any earth moving activity. With incorporation of this condition, any impacts related to paleontological resources will remain less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Riverside County Climate Action Plan, December 2015

Findings of Fact:

a-b) The Tentative Tract Map proposes a Schedule 'C' Subdivision to divide 79.67 acres into thirty-one (31) residential lots and three (3) letter lots for water quality basins. The subdivision is consistent with the general plan land use designation, Residential Community: Estate Density Residential (RC:EDR) 2 acre minimum, surrounding parcel size, and existing Residential Agricultural – 2 ½ -acre minimum (R-A-2 ½) zone as well the proposed zoning of Residential Agricultural – 2 acre minimum (R-A-2).

Approval of this tentative tract map does not expressly authorize the construction of any buildings; however, future construction of thirty-one (31) single-family residences is likely to occur as single family residences are a use by right within the Rural Agricultural zoning classification. The type of residential development authorized by this project would not generate enough GHG emissions from its construction or operation to be deemed cumulatively significant sufficient to warrant quantitative or qualitative GHG analysis. More specifically, the California Air Pollution Control Officers Association (CAPCOA) proposed a very aggressive 900 metric tons per year of GHG emissions threshold for residential and commercial projects. The intent of the 900-ton threshold is to capture 90% of all new residential and commercial development projects. CAPCOA's threshold was based on the amount of GHG emissions associated with 50 single-family residential units, which accounts for 84% of the projects in California. The 900-ton threshold would also correspond to apartments/condominiums of 70 units, office projects of approximately 35,000 square feet, retail projects of 11,000 square feet, and supermarkets of 6,300 square feet, but would exclude smaller residential developments, offices and retail stores from having to quantify and mitigate GHG emissions under CEQA. The type of residential development proposed by this project would not exceed 31 units, and thus their contribution to GHG emissions is below the 900-ton threshold that might otherwise trigger GHG analysis according to CAPCOAs model. Impacts are considered less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HAZARDS AND HAZARDOUS MATERIALS Would the project				
22. Hazards and Hazardous Materials				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Riverside County General Plan Figure S-19 "Inventory of Facilities storing Hazardous Materials".

Findings of Fact:

a) The proposed Project will not create a substantial hazard to the public or the environment through the transport, use, or disposal of hazardous materials. Ultimately, the Project will result in the construction of thirty-one (31) single-family residential lots and three (3) letter lots for water quality basins; the Project will not introduce activities that will cause substantial hazard to the public. Regular operation and cleaning of the residential units will not present a substantial health risk to the community. Impacts associated with the routine transport, use of hazardous materials, or wastes will be less than significant.

b) The Project will not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment because as mentioned in section 22a, the Project does not engage in activities with risk of upset. Impacts will be less than significant.

c) Because the proposed Project is located in a very high fire hazard area it is imperative that the Project includes adequate access for emergency response vehicles and personnel. Conditions of approval related to emergency access and egress, road widths, location of entry gates, turnarounds and surfacing materials of roadways will ensure that the proposed Project does not interfere with the implementation of, or physically interfere with an emergency response plan and/or emergency evacuation plan therefore, less than significant impacts will occur (COA 50. FIRE. 3, 4, 5, 6, and 12, 13, and 14).

d) The proposed Project is not located within one quarter mile of an existing or proposed school. The Project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste. Ultimate development of the site will create short term emissions due to

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

construction vehicles, paving operations, and painting of the structures. However, because the school closest to the project site is located approximately 4.7 miles away, impacts would be less than significant.

e) The Project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. No impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No monitoring is required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-20 "Airport Locations," GIS database

Findings of Fact:

a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan. As a result, there will be no impacts.

b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission. As a result, there will be no impacts.

c) The project is not located within an airport land use plan and would not result in a safety hazard for people residing or working in the project area. As a result, there will be no impacts.

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area. As a result, there will be no impacts.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) According to Riverside County's GIS database, the proposed project is located in a very high fire hazard area and is within a State Responsibility Area (SRA) and therefore has the possibility to expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands. Compliance with California Code of Regulations title 14 section 1270 et seq. requires that specific standards in terms of; emergency access and egress, signing and building numbers, emergency water standards and fuel modification standards be applied in SRA's. The proposed project has been reviewed by the Riverside County Fire Department and several conditions of approval have of been applied based on the above regulations to help ensure the safety of the residents and structures. Some of these conditions address the location of fire hydrants, construction materials, length and grade of driveways, gated entries, turning radius and fuel modifications. With these conditions of approval impacts as they relate to this issue, impacts will remain less than significant. (COA 50. FIRE. 3, 4, 5, 6, and 12, 13, and 14)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition and Preliminary Hydrology Study prepared by Albert A. Webb Associates, revised September 14, 2016. Geology Report No. 246.

Findings of Fact:

a) The proposed Project is to allow for the subdivision of a 79.67 acre site into thirty-one (31) single-family residential lots and three (3) letter lots for water quality basins. Ultimate development will likely be for the construction of 31 single-family residences. The Hydrology report prepared for the Project states that all on-site flows will be treated and the increased runoff will be mitigated by 3 bio-retention basins and 2 infiltration trenches. About 3.5 acres along the east property line discharges to natural existing conditions and will be left untouched. All on-site flows are treated prior to discharge into the existing culverts on Olive Street and El Mineral Road. There is no off-site runoff that is expected to impact the site. The off-site flow from the south enters the existing natural channel on the east side of Olive Street and is intercepted by an existing double 24 inch CMP culvert and crosses Olive Street and the flow is away from the project site. Condition of approval 10. TRANS. 4 states that the land divider shall protect downstream properties from damages caused by the alteration of the drainage patterns by construction of adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. In addition, condition of approval 10. TRANS. 5 requires that the land divider accepts and properly disposes of all off-site drainage flowing onto or through the site. Condition of approval 10. FLOOD RI. 1 states that the property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage area, outlet points and outlet conditions. Development of this property shall be with the development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another. With these standard conditions of approval and permits from outside agencies impacts in regards to the alteration of the course of a stream or river causes substantial damage to properties on or off-site will be less than significant.

b) As stated above, when grading and building plans are submitted for the future residential development of the site, standard conditions of approval will ensure that any water quality standards or waste discharge requirements are not violated by requiring the land divider to provide adequate drainage facilities and disposing of any off-site drainage flows. Therefore, less than significant impacts would occur.

c) Information provided in Geology Report 2486 stated that groundwater was not encountered during exploratory excavations. According to the State Water Resources Control Board database groundwater is greater than 100 feet below ground surface. Based on the results of the field exploration and review of site area geomorphology and geology, groundwater is not anticipated to adversely affect the proposed improvements. Therefore, less than significant impacts will occur.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

d) As indicated in above in 25 a. and b., the condition of approval 10. TRANS 4 and 5 will ensure that adequate drainage facilities exist or are constructed and that any substantial surface runoff on-site and across property lines will be properly disposed of by the land divider. Development of this site would increase peak flow rates on downstream properties. Condition of approval 10. TRANS. 10 states that the entire area of the proposed development will be routed through a detention facilities to mitigate increase runoff. As proposed the applicant will be providing 3 water quality basin to reduce the runoff flow to predevelopment conditions. Therefore, the proposed project would not exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff. There would be a less than significant impact.

e-f) The project is not located within a 100-year flood hazard area. No impact will occur.

g) The proposed Project is to allow for the subdivision of a 79.67 acre lot into thirty one (31) single-family residential lots and three (3) water quality basins. Ultimate development will be for the construction of 31 single-family residences. Because the development of the Project site will result in the soil disturbance of more than one acre a SWPPP will be required (COA. 60. BS. GRADE. 1) and the incorporation of BMP's will minimize and eliminate the amount of surface runoff on-site and across property lines, and includes measures to avoid any type of pollution runoff. In addition, conditions of approval 10. TRANS. 4 and 5 will minimize and eliminate the amount of surface runoff on-site and across property lines, and includes measures to avoid any type of pollution runoff. The proposed Project will not substantially degrade water quality. Therefore, there would be a less than significant impact.

h) Future development of this Project site would generate an increase in peak flow rates on downstream properties and will require Best Management Practices and the construction of three (3) water quality basins to ensure that impacts to properties off-site will not occur. Therefore, impacts will be less than significant. (COA 10. TRANS. 10)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable U - Generally Unsuitable R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project is located in an unincorporated area of Riverside County and is currently vacant. The project will have water quality basins placed throughout the project site to serve as the drainage system. The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that will result in flooding on- or off-site. Impacts will be less than significant.
- b) The project will not substantially change absorption rates or the rate and amount of surface runoff pursuant to NPDES requirements. Impacts will be less than significant.
- c) According to the Riverside County General, the Project site is not located within a Flood Hazard Zone or a Dam Failure Inundation Zone. Therefore, there will be no impact.
- d) The project will not cause changes in the amount of surface water in any water body. No impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

LAND USE/PLANNING Would the project				
27. Land Use				
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

- a) The project site is surrounded to the north, south, east, and west with scattered single family development. The Project site has an existing General Plan Land Use Designation of Rural Community: Estate Density Residential (RC: EDR). The development pattern and surrounding land use designations are consistent with the proposed development of the Project site with single-family residential dwelling units. Therefore, impacts are less than significant.
- b) The proposed Project is not located within a city sphere of influence or adjacent to a city or other county. Therefore, there will be no impact

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Planning				
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The Project site is currently zoned Residential Agricultural 2 ½-acre minimum (R-A-2 ½). As a part of this proposal the applicant has requires a Change of Zone from R-A-2 ½ to Residential Agricultural 2-acre minimum (R-A-2). Upon approval of the Change of Zone the project site will ensure zoning consistency with Ordinance No. 348 as well as conformity with the General Plan. The project will have no impact.

b) The project is surrounded by Rural-Agricultural 2 ½-acre minimum (R-A-2 ½) to the north, Residential Agriculture 2-acre minimum (R-A-2) to the east, Residential Agriculture 2 ½-acre minimum (R-A-2½) and Residential Agriculture 5-acre minimum (R-A-5) to the south and Residential Agriculture 5-acre minimum (R-A-5) to the west. Through altering the zoning classification of the project site to Residential Agricultural 2-acre minimum (R-A-2), the project will be consistent with the surrounding zoning classifications and development pattern of the surrounding area. Impacts will be less than significant.

c). Existing land uses surrounding the Project site to the east, west and south are residential uses. The General Plan's land use designation for this Project area is for single-family detached residential development on large parcels of 2-5 acres. Future development of 31 single-family residences on the 79.67 acre site will be compatible with existing and future land uses in the area. The proposed Project will have less than significant impacts.

d) The Project site has a land use designation of Rural Community (RC: EDR) (2 Acre Minimum). This land use designations allows for single family detached residences on large parcels of 2 to 5 acres. As proposed, the Project is consistent with this land use designation and applicable policies of the General Plan. Therefore, there will be no impact.

e) The project site is currently undeveloped and surrounded by scattered single family residential development. The project site has a residential land use designation and zoned for residential development and in result, the project will not disrupt or divide the physical arrangement of an established community. The impact will be less than significant.

Mitigation: No Mitigation Required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Monitoring: No Monitoring Required.

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a-d). According to Figure OS-5 *Mineral Resources*, the project site is categorized as MRZ-3, areas where the available geologic information indicates that mineral deposits are likely to exist, however, the significance of the deposit is undetermined. There are no mining operations within vicinity of the project site. In addition, the land uses in the vicinity are all residential and would not accommodate mining operations. The project includes no component that would result in mining operations or use of any existing or abandoned mines. No impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels? NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map and GIS Database.

Findings of Fact:

a-b). As indicated on GIS Database, the project site is not located within an airport land use plan or within 2 miles of an existing public airport or airstrip. The proposed residential development will not be impacted by excessive noise levels. Therefore, no impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact:

According to GIS database, the proposed project is not located in proximity to a railroad; therefore, there will be no impact in regards to railroad noise.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

32. Highway Noise

NA A B C D

Source: On-site Inspection, Project Application Materials

Findings of Fact:

According to GIS database, the proposed project is not located in close proximity to a highway therefore there will be no impact in regards to highway noise

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact:

No additional noise sources have been identified near the project site that will contribute a significant amount of noise to the project. There will be no impact.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); **Project** Application Materials

Findings of Fact:

a-c) The proposed project is for the subdivision of approximately 79.67 acres into thirty-one (31) single-family residential lots and three (3) letter lots for water quality basins. No grading or construction is proposed at this time. However, it is anticipated that in the future 31 single family dwelling units will be developed on the site. When this occurs short term grading and construction will temporarily raise the ambient noise levels in the vicinity of the project site. However, operation of the proposed Project will not result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project. Additionally, grading activities will be regulated by the County Noise Ordinance. Therefore, there will be a less than significant impact.

d) The Project site operations will not generate excessive groundborne vibrations or groundborne noise levels during normal operations. Groundborne vibrations may be generated infrequently by use of heavy construction machinery. No construction activities can occur between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00p.m.and7:00 a.m. during the months of October through May. However, this type of noise would be temporary and infrequent. Therefore, impacts will be less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the project				
35. Housing				
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a) The Project site is comprised of vacant land. Thus, the proposed Project will not displace substantial numbers of residents requiring the construction of replacement housing. Therefore, no impacts will occur.

b) The Project will result in the construction of thirty-one (31) single-family residences. No development is proposed on the site that would result in a need for additional housing or housing affordable to households earning 80% or less of the County's median income. The Project will have no impact.

c) The Project is for the subdivision of a 79.67 acre site. The Project site is comprised of vacant land, no structures exist on site. Therefore the proposed Project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The Project will have no impact.

d) The project is not located within a County Redevelopment Project Area. Therefore, the project will have no impact.

e-f) Ultimate development of the site will result in the construct of 31 single-family dwelling units generating a total of approximately 93 persons¹. Given that the land use designation for the Project site is for Estate Density Residential, 2 to 5 acre lots, the projected population growth for this Project is consistent with the General Plan. Infrastructure and road improvements will be provided on-site and offsite; however no expansion of existing infrastructure or extension of an existing roadway is proposed. Internal private streets are proposed to provide access into the Project site from the existing roadway

¹ Calculated based upon the County of Riverside General Plan, Appendix E: Socioeconomic Build-Out Projections Assumptions & Methodology, Average Household Size, to determine Project's population as follows: (31 dwelling units) x (3.01 persons per dwelling unit) = 93 persons generated.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

system. These improvements are to ensure that existing residences within the vicinity of the site are not impacted and the new residents anticipated on the Project site will be adequately served by infrastructure and roads. These elements will not induce a population growth into the area that is not anticipated. Therefore, less than significant impacts will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan Safety Element

Findings of Fact:

The Riverside County Fire Department provides fire protection services within unincorporated Riverside County. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. Any construction of new facilities required by the cumulative effects of surrounding projects will have to meet all applicable environmental standards. The project must comply with County Ordinance No. 659 to prevent any potential effects to fire services. County Ordinance No. 659 establishes the utilities and public services mitigation fee applicable to all projects to reduce incremental impacts to these services. This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation. Impacts will be less than significant. (COA 10. PLANNING. 12)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

37. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
-----------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Source: Riverside County General Plan

Findings of Fact:

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project will add only approximately 93 persons to the area and will not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. The project must comply with County

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Ordinance No. 659 to prevent any potential effects to sheriff services. County Ordinance No. 659 establishes the utilities and public services mitigation fee applicable to all projects to prevent incremental impacts to these services. This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation. Impacts will be less than significant. (COA 10 PLANNING. 12)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

38. Schools

Source: Perris & Perris Union High School District GIS database

Findings of Fact:

The project site is located within the Perris and Perris Union High School District. The nearest school to the project site is Good Hope Elementary School, located at 24050 Theda Street in Perris and is approximately 4.7 miles from the subject site. The project is required to comply with School Mitigation Impact Fees to provide adequate school services. This is a standard condition of approval and is not considered mitigation under CEQA. Impacts will be less than significant. (COA 80. PLANNING. 11)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

39. Libraries

Findings of Fact:

This project must comply with County Ordinance No. 659 to prevent any potential effects to library services. County Ordinance No. 659 establishes the utilities and public services mitigation fee applicable to all projects to reduce incremental impacts to these services. This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation. Impacts will be less than significant. (COA 10 PLANNING. 12)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

40. Health Services

Source: Riverside County General Plan

Findings of Fact:

The proposed project will not cause an impact on health services. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Health services are funded through private insurance or state-funded medical programs. Impacts will be less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

- a) The Project does not include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. Due to the nature of the proposed Project, no impacts are expected from the proposed Project.
- b) As previously addressed, the proposed Project does not include the construction of recreational facilities. However, the use of existing neighborhood or regional parks or other recreational facilities will not result in a substantial accelerated physical deterioration of these facilities. Therefore, less than significant impacts will occur.
- c) The Project site is not located within a CSA. However, all residential subdivisions are subject to Quimby fees and COA 50. PLANNING 8 and COA 90. PLANNING 3 ensures payment of these fees. Therefore, no impacts will occur in regards to this issue area.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

42. Recreational Trails

Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact: The proposed project will be required to construct a fourteen (14') foot wide Community Trail easement along Olive Street and El Mineral Road to tie into the existing trail system located adjacent to the subject site. Less than significant impacts will occur to the existing trail system.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact

a) The proposed grading activities may require the transport of grading equipment to and from the Project site, and may result in minor related circulation activities, during the short-term. However, the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

proposed Project which will ultimately result in the construction of thirty one (31) single-family residential structures and three (3) water quality basins will not result in an increase in vehicle trips that would significantly impact the effectiveness of the existing system or an applicable congestion management program. In addition, Condition of Approval 10. TRANS. 3 states that the 31 single-family residential structures will not require a Traffic Study. The Transportation Department has stated that to determine whether a project would be subject to a Traffic Study you would consider one trip per dwelling unit during the peak hours of 4:00 p.m. – 6:00 p.m. Typically 100 peak trips would trigger the need for a traffic study. This ultimate project development would result in 31 vehicle trips during the peak hours. Therefore, any impacts would be less than significant.

b) The proposed Project will not result in a substantial increase of traffic due to the small increase in vehicle trips during construction and ultimately operation of the Project site. The Project will not conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. Impacts are less than significant.

c-d) Future development of the Project site will not result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks nor will it alter waterborne, rail or air traffic. No impact will occur.

e) The future development of the proposed Project site will not require modifications to any existing public right-of-way resulting in a hazardous design feature such as sharp curves. Driveways into the Project site will comply with the allowable slope percentage to ensure safely obtaining ingress and egress onto the Project site. The existing roadway providing access to the Project is already designed in accordance with County of Riverside guidelines and will provide adequate fire department access and widths. Line of sight for turning movements will be in compliance with Caltrans and County of Riverside guidelines. Therefore, no impact will occur.

f) Future development of the Project site will not result in the need for new or altered maintenance of roads. No impact will occur.

g) The proposed Project will ultimately allow for the construction of 31 single-family residences. Short-term impacts will occur to the local roadway system during grading and construction. However, compliance with construction hours of operation and the staging of equipment and vehicles will ensure less than significant impacts will occur.

h) With the incorporation of conditions of approval in terms of length of driveway, turnaround, slope, and gate width and opening, adequate emergency access onto and out of the Project site will be ensured. Therefore, less than significant impacts will occur.

i) The Project site will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities. The Project will provide adequate connections to community trails. Impacts will be less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The proposed project will provide a fourteen (14') wide easement to be utilized as a community trail and will be located along El Mineral Road and Olive Street. No bike trails are proposed; however, the new residents may utilize existing bike trails. It is anticipated that the use of existing bike trails by the future residents will result in less than significant impacts to existing bike trails.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Department of Environmental Health Review and Percolation Study GeoTek, October 23, 2015

Findings of Fact:

a) On-site water quality basins are proposed and will not result in the construction of new water treatment facilities or expansion of existing facilities. No impact will occur.

b) The Western Municipal Water District has agreed in writing to furnish domestic water to each and every lot within the proposed subdivision. The source of domestic water will be provided from an existing water line located within an adjacent street. No expanded entitlements will be required. Therefore, no impact will occur.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

46. Sewer	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review and Percolation Study GeoTek, October 23, 2015

Findings of Fact:

a-b) The applicant is proposing an on-site wastewater disposal system to consist of individual septic tanks and leach lines for each proposed residences. The proposed wastewater disposal systems are proposed to be located in natural soils outside of the building pad areas. Finished grades in the areas of the on-site wastewater disposal systems will therefore to similar to existing grades. The Department of Environmental Health has received and reviewed preliminary soils percolation testing. However, prior to building permit issuance additional soils percolation testing must be conducted for each individual lot. In addition, a set of detailed plans illustrating the proposed subsurface disposal system and floor plan/plumbing schedule to the Environmental Health Department to ensure that proper septic tank sizing will be provided. Compliance with the standard conditions of approval, Western Municipal Water Districts conditions as they pertain to Article 3 of Western's Regulations for Wastewater Discharge and Sanitary Sewer System Use will ensure that impacts as they relate to this issue area will be less than significant. (COA 10. E HEALTH. 2, COA 80. E HEALTH. 1, and 3)

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence, Kinika Hesterly 08/04/16

Findings of Fact:

a) The project will not substantially alter existing or future solid waste generation patterns and disposal services. The closest landfill to the project is the El Sobrante Landfill located at 10910 Dawson Canyon Road. This landfill encompasses 1,322 acres, of which 645 acres are permitted for landfill operation. The El Sobrante Landfill has a total disposal capacity of approximately 209.9 million cubic yards and can receive up to 70,000 tons per week (tpw) of refuse. As of January 1, 2016, the landfill had a remaining in-County disposal capacity of approximately 57.5 million tons. In 2015, the El Sobrante Landfill accepted a total of 717,804 tons of waste generated within Riverside County. The daily average for in-County waste was 2,338 tons during 2015. The landfill is expected to reach capacity in approximately 2057. The annual disposal rate per person per day in unincorporated Riverside County

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

was 6.4 pounds. The ultimate development of the proposed project will generate approximately 119 tons of waste per year. Impacts to this landfill are considered to be less than significant.

b) The proposed development will be required to comply with all applicable laws and regulations governing solid waste. The project will not affect Riverside County's ability to continue to meet the required AB 939 waste diversion requirements. Impacts will be less than significant.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-g) Implementation of the Project will result in an incremental system capacity demand for energy systems, communication systems, storm water drainage systems, street lighting systems, maintenance of public facilities, including roads and potentially other governmental services. These impacts are considered less than significant based on the availability of existing public facilities that support local systems. Compliance with the requirements of Southern California Gas, Southern California Edison, Verizon, Riverside County Flood Control and Riverside County Transportation Department will ensure that potential impacts to utility systems are reduced to a non-significant level. Based on data available at this time, no offsite utility improvements will be required to support this Project. Therefore, less than significant impacts will occur.

Mitigation: No Mitigation Required

Monitoring: No Monitoring Required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Riverside County General Plan

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

a) Implementation of the proposed Project will serve to implement energy conservation plans and will comply with the California Green Building Standards Code. The Project is not anticipated to utilize a significant amount of resources, including energy; therefore, no impacts are anticipated.

Mitigation: No Mitigation Required.

Monitoring: No Monitoring Required.

Monitoring: No Monitoring Required.

MANDATORY FINDINGS OF SIGNIFICANCE

50) Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact:

Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory. With the incorporation of standard conditions of approval all impacts are less than significant.

51) Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact:

The Project does not have impacts which are individually limited, but cumulatively considerable. As demonstrated in Sections 1 – 49 of this Environmental Assessment, the Project will not have any impacts that rise to a level of significant. Therefore, less than significant cumulative impacts are anticipated to occur.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
52) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Staff review, project application

Findings of Fact:

As demonstrated in Sections 1 - 49 of this Environmental Assessment, the proposed Project does not have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly. Standard conditions of approval applied to the proposed Project, will ensure all impacts are less than significant.

V. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: N/A

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

VI. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 8/15/2017 5:06 PM
EA 2010.docx

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 MAP- PROJECT DESCRIPTION RECOMMND

The proposed project allows for Change of Zone No. 7905 to change the site's zoning classification from Residential Agricultural Two and one half acre minimum (R-A-2 1/2) to Residential Agricultural 2-acre minimum (R-A-2) and Tentative Tract Map No. 36963 a Schedule 'C' subdivision of 79.67 gross acres into 31, 2-acre minimum single family residential lots and 3 letter lots to be utilized for water quality basins. In addition the applicant is proposing Street "A" located vertically along the eastern portion of the site and Street "B" located horizontally along the southwestern portion of the site. A fourteen (14) foot wide community trail will be added along Olive Street and El Mineral Road.

10. EVERY. 2 MAP - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the TENTATIVE MAP, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10. EVERY. 2 MAP - HOLD HARMLESS (cont.) RECOMMND

not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 MAP- DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Tract Map No.36963 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Tract Map No.36963 dated May 25, 2017

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 4 MAP - 90 DAYS TO PROTEST RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, stockpiling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department conditions of approval.

10.BS GRADE. 3 MAP - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

- 10.BS GRADE. 4 MAP - DISTURBS NEED G/PMT RECOMMND
- Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.
- 10.BS GRADE. 7 MAP - EROS CNTRL PROTECT RECOMMND
- Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.
- 10.BS GRADE. 8 MAP - DUST CONTROL RECOMMND
- All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.
- 10.BS GRADE. 9 MAP - 2:1 MAX SLOPE RATIO RECOMMND
- Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.
- 10.BS GRADE. 11 MAP - MINIMUM DRNAGE GRADE RECOMMND
- inimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.
- 10.BS GRADE. 12 MAP - DRNAGE & TERRACING RECOMMND
- Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".
- 10.BS GRADE. 13 MAP - SLOPE SETBACKS RECOMMND
- Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.
- 10.BS GRADE. 23 MAP - MANUFACTURED SLOPES RECOMMND
- Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.BS GRADE. 23 MAP - MANUFACTURED SLOPES (cont.) RECOMMND

requirements of Ordinance 457.

10.BS GRADE. 24 MAP - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 USE - POTABLE WATER SERVICE RECOMMND

TR36963 is proposing potable water service from Western Municipal Water District (WMWD) . It is the responsibility of the developer to ensure that all requirements to obtain potable water service are met with WMWD as well as all other applicable agencies.

Any existing onsite water well shall be properly removed or abandoned under permit with the Department of Environmental Health.

10.E HEALTH. 2 USE - OWTS FOR WASTEWATER RECOMMND

TR36963 is proposing the use of on-site wastewater treatment systems (OWTS) for wastewater disposal for 34 single-family residential, 2 acre lots. The Department of Environmental Health has received and reviewed preliminary soils percolation testing for the entitlement of the project. Additional soils percolation testing must be conducted and submitted for review and approval to this Department, prior to building permit issuance. OWTS design must be consistent with the Department's current Local Agency Management Program and any other current applicable standards or regulations. If at a future time when construction is taking place and sewer is available, the project may be required to connect to sewer.

Please contact (951)955-8980 for additional details.

10.E HEALTH. 3 USE - ECP COMMENTS RECOMMND

The Environmental Cleanup Program (ECP) has reviewed the environmental site assessment reports submitted for this project. Based on the information provided in the reports and a site visit conducted by ECP staff and with the

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.E HEALTH. 3 USE - ECP COMMENTS (cont.) RECOMMND

provision that the information was accurate and representative of site conditions, the ECP concludes no further environmental assessment is required for this project. If contamination or the presence of a naturally occurring hazardous material is discovered at the site, assessment, investigation, and/or cleanup may be required. Contact Riverside County Environmental Health - Environmental Cleanup Programs at (951) 955-8980, for further information.

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 MAP*-#16-HYDRANT/SPACING RECOMMND

Schedule A fire protection approved standard fire hydrants, (6"x4"x2 1/2") located one at each street intersection and spaced no more than 330 feet apart in any direction. Minimum fire flow shall be 1,000 GPM for 2 hour duration at 20 PSI. Shall include perimeter streets at each intersection and spaced 1,000 feet apart.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT RECOMMND

Bluebeam Session ID: 262-038-301
Tract Map (TR) 36963 is a proposal for a Schedule "C" residential subdivision of a 79-acre site in the Gavilan Hills area. The site is located on the southeast corner of Olive Street and El Mineral Road with Los Arrollos Road bisecting the site. Change of Zone (CZ) 07905, which is a proposal to change the zoning classification of the site from Residential Agricultural 2 1/2-Acre (R-A-2 1/2) to Residential Agricultural 2-Acre (R-A-2), is being processed concurrently.

The project site is located along a ridge-line, so there is little to no offsite runoff tributary to the site. That

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.FLOOD RI. 1

MAP FLOOD HAZARD REPORT (cont.)

RECOMMND

being said, there are several outfall points where onsite runoff is discharged. There are two to the north, one to the east and one to the west. The property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. Development of this property shall be coordinated with the development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another.

The development of this site would generate an increase peak flow rates on downstream properties. It is assumed the basins shown on the exhibit are intended to provide mitigation for both increased runoff and water quality impacts. There are no District maintained facilities, either existing or proposed, associated this subdivision. The District's standard "Increase Runoff Criteria" is provided as a reference to the project engineer and plan checker. The review and approval of the preliminary and final Water Quality Management Plan (WQMP), plus any associated drainage and grading plans, will be processed by the Transportation Department.

It should be noted that a portion of the site is located within the bounds of the Lake Mathews (ADP) for which drainage fees have been established by the Board of Supervisors. Applicable ADP fees will be due (in accordance with the Rules and Regulations for Administration of Area Drainage Plans) prior to the issuance of grading/building permits for this project. Although the current fee for this ADP is \$3,815 per acre, the fee due will be based on the fee in effect at the time of payment. The fee is payable to the Flood Control District by cashier's check or money order only. The District will not accept personal or company checks.

10.FLOOD RI. 3

MAP INCREASED RUNOFF CRITERIA

RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District or Transportation for review. The entire area of proposed development will be routed through a detention facility(s)

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.FLOOD RI. 3

MAP INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District or Transportation for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = $.9 - (.8 \times \% \text{IMPERVIOUS})$
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.FLOOD RI. 3 MAP INCREASED RUNOFF CRITERIA (cont.) (cont.)RECOMMND

outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Where public access is uncontrolled, the basin sideslopes should be no steeper than 4:1 and depths should be minimized.

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association. Residential homeowners associations are discouraged.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

Human remains require special handling, and must be treated with appropriate dignity. Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Specific actions must take place pursuant to CEQA Guidelines §15064.5e, State Health and Safety Code Section 7050.5 and Public Resource Code (PRC) §5097.98. In the event of the accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the following procedures shall be followed:

- a) There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:
 - i) A County Official is contacted.
 - ii) The County Coroner is contacted to determine that no investigation of the cause of death is required, and If the Coroner determines the remains are Native American:

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND (cont.) RECOMMND

iii)The Coroner shall contact the Native American Heritage Commission within 24 hours.

b)The Commission shall identify the person or persons it believes to be the most likely descended from the deceased Native American.

c)The Most Likely Descendent (MLD) may make recommendations to the landowner or the person responsible for the excavation work, for the treatment of human remains and any associated grave goods as provided in PRC 5097.98.

d)Under the following conditions, the landowner or his authorized representative shall rebury the Native American human remains and associated grave goods on the property in a location not subject to further disturbance:

i)The Commission is unable to identify a MLD or the MLD failed to make a recommendation within 48 hours after being notified by the commission.

(1)The MLD identified fails to make a recommendation; or

(2)The landowner or his authorized representative rejects the recommendation of the MLD, and the mediation.

10.PLANNING. 2 MAP - UNANTICIPATED RESOURCES RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

1)If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

a)All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.

b)At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made,

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 2 MAP - UNANTICIPATED RESOURCES (cont.) RECOMMND

with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

c)Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 3 MAP - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 3 MAP - LOW PALEO (cont.)

RECOMMND

activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8.The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

mp^ll↑.Xauthority^γ▶♣.cshrc^L▶♣.exrc^L↑.history
+¶ä.remote^|▶♦.vue^Ω↑ÿ.vueprofile^δ⊙%::PPERMIT

10.PLANNING. 4 MAP- MAP ACT COMPLIANCE

RECOMMND

his land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule C, unless modified by the conditions listed herein.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 5 MAP - FEES FOR REVIEW RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in county Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 7 MAP - TRAIL MAINTENANCE RECOMMND

The land divider, or the land divider's successor-in-interest, shall be responsible for the maintenance of any trail easement required under these conditions until such time as the maintenance is taken over by an appropriate maintenance district.

10.PLANNING. 10 MAP - OFFSITE SIGNS ORD 679.4 RECOMMND

No offsite subdivision signs advertising this land division/development are permitted, other than those allowed under Ordinance No. 679.4. Violation of this condition of approval may result in no further permits of any type being issued for this subdivision until the unpermitted signage is removed.

10.PLANNING. 11 MAP - RES. DESIGN STANDARDS RECOMMND

The design standards for the subdivision are as follows:

- a. Lots created by this map shall conform to the design standards of the RA zone.
- b. The front yard setback is 20 feet.
- c. The side yard setback is 5 feet.
- d. The street side yard setback is 10 feet.
- e. The rear yard setback is 10 feet, except where a rear yard abuts a street, then the setback shall be the same as the front yard setback, in accordance with Section 21.77 of Ordinance No. 348.
- f. The minimum average width of each lot is 100 feet.
- g. The maximum height of any building is 40 feet.
- h. The minimum parcel size is 2 acres.
- i. Residential driveway approaches shall be a minimum of 12 feet and a maximum of 30 feet in width, and 20 feet

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 11 MAP - RES. DESIGN STANDARDS (cont.) RECOMMND

of full height curb is required between driveways within any one property frontage, in accordance with Ord. No. 461, Standard No. 207.

EXCEPT AS ALLOWED BY ORDINANCE NO. 348, AND THE COUNTYWIDE DESIGN STANDARDS AND GUIDELINES, THERE SHALL BE NO ENCROACHMENT INTO ANY SETBACK.

10.PLANNING. 12 MAP - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each residential unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 13 MAP - ORD 810 OPN SPACE FEE RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 13 MAP - ORD 810 OPN SPACE FEE (cont.) RECOMMND

The fee shall be paid for each residential unit to be constructed within this land division.

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 16 STKP- OFF-HIGHWAY VEHICLE USE RECOMMND

No off-highway vehicle use shall be allowed on any parcel used for stockpiling purposes. The landowners shall secure all parcels on which a stockpile has been placed and shall prevent all off-highway vehicles from using the property.

10.PLANNING. 17 MAP - SUBMIT BUILDING PLANS RECOMMND

The developer shall cause building plans to be submitted to the TLMA- Land Use Section for review by the Department of Building and Safety - Plan Check Division. Said plans shall be in conformance with the approved TENTATIVE MAP.

10.PLANNING. 19 MAP - GEO02486 ACCEPTED RECOMMND

County Geologic Report GEO No. 2486, submitted for the project TR36963, APNs 289-250-008 and -020, was prepared by GeoTek, Inc., and is titled; "Geotechnical Evaluation for Proposed Single-Family Residential Development, APNs 289-250-008 and -020, Southeast of the Intersection of El Mineral Road and Olive Street (Sumac Road), Gavilan Hills Area of Riverside County, California," dated July 5, 2016.

In addition, GeoTek, Inc. has submitted the following report:

"Response to Geotechnical Report Review Sheet, Tract 36963, APNs 289-250-008 and -020, Gavilan Hills Area of Riverside County, California," dated August 4, 2016.

This document is herein incorporated in GEO02486.

GEO02486 concluded:

1.No active or potentially active fault is presently known to exist at the site nor is the site situated within an "Alquist-Priolo" Earthquake Fault Zone.

2.Based on our review of aerial photography, published geologic maps and reports, and site geologic mapping, no active faulting is known to or suspected to traverse the

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 19

MAP - GEO02486 ACCEPTED (cont.)

RECOMMND

site.

3.Liquefaction is not considered to be a hazard at the subject site due to the underlying dense soils and great depth to groundwater.

4.Groundwater was not encountered in our exploratory excavations, and is reported to be a t a depth greater than 100 feet below ground surface.

5.Fill slopes constructed at gradients of 2:1 or flatter, in accordance with industry standards, are anticipated to be both grossly and surficially stable.

GEO02486 recommended:

1.In areas of planned grading and improvements, the site should be cleared of vegetation, roots, and debris.

2.In order to provide a uniform bearing material, the upper one (1) to three (3) feet of weathered quartz diorite materials should be completely removed below all proposed structural improvements due to the presence of porous materials.

3.A minimum of two (2) feet of engineered fill should be provided below the bottom of the proposed footings.

4.Fill placed on slopes should be properly benched into competent soils per the geotechnical consultant.

GEO No. 2486 satisfies the requirement for a geologic/geotechnical study for Planning/CEQA purposes. GEO No. 2486 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

10.PLANNING. 20

MAP - PDA04993R1 ACCEPTED

RECOMMND

County Archaeological Report (PDA) No. 4993 submitted for this project (TR36963) was prepared by Nicholas Jew of Applied Earthworks Inc. and is entitled: "Phase I Cultural Resource Assessment of Assessor's Parcel Numbers 289-250-008 and 289-250-020 in Unincorporated Riverside County, California" dated June 2016. This report was not accepted by the County Archaeologist and report comments (request for revisions) were requested and sent to the consultant August 09, 2016.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.PLANNING. 20 MAP - PDA04993R1 ACCEPTED (cont.) RECOMMND

Revised County Archaeological Report (PDA) No. 4993r1 submitted for this same project, prepared by the same aforementioned company and individual and bearing the same title, is dated June 2016. This report was received on August 11, 2016 and accepted by the County Archaeologist on August 30, 2016.

PDA04993r1 concludes that the survey resulted in the identification and documentation of one historical archaeological site (CA-RIV-12337/H) within the Project area. An evaluation of significance suggests that the resource is not eligible for listing on the CRHR. No further management is recommended for this resource. The record search data indicate that the Project has a moderate sensitivity for prehistoric cultural resources. As such, intact subsurface prehistoric archaeological deposits may be encountered during construction activities. It is therefore recommended that a qualified archaeological monitor be present during Project-related ground disturbing activities in undisturbed native sediments. In addition, it should be noted that the Soboba Band of Luiseño Indians recommended a Native American monitor from their tribe be present on-site during all ground-disturbing activities to monitor for unanticipated discoveries.

These documents are herein incorporated as a part of the record for project.

TRANS DEPARTMENT

10.TRANS. 1 MAP - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.TRANS. 1 MAP - STD INTRO 3(ORD 460/461) (cont.) RECOMMND

occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 MAP - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 MAP - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. It has been determined that the project is exempt from traffic study requirements.

10.TRANS. 4 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 5 MAP - DRAINAGE 2 RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.TRANS. 6 MAP - NO ADD'L ROAD IMPRVMENTS RECOMMND

No additional road improvements will be required at this time along Los Arrollos Road due to existing improvements.

10.TRANS. 7 MAP- 100YR SUMP OUTLET RECOMMND

Drainage facilities that outlet under sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.TRANS. 8 MAP- PERP DRAINAGE PATTERNS RECOMMND

The property's street and lot grading shall be designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points, and outlet conditions. Otherwise, a drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the Transportation Department for review.

10.TRANS. 9 MAP - OWNER MAINT NOTICE RECOMMND

The subdivider shall record sufficient documentation to advise purchasers of any lot within the subdivision that the owners of individual lots are responsible for the maintenance of the drainage facility within the drainage easements shown on the final map.

10.TRANS. 10 MAP - INCREASED RUNOFF RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed drainage facilities in the site design. Although final design of the drainage facilities will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general configuration and location of the proposed drainage facilities are sufficient to mitigate the impacts of the development.

The final design of the drainage facilities will conform to the increased runoff criteria of the Plan Check Policies and Guidelines and Flood Control Manual.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.TRANS. 11

MAP-INCREASED RUNOFF CRITERIA

RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the Transportation Department for review. The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition.

For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9 - (.8 X % IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.TRANS. 11 MAP-INCREASED RUNOFF CRITERIA (cont.) RECOMMND

hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the Director of Transportation.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

A viable maintenance mechanism, acceptable to the County, should be provided for detention facilities. Generally, this would mean a maintenance CFD, CSA, landscape district, parks agency or commercial property owners association. Residential homeowners associations are discouraged.

***** Preliminary sizing may be based on the difference in runoff hydrograph volume between the "developed" condition and the "pre-developed" condition for the 24-hour duration event for the 10-year return frequency. Final design of the basin, including a complete hydrology study will not be required until the improvement plan stage of this development. The project may need modifications at the plan check stage in order to comply with the increased runoff criteria.

10.TRANS. 12 MAP - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

- 1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
- 2) Ensure all landscaping is provided with California Friendly landscaping and a weather-based irrigation controller(s) as defined by County Ordinance No. 859;

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.TRANS. 12 MAP - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

- 3) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,
- 4) Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor-in-interest shall:

- 1) Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.
- 2) Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.
- 3) Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.TRANS. 13 MAP- R-O-W EXCEEDS/VACATION RECOMMND

If the existing right-of-way along El Mineral Road exceeds that which is required for this project, the developer may submit a request for the vacation of said excess right-of-way. Said procedure shall be as approved by the Board of Supervisors. If said excess or superseded right-of-way is also County owned land, it may be necessary to enter into an agreement with the County for its purchase or exchange.

WASTE DEPARTMENT

10.WASTE. 1 MAP - HAZARDOUS MATERIALS RECOMMND

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

10. GENERAL CONDITIONS

10.WASTE. 1 MAP - HAZARDOUS MATERIALS (cont.) RECOMMND

waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division.

10.WASTE. 3 MAP - LANDSCAPE PRACTICES RECOMMND

Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries.

Reduce the amount of green waste generated in common landscaped areas through grass recycling (where lawn clippings from a mulching type mower are left on lawn), or through on-site composting of green waste, or through the separation of green waste from other waste types to send to a composting facility.

Xeriscape and/or use drought tolerant/low maintenance vegetation in all landscaped areas of the project.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 MAP- EXPIRATION DATE RECOMMND

The conditionally approved TENTATIVE MAP shall expire three years after the County of Riverside Board of Supervisors' original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the FINAL MAP, or any phase thereof, no recordation of the FINAL MAP, or any phase thereof, shall be permitted.

40. PRIOR TO PHASING (UNITIZATION)

PLANNING DEPARTMENT

40.PLANNING. 1 MAP - CONCEPTUAL PHASE GRADING RECOMMND

Prior to the approval of an application for a division into units or phasing plan for the TENTATIVE MAP, a conceptual

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

40. PRIOR TO PHASING (UNITIZATION)

40.PLANNING. 1 MAP - CONCEPTUAL PHASE GRADING (cont.) RECOMMND

grading plan covering the entire TENTATIVE MAP shall be submitted to the County Planning Department for review and approval. The conceptual grading plan shall comply with the following:

A. Techniques which will be used to prevent erosion and sedimentation during and after the grading process shall be depicted or documented.

B. Approximate time frames for grading and areas which may be graded during the higher probability rain months of January through March shall be identified.

C. Preliminary pad and roadway elevations shall be depicted.

D. Areas where temporary grading occurs on any phase other than the one being graded for development at a particular time shall be identified.

The approved conceptual grading plan shall be provided to the Building and Safety Grading Division and shall be used as a guideline for subsequent detailed grading plans for individual units or phases of the TENTATIVE MAP.

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 1 MAP - WATER WILL SERVE RECOMMND

A "Will-Serve" letter is required from the agency providing water service.

50.E HEALTH. 2 MAP - SOLID WASTE SERVICE RECOMMND

Prior to map recordation, the project must provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

FIRE DEPARTMENT

50.FIRE. 1 MAP-#7-ECS-HAZ FIRE AREA RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The land division is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed on lots created by this land division shall comply with the special construction provisions contained in Riverside County Ordinance 787.7.

50.FIRE. 2 MAP-#43-ECS-ROOFING MATERIAL RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: All buildings shall be constructed with Class A material as per the California Building Code.

50.FIRE. 3 MAP-#64-ECS-DRIVEWAY ACCESS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Driveways exceeding 150' in length, but less than 800' in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800', turnouts shall be provided no more than 400' apart. Turnouts shall be a minimum of 10' wide and 30' in length, with a minimum 25' taper on each end.

A approved turnaround shall be provided at all building sites on driveways over 150 feet in length, and shall be within 50' of the building.

50.FIRE. 4 MAP-#73-ECS-DRIVEWAY REQUIR RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Access will not have an up, or downgrade of more than 16%. Access will not be less than 10 feet in width with 14 foot unobstructed horizontal clearance and vertical clearance of 15 feet. Access will be designed to withstand the weight of 60 thousand pounds over 2 axles. Access will have a turning radius of 38 feet capable of accommodating fire apparatus.

50.FIRE. 5 MAP-#67-ECS-GATE ENTRANCES RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Gate entrances shall be at least

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.FIRE. 5 MAP-#67-ECS-GATE ENTRANCES (cont.) RECOMMND

two feet wider than the width of the traffic lanes serving that gate. Any gate providing access from a road to a driveway shall be located at least 35 feet setback from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. here a one-way road with a single traffic lane provides access to a gate entrance, a 38 feet turning radius shall be used.

50.FIRE. 6 MAP-#88-ECS-AUTO/MAN GATES RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Gates shall be minimum 20 feet in width. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30' pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

50.FIRE. 7 MAP-#004-ECS-FUEL MODIFICATION RECOMMND

ECS map must be stamped by the Riverside County Surveyor with the following note: Prior to the issuance of a grading permit, the developer shall prepare and submit to the fire department for approval a fire protection/vegetation management that should include but not limited to the following items: a) Fuel modification to reduce fire loading. b) Appropriate fire breaks according to fuel load, slope and terrain. c) Non flammable walls along common boundaries between rear yards and open space. d) Emergency vehicle access into open space areas shall be provided at intervals not to exceed 1500'. e) A homeowner's association or appropriate district shall be responsible for maintenance of all fire protection measures within the open space areas.

ANY HABITAT CONSERVATION ISSUE AFFECTING THE FIRE DEPARTMENT FUEL MODIFICATION REQUIREMENT, SHALL HAVE CONCURRENCE WITH THE RESPONSIBLE WILDLIFE AND/OR OTHER CONSERVATION AGENCY.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.FIRE. 8 MAP-#46-WATER PLANS RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

50.FIRE. 9 MAP-#6-ECS WATER CERTIFICATION RECOMMND

Ecs map msut be stamped by the Riverside County Surveyor with the following note: The applicant or developer shall provde written cerification from the appropriate water company that the required fire hydrants are either existing or that financial arrangements have been made to provide them.

50.FIRE. 10 MAP-#53-ECS-WTR PRIOR/COMBUS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

50.FIRE. 12 MAP-#47-SECONDARY ACCESS RECOMMND

In the interest of Public Safety, the project shall provide an Alternate or Secondary Access(s). Said Alternate or Secondary Access(s) shall have concurrence and approval of both the Transportation Department and the Riverside County Fire Department.

50.FIRE. 13 MAP*-#70-ECS-ADDRESS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Building addresses will be clearly visible from public roadway. A permanent monument may be provided for the address. Address numbers must be minimum 3 inch letter height, 3/8 inchstroke, reflectorized contrasting with the background colors of the sign. Address shall be displayed horizontally.

08/08/17
14:37

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 27

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.FIRE. 14 MAP* -#59-ECS-HYDR REQUIR RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: Should the applicant or developer choose to defer the fire protection requirements, an Environmental Constraint Sheet shall be filed with the final map containing the following: Prior to the issuance of a building permit, the applicant or developer shall provide written certification from the water company that standard fire hydrants (6"x4"x2 1/2") exist or that financial arrangements have been made to provide hydrants

FLOOD RI DEPARTMENT

50.FLOOD RI. 2 MAP SUBMIT ECS & FINAL MAP RECOMMND

A copy of the environmental constraint sheet and the final map shall be submitted to the District for review and approval. All submittals shall be date stamped by the engineer and include the appropriate plan check fee.

50.FLOOD RI. 8 MAP ADP FEES RECOMMND

A notice of drainage fees shall be placed on the environmental constraint sheet and final map. The exact wording of the note shall be as follows:

NOTICE OF DRAINAGE FEES

Notice is hereby given that this property is located in the Lake Mathews Area Drainage Plan which was adopted by the Board of Supervisors of the County of Riverside pursuant to Section 10.25 of Ordinance 460 and Section 66483, et seq, of the Government Code and that said property is subject to fees for said drainage area.

Notice is further given that, pursuant to Section 10.25 of Ordinance 460, payment of the drainage fees shall be paid with cashier's check or money order only to the Riverside County Flood Control and Water Conservation District at the time of issuance of the grading or building permit for said parcels, whichever occurs first, and that the owner of each parcel, at the time of issuance of either the grading or building permit, shall pay the fee required at the rate in effect at the time of issuance of the actual permit.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - PREPARE A FINAL MAP RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 2 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 3 MAP- SURVEYOR CHECK LIST RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the following:

- A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to size and configuration.
- B. All lots on the FINAL MAP shall have a minimum lot size of 2 gross acres.
- C. All lot sizes and dimensions on the FINAL MAP shall be in conformance with the development standards of the R-A zone, and with the Riverside County General Plan.
- D. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.
- E. All knuckle or cul-de-sac lots shall have a minimum of 35 feet of frontage measured at the front lot line.

50.PLANNING. 4 MAP- REQUIRED APPLICATIONS RECOMMND

No FINAL MAP shall record until Change of Zone No. 07905 has been approved and adopted by the Board of Supervisors and has been made effective. This land division shall conform with the development standards of the

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 4 MAP- REQUIRED APPLICATIONS (cont.) RECOMMND

 designation and zone ultimately applied to the property.

50.PLANNING. 8 MAP- QUIMBY FEES (1) RECOMMND

If a district, agency or other authority is created to collect Quimby Fees applicable to the project's area, the land divider shall submit to the County Planning Department - Development Review Division a duly and completely executed agreement with the Quimby Fee authorization organization which demonstrates satisfaction of the County that the land divider has provided payments of park & recreation fees and or dedication of land for TENTATIVE MAP in accordance with Section 10.35 of County Ordinance No. 460.

If no such authorization is in effect at map recordation this condition shall not apply.

50.PLANNING. 9 MAP- OFFER OF TRAILS RECOMMND

An offer of dedication to the County of Riverside for a 14 foot wide community trail along El Mineral Road and Olive Street shall be noted on both the FINAL MAP and the Environmental Constraints Sheet.

50.PLANNING. 10 MAP- TRAIL MAINTENANCE RECOMMND

The land divider shall form or annex to a trails maintenance district or other maintenance district approved by the County Planning Department, for the maintenance of a fourteen foot (14') wide community trail located along Olive Street and El Mineral Road. The land divider, or the land divider's successors-in-interest or assignees, shall be responsible for the maintenance of the community trail easement until such time as the maintenance is taken over by the appropriate maintenance district.

50.PLANNING. 12 MAP - ECS SHALL BE PREPARED RECOMMND

The land divider shall prepare an Environmental Constraints Sheet (ECS) in accordance with Section 2.2. E. & F. of County Ordinance No. 460, which shall be submitted as part of the plan check review of the FINAL MAP.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 19 MAP - ECS NOTE MT PALOMAR LIGH RECOMMND

The following Environmental Constraint Note shall be placed on the ECS:

"This property is subject to lighting restrictions as required by County Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with County Ordinance No. 655."

50.PLANNING. 28 MAP - FEE BALANCE RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 31 MAP*- CC&R RES CSA COM. AREA DRAFT

The land divider shall convey to the County fee simple title, to all common open space areas, free and clear of all liens, taxes, assessments, leases (recorded and unrecorded) and easement, except those easements which in the sole discretion of the County are acceptable. As a condition precedent to the County accepting title to such areas, the land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for review and approval, and (b) the land divider shall submit to the Office of the County Counsel the following documents:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number (a copy of this cover letter may be sent to the Planning Department to serve as notification) and identifying one individual to represent the land divider if there are any questions concerning the review of the submitted documents; and

2. One (1) copy AND one (1) original, wet signed, notarized and ready for recordation declaration of covenants, conditions and restrictions; attached to these documents there shall be included a legal description of the property included within the covenants, conditions and restrictions and a scaled map or diagram of such

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 31 MAP*- CC&R RES CSA COM. AREA (cont.)

DRAFT

boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor; and

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the of the current hourly fee for Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted to the Office of the County Counsel review and approval.

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit as tenants in common, and c) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall, if dormant, be activated, by incorporation or otherwise, at the request of the County of Riverside, and the property owner's association shall unconditionally accept from the County of Riverside, upon the County's demand, title to all or any part of the 'common area', more particularly described on Exhibit '___', attached hereto. The decision to require activation of the property owners' association and the decision to require that the association unconditionally accept title to the 'common area' shall be at the sole discretion of the County of Riverside.

In the event that the 'common area', or any part thereof, is conveyed to the property owners' association, the association, thereafter, shall own such 'common area', shall manage and continuously maintain such 'common area', and shall not sell or transfer such 'common area', or any part thereof, absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. The property owners'

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 31 MAP*- CC&R RES CSA COM. AREA (cont.) (cont.) DRAFT

association shall have the right to assess the owner of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved, the copy and the original declaration of covenants, conditions and restrictions shall be forwarded by the Office of the County Counsel to the Planning Department. The Planning Department will retain the one copy for the case file, and forward the wet signed and notarized original declaration of covenants, conditions and restrictions to the County Transportation Department - Survey Division - for safe keeping until the final map is ready for recordation. The County Transportation Department - Survey Division - shall record the original declaration of covenants, conditions and restrictions in conjunction with the recordation of the final map.

50.PLANNING. 32 MAP*- CC&R RES POA COM. AREA DRAFT

The land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for the review and approval of that office, and (b) the land divider shall submit to the Office of the County Counsel the following documents:

1. A cover letter identifying the project for which

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 32

MAP*- CC&R RES POA COM. AREA (cont.)

DRAFT

approval is sought referencing the Planning Department case number(s) (a copy of this cover letter may be sent to the Planning Department to serve as notification) and identifying one individual to represent the land divider if there are any questions concerning the review of the submitted documents; and

2. One (1) copy AND one (1) original, wet signed, notarized and ready for recordation declaration of covenants, conditions, and restrictions; attached to these documents there shall be included a legal description of the property included within the covenants, conditions and restrictions and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor; and

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions, and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the current hourly fee for the Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted to the Office of the County Counsel for review and approval.

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owner's association comprised of the owners of each individual lot or unit as tenants in common, c) provide for the ownership of the common area by either the property owner's association or the owners of each individual lot or unit as tenants in common, and d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall manage and continuously maintain the 'common area', more particularly described on Exhibit '___', attached hereto, and shall not sell or transfer the 'common area'

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 32 MAP*- CC&R RES POA COM. AREA (cont.) (cont.) DRAFT

or any part thereof, absent the prior written consent of the Planning Department of the County of Riverside or the County's successor-in-interest.

The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage, or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved, the copy and the original declaration of covenants, conditions and restrictions shall be forwarded by the Office of the County Counsel to the Planning Department. The Planning Department will retain the one copy for the case file, and forward the wet signed and notarized original declaration of covenants, conditions and restrictions to the County Transportation Department - Survey Division - for safe keeping until the final map is ready for recordation. The County Transportation Department - Survey Division - shall record the original declaration of covenants, conditions and restrictions in conjunction with the recordation of the final map.

50.PLANNING. 34 MAP*- ECS AFFECTED LOTS

DRAFT

In accordance with Section 9.5. 12. of Ordinance No. 460, the following note shall be placed on the FINAL MAP:

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.PLANNING. 34 MAP*- ECS AFFECTED LOTS (cont.) DRAFT

"ENVIRONMENTAL CONSTRAINT NOTE:
nvironmental Constraint Sheet affecting this map is on file
in the Office of the Riverside County Surveyor in E.C.S.
Book ____, Page ____. [This affects [Lot] [Parcels] No(s).
_____] [This affects all [Parcels] [Lots]]"

SURVEY DEPARTMENT

50.SURVEY. 1 MAP - EASEMENT RECOMMND

Any easement not owned by a public utility, public entity
or subsidiary, not relocated or eliminated prior to final
map approval, shall be delineated on the final map in
addition to having the name of the easement holder, and the
nature of their interests, shown on the map.

50.SURVEY. 2 MAP - ACCESS RESTRICTION RECOMMND

Lot access shall be restricted on Olive Street and so noted
on the final map.

50.SURVEY. 3 MAP - VACATION RECOMMND

The applicant, by his/her design, is requesting a
vacation/abandonment of the existing dedicated
rights-of-way along El Mineral Road. Accordingly, prior to
recordation of the final map, if an abandonment of the said
rights-of-way cannot be utilized, applicant shall have
filed a separate application with the County Surveyor for a
conditional vacation of said rights-of-way, and the Board
of Supervisors shall have approved the vacation request. If
the Board of Supervisors denies the vacation request, the
tentative map as designed may not record. The applicant
may, however, redesign the map utilizing the existing
rights-of-way, and may then reprocess the map after paying
all appropriate fees and charges.

The applicant, by his/her design, is requesting a
vacation/abandonment of the existing dedicated
rights-of-way along _____. Accordingly,
prior to recordation of the final map, if an abandonment of
the said rights-of-way cannot be utilized, applicant shall
have filed a separate application with the County Surveyor
for a conditional vacation of said rights-of-way, and the
Board of Supervisors shall have approved the vacation
request. If the Board of Supervisors denies the vacation

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.SURVEY. 3 MAP - VACATION (cont.) RECOMMND

request, the tentative map as designed may not record. The applicant may, however, redesign the map utilizing the existing rights-of-way, and may then reprocess the map after paying all appropriate fees and charges.

TRANS DEPARTMENT

50.TRANS. 1 MAP - STREET NAME SIGN RECOMMND

The land divider shall install street name sign(s) in accordance with County Standard No. 816 as directed by the Transportation Department.

50.TRANS. 2 MAP - SOILS 2 RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

50.TRANS. 3 MAP - CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461.

50.TRANS. 4 MAP - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

50.TRANS. 5 MAP - INTERSECTION/50' TANGENT RECOMMND

All centerline intersections shall be at 90 degrees, plus or minus 5 degrees, with a minimum 50' tangent, measured

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.TRANS. 5 MAP - INTERSECTION/50' TANGENT (cont.) RECOMMND

from flowline/curbface or as approved by the Transportation Planning and Development Review Division Engineer.

50.TRANS. 6 MAP - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: <http://rctlma.org/trans/General-Information/Pamphlets-Brochures>

50.TRANS. 7 MAP - SIGNING & STRIPING PLAN RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

50.TRANS. 8 MAP - DEDICATIONS RECOMMND

Streets "A" and "B" along project boundary are designated LOCAL ROAD and shall be improved with 32' full-width AC pavement, 6" concrete curb and gutter, within the 60' full-width dedicated right-of-way in accordance with County Standard No. 106, Section "A", Ordinance 461. (32'/60') (Modified to construct curb & gutter instead AC Dike.)

El Mineral Road (between Olive Street to east parcel line of parcel no. 2), along project boundary is designated LOCAL STREET and shall be improved with 36' full-width AC pavement, 6" concrete curb and gutter, within the 60' full-width dedicated right-of-way in accordance with County Standard No. 105, Section "D", Ordinance 461. (Modified for reduced improvement from 40' to 36' AC pavement.)

NOTES: 1. Match up existing concrete curb and gutter.
2. Full-width road dedication shall be within the

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.TRANS. 8 MAP - DEDICATIONS (cont.) RECOMMND

project boundary as shown on revised map dated
5/25/2017.

50.TRANS. 9 MAP - PART-WIDTH RECOMMND

El Mineral Road along project boundary (between east parcel line of parcel no. 2 to east project boundary) is designated LOCAL ROAD and shall be improved with 32' part-width AC pavement (18' on the project side and 14' on opposite side of the centerline), 6" concrete curb and gutter (project side), match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Director of Transportation within the 62' full-width dedicated right-of-way (32' on the project side and 30' on the other side of the centerline) in accordance with County Standard No. 105, Section "A", Ordinance 461. (Modified for increased full-width right-of-way from 56' to 62' and construct trail (project side) in lieu of sidewalk.)

Note: 1. A 14' D.G. community trail (project side) shall be constructed within the 14' parkway as approved by Open Space & Park District and Director of Transportation.

Big Sky Circle along project boundary is designated LOCAL ROAD and shall be improved with 32' part-width AC pavement (18' on the project side and 14' on opposite side of the centerline), 6" concrete curb and gutter (project side), match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Director of Transportation within the 60' full-width dedicated right-of-way (30' on the project side and 30' on the other side of the centerline) in accordance with County Standard No. 105, Section "A", Ordinance 461.) (Modified for increased full-width right-of-way from 56' to 60' and no sidewalk.)

50.TRANS. 10 MAP - EXISTING MAINTAINED RECOMMND

Olive Street along project boundary is a paved County maintained road designated MOUNTAIN ARTERIAL HIGHWAY and shall be improved with 6" curb and gutter located 32' feet from centerline and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Director of Transportation within the 55'

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.TRANS. 10 MAP - EXISTING MAINTAINED (cont.) RECOMMND

half-width dedicated right-of-way in accordance with County Standard No. 95, Section "A", Ordinance 461.

Note: 1. A 14' D.G. community trail shall be constructed within the 23' parkway as approved by Open Space & Park District and Director of Transportation.

50.TRANS. 11 MAP - FINAL WQMP RECOMMND

This condition would apply when the final map is recorded prior to obtaining a grading permit. Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. R8-2013-0024 to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. The project is located in the Santa Ana watershed. For any questions, please contact (951) 712-5494.

The Final WQMP will need to address the following items:

1. Address all minor redlined comments in the preliminary WQMP, when preparing the final project specific WQMP.
2. On the final project specific WQMP, Section A, Page 6, correct the proposed impervious surface quantity as redlined.
3. On the final project specific WQMP, Section D.5, Page 17 and 18, note that DMA A must be divided into 3 portions, as there are three BMPs in DMA A. DMA E must be divided into 2 portions, as there are two BMPs in DMA E.
4. On the final project specific WQMP, DMA B must include any flows in Olive Street, south of the project, that are not collected in an underground storm drain system.
5. On the final project specific WQMP, note that completion of Section I, Operation, Maintenance and Funding; Appendix 9, O&M; and Appendix 10, Educational Materials will be required.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.TRANS. 11 MAP - FINAL WQMP (cont.) RECOMMND

6. On the final project specific WQMP, note that the County will require the following on the bioretention basins:

- a. Per the LID Design Handbook, the area contributing to a bioretention basin is limited to 10 acres. On this project RCTD will allow larger contributing areas, up to 25 acres.
- b. RCTD requires that all subdrains slope at 0.50% minimum. This will deepen the gravel layer under the soil media. However the depth of gravel in the calculations will still be limited to 12".
- c. Since the bioretention basins will be non-standard, the basin design must be reviewed and approved by the CFD prior to approval of the WQMP and the plans.

50.TRANS. 12 MAP - WQMP ACCESS AND MAINT RECOMMND

Prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are provided. This requirement is for both onsite and offsite property.

50.TRANS. 13 MAP - SUBMIT FINAL PLANS RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the Transportation Department for review. Refer to condition titled Increase Runoff Criteria for increased runoff analysis. All submittals shall be date stamped by the engineer and include the appropriate plan check fee deposit.

The project hydrology report shall address the following items.

1. Address all redlined comments in the preliminary Hydrology Study when preparing the final Hydrology Study.
2. It appears that storm flows from this project do not discharge to adequate outfalls. Therefore it is probable

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.TRANS. 13

MAP - SUBMIT FINAL PLANS (cont.)

RECOMMND

that mitigation for increased runoff will be required for this project. If conditioned for increased runoff, storms to be studied should include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition -> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = .9
- (.8x%IMPERVIOUS)
3. Basin Site --> LOW LOSS = 10%
3. In the final Hydrology Study insure that the routing calculations match the plans and details for the bioretention basins. The preliminary Hydrology Study shows the lowest outlet orifice to be 6" above the floor of the basins. The routing calculations show outflow starting at 1' above the floor of the basins.
4. Note that the submitted Tentative Tract Map shows swales in the "ungraded" portions of the site flowing up hill. See the redline comments on the TTM. Affected lots appear to be 22, 23, 24, 27, 28, 29, 30 and 31. It appears that some swales flow to sumps with no outlet on lots 22, 23, 24, 27, 28, 30 and 31. Additional drainage and grading detail will be required in the final Hydrology Study.
5. The final Hydrology Study must include hydrology and capacity calculations for the swales.

50.TRANS. 14

MAP - DRAINAGE EASEMENTS

RECOMMND

Drainage facilities not located within the road right-of-way shall be contained within dedicated drainage easements. For offsite drainage facilities, dedicated drainage easements shall be obtained from the affected

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

50. PRIOR TO MAP RECORDATION

50.TRANS. 14 MAP - DRAINAGE EASEMENTS (cont.) RECOMMND

property owner(s). Document(s) shall be recorded and a copy submitted to the Transportation Department for review and approval.

50.TRANS. 15 MAP - WRITTEN PERM FOR GRADING RECOMMND

Written permission shall be obtained from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the tract boundaries. A copy of the written authorization shall be submitted to the Transportation Department for review and approval.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov .

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 MAP - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 MAP - IMPORT/EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 MAP - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 MAP - DRNAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 MAP - OFFSITE GDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 7 MAP - OFFSITE GDG ONUS (cont.) RECOMMND

and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 MAP - NOTRD OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 9 MAP - LOT TO LOT DRN ESMT RECOMMND

A recorded easement is required for lot to lot drainage. The applicant/developer shall provide evidence that a mechanism of maintenance for the lot to lot drainage easement has been obtained.

60.BS GRADE. 10 MAP - DRNAGE EASEMENT MAINT. RECOMMND

All lot-to-lot drainage easements shall be maintained by the Home Owners Association (HOA). Prior to issuance of a grading permit, the applicant/developer shall provide a maintenance agreement stating that the HOA is taking over maintenance responsibility of the drainage easements.

60.BS GRADE. 11 MAP - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 13 MAP - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 14 MAP- BMP CONST NPDES PERMIT

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 15 MAP - SWPPP REVIEW

RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

EPD DEPARTMENT

60.EPD. 1 EPD - 30 DAY BURROWING OWL SUR

RECOMMND

Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results of this presence/absence survey shall be provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (March 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. Occupation of this species on the project site may result in the need to revise grading plans so that take of "active" nests is avoided or alternatively, a grading permit may be issued once the species has been actively relocated.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 EPD - 30 DAY BURROWING OWL SUR (cont.) RECOMMND

If the grading permit is not obtained within 30 days of the survey a new survey shall be required.

60.EPD. 2 EPD - MBTA SURVEY RECOMMND

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through September 15th). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted. Prior to the issuance of a grading permit the project proponent must provide written proof to the Riverside County Planning Department, Environmental Programs Division (EPD) that a biologist who holds an MOU with the County of Riverside has been retained to carry out the required survey. Documentation submitted to prove compliance prior to grading permit issuance must at a minimum include the name and contact information for the Consulting Biologist and a signed statement from the Consulting Biologist confirming that they have been contracted by the applicant to conduct a Preconstruction Nesting Bird Survey. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a grading permit. Prior to finalization of a grading permit or prior to issuance of any building permits the projects consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review.

FIRE DEPARTMENT

60.FIRE. 1 MAP-#004 FUEL MODIFICATION RECOMMND

Prior to the issuance of a grading permit, the developer shall prepare and submit to the fire department for approval a fire protection/vegetation management that

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.FIRE. 1 MAP-#004 FUEL MODIFICATION (cont.) RECOMMND

should include but not limited to the following items:

- a) fuel modification to reduce fire loading
- b) appropriate fire breaks according to fuel load, slope and terrain.
- c) non flammable walls along common boundaries between rear yards and open space.
- d) emergency vehicle access into open space areas shall be provided at intervals not to exceed 1500 feet
- e) a homeowner's association or appropriate district shall be responsible for maintenance of all fire protection measures within open space areas.

ANY HABITAT CONSERVATION ISSUE AFFECTING THE FIRE DEPARTMENT FUEL MODIFICATION REQUIREMENT, SHALL HAVE CONCURRENCE WITH THE RESPONSIBLE WILDLIFE AND/OR OTHER CONSERVATION AGENCY.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 MAP ADP FEES RECOMMND

A portion of Tract Map 36963 is located within the limits of the Lake Mathews Area Drainage Plan for which drainage fees have been adopted.

Drainage fees shall be paid with cashier's check or money order only to the District at the time of the issuance of grading permits for the approved parcels or at the time of issuance of building permits if no grading permits are issued for the parcels and may be paid, at the option of the land owner, in pro rata amounts. The amount of the drainage fee required to be paid shall be the amount that is in effect for the particular Area Drainage Plan at the time of issuance of the grading permits or issuance of the building permits if grading permits are not issued.

PLANNING DEPARTMENT

60.PLANNING. 2 MAP- COMMUNITY TRAIL ESMNT RECOMMND

The land divider/permit holder shall cause grading plans to be prepared which delineates grading adjacent to or within a proposed trail easement adjacent to lot numbers 1,2,3,4,5, and 31 and lettered lots B and C along El Mineral

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 2 MAP- COMMUNITY TRAIL ESMNT (cont.) RECOMMND

Road and lots 1 and 11 and lettered lot A along Olive Street, as delineated on the TENTATIVE MAP. Said grading must conform to the trail standards of the Comprehensive General Plan.

60.PLANNING. 5 MAP - BUILDING PAD GRADING RECOMMND

All grading for any proposed new dwellings and/or accessory buildings shall occur within the approved uilding pad sites shown on the TENTATIVE MAP.

60.PLANNING. 7 MAP - SLOPE GRADING TECHNIQUES RECOMMND

The land divider/permit holder shall cause grading plans to be prepared which show all cut slopes located adjacent to ungraded natural terrain and exceed ten (10) feet in vertical height to be contour-graded incorporating the following grading techniques:

1. The angle of the graded slope shall be gradually adjusted to the angle of the natural terrain.

2. Angular forms shall be discouraged. The graded form shall reflect the natural rounded terrain.

3. The toes and tops of slopes shall be rounded with curves with radii designed in proportion to the total height of the slopes where drainage and stability permit such rounding.

4. Where cut and/or fill slopes exceed 300 feet in horizontal length, the horizontal contours of the slope shall be curved in a continuous, undulating fashion.

60.PLANNING. 15 MAP- SKR FEE CONDITION RECOMMND

Prior to the issuance of a grading permit, the land divider/permit holder shall comply with the provisions of iverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 15 MAP- SKR FEE CONDITION (cont.) RECOMMND

which is anticipated to be 79.6 acres in accordance with the TENTATIVE MAP. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 16 MAP - FEE BALANCE RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 17 MAP - GRADING PLAN REVIEW RECOMMND

The land divider/permit holder shall cause a plan check application for a grading plan to be submitted to the County T.L.M.A - Land Use Division for review by the County Department of Building and Safety - Grading Division. Said grading plan shall be in conformance with the approved tentative map, in compliance with County Ordinance No. 457, and the conditions of approval for the tentative map.

60.PLANNING. 20 MAP - REQUIRED APPLICATIONS RECOMMND

No grading permits shall be issued until Change of Zone No. 07905 has been approved and adopted by the Board of Supervisors and has been made effective.

60.PLANNING. 21 MAP - PLANNING DEPT REVIEW RECOMMND

As part of the plan check review of the proposed grading plan for the subject property, the Department of Building and Safety - Grading Division shall submit a copy of the proposed grading plan, along with the applicable Log/Permit Numbers for reference, to the County Planning Department to be reviewed for compliance with the approved tentative map.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 23

MAP - NATIVE MONITOR REQ

DRAFT

Prior to the issuance of grading permits, the developer/permit applicant shall enter into a contract and retain a Native American Monitor.

The Native American Monitor shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. In conjunction with the Archaeological Monitor, the Native American Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.

The developer/permit applicant shall submit a fully executed copy of the contract to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition.

NOTE:

- 1)The Project Archaeologist is responsible for implementing mitigation and standard professional practices for cultural resources. The Project Archaeologist shall coordinate with the County, developer/permit applicant and Native American Monitors throughout the process.
- 2)Native American monitoring does not replace any required Archaeological monitoring, but rather serves as a supplement for coordination and advisory purposes for that groups' interests only.
- 3)The developer/permit applicant shall not be required to further pursue any agreement for special interest monitoring of this project if after 60 days from the initial attempt to secure an agreement the developer/permit applicant, through demonstrable good faith effort, has been unable to secure said agreement from the Native American Monitors. A good faith effort shall consist of no less than three written attempts from the developer/permit applicant to the tribe to secure the required special interest monitoring agreement and appropriate e-mail and telephone contact attempts. Documentation of the effort made to secure the agreement shall be submitted to the County Archaeologist for review and consideration.

This agreement shall not modify any condition of approval

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 23 MAP - NATIVE MONITOR REQ (cont.) DRAFT
or mitigation measure.

60.PLANNING. 24 MAP - ARCHAEOLOGICAL MONITOR RECOMMND

PRIOR TO ISSUANCE OF GRADING PERMITS: the applicant/developer shall provide evidence to the County of Riverside Planning Department that a County certified archaeologist (Project Archaeologist) has been contracted to implement a grading monitoring and data recovery program to mitigate potential impacts to undiscovered buried archaeological resources associated with this project. The Monitoring Plan shall include, but shall not be limited to, the following guidelines:

(1) The applicant/developer shall contract with a Native American monitor from the appropriate tribal group to be involved with the grading monitoring program.

(2) The Project Archaeologist shall conduct Cultural Resource Sensitivity Training for all construction Personnel.

(3) The County certified archaeologist and Native American monitor shall attend the pre-grading meeting with the contractors to explain and coordinate the requirements of the monitoring program.

(4) The archaeologist shall monitor all areas identified for development including off-site improvements.

(5) An adequate number of monitors (archaeological and Native American) shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored.

(6) During the original cutting of previously undisturbed deposits, the archaeological monitor(s) and Native American monitor(s) shall be onsite as determined by the Project Archaeologist. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The frequency and location of inspections will be determined by the Project Archaeologist in consultation with the Native American monitor.

(7) Isolates and clearly non-significant deposits shall be minimally documented in the field and the monitored grading can proceed.

(8) In the event that previously unidentified potentially significant cultural resources are discovered, the archaeological monitor(s) shall have the authority to divert or temporarily halt ground disturbance operations in the area of discovery to allow evaluation of potentially

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 24 MAP - ARCHAEOLOGICAL MONITOR (cont.)

RECOMMND

significant cultural resources. The Project Archaeologist shall contact the County Archaeologist at the time of discovery. The Project Archaeologist, in consultation with the County Archaeologist, shall determine the significance of the discovered resources. The County Archaeologist must concur with the evaluation before construction activities will be allowed to resume in the affected area.

(9) Before construction activities are allowed to resume in the affected area, the artifacts shall be recovered and features recorded using professional archaeological methods. The Project Archaeologist shall determine the amount of material to be recovered for an adequate artifact sample for analysis.

(10) In the event that previously unidentified cultural resources are discovered, all cultural material collected during the grading monitoring program shall be processed and curated at a Riverside County facility that meets federal standards per 36 CFR Part 79, and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid.

(11) Upon completion of the implementation phase, a final Phase IV Monitoring Report shall be submitted describing the plan compliance procedures and site conditions before and after construction. The final report shall include copies of all daily monitoring notes and Cultural Resource Sensitivity sign-in sheet(s).

TRANS DEPARTMENT

60.TRANS. 1 MAP - SUBMIT GRADING PLAN

RECOMMND

When you submit a grading plan to the Department of Building and Safety, two sets of the grading plan (24" X 36") shall be submitted to the Transportation Department for review and subsequently for the required clearance of the condition of approval prior to the issuance of a grading permit.

Please note, if improvements within the road right-of-way

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 1 MAP - SUBMIT GRADING PLAN (cont.) RECOMMND

are required per the conditions of approval, the grading clearance may be dependent on the submittal of street improvement plans, the opening of an IP account, and payment of the processing fee.

Otherwise, please submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA

Standard plan check turnaround time is 10 working days.

60.TRANS. 2 MAP - FINAL WQMP FOR GRADING RECOMMND

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. R8-2013-0024 to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. The project is located in the Santa Ana watershed. For any questions, please contact (951) 712-5494.

Refer to 50.TRANS condition of approval titled, MAP - FINAL WQMP for specific items to address in the Final WQMP.

60.TRANS. 3 MAP - PHASING RECOMMND

If the tract is built in phases, each phase shall be protected from the 1 in 100 year tributary storm flows.

70. PRIOR TO GRADING FINAL INSPECT

PLANNING DEPARTMENT

70.PLANNING. 1 MAP*- AGENCY CLEARANCE RECOMMND

A clearance letter from ___ shall be provided to the Riverside County Planning Department verifying compliance with the conditions in their letter dated ___, summarized as follows:

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

70. PRIOR TO GRADING FINAL INSPECT

70.PLANNING. 2 MAP - PHASE IV CULTURAL REQ.

RECOMMND

PRIOR TO GRADING PERMIT FINAL: The developer/holder shall prompt the Project Cultural Resources Professional to submit one (1) wet-signed paper copy and (1) CD of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The report shall also include evidence of the required cultural/historical sensitivity training for the construction staff held during the required pre-grade meeting.

The Cultural Resource Professional shall also provide evidence to the satisfaction of the County Archaeologist that all archaeological materials recovered during the Phase IV Mitigation Monitoring of the project, have been curated at a Riverside County Curation facility that meets federal standards per 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collection and associated records shall be transferred, including title, and are to be accompanied by payment of the fees necessary for permanent curation. Evidence shall be in the form of a letter from the curation facility identifying that archaeological materials have been received and that all fees have been paid.

The County Archaeologist shall review the report to determine adequate mitigation compliance was met. Upon determining the report and mitigation is adequate, the County Archaeologist shall clear this condition.

70.PLANNING. 3 MAP - ARTIFACT DISPOSITION

RECOMMND

The landowner(s) shall relinquish ownership of all cultural resources, (with the exception of sacred items, burial goods, and Human Remains) including all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. This shall include any and all artifacts collected during any previous archaeological investigations. The applicant shall relinquish the artifacts through one or more of the following methods and provide the Riverside County Archaeologist with evidence of same.

a. A fully executed reburial agreement with the appropriate culturally affiliated Native American tribe or

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

70. PRIOR TO GRADING FINAL INSPECT

70.PLANNING. 3 MAP - ARTIFACT DISPOSITION (cont.)

RECOMMND

band. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing, analysis and special studies have been completed on the cultural resources and have been approved by the Riverside County Archaeologist.

b. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards pursuant to 36 CFR Part 79 and therefore would be professionally curated and made available to other archaeologists/researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation.

c. If more than one Native American Group is involved with the project and cannot come to an agreement between themselves as to the disposition of cultural resources, the landowner(s) shall proceed with the cultural resources being curated at the Western Science Center.

Note: Should reburial of collected cultural resources be preferred, it shall not occur until after the Phase IV monitoring report has been submitted to and approved by the Riverside County Archaeologist. The developer/permit applicant is responsible for all costs associated with reburial and all costs associated with curation should that disposition method be employed. All methods of disposition shall be described in the Phase IV monitoring report.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL (cont.)

RECOMMND

complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - PERC TEST REQD

RECOMMND

An adequate/satisfactory detailed soils percolation testing conducted in accordance with the procedures outlined in the Riverside County Department of Environmental Health Technical Guidance Manual for individual lots.

80.E HEALTH. 3 USE - SEPTIC PLANS

RECOMMND

A set of three detailed plan drawn to scale (1"=20') showing the proposed subsurface sewage disposal system and floor plan/plumbing schedule to ensure proper septic tank sizing is required to be submitted to the Department of Environmental Health.

08/08/17
14:37

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 57

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.E HEALTH. 4 USE - WATER WILL SERVE RECOMMND

A "will-serve" letter from the appropriate water company/district shall be submitted to the Department of Environmental Health along with plans to be submitted for the construction of the on-site wastewater treatment system.

EPD DEPARTMENT

80.EPD. 1 MAP - MBTA REPORT RECOMMND

Prior to the issuance of grading permits the biologist who carried out the MBTA surveys must submit a written report to EPD for review. At a minimum the report must include survey results and details and any mitigation measures that were employed to avoid take of any MBTA covered species.

FIRE DEPARTMENT

80.FIRE. 2 MAP-#50C-TRACT WATER VERIFICA RECOMMND

The required water system, including all fire hydrant(s), shall be installed and accepted by the appropriate water agency and the Riverside County Fire Department prior to any combustible building material placed on an individual lot. Contact the Riverside County Fire Department to inspect the required fire flow, street signs, all weather surface, and all access and/or secondary.

Approved water plans must be a the job site.

80.FIRE. 3 MAP-RESIDENTIAL FIRE SPRINKLER RECOMMND

Residential fire sprinklers are required in all one and two family dwellings per the California Residential Code, California Building Code and the California Fire Code.

Contact the Riverside County Fire Department for the Residential Fire Sprinkler standard.

West County- Riverside Office 951-955-4777
East County- Palm Desert Office 760-863-8886

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 4 PC - FIRE SPRINKLER SYSTEM INEFFECT

Fire sprinkler systems are required in all new one and two family dwellings. Plans shall be submitted to the Fire Department for review and approval prior to building permit issuance.

West County - Riverside Office 951-955-4777
East County - Palm Desert Office 760-863-8886
Website - rvcfire.org

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 MAP ADP FEES RECOMMND

A portion of Tract Map 36963 is located within the limits of the Lake Mathews Area Drainage Plan for which drainage fees have been adopted.

Drainage fees shall be paid with cashier's check or money order only to the District at the time of the issuance of grading permits for the approved parcels or at the time of issuance of building permits if no grading permits are issued for the parcels and may be paid, at the option of the land owner, in pro rata amounts. The amount of the drainage fee required to be paid shall be the amount that is in effect for the particular Area Drainage Plan at the time of issuance of the grading permits or issuance of the building permits if grading permits are not issued.

PLANNING DEPARTMENT

80.PLANNING. 1 MAP - ROOF MOUNTED EQUIPMENT RECOMMND

Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with County Planning Department approval.

80.PLANNING. 2 MAP - UNDERGROUND UTILITIES RECOMMND

All utility extensions within a lot shall be placed underground.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 9 MAP - ACOUSTICAL STUDY DRAFT

The land divider/permit holder shall cause an acoustical study to be performed by an acoustical engineer to establish appropriate mitigation measures

that shall be applied to individual dwelling units within the subdivision to reduce the first and second story ambient interior and exterior levels to 45 Ldn and 65 Ldn, respectively. The study shall be submitted, along with the appropriate fee, to the County Environmental Health Department - Industrial Hygiene Division for review and approval. The approved mitigation measures, if any, shall be forwarded from the nvironmental Health Department to the County Department of Building and Safety and the County Planning Department for implementation into the final building plans.

80.PLANNING. 11 MAP- SCHOOL MITIGATION RECOMMND

Impacts to the Perris and Perris Union High school District shall be mitigated in accordance with California State law.

80.PLANNING. 12 MAP - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80.PLANNING. 18 MAP*- Walls/Fencing Plans DRAFT

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

A. The plan shall show all project fencing including, but not limited to, perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical frontal view of all fences shall be shown on the fencing plan.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 18

MAP*- Walls/Fencing Plans (cont.)

DRAFT

B. All utility service areas and enclosures shall be screened from view with landscaping or decorative barriers or baffle treatments, as approved by the Planning Department.

C. All wood fencing shall be treated with heavy oil stain to match the natural shade to prevent bleaching from irrigation spray.

D. Front yard return walls shall be constructed of masonry slump stone or material of similar appearance, maintenance, and structural durability) and shall be a minimum of five feet in height.

E. Side yard gates are required on one side of front yard, and shall be constructed of wrought iron, wood, vinyl or tubular steel. Side and rear yard fencing shall be masonry, slump stone or other material of similar appearance, maintenance, and structural durability. Chain link fencing is not permitted. All construction must be of good quality and sufficient durability with an approved stain and/or sealant to minimize water staining. (Applicants shall provide specifications that shall be approved by the Planning Department).

F. All new residences constructed on lots of less than 20,000 square feet shall include rear and side yard fencing constructed of masonry block that is a minimum of five (5) feet in height. The maximum height of walls or fencing shall be six (6) feet in height. In the desert areas, block walls are discouraged on the perimeter in favor of increased setbacks with extensive drought tolerant landscaping, berms and fencing such as split rails.

G. xcept for the desert areas, all lots having rear and/or side yards facing local streets or otherwise open to public view shall have fences or walls constructed of decorative block,

H. Corner lots shall be constructed with wrap-around decorative block wall returns. (Note: exceptions for the desert area discussed above.)

I. Side yard gates are required on one side of the home and shall be constructed of powder-coated wrought iron or

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 18 MAP*- Walls/Fencing Plans (cont.) (cont.) DRAFT

tubular steel.

J. Wrought iron or tubular steel fence sections may be included within tracts where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

TRANS DEPARTMENT

80.TRANS. 1 MAP - IMPLEMENT WQMP RECOMMND

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

80.TRANS. 2 MAP - ESTABL WQMP MAINT ENTITY RECOMMND

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permit. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, and cleaned no later than October 15 each year.

80.TRANS. 3 MAP - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Transportation IP# Application to the Transportation Department, Landscape Section for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. At minimum, plans shall include the following components:

- 1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2) Weather-based controllers and necessary components to eliminate water waste;

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 3

MAP - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

- 3) A copy of the "stamped" approved grading plans; and,
- 4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;
- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;
- 6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE: When the Landscaping Plot Plan is located within a special district such as CSA/LMD/CFD, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Transportation Department, Landscape Section that the subject district has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The Transportation Department, Landscape Section shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Transportation Department, Landscape Section shall clear this condition.

80.TRANS. 4

MAP - LC LANDSCAPE SECURITY

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Transportation Department, Landscape Section. Once the department has approved the estimate, the developer/permit

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 MAP - LC LANDSCAPE SECURITY (cont.) RECOMMND

holder shall be provided a requisite form. The required forms shall be completed and returned to the department for processing and review in conjunction with County Counsel. Upon determination of compliance, the Transportation Department, Landscape Section shall clear this condition.

NOTE: A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One-Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.TRANS. 5 MAP - LC LNDSCPNG PROJ SPECIFI RECOMMND

In addition to the requirements of the Landscape and Irrigation Plan submittal, the following project specific conditions shall be imposed:

- a. County Maintained areas shall be irrigated and planted.
- b. Trees within basin lots shall be planted at the top of the slope or further than shown on LCP.
- c. County maintained areas shall have a water budget of 0.045 ETo and use County standard details.

WASTE DEPARTMENT

80.WASTE. 1 MAP - WASTE RECYCLE PLAN (WRP) RECOMMND

Prior to building permit issuance, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.WASTE. 1 MAP - WASTE RECYCLE PLAN (WRP) (cont.) RECOMMND

Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 MAP - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 MAP - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 MAP - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 MAP - WQMP BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 4 MAP - WQMP BMP REGISTRATION (cont.) RECOMMND

owns or operates a facility conditioned to install WQMP treatment control BMPs shall register such facility for annual inspections.

90.BS GRADE. 5 MAP - REQ'D GRDG INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Precise grade inspection.

a.Precise Grade Inspection can include but is not limited to the following:

1.Installation of slope planting and permanent irrigation on required slopes.

2.Completion of drainage swales, berms and required drainage away from foundation.

b.Inspection of completed onsite drainage facilities

c.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 7 MAP - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for all lots included in the grading permit from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

3.Submitting a "Wet Signed" copy of the Certification

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 7 MAP - PRECISE GRDG APPROVAL (cont.) RECOMMND

certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

4.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

90.BS GRADE. 8 MAP - WQMP ANNUAL INSP FEE RECOMMND

Prior to final building inspection, the applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

PLANNING DEPARTMENT

90.PLANNING. 3 MAP*- QUIMBY FEES (2) RECOMMND

If a district, agency or other authority is created to collect Quimby Fees applicable to the project's area, the land divider/permit holder shall present certification to the Riverside County Planning Department that payment of parks and recreation fees and/or dedication of land for park use in accordance with Section 10.35 of County Ordinance No. 460 has taken place. If no such authority is in effect at map recordation, this condition shall not apply.

90.PLANNING. 4 MAP - CONCRETE DRIVEWAYS DRAFT

The land divider/permit holder shall cause all driveways to be constructed of cement concrete.

90.PLANNING. 5 MAP - FENCING COMPLIANCE RECOMMND

Fencing shall be provided throughout the subdivision in accordance with the approved final site development plans.

08/08/17
14:37

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 67

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 9 MAP*- AGENCY CLEARANCE RECOMMND

A clearance letter from ___ shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated ___, summarized as follows:

90.PLANNING. 10 MAP*- SKR FEE CONDITION RECOMMND

rior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the land divider/permit holder shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be ___ acres (gross) in accordance with TENTATIVE MAP. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 12 MAP- ROLL-UP GARAGE DOORS RECOMMND

All residences shall have automatic roll-up garage doors.

TRANS DEPARTMENT

90.TRANS. 1 MAP - WRCOG TUMF RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 2 MAP - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 3 MAP - WQMP COMPLETION RECOMMND

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are established.

90.TRANS. 4 MAP - WQMP REGISTRATION RECOMMND

Prior to Building Final Inspection, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

90.TRANS. 5 MAP - FACILITY COMPLETION RECOMMND

The Transportation Department will not release occupancy permits for any residential lot within the map or phase within the map prior to the Transportation Department's acceptance of the drainage system for operation and maintenance.

90.TRANS. 6 MAP - LC LNDSCP INSPECT DEPOSI RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One-Year Post-Establishment landscape inspections. The deposit required for landscape inspections shall be determined by the Transportation Department, Landscape Section. The Transportation Department, Landscape Section shall clear this condition upon determination of compliance.

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 7

MAP - LNDSCP INSPECTION RQMT

RECOMMND

The permit holder's landscape architect is responsible for preparing the Landscaping and Irrigation plans (or on-site representative), and shall arrange for a PRE-INSTALLATION INSPECTION with the Transportation Department, Landscape Section at least five (5) working days prior to the installation of any landscape or irrigation component.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five (5) working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Transportation Department 80,TRANS. _____ condition of approval entitled "USE-LANDSCAPING SECURITY" and the 90.TRANS. _____ condition of approval entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the Transportation Department landscape inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Transportation Department, Landscape Section. The Transportation Department, Landscape Section shall clear this condition upon determination of compliance.

90.TRANS. 8

MAP - LC COMPLY W/LNDSCP/IRR

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Transportation Department landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Transportation Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Transportation Department landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Transportation Department, Landscape Section shall clear this condition.

08/08/17
14:37

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 70

TRACT MAP Tract #: TR36963

Parcel: 289-250-008

90. PRIOR TO BLDG FINAL INSPECTION

WASTE DEPARTMENT

90.WASTE. 1

MAP - WASTE REPORTING FORM

RECOMMND

Prior to building final inspection, evidence (i.e., receipts or other types of verification) to demonstrate project compliance with the approved Waste Reporting Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

LAND DEVELOPMENT COMMITTEE (LDC)
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: April 13, 2016

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Fire Dept.
Riv. Co. Flood Dept.
Riv. Co. Environmental Programs Division
Riv. Co. Building & Safety-Grading
Riv. Co. Building & Safety- Plan Check

Riv. Co. Regional Parks & Open Space
Riv. Co. Geology
Riv. Co. Archaeology Section
Riv. Co. Surveyor
Riv. Co. Waste Resources Management
Riv. Co. Airport Land Use Commission
Western Municipal Water District

Southern California Gas Company
Southern California Edison Company
South Coast Air Quality Management
1st District Supervisor
1st District Planning Commissioner

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriquez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)- **REQUEST: Change of Zone No. 7905** proposes to modify zoning classification R-A-2 ½ to R-A-2, **Tentative Tract Map No. 36963** proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

LDC staff members and other listed Riverside County Agencies, Departments and Districts staff:

A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated LDC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled as an **LDC Meeting Item on May 5, 2016**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

Other listed entities/individuals:

Please note that the Planning Department has gone paperless and is no longer providing physical copies of the submitted map(s) and/or exhibit(s) for review. However we still want your comments. Please go the Department's webpage at: <http://planning.rctlma.org/DevelopmentProcess/LDCAgendas/2016LDCAgendas.aspx>

Open the LDC agenda for the above reference date, and scroll down to view the applicable map(s) and/or exhibit(s). Please provide any comments, questions and recommendations to the Planning Department on or before the above referenced date.

Should you have any questions regarding this project, please do not hesitate to contact **Deborah Bradford, (951) 955-6646, Contract Planner**, or e-mail at DBradfor@rctlma.org/ MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

COMMENTS:

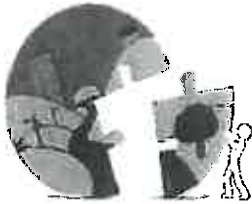
DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

TK 36965



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

April 13, 2016

Cahuilla Band of Indians
Andreas J. Heredia
52701 Highway 371
Anza, CA 92539

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36963, CZ07905)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to hthomson@rctlma.org or by contacting me at (951) 955-2873.

Project Description:

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)-

REQUEST: Change of Zone No. 7905 proposes to modify zoning classification R-A-2 ½ to R-A-2, Tentative Tract Map No. 36963 proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

Sincerely,

PLANNING DEPARTMENT

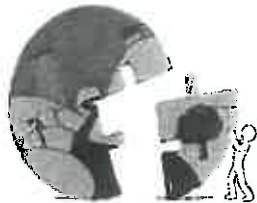
Heather Thomson, Archaeologist

email cc: Deborah Bradford, DBradfor@rctlma.org

Attachment: Project Vicinity Map

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

April 13, 2016

Joseph Ontiveros
Cultural Resource Director
Soboba Band of Luiseño Indians
P.O. BOX 487
San Jacinto, Ca 92581

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36963, CZ07905)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to hthomson@rctlma.org or by contacting me at (951) 955-2873.

Project Description:

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)-

REQUEST: Change of Zone No. 7905 proposes to modify zoning classification R-A-2 ½ to R-A-2, Tentative Tract Map No. 36963 proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

Sincerely,

PLANNING DEPARTMENT

A handwritten signature in black ink, appearing to read 'Heather Thomson', is written over the typed name.

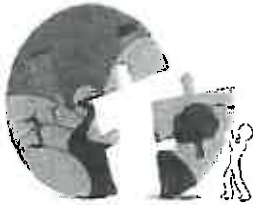
Heather Thomson, Archaeologist

email cc: Deborah Bradford, DBradfor@rctlma.org

Attachment: Project Vicinity Map

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

April 13, 2016

Pechanga Cultural Resources Department
Anna Hoover, Cultural Analyst
P.O. Box 2183
Temecula, CA 92593

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36963, CZ07905)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to hthomson@rctlma.org or by contacting me at (951) 955-2873.

Project Description:

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)-

REQUEST: Change of Zone No. 7905 proposes to modify zoning classification R-A-2 ½ to R-A-2, Tentative Tract Map No. 36963 proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

Sincerely,

PLANNING DEPARTMENT

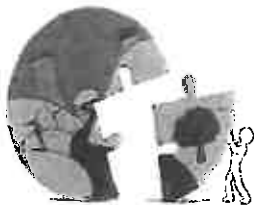
A handwritten signature in black ink, appearing to read 'Heather Thomson', written over a horizontal line.

Heather Thomson, Archaeologist

email cc: Deborah Bradford, DBradfor@rctlma.org
Attachment: Project Vicinity Map

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Steve Weiss, AICP
Planning Director*

April 13, 2016

Gabrieleno Band of Mission Indians – Kizh Nation
Andrew Salas, Chairman
P.O. Box 393
Covina, CA 91723

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36963, CZ07905)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to hthomson@rctlma.org or by contacting me at (951) 955-2873.

Project Description:

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)-

REQUEST: Change of Zone No. 7905 proposes to modify zoning classification R-A-2 ½ to R-A-2, Tentative Tract Map No. 36963 proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

Sincerely,

PLANNING DEPARTMENT

A handwritten signature in black ink, appearing to read 'Heather Thomson', written over the printed name.

Heather Thomson, Archaeologist

email cc: Deborah Bradford, DBradfor@rctlma.org
Attachment: Project Vicinity Map

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

April 13, 2016

Colorado River Indian Tribes
Attn: Amanda Barrera
26600 Mojave Road
Parker, Arizona 85344

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36963, CZ07905)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to hthomson@rctlma.org or by contacting me at (951) 955-2873.

Project Description:

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)-

REQUEST: Change of Zone No. 7905 proposes to modify zoning classification R-A-2 ½ to R-A-2, Tentative Tract Map No. 36963 proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

Sincerely,

PLANNING DEPARTMENT

A handwritten signature in black ink, appearing to read "Heather Thomson", written over a horizontal line.

Heather Thomson, Archaeologist

email cc: Deborah Bradford, DBradfor@rctlma.org
Attachment: Project Vicinity Map

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

April 13, 2016

Morongo Cultural Heritage Program
Attn: Ray Haute
12700 Pumarra Rd.
Banning, CA 92220

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36963, C207905)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to hthomson@rctlma.org or by contacting me at (951) 955-2873.

Project Description:

CHANGE OF ZONE NO. 7905 / TENTATIVE TRACT MAP NO. 36963 – EA42887 – Applicant: Paulino Rodriquez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Gavilan Hills Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC:EDR) (2 acre lot minimum), Rural: Rural Residential (R:RR) (5 acre lot minimum) – Location: Northerly of Big Sky Circle, Southerly of El Mineral Road, Westerly of Spencer Butte Drive and Easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½)-

REQUEST: Change of Zone No. 7905 proposes to modify zoning classification R-A-2 ½ to R-A-2, Tentative Tract Map No. 36963 proposes to subdivide approximately 79 acres into 34 single family residential lots with a minimum of 2 acres gross, - Schedule C – APNs: 289-250-008 and 289-250-020 – Concurrent Cases: N/A - Related Cases: N/A - 1st Transmittal

Sincerely,

PLANNING DEPARTMENT

A handwritten signature in black ink, appearing to read 'Heather Thomson'.

Heather Thomson, Archaeologist

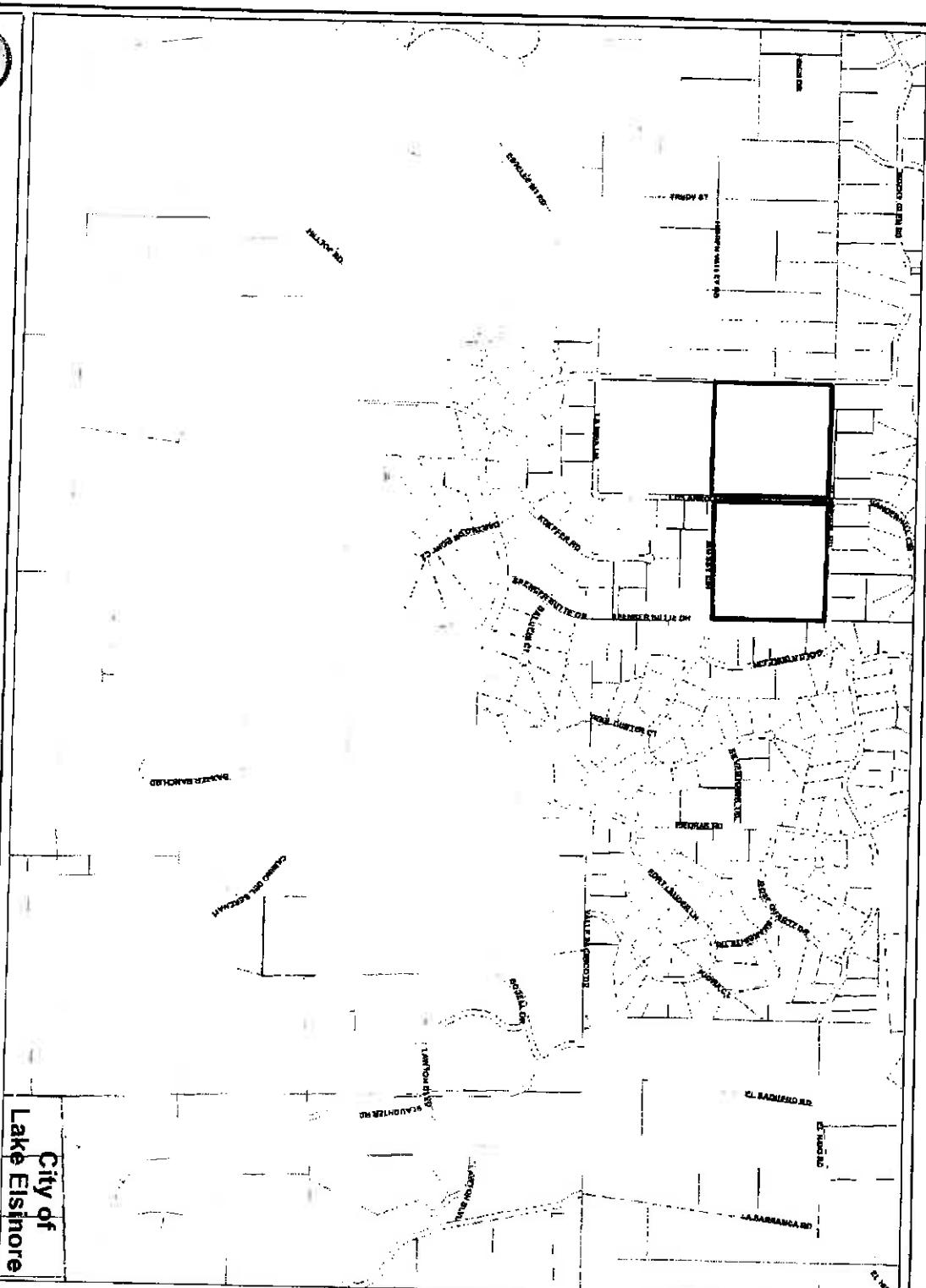
email cc: Deborah Bradford, DBradfor@rctlma.org

Attachment: Project Vicinity Map

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040

TR36963



City of
Lake Elsinore



0 2,000 4,000 Feet



IMPORTANT: Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 4/13/2016 8:03:55 AM

© Riverside County TLM/A GIS



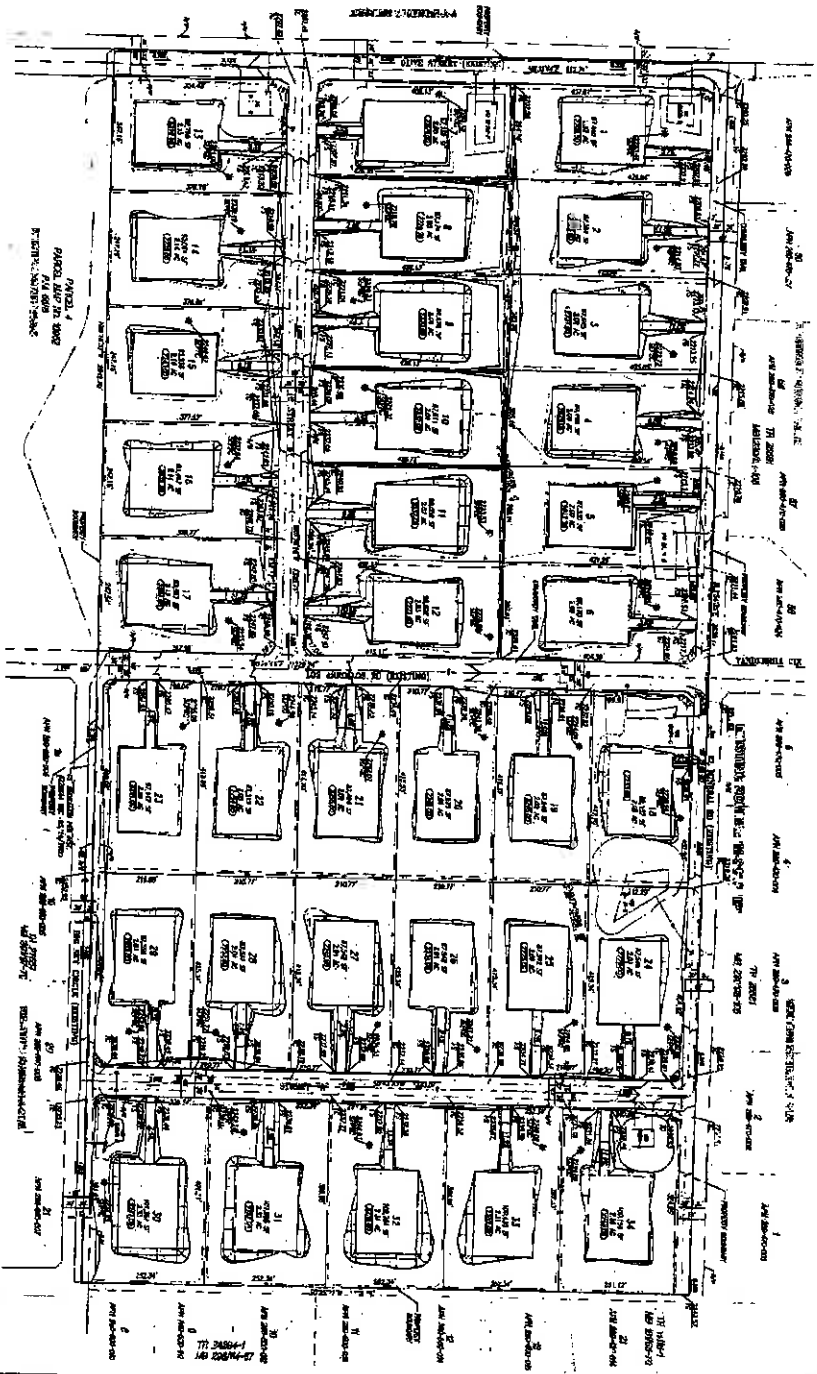
Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

Notes

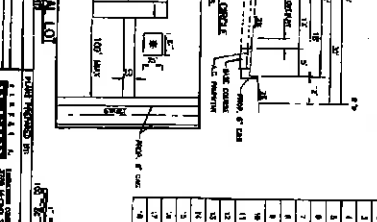
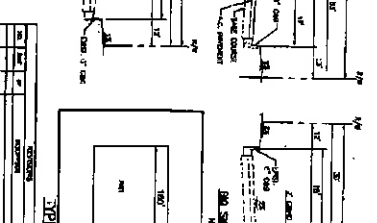
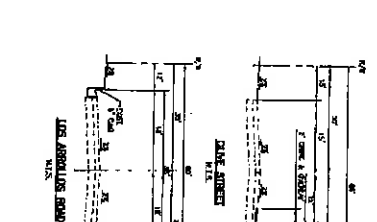
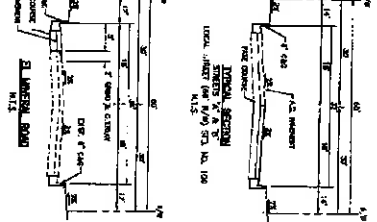
TENTATIVE TRACT MAP NO 36963

COUNTY OF RIVERSIDE, CALIFORNIA

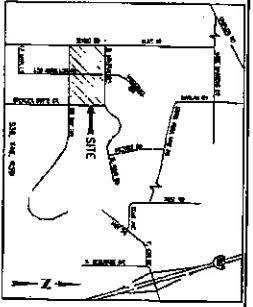


- GENERAL INFORMATION**
1. THIS TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 2. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 3. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 4. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 5. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 6. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 7. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 8. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 9. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.
 10. THE TRACT MAP NO. 36963, AS SHOWN ON THE ATTACHED MAP, IS A TENTATIVE TRACT MAP FOR THE SUBDIVISION OF LAND CONTAINING APPROXIMATELY 10.00 ACRES, MORE OR LESS, INTO 30 LOTS, EACH OF APPROXIMATELY 0.33 ACRES, MORE OR LESS, FOR RESIDENTIAL PURPOSES.

- LEGEND & ABERRATIONS**
1. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
2. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
3. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
4. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
5. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
6. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
7. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
8. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
9. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
10. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
11. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
12. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
13. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
14. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
15. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
16. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
17. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
18. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
19. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
20. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
21. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
22. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
23. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
24. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
25. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
26. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
27. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
28. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
29. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.
30. LOT AREA: AREA OF EACH LOT AS SHOWN ON THE TRACT MAP.



Parcel No.	Area (Ac.)	Area (Sq. Ft.)	Area (Sq. Ft.)	Area (Sq. Ft.)	Area (Sq. Ft.)
1	0.33	4,500	4,500	4,500	4,500
2	0.33	4,500	4,500	4,500	4,500
3	0.33	4,500	4,500	4,500	4,500
4	0.33	4,500	4,500	4,500	4,500
5	0.33	4,500	4,500	4,500	4,500
6	0.33	4,500	4,500	4,500	4,500
7	0.33	4,500	4,500	4,500	4,500
8	0.33	4,500	4,500	4,500	4,500
9	0.33	4,500	4,500	4,500	4,500
10	0.33	4,500	4,500	4,500	4,500
11	0.33	4,500	4,500	4,500	4,500
12	0.33	4,500	4,500	4,500	4,500
13	0.33	4,500	4,500	4,500	4,500
14	0.33	4,500	4,500	4,500	4,500
15	0.33	4,500	4,500	4,500	4,500
16	0.33	4,500	4,500	4,500	4,500
17	0.33	4,500	4,500	4,500	4,500
18	0.33	4,500	4,500	4,500	4,500
19	0.33	4,500	4,500	4,500	4,500
20	0.33	4,500	4,500	4,500	4,500
21	0.33	4,500	4,500	4,500	4,500
22	0.33	4,500	4,500	4,500	4,500
23	0.33	4,500	4,500	4,500	4,500
24	0.33	4,500	4,500	4,500	4,500
25	0.33	4,500	4,500	4,500	4,500
26	0.33	4,500	4,500	4,500	4,500
27	0.33	4,500	4,500	4,500	4,500
28	0.33	4,500	4,500	4,500	4,500
29	0.33	4,500	4,500	4,500	4,500
30	0.33	4,500	4,500	4,500	4,500



OWNER/ARCHITECT: [Name]

DATE: 12/12/2016

COUNTY OF RIVERSIDE

TENTATIVE TRACT MAP NO 36963

SCHEDULE 'C'

AB52 CONSULTATION TRACKER

Case: TR36963, CZ07905

Planner: Deborah

Cahuilla	
Notification sent:	<u>4/13/2016</u>
Notification received:	<u> </u>
Tribal response:	<u> </u> <u> </u> <u> </u> <u> </u>
	Meeting dates: <u> </u> <u> </u> <u> </u> <u> </u>
<i>Conclusion date:</i> <u> </u>	

PECHANGA	
Notification sent:	<u>4/13/2016</u>
Notification received:	<u> </u>
Tribal response:	<u> </u> <u> </u> <u> </u> <u> </u>
	Meeting dates: <u> </u> <u> </u> <u> </u> <u> </u>
<i>Conclusion date:</i> <u> </u>	

CRIT	
Notification sent:	<u>4/13/2016</u>
Notification received:	<u> </u>
Tribal response:	<u> </u> <u> </u> <u> </u> <u> </u>
	Meeting dates: <u> </u> <u> </u> <u> </u> <u> </u>
<i>Conclusion date:</i> <u> </u>	



PECHANGA CULTURAL RESOURCES
Temecula Band of Luiseño Mission Indians

Post Office, Box 2183 • Temecula, CA 92593
Telephone (951) 308-9295 • Fax (951) 506-9491

May 4, 2016

Chairperson:
Neal Ibanez

Vice Chairperson:
Bridgett Barcello

Committee Members:
Mary Bear Magee
Evie Gerber
Darlene Miranda
Richard B. Scearce, III
Michael Vasquez

Director:
Gary DuBois

Coordinator:
Paul Macarro

Planning Specialist:
Tuba Ebru Ozdil

Cultural Analyst:
Anna Hoover

VIA E-MAIL and USPS

Heather Thomson
County Archaeologist
Riverside County
Planning Department
P.O. Box 1409
Riverside, CA 92502-1409

Re: Pechanga Tribe Request for Consultation Pursuant to AB 52 for the TR 36963, CZ 7905

Dear Ms. Thomson;

This letter is written on behalf of the Pechanga Band of Luiseño Indians (hereinafter, “the Tribe” and/or “Payómkawichum”), a federally recognized Indian tribe and sovereign government in response to the AB 52 notice provided by the County of Riverside dated April 13, 2016 and received in our office April 18, 2016

This letter serves as the Tribe’s formal request to begin consultation under AB 52 for this Project. Per AB 52, we intend to assist the County in determining the type of environmental document that should be prepared for this Project (i.e. EIR, MND, ND); with identifying potential tribal cultural resources (TCRs); determining whether potential substantial adverse effects will occur to them; and to develop appropriate preservation, avoidance and/or mitigation measures, as appropriate. Preferred TCR mitigation is always avoidance and the Tribe requests that all efforts to preserve sensitive TCRs be made as early in the development process as possible.

Please add the Tribe to your distribution list(s) for public notices and circulation of all documents, including environmental review documents, archaeological reports, development plans, conceptual grading plans (if available), and all other applicable documents pertaining to this Project. The Tribe further requests to be directly notified of all public hearings and scheduled approvals concerning this Project, and that these comments be incorporated into the record of approval for this Project.

Pechanga Comment Letter to the County of Riverside
Re: Pechanga Tribe Request: AB 52 RE TR 36963, CZ 7905
May 4, 2016
Page 2

The Pechanga Tribe asserts that the Project area is part of Payómkawichum (Luiseño), and therefore the Tribe's, aboriginal territory as evidenced by the existence of Payómkawichum cultural resources, named places, *tóota yixélval* (rock art, pictographs, petroglyphs), and an extensive Payómkawichum artifact record in the vicinity of the Project. This culturally sensitive area is affiliated with the Pechanga Band of Luiseño Indians because of the Tribe's cultural ties to this area as well as our extensive history with the County and other projects within the area. During our consultation we will provide more specific, confidential information on potential TCRs that may be impacted by the proposed Project.

As you know, the AB 52 consultation process is ongoing and continues until appropriate mitigation has been agreed upon for the TCRs that may be impacted by the Project. As such, under both AB 52 and CEQA, we look forward to working closely with the County on ensuring that a full, comprehensive environmental review of the Project's impacts is completed, including addressing the culturally appropriate and respectful treatment of human remains and inadvertent discoveries.

In addition to those rights granted to the Tribe under AB 52, the Tribe reserves the right to fully participate in the environmental review process, as well as to provide further comment on the Project's impacts to cultural resources and potential mitigation for such impacts.

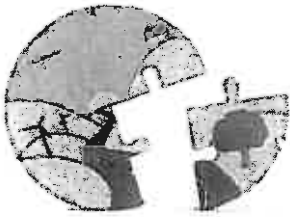
The Pechanga Tribe looks forward to working together with the County of Riverside in protecting the invaluable Pechanga cultural resources found in the Project area. The formal contact person for this Project will be Anna Hoover. Please contact her at 951-770-8104 or at ahoover@pechanga-nsn.gov within 30 days of receiving these comments so that we can begin the consultation process. Thank you.

Sincerely,



Anna Hoover
Cultural Analyst

Cc Pechanga Office of the General Counsel



Updated Application

RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- TRACT MAP MINOR CHANGE VESTING MAP
 REVISED MAP REVERSION TO ACREAGE EXPIRED RECORDABLE MAP
 PARCEL MAP AMENDMENT TO FINAL MAP

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: MAP 36963 DATE SUBMITTED: _____

APPLICATION INFORMATION

Applicant's Name: Paulino Rodriguez E-Mail: Paulinorod@yahoo.com

Mailing Address: 4747 El Segundo Boulevard
 Hawthorne California 90250
 City State ZIP

Daytime Phone No: (310) 679-6253 Fax No: (951) 788-1256

 Albert A. Webb Associates
Engineer/Representative's Name: c/o Danielle Logsdon E-Mail: danielle.logsdon@webbassociates.com

Mailing Address: 3788 McCray Street
 Riverside California 92506
 City State ZIP

Daytime Phone No: (951) 686-1070 Fax No: (951) 788-1256

 See Attached Owner
Property Owner's Name: Information Sheet E-Mail: _____

Mailing Address: _____
 Street
 City State ZIP

Daytime Phone No: (_____) _____ Fax No: (_____) _____

If additional persons have an ownership interest in the subject property in addition to that indicated above, attach a separate sheet that references the application case number and lists the names, mailing

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040



APPLICATION FOR SUBDIVISION AND DEVELOPMENT

addresses, and phone numbers of those persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be **NO** refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Paulino Rodriguez

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

See Attached Owner Information Sheet

JOSE J. RAMIREZ
PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

ELISA C. RAMIREZ
PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property

See attached sheet(s) for other property owner's signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 289-250-008, 289-250-020

Section: 36 Township: 4S Range: 5W

Approximate Gross Acreage: 79.67 Acres

Owner Information:

Property Owner's Name: Jose J. Ramirez and Eliza Ramirez, Trustees of the Ramirez Revocable Trust dated October 21, 2014, as to an undivided 50% interest.

E-mail: PAULINOROD@YAHOO.COM

Mailing Address: 4777 W 137th Place unit A, Hawthorne, CA 90250

Daytime Phone Number: (916) 459-7449 **Fax Number:** ()

Jose J. Ramirez
Printed Name

Jose J. Ramirez
Signature

Elisa C. Ramirez
Printed Name

Elisa C. Ramirez
Signature

Property Owner's Name: Paulino Rodriguez and Mercedes Rodriguez, Husband and Wife, as joint Tenants, as to an undivided 50% interest.

E-mail: paulinorod@yahoo.com

Mailing Address: 4747 West El Segundo Blvd., Hawthorne, CA 90250

Daytime Phone Number: (310) 679-6253 **Fax Number:** (310) 676 4821
310-922 6854

Paulino Rodriguez
Printed Name

Paulino Rodriguez
Signature

Mercedes Rodriguez
Printed Name

Mercedes Rodriguez
Signature

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

General location (cross streets, etc.): North of Big Sky Circle, South of El Mineral Road, East of Olive Street, West of Gold Strike Circle.

Thomas Brothers map, edition year, page number, and coordinates: Pg. 806, A4, & B4 38th ed. 2010

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, whether the project is a Vesting Map or Planned Residential Development (PRD):

Schedule C subdivision of 79.67 gross acres into 31 Single Family Residential lots with on-site sewage disposal and 3 lettered lots for Water Quality Basins. The site is currently zoned R-A-2 1/2 and General Planned for Estate Density Residential (RC-EDR).

The Project will include a change of zone to R-A-2.

Related cases filed in conjunction with this request:

CZ # _____

GEO # _____

Is there a previous development application filed on the same site: Yes No

If yes, provide Case No(s). TR29206, TR24284, CFG01656 (Parcel Map, Zone Change, etc.)

EA No. (if known) EA37933 EIR No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: Geological

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (distance in feet/miles) _____

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (distance in feet/miles) no facilities in project area.

Will the proposal eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 136,093 CY Raw Cut

Estimated amount of fill = cubic yards 98,675 CY Raw Fill

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

Does the project need to import or export dirt? Yes No

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export?

What is the anticipated route of travel for transport of the soil material?

How many anticipated truckloads? _____ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 0 sq. ft.

If this is a residential subdivision, is it located in a Recreation and Park District or County Service Area authorized to collect fees for park and recreational services? Yes No

If yes, does the subdivision intend to dedicate land or pay Quimby fees, or a combination of both?

Dedicate land Pay Quimby fees Combination of both

Is the subdivision located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Does the subdivision exceed more than one acre in area? Yes No

Is the development project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

Santa Ana River Santa Margarita River Whitewater River

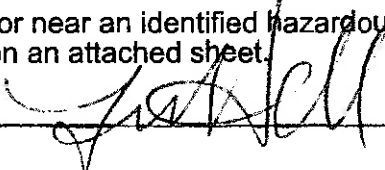
APPLICATION FOR SUBDIVISION AND DEVELOPMENT

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

- The project is not located on or near an identified hazardous waste site.
- The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1)  Date 2/29/2016
Owner/Representative (2) _____ Date _____

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Santa Ana River Region

Project File No.	
Project Name:	
Project Location:	
Project Description:	

Proposed Project Consists of, or includes:	YES	NO
Significant Redevelopment: The addition or replacement of 5,000 square feet or more of impervious surface on an already developed site. Does not include routine maintenance activities that are conducted to maintain original line and grade, hydraulic capacity, original purpose of the constructed facility or emergency redevelopment activity required to protect public health and safety.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Residential development that create 10,000 square feet or more of impervious surface (collectively over the entire project site), including residential housing subdivision requiring a Final Map (i.e. detached single family home subdivisions, multi-family attached subdivisions, condominiums, or apartments, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
New Industrial and commercial development where the land area ¹ represented by the proposed map or permit is 10,000 square feet or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Mixed use developments that create 10,000 square feet or more of impervious surface (collectively over the entire project site).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Automotive repair shops (Standard Industrial Classification (SIC) codes ² 5013, 5014, 5541, 7532, 7533, 7534, 7536, 7537, 7538, 7539).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Restaurants (SIC code 5812) where the land area of development is 5,000 square feet or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hillside developments disturbing 5,000 square feet or more which are located on areas with known erosive soil conditions or where natural slope is 25 percent or more.	<input type="checkbox"/>	<input type="checkbox"/>
Developments of 2,500 square feet of impervious surface or more adjacent to (within 200 feet) or discharging directly into ESA's. "Directly" means situated within 200 feet of the ESA; "discharging directly" means outflow from a drainage conveyance system that is composed entirely of flows from the subject development or redevelopment site, and not commingled with flows from adjacent lands.	<input type="checkbox"/>	<input type="checkbox"/>
Parking lots of 5,000 square feet or more exposed to stormwater, where "parking lot" is defined as a land area or facility for the temporary storage of motor vehicles.	<input type="checkbox"/>	<input type="checkbox"/>
Retail Gasoline Outlets that are either 5,000 square feet or more of impervious surface with a projected average daily traffic of 100 or more vehicles per day.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Projects, other than Transportation Projects, that are implemented by a permittee and similar in nature to the priority projects described above and meets the thresholds described herein.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Development Projects whose site conditions or activity pose the potential for significant adverse impacts to water quality.	<input type="checkbox"/>	<input type="checkbox"/>

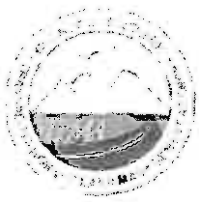
¹Land area is based on acreage disturbed

²Descriptions of SIC codes can be found at <http://www.osha.gov/pls/imis/sicsearch.html>.

DETERMINATION: Circle appropriate determination.

If **any** question answered "YES" Project requires a project-specific WQMP.

If **all** questions answered "NO" Project requires incorporation of Site Design and source control BMPs imposed through Conditions of Approval or permit conditions.



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**



Juan C. Perez
Director of Transportation and Land Management Agency

Carolyn Syms Luna
Director,
Planning Department

Patricia Romo
Assistant Director,
Transportation Department

Mike Lara
Building Official,
Building & Safety Department

Greg Flannery
Interim Code Enforcement Official,
Code Enforcement Department

LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and Paulino Rodriguez hereafter "Applicant" and See Attached Owner Information Sheet "Property Owner".

Description of application/permit use:

Tract Map for a planned residential development including Change of Zone which will subdivide the existing two parcel's into approximately 34 lots/34 residential units with on-site sewage disposal.

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 289-250-008, 289-250-020

Property Location or Address:

SEC of El Mineral Rd. & Olive St./SEC of El Mineral Rd. & Los Arrollos Rd.

2. PROPERTY OWNER INFORMATION:

See Attached Owner Information Sheet
 Property Owner Name: _____ Phone No.: _____

Firm Name: _____ Email: _____

Address: _____

3. APPLICANT INFORMATION:

Applicant Name: Paulino Rodriguez Phone No.: 310-679-6253

Firm Name: _____ Email: PaulinoRod@yahoo.com

Address (if different from property owner)
4747 West El Segundo Blvd.
Hawthorne, CA 90250

4. SIGNATURES:

Signature of Applicant: _____ Date: _____

Print Name and Title: Paulino Rodriguez

See Attached Owner Information Sheet
 Signature of Property Owner: Sheet Date: _____

Print Name and Title: _____

Signature of the County of Riverside, by _____ Date: _____

Print Name and Title: _____

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#: _____	
Set #: _____	Application Date: _____



Owner Information:

Property Owner's Name: Jose J. Ramirez and Eliza Ramirez, Trustees of the Ramirez Revocable Trust dated October 21, 2014, as to an undivided 50% interest.

E-mail: _____

Mailing Address: 4777 W 137th Place unit A, Hawthorne, CA 90250

Daytime Phone Number: (916) 459-7449 Fax Number: ()

Jose J. Ramirez
Printed Name

Jose J. Ramirez
Signature

Elisa C. Ramirez
Printed Name

Elisa C. Ramirez
Signature

Property Owner's Name: Paulino Rodriguez and Mercedes Rodriguez, Husband and Wife, as joint Tenants, as to an undivided 50% interest.

E-mail: paulinorod@yahoo.com

Mailing Address: 4747 West El Segundo Blvd., Hawthorne, CA 90250

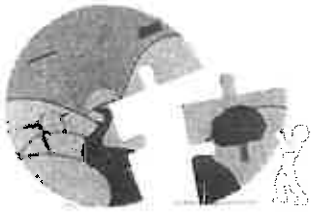
Daytime Phone Number: (310) 679-6253 Fax Number: (310) 626 4921

Paulino Rodriguez
Printed Name

Paulino Rodriguez
Signature

Mercedes Rodriguez
Printed Name

Mercedes Rodriguez
Signature



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR CHANGE OF ZONE

CHECK ONE AS APPROPRIATE:

Standard Change of Zone

There are three different situations where a Planning Review Only Change of Zone will be accepted:

- Type 1:** Used to legally define the boundaries of one or more Planning Areas within a Specific Plan.
- Type 2:** Used to establish or change a SP zoning ordinance text within a Specific Plan.
- Type 3:** Used when a Change of Zone application was conditioned for in a prior application.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: CZ 07905 DATE SUBMITTED: 3/30/16

APPLICATION INFORMATION

Applicant's Name: Paulino Rodriguez E-Mail: paulinorod@yahoo.com

Mailing Address: 4747 El Segundo Boulevard
Hawthorne California 90250
City State ZIP

Daytime Phone No: (310) 679-6253 Fax No: (951) 788-1256

Albert A. Webb Associates
Engineer/Representative's Name: c/o Danielle Logsdon E-Mail: danielle.logsdon@webbassociates.com

Mailing Address: 3788 McCray Street
Riverside California 92506
City State ZIP

Daytime Phone No: (951) 686-1070 Fax No: (951) 788-1256

Property Owner's Name: See Attached Owner Information E-Mail: _____

Mailing Address: _____
Street

City State ZIP

Daytime Phone No: (_____) _____ Fax No: (_____) _____

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR CHANGE OF ZONE

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

Paulino Rodriguez

PRINTED NAME OF APPLICANT

Paulino Rodriguez
SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

MERCEDES RODRIGUEZ

Mercedes Rodriguez

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

See Attached Owner information Sheet

PRINTED NAME OF PROPERTY OWNER(S)

ELISA C BARRINEE
PRINTED NAME OF PROPERTY OWNER(S)

Elisa C Barrinee
SIGNATURE OF PROPERTY OWNER(S)

Elisa C Barrinee
SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 289-250-020, 289-250-008

Section: 36 Township: 4S Range: 5W

Approximate Gross Acreage: 74

General location (nearby or cross streets): North of Big Sky Circle South of El Mineral Road East of Olive Street West of Gold Strike Circle

APPLICATION FOR CHANGE OF ZONE

Thomas Brothers map, edition year, page number, and coordinates: Page 806 Grid: A4

Proposal (describe the zone change, indicate the existing and proposed zoning classifications. If within a Specific Plan, indicate the affected Planning Areas):

Schedule C subdivision of 74 acre site into 34 Single Family Residential lots with on-site sewage disposal. The site is currently zoned R-A-2 1/2 and General Planned for Estate Density Residential (RC-EDR). The Project will include a change of zone to R-A-2. Adjacent Parcels to the east of the property are currently zoned R-A-2.

Related cases filed in conjunction with this request:

TTM # 36963, GEO # 02486, EA 42887



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**



Juan C. Perez
Director of Transportation and Land Management Agency

Carolyn Syms Luna
Director,
Planning Department

Patricia Romo
Assistant Director,
Transportation Department

Mike Lara
Building Official,
Building & Safety Department

Greg Flannery
Interim Code Enforcement Official,
Code Enforcement Department

LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and Paulino Rodriguez hereafter "Applicant" and See Attached Owner Information Sheet "Property Owner".

Description of application/permit use:

Tract Map for a planned residential development including Change of Zone which will subdivide the existing two parcel's into approximately 34 lots/34 residential units with on-site sewage disposal.

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 289-250-008, 289-250-020

Property Location or Address:

SEC of El Mineral Rd. & Olive St./SEC of El Mineral Rd. & Los Arrollos Rd.

2. PROPERTY OWNER INFORMATION:

Property Owner Name: See Attached Owner Information Sheet Phone No.: _____
 Firm Name: _____ Email: _____
 Address: _____

3. APPLICANT INFORMATION:

Applicant Name: Paulino Rodriguez Phone No.: 310-679-6253
 Firm Name: _____ Email: PaulinoRod@yahoo.com
 Address (if different from property owner)
4747 West El Segundo Blvd.
Hawthorne, CA 90250

4. SIGNATURES:

Signature of Applicant: _____ Date: _____
 Print Name and Title: Paulino Rodriguez

Signature of Property Owner: See Attached Owner Information Sheet Date: _____
 Print Name and Title: _____

Signature of the County of Riverside, by _____ Date: _____
 Print Name and Title: _____

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#:	_____
Set #:	_____
Application Date:	_____

Owner Information:

Property Owner's Name: Jose J. Ramirez and Eliza Ramirez, Trustees of the Ramirez Revocable Trust dated October 21, 2014, as to an undivided 50% interest.

E-mail: _____

Mailing Address: 4777 W 137th Place unit A, Hawthorne, CA 90250

Daytime Phone Number: (916) 459-7449 **Fax Number:** ()

Jose J. Ramirez
Printed Name


Signature

Elisa C. Ramirez
Printed Name


Signature

Property Owner's Name: Paulino Rodriguez and Mercedes Rodriguez, Husband and Wife, as joint Tenants, as to an undivided 50% interest.

E-mail: paulinorod@yahoo.com

Mailing Address: 4747 West El Segundo Blvd., Hawthorne, CA 90250

Daytime Phone Number: (310) 679-6253 **Fax Number:** (310) 626 4921

Paulino Rodriguez
Printed Name


Signature

Mercedes Rodriguez
Printed Name


Signature

INDEMNIFICATION AGREEMENT

This INDEMNIFICATION AGREEMENT ("Agreement"), made by and between the COUNTY OF RIVERSIDE, a political subdivision of the State of California ("COUNTY"), and Jose J. Ramirez and Elisa C. Ramirez, Trustees of the Ramirez Revocable Trust dated October 21, 2014; Paulino Rodriguez; and Mercedes Rodriguez ("PROPERTY OWNER"), relating to the PROPERTY OWNER'S indemnification of the COUNTY under the terms set forth herein:

WITNESSETH:

WHEREAS, the PROPERTY OWNER has a legal interest in the certain real property described as APN 289-250-008 and 289-250-020 ("PROPERTY"); and,

WHEREAS, on March 24, 2016, PROPERTY OWNER filed an application for Tentative Tract Map No. 36963 and on March 30, 2016, PROPERTY OWNER filed an application for Change of Zone No. 7905 ("PROJECT"); and,

WHEREAS, judicial challenges of projects requiring discretionary approvals, including, but not limited to, California Environmental Quality Act determinations, are costly and time consuming. Additionally, project opponents often seek an award of attorneys' fees in such challenges; and,

WHEREAS, since property owners are the primary beneficiaries of such approvals, it is appropriate that such owners bear the expense of defending against any such judicial challenge, and bear the responsibility of any costs, attorneys' fees and damages which may be awarded to a successful challenger; and,

WHEREAS, in the event a judicial challenge is commenced against the PROJECT, the COUNTY has requested and the PROPERTY OWNER has agreed to defend, indemnify and hold harmless the COUNTY, its agents, officers, or employees from any claim, action or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void or annul any approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PROJECT or its associated environmental documentation ("LITIGATION"); and,

WHEREAS, this Agreement is entered into by the COUNTY and PROPERTY OWNER to establish specific terms concerning PROPERTY OWNER'S indemnification obligation for the PROJECT.

NOW, THEREFORE, it is mutually agreed between COUNTY and PROPERTY OWNER as follows:

1. **Indemnification.** PROPERTY OWNER, at its own expense, shall defend, indemnify and hold harmless the COUNTY, its agents, officers, and employees from and against any claim, action or proceeding brought against the COUNTY, its agents, officers, and employees to attack, set aside, void or annul any approval of the PROJECT including any associated costs, damages, and expenses including, but not limited to, costs associated with Public Records Act requests submitted to the COUNTY related to the PROJECT and an award of attorneys' fees and costs incurred or arising out of the above-referenced claim, action or proceeding brought against the COUNTY ("Indemnification Obligation.")

2. **Defense Cooperation.** PROPERTY OWNER and the COUNTY shall reasonably cooperate in all aspects of the LITIGATION. Nothing contained in this Agreement, however, shall be construed to limit the discretion of COUNTY, in the interest of the public welfare, to settle, defend, appeal or to decline to settle or to terminate or forego defense or appeal of the LITIGATION. It is also understood and agreed that all litigation pleadings are subject to review, revision and approval by COUNTY's Office of County Counsel.

3. **Representation and Payment for Legal Services Rendered.** COUNTY shall have the absolute right to approve any and all counsel retained to defend COUNTY in the LITIGATION. PROPERTY OWNER shall pay the attorneys' fees and costs of the legal firm retained by PROPERTY OWNER to represent the COUNTY in the LITIGATION. Failure by PROPERTY OWNER to pay such attorneys' fees and costs may be treated as an abandonment of the PROJECT and as a default of PROPERTY OWNER's obligations under this Agreement.

4. **Payment for COUNTY's LITIGATION Costs.** Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. LITIGATION costs include any associated costs, fees, damages, and expenses as further described in Section 1. herein as Indemnification Obligation. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the PROJECT, PROPERTY OWNER shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). PROPERTY OWNER shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. Within ten (10) days of written notice from COUNTY, PROPERTY OWNER shall make such additional deposits. Collectively, the initial deposit and additional deposits shall be referred to herein as the "Deposit."

5. **Return of Deposit.** COUNTY shall return to PROPERTY OWNER any funds remaining on deposit after ninety (90) days have passed since final adjudication of the LITIGATION.

6. **Notices.** For all purposes herein, notices shall be effective when personally delivered, delivered by commercial overnight delivery service, or sent by certified or registered mail, return receipt requested, to the appropriate address set forth below:

COUNTY:
Office of County Counsel
Attn: Melissa Cushman
3960 Orange Street, Suite 500
Riverside, CA 92501

PROPERTY OWNER:
Jose and Elisa Ramirez, Trustees of the
Ramirez Revocable Trust
4777 W. 137th
Hawthorne, CA 90250

With a copy to:
Ike Mbelu
25422 Trabuco Rd. #105-444
Lake Forest, CA 92630

Fayres E. Hall
3788 Mc Cray St.
Riverside, CA 92506

7. **Default and Termination.** This Agreement is not subject to termination, except by mutual agreement or as otherwise provided herein. In the event of a default of PROPERTY OWNER's obligations under this Agreement, COUNTY shall provide written notification to PROPERTY OWNER of such alleged default and PROPERTY OWNER shall have ten (10) days after receipt of written notification to cure any such alleged default. If PROPERTY OWNER fails to cure such alleged default within the specified time period or otherwise reach agreement with the COUNTY on a resolution of the alleged default, COUNTY may, in its sole discretion, do any of the following or combination thereof:

- a. Deem PROPERTY OWNER's default of PROPERTY OWNER's obligations as abandonment of the PROJECT and as a breach of this Agreement;
- b. Rescind any PROJECT approvals previously granted;
- c. Settle the LITIGATION.

In the event of a default, PROPERTY OWNER shall remain responsible for any costs and attorney's fees awarded by the Court or as a result of settlement and other expenses incurred by the COUNTY related to the LITIGATION or settlement.

8. **COUNTY Review of the PROJECT.** Nothing in this Agreement shall be construed to limit, direct, impede or influence the COUNTY's review and consideration of the PROJECT.

9. **Complete Agreement/Governing Law.** This Agreement represents the complete understanding between the parties with respect to matters set forth herein. This Agreement shall be construed in accordance with the laws of the State of California.

10. **Successors and Assigns.** The obligations specific herein shall be made, and are binding on the successors in interest of the PROPERTY OWNER, whether the succession is by agreement, by operation of law or by any other means.

11. **Amendment and Waiver.** No modification, waiver, amendment or discharge of this Agreement shall be valid unless the same is in writing and signed by all parties.

12. **Severability.** If any term, provision, covenant or condition of this Agreement is held to be invalid, void or otherwise unenforceable, to any extent, by any court of competent jurisdiction, the remainder of this Agreement shall not be affected thereby, and each term, provision, covenant or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

13. **Survival of Indemnification.** The parties agree that this Agreement shall constitute a separate agreement from any PROJECT approval, and if the PROJECT, in part or in whole, is invalidated, rendered null or set aside by a court of competent jurisdiction, the parties agree to be bound by the terms of this Agreement, which shall survive such invalidation, nullification or setting aside.

14. **Interpretation.** The parties have been advised by their respective attorneys, or if not represented by an attorney, represent that they had an opportunity to be so represented in the review of this Agreement. Any rule of construction to the effect that ambiguities are to be resolved against the drafting party shall not be applied in interpreting this Agreement.

15. **Captions and Headings.** The captions and section headings used in this Agreement are inserted for convenience of reference only and are not intended to define, limit or affect the construction or interpretation of any term or provision hereof.

16. **Jurisdiction and Venue.** Any action at law or in equity arising under this Agreement or brought by a party hereto for the purpose of enforcing, construing or determining the validity of any provision of this Agreement shall be filed in the Courts of Riverside County, State of California, and the parties hereto waive all provisions of law providing for the filing, removal or change of venue to

any other court or jurisdiction.

17. **Counterparts; Facsimile & Electronic Execution.** This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same document. To facilitate execution of this Agreement, the parties may execute and exchange facsimile or electronic counterparts, and facsimile or electronic counterparts shall serve as originals.

18. **Joint and Several Liability.** In the event there is more than one PROPERTY OWNER, the liability of PROPERTY OWNER shall be joint and several, and PROPERTY OWNER each of them shall be jointly and severally liable for performance of all of the obligations of PROPERTY OWNER under this Agreement.

19. **Effective Date.** The effective date of this Agreement is the date the parties sign the Agreement. If the parties sign the Agreement on more than one date, then the last date the Agreement is signed by a party shall be the effective date.

IN WITNESS WHEREOF, the parties hereto have duly caused this Agreement to be executed by their authorized representatives as of the date written.

COUNTY:
COUNTY OF RIVERSIDE,
a political subdivision of the State of California

By: Steven Weiss
Steven Weiss
Riverside County Planning Director

Dated: 1/20/17

FORM APPROVED COUNTY COUNSEL
BY: Melissa R. Cushman 1/18/17
MELISSA R. CUSHMAN DATE

[Signatures continued on following page]

PROPERTY OWNER:

Jose J. Ramirez and Elisa C. Ramirez, Trustees of the Ramirez Revocable Trust dated October 21, 2014; Paulino Rodriguez; and Mercedes Rodriguez

See Attached
Notarial Certificate

By: Jose J. Ramirez
Jose J. Ramirez
Trustee of the Ramirez Revocable Trust dated October 21, 2014

Dated: 01/05/17

See Attached
Notarial Certificate

By: Elisa C. Ramirez
Elisa C. Ramirez
Trustee of the Ramirez Revocable Trust dated October 21, 2014

Dated: 01/05/17

By: Paulino Rodriguez
Paulino Rodriguez, Individual

Dated: 12/30/16

By: Mercedes Rodriguez
Mercedes Rodriguez, Individual

Dated: 12-30-16

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of Los Angeles)

On 12/30/2016 before me, Dinah Vilches, a Notary Public

Date

Here Insert Name and Title of the Officer

personally appeared

Paulino Rodriguez & Mercedes

Name(s) of Signer(s)

Rodriguez

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]

Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____ Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

Corporate Officer — Title(s): _____

Partner — Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer Is Representing: _____

Signer's Name: _____

Corporate Officer — Title(s): _____

Partner — Limited General

Individual Attorney in Fact

Trustee Guardian or Conservator

Other: _____

Signer Is Representing: _____

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Sacramento

On January 5th, 2017 before me, Marco Alvarado, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Jose Jesus Ramirez

Elisa Casillas Ramirez
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Indemnification Agreement Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

- Corporate Officer -- Title(s): _____
- Partner -- Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

Signer's Name: _____

- Corporate Officer -- Title(s): _____
- Partner -- Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

NOTICE OF PUBLIC HEARING
and
INTENT TO ADOPT A NEGATIVE DECLARATION

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider the project shown below:

CHANGE OF ZONE NO. 7905 AND TENTATIVE TRACT MAP NO. 36963 – Intent to Adopt a Negative Declaration – Applicant: Paulino Rodriguez – Engineer/Representative: Albert A. Webb Associates – First Supervisorial District – Lake Mathews Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Estate Density Residential (RC-EDR) (2 acre lot minimum) – Location: Northerly of Big Sky Circle, southerly of El Mineral Road, westerly of Spencer Butte Drive, and easterly of Olive Street – 79.67 Acres - Zoning: Residential Agricultural 2 ½ acre minimum (R-A-2½) – **REQUEST:** Change of Zone No. 7905 proposes to change the project site's zoning classification from Residential Agricultural 2 ½-acre minimum (R-A-2 ½) to Residential Agricultural 2-acre minimum (R-A-2), Tentative Tract Map No. 36963, a Schedule "C" Subdivision proposes to subdivide approximately 79.67 gross acres into 31 two-acre lot minimum, single family residential lots and three (3) letter lots for Water Quality Basins.

TIME OF HEARING:	9:00 am or as soon as possible thereafter
DATE OF HEARING:	SEPTEMBER 20, 2017
PLACE OF HEARING:	RIVERSIDE COUNTY ADMINISTRATIVE CENTER BOARD CHAMBERS, 1ST FLOOR 4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project please contact Project Planner Deborah Bradford at (951) 955-6646 or email at dbradfor@rivco.org, or go to the County Planning Department's Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above project will not have a significant effect on the environment and has recommended adoption of a negative declaration. The Planning Commission will consider the proposed project and the proposed negative declaration, at the public hearing. The case file for the proposed project and the proposed negative declaration may be viewed Monday through Thursday, 8:30 a.m. to 5:00 p.m., at the County of Riverside Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501. For further information or an appointment, contact the project planner.

Any person wishing to comment on a proposed project may do so, in writing, between the date of this notice and the public hearing or appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Deborah Bradford
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 2/28/2017.

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CZ07905/TR36963 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

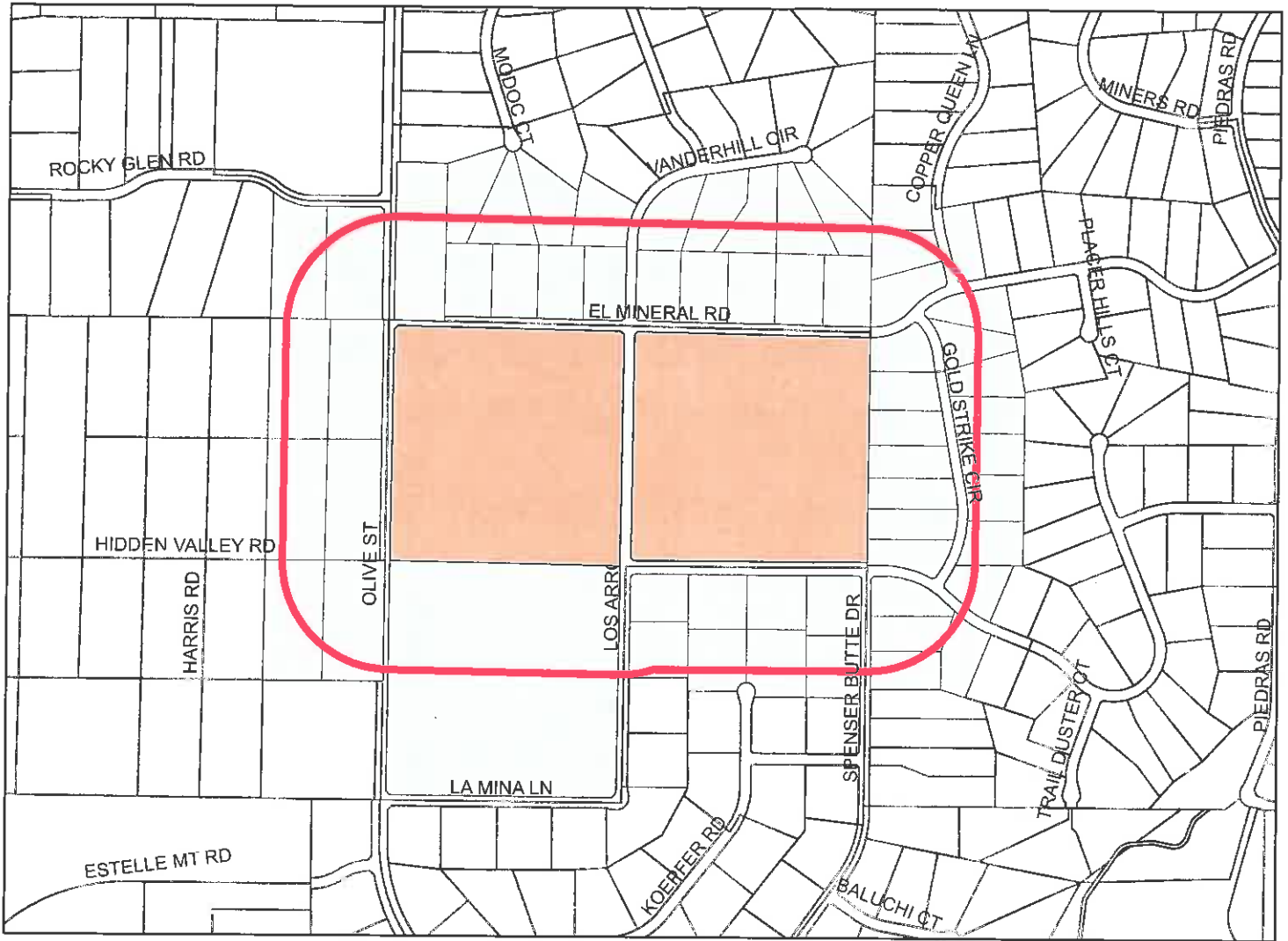
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

Received 2/28/17 D. Benford

CZ07905 TR36963 (600 feet buffer)



Selected Parcels

289-500-010 289-420-010 289-470-026 289-500-018 289-250-011 289-500-012 289-470-001 289-470-029 289-240-036 289-500-016
 289-470-018 289-500-006 289-470-019 289-420-015 289-470-004 289-420-011 289-500-019 289-560-011 289-420-014 289-470-003
 289-500-020 289-560-006 289-560-003 289-470-010 289-470-002 289-500-017 289-560-004 289-560-012 289-500-007 289-250-008
 289-250-020 289-470-007 289-420-013 289-500-008 289-470-005 289-240-037 289-470-008 289-500-021 289-420-016 289-240-026
 289-420-012 289-560-005 289-560-007 289-500-015 289-560-008 289-470-024 289-470-006 289-500-005 289-500-011 289-240-029
 289-500-013 289-470-009 289-470-023 289-360-030 289-470-017 289-470-027 289-360-031 289-240-055 289-470-025 289-240-053
 289-500-014



825 412.5 0 825 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 289240026, APN: 289240026
DOROTHY DUROCHER, ETAL
16970 HIDDEN VALLEY RD
PERRIS, CA. 92570

ASMT: 289250020, APN: 289250020
ELISA RAMIREZ, ETAL
4777 W 137TH PL NO A
HAWTHORNE CA 90250

ASMT: 289240029, APN: 289240029
JOAN GARTEN, ETAL
16973 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289360030, APN: 289360030
KAREN CAZARES, ETAL
16939 ROCKY GLEN RD
PERRIS, CA. 92570

ASMT: 289240036, APN: 289240036
MARY LOAIZA, ETAL
16965 HIDDEN VALLEY RD
PERRIS, CA. 92570

ASMT: 289360031, APN: 289360031
DONNA KRAUSE, ETAL
16995 ROCKY GLEN RD
PERRIS, CA. 92570

ASMT: 289240037, APN: 289240037
DAWN SANFORD, ETAL
PO BOX 77998
CORONA CA 92877

ASMT: 289420010, APN: 289420010
BARBARA LANE
17590 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289240053, APN: 289240053
ALICE FERREIRA, ETAL
3746 LOFTON PL
RIVERSIDE CA 92501

ASMT: 289420011, APN: 289420011
MARY GALLEGOS, ETAL
17439 SANTA MARIA ST
FOUNTAIN VALLEY CA 92708

ASMT: 289240055, APN: 289240055
ANTHONY GALLO, ETAL
P O BOX 78916
CORONA CA 92877

ASMT: 289420012, APN: 289420012
RHONDA CREECH, ETAL
17550 COPPER QUEEN LN
PERRIS, CA. 92570

ASMT: 289250011, APN: 289250011
CHUAN HUANG
2552 STEEPLECHASE LN
DIAMOND BAR CA 91765

ASMT: 289420013, APN: 289420013
KATIE MYLROIE
17540 EL MINERAL RD
PERRIS, CA. 92570



ASMT: 289420014, APN: 289420014
SHARON NEHR, ETAL
17541 EL MINERAL RD
PERRIS CA 92570

ASMT: 289470005, APN: 289470005
PATRICIA KLEINSCHMIDT, ETAL
17145 VANDERHILL CIR
PERRIS, CA. 92570

ASMT: 289420015, APN: 289420015
DONALD HUTCHINSON
23520 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289470006, APN: 289470006
ROBIN PACI, ETAL
5934 ORDWAY ST
RIVERSIDE CA 92504

ASMT: 289420016, APN: 289420016
PATRICIA BROWN, ETAL
17585 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289470007, APN: 289470007
JOYCE HARRIS
17345 VANDERHILL CIR
PERRIS, CA. 92570

ASMT: 289470001, APN: 289470001
SANDRA CARPENTER, ETAL
17450 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289470008, APN: 289470008
RUFIANA PEARSON, ETAL
17385 VANDERHILL CIR
PERRIS, CA. 92570

ASMT: 289470002, APN: 289470002
JEFFREY SWEEDEN
17410 EL MINERAL RD
PERRIS CA 92570

ASMT: 289470009, APN: 289470009
PAULA CARTIER, ETAL
17425 VANDERHILL CIR
PERRIS, CA. 92570

ASMT: 289470003, APN: 289470003
BARBARA DAVIS, ETAL
17370 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289470010, APN: 289470010
DEBBIE MACDONALD, ETAL
17465 VANDERHILL CIR
PERRIS, CA. 92570

ASMT: 289470004, APN: 289470004
MARCIA RICE, ETAL
17330 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289470018, APN: 289470018
CARMELYN STANDROD, ETAL
23395 MODOC CT
PERRIS, CA. 92570



ASMT: 289470019, APN: 289470019
DIANN EHLBECK, ETAL
23390 MODOC CT
PERRIS, CA. 92570

ASMT: 289500005, APN: 289500005
RICHARD ANTOPOL
23826 SPENSER BUTTE DR
PERRIS, CA. 92570

ASMT: 289470023, APN: 289470023
ROGER CHARTER
17190 VANDERHILL CIR
PERRIS, CA. 92570

ASMT: 289500006, APN: 289500006
JULI HOOD, ETAL
23790 SPENSER BUTTE DR
PERRIS, CA. 92570

ASMT: 289470024, APN: 289470024
PHIL ALDOPH
17210 EL MINERAL RD
GAVILAN HILLS CA 92570

ASMT: 289500007, APN: 289500007
CARINA MONCRIEF, ETAL
23754 SPENSER BUTTE DR
PERRIS, CA. 92570

ASMT: 289470025, APN: 289470025
MARY BRADLEY, ETAL
17170 EL MINERAL RD
GAVILAN HILLS CA 92570

ASMT: 289500008, APN: 289500008
KEVIN GOYETTE
17603 BIG SKY CIR
PERRIS, CA. 92570

ASMT: 289470026, APN: 289470026
DINA OCHOA, ETAL
17130 EL MINERAL RD
PERRIS, CA. 92570

ASMT: 289500010, APN: 289500010
ADELAIDA HICKMAN
23749 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289470027, APN: 289470027
KATHERINE KRAMER, ETAL
1452 MANHATTAN AVE
FULLERTON CA 92831

ASMT: 289500011, APN: 289500011
SHERI HIEB, ETAL
23711 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289470029, APN: 289470029
DAVID FRELINGER
23480 OLIVE ST
PERRIS, CA. 92570

ASMT: 289500012, APN: 289500012
DANITA CARDEY, ETAL
23673 GOLD STRIKE CIR
PERRIS, CA. 92570



ASMT: 289500013, APN: 289500013
NANCY GREEN, ETAL
23635 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289500020, APN: 289500020
PAMELA OGDEN, ETAL
23728 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289500014, APN: 289500014
LILLIAN UTTER, ETAL
23597 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289500021, APN: 289500021
HELENE FENTON, ETAL
17592 BIG SKY CIR
PERRIS, CA. 92570

ASMT: 289500015, APN: 289500015
KELLY MOUNT, ETAL
23559 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289560003, APN: 289560003
JEANNETTE KELLEY
23846 LOS ARROLLAS RD
PERRIS, CA. 92570

ASMT: 289500016, APN: 289500016
JEAN TOSTA, ETAL
23560 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289560004, APN: 289560004
DARLENE WHARTON, ETAL
17387 BIG SKY CIR
PERRIS, CA. 92570

ASMT: 289500017, APN: 289500017
XU GU, ETAL
23590 GOLD STRIKE CIR
PERRIS CA 92570

ASMT: 289560005, APN: 289560005
KATHERINE MCCLARAN, ETAL
17423 BIG SKY CIR
PERRIS, CA. 92570

ASMT: 289500018, APN: 289500018
PAMELA CALDER, ETAL
23628 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289560006, APN: 289560006
HELEN GEBEREKERISTOS
17459 BIG SKY CIR
PERRIS, CA. 92570

ASMT: 289500019, APN: 289500019
KIMBERLY MICHELENA, ETAL
23670 GOLD STRIKE CIR
PERRIS, CA. 92570

ASMT: 289560007, APN: 289560007
MARIA MANGANO, ETAL
23759 SPENCER BUTTE DR
PERRIS, CA. 92570



Étiquettes faciles à peeler
Utilisez le gabarit AVERY® 5162®

Sens de
chargement
▼

Repliez à la hauteur afin de
révéler le rebord Pop-up™

www.avery.com
1-800-GO-AVERY

ASMT: 289560008, APN: 289560008
WRAYANN RICHARDSON, ETAL
23795 SPENCER BUTTE DR
PERRIS, CA. 92570

ASMT: 289560011, APN: 289560011
ESPERANZA FRANCO, ETAL
23852 KOEPFER RD
PERRIS, CA. 92570

ASMT: 289560012, APN: 289560012
JAYME BARGER, ETAL
23857 KOEPFER RD
PERRIS, CA. 92570

Easy Peel® Labels
Use Avery® Template 5162®

Feed Paper
▼

Bend along line to
expose Pop-up Edge™

 AVERY® 5962®

Easy Peel® Labels
Use Avery® Template 5160®

Paulino Rodriguez
4747 El Segundo Boulevard
Hawthorne, CA 90250

Feed Paper
Bend along line to
expose Pop-up Edge™

Paulino Rodriguez
4747 El Segundo Boulevard
Hawthorne, CA 90250

Albert A. Webb Associates:
c/o Danielle Logsdon
3788 McCray Street
Riverside, CA 92506

Albert A. Webb Associates:
c/o Danielle Logsdon
3788 McCray Street
Riverside, CA 92506

Cahuilla Band of Indians
Andreas J. Heredia
52701 Highway 371
Anza, CA 92539

Cahuilla Band of Indians
Andreas J. Heredia
52701 Highway 371
Anza, CA 92539

Soboba Band of Luiseño Indians
Joseph Ontiveros, Cultural Resource
Director
P.O. BOX 487
San Jacinto, CA 92581

Pechanga Cultural Resources
Department
Anna Hoover, Cultural Analyst
P.O. Box 2183
Temecula, CA 92593

Gabrieleno Band of Mission Indians
- Kizh Nation
Andrew Salas, Chairman
P.O. Box 393
Covina, CA 91723

Gabrieleno Band of Mission Indians
- Kizh Nation
Andrew Salas, Chairman
P.O. Box 393
Covina, CA 91723

Colorado River Indian Tribes (CRIT)
Amanda Barrera, Tribal Secretary
26600 Mohave Road, Parker,
Arizona 85344

Morongo Cultural Heritage Program
Ray Huaute
12700 Pumarra Rd.
Banning, CA 92220



Albert A. Webb Associates:
c/o Danielle Logsdon
3788 McCray Street
Riverside, CA 92506

Your labels
- felice

Soboba Band of Luiseño Indians
Joseph Ontiveros, Cultural Resource
Director
P.O. BOX 487
San Jacinto, CA 92581

Pechanga Cultural Resources
Department
Anna Hoover, Cultural Analyst
P.O. Box 2183
Temecula, CA 92593

Colorado River Indian Tribes (CRIT)
Amanda Barrera, Tribal Secretary
26600 Mohave Road, Parker,
Arizona 85344

Morongo Cultural Heritage Program
Ray Huaute
12700 Pumarra Rd.
Banning, CA 92220



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

TR36963 and Change of Zone No. 7905/ EA 42887

Project Title/Case Numbers

Deborah Bradford, Project Planner

County Contact Person

(951) 955-6646

Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Paulino Rodriguez

Project Applicant

4747 El Segundo Blvd., Hawthorne, CA 90250

Address

North of Big Sky Circle, south of El Mineral, west of Spencer Butte Drive, and east of Olive Street

Project Location

Change of Zone No. 7905 proposes to change the existing zoning of Residential Agricultural 2 1/2-acre minimum (R-A-2 1/2) to Residential Agricultural 2-acre minimum (R-A-2) zone. Tentative Tract Map No. 36963 is for a Schedule 'C' subdivision of 79.6 gross acres into 31 residential lots and 3 letter lots to be utilized for water quality basins.

Project Description

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on _____, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. Mitigation measures WERE NOT made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the earlier EA, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature Project Planner *Title* _____
Date

Date Received for Filing and Posting at OPR: _____

Revised: 08/01/2017
Y:\Planning Master Forms\Templates\CEQA Forms\Form_NOD.docx

Please charge deposit fee case#: ZEA42887 ZCFG6261

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

F* REPRINTED * R1603400

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: RODRIGUEZ PAULINO \$50.00
paid by: CK 6082
EA42887 GEO02486
paid towards: CFG06261 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Mar 24, 2016 16:37
MGARDNER posting date Mar 24, 2016

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

R1711665

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: RODRIGUEZ PAULINO \$2,216.25
paid by: CK 5091
paid towards: CFG06261 CALIF FISH & GAME - NEG DECL
EA42887 GEO02486
at parcel #:
appl type: CFG1

By _____ Aug 25, 2017 11:36
MGARDNER posting date Aug 25, 2017

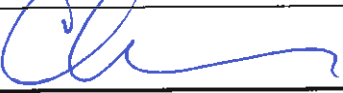
Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,216.25

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

Agenda Item No.:
Area Plan: Temescal Canyon Area Plan
Zoning Area: Rancho California
Supervisorial District: Second
Project Planner: Brett Dawson
Planning Commission: September 20, 2017

General Plan Amendment No. 1211
Change of Zone No. 7924
Tract Map No. 37169
Plot Plan No. 26347
Environmental Assessment No. 42960
Applicant: Patric Lynam
Engineer/Representative: Cecilia Webb



Charissa Leach P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

GENERAL PLAN AMENDMENT NO. 1211 is a request to change the project site's General Plan Land Use Designation from Community Development: Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC).

CHANGE OF ZONE NO. 7924 proposes to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3).

TENTATIVE TRACT MAP NO. 37169 is a Schedule A subdivision of 4.16 acres into sixty five (65) single family residential units, a recreation area, a tot lot playground, and additional parking areas as part of a condominium plan.

PLOT PLAN NO. 26347 is a proposal to construct sixty five (65) single family residential units, a recreation area, a tot lot playground, and additional parking areas.

The project is located on the northeast corner of Grant Street and Magnolia Avenue.

ISSUES OF POTENTIAL CONCERN:

The off-street parking requirements per Ordinance No. 348 require the map to provide 31 parking spaces with 2 additional spaces for persons with disabilities, which have been provided. Staff has conditioned (50.Planning.1) that the CC&R's must state that the garages must remain clear of all items to provide adequate parking for two cars. The purpose of this is to prevent residents from parking on the street or using up the visitor parking spaces.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #6): Community Development: Commercial Retail (CR) with the Home Gardens mixed use overlay.
2. Surrounding General Plan Land Use (Ex. #6): Very High Density Residential (VHDR) to the north and east, Commercial Retail (CR) and Medium Density Residential (MDR) to the west and south.
3. Proposed General Plan Land Use

General Plan Amendment No. 1211, Change of Zone No. 7924, Tentative Tract Map No. 37169 and Plot Plan No. 26347

PC Staff Report: September 20, 2017

Page 2 of 9

- | | |
|-----------------------------------|--|
| 4. Existing Zoning (Ex. #3): | Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC)
General Commercial (C-1/C-P) |
| 5. Proposed Zoning (Ex #3) | General Residential (R-3) |
| 6. Surrounding Zoning (Ex. #3): | General Commercial (C-1/C-P) to the south, Mobile Home Subdivision & Mobile Home Parks (R-T) to the north and east, One Family Dwelling (R-1) to the west. |
| 7. Existing Land Use (Ex. #1): | Vacant with two residential buildings and a commercial building and asphalt parking lot. |
| 8. Surrounding Land Use (Ex. #1): | A mobile home park to the north and east, residential properties and Home Gardens County Water District to the east and Magnolia Avenue and two Churches to the south. |
| 9. Project Data: | Total Acreage: 3.81 acres |
| 10. Environmental Concerns : | See attached environmental assessment |

RECOMMENDATIONS:

ADOPT PLANNING COMMISSION RESOLUTION #2017-012 recommending adoption of General Plan Amendment No. 1211 to the Riverside County Board of Supervisors; and

THE PLANNING STAFF RECOMMENDS THAT THE PLANNING COMMISSION RECOMMEND TO THE BOARD OF SUPERVISORS:

ADOPT the **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42960**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

TENTATIVELY APPROVE GENERAL PLAN AMENDMENT NO. 1211, A General Plan Amendment to change the project site's General Plan Land Use from Community Development: Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC) as shown on Exhibit 6 attached hereto, based on the findings and conclusions incorporated in the staff report; pending adoption of the General Plan Amendment Resolution by the Board of Supervisors; and,

TENTATIVELY APPROVE CHANGE OF ZONE NO. 7924, amending the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) as shown on Exhibit 3 attached hereto, based upon the findings and conclusions incorporated in the staff report; and, pending adoption of the zoning ordinance by the Board of Supervisors; and,

APPROVAL of **PLOT PLAN NO. 26347**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVE TENTATIVE TRACT MAP NO. 37169, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

General Plan Entitlement/Policy Amendment Findings:

1. The project site is designated Community Development: Commercial Retail (CR)(0.20-0.35 FAR) and is proposing to change to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC).
2. The project site is surrounded by properties that are designated Very High Density Residential (VHDR) to the north and east, Commercial Retail (CR) and Medium Density Residential (MDR) to the west and south.
3. The existing zoning classification for the project site is General Commercial (C-1/C-P).
4. The proposed zoning classification for the project site is General Residential (R-3).
5. The project site is located within the Temescal Canyon Area Plan and proposed to be designated Community Development: Very High Density Residential (CD:VHDR)(14-20 DU/AC).

The design complies with Temescal Canyon Area Plan Policy 1.2 *“Utilize appropriate building materials such as clay tile, roofing, stucco and decorative tile reflective of mission style architecture.”*

The project’s two housing styles are Spanish Santa Barbara and Spanish Monterey, which comply with the above policy.

6. The project is consistent with the Home Gardens Mixed Use Overlay. The project is within Neighborhood 1, the Magnolia Avenue Northwest Neighborhood, which has the following policy:

TCAP 7.2 The Magnolia Avenue Northwest Neighborhood may be developed solely in accordance with the underlying land use designation of Commercial Retail, or may contain 25% HHDR development in addition to Commercial Retail Development.

The project has chosen not to retain the Commercial Retail designation and proceed with meeting the goals of the Housing Element by bringing the density count of Neighborhood 1 closer to the goal of 25% HHDR. Where it is not practical on this site because its size and location to have the density of 20 units per acre, the project does achieve a density of 15.6 units per acre thus bringing Neighborhood 1 closer to the goal of 25% HHDR.

7. The existing zoning classification is General Commercial (C-1/C-P). The project proposes to change the zoning classification to General Residential (R-3). The proposed use is permitted within the General Residential (R-3) zoning classification. The proposed project is not a Planned Unit Development and is subject to development standards in section 8.2 of Ordinance No. 348:

- a. *The minimum lot area shall be 7,200 square feet with a minimum average width of 60 feet and a minimum average depth of 100 feet, unless different minimums are specifically required in a particular area.*

The lot area of the project is 4.16 acres, the width is 350 feet and the depth is 550 feet, thus meeting the above requirement.

- b. *The minimum front and rear yards shall be ten feet for buildings that do not exceed 35 feet in height. Any portion of a building which exceeds 35 feet in height shall be set back from the front and rear lot lines no less than ten feet plus two feet for each foot by which the height exceeds 35 feet. The front setback shall be measured from any existing or future street line as shown on any specific street plan of the County. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback.*

All proposed buildings are below 35 feet in height and comply with rear and front setbacks.

- c. *The minimum side yard shall be five feet for buildings that do not exceed 35 feet in height. Any portion of a building which exceeds 35 feet in height shall be set back from each side lot line five feet plus two feet for each foot by which the height exceeds 35 feet; if the side yard adjoins a street, the side setback requirement shall be the same as required for a front setback. No structural encroachments shall be permitted in the front, side, or rear yard except as provided in [Section 18.19](#) of this ordinance.*

All proposed buildings are below 35 in height and comply with side yard setbacks.

- d. *No lot shall have more than 50 percent of its net area covered with buildings or structures.*

The proposed lot coverage is 1.41 acres out of 4.16 acres, which is about 34% therefore the project meets this requirement.

- e. *The maximum ratio of floor area to lot area shall not be greater than two to one, not including basement floor area.*

The floor area ratio is .56 which is lower than two to one, thus meeting the above requirement.

- f. *All buildings and structures shall not exceed 50 feet in height, unless a height up to 75 feet is specifically permitted under the provisions of [Section 18.34](#) of this ordinance.*

The maximum height of the tallest proposed building is 34 ½ feet, thus meeting the above requirement.

- h. *Automobile storage space shall be provided as required by [Section 18.12](#) of this ordinance.*

For condominium developments a ratio of 2.5 parking spaces per unit is used. The number of units is 65 and the number of parking spaces is 163, thus meeting the above requirement.

8. Similar uses have been constructed and are operating in the general vicinity of the project.

General Plan Amendment No. 1211, Change of Zone No. 7924, Tentative Tract Map No. 37169 and Plot Plan No. 26347

PC Staff Report: September 20, 2017

Page 5 of 9

9. The proposed project consists of a schedule 'A' subdivision pursuant to Ordinance No. 460. Ordinance No. 460 requires all land divisions to conform to the County's General Plan, with applicable specific plans, and Ordinance No. 348. The project specifically complies with the Schedule 'A' improvement requirements of Ordinance No. 460, which include street improvements as shown on the Tentative Map, domestic water supply via Home Gardens Water District, fire protection with appropriate fire hydrant spacing, domestic sewer service via Home Gardens Water District. This meets the requirement set forth as set forth in the California Administrative Code Title 22, Chapter 16, as required by Ordinance No. 460.

The proposed Tract Map and design and improvements of the proposed Tract Map are consistent with the County's General Plan. The proposed Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC) designation for the area would result in a land use designation that is consistent with existing development in the immediate vicinity of the site and represents a logical continuation of land use in the area. The proposed project designation of Very High Density Residential is consistent with the density range 14-20 DU/AC, the project density is 15.6 DU/AC. There is no applicable Specific Plan.

10. The site is physically suitable for the proposed type of development and density of the development because the site is relatively flat and does not generally contain any areas with steep slopes or other natural conditions that would inhibit the proposed type of development. The overall density and lot sizes proposed is compatible with the existing and planned surrounding land uses, which generally consist of Community Development: Medium Density Residential (CD:MDR) and Commercial Retail (CR) and Medium Density Residential (MDR).
11. The design of the proposed map is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. The proposed project is located within the Western Riverside County Multiple Species Habitat Conservation Plan Southwest Area Plan. The project site is not located within a Criteria Cell.

The project site does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The project will not have a substantial adverse effect, either directly or through habitat modification, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations. The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by California Department of Fish and Game or U.S. Wildlife Service.

The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridor, or impede the use of native wildlife nursery sites. The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. The project site will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of Clean Water Act. The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

General Plan Amendment No. 1211, Change of Zone No. 7924, Tentative Tract Map No. 37169 and Plot Plan No. 26347

PC Staff Report: September 20, 2017

Page 6 of 9

12. The design of the proposed map is not likely to cause serious public health problems, since the project has been reviewed in regards to public safety, noise, and air quality.
13. Tract Map No. 37169 will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision.
14. General Plan Amendment No. 1211 is an Entitlement/Policy Amendment.
15. General Plan Amendment No. 1211 does not involve a change or conflict with the Riverside County Vision. Residential homes would create a logical extension of development within an area that is transitioning from rural residential and vacant property to a suburban residential environment. In accordance with the Riverside County Vision Statement, this project would consolidate future growth into an area that could accommodate it and will reduce further residential sprawl by being located close in vicinity to employment centers, existing transit lines, and previously approved residential developments that are similar in lot configurations.
16. The proposed General Plan Amendment would not conflict with any General Plan Principle set forth in General Plan Appendix B. The proposed General Plan Amendment meets the General Plan principle of encouraging a wide range of housing opportunities for residents in a wider range of economic circumstances.

The General Plan Principle IV.A.1 provides that the intent of the General Plan is to foster variety and choice in community development, particularly in the choice an opportunity for housing in various styles, of varying densities and of a wide range of process and accommodating a range of life styles in equally diverse community settings, emphasizing compact and higher density choices.

This project provides opportunities for a higher level of density in the area which the highest level of density is a mobile home park, thus giving the community another option of housing type at this density level. This project also accommodates a different type of lifestyle associated with the housing product type that as of yet has not been available in this community. The project in itself does emphasize both a compact and higher density choice. Based upon the above discussion, the project meets this principal.

General Plan Principle IV.A.4 states that communities should range in location and type from urban to suburban to rural. This project provides options for a more urban type of community in an area with existing suburban communities, thus meeting the intent of the principal.

17. The proposed General Plan Amendment would not conflict with any foundation component of the General Plan. The current land use designation, Commercial Retail, is within the Community Development Foundation Component. The proposed land use designation, Very High Density Residential, would be within the same Foundation Component of the General Plan. Thus, the proposed amendment is consistent with the Community Development Foundation.
18. The proposed project would either contribute to the purposes of the General Plan or, at a minimum, not be detrimental to the purposes of the General Plan and Temescal Canyon Area Plan because the proposed amendment would maintain the primarily suburban style residential atmosphere of the community that exists in the area, thus creating a compatible land use pattern that assists in protecting public health, safety, and welfare which is the foundational purpose of a General Plan.

19. The Administration Element of the Riverside County General Plan and Article II, Section 2.5.g. of Ordinance No. 348 provide that the following finding must be made for the approval of a Regular Foundation Component Amendment: a) new conditions or circumstances disclosed during the review process justify modifying the General Plan.

The new circumstance that occurred was the adoption of a revised Housing Element to the General Plan in December of 2016. In an effort to meet the State regional housing requirements, the Housing Element was modified, and as a result, density was increased in a number of locations within the County, including the project site. The method of density increase that was given to the site and the surrounding neighborhood was the Home Gardens Mixed Use Overlay. This project meets the goals of the Home Gardens Mixed Use Overlay by adding additional density to the density count of Neighborhood 1 to get closer to the goal of 25% HHDR for the whole of Neighborhood 1.

20. This project is not located within Criteria Area of the Western Riverside County Multi-Species Habitat Conservation Plan.
21. This project is not located within the Stephen's Kangaroo Rat Fee Area and will not be subject to applicable fees pursuant to Riverside County Ordinance No. 663.
22. This project is within the City Sphere of Influence of Corona. As such, the proposed project was initially transmitted to the City for review and comment on December 8, 2016 and was sent a notice of public hearing. No comments have been received from the City as of the date of writing of this staff report.
23. This land division is located outside any area designated with fire hazard severity and not located within either a State Responsibility Area or a Local Responsibility Area and is not subject to the requirements of Government Code section 66474.02
24. This project is not located within a CAL FIRE state responsibility area.
25. The project is not located within a high fire area. Fire protection and suppression services will be available for the subdivision through Riverside County Fire Department.
26. In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to eight requesting tribes on December 12, 2016. Consultation was requested by the Soboba Band of Luiseno Indians. Consultation with Soboba during a face-to-face meeting on February 16, 2017. At that meeting the project was explained to the Tribe who requested that conditions of approval for the process to be taken in the event unanticipated resources and/or human remains are identified during grading activities. These conditions were provided to the Tribe on February 17, 2017 and Planning received a conclusion letter from the Tribe on August 1, 2017. No consultation request was received from the remaining tribes. No Tribal Cultural Resources were identified during consultation efforts.
27. The results of the record search conducted by the Eastern Information Center indicate that the property was included in a 1,684-acre archaeological survey in 1980, but no cultural resources were recorded on the property. Outside of the project boundaries but within a one-mile radius, EIC records show at least 30 other previous studies covering various areas of land. As a result of these

studies, fifteen cultural resource sites have been recorded, including seven historic sites and six prehistoric sites and one that is both prehistoric and historic.

Several structures are present on the subject property. **Structure A** is a 1876 square foot, 4 bedroom, 2.5 bath wood framed structure with a stucco siding and a shake roof. The varying roof levels with exposed rafters give the suggestion that the house has been expanded over time. Decorative features include diamond-pane windows. On the front elevation, decorative trim remains around one window. A window box is present below that particular window. **Structure B** is a 1760 sq. ft. 3 bedroom, 2.75 bath wood frame structure with a shake roof and open shaped eaves. Storybook details on this house include the steep gable with scalloped bargeboard, diamond-pane windows and siding that consists of board and batten and brick. In 1968 a permit was issued which allowed a 486 sq. ft. addition to the dwelling. **Structure D**- In August of 1966, the Yamano Brothers were issued a permit to construct an agricultural building. This structure is not visible on the 1966 aerials but is shown on the 1967 version. While the structures meet the minimum age threshold to be considered historic, there is no apparent architectural or historical significance for any of the structures.

28. Environmental Assessment No. 42960 identified the following potentially significant impacts:

- a) Cultural Resources
- b) Hydrology/Water Quality
- c) Geology and Soils

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

CONCLUSIONS:

1. The proposed project will be in conformance with the designations of Community Development: Very High Density Residential (CD:VHDR)(14-20DU/AC) and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Schedule A map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
3. The proposed project is consistent with the General Residential (R-3) zone zoning classification of Ordinance 348, and with all other applicable provisions of Ordinance 348.
4. The public's health, safety, and general welfare are protected through project design.
5. The proposed project is compatible with the present and future logical development of the area.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
7. As set forth in the attached environmental assessment and through the imposition of mitigation measures set forth therein, the proposed project will not have a significant effect on the environment.

INFORMATIONAL ITEMS:

1. As of this writing no letters have been received.
2. The project site is not located within:
 - a. A 100-year flood plain, or dam inundation area; or
 - b. An area susceptible to liquefaction.
 - c. An agricultural preserve;
 - d. A historic preservation district
 - e. An airport influence area
 - f. A Stephens Kangaroo Rat Fee Area
3. The project site is located within:
 - a. The City of Corona sphere of influence;
 - b. An area of high potential for paleontological sensitivity
4. The subject site is currently designated as Assessor's Parcel Numbers 115-300-047, 115-300-049, 115-300-052

2
3 **RESOLUTION NO. 2017-012**
4 **RECOMMENDING ADOPTION OF**
5 **GENERAL PLAN AMENDMENT NO. 1211**
6

7 **WHEREAS**, pursuant to the provisions of Government Code Section(s) 65350/65450 et. seq.,
8 public hearings were held before the Riverside County Planning Commission in Riverside, California on
9 September 20, 2017, to consider the above-referenced matter; and,

10 **WHEREAS**, all the provisions of the California Environmental Quality Act (CEQA) and
11 Riverside County CEQA implementing procedures have been met and the environmental document
12 prepared or relied on is sufficiently detailed so that all the potentially significant effects of the project on
13 the environment and measures necessary to avoid or substantially lessen such effects have been evaluated
14 in accordance with the above-referenced Act and Procedures; and,

15
16 **WHEREAS**, the matter was discussed fully with testimony and documentation presented by the
17 public and affected government agencies; now, therefore,

18 **BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED** by the Planning
19 Commission of the County of Riverside, in regular session assembled on September 20, 2017, that it has
20 reviewed and considered the environmental document prepared or relied on and recommends the
21 following based on the staff report and the findings and conclusions stated therein:
22

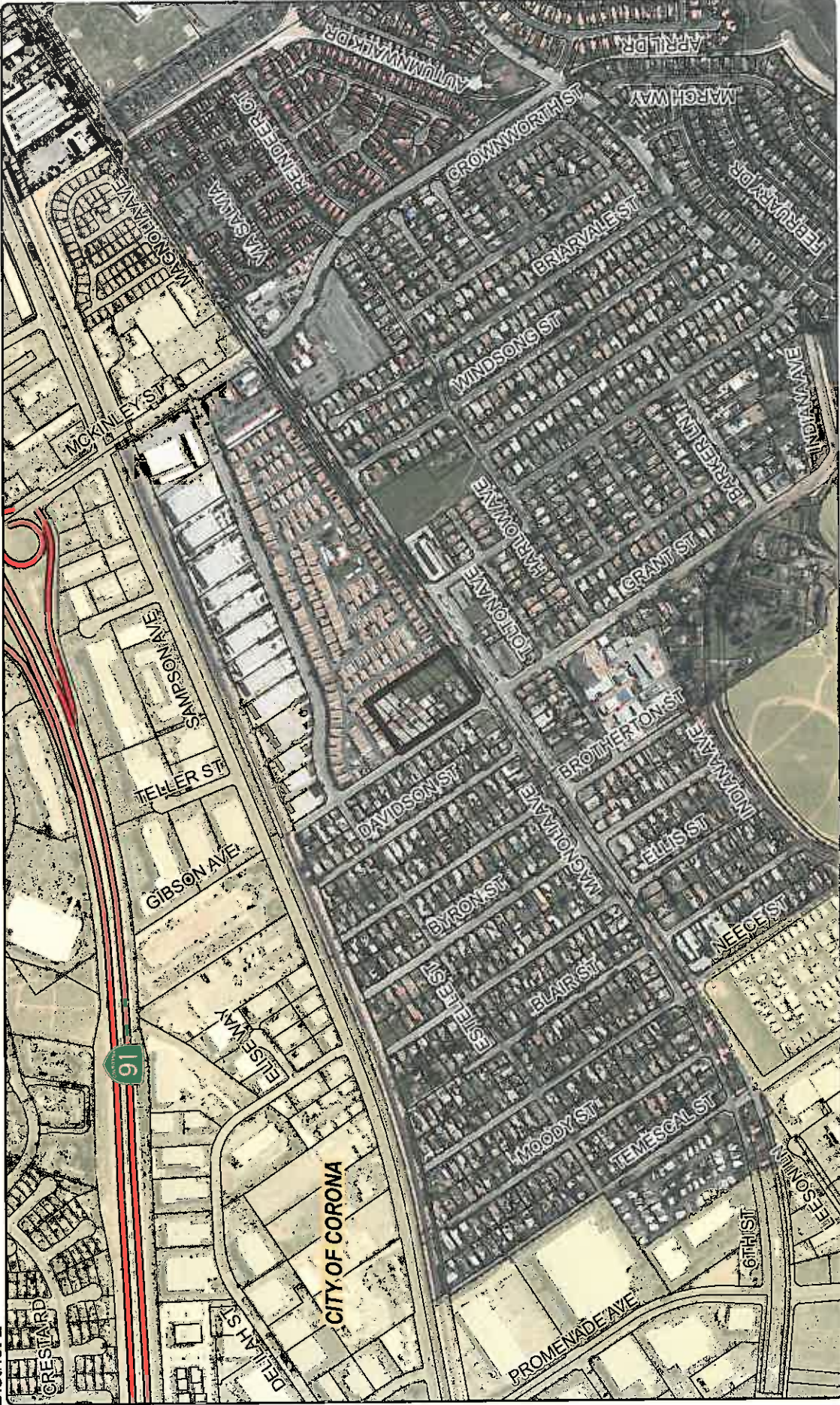
23 **ADOPTION** of the Mitigated Negative Declaration environmental document, Environmental
24 Assessment File No. 42960; and

25 **ADOPTION** of General Plan Amendment No. 1211
26
27
28

RIVERSIDE COUNTY PLANNING DEPARTMENT
CZ07924 GPA01211 TR37169
VICINITY/POLICY AREAS

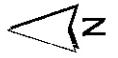
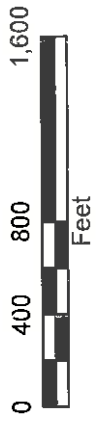
Supervisor: Tavaglione
 District 2

Date Drawn: 08/09/2017
 Vicinity Map



Zoning Dist: East Corona

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2008, the County of Riverside adopted its new General Plan. The new General Plan includes a new map of Riverside County. The new map shows the boundaries of Riverside County. The new map is available on the County's website at www.riversidecounty.net. For more information, please contact the Riverside County Planning Department at (951) 952-9277 (Ext. 3000) or visit our website at www.riversidecounty.net.

RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07924 GPA01211 TR37169

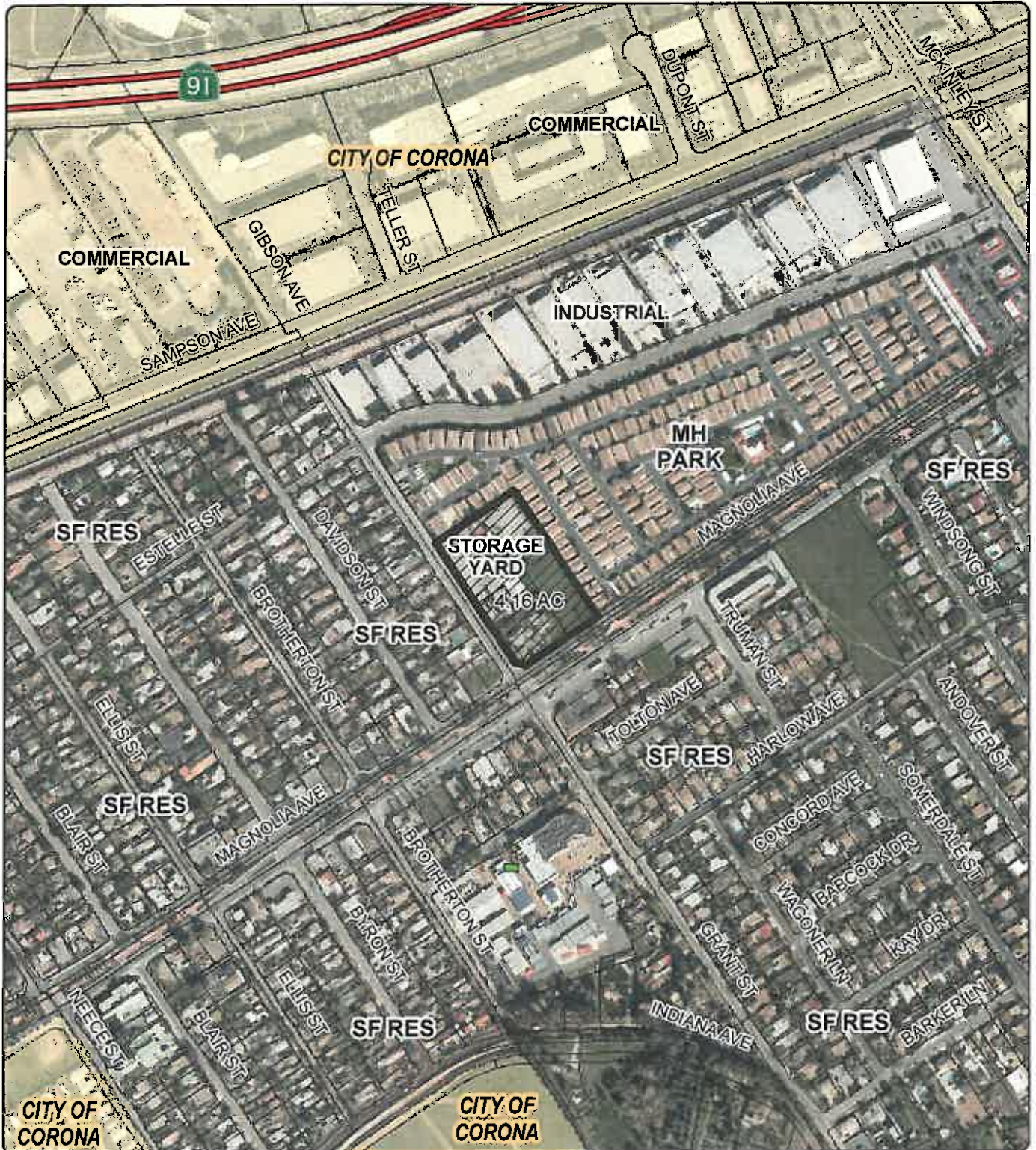
Supervisor: Tavaglione

District 2

Date Drawn: 08/09/2017

Exhibit 1

LAND USE



Zoning Dist: East Corona

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-2700 (Western County) or in Palm Desert at (760)963-8277 (Eastern County) or Website <http://planning.rctima.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT

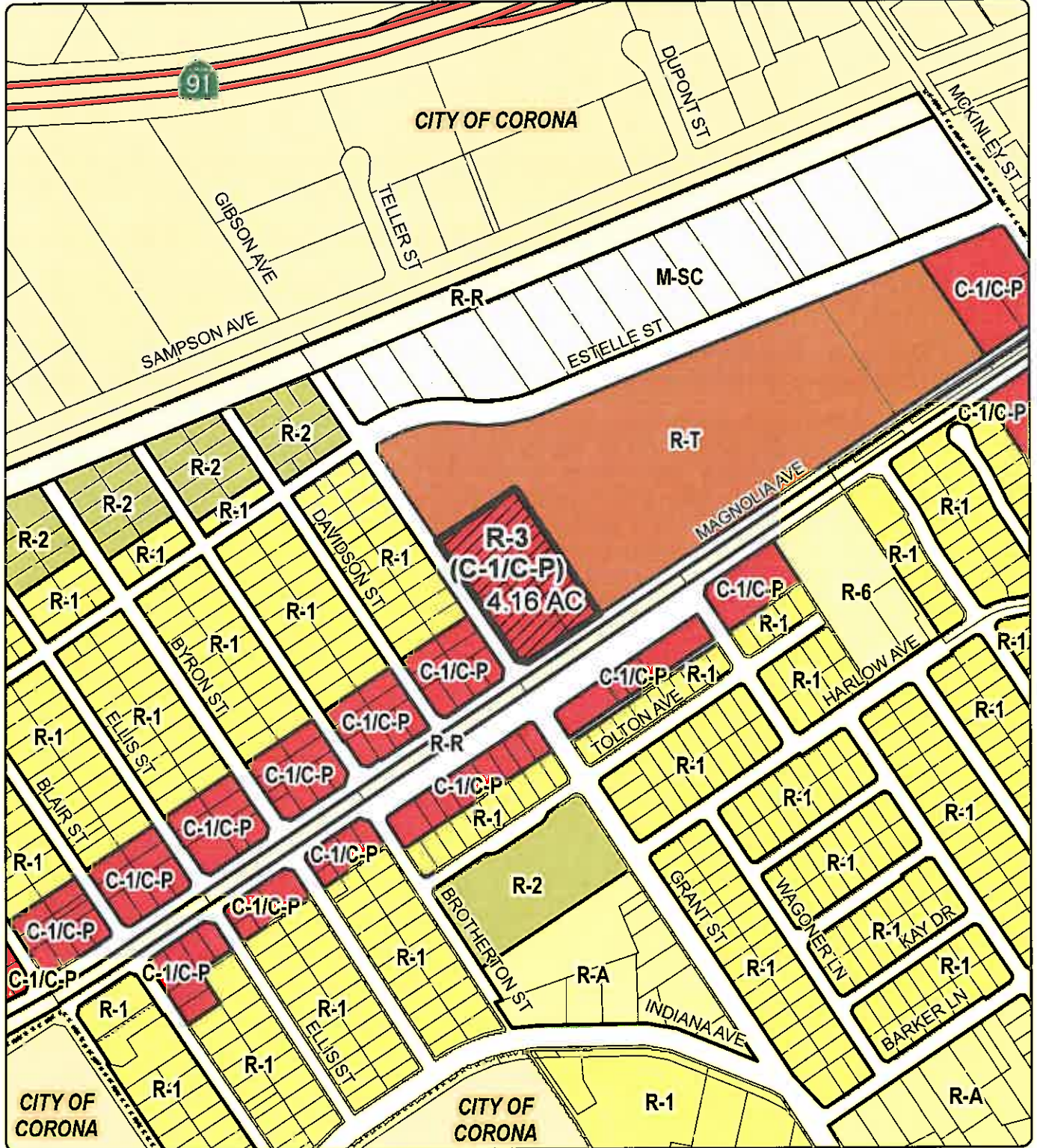
CZ07924 GPA01211 TR37169

Supervisor: Tavaglione
District 2

Date Drawn: 08/09/2017

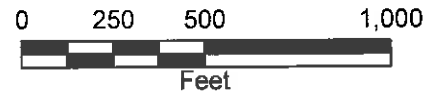
Exhibit 3

PROPOSED ZONING



Zoning Dist: East Corona

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rctlma.org>

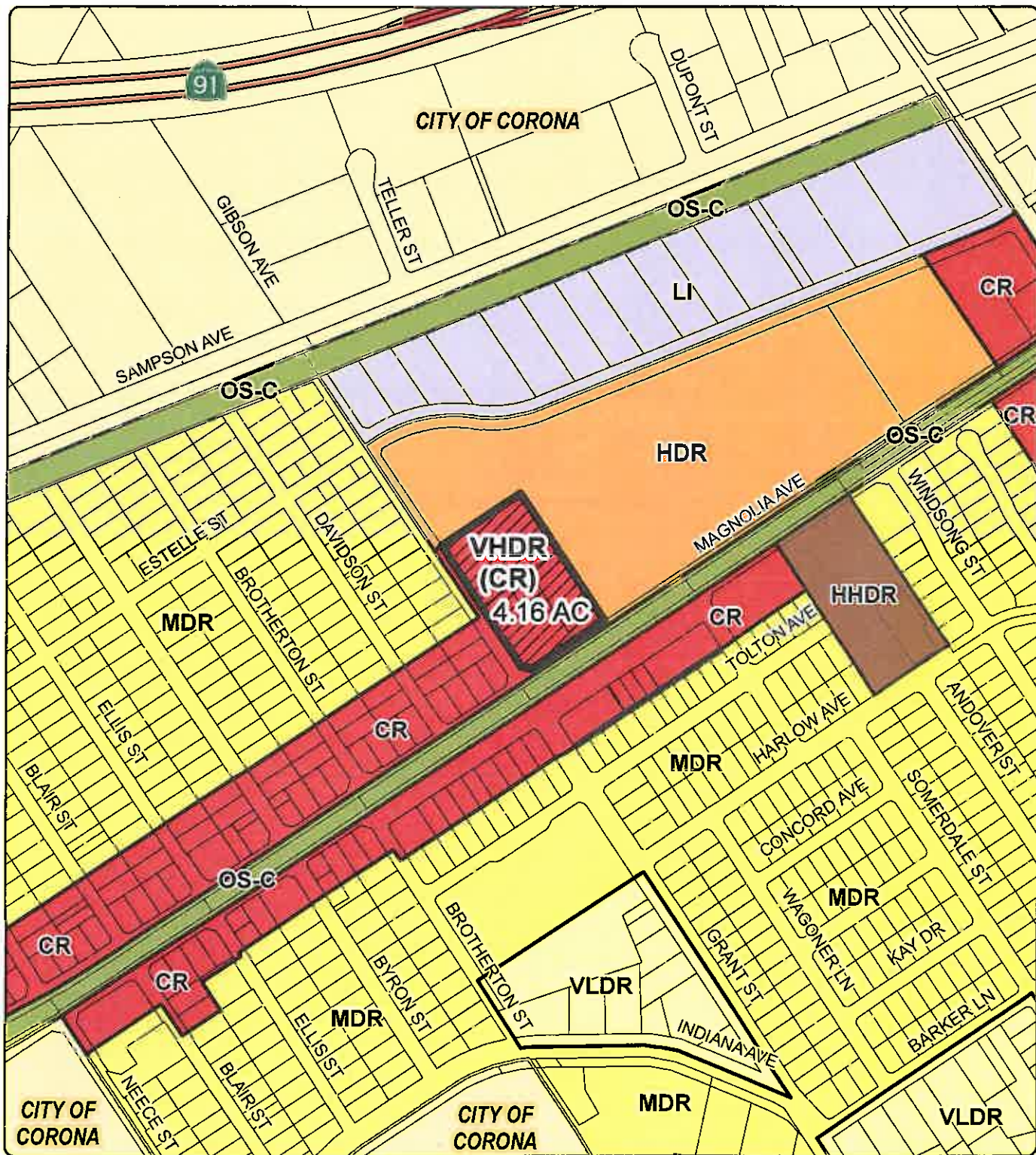
RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07924 GPA01211 TR37169

PROPOSED GENERAL PLAN

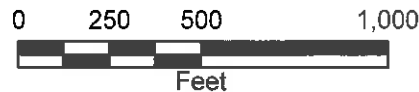
Supervisor: Tavaglione
District 2

Date Drawn: 08/09/2017
Exhibit 6

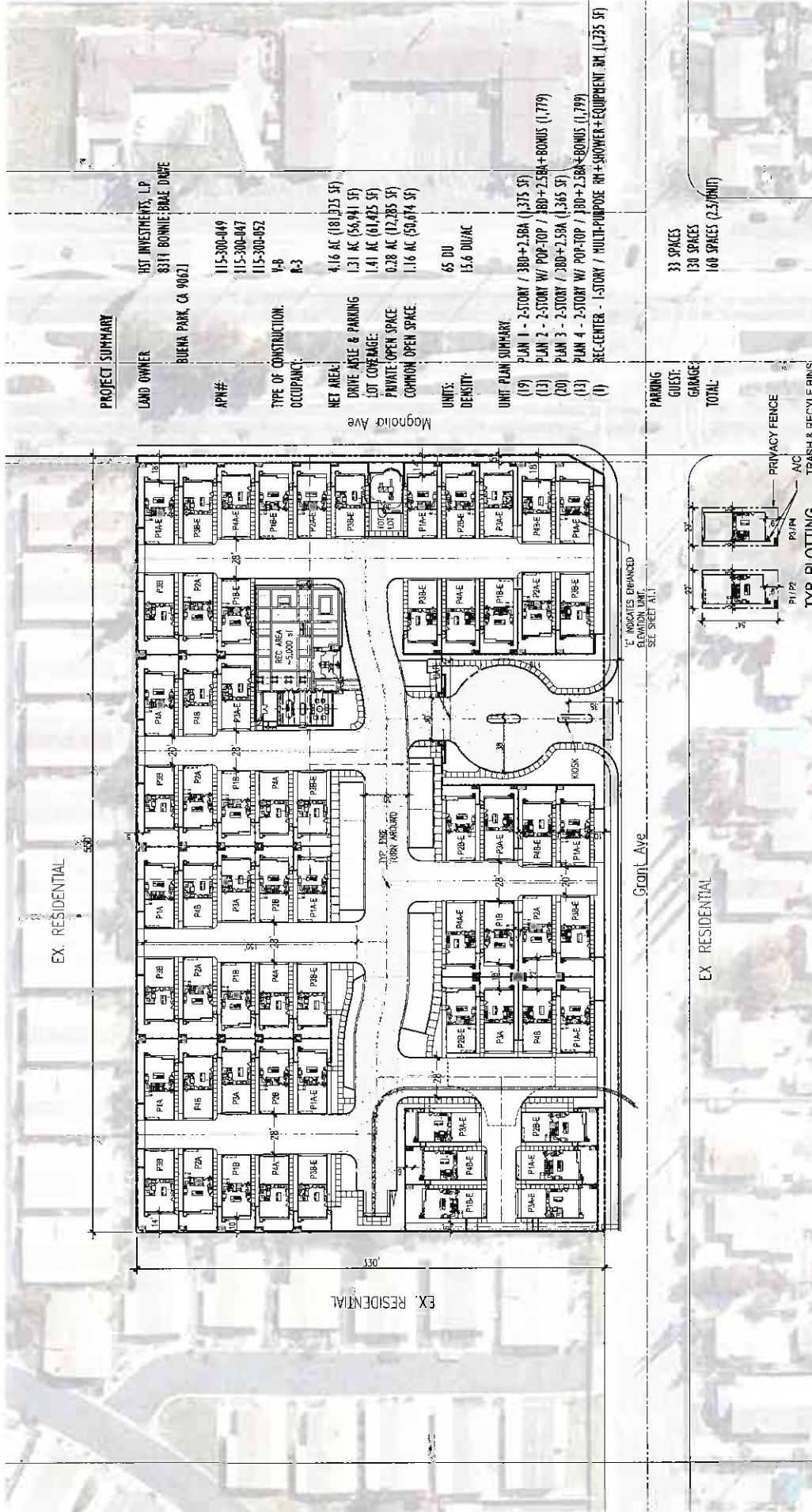


Zoning Dist: East Corona

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.ictlma.org>



PROJECT SUMMARY

LAND OWNER
 HST INVESTMENTS, LP
 8311 BONNIE BRAE DRIVE
 BUENA PARK, CA 90621

APN#
 115-300-049
 115-300-047
 115-300-052

TYPE OF CONSTRUCTION:
 4-B
OCCUPANCY:
 R-3

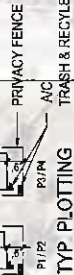
NET AREA:
 4.16 AC (181,323 SF)
DRIVE ASLE & PARKING LOT COVERAGE:
 1.31 AC (56,941 SF)
 1.41 AC (61,425 SF)
PRIVATE OPEN SPACE:
 0.28 AC (12,285 SF)
COMMON OPEN SPACE:
 1.16 AC (50,674 SF)

UNITS:
 65 DU
DENSITY:
 15.6 DU/AC

UNIT PLAN SUMMARY

- (19) PLAN 1 - 2-STORY / 380+2,584 (1,375 SF)
- (13) PLAN 2 - 2-STORY W/ POP-TOP / 380+2,584+300 (1,779 SF)
- (20) PLAN 3 - 2-STORY / 380+2,584 (1,345 SF)
- (13) PLAN 4 - 2-STORY W/ POP-TOP / 380+2,584+300 (1,799 SF)
- (1) REC-CENTER - 1-STORY / MULTI-PURPOSE RM+SHOWER+EQUIPMENT RM (1,235 SF)

PARKING
 GUEST: 33 SPACES
 GARAGE: 130 SPACES
 TOTAL: 160 SPACES (2.3/UNIT)



SCALE: 1" = 10'-0"

SITE PLAN

AI.0



KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

CORONA, CA
 30102-1
 10/15/10
 Jmccartney



Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248



planet home living

SHEET INDEX:

ARCHITECTURAL:

TITLE SHEET

- A01 CONCEPTUAL STREET SCENE ELEVATIONS
- A02 CONCEPTUAL STREET SCENE ELEVATIONS ADJACENT NEIGHBOR
- A10 SITE PLAN
- A11 ENHANCED EXTERIOR ELEVATIONS KEY
- A20 PLAN 1 - FLOOR PLANS
- A21 PLAN 1 - EXTERIOR FRONT ELEVATION
- A22 PLAN 1A - ENHANCED EXTERIOR ELEVATIONS
- A23 PLAN 1B - EXTERIOR ELEVATIONS
- A24 PLAN 1C - EXTERIOR ELEVATIONS
- A25 PLAN 1B - ENHANCED EXTERIOR ELEVATIONS
- A30 PLAN 2 - FLOOR PLANS
- A31 PLAN 2 - EXTERIOR FRONT ELEVATION
- A32 PLAN 2A - ENHANCED EXTERIOR ELEVATIONS
- A33 PLAN 2A - ENHANCED EXTERIOR ELEVATIONS
- A34 PLAN 2B - EXTERIOR ELEVATIONS
- A35 PLAN 2B - ENHANCED EXTERIOR ELEVATIONS
- A40 PLAN 3 - FLOOR PLANS
- A41 PLAN 3 - EXTERIOR FRONT ELEVATION
- A42 PLAN 3A - EXTERIOR ELEVATIONS
- A43 PLAN 3A - ENHANCED EXTERIOR ELEVATIONS
- A44 PLAN 3B - EXTERIOR ELEVATIONS
- A45 PLAN 3B - ENHANCED EXTERIOR ELEVATIONS
- A50 PLAN 4 - FLOOR PLANS
- A51 PLAN 4 - EXTERIOR FRONT ELEVATION
- A52 PLAN 4 - EXTERIOR FRONT ELEVATION
- A53 PLAN 4A - ENHANCED EXTERIOR ELEVATIONS
- A54 PLAN 4B - EXTERIOR ELEVATIONS
- A55 PLAN 4B - ENHANCED EXTERIOR ELEVATIONS
- A60 RECREATION CENTER/POOL HOUSE - FLOOR PLANS
- A61 RECREATION CENTER/POOL HOUSE - EXTERIOR ELEVATIONS
- A62 RECREATION CENTER/POOL HOUSE - EXTERIOR ELEVATIONS

CIVIL:

- CONCEPTUAL GRADING PLAN
- CONDO PLAN

LANDSCAPE:

- L1 CONCEPTUAL LANDSCAPE PLAN
- L2 CONCEPTUAL WALL AND FENCE PLAN
- L3 SCHEMATIC PLANTING PLAN



DEVELOPER:

PLANET HOME LIVING
 1451 QUAIL ST., SU. 204
 NEWPORT BEACH, CA 92660
 949.208.7248
 CONTACT: PATRIC LYNAM

ARCHITECT:

KTGY GROUP
 17311 VON KARMAN AVE.
 IRVINE, CA 92614
 TEL. 949.851.2133
 CONTACT: ALAN SCALES

CIVIL:

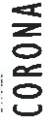
ADKAN ENGINEERS
 6875 AIRPORT DRIVE
 RIVERSIDE, CA 92504
 TEL. 951.688.0241
 CONTACT: CECILIA WEBB

LANDSCAPE:

RGB DESIGN GROUP
 LANDSCAPE ARCHITECTURE/PLANNING
 3185 C1 AIRWAY AVE.
 COSTA MESA, CA 92626
 TEL. 714.545.2898
 CONTACT: JEFF KRAUS

Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

planet home living

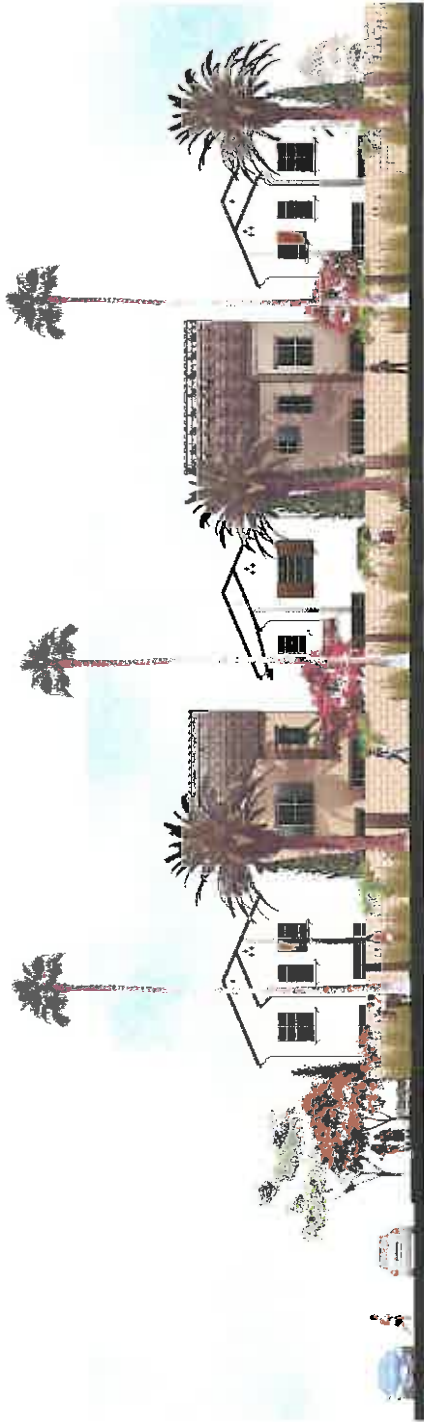


CORONA, CA
 K:\09-17-10\110
 jared@ktyg.com

2017-03-11



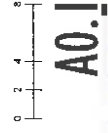
KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



MAGNOLIA AVENUE ELEVATION



GRANT AVENUE/MAIN GATE ELEVATION



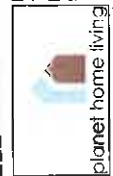
KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

CONCEPTUAL STREET SCENES

CORONA, CA
 R/S # 2015-010
 Jurisdiction #

2015-07-21

CORONA



Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248



MAGNOLIA AVENUE ELEVATION - ADJACENT NEIGHBORS



GRANT AVENUE - ADJACENT NEIGHBORS

CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248

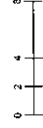


CORONA, CA
RPO # 7015410
jurisdiction #

2018-021

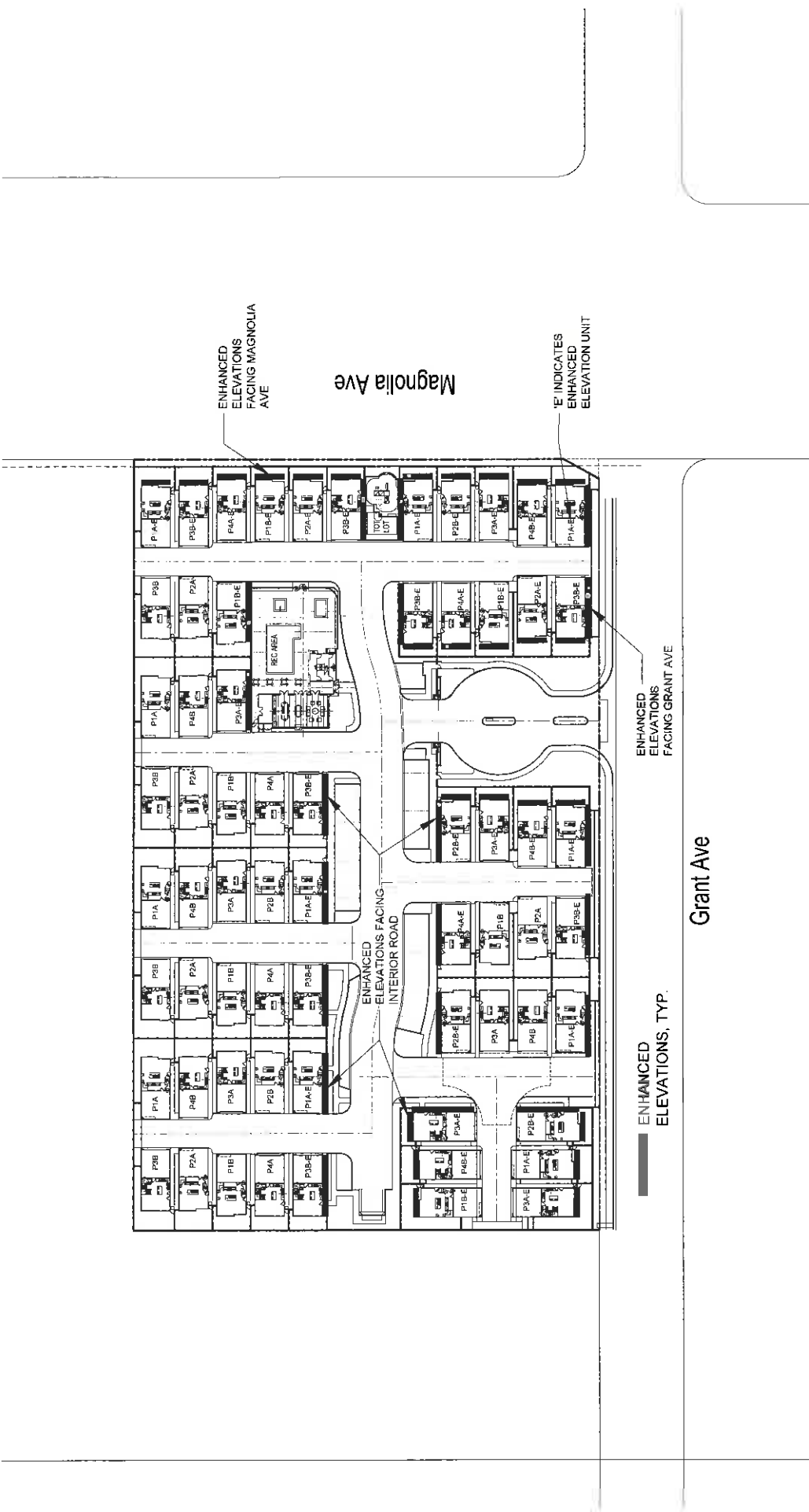
CONCEPTUAL STREET SCENES - ADJACENT NEIGHBORS

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A0.2





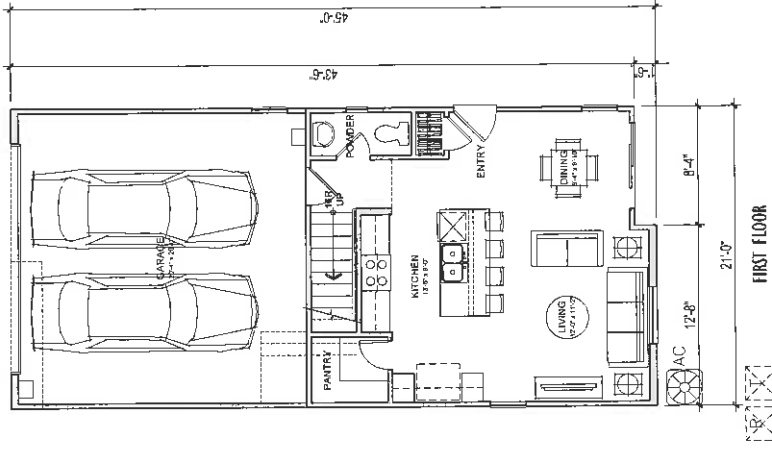
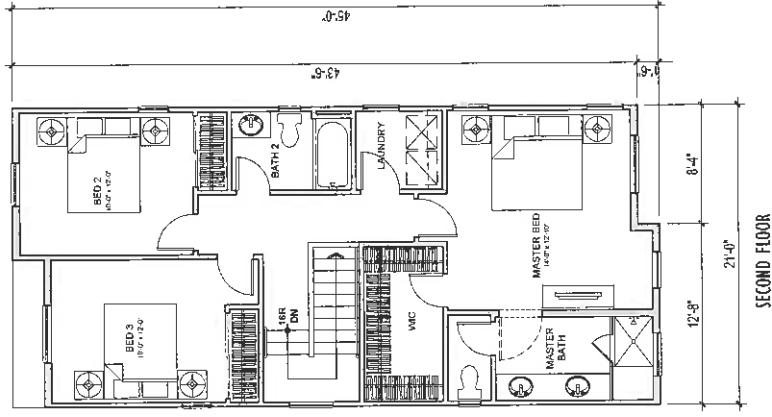
ENHANCED EXTERIOR ELEVATIONS KEY

KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

CORONA, CA
 NXP # 2015-010
 Junction #

Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

planet home living



AREA	AREA	PERCENTAGE
AREA 1 (GROSS SQUARE FOOTAGE)	4,500.00	100.00%
AREA 2 (GROSS SQUARE FOOTAGE)	2,500.00	55.56%
AREA 3 (GROSS SQUARE FOOTAGE)	2,000.00	44.44%
TOTAL DWELLING	7,000.00	155.56%
GARAGE	4,000.00	88.89%

0 1 2 4 8

A2.0



KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 kgy.com

PLAN I FLOOR PLANS

CORONA, CA
 007 H 2615 010
 2013.02.21
 Project #

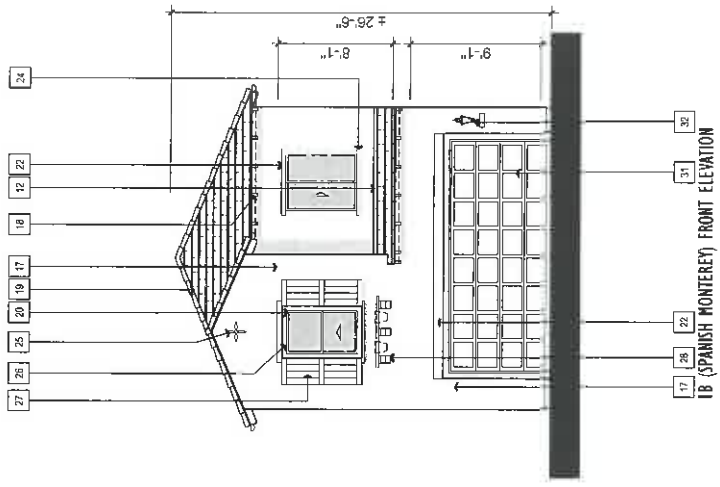


Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248



B - MATERIAL LEGEND

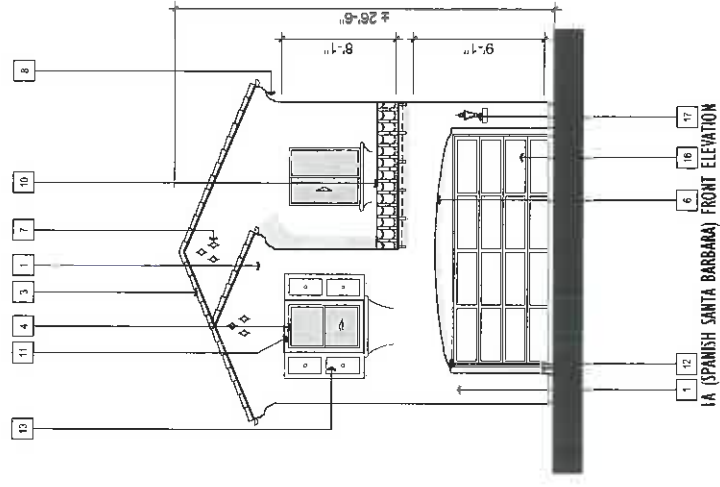
17	STUCCO LIGHT SAND FINISH
18	STUCCO CORBEL
19	LOW PROFILE CONCRETE ROOF TILE
20	VINYL WINDOW
21	EXPOSED WOOD TRUSS RAFTERS
22	STUCCO ARCH
23	FRAMING STUDS/STUCCO LABEL IN VIEW
24	STUCCO SHIP LAP SILL
25	FRAMING STUDS (FORM) FINISHED W/WOOD GRAY
26	STUCCO SCALLOPED GILL SIM
27	STUCCO VEEBEE AT WINDOW
28	STUCCO SHIP LAP CORNER
29	DECORATIVE FRAMING AS SHUTTER
30	REGULATED FRONT DOOR
31	STUCCO-CAMPER CORNER SURROUND
32	METAL SECTIONAL GARAGE DOOR
33	REGULATED 6 FT. 11" TYPICAL ADDRESS LETTER
34	WROUGHT IRON RAILS WITH SPINDLES
35	BRASS DOOR KNOB WITH SPINDLES
36	BRASS DOOR KNOB WITH SPINDLES
37	BRASS DOOR KNOB WITH SPINDLES



1B (SPANISH MONTEREY) FRONT ELEVATION

A - MATERIAL LEGEND

1	STUCCO LIGHT SAND FINISH
2	STUCCO CORBEL
3	LOW PROFILE CONCRETE ROOF TILE
4	VINYL WINDOW
5	EXPOSED WOOD TRUSS RAFTERS
6	STUCCO ARCH
7	FRAMING STUDS/STUCCO LABEL IN VIEW
8	STUCCO SHIP LAP SILL
9	FRAMING STUDS (FORM) FINISHED W/WOOD GRAY
10	STUCCO SCALLOPED GILL SIM
11	STUCCO VEEBEE AT WINDOW
12	STUCCO SHIP LAP CORNER
13	DECORATIVE FRAMING AS SHUTTER
14	REGULATED FRONT DOOR
15	STUCCO-CAMPER CORNER SURROUND
16	METAL SECTIONAL GARAGE DOOR
17	REGULATED 6 FT. 11" TYPICAL ADDRESS LETTER
18	WROUGHT IRON RAILS WITH SPINDLES
19	BRASS DOOR KNOB WITH SPINDLES
20	BRASS DOOR KNOB WITH SPINDLES
21	BRASS DOOR KNOB WITH SPINDLES



1A (SPANISH SANTA BARBARA) FRONT ELEVATION



KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

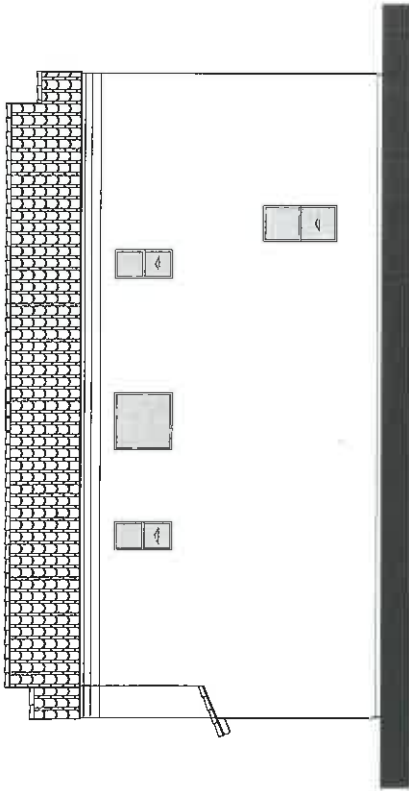
PLAN I FRONT ELEVATIONS

CORONA, CA
 3011-02-31
 10/15/10
 Justdellm #

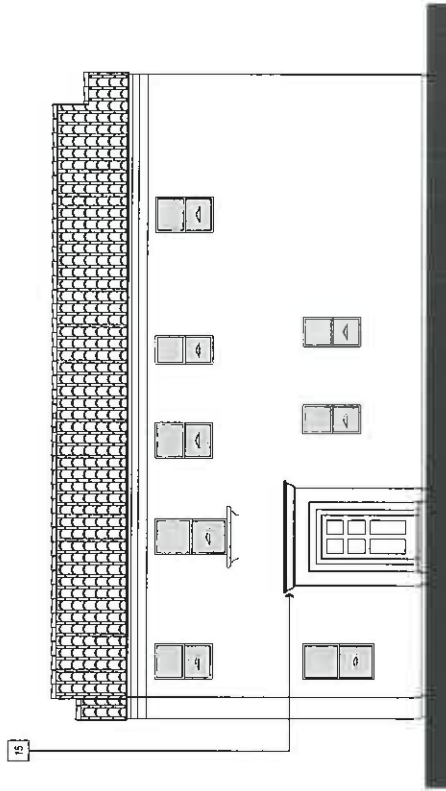


Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

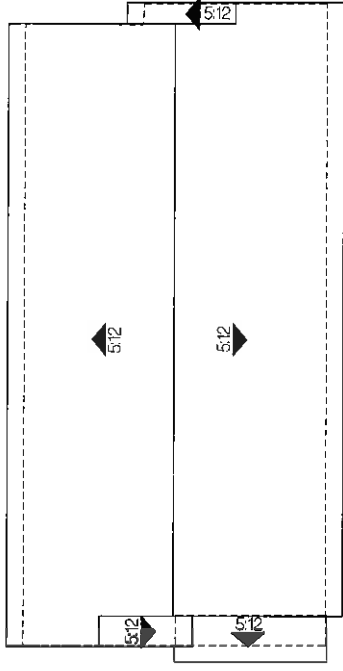




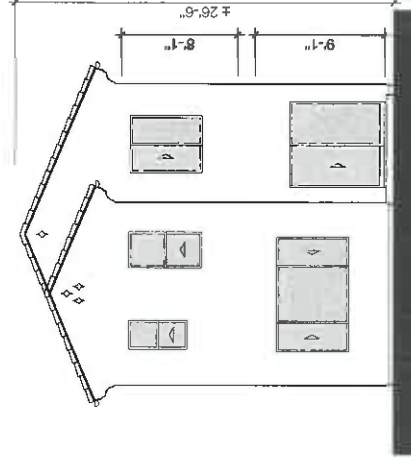
RIGHT ELEVATION



LEFT ELEVATION

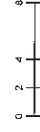


ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A2.1



PLAN 1A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A2.2



KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

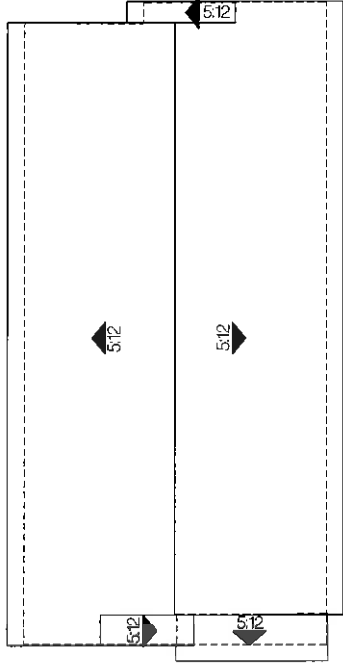
307-144-21

CORONA, CA
XREF # 201-54010
Jurisdiction #

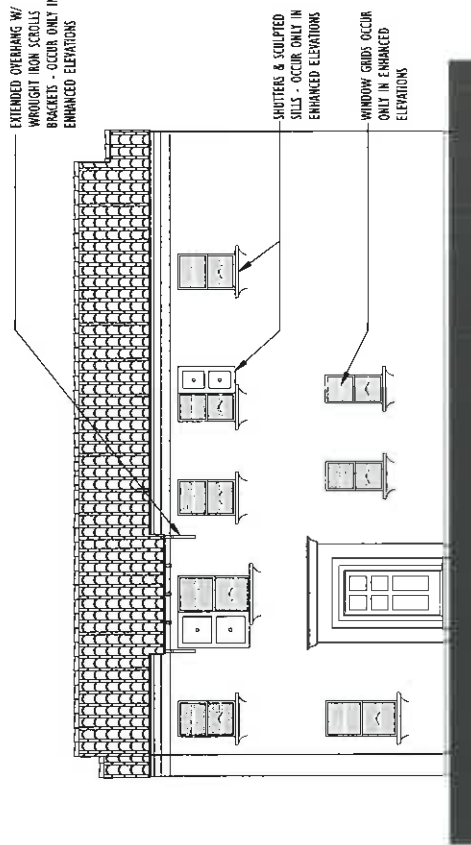


Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248

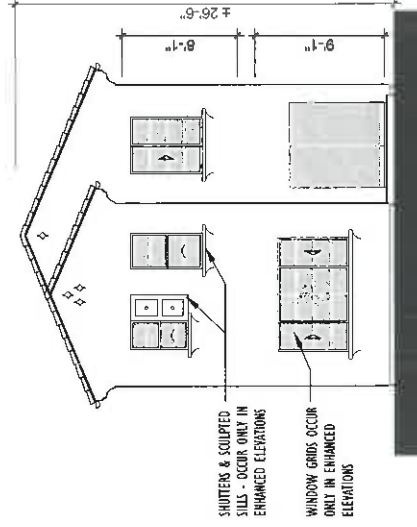




ROOF PLAN

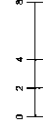


LEFT ELEVATION



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A2.1



ENHANCEMENT PLAN 1A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A2.3



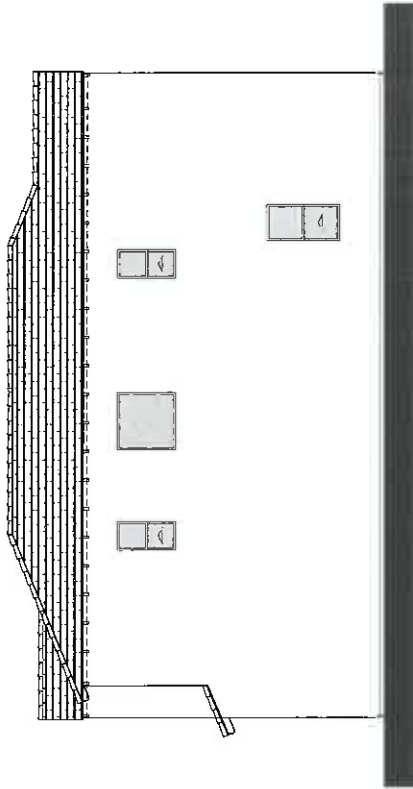
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

CORONA, CA
JOB # 2015010
JANUARY, #
201302-21

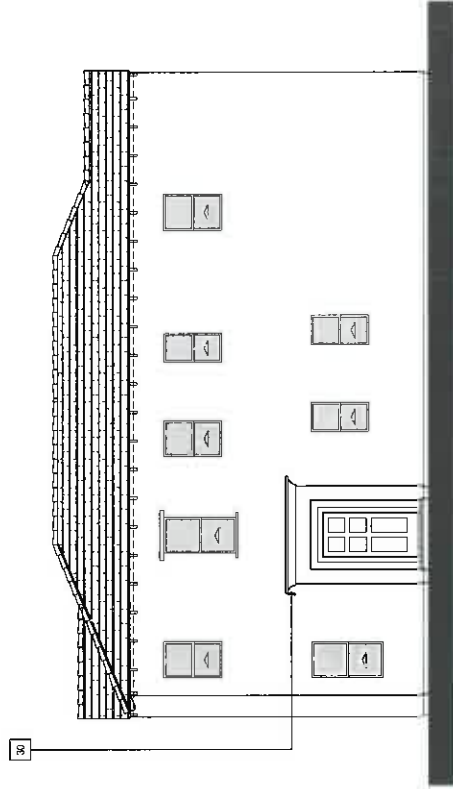
Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248



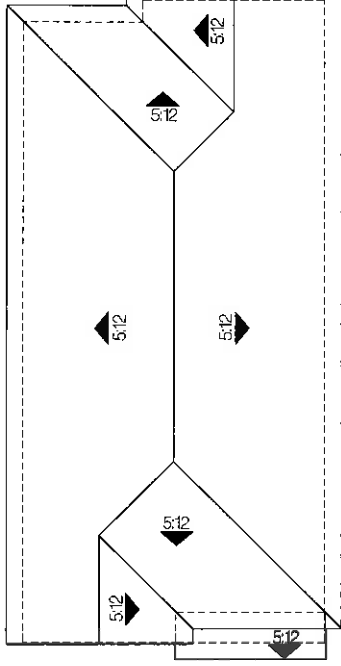
CORONA



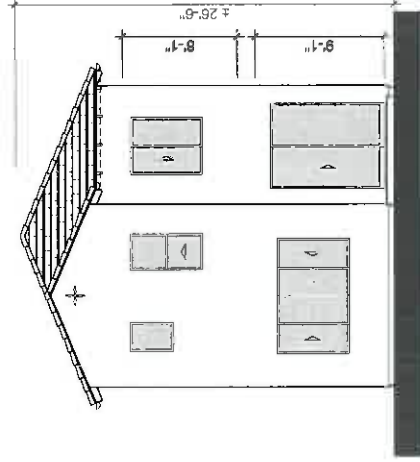
RIGHT ELEVATION



LEFT ELEVATION

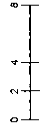


ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A2.1



A2.4



PLAN 1B (SPANISH MONTEREY) EXTERIOR ELEVATIONS

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

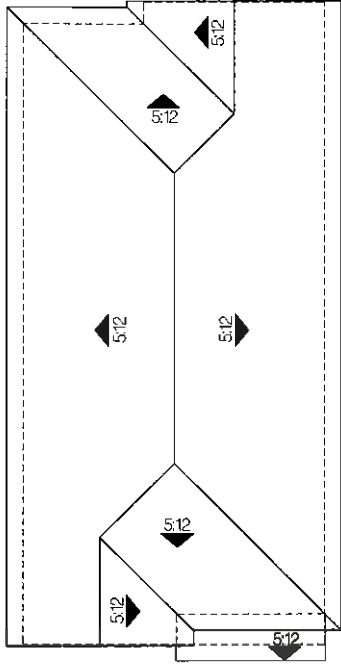
CORONA, CA
K:\P# 2015-0110
J:\drawing #

2014-02-21

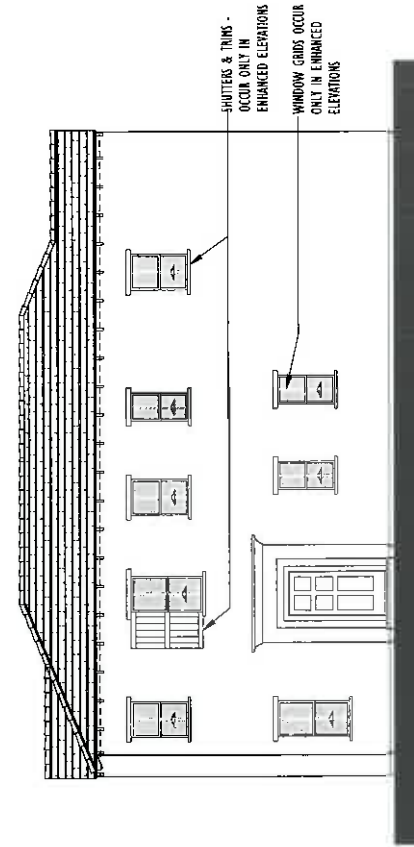
CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248

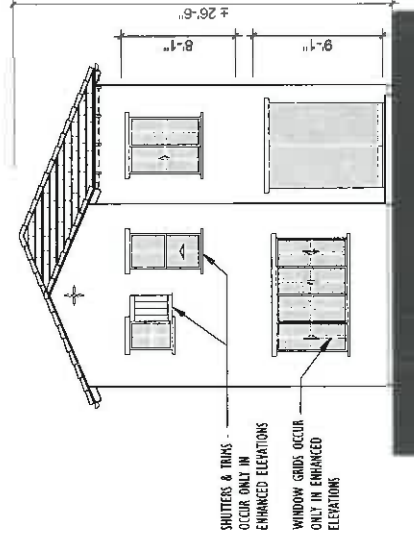




ROOF PLAN



LEFT ELEVATION



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
AZ.1

0 1 2 3 4 5
A2.5



ENHANCEMENT
PLAN 1B (SPANISH MONTEREY) EXTERIOR ELEVATIONS

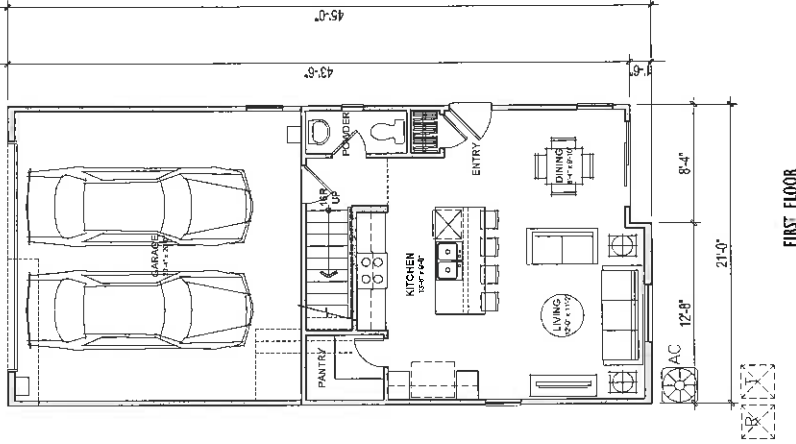
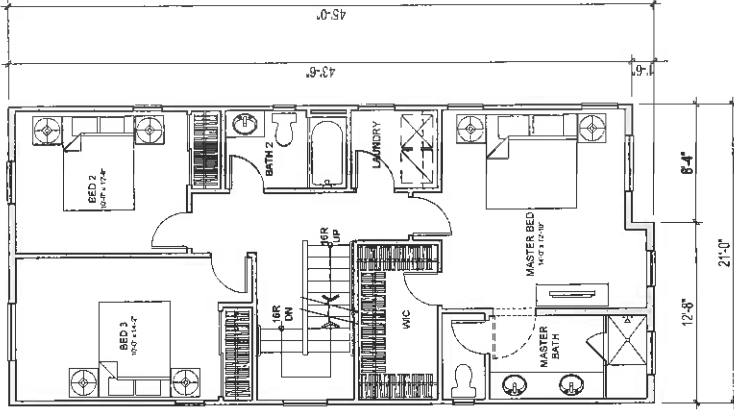
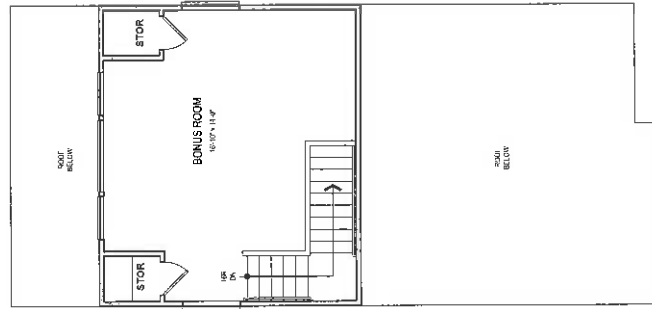
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

CORONA, CA
KTGY # 2015-010
Jurisdiction #
201-02-21

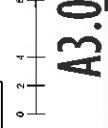


Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248





FULL FINISH FLOOR COVERING	18.50 SQ FT
FLOOR	18.50 SQ FT
NET FLOOR	18.50 SQ FT
STAIRS	37.00 SQ FT
TOTAL FLOOR AREA	55.50 SQ FT
WALLS	18.50 SQ FT



A3.0



KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

PLAN 2 FLOOR PLANS

CORONA, CA
 3017-0-21



Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-206-7248

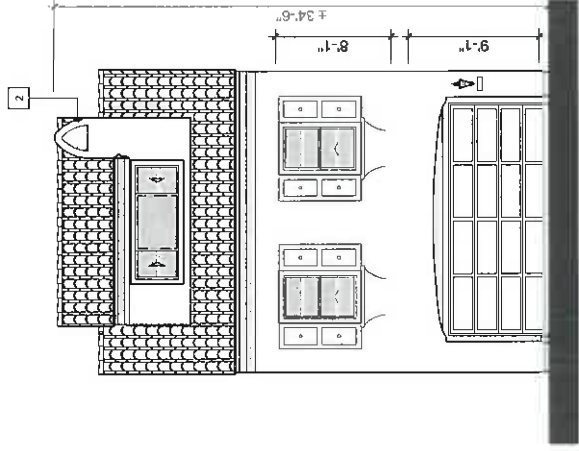


A - MATERIAL LEGEND

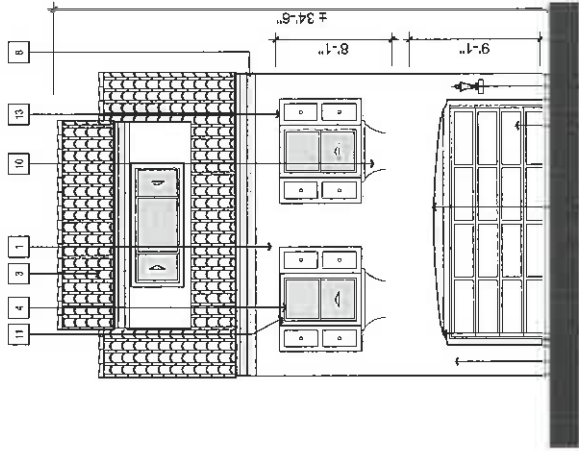
1	STUCCO LIGHT SAND FINISH
2	STUCCO PANEL
3	LOW PROFILE CONCRETE ROOF TILE
4	VINYL WINDOW
5	EXPANDED VOIR TRUSS FALS
6	STUCCO ARCH
7	PAVA RECESSED STUCCO GABLE PINE KIT
8	PAVA RECESSED STUCCO GABLE PINE KIT
9	PAVA STUCCO FOAM TRIM (ENHANCED ONLY)
10	PAVA STUCCO FOAM TRIM (ENHANCED ONLY)
11	STUCCO SCALLOPED BALL TRIM
12	STUCCO RECESSED WINDOW
13	STUCCO SHAPED CORBEL
14	RECORDITE TRUSS SHIMMER
15	RECORDITE TRUSS SHIMMER
16	RECORDITE TRUSS SHIMMER
17	STUCCO TRUSS SHIMMER
18	STUCCO TRUSS SHIMMER
19	STUCCO TRUSS SHIMMER
20	STUCCO TRUSS SHIMMER
21	STUCCO TRUSS SHIMMER
22	STUCCO TRUSS SHIMMER
23	STUCCO TRUSS SHIMMER
24	STUCCO TRUSS SHIMMER
25	STUCCO TRUSS SHIMMER
26	STUCCO TRUSS SHIMMER
27	STUCCO TRUSS SHIMMER
28	STUCCO TRUSS SHIMMER
29	STUCCO TRUSS SHIMMER
30	STUCCO TRUSS SHIMMER
31	STUCCO TRUSS SHIMMER
32	STUCCO TRUSS SHIMMER
33	STUCCO TRUSS SHIMMER
34	STUCCO TRUSS SHIMMER
35	STUCCO TRUSS SHIMMER
36	STUCCO TRUSS SHIMMER
37	STUCCO TRUSS SHIMMER
38	STUCCO TRUSS SHIMMER
39	STUCCO TRUSS SHIMMER
40	STUCCO TRUSS SHIMMER
41	STUCCO TRUSS SHIMMER
42	STUCCO TRUSS SHIMMER
43	STUCCO TRUSS SHIMMER
44	STUCCO TRUSS SHIMMER
45	STUCCO TRUSS SHIMMER
46	STUCCO TRUSS SHIMMER
47	STUCCO TRUSS SHIMMER
48	STUCCO TRUSS SHIMMER
49	STUCCO TRUSS SHIMMER
50	STUCCO TRUSS SHIMMER
51	STUCCO TRUSS SHIMMER
52	STUCCO TRUSS SHIMMER

B - MATERIAL LEGEND

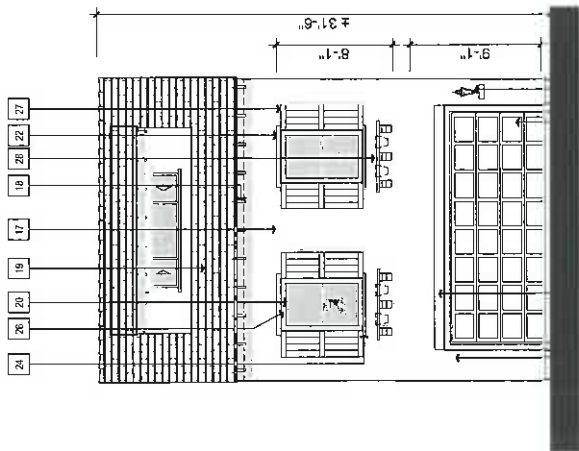
17	STUCCO LIGHT SAND FINISH
18	EXPANDED VOIR TRUSS FALS
19	PAVA CONCRETE ROOF TILE
20	VINYL WINDOW
21	PAVA RECESSED STUCCO GABLE PINE KIT
22	PAVA RECESSED STUCCO GABLE PINE KIT
23	PAVA RECESSED STUCCO GABLE PINE KIT
24	PAVA RECESSED STUCCO GABLE PINE KIT
25	PAVA RECESSED STUCCO GABLE PINE KIT
26	PAVA RECESSED STUCCO GABLE PINE KIT
27	PAVA RECESSED STUCCO GABLE PINE KIT
28	PAVA RECESSED STUCCO GABLE PINE KIT
29	PAVA RECESSED STUCCO GABLE PINE KIT
30	PAVA RECESSED STUCCO GABLE PINE KIT
31	PAVA RECESSED STUCCO GABLE PINE KIT
32	PAVA RECESSED STUCCO GABLE PINE KIT
33	PAVA RECESSED STUCCO GABLE PINE KIT
34	PAVA RECESSED STUCCO GABLE PINE KIT
35	PAVA RECESSED STUCCO GABLE PINE KIT
36	PAVA RECESSED STUCCO GABLE PINE KIT
37	PAVA RECESSED STUCCO GABLE PINE KIT
38	PAVA RECESSED STUCCO GABLE PINE KIT
39	PAVA RECESSED STUCCO GABLE PINE KIT
40	PAVA RECESSED STUCCO GABLE PINE KIT
41	PAVA RECESSED STUCCO GABLE PINE KIT
42	PAVA RECESSED STUCCO GABLE PINE KIT
43	PAVA RECESSED STUCCO GABLE PINE KIT
44	PAVA RECESSED STUCCO GABLE PINE KIT
45	PAVA RECESSED STUCCO GABLE PINE KIT
46	PAVA RECESSED STUCCO GABLE PINE KIT
47	PAVA RECESSED STUCCO GABLE PINE KIT
48	PAVA RECESSED STUCCO GABLE PINE KIT
49	PAVA RECESSED STUCCO GABLE PINE KIT
50	PAVA RECESSED STUCCO GABLE PINE KIT
51	PAVA RECESSED STUCCO GABLE PINE KIT
52	PAVA RECESSED STUCCO GABLE PINE KIT



2A (SPANISH SANTA BARBARA) FRONT ELEVATION ENHANCEMENT



2A (SPANISH SANTA BARBARA) FRONT ELEVATION



2B (SPANISH MONTEREY) FRONT ELEVATION

0 2 4 8
A3.J



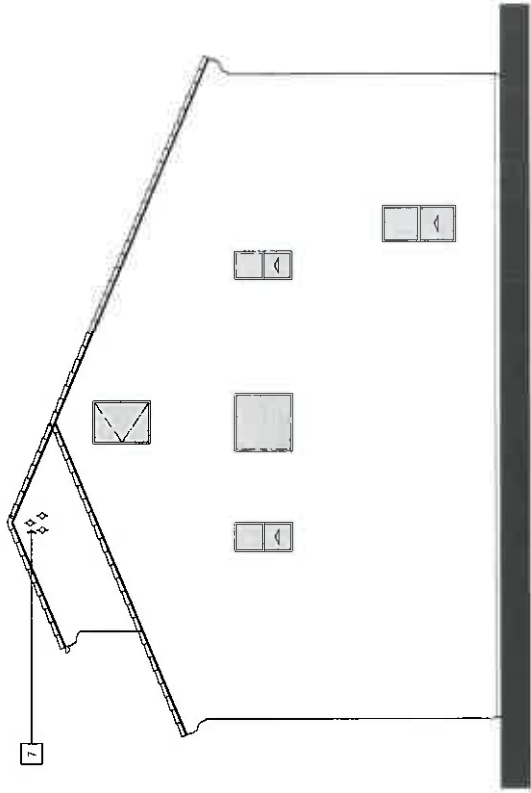
KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

PLAN 2 FRONT ELEVATIONS

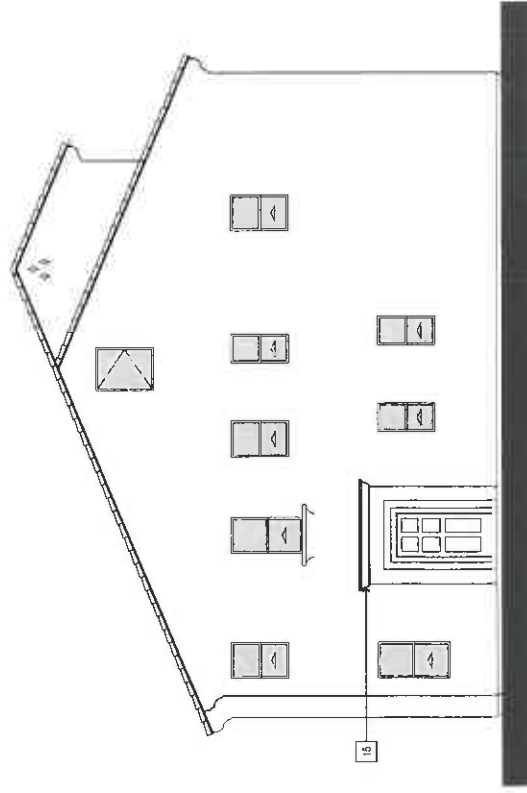
CORONA, CA
 SEP 26 2013 10:10
 201308-21
 Junction #

Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

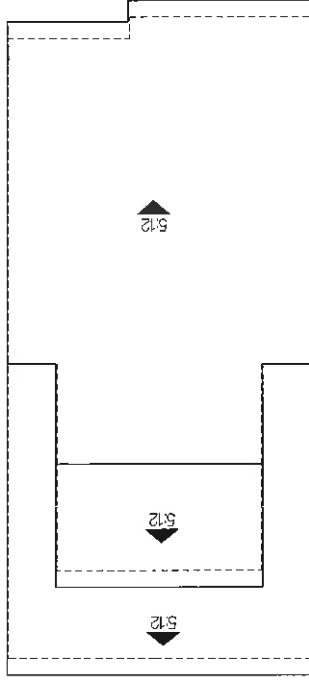




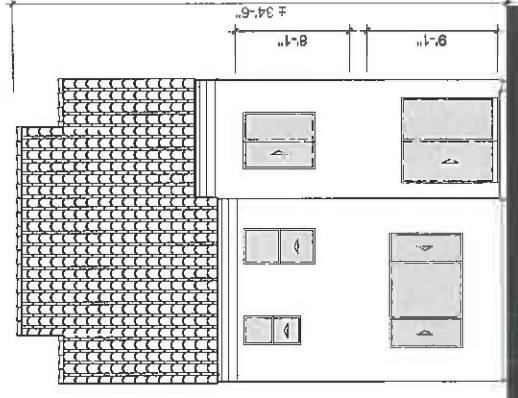
RIGHT ELEVATION



LEFT ELEVATION



ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A3.1



PLAN 2A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A3.2

CORONA, CA
 JOB # 2015-0110
 Jobstation #

KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



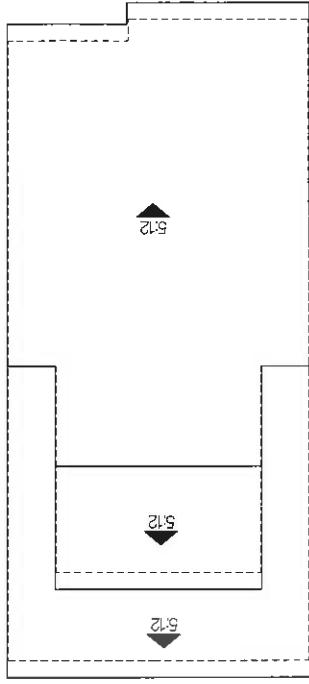
301-0937



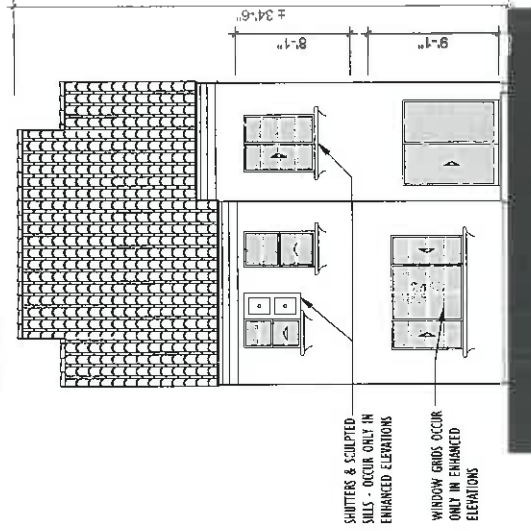
Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

planet home living





ROOF PLAN



SHUTTERS & SCULPTED SILLS - OCCUR ONLY IN ENHANCED ELEVATIONS

WINDOW GRIDS OCCUR ONLY IN ENHANCED ELEVATIONS

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A3.1

REAR ELEVATION

ENHANCEMENT

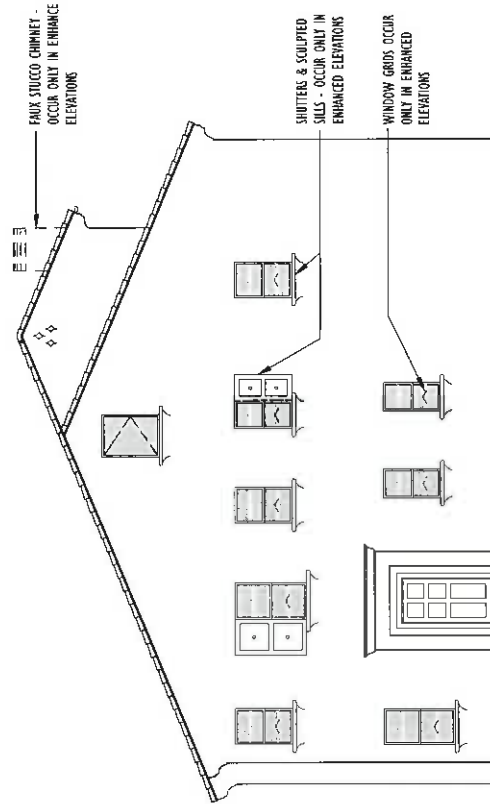
PLAN 2A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A3.3



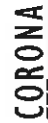
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

CORONA, CA

KTG # 2015-010
Revision #
2015-02-1

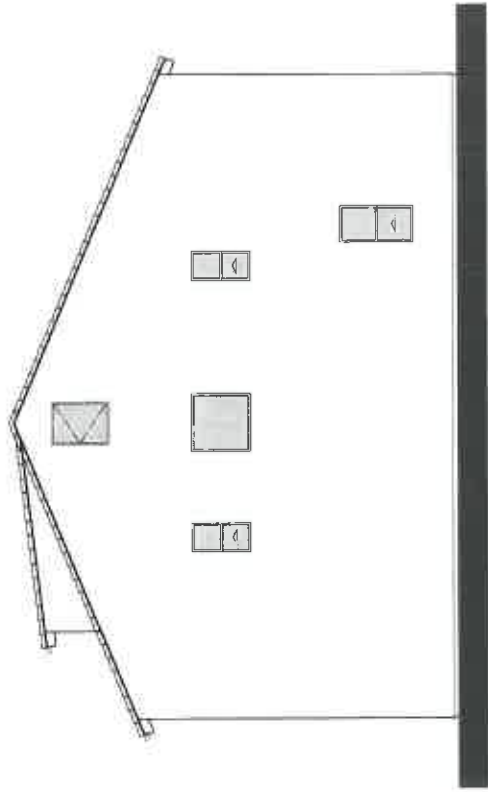


LEFT ELEVATION

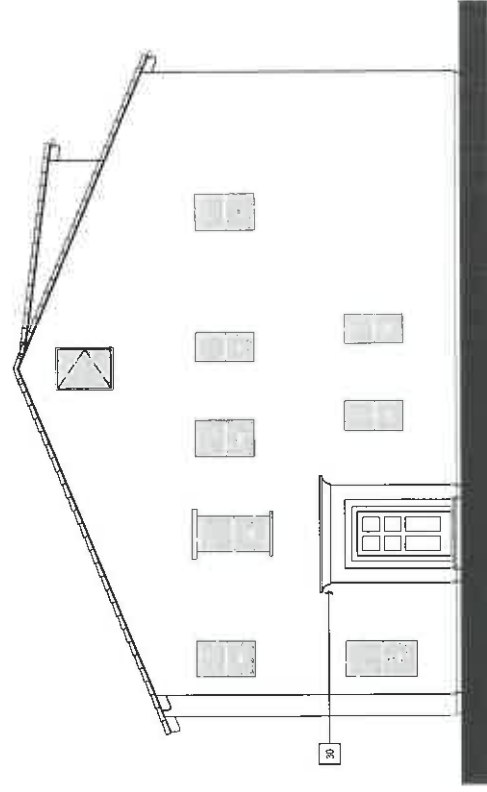


Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248

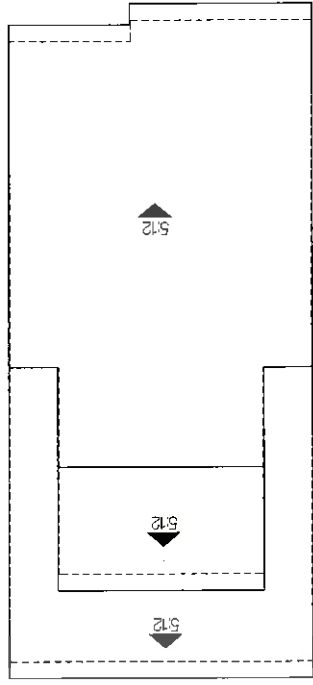




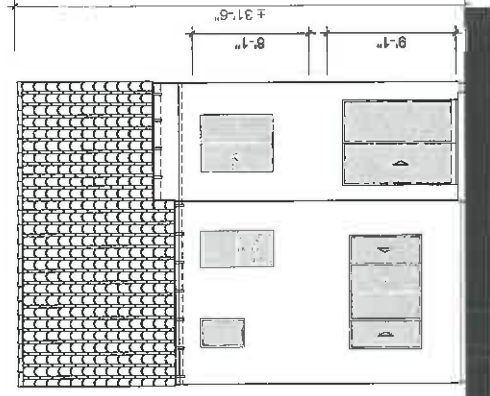
RIGHT ELEVATION



LEFT ELEVATION

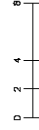


ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A3.1



A3.4



KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

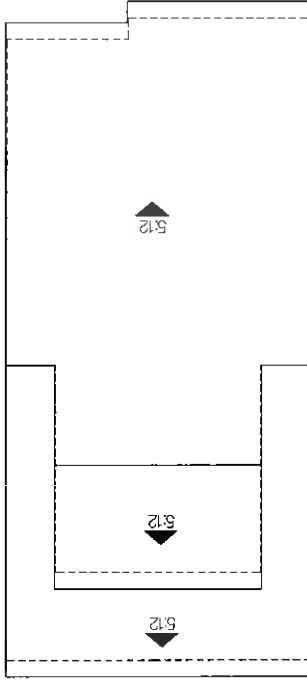
CORONA, CA
JOB # 20150110
PROJECT #

20170421

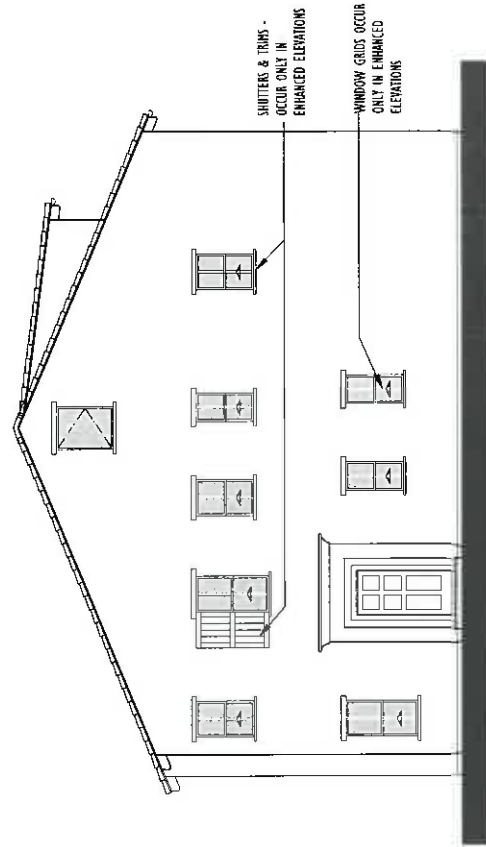
CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248

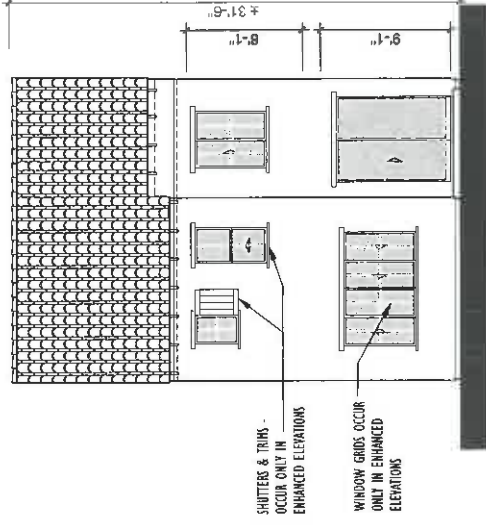




ROOF PLAN

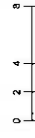


LEFT ELEVATION



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A3.1



A3.5



ENHANCEMENT
PLAN 2B (SPANISH MONTEREY) EXTERIOR ELEVATIONS

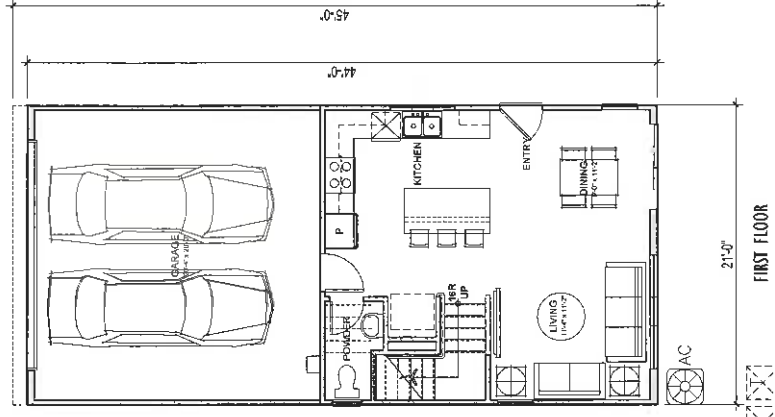
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

CORONA, CA
KIG # 2015010
Jambon #
201-09-21

CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248





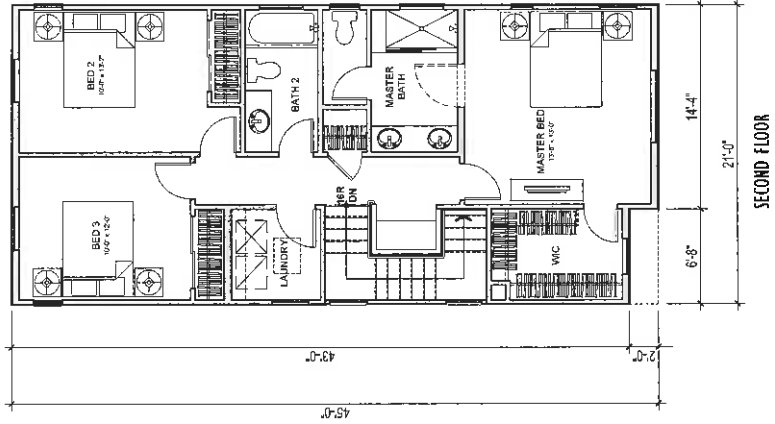
FINISH GROSS SQUARE FOOTAGE	3,272 SQ. FT.
NET AREA	2,972 SQ. FT.
WALL THICKNESS	208 SQ. FT.
TOTAL ENVELOPE	3,180 SQ. FT.
STORAGE	4,025 SQ. FT.

0 2 4 6

A4.0



KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



PLAN 3 FLOOR PLANS

CORONA, CA
 20180318
 20180318
 Jurisdiction #

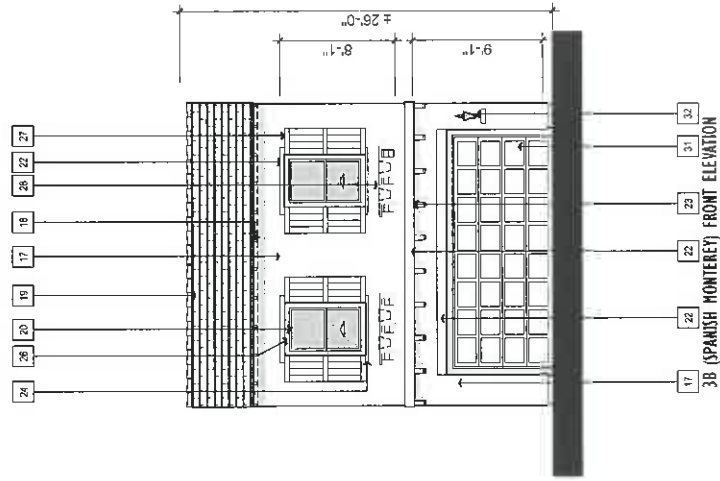


Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

planet home living

B - MATERIAL LEGEND

17	SPALL LIGHT SAND FINISH
18	SPALL CONCRETE
19	EXPOSED WOOD TRUSS TAIL
20	FLAT CONCRETE ROOF TILE
21	SPRAL WOODKAY
22	BIRD RESISTANT FAN/ROOF PANEL
23	FRESH CEMENT 1/2 INCH
24	PAVILION/STAIR
25	PERGOLA/FAN/ROOF PANEL
26	FAN/ROOF PANEL
27	FAN/ROOF PANEL
28	STUCCO/STUCCO/STUCCO
29	STUCCO/STUCCO/STUCCO
30	STUCCO/STUCCO/STUCCO
31	STUCCO/STUCCO/STUCCO
32	STUCCO/STUCCO/STUCCO
33	STUCCO/STUCCO/STUCCO
34	STUCCO/STUCCO/STUCCO
35	STUCCO/STUCCO/STUCCO
36	STUCCO/STUCCO/STUCCO
37	STUCCO/STUCCO/STUCCO
38	STUCCO/STUCCO/STUCCO
39	STUCCO/STUCCO/STUCCO
40	STUCCO/STUCCO/STUCCO
41	STUCCO/STUCCO/STUCCO
42	STUCCO/STUCCO/STUCCO
43	STUCCO/STUCCO/STUCCO
44	STUCCO/STUCCO/STUCCO
45	STUCCO/STUCCO/STUCCO
46	STUCCO/STUCCO/STUCCO
47	STUCCO/STUCCO/STUCCO
48	STUCCO/STUCCO/STUCCO
49	STUCCO/STUCCO/STUCCO
50	STUCCO/STUCCO/STUCCO
51	STUCCO/STUCCO/STUCCO
52	STUCCO/STUCCO/STUCCO
53	STUCCO/STUCCO/STUCCO
54	STUCCO/STUCCO/STUCCO
55	STUCCO/STUCCO/STUCCO
56	STUCCO/STUCCO/STUCCO
57	STUCCO/STUCCO/STUCCO
58	STUCCO/STUCCO/STUCCO
59	STUCCO/STUCCO/STUCCO
60	STUCCO/STUCCO/STUCCO
61	STUCCO/STUCCO/STUCCO
62	STUCCO/STUCCO/STUCCO
63	STUCCO/STUCCO/STUCCO
64	STUCCO/STUCCO/STUCCO
65	STUCCO/STUCCO/STUCCO
66	STUCCO/STUCCO/STUCCO
67	STUCCO/STUCCO/STUCCO
68	STUCCO/STUCCO/STUCCO
69	STUCCO/STUCCO/STUCCO
70	STUCCO/STUCCO/STUCCO
71	STUCCO/STUCCO/STUCCO
72	STUCCO/STUCCO/STUCCO
73	STUCCO/STUCCO/STUCCO
74	STUCCO/STUCCO/STUCCO
75	STUCCO/STUCCO/STUCCO
76	STUCCO/STUCCO/STUCCO
77	STUCCO/STUCCO/STUCCO
78	STUCCO/STUCCO/STUCCO
79	STUCCO/STUCCO/STUCCO
80	STUCCO/STUCCO/STUCCO
81	STUCCO/STUCCO/STUCCO
82	STUCCO/STUCCO/STUCCO
83	STUCCO/STUCCO/STUCCO
84	STUCCO/STUCCO/STUCCO
85	STUCCO/STUCCO/STUCCO
86	STUCCO/STUCCO/STUCCO
87	STUCCO/STUCCO/STUCCO
88	STUCCO/STUCCO/STUCCO
89	STUCCO/STUCCO/STUCCO
90	STUCCO/STUCCO/STUCCO
91	STUCCO/STUCCO/STUCCO
92	STUCCO/STUCCO/STUCCO
93	STUCCO/STUCCO/STUCCO
94	STUCCO/STUCCO/STUCCO
95	STUCCO/STUCCO/STUCCO
96	STUCCO/STUCCO/STUCCO
97	STUCCO/STUCCO/STUCCO
98	STUCCO/STUCCO/STUCCO
99	STUCCO/STUCCO/STUCCO
100	STUCCO/STUCCO/STUCCO

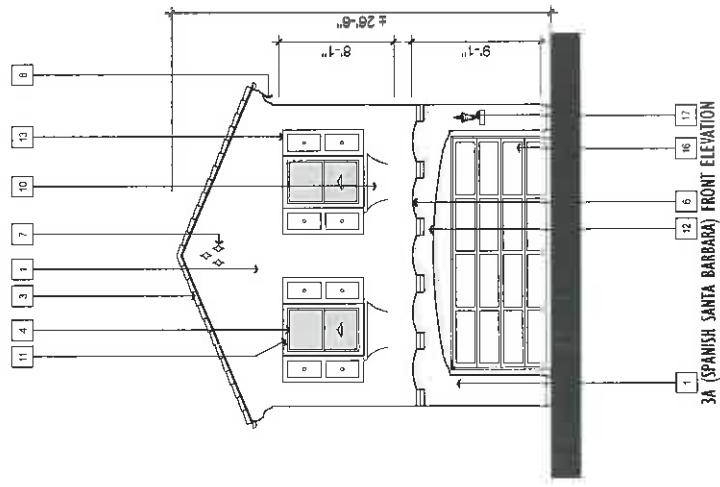


Planet Home Living
 1451 Quail St, Suite 204
 Newport Beach, CA 92660
 949-208-7246



A - MATERIAL LEGEND

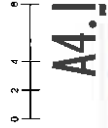
1	STUCCO/STUCCO/STUCCO
2	STUCCO/STUCCO
3	LOW PROFILE CONCRETE ROOF TILE
4	WIRE WALKWAY
5	EXPOSED WOOD TRUSS TAILS
6	STUCCO/STUCCO
7	PAVILION/STAIR/GABLE/ROOF
8	STUCCO/STUCCO/STUCCO
9	FRONT/ROOF/FAN/STAIR/STAIRCASE ONLY
10	STUCCO/STUCCO/STUCCO
11	STUCCO/STUCCO/STUCCO
12	STUCCO/STUCCO/STUCCO
13	STUCCO/STUCCO/STUCCO
14	STUCCO/STUCCO/STUCCO
15	STUCCO/STUCCO/STUCCO
16	STUCCO/STUCCO/STUCCO
17	STUCCO/STUCCO/STUCCO
18	STUCCO/STUCCO/STUCCO
19	STUCCO/STUCCO/STUCCO
20	STUCCO/STUCCO/STUCCO
21	STUCCO/STUCCO/STUCCO
22	STUCCO/STUCCO/STUCCO
23	STUCCO/STUCCO/STUCCO
24	STUCCO/STUCCO/STUCCO
25	STUCCO/STUCCO/STUCCO
26	STUCCO/STUCCO/STUCCO
27	STUCCO/STUCCO/STUCCO
28	STUCCO/STUCCO/STUCCO
29	STUCCO/STUCCO/STUCCO
30	STUCCO/STUCCO/STUCCO
31	STUCCO/STUCCO/STUCCO
32	STUCCO/STUCCO/STUCCO
33	STUCCO/STUCCO/STUCCO
34	STUCCO/STUCCO/STUCCO
35	STUCCO/STUCCO/STUCCO
36	STUCCO/STUCCO/STUCCO
37	STUCCO/STUCCO/STUCCO
38	STUCCO/STUCCO/STUCCO
39	STUCCO/STUCCO/STUCCO
40	STUCCO/STUCCO/STUCCO
41	STUCCO/STUCCO/STUCCO
42	STUCCO/STUCCO/STUCCO
43	STUCCO/STUCCO/STUCCO
44	STUCCO/STUCCO/STUCCO
45	STUCCO/STUCCO/STUCCO
46	STUCCO/STUCCO/STUCCO
47	STUCCO/STUCCO/STUCCO
48	STUCCO/STUCCO/STUCCO
49	STUCCO/STUCCO/STUCCO
50	STUCCO/STUCCO/STUCCO
51	STUCCO/STUCCO/STUCCO
52	STUCCO/STUCCO/STUCCO
53	STUCCO/STUCCO/STUCCO
54	STUCCO/STUCCO/STUCCO
55	STUCCO/STUCCO/STUCCO
56	STUCCO/STUCCO/STUCCO
57	STUCCO/STUCCO/STUCCO
58	STUCCO/STUCCO/STUCCO
59	STUCCO/STUCCO/STUCCO
60	STUCCO/STUCCO/STUCCO
61	STUCCO/STUCCO/STUCCO
62	STUCCO/STUCCO/STUCCO
63	STUCCO/STUCCO/STUCCO
64	STUCCO/STUCCO/STUCCO
65	STUCCO/STUCCO/STUCCO
66	STUCCO/STUCCO/STUCCO
67	STUCCO/STUCCO/STUCCO
68	STUCCO/STUCCO/STUCCO
69	STUCCO/STUCCO/STUCCO
70	STUCCO/STUCCO/STUCCO
71	STUCCO/STUCCO/STUCCO
72	STUCCO/STUCCO/STUCCO
73	STUCCO/STUCCO/STUCCO
74	STUCCO/STUCCO/STUCCO
75	STUCCO/STUCCO/STUCCO
76	STUCCO/STUCCO/STUCCO
77	STUCCO/STUCCO/STUCCO
78	STUCCO/STUCCO/STUCCO
79	STUCCO/STUCCO/STUCCO
80	STUCCO/STUCCO/STUCCO
81	STUCCO/STUCCO/STUCCO
82	STUCCO/STUCCO/STUCCO
83	STUCCO/STUCCO/STUCCO
84	STUCCO/STUCCO/STUCCO
85	STUCCO/STUCCO/STUCCO
86	STUCCO/STUCCO/STUCCO
87	STUCCO/STUCCO/STUCCO
88	STUCCO/STUCCO/STUCCO
89	STUCCO/STUCCO/STUCCO
90	STUCCO/STUCCO/STUCCO
91	STUCCO/STUCCO/STUCCO
92	STUCCO/STUCCO/STUCCO
93	STUCCO/STUCCO/STUCCO
94	STUCCO/STUCCO/STUCCO
95	STUCCO/STUCCO/STUCCO
96	STUCCO/STUCCO/STUCCO
97	STUCCO/STUCCO/STUCCO
98	STUCCO/STUCCO/STUCCO
99	STUCCO/STUCCO/STUCCO
100	STUCCO/STUCCO/STUCCO

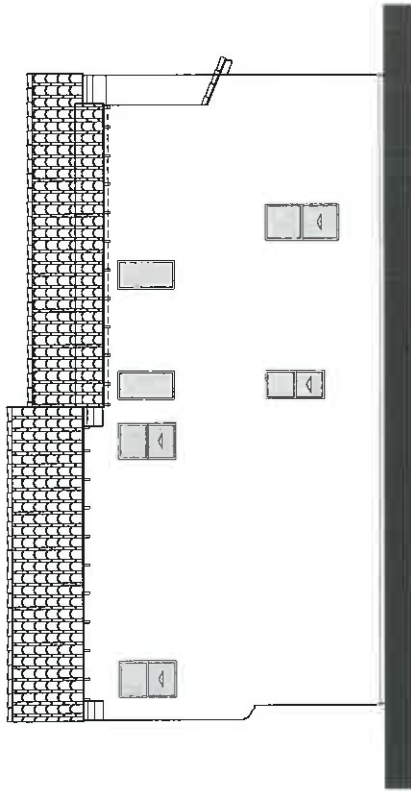


KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

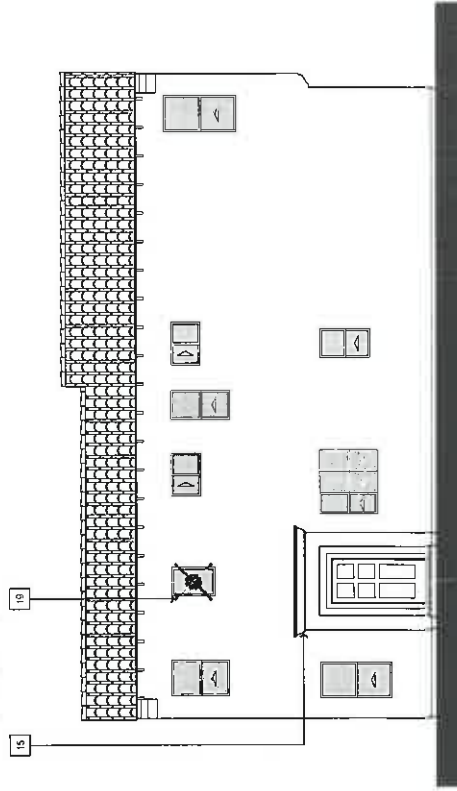
PLAN 3 FRONT ELEVATIONS

CORONA, CA
 K00 # 2015-010
 Jundhara #

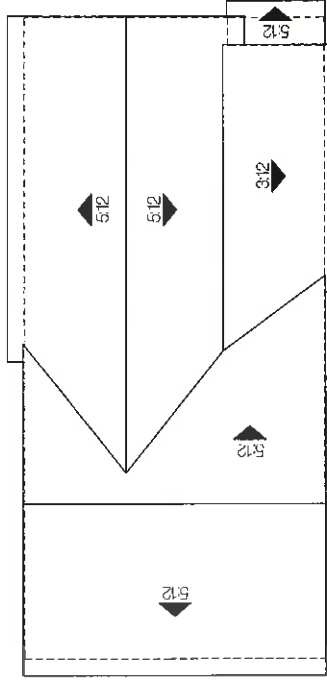




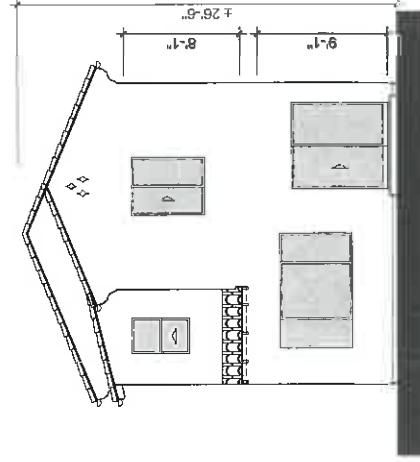
RIGHT ELEVATION



LEFT ELEVATION

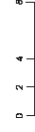


ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A4.1



CORONA, CA
PLAN 3A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A4.2

K101 # 2015-010
Project # 17
301-422-21

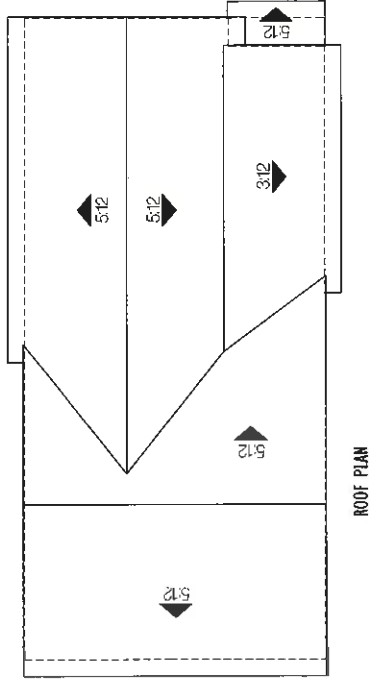
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



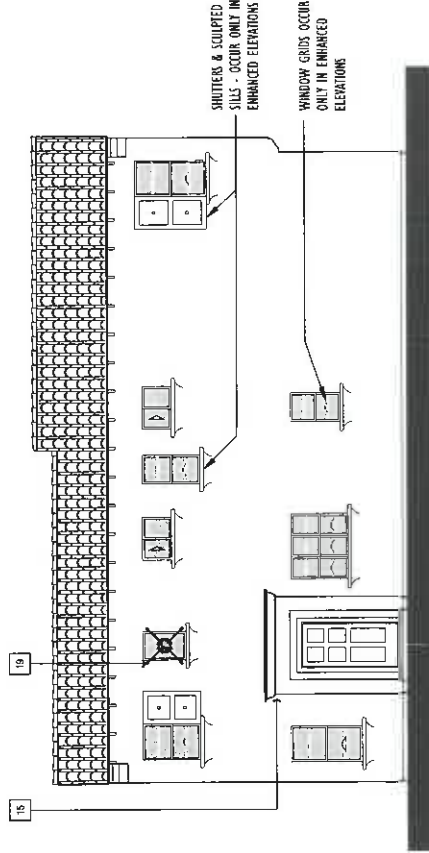
CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
849-208-7248

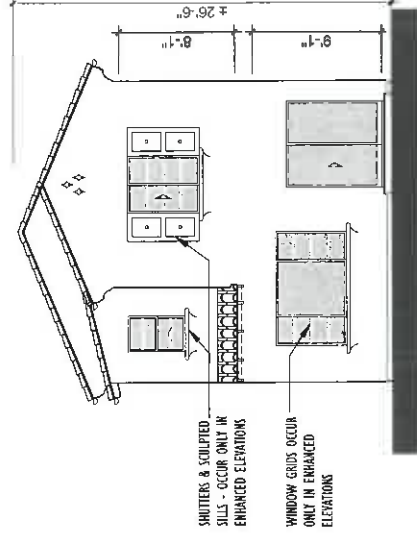




ROOF PLAN

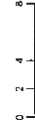


LEFT ELEVATION



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A4.1



ENHANCEMENT
PLAN 3A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A4.3



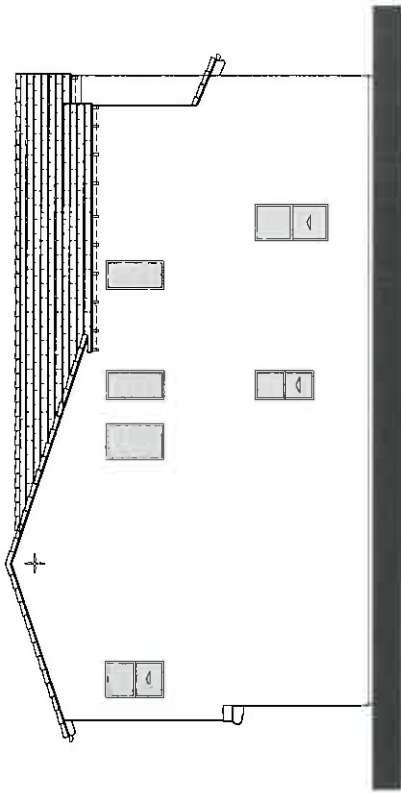
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

CORONA, CA
RIG # 2015-110
Jerdoun # 3812-02-J1

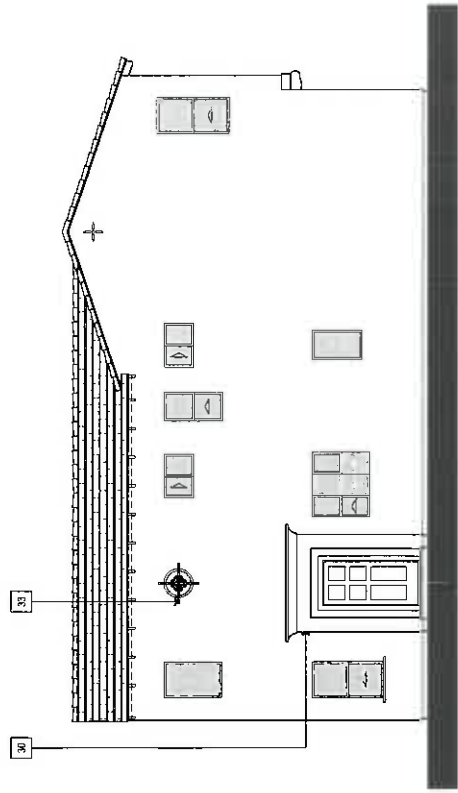
Planet Home Living
1451 Cubil St., Suite 204
Newport Beach, CA 92660
949-208-7248



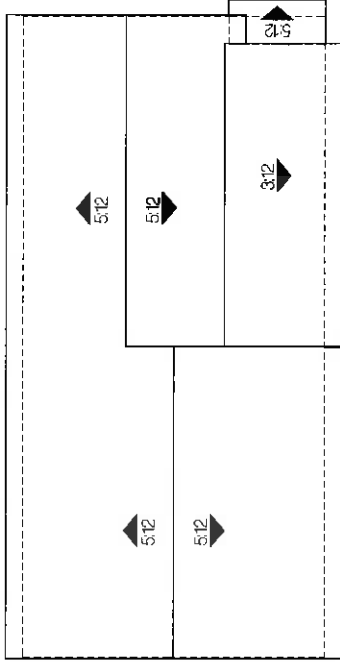
CORONA



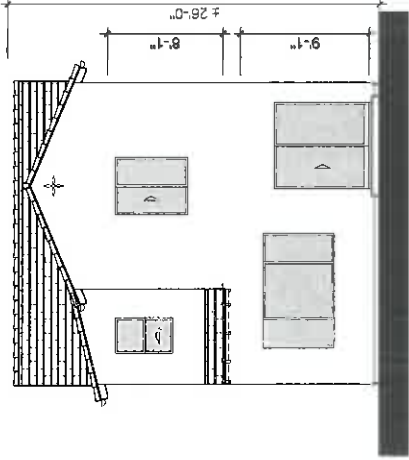
RIGHT ELEVATION



LEFT ELEVATION

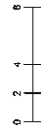


ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A4.1



A4.4



KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

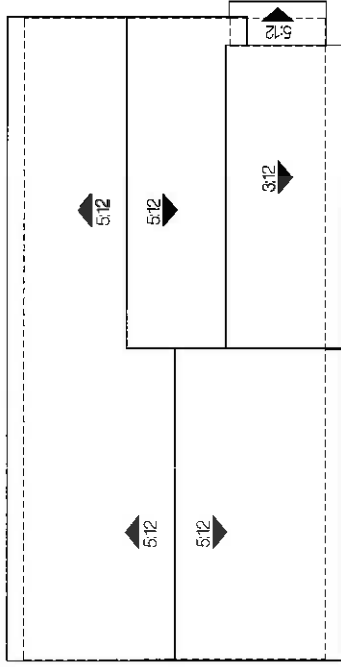
CORONA, CA
DATE: 7/25/16
JOB NUMBER: 16010201

PLAN 3B (SPANISH MONTEREY) EXTERIOR ELEVATIONS

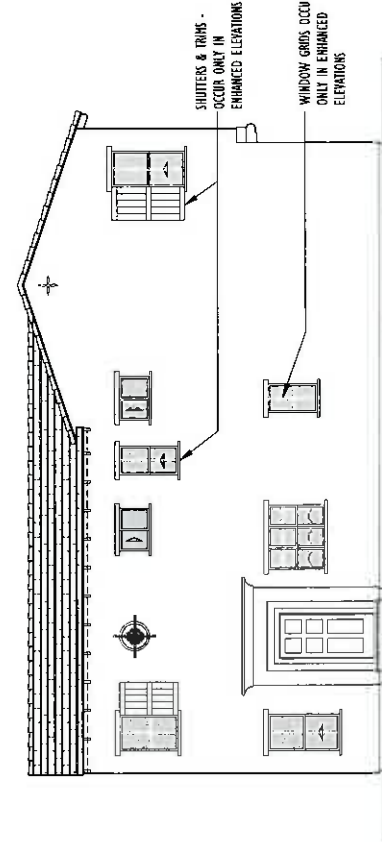


Planet Home Living
1451 Quail St, Suite 204
Newport Beach, CA 92660
949-208-7248

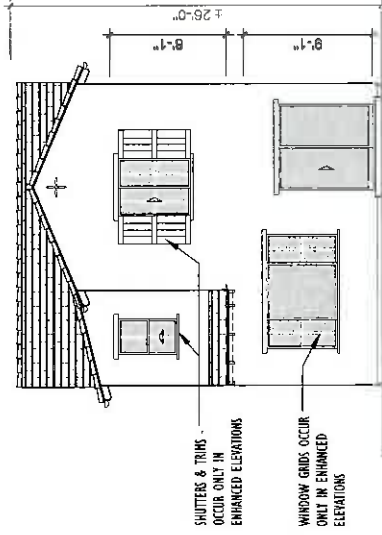
planet home living



ROOF PLAN

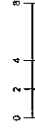


LEFT ELEVATION



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A4.1



ENHANCEMENT
PLAN 3B (SPANISH MONTEREY) EXTERIOR ELEVATIONS
A4.5



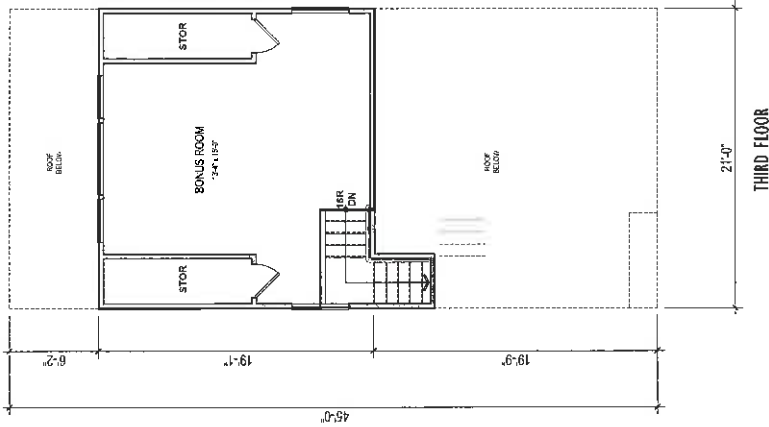
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
kigy.com

CORONA, CA
10/11/2015 10:10
Project #

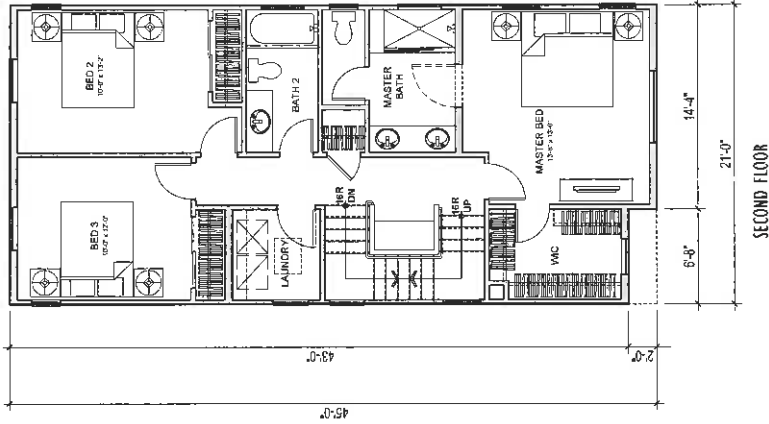
Planet Home Living
1451 Quail St, Suite 204
Newport Beach, CA 92660
949-208-7246



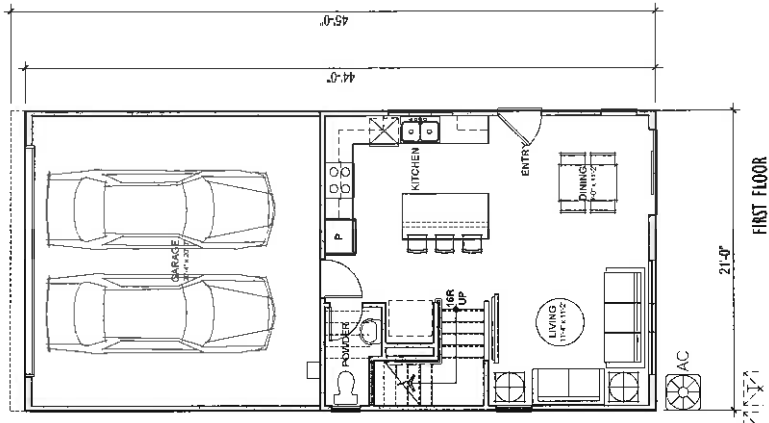
CORONA



THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

PLAN (GROSS SQUARE FOOTAGE)	
1ST FLOOR	880.00 SF
2ND FLOOR	1,020.00 SF
3RD FLOOR	212.00 SF
TOTAL EXCLUSIVES	2,112.00 SF
STAIRS	200.00 SF



A5.0



KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

PLAN 4 FLOOR PLANS

CORONA, CA
 3/11/2011
 3/11/2011



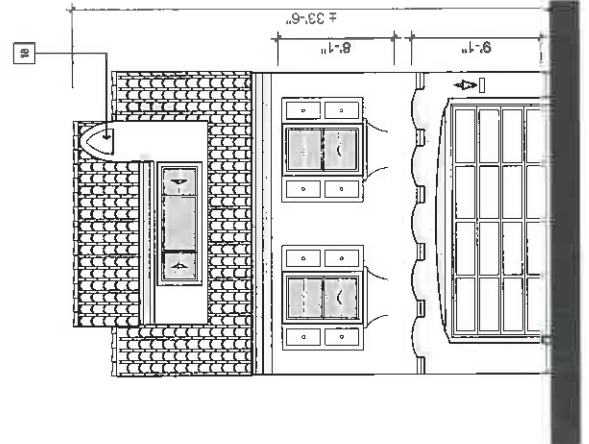
Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92860
 949-208-7248
 planet.home.living

A - MATERIAL LEGEND

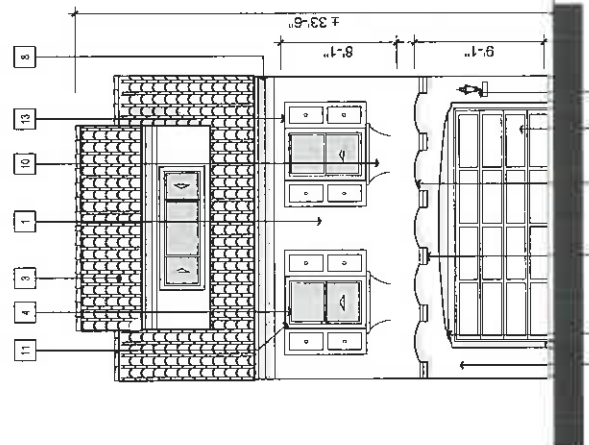
17	STUCCO LIGHT SAND FINISH
18	STUCCO LIGHT SAND FINISH
19	STUCCO LIGHT SAND FINISH
20	STUCCO LIGHT SAND FINISH
21	STUCCO LIGHT SAND FINISH
22	STUCCO LIGHT SAND FINISH
23	STUCCO LIGHT SAND FINISH
24	STUCCO LIGHT SAND FINISH
25	STUCCO LIGHT SAND FINISH
26	STUCCO LIGHT SAND FINISH
27	STUCCO LIGHT SAND FINISH
28	STUCCO LIGHT SAND FINISH
29	STUCCO LIGHT SAND FINISH
30	STUCCO LIGHT SAND FINISH
31	STUCCO LIGHT SAND FINISH
32	STUCCO LIGHT SAND FINISH
33	STUCCO LIGHT SAND FINISH
34	STUCCO LIGHT SAND FINISH
35	STUCCO LIGHT SAND FINISH
36	STUCCO LIGHT SAND FINISH
37	STUCCO LIGHT SAND FINISH
38	STUCCO LIGHT SAND FINISH
39	STUCCO LIGHT SAND FINISH
40	STUCCO LIGHT SAND FINISH
41	STUCCO LIGHT SAND FINISH
42	STUCCO LIGHT SAND FINISH
43	STUCCO LIGHT SAND FINISH
44	STUCCO LIGHT SAND FINISH
45	STUCCO LIGHT SAND FINISH
46	STUCCO LIGHT SAND FINISH
47	STUCCO LIGHT SAND FINISH
48	STUCCO LIGHT SAND FINISH
49	STUCCO LIGHT SAND FINISH
50	STUCCO LIGHT SAND FINISH
51	STUCCO LIGHT SAND FINISH
52	STUCCO LIGHT SAND FINISH
53	STUCCO LIGHT SAND FINISH
54	STUCCO LIGHT SAND FINISH
55	STUCCO LIGHT SAND FINISH
56	STUCCO LIGHT SAND FINISH
57	STUCCO LIGHT SAND FINISH
58	STUCCO LIGHT SAND FINISH
59	STUCCO LIGHT SAND FINISH
60	STUCCO LIGHT SAND FINISH
61	STUCCO LIGHT SAND FINISH
62	STUCCO LIGHT SAND FINISH
63	STUCCO LIGHT SAND FINISH
64	STUCCO LIGHT SAND FINISH
65	STUCCO LIGHT SAND FINISH
66	STUCCO LIGHT SAND FINISH
67	STUCCO LIGHT SAND FINISH
68	STUCCO LIGHT SAND FINISH
69	STUCCO LIGHT SAND FINISH
70	STUCCO LIGHT SAND FINISH
71	STUCCO LIGHT SAND FINISH
72	STUCCO LIGHT SAND FINISH
73	STUCCO LIGHT SAND FINISH
74	STUCCO LIGHT SAND FINISH
75	STUCCO LIGHT SAND FINISH
76	STUCCO LIGHT SAND FINISH
77	STUCCO LIGHT SAND FINISH
78	STUCCO LIGHT SAND FINISH
79	STUCCO LIGHT SAND FINISH
80	STUCCO LIGHT SAND FINISH
81	STUCCO LIGHT SAND FINISH
82	STUCCO LIGHT SAND FINISH
83	STUCCO LIGHT SAND FINISH
84	STUCCO LIGHT SAND FINISH
85	STUCCO LIGHT SAND FINISH
86	STUCCO LIGHT SAND FINISH
87	STUCCO LIGHT SAND FINISH
88	STUCCO LIGHT SAND FINISH
89	STUCCO LIGHT SAND FINISH
90	STUCCO LIGHT SAND FINISH
91	STUCCO LIGHT SAND FINISH
92	STUCCO LIGHT SAND FINISH
93	STUCCO LIGHT SAND FINISH
94	STUCCO LIGHT SAND FINISH
95	STUCCO LIGHT SAND FINISH
96	STUCCO LIGHT SAND FINISH
97	STUCCO LIGHT SAND FINISH
98	STUCCO LIGHT SAND FINISH
99	STUCCO LIGHT SAND FINISH
100	STUCCO LIGHT SAND FINISH

B - MATERIAL LEGEND

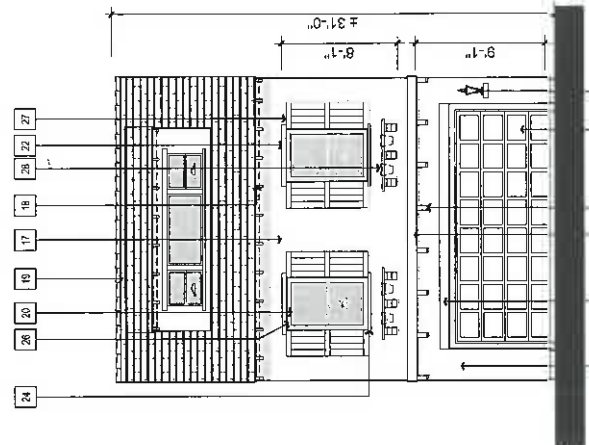
17	STUCCO LIGHT SAND FINISH
18	STUCCO LIGHT SAND FINISH
19	STUCCO LIGHT SAND FINISH
20	STUCCO LIGHT SAND FINISH
21	STUCCO LIGHT SAND FINISH
22	STUCCO LIGHT SAND FINISH
23	STUCCO LIGHT SAND FINISH
24	STUCCO LIGHT SAND FINISH
25	STUCCO LIGHT SAND FINISH
26	STUCCO LIGHT SAND FINISH
27	STUCCO LIGHT SAND FINISH
28	STUCCO LIGHT SAND FINISH
29	STUCCO LIGHT SAND FINISH
30	STUCCO LIGHT SAND FINISH
31	STUCCO LIGHT SAND FINISH
32	STUCCO LIGHT SAND FINISH
33	STUCCO LIGHT SAND FINISH
34	STUCCO LIGHT SAND FINISH
35	STUCCO LIGHT SAND FINISH
36	STUCCO LIGHT SAND FINISH
37	STUCCO LIGHT SAND FINISH
38	STUCCO LIGHT SAND FINISH
39	STUCCO LIGHT SAND FINISH
40	STUCCO LIGHT SAND FINISH
41	STUCCO LIGHT SAND FINISH
42	STUCCO LIGHT SAND FINISH
43	STUCCO LIGHT SAND FINISH
44	STUCCO LIGHT SAND FINISH
45	STUCCO LIGHT SAND FINISH
46	STUCCO LIGHT SAND FINISH
47	STUCCO LIGHT SAND FINISH
48	STUCCO LIGHT SAND FINISH
49	STUCCO LIGHT SAND FINISH
50	STUCCO LIGHT SAND FINISH
51	STUCCO LIGHT SAND FINISH
52	STUCCO LIGHT SAND FINISH
53	STUCCO LIGHT SAND FINISH
54	STUCCO LIGHT SAND FINISH
55	STUCCO LIGHT SAND FINISH
56	STUCCO LIGHT SAND FINISH
57	STUCCO LIGHT SAND FINISH
58	STUCCO LIGHT SAND FINISH
59	STUCCO LIGHT SAND FINISH
60	STUCCO LIGHT SAND FINISH
61	STUCCO LIGHT SAND FINISH
62	STUCCO LIGHT SAND FINISH
63	STUCCO LIGHT SAND FINISH
64	STUCCO LIGHT SAND FINISH
65	STUCCO LIGHT SAND FINISH
66	STUCCO LIGHT SAND FINISH
67	STUCCO LIGHT SAND FINISH
68	STUCCO LIGHT SAND FINISH
69	STUCCO LIGHT SAND FINISH
70	STUCCO LIGHT SAND FINISH
71	STUCCO LIGHT SAND FINISH
72	STUCCO LIGHT SAND FINISH
73	STUCCO LIGHT SAND FINISH
74	STUCCO LIGHT SAND FINISH
75	STUCCO LIGHT SAND FINISH
76	STUCCO LIGHT SAND FINISH
77	STUCCO LIGHT SAND FINISH
78	STUCCO LIGHT SAND FINISH
79	STUCCO LIGHT SAND FINISH
80	STUCCO LIGHT SAND FINISH
81	STUCCO LIGHT SAND FINISH
82	STUCCO LIGHT SAND FINISH
83	STUCCO LIGHT SAND FINISH
84	STUCCO LIGHT SAND FINISH
85	STUCCO LIGHT SAND FINISH
86	STUCCO LIGHT SAND FINISH
87	STUCCO LIGHT SAND FINISH
88	STUCCO LIGHT SAND FINISH
89	STUCCO LIGHT SAND FINISH
90	STUCCO LIGHT SAND FINISH
91	STUCCO LIGHT SAND FINISH
92	STUCCO LIGHT SAND FINISH
93	STUCCO LIGHT SAND FINISH
94	STUCCO LIGHT SAND FINISH
95	STUCCO LIGHT SAND FINISH
96	STUCCO LIGHT SAND FINISH
97	STUCCO LIGHT SAND FINISH
98	STUCCO LIGHT SAND FINISH
99	STUCCO LIGHT SAND FINISH
100	STUCCO LIGHT SAND FINISH



4A (SPANISH SANTA BARBARA) FRONT ELEVATION ENHANCEMENT



4A (SPANISH SANTA BARBARA) FRONT ELEVATION



4B (SPANISH MONTEREY) FRONT ELEVATION



KTGY Group, Inc.
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

PLAN 4 FRONT ELEVATIONS

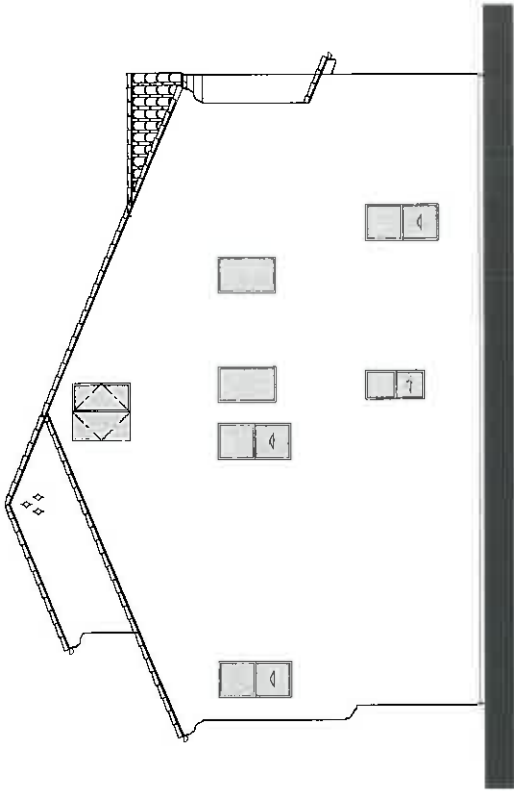
CORONA, CA
 JOB # 2015-110
 Jurisdiction #

2017-02-21

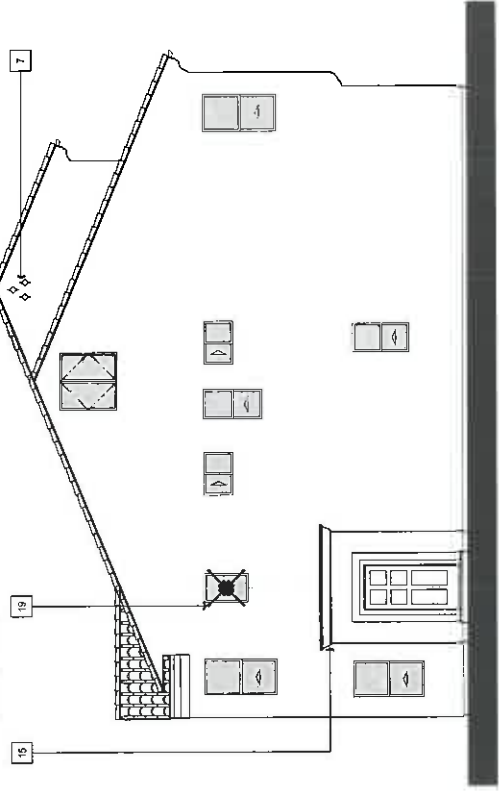


Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248

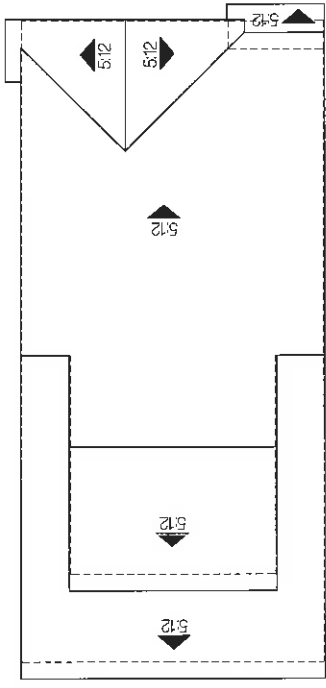




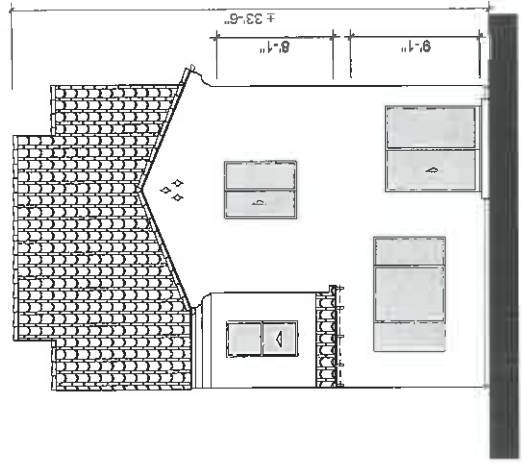
RIGHT ELEVATION



LEFT ELEVATION



ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A5.1



PLAN 4A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A5.2



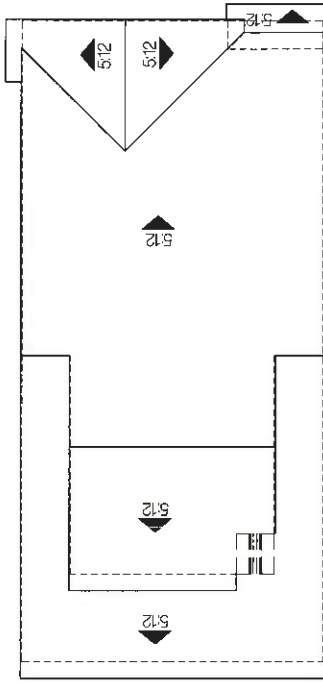
KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

CORONA, CA
KIP # 103-5410
Junk.com #
2017-02-21

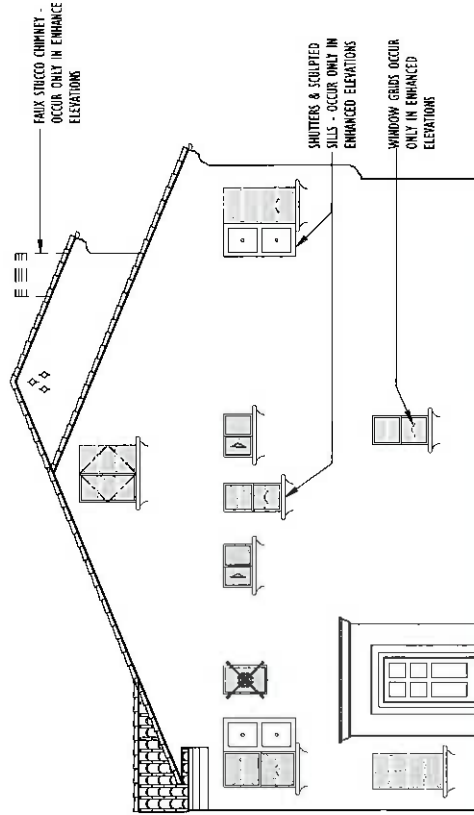


Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248





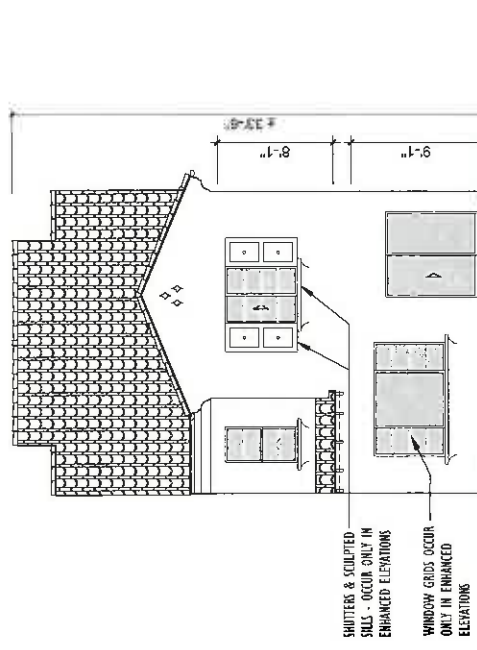
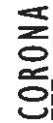
ROOF PLAN



LEFT ELEVATION

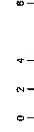
Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-206-7248

planet home living



REAR ELEVATION

NOTE:
 FOR ADDITIONAL NOTES
 PLEASE SEE SHEET
 A5.1

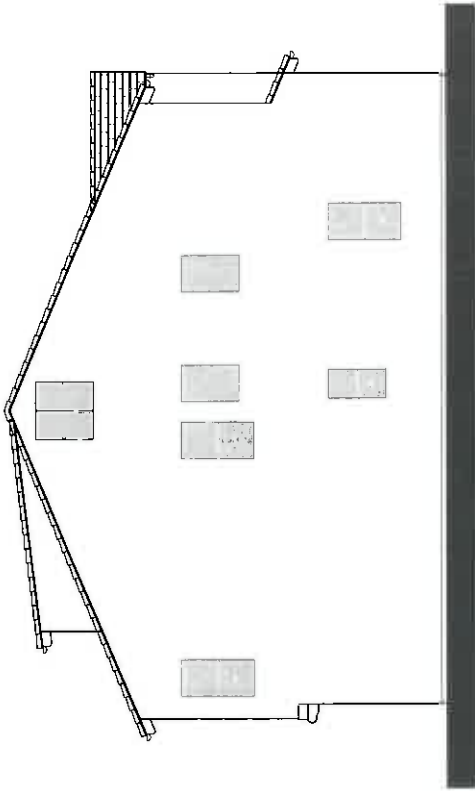


ENHANCEMENT
PLAN 4A (SPANISH SANTA BARBARA) EXTERIOR ELEVATIONS A5.3

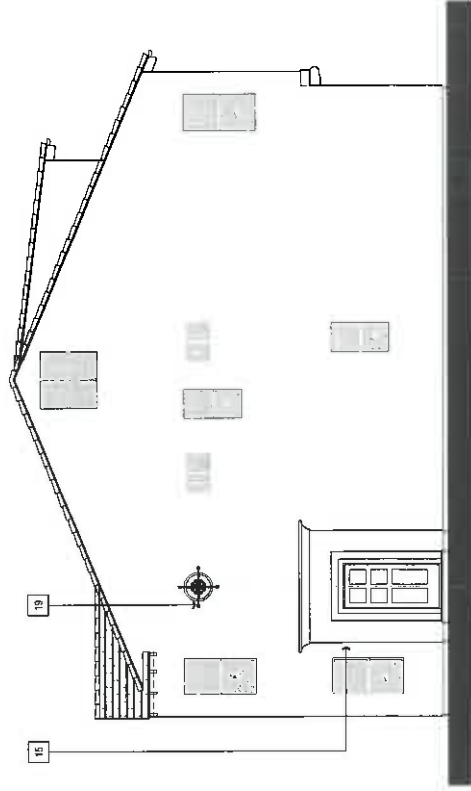
CORONA, CA
 KTY # 20154110
 J-15010001 #1
 2017-03-27

KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949-851-2133
 ktgy.com

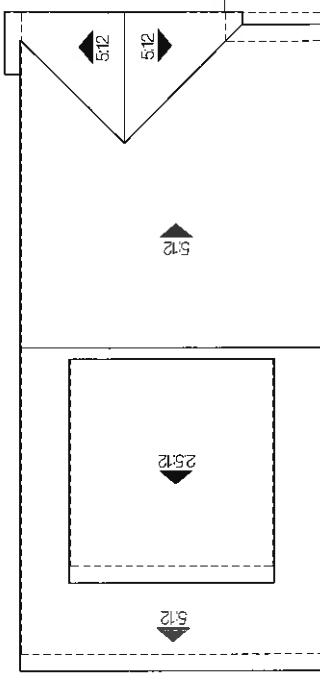




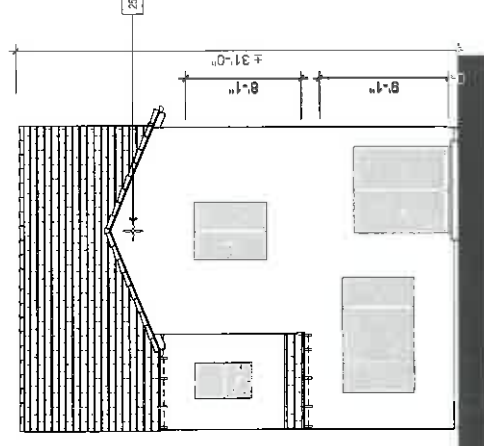
RIGHT ELEVATION



LEFT ELEVATION

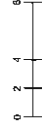


ROOF PLAN



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A5.1



CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248



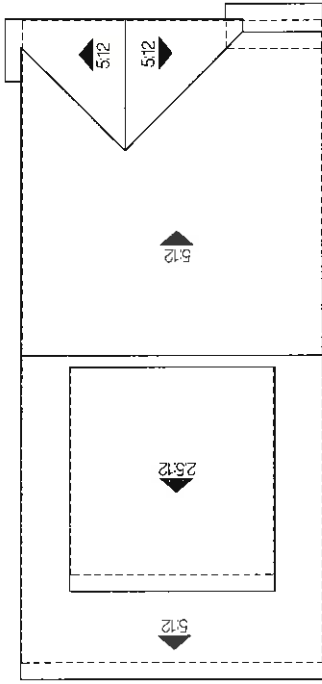
PLAN 4B (SPANISH MONTEREY) EXTERIOR ELEVATIONS A5.4

CORONA, CA
PRJ # 2015-010
Issued on 7/1

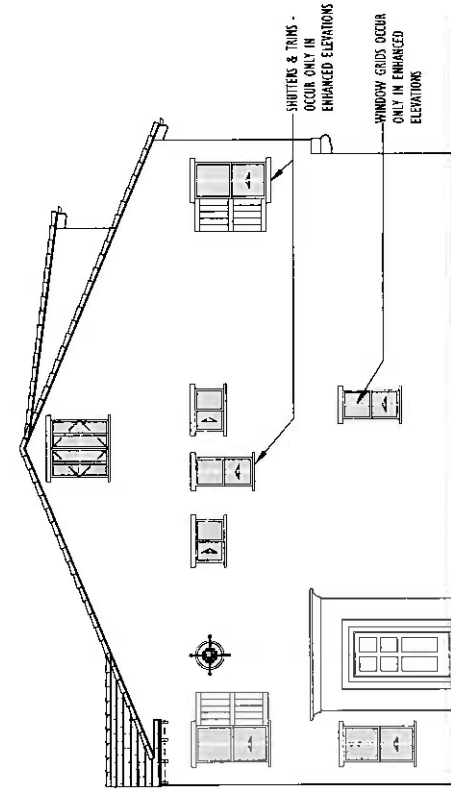
2017-03-21

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

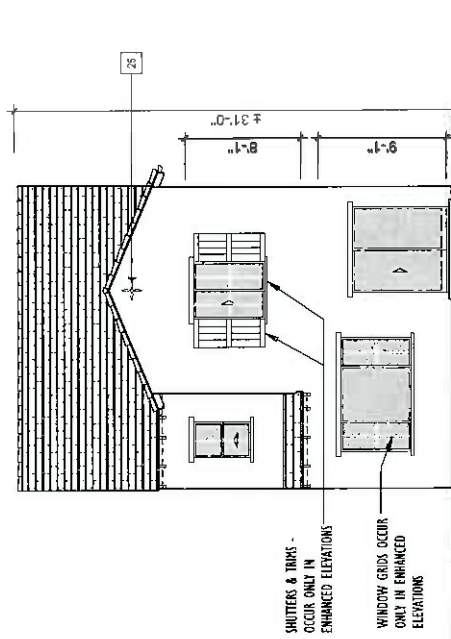




ROOF PLAN

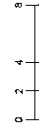


LEFT ELEVATION



REAR ELEVATION

NOTE:
FOR ADDITIONAL NOTES
PLEASE SEE SHEET
A5.1



ENHANCEMENT

PLAN 4B (SPANISH MONTEREY) EXTERIOR ELEVATIONS

A5.5

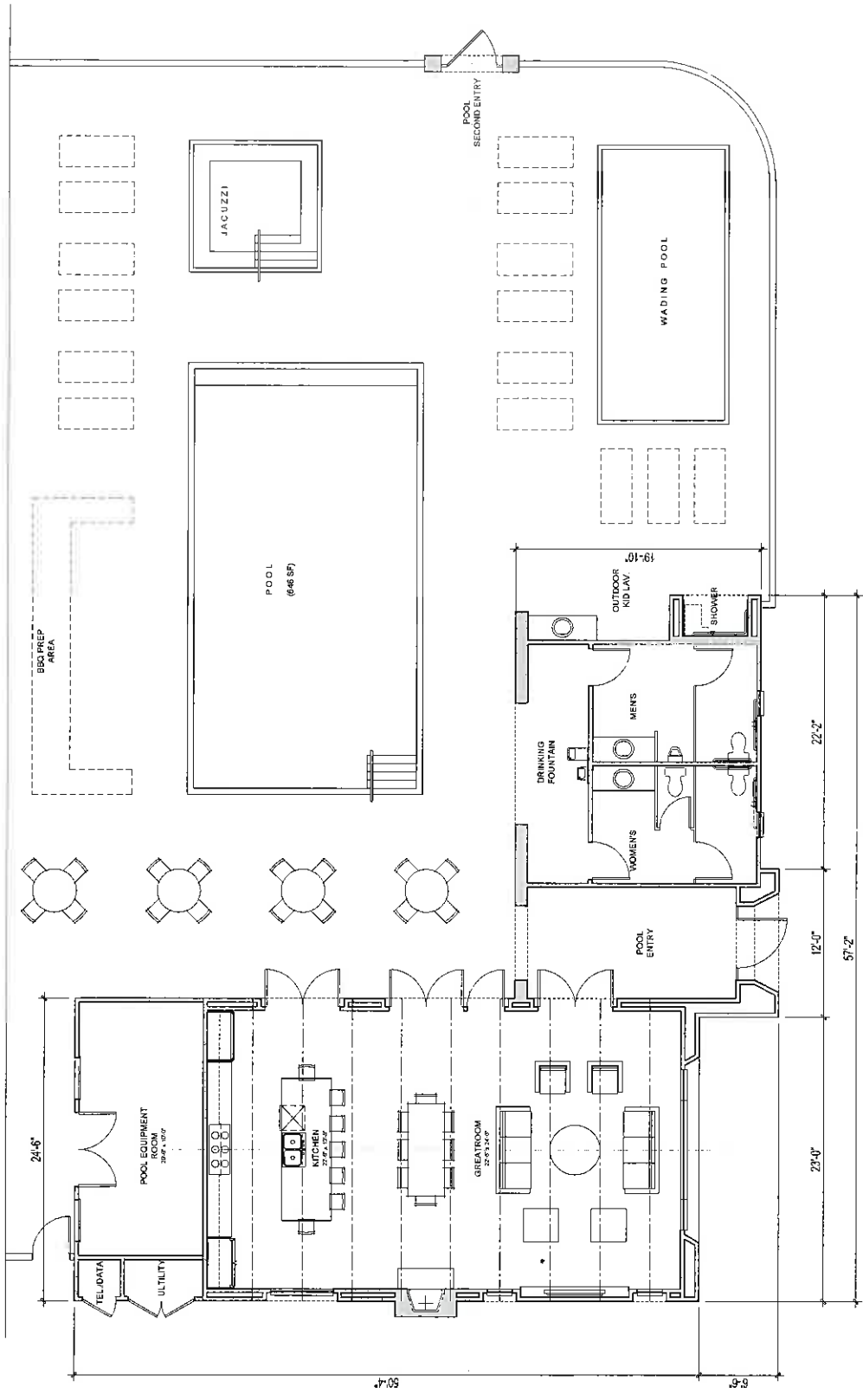
Planet Home Living
1451 Quail St, Suite 204
Newport Beach, CA 92660
949-208-7248



CORONA, CA
KIG # 2015010
JUNCTION #

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
kigy.com





SCALE: 1/4" = 1'-0"

A6.0

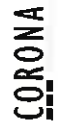


RECREATION CENTER/POOL HOUSE - FLOOR PLANS

KTGY Group, Inc.
 Architecture+Planning
 17922 Filch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

CORONA, CA
 KEG # 2015 0110
 Jamblox #

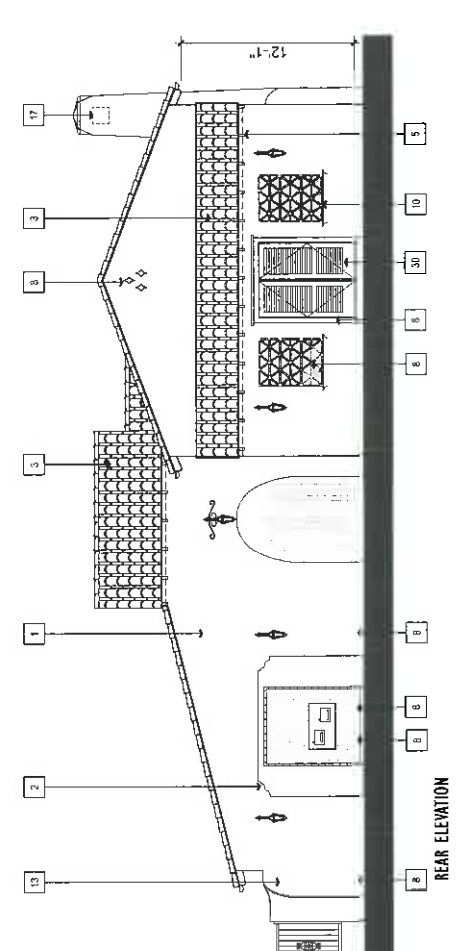
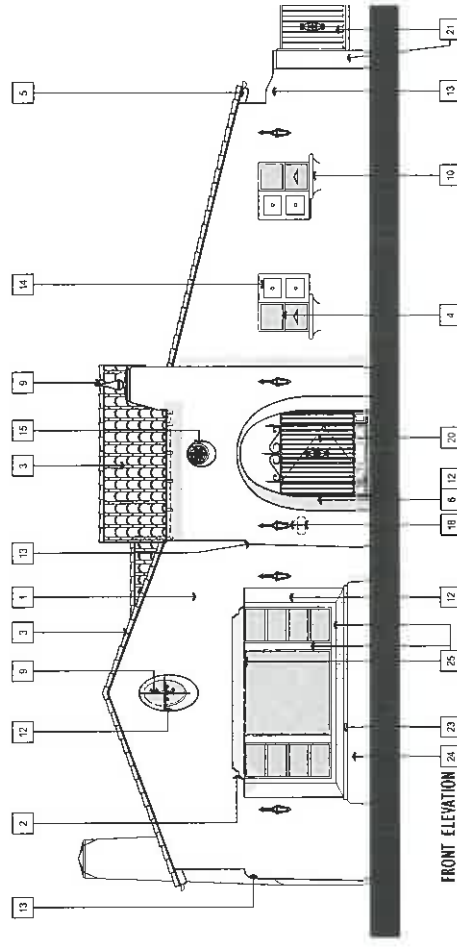
GROSS SF	
MULTIPURPOSE ROOM	915 SQ. FT.
RESTROOMS/MEN	307 SQ. FT.
RESTROOMS/WOMEN	303 SQ. FT.
POOL ENTRY	170 SQ. FT.
TOTAL AREA	1735 SQ. FT.



Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248



MATERIAL LEGEND	
1	STUCCO LIGHT SAND FINISH
2	STUCCO SHIMMED CORNER
3	LOW PROFILE CERAMIC ROOF TILE
4	WPK, WPK/SH
5	EXPOSED VERTICAL WOOD TRUSS HEADS
6	STUCCO ARCH
7	STUCCO 1X 20MM TRIM
8	PAVA RECESSED STUCCO GABLE END TRIM
9	PAVA STUCCO ROOF TRIM
10	STUCCO 1X 20MM TRIM
11	STUCCO 1X 20MM TRIM
12	STUCCO 1X 20MM TRIM
13	STUCCO 1X 20MM TRIM
14	STUCCO 1X 20MM TRIM
15	STUCCO 1X 20MM TRIM
16	STUCCO 1X 20MM TRIM
17	STUCCO 1X 20MM TRIM
18	STUCCO 1X 20MM TRIM
19	STUCCO 1X 20MM TRIM
20	STUCCO 1X 20MM TRIM
21	STUCCO 1X 20MM TRIM
22	STUCCO 1X 20MM TRIM
23	STUCCO 1X 20MM TRIM
24	STUCCO 1X 20MM TRIM
25	STUCCO 1X 20MM TRIM
26	STUCCO 1X 20MM TRIM
27	STUCCO 1X 20MM TRIM
28	STUCCO 1X 20MM TRIM
29	STUCCO 1X 20MM TRIM
30	STUCCO 1X 20MM TRIM
31	STUCCO 1X 20MM TRIM
32	STUCCO 1X 20MM TRIM
33	STUCCO 1X 20MM TRIM
34	STUCCO 1X 20MM TRIM
35	STUCCO 1X 20MM TRIM
36	STUCCO 1X 20MM TRIM
37	STUCCO 1X 20MM TRIM
38	STUCCO 1X 20MM TRIM
39	STUCCO 1X 20MM TRIM
40	STUCCO 1X 20MM TRIM
41	STUCCO 1X 20MM TRIM
42	STUCCO 1X 20MM TRIM
43	STUCCO 1X 20MM TRIM
44	STUCCO 1X 20MM TRIM
45	STUCCO 1X 20MM TRIM
46	STUCCO 1X 20MM TRIM
47	STUCCO 1X 20MM TRIM
48	STUCCO 1X 20MM TRIM
49	STUCCO 1X 20MM TRIM
50	STUCCO 1X 20MM TRIM
51	STUCCO 1X 20MM TRIM
52	STUCCO 1X 20MM TRIM
53	STUCCO 1X 20MM TRIM
54	STUCCO 1X 20MM TRIM
55	STUCCO 1X 20MM TRIM
56	STUCCO 1X 20MM TRIM
57	STUCCO 1X 20MM TRIM
58	STUCCO 1X 20MM TRIM
59	STUCCO 1X 20MM TRIM
60	STUCCO 1X 20MM TRIM
61	STUCCO 1X 20MM TRIM
62	STUCCO 1X 20MM TRIM
63	STUCCO 1X 20MM TRIM
64	STUCCO 1X 20MM TRIM
65	STUCCO 1X 20MM TRIM
66	STUCCO 1X 20MM TRIM
67	STUCCO 1X 20MM TRIM
68	STUCCO 1X 20MM TRIM
69	STUCCO 1X 20MM TRIM
70	STUCCO 1X 20MM TRIM
71	STUCCO 1X 20MM TRIM
72	STUCCO 1X 20MM TRIM
73	STUCCO 1X 20MM TRIM
74	STUCCO 1X 20MM TRIM
75	STUCCO 1X 20MM TRIM
76	STUCCO 1X 20MM TRIM
77	STUCCO 1X 20MM TRIM
78	STUCCO 1X 20MM TRIM
79	STUCCO 1X 20MM TRIM
80	STUCCO 1X 20MM TRIM
81	STUCCO 1X 20MM TRIM
82	STUCCO 1X 20MM TRIM
83	STUCCO 1X 20MM TRIM
84	STUCCO 1X 20MM TRIM
85	STUCCO 1X 20MM TRIM
86	STUCCO 1X 20MM TRIM
87	STUCCO 1X 20MM TRIM
88	STUCCO 1X 20MM TRIM
89	STUCCO 1X 20MM TRIM
90	STUCCO 1X 20MM TRIM
91	STUCCO 1X 20MM TRIM
92	STUCCO 1X 20MM TRIM
93	STUCCO 1X 20MM TRIM
94	STUCCO 1X 20MM TRIM
95	STUCCO 1X 20MM TRIM
96	STUCCO 1X 20MM TRIM
97	STUCCO 1X 20MM TRIM
98	STUCCO 1X 20MM TRIM
99	STUCCO 1X 20MM TRIM
100	STUCCO 1X 20MM TRIM



RECREATION CENTER/POOL HOUSE - ELEVATIONS

KTGY Group, Inc.
 Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

CORONA, CA
 KRG # 2015-040
 June 2017

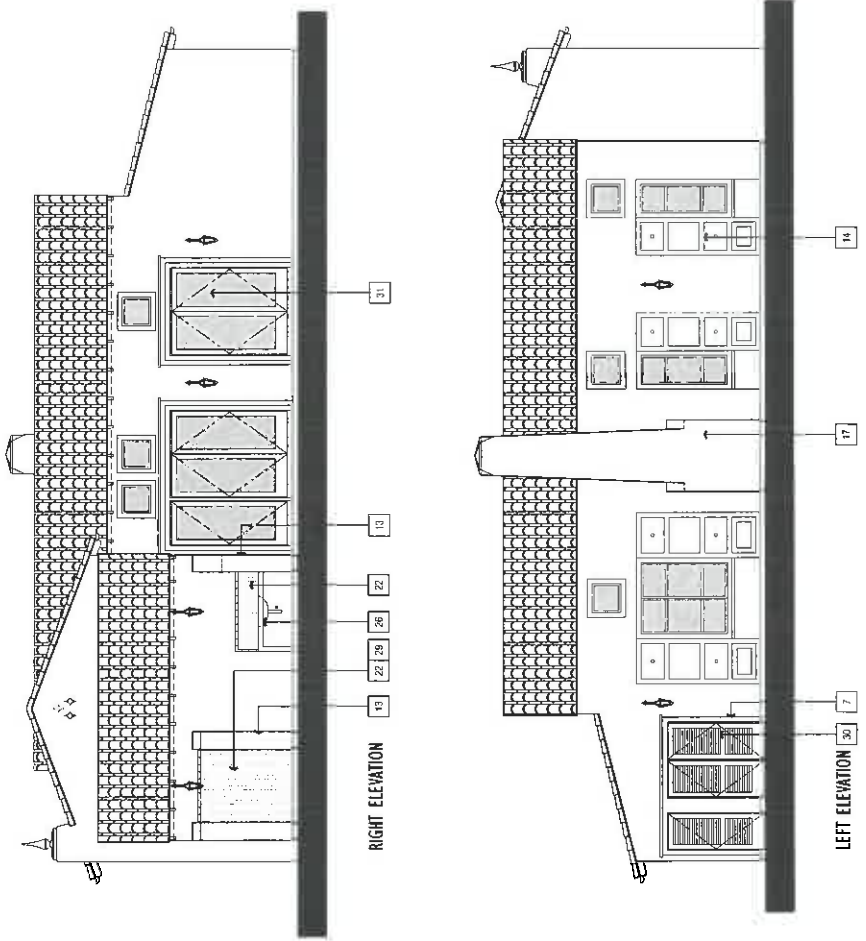


Planet Home Living
 1451 Quail St., Suite 204
 Newport Beach, CA 92660
 949-208-7248



MATERIAL LEGEND

1	STUCCO LIGHT SAND FINISH
2	STUCCO SANDS CORNER
3	LOW PILE COMPOSITE ROOF TILE
4	WALL WINDOW
5	EXPOSED WOOD TRIM (T-MUST) TAILS
6	STUCCO ARCH
7	STUCCO 4" FIRM TRIM
8	PAVING BRICKS STUCCO CABLET VENT
9	PAVING STUCCO (OAK) WALK
10	STUCCO SMOOTH BELT TRIM
11	STUCCO BRICKS AT WINDOW
12	STUCCO BUTTERED BRICKS
13	DECORATIVE BATTING WALL* (WOOD WALL)
14	DECORATIVE BRICKS AT SHUTTER
15	PAVING BRICKS STUCCO CABLET AT ROOF TILE VENT
16	STUCCO OAK (DECORATIVE) CLADDING
17	STUCCO CORNER* WITH BRICK FINISH FLUR
18	DECORATIVE L.T. FLOOR BRICK ADDRESS LETTER
19	WOOD LIGHT FIXTURE (GALLERY CORRIDOR)
20	WOOD LIGHT FIXTURE WITH CORNER FLUR
21	STUCCO 2" X 4" L & 6" L BRICK FINISH (RAMP) BY OTHER
22	DECORATIVE CERAMIC TILE
23	BRICKS AT CORNER
24	TRIM (RACKER) TILE CAP
25	FINISH (SHELVING) (BRICK) PAVING WOOD (WALK) FINISH
26	PAVING (SHELVING) (BRICK) WALKS (WITH METAL WHITE BRICK)
27	FINISHING (WATER) POINT (TRIM)
28	WOOD LIGHT FIXTURE (TRIM)
29	OUTSIDE (TRIM) SCAPING
30	METAL LIGHT FIXTURE
31	FINISH (WOOD)



SCALE: 1/4" = 1'

RECREATION CENTER/POOL HOUSE - ELEVATIONS

CORONA

Planet Home Living
1451 Quail St., Suite 204
Newport Beach, CA 92660
949-208-7248

CORONA, CA
R32 # 7015110
Foundation #

301-09-21

KTGY Group, Inc.
Architecture+Planning
17922 Filch
Irvine, CA 92614
949.851.2133
ktgy.com



CORONA DESIGN GUIDELINES

APN: 115-300-047 / 115-300-049 / 115-300-052

Type of Construction:

V-B

Occupancy:

R-3

Density:

15.6 DU/AC

Perimeter Setback:

Front: 10', 14'

Sides: 10'

Rear: 5'

Building Separation:

6' Min.

Fire Lanes:

28'

Alley width:

20'

Open spaces:

Private: ± 12,285 SF

Common: ± 50,674 SF

Max. Building Height:

± 34.5'

Recreational Center (Area):

± 5,000 SF (107'x72')

Playground (Area):

± 1,300 SF (52'x25')

A/C placement:

Rear yard

Min. Private yard

216 SF (8'x27')

DESIGN ELEMENT BOOKLET

FOR

MAGNOLIA AVE



TRACT 37169 - CORONA CA

BGB DESIGN GROUP
LANDSCAPE ARCHITECTURE/PLANNING
3185 C1 AIRWAY AVE
COSTA MESA, CA 92626
TEL 714-545-2898



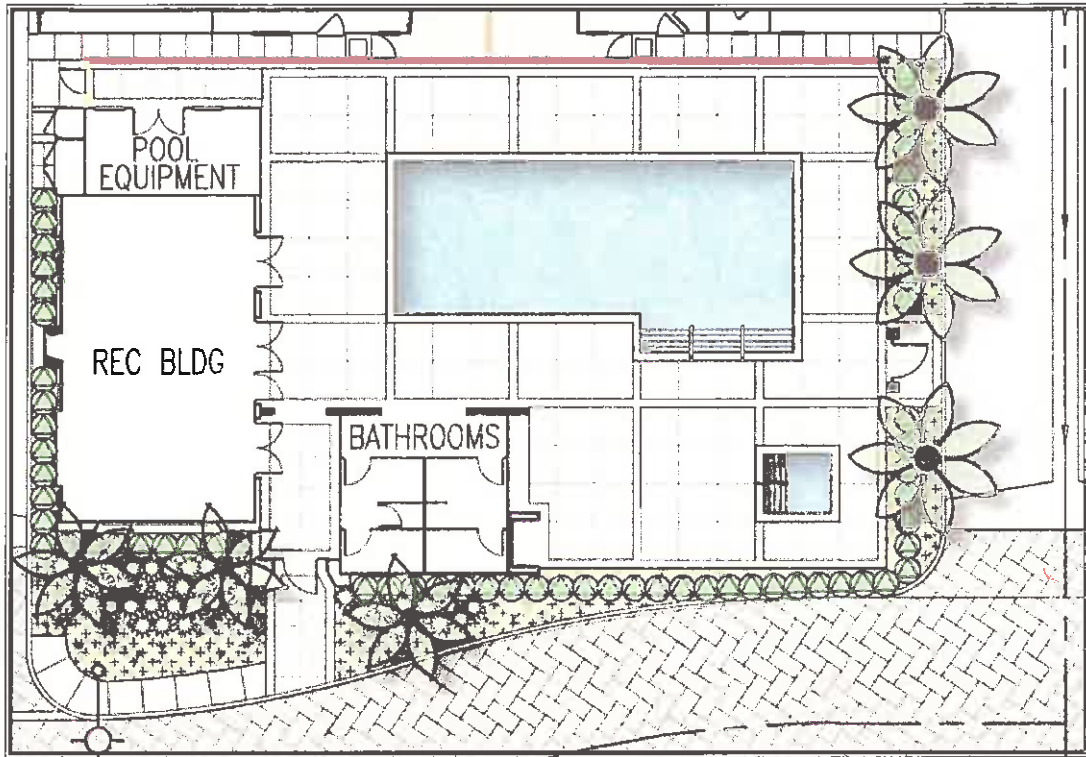
FOR
PLANET HOME LIVING
1451 QUAIL ST. SUITE 204
NEWPORT BEACH, CA 92660
TEL 949-208-7248

TABLE OF CONTENTS

SHEET

1. CONCEPT STATEMENT
2. POOL/RECREATIONAL AREA
3. PLAY AREA/TOT LOT
4. TYPICAL RESIDENTIAL LOT
5. COMMUNITY MAILBOXES
6. COMMUNITY IDENTIFICATION SIGN
7. SLUMP BLOCK WALL DETAIL
8. GREENSCREEN PANEL
9. TUBULAR STEEL FENCE DETAIL
10. TUBULAR STEEL GATE
11. VINYL FENCE DETAIL
12. VINYL GATE

The Theme of the residential community on Magnolia Ave utilizes California Friendly plants to add interest and create an inviting environment for the residents and the surrounding community. At the entry and Recreation Area, Palms are used to continue the palm theme in the surrounding community. Flowering accents such as Bougainvillea, Callistemon, Lantana and Rhapsiolepis are located in strategic locations throughout the planting areas. Low water use shrubs such as Rosemary and Agaves are located within accent areas. Grasses are located at the entry to soften the design and provide contrast.



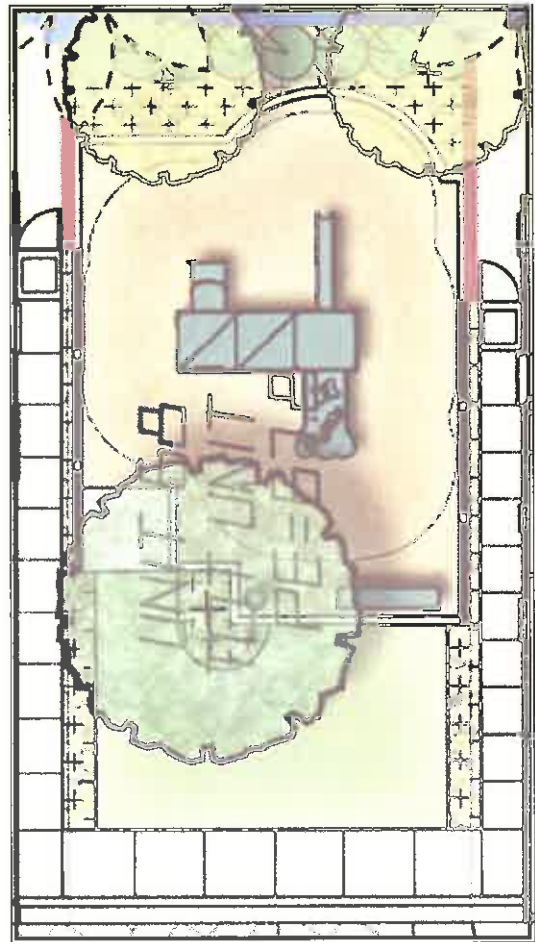
RECREATION AREA - NTS

CONCEPT STATEMENT:

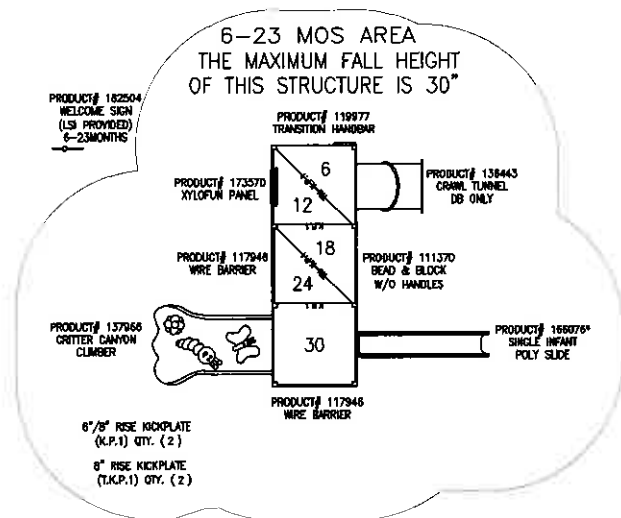
The recreation area includes a rec. Building residents use, including and a separate bathroom/shower building. The centrally located HOA maintained pool is surrounded by accented concrete lounge deck areas. Additionally, a spa is provided adjacent to the pool. The area is enclosed by a tubular steel view fence with 3 access gates.

CONCEPT STATEMENT:

The pocket park/play area includes a HOA maintained play structure from landscape structures. The park includes a synthetic lawn area that is shaded by a flowering accent tree. A bench and trash receptacle is provided in a central location. Vertical “Green Screens” will be covered in flowering vines to provide privacy to the adjacent residences. The play area is landscaped with plants requiring low water use, and low maintenance.

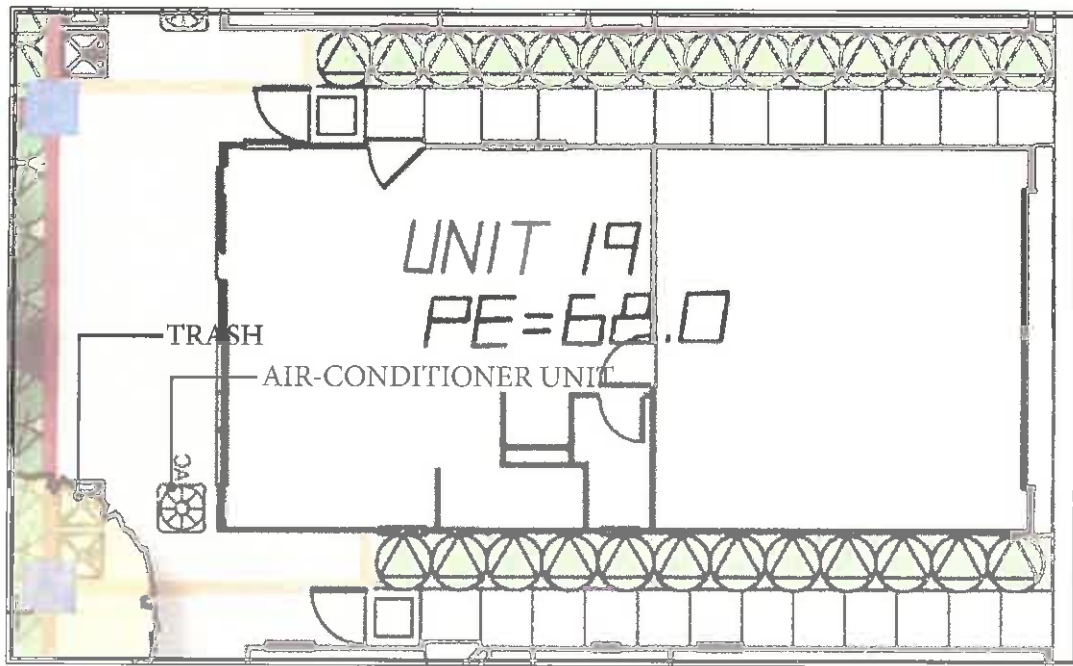


PLAY AREA - NTS



MANUFACTURER
LANDSCAPE STRUCTURES
WWW.PLAYLSI.COM

CONSULTANT:
COAST RECREATION, INC.
3151 AIRWAY AVE, SUITE A-3
COSTA MESA, CA 92626
PHONE: 714 - 619 - 0100
WWW.COAST RECREATION.COM



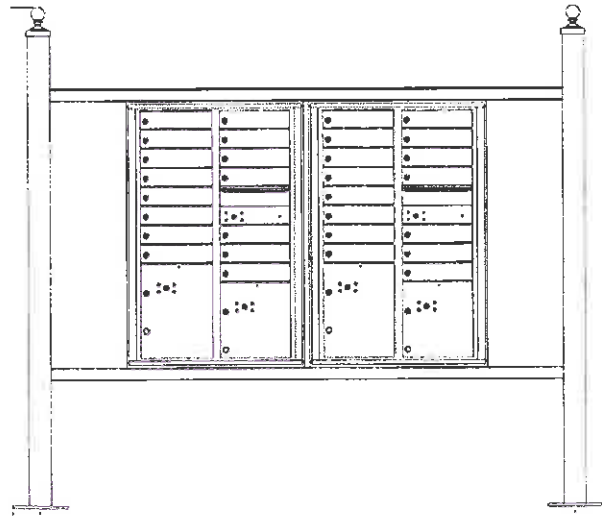
TYPICAL RESIDENCE - NTS

CONCEPT STATEMENT:

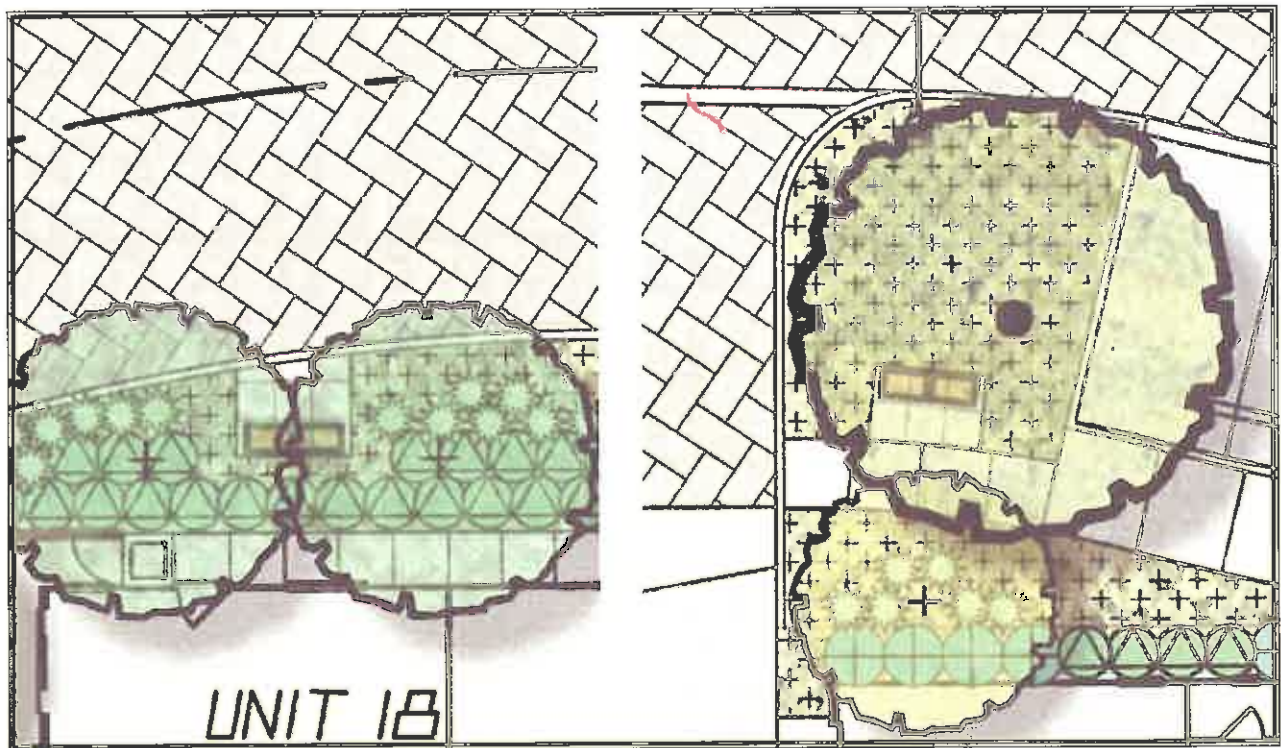
Each residence has a private walk accessing the front door, and a vinyl gate leading to the backyard that is privately maintained. The condenser unit and trash receptacles are both located in the back yard. The front planting area is maintained by the HOA.

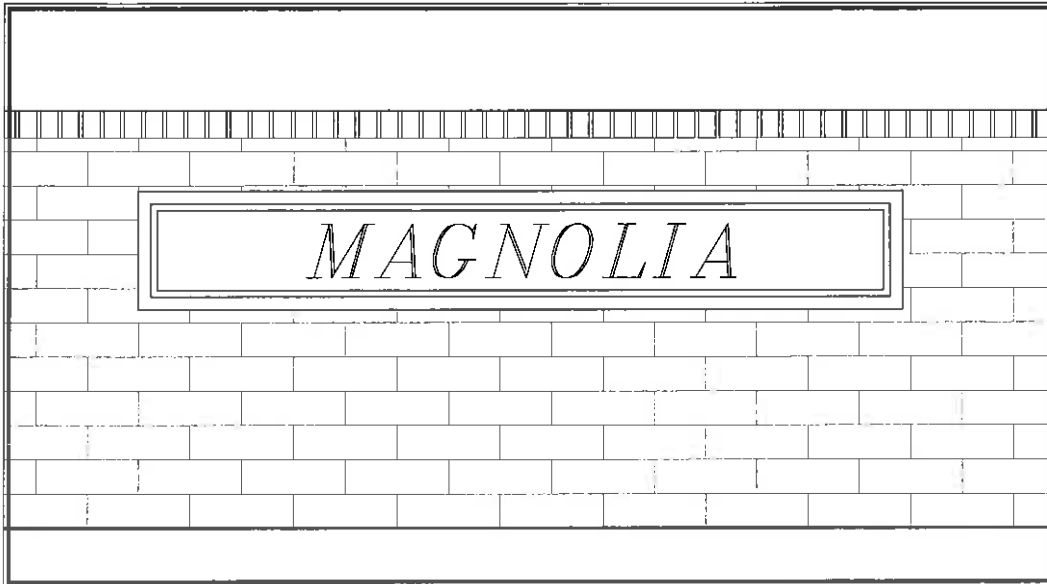
CONCEPT STATEMENT:

Two centrally located mailbox clusters are located within the community. Both are easily accessed in shaded, well lit areas.



TYPICAL MAILBOX LOCATIONS - NTS





COMMUNITY IDENTIFICATION SIGNAGE - NTS

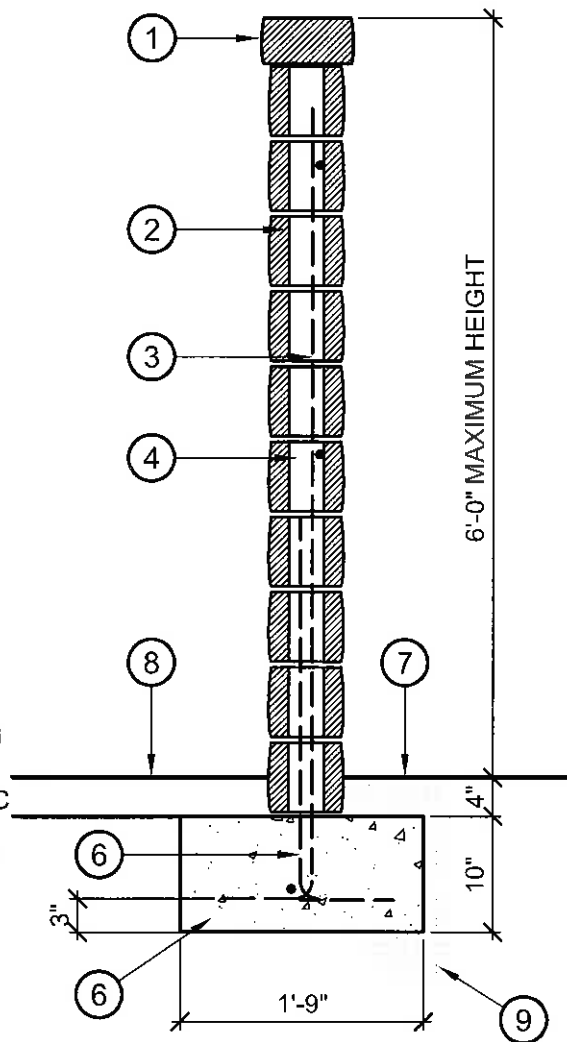
CONCEPT STATEMENT:

The community identification sign will be located at the corner of magnolia and grant street. (The name shown is a placeholder until a marketing name is established). The sign will be precast concrete affixed to the masonry wall.

- ① 8" x 4" x 18" 3-SCORE SLUMPSTONE POR-CAP
(BLOCK TO BE "MISSION" POR-CAP BY ORCO
BLOCK CO., INC.)
- ② 6" x 6" x 16" SLUMPSTONE GROUT REINF. CELLS
SOLID. (BLOCK TO BE "LA PAZ" SLUMPBLOCK BY
ORCO BLOCK CO., INC.)
- ③ #4 BAR @ 32" O.C. VERT. ALT. BENDS IN FOOTING.
CENTER IN WALL
- ④ #4 BAR HORIZ. CONT. @ 24" O.C.
- ⑤ #4 BAR CONT.
- ⑥ CONCRETE FOOTING
- ⑦ FINISH GRADE
- ⑧ FINISH SURFACE - SEE PLAN
- ⑨ COMPACTED SUBGRADE

NOTES:

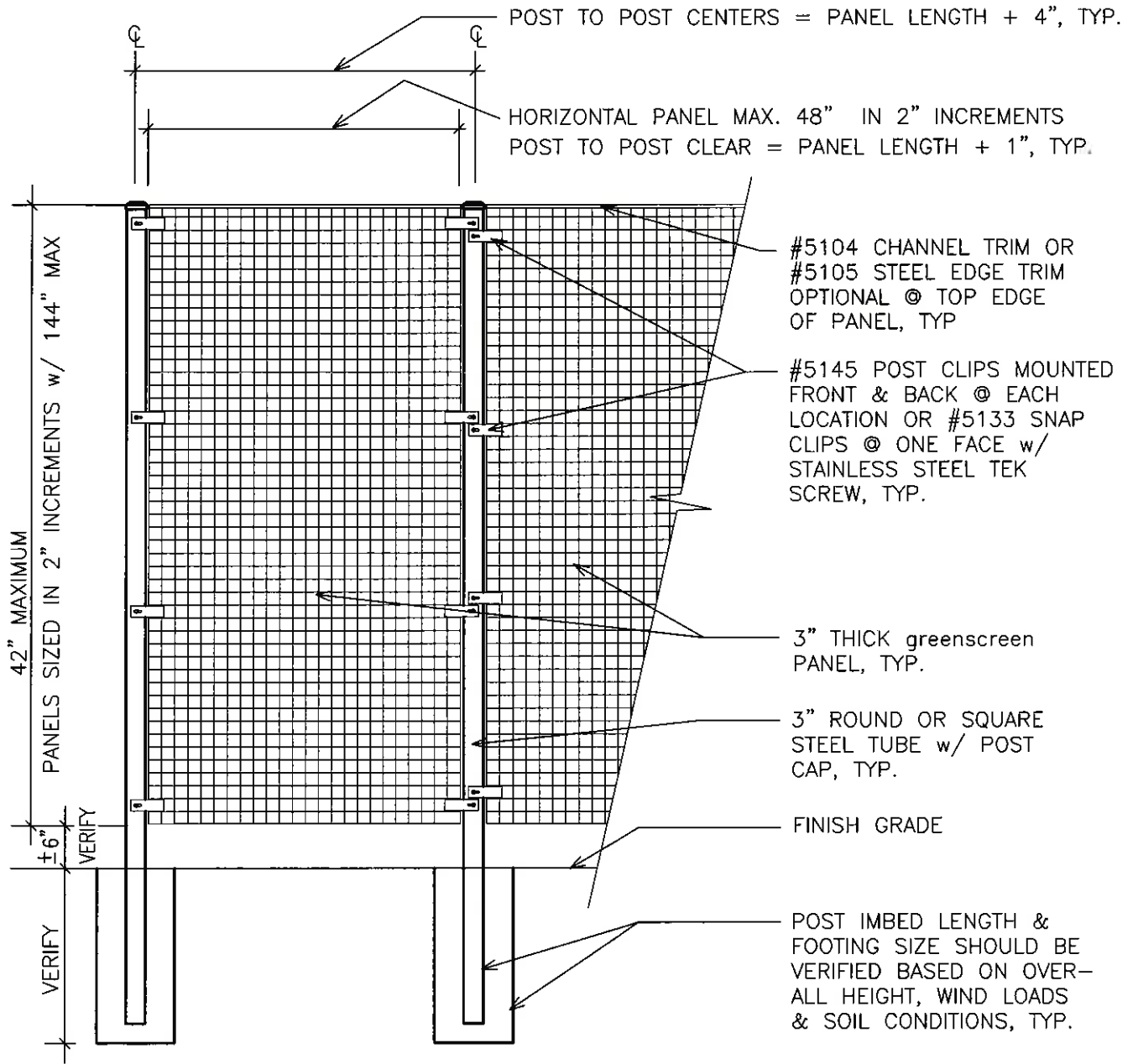
1. CMU'S SHALL BE GRADE 'A' CONFORMING TO A.S.T.M. C90, AND MFR'D IN ACCORDANCE WITH CONCRETE MASONRY ASSOC. STDS.
2. PORTLAND CEMENT SHALL CONFORM TO A.S.T.M. C150.
3. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2,500 PSI @ 28 DAYS
4. MORTAR SHALL BE FRESHLY PREPARED AND UNIFORMLY MIXED IN THE RATIO BY VOLUME OF 1 PART CEMENT, 1/2 PART LIME PUTTY, 4 1/2 PARTS SAND AND CONFORM TO A.S.T.M. C270. IF PLASTIC TYPE CEMENT IS USED OMIT LIME PUTTY.
5. GROUT SHALL BE OF FLUID CONSISTENCY. RATIO BY VOLUME 1 PART CEMENT, 3 PARTS SAND OR 1 PART CEMENT, 3 PARTS SAND AND 2 PARTS PEA GRAVEL.
6. REINF. STL. SHALL BE DEFORMED BARS CONFORMING TO A.S.T.M. A615 GRADE 40. WIRE REINF. SHALL CONFORM TO A.S.T.M. A185.



DECORATIVE SLUMPSTONE WALL

3/4" = 1'-0"

SECTION



AVAILABLE THROUGH GREEN SCREEN
(800) 450-3494



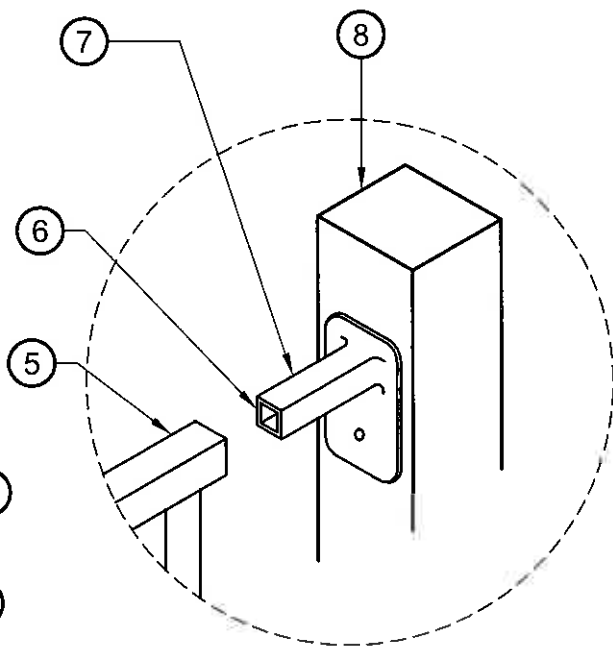
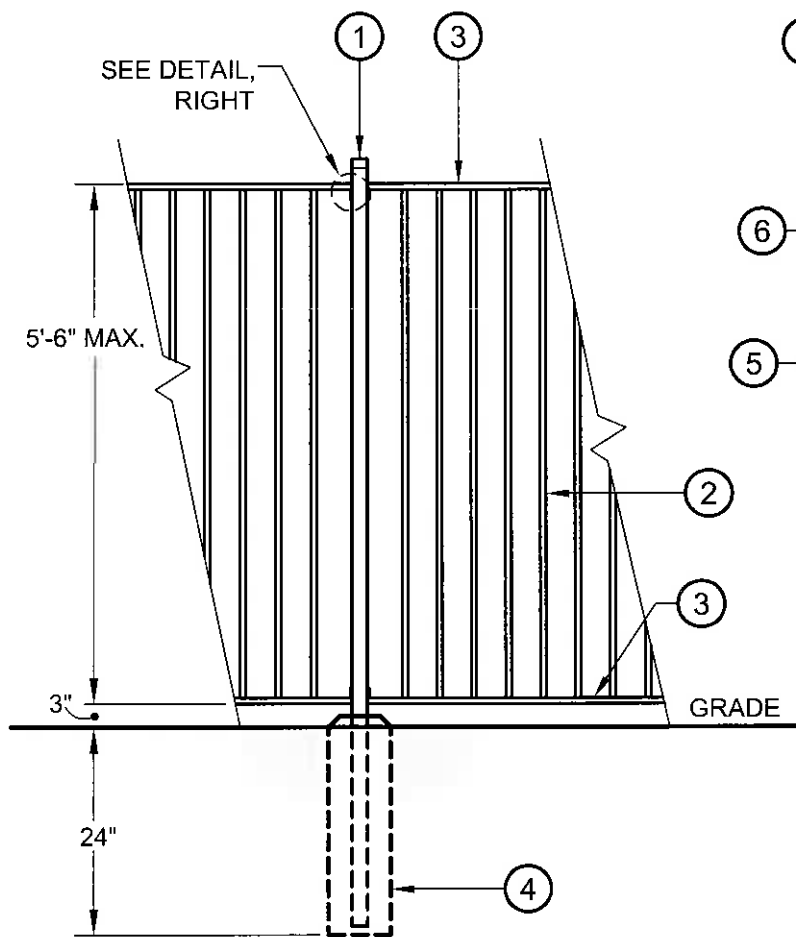
GREENSCREEN PANEL

SCALE: 1/2" = 1'-0"

VIEW

- ① 2" SQ. TUBULAR STEEL POST W/ CAP @ 8'-0" O.C. (16 GA.)
- ② 5/8" SQ. PICKETS @ 4" O.C. (18 GA.)
- ③ 1½" SQ. TUBULAR STEEL RAILS TOP & BOTTOM (16 GA.)
- ④ 8" x 24" DOMED CONCRETE FOOTING AS OCCURS, AT GRADE

- ⑤ FENCE RAIL SLIPS OVER ASSEMBLY
- ⑥ CAULK JOINT W/ CLEAR SILICON
- ⑦ OUTSIDE DIMENSION SLIGHTLY LESS THAN INSIDE DIMENSION OF TOP OR BOTTOM RAIL
- ⑧ 2" x 2" FENCE POST (OR BLOCK PORTION OF WALL / PILASTER)



**BRACKET ATTACHMENT
DETAIL**

NOTES:

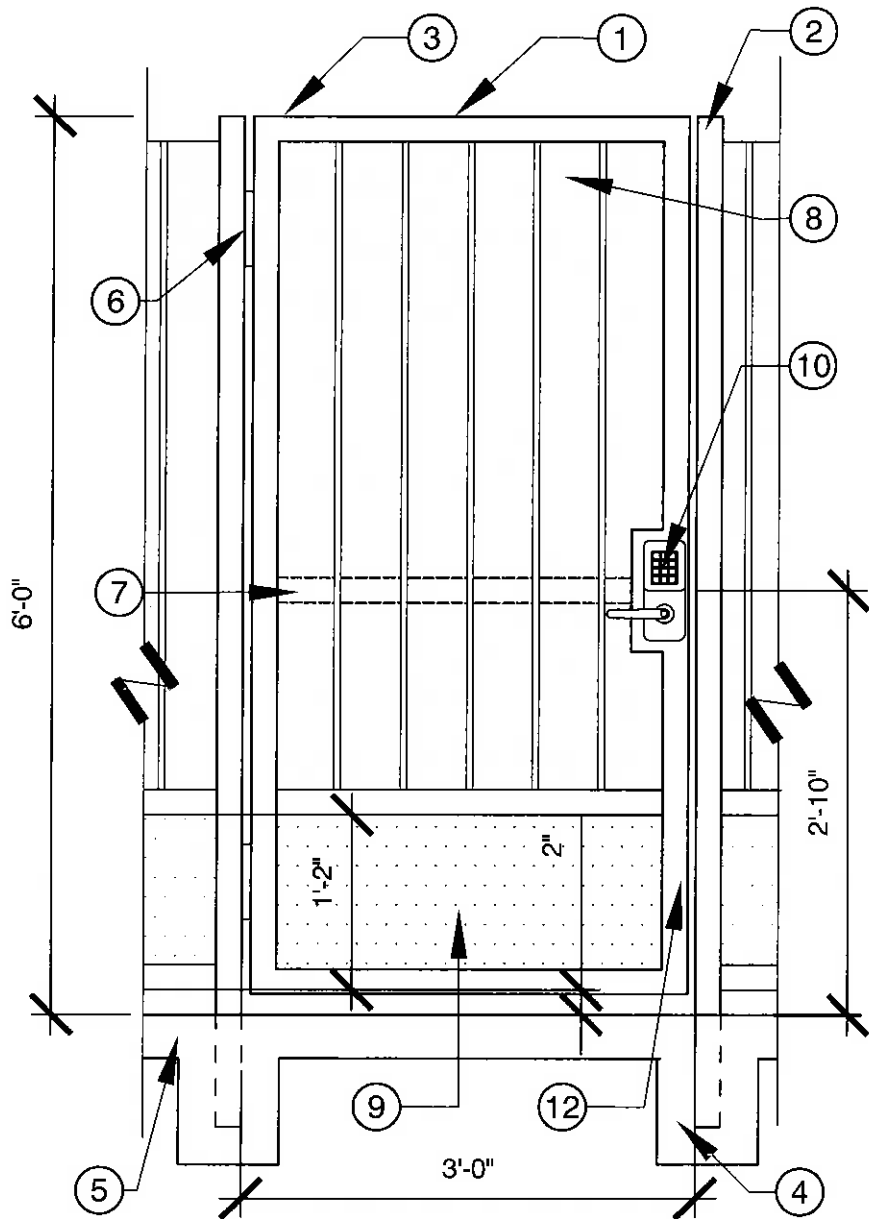
- 1. ALL MATERIAL TO BE PREGALVANIZED.
- 2. PAINT WITH (1) ONE COAT EPOXY PRIMER IN THE SHOP. FIELD PAINT WITH (2) TWO COATS EXTERIOR ENAMEL. COLOR: *BLACK*
- 3. ALL PICKET CONTINUOUS WELDS AND COLD GALVANIZED APPLIED TO WELDS.
- 4. CONNECT PANELS TO POST WITH SLIDER BRACKET (NO WELDING).
- 5. VERIFY FENCE PICKET SPACING WITH PUBLIC AGENCIES PRIOR TO CONSTRUCTION.
- 6. TOP OF FENCE IS NOT TO SLOPE. TOP OF FENCE MAY STEP AS LONG AS IT IS CONSISTENT AND HORIZONTAL WHILE THE FINISH GRADE ALONG THE BOTTOM RISES / FALLS.



5'-6" HIGH TUBULAR STEEL FENCE

1/2" = 1'-0"

SECTION / ELEVATION



- ① ENTRY GATE
- ② 2" SQ. TUBULAR STEEL FRAME - DECORATIVE FENCE / GATE
- ③ 2" SQ. TUBULAR STEEL POST
- ④ EMBED POST INTO FOOTING PER STRUCTURAL ENGINEERING DETAIL
- ⑤ ADJACENT PAVING - SEE CONSTRUCTION PLAN
- ⑥ HEAVY DUTY WELD-ON SELF-CLOSING BARREL HINGE POST TO GATE GAP - 2 1/4" MANUF: HARDWARESOURCE.COM SKU: 213000 (OR EQUAL)
- ⑦ EXIT PUSH BAR: MANUF: VON DUPRIN TYPE: 98/99 SERIES; FINISH: ANODIZED ALUMINUM (OR EQUAL)
- ⑧ PERFORATED STEEL/MESH: MANUF: MCNICHOLS ROUND PERFORATED ITEM #: 1431141641 TYPE: 16 GAUGE GALVANIZED, 3/16" ROUND ON 1/4" STAGGERED
- ⑨ PERFORATED KICK PLATE - SOLID 14-6A STEEL PLATE
- ⑩ GATE LOCK: MANUF: SCHLAGE TYPE: AD SERIES (OR EQUAL)
- ⑪ ANGLE BAR - 1/2 x 1/2 x 1/8 - MODIFIED LAP WELD TO FRAME
- ⑫ FLAT BAR GATE STOP - 1/8 x 2 1/2" - LAP WELD TO POST FRAME. MAY REQUIRE MODIFICATION AROUND KEYPAD/LOCK

GENERAL NOTES:

1. PREPARE METAL SURFACES TO BE FREE OF OIL, DIRT AND RUST.
2. GRIND ALL WELDS TO BE FREE OF BURRS.
3. ALL STEEL SHALL BE THOROUGHLY CLEANED, DRIED, AND THEN PAINTED WITH TWO COATS OF ELECTROSTATIC TWO-COMPONENT EPOXY PRIMER. AFTER PRIMER "CURING", APPLY TWO COATS OF TWO-COMPONENT URETHANE ENAMEL FORMULATED FOR ELECTROSTATIC PAINT EQUIPMENT. COLOR TO BE SELECTED.



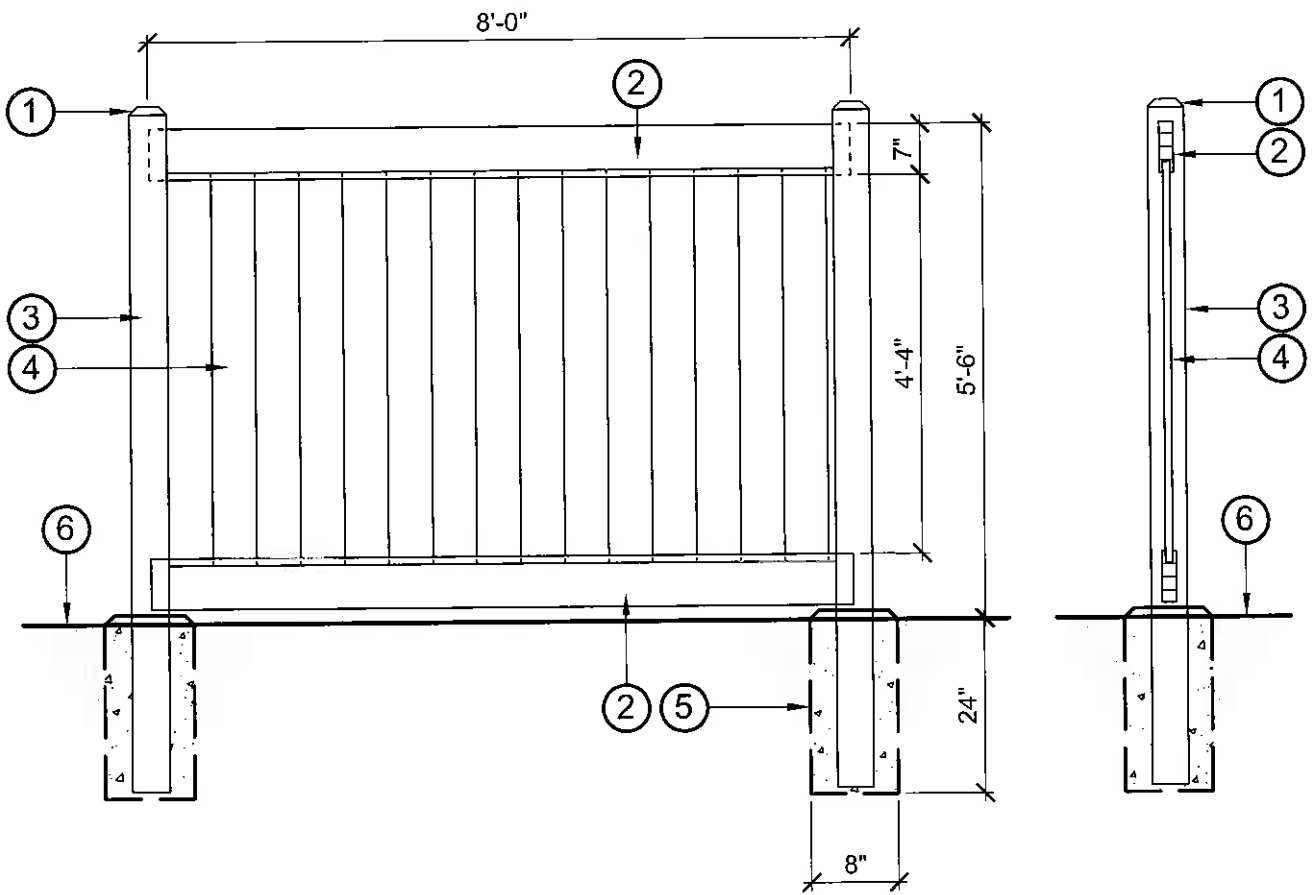
PEDESTRIAN ENTRY GATE

N.T.S.

SECTION

- ① DOMED CAP
- ② 2" x 7" TOP & BOTTOM RAIL
- ③ 5" x 5" VINYL POST
- ④ 6" TONGUE & GROOVE
- ⑤ 8" x 24" DOMED CONCRETE FOOTING
- ⑥ FINISH GRADE - SEE PLAN

NOTE:
 COLOR TO BE
 SELECTED



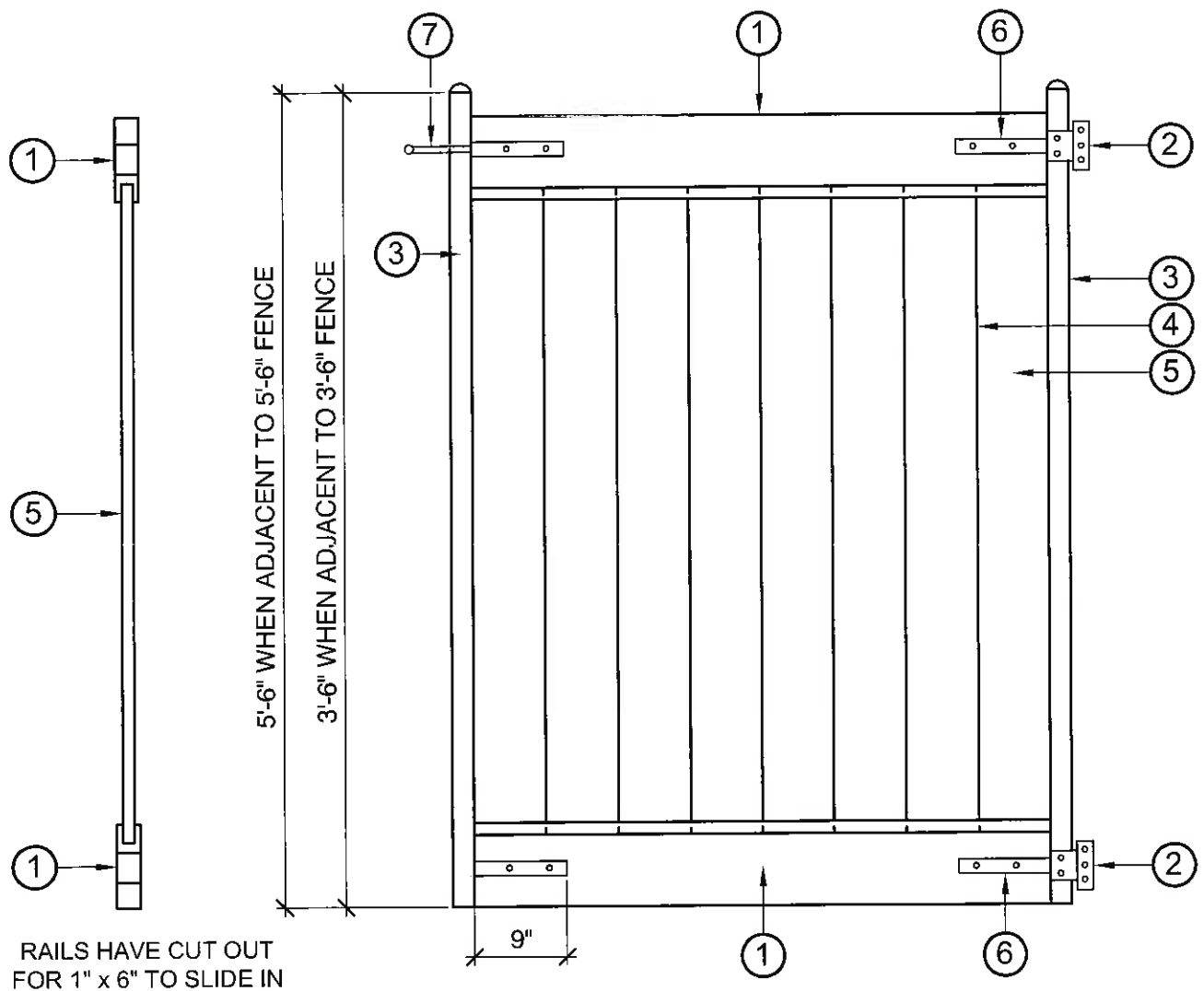
E

5'-6" HIGH VINYL PRIVACY FENCE

N.T.S.

SECTION / ELEVATION

- ① 2" x 7" OR 1½" x 5½" PVC TOP AND BOTTOM RAILS
- ② T-HINGE
- ③ 2" (16 GAUGE) PREGALVANIZED POWDER COATED UPRIGHT OR 2" x 6" PVC UPRIGHT
- ④ SPACING TO MATCH ADJACENT FENCE
- ⑤ 1" x 6" T & G PVC BOARD
- ⑥ SQUARE METAL INSERT WELDED TO UPRIGHT AND TEX SCREWED AT RAILS
- ⑦ LATCH

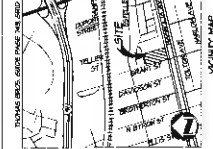


F 5'-6" HIGH PVC PEDESTRIAN GATE
 SCALE: 3/4" = 1'-0"

VIEW

CONCEPTUAL GRADING FOR TRACT NO. 37169
 UNITS 1-65 (RESIDENTIAL UNITS)
 LOTS A-G (COMMON AREA LOTS)

CITY OF RIVERSIDE STATE OF CALIFORNIA



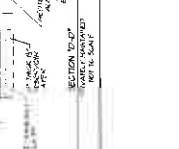
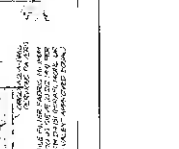
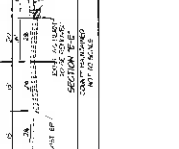
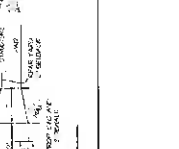
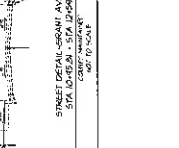
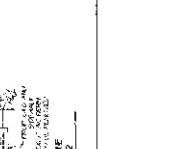
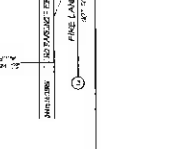
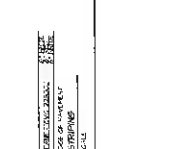
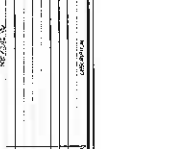
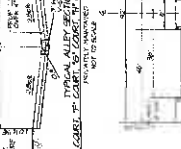
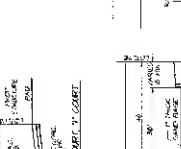
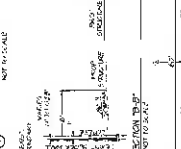
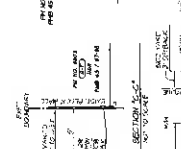
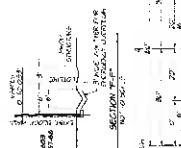
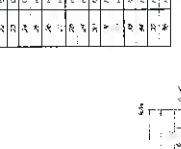
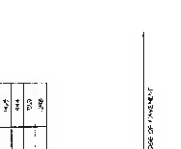
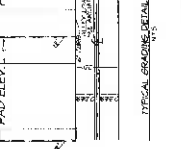
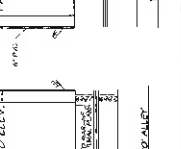
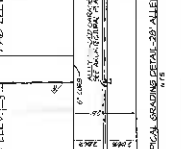
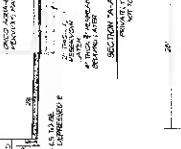
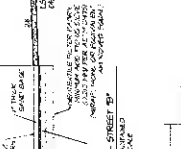
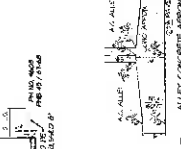
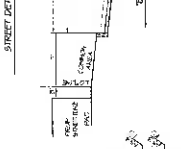
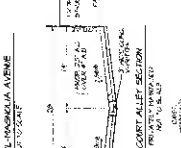
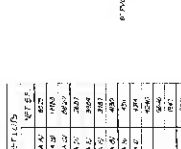
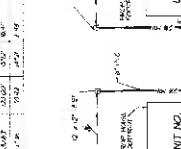
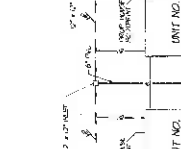
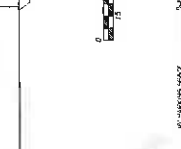
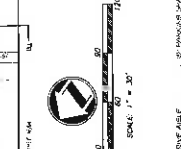
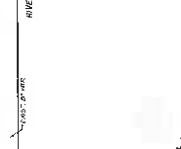
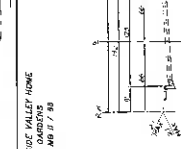
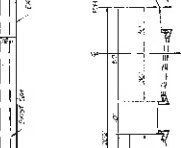
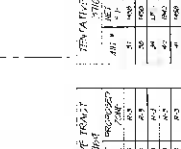
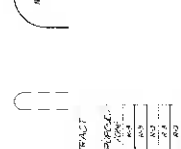
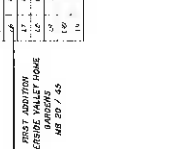
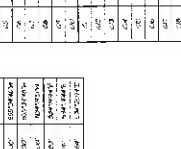
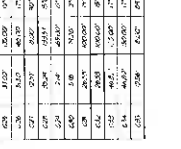
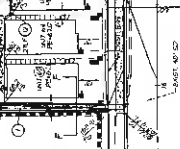
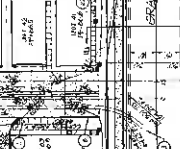
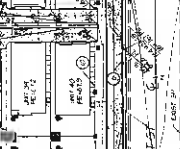
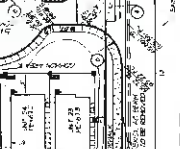
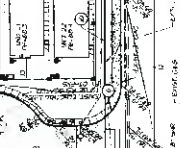
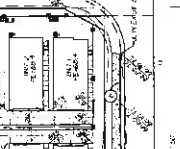
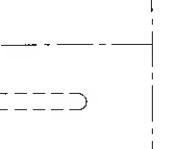
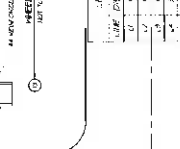
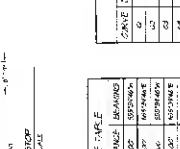
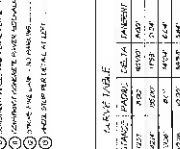
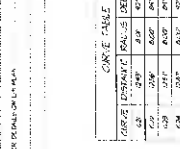
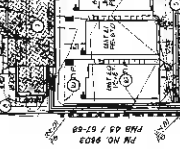
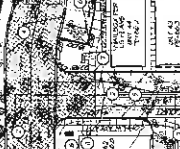
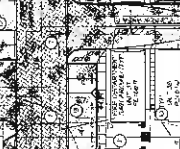
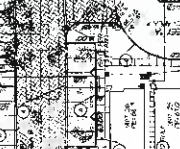
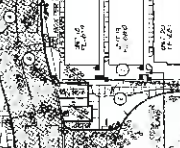
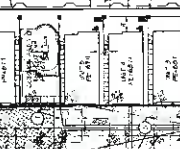
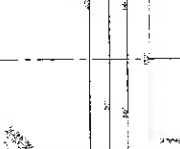
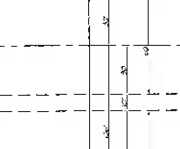
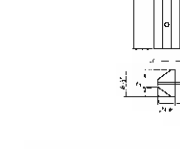
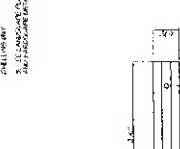
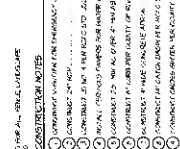
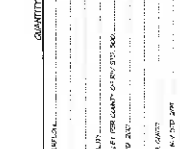
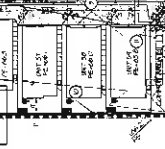
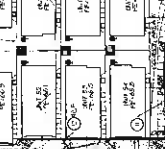
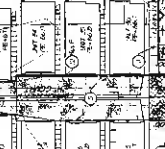
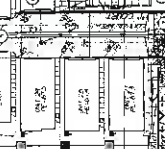
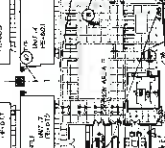
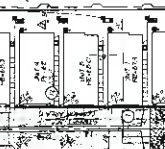
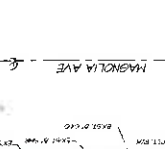
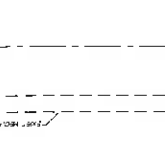
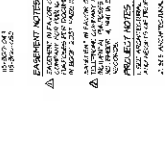
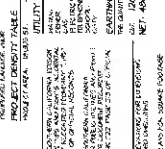
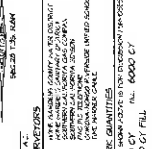
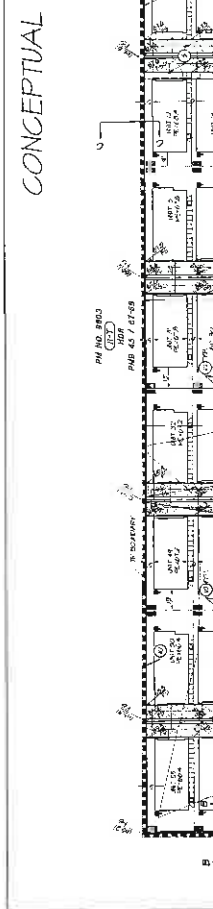
OWNER: TRUSTEES OF THE UNIVERSITY OF CALIFORNIA
 400 UNIVERSITY AVENUE
 RIVERSIDE, CALIFORNIA 92506
ARCHITECT: BURNS & MCDONNELL
 1000 UNIVERSITY AVENUE
 RIVERSIDE, CALIFORNIA 92506
ENGINEER: BURNS & MCDONNELL
 1000 UNIVERSITY AVENUE
 RIVERSIDE, CALIFORNIA 92506

PROJECT NOTES:
 1. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 2. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 3. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 4. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 5. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 6. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 7. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 8. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 9. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 10. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES:
 1. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 2. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 3. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 4. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 5. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 6. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 7. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 8. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 9. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.
 10. ALL GRADING SHALL BE TO FINISH GRADE UNLESS OTHERWISE NOTED.

QUANTITY ESTIMATE:

ITEM	DESCRIPTION	QUANTITY	UNIT
1	EXCAVATION	1000	CY
2	FILL	1000	CY
3	CONCRETE	1000	CY
4	STEEL	1000	LB
5	PAVING	1000	SQ YD
6	LANDSCAPING	1000	SQ YD
7	UTILITIES	1000	LF
8	DEMOLITION	1000	SQ YD
9	GRASS	1000	SQ YD
10	ASPHALT	1000	SQ YD

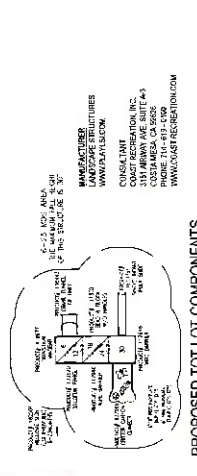
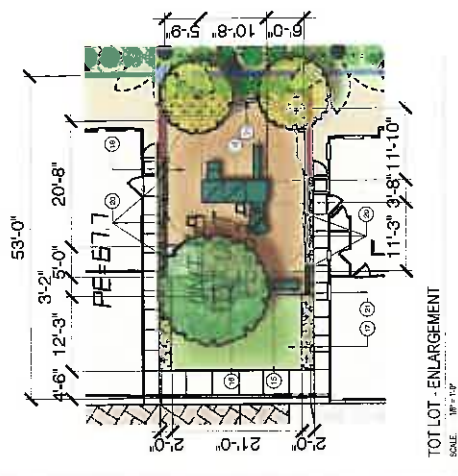


CONCEPTUAL GRADING PLAN
 PERMANENT DATE: 11/15/2011
 PROJECT NO: 37169
 SHEET NO: 11
 SCALE: 1" = 30'



LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(1)	CONCRETE PAVING	(11)	REINFORCED CONCRETE BAND
(2)	CONCRETE PAVEMENT - AT ENTRY TO REAR YARD (TYPICAL)	(12)	CONCRETE BAND WITH CONCRETE BAND
(3)	REINFORCED CONCRETE BAND	(13)	CONCRETE BAND WITH CONCRETE BAND
(4)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(14)	CONCRETE BAND WITH CONCRETE BAND
(5)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(15)	CONCRETE BAND WITH CONCRETE BAND
(6)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(16)	CONCRETE BAND WITH CONCRETE BAND
(7)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(17)	CONCRETE BAND WITH CONCRETE BAND
(8)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(18)	CONCRETE BAND WITH CONCRETE BAND
(9)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(19)	CONCRETE BAND WITH CONCRETE BAND
(10)	REINFORCED CONCRETE BAND WITH CONCRETE BAND	(20)	CONCRETE BAND WITH CONCRETE BAND



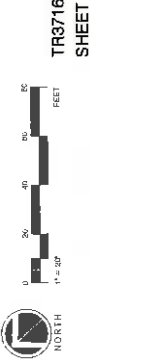
PROPOSED TOT LOT COMPONENTS
SCALE: 1/8" = 1'-0"

NOTES:
1. SEE SHEET 4 FOR FENCE AND WALL PLAN WITH EQUIPMENT
2. SEE SHEET 11 FOR GARBAGE REAR YARD CONTAINERS

OWNER:
PLANET HOME LIVING
10000 S. MAGNOLIA AVE
SUITE 200
MAGNOLIA, CA 94028
PHONE: 714-341-1234
FAX: 714-341-1234

LANDSCAPE ARCHITECT:
LANDSCAPE ARCHITECT
3000 S. AVENUE
SUITE 200
MAGNOLIA, CA 94028
PHONE: 714-341-1234
FAX: 714-341-1234

DATE: 01/15/2011



MAGNOLIA AVE - CORONA / PRELIMINARY LANDSCAPE PLAN
PLANET HOME LIVING
JANUARY 2011

TR37169
SHEET 1 OF 6



COMMENT LEGEND

SYMBOL	DESCRIPTION
(1)	CONCRETE PAVING
(2)	CONCRETE PAVEMENT - AT ENTRY TO REAR YARD (TYPICAL)
(3)	REINFORCED CONCRETE BAND
(4)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(5)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(6)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(7)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(8)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(9)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(10)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(11)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(12)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(13)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(14)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(15)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(16)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(17)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(18)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(19)	REINFORCED CONCRETE BAND WITH CONCRETE BAND
(20)	REINFORCED CONCRETE BAND WITH CONCRETE BAND

- REGULATION INFORMATION:**
- FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.
 - FEDERAL AND STATE REGULATIONS APPLICABLE TO THIS PROJECT.

- GENERAL PLANNING NOTES:**
- PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.
 - PROJECT: PENDING IN REGISTRATION.

NOTES:

- ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE ASSOCIATION'S LANDSCAPE MAINTENANCE PLAN.
- ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE ASSOCIATION'S LANDSCAPE MAINTENANCE PLAN.
- ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE ASSOCIATION'S LANDSCAPE MAINTENANCE PLAN.

PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE

PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE

PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE
PLANT SPECIES	QUANTITY	SIZE



PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING LEGEND

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

PLANTING SCHEDULE

PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY
PLANTING	SIZE	QUANTITY

MAGNOLIA AVE - CORONA / PRELIMINARY PLANTING PLAN

PLANET HOME LIVING

DWG 030117



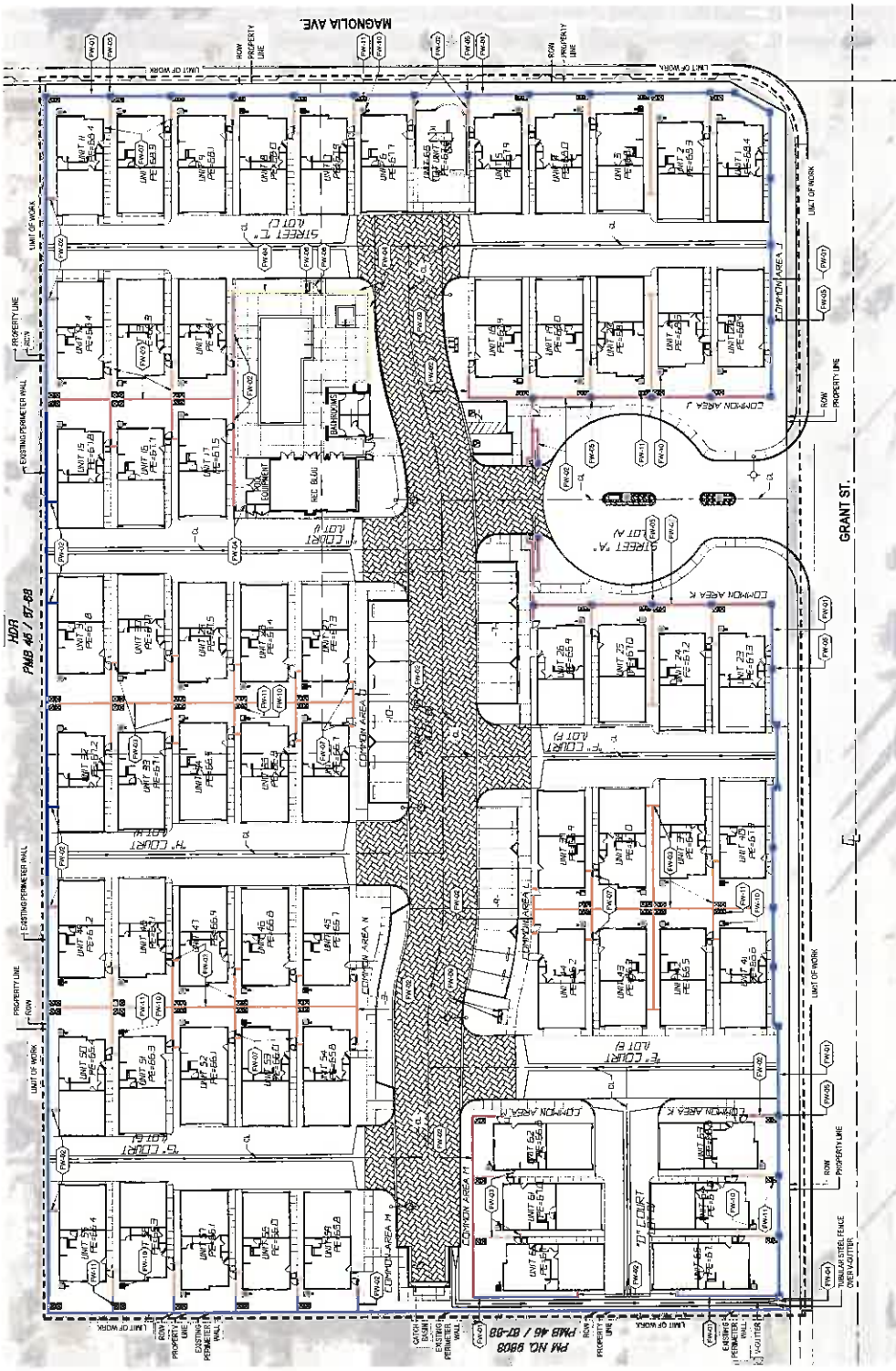


NO.	ESPECIES	BRANCH SPREAD	DBH	HEIGHT
1	PLATANUS	15'	12"	15'
2	PLATANUS	15'	12"	15'
3	PLATANUS	15'	12"	15'
4	PLATANUS	15'	12"	15'
5	PLATANUS	15'	12"	15'
6	PLATANUS	15'	12"	15'
7	PLATANUS	15'	12"	15'
8	PLATANUS	15'	12"	15'
9	PLATANUS	15'	12"	15'
10	PLATANUS	15'	12"	15'
11	PLATANUS	15'	12"	15'
12	PLATANUS	15'	12"	15'
13	PLATANUS	15'	12"	15'
14	PLATANUS	15'	12"	15'
15	PLATANUS	15'	12"	15'
16	PLATANUS	15'	12"	15'
17	PLATANUS	15'	12"	15'
18	PLATANUS	15'	12"	15'
19	PLATANUS	15'	12"	15'
20	PLATANUS	15'	12"	15'
21	PLATANUS	15'	12"	15'
22	PLATANUS	15'	12"	15'
23	PLATANUS	15'	12"	15'
24	PLATANUS	15'	12"	15'
25	PLATANUS	15'	12"	15'
26	PLATANUS	15'	12"	15'
27	PLATANUS	15'	12"	15'
28	PLATANUS	15'	12"	15'
29	PLATANUS	15'	12"	15'
30	PLATANUS	15'	12"	15'
31	PLATANUS	15'	12"	15'
32	PLATANUS	15'	12"	15'
33	PLATANUS	15'	12"	15'
34	PLATANUS	15'	12"	15'
35	PLATANUS	15'	12"	15'
36	PLATANUS	15'	12"	15'
37	PLATANUS	15'	12"	15'
38	PLATANUS	15'	12"	15'
39	PLATANUS	15'	12"	15'
40	PLATANUS	15'	12"	15'
41	PLATANUS	15'	12"	15'
42	PLATANUS	15'	12"	15'
43	PLATANUS	15'	12"	15'
44	PLATANUS	15'	12"	15'
45	PLATANUS	15'	12"	15'
46	PLATANUS	15'	12"	15'
47	PLATANUS	15'	12"	15'
48	PLATANUS	15'	12"	15'

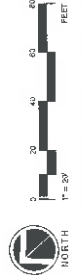
1' = 20'
 NORTH
 0 20 40 60 80
 FEET

FENCE / WALL KEYNOTES

SYMBOL	DESCRIPTION
(Symbol: Blue line)	FRAME TO SLUMP WALL BLOCK WALL
(Symbol: Red line)	INTERIOR SLUMP WALL BLOCK WALL
(Symbol: Yellow line)	W/VA NEW VANDITRICE
(Symbol: Green line)	W/VA NEW VANDITRICE
(Symbol: Blue square)	PLASTER SLUMP OVER ROOF
(Symbol: Red square)	SECURATIVE POOR WALLS
(Symbol: Yellow square)	W/VA NEW VANDITRICE
(Symbol: Green square)	W/VA NEW VANDITRICE
(Symbol: Blue triangle)	W/VA NEW VANDITRICE
(Symbol: Red triangle)	W/VA NEW VANDITRICE
(Symbol: Yellow triangle)	W/VA NEW VANDITRICE
(Symbol: Green triangle)	W/VA NEW VANDITRICE
(Symbol: Blue circle)	W/VA NEW VANDITRICE
(Symbol: Red circle)	W/VA NEW VANDITRICE
(Symbol: Yellow circle)	W/VA NEW VANDITRICE
(Symbol: Green circle)	W/VA NEW VANDITRICE
(Symbol: Blue square with dot)	W/VA NEW VANDITRICE
(Symbol: Red square with dot)	W/VA NEW VANDITRICE
(Symbol: Yellow square with dot)	W/VA NEW VANDITRICE
(Symbol: Green square with dot)	W/VA NEW VANDITRICE
(Symbol: Blue circle with dot)	W/VA NEW VANDITRICE
(Symbol: Red circle with dot)	W/VA NEW VANDITRICE
(Symbol: Yellow circle with dot)	W/VA NEW VANDITRICE
(Symbol: Green circle with dot)	W/VA NEW VANDITRICE



DATE: 11/15/2023
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT: MAGNOLIA AVE - CORONA / PRELIMINARY FENCE AND WALL PLAN



MAGNOLIA AVE - CORONA / PRELIMINARY FENCE AND WALL PLAN

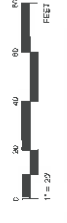
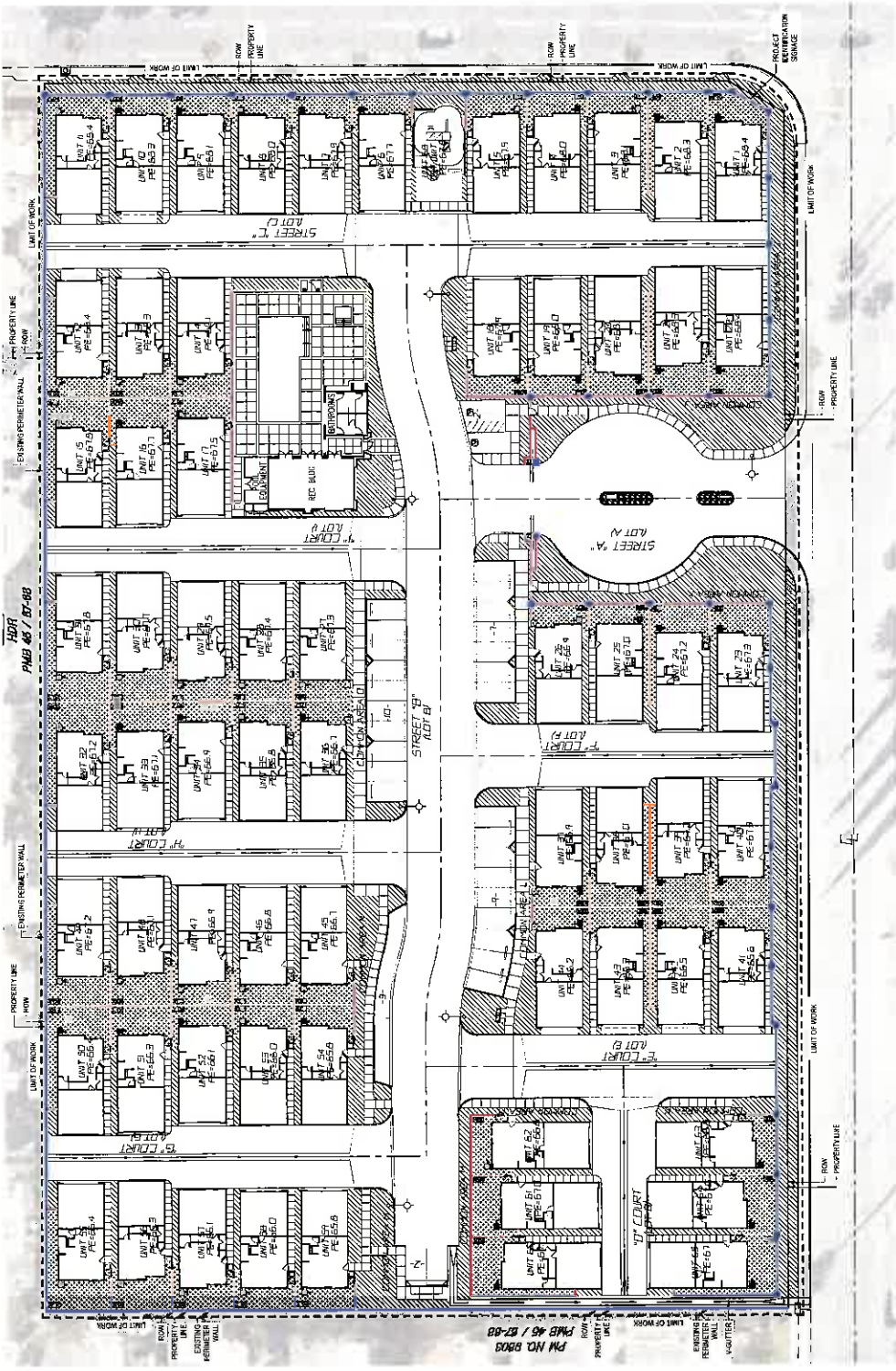
PLANET HOME LIVING
 04/2023/27

BGB

TR37169
 SHEET 4 OF 6

LANDSCAPE MAINTENANCE AREAS

EMERALD	NO. 208	23,000 SF
NON MAINTAINED LANDSCAPE		
PRIVATE LANDSCAPE - HOMEOWNER MAINTAINED		23,874 SF

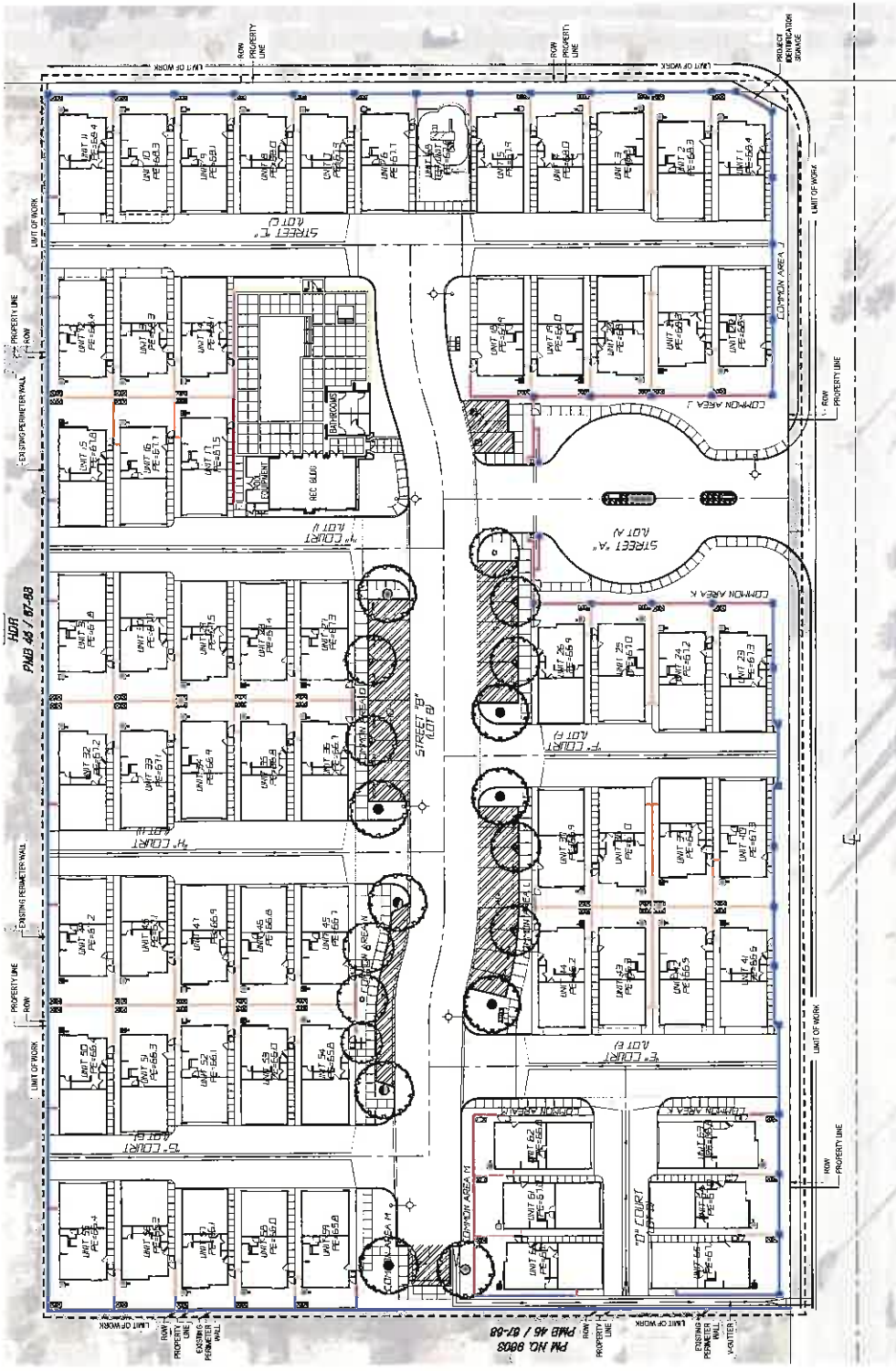


MAGNOLIA AVE - CORONA / PRELIMINARY LANDSCAPE MAINTENANCE PLAN

PLANET HOME LIVING

BGB

TR97169
SHEET 5 OF 6

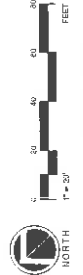


SITE DEVELOPMENT

SHADING: HATCHED
 NOTES: SEE SCHEDULE
 FINISHING: 2.00 SF
 TREE SHADING: 2.00 SF

PARKING AREA TO BE SHADDED AFTER 15 YEARS GROWTH
 COMPANIES: 144 SECTION IN 15
 TOTAL PARKING SPACES: 31 SPACES
 TOTAL SHADDED AREA: 5,820 SQ. FT.
 PERCENTAGE SHADDED: 1.47%
 * TREES INDICATED AT 15 YEARS GROWTH

NOTE:
 SEE SHEET 5 FOR PRELIMINARY PLANNING PLAN



MAGNOLIA AVE - CORONA / PRELIMINARY SHADING PLAN
 PLANET HOME LIVING

BGB

TR37169
 SHEET 6 OF 6

04/20/2021



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: TR37169 GPA01211 CZ07924

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment/Initial Study and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Brett Dawson Title: Project Planner Date: August 2, 2017

Applicant/Project Sponsor: Patric Lynham Date Submitted: October 13, 2016

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: _____ Date: _____

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Brett Dawson at 951-955-0972 or bdawson@rivco.org.

Revised: 08/01/17
Y:\Planning Case Files-Riverside office\TR37169\DH-PC-BOS Hearings\Cover_Sheet_Mitigated_Negative_Declaration.docx

Please charge deposit fee case#: ZEA42960 ZCFG06331

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42960
Project Case Type (s) and Number(s): Tentative Tract 37169 for Condominium Purposes
Lead Agency Name: Riverside County Planning Department
Address: 4080 Lemon Street, 12th Floor, P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Brett Dawson, Project Planner
Telephone Number: 951-955-0972
Applicant's Name: Patric Lynam – Planet Home Living
Applicant's Address: 1451 Quail Street, Suite 204, Newport Beach, CA 92660

I. PROJECT INFORMATION

A. Project Description:

GENERAL PLAN AMENDMENT NO. 1211 proposes to change the existing Land Use Designation from Commercial Retail (CR) – (0.20-0.35 FAR) to Very High Density Residential, (VHDR) (14-20 DU/AC)

CHANGE OF ZONE NO. 7924 proposes to change the site's current zoning classification from General Commercial (C-1/C-P) to General Residential (R-3).

TENTATIVE TRACT MAP NO. 37169 is a Schedule A subdivision of 4.16 acres into sixty five (65) single family residential units, a recreation area, a tot lot playground, and additional parking areas as part of a condominium plan.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area:

Residential Acres: 4.16	Lots: 73	Units: 65	Projected No. of Residents: 130
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Other: N/A			

D. Assessor's Parcel No(s): 115-300-047, 115-300-049, 115-300-052

E. Street References:

This project is located at the northeast corner of Magnolia Avenue and Grant Street.

F. Section, Township & Range Description or reference/attach a Legal Description:

Section 28, Township 3 South, and Range 6 West

G. Brief description of the existing environmental setting of the project site and its surroundings: The site currently consists of two residential buildings at the southwestern portion of the property, commercial building and asphalt parking on the northern portion of the property and undeveloped vacant land at the southeastern portion of the property. The property abuts a mobile home park along the northerly and easterly boundary, Grant Street, residential properties and Home Gardens County Water District to the east and Magnolia Avenue and two churches to the south.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The projects sites current General Plan Land Use Designation is Commercial Retail. This project currently proposes a General Plan Amendment to change the Land Use of the site to VHDR (Very High Density Residential)
2. **Circulation:** The proposed project will add overall trips to the area however, the Transportation Department has not required a traffic study for the subject project. It has been determined that the project is exempt from traffic study requirements.
3. **Multipurpose Open Space:** The proposed project is not located within the Multiple Species Habitat Conservation Plan (MSHCP) criteria area. The proposed project meets all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project is not located in a floodplain. The proposed project is in an area designated as having high liquefaction and is susceptible to subsidence. The project is not within a high fire area and not in a fault zone. The proposed project meets all other applicable Safety element policies.
5. **Noise:** The proposed project will permanently increase the ambient noise levels in the project vicinity above levels existing without the project. However, the project is for a residential development and noise levels associated with the proposed project are not anticipated to be substantial. The proposed project meets all other applicable Noise element policies.
6. **Housing:** The proposed project shall create 65 residential lots. The proposed project meets with all applicable Housing element policies, including the Mixed Use Area Overlay policy area.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.
8. **Healthy Communities:** The proposed project meets all applicable Healthy Community policies.

B. General Plan Area Plan(s): Temescal Canyon Area Plan

C. Foundation Component(s): Community Development (CD)

D. Land Use Designation(s): Commercial Retail (CR)

E. Overlay(s), if any: N/A

F. Policy Area(s), if any: Mixed Use Area Overlay.

G. Adjacent and Surrounding:

1. **Area Plan(s):** Temescal Canyon Area Plan

2. **Foundation Component(s):** Community Development (CD) to the north, east, west, and south

3. **Land Use Designation(s):** Commercial Retail (CR) to the south, High Density Residential (HDR) to the north and east and Medium Density Residential (MDR) to the west.

4. **Overlay(s), if any:** N/A

5. **Policy Area(s), if any:** N/A

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. **Existing Zoning:** C-1/C-P (General Commercial)

J. **Proposed Zoning, if any:** R-3 (General Residential)

K. **Adjacent and Surrounding Zoning:** C-1/C-P (General Commercial) to the south, R-T (Mobile Home Subdivision & Mobile Home Parks) to the north and east, R-1 (One Family Dwellings) to the west.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.


A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.


Signature

8/30/17
Date

Brett Dawson, Project Planner
Printed Name

Charissa Leach, Assistant TMLA Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) The proposed project is located approximately 1800 feet away from a portion of California State Route 91 which is not designated as a Scenic Highway and approximately 1.5 miles away from Interstate 15 which is designated as a State Eligible Scenic Highway. Due to the distance from Interstate 15 and location of property, the project will not have a substantial effect upon a scenic highway corridor. Therefore, the impact is considered less than significant.
- b) The proposed project is not located within close proximity to scenic resources, landmark features, or any scenic vistas and as such, the project will have no impact. Surrounding features within close proximity to the project site consist of 2 churches to the south and single family residential dwellings to the north, east and west. Therefore, no impact would occur.

Mitigation: No mitigation is required

Monitoring: No monitoring is required

2. Mt. Palomar Observatory				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

- a) The proposed project is located 52.35 miles from the Mount Palomar Observatory and is not within the Mount Palomar Lighting Influence Area. Therefore, there is no impact.

Mitigation: No mitigation is required

Monitoring: No mitigation is required

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

- a) The proposed project will create a new source of light which would accompany any new residential development; however the new source of light is not anticipated to be of significant levels since it would include lighting fixtures and lighting levels typical of a residential community that would be compatible with the immediate surrounding area. Therefore, the project shall not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area. Impact is considered less than significant.
- b) The amount of light that will be created is consistent with levels found in typical residential developments. Also, the surrounding residential uses surrounding the property to the north and east will be separated from the proposed lighting by proposed houses and walls. Therefore the proposed lighting on the property will not expose surrounding residential properties to unacceptable light levels. Impact is considered less than significant.

Mitigation: No mitigation is required

Monitoring: No monitoring is required

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES Would the project				
4. Agriculture				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

- a) The project site is not designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. As shown in Figure OS-2 "Agricultural Resources of the Riverside County General Plan, the site lies within the "Urban Built-up Land designation. Therefore, the project shall not convert land designated as Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural uses. There is no impact.
- b) The proposed project is not located in an agricultural preserve or covered by a Williamson Contract. There are no existing agricultural uses or zoning on the project site. Therefore, there is no impact.
- c) The project site is not surrounded by property zoned for agricultural uses. Therefore, there is no impact.
- d) Surrounding land uses are primarily single family residential. There are no existing agricultural uses in the project vicinity. Therefore, the proposed project shall not involve other changes in the existing environment which could result in the conversion of Farmland to non-agricultural uses. There is no impact.

Mitigation: No mitigation is required

Monitoring: No monitoring is required

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3a "Forestry Resources Western Riverside County Parks, Forests, and Recreation Areas," Figure OS-3b "Forestry Resources Eastern Riverside County Parks, Forests, and Recreation Areas," and Project Application Materials.

Findings of Fact:

- a) The project will not conflict with any zoning related to forest land, the County has no such zoning, and there is no forest land onsite or near the project site. No impact would occur.
- b) The proposed project is not located in an agricultural preserve or covered by a Williamson Contract. There are no existing agricultural uses on the project site. Therefore, there is no impact.
- c) The project site is not surrounded by property zoned for agricultural uses. Therefore, there is no impact.
- d) Surrounding land uses are primarily single family residential. There are no existing agricultural uses in the project vicinity. Therefore, the proposed project shall not result in other changes in the existing environment which could result in the conversion of Farmland to non-agricultural uses. There is no impact.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

AIR QUALITY Would the project

6. Air Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?				
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook, Tract No. 37169 Air Quality Impact Analysis Dated May 10, 2017, Prepared by Urban Crossroads

Findings of Fact: The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to insure compliance with state and federal air quality standards. The SCAQMD has adopted the 2003 Air Quality Management Plan (AQMP). The primary implementation responsibility assigned to the County (i.e. local governments) by the 2003 AQMP is the implementation of air quality control measures associated with transportation facilities. This project does not propose any transportation facilities that would require transportation control measures, and therefore will not obstruct implementation of the AQMP.

- a) The 2003 AQMP is based on socioeconomic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project proposes to amend the General Plan land use designation of the site from Commercial Retail (CR) to Highest Density Residential (HHDR). The general plan amendment will increase the density originally approved for the project site; however, the increase is not substantial. The population proposed by this project will not obstruct the implementation of the 2003 AQMP. Therefore, the impact is considered less than significant.
- b) A project may have a significant impact if project-related emissions exceed federal, state, or regional standards or thresholds, or if project-related emissions substantially contribute to existing or project air quality violations. The proposed project is located within the South Coast Air Basin, where efforts to attain state and federal air quality standards are governed by the SCAQMD. Both the state of California (state) and the federal government have established health-based ambient air quality standards (AAQS) for seven air pollutants (known as 'criteria pollutants'). These pollutants include ozone (O3), carbon monoxide (CO), nitrogen dioxide (NO2), sulfur dioxide (SO2), inhalable particulate matter with a diameter of 10 microns or less (PM10), fine particulate matter with a diameter of 2.5 microns or less (PM2.5), and lead (Pb). The state has also established AAQS for additional pollutants. The AAQS are designed to protect the health and welfare of the populace within a reasonable margin of safety. Where the state and federal standards differ, California AAQS are more stringent than the national AAQS.

Air pollution levels are measured at monitoring stations located throughout the air basin. Areas that are in nonattainment with respect to federal or state AAQS are required to prepare plans and implement measures that will bring the region into attainment. The table below titled South Coast Air Basin Attainment Status – Riverside County summarizes the attainment status in the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

project area for the criteria pollutants. Discussion of potential impacts related to short-term construction impacts and long-term area source and operational impacts are presented below.

South Coast Air Basin Attainment Status – Riverside County

Pollutant	Federal	State
O ₃ (1-hr)	No Data	Nonattainment
O ₃ (8-hr)	Nonattainment	Nonattainment
PM ¹⁰	Attainment	Nonattainment
PM ^{2.5}	Nonattainment	Nonattainment
CO	Unclassified/Attainment	Attainment
NO ₂	Unclassified/Attainment	Attainment
SO ₂	Attainment	Attainment
Pb	Unclassified/Attainment	Attainment

Source: CalEPA Air Resources Board. State and National Area Designation Maps. 2013.

Construction Emissions

Assuming build-out of the site as single-family residences, the proposed project would result in construction-related and operational emissions of criteria pollutants and toxic air contaminants. A project may have a significant impact if project-related emissions exceed federal, state, or regional standards or thresholds, or if project-related emissions will substantially contribute to existing or project air quality violations.

The California Emissions Estimator Model (CalEEMod) version 2013.2.2 was utilized to estimate the “worst-case” scenario emissions from the proposed construction activities. CalEEMod default construction phase lengths and number of equipment were utilized. The table below titled Emissions Summary of Overall Construction (Without Mitigation) summarizes the results of the CalEEMod outputs. Based on the results of the model, maximum daily emissions from the construction of the proposed project will not exceed established SCAQMD thresholds.

Unmitigated Maximum Daily Construction Emissions (lbs/day)

Year	VOC	NO _x	CO	SO ₂	PM ¹⁰	PM ^{2.5}
2017	6.58	77.22	26.09	0.06	11.45	7.12
2018	36.27	27.45	22.66	0.04	2.52	1.77
2019	36.22	2.50	3.08	5.56E-03	0.33	0.21
Maximum Daily Emissions	36.27	77.22	26.09	5.56E-03	11.45	7.12
SCAQMD Threshold	75	100	550	150	150	55
Potential Impact?	No	No	No	No	No	No

Source: CalEEMod

The project will be required to comply with the existing SCAQMD rules for the reduction of fugitive dust emissions. SCAQMD Rule 403 established these procedures. Compliance with this rule is achieved through application of standard best management practices in construction and operation activities. Based on the size of this project’s disturbance area being less than 5 acres and anticipated to move less than 5,000 cubic yards of material per day, a Fugitive Dust Control Plan or a Large Operation Notification Form would not be required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Operational Emissions

Long-term emissions are evaluated at build-out of a project. The project is assumed to be operational in 2019. Long-term criteria air pollutant emissions will result from the operation of the proposed facility. Long-term emissions are categorized as area source emissions, energy source emissions, and mobile source emissions. The table below titled Maximum Daily Operational Emissions summarizes the results of the CalEEMod outputs. Based on the results of the model, maximum daily emissions from the operation of the proposed project will not exceed established SCAQMD thresholds. Therefore, both short-term construction and long-term operational emissions will not exceed the daily thresholds established by SCAQMD and impacts will be less than significant.

Unmitigated Maximum Daily Operational Emissions (lbs/day)

Construction Phase	VOC	NO _x	CO	SO ₂	PM ¹⁰	PM ^{2.5}
Area Sources	2.50	1.14	5.85	7.17E-03	.012	0.12
Energy Sources	0.04	.035	.015	2.22E-03	0.03	0.03
Mobile Sources	0.91	6.39	10.93	0.04	2.79	0.78
Total Emissions	3.45	7.88	16.93	0.05	2.94	0.93
SCAQMD Threshold	55	55	550	150	150	55
Potential Impact?	No	No	No	No	No	No

Source: CalEEMod

- c) The proposed residential subdivision is not anticipated to result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard. Therefore, the impact is considered less than significant.
- d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include, but are not limited to, long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, and the nearest sensitive receptor is the residential community located immediately adjacent east of the Project site. However, the project is not expected to generate substantial point source emissions. The project will not include major transportation facilities, commercial or manufacturing uses, or generate significant odors. Therefore, there is no impact.
- e) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include but are not limited to long-term health care facilities,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. The proposed development would be located within 1,800 feet from California State Route 91, which is considered a line-source emitter. However, as part of adoption of the County of Riverside's General Plan in 2003, the General Plan Environmental Impact Report (EIR) (SCH No. 2002051143) analyzed the General Plan growth projections for consistency with the Air Quality Management Plan (AQMP), which was prepared by Southern California Air Quality Management District (SCAQMD), the agency overseeing air quality within the South Coast Air Basin (SCAB). The EIR concluded that the General Plan is consistent with the 2003 AQMP. This project is consistent with the Residential land use designation, and, therefore, would not result in nonconformance to the 2003 AQMP.

The project will introduce sensitive receptors (residences) into the SCAB, which has a non-attainment status for ozone, carbon monoxide, and particulate matter (PM10). Cumulative air quality impacts associated with build-out of the County's General Plan EIR concluded that air quality is a significant and unavoidable impact of General Plan implementation. However, the impact is not considered to be substantial due to the project site's approximate 1800 foot distance from the freeway. Therefore, this impact is considered less than significant.

- f) The project proposes a residential development which is not a use that will create objectionable odors affecting a substantial number of people. The project will include the construction of a detention basin within a 1.06 acre lot; however, the basin shall be landscaped and is not anticipated to create objectionable odors. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Western Riverside County Multiple Species Habitat Conservation Plan (Adopted June 2003)

Findings of Fact:

a) The proposed project is located within the Western Riverside County Multiple Species Habitat Conservation Plan Southwest Area Plan. The project site is not located within a Criteria Cell.

The project site does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The project will not have a substantial adverse effect, either directly or through habitat modification, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations. The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by California Department of Fish and Game or U.S. Wildlife Service.

The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridor, or impede the use of native wildlife nursery sites. The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. The project site will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of Clean Water Act. The proposed project will not conflict with any local policies or ordinances protection biological resources, such as a tree preservation policy or ordinance.

6.1.2 Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools

The project site does not have any riparian/riverine or vernal pool habitats on site. No additional surveys are required. The project is consistent with Section 6.1.3 of the MSHCP.

6.1.3 Protection of Narrow Endemic Plant Species

The project site is not located within a Narrow Endemic Plant Species habitat assessment area. No additional surveys are required. The project is consistent with Section 6.1.3 of the MSHCP.

6.1.4 Guidelines Pertaining to the Urban/Wildlands Interface

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

The project site is not located adjacent to an MSHCP Conservation Area. Therefore, the project is not subject to the MSHCP Urban/Wildland Interface Guidelines. The project is consistent with Section 6.1.4 of the MSHCP.

6.3.2 Additional Survey Needs and Procedures

The project site is not located within a Additional Survey Needs and Procedures habitat assessment area. No additional surveys are required. The project is consistent with Section 6.3.2 of the MSHCP.

Further, based upon the project being an urban infill project on disturbed soil, and that the project meets all of the MSHCP requirements, therefore the project has no impacts.

Mitigation: No mitigation measures are required

Monitoring: No mitigation measures are required

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?

b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a-b)The results of the record search conducted by the Eastern Information Center indicate that the property was included in a 1,684-acre archaeological survey in 1980, but no cultural resources were recorded on the property. Outside of the project boundaries, but within a one-mile radius, EIC records show at least 30 other previous studies covering various areas of land. As a result of these studies, fifteen cultural resource sites have been recorded, including seven historic sites and six prehistoric sites and one that is both prehistoric and historic. The nearest prehistoric site is situated nearly 1/2-mile way. It is a bedrock milling station and consists of two milling slicks. The nearest historic resource is the Home Gardens Water District located across the street to the west.

Several structures are present on the subject property. **Structure A** is a 1876 square foot, 4 bedroom, 2.5 bath wood framed structure with a stucco siding and a shake roof. The varying roof levels with exposed rafters give the suggestion that the house has been expanded over time. Decorative features include diamond-pane windows. On the front elevation, decorative trim remains around one window. A window box is present below that particular window. **Structure B** is a 1760 sq. ft. 3 bedroom, 2.75 bath wood frame structure with a shake roof and open shaped eaves. Storybook details on this house include the steep gable with scalloped bargeboard, diamond-pane windows and siding that consists of board and batten and brick. In 1968 a permit was issued which allowed a 486 sq. ft. addition to the dwelling. **Structure D-** In August of 1966, the Yamano Brothers were issued a permit to construct an agricultural building. This structure is not visible on the 1966 aerials but is shown on the 1967 version. While the structures meet the minimum age threshold to be considered historic, there is no apparent architectural or historical significance for any of the structures.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Based upon analysis of records and a field visit by County Archaeologist Heather Thomson, it has been determined that there will be impacts to historical resources as defined in California Code of Regulations, Section 15064.5. To mitigate impacts to these resources, a complete recordation by a qualified historic archaeologist will be required prior to grading and demolition of these structures.

Based upon analysis of records and a survey of the property by , it has been determined that there will be no impacts to significant historical resources as defined in California Code of Regulations, Section 15064.5 because there are no significant historical resources on the project site. As such, no change in the significance of historical resources would occur with the implementation of the proposed project because there are no significant historical resources. Therefore, impacts in this regard will be less than significant.

Mitigation: Documentation of the structures present on the property prior to grading permit issuance. (COA 60.PLANNING.20)

Monitoring: Monitoring will occur through the Building and Safety permit process.

9. Archaeological Resources	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

- a. Based upon analysis of records and a survey of the property it has been determined that there will be no impacts to archaeological resources as defined in California Code of Regulations, Section 15064.5 because there were no archaeological resources identified during the survey of the project site. Therefore, impacts in this regard are considered less than significant.
- b) Based upon analysis of records and a survey of the property it has been determined that there will be no impacts to significant archaeological resources as defined in California Code of Regulations, Section 15064.5 because they do not occur on the project site. Therefore no change in the significance of archaeological resources would occur with the implementation of the proposed project because there are no significant archaeological resources. Impacts in this regard would be less than significant.
- c) Based on an analysis of records and archaeological survey of the property, it has been determined that the project site does not include a formal cemetery or any archaeological resources that might contain interred human remains. Nonetheless, the project will be required to adhere to State Health and Safety Code Section 7050.5 if in the event that human remains

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

are encountered and by ensuring that no further disturbance occur until the County Coroner has made the necessary findings as to origin of the remains. Furthermore, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. This is State Law, is also considered a standard Condition of Approval and as pursuant to CEQA, is not considered mitigation. Therefore impacts in this regard are considered less than significant.

- d) Based on an analysis of records and Native American consultation, it has been determined the project property is currently not used for religious or sacred purposes. Therefore, the project will not restrict existing religious or sacred uses within the potential impact area because there were none identified. Therefore, there will be no impacts in this regard.

Mitigation: No mitigation measures are required

Monitoring: No mitigation measures are required

10. Tribal Cultural Resources

a) Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k); or,

b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c). of Public Resources Code Section 5024.1 for the purpose of this paragraph, the lead agency shall consider the significance to a California Native tribe.

Source: Native American Consultation

Findings of Fact:

a-b)In compliance with Assembly Bill 52 (AB52), notices regarding this project were mailed to eight requesting tribes on December 12, 2016. Consultation was requested by the Soboba Band of Luiseno Indians. Consultation with Soboba during a face-to-face meeting on February 16, 2017. At that meeting the project was explained to the Tribe who requested that conditions of approval for the process to be taken in the event unanticipated resources and/or human remains are identified during

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

grading activities. These conditions were provided to the Tribe on February 17, 2017 and Planning received a conclusion letter from the Tribe on August 1, 2017. No consultation request was received from the remaining tribes.

A Senate Bill 18 (SB18) consultation list request was sent to the Native American Heritage Commission (NAHC) on December 12, 2016. A response was received on December 14, 2016. The response letter indicated negative results for Sacred Lands associated with on or in the vicinity of the project. In accordance with the recommendations of the NAHC, Planning contacted all 19 Native American contacts listed in the NAHC response letter. These letters were mailed out on December 15, 2016.

Responses were received from the Pala Tribal Historic Preservation Office dated January 4, 2017. Pala deferred to Tribes closer to the project area. A response was also received from the Soboba Band of Luiseno Indians. Soboba requested government-to-government consultation and at a February 16, 2017 face-to-face meeting, requested that conditions of approval for the process to be taken in the event unanticipated resources and/or human remains are identified during grading activities be included in the conditions of approval.

No Tribal Cultural Resources were identified during consultation efforts, therefore, the Project will not have an impact on tribal cultural resources, significant or otherwise, because there are none present.

Mitigation: No mitigation measures are required

Monitoring: No mitigation measures are required

GEOLOGY AND SOILS Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments

Findings of Fact:

- a-b) The proposed project is not located within proximity to the Alquist-Priolo Earthquake Fault Zone. Overall, the project will not expose people or structures to potentially substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to residential development will minimize the potential for structural failure or loss of life during earthquakes by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. The potential impact will be less than significant. As CBC requirements are applicable to all residential developments, the requirements are not

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

considered mitigation for CEQA implementation purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Due Diligence Investigation and infiltration testing, Proposed Residential Development, Northeast Corner of Grant Street and Magnolia Avenue, City of Corona, California, Dated April 1, 2016, Prepared by Leighton and Associates, Inc. (GEO No. 2545)

Findings of Fact:

a) According to the county GIS database, the project site is located in an area with a high potential for liquefaction. As such, (per geotechnical investigation prepared by Leighton and Associates on April 1, 2016) a liquefaction analysis was performed using a historically shallowest groundwater level of 30 feet and the analysis did not indicate liquefiable soils thus resulting in a low potential for post construction liquefaction. Therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

13. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Due Diligence Investigation and infiltration testing, Proposed Residential Development, Northeast Corner of Grant Street and Magnolia Avenue, City of Corona, California, Dated April 1, 2016, Prepared by Leighton and Associates, Inc. (GEO No. 2545)

Findings of Fact:

a) The project site is located within an area that is designated as having very high susceptibility of general ground shaking risk and is expected to experience strong ground shaking during the design life of the project. International Building Code (IBC) related to building standards will mitigate this impact to less than significant levels. Building standards are standard and are not considered mitigation pursuant to CEQA. Therefore, this impact is considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 “Regions Underlain by Steep Slope”, Due Diligence Investigation and infiltration testing, Proposed Residential Development, Northeast Corner of Grant Street and Magnolia Avenue, City of Corona, California, Dated April 1, 2016, Prepared by Leighton and Associates, Inc. (GEO No. 2545)

Findings of Fact:

a) GEO No. 2545 concludes that the site is level without significant slopes. The site is not considered susceptible to static slope instability or seismically induced landslides. Therefore, this impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 “Documented Subsidence Areas Map”, Due Diligence Investigation and infiltration testing, Proposed Residential Development, Northeast Corner of Grant Street and Magnolia Avenue, City of Corona, California, Dated April 1, 2016, Prepared by Leighton and Associates, Inc. (GEO No. 2545)

Findings of Fact:

a) The project site is located in an area susceptible to subsidence. GEO No. 2545 concluded that some adjustments in grades near the completion of grading could be required to balance any earth volume changes. However, any changes in earth volumes are estimated to not exceed 0.15 feet. Therefore, there would be a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

16. Other Geologic Hazards

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Source: On-site Inspection, Due Diligence Investigation and infiltration testing, Proposed Residential Development, Northeast Corner of Grant Street and Magnolia Avenue, City of Corona, California, Dated April 1, 2016, Prepared by Leighton and Associates, Inc. (GEO No. 2545)

Findings of Fact:

- a) The Project site is more than 28 miles from the Pacific Ocean and is not located in close proximity to any natural enclosed bodies of water. Additionally, there are no volcanoes in the Project vicinity. As such, the project site would not be subject to inundation by tsunamis or seiches, and would not be affected by volcanoes. The Project site is located approximately 4 miles northwest of Lake Matthews and based on the distance from this lake and intervening topography would not be subject to potential seiche.

Additionally, Figure 10, *Temescal Canyon Area Plan Flood Hazards* also illustrates that the Project site is located within a Dam Inundation Area. The Project site would not be affected by any other geologic hazards beyond what is discussed herein under the appropriate topic heading. Accordingly, impacts would be less than significant and no mitigation would be required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Change topography or ground surface relief features? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Create cut or fill slopes greater than 2:1 or higher than 10 feet? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Result in grading that affects or negates subsurface sewage disposal systems? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

- a) Under existing conditions, the Project site has a relatively low slope across the entire site. Implementation of the proposed Project would require minor grading of the site to accommodate the proposed development. As shown in the Project's grading exhibit, the Project would generally maintain the site's existing topographic conditions. Therefore, impacts would be less than significant and no mitigation would be required.
- b) As shown in Project's grading exhibit, no grading would exceed a gradient of 2:1 (horizontal:vertical). In addition, none of the proposed slopes would exceed a height of ten feet. Accordingly, no impact would occur.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

- c) The proposed project will not result in grading that affects or negates subsurface sewage disposal systems. No subsurface sewer systems are currently present on the property and the project will utilize sewer services. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection, Due Diligence Investigation and infiltration testing, Proposed Residential Development, Northeast Corner of Grant Street and Magnolia Avenue, City of Corona, California, Dated April 1, 2016, Prepared by Leighton and Associates, Inc. (GEO No. 2545)

Findings of Fact:

- a) Proposed grading activities associated with the Project would temporarily expose underlying soils to water and air, which would increase erosion susceptibility while the soils are exposed. Exposed soils would be subject to erosion during rainfall events or high winds due to the removal of stabilizing vegetation and exposure of these erodible materials to wind and water. Erosion by water would be greatest during the first rainy season after grading and before the Project's structure foundations are established and paving and landscaping occur. Erosion by wind would be highest during periods of high wind speeds when soils are exposed.

Pursuant to the requirements of the state Water Resources Board, the Project Applicant is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit for construction activities. The NPDES permit is required for all projects that include construction activities, such as clearing, grading, and/or excavation that disturb at least one acre of total land area. Additionally, during grading and other construction activities involving soil exposure or the transport of earth materials, Chapter 15.12 (Uniform Building Code) of the Riverside County Code, which establishes, in part, requirements for the control of dust and erosion during construction, would apply to the Project. As part of the requirements of Chapter 15.12, the Project Applicant would be required to prepare an erosion control plan that would address construction fencing, sand bags, and other erosion-control features that would be implemented during the construction phase to reduce the site's potential for soil erosion or the loss of topsoil.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Following construction, wind and water erosion would be minimized, as the areas disturbed during construction would be landscaped or covered with impervious surfaces. Only nominal areas of exposed soil, if any, would occur in the site's landscaped areas. The only potential for erosion effects to occur during Project operation would be indirect effects from storm water discharged from the property. Under proposed conditions, catch basins would be installed to collect all runoff and discharge the flow into the three proposed infiltration basins. Ultimately, any excess flows would be discharged into existing storm drains, and thus would not cause or contribute any erosion hazards downstream.

Accordingly, because the Project's drainage would be fully controlled via the proposed on-site drainage facilities, impacts due to water erosion would be less than significant under long-term conditions.

- b) According to GEO No. 2545, and based on laboratory testing, the site soils are anticipated to have a low expansion potential. Any potential for expansive soils would be alleviated through compliance with the Riverside County Building Code and the 2016 California Building Code. Therefore, there would be no risk to life or property. No impact would occur.
- c) No septic tanks or alternative waste water disposal systems are proposed to be constructed or expanded as part of the Project. Accordingly, no impact would occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

- a-b) The proposed grading activities associated with the Project would temporarily expose underlying soils to water and air, which would increase erosion susceptibility while the soils are exposed. Exposed soils would be subject to erosion during rainfall events or high winds due to the removal of stabilizing vegetation and exposure of these erodible materials to wind and water. Erosion by water would be greatest during the first rainy season after grading and before the Project's structure foundations are established and paving and landscaping occur. Erosion by wind would be highest during periods of high wind speeds when soils are exposed.

Pursuant to the requirements of the State Water Resources Control Board, the Project Applicant is required to obtain a National Pollutant Discharge Elimination System (NPDES) permit for construction activities. The NPDES permit is required for all projects that include construction activities, such as clearing, grading, and/or excavation that disturb at least one acre of total land area. Additionally, during grading and other construction activities involving soil exposure or the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

transport of earth materials, Chapter 15.12 (Uniform Building Code) of the Riverside County Code, which establishes, in part, requirements for the control of dust and erosion during construction, would apply to the Project. As part of the requirements of Chapter 15.12, the Project Applicant would be required to prepare an erosion control plan that would address construction fencing, sand bags, and other erosion-control features that would be implemented during the construction phase to reduce the site's potential for soil erosion or the loss of topsoil. Requirements for the reduction of particulate matter in the air would also apply, pursuant to SCAQMD Rule 403. Mandatory compliance with the Project's NPDES permit and these regulatory requirements would ensure that erosion impacts that may change deposition, siltation, or erosion that may modify any downstream channels or other drainages during construction activities would be less than significant. Mitigation is not required.

Following construction, erosion on the Project site would be minimized, as the areas disturbed during construction would be landscaped or covered with impervious surfaces. Only nominal areas of exposed soil, if any, would occur in the site's landscaped areas. The only potential for erosion effects to occur during Project operation would be indirect effects from storm water discharged from the property. Under proposed conditions, all drainage from the developed portions of the site would be conveyed to water quality basins for treatment. The proposed water quality basins would ensure that sediments in runoff discharged from the site is minimized. Additionally, the required BMP's also would ensure that the Project would not result in any increase in water erosion either on or off-site as compared to existing conditions. Accordingly, there would be a less than significant impact that may change deposition, siltation, or erosion that may modify any downstream channels or other drainages during operation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| 20. Wind Erosion and Blowsand from project either on or off site. | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site? | | | | |

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

Findings of Fact:

- a) The project site lies within a moderate area of wind erosion. The project will decrease the amount of exposed dirt, which is subject to wind erosion, with the incorporation of concrete, asphalt, and landscaping. No changes will be made on adjacent properties that would increase wind erosion offsite that would impact this project. Current levels of wind erosion on adjacent properties that would impact this site are considered less than significant. A condition has been placed on the project to control dust created during grading activities (COA 10. BS GRADE. 8). This is a standard condition and therefore is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Monitoring: No monitoring measures are required.

21. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact: a) The site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). The proposed project site/earthmoving activities could potentially impact this resource. With incorporation of the recommended mitigation measures, the project will have less than significant impact on paleontological resources.

Mitigation: Prior to the issuance of grading permits, a Paleontological Resources Impact Mitigation Program (PRIMP) shall be submitted and approved by the County Geologist. (COA 60.PLANNING.21) A copy of the Paleontological Monitoring Report prepared for site grading operations at this site shall be submitted to the County Geologist prior to grading final inspection. (COA 70.PLANNING.2)

Monitoring: Mitigation monitoring will occur through the Building and Safety Plan Check process.

GREENHOUSE GAS EMISSIONS Would the project

22. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Tract No. 37169 Green House Gas Analysis Dated May 10, 2017, Prepared by Urban Crossroads

a, b) As stated in the Air Quality and Greenhouse Gas Analysis for the project, using all of the emissions quantified, the total construction Greenhouse Gas emissions generated from the Project is approximately 887.91 Metric Tons Carbon Dioxide equivalent (MT CO₂e) per year which includes construction-related emissions amortized over a typical project life of 30 years as shown in the below tables. The total GHG emissions from the Project are below the threshold of 3,000 MT CO₂e per year for residential projects (Tier 3) established by the South Coast Air Quality Management District (SCAQMD).

Unmitigated Operational Emissions (metric tons/year)

Emissions	CO ₂	CH ₄	N ₂ O	CO ₂ E
Construction Emissions amortized over 30 years	14.71	2.85E-03	0.00	14.81

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Area Sources	16.70	1.37E-03	2.90E-03	16.82
Energy Sources	193.63	6.37E-03	2.37E-03	194.5
Mobile Sources	613.0	3.00E-02	0.00	613.86
Waste Sources	6.08	0.36	0.00	15.04
Water Usage	28.36	0.14	3.49E-03	32.88
Total Project Emissions	887.91			
Source: Urban Crossroads				

Since the project will not exceed the screening threshold proposed by SCAQMD, the project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment or conflict with the County's goals of reducing GHG emissions. Project development will not conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of GHGs. Impacts will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

23. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan and Project Review, "Phase I and Phase II Environmental Site Assessment, 13469-13485 Magnolia Ave, Corona, California 92879, dated 7/1/16, prepared by Tetra Tech, Inc.

Findings of Fact:

- a) The project proposes residential uses. Therefore, the proposed project is not anticipated to involve the routine transport, use, or disposal of hazardous materials. However, during construction, hazardous materials such as oil, diesel fuel, and gasoline may be transported to and used at the project site. The California State Department of Toxic Substances Control operates programs for proper hazardous waste disposal and transport and takes enforcement

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

actions against those who mishandle or dispose of hazardous wastes improperly. The Riverside County Department of Environmental Health, also requires licensed hazardous waste haulers to collect and transport hazardous wastes. Compliance with the requirements of the California State Department of Toxic Substances Control and the Riverside County Department of Environmental Health would reduce the impact to less than significant levels. Compliance with the requirements of the California DTSC and Riverside County of Environmental Health is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

- b) Based on project materials and site surveys, it is not anticipated that any past use on the site would have resulted in the presence of any hazardous materials on the site. To ensure this is addressed prior to grading for the project, a Phase I and Phase II Environmental Site Assessment (ESA) was prepared for the project site. The assessment revealed that the primary chemicals of concern associated with the USTs (i.e. TPH and VOCs) are not present in soil and/or soil vapor at the historical UST locations at concentrations exceeding regulatory thresholds and do not present a significant vapor intrusion risk to future residential site occupants. Based on these results, Tetra Tech concluded the historical USTs do not present a REC. With the implementation of the Phase II ESA and resulting recommendations, impacts will be less than significant.
- c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. The project site does not contain any emergency facilities nor does it serve as an emergency evacuation route. The project has adequate emergency access and has allowed for an additional fire access road to the northwest. Therefore, there is no impact.
- d) Home Gardens Elementary School is located approximately a tenth of a mile to the south of the site and Magnolia Pre-School and Kindergarten is located approximately 0.38 of a mile to the east of the site. However, the project is for a residential subdivision and does not propose the transportation of hazardous materials, therefore, no impact would occur.
- e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, would not create a significant hazard to the public or the environment. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Airports				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
result in a safety hazard for people residing or working in the project area?				
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-20 "Airport Locations," GIS database

Findings of Fact:

- a) The project site is not located within an Airport Master Plan; therefore will not result in an inconsistency with an Airport Master Plan. Therefore, there is no impact.
- b) The project site is not located within an Airport Master Plan; therefore will not require to be reviewed by the Airport Land Use Commission. Therefore, there is no impact.
- c) The project site is not located within an airport land use plan; therefore the project will not create a safety hazard for people residing or working in the project area in reference to a public airport or public use airport. Therefore, there is no impact.
- d) The project site is not located within the vicinity of a private airstrip, or heliport, and therefore would not result in a safety hazard for people residing or working in the project area. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

25. Hazardous Fire Area

- a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

- a) The proposed project site is not within a high fire area. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

26. Water Quality Impacts

- a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?				
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

a) The site is located within the Shaded X shallow flooding area as delineated on Panel No. 06065C-0694G of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program (NFIP) administered by the Federal Emergency Management Agency (FEMA). There are two nearby District maintained flood control facilities - Arlington Channel - Grant Street Storm Drain (1-0-00022) and Home Gardens Master Drainage Plan Line D-1 (1-0-00023). Although the site is located within the Shaded X floodplain, these facilities should provide protection from normal flooding. Therefore, only nuisance nature local runoff that may traverse portions of the property will occur and the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply with all applicable ordinances. Drainage through the site will pass through pervious pavers in the streets to reduce runoff (COA 10. FLOOD RI. 1). The project has been designed to have all street and lot grading designed in a manner that perpetuates the existing natural drainage patterns with respect to tributary drainage areas, outlet points and outlet conditions. The project is not anticipated to alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site. Therefore, this impact is considered less than significant.

b) The California Porter-Cologne Water Quality Control Act (Section 13000 ("Water Quality") et seq. of the California Water Code), and the Federal Water Pollution Control Act Amendment of 1972 (also referred to as the Clean Water Act (CWA)) require that comprehensive water quality control plans be developed for all waters within the State of California. The Project site is located within the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Santa Ana River Watershed and is within the jurisdiction of the California Regional Water Control Board, Santa Ana Region.

A specific provision of the CWA applicable to the proposed Project is CWA Section 402, which authorizes the National Pollutant Discharge Elimination System (NPDES) permit program that covers point sources of pollution discharging to a water body. The NPDES program also requires operators of construction sites one acre or larger to prepare a Stormwater Pollution Prevention Plan (SWPPP) and obtain authorization to discharge stormwater under an NPDES construction stormwater permit.

Impact Analysis for Construction-Related Water Quality

Construction of the proposed Project would involve clearing, grading, paving, utility installation, building construction, and landscaping activities, which would result in the generation of potential water quality pollutants such as silt, debris, chemicals, paints, and other solvents with the potential to adversely affect water quality. As such, short-term water quality impacts have the potential to occur during construction of the Project in the absence of any protective or avoidance measures.

Pursuant to County of Riverside requirements, the Project would be required to obtain a NPDES Municipal Stormwater Permit for construction activities. The NPDES permit is required for all projects that include construction activities, such as clearing, grading, and/or excavation that disturb at least one acre of total land area. Compliance with the NPDES permit involves preparation and implementation of a SWPPP for construction-related activities. The SWPPP is required to specify the Best Management Practices (BMPs) that the Project would be required to implement during construction activities to ensure that all potential pollutants of concern are prevented, minimized, and/or otherwise appropriately treated prior to being discharged from the subject property. Mandatory compliance with the SWPPP would ensure that the proposed Project does not violate any water quality standards or waste discharge requirements during construction activities. Thus, with mandatory adherence to the Project's SWPPP, water quality impacts associated with construction activities would be less than significant and no mitigation is required.

Post-Development Water Quality Impacts

To meet NPDES requirements, the Project's proposed storm drain system is designed to route flush runoff to the proposed water quality basin. The Project would be required to implement a Water Quality Management Plan (WQMP), pursuant to the requirements of the applicable NPDES permit. The WQMP is a post-construction management program that ensures the on-going protection of the watershed basin by requiring structural and programmatic controls. The WQMP identifies structural controls to minimize, prevent, and/or otherwise appropriately treat storm water runoff flows before they are discharged from the site. Mandatory compliance with the WQMP would ensure that the Project does not violate any water quality standards or waste discharge requirements during long-term operation. Therefore, with mandatory compliance with the Project's WQMP, water quality impacts associated with post-development activities would be less than significant and no mitigation is required.

c) The Project site is located within the Home Gardens County Water District (HGCWD) service area. Home Gardens County Water District has identified the water district's anticipated future demands for potable water resources and the plans for meeting those demands. Home Gardens County Water District obtains its water from Northern California, through the Metropolitan Water District. Thus, the Project's demand for domestic water service would not substantially deplete

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

groundwater supplies such that there would be a net aquifer volume or a lowering of the local groundwater table level, and impacts would be less than significant.

Development of the Project site would increase impervious surface coverage on the site, which would in turn reduce the amount of direct infiltration of runoff into the ground. However, infiltration would occur in the landscaped areas as well as the proposed permeable pavers within the street. The permeable pavers would also function to lessen any potential increased runoff and for water quality treatment. Therefore, with incorporation of the permeable pavers and regional management efforts for groundwater resources as part of the Project design, the Project would not interfere with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level, and impacts would be less than significant.

- d) The proposed Project design features will include permeable pavers for treatment of water prior to entering the storm drain system through a catch basin at the northerly portion of the project site. The on-site drainage facilities are proposed to connect to the Grant Street Storm Drain to convey the onsite stormwater runoff which both provides adequate flood protection from the 100-year frequency storm event on site as well as provides and adequate outlet in accordance with Riverside County Flood Control District requirements. Additionally, with required adherence to a SWPPP and WQMP, the Project would not provide substantial additional sources of polluted runoff during construction or long-term operation. Accordingly, implementation of the proposed Project would not create or contribute runoff that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff. Thus, impacts would be less than significant and no mitigation is required.
- e) The proposed project is not within a flood hazard area and is not placing housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, there is no impact.
- f) The proposed project is not within a flood hazard area and is not placing structures within a 100-year flood hazard area which would impede or redirect flood flows. Therefore, there is no impact.
- g) Mandatory compliance with the BMP's specified in the Project's WQMP would ensure that the proposed Project does not result in any other impacts to water quality. There are no conditions associated with the proposed Project that would result in the substantial degradation of water quality beyond what is described above. Thus, no impact would occur.
- h) The proposed water quality basin designed to filter the Project's stormwater is strategically placed at the downstream point of the Project site's drainage areas. Runoff from the Project site would be collected in the basin and filtered to remove water pollutants before being discharged into offsite facilities. The water quality BMP's are designed to drain within a maximum of 72 hours, which would preclude the attraction of vectors and odors associated with standing water. The detention basin is an inherent part of the Project's design and, as such, the environmental effects associated with the construction and operation of the Project's BMP's are evaluated throughout this environmental assessment, and where necessary, mitigation has been identified to address any impacts associated with their construction and operation. Accordingly, the Project would not include any new or retrofitted stormwater BMPs that could result in significant environmental effects, and no impact would occur.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Monitoring: No monitoring measures are required.

27. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "Special Flood Hazard Areas," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/ Condition, GIS database

Findings of Fact:

- a) The proposed grading by the Project would generally maintain the site's existing topographic conditions. The proposed drainage facilities would provide adequate flood protection on-site and to downstream properties from the 100-year frequency storm event in accordance with Riverside County Flood Control District requirements. As such, the Project would not alter the site's drainage pattern in a manner that would lead to flooding on-site or off-site, and impacts would be less than significant.
- b) Development of the Project would increase impervious surface coverage on the site, which would in turn reduce the amount of direct infiltration of runoff into the ground. A portion of the Project site is proposed to be landscaping and infiltration would occur over these areas. Additionally, the Project proposes design features such as the use of Pervious Pavers in a portion of the proposed streets which would provide an opportunity for infiltration. The pervious pavers would function to lessen any potential increased runoff and for water quality treatment. Based on the foregoing analysis, the Project would not result in changes in absorption rates or the rate and amount of surface runoff that could result in significant environmental effects and impacts would be less than significant.
- c) A seismically-induced failure of the Prado dam facility when the dam basin is filled to capacity could cause extensive flooding across most of the Project site. In recognition of this possibility, the Temescal Canyon Area Plan (TCAP) includes four policies intended to attenuate the risk of dam failure to persons or property. Specifically, Policy TCAP 20.1 requires adherence to the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

flood proofing and flood protection requirements of Riverside County Flood Control and Water Conservation District, which regulates flood hazards. Additionally, Policy TCAP 20.2 requires proposed development projects (such as the proposed Project) to undergo review by the Riverside County Flood Control and Water Conservation District. Moreover, County Ordinance No. 457 establishes building standards and codes that apply to development that is subject to inundation. Compliance with the above-reference regulations and policies would ensure that any potential dam inundation hazards associated with future development would be less than significant. However, mitigation has been identified to reduce impacts associated with dam inundation to below a level of significance. The mitigation requires the homeowner be informed about their home being located within a dam inundation area through several disclosure mechanisms. This would ensure that all future residents on the Project site are aware of their home being located in a dam inundation hazard area, the risks associated with the home being located in an inundation zone, and the public service resources in place to help address dam inundation effects in the event the Prado Dam fails. Therefore, with mandatory compliance to TCAP policies, and the mitigation measure, the Project's impacts due to being located within a dam inundation hazard area would be less than significant.

- d) The Project site's existing drainage patterns would generally be maintained under the proposed Project. Thus, the Project has no potential to result in changes in the amount of surface water in any water body, and no impact would occur.

Mitigation: All homeowners will be informed about their home being located within a dam inundation area through several disclosure mechanisms. This would ensure that all future residents on the Project site are aware of their home being located in a dam inundation hazard area, the risks associated with the home being located in an inundation zone, and the public service resources in place to help address dam inundation effects in the event the Prado Dam fails.

Monitoring: No monitoring measures are required.

LAND USE/PLANNING Would the project

28. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

- a) The project site is currently designated CR (Commercial Retail). The project has filed a General Plan Amendment (GPA) to change the current designation to VHDR (Very High Density Residential). The GPA will result in a condominium plan; however, the rural community foundation component will remain the same. In addition, the project is adjacent to property designated Very High Density Residential (VHDR) (14-12 dwelling units per acre) to the north and east. Therefore, the project shall not result in a substantial alteration of the present land use of the area. The proposed General Plan Amendment does not alter or conflict with the

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

Riverside County Vision or a General Plan Principle. Therefore, the impact is considered less than significant.

- b) The project is located within the Corona city sphere of influence. The project proposes to change the site's zoning classification from General Commercial (C-1/C-P) to General Residential (R-3). The change of zone does not affect the residential use of the area. The project is compatible with similar single family residential uses to the north and east of the project site. Therefore, this impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

29. Planning	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

- a) The project proposes to change the site's zoning classification from General Commercial (C-1/C-P) to General Residential (R-3). The project proposes 65 single family residential lots. Therefore, the project is consistent with the proposed zoning. Therefore, the impact is considered less than significant.
- b) The zoning surrounding the proposed project site includes General Commercial (C-1/C-P) to the south, Mobile Home Subdivision & Mobile Home Parks (R-T) to the north and east, One Family Dwelling (R-1) to the west. The project is compatible with surrounding zoning. Therefore, the impact is considered less than significant.
- c) Existing surrounding land uses include Commercial Retail (CR) to the south, High Density Residential (HDR) to the north and east and Medium Density Residential (MDR) to the west. The project proposes residential uses and is consistent with existing and planned surrounding land uses. Therefore, the impact is considered less than significant.
- d) The project site is currently designated Community Development – Commercial Retail (CR). The project proposes to change the site's land use designation to Community Development – Very High Density Residential (VHDR). The project is also in the Home Garden's Town Center Mixed-Use Area Overlay Neighborhood 1. The policy overlay allows the option of

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

developing up to 25% of the designated neighborhood at the HHDR density range of (20-40 DU/acre). While the project does not meet this density option of 20 DUs per acre, the project does meet 15 DUs per acre, which does meet the spirit of the optional higher density range. The project proposes the development of 65 single family residential units within a condominium plan. Therefore, the project is consistent with the proposed General Plan land use designation and all other policies of the General Plan. Therefore, the impact is considered less than significant.

- e) The project site currently contains two (2) dwellings, un-occupied building and the remainder is vacant. Existing surrounding land uses include mobile home uses to the north and east, single family residential to the west and a church to the south. The proposed project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community). Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MINERAL RESOURCES Would the project

30. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-6 "Mineral Resources Area"

Findings of Fact:

- a-b) The proposed project is located within an area designates as MRZ-3a: Areas where the available geologic information indicates that mineral deposits are likely to exist, however, the significance of the deposits is undetermined. The project area has not been used for mining and it is not anticipated that the proposed project would result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State or in the loss of availability of a locally-important mineral resource recovery site delineated on the local general plan, specific plan or other land use plan. Therefore, the impact is considered less than significant.
- c) Existing surrounding land uses include Commercial Retail (CR) to the south, High Density Residential (HDR) to the north and east and Medium Density Residential (MDR) to the west. There are no existing surface mines that surround the project site; therefore the project will be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

compatible with the surrounding uses and will not be located adjacent to a State classified, designated area, or existing surface mine. Therefore, there is no impact.

- d) There are no proposed or existing quarries or mines, and no know abandoned quarries or mines on the project site. Therefore, it is not anticipated that the proposed project will expose people or property to hazards from proposed, existing or abandoned quarries or mines. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable A - Generally Acceptable B - Conditionally Acceptable
 C - Generally Unacceptable D - Land Use Discouraged

31. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-20 "Airport Locations," County of Riverside Airport Facilities Map, Tract No. 37169 Noise Impact Analysis Dated May 2, 2017, Prepared by Urban Crossroads

Findings of Fact:

- a) The closest airport is Corona Municipal Airport at approximately 4.4 miles northwest of the project site. Therefore, the project is not located within an airport land use plan, or within two miles of a public airport or public use airport and shall not expose people residing or working in the project area to excessive noise levels. Therefore, there is no impact.
- b) The project is not located within the vicinity of a private airstrip and shall not expose people residing or working in the project area to excessive noise levels. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

32. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection, Tract No. 37169 Noise Impact Analysis Dated May 2, 2017, Prepared by Urban Crossroads

Findings of Fact:

- a) The proposed project located approximately 750 feet south of the Metrolink 91/Perris Valley and Inland Empire/Orange County railroad lines. The FTA (Federal Transit Administration) Transit Noise and Vibration Impact Assessment identifies screening distances for vibration assessment determining when an analysis if railroad related vibrations is requires. The maximum screening distance identified in table 9-2 of the FTA Transit Noise and Vibration Impact Assessment is 200 feet for Category 2 land uses (e.g. residential) such as the Project site. Therefore, since the distance from the Project site to the Metrolink is approximately 750 feet, the project will not expose persons to excessive ground-borne vibration or ground-borne noise levels due to railroad activity consistent with FTA screening criteria. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Highway Noise

NA A B C D

Source: On-site Inspection, Tract No. 37169 Noise Impact Analysis Dated May 2, 2017, Prepared by Urban Crossroads

Findings of Fact:

- a) The proposed project is located approximately 0.3 miles away from State Route 91. It is expected that the main source of noise to the Project Site will be transportation noise from State Route 91. The unmitigated on-site traffic noise levels from SR-91, the Metrolink railroad lines, magnolia Avenue are approximately 72.0 dBA CNEL at the projects residential lots. To satisfy the County of Riverside 65 dBA CNEL exterior noise level standards for residential land use, a planned 6 foot high noise barrier for the lots adjacent to Magnolia Avenue and Grant Street are required. (COA 90. PLANNING.13) This is a standard condition of approval and is not considered unique mitigation pursuant to CEQA. With the proposed walls, the future exterior noise levels will approach 64.0 dBA CNEL. Therefore, due to the standard condition of approval, impacts will be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Other Noise				
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database

Findings of Fact:

No additional noise sources have been identified that would expose the Project to a significant amount of noise. There would be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

35. Noise Effects on or by the Project	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Table N-1 (“Land Use Compatibility for Community Noise Exposure”); Tract No. 37169 Noise Impact Analysis Dated May 2, 2017, Prepared by Urban Crossroads

Findings of Fact:

Fundamentals of Sound and Environmental Noise

Noise can be defined as unwanted sound. Sound (and therefore noise) consists of energy waves that people receive and interpret. Sound pressure levels are described in logarithmic units of ratios of sound pressures to a reference pressure, squared. These units are called bels. In order to provide a finer description of sound, a bel is subdivided into ten decibels, abbreviated dB. To account for the range of sound that human hearing perceives, a modified scale is utilized known as the A-weighted decibel (dBA). Since decibels are logarithmic units, sound pressure levels cannot be added or subtracted by ordinary arithmetic means. For example, if one automobile produces a sound pressure level of 70 dBA when it passes an observer, two cars passing simultaneously would not produce 140 dBA. In fact, they would combine to produce 73 dBA. This same principle can be applied to other traffic quantities as well. In other words, doubling the traffic volume on a street or the speed of the traffic will increase the traffic noise level by 3 dBA. Conversely, halving the traffic volume or speed will reduce the traffic noise level

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

by 3 dBA. A 3 dBA change in sound is the beginning at which humans generally notice a barely perceptible change in sound and a 5 dBA change is generally readily perceptible.

Noise consists of pitch, loudness, and duration; therefore, a variety of methods for measuring noise have been developed. According to the California General Plan Guidelines for Noise Elements, the following are common metrics for measuring noise:

LEQ (Equivalent Energy Noise Level): The sound level corresponding to a steady-state sound level containing the same total energy as a time-varying signal over given sample periods. LEQ is typically computed over 1-, 8-, and 24-hour sample periods.

CNEL (Community Noise Equivalent Level): The average equivalent A-weighted sound level during a 24-hour day, obtained after addition of five decibels to sound levels in the evening from 7:00pm to 10:00pm and after addition of ten decibels to sound levels in the night from 10:00pm to 7:00am.

LDN (Day-Night Average Level): The average equivalent A-weighted sound level during a 24-hour day, obtained after the addition of ten decibels to sound levels in the night after 10:00pm and before 7:00am.

CNEL and LDN are utilized for describing ambient noise levels because they account for all noise sources over an extended period of time and account for the heightened sensitivity of people to noise during the night. LEQ is better utilized for describing specific and consistent sources because of the shorter reference period.

- a) Permanent ambient noise impacts of the project would include typical sources of noise associated with residential land uses, but primarily would be a result in an increase in traffic on the project site and surrounding areas. Non-traffic related residential use noise would generally be compatible and would not be anticipated to substantially increase ambient noise levels on its own. Therefore, this impact is considered less than significant.
- b) The project will result in temporary construction-related noise increases to on-site ground disturbing and construction activities. Construction noise levels vary, depending on the type and intensity of construction activity, equipment type and duration of use, and the distance between the noise sources and the receiver. Riverside County Ordinance 847 prohibits the creation of any sound, on any property that causes the exterior sound level property designated as "Residential" in the general plan to exceed 55 dBA Lmax between the hours of 7:00 AM and 10:00 PM or 45 dBA Lmax between the hours of 10:00 PM and 7:00 AM. However, construction is exempt from Ordinance 847 as long as it is limited to the hours of 6:00 AM to 6:00 PM during the months of June through September and between the hours of 7:00 AM and 6:00 PM during the months of October through May (Sec 2.i.1,2). Project construction will comply with Ordinance 847. Noise levels associated with the various construction phases could reach 95 dBA to 50 feet. Temporary construction-related noise impacts will be less than significant with the implementation of existing regulations.
- c) The proposed project is for a residential development which is not anticipated to result in substantial sources of noise. The proposed project is not anticipated to expose people to or generate noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. Therefore, the impact is considered less than significant.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

- d) The proposed project is for a residential development and is not considered a land use that creates excessive ground-borne vibration or noise. Therefore, the proposed project will not expose people to or generate excessive ground-borne vibration or ground-borne noise levels. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

POPULATION AND HOUSING Would the project

36. Housing	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project site currently contains two (2) existing dwellings which shall be removed. The project proposes the creation of 65 single family units as a part of a condominium plan. Therefore, the project shall not displace substantial numbers of existing housing necessitating the construction of replacement housing elsewhere. Therefore, there is no impact.
- b) The proposed project proposed the creation of 65 single family units as a part of a condominium plan, and therefore is providing housing. The proposed project is not displacing affordable housing and is not anticipated to create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. Therefore, this impact is considered less than significant.
- c) The project site currently contains two (2) existing dwellings which shall be removed. Therefore, the proposed project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. Therefore, there is no impact.
- d) The proposed project site is not within a County Redevelopment Project Area; therefore, there is no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

- e) The proposed project will create proposed dwellings for approximately 130 persons. The project proposes a general plan amendment to change the existing Land Use Designation from CR (Commercial Retail – 0.20-0.35 FAR) to VHDR (Very High Density Residential, 14-20 DU/AC). This will allow for a greater density than originally approved by the General Plan. The projected population of the Rural Community Foundation component within the Temescal Canyon Area Plan, as depicted in Table 2 “Statistical Summary”, is 4,819 persons. Overall, the estimated population at build out of the General Plan is 58,164. These statistics reflect the midpoint for the theoretical range of build-out projections. Therefore, the proposed project’s increase in density and proposed dwellings is not anticipated to substantially cumulatively exceed official regional or local population projections. Therefore, this impact is considered less than significant.
- f) The implementation of the proposed project would not induce substantial population growth in the area, either directly or indirectly, beyond the growth anticipated by the County General Plan. The project site is currently served by electrical and telephone services, and water is available to the property by Home Gardens County Water District. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

37. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact: The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services. This is a standard condition of approval and is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Sheriff Services

Source: Riverside County General Plan

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact: The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. However, the project will not directly physically alter existing facilities or result in the construction of new facilities. The project shall comply with County Ordinance No. 659 to lessen the potential effects to sheriff services. This is a standard condition of approval and is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Schools

Source: Corona/Norco Unified School District correspondence, GIS database

Findings of Fact: The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Corona-Norco Unified School District. This project will be conditioned to comply with School Mitigation Impact fees in order to lessen the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Libraries

Source: Riverside County General Plan

Findings of Fact: The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. This project shall comply with County Ordinance No. 659 to lessen the potential effects to library services. This is a standard condition of approval and is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

41. Health Services

Source: Riverside County General Plan

Findings of Fact: The proposed project is not anticipated to result in a significant impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

project shall comply with County Ordinance No. 659 to lessen the potential effects to health services. This is a standard condition of approval and is not considered unique mitigation pursuant to CEQA. Therefore, the impact is less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

42. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

- a) The proposed project will include recreation facilities. The project incorporates a 7,521 SF lot for recreational facility and a 1,296 SF tot lot. Therefore, the impact is considered less than significant.
- b) The proposed project may include the use of existing neighborhood or regional parks or other recreational facilities, however the physical deterioration of the facilities which may occur is not anticipated to be substantial or greatly accelerated. The payment of Quimby fees reduces the impact by providing for funds for additional recreational facilities and maintenance. The payment of fees is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.
- c) The proposed project site is not located within a Riverside County Parks and Recreation District. The proposed project has been conditioned prior to map recordation to submit to the County Planning Department a duly and completely executed agreement with the Riverside County Economic Development Agency or other entity acceptable to the Planning Director, which demonstrates to the satisfaction of the County that the land divider has provided for the payment of parks and recreation fees and/or dedication of land. The proposed project has been conditioned prior to building final inspection to present certification to the Riverside County Planning Department that the payment of parks and recreation fees and/or dedication of land for park use in accordance with Section 10.35 of Ordinance No. 460 has taken place. These are standard conditions of approval, and therefore not considered mitigation pursuant to CEQA. Therefore, this impact is considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

43. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact: There are no County Designated Recreational Trails within or adjacent to the project site. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

TRANSPORTATION/TRAFFIC Would the project

44. Circulation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

f) Cause an effect upon, or a need for new or altered maintenance of roads?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

g) Cause an effect upon circulation during the project's construction?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

h) Result in inadequate emergency access or access to nearby uses?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------	-------------------------------------	--------------------------

i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

otherwise substantially decrease the performance or safety of such facilities?

Source: Riverside County General Plan

Findings of Fact:

- a) The Project will not cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system. The proposed Project would be bringing jobs to area, further reducing an existing jobs-housing imbalance, which promotes long commutes in and out of local areas. Therefore, there would be a less than significant impact.
- b) The congestion management program (CMP) applicable to the Project area is the Riverside County Transportation Commission's (RCTC) 2011 Riverside County Congestion Management Program. The nearest identified CMP facility to the Project site is Interstate 15, which is located in the vicinity of the Project site. However, due to the relatively limited scope of the proposed Project, it is unlikely that a conflict would arise with the CMP, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. Therefore, the project would have a less than significant impact.
- c) The proposed project will not change air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. Therefore, there is no impact.
- d) The proposed project will not change or alter waterborne, rail, or air traffic. Therefore, there is no impact.
- e) The proposed project will not substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment). Therefore, there is no impact.
- f) The proposed project will cause a need for new or altered maintenance of roads with the additional onsite and frontage improvements proposed. However, the project has been conditioned to provide for all street improvements, street improvement plans and/or road dedication in accordance with Ordinance 460. The project has been conditioned to prepare improvement plans, which extend 300 feet beyond the project boundaries, for the required improvements. The scope of these improvements is in accordance with existing standards and the surrounding improvements for the street. Therefore, the project would not require substantially altered maintenance of roads and impacts would be considered less than significant.
- g) During Project construction, roadway segments and intersections may be temporarily affected and temporary construction detours may be necessary. However, the effect to circulation is not anticipated to be substantial with implementation of standard requirements for submittal of a temporary traffic control plan which is subject to review and approval by the Transportation Department based on applicable requirements of the California Manual on Uniform Traffic Control Devices to ensure traffic will not be unduly impacted during construction. Therefore, the impact is considered less than significant.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

- h) The proposed project is not anticipated to result in inadequate emergency access or access to nearby uses. The project has been conditioned to make road improvements that will allow for access to the site and would not affect emergency access for existing developed properties. Therefore, this impact is considered less than significant.
- i) The proposed project will not conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks). Although the project does not specifically propose any bus turnouts, bicycle trails, or similar alternative transportation features; no such features were requested from RTA nor are any trails designated within or adjacent to the project site in the General Plan to require such features to connect with existing and planned alternative transportation networks. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

45. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Riverside County General Plan

Findings of Fact: There are no County Designated bike trails within or adjacent to the project site. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required,

UTILITY AND SERVICE SYSTEMS Would the project

46. Water				
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

- a) The project is, and will continue to be served by Home Gardens County Water District. The project will not result in significant increases to water usage, nor necessitate the need for new water treatment facilities. The project has provided Will-Serve letters from Home Gardens County Water District indicating that adequate water supplies through existing facilities are in place to serve the proposed project pending final engineering for connection to existing water supply lines located in Grant Street and payment of applicable connection fees. Any future

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

construction of new facilities required by the cumulative effects of the project and surrounding projects will have to meet all applicable environmental standards. Impacts are considered less than significant.

- b) The project has sufficient water supplies available to its establishment and is currently served by Home Gardens County Water District and will not require new or expanded entitlements. The project has provided Will-Serve letters from Home Gardens County Water District indicating that adequate water supplies and entitlements exist from the district to serve the projected building and population for their service area as detailed in the Urban Water Management Plan. Impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

47. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

- a) The project will not require or result in the construction of new wastewater treatment facilities. The project has provided Will-Serve letters from Home Gardens Sanitary District indicating that adequate sewer capacity through existing facilities are in place to serve the proposed project pending final engineering for connection to existing sewer lines located in Grant Street and payment of applicable connection fees. The project will not result in the need for a new wastewater treatment facility or expansion to an existing wastewater treatment facility. Impacts are considered less than significant.
- b) The project will not require a determination from a wastewater treatment provided that adequate processing capacity is available. The project has provided Will-Serve letters from Home Gardens Sanitary District indicating that adequate sewer capacity through existing facilities are in place to serve the proposed project pending final engineering for connection to existing sewer lines located in Grant Street and payment of applicable connection fees. Impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
48. Solid Waste				
a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

- a) Construction and operation of the proposed Project would result in the generation of solid waste, requiring disposal at a landfill. The Riverside County Waste Management Department operates six (6) landfills that serve Riverside County residents. During the first quarter of 2015 (January 1 through March 31), waste collected from unincorporated portions of western Riverside County were disposed of at one of four facilities: Badlands Landfill, Blythe Landfill, El Sobrante Landfill, and Lamb Canyon Landfill. Due to the Project's location, it is anticipated that solid waste generated during construction and long-term operation would be disposed of at Badlands Landfill, El Sobrante Landfill, and/or Lamb Canyon Landfill. These landfills have a permitted daily disposal capacity of between 3,000 and 16,054 tons per day. Therefore, the proposed Project would be served by landfills with adequate capacity to accommodate the Project's solid waste needs during both construction and long-term operation, and there will be a less than significant impact.
- b) The California Integrated Waste Management Act (Assembly Bill (AB) 939), signed into law in 1989, established an integrated waste management system that focused on source reduction, recycling, composting, and land disposal of waste. In addition, the bill established a 50% waste reduction requirement for cities and counties by the year 2000, along with a process to ensure environmentally safe disposal of waste that could not be diverted. Per the requirements of the Integrated Waste Management Act, the Riverside County Board of Supervisors adopted the Riverside Countywide Integrated Waste Management Plan (CIWMP)(adopted January 14, 1997), which outlines the goals, policies, and programs the County and its cities will implement to create an integrated and cost effective waste management system that complies with the provisions of AB 939 and its diversion mandates.

In order to assist the County of Riverside in achieving the mandated goals of the Integrated Waste Management Act, the Project Applicant would be required to work with future refuse haulers to develop and implement feasible waste reduction programs, including source reduction, recycling, and composting. Additionally, in accordance with the California Solid Waste Reuse and Recycling Act of 1991, the Project would provide adequate areas for collecting and loading recyclable materials where solid waste is collected. The collection areas are required to be shown on construction drawings and be in place before building permit final inspection. The implementation of these requirements would reduce the amount of solid waste generated by the Project, which in turn would aid in the extension of the life of affected disposal sites. As such,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

the Project would comply with mandates of applicable solid waste statutes and regulations and impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source:

Findings of Fact:

a-g) Implementation of the proposed Project would require the construction of numerous facilities as necessary to provide services to the site, including electrical facilities, natural gas lines, communication systems (telephone/cable), storm water drainage facilities, and street lighting. Impacts associated with the provision of utility service to the site are discussed below for each utility.

Electricity, Natural Gas, and Communications Systems

Electrical service is currently available in the Project area and would be provided by Southern California Edison (SCE), natural gas would be provided by Southern California Gas Company, and communication systems would be provided by Verizon. Although TR37169 does not depict proposed electricity, natural gas, or communication systems facilities, as these would be identified in the future as part of implementing improvement plans, due to the presence of existing industrial uses to the west and south of the site, it can reasonably be concluded that these facilities exist in the Project area. Any necessary connections to these existing points of connection would occur either on-site, or within off-site improved rights-of-way. Physical impacts associated with the construction of such facilities are evaluated throughout this environmental assessment. Where necessary, measures have been identified to reduce identified impacts as a result of the overall project construction to a level below significance. However, specific construction of electrical, natural gas, and communication systems to serve the project are not anticipated to have any significant impacts that would require mitigation. Accordingly, impacts due to the construction of new electrical facilities, natural gas lines, and communication systems as necessary to serve the Project would be less than significant.

Street Lighting

In accordance with Riverside County requirements, street lights would be provided along all roadways planned for improvement by the Project. Impacts associated with the construction of street lights have been evaluated in association with the physical impact of on- and off-site roadway construction

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

throughout this environmental assessment. Any impacts due to construction of street lights would be less than significant.

Storm Water Drainage

All proposed improvements would occur entirely within the Project boundary or immediately adjacent to the Project boundary. Areas subject to physical impacts in association with the construction of storm water drainage facilities as needed to serve the proposed Project have been analyzed throughout this environmental assessment. Where necessary, measures have been identified to reduce identified impacts as a result of the overall project construction to a level below significance. However, specific construction of storm drain facilities to serve the project are not anticipated to have any significant impacts that would require mitigation. Accordingly, impacts due to the construction of Project-related storm drainage facilities are less than significant and no mitigation is required.

Public Facilities Maintenance

There would be no impacts to the environment resulting from routine maintenance of public roads or the water quality basin. These activities would be limited in their scope in terms of vehicle trips, equipment utilized, and any indirect impacts that any impacts could not be determined to be significant. Accordingly, no impact would occur and no mitigation is required.

Other Governmental Services

There are no other governmental services or utilities needed to serve the proposed Project beyond what is evaluated and disclosed above and throughout the remaining sections of this Initial Study. Accordingly, no impact would occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

50. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

Source:

Findings of Fact:

Project implementation would result in the conversion of the subject site from its existing, undeveloped condition to 65 single-family residential units. This land use transition would increase the site's demand for energy. Specifically, the proposed Project would increase consumption of energy for space and water heating, air conditioning, lighting, and operation of miscellaneous equipment and appliances.

Planning efforts by energy resource providers take into account planned land uses to ensure the long-term availability of energy resources necessary to service anticipated growth. The proposed Project would develop the site in a manner consistent with the County's General Plan land use designations for the property; thus, energy demands associated with the proposed Project are addressed through long-range planning by energy purveyors and can be accommodated as they occur. Therefore, Project implementation is not anticipated to result in the need for the construction or expansion of existing energy generation facilities, the construction of which could cause significant environmental effects.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Furthermore, the State of California regulates energy consumption under Title 24 of the California Code of Regulations. The Title 24 Building Energy Efficiency Standards were developed by the CEC and apply to energy consumed for heating, cooling, ventilation, water heating, and lighting in new residential and non-residential buildings. Adherence to these efficiency standards would result in a “maximum feasible” reduction in unnecessary energy consumption. As such, the development and operation of the proposed Project would not conflict with applicable energy conservation plans, and impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

OTHER

MANDATORY FINDINGS OF SIGNIFICANCE

51. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory. Impacts would be less than significant.

52. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: There are no other cumulatively considerable impacts associated with the proposed Project that are not already evaluated and disclosed throughout this environmental assessment, in particular regarding air quality and greenhouse gas emissions that have established thresholds to consider cumulative impacts as well as hydrology and traffic impacts that consider the existing and currently planned development of the area and the specific respective drainage and traffic impacts to the overall area in a cumulative manner.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
53. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 9/6/2017 10:29 AM
EA 2010.docx

09/14/17
12:57

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

PLOT PLAN:TRANSMITTED Case #: PP26347

Parcel: 115-300-047

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for the construction of sixty five (65) single family residential units, a recreation area, a tot lot playground, and additional parking areas.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Plot Plan No. 26347. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 26347 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 26347, Exhibit A, dated 9-14-17.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 MAP- PROJECT DESCRIPTION RECOMMND

TENTATIVE TRACT MAP NO. 37169 is a Schedule A subdivision of 4.16 acres into sixty five (65) single family residential units, a recreation area, a tot lot playground, and additional parking areas as part of a condominium plan.

The project is located on the northeast corner of Grant Street and Magnolia Avenue.

10. EVERY. 2 MAP - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the TENTATIVE MAP, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10. EVERY. 2 MAP - HOLD HARMLESS (cont.) RECOMMND
its Office of County Counsel.

10. EVERY. 3 MAP- DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Tract Map No. 37169 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Tract Map No. 37169, dated April 13, 2017.

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

EXHIBIT B=Elevations and Site Plans for the project by KTG dated 4/13/17

EXHIBIT D= Design Element Booklet for Magnolia Ave by BGB Design Group dated 4/13/17

PLOT PLAN = Plot Plan No. 26347

10. EVERY. 4 MAP - 90 DAYS TO PROTEST RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, stockpiling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department conditions of approval.

10.BS GRADE. 3 MAP - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.BS GRADE. 4 MAP - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 MAP - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.BS GRADE. 6 MAP - NPDES INSPECTIONS (cont.) RECOMMND

greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 MAP - EROS CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 MAP - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 MAP - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 MAP - MINIMUM DRNAGE GRADE RECOMMND

Site drainage shall be in accordance with the current California Building Code. Swales located within 10' of the building foundation shall have 2% minimum slope.

Minimum drainage grades for paved areas shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 13 MAP - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.BS GRADE. 19 MAP - RETAINING WALLS

RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 MAP - MANUFACTURED SLOPES

RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 MAP - FINISH GRADE

RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 USE - NOISE STUDY

RECOMMND

Noise Consultant: Urban Crossroads
41 Corporate Park, Suite 300
Irvine, CA 92606

Noise Study: "Tract No. 37169, Noise Impact Analysis, County of Riverside," May 2, 2017. (10945-04 Noise Study).

Based on the County of Riverside, Industrial Hygiene Program's review of the aforementioned Noise Study, TR37169 shall comply with the recommendations set forth under the Industrial Hygiene Program's response letter dated May 23, 2017 c/o Steven Uhlman.

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.E HEALTH. 2 USE - WATER AND SEWER SERVICE RECOMMND

TR37169 is proposing potable water service and sanitary sewer service from Home Gardens County Water District . It is the responsibility of the developer to ensure that all requirements to obtain potable water service and sanitary sewer service are met with the appropriate purveyor(s) as well as all other applicable agencies.

Any existing onsite wastewater treatment system and/or onsite water well shall be properly removed or abandoned under permit with the Department of Environmental Health.

10.E HEALTH. 3 USE - DESTRUCTION OF WELL/OWTS RECOMMND

Any existing wells or OWTS must be properly destroyed under permit with this Department.

FIRE DEPARTMENT

10.FIRE. 1 MAP-#50-BLUE DOT REFLECTORS RECOMMND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 MAP-#16-HYDRANT/SPACING RECOMMND

Schedule A fire protection approved standard fire hydrants, (6"x4"x2 1/2") located one at each street intersection and spaced no more than 330 feet apart in any direction. Minimum fire flow shall be 1000 GPM for 2 hour duration at 20 PSI.

10.FIRE. 3 MAP-#15-POTENTIAL FIRE FLOW RECOMMND

The water mains shall be capable of providing a fire flow from any one hydrant of 1000 GPM for 2-hour duration at 20 PSI residual operating pressure.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT RECOMMND

Bluebeam Session ID: 665-350-341
Tract Map (TR) 37169 is a proposal for a Schedule A

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.FLOOD RI. 1

MAP FLOOD HAZARD REPORT (cont.)

RECOMMND

residential subdivision of 4.16 acres in the Home Gardens area. The site is located on the northeast corner of Grant Street and Magnolia Avenue. This project is being processed concurrently with Change of Zone 07924, which is a proposal to change the current land-use zoning from General Commercial (C-1/C-P) to General Residential (R-3).

The site is located within the Shaded X shallow flooding area as delineated on Panel No. 06065C-0694G of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program (NFIP) administered by the Federal Emergency Management Agency (FEMA). There are two nearby District maintained flood control facilities - Arlington Channel - Grant Street Storm Drain (1-0-00022) and Home Gardens Master Drainage Plan Line D-1 (1-0-00023). Although the site is located within the Shaded X floodplain, these facilities should provide protection from normal flooding. Therefore, only nuisance nature local runoff that may traverse portions of the property will occur and the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply with all applicable ordinances.

The exhibit shows a proposed onsite storm drain connecting to the Grant Street Storm Drain to convey the onsite stormwater runoff. An encroachment permit shall be obtained for any work within the District right of way or with District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

The District reviewed the preliminary water quality management plan (WQMP) dated June 21, 2016 for this project. The WQMP indicates the use of pervious pavers in the streets as its water quality feature. These pavers shall be placed in strategic areas that allow water runoff generated onsite to be treated. It appears this is applicable for the pavers proposed within Street "B", but may not be applicable for the pavers proposed within Street "A". It appears little to no runoff actually traverses across Street "A". The pavers can be proposed in different locations that would be more beneficial for the water quality mitigation goal and would not affect the map layout. This issue can be resolved in the improvement plan phase of development with the final WQMP submittal prior to

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT (cont.) (cont.) RECOMMND
grading permit issuance.

10.FLOOD RI. 2 MAP 10 YR CURB - 100 YR ROW RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

10.FLOOD RI. 4 MAP 100 YR SUMP OUTLET RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP =PRELIM RECOMMND

In compliance with Santa Ana Region Regional Water Quality Control Board Orders, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: www.rcflood.org under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. The report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.FLOOD RI. 17 MAP SUBMIT FINAL WQMP =PRELIM (cont.) RECOMMND

that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:

The developer/permit holder or any successor in interest shall comply with the following codes:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (two working days). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 2 MAP - UNANTICIPATED RESOURCES RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

1)All ground disturbance activities within 100 feet of the

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.PLANNING. 2

MAP - UNANTICIPATED RESOURCES (cont.)

RECOMMND

...discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.

2)The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3)At the meeting with the aforementioned parties, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4)Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to sacred or cultural importance.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 3

MAP- MAP ACT COMPLIANCE

RECOMMND

This land division shall comply with the State of California Subdivision Map Act and to all requirements of County Ordinance No. 460, Schedule A, unless modified by the conditions listed herein.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.PLANNING. 4 MAP - FEES FOR REVIEW

RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in county Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 9 MAP - OFFSITE SIGNS ORD 679.4

RECOMMND

No offsite subdivision signs advertising this land

division/development are permitted, other than those allowed under Ordinance No. 679.4. Violation of this condition of approval may result in no further permits of any type being issued for this subdivision until the unpermitted signage is removed.

10.PLANNING. 11 MAP - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each residential unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

09/13/17
11:34

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 12

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.PLANNING. 12

MAP - ORD 810 OPN SPACE FEE

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

The fee shall be paid for each residential unit to be constructed within this land division.

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 14

MAP - DESIGN GUIDELINES

RECOMMND

The project shall conform to Countywide Design Standards and Guidelines adopted January 13, 2004.

10.PLANNING. 15

USE- BASIS FOR PARKING

RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12.

TRANS DEPARTMENT

10.TRANS. 1

MAP - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.TRANS. 1 MAP - STD INTRO 3(ORD 460/461) (cont.) RECOMMND

resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 MAP - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 MAP - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. It has been determined that the project is exempt from traffic study requirements.

10.TRANS. 4 MAP - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/permit holder shall ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition. ADD THIS ITEM IF THIS CONDITION IS BEING APPLIED TO AN EXISTING CUP]

Prior to the installation or rehabilitation of 2,500 square feet or more of [IF CUP OR MAP FOR COMMERCIAL/INDUSTRIAL PROJECT THEN REMOVE PHRASE "2,500 SQUARE FEE OR MORE"] landscaped area, the developer/ permit holder/landowner shall:

1)Submit landscape and irrigation plans to the County Transportation Department for review and approval. Such plans shall be submitted as a Minor Plot Plan subject to the appropriate fees and inspections as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping. Emphasis shall be placed on using plant species that are drought tolerant and low water using.

2)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.TRANS. 4 MAP - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

3) Ensure all landscaping is provided with a weather based irrigation controller(s) as defined by County Ordinance No. 859; and,

4) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the Installation Inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

10.TRANS. 5 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 6 MAP - DRAINAGE 2 RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

10.TRANS. 7 MAP - OFF-SITE PHASE RECOMMND

Should the applicant choose to phase any portion of this project, said applicant shall provide off-site access roads to County maintained roads as approved by the Transportation Department.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

WASTE DEPARTMENT

10.WASTE. 1 MAP - HAZARDOUS MATERIALS RECOMMND

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division.

10.WASTE. 2 MAP AB 341 RECOMMND

AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:

-Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.

-Subscribe to a recycling service with waste hauler.

-Provide recycling service to tenants (if commercial or multi-family complex).

-Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:
www.rivcown.org/opencms/recycling/recycling_and_compost_business.html#mandatory

10.WASTE. 3 MAP - LANDSCAPE PRACTICES RECOMMND

Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

10. GENERAL CONDITIONS

10.WASTE. 3 MAP - LANDSCAPE PRACTICES (cont.) RECOMMND

Reduce the amount of green waste generated in common landscaped areas through grass recycling (where lawn clippings from a mulching type mower are left on lawn), or through on-site composting of green waste, or through the separation of green waste from other waste types to send to a composting facility.

Xeriscape and/or use drought tolerant/low maintenance vegetation in all landscaped areas of the project.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 MAP- EXPIRATION DATE RECOMMND

The conditionally approved TENTATIVE MAP shall expire three years after the County of Riverside Board of Supervisors' original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the FINAL MAP, or any phase thereof, no recordation of the FINAL MAP, or any phase thereof, shall be permitted.

50. PRIOR TO MAP RECORDATION

FIRE DEPARTMENT

50.FIRE. 1 MAP-#46-WATER PLANS RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

FLOOD RI DEPARTMENT

50.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

50.FLOOD RI. 3 MAP ONSITE EASE ON FINAL MAP RECOMMND

Onsite drainage facilities located outside of road right of way shall be contained within drainage easements shown on the final map. A note shall be added to the final map stating, "Drainage easements shall be kept free of buildings and obstructions".

50.FLOOD RI. 6 MAP ENCROACHMENT PERMIT REQ RECOMMND

An encroachment permit shall be obtained for any work within the District right of way or with District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

50.FLOOD RI. 9 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP- GARAGE WINDOWS RECOMMND

The CC&R's must state that the garages must remain clear of all items to provide adequate parking for two cars. The purpose of this is to prevent residents from parking in the street or using up the visitor parking spaces.

50.PLANNING. 2 MAP - PREPARE A FINAL MAP RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.PLANNING. 2 MAP - PREPARE A FINAL MAP (cont.) RECOMMND

real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 3 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 5 MAP- REQUIRED APPLICATIONS RECOMMND

No FINAL MAP shall record until General Plan Amendment No. 1211 and Change of Zone No. 7924 have been approved and adopted by the Board of Supervisors and have been made effective. This land division shall conform with the development standards of the zones ultimately applied to the property.

50.PLANNING. 9 MAP- QUIMBY FEES (1) RECOMMND

The land divider shall submit to the County Planning Department - Development Review Division a duly and completely executed agreement with the County Service Area No.152 which demonstrates to the satisfaction of the County that the land divider has provided for the payment of parks and recreation fees and/or dedication of land for the TENTATIVE MAP in accordance with Section 10.35 of County Ordinance No. 460.

50.PLANNING. 29 MAP - FEE BALANCE RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 34 MAP - CC&R RES POA COMMON AREA RECOMMND

The applicant shall notify the Planning Department that the following documents shall be submitted to the Office of County Counsel and submit said documents for review along

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.PLANNING. 34 MAP - CC&R RES POA COMMON AREA (cont.) RECOMMND

with the current fee, which shall be subject to County Counsel approval:

1. A cover letter identifying the project for which approval is sought;
2. A signed and notarized declaration of covenants, conditions, and restrictions;
3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions, and restrictions is incorporated therein by reference; and,
4. A deposit equaling three (3) hours of the current hourly fee for the Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted for review by County Counsel.

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owner's association comprised of the owners of each individual lot or unit as tenants in common, c) provide for the ownership of the common area by either the property owner's association or the owners of each individual lot or unit as tenants in common, and d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall manage and continuously maintain the 'common area', more particularly described on Exhibit 'A', attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Department of the County of Riverside or the County's successor-in-interest.

The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.PLANNING. 34 MAP - CC&R RES POA COMMON AREA (cont.) (cont.RECOMMND

An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage, or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved by the Office of County Counsel, the declaration of covenants, conditions and restrictions shall be recorded by the Planning Department with one copy retained for the case file, and one copy provided to the County Transportation Department - Survey Division.

SURVEY DEPARTMENT

50.SURVEY. 1 MAP - EASEMENT RECOMMND

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

50.SURVEY. 2 MAP - ACCESS RESTRICTION RECOMMND

Lot access shall be restricted on Magnolia Avenue and so noted on the final map.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

TRANS DEPARTMENT

50.TRANS. 1 MAP - LC LNDS CP COMMON AREA MA

RECOMMND

Prior to map recordation, the developer/permit holder shall submit Covenants, Conditions, and Restrictions (CC&R) to the Riverside County Counsel for review along with the required fees set forth by the Riverside County Fee Schedule.

For purposes of landscaping and maintenance, the following minimum elements shall be incorporated into the CC&R's:

- 1) Permanent public, quasi-public or private maintenance organization shall be established for proper management of the water efficient landscape and irrigation systems. Any agreements with the maintenance organization shall stipulate that maintenance of landscaped areas will occur in accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the County of Riverside Guide to California Friendly Landscaping.
- 2) The CC&R's shall prohibit the use of water-intensive landscaping and require the use of low water use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments thereto).
- 3) The common maintenance areas shall include all those identified on the approved landscape maintenance exhibit.

The Planning Department shall clear this condition once a copy of the County Counsel approved CC&R's has been submitted to the Planning Department.

50.TRANS. 2 MAP - STREET NAME SIGN

RECOMMND

The land divider shall install street name sign(s) in accordance with County Standard No. 816 as directed by the Transportation Department.

50.TRANS. 3 MAP - SOILS 2

RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.TRANS. 4 MAP - CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805,
Ordinance 461.

50.TRANS. 5 MAP - LIGHTING PLAN RECOMMND

A separate streetlight plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001.

50.TRANS. 6 MAP - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to map recordation, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an applicaton for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated and/or any other maintenance district approved by the Transportation Department. Said annexation should include the following:

- (1) Landscaping along Grant Street and Magnolia Avenue.
- (2) Streetlights.
- (3) Graffiti abatement of walls and other permanent structures along Magnolia Avenue and Grant Street.
- (4) Street sweeping.

For street lighting, the project proponent shall contact the County Service Area (CSA) Project Manager who determines whether the development is within an existing CSA or will require annexation into the CSA.

If the project is outside boundaries of a CSA, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) Two (2) sets of street lighting plans approved by

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.TRANS. 6 MAP - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

Transportation Department.

(4) "Streetlight Authorization" form from SCE, or other electric provider.

50.TRANS. 7 MAP - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

50.TRANS. 8 MAP - LANDSCAPING RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping shall be improved within Grant Street and Magnolia Avenue.

Landscaping plans shall be submitted on standard County plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans. If landscaping maintenance is to be annexed to a County Service Area, or Landscaping and Lighting Maintenance District, landscaping plans shall depict ONLY such landscaping, irrigation and related facilities as are to be placed within the public road rights-of-way.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.TRANS. 9 MAP - INTERSECTION/50' TANGENT RECOMMND

All centerline intersections shall be at 90 degrees, plus or minus 5 degrees, with a minimum 50' tangent, measured from flowline/curbface or as approved by the Transportation Planning and Development Review Division Engineer.

50.TRANS. 10 MAP - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: <http://rctlma.org/trans/General-Information/Pamphlets-Brochures>

50.TRANS. 11 MAP - SIGNING & STRIPING PLAN RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

50.TRANS. 12 MAP - PART-WIDTH RECOMMND

Grant Street along project boundary is a paved County maintained road designated LOCAL ROAD and shall be improved with 35' part-width AC pavement (20' on the project side and 15' on opposite side of the centerline) minimum, 6" concrete curb and gutter (project side), match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Director of Transportation within the 60' full-width dedicated right-of-way (30' on the project side and 30' on the other side of the centerline) in accordance with County Standard No. 105, Section "C" Ordinance 461. (Modified for increased AC improvement from 32'-35'.)

Note: 1. A 6' sidewalk shall be constructed adjacent to the curb line and tie into the existing sidewalk within the 10' parkway.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

50. PRIOR TO MAP RECORDATION

50.TRANS. 12 MAP - PART-WIDTH (cont.) RECOMMND

2. Modify/reconstruct the existing curb ramp at Magnolia Avenue and Grant Street (project side) to be in compliance with current ADA requirements.

50.TRANS. 13 MAP - DEDICATIONS RECOMMND

Street "A" (privately maintained entry street) along project boundary is designated Entry Street and shall be improved with 30'-76' full-width AC pavement, 6" concrete curb, as shown on the Amended Exhibit No. 2 (dated 4/13/2017), full-width private easement in accordance with County Standard No. 103, Section "A", Ordinance 461 and/or as directed by the Director of Transportation. (Modified for AC pavement from 44' to 30'-76'.)

- Notes:
1. Construct a 6' raised curb landscaped median at the centerline.
 2. Nose of the median shall be 35' radial from flowline of Grant Street.
 3. Construct concrete sidewalk as shown on the Amended Exhibit No. 2 (dated 4/13/2017) and/or as approved by the Director of Transportation.
 4. Modify/reconstruct the existing curb ramp at Magnolia Avenue and Grant Street (project side) to be in compliance with current ADA requirements.
 5. All interior driveways shall be constructed as shown on the Amended Exhibit No. 2 (dated 4/13/2017) and/or as approved by the Director of Transportation.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 MAP - NPDES/SWPPP (cont.) RECOMMND

with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov .

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 MAP - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

60.BS GRADE. 3 MAP - IMPORT/EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 MAP - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 MAP - DRNAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 MAP - OFFSITE GDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 MAP - NOTRD OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 11 MAP - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 13 MAP - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 14 MAP- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 15 MAP - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

EPD DEPARTMENT

60.EPD. 1 EPD - MBTA SURVEY RECOMMND

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 EPD - MBTA SURVEY (cont.) RECOMMND

within 3 days of the survey date a second survey must be conducted. Prior to the issuance of a grading permit the project proponent must provide written proof to the Riverside County Planning Department, Environmental Programs Division (EPD) that a biologist who holds an MOU with the County of Riverside has been retained to carry out the required survey. Documentation submitted to prove compliance prior to grading permit issuance must at a minimum include the name and contact information for the Consulting Biologist and a signed statement from the Consulting Biologist confirming that they have been contracted by the applicant to conduct a Preconstruction Nesting Bird Survey. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a grading permit. Prior to finalization of a grading permit or prior to issuance of any building permits the projects consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 MAP EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 5 MAP ENCROACHMENT PERMIT REQ RECOMMND

An encroachment permit shall be obtained for any work within the District right of way or with District facilities. The encroachment permit application shall be

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 5 MAP ENCROACHMENT PERMIT REQ (cont.) RECOMMND

processed and approved concurrently with the improvement plans.

60.FLOOD RI. 6 MAP PHASING RECOMMND

If the map is to be constructed in phases, then each phase shall be protected from the developed condition 100-year tributary storm flows and the necessary water quality features to mitigate the impacts due to each phase shall be constructed in accordance with the approved final water quality management plan (WQMP). The construction and bonding of all necessary improvements along with easements and/or permission from affected property owners to safely collect and discharge the concentrated or diverted 100-year tributary flows of this phase shall be required prior to the recordation of the final map.

60.FLOOD RI. 8 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 1 MAP - PALEO PRIMP/MONITOR RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 MAP - PALEO PRIMP/MONITOR (cont.)

RECOMMND

issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:

1. Description of the proposed site and planned grading operations.
2. Description of the level of monitoring required for all earth-moving activities in the project area.
3. Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.
4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.
5. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.
6. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.
7. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.
8. Procedures and protocol for collecting and processing of samples and specimens.
9. Fossil identification and curation procedures to be employed.
10. Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.
11. All pertinent exhibits, maps and references.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 MAP - PALEO PRIMP/MONITOR (cont.) (cont.) RECOMMND

12.Procedures for reporting of findings.

13.Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. One original signed copy of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

Safeguard Artifacts Being Excavated in Riverside County (SABER)

60.PLANNING. 17 MAP - FEE BALANCE RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 21 MAP - REQUIRED APPLICATIONS RECOMMND

No grading permits shall be issued until General Plan Amendment No. 1211 and Change of Zone No. 7924 has been approved and adopted by the Board of Supervisors and have been made effective.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 24 MAP - STRUCTURE DOCUMENTATION RECOMMND

Prior to grading and prior to demolition of the historic structures located on the project property, a historic structure recordation and documentation must be completed by a County approved professional Historian currently listed on the County's Cultural Resources Consultant List posted on the TLMA - Planning website:
http://rctlma.org/planning/content/devproc/consult_lists/culture_consult_list.pdf

This shall include but not be limited to the following: building permit information, photos of the structure(s), documentation of the age of the structure(s), appropriate DPR records prepared and any pertinent information on the past occupancy and use of the structure(s) shall be submitted to the County Archaeologist and the Eastern Information Center.

60.PLANNING. 25 MAP- MM EXISTING BUILDINGS RECOMMND

Prior to grading permit issuance, a complete recordation by a qualified historic archaeologist will be required prior to grading and demolition of the existing structures that are present on the property.

60.PLANNING. 26 MAP- MM PRIMP REQUIRED RECOMMND

Prior to the issuance of grading permits a Paleontological Resources Impact Mitigation Program (PRIMP) shall be submitted and approved by the County Geologist.

TRANS DEPARTMENT

60.TRANS. 1 MAP - SUBMIT GRADING PLAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, two sets of the grading plan (24" X 36") shall be submitted to the Transportation Department for review and subsequently for the required clearance of the condition of approval prior to the issuance of a grading permit.

Please note, if improvements within the road right-of-way are required per the conditions of approval, the grading clearance may be dependent on the submittal of street improvement plans, the opening of an IP account, and payment of the processing fee.

09/13/17
11:34

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 34

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 1 MAP - SUBMIT GRADING PLAN (cont.) RECOMMND

Otherwise, please submit required grading plan to the
Transportation Department, Plan Check Section, 8th Floor,
4080 Lemon Street, Riverside, CA

Standard plan check turnaround time is 10 working days.

70. PRIOR TO GRADING FINAL INSPECT

E HEALTH DEPARTMENT

70.E HEALTH. 1 USE - ECP CLEARANCE RECOMMND

Soil remediation for pesticide impacted soils is currently
under the Santa Ana Regional Water Quality Control Board's
oversight. Upon completion of remediation, a No Further
Action Letter from the Santa Ana Regional Water Quality
Control Board is required to be provided. Please contact
951-955-8980 for any additional details.

70.E HEALTH. 2 USE - DESTRUCITON OF WELL/OWTS RECOMMND

Upon the discovery of any wells or OWTS, they must be
properly destroyed under permit with this Department.

PLANNING DEPARTMENT

70.PLANNING. 1 MAP- MM PALEO REPORT RECOMMND

A copy pf the Paleontological Monitoring Report prepared
for site grading operations at this site shall be submitted
to the County Geologist prior to grading final inspection.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property
owner shall obtain a grading permit and/or approval to
construct from the Building and Safety Department.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2

MAP - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit; the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

EPD DEPARTMENT

80.EPD. 1

EPD - MBTA REPORT

RECOMMND

Prior to finalization of a grading permit or prior to issuance of any building permits the projects consulting biologist shall prepare and submit a report to Environmental Programs Division (EPD) documenting the results of the pre-construction nesting bird survey.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

80. PRIOR TO BLDG PRMT ISSUANCE

FIRE DEPARTMENT

80.FIRE. 1 MAP-#50C-TRACT WATER VERIFICA RECOMMND

The required water system, including all fire hydrant(s), shall be installed and accepted by the appropriate water agency and the Riverside County Fire Department prior to any combustible building material placed on an individual lot. Contact the Riverside County Fire Department to inspect the required hydrant locations, street signs, all weather surface, and access.

Approved water plans must be on the job site.

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 4 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 MAP - ROOF MOUNTED EQUIPMENT RECOMMND

Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with County Planning Department approval.

80.PLANNING. 2 MAP - UNDERGROUND UTILITIES RECOMMND

All utility extensions within a lot shall be placed underground.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 3 MAP- ELEVATION & FLOOR PLAN RECOMMND

Elevations and floor plans shall substantially conform to approved Exhibit B.

80.PLANNING. 6 MAP - FSD SUBMITTAL/APPROVAL RECOMMND

Prior to building permit issuance PP26347 shall be submitted, reviewed and approved prior to the issuance of the first building permit.

80.PLANNING. 8 MAP - TRASH ENCLOSURES RECOMMND

Prior to the construction of any trash enclosure, a building permit for said enclosure shall be obtained from the County Department of Building and Safety.

80.PLANNING. 11 MAP- SCHOOL MITIGATION RECOMMND

Impacts to the Corona-Norco Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 12 MAP - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80.PLANNING. 13 MAP - MODIFY ELVTS OR FLR PLAN RECOMMND

Prior to Building Permit Issuance, if an applicant or his/her successor in interest, wishes to modify the approved elevations (EXHIBIT B) on the approved floor plans (EXHIBIT C) a plot plan application shall be submitted to the Riverside County Planning Department. If such a plot plan is approved, the modified plans will replace the approved EXHIBIT B and EXHIBIT C associated with this tentative tract map.

TRANS DEPARTMENT

80.TRANS. 1 MAP - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Transportation Department for review and approval along with the current fee. The

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 1

MAP - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. At minimum, plans shall include the following components:

- 1) Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2) Weather based controllers and necessary components to eliminate water waste;
- 3) A copy of the "stamped" approved grading plans; and,
- 4) Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;
- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;
- 6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

- 1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only.
- 2) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Transportation Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The Transportation department shall

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 1 MAP - LC LANDSCAPE PLOT PLAN (cont.) (cont.) RECOMMND

verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Transportation Department shall clear this condition.

80.TRANS. 2 MAP - LC LANDSCAPE SECURITIES RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Transportation Department, Landscape Division. Once the Transportation Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.TRANS. 4 MAP - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or other maintenance district approved by the Transportation Department for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Grant Street and Magnolia Avenue.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 MAP - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(2) Streetlights.

(3) Graffiti abatement of walls and other permanent structures along Magnolia Avenue and Grant Street.

(4) Street sweeping.

WASTE DEPARTMENT

80.WASTE. 1 MAP - WASTE RECYCLE PLAN (WRP) RECOMMND

Prior to building permit issuance, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 MAP - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 1 MAP - WQMP BMP INSPECTION (cont.) RECOMMND

final can be obtained.

90.BS GRADE. 2 MAP - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 MAP - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 MAP - WQMP BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a facility conditioned to install WQMP treatment control BMPs shall register such facility for annual inspections.

90.BS GRADE. 5 MAP - REQ'D GRDG INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Precise grade inspection.

a.Precise Grade Inspection can include but is not limited to the following:

1.Installation of slope planting and permanent irrigation on required slopes.

2.Completion of drainage swales, berms and required drainage away from foundation.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 5 MAP.- REQ'D GRDG INSP'S (cont.) RECOMMND

b.Inspection of completed onsite drainage facilities

c.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 7 MAP - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for all lots included in the grading permit from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

3.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

4.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

90.BS GRADE. 8 MAP - WQMP ANNUAL INSP FEE RECOMMND

Prior to final building inspection, the applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 MAP-#45-FIRE LANES

RECOMMND

The applicant or developer shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

Access roads in excess of 150' shall have FD approved turnaound provided.

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 MAP BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial residents. The developer may obtain NPDES Public Educational Program materials from the District's website: www.rcwatershed.org/about/materials-library.

The developer must provide to the District's Plan Check Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

If conditioned for a Water Quality Management Report (WQMP), a copy of the notarized affidavit must be placed in the report. The District MUST also receive the original notarized affidavit with the plan check submittal in order to clear the appropriate condition. Placing a copy of the affidavit without submitting the original will not guarantee clearance of the condition.

90.FLOOD RI. 3 MAP IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the total recorded residential lots within the map or phase within the map prior to the completion of these tasks.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

PLANNING DEPARTMENT

90.PLANNING. 1 MAP- BLOCK WALL ANTIGRAFFITI

RECOMMND

The perimeter wall shall be subject to the approval of the County Department of Building and Safety. An anti-graffiti coating shall be provided on all block walls, and written verification from the developer shall be provided to both the TLMA - Land Use Division, and the Development Review Division.

90.PLANNING. 3 MAP- QUIMBY FEES (2)

RECOMMND

The land divider/permit holder shall present certification to the Riverside County Planning Department that payment of parks and recreation fees and/or dedication of land for park use in accordance with Section 10.35 of County Ordinance No. 460 has taken place. said certification shall be obtained from the County of Riverside Economic Development Agency (EDA) for CSA No. 152.

90.PLANNING. 12 MAP- ROLL-UP GARAGE DOORS

RECOMMND

All residences shall have automatic roll-up garage doors with windows to ensure the garages are accessible.

TRANS DEPARTMENT

90.TRANS. 1 MAP - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 2 MAP - LNDSCE INSPCTN RQRMENTS

RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a INSTALLATION INSPECTION with the Transportation Department at least five (5)

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 2 MAP - LNDSCP E INSPCTN RQRMENTS (cont.) RECOMMND

working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the INSTALLATION INSPECTION, the applicant will arrange for an 6th month INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Transportation Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Transportation Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Transportation Department and the Department of Building and Safety. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 3 MAP - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Transportation Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Transportation Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Transportation Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Transportation Department shall clear this condition.

90.TRANS. 4 MAP - WRCOG TUMF RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 5 MAP - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461. Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets of those lots where the Developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 6 MAP - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 7 MAP - 80% COMPLETION RECOMMND

Occupancy releases will not be issued to Building and Safety for any lot exceeding 80% of the total recorded residential lots within any map or phase of map prior to completion of the following improvements:

- a) Primary and Alternate (secondary) access roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions.
- b) Interior roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions. All curbs, gutters, sidewalks and driveway approaches shall be installed. The final lift of Asphalt Concrete on interior streets shall be placed prior to the release of the final

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 7

MAP - 80% COMPLETION (cont.)

RECOMMND

- 20% of homes on the production models or at any time when construction of new homes within the development has stopped. The developer shall be required to cap pave in front of occupied homes up to the nearest capped street within the tract boundary. The subdivision will remain responsible for the maintenance of these facilities until all improvements within the tract boundary shall be completed and accepted into the County maintained system.
- c) Storm drains and flood control facilities shall be completed according to the improvement plans and as noted elsewhere in these conditions. Written confirmation of acceptance for use by the Flood Control District, if applicable, is required.
 - d) Water system, including fire hydrants, shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All water valves shall be raised to pavement finished grade. Written confirmation of acceptance from water purveyor is required.
 - e) Sewer system shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All sewer manholes shall be raised to pavement finished grade. Written confirmation of acceptance from sewer purveyor is required.
 - f) Landscaping and irrigation, water and electrical systems shall be installed and operational in accordance with County Ordinance 461.

90.TRANS. 8

MAP - LANDSCAPING

RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping shall be improved within Grant Street and Magnolia Avenue.

09/13/17
11:34

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 48

TRACT MAP Tract #: TR37169

Parcel: 115-300-052

90. PRIOR TO BLDG FINAL INSPECTION

WASTE DEPARTMENT

90.WASTE. 1 ~~MAP~~ - WASTE REPORTING FORM

RECOMMND

Prior to building final inspection, evidence (i.e., receipts or other types of verification) to demonstrate project compliance with the approved Waste Reporting Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

**LAND DEVELOPMENT COMMITTEE (LDC)
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE
PO Box 1409
Riverside, 92502-1409**

DATE: December 8, 2016

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health Dept.
Riverside County Flood Control
Riv. Co. Fire Department (Riv. Office)
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Southern California Edison Co. (SCE)
Southern California Gas Co.

Riv. Co. Regional Parks & Open Space
P.D. Environmental Programs Division
P.D. Geology Section
Riv. Co. Trans. Dept. – Landscape Section
P.D. Archaeology Section
Riv. Co. Surveyor
Riverside Transit Agency
Santa Ana Reg. Water Quality Control Board
City of Corona Planning Department

Riv. Co. Sheriff's Dept.
Riv. Co. Waste Resources Management Dept.
Board of Supervisors - Supervisor: John
Tavaglione
Planning Commissioner: Aaron Hake
Western Municipal Water District (WMWD)

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P) – Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres – **REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A. **BBID:665-350-341 UPROJ CASE: TR37169****

LDC staff members and other listed Riverside County Agencies, Departments and Districts staff:
A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated LDC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled for a **LDC meeting on December 15, 2016**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

Other listed entities/individuals:

Please note that the Planning Department has gone paperless and is no longer providing physical copies of the submitted map(s) and/or exhibit(s) for review. However, we still want your comments. You can view the project maps and exhibits by accessing the Bluebeam Studio Session at the following link. <https://studio.bluebeam.com/join.html?ID=514-201-411>. You will need Bluebeam software installed on your computer in order to access the Bluebeam Studio Session. If you do not have Bluebeam installed on your computer, you can download a free version at <http://www.bluebeam.com/us/products/free-viewer/>. Please provide any comments, questions and recommendations to the Planning Department on or before the above referenced date.

Go Paperless!

If you would prefer to receive these transmittals electronically, please send an email, with the subject line "LDC CONTACT" to Felicia Sierra at FSIERRA@rctlma.org. Please make sure you include the name of your organization, and the email address where you would like to receive future transmittals.

Any questions regarding this project should be directed to Brett Dawson, Project Planner, at (951) 955-0972 or e-mail at bdawson@rctlma.org / MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



County of Riverside
4080 Lemon St., 8th Floor
Riverside, CA 92501

January 9, 2017

Attention: Planning

Subject: Tentative Tract Map No. 37169

Please be advised that the division of the property shown on Tentative Tract Map No. 37169 will not unreasonably interfere with the free and complete exercise of any easements and/or facilities held by Southern California Edison Company within the boundaries of said map.

This letter should not be construed as a subordination of the Company's rights, title and interest in and to said easement(s), nor should this letter be construed as a waiver of any of the provisions contained in said easement(s) or a waiver of costs for relocation of any affected facilities.

In the event that the development requires relocation of facilities, on the subject property, which facilities exist by right of easement or otherwise, the owner/developer will be requested to bear the cost of such relocation and provide Edison with suitable replacement rights. Such costs and replacement rights are required prior to the performance of the relocation.

If you have any questions, or need additional information in connection with the subject subdivision, please contact me at (909) 274-1087.

A handwritten signature in black ink, appearing to read "Salvador Flores".

Salvador Flores
Title and Real Estate Services
Real Properties

JASON E. UHLEY
General Manager-Chief Engineer



1995 MARKET STREET
RIVERSIDE, CA 92501
951.955.1200
FAX 951.788.9965
www.rcflood.org

RIVERSIDE COUNTY FLOOD CONTROL
AND WATER CONSERVATION DISTRICT

December 12, 2016

Riverside County
Planning Department
County Administrative Center
4080 Lemon Street
Riverside, CA 92501

Attention: Brett Dawson, Contract Planner

Ladies and Gentlemen:

Re: Change of Zone 7924
Area: Home Gardens

Change of Zone 7924 is a proposal to change the current zoning classification from General Commercial (C-1/C-P) to General Residential (R-3) for a 4.16-acre site in the Home Gardens area. This project is being processed concurrently with Tentative Tract Map (PM) 37169, which is a proposal for a Schedule "A" residential subdivision for the site.

The District has reviewed this case and has the following comment:

The proposed zoning is consistent with existing flood hazards. Some flood control facilities or floodproofing may be required to fully develop to the implied density.

Questions concerning this matter may be referred to Michele Martin of this office at 951.955.2511.

Very truly yours,

A handwritten signature in blue ink, appearing to read "H. Olivo".

HENRY OLIVO
Flood Control Principal Engineer

c: TR37169

MMM:mcv
P8\209524

August 1, 2017

Attn: Heather Thomson, Archaeologist
Riverside County Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92502-1409



RE: SB 18 Consultation; GPA01211

The Soboba Band of Luiseño Indians appreciates your observance of Tribal Cultural Resources and their preservation in your project. The tribe is in concurrence with the proposed cultural mitigation measures for this project.

This letter serves as a formal conclusion to consultation under SB 18 for the Soboba Band of Luiseño Indians.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe", with a long horizontal line extending to the right.

Joseph Ontiveros, Director of Cultural Resources
Soboba Band of Luiseño Indians
P.O. Box 487
San Jacinto, CA 92581
Phone (951) 654-5544 ext. 4137
Cell (951) 663-5279
jontiveros@soboba-nsn.gov

Confidentiality: The entirety of the contents of this letter shall remain confidential between Soboba and the County of Riverside. No part of the contents of this letter may be shared, copied, or utilized in any way with any other individual, entity, municipality, or tribe, whatsoever, without the expressed written permission of the Soboba Band of Luiseño Indians.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Agua Caliente Band of Cahuilla Indians
Jeff Grubbe, Chairperson
5401 Dinah Shore Drive
Palm Springs, CA 92264

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Cabazon Band of Mission Indians
Doug Welma's, Chairperson
84-245 Indio Springs Parkway
Indio, CA 92203-3499

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Cahuilla Band of Indians
Luther Salgado, Chairperson
52701 U.S Highway 371
Anza, CA 92539

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A., RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Juaneno Band of Mission Indians
Sonia Johnston, Tribal Chairperson
P.O. Box 25628
Santa Ana, CA 92799

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Juaneno Band of Mission Indians
Acjachemen Nation- Belardes
Matias Belardes, Chairperson
32161 Avendia Los Amlgos
San Juan Capistrano, CA 92675

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Juaneno Band of Mission Indians
Acjachemen Nation- Romero
Teresa Romero, Chairperson
31411- A La Matanza St.
San Juan Capistrano, CA 92675

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

La Jolla Band of Luiseno Indians
Thomas Rodriguez, Chairman
22000 Highway 76
Pauma Valley, CA 92061

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, Bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Los Coyotes Band of Mission Indians
Shane Chapparosa, Chairman
P.O. Box 189
Warner Springs, CA 92086-0189

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Morongo Band of Mission Indians
Robert Martin, Chairperson
12700 Pumarra Road
Banning, CA 92220

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Pala Band of Mission Indians
Robert Smith, Chairperson
12196 Pala Mission Road
Pala, CA 92059

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Pauma Band of Luiseno Indians-
Pauma & Yuima Reservation
Ternet Aguilar, Chairperson
P.O Box 369, Ext. 303
Pauma Valley, CA 92061

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Pechanga Band of Mission Indians
Marc Macarro, Chairperson
P.O. Box 1477
Temecula, CA 92593

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Ramona Band of Cahuilla Mission Indians
Joseph Hamilton, Chairman
P.O. Box 391670
Anza, CA 92539

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Rincon Band of Mission Indians
Jim McPherson, THPO
1 West Tribal Road
Valley Center, CA 92082

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Mr. McPherson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Rincon Band of Mission Indians
Bo Mazzetti, Chairperson
1 West Tribal Road
Valley Center, CA 92082

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Santa Rosa Band of Mission Indians
Steven Estrada, Chairperson
P.O. Box 391820
Anza, CA 92539

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

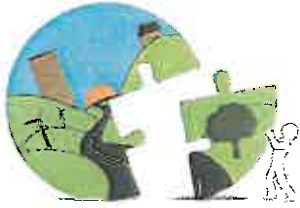
Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Soboba Band of Luiseno Indians
Rosemary Morillo, Chairperson
P.O. Box 487
San Jacinto, CA 92583

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Torres-Martinez, Desert Cahuilla Indians
Mary Resvaloso, Chairperson
P.O. Box 1160
Thermal, CA 92274

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

December 15, 2016

Augustine Band of Cahuilla Mission Indians
Amanda Vance, Chairperson
P.O. Box 846
Coachella, CA 92236

RE: Native American SB18 Consultation request for **General Plan Amendment No. 1211**

Dear Chairperson,

The County of Riverside requests your participation in the review of **General Plan Amendment No. 1211**. This project is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P)

Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres

REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A

Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public.

Riverside County feels that your assistance is vital to the preservation and conservation of ancestral tribal sites during the current growth that the County is experiencing. It is the desire of Riverside County to protect the past and our collective heritage as we proceed towards the future. Please forward any comments or requests for meetings concerning this project to Heather Thomson at 951-955-2873 or hthomson@rctlma.org by March 15, 2017.

Sincerely,
Riverside County Planning Department

Heather Thomson M.A, RPA
County Archaeologist

Attachments: USGS map
Email CC: Brett Dawson, bdawson@rctlma.org

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77588 El Duna Ct, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

**LAND DEVELOPMENT COMMITTEE (LDC)
SECOND CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE
PO Box 1409
Riverside, 92502-1409**

DATE: March 1, 2017

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Building & Safety – Grading
Santa Ana Reg. Water Quality Control Board

P.D. Geology Section
Riv. Co. Trans. Dept. – Landscape Section
P.D. Archaeology Section

Western Municipal Water District (WMWD)

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – EA42960 – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD:CR)(0.20-0.35 FAR) -- Zoning General Commercial (C-1/C-P) – Location: northeast corner of Grant Street and Magnolia Avenue – 4.16 acres – REQUEST: A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC), A Tentative Tract Map for a Schedule A subdivision of 4.16 acres into seventy-two (72) single family residential lots and two open space areas, and A Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3) – APN's 115-300-047, 115-300-049, 115-300-052 – Related case: N/A. **BBID: 665-350-341 UPROJ: TR37169, UDEV: GPA01211, CZ07924.**

LDC staff members and other listed Riverside County Agencies, Departments and Districts staff:
A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated LDC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled for a **LDC comment on March 9, 2017**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

Other listed entities/individuals:

Please note that the Planning Department has gone paperless and is no longer providing physical copies of the submitted map(s) and/or exhibit(s) for review. However, we still want your comments. You can view the project maps and exhibits by going to the following webpage and selecting the LDC date listed above. <http://planning.rctlma.org/DevelopmentProcess/LDCAgendas/2016LDCAgendas.aspx> by clicking the appropriate LDC date, you will download a copy of the LDC agenda with the exhibits attached. Please provide any comments, questions and recommendations to the Planning Department on or before the above referenced date.

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

Any questions or comments regarding this project should be directed to Brett Dawson, Project Planner, at (951) 955-0972 or e-mail at bdawson@rivco.org / MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

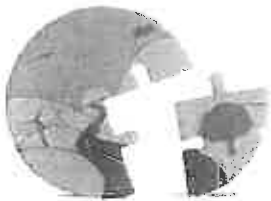
COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- TENTATIVE TRACT MAP
- REVERSION TO ACREAGE
- AMENDMENT TO FINAL MAP

- TENTATIVE PARCEL MAP
- EXPIRED RECORDABLE MAP
- VESTING MAP

- MINOR CHANGE Original Case No. _____
- REVISED MAP Original Case No. _____

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

APPLICATION INFORMATION

Applicant Name: Planet Home Housing Pool 2 LLC

Contact Person: Patric Lynam E-Mail: plynam@planethomeliving.com

Mailing Address: 1451 Quail St., Ste. 204

<u>Newport Beach</u>	<small>Street</small> <u>CA</u>	<u>92860</u>
<small>City</small>	<small>State</small>	<small>ZIP</small>

Daytime Phone No: (949) 547-2200 Fax No: (949) 387-8990

Engineer/Representative Name: Adkan Engineers

Contact Person: Mitch Adkison E-Mail: madkison@adkan.com

Mailing Address: 6879 Airport Dr.

<u>Riverside</u>	<small>Street</small> <u>CA</u>	<u>92504</u>
<small>City</small>	<small>State</small>	<small>ZIP</small>

Daytime Phone No: (951) 688-0241 Fax No: (951) 688-0599

Property Owner Name: HST Investments, L.P.

Contact Person: _____ E-Mail: _____

Mailing Address: 8311 Bonnie Brae Drive

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

Buena Park CA 90621
City State ZIP

Daytime Phone No: (714) 396-2950 Fax No: ()

Check this box if additional persons or entities have an ownership interest in the subject property(ies) in addition to that indicated above; and attach a separate sheet that references the subdivision type and number and list those names, mailing addresses, phone and fax numbers, and email addresses; and provide signatures of those persons or entities having an interest in the real property(ies) involved in this application.

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent, and that the information filed is true and correct to the best of my knowledge, and in accordance with Govt. Code Section 65105, acknowledge that in the performance of their functions, planning agency personnel may enter upon any land and make examinations and surveys, provided that the entries, examinations, and surveys do not interfere with the use of the land by those persons lawfully entitled to the possession thereof.

(If an authorized agent signs, the agent must submit a letter signed by the owner(s) indicating authority to sign on the owner(s)'s behalf, and if this application is submitted electronically, the "wet-signed" signatures must be submitted to the Planning Department after submittal but before the subdivision is ready for public hearing.)

HST Investments LP [Signature]
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
EFFAT YOURSELF REVERSIBLE TRUST [Signature]
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The applicant authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of this application, the applicant will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 115-300-047, 115-300-049, 115-300-052

Approximate Gross Acreage: 4.16

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

General location (cross streets, etc.): North of Magnolia Ave., South of Estelle St., East of Grant St., West of McKinley St.

SUBDIVISION PROPOSAL:

Map Schedule: A Minimum Developable Lot Size: 1296 SF
Number of existing lots: 3 Number of proposed developable lots: 73
Planned Unit Development (PUD): Yes No Vesting Map: Yes No
Number of proposed non-developable lots (excluding streets): 0 Subdivision Density: 16 dwelling units per acre.

Is there previous development application(s) filed on the same site: Yes No

If yes, provide Application No(s). Submitted concurrently
(e.g. Tentative Parcel Map, Zone Change, etc.)

Initial Study (EA) No. (if known) _____ EIR No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide signed copy(ies): Geotechnical Report

If the project located within either the Santa Ana River/San Jacinto Valley watershed, the Santa Margarita River watershed, or the Whitewater River watershed, check the appropriate checkbox below.

If not known, please refer to Riverside County's Map My County website to determine if the property is located within any of these watersheds (search for the subject property's Assessor's Parcel Number, then select the "Geographic" Map Layer – then select the "Watershed" sub-layer)

If any of the checkboxes are checked, click on the adjacent hyperlink to open the applicable Checklist Form. Complete the form and attach a copy as part of this application submittal package.

- Santa Ana River/San Jacinto Valley
- Santa Margarita River
- Whitewater River

If the applicable Checklist has concluded that the application requires a preliminary project-specific Water Quality Management Plan (WQMP), such a plan shall be prepared and included with the submittal of this application.

APPLICATION FOR SUBDIVISION AND DEVELOPMENT

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to Section 65962.5 of the Government Code. Accordingly, the project applicant is required to submit a signed statement that contains the following information:

Name of Applicant: Planet Home Housing Pool 2 LLC

Address: 1451 Quail St., Ste. 204, Newport Beach, CA 92660

Phone number: (949) 547-2200

Address of site (street name and number if available, and ZIP Code): 13469 Magnolia Ave., 92879

Local Agency: County of Riverside

Assessor's Book Page, and Parcel Number: _____

Specify any list pursuant to Section 65962.5 of the Government Code: _____

Regulatory Identification number: _____

Date of list: _____

Applicant: 

Date 6/10/16

This completed application form, together with all of the listed requirements provided on the Subdivision Application Filing Instructions Handout, are required in order to file an application with the County of Riverside Planning Department.

Y:\Current Planning\LMS Replacement\Condensed P.D. Application Forms\295-1011 Subdivision Condensed Application.docx
Created: 04/08/15 Revised: 06/07/16

INDEMNIFICATION AGREEMENT

This INDEMNIFICATION AGREEMENT (“Agreement”), made by and between the COUNTY OF RIVERSIDE, a political subdivision of the State of California (“COUNTY”), and HST Investments, a California Limited Partnership, and Effat Youssef, Trustee of the Effat Youssef Revocable Trust dated June 24, 2009 (“PROPERTY OWNER”), relating to the PROPERTY OWNER’S indemnification of the COUNTY under the terms set forth herein:

WITNESSETH:

WHEREAS, the PROPERTY OWNER has a legal interest in the certain real property described as APNs 115-300-047, 115-300-049, and 115-300-052 (“PROPERTY”); and,

WHEREAS, on October 13, 2016 PROPERTY OWNER filed an application for Tract 37169, General Plan Amendment 1211, and Change of Zone 7924 (“PROJECT”); and,

WHEREAS, judicial challenges of projects requiring discretionary approvals, including, but not limited to, California Environmental Quality Act determinations, are costly and time consuming. Additionally, project opponents often seek an award of attorneys’ fees in such challenges; and,

WHEREAS, since property owners are the primary beneficiaries of such approvals, it is appropriate that such owners bear the expense of defending against any such judicial challenge, and bear the responsibility of any costs, attorneys’ fees and damages which may be awarded to a successful challenger; and,

WHEREAS, in the event a judicial challenge is commenced against the PROJECT, the COUNTY has requested and the PROPERTY OWNER has agreed to defend, indemnify and hold harmless the COUNTY, its agents, officers, or employees from any claim, action or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void or annul any approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PROJECT or its associated environmental documentation (“LITIGATION”); and,

WHEREAS, this Agreement is entered into by the COUNTY and PROPERTY OWNER to establish specific terms concerning PROPERTY OWNER’S indemnification obligation for the PROJECT.

NOW, THEREFORE, it is mutually agreed between COUNTY and PROPERTY OWNER as follows:

1. **Indemnification.** PROPERTY OWNER, at its own expense, shall defend, indemnify and hold harmless the COUNTY, its agents, officers, and employees from and against any claim, action or proceeding brought against the COUNTY, its agents, officers, and employees to attack, set aside, void or annul any approval of the PROJECT including any associated costs, damages, and expenses including, but not limited to, costs associated with Public Records Act requests submitted to the COUNTY related to the PROJECT and an award of attorneys' fees and costs incurred or arising out of the above-referenced claim, action or proceeding brought against the COUNTY ("Indemnification Obligation.")

2. **Defense Cooperation.** PROPERTY OWNER and the COUNTY shall reasonably cooperate in all aspects of the LITIGATION. Nothing contained in this Agreement, however, shall be construed to limit the discretion of COUNTY, in the interest of the public welfare, to settle, defend, appeal or to decline to settle or to terminate or forego defense or appeal of the LITIGATION. It is also understood and agreed that all litigation pleadings are subject to review, revision and approval by COUNTY's Office of County Counsel.

3. **Representation and Payment for Legal Services Rendered.** COUNTY shall have the absolute right to approve any and all counsel retained to defend COUNTY in the LITIGATION. PROPERTY OWNER shall pay the attorneys' fees and costs of the legal firm retained by PROPERTY OWNER to represent the COUNTY in the LITIGATION. Failure by PROPERTY OWNER to pay such attorneys' fees and costs may be treated as an abandonment of the PROJECT and as a default of PROPERTY OWNER's obligations under this Agreement.

4. **Payment for COUNTY's LITIGATION Costs.** Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. LITIGATION costs include any associated costs, fees, damages, and expenses as further described in Section 1. herein as Indemnification Obligation. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the PROJECT, PROPERTY OWNER shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). PROPERTY OWNER shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. Within ten (10) days of written notice from COUNTY, PROPERTY OWNER shall make such additional deposits. Collectively, the initial deposit and additional deposits shall be referred to herein as the "Deposit."

5. **Return of Deposit.** COUNTY shall return to PROPERTY OWNER any funds remaining on deposit after ninety (90) days have passed since final adjudication of the LITIGATION.

6. **Notices.** For all purposes herein, notices shall be effective when personally delivered, delivered by commercial overnight delivery service, or sent by certified or registered mail, return receipt requested, to the appropriate address set forth below:

COUNTY:
Office of County Counsel
Attn: Melissa Cushman
3960 Orange Street, Suite 500
Riverside, CA 92501

PROPERTY OWNER:
HST Investments, L.P.
Attn: Joe
8311 Bonnie Brae Drive
Buena Park, CA 90621

Effat Youssef Revocable Trust dated
June 24, 2009
Attn: Effat Youssef
8311 Bonnie Brae Drive
Buena Park, CA 90621

With a copy to:
Planet Home Housing Pool 2, LLC
Attn: Patric Lynam
1451 Quail Street, Suite 204
Newport Beach, CA 92660

7. **Default and Termination.** This Agreement is not subject to termination, except by mutual agreement or as otherwise provided herein. In the event of a default of PROPERTY OWNER's obligations under this Agreement, COUNTY shall provide written notification to PROPERTY OWNER of such alleged default and PROPERTY OWNER shall have ten (10) days after receipt of written notification to cure any such alleged default. If PROPERTY OWNER fails to cure such alleged default within the specified time period or otherwise reach agreement with the COUNTY on a resolution of the alleged default, COUNTY may, in its sole discretion, do any of the following or combination thereof:

- a. Deem PROPERTY OWNER's default of PROPERTY OWNER's obligations as abandonment of the PROJECT and as a breach of this Agreement;
- b. Rescind any PROJECT approvals previously granted;
- c. Settle the LITIGATION.

In the event of a default, PROPERTY OWNER shall remain responsible for any costs and attorney's fees awarded by the Court or as a result of settlement and other expenses incurred by the COUNTY related to the LITIGATION or settlement.

8. **COUNTY Review of the PROJECT.** Nothing in this Agreement shall be construed to limit, direct, impede or influence the COUNTY's review and consideration of the PROJECT.

9. **Complete Agreement/Governing Law.** This Agreement represents the complete understanding between the parties with respect to matters set forth herein. This Agreement shall be construed in accordance with the laws of the State of California.

10. **Successors and Assigns.** The obligations specific herein shall be made, and are binding on the successors in interest of the PROPERTY OWNER, whether the succession is by agreement, by operation of law or by any other means.

11. **Amendment and Waiver.** No modification, waiver, amendment or discharge of this Agreement shall be valid unless the same is in writing and signed by all parties.

12. **Severability.** If any term, provision, covenant or condition of this Agreement is held to be invalid, void or otherwise unenforceable, to any extent, by any court of competent jurisdiction, the remainder of this Agreement shall not be affected thereby, and each term, provision, covenant or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

13. **Survival of Indemnification.** The parties agree that this Agreement shall constitute a separate agreement from any PROJECT approval, and if the PROJECT, in part or in whole, is invalidated, rendered null or set aside by a court of competent jurisdiction, the parties agree to be bound by the terms of this Agreement, which shall survive such invalidation, nullification or setting aside.

14. **Interpretation.** The parties have been advised by their respective attorneys, or if not represented by an attorney, represent that they had an opportunity to be so represented in the review of this Agreement. Any rule of construction to the effect that ambiguities are to be resolved against the drafting party shall not be applied in interpreting this Agreement.

15. **Captions and Headings.** The captions and section headings used in this Agreement are inserted for convenience of reference only and are not intended to define, limit or affect the construction or interpretation of any term or provision hereof.

16. **Jurisdiction and Venue.** Any action at law or in equity arising under this Agreement or brought by a party hereto for the purpose of enforcing, construing or determining the validity of any provision of this Agreement shall be filed in the Courts of Riverside County, State of California, and the parties hereto waive all provisions of law providing for the filing, removal or change of venue to any other

court or jurisdiction.

17. **Counterparts; Facsimile & Electronic Execution.** This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same document. To facilitate execution of this Agreement, the parties may execute and exchange facsimile or electronic counterparts, and facsimile or electronic counterparts shall serve as originals.

18. **Joint and Several Liability.** In the event there is more than one PROPERTY OWNER, the liability of PROPERTY OWNER shall be joint and several, and PROPERTY OWNER each of them shall be jointly and severally liable for performance of all of the obligations of PROPERTY OWNER under this Agreement.

19. **Effective Date.** The effective date of this Agreement is the date the parties sign the Agreement. If the parties sign the Agreement on more than one date, then the last date the Agreement is signed by a party shall be the effective date.

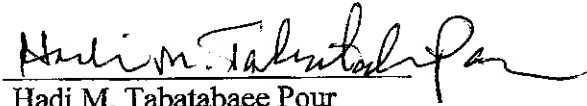
IN WITNESS WHEREOF, the parties hereto have duly caused this Agreement to be executed by their authorized representatives as of the date written.

COUNTY:
COUNTY OF RIVERSIDE,
a political subdivision of the State of California

By: 
Charissa Leach
Assistant Director of TLMA – Community Development

Dated: 9/5/17

PROPERTY OWNER:
HST Investments, L.P., a California Limited Partnership

By: 
Hadi M. Tabatabaee Pour
General Partner

Dated: 8/18/2017

FORM APPROVED COUNTY COUNSEL
BY:  8/29/17
LEILA J. MOSHREF-DANESH / DATE

By: Shahla Tabatabaee Pour
Shahla Tabatabaee Pour
General Partner

Dated: 8/18/17

Effat Youssef Revocable Trust dated June 24, 2009

By: Effat Youssef Trustee
Effat Youssef
Trustee

Dated: 8-18-2017

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of ORANGE)

On AUGUST 18, 2017 before me, TIMOTHY TAN-THINH NGUYEN,
Date Here Insert Name and Title of the Officer

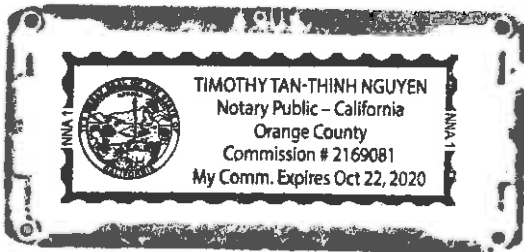
personally appeared HADI MEK TABATABAE FOUK, SHAHLA TABATABAE FOUK
Name(s) of Signer(s)

AND EFFAT YOUSSEF

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: INDEMNIFICATION Agreement

Document Date: AUGUST 18, 2017 Number of Pages: 6

Signer(s) Other Than Named Above: N/A

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

Signer's Name: _____

- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

NOTICE OF PUBLIC HEARING
and
INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider the project shown below:

GENERAL PLAN AMENDMENT NO. 1211, CHANGE OF ZONE NO. 7924, TRACT MAP NO. 37169, – Intent to Adopt a Mitigated Negative Declaration – Applicant: Patric Lynam – Representative: Mitch Adkinson/Adkan Engineers – Second Supervisorial District – Temescal Canyon Area Plan – East Corona Zoning District – General Plan: Community Development: Commercial Retail (CD-CR)(0.20-0.35 FAR) – Zoning General Commercial (C-1/C-P) – Location: Northeasterly corner of Grant Street and Magnolia Avenue – 4.16 acres – **REQUEST:** A General Plan Amendment to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD-VHDR)(14-20 DU/AC), a Tentative Tract Map for a Schedule "A" Subdivision of 4.16 acres into 65 single family residential units, a recreation area, a tot lot playground, and additional parking areas as part of a condominium plan, and a Change of Zone to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3).

TIME OF HEARING: 9:00 am or as soon as possible thereafter.
DATE OF HEARING: **SEPTEMBER 20, 2017**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
BOARD CHAMBERS, 1ST FLOOR
4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project please contact Project Planner Brett Dawson at (951) 955-0972 or email at bdawson@rivco.org, or go to the County Planning Department's Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above project will not have a significant effect on the environment and has recommended adoption of a mitigated negative declaration. The Planning Commission will consider the proposed project and the proposed mitigated negative declaration, at the public hearing. The case file for the proposed project and the proposed mitigated negative declaration may be viewed Monday through Friday, 8:30 a.m. to 5:00 p.m., at the County of Riverside Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501. For further information or an appointment, contact the project planner.

Any person wishing to comment on a proposed project may do so, in writing, between the date of this notice and the public hearing or appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Brett Dawson
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 8/7/2017,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CZ07924/GPA01211/TR37169 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

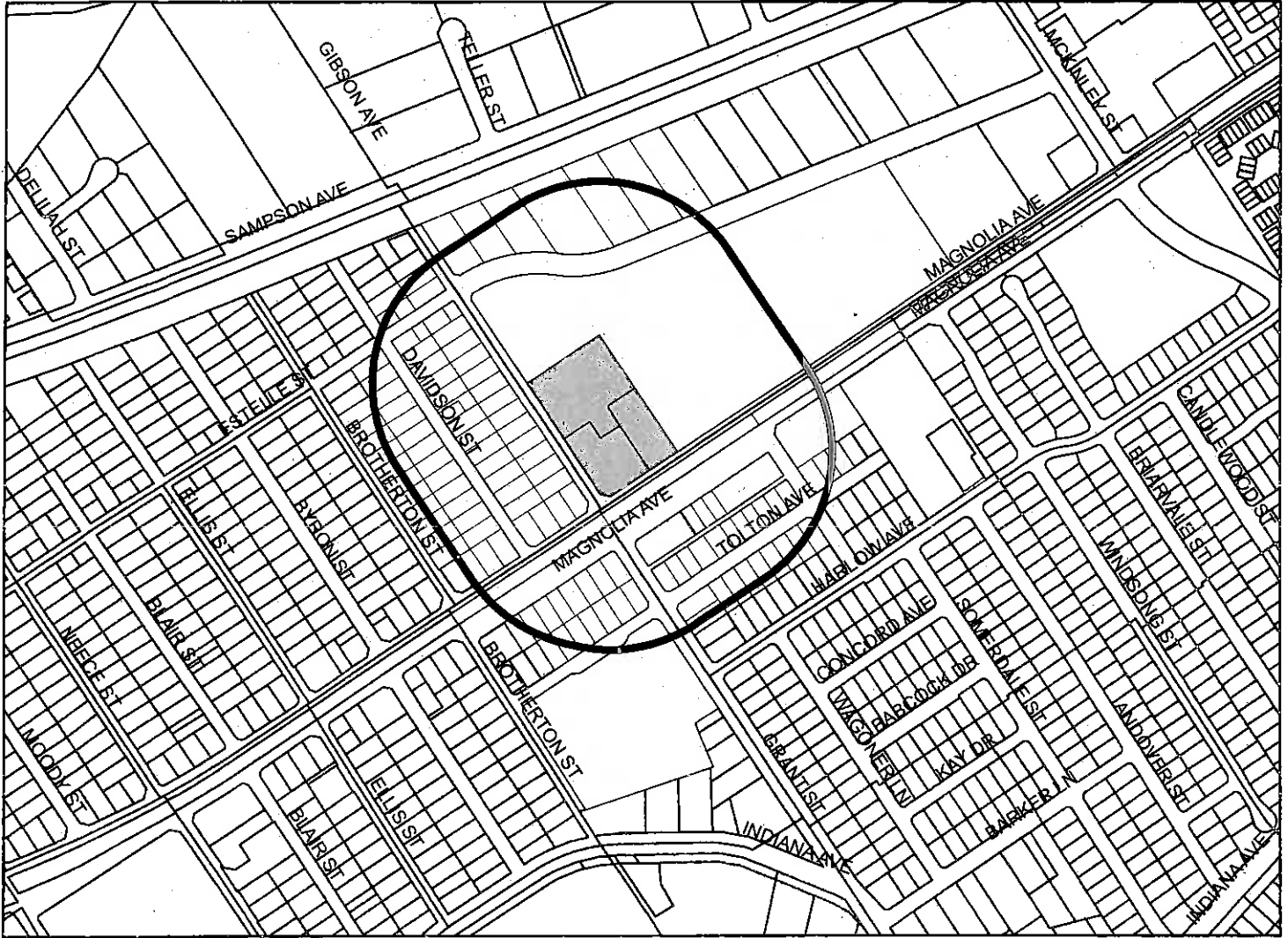
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

CZ07924 GPA01211 TR37169 (600 feet buffer)



Selected Parcels

135-062-005	115-273-004	135-061-018	135-062-007	135-062-008	115-274-024	115-273-013	115-272-008	115-273-021	115-272-006
115-273-009	115-273-023	135-041-016	115-274-015	115-300-045	115-273-015	115-273-017	115-273-036	115-274-020	115-273-024
115-274-012	135-061-013	135-061-010	135-042-012	115-272-007	115-300-043	115-273-008	115-300-042	115-274-026	115-274-025
135-041-013	115-274-023	115-300-046	135-041-012	115-274-021	135-041-008	135-041-017	115-273-018	115-273-020	115-273-035
135-041-023	115-300-047	115-300-049	115-300-052	135-061-016	115-272-004	115-274-009	115-274-032	115-274-018	115-273-012
135-061-015	115-300-044	115-274-010	135-041-011	135-041-003	135-041-004	115-273-007	135-041-014	115-273-002	135-062-001
115-300-035	115-300-023	135-063-012	115-273-028	135-061-012	135-061-017	115-274-004	115-274-005	115-274-007	115-274-022
135-041-009	135-062-006	115-273-011	115-273-010	135-062-010	135-061-009	135-061-011	115-273-033	115-273-027	135-061-014
115-274-030	135-063-020	135-061-021	135-061-022	115-274-011	135-041-005	135-041-022	115-273-022	115-274-008	115-273-030
135-062-004	115-273-001	115-274-003	115-274-013	115-274-016	115-273-014	135-063-011	115-273-006	135-061-002	135-061-003
135-061-004	115-273-005	115-273-025	135-041-010	115-274-027	135-061-008	115-273-031	115-274-019	115-273-003	115-274-006
115-274-028	115-274-029	115-272-005	135-062-009	135-062-002	115-300-041	115-273-026	115-273-029	135-041-001	135-061-023

First 120 parcels shown



520 260 0 520 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



5962^{TM/MC}

Easy Peel® Address Labels |
Bend along line to expose Pop-up Edge® |

Go to avery.com/templates |
Use Avery Template 5962 |

ASMT: 115272004, APN: 115272004
TERESA QUIROZ, ETAL
4019 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273003, APN: 115273003
MARIA QUIROZ, ETAL
3983 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115272005, APN: 115272005
ELENA FLORES, ETAL
13545 ESTELLE ST
CORONA, CA. 92879

ASMT: 115273004, APN: 115273004
MIRIAM ELLIS, ETAL
2292 ALTA VISTA DR
VISTA CA 92084

ASMT: 115272006, APN: 115272006
ARTURO RIVERA
13531 ESTELLE ST
CORONA, CA. 92879

ASMT: 115273005, APN: 115273005
LUCILA NAVARRO, ETAL
3945 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115272007, APN: 115272007
CATALINA GUTIERREZ, ETAL
13517 ESTELLE ST
CORONA, CA. 92879

ASMT: 115273006, APN: 115273006
PAOLA ZARATE, ETAL
3943 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115272008, APN: 115272008
JUAN ZARAGOZA, ETAL
4020 GRANT ST
CORONA, CA. 92879

ASMT: 115273007, APN: 115273007
ROSE MORALES, ETAL
202 VIOLET ST
CORONA CA 92882

ASMT: 115273001, APN: 115273001
MICHELLE LIAS
C/O SALOMON PALMA LIAS
3995 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273008, APN: 115273008
HILDA DELGADO, ETAL
3925 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273002, APN: 115273002
JOHANNA REYES
13504 ESTELLE ST
CORONA, CA. 92879

ASMT: 115273009, APN: 115273009
JOSLIN TRAN, ETAL
2135 SYCAMORE AVE
ORANGE CA 92868

5962^{TM/MC}Easy Peel® Address Labels |
Bend along line to expose Pop-up Edge® |Go to avery.com/templates |
Use Avery Template 5962 |

ASMT: 115273010, APN: 115273010
ROSA HERNANDEZ, ETAL
3901 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273022, APN: 115273022
MARIA VALADEZ
3856 GRANT ST
CORONA, CA. 92879

ASMT: 115273011, APN: 115273011
ROBERTO CASTILLO, ETAL
3885 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273023, APN: 115273023
BENIGNO ZARRAGA
3870 GRANT ST
CORONA, CA. 92879

ASMT: 115273012, APN: 115273012
K EQUITIES INC, ETAL
PO BOX 180989
CORONADO CA 92178

ASMT: 115273024, APN: 115273024
CASTRO MARIA DEL CARMEN LIVING TRUST
3884 GRANT ST
CORONA, CA. 92879

ASMT: 115273013, APN: 115273013
MARIA MARTINEZ, ETAL
3859 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273025, APN: 115273025
MARIA PONCE, ETAL
3886 GRANT ST
CORONA, CA. 92879

ASMT: 115273014, APN: 115273014
ALFONSO AVILA, ETAL
C/O MODESTO D AVILA
3849 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115273026, APN: 115273026
GUADALUPE MADRIGAL, ETAL
3256 ACACIAWOOD PL
RIVERSIDE CA 92503

ASMT: 115273020, APN: 115273020
HOME GARDENS COUNTY WATER DISTRICT
3824 N GRANT ST
CORONA, CA. 92879

ASMT: 115273027, APN: 115273027
CELINA VALENCIA, ETAL
3896 GRANT ST
CORONA, CA. 92879

ASMT: 115273021, APN: 115273021
CARMEN MARTINEZ, ETAL
3846 GRANT ST
CORONA, CA. 92879

ASMT: 115273028, APN: 115273028
SYLVIA CARTAGENA, ETAL
14017 LOS SPURS RD
ROANOKE TX 76262



5962™/MC

Easy Peel® Address Labels |
Bend along line to expose Pop-up Edge® |Go to avery.com/templates |
Use Avery Template 5962 |

ASMT: 115273029, APN: 115273029
GUADALUPE SIORDIA, ETAL
1459 WHITE HOLLY DR
CORONA CA 92881

ASMT: 115274006, APN: 115274006
ESPERANZA BONILLA, ETAL
3931 BROTHERTON ST
CORONA, CA. 92879

ASMT: 115273030, APN: 115273030
YOLANDA CORONA, ETAL
5381 MONTGOMERY ST
RIVERSIDE CA 92503

ASMT: 115274007, APN: 115274007
CONCEPCION FLORES, ETAL
29164 OUTRIGGER ST
LAKE ELSINORE CA 92530

ASMT: 115273031, APN: 115273031
WENDY GUTIERREZ, ETAL
3978 1/2 GRANT ST
CORONA CA 92879

ASMT: 115274008, APN: 115274008
ROSA BARRON, ETAL
3901 BROTHERTON ST
CORONA, CA. 92879

ASMT: 115273032, APN: 115273032
TROY FONG
13520 ESTELLE ST
CORONA, CA. 92879

ASMT: 115274009, APN: 115274009
MARIA ALVAREZ, ETAL
841 LA PALMA DR
FALLBROOK CA 92028

ASMT: 115273033, APN: 115273033
CARMEN CRUZ, ETAL
9334 SAN RAFAEL ARCANGEL L
RIVERSIDE CA 92508

ASMT: 115274010, APN: 115274010
LAN PHAM, ETAL
9012 MARYLEE DR
GARDEN GROVE CA 92841

ASMT: 115273035, APN: 115273035
HOME GARDENS COUNTY WATER DISTRICT
3824 GRANT ST
CORONA, CA. 92879

ASMT: 115274011, APN: 115274011
MARTHA JAUREGUI, ETAL
3857 BROTHERTON ST
CORONA, CA. 92879

ASMT: 115274003, APN: 115274003
NICOLAS GARCIA
3967 BROTHERTON ST
CORONA, CA. 92879

ASMT: 115274012, APN: 115274012
MARIA MADRIGAL, ETAL
3845 BROTHERTON ST
CORONA, CA. 92879

5962^{TM/MC}Easy Peel[®] Address Labels |
Bend along line to expose Pop-up Edge[®] |Go to avery.com/templates |
Use Avery Template 5962 |

ASMT: 115274013, APN: 115274013
NINFA GALVAN
3833 BROTHERTON ST
CORONA, CA. 92879

ASMT: 115274024, APN: 115274024
EFIGENIA DESALEZ, ETAL
3916 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274015, APN: 115274015
BROS PROP INV
C/O STEVE T TRAN
18 CENTERSTONE CT
BUENA PARK CA 90620

ASMT: 115274025, APN: 115274025
GUADALUPE MENDOZA, ETAL
10728 VALLEY DR
RIVERSIDE CA 92505

ASMT: 115274019, APN: 115274019
MARIA GUERRERO, ETAL
1385 DUSTY HILL RD
HEMET CA 92545

ASMT: 115274026, APN: 115274026
AURORA DEANDA, ETAL
3942 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274020, APN: 115274020
CARMEN YANES
3858 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274027, APN: 115274027
ELENA ESPINOZA, ETAL
3956 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274021, APN: 115274021
GRISELDA VENEGAS
3872 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274029, APN: 115274029
ROSA NAVA
3984 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274022, APN: 115274022
ALBA FRANCO, ETAL
3888 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274030, APN: 115274030
ESTHER SALAZAR, ETAL
C/O ROSA SALGADO
3992 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274023, APN: 115274023
JUANA DEANDA, ETAL
3902 DAVIDSON ST
CORONA, CA. 92879

ASMT: 115274032, APN: 115274032
ARELIA PADILLA, ETAL
13551 MAGNOLIA AVE
CORONA, CA. 92879



5962™/MC

Easy Peel® Address Labels |
Bend along line to expose Pop-up Edge® |Go to avery.com/templates |
Use Avery Template 5962 |

ASMT: 115300023, APN: 115300023
JUNE YAMANO, ETAL
C/O SACHIYE YAMANO
13381 MAGNOLIA AVE
CORONA, CA. 92879

ASMT: 115300052, APN: 115300052
EFFAT YOUSSEF, ETAL
C/O EFFAT YOUSSEF
8311 BONNIE BRAE DR
BUENA PARK CA 90621

ASMT: 115300035, APN: 115300035
LINDA WILLIAMS, ETAL
BOX 317
13365 ESTELLE ST
CORONA, CA. 92879

ASMT: 135041004, APN: 135041004
JAMES CHEN, ETAL
C/O CHALLENGER HOLDINGS
3501 CHALLENGER ST
TORRANCE CA 90503

ASMT: 115300041, APN: 115300041
K PROP, ETAL
13395 ESTELLE ST
CORONA, CA. 92879

ASMT: 135041008, APN: 135041008
RUBEN VELAZQUEZ ZUNIGA, ETAL
13115 HARLOW AVE
CORONA CA 92879

ASMT: 115300042, APN: 115300042
DONALD CAVALLETTO PROP GROUP
PO BOX 4965
PASO ROBLES CA 93447

ASMT: 135041009, APN: 135041009
MARIA GOMEZ, ETAL
13512 MAGNOLIA AVE
CORONA, CA. 92879

ASMT: 115300043, APN: 115300043
DOLORES FREWING, ETAL
5480 SCHAEFER AVE
CHINO CA 91710

ASMT: 135041010, APN: 135041010
CLARCY PHILLIPS, ETAL
196 E CRESTVIEW ST
CORONA CA 92879

ASMT: 115300044, APN: 115300044
JAR COMMERCIAL INV
C/O RAY CROLL
27126 WATSON RD
ROMOLAND CA 92585

ASMT: 135041011, APN: 135041011
SALVADOR SOLIS, ETAL
3760 GRANT ST
CORONA CA 92879

ASMT: 115300046, APN: 115300046
M, ETAL
1624 E CARSON ST
CARSON CA 90745

ASMT: 135041012, APN: 135041012
VIDAL ORGANISTA, ETAL
13521 TOLTON AVE
CORONA, CA. 92879



5962™/MC

Easy Peel® Address Labels |
Bend along line to expose Pop-up Edge® |

Go to avery.com/templates |
Use Avery Template 5962 |

ASMT: 135061012, APN: 135061012
MARIA ENRIQUEZ, ETAL
13439 TOLTON AVE
CORONA, CA. 92879

ASMT: 135061020, APN: 135061020
UNIVERSAL CHURCH
247 WALNUT ST
NEWARK NJ 7105

ASMT: 135061013, APN: 135061013
CECILIO AGUILAR
13447 TOLTON AVE
CORONA, CA. 92879

ASMT: 135061022, APN: 135061022
MANUEL PUENTE
1828 PEELER ST
CORONA CA 92882

ASMT: 135061014, APN: 135061014
LUCIA MARTINEZ
13453 TOLTON AVE
CORONA, CA. 92879

ASMT: 135061024, APN: 135061024
SOUTHERN PACIFIC TRANSPORTATION CO
1700 FARNAM ST 10TH FL S
OMAHA NE 68102

ASMT: 135061015, APN: 135061015
JOHN PEREZ, ETAL
13467 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062001, APN: 135062001
LYDIA FERRER, ETAL
9310 PYLE CIR
WESTMINSTER CA 92683

ASMT: 135061016, APN: 135061016
VICTORIA JARA, ETAL
13475 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062002, APN: 135062002
GUADALUPE VELAZQUEZ, ETAL
13115 HARLOW ST
CORONA CA 92879

ASMT: 135061017, APN: 135061017
MARIA ENRIQUEZ, ETAL
13491 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062003, APN: 135062003
TERESA DE CASTRO
13470 TOLTON AVE
CORONA, CA. 92879

ASMT: 135061018, APN: 135061018
LIDIA QUIROZ, ETAL
13499 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062004, APN: 135062004
MARIA NAVARRO, ETAL
13462 TOLTON AVE
CORONA, CA. 92879



5962™/MC

Easy Peel® Address Labels
Bend along line to expose Pop-up Edge®

Go to avery.com/templates
Use Avery Template 5962

ASMT: 135041013, APN: 135041013
FRANCISCA CLARA
13525 TOLTON AVE
CORONA, CA. 92879

ASMT: 135042012, APN: 135042012
CORONA UNIFIED SCHOOL DIST
300 S BUENA VISTA
CORONA CA 92882

ASMT: 135041014, APN: 135041014
MARIAN CASAS, ETAL
13541 TOLTON AVE
CORONA, CA. 92879

ASMT: 135061003, APN: 135061003
OUR LADY OF TEPEYAC FREE CATHOLIC CHU
C/O DIANA HERNANDEZ
420 MCKINLEY NO 111 449
CORONA CA 92879

ASMT: 135041015, APN: 135041015
GLORIA LARA, ETAL
13547 TOLTON AVE
CORONA, CA. 92879

ASMT: 135061004, APN: 135061004
OUR LADY OF TEPEYAC FREE CATHOLIC CHU
420 MCKINLEY AVE 111 449
CORONA CA 92879

ASMT: 135041016, APN: 135041016
ALICIA PICAZO, ETAL
1100 JADESTONE LN
CORONA CA 92882

ASMT: 135061008, APN: 135061008
RAMIRO GARCIA
12999 SEPTEMBER WAY
RIVERSIDE CA 92503

ASMT: 135041017, APN: 135041017
TERESA VU, ETAL
1013 S ELLIOT PL
SANTA ANA CA 92704

ASMT: 135061009, APN: 135061009
IGNACIA QUIROZ, ETAL
13411 TOLTON AVE
CORONA, CA. 92879

ASMT: 135041022, APN: 135041022
MARGARITO TAVARES
23830 POST RD
PERRIS CA 92570

ASMT: 135061010, APN: 135061010
DONACIANO MEDINA, ETAL
13415 TOLTON AVE
CORONA, CA. 92879

ASMT: 135041023, APN: 135041023
HOME GARDENS SANITARY DIST
13538 MAGNOLIA
HOME GARDENS CA 92254

ASMT: 135061011, APN: 135061011
KIM NGO
14052 SHIRLEY ST
WESTMINSTER CA 92683



5962^{TM/MC}

Easy Peel[®] Address Labels
Bend along line to expose Pop-up Edge[®]

Go to avery.com/templates
Use Avery Template 5962

ASMT: 135062005, APN: 135062005
ROSARIO CASTRO, ETAL
13454 TOLTON AVE
CORONA CA 92378

ASMT: 135063012, APN: 135063012
JORGE DIAZ
13387 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062006, APN: 135062006
JOSE HERNANDEZ
13444 TOLTON AVE
CORONA, CA. 92879

ASMT: 135063013, APN: 135063013
MANUEL VILLELA, ETAL
C/O MANUEL VILLELA
13375 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062007, APN: 135062007
BERTHA GARCIA, ETAL
13436 TOLTON AVE
CORONA, CA. 92879

ASMT: 135063020, APN: 135063020
MAGNOLIA TREES PROP
C/O FRANK TURLEY
1373 N MILLER
ANAHEIM CA 92806

ASMT: 135062008, APN: 135062008
BERTHA GARCIA, ETAL
13426 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062009, APN: 135062009
MA ANDRADE, ETAL
13410 TOLTON AVE
CORONA, CA. 92879

ASMT: 135062010, APN: 135062010
HUGO MARTINEZ, ETAL
13404 TOLTON AVE
CORONA, CA. 92879

ASMT: 135063011, APN: 135063011
OSCAR GARCIA, ETAL
C/O OSCAR C GARCIA
13399 TOLTON AVE
CORONA, CA. 92879

8/17/2017 4:43:27 PM

Patric Lynam
1451 Quail St Ste 204
Newport Beach CA 92660

Mitch Adkinson
8879 Airport Dr
Riverside CA 92504

City of Corona
Community Development
400 S. Vicentia Ave.
Corona, CA 92882

Santa Ana Reg. Water Quality Control Board
3737 Main Street, Suite 500
Riverside, CA 92501-3348

Riverside Transit Agency
1825 Third St.
P.O Box 59968
Riverside, CA 92517-1968

Mail Stop# 1450
Riv. Co. Sheriff's Dept.

Southern California Edison Co. (SCE)
2244 Walnut Grove Ave., Room 312
P.O. Box 800
Rosemead, CA 91770-0800

Southern California Gas Co.
Engineering Department
P.O Box 3003
Redlands, CA 92373-0316

Western Municipal Water District (WMWD)
14205 Meridian Parkway
Riverside, CA 92518



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
*Assistant Director of
TLMA- Community Development*

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

TR37169 GPA01211 CZ07924
Project Title/Case Numbers

Brett Dawson
County Contact Person

(951) 955-0972
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Patric Lynham
Project Applicant

N/A
Address

The project is located northeast corner of Grant Street and Magnolia Avenue

Project Location

General Plan Amendment No. 1211 to change the project site's General Plan Land Use from Community Development Commercial Retail (CR)(0.20-0.35 FAR) to Community Development: Very High Density Residential (CD: VHDR)(14-20 DU/AC)
Tentative Tract Map No. 37169 for a Schedule A subdivision of 4.16 acres into sixty five (65) single family residential units, a recreation area, a tot lot playground, and additional parking areas as part of a condominium plan
Change of Zone No. 7924 to change the project site's Zoning Classification from General Commercial (C-1/C-P) to General Residential (R-3).

Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on July 25, 2017, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared and certified for the project pursuant to the provisions of the California Environmental Quality Act and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Project Planner _____
Title

Date

Date Received for Filing and Posting at OPR: N/A



COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

S* REPRINTED * R1612452

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: PLANET HOME HOUSING POOL 2 LLC \$50.00
paid by: CK 1023
EA42960
paid towards: CFG06331 CALIF FISH & GAME: DOC FEE
at parcel: 13469 MAGNOLIA AVE COR
appl type: CFG3

By _____ Oct 14, 2016 09:11
PSEMPLE posting date Oct 13, 2016

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!



Charissa Leach, P.E.
Assistant TLMA Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

4.3

Memorandum

Date: September 12, 2017

To: Chairperson for Planning Commission Hearing dated September 20, 2017

From: Jay Olivas, Project Planner

RE: CZ 7922 / CUP 3758 (change of zone from C-P-S and C-1/C-P to C-1/C-P and proposed mini-warehouse complex)

To whom it may concern and the Planning Commission Chairperson,

This memo is to inform you of the need to continue the above item from today's hearing agenda.

Planning requests that CZ 7922 / CUP 3758 be continued to a date certain of October 18, 2017, in addition the project will be re-advertised due to the change in the project description.

Sincerely,

Jay Olivas, Project Planner


Y:\Planning Case Files-Riverside office\CUP03758\PC Memo 9-12-17.docx

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7040

Agenda Item No.: 4 . 4
Area Plan: Southwest
Zoning District: Rancho California
Supervisory District: Third
Project Planner: Dave Alvarez
Planning Commission: September 20, 2017

CHANGE OF ZONE NO. 7901
TENTATIVE TRACT MAP NO. 36644
ENVIRONMENTAL ASSESSMENT NO. 42878
Applicant: Neil Gascon
Engineer/Representative: K&A Engineering



Charissa Leach, P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

CHANGE OF ZONE NO. 7901 proposes to change the zoning classification of the project site from Residential Agricultural-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1).

TENTATIVE TRACT MAP NO. 36644 proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots.

The project site is located northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road.

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing General Plan Land Use (Ex. #5): | Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC) |
| 2. Surrounding General Plan Land Use (Ex. #5): | Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC) to the north, south, east, and west |
| 3. Proposed Zoning (Ex. #2): | One-Family Dwellings (R-1) |
| 4. Surrounding Zoning (Ex. #2): | One-Family Dwellings — 18,000 square-foot minimum (R-1-18000) and One-Family Dwellings — 12,000 square-foot minimum (R-1-12000) to the north, One-Family Dwelling (R-1) to the south, east, and the west. |
| 5. Existing Land Use (Ex. #1): | The project site is currently vacant |
| 6. Surrounding Land Use (Ex. #1): | The project site is surrounded by single family residential dwellings to the north and vacant property to the east, west, and south |
| 7. Project Data: | Total Acreage: 12.9
Total Proposed Residential Lots: 35
Proposed Min. Lot Size: 7,200 square feet
Schedule: A |
| 8. Environmental Concerns: | See attached environmental assessment |

RECOMMENDATIONS:

THE PLANNING COMMISSIONS RECOMMENDS THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:

ADOPT a MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42878, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

TENTATIVELY APPROVE CHANGE OF ZONE NO. 7901 to change the zoning classification of the project site from Residential Agricultural-5 Acre Minimum (R-A-5) to One-Family Dwelling (R-1) in accordance with Exhibit #2, subject to adoption of the zoning ordinance by the Board of Supervisors; and,

APPROVE TENTATIVE TRACT MAP NO. 36644 subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC) on the Southwest Area Plan.
2. The project is consistent with the current Land Use designation of Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC). More specifically, the current Land Use designation allows for a density of 2-5 dwelling units per acre with a residential lot size of 5,500 square feet to 20,000 square feet, and a typical lot size of 7,200 square feet. As illustrated on the proposed tentative exhibit, the proposed tentative subdivision is approximately 12.9 acres which would allow for a residential density of 25 to 64 residential units. The tentative subdivision proposes 35 residential lots which would fall within the allowed density of the MDR land use designation and the minimum lot size for a residential lot proposed is 7,200 square feet which would comply with the typical lot size of the Medium Density Residential (CD: MDR)(2-5 DU/AC) Land Use designation.
3. The project site is surrounded by properties which are designated Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC) to the north, east, south, and west.
4. The existing zoning is Residential Agricultural-5 Acre Minimum (R-A-5) and the proposed zoning classification for the project site is One-Family Dwelling (R-1).
5. The project site is surrounded by properties which are zoned One-Family Dwelling-18,000 (R-1-18000) and One-Family Dwelling-12,000 square foot minimum (R-1-12000) to the north, One-Family Dwelling (R-1) to the south, east, and the west.
6. This proposed project meets each of the following development criteria, specified for the One-Family Dwelling (R-1) Zone:

- a. The development standards for the One-Family Dwelling (R-1) zoning classification require a minimum lot size of 7,200 square feet. As illustrated on the proposed exhibit, the minimum lot size for the 35 proposed residential lots is 7,200 square feet. The proposed project complies with the minimum lot size requirement of the One-Family (R-1) zoning classification.
 - b. The development standards for the One-Family (R-1) zoning classification require a minimum lot depth of 100 feet. The proposed project complies with the minimum lot depth requirement of the One-Family (R-1) zoning classification.
 - c. The development standards for the One-Family (R-1) zoning classification require a minimum lot width of 60 square feet. The proposed residential lots comply with the minimum width requirements of the One-Family Dwelling zoning classification because the minimum lot width for a residential lot is 100 feet.
7. The proposed residential lot subdivision is consistent with the Schedule "A" map requirements of Ordinance No. 460, Section 10.5, and with other applicable provisions of Ordinance No. 460, such as, street improvement plans, domestic water supply and distribution system, sewage disposal, fire hydrants/protection, fencing, and electrical and communications facility.
- a. The design of the tentative tract map is consistent with the County's General Plan. General Plan Principle IV.A.1 provides that the intent of the General Plan is to foster variety and choice in community development, particularly in the choice and opportunity for housing in various styles, of varying densities and of a wide range of prices and accommodating a range of life styles in equally diverse community settings, emphasizing compact and higher density choices. General Plan Principle IV.A.4 states that communities should range in location and type from urban to suburban to rural. The proposed tentative tract map provides for a variety of housing type in single-family residential community with a variety of lot sizes and with recreational amenities and complies with the density limits of the specific land use designation.
 - b. The site is physically suitable for the proposed residential development and density because it is sensitive to the portions of the project site with steeper terrain and limits the amount of grading to develop the site and preserve the remaining areas in a natural state. The overall density and lot sizes proposed is compatible with the existing and planned surrounding land uses, which generally consist of Community Development: Medium Density Residential (CD:MDR) land use designations.
 - c. The Environmental Assessment prepared for the project analyzed the potential environmental impacts of the project. Based on the findings and conclusions in the Environmental Assessment the design of the tentative tract map is not likely to cause substantial environmental damage, serious public health problems, or substantially and avoidably injure fish or wildlife or their habitat.
 - d. The design of the tentative tract map will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. Within the tentative map there are no existing easements and dedications for access.

CHANGE OF ZONE NO. 7901
TENTATIVE TRACT MAP NO. 36644
ENVIRONMENTAL ASSESSMENT NO. 42878
Planning Commission Staff Report
Page 4 of 5

8. Located within project vicinity are single-family residential dwellings to the north and vacant property to the east, west, and south.
9. This land division is located within a very high fire hazard severity zone and located within a Local Responsibility Area and is subject to the requirements of Government Code section 66474.02. This land division complies with all requirements of Government Code section 66474.02.
 - a. The land division has been designed so that each lot, and the subdivision as a whole, is in compliance sections 4290 and 4291 of the Public Resources Code by requiring that the site have fuel modification standards acceptable to the Riverside County Fire Department (Conditions of Approval 50.FIRE.7, 60.FIRE.1) and compliance with building code requirements for buildings within a very high fire severity zone.
 - b. Fire protection and suppression services will be available through Riverside County Fire Department.
 - c. The project meets the regulations regarding road standards for fire equipment access adopted pursuant to Section 4290 of the Public Resources Code and Riverside County Ordinance No. 787 by providing streets to County road improvement (Condition of Approval 50.TRANS.17), standards for signs identifying streets, roads and buildings, including blue dot reflectors (Condition of Approval 10.FIRE.1), minimum private water supply reserves for emergency fire use and residential fire sprinklers (Condition of Approval 80.FIRE.3).
10. Assembly Bill 52 became effective on July 1, 2015. In accordance with AB 52, separate notices regarding the proposed project were mailed to all requesting tribes (Pechanga, Rincon, Colorado River Indian Tribes, Soboba, Ramona, and Cahuilla tribes) on March 31, 2016. AB 52 provides for a 30-day period in which all Tribes that have been notified of the project may request to consult on the project. Staff received notification from the Rincon and Soboba Tribes within the 30-day period, requesting to initiate consultation. On April 7, 2015, the Rincon and Soboba tribes deferred consultation to the Pechanga tribe which concluded consultation on May 4, 2016. Staff consulted with the Pechanga tribe on December 7, 2016 to discuss the project. The Pechanga tribe did not respond within the 30-day period, which lead to closure on May 16, 2016. However, the Pechanga Tribe sent a comment letter to staff on July 25, 2016. Consultation discussions occurred on November 3, 2016 and December 7, 2016 to discuss comments from the Pechanga Tribe. Since there were no Tribal Cultural Resources identified by the tribe, consultation concluded.
11. The project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP) and as such, is not required to dedicate a portion of the project site for dedication purposes.
12. This project is not located within a City Sphere of Influence.
13. This project is not located within a Parks District or CSA.
14. Environmental Assessment No. 42878 identified the following potentially significant impacts:
 - a. Air Quality
 - b. Noise

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment and conditions of approval. No other significant impacts were identified.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Medium Density Residential (CD: MDR)(2-5 DU/AC) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the One-Family Dwelling (R-1) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is consistent with the Schedule A map requirements of Ordinance No. 460, and with other applicable provisions of Ordinance No. 460.
4. The public's health, safety, and general welfare are protected through project design.
5. The proposed project is compatible with the present and future logical development of the area.
6. The proposed project will not have a significant effect on the environment.
7. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

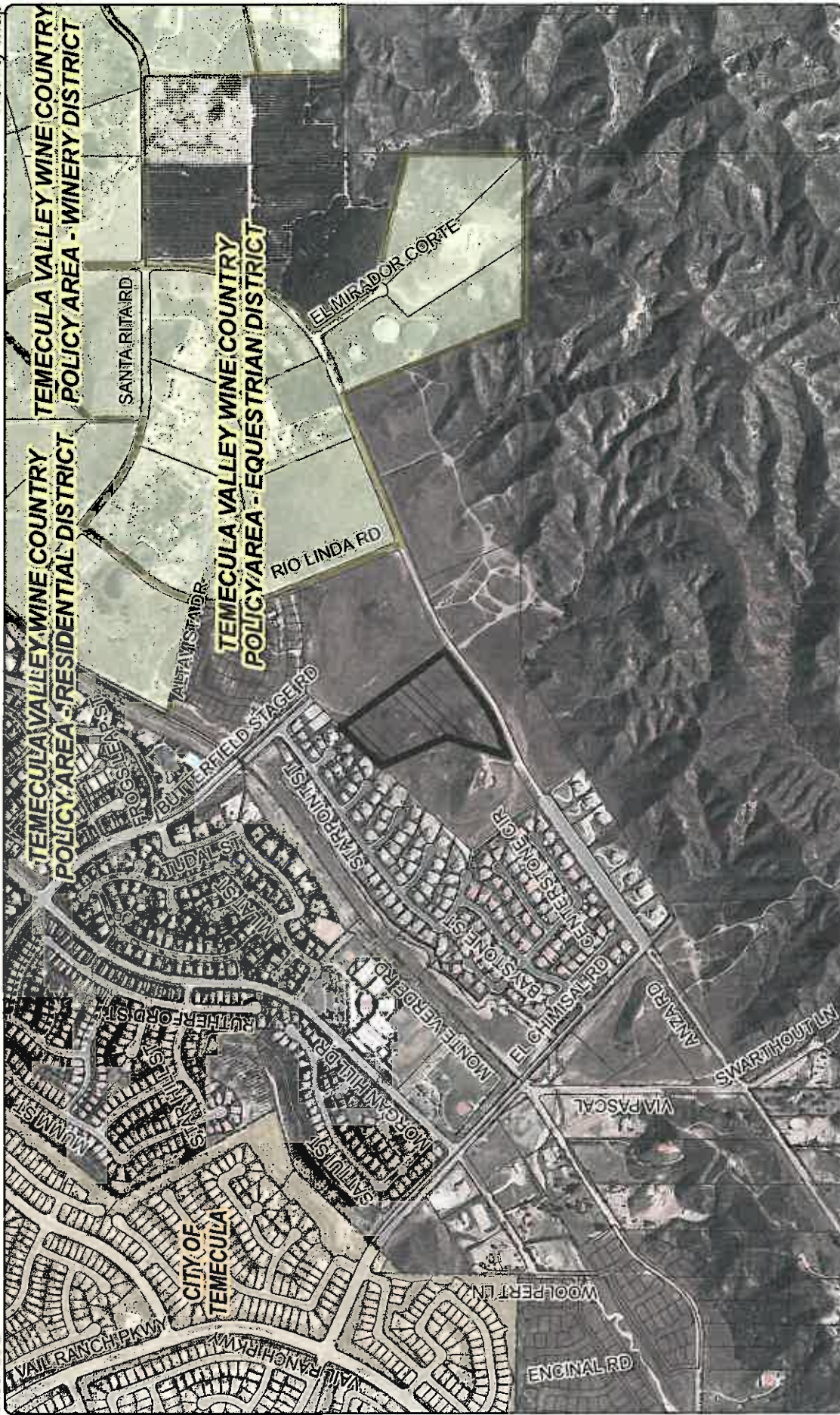
INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A city Sphere of Influence;
 - b. A 100-year flood plain, an area drainage plan, or dam inundation area;
 - c. The Stephens Kangaroo Rat Fee Area or Core Reserve Area;
 - d. Western Riverside County Multiple Species Habitat Conservation Plan Criteria Cell;
 - e. Airport Influence Area;
 - f. Agriculture Preserve; or
 - g. Fault Zone
3. The project site is located within:
 - a. Very High Fire Hazard Area; and
 - b. Paleontological High Sensitivity area
4. The subject site is currently designated as Assessor's Parcel 966-380-004.

RIVERSIDE COUNTY PLANNING DEPARTMENT
CZ07901 TR36644
VICINITY/POLICY AREAS

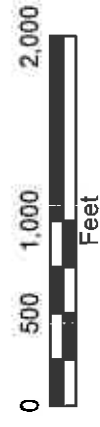
Supervisor: Washington
 District 3

Date Drawn: 07/26/2017
 Vicinity Map



Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2004, the County of Riverside adopted a new General Plan. This plan, along with the General Plan, is the primary planning document for the County. The County is currently in the process of updating the General Plan. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County) or in Palm Desert at (760) 427-1100 (Eastern County) or visit <http://www.rivco.ca.gov>

RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07901 TR36644

Supervisor: Washington

Date Drawn: 07/26/2017

District 3

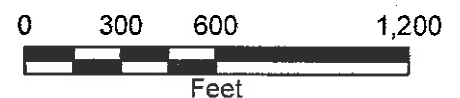
LAND USE

Exhibit 1



Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://rdplanning.rctdps.org>

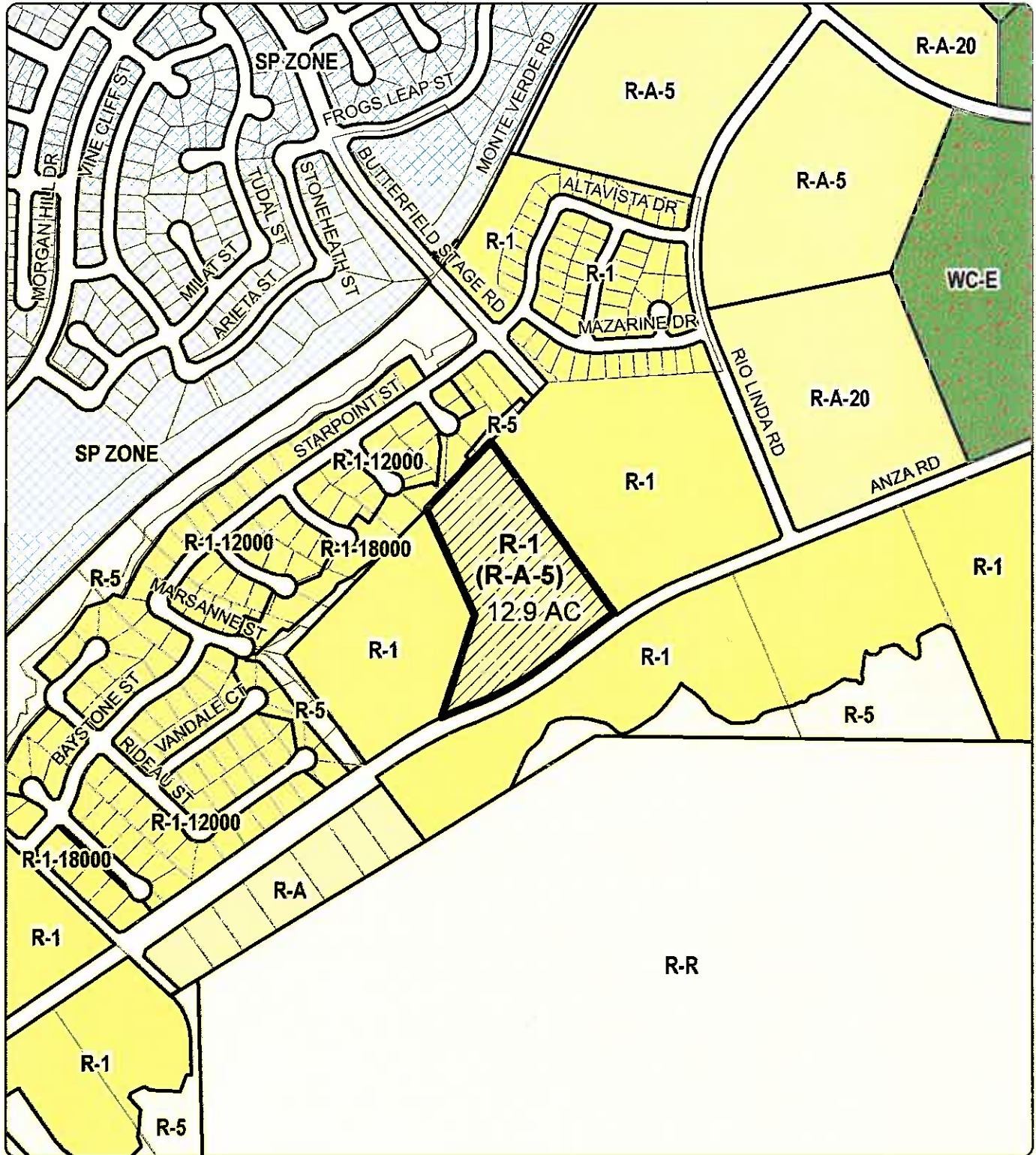
RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07901 TR36644

PROPOSED ZONING

Supervisor: Washington
District 3

Date Drawn: 07/26/2017
Exhibit 2



Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rctfma.org>

RIVERSIDE COUNTY PLANNING DEPARTMENT

CZ07901 TR36644

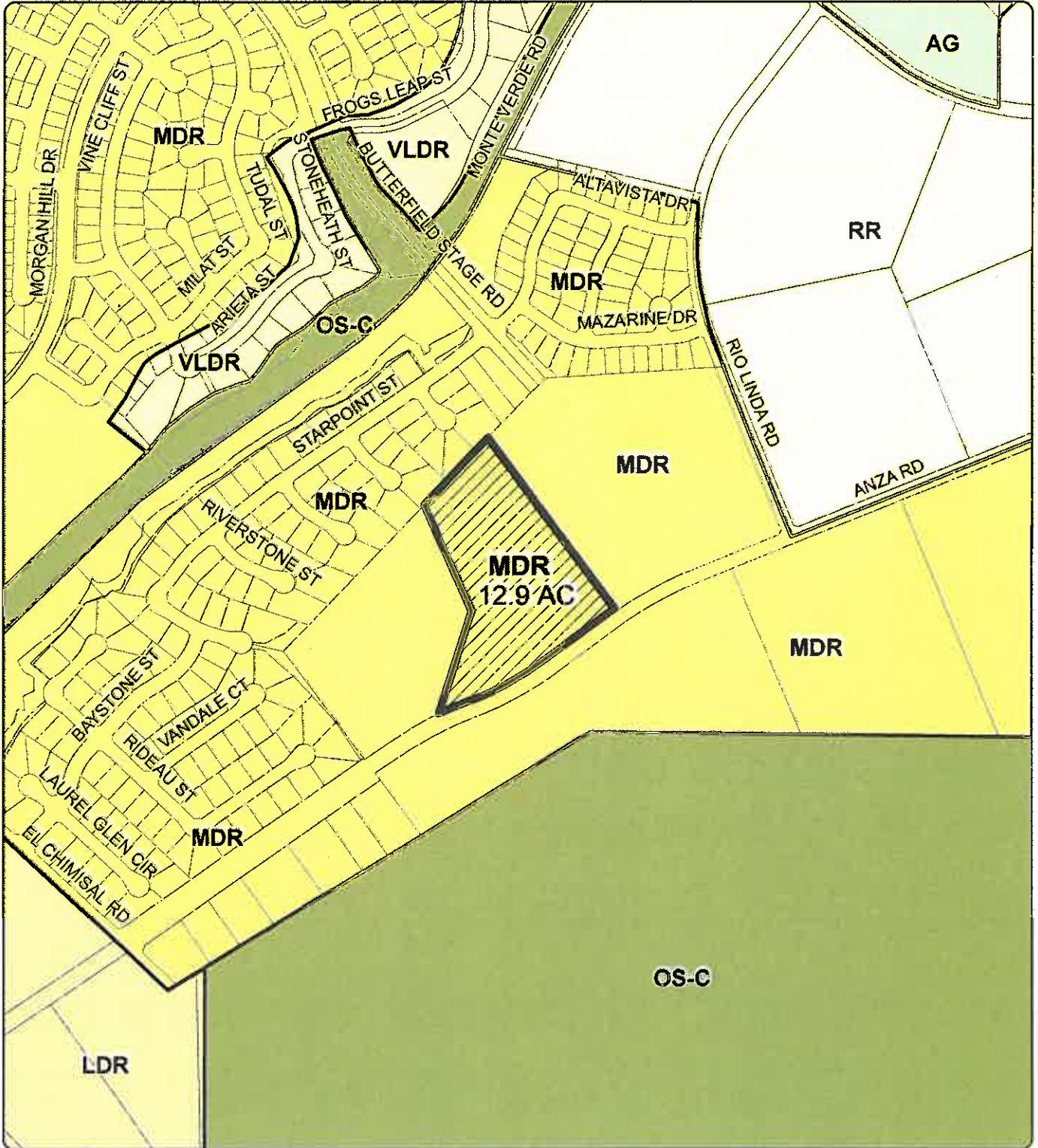
EXISTING GENERAL PLAN

Supervisor: Washington

District 3

Date Drawn: 07/26/2017

Exhibit 5



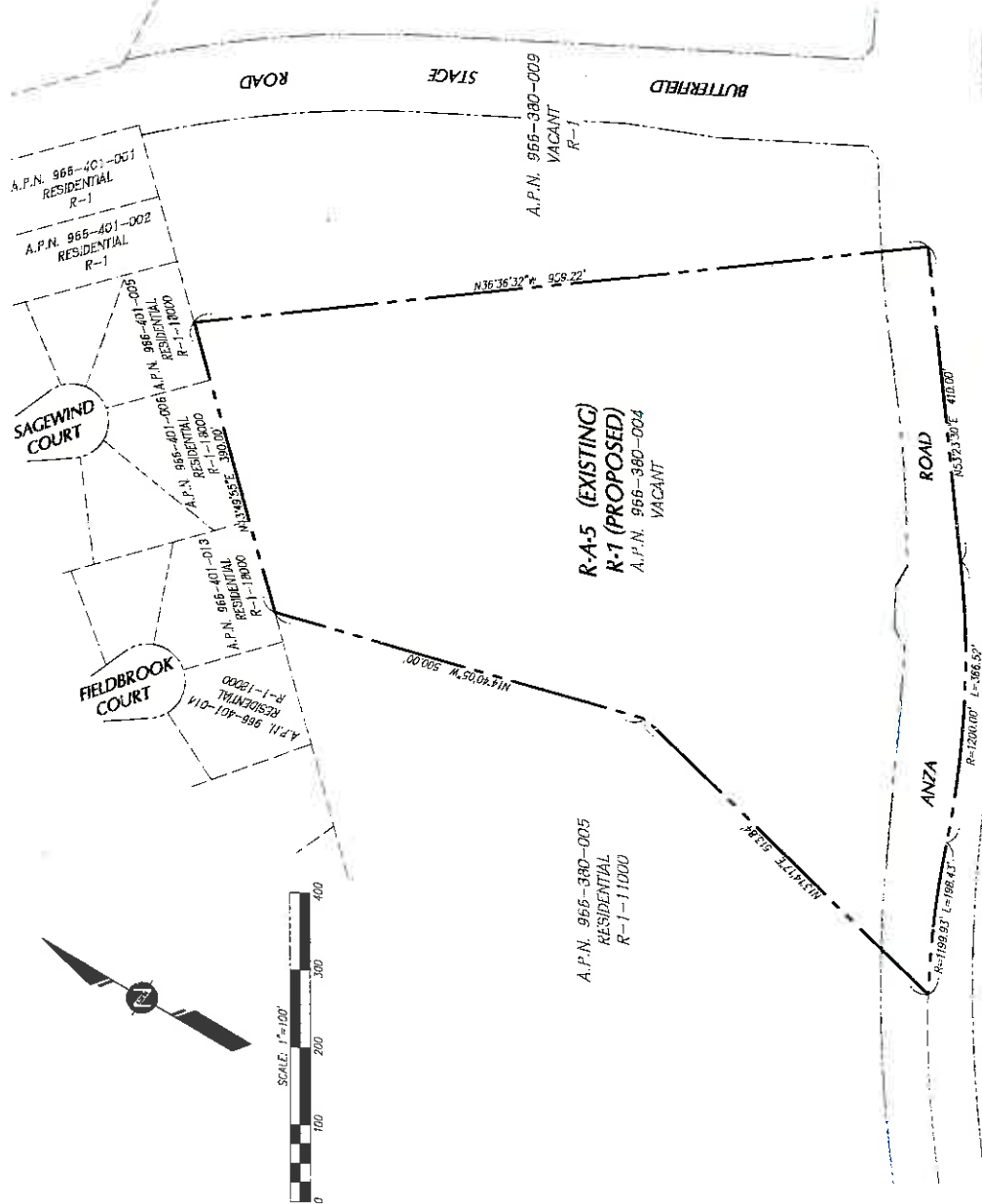
Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department office in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)963-9277 (Eastern County) or Website www.riversidecounty.net

CHANGE OF ZONE NO. 7901



DATE: FEBRUARY, 2016

LEGAL DESCRIPTION:
 BEING A DIVISION OF PARCEL 1 PARCEL MAP 18204, P.M. 110 PAGES 21 - 22 FILED IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF RIVERSIDE, CALIFORNIA, ALSO BEING A PORTION OF THE RANCHO PAUBA.

OWNER / APPLICANT:
 K & A ENGINEERING, INC.
 357 N. SHERIDAN STREET, SUITE 117
 CORONA, CA 92680
 PHONE: (951) 279-1800
 PROJECT MANAGER: JIM BOLTON, P.E.

PROPERTY LOCATION:
 NORTH OF ANZA ROAD AND WEST OF BUTTERFIELD ROAD

PROPERTY ACRES:
 TOTAL TRM GROSS 12.9 AC.
 TOTAL TRM NET 11.4 AC.

FLOOD PLAIN:
 PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD. THERE ARE NO FEMA MAPPED FLOOD PLANS OR FLOOD WAYS ON THE PROJECT SITE. FEMA PANEL NO. 06085C3108 - ZONE X

UTILITIES AND SERVICES:
 ASSECT SERVING THE AREA
 ELECTRIC: SOUTHERN CALIFORNIA Edison
 GAS: SOUTHERN CALIFORNIA GAS CO.
 TELEPHONE: VERIZON
 CABLE TV: TIME WARNER
 WATER: PANGRO CALIFORNIA WATER DISTRICT
 SEWER: EASTERN MUNICIPAL WATER DISTRICT
 SCHOOL DIST: TEMECUAL VALLEY UNIFIED SCHOOL DIST.

GENERAL PLAN DESIGNATIONS:
 EXISTING: MDR
 PROPOSED: MDR

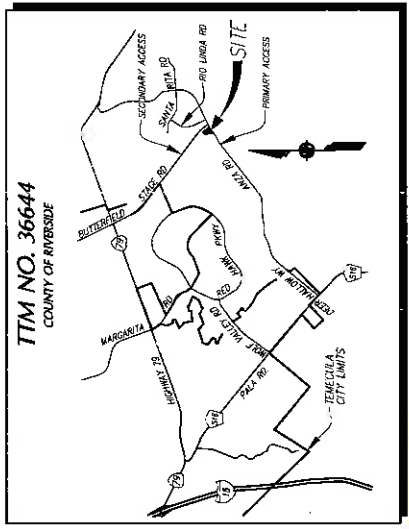
ASSESSOR'S PARCEL NUMBER:
 966-380-004

GENERAL PLAN DESIGNATIONS:
 EXISTING: MDR
 PROPOSED: MDR

ASSESSOR'S PARCEL NUMBER:
 966-380-004

SECTIONS, TOWNSHIPS AND RANGES:
 SOUTHWEST QUARTER OF SEC. 31,
 T3S, R3W, S34E

TOWNSHIP AND RANGE:
 2005 THOMAS BROS. MAP PAGE 980, GRID A-3



VICINITY MAP

N.T.S.
 2005 THOMAS BROS. MAP PAGE 980, GRID A-3

COMMITTEE COMMENTS:

ENGINEERING: 357 N. SHERIDAN STREET, CORONA, CALIFORNIA 92680, TEL (951) 279-1800, FAX (951) 279-1800

LAND PLANNING: K&A ENGINEERING, INC.

SURVEYING: K&A ENGINEERING, INC.

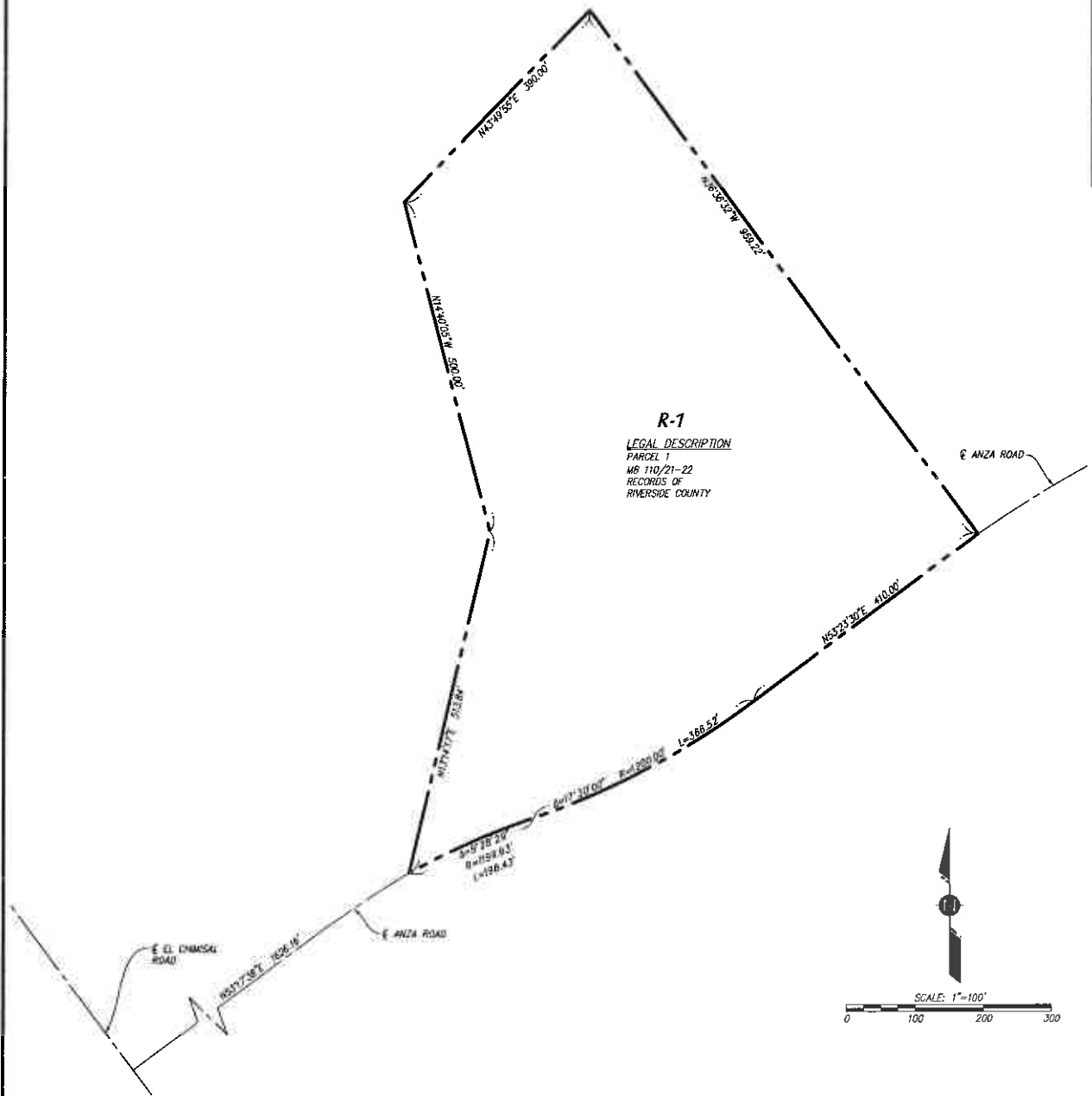
ZONING ACRES

ZONING	EXISTING	PROPOSED
R-4-5	12.9 AC	12.9 AC
R-1	12.9 AC	12.9 AC
TOTAL	12.9 AC	12.9 AC

A.P.N. 966-380-006
 VACANT
 R-1

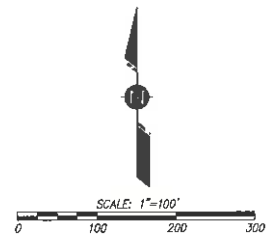
Copyright © 2016 K&A Engineering, Inc. All rights reserved. This drawing is the property of K&A Engineering, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of K&A Engineering, Inc.

RANCHO CALIFORNIA AREA
 SEC. 23, T.8S., R.2W. S.B.B. & M.



R-1
 LEGAL DESCRIPTION
 PARCEL 1
 MB 110/21-22
 RECORDS OF
 RIVERSIDE COUNTY

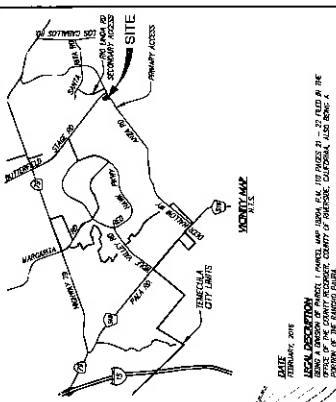
R-1 ONE-FAMILY DWELLINGS



MAP NO. XX.XXX
 CHANGE OF OFFICIAL ZONING PLAN
 AMENDING
 MAP NO. 2 ORDINANCE NO. 348
 CHANGE OF ZONE CASE NO. 07901
 ADOPTED BY ORDINANCE NO. 348
 DATE _____
 RIVERSIDE COUNTY BOARD OF SUPERVISORS

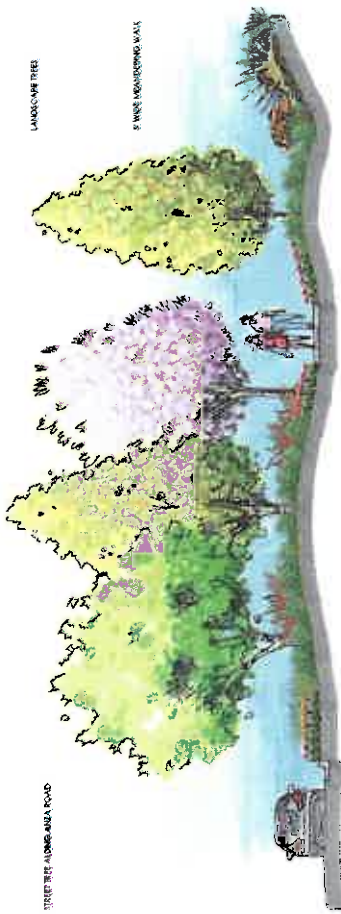
TENTATIVE TRACT MAP NO. 36644 - AMENDMENT NO. 3

COUNTY OF RIVERSIDE
BEING A PORTION OF SECTION 23, T8S, R2W, S.B.M.



APN	OWNER	ACRES	STATUS
7	1234	2.12	1.00
8	5678	3.45	2.00
9	9012	4.78	3.00
10	3456	5.11	4.00
11	7890	6.44	5.00
12	1234	7.77	6.00
13	5678	9.10	7.00
14	9012	10.43	8.00
15	3456	11.76	9.00
16	7890	13.09	10.00
17	1234	14.42	11.00
18	5678	15.75	12.00
19	9012	17.08	13.00
20	3456	18.41	14.00
21	7890	19.74	15.00
22	1234	21.07	16.00
23	5678	22.40	17.00
24	9012	23.73	18.00
25	3456	25.06	19.00
26	7890	26.39	20.00
27	1234	27.72	21.00
28	5678	29.05	22.00
29	9012	30.38	23.00
30	3456	31.71	24.00
31	7890	33.04	25.00
32	1234	34.37	26.00
33	5678	35.70	27.00
34	9012	37.03	28.00
35	3456	38.36	29.00
36	7890	39.69	30.00
37	1234	41.02	31.00
38	5678	42.35	32.00
39	9012	43.68	33.00
40	3456	45.01	34.00
41	7890	46.34	35.00
42	1234	47.67	36.00
43	5678	49.00	37.00
44	9012	50.33	38.00
45	3456	51.66	39.00
46	7890	52.99	40.00
47	1234	54.32	41.00
48	5678	55.65	42.00
49	9012	56.98	43.00
50	3456	58.31	44.00
51	7890	59.64	45.00
52	1234	60.97	46.00
53	5678	62.30	47.00
54	9012	63.63	48.00
55	3456	64.96	49.00
56	7890	66.29	50.00
57	1234	67.62	51.00
58	5678	68.95	52.00
59	9012	70.28	53.00
60	3456	71.61	54.00
61	7890	72.94	55.00
62	1234	74.27	56.00
63	5678	75.60	57.00
64	9012	76.93	58.00
65	3456	78.26	59.00
66	7890	79.59	60.00
67	1234	80.92	61.00
68	5678	82.25	62.00
69	9012	83.58	63.00
70	3456	84.91	64.00
71	7890	86.24	65.00
72	1234	87.57	66.00
73	5678	88.90	67.00
74	9012	90.23	68.00
75	3456	91.56	69.00
76	7890	92.89	70.00
77	1234	94.22	71.00
78	5678	95.55	72.00
79	9012	96.88	73.00
80	3456	98.21	74.00
81	7890	99.54	75.00
82	1234	100.87	76.00
83	5678	102.20	77.00
84	9012	103.53	78.00
85	3456	104.86	79.00
86	7890	106.19	80.00
87	1234	107.52	81.00
88	5678	108.85	82.00
89	9012	110.18	83.00
90	3456	111.51	84.00
91	7890	112.84	85.00
92	1234	114.17	86.00
93	5678	115.50	87.00
94	9012	116.83	88.00
95	3456	118.16	89.00
96	7890	119.49	90.00
97	1234	120.82	91.00
98	5678	122.15	92.00
99	9012	123.48	93.00
100	3456	124.81	94.00
101	7890	126.14	95.00
102	1234	127.47	96.00
103	5678	128.80	97.00
104	9012	130.13	98.00
105	3456	131.46	99.00
106	7890	132.79	100.00
107	1234	134.12	101.00
108	5678	135.45	102.00
109	9012	136.78	103.00
110	3456	138.11	104.00
111	7890	139.44	105.00
112	1234	140.77	106.00
113	5678	142.10	107.00
114	9012	143.43	108.00
115	3456	144.76	109.00
116	7890	146.09	110.00
117	1234	147.42	111.00
118	5678	148.75	112.00
119	9012	150.08	113.00
120	3456	151.41	114.00
121	7890	152.74	115.00
122	1234	154.07	116.00
123	5678	155.40	117.00
124	9012	156.73	118.00
125	3456	158.06	119.00
126	7890	159.39	120.00
127	1234	160.72	121.00
128	5678	162.05	122.00
129	9012	163.38	123.00
130	3456	164.71	124.00
131	7890	166.04	125.00
132	1234	167.37	126.00
133	5678	168.70	127.00
134	9012	170.03	128.00
135	3456	171.36	129.00
136	7890	172.69	130.00
137	1234	174.02	131.00
138	5678	175.35	132.00
139	9012	176.68	133.00
140	3456	178.01	134.00
141	7890	179.34	135.00
142	1234	180.67	136.00
143	5678	182.00	137.00
144	9012	183.33	138.00
145	3456	184.66	139.00
146	7890	185.99	140.00
147	1234	187.32	141.00
148	5678	188.65	142.00
149	9012	190.00	143.00
150	3456	191.32	144.00
151	7890	192.65	145.00
152	1234	193.98	146.00
153	5678	195.31	147.00
154	9012	196.64	148.00
155	3456	197.97	149.00
156	7890	199.30	150.00
157	1234	200.63	151.00
158	5678	201.96	152.00
159	9012	203.29	153.00
160	3456	204.62	154.00
161	7890	205.95	155.00
162	1234	207.28	156.00
163	5678	208.61	157.00
164	9012	209.94	158.00
165	3456	211.27	159.00
166	7890	212.60	160.00
167	1234	213.93	161.00
168	5678	215.26	162.00
169	9012	216.59	163.00
170	3456	217.92	164.00
171	7890	219.25	165.00
172	1234	220.58	166.00
173	5678	221.91	167.00
174	9012	223.24	168.00
175	3456	224.57	169.00
176	7890	225.90	170.00
177	1234	227.23	171.00
178	5678	228.56	172.00
179	9012	229.89	173.00
180	3456	231.22	174.00
181	7890	232.55	175.00
182	1234	233.88	176.00
183	5678	235.21	177.00
184	9012	236.54	178.00
185	3456	237.87	179.00
186	7890	239.20	180.00
187	1234	240.53	181.00
188	5678	241.86	182.00
189	9012	243.19	183.00
190	3456	244.52	184.00
191	7890	245.85	185.00
192	1234	247.18	186.00
193	5678	248.51	187.00
194	9012	249.84	188.00
195	3456	251.17	189.00
196	7890	252.50	190.00
197	1234	253.83	191.00
198	5678	255.16	192.00
199	9012	256.49	193.00
200	3456	257.82	194.00
201	7890	259.15	195.00
202	1234	260.48	196.00
203	5678	261.81	197.00
204	9012	263.14	198.00
205	3456	264.47	199.00
206	7890	265.80	200.00
207	1234	267.13	201.00
208	5678	268.46	202.00
209	9012	269.79	203.00
210	3456	271.12	204.00
211	7890	272.45	205.00
212	1234	273.78	206.00
213	5678	275.11	207.00
214	9012	276.44	208.00
215	3456	277.77	209.00
216	7890	279.10	210.00
217	1234	280.43	211.00
218	5678	281.76	212.00
219	9012	283.09	213.00
220	3456	284.42	214.00
221	7890	285.75	215.00
222	1234	287.08	216.00
223	5678	288.41	217.00
224	9012	289.74	218.00
225	3456	291.07	219.00
226	7890	292.40	220.00
227	1234	293.73	221.00
228	5678	295.06	222.00
229	9012	296.39	223.00
230	3456	297.72	224.00
231	7890	299.05	225.00
232	1234	300.38	226.00
233	5678	301.71	227.00
234	9012	303.04	228.00
235	3456	304.37	229.00
236	7890	305.70	230.00
237	1234	307.03	231.00
238	5678	308.36	232.00
239	9012	309.69	233.00
240	3456	311.02	234.00
241	7890	312.35	235.00
242	1234	313.68	236.00
243	5678	315.01	237.00
244	9012	316.34	238.00
245	3456	317.67	239.00
246	7890	319.00	240.00
247	1234	320.33	241.00
248	5678	321.66	242.00
249	9012	322.99	243.00
250	3456	324.32	244.00
251	7890	325.65	245.00
252	1234	326.98	246.00
253	5678	328.31	247.00
254	9012	329.64	248.00
255	3456	330.97	249.00
256	7890	332.30	250.00
257	1234	333.63	251.00
258	5678	334.96	252.00
259	9012	336.29	253.00
260	3456	337.62	254.00
261	7890	338.95	255.00
262	1234	340.28	256.00
263	5678	341.61	257.00
264	9012	342.94	258.00
265	3456	344.27	259.00
266	7890	345.60	260.00
267	1234	346.93	261.00
268	5678	348.26	262.00
269	9012	349.59	263.00
270	3456	350.92	264.00
271	7890	352.25	265.00
272	1234	353.58	266.00
273	5678	354.91	267.00
274	9012	356.24	268.00
275	3456	357.57	269.00
276	7890	358.90	270.00
277	1234	360.23	271.00
278	5678	361.56	272.00
279	9012	362.89	273.00
280	3456	364.22	274.00
281	7890	365.55	275.00
282	1234	366.88	276.00
283	5678	368.21	277.00
284	9012	369.54	278.00
285	3456	370.87	279.00
286	7890	372.20	280.00
287	1234	373.53	281.00
288	5678	374.86	282.00

STREET VIEW ALONG ANZA ROAD



LANDSCAPE TREES

8' WIDE MONUMENTING WALL

ANZA ROAD STREET SECTION

Scale: 1/8" = 1'-0"



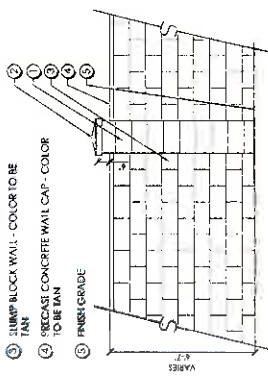
ENTRY MONUMENT WALL CAP -
SLUMP BLOCK WITH PLASTER
AND PRECAST CONCRETE

DECORATIVE FINISHING
FINISH OF MONUMENT WALL

ENTRY MONUMENT ELEVATION

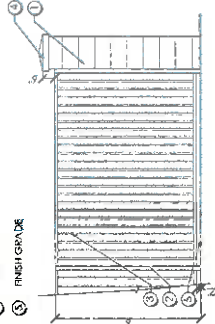
Scale: 1/2" = 1'-0"

- 1 SLUMP BLOCK PLASTER PLACED PER PLAN
- 2 PRECAST CONCRETE PLASTER CAP - COLOR TO BE TANN
- 3 SLUMP BLOCK WALL - COLOR TO BE TANN
- 4 PRECAST CONCRETE WALL CAP - COLOR TO BE TANN
- 5 FINISH GRADE



SLUMP BLOCK WALL AND PLASTER
Scale: 1/2" = 1'-0"

- 1 SLUMP BLOCK PLASTER PER PLAN
- 2 TUBULAR STEEL POST @ 8'-0" O.C. MAX.
- 3 TUBULAR STEEL POCKETS
- 4 PRECAST CONCRETE PLASTER CAP
- 5 FINISH GRADE



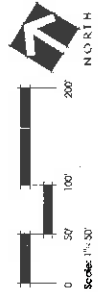
6' HIGH TUBULAR STEEL FENCE
Scale: 1/2" = 1'-0"



WALL AND FENCE LEGEND

- SLUMP BLOCK WALL, CONCRETE PLASTER
- 6' HIGH TUBULAR STEEL FENCE
- PRECAST CONCRETE PLASTER CAP
- SLUMP BLOCK WALL - COLOR TO BE TANN
- PRECAST CONCRETE WALL CAP - COLOR TO BE TANN
- FINISH GRADE
- LANDSCAPE TREES
- MONUMENT WALL

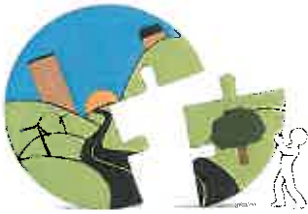
1	SLUMP BLOCK WALL, CONCRETE PLASTER
2	6' HIGH TUBULAR STEEL FENCE
3	PRECAST CONCRETE PLASTER CAP
4	SLUMP BLOCK WALL - COLOR TO BE TANN
5	PRECAST CONCRETE WALL CAP - COLOR TO BE TANN
6	FINISH GRADE
7	LANDSCAPE TREES
8	MONUMENT WALL



SHEET 2 OF 2

County of Riverside

LANDSCAPE MASTER PLAN
TTM 3664
ANZA BUTTERFIELD 34 LLC



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Charissa Leach, P.E.
Assistant TLMA Director*

MITIGATED NEGATIVE DECLARATION

Project/Case Number: Tentative Tract Map 36644 and Change of Zone 7901

Based on the Environmental Assessment, it has been determined that the proposed project, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND ENVIRONMENTAL ASSESSMENT REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Dave Alvarez Title: Project Planner Date: 8/31/2017

Applicant/Project Sponsor: Neil Gascon Date Submitted: 7/24/2014

ADOPTED BY: Board of Supervisors

Person Verifying Adoption: Dave Alvarez Date: 8/31/2017

The Negative Declaration may be examined, along with documents referenced in the environmental assessment, if any, at:

Riverside County Planning Department 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Dave Alvarez at 951-955-5719.

Please charge deposit fee case#: TR36644

FOR COUNTY CLERK'S USE ONLY

INITIAL STUDY

for

Change of Zone No. 07901 & Tentative Tract Map No. 36644

Lead Agency:

County of Riverside

4080 Lemon Street, 12th Floor
Riverside, CA 92502
951.955.5719

Point of Contact: David Alvarez, Contract Planner
daalvarez@rivco.org

Project Proponent:

Anza Butterfield Rd. 34 LLC

33175 Temecula Parkway Suite A-533
Temecula, CA 92592
951.323.6700

Point of Contact: Neil Gascon
ngascon3@verizon.net

Prepared by:

Matthew Fagan Consulting Services, Inc.

42011 Avenida Vista Ladera
Temecula, CA 92591
951.265.5428

Point of Contact: Matthew Fagan, Owner
matthewfagan@roadrunner.com

August 2017

TABLE OF CONTENTS

I.	Project Information	9
II.	Applicable General Plan and Zoning Regulations	15
III.	Environmental Factors Potentially Affected	17
IV.	Determination	18
V.	Environmental Issues Assessment	19
	<i>Aesthetics</i>	19
	1. Scenic Resources	19
	2. Mt. Palomar Observatory	22
	3. Other lighting Issues	22
	<i>Agriculture & Forest Resources</i>	24
	4. Agriculture.....	24
	5. Forest	26
	<i>Air Quality</i>	27
	6. Air Quality Impacts	27
	<i>Biological Resources</i>	39
	7. Wildlife & Vegetation	39
	<i>Cultural Resources</i>	45
	8. Historic Resources	45
	9. Archaeological Resources.....	46
	10. Paleontological Resources.....	48
	<i>Geology Soils</i>	50
	11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones.....	50
	12. Liquefaction Potential Zone.....	51
	13. Ground-shaking Zone	52
	14. Landslide Risk.....	53
	15. Ground Subsidence	54
	16. Other Geologic Hazards.....	55
	17. Slopes.....	55
	18. Soils	57
	19. Erosion.....	59
	20. Wind Erosion and Blowsand from Project either on or off site	60
	<i>Greenhouse Gas Emissions</i>	60
	21. Greenhouse Gas Emissions.....	60
	<i>Hazards and Hazardous Materials</i>	64
	22. Hazards and Hazardous Materials	64
	23. Airports	67
	24. Hazardous Fire Area	68
	<i>Hydrology and Water Quality</i>	69
	25. Water Quality Impacts.....	69
	26. Floodplains	74
	<i>Land Use and Planning</i>	76
	27. Land Use	76
	28. Planning.....	77
	<i>Mineral Resources</i>	79
	29. Mineral Resources	79
	<i>Noise</i>	81

30. Airport Noise	81
31. Railroad Noise	82
32. Highway Noise	83
33. Other Noise.....	83
34. Noise Effects on or by the Project	83
Population and Housing	92
35. Housing.....	92
Public Services	94
36. Fire Services	94
37. Sheriff Services.....	95
38. Schools	96
39. Libraries.....	97
40. Health Services.....	97
Recreation	98
41. Parks and Recreation.....	98
42. Recreational Trails	100
Transportation / Traffic	101
43. Circulation.....	101
44. Bike Trails	106
Tribal Cultural Resources	107
45. Tribal Cultural Resources	107
Utility and Service Systems	109
46. Water	109
47. Sewer	111
48. Solid Waste.....	112
49. Utilities	115
50. Energy Conservation.....	118
Mandatory Findings of Significance	119
VI. Earlier Analysis	124
VII. Authorities Cited	124
VIII. Sources/References	124
IX. Figures	127
Figure 1 <i>Regional Location Map</i>	127
Figure 2 <i>Vicinity Map</i>	128
Figure 3 <i>Aerial Photo</i>	129
Figure 4 <i>Tentative Tract Map No.36644</i>	130
Figure 5 <i>TR36644 Landscape Plan</i>	131
Figure 6a <i>TR36644 Off-Site Access Exhibit</i>	132
Figure 6b <i>TR36644 Roadway Improvements</i>	133
Figure 6c <i>TR36644 Anza Road</i>	134
Figure 7 <i>TR36644 Streets "A" and "B"</i>	135
Figure 8 <i>TR36644 WQMP BMPs Site Plan</i>	136
Figure 9 <i>Soils Map</i>	137
Figure 10 <i>TR36644 Site Photos</i>	138
Figure 11 <i>GEOTRACKER Site</i>	144
Figure 12 <i>ENVIROSTOR Site</i>	145
Figure 13 <i>County Flood Map</i>	146
Figure 14 <i>Sensitive Receptors Locations</i>	147
Figure 15 <i>RTA Route Map</i>	148

Tables

Table I-1 <i>Construction Phases</i>	12
Table 6-1 <i>Construction Duration</i>	30
Table 6-2 <i>Emissions Summary of Overall Construction (Without Mitigation)</i>	31
Table 6-3 <i>Emissions Summary of Overall Construction (With Mitigation)</i>	32
Table 6-4 <i>Maximum Daily Operational Emissions Summary – Summer and Winter Scenarios</i>	34
Table 6-5 <i>Maximum Daily Disturbed Acreage</i>	35
Table 6-6 <i>Localized Significance Summary Construction (Without Mitigation)</i>	36
Table 6-7 <i>Localized Significance Summary Construction (With Mitigation)</i>	36
Table 21-1 <i>Total Project Greenhouse Gas Emissions (Annual)</i>	62
Table 34-1 <i>Construction Reference Noise Levels</i>	87
Table 34-2 <i>Unmitigated Construction Equipment Noise Level Summary (dBA Leq)</i>	88
Table 34-3 <i>Construction Noise Level Compliance dBA Leq)</i>	88
Table 34-4 <i>Vibration Source Levels for Construction Equipment</i>	91
Table 34-5 <i>Construction Equipment Vibration Levels</i>	92
Table 43-1 <i>Proposed Project Trip Generation Summary</i>	103

APPENDICES See **Enclosed CD**

Appendix A: *Map My County.*

Appendix B1: *Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis – Tentative Tract Map 36644, prepared by Principe and Associates, January 30, 2017.*

Appendix B2: *Nesting Season Survey Burrowing Owl (*Athene cunicularia hypugaea*) – Tentative Tract Map 36644, prepared by Principe and Associates, August 24, 2016.*

Appendix C: *Tentative Tract Map No. 36644 Air Quality Impact Analysis, prepared by Urban Crossroads, Inc., February 21, 2017.*

Appendix D1: *Cultural Resources Record Search for TR36644, prepared by Eastern Information Center, November 14, 2016.*

Appendix D2: *Assembly Bill 52 (AB 52) Formal Notification (TR36644, CZ07901), prepared by County of Riverside, March 31, 2016 to the Cahuilla Band of Indians, Morongo Cultural Heritage Program, Pechanga Cultural Resources Department, Rincon Band of Luiseño Indians, Soboba Band of Luiseño Indians, Colorado River Indian Tribes, and Agua Caliente Band of Cahuilla Indians.*

Appendix D3: *Pechanga Tribe Request for Consultation Pursuant to AB 52 for Tentative Tract Map No. 36644 and Change of Zone No. 7901, received from Pechanga Band of Luiseño Indians, July 25, 2016.*

Appendix E: *Tentative Tract Map No. 36644 11.9 Acre Site, APN No. 966-380-004, Anza Road, Riverside County, California, prepared by La Cresta Geotechnical Incorporated, February 28, 2017.*

Appendix F: *Tentative Tract Map No. 36644 Greenhouse Gas Analysis, prepared by Urban Crossroads, Inc., February 21, 2017 GHG Analysis.*

Appendix G: *Phase I Environmental Site Assessment of Vacant Undeveloped Property Assessor Parcel Number 966-380-004 Temecula, California 92592*, prepared by Earth Strata Geotechnical Services, October 29, 2016.

Appendix H1: *Preliminary Project Specific Water Quality Management Plan, Anza Butterfield TTM 36644*, prepared by K&A Engineering, Inc., June 2017.

Appendix H2: *Drainage Study for Tentative Tract Map No. 36644 in the County of Riverside*, prepared by K&A Engineering, Inc., November 2016.

Appendix I: *Tentative Tract Map No. 36644 Noise Impact Analysis*, prepared by Urban Crossroads, Inc., October 31, 2016.

Appendix J: *Tentative Tract Map No. 36644 Trip Generation Evaluation*, prepared by Urban Crossroads, Inc., September 30, 2016.

Appendix K: Rancho California Water District Letter dated January 28, 2016: *Water Availability Tentative Tract Map No. 36644, Parcel No. 1 of Parcel Map No. 18204, APN 966-380-004 (Anza Butterfield Road 34, LLC)*.

Appendix L: Eastern Municipal Water District Will Serve Letter dated January 14, 2016: *SAN53 – Will Serve TRACT MAP 36644 – APN: 966-380-004*.

Appendix M: E-mail correspondence on 2-16-17 with Ryan Ross, Principal Planner, Riverside County Department of Waste Resources.

List of Abbreviations and Acronyms

AAQS	Ambient Air Quality Standards
A.C.	Asphalt Concrete
ACOE	Army Corps of Engineers
AFY	Acre feet per year
ALUC	Airport Land Use Commission
AQ/GHG	Air Quality/Greenhouse Gas
AQMP	Air Quality Management Plan
ARB	Air Resource Board
BAAQMD	Bay Area Air Quality Management District
BACM	Best Available Control Measure
Basin	South Coast Air Basin
BMPs	Best Management Practices
BP	Business Park
C&D	Construction and Demolition
CAAQS	California Ambient Air Quality Standards
CalEEMod	California Emission Estimator Model
CAP	Climate Action Plan
CAPCOA	California Air Pollution Control Officers Association
CARB	California Air Resource Board
CBC	California Building Code
CDFW	California Department of Fish and Wildlife
CEQA	California Environmental Quality Act
Cfs	Cubic feet per second
CH ₄	Methane
CIP	Capital Improvement Program
CIWMP	County Integrated Waste Management Plan
CLUP	French Valley Airport Comprehensive Land Use Plan
CMP	Congestion Management Program
CNEL	Critical Noise Equivalent Level
CO	Carbon Monoxide
CO ₂	Carbon Dioxide
CO ₂ E	Carbon Dioxide Equivalent
CR	Commercial Retail
CRMP	Cultural Resources Management Plan
CSA	Community Service Area
CUP	Conditional Use Permit
CVC	California Vehicle Code
Cy	Cubic Yards
dBA	A-weighted decibel
DTSC	California Department of Toxic Substances Control
DIF	Development Impact Fees
EIR	Environmental Impact Report
EMWD	Eastern Municipal Water District
EPA	Environmental Protection Agency
EPD	Environmental Programs Division

ESA	Environmental Site Assessment
°F	Fahrenheit
FMMP	Farmland Mapping and Monitoring Program
FTA	Federal Transit Administration
FV ALUCP	French Valley Airport Land Use Compatibility Plan
GHG	Greenhouse Gas
GP	General Plan
GWP	Global Warming Potential
HANS	Habitat Evaluation and Acquisition Negotiation Strategy
HCP	Stephens' Kangaroo Rat Habitat Conservation Plan
HRA	Health Risk Assessment
I-15	Interstate 15
I-215	Interstate 215
I-P	Industrial Park
ITE	Institute of Transportation Engineers
kW	Kilowatt
LCA	Life-Cycle Analysis
Leq	Equivalent Continuous Level
lf	linear feet
LI	Light Industrial
LID	Low Impact Design
LOS	Level of Service
LST	Level of Significance Threshold
MBTA	Migratory Bird Treaty Act
MRZ	Mineral Resources Zones
M-SC	Manufacturing-Service Commercial
MSHCP	Multiple Species Habitat Conservation Plan
MSL	Mean Sea Level
MTCO _{2e}	Metric Tons Carbon Dioxide Equivalent
MWDSC	Metropolitan Water District of Southern California
NAAQS	National Ambient Air Quality Standards
NOA	Naturally Occurring Asbestos
NO _x	Nitrogen Oxide
NPDES	National Pollutant Discharge Elimination System
NR	Noise Reduction
OEHHA	Office of Environmental Health Hazard Assessment
OPR	Office of Planning and Research
RCP	Reinforced Concrete Pipe
PM _{2.5}	Particulate Matter – 2.5 micrometers or less
PM ₁₀	Particulate Matter – 10 micrometers or less
PPV	Peak Particle Velocity
RCFC&WCD	Riverside County Flood Control and Water Conservation District
RCIP	Riverside County Integrated Project
RCIT	Riverside County Information Technology
RCTC	Riverside County Transportation Commission
RCWD	Rancho California Water District
ROW	Right-of-Way

RTA	Riverside Transit Agency
RWCF	Regional Water Reclamation Facilities
SABER	Safeguard Artifacts Being Excavated in Riverside County
SARWQCB	Santa Ana Regional Water Quality Control Board
SCAG	Southern California Association of Governments
SCAQMD	South Coast Air Quality Management District
SMGB	State Mining and Geology Board
SoCAB	South Coast Air Basin
SO ₂	Sulphur Dioxide
SO _x	Sulphur Oxides
sq. ft.	Square Feet
SR79 North	Winchester Road
SR79S	State Route 79 South
SRA	Source Receptor Area
STC	Sound Transmission Class
SWAP	Southwest Area Plan
SWFP	Solid Waste Facility Permit
SWP	State Water Project
SWPPP	Storm Water Pollution Prevention Plan
SWRCB	State Water Resource Control Board
TCP	Traffic Control Plan
Tpd	Tons per day
Tpw	Tons per week
TUMF	Transportation Uniform Mitigation Fee
TVUSD	Temecula Valley Unified School District
USGS	U.S. Geology Survey
USFW	U.S. Fish and Wildlife Service
UST	Underground Storage Tank
UWMP	Urban Water Management Plan
VOCs	Volatile Organic Compounds
WDR	Waste Discharge Requirement
WMWD	Western Municipal Water District
WQMP	Water Quality Management Plan

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42878

Project Case Type (s) and Number(s): Change of Zone No. 07901 and Tentative Tract Map No. 36644

Lead Agency Name: County of Riverside Planning Department

Address: P.O. Box 1409, Riverside, CA 92502-1409

Contact Person: David Alvarez, Contract Planner

Telephone Number: 951.955.5719

Applicant's Name: Neil Gascon

Applicant's Address: 33175 Temecula Parkway Suite A-533, Temecula, CA 92592

NOTE:

**ALL FIGURES ARE CONTAINED IN SECTION IX
(NOT IMMEDIATELY FOLLOWING THEIR REFERENCE IN THE TEXT)**

I. PROJECT INFORMATION.

Project Description:

Overview

Tentative Tract Map No. 36644 proposes to develop 35 single-family dwellings on approximately 12.9 gross acres of land located north of Anza Road, east of El Chimisal Road, west of Butterfield Stage Road, and south of Starpoint Street (APN 966-380-004). Reference **Figure 1, Regional Location Map**, **Figure 2, Vicinity Map**, and **Figure 3, Aerial Photo**.

Change of Zone No. 07901

Change of Zone No. 07901 (CZ07901) proposes to change the current zoning classification from Residential Agricultural 5-acre minimum (R-A-5) to One-Family Dwelling (R-1). The General Plan Land Use Plan designations of the site is Community Development: Medium Density Residential (CD:MDR). The Change of Zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan.

Tentative Tract Map No. 36644

Tentative Tract Map No. 36644 (TR36644) is a Schedule "A" subdivision, pursuant to Ordinance No. 460, *Regulating the Division of Land of the County of Riverside* (Ordinance No. 460). TR36644 will create a residential subdivision on approximately 12.9 gross acres of land, and includes the following:

- 35 single-family residential lots;
- 1 1.8 acre open space/water quality lot which includes 0.06 acres of recreational turf (Lot 36);
- 2 sewer conveyance lots; and
- 2 internal streets:
 - "A" Street; and
 - "B" Street;

Reference **Figure 4, Tentative Tract Map No. 36644** and **Figure 5, TR36644 Landscape Plan**.

Circulation

The proposed Project will take access off Anza Road, located to the south of the Project site, onto "A" Street. "A" Street, along with "B" Street will provide access into the entire site. The Project will construct roadway improvements as reflected in **Figure 6a, TR36644 Off-Site Access Exhibit** and **Figure 6b, TR36644 Project Roadway Improvements**. These improvements include the following, and will tie into existing Anza Road and Rio Linda Road:

Anza Road (Primary Access) – West of Project Site

- 350 linear feet (lf)
- 60' right-of-way (existing)
- 32' asphalt concrete

Anza Road (Secondary Access) – East of Project Site

- 800 lf
- 60' right-of-way (existing)
- 32' graded section
- 24' aggregate base

Rio Linda Road (Secondary Access) – North of Anza Road

- 800 lf
- 60' right-of-way (existing)
- 32' graded section
- 24' aggregate base

As observed on **Figure 3, Aerial Photo**, both the westerly and easterly/northerly extensions of these roadway improvements will be within an area that has been previously disturbed by vehicular traffic.

The Southwest Area Plan (reference Figure 7, *Southwest Area Plan Circulation*, p. 52) classifies Anza Road as a "Major Highway." A "Major Highway" has a 118-foot right-of-way (ROW), which includes, at buildout, 76 feet of pavement, and two (2) 21-foot wide parkways. Within the 76 feet of pavement, there will be room for bike lanes on each side of the roadway, and 2 travel lanes on either side of a 12-foot wide painted median. A five-foot wide meandering sidewalk will be constructed within the 21-foot wide parkway. The Project will be responsible for constructing half-width, plus an additional 12 feet of pavement along the Project's Anza Road frontage. Reference **Figure 6b, TR36644 Anza Road**.

Both Streets "A" and "B" are classified as local streets with a 56-foot ROW. This ROW includes 5-foot non-curb adjacent sidewalks, with five (5) feet of curb adjacent landscaping on both sides of the street. Parking is also provided on both sides of the street. Reference **Figure 7, TR36644 Streets "A" and "B"**.

Drainage / Hydrology / Water Quality

The proposed Project will install new storm water treatment facilities, including: new storm drains, two (2) catch basins, and one (1) water quality basin located at the northern portion of the Project site. A 15-foot wide service road has been provided for on-going maintenance of the water quality basin. Structural and occupancy source measures shall consist of the following low impact design (LID) practices:

- Conservation design;
- Runoff conveyance;
- Roof downspout connections;

- Efficient/low impact landscaping;
- Non stormwater discharges;
- Street trees and parkway; and
- Landscape and irrigation system.

All These facilities shall meet County requirements to capture and manage the discharge of surface runoff without any substantial change in the rate or amount. Please reference **Figure 8, TR36644 WQMP BMPs Site Plan**.

Sewer and Water Facilities

The proposed Project will tie into existing water Rancho California Water District (RCWD) facilities. An existing 36-inch water line is located along Anza Road, as well as an 18-inch reclaimed water line. Wastewater treatment will be handled by Eastern Municipal Water District (EMWD). The Project will extend a sewer line through Tract 34676, located directly to the west of the Project site, to the point of connection. Two (2) sewer easements will be required across residential Lots 11 and 15. Surface maintenance will be performed by the respective future Homeowners. If Tract 34676 is developed before TR36644, it will need to extend sewer and TR36644 will connect to these extensions. Reference **Figure 4, Tentative Tract Map No. 36644**.

Utilities

All utilities and public services are currently available on, or adjacent to, the proposed Project site. Utility and Service providers are as follows:

- Electricity: Southern California Edison
- Water: Rancho California Water District
- Sewer: Eastern Municipal Water District
- Cable: Time Warner Cable
- Gas: Southern California Gas
- Telephone: Verizon
- School: Temecula Valley Unified School District

Reference **Figure 4, Tentative Tract Map No. 36644**, and *Map My County (Appendix A)*.

Construction Scenario

The Project is expected to begin construction in 2017 and take approximately one year to complete. The phases of the construction activities and the equipment fleet are contained in **Table I-1, Construction Phases**, below:

**Table I-1
Construction Phases**

Activity	Equipment	Number	Hours Per Day
Site Preparation	Rubber Tired Dozers	3	8
	Crawler Tractors	4	8
Grading	Excavators	2	8
	Graders	1	8
	Rubber Tired Dozers	1	8
	Scrapers	2	8
	Crawler Tractors	2	8
Building Construction	Cranes	1	8
	Forklifts	3	8
	Generator Sets	1	8
	Tractors/Loaders/Backhoes	3	8
	Welders	1	8
Paving	Paving Equipment	2	8
	Rollers	2	8
	Pavers	2	8
Architectural Coating	Air Compressors	1	8

Reference *Tentative Tract Map No. 36644 Air Quality Impact Analysis*, prepared by Urban Crossroads, Inc., October 5, 2016 (AQ impact Analysis, **Appendix B**).

I. **Type of Project:** Site Specific ; Countywide ; Community ; Policy .

II. **Total Project Area:**

Residential Acres: 12.9	Lots: 36	Units: 35	Projected No. of Residents: 107
Commercial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Industrial Acres: N/A	Lots: N/A	Sq. Ft. of Bldg. Area: N/A	Est. No. of Employees: N/A
Other:			

III. **Assessor's Parcel No(s):** 966-380-004.

IV. **Street References:** North of Anza Road, east of El Chimisal Road, west of Butterfield Stage Road, and south of Starpoint Street.

V. **Section, Township & Range Description or reference/attach a Legal Description.**

- Section 23,
- Township 8 South, and
- Range 2 West.

VI. **Brief description of the existing environmental setting of the Project site and its surroundings:**

According to the *MSHCP Consistency Analysis, Appendix B1*, the Project Site consists of one vacant parcel with the surrounding vicinity being primarily single-family residences and vacant land.

The Project site's physical setting was researched employing a United States Geological Survey (USGS) 7.5 Minute Topographic Quadrangle (Quad) Map relevant to the Project site. The USGS 7.5 Minute Quad Map has an approximate scale of 1 inch to 24,000 feet, and shows physical features such as wetlands, roadways, mines, and buildings. The USGS 7.5 Minute Quad Map was used as the Standard Physical Setting Source, and is sufficient as a single reference.

The Pechanga, California Quad Map, shows no physical features that are likely to environmentally impact the Project site. The Project site is identified as a rural undeveloped, triangular property. No mines, aboveground storage tanks, or wetlands were depicted in the immediate area of the Project site. The elevation of the Project site is approximately 1,336 feet above mean sea level with a gentle topographic gradient to the northeast (USGS Bachelor Mountain 7.5' Quadrangle).

Topography on the Project site is dominated by a prominent hill to the north. The hilltop occupies approximately 20% of the northerly corner of the Project site, and has an elevation of 1,380 feet. It slopes steeply downward to the east and west into flat-lying areas at elevations of 1,340 feet and less. By contrast, it slopes gently downward to the north to form a ridge-like landform. The ridgeline is preset along the entire west property line, with elevations ranging from 1,360 to 1,320 feet. Relatively flat-lying rolling terrain is present in the eastern and central portions of the site, where the topography slopes downward in a south to north direction. The site is not rocky, nor rock strewn. Elevations vary from approximately 1,292 feet above Mean Sea Level (MSL) located within the northern portion to approximately 1,387 feet MSL at the hilltop pad located at the southwestern corner of the Project site. When graded, the Project will range in elevation from 1,293 feet in the within the northern portion to approximately 1,345 feet at the southwestern corner of the Project site, a difference of 52 feet.

Review of the "Soil Survey of Western Riverside Area, California" revealed that the surficial soils at the site are included in the Cajalco-Temescal-Las Posas Association (Soils of the Southern California Coastal Plain). Within this association, three soil types were previously mapped on the site (reference **Figure 9, Soils Map**):

- GzG – Gullied land
- HcC - Hanford coarse sandy loam, 2 to 8 percent slopes
- RmE3 - Ramona and Buren sandy loams, 15 to 25 percent slopes, severely eroded

As shown on the USGS Topographic Map, 7.5 Minute Series, Pechanga, California Quadrangle, natural watercourses of any kind are not present on the Project site (e.g., perennial or intermittent blue-line streams, ephemeral drainages, historical drainages, etc.). Drainage on the site is then by gravity flow. Storm water flows down the hillsides toward the low-lying terrain located in the northeast corner of the site. Other kinds of aquatic features are also not present on the Project site (i.e., vernal pools or swales, vernal pool-like ephemeral ponds, stock ponds or other human-modified depressions, etc.).

The Project site has never been developed and was used primarily for agriculture up until the late 1980's. No dry cleaners, gasoline stations, major landfills, military bases, or heavy industrial businesses were identified on the Project site. Currently the Project site is vacant and undeveloped.

The Project site, like the rest of Southern California, is located within a seismically active region near the active margin between the North American and Pacific tectonic plates. The principal source of seismic activity is movement along the northwest-trending regional faults such as the San Andreas, San Jacinto and Elsinore fault zones. These fault systems are estimated to produce up to approximately 55 millimeters of slip per year between the plates.

By definition of the State Mining and Geology Board, an active fault is one, which has had surface displacement within the Holocene Epoch (roughly the last 1,000 years). This definition is used in delineating Earthquake Fault Zones as mandated by the Alquist-Priolo Geologic Hazards Zones Act of 1972 and as revised in 1994 and 1997 as the Alquist-Priolo Earthquake Fault Zoning Act and Earthquake Fault Zones. The intent of the act is to require fault investigations on sites located within Special Studies Zones to preclude new construction of certain habitable structures across the trace of active faults.

The Project site is not located within an Earthquake Fault Hazard Zone. The Project site could; however, be subjected to significant shaking in the event of a major earthquake on the Elsinore Fault or other nearby regional faults. Structures for the Project site should be constructed in accordance with current Uniform Building Code (UBC) seismic codes and local ordinances.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS.

I. General Plan Elements/Policies:

1. **Land Use:** The Project is consistent with the policies of the Land Use Elements of the General Plan and the Southwest Area Plan.

The Project site's existing General Plan Land Use designation is Community Development: Medium Density Residential (CD:MDR). The proposed Project is consistent with the existing General Plan Land Use Plan designation of MDR. The current zoning classification for the Project site is R-A-5. Change of Zone 07901 (CZ 07901) would change this designation from R-A-5 to R-1. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. The proposed Project meets all other applicable land use policies of the General Plan.

2. **Circulation:** The proposed Project will add overall trips to the area. The Department of Transportation has reviewed the project submitted for this Project and determined that required levels of service can be maintained. The proposed Project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The proposed Project is located within the Multiple Species Habitat Conservation Plan (MSHCP); however, it is not located in a criteria area. The proposed Project meets all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed Project is not located in a flood zone. The proposed Project is in an area designated as having low potential for liquefaction and susceptible to subsidence. The Project is within a very high fire hazard area. The Project is not located within an Alquist-Priolo or County Fault Zone. The proposed Project meets all other applicable Safety element policies.
5. **Noise:** The proposed Project will permanently increase the ambient noise levels in the project vicinity above levels existing without the Project. However, the Project is for a residential development and noise levels associated with the proposed Project are not anticipated to be substantial. The proposed Project meets all other applicable Noise element policies.
6. **Housing:** The proposed Project shall create 35 residential lots. The proposed Project meets with all applicable Housing element policies.
7. **Air Quality:** The proposed Project has been conditioned to control any fugitive dust during grading and construction activities. The proposed Project meets all other applicable Air Quality Element policies.
8. **Healthy Communities:** The proposed Project meets all applicable Healthy Community policies.

II. **General Plan Area Plan(s):** Southwest Area Plan (SWAP).

III. **Foundation Component(s):** Community Development.

IV. **Land Use Designation(s):** Medium Density Residential (MDR).

V. **Overlay(s), if any:** N/A.

VI. Policy Area(s), if any: N/A.

VII. Adjacent and Surrounding:

1. **Area Plan(s):** Southwest Area.
2. **Foundation Component(s):** Community Development.
3. **Land Use Designation(s):** Medium Density Residential (MDR).
4. **Overlay(s), if any:** N/A.
5. **Policy Area(s), if any:** N/A.

VIII. Adopted Specific Plan Information:

1. **Name and Number of Specific Plan, if any:** N/A.
2. **Specific Plan Planning Area, and Policies, if any:** N/A.

IX. Existing Zoning: Residential Agricultural, 5-acre minimum parcel size (R-A-5).

X. Proposed Zoning, if any: One Family Dwelling (R-1).

XI. Adjacent and Surrounding Zoning:

- **North:** One-Family Dwelling 18,000 square foot minimum (R-1-18000) and One-Family Dwelling 12,000 square foot minimum (R-1-12000)
- **South:** One Family Dwelling (R-1)
- **East:** One Family Dwelling (R-1)
- **West:** One Family Dwelling (R-1)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED.

The environmental factors checked below (☒) would be potentially affected by this Project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|--|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input checked="" type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/> I find that although the proposed Project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the Project, described in this document, have been made or agreed to by the Project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/> I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An ADDENDUM to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
<input type="checkbox"/> I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore, a SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
<input type="checkbox"/> I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a SUBSEQUENT ENVIRONMENTAL IMPACT REPORT is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

Date

Dave Alvarez

For Charissa Leach, P.E., Assistant TLMA
Director

Printed Name

V. ENVIRONMENTAL ISSUES ASSESSMENT.

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed Project to determine any potential significant impacts upon the environment that would result from construction and implementation of the Project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed Project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed Project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS. Would the Project:				
1. Scenic Resources.				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Southwest Area Plan (SWAP); - SWAP Figure 9, *Southwest Area Plan Scenic Highways*; and **Figure 10, TR36644 Site Photos.**

Findings of Fact:

a) *Would the Project have a substantial effect upon a scenic highway corridor within which it is located?*

No Impact

The Project site is located in the Southwest Area Plan (SWAP). According to the Figure 9, *Southwest Area Plan Scenic Highways* of the SWAP:

- Interstate 215 (I-215) and State Route 79 South (SR79S) are County Eligible Scenic Highways;
- Interstate 15 (I-15) is designated as a State Eligible Scenic Highway; and
- Winchester Road is classified as “Not Designated.”

The Project site is located approximately 12.0 miles from I-215, 4.6 miles from I-15, 1.36 miles from SR79S, and 9.0 miles from Winchester Road, at their closest points. The Project site is located north of Anza Road, east of El Chimisal Road, west of Butterfield Stage Road, and south of Starpoint Street (APN 966-380-004). Based on the distances from the two (2) County Eligible Scenic Highways (I-215 and SR79S) and the one (1) State Eligible Scenic Highway (I-15), implementation of the proposed Project will not have a substantial effect upon a scenic highway corridor within which it is located. No impacts are anticipated. No mitigation is required.

- b) *Would the Project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?*

No Impact

Site Photographs, acquired on February 15, 2017, were utilized for the analysis for Sections 1.a-b.

Based on a field reconnaissance of the Project site on February 17, 2017 by Matthew Fagan, and a review of the Site Photographs, it was determined that from a visual standpoint the following vantage points to the Project site shall be considered for evaluation in this analysis.

Vantage Points No. 1 – Northwest and North

The Site Photographs for Vantage Points No. 1 (Site Photographs 1 and 2) were taken from the southwesterly corner of the Project site, from the Anza Road right-of-way (ROW), facing northwest and facing north, respectively. Site Photographs 1 and 2 shows the vacant Project site in the foreground, the vacant Project site in the middle ground and the Project site and an existing residence (left side) in the background. There is a hill on the Project site; however, this is not considered a significant landform. There are no significant landforms visible from Site Photographs 1 or 2. The overall visual setting shown in Site Photographs 1 and 2 are that of a vacant parcel similar that which currently surrounds the Project site to the north, and are proposed to the west, east and south.

Vantage Points No. 2 – East and Southeast

The Site Photographs for Vantage Points No. 2 (Site Photographs 3 and 4) were taken from the Anza Road ROW, facing east and facing southeast, respectively. Site Photograph 3 shows Anza Road (dirt), RCWD facilities in the foreground, Southern California Edison (SCE) power poles, and the vacant Project site in the middle ground, and in the background. The Santa Rosa Mountains are faintly visible in the background. There are no significant landforms visible from Site Photograph 3. The overall visual setting shown in Site Photograph 3 is that of a vacant parcel that will ultimately be developed with MDR use(s) similar that which currently surrounds the Project site to the north, and are proposed to the west, east and south.

Site Photograph 4 shows a view from the Anza Road ROW, facing southeast. Site Photograph 3 shows Anza Road (dirt), a vacant parcel and SCE power poles in the foreground, a vacant Project site in the middle ground, and hills in the background. There are no significant landforms visible from Site Photograph 3. The hills in the background provide a consistent, natural setting for the Project area. The overall visual setting shown in Site Photograph 4 is that of a vacant parcel similar that which currently surrounds the Project site to the north, and are proposed to the west and east.

Vantage Points No. 3 – South and Southwest

The Site Photograph for Vantage Points No. 3 (Site Photographs 5 and 6) were taken from the Anza Road ROW, facing south and facing southeast, respectively. Site Photograph 5 shows Anza Road (dirt), vacant land, RCWD facilities, and SCE power poles, in the foreground, SCE power poles, and the vacant Project site in the middle ground, and distant hills (at the Santa Margarita River confluence) are faintly visible in the background. The overall visual setting shown in Site Photograph 5 is that of a vacant land similar that which currently surrounds the Project site with very distant hills in the background.

Site Photograph 6 shows Anza Road (dirt), vacant land, RCWD facilities, and SCE power poles in the foreground, SCE power poles, vacant land (including the Project site) in the middle ground,

single-family residential development, and distant hills (at the Santa Margarita River confluence) are faintly visible in the background. The overall visual setting shown in Site Photograph 5 is that of a vacant land similar that which currently surrounds the Project site with very distant hills in the background.

Vantage Points No. 4 – West and East

The photograph for Vantage Points No. 4 (Site Photographs 7 and 8) was taken from the southeasterly corner of the Project site, from the Anza Road ROW, facing west and facing east, respectively. Site Photograph 6 shows Anza Road (dirt), vacant land, and SCE power poles in the foreground, SCE power poles, vacant land (including the Project site) and single-family residential development in the middle ground, and background. The overall visual setting shown in Site Photograph 6 is that of a vacant land (including the Project site) similar that which currently surrounds the Project site.

Site Photograph 8 shows Anza Road (dirt), and vacant land in the foreground, SCE power poles, vacant land (including the Project site) and single-family residential development in the middle ground, and background. The overall visual setting shown in Site Photograph 7 is that of a vacant land (including the Project site) similar that which currently surrounds the Project site.

The Site Photographs show, there are no unique or landmark features located onsite within the Project site boundaries. There are no landscape features that distinguish the Project site from the surrounding industrial uses or vacant lands. The proposed Project will remove the Project site from a vacant, undisturbed land to a graded, manufactured parcel that will be developed with residential uses similar to that which currently surrounds the Project site. Based on the lack of any intrinsic onsite scenic resources, the proposed Project will not cause substantial Project specific damage to any such resources. Therefore, implementation of the Project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings.

The Project site is located within the unincorporated area of Riverside County. The existing character of the Project environs represents a developing suburban development pattern. The proposed Project has limited long-range views of the Santa Rosa Mountains to the west, the Santa Margarita Mountains and Agua Tibia range to the south, and the Black Hills to the east. The proposed Project will not obstruct any prominent vistas, or result in the creation of an aesthetically offensive site open to public view.

The Project site does not contain any scenic resources, including, but not limited to: trees, rock outcroppings and unique or landmark features, as these features do not exist on the Project site. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
2. Mt. Palomar Observatory.				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): SWAP Figure 6, *Southwest Area Plan Mt. Palomar Nighttime Lighting Policy Area* (p. 44); *Map My County, Appendix A*; and Ordinance No. 655 (An Ordinance of the County of Riverside Regulating Light Pollution).

Findings of Fact:

a) *Would the Project interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?*

Less Than Significant Impact

The Project site is located within Zone B of the designated Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 defines Zone B as the circular ring area defined by two circles, one forty-five (45) miles in radius centered on Palomar Observatory, and the other the perimeter of Zone A. (Zone A is the circular area fifteen (15) miles in radius centered on Palomar Observatory.) The Project site is located approximately 13.6 miles northwest from the Observatory.

Ordinance No. 655 was adopted by the County Board of Supervisors on June 7, 1988 and went into effect on July 7, 1988. The intent of Ordinance No. 655 is to restrict the permitted use of certain light fixtures emitting into the night sky undesirable light rays which have a detrimental effect on astronomical observation and research at the Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definitions, general design requirements, requirements for lamp source and shielding, prohibitions and exceptions.

These are typical standard conditions of approval and are not considered unique mitigation pursuant to CEQA. Outdoor lighting sources include: parking lot lights, wall mounted lights and illuminated signage. With conformance with Ordinance No. 655, any impacts are expected to be less than significant from implementation of the Project. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
3. Other Lighting Issues.				
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): SWAP Figure 6, *Southwest Area Plan Mt. Palomar Nighttime Lighting Policy Area* (p. 44); Ordinance No. 655 (An Ordinance of the County of Riverside Regulating Light Pollution); Ordinance No. 915 (An Ordinance of the County of Riverside Regulating Outdoor Lighting); **Figure 3, Aerial Photo**; and **Figure 4, Tentative Tract Map No. 36644**.

Findings of Fact:

- a) *Would the Project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?*

Less Than Significant Impact

Currently, there are no light sources at the Project site. New lighting sources will be created from additional sources of light and glare associated with construction activities. These additional artificial light sources are typically associated with security lighting since all exterior construction activities are limited to daylight hours in the City. Workers either arriving to the site before dawn, or leaving the site after dusk, will generate additional construction light sources. These impacts will be temporary, of short-duration, and will cease when Project construction is completed.

The Project will result in new sources of light and glare from the addition of residential units, as well as vehicular lighting from cars traveling on adjacent roadways under the proposed Project. Once operational, the Project will be required to comply with County Ordinance No. 655 and No. 915, which restricts lighting hours, types, and techniques of lighting. Outdoor lighting sources include: house lights, street lights, wall mounted lights. Ordinance No. 655 requires the use of low-pressure sodium fixtures and requires hooded fixtures to prevent spillover light or glare, and has been discussed in detail in the Mt. Palomar Observatory (a), above. Ordinance No. 915 requires all outdoor luminaires to be located, adequately shielded, and directed such that no direct light falls outside the parcel of origin, onto the public right-of-way. Ordinance No. 915 also prohibits blinking, flashing and rotating outdoor luminaires, with a few exceptions. The Project will be required to comply with the County of Riverside conditions of approval (50.TRANS.8 (MAP LIGHTING PLAN) and 50.PLANNING.19 (MAP – ECS NOTE MT PALOMAR LIGHTING)) that requires lighting restrictions. These are standard conditions, and are not considered unique mitigation pursuant to CEQA. With conformance with Ordinance No. 655, Ordinance No. 915, and conditions of approval, any impacts are expected to be less than significant from implementation of the Project. No mitigation will be required.

- b) *Would the Project expose residential property to unacceptable light levels?*

Less Than Significant Impact

There are residences located immediately to the north of the Project. Per approved TR34676 and TR32227, single-family residences are planned to the west and east; however, they have not been constructed at this time. As discussed in Section 3.a., above, construction impacts will be temporary, of short-duration, and will cease when Project construction is completed. Once inhabited, conformance with Ordinance No. 655, and Ordinance No. 915, will ensure that any impacts are expected to be less than significant from implementation of the Project.

Therefore, there are no potential Project-specific impacts that could expose residential property to unacceptable light levels. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES. Would the Project:				
4. Agriculture.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County, Appendix A; Figure 3, Aerial Photo; General Plan, Multipurpose Open Space Element, Figure OS-2, "Agricultural Resources" (p. OS-17); and Ordinance No. 625 (An Ordinance of the County of Riverside Providing a Nuisance Defense for Certain Agricultural Activities, Operations, and Facilities and Providing Public Notification Thereof).*

Findings of Fact:

a) *Would the Project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?*

No Impact

The proposed Project site is designated as Farmland of Local Importance, Other Lands, and Urban-Built Up Land. The Project is not located on Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program (FMMP) of the California Resources Agency, to non-agricultural use. The County of Riverside utilizes the FMMP for the "Farmland" portion in *Map My County*.

Since the Project site does not have any Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) no impacts are anticipated. No mitigation is required.

b) *Would the Project conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?*

No Impact

According to *Map My County*, the proposed Project is not subject to a Williamson Act contract and is not within a Riverside County Agriculture Preserve. No impacts are anticipated. No mitigation is required.

- c) *Would the Project cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?*

No Impact

Land zoned for "primarily agricultural purposes" means any land lying within any one of the following zone classification established by the Riverside County Land Use Ordinance, Ordinance No. 348:

- A-1 Zone (Light Agriculture)
- A-P Zone (Light Agriculture with Poultry)
- A-2 Zone (Heavy Agriculture)
- A-D Zone (Agriculture-Dairy)
- C/V Zone (Citrus/Vineyard)

The zoning classification on the Project is Residential Agricultural, 5-acre minimum (R-A-5) and is proposed to be modified to One Family Dwelling (R-1). The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan.

The zoning classifications surrounding the Project are:

- **North:** One-Family Dwelling 18,000 square foot minimum (R-1-18000) and One-Family Dwelling 12,000 square foot minimum (R-1-12000)
- **South:** One Family Dwelling (R-1)
- **East:** One Family Dwelling (R-1)
- **West:** One Family Dwelling (R-1)

There are no agriculturally zoned properties (A-1, A-P, A-2, A-D, or C/V) within 300 feet from the Project site. Therefore, implementation of the proposed Project will not cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625); or, involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use, since no agricultural uses are located in immediate proximity of the Project site. No impacts are anticipated. No mitigation is required.

- d) *Would the Project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?*

No Impact

Due to the proximity of existing, emerging, and planned urban patterns in the Project vicinity, the environment has been undergoing a steady transformation away from agricultural uses.

Therefore, implementation of the Project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use, since no agricultural uses are located in immediate proximity of the Project site. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
5. Forest.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County, Appendix A; Figure 3, Aerial Photo*; Project Site Visit – February 17, 2017 by Matthew Fagan; *General Plan, Multipurpose Open Space Element, Figure OS-3a, “Forestry Resources Western Riverside County”* (p. OS-25); and *MSHCP Consistency Analysis, Appendix B1*.

Findings of Fact:

a) *Would the Project conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code Section 12220(g)), (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?*

No Impact

The zoning classification for the Project site is Residential Agricultural, 5-acre minimum (R-A-5) and is proposed to be modified to One Family Dwelling (R-1). The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan.

The surrounding zoning classifications are:

- **North:** One-Family Dwelling 18,000 square foot minimum (R-1-18000) and One-Family Dwelling 12,000 square foot minimum (R-1-12000)
- **South:** One Family Dwelling (R-1)
- **East:** One Family Dwelling (R-1)
- **West:** One Family Dwelling (R-1)

None of these zoning classifications pertain to forest land, timberland, or timberland zoned Timberland Production. Therefore, implementation of the proposed Project will not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production. No impacts are anticipated. No mitigation is required.

b) *Would the Project result in the loss of forest land or conversion of forest land to non-forest use?*

No Impact

As referenced in Section 5.a, above, there are no zoning classifications pertain to forest land, timberland, or timberland zoned Timberland Production. The Vegetation Association present has

been described as Coastal Sage Scrub (5.09 acres) and Grasslands (6.85 acres) Grasslands. Riversidean sage scrub has historically been confined to the hill and ridgeline located in the western portion of the Project. It is growing under disturbed conditions, and is only continuous and contiguous with 3.2 acres of similar resource growing west of the Project. Growth form varies from dense to open. Invasive, non-native grasses have succeeded into the previously disturbed open areas. Approximately 2.0 acres of sage scrub was disced during weed abatement activities conducted after September 2016.

The Grasslands Vegetation Subassociation growing is Non-native grasslands. Non-native grasslands are primarily composed of annual grass species introduced from the Mediterranean basin and other Mediterranean-climate regions with variable presence of non-native and native herbaceous species. There are no forest lands on the Project site. Therefore, implementation of the proposed Project will not result in the loss of forest land or conversion of forest land to non-forest use. No impacts will occur. No mitigation will be required.

c) *Would the Project involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?*

No Impact

Please see the responses to Sections 5.a, and 5.b, above. There are no forest resources on-site, or in proximity of the Project site.

Therefore, implementation of the Project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use, since no forest uses are located in immediate proximity of the Project site. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AIR QUALITY. Would the Project:				
6. Air Quality Impacts.				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the Project site to Project substantial point source emissions?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Tentative Tract Map No. 36644 Air Quality Impact Analysis*, prepared by Urban Crossroads, Inc., February 21, 2017 (*AQ Impact Analysis, Appendix C*); **Figure 3, Aerial Photo**; and **Figure 4, Tentative Tract Map No. 36644**.

Findings of Fact:

a) *Would the Project conflict with or obstruct implementation of the applicable air quality plan?*

Less Than Significant Impact

The Project is located in the South Coast Air Basin (SoCAB), which is under the jurisdiction of the South Coast Air Quality Management District (SCAQMD). The SCAQMD is required, pursuant to the federal Clean Air Act, to reduce emissions of criteria pollutants for which the basin is in nonattainment (i.e., ozone (O₃), coarse particulate matter (PM₁₀), and fine particulate matter (PM_{2.5})). These are considered criteria pollutants because they are three of several prevalent air pollutants known to be hazardous to human health (An area designated as nonattainment for an air pollutant is an area that does not achieve national and/or state ambient air quality standards for that pollutant).

In order to reduce emissions of criteria pollutants for which the SoCAB is in nonattainment, the SCAQMD has adopted the 2012 Air Quality Management Plan (2012 AQMP). The 2012 AQMP establishes a program of rules and regulations directed at reducing air pollutant emissions and achieving state (California) and national air quality standards. The 2012 AQMP is a regional and multi-agency effort including the SCAQMD, the California Air Resources Board (CARB), the Southern California Association of Governments (SCAG), and the United States Environmental Protection Agency (EPA). The 2012 AQMP pollutant control strategies are based on the latest scientific and technical information and planning assumptions, including SCAG's 2012 Regional Transportation Plan/Sustainable Communities Strategy (2012 RTP), updated emission inventory methodologies for various source categories, and SCAG's latest growth forecasts. (SCAG's latest growth forecasts were defined in consultation with local governments and with reference to local general plans.)

In December 2016, the AQMD released the draft Final 2016 AQMP (Draft 2016 AQMP) for public review. The Draft 2016 AQMP continues to evaluate current integrated strategies and control measures to meet the NAAQS, as well as, explore new and innovative methods to reach its goals. Some of these approaches include utilizing incentive programs, recognizing existing co-benefit programs from other sectors, and developing a strategy with fair-share reductions at the federal, state, and local levels. Similar to the 2012 AQMP, the Draft 2016 AQMP has assumed that development associated with general plans, specific plans, residential projects, and wastewater facilities will be constructed in accordance with population growth projections identified by SCAG in its 2016 RTP. As the Draft 2016 AQMP has not been formally adopted by the AQMD, the Project's consistency with the AQMP will be determined using the 2012 AQMP, discussed below.

Criteria for determining consistency with the AQMP are defined by the following indicators:

Consistency Criterion No. 1

- The proposed project will not result in an increase in the frequency or severity of existing air quality violations, or cause or contribute to new violations, or delay the timely attainment of air quality standards or the interim emissions reductions specified in the AQMP.

Construction Impacts

Consistency Criterion No. 1 refers to violations of the California Ambient Air Quality Standards (CAAQS) and National Ambient Air Quality Standards (NAAQS). CAAQS and NAAQS violations would occur if LSTs were exceeded. The Project's localized construction and operational emissions would not exceed thresholds.

Therefore, the Project is determined to be consistent with Consistency Criterion No. 1.

Consistency Criterion No. 2

- The proposed project will not exceed the assumptions in the AQMP based on the years of project buildout phase.

Overview

The 2012 AQMP demonstrates that the applicable ambient air quality standards can be achieved within the timeframes required under federal law. Growth projections from local general plans adopted by cities in the SCAQMD are provided to the Southern California Association of Governments (SCAG), which develops regional growth forecasts, which are then used to develop future air quality forecasts for the AQMP. Development consistent with the growth projections in the County of Riverside General Plan is considered to be consistent with the AQMP (in the case of this Project, the 2012 AQMP).

Operational Impacts

The General Plan currently designates the Project site as "Medium Density Residential (MDR)". MDR land uses allow for detached single-family detached and attached residential dwelling units with a density ranging from 2 dwelling unit per acre to 5 dwelling unit per acre. Limited animal keeping and agriculture is permitted. The Project proposes to construct 35 single family detached residential units with a density of 2.7 dwelling units per acre, which is consistent with the General Plan Land Use Plan designation. Since the Project is consistent with the General Plan, it would not potentially exceed growth projections.

On the basis of the preceding discussion, the Project is determined to be consistent with the second criterion.

The Project would not result in or cause NAAQS or CAAQS violations. The proposed Project is consistent with the land use and growth intensities reflected in the adopted General Plan. Furthermore, the Project would not exceed any applicable regional or local thresholds. As such, the Project is therefore considered to be consistent with the AQMP. No impacts are anticipated. No mitigation is required.

- b) *Would the Project violate any air quality standard or contribute substantially to an existing or projected air quality violation?*

Less Than Significant Impact with Mitigation Incorporated

State and federal air quality standards are often exceeded in many parts of the SoCAB. Please reference *AQ Impact Analysis (Appendix C)*, for a description of current background air quality, thresholds of significance, and health impacts. A discussion of the Project's potential short-term construction-period and long-term operational-period air quality impacts is provided below.

Construction Emissions

Construction activities associated with the Project will result in emissions of CO, VOCs, NO_x, SO_x, PM₁₀, and PM_{2.5}. Construction related emissions are expected from the following construction activities:

- Site Preparation;
- Grading;
- Building Construction;
- Paving;
- Architectural Coating; and
- Construction Workers Commuting.

May 2017 Construction duration by phase is shown on **Table 6-1, Construction Duration**, below. The duration of construction activity was estimated based on California Emission Estimator Model (CalEEMod) defaults, past project experience, and a 2018 opening year. It should be noted that residential developments typically construct a limited number of residential units at a single time rather than constructing all units simultaneously. As a conservative measure, the duration of architectural coatings has been doubled to reflect the elongated schedule resulting from building the residential developments in batches. The construction schedule utilized in the analysis, shown in **Table 6-1**, represents a “worst-case” analysis scenario should construction occur any time after the respective dates since emission factors for construction decrease as time passes and the analysis year increases due to emission regulations becoming more stringent.¹

**Table 6-1
Construction Duration**

Phase Name	Start Date	End Date	Days
Site Preparation	05/01/2017	05/12/2017	10
Grading	05/13/2017	06/23/2017	30
Building Construction	06/24/2017	08/17/2018	300
Architectural Coating	08/18/2018	09/14/2018	20
Paving	09/15/2018	11/09/2018	40

The detailed summary of construction equipment, shown on **Table I-1, Construction Phases**, (see Project Description), was estimated based on CalEEMod model defaults and past project experience. Site-specific construction fleet may vary due to specific project needs at the time of construction. The duration of construction activity and associated equipment both represent a reasonable approximation of the expected construction fleet as required per CEQA guidelines. Please refer to specific detailed modeling inputs/outputs contained in Appendix 3.2 of the *AQ Impact Analysis*.

¹ As shown in the California Emissions Estimator Model (CalEEMod) User's Guide Version 2013.2, Table 3.4 "OFFROAD Equipment Emission Factors" as the analysis year increases, emission factors for the same equipment pieces decrease due to the natural turnover of older equipment being replaced by newer less polluting equipment and new regulatory requirements.

Dust is typically a major concern during rough grading activities. Because such emissions are not amenable to collection and discharge through a controlled source, they are called “fugitive emissions”. Fugitive dust emissions rates vary as a function of many parameters (soil silt, soil moisture, wind speed, area disturbed, number of vehicles, depth of disturbance or excavation, etc.). The CalEEMod model was utilized to calculate fugitive dust emissions resulting from this phase of activity, including approximately 58,747 cubic yards of soil export. The Project site is currently vacant; therefore, no demolition is required.

Construction emissions for construction worker vehicles traveling to and from the Project site, as well as vendor trips (construction materials delivered to the Project site) were estimated based on information CalEEMod model defaults.

Construction Emissions Summary

The SCAQMD Rules that are currently applicable during construction activity for this Project include but are not limited to:

- Rule 1113 (Architectural Coatings);
- Rule 431.2 (Low Sulfur Fuel);
- Rule 403 (Fugitive Dust); and
- Rule 1186 / 1186.1 (Street Sweepers).

Notwithstanding, credit for Best Available Control Measures (BACMs) AQ-1 (Rule 1113) and AQ-2 (Rule 403) have been taken.

The estimated maximum daily construction emissions without mitigation are summarized on **Table 6-2, Emissions Summary of Overall Construction (Without Mitigation)**, below. Detailed construction model outputs are presented in Appendix 3.1 of the *AQ Impact Analysis*. Under the assumed scenarios, emissions resulting from the Project construction would exceed numerical thresholds established by the SCAQMD for emissions of NO_x.

**Table 6-2
Emissions Summary of Overall Construction (Without Mitigation)**

Year	Emissions (pounds per day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
2017	8.40	154.14	50.61	0.27	12.11	7.03
2018	25.26	29.45	23.68	0.05	2.79	1.85
Maximum Daily Emissions	25.26	154.14	50.61	0.27	12.11	7.03
SCAQMD Regional Threshold	75	100	550	150	150	55
Threshold Exceeded?	NO	YES	NO	NO	NO	NO

The estimated maximum daily construction emissions with mitigation are summarized on **Table 6-3, Emissions Summary of Overall Construction (With Mitigation)**, below. Detailed construction model outputs are presented in Appendix 3.1 of the *AQ Impact Analysis*. **Mitigation Measure AQ-1 (MM AQ-1)**, below, is recommended to reduce the severity of the impacts. After implementation of **MM AQ-1**, Project construction-source emissions will be less than significant.

MM AQ-1: During site preparation and grading activity, all crawler tractors, excavators, and graders shall be CARB certified tier 3 or higher; all rubber tired dozers and scrapers shall be CARB certified tier 4 or higher.

**Table 6-3
Emissions Summary of Overall Construction (With Mitigation)**

Year	Emissions (pounds per day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
2017	4.01	91.34	48.23	0.26	9.49	4.54
2018	25.26	29.45	23.68	0.05	2.79	1.85
Maximum Daily Emissions	25.26	91.34	48.23	0.26	9.49	4.54
SCAQMD Regional Threshold	75	100	550	150	150	55
Threshold Exceeded?	NO	NO	NO	NO	NO	NO

Operational Emissions

Operational activities associated with the proposed Project will result in emissions of VOCs, NO_x, CO, SO_x, PM₁₀, and PM_{2.5}. Operational emissions would be expected from the following primary sources:

- Area Source Emissions;
- Energy Source Emissions; and
- Mobile Source Emissions.

Area Source Emissions

1. Architectural Coatings

Over a period of time the buildings that are part of this Project will be subject to emissions resulting from the evaporation of solvents contained in paints, varnishes, primers, and other surface coatings as part of Project maintenance. The emissions associated with architectural coatings were calculated using the CalEEMod model.

2. Consumer Products

Consumer products include, but are not limited to detergents, cleaning compounds, polishes, personal care products, and lawn and garden products. Many of these products contain organic compounds which when released in the atmosphere can react to form ozone and other photochemically reactive pollutants. The emissions associated with use of consumer products were calculated based on defaults provided within the CalEEMod model.

3. Hearths/Fireplaces

The emissions associated with use of hearths/fireplaces were calculated based on assumptions provided in the CalEEMod model. The Project is required to comply with *SCAQMD Rule 445*, which prohibits the use of wood burning stoves and fireplaces in new development. In order to account for the requirements of this Rule, the unmitigated CalEEMod model estimates were adjusted to remove wood burning stoves and fireplaces. As the Project is required to comply with *SCAQMD Rule 445*, the removal of wood burning stoves and fireplaces is not considered "mitigation" although it must be identified as such in CalEEMod in order to treat the case appropriately.

4. Landscape Maintenance Equipment

Landscape maintenance equipment would generate emissions from fuel combustion and evaporation of unburned fuel. Equipment in this category would include lawnmowers, shredders/grinders, blowers, trimmers, chain saws, and hedge trimmers used to maintain the landscaping of the Project. The emissions associated with landscape maintenance equipment were calculated based on assumptions provided in the CalEEMod model.

Energy Source Emissions - Combustion Emissions Associated with Natural Gas and Electricity

Electricity and natural gas are used by almost every project. Criteria pollutant emissions are permitted through the generation of electricity and consumption of natural gas. However, because electrical generating facilities for the Project area are located either outside the region (state) or offset through the use of pollution credits (RECLAIM) for generation within the SCAB, criteria pollutant emissions from offsite generation of electricity is generally excluded from the evaluation of significance and only natural gas use is considered. The emissions associated with natural gas use were calculated using the CalEEMod.

Mobile Source Emissions – Vehicles

Project operational (vehicular) impacts are dependent on both overall daily vehicle trip generation and the effect of the Project on peak hour traffic volumes and traffic operations in the vicinity of the Project. The Project related operational air quality impacts derive primarily from vehicle trips generated by the Project. Trip characteristics available from *Tentative Tract Map No. 36644 Trip Generation Evaluation (Appendix J)* were utilized in the analysis.

Operational Emissions Summary

The estimated operation-source emissions are summarized on **Table 6-4, Maximum Daily Operational Emissions Summary – Summer and Winter Scenarios**, below. Detailed operation model outputs are presented in Appendix 3.2 of *AQ Impact Analysis*. Emissions resulting from the Project operations would not exceed the numerical thresholds established by the SCAQMD for any criteria pollutant (VOC, NO_x, CO, SO_x, PM₁₀, and PM_{2.5}). Impacts are considered less than significant. No mitigation is required.

**Table 6-4
Maximum Daily Operational Emissions Summary – Summer and Winter Scenarios**

Operational Activities – Summer Scenario	Emissions (pounds per day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Source	3.55	0.61	3.16	3.86E-03	0.06	0.06
Energy Source	0.03	0.25	0.11	1.60E-03	0.02	0.02
Mobile Source	0.91	6.22	11.07	0.04	2.57	0.72
Total Maximum Daily Emissions	4.49	7.08	14.34	0.05	2.65	0.80
SCAQMD Regional Threshold	55	55	550	150	150	55
Threshold Exceeded?	NO	NO	NO	NO	NO	NO

Operational Activities – Winter Scenario	Emissions (pounds per day)					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Source	3.55	0.61	3.16	3.86E-03	0.06	0.06
Energy Source	0.03	0.25	0.11	1.60E-03	0.02	0.02
Mobile Source	0.78	6.27	9.58	0.03	2.57	0.72
Total Maximum Daily Emissions	4.36	7.13	12.85	0.04	2.65	0.80
SCAQMD Regional Threshold	55	55	550	150	150	55
Threshold Exceeded?	NO	NO	NO	NO	NO	NO

Localized Significance Thresholds (LSTs)

Construction Activity

Table 6-5, Maximum Daily Disturbed Acreage, below, is used to determine the maximum daily disturbed-acreage for purposes of modeling localized emissions. As shown, the proposed Project could actively disturb approximately 3.5 acres per day during the site preparation and 4.0 acres per day during the grading phase of construction.

**Table 6-5
Maximum Daily Disturbed Acreage**

Construction Phase	Equipment Type	Equipment Quantity	Acres graded per 8-hour day	Operating Hours per Day	Acres graded per day
Site Preparation	Rubber Tired Dozers	3	0.5	8	1.5
	Crawler Tractors	4	0.5	8	2
	Graders	0	0.5	8	0
	Scrapers	0	1	8	0
Total acres graded per day during Site Preparation					3.5
Construction Phase	Equipment Type	Equipment Quantity	Acres graded per 8-hour day	Operating Hours per Day	Acres graded per day
Grading	Rubber Tired Dozers	1	0.5	8	0.5
	Crawler Tractors	2	0.5	8	1
	Graders	1	0.5	8	0.5
	Scrapers	2	1	8	2
Total acres graded per day during Grading					4.0

Sensitive Receptors

Some people are especially sensitive to air pollution and are given special consideration when evaluating air quality impacts from projects. These groups of people include children, the elderly, persons with preexisting respiratory or cardiovascular illness, and athletes and others who engage in frequent exercise. Structures that house these persons or places where they gather to exercise are defined as “sensitive receptors.”

The nearest sensitive receptor is the residential community located immediately adjacent northwest of the Project site. LSTs for receptors located at 25 meters (approximately 82 feet) were utilized in the *AQ Impact Analysis*. According to the *AQ Impact Analysis*, it is possible that a project may have receptors closer than 25 meters. Projects with boundaries located closer than 25 meters to the nearest receptor are directed to use the LSTs for receptors located at 25 meters (27).

Construction-Source Emissions LST Analysis

Since the total acreage disturbed is less than five acres per day for both the site preparation phase and the grading phase, the SCAQMD’s screening look-up tables are utilized in determining impacts. It should be noted that since the look-up tables identifies thresholds at only 1 acre, 2 acres, and 5 acres, linear regression has been utilized, consistent with SCAQMD guidance, in order to interpolate the threshold values for the other disturbed acreage not identified. As previously noted, a 25-meter (approximately 82 feet) receptor distance is utilized to determine the LSTs for emissions of CO, NO₂, PM₁₀, and PM_{2.5}.

Impacts without Mitigation

Table 6-6, Localized Significance Summary Construction (Without Mitigation), below, identifies the localized impacts at the nearest receptor location in the vicinity of the Project. Without mitigation, localized construction emissions would exceed the applicable SCAQMD LSTs for

emissions of PM₁₀ and PM_{2.5}. Outputs from the model runs for construction LSTs are provided in Appendix 3.3 of the AQ Impact Analysis.

**Table 6-6
Localized Significance Summary Construction (Without Mitigation)**

On-Site Site Preparation Emissions	Emissions (pounds per day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum Daily Emissions	77.14	25.08	10.42	6.98
SCAQMD Localized Threshold	303	1,533	10	6
Threshold Exceeded?	NO	NO	YES	YES

On-Site Grading Emissions	Emissions (pounds per day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum Daily Emissions	80.37	39.60	7.21	4.52
SCAQMD Localized Threshold	325	1,677	11	7
Threshold Exceeded?	NO	NO	NO	NO

Impacts Mitigation

Table 6-7, Localized Significance Summary Construction (With Mitigation), below, identifies the localized impacts at the nearest receptor location in the vicinity of the Project. **MM AQ-1** reads:

“During site preparation and grading activity, all crawler tractors, excavators, and graders shall be CARB certified tier 3 or higher; all rubber tired dozers and scrapers shall be CARB certified tier 4 or higher.”

MM AQ-1 is recommended to reduce overall Project impacts. Emissions of PM₁₀, and PM_{2.5} exceed thresholds when unmitigated. Emissions of CO, and NO_x do not exceed thresholds when unmitigated. After implementation of MM AQ-1, construction emissions would not exceed the applicable SCAQMD LSTs for any criteria pollutant, impacts would be reduced to a less than significant level.

**Table 6-7
Localized Significance Summary Construction (With Mitigation)**

On-Site Site Preparation Emissions	Emissions (pounds per day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum Daily Emissions	16.28	28.22	7.65	4.48
SCAQMD Localized Threshold	303	1,533	10	6
Threshold Exceeded?	NO	NO	NO	NO

On-Site Grading Emissions	Emissions (pounds per day)			
	NO _x	CO	PM ₁₀	PM _{2.5}
Maximum Daily Emissions	17.58	37.22	4.6	2.16
SCAQMD Localized Threshold	325	1,677	11	7
Threshold Exceeded?	NO	NO	NO	NO

Localized Significance – Long-Term Operational Activity

The proposed Project involves the construction and operation of 35 single-family residential dwelling units. According to SCAQMD LST methodology, LSTs would apply to the operational phase of a proposed Project, if the project includes stationary sources, or attracts mobile sources that may spend long periods queuing and idling at the site (e.g., transfer facilities and warehouse buildings). The proposed Project does not include such uses, and thus, due to the lack of significant stationary source emissions, no long-term localized significance threshold analysis is needed. No impacts are anticipated. No mitigation is required.

The Project would not result in potentially adverse CO concentrations or "hot spots." An adverse CO concentration, known as a "hot spot", would occur if an exceedance of the state one-hour standard of 20 ppm or the eight-hour standard of 9 ppm were to occur. At the time of the 1993 Handbook, the SCAB was designated nonattainment under the California Ambient air quality standards (AAQS) and National AAQS for CO.

The proposed Project considered herein would not produce the volume of traffic required to generate a CO "hot spot" either in the context of the 2003 Los Angeles hot spot study, or based on representative Bay Area Air Quality Management District (BAAQMD) CO threshold considerations. Therefore, CO "hot spots" are not an environmental impact of concern for the proposed Project. Localized air quality impacts related to mobile-source emissions would therefore be less than significant.

- c) *Would the Project result in a cumulatively considerable net increase of any criteria pollutant for which the Project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?*

Less Than Significant Impact with Mitigation Incorporated

Projects could contribute to an existing or projected air quality exceedance because the SoCAB is currently in nonattainment for O₃, PM₁₀, and PM_{2.5}. With regard to determining the significance of the cumulative contribution from the Project, the SCAQMD recommends that any given project's potential contribution to cumulative impacts be assessed using the same significance criteria as for project-specific impacts. Therefore, individual projects that do not generate operational or construction emissions that exceed the SCAQMD's daily thresholds for project-specific impacts would also not cause a cumulatively considerable increase in emissions for those pollutants for which the air basin is in nonattainment and therefore would not be considered to have a significant, adverse air quality impact. Alternatively, individual project-related construction and operational emissions that exceed SCAQMD thresholds for project-specific impacts would be considered cumulatively considerable. As previously noted, the Project will not exceed the applicable SCAQMD regional thresholds for construction (with mitigation incorporated) and operational-source emissions. As such, the Project will result in a cumulatively less than significant impact.

- d) *Would the Project expose sensitive receptors which are located within 1 mile of the Project site to Project substantial point source emissions?*

Less Than Significant Impact with Mitigation Incorporated

The potential impact of toxic air pollutant emissions resulting from development on the Project site has also been considered. Sensitive receptors to toxic air pollutants can include uses such as long-term healthcare facilities, rehabilitation centers, and retirement homes. Residences, schools, playgrounds, childcare centers, and athletic facilities can also be considered sensitive receptors. The nearest sensitive receptor is the residential community located immediately adjacent northwest of the Project site, at 25 meters (approximately 82 feet).

As discussed in Section 5.b, above, results of the LST analysis, which were developed in response to environmental justice and health concerns, indicate that the Project will not exceed the SCAQMD localized significance thresholds during construction, with the incorporation of mitigation. Therefore, sensitive receptors would not be subject to significant air toxic impacts during construction at the Project site. Results of the LST analysis also indicate that the Project would not exceed the SCAQMD localized significance thresholds during operational activity.

- e) *Would the Project involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?*

No Impact

Based upon a review of the **Figure 3, Aerial Photo**, no substantial point source emitter has been identified within one mile of the Project site. No impacts would result from the construction of a sensitive receptor located within one mile of an existing substantial point source emitter. No mitigation is required.

- f) *Would the Project create objectionable odors affecting a substantial number of people?*

Less Than Significant Impact

The potential for the Project to generate objectionable odors was analyzed in the *AQ Impact Analysis*. Land uses generally associated with odor complaints include:

- Agricultural uses (livestock and farming);
- Wastewater treatment plants;
- Food processing plants;
- Chemical plants;
- Composting operations;
- Refineries;
- Landfills;
- Dairies; or
- Fiberglass molding facilities.

The Project does not contain land uses typically associated with emitting objectionable odors. Potential odor sources associated with the proposed Project may result from construction equipment exhaust and the application of asphalt and architectural coatings during construction activities and the temporary storage of typical solid waste (refuse) associated with the proposed Project's (long-term operational) uses. Standard construction requirements would minimize odor impacts from construction. The construction odor emissions would be temporary, short-term, and intermittent in nature and would cease upon completion of the respective phase of construction and is thus considered less than significant.

It is expected that Project-generated refuse would be stored in covered containers and removed at regular intervals in compliance with the County's solid waste regulations. The proposed Project would also be required to comply with SCAQMD Rule 402 to prevent occurrences of public nuisances. Therefore, odors associated with the proposed Project construction and operations would be less than significant and no mitigation is required.

Mitigation: **MM AQ-1:** During site preparation and grading activity, all crawler tractors, excavators, and graders shall be CARB certified tier 3 or higher; all

rubber tired dozers and scrapers shall be CARB certified tier 4 or higher.

Monitoring: Mitigation monitoring shall be performed by the Building and Safety Department.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES. Would the Project:				
7. Wildlife & Vegetation.				
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Western Riverside County Multiple Species Habitat Conservation Plan Consistency Analysis – Tentative Tract Map No. 36644*, prepared by Principe and Associates, January 30, 2017 (*MSHCP Consistency Analysis, Appendix B1*); *Nesting Season Survey Burrowing Owl (Athene cunicularia hypugaea) – Tentative Tract Map No. 36644*, prepared by Principe and Associates, August 24, 2016 (*NSS, Appendix B2*); Ordinance No. 559 (An Ordinance of the County of Riverside Regulating the Removal of Trees); Ordinance No. 810.2 (An Ordinance of the County of Riverside to Establish the Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee); *Riverside County Oak Tree Management Guidelines*; and Project conditions of approval.

Findings of Fact:

- a) *Would the Project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?*

Less Than Significant Impact

Overview

The Project site is currently vacant and undeveloped with structures. Aerial photographs from 1995 through 2002 show that the Project site remained in a relatively undisturbed natural condition surrounded by undeveloped private and Indian reservation lands. By 2003, the agricultural lands located north of the Project site were being developed (Redhawk and Morgan Hill). Between 2005 and 2007, additional residential areas were developed in proximity to the Project site. During those times and up to the present time, the Project site has remained essentially the same. The majority of the on-site sage scrub and grasslands vegetation remains intact, as only 100-foot-wide fuel modification zones are cleared for fire prevention purposes adjacent to existing developed areas located to the north and west, and along the Anza Road right-of-way located to the south. As observed on **Figure 3, Aerial Photo**, both the westerly Anza Road) and easterly/northerly extensions of Anza Road and Rio Linda Road) of Project roadway improvements will be within areas that have been previously disturbed by vehicular traffic and other human activity.

Western Riverside County Multiple Species Habitat Conservation Plan

Based on the final Western Riverside County MSHCP (adopted June 17, 2003), the Project site is 'Not A Part' of cell criteria under the MSHCP. The Project site is not located within a Cell, Cell Group or Sub Unit of the Southwest Area Plan. Therefore, conservation has not been described for the Project site.

In addition, the Project site is not located within or along the boundaries of Western Riverside County Regional Conservation Agency (RCA) Conserved Lands or MSHCP Public/Quasi-Public Conserved Lands.

The Project site is located approximately 0.73 miles south of the most proximate land with cell criteria under the MSHCP – Cell #7275 of an Independent Cell Group of the Temecula and Pechanga Creeks Sub Unit (SU2) of the Southwest Area Plan.

Project Site Relationship to MSHCP Reserve Assembly

As stated above, the Project is not located within a designated Cell, Cell Group or Sub Unit of the Southwest Area Plan. The most proximate Core or Linkage within the MSHCP Conservation Area to the Project is Proposed Constrained Linkage 24.

The Project site is located approximately 1.1 miles south of the northwestern portion of the Cell where conservation within this Cell will contribute to the assembly of Proposed Constrained Linkage 24. The Project site does not have a relationship to MSHCP Reserve Assembly.

MSHCP Implementation Structure

Section 6.0 of the MSHCP, the MSHCP Implementation Structure, imposes all other terms of the MSHCP, including but not limited to the protection of species associated with riparian/riverine areas and vernal pools, narrow endemic plant species, urban/wildlands interface guidelines, and additional survey needs and procedures set forth in Sections 6.1.1, 6.1.2, 6.1.3, 6.1.4, 6.3.2 and 6.4. The results of these consistency analyses are described below. The Riverside County Integrated Plan Conservation Summary Report Generator was used to determine the appropriate conservation requirements for the Project site. The Riverside County Integrated Plan Conservation Summary Report Generator is included within the *MSHCP Consistency Analysis (Appendix B1)*.

Section 6.1.1 - Property Owner Initiated Habitat Evaluation and Acquisition Negotiation Strategy

The Project is not located within an area that has been identified in the MSHCP as an area where conservation potentially needs to occur. A Habitat Evaluation and Acquisition Negotiation Strategy (HANS) Application will not have to be reviewed by Planning Department staff from the Environmental Programs Division (EPD) pursuant to the MSHCP and the RCIP.

Therefore, the Project is consistent with Section 6.1.1 of the MSHCP.

Section 6.1.2 – Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools

Natural watercourses or riparian vegetation and habitat of any kind are not present on the Project site. Therefore, based on the MSHCP definition of Riparian/Riverine Areas: *“lands which contain Habitat dominated by trees, shrubs, persistent emergents, or emergent mosses and lichens, which occur close to or which depend upon soil moisture from a nearby fresh water source; or areas with fresh water flow during all or a portion of the year”*, the biological functions and values of Riparian/Riverine Areas do not exist on the Project site. Suitable habitats for the species listed under ‘Purpose’ in Volume 1, Section 6.1.2 of the MSHCP are not present on the Project site.

Kinds of natural-occurring or manmade aquatic features that could provide suitable habitats for endangered and threatened species of fairy shrimp are not present on the Project site (e.g., wetlands, vernal pools and swales, vernal pool-like ephemeral ponds, stock ponds, other human-modified depressions, tire ruts, etc.). The biological functions and values of Vernal Pools do not exist on the site. Suitable habitats for the species listed under ‘Purpose’ in this Section of the MSHCP are not present on the Project site.

Other kinds of perennial or seasonal aquatic features that could be classified as federally protected wetlands as defined by Section 404 of the Clean Water Act (e.g., rivers, open waters, swamps, marshes, bogs, fens, etc.) are not present. The Project does not have a relationship to existing wetland regulations.

Therefore, the Project is consistent with Section 6.1.2 of the MSHCP.

Section 6.1.3 – Protection of Narrow Endemic Plant Species

Based on a review of Figure 6-1 of the MSHCP, the Project is not located within a Narrow Endemic Plant Species Survey Area. No surveys are required.

Therefore, the Project is consistent with Section 6.1.3 of the MSHCP.

Section 6.1.4 – Guidelines Pertaining to the Urban/Wildlands Interface

As stated above, the Project does not have a relationship to the assembly of Proposed Constrained Linkage 24. The Project site is located approximately 1.1 miles south of the northwestern portion of Cell #7275 where conservation within this Cell will contribute to the assembly of Proposed Constrained Linkage 24.

The Project will not result in edge effects that will adversely affect the maintenance of habitat quality or maintenance of existing floodplain processes along Temecula Creek for species using the Linkage. The Project is not located within the 250-foot buffer used in the MSHCP to complete an edge analysis for indirect effects of land uses located adjacent to a MSHCP Conservation Area. The Project will not be subject to Guidelines Pertaining to the Urban/Wildlands Interface for the management of edge conditions such as lighting, urban runoff, toxics, and domestic predators as presented in *Section 6.1.4 of the MSHCP, Volume 1, The Plan*.

Therefore, the Project is consistent with Section 6.1.4 of the MSHCP.

Section 6.3.2 - Additional Survey Needs and Procedures

Based on a review of Figures 6-2 (Criteria Area Species Survey Area), 6-3 (Amphibian Species Survey Area), and 6-5 (Mammal Species Survey Area) of the MSHCP, the Project is not located in an area where additional surveys are needed for certain and/or in conjunction with MSHCP implementation in order to achieve coverage for these species.

The Project is however located within the Burrowing Owl Survey Area (Figure 6-4 of the MSHCP). The following is a summary of the 2016 NSS (**Appendix B2**):

- An independent assessment was made of the presence or absence of suitable burrowing owl habitats on the Project site and in a 150-meter buffer zone around the Project boundary. The assessment determined that the majority of the Project site and buffer zone were providing suitable burrowing owl habitats consisting of large open expanses of annual grassland on gentle rolling and level terrain with active small mammal burrows. Critical habitat features capable of being used for roosting or nesting were also present on the Project site, and included natural burrows dug by California ground squirrels.
- Four (4) surveys were conducted between July 29 and August 19, 2016. During the 2016 nesting season surveys, burrowing owls were not observed. Critical burrowing owl habitats capable of being used for roosting or nesting were not being used. Animal signs diagnostic of burrowing owls that are sometimes overlooked were not discovered anywhere on the Project site or in the buffer zone. There was no evidence of either active habitats presently being used by burrowing owls, or habitats abandoned within the last year.
- Completion of the NSS is consistent with Species Conservation Objective 5 of the MSHCP that was developed for the burrowing owl. To ensure direct mortality of burrowing owls is avoided, a pre-construction presence/absence survey should be conducted within thirty (30) days prior to ground disturbance associated with the Project. The proposed Project would then be consistent with Species Conservation Objective 6 of the MSHCP.

Pursuant to Objective 6 and Objective 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan, within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist. These are standard Riverside County conditions of approval (60.EPD.001 and 80.EPD.001) and are not considered unique mitigation under CEQA. Accordance with these conditions of approval will assure that impacts remain less than significant.

Therefore, the Project is consistent with Section 6.3.2 of the MSHCP.

Section 6.4 - Fuels Management

Fuels management focuses on hazard reduction for humans and their property. Fuels management for human safety must continue in a manner that is compatible with public safety and conservation of biological resources. Fuels management for human hazard reduction involves reducing fuel loads in areas where fire may threaten human safety or property, suppressing fires once they have started, and providing access for fire suppression equipment and personnel. It is recognized that brush management to reduce fuel loads and protect urban uses and public health and safety shall occur where development is adjacent to the MSHCP Conservation Area.

The Project is not located in the vicinity of a MSHCP Conservation Area. The most proximate conservation area is Proposed Constrained Linkage 24, which is located approximately 1.1 miles north of the Project site. In accordance with existing policies, brush management will not be required for future development on the Project site. However, the Riversidean sage scrub and Non-native grasslands growing on the Project site that could create hazards for humans and their property will be removed to develop the Project.

Therefore, the Project is consistent with Section 6.4 of the MSHCP.

- b) *Would the Project have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?*

Less Than Significant Impact

Implementation of the proposed Project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan as discussed in Section 7.a., above. The Project will be required to pay the applicable MSHCP Mitigation Fees pursuant to Ordinance No. 810.2. These are standard fees, and are not considered unique mitigation under CEQA.

With consistency with the MSHCP, implementation of the Project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). With payment of the applicable, standard fees discussed above, any impacts will remain less than significant.

- c) *Would the Project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service?*

Less Than Significant Impact

Discussion is referenced in Section 7.a., above, and Sections 7.d, 7.e., and 7.f, below. Based on this data, the Project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U. S. Wildlife Service. At most, impacts are considered less than significant with the payment of the

applicable, standard fees discussed above, and conducting a 30-day preconstruction survey for burrowing owls.

- d) *Would the Project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?*

Less than Significant Impact

The Project area and immediate vicinity do not provide a viable wildlife movement corridor for migrations, foraging movements or for finding a mate through this portion of the southern Temecula Valley. The Project area and immediate vicinity do not connect two or more larger core habitat areas that would otherwise be fragmented or isolated from one another.

The Project will be required to comply with the County of Riverside conditions of approval (60.EPD.4 (MBTA SURVEY) and 80.EPD.2 (MBTA REPORT)) that requires a nesting bird survey to be performed prior to grading permit issuance. This requirement is a standard condition, and is not considered unique mitigation pursuant to CEQA. With implementation of these 2 conditions of approval, the proposed Project would be consistent with the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes.

Therefore, implementation of the Project would not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites. Any impacts are considered less than significant. No mitigation is required.

- e) *Would the Project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U. S. Fish and Wildlife Service?*

No Impact

Suitable riparian/riverine habitats for the species listed under 'Purpose' in Volume 1, Section 6.1.2 of the MSHCP are not present on the Project site.

Other kinds of seasonal aquatic features that could provide suitable habitats for endangered and threatened species of fairy shrimp are not present on the Project site (i.e., vernal pools or swales, vernal pool-like ephemeral ponds, stock ponds or other human-modified depressions like tire ruts, etc.).

Kinds of perennial or seasonal aquatic features that could be classified as federally protected wetlands as defined by Section 404 of the Clean Water Act are also not present on the site (i.e., intermittent or perennial streams, open waters, swamps, marshes, bogs, fens, vernal pools or swales, vernal pool-like ephemeral ponds, etc.). The Project has no relationship to existing wetland regulations.

Therefore, implementation of the Project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U. S. Fish and Wildlife Service. No impacts are anticipated. No mitigation is required.

- f) *Would the Project have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?*

No Impact

Kinds of perennial or seasonal aquatic features that could be classified as federally protected wetlands as defined by Section 404 of the Clean Water Act (i.e., intermittent or perennial streams, open waters, swamps, marshes, bogs, fens, vernal pools or swales, vernal pool-like ephemeral ponds, etc.) are also not present on the Project site. The Project has no relationship to existing wetland regulations.

Therefore, implementation of the Project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means. No impacts are anticipated. No mitigation is required.

- g) *Would the Project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?*

No Impact

Implementation of the Project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. The majority of the on-site sage scrub and grasslands vegetation remains intact, as only 100-foot-wide fuel modification zones are cleared for fire prevention purposes adjacent to existing developed areas located to the north and west, and along the Anza Road right-of-way located to the south. No oak trees are located on the Project site that would be subject to the *Riverside County Oak Tree Management Guidelines*. The provisions of Ordinance No. 559 would not apply. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
CULTURAL RESOURCES Would the Project:				
8. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Cultural Resources Record Search for TR36644*, prepared by Eastern Information Center, November 14, 2016 (**EIC Letter, Appendix D1**).

Findings of Fact:

- a) *Would the Project alter or destroy an historic site?*

No Impact

Four (4) cultural resources studies have been previously performed, which included the Project site within their scope. No potential "historical resources" were previously recorded within the Project site. As observed on **Figure 3, Aerial Photo**, both the westerly and easterly/northerly extensions of Project roadway improvements will be within an area that has been previously disturbed by vehicular traffic and other human activity, and no potential "historical resources" are present. No impacts are anticipated. No mitigation is required.

b) *Would the Project cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?*

No Impact

"Historical resources", as defined by CEQA and associated regulations, are not known to exist within the Project site. Therefore, implementation of the proposed Project will not alter or destroy an historic site. As observed on **Figure 3, Aerial Photo**, both the westerly and easterly/northerly extensions of Project roadway improvements will be within an area that has been previously disturbed by vehicular traffic, and other human activity, and no potential "historical resources" are present. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Archaeological Resources				
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *EIC Letter, Appendix D1.*

Findings of Fact:

a) *Would the Project alter or destroy an archaeological site?*

Less Than Significant Impact

Based upon analysis of records and prior archaeological study of the property, it has been determined that there will be no impacts to known archaeological resources as defined in California Code of Regulations, Section 15064.5 because there were no archaeological resources identified during the surveys of the Project site. As observed on **Figure 3, Aerial Photo**, both the westerly and easterly/northerly extensions of Project roadway improvements will be within an area that has been previously disturbed by vehicular traffic and other human activity, no potential "archaeological resources" are present. However, in the event unanticipated resources are identified, a condition of approval has been entered for the Project (10.PLANNING.2 (UNANTICIPATED RESOURCES))

with the procedures to be followed in the event an unanticipated resource is identified during ground disturbing activities. Furthermore, the project has been conditioned to have a Cultural Resources Monitoring Plan (60.PLANNING.24). These requirements are standard conditions, and are not considered unique mitigation pursuant to CEQA. Impacts are considered less than significant. No mitigation is required.

- b) *Would the Project cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?*

Less Than Significant Impact

Based upon analysis of records and prior archaeological study of the property, it has been determined that there will be no impacts to known significant archaeological resources as defined in California Code of Regulations, Section 15064.5 because they are not present on the Project site. As observed on **Figure 3, Aerial Photo**, both the westerly and easterly/northerly extensions of Project roadway improvements will be within an area that has been previously disturbed by vehicular traffic, and other human activity, no potential "archaeological resources" are present. However, in the event unanticipated resources are identified, a condition of approval has been entered for the Project (10.PLANNING.2 (UNANTICIPATED RESOURCES)) with the procedures to be followed in the event an unanticipated resource is identified during ground disturbing activities. This requirement is a standard condition, and is not considered unique mitigation pursuant to CEQA. Impacts are considered less than significant. No mitigation is required.

- c) *Would the Project disturb any human remains, including those interred outside of formal cemeteries?*

Less Than Significant Impact

Based on an analysis of records and archaeological survey of the property, it has been determined that the Project site does not include a formal cemetery or any archaeological resources that might contain interred human remains. As observed on **Figure 3, Aerial Photo**, both the westerly and easterly/northerly extensions of Project roadway improvements will be within an area that has been previously disturbed by vehicular traffic and other human activity. However, in the event unanticipated resources are identified, a condition of approval has been entered for the Project (10.PLANNING.2 (UNANTICIPATED RESOURCES)) with the procedures to be followed in the event an unanticipated resource is identified during ground disturbing activities. This requirement is a standard condition, and is not considered unique mitigation pursuant to CEQA. Impacts are considered less than significant. No mitigation is required.

Nonetheless, the Project will be required to adhere to State Health and Safety Code Section 7050.5 if in the event that human remains are encountered and by ensuring that no further disturbance occur until the County Coroner has made the necessary findings as to origin of the remains. Furthermore, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. This is State Law, is also considered a standard Condition of Approval (10.PLANNING.1 (IF HUMAN REMAINS FOUND)) and as pursuant to CEQA, is not considered mitigation. This requirement is a standard condition, and is not considered unique mitigation pursuant to CEQA. Impacts will be considered less than significant. No mitigation is required.

- d) *Would the Project restrict existing religious or sacred uses within the potential impact area?*

No Impact

At the current time, the Project site is currently not used for religious or sacred purposes. Therefore, the Project will not restrict existing religious or sacred uses within the potential impact area because none are occurring. Therefore, there will be no impact. No mitigation is required.

Mitigation: No mitigation measures are required

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
10. Paleontological Resources.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County*, **Appendix A**; County Geologist; and Project conditions of approval.

Findings of Fact:

a) *Would the Project directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?*

Less Than Significant Impact

The proposed Project site is mapped as having a “High Sensitivity (High A)” for paleontological resources (fossils). *Map My County* concludes:

“Based on geologic formations or mappable rock units that are rocks that contain fossilized body elements, and trace fossils such as tracks, nests, and eggs. These fossils occur on or below the surface.”

As such, this Project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during the site grading phase, Condition of Approval 60.Planning.1 (PALEO PRIMP/MONITOR) (required for TR36644) shall be implemented, as follows:

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1. The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).
2. The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:

1. Description of the proposed site and planned grading operations.
2. Description of the level of monitoring required for all earth-moving activities in the project area.
3. Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.
4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.
5. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.
6. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.
7. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.
8. Procedures and protocol for collecting and processing of samples and specimens.
9. Fossil identification and curation procedures to be employed.
10. Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.
11. All pertinent exhibits, maps and references.
12. Procedures for reporting of findings.
13. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees. The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. One original signed copy of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP. Safeguard Artifacts Being Excavated in Riverside County (SABER).

Condition of Approval 60.Planning.1 (PALEO PRIMP/MONITOR), as written, is considered a standard condition of approval and pursuant to CEQA, is not considered mitigation. Therefore, implementation of the proposed Project will result in less than significant impacts that would directly or indirectly destroy a unique paleontological resource, or site, or unique geologic features. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GEOLOGY AND SOILS. Would the Project:				
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County, Appendix A; Tentative Tract Map No. 36644 11.9 Acre Site, APN No. 966-380-004, Anza Road, Riverside County, California, prepared by La Cresta Geotechnical Incorporated, February 28, 2017 (Geo Investigation, Appendix E); and Ordinance No. 457 (An Ordinance of the County of Riverside Relating to the Building Requirements and Adopting the 1997 Edition of The Uniform Administrative Code Adopted by The International Conference of Building Officials; The 2001 California Building Code Including the Appendix and Standards Adopted by The California Building Standards Commission; the 1997 Edition of The Uniform Housing Code Adopted by The International Conference Of Building Officials; the 1997 Edition of The Uniform Code For The Abatement Of Dangerous Buildings Adopted by The International Conference of Building Officials; the 2001 California Plumbing Code, including the Appendix and Standards Adopted by The California Building Standards Commission; the 2001 California Mechanical Code, including the appendix and Standards Adopted by The California Building Standards Commission; the 2000 Edition Of The Uniform Swimming Pool, Spa and Hot Tub Code Adopted by The International Association of Plumbing and Mechanical Officials; the 2001 California Electrical Code Adopted by The California Building Standards Commission; the 1997 Edition of The Uniform Sign Code Adopted by The International Conference of Building Officials; and The 1997 Edition of The Code for Building Conservation Adopted by The International Conference Of Building Officials as the Standards of Said Ordinance).*

Findings of Fact:

a) *Would the Project expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?*

Less Than Significant Impact

The Project site is not located within a State of California Earthquake Special Study Zone. In addition, there are no faults geologically mapped within or projecting toward the Project site and the Project site is not within a State or County Fault Hazard Zone. Nonetheless, California Building Code (CBC) requirements (as implemented through Ordinance No. 457) pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. The proposed Project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. Any impacts are considered less than significant. No mitigation is required.

- b) *Would the Project be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?*

No Impact

The Project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the Project site. Therefore, there is no potential for rupture of a known fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault. No impact will occur. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
12. Liquefaction Potential Zone.				
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County, Appendix A; Geo Investigation, Appendix E;* and Ordinance No. 457.

Findings of Fact:

- a) *Would the Project be subject to seismic-related ground failure, including liquefaction?*

Less Than Significant Impact

Due to the lack of shallow groundwater (greater than 50 feet) and the presence of relatively shallow Pauba Formation (present at the surface within the majority of the Project site and is anticipated to underlie the entire site at depth, the potential for liquefaction at this Project site is very low. Nonetheless, CBC requirements (as implemented through Ordinance No. 457) pertaining to new development and construction will minimize the potential for structural failure or loss of life during earthquakes by ensuring that structures are constructed pursuant to applicable seismic design criteria for the region. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. The proposed Project will not be subject to seismic-related ground failure, including liquefaction. Any impacts are considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone.				
a) Be subject to strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County, Appendix A*; and *Geo Investigation, Appendix E*; Ordinance No. 457; and Project conditions of approval.

Findings of Fact:

a) *Would the Project be subject to strong seismic ground shaking?*

Less Than Significant Impact

The Project the site is not located within an Alquist-Priolo Earthquake Fault Zone, and there are not any known faults (active, potentially active, or inactive) onsite; and the potential for liquefaction is not considered a design consideration.

Undocumented fill was observed at the edges of the hilltop pad located at the southwestern portion of the Project site. The undocumented fill was characterized as loose, dry, yellow brown to medium brown, silty fine to coarse sand, with trace gravel, cobble. The undocumented fill overlies left in-place topsoil. The undocumented fill is considered unsuitable to support structures or additional fill and should be removed, moisture conditioned and recompacted.

Topsoil was evident in some of the exploratory trenches. The topsoil is believed to be derived from the in-place weathering of the underlying Pauba Formation. Where encountered, the topsoil was observed to be 1' to 3' thick, and is characterized as loose, dry, silty fine to medium sand, with rootlets and was observed to be porous. The topsoil is considered unsuitable in its natural state to support structures or additional fill and should be removed: moisture conditioned and recompacted.

Older alluvium underlies the eastern 1/3 of the Project site, where it overlies the Pauba Formation. The Older Alluvium was encountered up to a maximum depth of approximately 19' at one boring location. Where encountered, the Older Alluvium was characterized as medium dense to dense, damp, medium to yellow brown, silty: fine to medium. The upper portions (approximately 5') of the Older Alluvium are considered unsuitable to support structures or engineered fill, and will need to be removed: moisture conditioned, and recompacted.

Pauba Formation is present at the surface within the majority of the Project site and is anticipated to underlie the entire site at depth. The Pauba Formation is highly weathered near the surface and is characterized as a very weakly to weakly cemented medium dense to dense: fine to medium sandstone, with some thin lenses of cohesionless well-graded sands, with some gravel and cobble layers. The upper 2' of the Pauba Formation exposed at the surface is considered unsuitable to support structures or engineered fill and should be removed, moisture conditioned and recompacted.

The Project will be required to comply with the recommendations contained within the *Geo Investigation*, Project conditions of approval, as well as the CBC requirements (as implemented through Ordinance No. 457) pertaining as it pertains to strong seismic ground shaking. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. Through compliance with the *Geo Investigation* recommendations, Project conditions of approval, as well as the CBC, any potential impacts will remain less than significant level from a CEQA perspective. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
14. Landslide Risk.				
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): County Geologist; *Map My County*, **Appendix A**; and *Geo Investigation*, **Appendix E**.

Findings of Fact:

a) *Would the Project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?*

No Impact

Topographically, the Project site can be characterized as having gently low rounded small hills with a north sloping alluvial valley at the eastern third portion of the Project site. Elevations vary **within a range**, from approximately 1,292 feet above Mean Sea Level (MSL) located within the northern portion to approximately 1,387 feet MSL at the hilltop pad located at the southwestern corner of the Project site.

No slope stability hazards within or adjacent to the Project site were analyzed in the *Geo Investigation*. The County Geologist did not indicate any concerns regarding slope stability with respect to the Project site. Landslides were determined not to be a design consideration for the Project. There are no natural slopes near the site; therefore, the potential for rock fall hazard is also not a design consideration. Therefore, the Project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

15. Ground Subsidence.

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence?

Source(s): *Map My County, Appendix A; Geo Investigation, Appendix E; Ordinance No. 457; and Project conditions of approval.*

Findings of Fact:

a) *Would the Project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence?*

Less Than Significant Impact

Undocumented fill was observed at the edges of the hilltop pad located at the southwestern portion of the Project site. The undocumented fill was characterized as loose, dry, yellow brown to medium brown, silty fine to coarse sand, with trace gravel, cobble. The undocumented fill overlies left in-place topsoil. The undocumented fill is considered unsuitable to support structures or additional fill and should be removed, moisture conditioned and recompacted.

Topsoil was evident in some of the exploratory trenches. The topsoil is believed to be derived from the in-place weathering of the underlying Pauba Formation. Where encountered, the topsoil was observed to be 1' to 3' thick, and is characterized as loose, dry, silty fine to medium sand, with rootlets and was observed to be porous. The topsoil is considered unsuitable in its natural state to support structures or additional fill and should be removed: moisture conditioned and recompacted.

Older alluvium underlies the eastern 1/3 of the Project site, where it overlies the Pauba Formation. The Older Alluvium was encountered up to a maximum depth of approximately 19' at one boring location. Where encountered, the Older Alluvium was characterized as medium dense to dense, damp, medium to yellow brown, silty: fine to medium. The upper portions (approximately 5') of the Older Alluvium are considered unsuitable to support structures or engineered fill, and will need to be removed: moisture conditioned, and recompacted.

Pauba Formation is present at the surface within the majority of the Project site and is anticipated to underlie the entire site at depth. The Pauba Formation is highly weathered near the surface and is characterized as a very weakly to weakly cemented medium dense to dense: fine to medium sandstone, with some thin lenses of cohesionless well-graded sands, with some gravel and cobble layers. The upper 2' of the Pauba Formation exposed at the surface is considered unsuitable to support structures or engineered fill and should be removed, moisture conditioned and recompacted.

The Project will be required to comply with the recommendations contained within the *Geo Investigation*, as well as the CBC requirements (as implemented through Ordinance No. 457). CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. Compliance with the *Geo Investigation* recommendations, Project conditions of approval, as well as the CBC will ensure that any the potential impacts related to the Project being located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in ground subsidence, are considered less than significant. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
16. Other Geologic Hazards.				
a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Figure 3, Aerial Photo.

Findings of Fact:

a) *Would the Project be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?*

No Impact

The Project is located approximately 28 miles east from the nearest coastline; therefore, the negligible risk associated with tsunamis is not a design consideration. In addition, the Project not located adjacent to a body of water; therefore, seiches are not a design consideration for the site. Based on this information, implementation of the proposed Project would not be subject to geologic hazards, such as tsunami, or seiche. There are no volcanic hazards in proximity of the Project site. Any mudflows associated with a tsunami, seiche, or volcanic hazards are not applicable to the Project. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Slopes.				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Map My County, Appendix A; Geo Investigation, Appendix E; Figure 3, Aerial Photo; Figure 4, Tentative Tract Map No. 36644; Ordinance No. 457; and Project conditions of approval.

Findings of Fact:

a) *Would the Project change topography or ground surface relief features?*
Less Than Significant Impact

Topographically, the Project site can be characterized as having gently low rounded small hills with a north sloping alluvial valley at the eastern third portion of the Project site. Elevations vary

Elevations vary within a range, from approximately 1,292 feet above Mean Sea Level (MSL) located within the northern portion to approximately 1,387 feet MSL at the hilltop pad located at the southwestern corner of the Project site. The Project will require approximately 122,208 cubic yards (cy) of cut and 63,461 cy of fill. The Project will result in a need to export approximately 58,747 cy in order to develop the Project. When graded, the Project will range in elevation from 1,293 feet MSL in the northern portion to approximately 1,345 feet MSL at the southwestern corner of the Project site.

The Project will therefore change the topography and surface relief features. These changes will be required in order to re-contour the Project topography in a manner to accommodate 35 single-family homes, roadways, landscaping and drainage/water quality facilities. The grading is necessitated to the existing and proposed physical developments adjacent to the Project to the north, east, west, and south, as well as the horizontal alignment grades for Anza Road to the south. As designed, the changes to the topography and ground surface relief features will be in keeping with the existing and proposed physical developments adjacent to the Project. Any impacts are considered less than significant. No mitigation is required.

- b) *Would the Project create cut or fill slopes greater than 2:1 or higher than 10 feet?*

Less Than Significant Impact

Implementation of the proposed Project will not create cut or fill slopes greater than 2:1; however, slopes will be created that will be higher than 10 feet. Slopes along Anza Road, and in the northerly portion of the Project site, where the water quality basin is located, will have slopes greater than 10' in height. The Project will be required to comply with the recommendations contained within the *Geo Investigation*, Project conditions of approval, as well as the CBC requirements (as implemented through Ordinance No. 457) as they pertain to slope stability. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. Compliance with the *Geo Investigation* recommendations as well as the CBC will ensure that any the potential impacts related to cut and fill slopes, are considered less than significant. No mitigation is required.

- c) *Would the Project result in grading that affects or negates subsurface sewage disposal systems?*

No Impact

No subsurface sewage disposal systems are located on the Project site, or in proximity to the Project site. The area in immediate proximity to the Project site is served by sewer, which is located in the developed residential tracts, and/or in Butterfield Stage Road and/or Anza Road. No portion of the proposed Project will result in grading that affects or negates subsurface sewage disposal systems. A single-family residence is located westerly of the Project site. It does not appear that this residence is tied into the sewer system; therefore, it can be inferred that it is served by a septic system. No portion of the Project will be on their property. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with	Less Than Significant Impact	No Impact
--	--------------------------------------	----------------------------------	------------------------------------	--------------

	Mitigation Incorporated			
18. Soils.				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Geo Investigation, Appendix E*; and Project conditions of approval.

Findings of Fact:

a) *Would the Project result in substantial soil erosion or the loss of topsoil?*

Less Than Significant Impact

Site grading will create the potential for the proposed Project to result in soil erosion or the loss of topsoil. The County of Riverside Building and Safety Department has placed conditions of approval on the Project, as they pertain to Geology and Soils. Condition of approval 10.BS GRADE.23 (MANUFACTURED SLOPES) for TR36644 states:

“Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.”

This is a standard condition for the County of Riverside and is not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project that could result in substantial soil erosion or the loss of topsoil, will remain less than significant. No mitigation is required.

b) *Would the Project be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?*

Less Than Significant Impact

Undocumented fill was observed at the edges of the hilltop pad located at the southwestern portion of the Project site. The undocumented fill was characterized as loose, dry, yellow brown to medium brown, silty fine to coarse sand, with trace gravel, cobble. The undocumented fill overlies left in-place topsoil. The undocumented fill is considered unsuitable to support structures or additional fill and should be removed, moisture conditioned and recompacted.

Topsoil was evident in some of the exploratory trenches. The topsoil is believed to be derived from the in-place weathering of the underlying Pauba Formation. Where encountered, the topsoil was observed to be 1 to 3 feet thick, and is characterized as loose, dry, silty fine to medium sand, with rootlets and was observed to be porous. The topsoil is considered unsuitable in its natural state to support structures or additional fill and should be removed: moisture conditioned and recompacted.

Older alluvium underlies the eastern 1/3 of the Project site, where it overlies the Pauba Formation. The Older Alluvium was encountered up to a maximum depth of approximately 19' at one boring location. Where encountered, the Older Alluvium was characterized as medium dense to dense, damp, medium to yellow brown, silty: fine to medium. The upper portions (approximately 5') of the Older Alluvium are considered unsuitable to support structures or engineered fill, and will need to be removed: moisture conditioned, and recompacted.

Pauba Formation is present at the surface within the majority of the Project site and is anticipated to underlie the entire site at depth. The Pauba Formation is highly weathered near the surface and is characterized as a very weakly to weakly cemented medium dense to dense: fine to medium sandstone, with some thin lenses of cohesionless well-graded sands, with some gravel and cobble layers. The upper 2' of the Pauba Formation exposed at the surface is considered unsuitable to support structures or engineered fill and should be removed, moisture conditioned and recompacted.

The Project will be required to comply with the recommendations contained within the *Geo Investigation*, conditions of approval, as well as the CBC requirements as they pertain to expansive nature of these soil types. CBC requirements are applicable to all development; therefore, they are not considered mitigation for CEQA implementation purposes. Compliance with the Geo Investigation recommendations as well as the CBC will ensure that any potential impacts related the Project being located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property, are considered less than significant. No mitigation is required.

- c) *Would the Project have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?*

No Impact

No portion of the proposed Project proposes the use of septic tanks or alternative waste water disposal systems. The area in immediate proximity to the Project site is served by sewer, which is located in the developed residential tracts, and/or in Butterfield Stage Road and/or Anza Road. Therefore, whether or not the Project has soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water, is not relevant. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
19. Erosion.				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County, Appendix A; Geo Investigation, Appendix E;* and Project conditions of approval.

Findings of Fact:

- a) *Would the Project change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?*

Less Than Significant Impact

The proposed Project has been reviewed and conditioned by the Riverside County Flood Control and Water Conservation District (RCFC&WCD), County Building Department, and County Transportation Department, to eliminate any potential impacts from changes to deposition, siltation, or erosion through site design, adherence to the requirements of the National Pollutant Discharge Elimination System (NPDES), and the preparation of a Water Quality Management Plan (WQMP).

These are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project that would result in any deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake are considered less than significant. No mitigation is required.

- b) *Would the Project result in any increase in water erosion either on or off site?*

Less Than Significant Impact

The proposed Project has been reviewed and conditioned by the RCFC&WCD, County Building Department, and County Transportation Department, to eliminate any potential impacts that could result in an increase in water erosion through site design, adherence to the requirements of the NPDES, and the preparation of a WQMP.

These Requirements for the NPDES, and the preparation of a WQMP are standards conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project from water erosion either on-, or off-site are considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

20. Wind Erosion and Blowsand from Project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source(s): *Map My County, Appendix A; Ordinance No. 484 (An Ordinance of the County of Riverside for the Control of Blowing Sand); Ordinance No. 457; and Project conditions of approval.*

Findings of Fact:

a) *Would the Project be impacted by or result in an increase in wind erosion and blowsand, either on or off site?*

Less Than Significant Impact

The proposed Project site is located in an area of “Moderate Wind Eroding” rating. Implementation of the proposed Project may be impacted by or result in an increase in wind erosion and blowsand, either on or off site. The County of Riverside Building and Safety Department has placed conditions of approval on the Project, as they pertain to Geology and Soils. Condition of approval (10.BS GRADE.3 (OBEY ALL GDC REGS)) for TR36644 states:

“All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.”

This is a standard condition for the County of Riverside and is not considered not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project related to an increase in wind erosion and blowsand, either on or off site, will remain less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

GREENHOUSE GAS EMISSIONS. Would the Project:

21. Greenhouse Gas Emissions.

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source(s): *Tentative Tract Map No. 36644 Greenhouse Gas Analysis, prepared by Urban Crossroads, Inc., February 21, 2017 (GHG Analysis, Appendix F).*

Findings of Fact:

- a) *Would the Project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?*

Less Than Significant Impact

Project Related Greenhouse Gas Emissions

California Environmental Quality Act (CEQA) Guidelines Section 15064.4 (b) (1) states that a lead agency may use a model or methodology to quantify greenhouse gas emissions associated with a project.

On October 2, 2013, the South Coast Air Quality Management District (SCAQMD) in conjunction with the California Air Pollution Control Officers Association (CAPCOA) released the latest version of the California Emissions Estimator Mode (CalEEMod) v2013.2.2. The purpose of this model is to more accurately calculate construction-source and operational-source criteria pollutant (NO_x, VOC, PM₁₀, PM_{2.5}, SO_x, and CO) and greenhouse gas (GHG) emissions from direct and indirect sources; and quantify applicable air quality and GHG reductions achieved from mitigation measures. Accordingly, the latest version of CalEEMod has been used for this Project to determine construction and operational air quality impacts. Output from the model runs for both construction and operational activity are provided in Appendix 3.1 of the *GHG Analysis*.

Construction and Operational Life-Cycle Analysis

A full life-cycle analysis (LCA) for construction and operational activity is not included in the *GHG Analysis* due to the lack of consensus guidance on LCA methodology at this time. LCA (i.e., assessing economy-wide GHG emissions from the processes in manufacturing and transporting all raw materials used in the project development, infrastructure and on-going operations) depends on emission factors or econometric factors that are not well established for all processes. At this time, an LCA would be extremely speculative and thus has not been prepared.

Construction Emissions

Construction activities associated with the proposed Project will result in emissions of CO₂ and CH₄ from construction activities.

For construction phase Project emissions, GHGs are quantified and amortized over the life of the Project. To amortize the emissions over the life of the Project, the SCAQMD recommends calculating the total greenhouse gas emissions for the construction activities, dividing it by a 30-year project life then adding that number to the annual operational phase GHG emissions. As such, construction emissions were amortized over a 30-year period and added to the annual operational phase GHG emissions. These are shown to be 24.96 MTCO_{2e} per year in **Table 21-1, Total Project Greenhouse Gas Emissions (Annual)**, below.

**Table 21-1
Total Project Greenhouse Gas Emissions (Annual)**

Emission Source	Emissions (metric tons per year)			
	CO ₂	CH ₄	N ₂ O	Total CO ₂ E
Annual construction-related emissions amortized over 30 years	24.86	4.90E-03	0.00	24.96
Area	8.99	7.50E-04	1.50E-04	9.06
Energy	117.54	4.52E-03	1.79E-03	118.19
Mobile Source	453.62	1.00E-02	0	453.92
Waste	8.32	0.49	0.00	18.65
Water Usage	11.03	0.07	1.88E-03	13.19
Total CO₂E (All Sources)	637.97			
SCAQMD Threshold	3,000			
Significant?	NO			

Source: CalEEMod™ model output. See Appendix 3.1 of the *GHG Analysis* for detailed model outputs.

Note: Totals obtained from CalEEMod™ and may not total 100% due to rounding. Table results include scientific notation. *e* is used to represent *times ten raised to the power of* (which would be written as $\times 10^{\text{bn}}$) and is followed by the value of the exponent

Operational Emissions

Operational activities associated with the proposed Project will result in emissions of CO₂, CH₄, and N₂O from the following primary sources:

- Area Source Emissions;
- Energy Source Emissions;
- Mobile Source Emissions;
- Solid Waste; and
- Water Supply, Treatment and Distribution.

These primary emission sources are discussed in greater detail, below.

Area Source Emissions

1. Hearths/Fireplaces

GHG emissions would result from the combustion of wood or biomass and are considered biogenic emissions of CO₂. The emissions associated with use of hearths/fireplaces were calculated based on assumptions provided in the CalEEMod. The Project is required to comply with *SCAQMD Rule 445*, which prohibits the use of wood burning stoves and fireplaces in new development. In order to account for the requirements of this Rule, the unmitigated CalEEMod estimates were adjusted to remove wood burning stoves and fireplaces. As the Project is required to comply with *SCAQMD Rule 445*, the removal of wood burning stoves and fireplaces is not considered "mitigation" although it must be identified as such in CalEEMod in order to treat the case appropriately.

2. Landscape Maintenance Equipment

Landscape maintenance equipment would generate emissions from fuel combustion and evaporation of unburned fuel. Equipment in this category would include lawnmowers, shredders/grinders, blowers, trimmers, chain saws, and hedge trimmers used to maintain the

landscaping of the Project. CalEEMod default parameters were used to estimate emissions associated with landscape maintenance equipment for the Project scenario.

Energy Source Emissions – Combustion Emissions Associated with Natural Gas and Electricity

GHGs are emitted from buildings as a result of activities for which electricity and natural gas are typically used as energy sources. Combustion of any type of fuel emits CO₂ and other GHGs directly into the atmosphere; these emissions are considered direct emissions associated with a building. GHGs are also emitted during the generation of electricity from fossil fuels; these emissions are considered to be indirect emissions. CalEEMod default parameters were used to estimate electricity and natural gas demand for the Project scenario.

Mobile Source Emissions – Vehicles

GHG emissions will also result from mobile sources associated with the Project. These mobile source emissions will result from the typical daily operation of motor vehicles by visitors and residents. Trip characteristics available from *Tentative Tract Map No. 36644 Trip Generation Evaluation*, **Appendix J** were utilized in this analysis.

Solid Waste

Residential land uses will result in the generation and disposal of solid waste. A large percentage of this waste will be diverted from landfills by a variety of means, such as reducing the amount of waste generated, recycling, and/or composting. The remainder of the waste not diverted will be disposed of at a landfill. GHG emissions from landfills are associated with the anaerobic breakdown of material. CalEEMod default parameters were used to estimate GHG emissions associated with the disposal of solid waste for the Project scenario.

Water Supply, Treatment and Distribution

Indirect GHG emissions result from the production of electricity used to convey, treat and distribute water and wastewater. The amount of electricity required to convey, treat and distribute water depends on the volume of water as well as the sources of the water. CalEEMod default parameters were used to estimate GHG emissions associated with water supply, treatment and distribution for the Project scenario.

The annual GHG emissions associated with the construction and operation of the proposed Project are estimated to be 637.97 MTCO_{2e} per year as summarized in **Table 21-1, Total Project Greenhouse Gas Emissions (Annual)**. Direct and indirect operational emissions associated with the Project are compared with the County of Riverside's threshold of significance, which is 3,000 MTCO_{2e} per year. As shown, the proposed Project would result in a less than significant impact with respect to GHG emissions. No mitigation is required.

- b) *Would the Project conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?*

No Impact

The purpose of the County's Climate Action Plan (CAP) is to provide guidance on how to analyze GHG emissions and determine significance during the CEQA review of proposed development projects within the County. To address the state's requirement to reduce GHG emissions, the County prepared its CAP with the goal of reducing GHG emissions within the County by 15% below "existing" 2008 levels by the year 2020. The County's target is consistent with the Assembly Bill

32 (AB 32) target and ensures that the County will be providing GHG reductions locally that will complement state efforts to reduce GHG emissions. Because the County's CAP addresses GHG emissions reductions and is consistent with the requirements of AB 32 and international efforts to reduce GHG emissions, compliance with the CAP fulfills the description of mitigation found in the State CEQA Guidelines.

The CAP identifies a two-step approach in evaluating GHG emissions. First, a screening threshold of 3,000 MTCO₂e per year is used to determine if additional analysis is required. Projects that exceed the 3,000 MTCO₂e per year will be required to achieve at least a 25% reduction of GHG emissions from a 2011-year level of efficiency compared to the mitigated Project buildout year.

As shown on **Table 21-1, Total Project Greenhouse Gas Emissions (Annual)**, above, the Project will result in approximately 637.97 MTCO₂e per year; the proposed Project would not exceed the County's screening threshold of 3,000 MTCO₂e per year. Thus, Project-related emissions would not have a significant direct or indirect impact on GHG and climate change and would not require additional analysis. As stated above in Section 21.a, the proposed Project would result in a less than significant impact with respect to GHG emissions. Therefore, the Project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HAZARDS AND HAZARDOUS MATERIALS. Would the Project:				
22. Hazards and Hazardous Materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Phase I Environmental Site Assessment of Vacant Undeveloped Property Assessor Parcel Number 966-380-004 Temecula, California 92592*, prepared by Earth Strata Geotechnical Services, October 29, 2016 (ESA, **Appendix G**); Temecula Valley Unified School District web site; GEOTRACKER website; *The Department of Toxic Substances Control's Hazardous Waste and Substances Site List (Cortese List)* web site; and Project conditions of approval.

Findings of Fact:

- a) *Would the Project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?*

Less Than Significant Impact

During construction, there is a potential for accidental release of petroleum products from vehicles and equipment to pose a significant hazard to people and the environment. It is anticipated that the Storm Water Pollution Prevention Plan (SWPPP) prepared for the proposed Project and it can reduce such hazards to a less than significant level through best management practices (BMPs) incorporated into the SWPPP design. The County of Riverside Building and Safety Department has placed conditions of approval on the Project, as they pertain to Hazards and Hazardous Materials. Condition of Approval 60.BS GRADE. 1 addresses the SWPPP requirement for the proposed Project, and states:

“Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: “Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of “ONE” acre or larger. The owner operator can comply by submitting a “Notice of Intent” (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.”

Additionally, at the time the County adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.”

Condition of Approval 60.BS GRADE. 1, as written, is a standard condition for the County of Riverside and is not considered mitigation for CEQA implementation purposes. With the inclusion of this standard condition, any impacts from implementation of the proposed Project construction related to significant hazards to the public or the environment through the routine transport, use, or disposal of hazardous materials, are considered less than significant. No mitigation is required.

The proposed Project operation will consist of residential uses that do not involve significant potential for routine transport or use of substantial volumes of hazardous materials or routine generation of hazardous wastes beyond those normally encountered with these uses. The generation of such wastes from uses is not considered to rise to a level of a significant potential for significant risk of accidental release of hazardous materials or accidental explosion. Any operational impacts are considered less than significant and no mitigation is required.

- b) *Would the Project create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?*

Less Than Significant Impact

During construction, there is a potential for accidental release of petroleum products in sufficient quantity to pose a significant hazard to people and the environment. Impacts may occur during

construction; however, with the incorporation of standard conditions, such as the SWPPP and WQMP, any impacts will remain less than significant.

Hazardous materials anticipated during operations are anticipated to be those most commonly associated with residences and landscaping, which include cleaning products, petroleum products, etc. These types of hazardous materials are not potentially hazardous to large numbers of people. Therefore, the Project will not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Based on this information, any impacts are considered less than significant. No additional mitigation is required.

- c) *Would the Project impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?*

Less Than Significant Impact

The Project will be located northerly of Anza Road, and westerly of Butterfield Stage Road, both of which are not developed to their ultimate right-of-way (ROW) in the Project vicinity. A limited potential to interfere with an emergency response or evacuation plan will occur during construction. Control of access will ensure emergency access to the site and Project area during construction through the submittal and approval of a traffic control plan (TCP). The TCP is designed to mitigate any construction circulation impacts. The TCP is standard condition and is not considered unique mitigation under CEQA. Following construction, emergency access to the Project site and area will remain as was prior to the proposed Project. Therefore, implementation of the Project will not impair implementation of, or physically interfere, with an adopted emergency response plan or an emergency evacuation plan. Any impacts are considered less than significant. No mitigation is required.

- d) *Would the Project emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?*

No Impact

The Project site is located within the Temecula Valley Unified School District (TVUSD). No phases of implementation of the proposed Project will emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. According to the TVUSD web-site, no existing or proposed schools are located within one-quarter mile (1,250 feet) of the proposed Project site. The closest school to the proposed Project site is Tony Tobin Elementary School, which is located approximately 1,450 feet westerly of the proposed Project site. No impacts are anticipated. No mitigation is required.

- e) *Would the Project be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?*

No Impact

The California State Waterboards GEOTRACKER site provides information regarding Leaking Underground Storage Tanks, Other Cleanup Sites, Land Disposal Sites, Military Sites, WDR Sites, Permitted Underground Storage Tank (UST) Facilities, Monitoring Wells, Department of Toxic Substances (DTSC) Cleanup Sites and DTSC Hazardous Waste Permit Sites.

According to the GEOTRACKER site, there are no Leaking Underground Storage Tanks, Other Cleanup Sites, Land Disposal Sites, Military Sites, WDR Sites, Permitted Underground Storage Tank (UST) Facilities, Monitoring Wells, DTSC Cleanup Sites and DTSC Hazardous Waste Permit Sites on the proposed Project site. Detailed information is shown on **Figure 11, GEOTRACKER Site**.

The DTSC's Hazardous Waste and Substances Site List (Cortese List) does not show any Hazardous Waste and Substances Sites currently located within the proposed Project site. This information is shown on **Figure 12, ENVIROSTOR Site**.

Based upon the available data, there is no evidence to support that hazardous wastes or contamination would be present on the site. No additional mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
23. Airports.				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the Project result in a safety hazard for people residing or working in the Project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *Map My County, Appendix A; SWAP Figure 5, Southwest Plan Airport Influence Area (p. 42); and Figure 3, Aerial Photo.*

Findings of Fact:

a) *Would the Project result in an inconsistency with an Airport Master Plan?*

No Impact

The Project site is not located in an area which is governed by an airport master plan. The closest airport is the French Valley Airport, which is located approximately 8.5 miles to the northwest of the Project site. The outer zone of the airport influence area for the French Valley Airport is approximately 5.5 miles from the Project site. Therefore, this criterion is not applicable to the Project. No impacts are anticipated. No mitigation is required.

b) *Would the Project require review by the Airport Land Use Commission?*

No Impact

As referenced above in Section 23.a, the Project is not within the airport master plan and is outside the outer zone of the airport influence area. Furthermore, ALUC has determined the Project is not required to be reviewed by an airport land use commission. This criterion is not applicable to the Project. No impacts are anticipated. No mitigation is required.

- c) *Would the Project result in a safety hazard for people residing or working in the Project area for a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport?*

No Impact

The closest airport is the French Valley Airport, which is located approximately 8.5 miles to the northwest of the Project site. The outer zone of the airport influence area for the French Valley Airport is approximately 5.5 miles from the Project site. Therefore, this criterion is not applicable to the Project. No impacts are anticipated. No mitigation is required.

- d) *For a project within the vicinity of a private airstrip, or heliport, would the Project result in a safety hazard for people residing or working in the Project area?*

No Impact

Based on a review of an aerial photo of the proposed Project site and its immediate environs, the proposed Project is not located within the vicinity of a private airstrip, or heliport. The closest heliport would be located at the Temecula Valley Hospital, approximately 3.25 miles to the northwest of the Project site. The heliport is for hospital use only, therefore, implementation of the proposed Project would not result in a safety hazard for people residing or working in the proposed Project area. No impacts are anticipated and no mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
24. Hazardous Fire Area.				
a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County, Appendix A; and Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program).*

Findings of Fact:

- a) *Would the Project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?*

Less Than Significant Impact

The proposed Project site is located within a very high fire area. The proposed Project site is identified to be within a State Fire Responsibility Area.

The proposed Project has been reviewed by the Riverside County Fire Department and conditions of approval have been placed on the proposed Project to address any potential impacts to Fire Resources, consistent with the Fire Hazards section of the Safety Element of the General Plan.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to fire services. This is reflected in Ordinance No. 659. The Project site is located in Area Plan 19 – Southwest Area. The project will pay Development Impact Fees (DIF) for each single family residential for fire protection. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance.

With the inclusion of these standard conditions, and payment of DIF, any impacts from implementation of the proposed Project would not expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands. Less than significant impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY. Would the Project:				
25. Water Quality Impacts.				
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County, Appendix A; Preliminary Project Specific Water Quality Management Plan, Anza Butterfield TTM 36644, prepared by K&A Engineering, Inc., December 19, 2016 (WQMP, Appendix H1); Drainage Study for Tentative Tract Map No. 36644 in the County of Riverside, prepared by K&A Engineering, Inc., November 2016; (Drainage Study, Appendix H2); Figure 8, TR36644 WQMP BMPs Site Plan; and Figure 13, County Flood Map.*

Findings of Fact:

- a) *Would the Project substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?*

Less Than Significant Impact

The existing drainage flows from the Project are split into two drainage areas – west area and east area. The western drainage area (4.0 acres) drains to the west and is intercepted by an existing 54” drainage system per Tract 29473, which is maintained by Riverside County Flood Control and Water Conservation District (RCFC&WCD). The eastern drainage area (8.9 acres) drains northerly and is intercepted by an existing 72” drainage system per Tract 29473, storm drain plan Project No. 7-0-058, which is also maintained by RCFC&WCD.

The proposed development area includes a water quality and detention basin. All of the proposed drainage flows for the Project are carried via street and underground storm drain systems to one (1) water quality and detention basin located in the northern area of the Project. The Q100 flow from the Project is 27.1 cubic feet per second (cfs). The design Q100 capacity of the existing drainage system that we connect to is 349.7 cfs.

The proposed site plan, including the grading and drainage design, for TR36644 are in conformance with County of Riverside standards and requirements. The peak flow, post-project water quality will be mitigated with the use of proposed Infiltration Basin per Santa Margarita Region Hydromodification Management Plan.

Erosion and Sediment Control will be provided during construction for all disturbed areas within the Project site.

The proposed Project has been reviewed and conditioned by the RCFC&WCD, County Building Department, and County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES.

These are standards conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project related to substantially alter the existing drainage pattern of

the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site, are considered less than significant. No mitigation is required.

- b) *Would the Project violate any water quality standards or waste discharge requirements?*

Less Than Significant Impact

The proposed Project has been reviewed and conditioned by the RCFC&WCD, County Building Department, and County Transportation Department, to eliminate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES.

As referenced above in Section 25.a of Hydrology and Water Quality, these are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project that would violate any water quality standards or waste discharge requirements are considered less than significant. No mitigation is required.

- c) *Would the Project substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?*

Less Than Significant Impact

RCWD provides water service to the Project site through their regional water system. There are no existing water wells on this property. Groundwater supply is addressed in Section 46.a of this Initial Study. No component of the proposed Project will deplete groundwater supplies. The Project design, as depicted on the Project plans and Project-specific WQMP, will allow for water to percolate back into the ground and allow for groundwater discharge. This will offset any impacts from the other non-pervious elements contained in the proposed Project. Therefore, implementation of the proposed Project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Any impacts are considered less than significant. No mitigation is required.

- d) *Would the Project create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?*

Less Than Significant Impact

The proposed site plan, including the grading and drainage design, for TR36644 are in conformance with County of Riverside standards and requirements. The proposed storm drain system will drain into the existing downstream drainage facilities in Tract 29473, a 72 inch Reinforced Concrete Pipe (RCP).

The peak flow, post-Project water quality will be mitigated with the use of proposed Infiltration Basin per Santa Margarita Region Hydromodification Management Plan.

Erosion and Sediment Control will be provided during construction for all disturbed areas within the project site.

Impacts to the existing downstream drainage facilities due to runoff from TR36644 will be less than in the existing, pre-developed condition.

The proposed Project has been reviewed and conditioned by the RCFC&WCD, County Building Department, and County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES.

As referenced above in Section 25.a of Hydrology and Water Quality, these are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes. With the inclusion of these standard conditions, any impacts from implementation of the proposed Project that would create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff, are considered less than significant. No mitigation is required.

- e) *Would the Project place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?*

No Impact

The proposed Project site is not located within a 100-year flood hazard area. Please reference **Figure 13, County Flood Map**.

Therefore, implementation of the Project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. No impacts are anticipated. No mitigation is required.

- f) *Would the Project place within a 100-year flood hazard area structures which would impede or redirect flood flows?*

No Impact

The proposed Project site is not located within a 100-year flood hazard area. Please reference **Figure 13, County Flood Map**.

Therefore, implementation of the proposed Project will not place within a 100-year flood hazard area, structures which would impede or redirect flood flows. No impacts are anticipated. No mitigation is required.

- g) *Would the Project otherwise substantially degrade water quality?*

Less Than Significant Impact

The proposed Project has been reviewed and conditioned by the RCFC&WCD, County Building Department, and County Transportation Department, to mitigate any potential impacts as listed above through site design and the preparation of a WQMP and adherence to the requirements of the NPDES.

As referenced above in Section 25.a of Hydrology and Water Quality, these are standard conditions for the County of Riverside and are not considered mitigation for CEQA implementation purposes.

With the inclusion of these standard conditions, any impacts from implementation of the proposed Project that would substantially degrade water quality are considered less than significant. No mitigation is required.

- h) *Would the Project include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?*

Less Than Significant Impact

There are no stormwater treatment facilities within the Project site under existing conditions. The proposed Project will install new storm water treatment facilities, including: new storm drains, two (2) catch basins, and one (1) water quality basin located at the northern portion of the Project site. A 15-foot wide service road has been provided for on-going maintenance of the water quality basin. Structural and occupancy source measures shall consist of the following low impact design (LID) practices:

- Conservation design;
- Runoff conveyance;
- Roof downspout connections;
- Efficient/low impact landscaping;
- Non stormwater discharges;
- Street trees and parkway; and
- Landscape and irrigation system.

All These facilities shall meet County requirements to capture and manage the discharge of surface runoff without any substantial change in the rate or amount. To ensure that onsite surface water features are managed in a manner that prevents vector breeding and vector nuisances, BMPs as defined above shall be installed. Conditions of shall also be provided to ensure these stormwater treatment facilities will be installed either during grading of the Project site or concurrent with these grading activities. A potential for odors does exist if basins are not maintained and organic matter not removed periodically. No other significant environmental effects have been identified from constructing and operating the proposed stormwater treatment facilities that must be installed to support the proposed Project. Any impacts are considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
26. Floodplains.				
Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.				
NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>		R - Restricted <input type="checkbox"/>	
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *Map My County, Appendix A; WQMP, Appendix H1; Drainage Study, Appendix H2; Figure 8, TR36644 WQMP BMPs Site Plan; and Figure 13, County Flood Map.*

Findings of Fact:

- a) *Would the Project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?*

Less Than Significant Impact

The proposed Project site's existing drainage pattern will be altered, due to the cut and fill activities associated with site grading.

The proposed site plan, including the grading and drainage design, for TR36644 are in conformance with County of Riverside standards and requirements. The proposed storm drain system will drain into the existing downstream drainage facilities in Tract 29473, a 72 inch RCP.

The peak flow, post-project water quality will be mitigated with the use of proposed Infiltration Basin per Santa Margarita Region Hydromodification Management Plan.

Erosion and Sediment Control will be provided during construction for all disturbed areas within the Project site.

Impacts to the existing downstream drainage facilities due to runoff from TR36644 will be less than in the existing, pre-developed condition.

The proposed Project site's existing drainage pattern will be altered, due to the cut and fill activities associated with site grading, but the proposed Project engineering plans have taken considerable care to ensure that future runoff patterns (local watersheds) are maintained and that the volume of water discharged will not exceed the current volumes as required by the County and Regional

Boards. The detailed information supporting these findings is provided in the *WQMP*. Thus, the proposed Project will alter the drainage pattern but it will not alter the course of a stream or river and it will not substantially increase the rate or amount of surface runoff in a manner that will cause any significant flooding on- or off-site. Development of the site with buildings, hardscape and landscape will alter the current, natural sheet flow drainage pattern on the site. Any impacts are considered less than significant. No mitigation is required.

b) *Would the Project result in changes in absorption rates or the rate and amount of surface runoff?*

Less Than Significant Impact

Future impermeable surfaces can be compared to the existing site, which does not have any impervious surface within its boundaries. The proposed Project will install new storm water treatment facilities, including: new storm drains, two (2) catch basins, and one (1) water quality basin located at the northern portion of the Project site. A 15-foot wide service road has been provided for on-going maintenance of the water quality basin. Structural and occupancy source measures shall consist of the following low impact design (LID) practices:

- Conservation design;
- Runoff conveyance;
- Roof downspout connections;
- Efficient/low impact landscaping;
- Non stormwater discharges;
- Street trees and parkway; and
- Landscape and irrigation system.

All these facilities shall meet County requirements to capture and manage the discharge of surface runoff without any substantial change in the rate or amount. Based on these findings, the Project will not cause a significant impact to onsite and offsite surface runoff as a result of the proposed change in absorption rates. No mitigation is required.

c) *Would the Project expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?*

No Impact

Implementation of the Project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area). Figure 10, *Southwest Area Plan Special Flood Hazard Areas*, of the *SWAP* indicates that Murrieta Creek, Temecula Creek, Santa Gertrudis Creek, and Tocalota Creek pose significant flood hazards within the *SWAP*. Dam failure of the Lake Skinner and Vail Lake would cause flooding in the *SWAP*, but not on the Project site. The Project is not within a 100-year flood hazard area, or a Dam Inundation Area. Therefore, no flood hazards exist that would expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area).

d) *Would the Project result in changes in the amount of surface water in any water body?*

Less Than Significant Impact

Aside from the accumulations of water in one (1) underground infiltration and storage tank facility, the proposed Project is not forecast to substantially change the amount of surface water in any

water body, including during future storms up to the 100-year runoff volume. Any impacts are considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
LAND USE and PLANNING. Would the Project:				
27. Land Use.				
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): *General Plan Land Use Designations – Zoning Consistency Guidelines; Map My County, Appendix A; Ordinance No. 348 (Providing for Land Use Planning and Zoning Regulations and Related Functions of the County of Riverside); and City of Temecula General Plan website.*

Findings of Fact:

a) *Would the Project result in a substantial alteration of the present or planned land use of an area?*

Less Than Significant Impact

The Project site currently has a General Plan Land Use Plan designation of Medium Density Residential (MDR, 2 – 5 dwelling units/acre). The General Plan Land Use Plan designations surrounding the Project site are:

- **North:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **South:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **East:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **West:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)

The current zoning classification for the Project is R-A-5. Change of Zone No. 07901 (CZ07901) would change this designation from R-A-5 to R-1. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. The Project, as designed, meets the zoning development standards contained in Ordinance No. 348, in terms of heights, setbacks, lot coverage, parking, and landscaping.

The Project is consistent with the existing and any proposed development in proximity to the Project site. Therefore, implementation of the proposed Project will not result in a substantial alteration of the present or planned land use of an area. Any impacts are considered less than significant. No mitigation is required.

b) *Would the Project affect land use within a city sphere of influence and/or within adjacent city or county boundaries?*

Less Than Significant Impact

According to the City of Temecula (City) General Plan Land Use Map (Figure LU-3, *Land Use Policy Map*) the Project site is located within the City's adopted "Planning Area." According to The City's General Plan Land Use designation is Rural Residential (RR, 0-0.2 dwelling units/acre). According to Table LU-7, Rural Preservation Areas of the Temecula General Plan (p. LU-37), the objective for this area, as defined by the City is:

"Preserve rural residential densities in the area surrounding the Morgan Hill Specific Plan by promoting only Rural density residential development, supplemented by open space buffers and greenways defining the urban edge of Temecula."

This objective is inconsistent with the County's General Plan Land Use Plan designation of MDR. The General Plan Land Use Plan designations surrounding the Project site are:

- **North:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **South:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **East:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **West:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)

Therefore, the Project site and the surrounding development (existing and proposed) are not consistent with the City's objectives. However, the Project is not located within the City's adopted Sphere of Influence. The Project and surrounding development are consistent with the County's General Plan.

Although the Project is not consistent with the City's Planning designation outside its Sphere of Influence, implementation of the Project would not affect land use within a city sphere of influence and/or within adjacent city or county boundaries. Any impacts are considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Planning.				
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): *General Plan Land Use Designations – Zoning Consistency Guidelines; Map My County, Appendix A; Ordinance No. 348; and Figure 3, Aerial Photo.*

Findings of Fact:

a) *Would the Project be consistent with the site's existing or proposed zoning?*

Less Than Significant Impact

The current zoning classification for the Project site is R-A-5. Change of Zone No. 07901 (CZ07901) would change this classification from R-A-5 to R-1. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. The Project, as designed, meets the zoning development standards contained in Ordinance No. 348, in terms of heights, setbacks, lot coverage, parking and landscaping.

Therefore, implementation of the proposed Project will be consistent with the zoning as proposed with the approval of CZ07901. Any impacts are considered less than significant. No mitigation is required.

b) *Would the Project be compatible with existing surrounding zoning?*

No Impact

The zoning classification on the Project site is Residential Agricultural, 5-acre minimum (R-A-5) and is proposed to be modified to One Family Dwelling (R-1). The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan.

The zoning classifications surrounding the Project are:

- **North:** One-Family Dwelling 18,000 square foot minimum (R-1-18000) and One-Family Dwelling 12,000 square foot minimum (R-1-12000)
- **South:** One Family Dwelling (R-1)
- **East:** One Family Dwelling (R-1)
- **West:** One Family Dwelling (R-1)

The Project's zoning classification of R-1 will be consistent with the surrounding development zoning classifications. No impacts are anticipated. No mitigation is required.

c) *Would the Project be compatible with existing and planned surrounding land uses?*

No Impact

CZ07901 proposes to change the current zoning classification of the Project site from R-A-5 to R-1. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. The zoning classifications surrounding the Project site are shown in above in Section 28.b.

The Project's zoning classification of R-1 will be consistent with the surrounding development zoning classifications. Not all of the surrounding area is developed; however, once developed, it will be at a MDR/R-1 density. Therefore, Project will be compatible with existing and planned surrounding land uses. No impacts are anticipated. No mitigation is required.

d) *Would the Project be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?*

Less Than Significant Impact

The Project site currently has a General Plan Land Use Plan designation of Medium Density Residential (MDR, 2 – 5 dwelling units/acre). The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. According to the RCIP General Plan Land Use Designations – Zoning Consistency Guidelines, the R-1 designation is “highly consistent” with the General Plan Land Use Plan designation of MDR.

The Project is not located within a specific plan area; therefore, this is not applicable.

The Project will be consistent with the land use designations and policies of the General Plan. Any impacts are considered less than significant. No mitigation is required.

e) *Would the Project disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?*

No Impact

The Project is consistent with the existing General Plan Land Use Plan designations, zoning classifications (upon approval of CZ07901), developed and proposed uses. There is no low-income or minority community on the Project site; therefore, this is not applicable. The area surrounding the Project is either currently developed with residential development, or is planned for these types of uses. Based on this information, Project would not disrupt or divide the physical arrangement of an established community (including a low-income or minority community) because the project site is not adding additional roads in between developed parcels. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

MINERAL RESOURCES. Would the Project:

29. Mineral Resources.

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?

b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?

d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?

Source(s): *General Plan, Multipurpose Open Space Element, Figure OS-6, “Mineral Resources Area” (p. OS-41); Map My County, Appendix A; and Project Site Visit – February 17, 2017 by Matthew Fagan.*

Findings of Fact:

a) *Would the Project result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?*

No Impact

The State Mining and Geology Board (SMGB) has established Mineral Resources Zones (MRZ) using the following classifications:

- MRZ-1: Areas where the available geologic information indicates no significant mineral deposits or a minimal likelihood of significant mineral deposits;
- MRZ-2a: Areas where the available geologic information indicates that there are significant mineral deposits;
- MRZ-2b: Areas where the available geologic information indicates that there is a likelihood of significant mineral deposits;
- MRZ-3a: Areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined; and
- MRZ-4: Areas where there is not enough information available to determine the presence or absence of mineral deposits.

The Project site is designated MRZ-3a (areas where the available geologic information indicates that mineral deposits are likely to exist, however, the significance of the deposits is undetermined). The Project site has not been used for mining. The Project will include single-family residential uses in an area where these uses currently exist, and will be the predominant future uses in the area. Therefore, the Project is not expected to result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. No impacts are anticipated. No mitigation is required.

b) Would the Project result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

No Impact

The existing General Plan Land Use Plan Designation on the site is Medium Density Residential (MDR, 2-5 units per acre). The General Plan Land Use Plan designations surrounding the Project site are:

- **North:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **South:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **East:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)
- **West:** Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC)

The zoning classification on the Project site is Residential Agricultural, 5-acre minimum (R-A-5) and is proposed to be modified to One Family Dwelling (R-1). The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan.

The zoning classifications surrounding the Project site are:

- **North:** One-Family Dwelling 18,000 square foot minimum (R-1-18000) and One-Family Dwelling 12,000 square foot minimum (R-1-12000)
- **South:** One Family Dwelling (R-1)
- **East:** One Family Dwelling (R-1)
- **West:** One Family Dwelling (R-1)

Therefore, implementation of the proposed Project will not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, as the General Plan

and zoning do not delineate a locally-important mineral resource recovery site. There is no specific plan or other land use plan that apply to the Project. No impacts are anticipated. No mitigation is required.

c) *Would the Project be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?*

No Impact

Based on a Project Site Visit – February 17, 2017 by Matthew Fagan, it was observed that the Project site is not adjacent to a State classified or designated area or existing surface mines. Therefore, implementation of the proposed Project will not result in an incompatible land use located adjacent to a State classified or designated area or existing surface mines. No impacts are anticipated. No mitigation is required.

d) *Would the Project expose people or property to hazards from proposed, existing or abandoned quarries or mines?*

No Impact

Based on a Project Site Visit – February 17, 2017 by Matthew Fagan, it was observed that the Project is not located adjacent to an existing surface mine or a quarry. Therefore, implementation of the proposed Project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

NOISE. Would the Project result in:

Definitions for Noise Acceptability Ratings.

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise.

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the Project expose people residing or working in the Project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?

NA A B C D

Source(s): SWAP Figure 5, *Southwest Plan Airport Influence Area* (p. 42); and **Figure 3, Aerial Photo.**

Findings of Fact:

- a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the Project expose people residing or working in the Project area to excessive noise levels?

No Impact

The Project site is not located in an area which is governed by an airport master plan. The closest airport is the French Valley Airport, which is located approximately 8.5 miles to the northwest of the Project site. The outer zone of the airport influence area for the French Valley Airport is approximately 5.5 miles from the Project site. Therefore, this criterion is not applicable to the Project. No impacts are anticipated. No mitigation is required.

- b) For a project within the vicinity of a private airstrip, would the Project expose people residing or working in the Project area to excessive noise levels?

No Impact

Based on a review of an aerial photo of the proposed Project site and its immediate environs, the proposed Project is not located within the vicinity of a private airstrip or heliport. The closest helipad would be located at the Temecula Valley Hospital, approximately 3.25 miles to the northwest of the Project site. Therefore, implementation of the proposed Project would not expose people residing or working in the Project area to excessive noise levels. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
31. Railroad Noise. NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): SWAP, Figure 7, "Southwest Area Plan Circulation," (p. 52).

Findings of Fact:

No Impact

There are no railroad lines in proximity to the Project. The nearest active rail line is the Metrolink, located in Perris, CA, approximately 23+ miles to the north of the Project site. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

32. Highway Noise.

NA A B C D

Source(s): Google Maps

Findings of Fact:

There are no highways in proximity to the Project. The nearest highway is SR79 South, which is located approximately 1.63 miles to the north of the Project site. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

33. Other Noise.

NA A B C D

Source(s): Map My County, Appendix A.

Findings of Fact:

No Impact

The proposed Project is not anticipated to be affected by other types of noise as listed above and below (Sections 30, 31, 32, and 34). No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

34. Noise Effects on or by the Project.

a) A substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project?

b) A substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general

plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source(s): N/A, Appendix I.

Findings of Fact:

Fundamentals of Sound and Environmental Noise

Noise can be defined as unwanted sound. Sound (and therefore noise) consists of energy waves that people receive and interpret. Sound pressure levels are described in logarithmic units of ratios of sound pressures to a reference pressure, squared. These units are called bels. In order to provide a finer description of sound, a bel is subdivided into ten decibels, abbreviated dB. To account for the range of sound that human hearing perceives, a modified scale is utilized known as the A-weighted decibel (dBA). Since decibels are logarithmic units, sound pressure levels cannot be added or subtracted by ordinary arithmetic means. For example, if one automobile produces a sound pressure level of 70 dBA when it passes an observer, two cars passing simultaneously would not produce 140 dBA. In fact, they would combine to produce 73 dBA. This same principle can be applied to other traffic quantities as well. In other words, doubling the traffic volume on a street or the speed of the traffic will increase the traffic noise level by 3 dBA. Conversely, halving the traffic volume or speed will reduce the traffic noise level by 3 dBA. A 3 dBA change in sound is the beginning at which humans generally notice a barely perceptible change in sound and a 5 dBA change is generally readily perceptible.

Noise consists of pitch, loudness, and duration; therefore, a variety of methods for measuring noise have been developed. According to the California General Plan Guidelines for Noise Elements, the following are common metrics for measuring noise:

LEQ (Equivalent Energy Noise Level): The sound level corresponding to a steady-state sound level containing the same total energy as a time-varying signal over given sample periods. LEQ is typically computed over 1-, 8-, and 24-hour sample periods.

CNEL (Community Noise Equivalent Level): The average equivalent A-weighted sound level during a 24-hour day, obtained after addition of five decibels to sound levels in the evening from 7:00pm to 10:00pm and after addition of ten decibels to sound levels in the night from 10:00pm to 7:00am.

LDN (Day-Night Average Level): The average equivalent A-weighted sound level during a 24-hour day, obtained after the addition of ten decibels to sound levels in the night after 10:00pm and before 7:00am.

CNEL and LDN are utilized for describing ambient noise levels because they account for all noise sources over an extended period of time and account for the heightened sensitivity of people to noise during the night. LEQ is better utilized for describing specific and consistent sources because of the shorter reference period.

a) *Would the Project result in a substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project?*

Less Than Significant Impact

No permanent increases in ambient noise levels are anticipated during the construction phase of the Project. Construction by its nature is temporary. Construction related impacts to ambient noise levels are addressed below in Section 34.b).

Operational noise sources would be those typically associated with single-family residences (automobiles, landscaping equipment, occasional parties). The Project site is located in an area with existing and proposed single-family residences. Hence, there will be compatibility with the surrounding uses in terms of noise levels. Residential land uses are typically quiet in nature. Any impacts are considered less than significant.

The Project may provide noise attenuation from I-15 (once constructed) to the existing residences to the west of the Project. This is seen as a beneficial aspect of the Project.

Based on this information, the Project will not result in a substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project. No mitigation is required.

- b) *Would the Project result in a substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project?*

Less Than Significant Impact

Due to the proximity of adjacent residences, immediately west of the Project site, the potential exists for significant temporary noise impacts from the proposed Project. Temporary increases in ambient noise levels will occur during the construction phase only. These impacts will be of short duration and will cease once the construction phase of the Project is completed. Precautions are taken to ensure the safety construction workers.

Temporary increases in ambient noise levels will occur during the construction phase only. These impacts will be of short duration and will cease once the construction phase of the Project is completed. Precautions are taken to ensure the safety construction workers.

To control noise impacts associated with the construction of the proposed Project, the County has established limits to the hours of operation. Section 9.52.020 of the County's Noise Regulation ordinance, indicates that noise associated with any private construction activity located within one-quarter of a mile from an inhabited dwelling is considered exempt between the hours of 6:00 a.m. and 6:00 p.m., during the months of June through September, and 7:00 a.m. and 6:00 p.m., during the months of October through May. Neither the County's General Plan nor Zoning Code establish numeric maximum acceptable construction source noise levels at potentially affected receivers, which would allow for a quantified determination of what CEQA constitutes a substantial temporary or periodic noise increase.

Noise generated by the Project construction equipment will include a combination of trucks, power tools, concrete mixers and portable generators that when combined can reach high levels. The number and mix of construction equipment is expected to occur in the following stages:

- Site Preparation;
- Grading;
- Building Construction;
- Paving; and
- Architectural Coating.

This construction noise analysis was prepared using reference noise level measurements taken by Urban Crossroads, Inc. to describe the typical construction activity noise levels for each stage of Project construction. The construction reference noise level measurements represent a list of typical construction activity noise levels. Noise levels generated by heavy construction equipment can range from approximately 62 dBA to in excess of 80 dBA when measured at 50 feet. However, these

noise levels diminish with distance from the construction site at a rate of 6 dBA per doubling of distance. For example, a noise level of 80 dBA measured at 50 feet from the noise source to the receiver would be reduced to 74 dBA at 100 feet from the source to the receiver, and would be further reduced to 68 dBA at 200 feet from the source to the receiver. The construction stages used in the *NIA* are consistent with the data used to support the construction emissions in the *Tentative Tract Map No. 36644 Air Quality Impact Analysis*, prepared by Urban Crossroads, Inc., February 21, 2017 (**Appendix C**).

Construction Noise Levels

To describe the Project construction noise levels, measurements were collected for similar activities at several construction sites. **Table 34-1, Construction Reference Noise Levels**, provides a summary of the construction reference noise level measurements. Since the reference noise levels were collected at varying distances, all construction noise level measurements presented on **Table 34-1, Construction Reference Noise Levels**, have been adjusted to describe a common reference distance of 50 feet (reference Noise Levels @ 50 Feet (dBA Leq)).

**Table 34-1
Construction Reference Noise Levels**

ID	Noise Source	Reference Distance From Source (Feet)	Reference Noise Levels @ Reference Distance (dBA Leq)	Reference Noise Levels @ 50 Feet (dBA Leq)⁶
1	Truck Pass-Bys & Dozer Activity ¹	30'	63.6	59.2
2	Dozer Activity ¹	30'	68.6	64.2
3	Construction Vehicle Maintenance Activities ²	30'	71.9	67.5
4	Foundation Trenching ²	30'	72.6	68.2
5	Rough Grading Activities ²	30'	77.9	73.5
6	Residential Framing ³	30'	66.7	62.3
7	Water Truck Pass-By & Backup Alarm ⁴	30'	76.3	71.9
8	Dozer Pass-By ⁴	30'	84.0	79.6
9	Two Scrapers & Water Truck Pass-By ⁴	30'	83.4	79.0
10	Two Scrapers Pass-By ⁴	30'	83.7	79.3
11	Scraper, Water Truck, & Dozer Activity ⁴	30'	79.7	75.3
12	Concrete Mixer Truck Movements ⁴	50'	71.2	71.2
13	Concrete Paver Activities ⁵	30'	70.0	65.6
14	Concrete Mixer Pour & Paving Activities ⁵	30'	70.3	65.9
15	Concrete Mixer Backup Alarms & Air Brakes ⁵	50'	71.6	71.6
16	Concrete Mixer Pour Activities	50'	67.7	67.7

¹ As measured by Urban Crossroads, Inc. on 10/14/15 at a business park construction site located at the northwest corner of Barranca Parkway and Alton Parkway in the City of Irvine.

² As measured by Urban Crossroads, Inc. on 10/20/15 at a construction site located in Rancho Mission Viejo.

³ As measured by Urban Crossroads, Inc. on 10/20/15 at a residential construction site located in Rancho Mission Viejo.

⁴ As measured by Urban Crossroads, Inc. on 10/30/15 during grading operations within an industrial construction site located in the City of Ontario.

⁵ Reference noise level measurements were collected from a nighttime concrete pour at an industrial construction site, located at 27334 San Bernardino Avenue in the City of Redlands, between 1:00 a.m. to 2:00 a.m. on 7/1/15.

⁶ Reference noise levels are calculated at 50 feet using a drop off rate of 6 dBA per doubling of distance (point source).

Construction Noise Analysis

Table 34-2, Unmitigated Construction Equipment Noise Level Summary (dBA Leq), below, provides a summary of the noise levels from each stage of construction at each of the sensitive receiver locations. Based on the reference construction noise levels, the Project-related construction noise levels when the peak reference noise level is operating at a single point nearest the sensitive receiver location from the center of construction activity will range from 52.9 to 71.2 A-weighted decibel equivalent continuous level (dBA Leq) at the sensitive receiver locations in the County of Riverside. **Figure 14, Sensitive Receptor Locations**, shows the construction activity noise source location and the distance to each nearby sensitive receiver location. Receiver Location R3 analysis will represent the worst-case scenario for construction noise associated with the roadway extension components of the Project.

**Table 34-2
Unmitigated Construction Equipment Noise Level Summary (dBA Leq)**

Receiver Location ¹	Construction Phase Hourly Noise Level (dBA Leq)					
	Site Preparation	Grading	Building Construction	Paving	Architectural Coating	Peak Activity ²
R1	52.9	52.9	41.5	44.9	40.8	52.9
R2	67.3	67.3	55.9	59.3	55.2	67.3
R3	70.6	70.6	59.2	62.7	58.5	70.6
R4	71.2	71.2	59.8	63.2	59.1	71.2
R5	58.5	58.5	47.1	50.5	46.4	58.5

¹ Noise receiver locations are shown on **Figure 14, Sensitive Receptor Locations**.

² Estimated construction noise levels during peak operating conditions.

Table 34-3, Construction Noise Level Compliance (dBA Leq), below, shows the peak construction noise levels at the potentially impacted receiver locations approaching 71.2 dBA Leq will satisfy the 85 dBA Leq significance threshold during temporary Project construction activities. Therefore, the unmitigated noise impact due to Project construction is considered less than significant. No mitigation is required.

**Table 34-3
Construction Noise Level Compliance dBA Leq)**

Receiver Location ¹	Construction Noise Levels (dBA Leq)		
	Peak Activity ²	Threshold ³	Threshold Exceeded? ⁴
R1	52.9	85	No
R2	67.3	85	No
R3	70.6	85	No
R4	71.2	85	No
R5	58.5	85	No

¹ Noise receiver locations are shown on **Figure 14, Sensitive Receptor Locations**.

² Estimated construction noise levels during peak operating conditions, as shown on **Table 35-2, Unmitigated Construction Equipment Noise Level Summary (dBA Leq)**.

³ Construction noise level threshold as shown on Table 4-2, Significance Criteria Summary, of the NIA.

⁴ Do the estimated Project construction noise levels meet the construction noise level thresholds?

The Project will result in a substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project; however, these impacts considered less than significant. No mitigation is required.

- c) *Would the Project result in the exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?*

Less Than Significant Impact with Mitigation Incorporated

The County of Riverside has a maximum 65 A-weighted decibel critical noise equivalent level (dBA CNEL) exterior noise level standard and a maximum 45 dBA CNEL interior noise level criteria.

Exterior Noise

To satisfy the County of Riverside 65 dBA CNEL exterior noise level standards for residential land use, **Mitigation Measure MM N-1** is required to reduce exterior noise affecting the Project

Mitigation Measure N-1:

Prior to building permit issuance; the applicant shall submit wall plans which contain the following design:

- *A minimum 7-foot high noise barrier for the outdoor living areas (backyards) of lots 1 to 4 adjacent to Anza Road; and*
- *A minimum 6-foot high noise barrier for the outdoor living areas (backyards) of lots 31 to 35 adjacent to Anza Road.*

Walls shall be installed as required, prior to occupancy.

With the recommended noise barriers incorporated as design features to the Project, future mitigated exterior noise levels will range from 58.6 to 64.5 dBA CNEL. The recommended noise barriers will satisfy the County of Riverside 65 dBA CNEL exterior noise level standards. Any impacts are considered less than significant with mitigation incorporated into the Project design. No additional mitigation is required.

Interior Noise

To satisfy the County of Riverside 45 dBA CNEL interior noise level criteria, lots adjacent to Anza Road and Butterfield Stage Road will require a Noise Reduction (NR) of up to 28.6 dBA and a "windows closed" condition requiring a means of mechanical ventilation (e.g. air conditioning). In order to meet the County of Riverside 45 dBA CNEL interior noise standards for residential land use the Project shall implement the following, or equivalent, **Mitigation Measure MM N-2** to reduce interior noise affecting the Project.

Mitigation Measure MM N-2:

Prior to building permit issuance, the applicant shall submit plans which incorporate the following design:

- **Windows:**
 - *All windows and sliding glass doors shall be well fitted, well weather-stripped assemblies and shall have the following minimum sound transmission class (STC) ratings:*
- *Lots 1 to 4 and 31 to 35 adjacent to Anza Road require upgraded windows with a minimum STC rating of 32.*
- *All other lots require standard windows with a minimum STC rating of 27.*
- *Doors: All exterior doors shall be well weather-stripped solid core assemblies at least one and three-fourths-inch thick.*
- *Walls: At any penetrations of exterior walls by pipes, ducts, or conduits, the space between the wall and pipes, ducts, or conduits shall be caulked or filled with mortar to form an airtight seal.*
- *Roof: Roof sheathing of wood construction shall be well fitted or caulked plywood of at least one-half inch thick. Ceilings shall be well fitted, well-sealed gypsum board of at least one-half inch thick. Insulation with at least a rating of R-19 shall be used in the attic space.*
- *Attic: Attic vents should be oriented away from Anza Road. If such an orientation cannot be avoided, then an acoustical baffle shall be placed in the attic space behind the vents.*
- *Ventilation: Arrangements for any habitable room shall be such that any exterior door or window can be kept closed when the room is in use and still receive circulated air. A forced air circulation system (e.g. air conditioning) or active ventilation system (e.g. fresh air supply) shall be provided which satisfies the requirements of the Uniform Building Code.*

- **Furnishings:** All bedrooms, when in use, are expected to contain furniture or other materials that absorb sound equivalent to the absorption provided by wall-to-wall carpeting over a conventional pad.

All items above shall be installed as required, prior to occupancy.

With incorporation of the interior noise mitigation measures above, the proposed Project shall satisfy the County of Riverside 45 dBA CNEL interior noise level standards for residential development. While not required, the N/A recommends an interior noise level design goal of 40 dBA CNEL using upgraded second floor windows with a minimum Sound Transmission Class (STC) rating of 36 for lots facing Anza Road.

Mitigation: Compliance with the Mitigation Measure **Mitigation Measure MM N-1** and Mitigation Measure **Mitigation Measure MM N-2**.

Monitoring: Mitigation monitoring shall be performed by the Building and Safety Department.

The Project will not result in the exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. Any impacts are considered less than significant with mitigation incorporated.

- d) *Would the Project result in the exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?*

Less Than Significant Impact

Temporary increases in ground-borne vibration or ground-borne noise levels will occur during the construction phase only. These impacts will be of short duration and will cease once the construction phase of the Project is completed.

Construction activity can result in varying degrees of ground vibration, depending on the equipment and methods used, distance to the affected structures and soil type. It is expected that ground-borne vibration from Project construction activities would cause only intermittent, localized intrusion. The proposed Project's construction activities most likely to cause vibration impacts are:

- Heavy Construction Equipment: Although all heavy mobile construction equipment has the potential of causing at least some perceptible vibration while operating close to building, the vibration is usually short-term and is not of sufficient magnitude to cause building damage. It is not expected that heavy equipment such as large bulldozers would operate close enough to any residences to cause a vibration impact; and
- Trucks: Trucks hauling building materials to construction sites can be sources of vibration intrusion if the haul routes pass through residential neighborhoods on streets with bumps or potholes. Repairing the bumps and potholes generally eliminates the problem.

Ground-borne vibration levels resulting from construction activities occurring within the Project site were estimated by data published by the Federal Transit Administration (FTA). Construction activities that would have the potential to generate low levels of ground-borne vibration within the Project site include grading. Using the vibration source level of construction equipment provided on **Table 34-4, Vibration Source Levels for Construction Equipment**, below, and the construction vibration assessment methodology published by the FTA, it is possible to estimate the Project vibration impacts. **Table 34-5, Construction Equipment Vibration Levels**, below, presents the expected Project related vibration levels at each of the sensitive receiver locations.

Table 34-4

Vibration Source Levels for Construction Equipment

Equipment	PPV (in/sec) at 25 feet
Small bulldozer	0.003
Jackhammer	0.035
Loaded Trucks	0.076
Large bulldozer	0.089

Source: Federal Transit Administration, Transit Noise and Vibration Impact Assessment, May 20

Based on the reference vibration levels provided by the FTA, a large bulldozer represents the peak source of vibration with a reference velocity of 0.089 in/sec Peak Particle Velocity (PPV) at a distance of 25 feet. At distances ranging from 131 to 609 feet from the Project site, construction vibration velocity levels are expected to approach 0.007 in/sec PPV, as shown on **Table 34-5, Construction Equipment Vibration Levels**, below. In order to assess the human perception of vibration levels in PPV, the velocities are converted to RMS vibration levels based on the Caltrans *Transportation and Construction Vibration Guidance Manual* conversion factor of 0.71. **Table 34-5, Construction Equipment Vibration Levels**, below, shows the construction vibration levels in RMS are expected to approach 0.005 in/sec RMS at the nearby receiver locations. Based on the County of Riverside vibration standard of 0.01 in/sec RMS, the proposed Project construction activities will not include or require equipment, facilities, or activities that would result in a barely perceptible human response (annoyance), and therefore, the construction-related vibration impacts are considered less than significant.

The vibration levels due to Project construction do not represent vibration levels capable of causing building damage to nearby residential homes. The FTA identifies construction vibration levels capable of building damage ranging from 0.12 to 0.5 in/sec PPV. The peak Project- construction vibration levels shown on **Table 34-5, Construction Equipment Vibration Levels**, below, approaching 0.007 in/sec PPV, will not exceed the FTA vibration levels for building damage at the residential homes near the Project site. Receiver Location R3 analysis will represent the worst-case scenario for construction vibration associated with the roadway extension components of the Project. Further, the impacts at the site of the closest sensitive receivers are unlikely to be sustained during the entire construction period, but will occur rather only during the times that heavy construction equipment is operating adjacent to the Project site perimeter. Construction at the Project site will be restricted to daytime hours consistent with County requirements thereby eliminating potential vibration impact during the sensitive nighttime hours.

**Table 34-5
Construction Equipment Vibration Levels**

Receiver ¹	Distance To Const. Activity (Feet)	Receiver PPV Levels (in/sec) ²					RMS Velocity Levels (in/sec) ³	Threshold Exceeded? ⁴
		Small Bulldozer	Jack-hammer	Loaded Trucks	Large Bulldozer	Peak Vibration		
R1	609'	0.000	0.000	0.001	0.001	0.001	0.001	No
R2	206'	0.000	0.001	0.003	0.004	0.004	0.003	No
R3	140'	0.000	0.003	0.006	0.007	0.007	0.005	No
R4	131'	0.000	0.003	0.006	0.007	0.007	0.005	No
R5	566'	0.000	0.000	0.001	0.001	0.001	0.001	No

¹ Receiver locations are shown on **Figure 14, Sensitive Receptor Locations**.

² Based on the Vibration Source Levels of Construction Equipment included on **Table 34-1, Construction Reference Noise Levels**.

³ Vibration levels in PPV are converted to RMS velocity using a 0.71 conversion factor identified in the Caltrans Transportation and Construction Vibration Guidance Manual, September 2013.

⁴ Does the peak vibration exceed the maximum acceptable vibration threshold?

Therefore, based on this information, Project will result in the exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels; however, these impacts considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

POPULATION AND HOUSING. Would the Project:

35. Housing.

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

Potentially Significant Impact
 Less than Significant with Mitigation Incorporated
 Less Than Significant Impact
 No Impact

b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?

Potentially Significant Impact
 Less than Significant with Mitigation Incorporated
 Less Than Significant Impact
 No Impact

c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

Potentially Significant Impact
 Less than Significant with Mitigation Incorporated
 Less Than Significant Impact
 No Impact

d) Affect a County Redevelopment Project Area?

Potentially Significant Impact
 Less than Significant with Mitigation Incorporated
 Less Than Significant Impact
 No Impact

e) Cumulatively exceed official regional or local population projections?

Potentially Significant Impact
 Less than Significant with Mitigation Incorporated
 Less Than Significant Impact
 No Impact

f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

Potentially Significant Impact
 Less than Significant with Mitigation Incorporated
 Less Than Significant Impact
 No Impact

Source(s): Project Site Visit – February 17, 2017 by Matthew Fagan; *Map My County, Appendix A; General Plan Land Use Designations – Zoning Consistency Guidelines; Figure 3, Aerial Photo*; and EIR 521 (p. 4.3-3).

Findings of Fact:

- a) *Would the Project displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?*

No Impact

The proposed Project site is currently vacant. There are no structures or housing on the site. Therefore, implementation of the proposed Project will not displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere. No impacts are anticipated. No mitigation is required.

- b) *Would the Project create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?*

No Impact

The proposed Project is a residential subdivision. Based on the setting for the Project, and the range of lot sizes (7,200 sq. ft. – 18,197 sq. ft.) it is anticipated that the proposed Project would contribute to the supply of homes for those with above moderate income. It would not provide housing affordable to those with lower income. Therefore, implementation of the proposed Project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. No impacts are anticipated. No mitigation is required.

- c) *Would the Project displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?*

No Impact

The proposed Project site is currently vacant. Therefore, implementation of the proposed Project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. No impacts are anticipated. No mitigation is required.

- d) *Would the Project affect a County Redevelopment Project Area?*

No Impact

Since the dissolution of redevelopment areas statewide, there are no longer any County Redevelopment Project Areas that will be affected. Therefore, implementation of the proposed Project cannot affect a County Redevelopment Project Area. No impacts are anticipated. No mitigation is required.

- e) *Would the Project cumulatively exceed official regional or local population projections?*

Less Than Significant Impact

The Project proposes 35 single-family residences on 12.9 acres (gross), and would have a build-out population of approximately 107 persons (based on 3.06 persons per single-family residential household). The existing General Plan Land Use Plan designation of Medium Density Residential (MDR), 2-5 dwelling units/acre could allow a population ranging from approximately 82 people (at the bottom of the density range), up to 204 people (at the top of the density range).

The Project is consistent with the General Plan, and the proposed CZ07901 will serve to implement the General Plan. Any growth forecasts anticipated in the General Plan would not be modified. Therefore, implementation of the proposed Project will not cumulatively exceed official regional or local population projections. Any impacts would be considered less than significant. No mitigation is required.

- f) *Would the Project induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?*

Less Than Significant Impact

The Project proposes 35 single-family residences on 12.9 acres (gross), and would have a build-out population of approximately 107 persons (3.06 persons per single-family residential household). The existing General Plan Land Use Plan designation of MDR, 2-5 dwelling units/acre could allow a population ranging from approximately 82 people (at the bottom of the density range), up to 204 people (at the top of the density range). The proposed 35 single-family dwelling units will directly induce population growth to the area.

The Project is consistent with the General Plan Land Use Plan designation of MDR. The Project is proposing an intensification of population and housing that was clearly anticipated under the General Plan Land Use Plan designation of MDR. Site infrastructure will be built as part of this Project; however new infrastructure systems, upgrades or modifications are needed (reference discussions in Sections 44, 47, 48, and 50 of this document) to serve the Project.

Based on this, implementation of the Project will not induce substantial population growth in an area, either directly (for example, by proposing new homes, and businesses, road extensions, etc.) or indirectly (for example, through extension of roads or other infrastructure). Any impacts would be considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

PUBLIC SERVICES. Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services.

Source(s): Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program).

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental

facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services?

Less Than Significant Impact

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to fire services. This is reflected in Ordinance No. 659. The Project site is located in Area Plan 19 – Southwest Area. DIF for single family residential for fire protection will be required prior to the issuance of a certificate of occupancy. The Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance.

Payment of the DIF is required and is not considered unique mitigation under CEQA. Impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services, are considered incremental, and less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
37. Sheriff Services.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Ordinance No. 659.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services?

Less Than Significant Impact

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to sheriff services. This is reflected in Ordinance No. 659. The Project site is located in Area Plan 19 – Southwest Area. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate Development Impact Fee (DIF) set forth in the Ordinance.

Payment of the DIF is required and is not considered unique mitigation under CEQA. Impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services, are considered incremental, and less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
38. Schools.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): EIR No. 521 for General Plan No. 960 (p. 4.17-61); and Temecula Valley Unified School District website.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for schools?

Less Than Significant Impact

The proposed Project is located within the boundaries of the Temecula Valley Unified School District (TVUSD). The following student generation factors are utilized by TVUSD:

- Elementary school: 0.369/dwelling unit
- Middle school: 0.201/dwelling unit
- High school: 0.246/dwelling unit

Based on 35 residential units, the Project will generate the following number of students, below. In practical terms, these numbers would be added to other projects; since you cannot have a “fraction” of a student.

- Elementary school: 12.9
- Middle school: 7.03
- High school: 8.61

Impacts to TVUSD facilities will be offset through the payment of impact fees to the TVUSD, which are in effect prior to the issuance of a building permit. This is a standard condition and not considered unique mitigation under CEQA. After payment of the impact fee, any impacts will be considered less than significant. No additional mitigation is required.

In addition, Measure Y ballot initiative was approved by 63 percent of voters of the Temecula Valley Unified School District in November 2012. Measure Y makes available \$165 million from property taxes to acquire, construct and reconstruct school facilities, and provide for supporting infrastructure at existing school sites throughout the District. The funds come from issuance of a series of bonds to occur four times over approximately ten years. The first series of bonds was issued in February 2013 for \$35 million.

Since the time the initiative was approved, the funds made available by Measure Y have been budgeted to address the most critical building needs of the District. These needs, identified in the Master Facility Plan and Bond Project List were prioritized through a weighing of numerous factors, including health, safety and security, regulatory and legal compliance issues, technology needs, educational program

enhancements, projected enrollment growth, and the District's Mission, Vision, and Core Values. Each January, updates to the project list are taken to the TVUSD Board for approval. In this way, long-term maintenance needs are addressed. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
39. Libraries.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Ordinance No. 659.

Findings of Fact:

Would the Project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for libraries?

Less Than Significant Impact

Library impacts are typically attributed to residential development. This is reflected in Ordinance No. 659. The Project site is located in Area Plan 19 – Southwest Area. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance.

Payment of the DIF is required and is not considered unique mitigation under CEQA. Impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for libraries, are considered incremental, and less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
40. Health Services.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan EIR website.

Findings of Fact:

Less Than Significant Impact

The Project proposes 35 single-family residences on 12.9 acres (gross), and would have a build-out population of approximately 107 persons (based on 3.06 persons per single-family residential household). The existing General Plan Land Use Plan designation of Medium Density Residential (MDR), 2-5 dwelling units/acre could allow a population ranging from approximately 82 people (at the bottom of the density range), up to 204 people (at the top of the density range). This increase in population to the Project area will create a need for additional health and medical services.

The Riverside County General Plan EIR states that impacts to medical facilities will be significant as a result of population increase. The following General Plan EIR Mitigation Measure (4.15.7A) was adopted with the County's General Plan in 2003 to aid in the reduction of significant impacts: Mitigation Measure (4.15.7A):

Riverside County shall perform a periodic medical needs assessment to evaluate the current medical demand and level of medical service provided within each Area Plan. A periodic medical needs assessment shall be conducted every three years.

As the County's population grows, new medical facilities will be required to provide health and medical services for an expanded population. Since the Project as proposed is consistent with the existing County's General Plan Land Use Plan designation of Medium Density Residential (MDR), 2-5 dwelling units/acre, the proposed Project would not impact the County-wide health and medical facilities to a greater degree than was anticipated in the Riverside County General Plan.

Medical offices, urgent care clinics, local medical services, hospital beds and major facilities, such as trauma units and emergency rooms are available within proximity of the Project site. This fact, coupled with the Periodic Medical Needs Assessment, which is required by Mitigation Measure 4.15.7A of the County General Plan EIR, can ensure that adequate health and medical services are available to the Project residents. Based on this analysis, the potential impacts related to health services are considered less than significant. No mitigation will be required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
RECREATION.				
41. Parks and Recreation.				
a) Would the Project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Would the Project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Is the Project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Ordinance No. 460, Section 10.35 (Regulating the Division of Land — Park and Recreation Fees and Dedications); Ordinance No. 659; Parks and Open Space Department Review; and County Service Area website.

Findings of Fact:

- a) *Would the Project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?*

Less Than Significant Impact

The Project proposes 35 single-family residences on 12.9 acres (gross) and would have a build-out population of approximately 107 persons (based on 3.06 persons per single-family residential household). This increase in population to the Project area will have a direct impact upon recreational facilities. Lot 36 is a 1.8-acre open space/water quality lot which includes 0.06 acres of recreational turf. No additional recreational facilities are provided on-site. Section 10.35 A, B, and C of Ordinance No. 460 state the following as it pertains to parkland dedication:

- “A. This section is adopted pursuant to Section 66477 of the Government Code which provides for the dedication of land or the payment of fees in lieu thereof for park and recreational facilities as a condition of approval of a tentative map or parcel map;
- B. Whenever land that is proposed to be divided for residential use lies within the boundaries of a public agency designated to receive dedications and fees pursuant to this section, a fee and/or the dedication of land shall be required as a condition of approval of the division of land;
- C. It is hereby found and determined by the Board of Supervisors that the public interest, convenience, health, welfare, and safety requires that three acres of land for each 1,000 persons residing within the County of Riverside shall be devoted to neighborhood and community park and recreational facilities unless a Community Parks and Recreation Plan, as approved by the Board of Supervisors, determines that the amount of existing neighborhood and community park area exceeds that limit, in which case the Board determines that the public interest, convenience, health, welfare and safety requires that a higher standard, not to exceed five acres of land per 1,000 persons residing within the County, shall be devoted to neighborhood and community park and residential purposes.”

The Project would generate the need for approximately 0.56 acres (at 5 acres per 1,000 persons). Since no facilities are provided on-site, the payment of in-lieu fees will be required, prior to final map approval.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to parks. This is reflected in Ordinance No. 659. The Project site is located in Area Plan 19 – Southwest Area. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance. Payment of the DIF is required and is not considered unique mitigation under CEQA.

Impacts from implementation of the proposed Project that would construction or expansion of recreational facilities which might have an adverse physical effect on the environment, are considered incremental, and less than significant after payment of in-lieu parkland fees and the DIF. No mitigation is required.

b) *Would the Project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?*

Less Than Significant Impact

Please reference the discussion in Section 41.a, above. The proposed Project will use existing neighborhood or regional parks or other recreational facilities. These impacts as anticipated in the General Plan, based on the General Plan Land Use Map designation of Medium Density Residential (MDR). Impacts are considered incremental, and less than significant after payment of in-lieu parkland fees and the DIF, such that substantial physical deterioration of the facility would not occur or be accelerated. No mitigation is required.

c) *Is the Project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?*

Less Than Significant Impact

The Project is located in County Service Area 152 (CSA 152). CSAs are an alternative method of providing governmental services by the County within unincorporated areas to provide extended services such as sheriff protection, fire protection, local park maintenance services, water and sewer services, ambulance services, streetlight energy services, landscape services and street sweeping. The governing body, which is established by law to administer the operation of CSAs, is the Riverside County Board of Supervisors.

The Project would generate the need for approximately 0.56 acres (at 5 acres per 1000). Since no facilities are provided on-site, the payment of in-lieu fees will be required, prior to final map approval.

Since the Project is located in a CSA and is subject to Quimby Fees, any impacts would be incremental. Impacts would be considered less than significant after payment of in-lieu parkland fees. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
42. Recreational Trails.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): SWAP Figure 8, *Southwest Area Plan Trails and Bikeway System* (p. 54).

Findings of Fact:

No Impact

A Combination Trail (Regional Trail / Class I Bike Path) is required on Anza Road pursuant to the Southwest Area Plan. It is anticipated that this trail will be installed on the south side of Anza Road, across the street from the Project. Therefore, implementation of the proposed Project will not impact recreational trails. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
TRANSPORTATION/TRAFFIC. Would the Project:				
43. Circulation.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the Project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): SWAP Figure 8, *Southwest Area Plan Trails and Bikeway System* (p. 54); Ordinance No. 348 (Providing for Land Use Planning and Zoning Regulations and Related Functions of the County Of Riverside); *Tentative Tract Map No. 36644 Trip Generation Evaluation*, prepared by Urban Crossroads, Inc., September 30, 2016 (*TGE, Appendix J*); Riverside Transit Agency (RTA) website; Riverside County Transportation Commission website; Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); Ordinance No. 824 (An Ordinance of the County of Riverside Authorizing Participation in the Western Riverside County Transportation Uniform Mitigation Fee Program); Ordinance No. 461 (County of Riverside, State of California Road Improvement Standards and Specifications); and Project conditions of approval.

Findings of Fact:

- a) *Would the Project conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?*

Less Than Significant Impact

The County of Riverside General Plan Circulation Element establishes a Level of Service (LOS) policy, which are based on peak hour intersection operations. The definition of an intersection deficiency has been obtained from the *General Plan*. The *General Plan* states that peak hour intersection operations of Level of Service C or better are generally acceptable along all County maintained roads and conventional state highways. As an exception, Level of Service D may be allowed in Community Development areas, only at intersections of any combination of Secondary Highways, Major Highways, Arterial Highways, Urban Arterial Highways, Expressways, conventional state highways or freeway ramp intersections.

A trip generation analysis was prepared: *Tentative Tract Map No. 36644 Trip Generation Evaluation*, prepared by Urban Crossroads, Inc., September 30, 2016 (*TGE*, **Appendix J**). In accordance with the Riverside County Transportation Department Traffic Impact Analysis Preparation Guidelines (April 2008), certain projects, because of their size, nature, or location, are exempt from the requirement of preparing a traffic impact analysis. This includes any use which can demonstrate, based on the most recent edition of the Trip Generation Report published by the Institute of Transportation Engineers (ITE) or other approved trip generation data, it is forecast to generate less than 100 vehicle trips during the peak hours.

Trip generation represents the amount of traffic which is both attracted to and produced by a development. Determining traffic generation for a specific project is therefore based upon forecasting the amount of traffic that is expected to be both attracted to and produced by the specific land uses being proposed for a given development. The trip generation rates used for the *TGE* were based upon information collected by the ITE as provided in their Trip Generation manual (9th Edition, 2012). The ITE Trip Generation manual is a nationally recognized source for estimating site specific trip generation.

The ITE Single Family Detached Residential land use (ITE Land Use Code 210) has been utilized for the purposes of the *TGE*. Trip generation rates and the daily and peak hour trip generation for proposed Project are shown in **Table 43-1, Proposed Project Trip Generation Summary**, below. The proposed Project is anticipated to generate a net total of approximately 333 based trip-ends per day with 26 based AM peak hour trips and 35 based PM peak hour trips.

**Table 43-1
Proposed Project Trip Generation Summary**

Land Use	Units ¹	ITE LU Code	AM Peak Hour			PM Peak Hour			Weekday Daily
			In	Out	Total	In	Out	Total	
Trip Generation Rates: ²									
Single Family Detached Residential	DU	210	0.19	0.56	0.75	0.63	0.37	1.00	9.52
Land Use	Units ¹	Quantity	AM Peak Hour			PM Peak Hour			Weekday Daily
			In	Out	Total	In	Out	Total	
Trip Generation Summary:									
TTM No. 36644	DU	35	7	20	26	22	13	35	333

¹ DU = Dwelling Units

² Trip Generation Source: Institute of Transportation Engineers (ITE), Trip Generation Manual, Ninth Edition (2012).

Based on this information, no additional analysis necessary based on the County's Traffic Impact Analysis Preparation Guide (April 2008) as the Project is anticipated to generate fewer than 50 peak hour trips. Typically, single family residential tracts of less than 100 lots are exempt from Traffic Impact Analysis requirements (per Board of Supervisor's action November 5, 1996). The contribution of the Project's traffic to near-by intersections (whether the intersections are currently operating at an acceptable or unacceptable level of service) is considered less than significant as the Project contributes less than 50 peak hour trips.

This is consistent with, and implements the General Plan Circulation Element requirements. Therefore, the Project does not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system.

RTA Route 24 provides bus service; however, it is not located in the immediate vicinity of the Project site. At its closest point, Route 24 stops at the Walmart on Temecula Parkway, approximately 2.1 miles northwest of the Project site. Please reference **Figure 15, RTA Route Map**. The Project proposes no changes to this routing. According to *SWAP* Figure 8, Southwest Area Plan Trails and Bikeway System, a combination trail is located on Anza Road. The Project will also be served by sidewalks. Bicycle lanes will be provided. This takes into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit.

In addition, the developer will be required to pay the County of Riverside's Development Impact Fee (DIF) and the regional Transportation Uniform Mitigation Fee (TUMF) to address the direct and cumulative environmental effects generated by new development projects.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to transportation/traffic resources. This is reflected in Ordinance No. 659. The Project site is located in Area Plan 19 – Southwest Area. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate fees set forth in the Ordinance.

As part of the Project approval(s), standard conditions are assessed on the proposed Project to reduce impacts from the proposed Project to transportation/traffic resources. This is reflected in Ordinance No. 824. Prior to the issuance of a certificate of occupancy, the Project applicant shall

comply with the provisions of Ordinance No. 824, which requires payment of the appropriate fees set forth in the Ordinance.

These are standard conditions, and are not considered mitigation for CEQA implementation purposes.

Therefore, the Project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit. Payment of TUMF and DIF fees will minimize any impacts remain at a less than significant level. No additional mitigation is required.

- b) *Would the Project conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?*

Less Than Significant Impact

Every county in California is required to develop a Congestion Management Program (CMP) that looks at the links between land use, transportation, and air quality. In its role as Riverside County's Congestion Management Agency, the Riverside County Transportation Commission (RCTC) prepares and periodically updates the county's CMP to meet federal Congestion Management System guidelines as well as state CMP legislation. The Southern California Association of Governments (SCAG) is required under federal planning regulations to determine that CMPs in the region are consistent with the Regional Transportation Plan. The RCTC's current Congestion Management Program was adopted in March 2011. Interstate 15 is included in the CMP.

The Riverside County Transportation Commission (RCTC) CMP does not require traffic impact assessments for development proposals. However, local agencies are required to maintain the minimum level of service thresholds included in their respective general plans. If a street or highway segment included as part of the CMP falls below the adopted minimum level of service of E, a deficiency plan is required.

Some of the vehicle trips generated by the development on the Project site will connect to the CMP network at Interstate 15, and development associated with the proposed Project may add an additional increment of traffic to the designated CMP network. The proposed Project is estimated to result in 333 daily vehicle trips. While this does represent an increase in trips, the County has determined that this increase is not considered cumulatively considerable due to the small percentage increase. Any impacts would be less than significant.

- c) *Would the Project result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?*

No Impact

The closest airport is the French Valley Airport, which is located approximately 8.5 miles to the northwest of the Project site. The outer zone of the airport influence area for the French Valley Airport is approximately 5.5 miles from the Project site. Based on this distance, implementation of the Project will not change air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. No impacts are anticipated. No mitigation is required.

- d) *Would the Project alter waterborne, rail or air traffic?*

No Impact

The closest airport is the French Valley Airport, which is located approximately 8.5 miles to the northwest of the Project site. The outer zone of the airport influence area for the French Valley Airport is approximately 5.5 miles from the Project site. Based on this distance, implementation of the Project will not alter air traffic. There are no railroad lines in proximity to the Project. The closest active rail line is the Metrolink, located in Perris, CA, approximately 23+ miles to the north of the Project site. Lastly, waterborne traffic does not exist in proximity to the Project site. Therefore, implementation of the proposed Project will not alter waterborne, rail, or air traffic. No impacts are anticipated. No mitigation is required.

- e) *Would the Project substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?*

No Impact

Roadway improvements are proposed along the Anza Road frontage, internal to TR36644 on "A" Street and "B" Street, Anza Road (westerly from the Project site), and Anza Road (easterly from the Project site, then northerly to Rio Linda Road). Roadways will be installed in conformance with Ordinance No. 461, and will be installed concurrently with other Project utilities or infrastructure facilities. Conditions of approval have been added to the Project to implement Ordinance No. 461. Therefore, implementation of the proposed Project will not create any roadways or road improvements that could increase hazards to a circulation system design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment). No impacts are anticipated. No mitigation is required.

- f) *Would the Project cause an effect upon, or a need for new or altered maintenance of roads?*

Less Than Significant Impact

The Project will result in an incremental impact for additional roadway maintenance; however, it will not result in any impact to new roadway maintenance (Anza Road, Rio Linda Road, and on-site) because the Project results in a limited increase in traffic, as discussed in Section 43.a, above. Anza Road and Rio Linda Road will be assigned by the County of Riverside's roadway maintenance list, which requires maintenance to be continuing and on-going on an annual basis. Therefore, any impacts from the Project are considered less than significant. No mitigation is required.

- g) *Would the Project cause an effect upon circulation during the Project's construction?*

Less Than Significant Impact

Construction of the proposed Project may temporarily affect the operation of the immediate circulation network during the construction phase of the Project. The Project will be required to obtain an encroachment permit prior to commencing any construction within the public right-of-way. This will also include the submittal and approval of a traffic control plan (TCP) which is designed to mitigate any construction circulation impacts. The TCP is a standard condition and is not considered unique mitigation under CEQA. Lastly, any impacts will be short-term and will cease once the construction phase is completed. Therefore, any impacts upon circulation during the Project's construction will be considered less than significant. No mitigation is required.

- h) *Would the Project result in inadequate emergency access or access to nearby uses?*

No Impact

The Project will take access from Anza Road and Rio Linda Road, both of which will be improved roadways at the time of occupancy. Anza Road will connect into part of an adopted emergency response plan/emergency evacuation plan, as implemented by the County of Riverside. None of the Project components will create impacts that would result in inadequate emergency access or access to nearby uses. No impacts are anticipated and no mitigation is required.

- i) *Would the Project conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?*

No Impact

RTA Route 24 provides bus service; however, it is not located in the immediate vicinity of the Project site. At its closest point, Route 24 stops at the Wal-Mart on Temecula Parkway, approximately 2.1 miles northwest of the Project site. The Project proposes no changes to this routing. According to SWAP Figure 8, Southwest Area Plan Trails and Bikeway System, a combination trail is located on Anza Road. The Project will also be served by sidewalks and bicycle lanes, which will be installed concurrently with Anza Road improvements. Therefore, implementation of the Project will not result in any conflicts with any adopted policies supporting alternative transportation (e.g. bus turnouts). No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
44. Bike Trails.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): SWAP Figure 8, *Southwest Area Plan Trails and Bikeway System*, (p. 54).

Findings of Fact:

No Impact

A Combination Trail (Regional Trail / Class I Bike Path) is required on Anza Road Pursuant to SWAP. The trail will be installed on the south side of Anza Road, across the street from the Project. Therefore, implementation of the proposed Project will not impact bike trails. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

TRIBAL CULTURAL RESOURCES.

45. Tribal Cultural Resources

Would the Project cause a substantial adverse change in the significance of a Tribal Cultural Resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American Tribe, and that is:

a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k); or,

b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c). of Public Resources Code Section 5024.1 for the purpose of this paragraph, the lead agency shall consider the significance to a California Native tribe.

Source(s): *Assembly Bill 52 (AB 52) Formal Notification (TR36644, CZ07901)*, prepared by County of Riverside, March 31, 2016 to the Cahuilla Band of Indians, Morongo Cultural Heritage Program, Pechanga Cultural Resources Department, Rincon Band of Luiseño Indians, Soboba Band Of Luiseño Indians, Colorado River Indian Tribes, and Agua Caliente Band of Cahuilla Indians (**Appendix D2**), *Pechanga Tribe Request for Consultation Pursuant to AB 52 for Tentative Tract Map No. 36644 and Change of Zone No. 7901*, received from Pechanga Band of Luiseño Indians, July 25, 2016 (**Appendix D3**), and *EIC Letter, Appendix D1*.

Findings of Fact:

a,b) *Is the Project listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1 (k), or a resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1?*

No Impact

Notifications were sent out to seven the following (7) tribes, pursuant to Assembly Bill 52 (AB 52):

1. Agua Caliente Band of Cahuilla Indians
2. Cahuilla Band of Indians
3. Colorado River Indian Tribes (CRIT}
4. Morongo Cultural Heritage Program
5. Pechanga Cultural Resources Department
6. Rincon Band of Luiseno Indians

7. Soboba Band of Luiseno Indians

None of the Tribes requested consultation.

CEQA defines the term “tribal cultural resource” and delineates restrictions on the meaning of the term “cultural landscape.” Pursuant to Public Resources Code section 21074(a), “tribal cultural resources” consist of either of the following:

“(1) Sites, features, places, cultural landscapes, sacred places, and objects with cultural value to a California Native American tribe that are either of the following: (A) Included or determined to be eligible for inclusion in the California Register of Historical Resources. (B) Included in a local register of historical resources as defined in subdivision (k) of [Public Resources Code] Section 5020.1; or

(2) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of [Public Resources Code] Section 5024.1.”

Regarding the application of the term “cultural landscape,” Public Resources Code section 21074(b) limits its definition such that “[a] cultural landscape that meets the definition of [Public Resources Code section 21074] subsection (a) is a tribal cultural resource *to the extent that the landscape is geographically defined in terms of the size and scope of the landscape.*” (Emphasis added.) Accordingly, if an area that may potentially be considered a “cultural landscape” is *not* geographically defined in terms of the size and scope of the landscape, it cannot be found to be a “tribal cultural resource” even if it otherwise meets the qualifications for such in Public Resources code section 21074(a).

The County did not receive any evidence from the Tribes, or from any other source, geographically defining the size and scope of any cultural landscape in the Project area. Because the County has no substantial evidence to support a finding that the potential cultural landscape meets the requirements of Public Resources Code section 21074(b), the County is precluded from determining that the potential cultural landscape is a “tribal cultural resource.” Because any potential cultural landscape at the Project site does not meet the definition of a tribal cultural resource as defined in Public Resources Code section 21074, the Project will not have a significant impact on tribal cultural resources in this regard.

Based upon analysis of records and prior archaeological studies of the property, it has been determined that there will be no impacts to physical cultural resources within the Project site. Based on the above, the Project’s potential impacts will not cause a substantial adverse change in the significance of a Tribal Cultural Resource as defined in Public Resources Code 21074. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

UTILITY AND SERVICE SYSTEMS. Would the Project:

46. Water.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the Project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Rancho California Water District Letter dated January 28, 2016: *Water Availability Tentative Tract Map No. 36644, Parcel No. 1 of Parcel Map No. 18204, APN 966-380-004 (Anza Butterfield Road 34, LLC) (RCWD Letter - Appendix K)*; and Rancho California Water District Urban Water Management Plan Update 2015 <http://www.ranchowater.com/DocumentCenter/View/2023> (2015 UWMP).

Findings of Fact:

- a) *Would the Project require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?*

Less Than Significant Impact

The Project site fronts an existing 36-inch diameter water pipeline (1485 Pressure Zone) within Anza Road, and an existing 18-inch diameter recycled water pipeline. The proposed Project will tie into these lines, as indicated in the *RCWD Letter*. According to the *RCWD Letter*:

“Water service to individual lots will require the extension of water facilities within dedicated public and/or private right-of-ways. Individual water meters will be required for each lot and/or project unit, including separate water services/meters for domestic service, fire service, and landscape irrigation service, as applicable.

Water availability is contingent upon the property owner(s) destroying all on-site wells and signing an Agency Agreement that assigns water management rights, if any, to RCWD.”

RCWD has prepared the Rancho California Water District 2015 Urban Water Management Plan (2015 UWMP).

RCWD currently obtains its water supplies from the following primary water sources:

- Local groundwater from the Temecula Valley Groundwater Basin;
- Imported State Water Project (SWP) water and Colorado River water from the Metropolitan Water District of Southern California (MWDSC) through 2 wholesale water agencies – Eastern Municipal Water District (EMWD) and Western Municipal Water District (WMWD); and
- Recycled water from both the RCWD and EMWD.

According to Table 4-6, Total Water Demands (2015 UWMP, p. 61), the following demands (in acre feet per year – AFY) are projected for the RCWD through the year 2040, at 5 year increments:

- 2020: 82,244 AFY
- 2025: 89,174 AFY
- 2030: 93,651 AFY
- 2035: 96,964 AFY
- 2040: 100,307 AFY

According to Table 6-15, Water Supplies – Projected (2015 UWMP, p. 136), the planned supplies (in acre feet per year – AFY) are projected for the RCWD through the year 2040, at 5 year increments:

- 2020: 93,414 AFY
- 2025: 99,660 AFY
- 2030: 102,639 AFY
- 2035: 104,410 AFY
- 2040: 106,986 AFY

As demonstrated, as the demand for water increases, the planned supply for the entire RCWD increases.

As stated on p. 11 of the 2015 UWMP, it is expected that RCWD will be able to meet 100% of its demand under every hydrologic scenarios: a normal water year, single-dry water year, and multiple-dry water years. In addition, RCWD will continue to implement its Water Facilities Master Plan (WFMP) and Capital Improvement Program (CIP), which provide for system redundancy and enhanced reliability of supply.

Based on this information, implementation of the proposed Project will not require, or result in, the construction of new treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. Any impacts are considered incremental, and less than significant. No mitigation is required.

- b) *Would the Project have sufficient water supplies available to serve the Project from existing entitlements and resources, or are new or expanded entitlements needed?*

Less Than Significant Impact

The Project site fronts an existing 36-inch diameter water pipeline (1485 Pressure Zone) within Anza Road, and an existing 18-inch diameter recycled water pipeline. The proposed Project will tie into these lines.

As demonstrated in Section 46.a, above, as the demand for water increases, the planned supply for the entire RCWD increases.

As stated on p. 11 of the 2015 UWMP, it is expected that RCWD will be able to meet 100% of its demand under every hydrologic scenarios: a normal water year, single-dry water year, and multiple-dry water years. In addition, RCWD will continue to implement its WFMP and CIP, which provide for system redundancy and enhanced reliability of supply.

According to the *RCWD Letter*, sufficient water supplies are available to serve the Project from existing entitlements and resources. No new or expanded entitlements are needed as a result of Project implementation. Any impacts are considered incremental, and less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
47. Sewer.				
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the Project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Eastern Municipal Water District Will Serve Letter dated January 14, 2016: SAN53 – Will Serve TRACT MAP 36644 – APN: 966-380-004 (EMWD Letter - **Appendix L**); and Eastern Municipal Water District 2015 Urban Water Management Plan <https://www.emwd.org/home/showdocument?id=1506> (2015 EMWD UMWP).

Findings of Fact:

a) *Would the Project require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?*

Less Than Significant Impact

The Project is located within the boundaries of the EMWD. EMWD is responsible for all wastewater collection and treatment in its service area. It has four operational Regional Water Reclamation Facilities (RWRf) located throughout EMWD. The Project will be served by the Temecula Valley RWRf. Inter-connections between the local collections systems serving each treatment plant allow for operational flexibility, improved reliability, and expanded deliveries of recycled water. The Temecula Valley RWRf has a capacity of 20,200 AFY. The Temecula Valley RWRf treated 15,088 AFY of raw sewage in 2015. The Temecula Valley RWRf is currently running at approximately 74.7% of capacity.

The Project will extend a sewer line through Tract 34676, located directly to the west of the Project site, to the point of connection. If Tract 34676 is developed before TR36644, it will need to extend sewer and TR36644 will connect to these extensions. In addition, according to the *EMWD Letter*:

“Eastern Municipal Water District (EMWD) is willing to provide sewer service to the subject property. The provisions of service are contingent upon the developer completing the necessary arrangements in accordance with EMWD rules and regulations.”

Based on this information, implementation of the proposed Project will not require, or result in, the construction of new wastewater treatment facilities, or expansion of existing facilities, the

construction of which would cause significant environmental effects. Any impacts are considered incremental, and less than significant. No mitigation is required.

No septic system is proposed.

- b) *Would the Project result in a determination by the wastewater treatment provider that serves or may service the Project that it has adequate capacity to serve the Project's projected demand in addition to the provider's existing commitments?*

Less Than Significant Impact

Sufficient wastewater capacity is available to serve the Project from existing entitlements and resources and also discussed in Section 47.a, above. Any impacts are considered less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
48. Solid Waste.				
a) Is the Project served by a landfill with sufficient permitted capacity to accommodate the Project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the Project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Riverside County General Plan; El Sobrante Landfill Website; Lamb Canyon Landfill Website; *E-mail correspondence on 2-16-17 with Ryan Ross, Principal Planner, Riverside County Department of Waste Resources, Appendix M*; Statewide Waste Characterization Study; and CALGreen Code 5.408.4.

Findings of Fact:

- a) *Is the Project served by a landfill with sufficient permitted capacity to accommodate the Project's solid waste disposal needs?*

Less Than Significant Impact

The Project site is located about 37 miles south of the El Sobrante Landfill. The El Sobrante Landfill is located east of Interstate 15 and Temescal Canyon Road to the south of the City of Corona and Cajalco Road at 10910 Dawson Canyon Road. The El Sobrante Landfill is owned and operated by USA Waste of California, a subsidiary of Waste Management, Inc., and encompasses 1,322 acres, of which 645 acres are permitted for landfill operation. According to Solid Waste Facility Permit (SWFP) # AA-33-0217 issued on 09/09/2009, the El Sobrante Landfill has a total disposal capacity of approximately 209.9 million cubic yards and can receive up to 70,000 tons per week (tpw) of refuse. USA Waste must allot at least 28,000 tpw for County refuse. The SWFP allows a maximum of 16,054 tons per day (tpd) of waste to be accepted into the landfill, due to the limits on vehicle

trips. If needed, 5,000 tpd must be reserved for County waste, leaving the maximum commitment of Non-County waste at 11,054 tpd. As of January 1, 2016, the landfill had a remaining in-County disposal capacity of approximately 57.5 million tons.² In 2015, the El Sobrante Landfill accepted a total of 717,804 tons of waste generated within Riverside County. The daily average for in-County waste was 2,338 tons during 2015. The landfill is expected to reach capacity in approximately 2057.

The Project site is also located about 37 miles south of the Lamb Canyon Landfill. The Lamb Canyon Landfill is located between the City of Beaumont and City of San Jacinto at 16411 Lamb Canyon Road (State Route 79), south of Interstate 10 and north of Highway 74. The Lamb Canyon Landfill is owned and operated by Riverside County. The Lamb Canyon Landfill property encompasses approximately 1,189 acres, of which 580.5 acres encompass the current landfill permit area. Of the 580.5-acre landfill permit area, approximately 144.6 acres are permitted for waste disposal. The landfill is currently permitted to receive 5,000 tons of refuse per day and had an estimated total disposal capacity of approximately 20.7 million tons.³ As of June 30, 2016, (beginning of day), the landfill had a total remaining capacity of approximately 10.7 million tons⁴. The current landfill remaining disposal capacity is estimated to last, at a minimum, until approximately 2029.⁵ From July 2015 to June 2016, the Lamb Canyon Landfill accepted a daily average volume of 1,718 tons and a period total of approximately 529,375 tons. Landfill expansion potential exists at the Lamb Canyon Landfill site.

Based on this information, development of all phases of the Project would be served by a landfill with sufficient permitted capacity to accommodate the proposed Project's solid waste disposal needs. Impacts are considered incremental, yet less than significant. No mitigation is required.

- b) *Does the Project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?*

Less Than Significant Impact

The County evaluates solid waste generation based on a per capita generation rate. A residential solid waste generation rate of 13 lbs./residential unit per day was selected to forecast the daily and annual capacity of solid waste generation at full development. 35 single-family residences are proposed.

- Average daily solid waste generation would be about 455 lbs. per day (0.23 tons).
- Annual average solid waste generation would be about 16,425 lbs. or about 8.21 tons per year.

Assuming a mandatory 50% recycling rate, daily solid waste generation is forecast to be about 0.115 tons per day for disposal at either the El Sobrante Landfill or the Lamb Canyon Landfill. This is a daily increase of approximately 0.0014% at either landfill on an annual basis. Thus, the proposed Project will incrementally consume some capacity of the existing landfills, but the level of adverse impact is considered less than significant. There is adequate capacity at the area landfills to accommodate the solid waste generated by the proposed Project, and the Project will comply with all laws and regulations in managing solid waste.

According to the 2008 Statewide Waste Characterization Study, referenced on the California Department of Resources Recycling and Recovery (CalRecycle) website, construction and demolition (C&D) materials account for 29 percent of the waste stream. Many of these materials can be reused or recycled, thus prolonging our supply of natural resources and potentially saving

² 2015 El Sobrante Landfill Annual Report- Based on 143,845,837 tons remaining capacity (40% for in-County waste).

³ GASB 18_2016 – Engineering Estimate for total landfill capacity

⁴ GASB 18_2016 & Site Info

⁵ SWFP # 33-AA-0007

money in the process. The Study found that the 10 most prevalent material types of the commercial self-hauled waste stream by weight were lumber, asphalt roofing, gypsum board, and other ferrous metal that are readily recyclable and, together, account for about 39% of this waste stream. For purposes of this analysis it will be assumed that about four tons of construction waste will be generated per each residence and that a minimum of 50% of this construction waste will be diverted to recycle markets. Thus, it is assumed that about two tons of Project-related construction waste will be delivered to the area landfills. Based on 35 units, this equates to disposal of 280 tons of construction waste over a four-year period (2017 through 2020), or about 70 tons of construction waste per year on average.

In accordance with CALGreen Code 5.408.4, 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing must be reused or recycled. As this is a mandatory requirement, no mitigation is required to ensure compliance. County Waste Management Department recognizes the burden that construction waste places on municipal landfills and has indicated that it will not clear final inspection without every effort having been made and verification thereof received by them to recycle, reuse, and/or reduce the amount of C&D materials that would otherwise be taken to a landfill. Waste streams to local landfills include large amounts of construction waste. Although maximum annual capacities at local landfills have not yet been exceeded, management of construction debris is critical both because Riverside County is one of the fastest growing counties in the state, and because putting reusable/recyclable material in landfills is a waste of both material resources and landfill space.

Based on the fact that no demolition is required as part of the proposed Project, construction waste reduction/diversion would be the focus of recycling/reuse. Because of increased construction recycling efforts resulting from CalGreen and other regulations, opportunities for construction recycling are becoming easier to find.

Riverside County Waste Management Department requires that the Project submit a Waste Recycling Plan (WRP) prior to issuance of building permits and demonstrable evidence of compliance with the WRP prior to issuance of occupancy permits. This will require the recycling, reuse, compost, and/or salvage of a minimum of 50% by weight of the material and/or waste generated on site during construction.

The Project will be required to comply with the following conditions of approval:

- Condition of Approval 80.WASTE.1 (MAP - WASTE RECYCLE PLAN – (WRP)); and Condition of Approval 90.WASTE.1 (MAP- WASTE REPORTING PLAN – WRP);

These are standard conditions, and are not considered unique mitigation pursuant to CEQA. The proposed Project would be consistent with the County Integrated Waste Management Plan. Any impacts would be less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

49. Utilities.

Would the Project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source(s): Project Application Materials; and AQ *Analysis*, **Appendix C**; Ordinance No. 461 (County of Riverside, State of California Road Improvement Standards and Specifications); and Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); Riverside County Network of Care website.

Findings of Fact:

- a) *Would the Project impact electricity facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

Implementation of the proposed Project will have an incremental effect on electricity facilities from increased needs for 35 homes and associated landscaping. Since the proposed Project is consistent with the General Plan Land Use Plan designation of Medium Density Residential (MDR), and the zoning classification, as amended from Residential Agriculture, 5-acre minimum parcel size (R-A-5) to One Family Dwellings (R-1) for the proposed Project site, electricity planning needs have been taken into consideration in the short- and long-term planning by Southern California Edison. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. Electrical power exists directly adjacent to the Project site in the Morgan Hill residential development along Anza Road. The Project will extend utilities to the point of connection. If Tract 34676 is developed before TR36644, it will need to extend utilities and TR36644 will connect to these extensions.

Annual estimated electricity consumption, based on SCAQMD values for single-family residential units is 5,626 kilowatt (kW) per year. For the proposed 35 single-family residential units, annual energy consumption is estimated to be about 196,910 kW per year or about 197 megawatt (MW) per year. Adequate commercial electricity supplies are presently available in southern California to meet this forecast demand. Therefore, the Project will not impact electricity facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects.

Any impacts are considered less than significant. No mitigation is required.

- b) *Would the Project impact natural gas facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

Implementation of the proposed Project will have an incremental effect on natural gas facilities from increased needs for 35 homes. Since the proposed Project is consistent with the General Plan Land Use Plan designation of Medium Density Residential (MDR), and the zoning classification (as amended to R-1) for the proposed Project site, natural gas planning needs have been taken into consideration in the short- and long-term planning by Southern California Gas. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan.

The proposed Project will be connected to The Gas Company's natural gas distribution system. Connections are available directly adjacent to the Project site in the Morgan Hill residential development along Anza Road. The Project will extend utilities to the point of connection. If Tract 34676 is developed before TR36644, it will need to extend utilities and TR36644 will connect to these extensions. According to SCAQMD consumption data, new single-family units consume 6,665 cubic feet per month. Annual consumption of natural gas by the proposed 35 single-family residential units is forecast to be about 233 MCF (the term MCF equals 1,000 cubic feet) per year. Adequate commercial natural gas supplies are available to meet this forecast demand.

Therefore, the Project will not impact electricity facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects.

Any impacts are considered less than significant. No mitigation is required.

- c) *Would the Project impact communications systems facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

Implementation of the proposed Project will have an incremental effect on communication facilities from increased residences. Since the proposed Project is consistent with the General Plan Land Use Plan designation of Medium Density Residential (MDR), and the zoning classification (as amended to R-1) for the proposed Project site, natural gas planning needs have been taken into consideration in the, communication facilities planning needs have been taken into consideration in the short- and long-term planning by Verizon. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. The Project will extend utilities to the point of connection. If Tract 34676 is developed before TR36644, it will need to extend utilities and TR36644 will connect to these extensions.

Therefore, the Project will not impact communication facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects. Any impacts are considered less than significant. No mitigation is required.

- d) *Would the Project impact storm water drainage facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

Please reference the discussion above in Section 25, Hydrology and Water Quality. The proposed Project will be required to comply with standard conditions that will ensure that all impacts will remain less than significant. The proposed Project will not impact storm water drainage facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects. Any impacts are considered less than significant. No mitigation is required.

- e) *Would the Project impact street lighting facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

Street lighting is proposed along the Anza Road frontage and internal to TR36644 on "A" Street and "B" Street. Street lighting will be installed in conformance with Ordinance No. 461, and will be installed concurrently with other Project utilities or infrastructure facilities. Street lights will be maintained by Southern California Edison. As discussed above, since the proposed Project is consistent with the General Plan Land Use Plan designation of Medium Density Residential (MDR), and the zoning classification, as amended from Residential Agriculture, 5-acre minimum parcel size (R-A-5) to One Family Dwellings (R-1) for the proposed Project site, electricity planning needs have been taken into consideration in the short- and long-term planning by Southern California Edison.

Therefore, implementation of the proposed Project will not impact the street lighting facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects. Any impacts are incremental, and are considered less than significant. No mitigation is required.

- f) *Would the Project impact maintenance of public facilities, including roads requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

The proposed Project will have a less than significant impact on public facilities. Riverside County Ordinance No. 659 establishes a developer impact fee to mitigate the cost of public facilities, including roads. Any impacts are incremental and considered less than significant. No additional mitigation is required.

- g) *Would the Project impact other governmental services, requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?*

Less Than Significant Impact

Regional Multi-Service Centers impacts are typically attributed to residential development. This is reflected in Ordinance No. 659. Regional Multi-Service Centers are located throughout the County

and provide a variety of services on a regional basis with events ranging from: athletic programs, wellness programs, senior citizen activities, arts and crafts, etc.

The Project site is located in Area Plan 19 – Southwest Area. Prior to the issuance of a certificate of occupancy, the Project applicant shall comply with the provisions of Ordinance No. 659, which requires payment of the appropriate DIF set forth in the Ordinance.

Payment of the DIF is required and is not considered unique mitigation under CEQA. Impacts from implementation of the proposed Project that would result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for regional multi-service centers, are considered incremental, and less than significant. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
50. Energy Conservation.				
a) Would the Project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source(s): Project Application Materials.

Findings of Fact:

a) *Would the Project conflict with any adopted energy conservation plans?*

No Impact

Refer to the discussion under Section 49 above. The Project would increase the site's demand for energy compared to its existing undeveloped state. Specifically, the proposed Project would increase consumption of energy for space and water heating, air conditioning, lighting, and operation of miscellaneous equipment and appliances. The Project will comply with all Title 24 energy conservation requirements. The Title 24 Building Energy Efficiency Standards were developed by the California Energy Commission and apply to energy consumed for heating, cooling, ventilation, water heating, and lighting in new residential and non-residential buildings. Adherence to these efficiency standards would result in a "maximum feasible" reduction in unnecessary energy consumption. No conflict with any adopted energy conservation plans would occur if the proposed Project is implemented. No impacts are anticipated. No mitigation is required.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

MANDATORY FINDINGS OF SIGNIFICANCE.

51. Does the Project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
--	--------------------------	-------------------------------------	--------------------------	--------------------------

Source(s): Staff review and Project Application Materials.

Findings of Fact:

Less Than Significant Impact with Mitigation Incorporated

Implementation of the proposed Project does not have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

Please reference the discussion in Section 6 (Air Quality Impacts), and Section 34 (Noise Resources – Noise Effects on or by the Project). In addition to mitigation measures, standard conditions will apply to the proposed Project. Any impacts are considered less than significant with mitigation incorporated.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

52. Does the Project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	-------------------------------------	--------------------------	--------------------------

Source(s): Staff review and Project Application Materials.

Findings of Fact:

Less Than Significant Impact with Mitigation Incorporated

As demonstrated in Sections 1 - 50 of this Environmental Assessment, the proposed Project does not have impacts which are individually limited, but cumulatively considerable. Standard conditions will apply to the proposed Project.

Aesthetics

Implementation of the proposed Project would not contribute to cumulative visual resource or aesthetic impacts. The Project proposes several design measures to minimize light pollution. This Project and other projects in the County are required to comply with the County's light pollution ordinance, which is designed to eliminate cumulative light pollution impacts. The Project is in compliance with the County's zoning and design standards and guidelines, which regulate building design, mass, bulk, height, color, and compatibility with surrounding uses. Thus, the proposed Project would have a less than cumulatively considerable impact to aesthetics.

Agricultural Resources

Implementation of the proposed Project would not result in any impacts to agricultural or forestry resources and would therefore not contribute to cumulative impacts to these resources.

Air Quality

The South Coast Air Quality Management District's (SCAQMD) approach for assessing cumulative impacts is based on the Air Quality Management Plan forecasts of attainment of ambient air quality standards in accordance with the requirements of the federal and California Clean Air Acts. In other words, the SCAQMD considers projects that are consistent with the AQMP, which is intended to bring the basin into attainment for all criteria pollutants, to also have less than significant cumulative impacts. The discussion under Issue a) in Section 6, Air Quality, describes the SCAQMD criteria for determining consistency with the AQMP and further demonstrates that the proposed Project would be consistent with the Plan. As such, the Project would have a less than cumulatively considerable impact on air quality.

Biological Resources

The potential for the proposed Project to result in direct biological impacts is addressed through the payment of MSHCP Mitigation Fees pursuant to Ordinance No. 810.2 (An Ordinance of the County of Riverside to Establish the Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee), as well as conduct a 30-day preconstruction survey for burrowing owls. Therefore, the proposed Project would have a less than cumulatively considerable impact on biological resources.

Cultural Resources

Development of the Project site would contribute to a cumulative increase in potential impacts to cultural and archaeological resources. However, standard conditions of approval would reduce the potential impacts associated with development on the Project site. Thus, the Project would have a less than cumulatively considerable impact.

Geology and Soils

Project-related impacts on geology and soils associated with development on the Project site are site-specific, and development on the site would not contribute to seismic hazards or soil erosion. Compliance with the California Building Code (CBC) requirements (as implemented through Ordinance No. 457 would result in decreased exposure to the risks associated with seismic activity. Therefore, the proposed Project is anticipated to have no impact on cumulative geophysical conditions in the region.

Greenhouse Gas Emissions

The greenhouse gas analysis provided in Section 21, Greenhouse Gas Emissions, analyzed the proposed Project's cumulative contribution to global climate change and determined that the Project would not create a cumulatively considerable environmental impact resulting from greenhouse gas emissions. Thus, the Project would reduce overall greenhouse gas emissions on a cumulative basis.

Hazards and Hazardous Materials

The proposed Project is not expected to utilize or contribute to hazards associated with the accidental release of hazardous materials. Furthermore, compliance with federal, state, and local regulations would ensure that cumulative hazard conditions are less than cumulatively considerable.

Hydrology and Water Quality

Water quality measures included in the proposed Project and the WQMP and SWPPP prepared for the Project would protect the quality of water discharged from the site during both construction and operational activities. Therefore, the Project would have a less than cumulatively considerable impact on water quality. The site is not located within a flood hazard zone. Therefore, the proposed Project would have a less than cumulatively considerable impact related to hydrology.

Land Use and Planning

The proposed Project is consistent with the existing General Plan Land Use Plan designation of MDR. The current zoning classification for the Project site is R-A-5. Change of Zone 07901 (CZ 07901) would change this designation from R-A-5 to R-1. The change of zone from R-A-5 to R-1 will serve as consistency zoning with the General Plan Land Use Plan. Therefore, the Project would have a less than cumulatively considerable impact related to land use and planning.

Mineral Resources

The proposed Project would have no impact related to mineral resources and would therefore not contribute to any cumulative impacts to such resources.

Noise

As discussed in Sections 30-34, Noise, operation of the proposed Project would comply with all applicable noise standards and would have less than significant direct impacts related to noise. Project construction could result in some noise disturbance; however, these impacts would be temporary and would be restricted to conform to the County Noise Ordinance standards. In addition, best management practices shall be implemented to reduce construction related noise. When the Project noise sources are added to the ambient noise sources in the Project area, any cumulative impacts will remain below established noise thresholds for construction and operation.

Population and Housing

Since the Project site is currently vacant, no housing units or people would be displaced and the construction of replacement housing is not required. The Project would not displace any houses or people requiring the construction of new housing elsewhere. The Project is consistent with the General Plan, and the proposed CZ 07901 will serve to implement the General Plan. Any growth forecasts anticipated in the General Plan would not be modified. Therefore, the Project would have a less than cumulatively considerable impact related to population and housing.

Public Services

Implementation of the proposed Project, in combination with other existing, planned, proposed, approved, and reasonably foreseeable development in the immediate area, may increase the demand for public services such as fire and police protection. However, as a standard condition of approval, the Project applicant would be required to pay fees in accordance with Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program) to fund the expansion of such services. Development of any future public facilities would be subject to CEQA review prior to approval that would identify and address any resulting impacts. Therefore, the proposed Project would have a less than cumulatively considerable impact on public services.

Recreation

The proposed Project will use existing neighborhood or regional parks or other recreational facilities. These impacts as anticipated in the General Plan, based on the General Plan Land Use Map designation of Medium Density Residential (MDR). Impacts are considered incremental and less than significant, after payment of in-lieu parkland fees and the DIF, such that substantial physical deterioration of the facility would not occur or be accelerated. Since the Project is located in a CSA and is subject to Quimby Fees, any impacts would be incremental. Impacts would be considered less than significant after payment of in-lieu parkland fees.

Transportation/Traffic

The CEQA Guidelines require that other reasonably foreseeable development projects which are either approved or being processed concurrently in the study area also be included as part of a cumulative analysis scenario. The cumulative setting for the proposed Project includes the nearby development for opening year traffic conditions provided by County Traffic Engineering Staff. Cumulative traffic impacts are created as a result of a combination of the proposed Project and other future developments contributing to the overall traffic impacts and requiring additional improvements to maintain acceptable level of service operations with or without the Project. A project's contribution to a cumulatively significant impact can be reduced to less than significant if the project implements or funds its fair share of improvements designed to alleviate the potential cumulative impact.

The Project will be required to pay fees in accordance with Ordinance No. 659 (An Ordinance of the County of Riverside Establishing a Development Impact Fee Program); and, Ordinance No. 824 (An Ordinance of the County of Riverside Authorizing Participation in the Western Riverside County Transportation Uniform Mitigation Fee Program). These fees are collected as part of a funding mechanism aimed at ensuring that regional highways and arterial expansions keep pace with projected population increases. The Project will be required to comply with Ordinance No. 461 (County of Riverside, State of California Road Improvement Standards and Specifications). The Project's impacts to cumulative traffic conditions would be less than significant.

Tribal Cultural Resources

The County did not receive any evidence from the seven (7) Tribes contacted, or from any other source, geographically defining the size and scope of any cultural landscape in the Project area. Because the County has no substantial evidence to support a finding that the potential cultural landscape meets the requirements of Public Resources Code Section 21074(b), the County is precluded from determining that the potential cultural landscape is a "tribal cultural resource." Because any potential cultural landscape at the Project site does not meet the definition of a tribal cultural resource as defined in Public Resources Code Section 21074, The Project's impacts on cumulative tribal cultural resources would be less than significant in this regard.

Utilities and Service Systems

Implementation of the proposed Project would increase demand for public utilities. Construction activities related to development of the Project site may result in impacts to utilities and service systems, including solid waste. However, any impacts would be less than cumulatively considerable.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
53. Does the Project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source(s): Staff review and Project Application Materials.

Findings of Fact:

Less Than Significant Impact with Mitigation Incorporated

As demonstrated in Sections 1 - 50 of this Environmental Assessment, the proposed Project does not have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly. Please reference the discussion in Section 6 (Air Quality Impacts), and Section 34 (Noise Resources – Noise Effects on or by the Project). In addition to mitigation measures, standard conditions will apply to the proposed Project. Any impacts are considered less than significant with mitigation incorporated.

VI. EARLIER ANALYSES.

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

- General Plan EIR; and
- EIR No. 521.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

VII. AUTHORITIES CITED.

- Public Resources Code.
- California Code of Regulations.
- Code of Federal Regulations.
- State Health and Safety Code.
- CALGreen Code.

VIII. SOURCES/REFERENCES

Riverside County Integrated Project (RCIP) General Plan Land Use Designations – Zoning Consistency Guidelines

<http://planning.rctlma.org/Portals/0/genplan/content/zoning.html>

Southwest Area Plan (SWAP)

http://planning.rctlma.org/Portals/0/genplan/general_plan_2016/area_plans/SWAP_121515m.pdf?ver=2016-04-01-101033-273

Riverside County Ordinances

<http://www.rivcocob.org/ordinances/>

Riverside County Transportation Department Traffic Impact Analysis Preparation Guidelines (April 2008)

http://rctlma.org/Portals/7/documents/pamphlets/traffic_impact_anaylsis.pdf

Riverside County General Plan

<http://planning.rctlma.org/ZoningInformation/GeneralPlan.aspx>

California Building Code (CBC)

<https://archive.org/details/gov.ca.bsc.title24.2016.02.1>

Uniform Building Code (1994)

http://digitalassets.lib.berkeley.edu/ubc/UBC_1994_v2.pdf

A General Location Guide for Ultramafic Rocks in California – Areas More Likely to Contain Naturally Occurring Asbestos

ftp://ftp.consrv.ca.gov/pub/dmg/pubs/ofr/ofr_2000-019.pdf

AB 32

<http://www.arb.ca.gov/cc/ab32/ab32.htm>

AB 52

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=201320140AB52

County's Climate Action Plan

<http://planning.rctlma.org/ZoningInformation/GeneralPlan/GeneralPlanAmendmentNo960EIRNo521CAPFebruary2015/ClimateActionPlan.aspx>

CARB Scoping Plan

<http://www.arb.ca.gov/cc/scopingplan/document/updatedscopingplan2013.htm>

Title 24 building requirements

<http://www.bsc.ca.gov/codes.aspx>

GEOTRACKER

<http://geotracker.waterboards.ca.gov>

The Department of Toxic Substances Control's Hazardous Waste and Substances Site List

<http://www.envirostor.dtsc.ca.gov>

Riverside County Airport Land Use Commission

<http://www.rcaluc.org/>

City of Temecula General Plan website

<http://www.cityoftemecula.org/Temecula/Government/CommDev/Planning/zoningdocuments/generalplan.htm>

Temecula Valley Unified School District website

<http://www.tvusd.k12.ca.us>

Riverside Transit Agency

www.riversidetransit.com

Western Riverside County Multiple Species Habitat Conservation Plan

http://wrc-rca.org/Permit_Docs/MSHCP-ThePlan-VolumeOne.pdf

Project conditions of approval

http://onlineservices.rctlma.org/content/conditions_of_approval.aspx?PERMITNO=TR36644

AQMD draft Final 2016 AQMP (Draft 2016 AQMP)

<http://www.aqmd.gov/home/library/clean-air-plans/air-quality-mgt-plan/final-draft-2016-aqmp>

SCAG's 2012 Regional Transportation Plan/Sustainable Communities Strategy (2012 RTP)

<http://rtpscsc.scag.ca.gov/Pages/default.aspx>

SCAG's 2016 Regional Transportation Plan/Sustainable Communities Strategy (2016 RTP)

<http://scagrtpscsc.net/Pages/FINAL2016RTPSCS.aspx>

AQMD 2012 Air Quality Management Plan

<http://www.aqmd.gov/home/library/clean-air-plans/air-quality-mgt-plan/final-2012-air-quality-management-plan>

SCAQMD Rules

<http://www.aqmd.gov/home/regulations/rules/scaqmd-rule-book>

Riverside County Oak Tree Management Guidelines

<http://planning.rctlma.org/DevelopmentProcess/DesignGuidelines/OakTreeManagementGuidelines.aspx>

Clean Water Act

<https://www.epa.gov/laws-regulations/summary-clean-water-act>

California Code of Regulations

[https://govt.westlaw.com/calregs/index?__lrTS=20170303204906242&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/index?__lrTS=20170303204906242&transitionType=Default&contextData=(sc.Default))

Code of Federal Regulations

<http://www.gpo.gov/fdsys/browse/collectionCfr.action?collectionCode=CFR>

State Health and Safety Code

<http://codes.findlaw.com/ca/health-and-safety-code/>

Public Resources Code

<http://codes.findlaw.com/ca/public-resources-code/>

Society of Vertebrate Paleontology

<http://vertpaleo.org/PDFS/SVP-Localiry-Disclosure-Best-Practices.aspx>

Measure Y

http://www.tvusd.k12.ca.us/cms/page_view?d=x&piid=&vpid=1375364640354

County Service Area website

<https://www.rivcoeda.org/CountyServiceAreasNavOnly/CountyServiceAreas/CSAHome/tabid/1065/Default.aspx>

Statewide Waste Characterization Study

<http://www.calrecycle.ca.gov/Publications/Documents/General/2009023.pdf>

CALGreen Code

<http://www.dgs.ca.gov/dsa/Programs/progSustainability/greencode.aspx>

Riverside County Network of Care

<http://riverside.networkofcare.org/aging/services/subcategory.aspx?tax=TF-200.550->

Title 24

<http://www.energy.ca.gov/title24/>

EIR No. 521 for General Plan No. 960

<http://planning.rctlma.org/ZoningInformation/GeneralPlan/GeneralPlanAmendmentNo960EIRNo521CAPFebruar y2015/DraftEnvironmentalImpactReportNo521.aspx>

State Construction Permit for SWRCB

www.swrcb.ca.gov

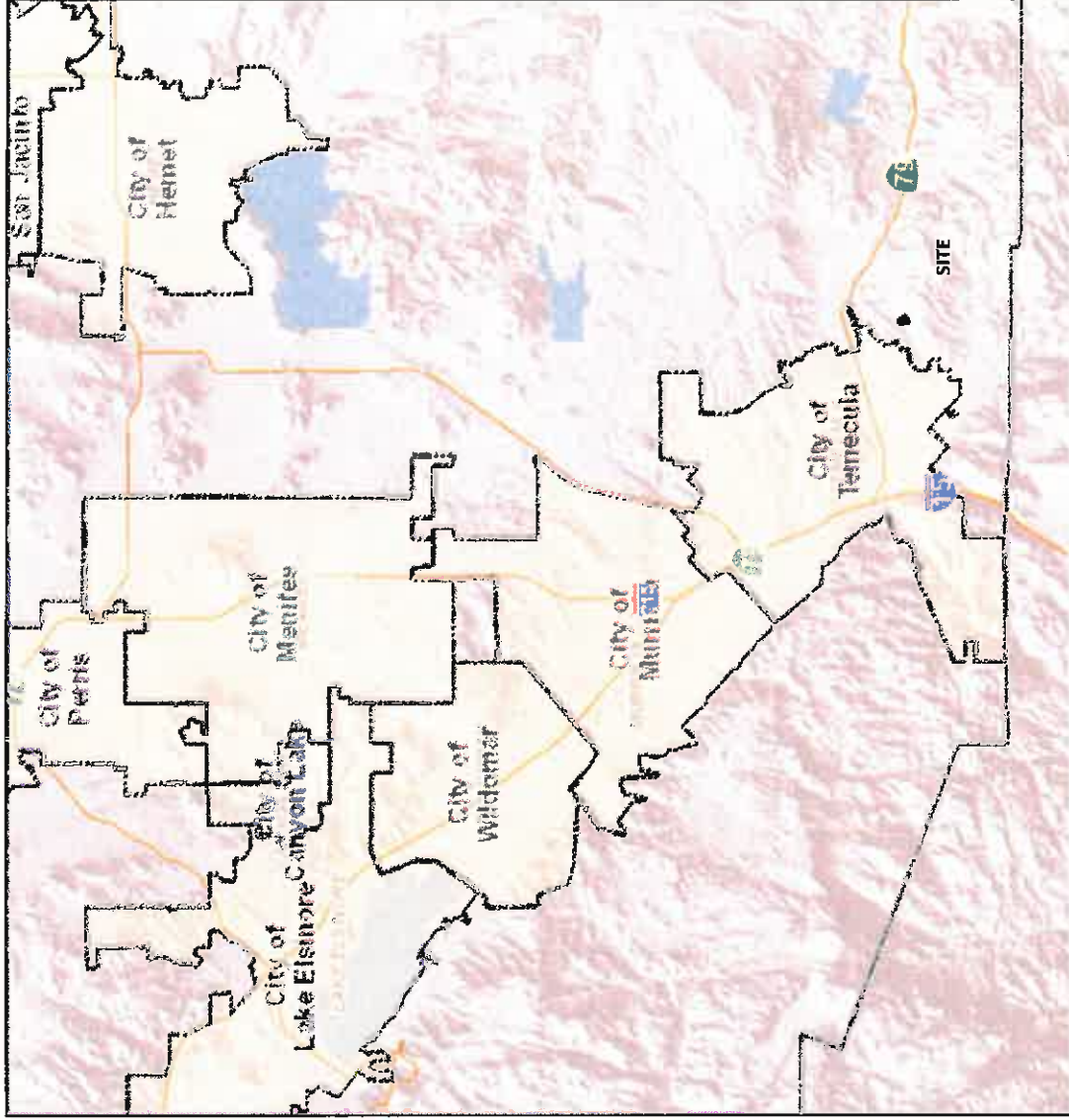
Eastern Municipal Water District 2015 Urban Water Management Plan

<https://www.emwd.org/home/showdocument?id=1506>

Rancho California Water District Urban Water Management Plan Update 2015

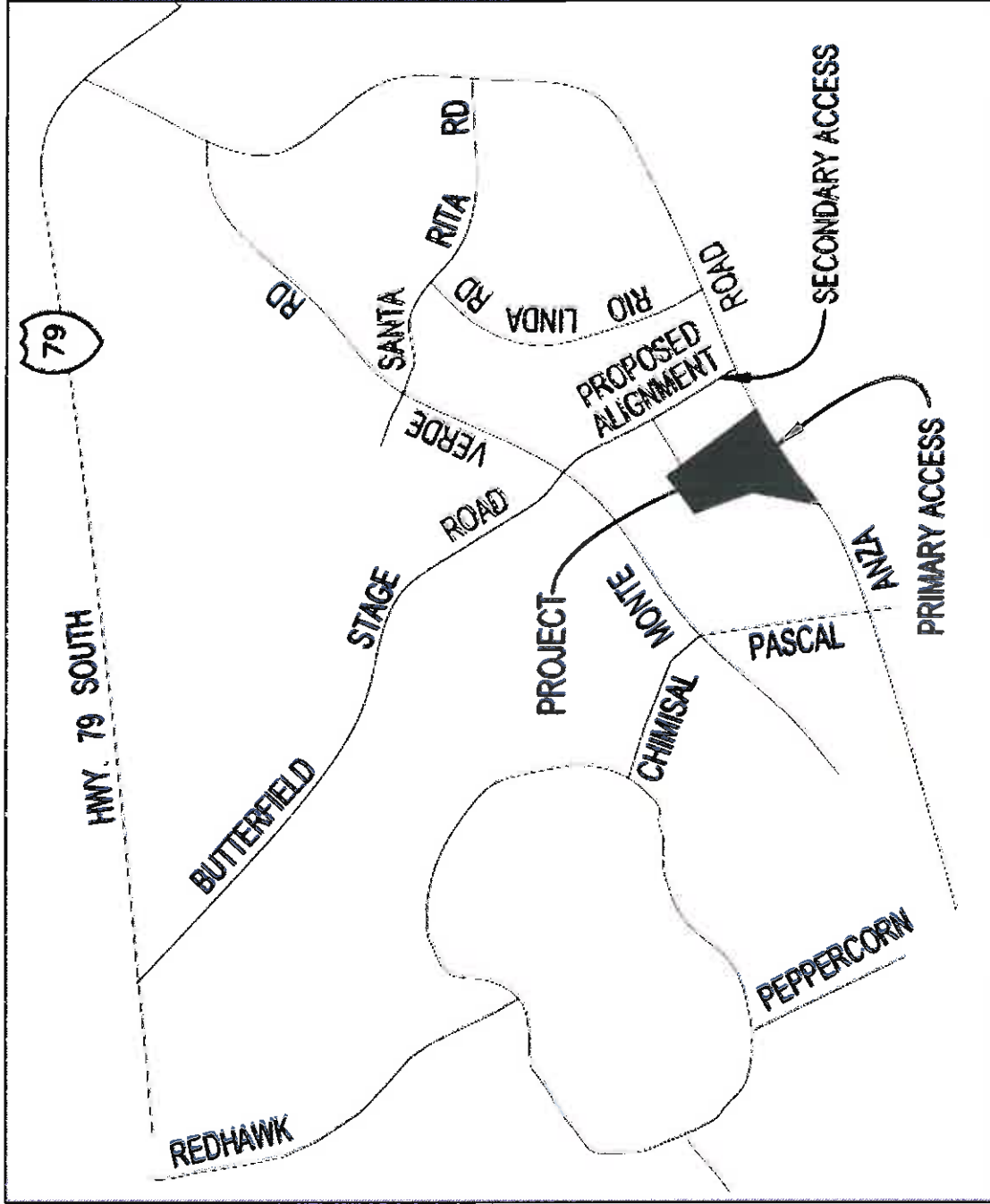
<http://www.ranchowater.com/DocumentCenter/View/2023>

FIGURE 1
REGIONAL LOCATION MAP



Source: Map My County – Riverside County 2017

FIGURE 2
VICINITY MAP



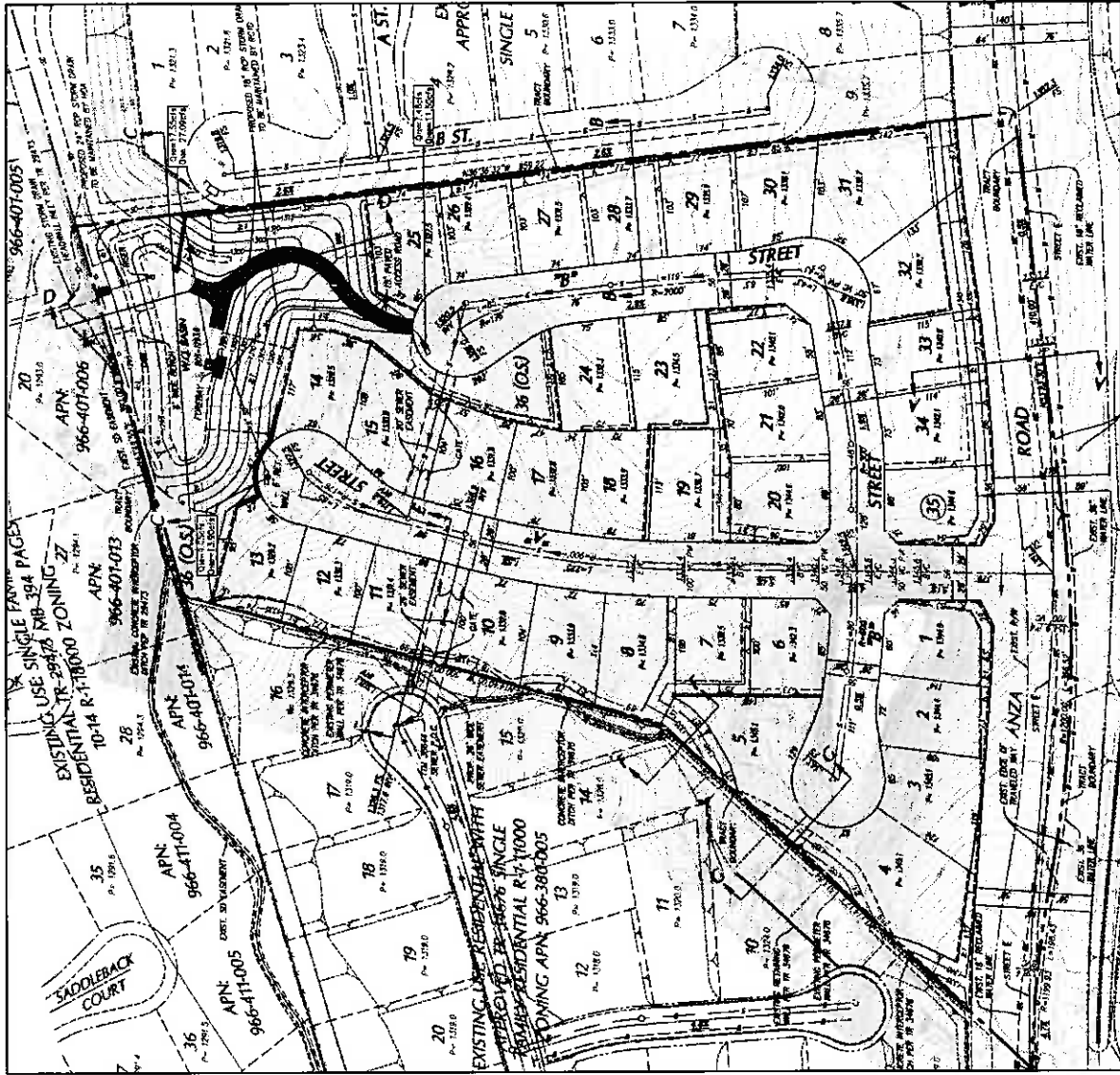
Source: Project Landscape Plan 2017

FIGURE 3
AERIAL PHOTO



Source: Map My County – Riverside County 2017

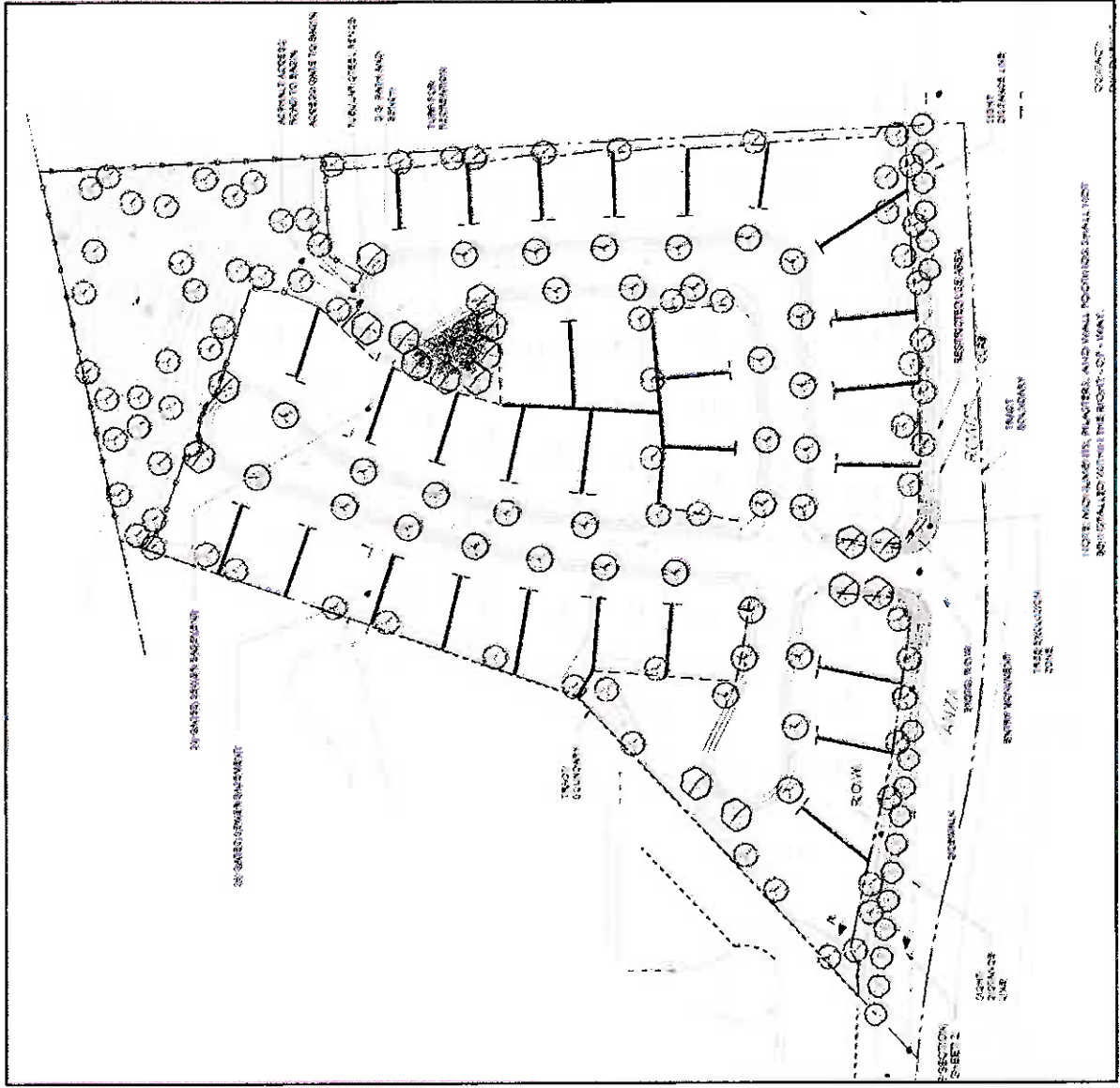
FIGURE 4
TENTATIVE TRACT MAP NO. 36644



Source: K & A Engineering Plans 2017



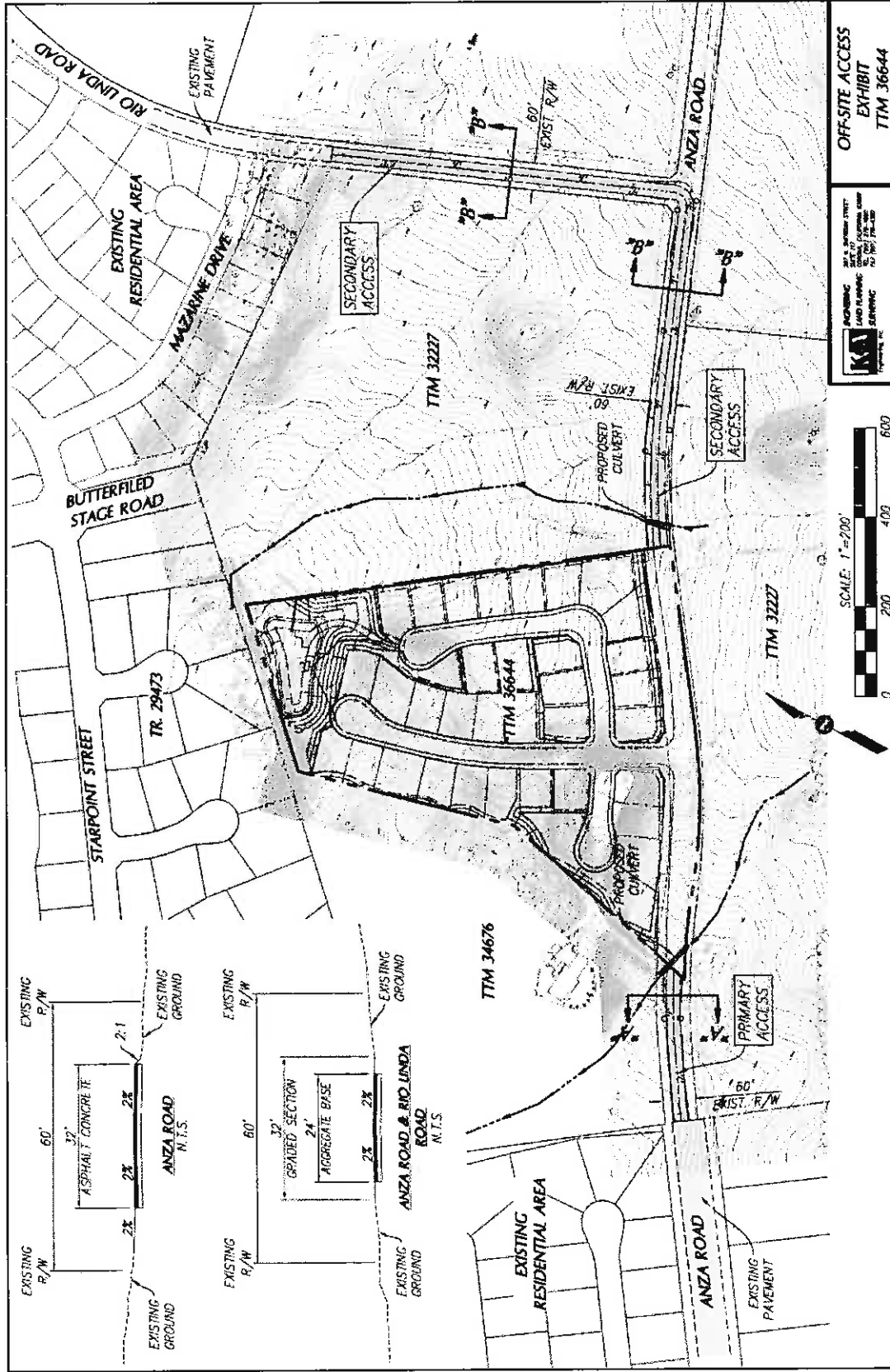
FIGURE 5
TR36644 LANDSCAPE PLAN



Source: DNA Associates, Inc., Landscape Plan 2017

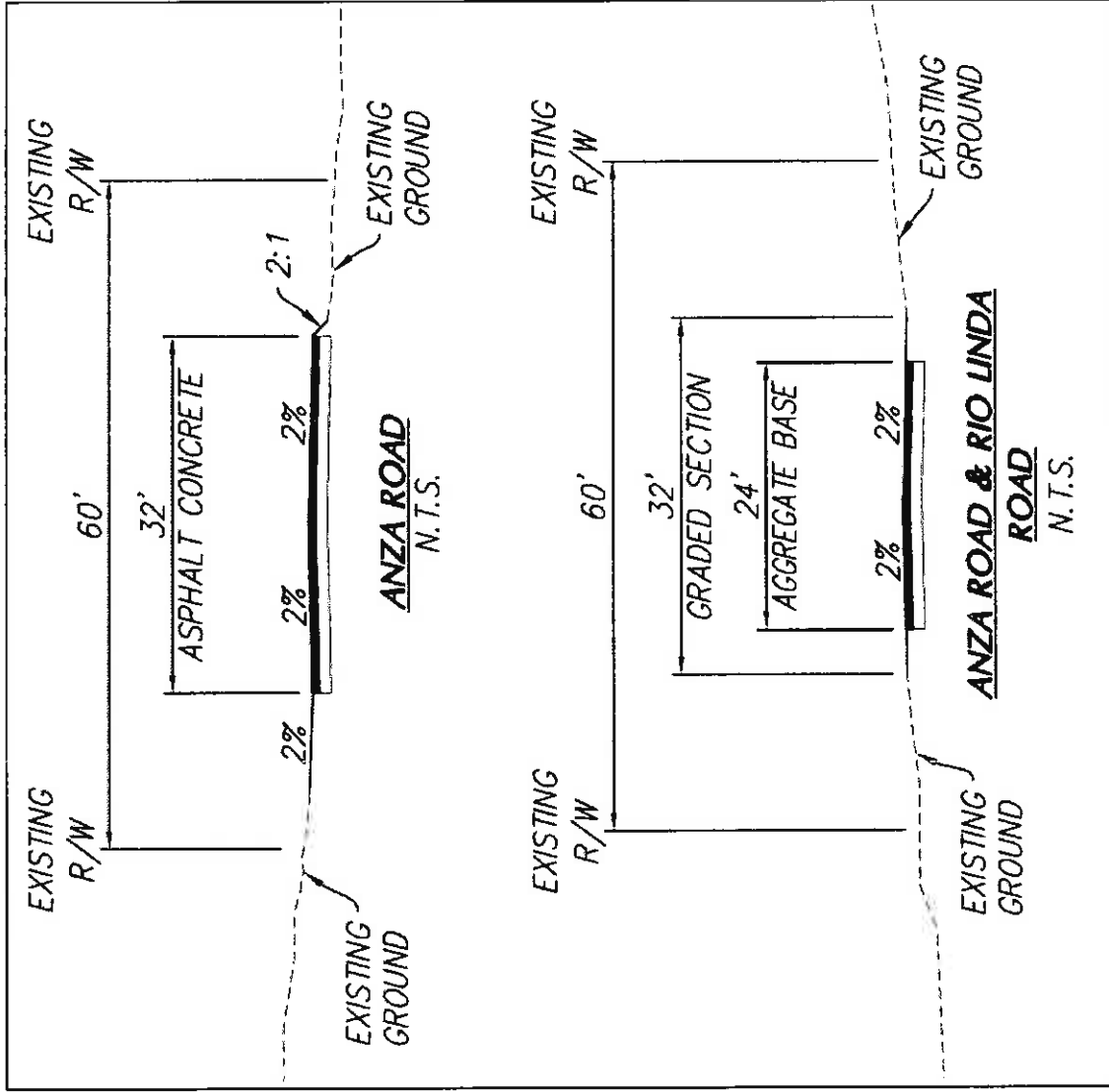


FIGURE 6a
TR36644 Off-Site Access Exhibit



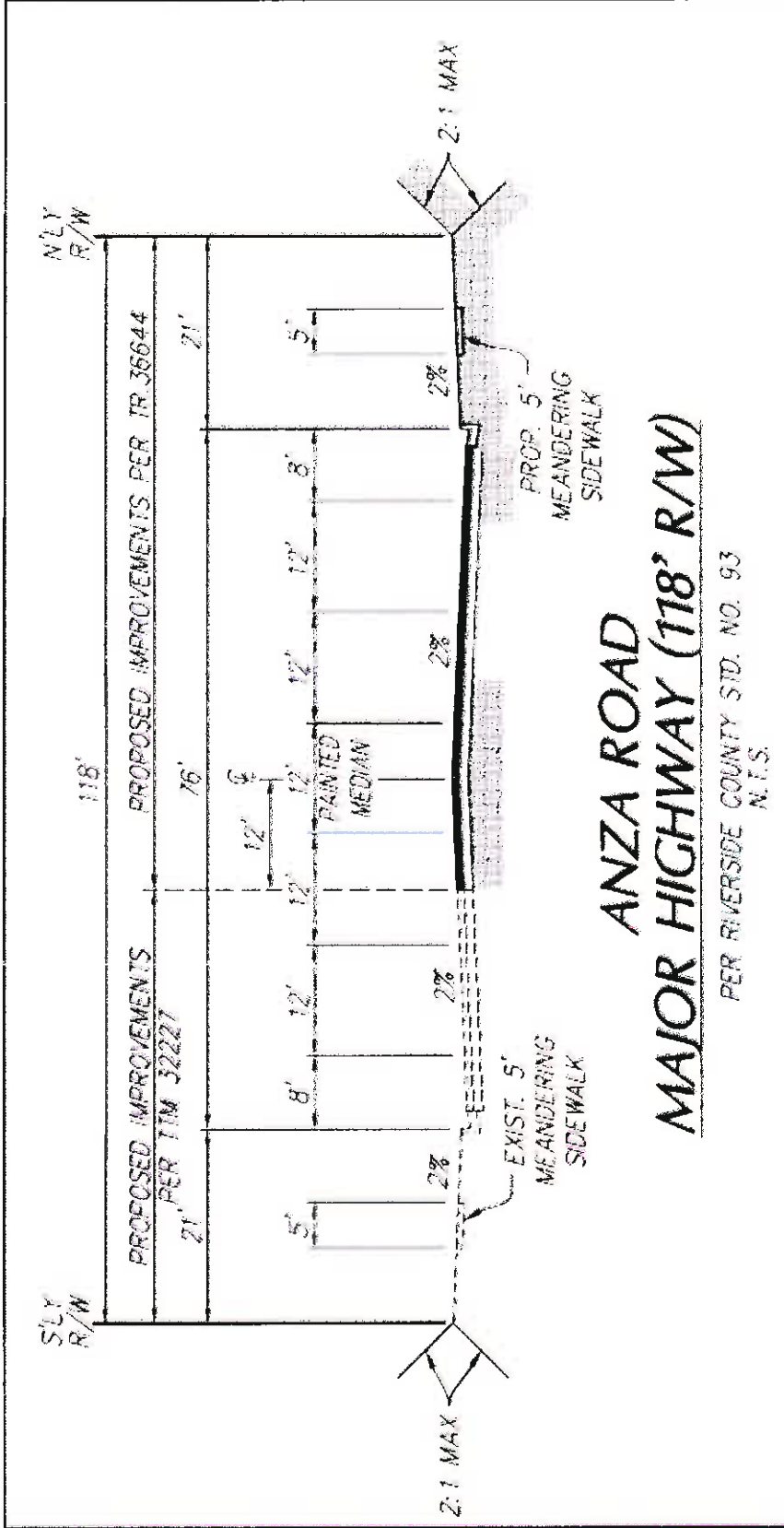
Source: Project Access Exhibit 2017

FIGURE 6b
TR36644 Roadway Improvements



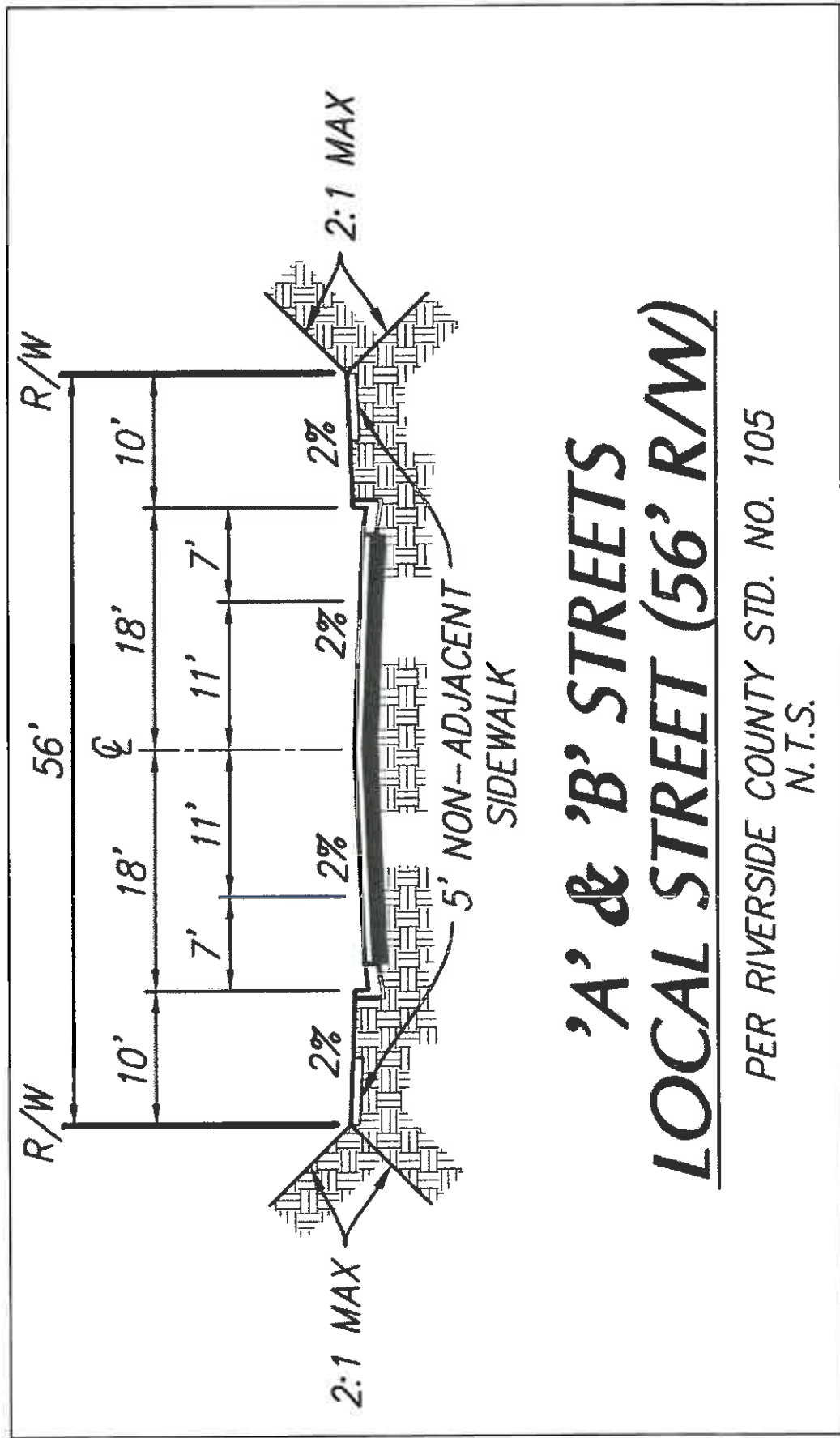
Source: Project Access Exhibit 2017

FIGURE 6c
Anza Road



Source: Project Plans 2017

FIGURE 7
 TR36644 STREETS "A" AND "B"

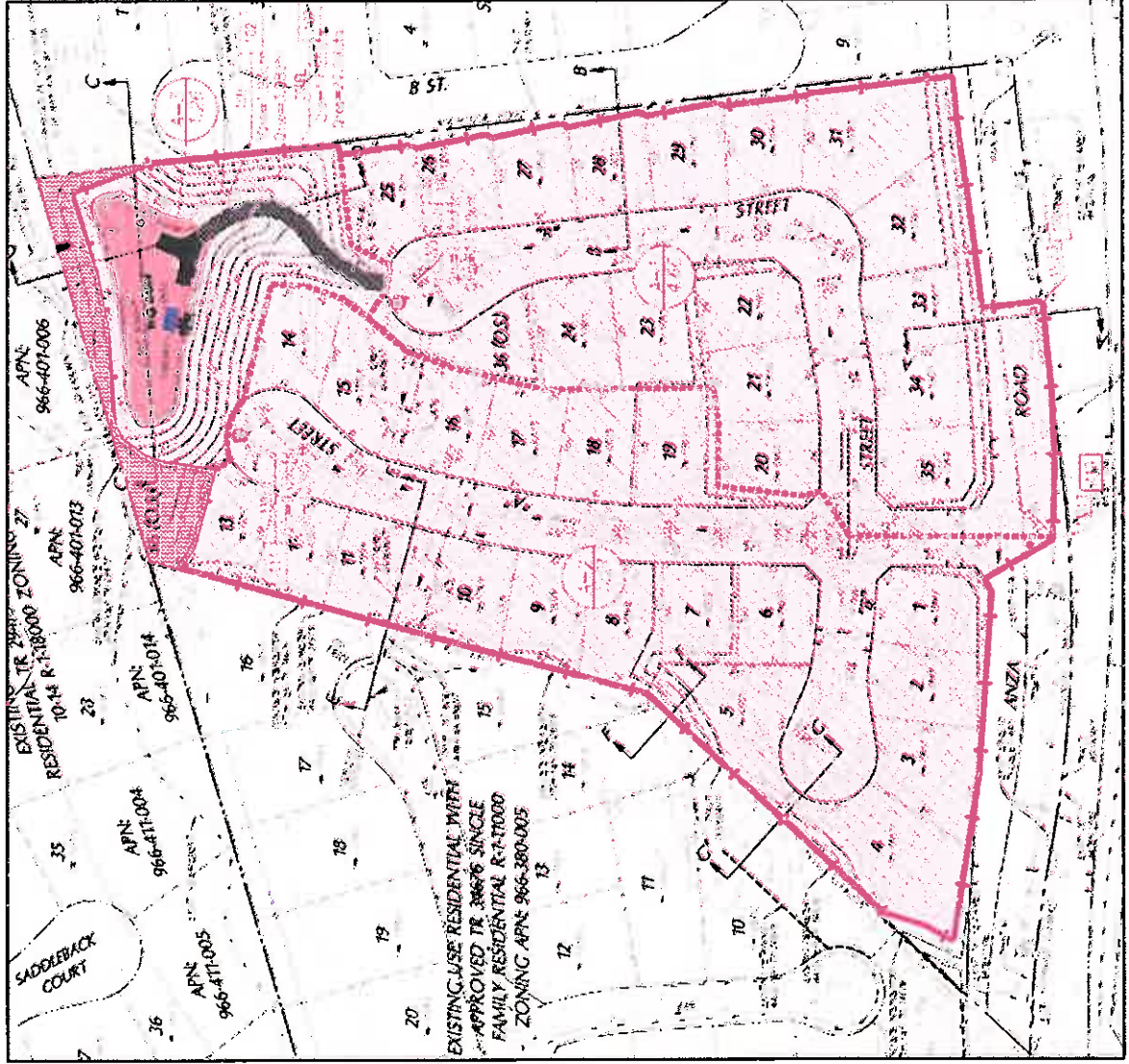


'A' & 'B' STREETS
LOCAL STREET (56' R/W)

PER RIVERSIDE COUNTY STD. NO. 105
 N.T.S.

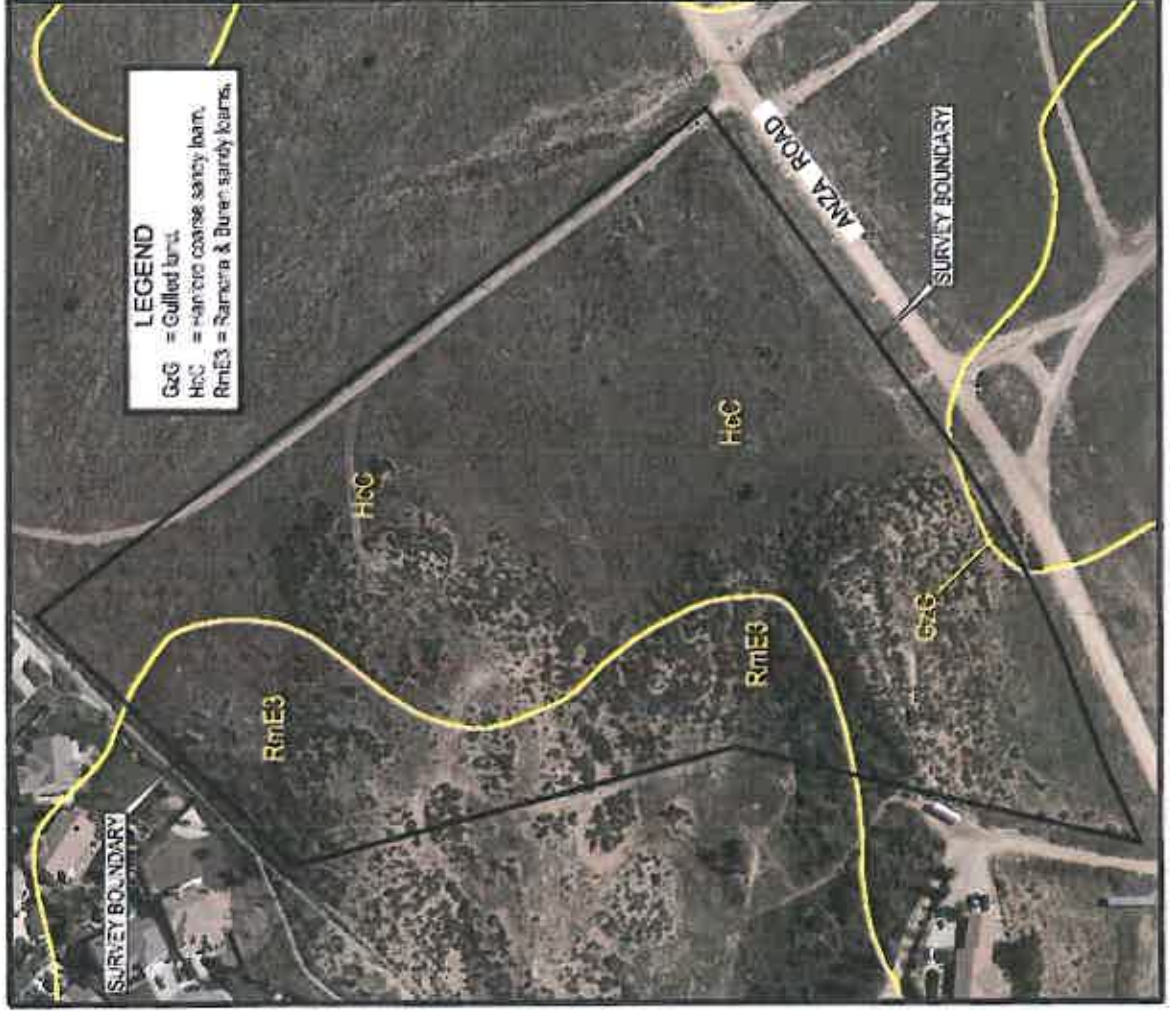
Source: Project Plans 2017

FIGURE 8
TR36644 WQMP BMPs SITE PLAN



Source: K & A Engineering WQMP 2017

**FIGURE 9
SOILS MAP**



Source: Project MSHCP Report 2017

FIGURE 10
TR36644 SITE PHOTOS



Key Map

TR36644 SITE PHOTOS, CONTINUED



1 - facing northwest



2 - facing north

**FIGURE 10
TR36644 SITE PHOTOS, CONTINUED**



3 - facing east



4 - facing southeast

FIGURE 10
TR36644 SITE PHOTOS, CONTINUED



5 - facing south



6 - facing southwest

FIGURE 10
TR36644 SITE PHOTOS, CONTINUED



7 - facing west



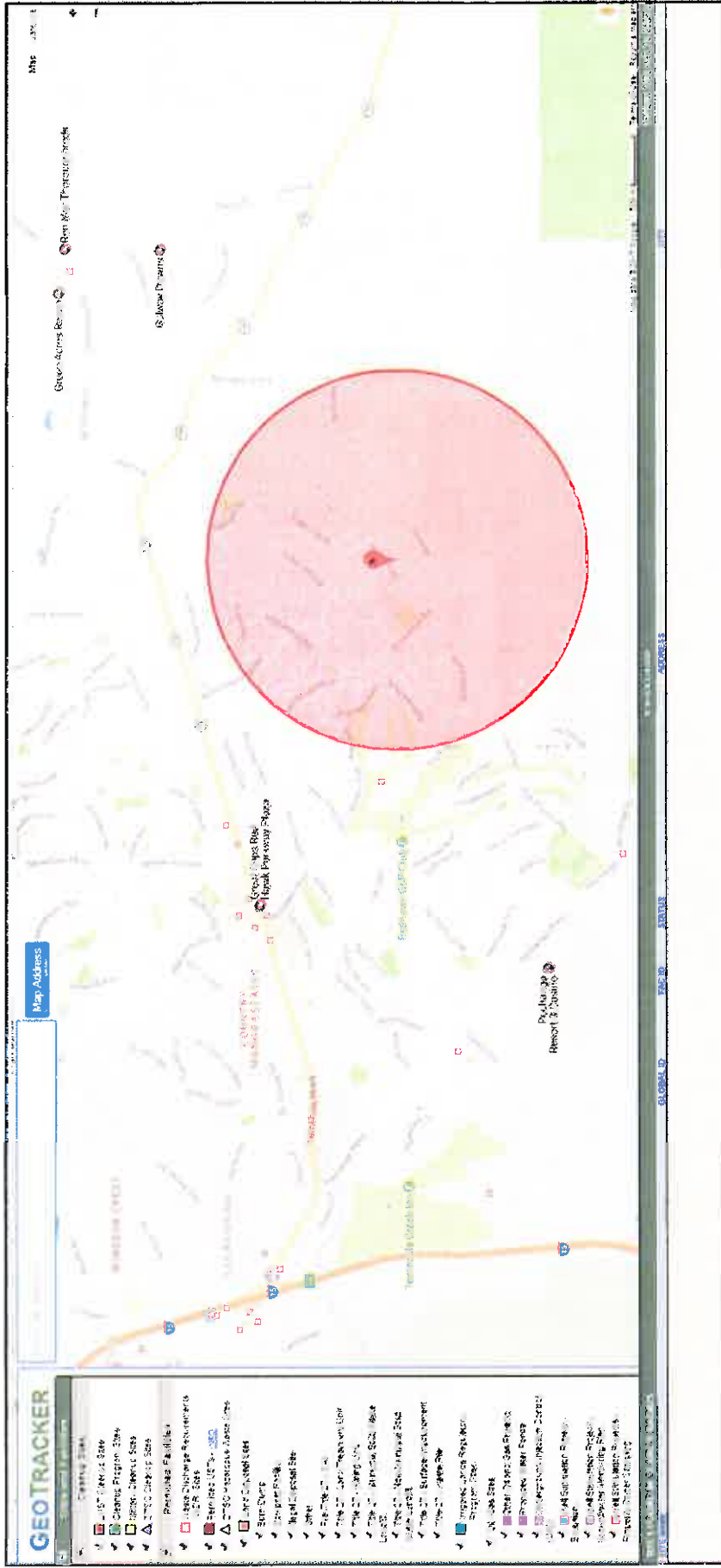
8 - facing east

FIGURE 10
TR36644 SITE PHOTOS, CONTINUED



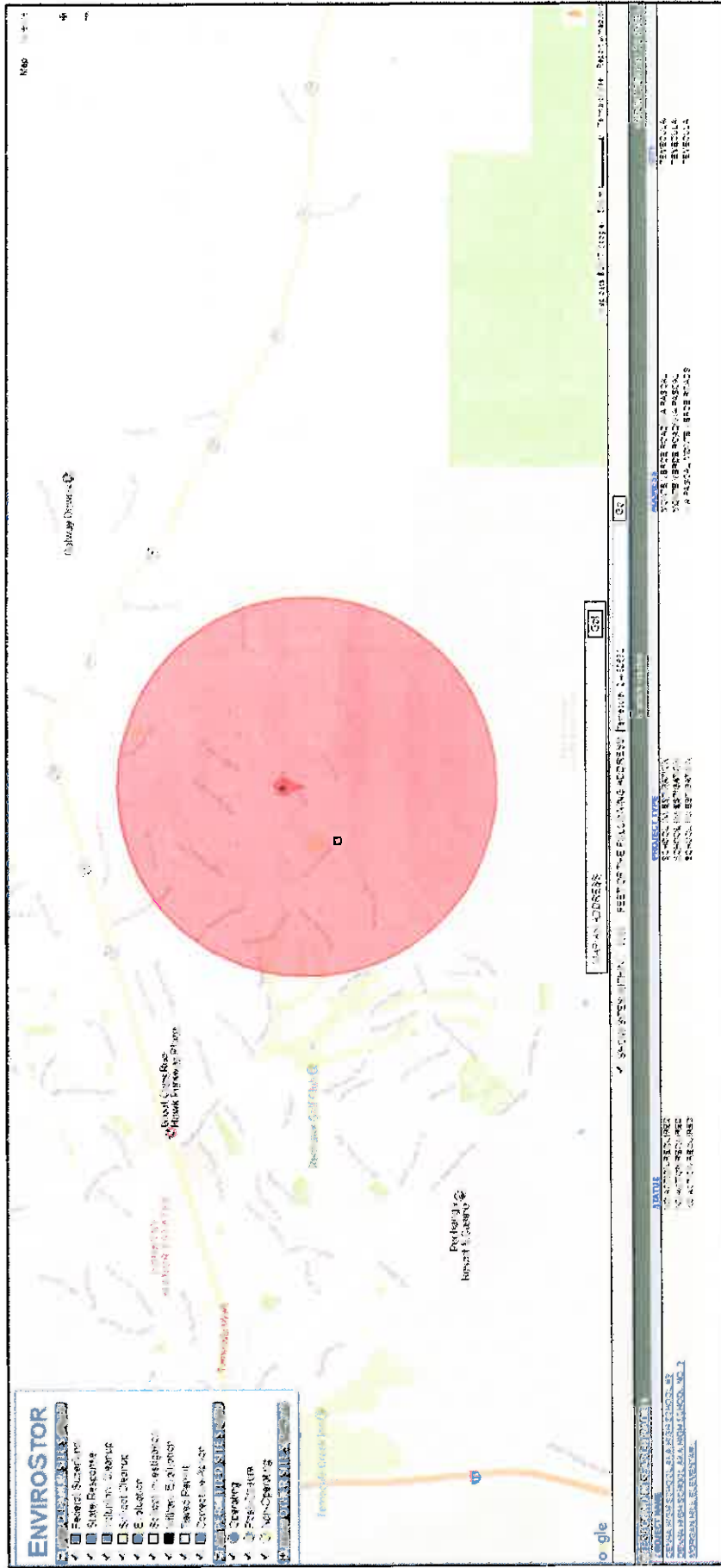
Aerial view looking south from Morgan Hill Residential

**FIGURE 11
GEOTRACKER SITE**



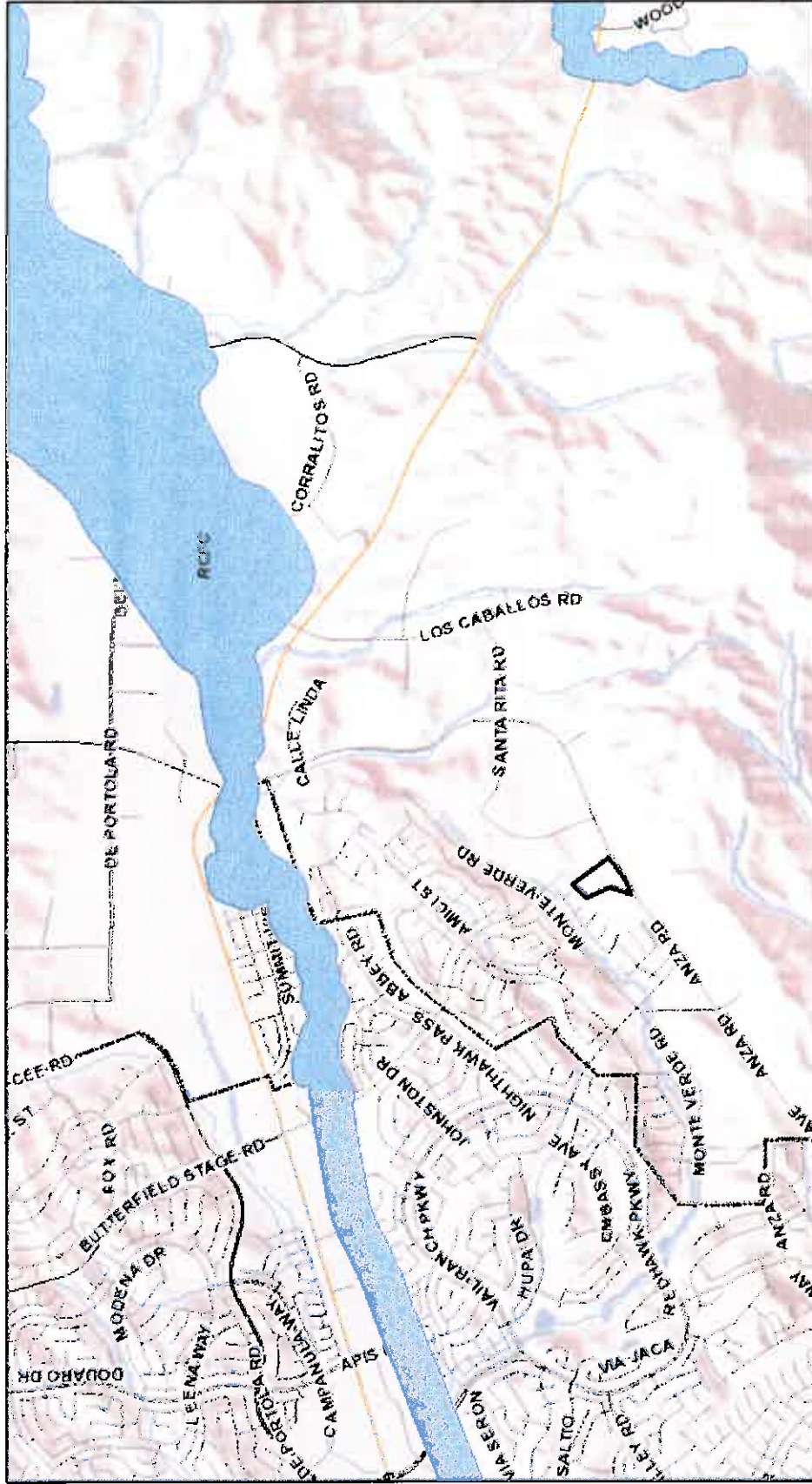
Source: <https://geotracker.waterboards.ca.gov/> 2017

**FIGURE 12
ENVIROSTOR SITE**



Source: <https://www.envirostor.dtsc.ca.gov/public/> 2017

**FIGURE 13
COUNTY FLOOD MAP**



Source: Map My County -- Riverside County 2017

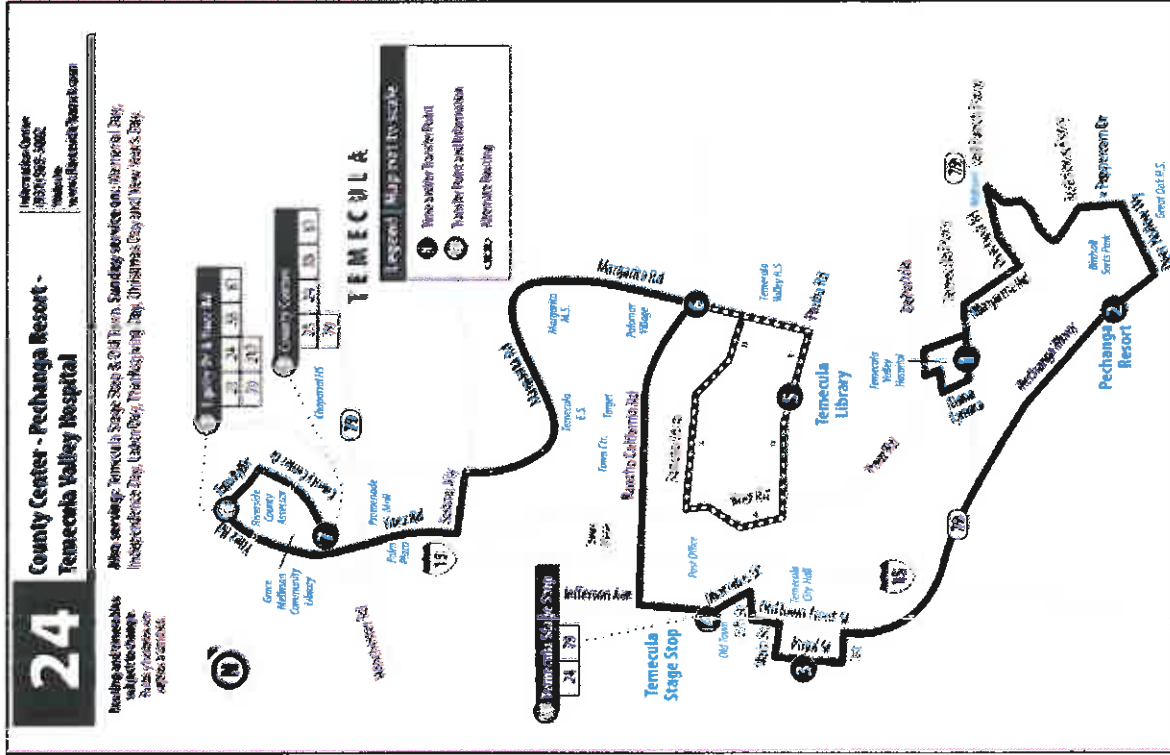
AREAS OF FLOODING SENSITIVITY

**FIGURE 14
SENSITIVE RECEPTORS LOCATIONS**



Source: Project Noise Impact Analysis 2016

FIGURE 15
RTA ROUTE MAP



Source: www.Riversidetransit.com 2017

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1

MAP- PROJECT DESCRIPTION

RECOMMND

Change of Zone No. 7901 proposes to change the zoning classification of the project site from Residential Agricultural-5 acre minimum (R-A-5) to One-Family Dwelling (R-1)

Tentative Tract Map No. 36644 proposes a Schedule "A" subdivision of 12.9 acres into 35 single-family residential lots, one open space/water quality basin lot, and two sewer maintenance lots.

10. EVERY. 2

MAP - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the TENTATIVE MAP, which action is brought within the time period provided for in California Government Code, Section 66499.37; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the TENTATIVE MAP, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10. EVERY. 2 MAP - HOLD HARMLESS (cont.) RECOMMND

ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 MAP- DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Tentative Tract Map No. 36644 shall be henceforth defined as follows:

TENTATIVE MAP = Tentative Tract Map No. 36644, dated March 3, 2017.

CONCEPTUAL LANDSCAPE PLAN = Landscape Master Plan, dated March 3, 2017

FINAL MAP = Final Map or Parcel Map for the TENTATIVE MAP whether recorded in whole or in phases.

10. EVERY. 4 MAP - 90 DAYS TO PROTEST RECOMMND

The land divider has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of the approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 MAP - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, stockpiling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department conditions of approval.

10.BS GRADE. 3 MAP - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.BS GRADE. 4 MAP - DISTURBS NEED G/PMT

RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 MAP - NPDES INSPECTIONS

RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.BS GRADE. 6 MAP - NPDES INSPECTIONS (cont.) RECOMMND

greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 MAP - EROS CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 MAP - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 MAP - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 10 MAP - SLOPE STABL'TY ANLYS RECOMMND

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut or fill slopes over 30 feet in vertical height or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

10.BS GRADE. 11 MAP - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 2% except on portland cement concrete where .35% shall be the minimum.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.BS GRADE. 12 MAP - DRNAGE & TERRACING

RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 MAP - SLOPE SETBACKS

RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 19 MAP - RETAINING WALLS

RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 MAP - MANUFACTURED SLOPES

RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 MAP - FINISH GRADE

RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 USE - WATER AND SEWER SERVICE

RECOMMND

TR36644 is proposing potable water service from Rancho California Water District (RCWD) and sanitary sewer service from Eastern Municipal Water District (EMWD). It is the responsibility of the developer to ensure that all requirements to obtain potable water service and sanitary sewer service are met with the appropriate purveyor(s) as well as all other applicable agencies.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.E HEALTH. 1 USE - WATER AND SEWER SERVICE (cont.) RECOMMND

Any existing on-site wastewater treatment system and/or on-site water well shall be properly removed or abandoned under permit with the Department of Environmental Health.

10.E HEALTH. 2 USE - ECP COMMENTS RECOMMND

The Environmental Cleanup Program (ECP) has reviewed the environmental site assessment report submitted for this project. Based on the information provided in the report and with the provision that the information was accurate and representative of site conditions, the ECP concludes no further environmental assessment is required for this project.

If contamination or the presence of a naturally occurring hazardous material is discovered at the site, assessment, investigation, and/or cleanup may be required. Contact Riverside County Environmental Health - Environmental Cleanup Programs at (951) 955-8980, for further information.

10.E HEALTH. 3 USE - NOISE STUDY RECOMMND

Noise Consultant: Urban Crossroads
41 Corporate Park, Suite 300
Irvine Ca 92506

Noise Study: "Tentative Tract Map No. 36655, Noise Impact Analysis, County of Riverside," October 31, 2016 (10589-02 Noise Study).

Based on the County of Riverside, Industrial Hygiene Program's review of the aforementioned Noise Study, TR36644 shall comply with the recommendations set forth under the Industrial Hygiene Program's response letter dated November 14, 2016 c/o Steve Uhlman.

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

FIRE DEPARTMENT

10. FIRE. 1. 1. MAP-#50-BLUE DOT REFLECTORS

RECOMMEND

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10. FIRE. 2. MAP-#16-HYDRANT/SPACING

RECOMMEND

Schedule A fire protection: provide approved standard fire hydrants (6"x4"x2 1/2") located one at each street intersection and spaced no more than 330 feet apart in any direction. Minimum fire flow shall be 1,000 GPM for 2 hour duration at 20 PSI.

FLOOD RI DEPARTMENT

10. FLOOD RI. 1. MAP FLOOD HAZARD REPORT

RECOMMEND

Tract 36644 is a proposal to subdivide 12.9 acres into residential lots in the Temecula area. The project site is located north of Anza Road, south of Monte Verde Road, east of El Chimisal Road, and west of Rio Linda Road.

District maintained drainage improvements constructed with Tract 29473, located to the north of this site, provide Tract 36644 with an adequate drainage outlet. (Temecula Creek-Sagewind Court Storm Drain, Project No. 7-0-00058). A small 2 acre area south of Anza Road is tributary to this tract. Flow from this area will be collected by the proposed Anza Road street improvements associated with Tract No. 36644 and drain to two separate culverts. The Tract 32227 property owners located to the south and east of Tract 36644 have stated in a letter dated June 16, 2017 that they will accept the drainage coming on to their property.

The project proposes to divert three (3) onsite acres that currently drain southerly to Anza Road into the project's proposed on-site basin for the purposes of water quality mitigation. Even though the diverted flows will increase the onsite flow rate, the total flow leaving the site and reaching the District's Sagewind Court Storm Drain, is less than the design flow rate because the larger watershed represented by Tract 32227 is undeveloped. Once Tract 32227 is developed, the project's flows are diverted to

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.FLOOD RI. 1 MAP FLOOD HAZARD REPORT (cont.) RECOMMND

join Morgan Wash at Butterfield Stage Road, - bypassing the
Sagewind Court Storm Drain

The District received a preliminary WQMP , with a Planning Department date stamp of March 14, 2017, that proposes an infiltration basin to meet the entire project's water quality mitigation requirements and hydromodification requirements. Meeting the necessary hydromodification requirements will also adequately mitigate for increased runoff and, therefore, this project does not need to separately meet increased runoff criteria. It is our understanding that Riverside County Flood Control and Water Conservation District will review the Project Specific Final WQMP.

10.FLOOD RI. 3 MAP 10 YR CURB - 100 YR ROW RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

10.FLOOD RI. 4 MAP 100 YR SUMP OUTLET RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 6 MAP COORDINATE DRAINAGE DESIGN RECOMMND

Development of this property shall be coordinated with the development of adjacent properties to ensure that watercourses remain unobstructed and stormwaters are not diverted from one watershed to another. This may require the construction of temporary drainage facilities or offsite construction and grading. A drainage easement shall be obtained from the affected property owners for the release of concentrated or diverted storm flows. A copy of the recorded drainage easement shall be submitted to the District for review.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.FLOOD RI. 17

MAP SUBMIT FINAL WQMP =PRELIM

RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: www.rcflood.org under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. The report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

PLANNING DEPARTMENT

10.PLANNING. 1

MAP - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

Human remains require special handling, and must be treated with appropriate dignity. Pursuant to State Health and Safety Code Section 7050.5, if human remains are

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.PLANNING. 1

MAP - IF HUMAN REMAINS FOUND (cont.)

RECOMMND

encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Specific actions must take place pursuant to CEQA Guidelines §15064.5e, State Health and Safety Code Section 7050.5 and Public Resource Code (PRC) §5097.98. In the event of the accidental discovery or recognition of any human remains in any location other than a dedicated cemetery, the following procedures shall be followed:

a) There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:

i) A County Official is contacted.

ii) The County Coroner is contacted to determine that no investigation of the cause of death is required, and If the Coroner determines the remains are Native American:

iii) The Coroner shall contact the Native American Heritage Commission within 24 hours.

b) The Commission shall identify the person or persons it believes to be the most likely descended from the deceased Native American.

c) The Most Likely Descendent (MLD) may make recommendations to the landowner or the person responsible for the excavation work, for the treatment of human remains and any associated grave goods as provided in PRC §5097.98.

d) Under the following conditions, the landowner or his authorized representative shall rebury the Native American human remains and associated grave goods on the property in a location not subject to further disturbance:

i) The Commission is unable to identify a MLD or the MLD failed to make a recommendation within 48 hours after being notified by the commission.

(1) The MLD identified fails to make a recommendation; or

(2) The landowner or his authorized representative rejects the recommendation of the MLD, and the mediation.

10.PLANNING. 2

MAP - UNANTICIPATED RESOURCES

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

1) If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.PLANNING. 2

MAP - UNANTICIPATED RESOURCES (cont.)

RECOMMND

artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

a) All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.

b) At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

c) Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 3

MAP - GEO02526 ACCEPTED

RECOMMND

County Geologic Report GEO No. 2526, submitted for the project TR36644, APN 966-380-004, was prepared by La Cresta Geotechnical Incorporated. The report is titled; "Geotechnical Investigation, Tentative Tract Map No. 36644, 11.9-Acre Site, APN 966-380-004, Anza Road, Riverside County, California," dated October 7, 2016. In addition, La Cresta Geotechnical, Inc. has submitted the following documents:

"County Geologic Report No. 2526, Response to Review Comments, Transmitted by Planning Department on December 1, 2016," dated December 7, 2016.

"Updated Geotechnical Investigation, Tentative Tract Map No. 36644, 11.9-Acre Site, APN 966-380-004, Anza Road, Riverside County, California," dated December 7, 2016.

GEO No. 2526 concluded:

1. The site is not located within an Earthquake Fault Hazard Zone.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.PLANNING. 3

MAP - GEO02526 ACCEPTED (cont.)

RECOMMND

2.No active or inactive fault traces are known to traverse the site and no evidence of onsite faulting was observed during our investigation, our aerial photo review, or a fault investigation conducted on the neighboring property.

3.Groundwater was not encountered in any of our exploratory trenches performed at this site and is estimated to be in excess of 50 feet below grade.

4.The potential for liquefaction at this site is considered to be very low based on the presence of shallow formational unit and lack of shallow groundwater.

5.Considering the future as-graded conditions it is anticipated that overall settlement due to static and/or seismic will not exceed 1/4-inch total and less than 1/4-inch differential across the span of 40 feet.

GEO No. 2526 recommended:

1.Site preparation should begin with the demolition and the removal of deleterious material, underground utilities, construction debris and vegetation.

2.All topsoil, undocumented fill, the upper 5 feet of alluvium, and the upper 2 feet of Pauba Formation should be removed to expose firm and unyielding alluvium and Pauba Formation materials.

3.Alluvium left in-place for any reason should have in-place densities of a minimum of 85% of its maximum density of the soil, or 111.8 lbs per cu/ft dry density (based on the maximum dry density of 131.5 lbs cu/ft as determined from samples taken during our investigation), or an 85% in-place saturation rate.

4.In general, the cut portion of the cut/fill transition should be undercut at least 3 feet, or 1/4 of the maximum fill thickness, whichever is greater, and replaced with properly compacted engineered fill.

This update to GEO No. 2526 satisfies the requirement for a geologic/geotechnical study for Planning/CEQA purposes. GEO No. 2526 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.PLANNING. 3 MAP - GEO02526 ACCEPTED (cont.) (cont.) RECOMMND

included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

10.PLANNING. 5 PPA - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 7 MAP - FEES FOR REVIEW RECOMMND

Any subsequent review/approvals required by the conditions of approval, including but not limited to grading or building plan review or review of any mitigation monitoring requirement, shall be reviewed on an hourly basis, or other appropriate fee, as listed in county Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 12 MAP - OFFSITE SIGNS ORD 679.4 RECOMMND

No offsite subdivision signs advertising this land Division/development are permitted, other than those allowed under Ordinance No. 679.4. Violation of this condition of approval may result in no further permits of any type being issued for this subdivision until the unpermitted signage is removed.

10.PLANNING. 14 MAP - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and construction of facilities necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.PLANNING. 14 MAP - ORD NO. 659 (DIF) (cont.)

RECOMMND

Ordinance, and it establishes the authorized uses of the fees collected.

The fee shall be paid for each residential unit to be constructed within this land division. In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 15 MAP - ORD 810 OPN SPACE FEE

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 810 has been established to set forth policies, regulations and fees related to the funding and acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development projects described and defined in this Ordinance.

The fee shall be paid for each residential unit to be constructed within this land division.

In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

10.PLANNING. 16 MAP- REQUIRED MINOR PLANS

RECOMMND

For each of the below listed items, a minor plot plan application shall be submitted and approved by the County Planning Department pursuant to Section 18.30.a. (1) of County Ordinance No. 348 (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department) along with the current fee.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.PLANNING. 16 MAP- REQUIRED MINOR PLANS (cont.) RECOMMND

1. Final Site Development Plan for each phase of development.
2. Model Home Complex Plan shall be filed and approved for each phase if models change between phases. A final site of development plot plan must be approved prior to approval, or concurrent with a Model Home Complex Plan.
3. Landscaping Plan for typical front yard/slopes/open space. These three plans may be applied for separately for the whole tract or for phases.
4. Landscaping plans totally in the road right-of-Way shall be submitted to the Transportation Department only.
5. Each phase shall have a separate wall and fencing plan.
6. Entry monument and gate entry plan.

NOTE: The requirements of the above plot plans may be accomplished as one, or, any combination of multiple plot plans required by these conditions of approval. However, each requirement shall be cleared individually with the applicable plot plan condition of approval in the "PRIOR TO BUILDING PERMIT" (80 series) conditions.

10.PLANNING. 17 MAP - DESIGN GUIDELINES RECOMMND

The project shall conform to Countywide Design Standards and Guidelines adopted January 13, 2004.

10.PLANNING. 19 MAP - SUBMIT BUILDING PLANS RECOMMND

The developer shall cause building plans to be submitted to the TLMA- Land Use Section for review by the Department of Building and Safety - Plan Check Division. Said plans shall be in conformance with the approved TENTATIVE MAP.

TRANS DEPARTMENT

10.TRANS. 1 MAP - STD INTRO 3 (ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the land divider shall

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.TRANS. 1 MAP - STD INTRO 3 (ORD 460/461) (cont.) RECOMMND

provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement Standards (Ordinance 461). It is understood that the tentative map correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the map to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 MAP - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 MAP - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. It has been determined that the project is exempt from traffic study requirements.

10.TRANS. 4 MAP - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/permit holder shall ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition.

Prior to the installation or rehabilitation of landscaped area, the developer/ permit holder/landowner shall:

1) Submit landscape and irrigation plans to the County Transportation Department for review and approval. Such plans shall be submitted as a Minor Plot Plan subject to the appropriate fees and inspections as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping. Emphasis shall be placed on using

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.TRANS. 4 MAP - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

- plant species that are drought tolerant and low water using.
- 2) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;
 - 3) Ensure all landscaping is provided with a weather based irrigation controller(s) as defined by County Ordinance No. 859; and,
 - 4) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the Installation Inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

10.TRANS. 5 MAP - DRAINAGE 1 RECOMMND

The land divider shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed". The protection shall be as approved by the Transportation Department.

10.TRANS. 6 MAP - DRAINAGE 2 RECOMMND

The land divider shall accept and properly dispose of all off-site drainage flowing onto or through the site. In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article XI of Ordinance No. 460 will apply. Should the quantities exceed the street capacity or the use of streets be prohibited for drainage purposes, the subdivider shall provide adequate drainage facilities and/or appropriate easements as approved by the Transportation Department.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.TRANS. 7 MAP - OFF-SITE PHASE RECOMMND

Should the applicant choose to phase any portion of this project, said applicant shall provide off-site access roads to County maintained roads as approved by the Transportation Department.

10.TRANS. 8 MAP- TUMF CREDIT AGREEMENT RECOMMND

If the applicant/developer is constructing a "TUMF" facility as a condition of approval for this project and will be seeking "TUMF" credits and/or reimbursements for the "TUMF" improvements built with this project, the applicant shall enter into a "TUMF Improvement and Credit Agreement" with the Transportation Department prior to the first building permit issuance as directed by the Director of Transportation. Please contact (951) 955-6800 for additional information.

10.TRANS. 9 MAP-CREDIT/REIMBURSEMENT 4 IMP RECOMMND

In order to receive any fee credit or reimbursement for improvements, the project proponent shall contact the Transportation Department and enter into an agreement for fee credit or reimbursement prior to advertising. All work shall be preapproved by and shall comply with the requirements of the Transportation Department and the public contracts code in order to be eligible for fee credit or reimbursement.

To enter into an agreement, please contact our Funding Programs group at (951) 955-1667.

For more information regarding the public work bidding requirements please visit the following link:
<http://rctlma.org/trans/Land-Development/Funding-Programs/Road-and-Bridge-Benefit-District-RBBD/Public-Works-Bidding-Requirements>.

WASTE DEPARTMENT

10.WASTE. 1 MAP - HAZARDOUS MATERIALS RECOMMND

Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

10. GENERAL CONDITIONS

10.WASTE. 1 MAP - HAZARDOUS MATERIALS (cont.) RECOMMND

waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division.

10.WASTE. 3 MAP - LANDSCAPE PRACTICES RECOMMND

Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries.

Reduce the amount of green waste generated in common landscaped areas through grass recycling (where lawn clippings from a mulching type mower are left on lawn), or through on-site composting of green waste, or through the separation of green waste from other waste types to send to a composting facility.

Xeriscape and/or use drought tolerant/low maintenance vegetation in all landscaped areas of the project.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 MAP- EXPIRATION DATE RECOMMND

The conditionally approved TENTATIVE MAP shall expire three years after the County of Riverside Planning Commission's original approval date, unless extended as provided by County Ordinance No. 460. Action on a minor change and/or revised map request shall not extend the time limits of the originally approved TENTATIVE MAP. If the TENTATIVE MAP expires before the recordation of the FINAL MAP, or any phase thereof, no recordation of the FINAL MAP, or any phase thereof, shall be permitted.

40. PRIOR TO PHASING (UNITIZATION)

PLANNING DEPARTMENT

40.PLANNING. 1 MAP - CONCEPTUAL PHASE GRADING RECOMMND

Prior to the approval of an application for a division into units or phasing plan for the TENTATIVE MAP, a conceptual

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

40. PRIOR TO PHASING (UNITIZATION)

40.PLANNING. 1 MAP - CONCEPTUAL PHASE GRADING (cont.) RECOMMND

grading plan covering the entire TENTATIVE MAP shall be submitted to the County Planning Department for review and approval. The conceptual grading plan shall comply with the following:

A. Techniques which will be used to prevent erosion and sedimentation during and after the grading process shall be depicted or documented.

B. Approximate time frames for grading and areas which may be graded during the higher probability rain months of January through March shall be identified.

C. Preliminary pad and roadway elevations shall be depicted.

D. Areas where temporary grading occurs on any phase other than the one being graded for development at a particular time shall be identified.

The approved conceptual grading plan shall be provided to the Building and Safety Grading Division and shall be used as a guideline for subsequent detailed grading plans for individual units or phases of the TENTATIVE MAP.

40.PLANNING. 2 MAP - PHASES SEPARABLE - R-2 RECOMMND

his land division may be divided into units and recorded in phases provided that the phasing plan complies with the following:

A. The proposed division into units or phasing, including unit or phase boundaries, sequencing, and floor plan selection shall be subject to the Planning Director's approval.

B. Each proposed unit or phase, individually and cumulatively with all other units or phases, shall comply with the provisions of Section 7.11 (Restricted Single-Family Residential Subdivision) of the County Ordinance No. 348.

40.PLANNING. 3 MAP - LOT ACCESS/UNIT PLANS RECOMMND

Any roposed division into units or phasing of the TENTATIVE MAP shall provide for adequate vehicular access to all lots

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

40. PRIOR TO PHASING (UNITIZATION)

40.PLANNING. 3 MAP - LOT ACCESS/UNIT PLANS (cont.) RECOMMND

in each unit or phase, and shall substantially conform to the intent and purpose of the land division approval. No approval for any number of units or phases is given by this TENTATIVE MAP and its conditions of approval, except as provided by Section 8.3 (Division into Units) of Ordinance No. 460.

50. PRIOR TO MAP RECORDATION

E HEALTH DEPARTMENT

50.E HEALTH. 1 MAP - WATER & SEWER WILL SERVE RECOMMND

Current documentation to be provided from water and sewer purveyor verifying that water and sewer service is in place for the project.

50.E HEALTH. 2 MAP - LEA CLEARANCE RECOMMND

Prior to map recordation, the project must obtain clearance from the Local Enforcement Agency (LEA). Please contact LEA for additional details at (951)955-8980.

FIRE DEPARTMENT

50.FIRE. 1 MAP-#7-ECS-HAZ FIRE AREA RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The land division is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed on lots created by this land division shall comply with the special construction provisions contained in Riverside County Ordinance 787.7.

50.FIRE. 2 MAP-#43-ECS-ROOFING MATERIAL RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: All buildings shall be constructed with Class A material as per the California Building Code.

50.FIRE. 3 MAP-#46-WATER PLANS RECOMMND

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.FIRE. 3 MAP-#46-WATER PLANS (cont.) RECOMMND

Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

50.FIRE. 4 MAP-#53-ECS-WTR PRIOR/COMBUS RECOMMND

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

50.FIRE. 5 MAP-#47-SECONDARY ACCESS RECOMMND

In the interest of Public Safety, the project shall provide an Alternate or Secondary Access(s). Said Alternate or Secondary Access(s) shall have concurrence and approval of both the Transportation Department and the Riverside County Fire Department. Refer to 50.TRANS.6 for the definition of secondary access.

50.FIRE. 7 MAP-#004-ECS-FUEL MODIFICATION RECOMMND

ECS map must be stamped by the Riverside County Surveyor with the following note: Prior to the issuance of a grading permit, the developer shall prepare and submit to the fire department for approval a fire protection/vegetation management plan that should include but not be limited to the following items: a) Fuel modification to reduce fire loading. b) Appropriate fire breaks according to fuel load, slope and terrain. c) Non flammable walls along common boundaries between rear yards and open space. d) A homeowner's association or appropriate district shall be responsible for maintenance of all fire protection measures within the open space areas.

ANY HABITAT CONSERVATION ISSUE AFFECTING THE FIRE DEPARTMENT FUEL MODIFICATION REQUIREMENT, SHALL HAVE CONCURRENCE WITH THE RESPONSIBLE WILDLIFE AND/OR OTHER CONSERVATION AGENCY.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

FLOOD RI DEPARTMENT

50.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, final map, environmental constraint sheet, BMP improvement plans, and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

50.FLOOD RI. 3 MAP ONSITE EASE ON FINAL MAP RECOMMND

Onsite drainage facilities located outside of road right of way shall be contained within drainage easements shown on the final map. A note shall be added to the final map stating, "Drainage easements shall be kept free of buildings and obstructions".

50.FLOOD RI. 5 MAP WRITTEN PERM FOR GRADING RECOMMND

Written permission shall be obtained from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the tract boundaries. A copy of the written authorization shall be submitted to the District for review and approval.

50.FLOOD RI. 6 MAP ENCROACHMENT PERMIT REQ RECOMMND

An encroachment permit shall be obtained for any work within the District right of way or with District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

50.FLOOD RI. 9 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

50.PLANNING. 1 MAP - PREPARE A FINAL MAP RECOMMND

After the approval of the TENTATIVE MAP and prior to the expiration of said map, the land divider shall cause the

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.PLANNING. 1 MAP - PREPARE A FINAL MAP (cont.) RECOMMND

real property included within the TENTATIVE MAP, or any part thereof, to be surveyed and a FINAL MAP thereof prepared in accordance with the current County Transportation Department - Survey Division requirements, the conditionally approved TENTATIVE MAP, and in accordance with Article IX of County Ordinance No. 460.

50.PLANNING. 2 MAP - FINAL MAP PREPARER RECOMMND

The FINAL MAP shall be prepared by a licensed land surveyor or registered civil engineer.

50.PLANNING. 3 MAP- SURVEYOR CHECK LIST RECOMMND

The County Transportation Department - Survey Division shall review any FINAL MAP and ensure compliance with the following:

- A. All lots on the FINAL MAP shall be in substantial conformance with the approved TENTATIVE MAP relative to size and configuration.
- B. All lots on the FINAL MAP shall have a minimum lot size of 7200 gross acres.
- C. All lot sizes and dimensions on the FINAL MAP shall be in conformance with the development standards of the R-1 zone, and with the Riverside County General Plan.
- D. All lots on the FINAL MAP shall comply with the length to width ratios, as established by Section 3.8.C. of County Ordinance No. 460.
- E. All knuckle or cul-de-sac lots shall have a minimum of 35 feet of frontage measured at the front lot line.
- F. The common open space areas shall be shown as a numbered lots on the FINAL MAP.

50.PLANNING. 4 MAP- REQUIRED APPLICATIONS RECOMMND

No FINAL MAP shall record until Zone No. 7901 has been approved and adopted by the Board of Supervisors and has been made effective. This land division shall conform with the development standards of the designations and/or zones ultimately applied to the property.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.PLANNING. 8 MAP- QUIMBY FEES (1) RECOMMND

The land divider shall submit to the County Planning Department - Development Review Division a duly and completely executed agreement with the Valleywide Recreation and Parks District which demonstrates to the satisfaction of the County that the land divider has provided for the payment of parks and recreation fees and/or dedication of land for the TENTATIVE MAP in accordance with Section 10.35 of County Ordinance No. 460.

50.PLANNING. 19 MAP - ECS NOTE MT PALOMAR LIGH RECOMMND

The following Environmental Constraint Note shall be placed on the ECS:

"This property is subject to lighting restrictions as required by County Ordinance No. 655, which are intended to reduce the effects of night lighting on the Mount Palomar Observatory. All proposed outdoor lighting systems shall be in conformance with County Ordinance No. 655."

50.PLANNING. 26 MAP - COMPLY WITH ORD 457 RECOMMND

The land divider shall provide proof to The Land Management Agency - Land Use Section that all structures for human occupancy presently existing and proposed for retention comply with Ordinance Nos. 457 and 348.

50.PLANNING. 28 MAP - FEE BALANCE RECOMMND

Prior to recordation, the Planning Department shall determine if the deposit based fees for the TENTATIVE MAP are in a negative balance. If so, any unpaid fees shall be paid by the land divider and/or the land divider's successor-in-interest.

50.PLANNING. 31 MAP- CC&R RES CSA COM. AREA RECOMMND

The land divider shall convey to the County fee simple title, to all common open space areas, free and clear of all liens, taxes, assessments, leases (recorded and unrecorded) and easement, except those easements which in the sole discretion of the County are acceptable. As a condition precedent to the County accepting title to such areas, the land divider shall (a) notify the Planning Department that the following documents shall be shortly,

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.PLANNING. 31 MAP- CC&R RES CSA COM. AREA (cont.)

RECOMMND

or have been, submitted to the Office of the County Counsel for review and approval, and (b) the land divider shall submit to the Office of the County Counsel the following documents:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number (a copy of this cover letter may be sent to the Planning Department to serve as notification) and identifying one individual to represent the land divider if there are any questions concerning the review of the submitted documents; and

2. One (1) copy AND one (1) original, wet signed, notarized and ready for recordation declaration of covenants, conditions and restrictions; attached to these documents there shall be included a legal description of the property included within the covenants, conditions and restrictions and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor; and

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the of the current hourly fee for Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted to the Office of the County Counsel review and approval.

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit as tenants in common, and c) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall, if dormant, be activated, by incorporation or

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.PLANNING. 31 MAP- CC&R RES CSA COM. AREA (cont.) (cont.) RECOMMND

otherwise, at the request of the County of Riverside, and the property owner's association shall unconditionally accept from the County of Riverside, upon the County's demand, title to all or any part of the 'common area', more particularly described on Exhibit '___', attached hereto. The decision to require activation of the property owners' association and the decision to require that the association unconditionally accept title to the 'common area' shall be at the sole discretion of the County of Riverside.

In the event that the 'common area', or any part thereof, is conveyed to the property owners' association, the association, thereafter, shall own such 'common area', shall manage and continuously maintain such 'common area', and shall not sell or transfer such 'common area', or any part thereof, absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. The property owners' association shall have the right to assess the owner of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

Once approved, the copy and the original declaration of covenants, conditions and restrictions shall be forwarded by the Office of the County Counsel to the Planning Department. The Planning Department will retain the one

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.PLANNING. 31 MAP- CC&R RES CSA COM. AREA (cont.) (cont.) (RECOMMND

copy for the case file, and forward the wet signed and notarized original declaration of covenants, conditions and restrictions to the County Transportation Department - Survey Division - for safe keeping until the final map is ready for recordation. The County Transportation Department - Survey Division - shall record the original declaration of covenants, conditions and restrictions in conjunction with the recordation of the final map.

50.PLANNING. 32 MAP- CC&R RES POA COM. AREA RECOMMND

The land divider shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for the review and approval of that office, and (b) the land divider shall submit to the Office of the County Counsel the following documents:

1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number(s) (a copy of this cover letter may be sent to the Planning Department to serve as notification) and identifying one individual to represent the land divider if there are any questions concerning the review of the submitted documents; and

2. One (1) copy AND one (1) original, wet signed, notarized and ready for recordation declaration of covenants, conditions, and restrictions; attached to these documents there shall be included a legal description of the property included within the covenants, conditions and restrictions and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor; and

3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions, and restrictions is incorporated therein by reference; and,

4. A deposit equaling three (3) hours of the current hourly fee for the Review of Covenants, Conditions and Restrictions established pursuant to County Ordinance No. 671 at the time the above referenced documents are submitted to the Office of the County Counsel for review and approval.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50. PLANNING. 32

MAP- CC&R RES POA COM. AREA (cont.)

RECOMMND

The declaration of covenants, conditions and restrictions submitted for review shall a) provide for a minimum term of 60 years, b) provide for the establishment of a property owner's association comprised of the owners of each individual lot or unit as tenants in common, c) provide for the ownership of the common area by either the property owner's association or the owners of each individual lot or unit as tenants in common, and d) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall manage and continuously maintain the 'common area', more particularly described on Exhibit '___', attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Department of the County of Riverside or the County's successor-in-interest.

The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage, or maintenance of the 'common area' established pursuant to the Declaration.

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.PLANNING. 32 MAP- CC&R RES POA COM. AREA (cont.) (cont.) RECOMMND

Once approved, the copy and the original declaration of covenants, conditions and restrictions shall be forwarded by the Office of the County Counsel to the Planning Department. The Planning Department will retain the one copy for the case file, and forward the wet signed and notarized original declaration of covenants, conditions and restrictions to the County Transportation Department - Survey Division - for safe keeping until the final map is ready for recordation. The County Transportation Department - Survey Division - shall record the original declaration of covenants, conditions and restrictions in conjunction with the recordation of the final map.

SURVEY DEPARTMENT

50.SURVEY. 1 MAP - EASEMENT RECOMMND

Any easement not owned by a public utility, public entity or subsidiary, not relocated or eliminated prior to final map approval, shall be delineated on the final map in addition to having the name of the easement holder, and the nature of their interests, shown on the map.

50.SURVEY. 2 MAP - ACCESS RESTRICTION RECOMMND

Lot access shall be restricted on Anza Road and so noted on the final map.

TRANS DEPARTMENT

50.TRANS. 1 MAP - LC LNDSCP COMMON AREA MA RECOMMND

Prior to map recordation, the developer/permit holder shall submit Covenants, Conditions, and Restrictions (CC&R) to the Riverside County Counsel for review along with the required fees set forth by the Riverside County Fee Schedule.

For purposes of landscaping and maintenance, the following minimum elements shall be incorporated into the CC&R's:

- 1)Permanent public, quasi-public or private maintenance organization shall be established for proper management of the water efficient landscape and irrigation systems. Any agreements with the maintenance organization shall

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.TRANS. 1 MAP - LC LNDSCP COMMON AREA MA (cont.) RECOMMND

stipulate that maintenance of landscaped areas will occur in accordance with Ordinance No. 859 (as adopted and any amendments thereto) and the County of Riverside Guide to California Friendly Landscaping.

2)The CC&R's shall prohibit the use of water-intensive landscaping and require the use of low water use landscaping pursuant to the provisions of Ordinance No. 859 (as adopted and any amendments thereto).

3)The common maintenance areas shall include all those identified on the approved landscape maintenance exhibit.

The Planning Department shall clear this condition once a copy of the County Counsel approved CC&R's has been submitted to the Planning Department.

50.TRANS. 2 MAP - STREET NAME SIGN RECOMMND

The land divider shall install street name sign(s) in accordance with County Standard No. 816 as directed by the Transportation Department.

50.TRANS. 3 MAP - ST DESIGN/IMPRV CONCEPT RECOMMND

The street design and improvement concept of this project shall be coordinated with TR34676 and TR32813M1.

50.TRANS. 4 MAP - SOILS 2 RECOMMND

The developer/owner shall submit a preliminary soils and pavement investigation report addressing the construction requirements within the road right-of-way.

50.TRANS. 5 MAP - CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461.

50.TRANS. 6 MAP - OFF-SITE ACCESS 2 RECOMMND

The landowner/developer shall provide/acquire sufficient public off-site rights-of-way to provide for a paved access road to a paved and maintained road. Said access road shall be constructed with 32' of A.C. pavement within a 60' dedicated right-of-way in accordance with County Standard

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.TRANS. 6 MAP - OFF-SITE ACCESS 2 (cont.) RECOMMND

No. 106, Section A (32'/60') at a grade and alignment as approved by the Transportation Department. Should the applicant fail to provide/acquire said off-site right-of-way, the map shall be returned for redesign. The applicant shall provide the appropriate environmental clearances for said off-site improvements prior to recordation or the signature of any street improvement plans.

Said off-site access road shall be the westerly extension of Anza Road to the County maintained segment of Anza Road.

50.TRANS. 7 MAP - ACCESS RD/AGG. CONST1 RECOMMND

Secondary off-site access road to the nearest road maintained for public use shall be constructed with 24 feet of acceptable aggregate base (0.33' thick) on a 32 foot graded section as approved by the Fire Department within a 60 foot full-width dedicated right-of-way in accordance with an approved centerline profile as approved by the Transportation Department. The applicant shall be required to provide the appropriate environmental clearances for said off-site improvements prior to recordation or the signature of any street improvement plans.

Said off-site access road shall be the easterly extension of Anza Road to Rio Linda Road and the northerly extension of Rio Linda Road to a paved Rio Linda Road (TR32813M1).

50.TRANS. 8 MAP - LIGHTING PLAN RECOMMND

A separate streetlight plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001.

50.TRANS. 9 MAP - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to map recordation, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an applicaton for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated and/or any other maintenance district

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.TRANS. 9

MAP - ANNEX L&LMD/OTHER DIST (cont.)

RECOMMND

approved by the Transportation Department. Said annexation should include the following:

- (1) Landscaping along Anza Road.
- (2) Streetlights.
- (3) Street sweeping.

For street lighting, the project proponent shall contact the County Service Area (CSA) Project Manager who determines whether the development is within an existing CSA or will require annexation into the CSA.

If the project is outside boundaries of a CSA, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) Two (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE or other electric provider.

50.TRANS. 10

MAP - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.TRANS. 11 MAP - LANDSCAPING RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping shall be improved within Anza Road.

Landscaping plans shall be submitted on standard County plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans. If landscaping maintenance is to be annexed to a County Service Area, or Landscaping and Lighting Maintenance District, landscaping plans shall depict ONLY such landscaping, irrigation and related facilities as are to be placed within the public road rights-of-way.

50.TRANS. 12 USE - TUMF CREDIT AGREEMENT RECOMMND

If the applicant/developer is constructing a "TUMF" facility as a condition of approval for this project and will be seeking "TUMF" credits and/or reimbursements for the "TUMF" improvements built with this project, the applicant shall enter into a "TUMF Improvement and Credit Agreement" with the Transportation Department prior to the first building permit issuance as directed by the Director of Transportation. Please contact (951) 955-6800 for additional information.

50.TRANS. 13 MAP - INTERSECTION/50' TANGENT RECOMMND

All centerline intersections shall be at 90 degrees, plus or minus 5 degrees, with a minimum 50' tangent, measured from flowline/curbface or as approved by the Transportation Planning and Development Review Division Engineer.

50.TRANS. 14 MAP - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s),

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

50. PRIOR TO MAP RECORDATION

50.TRANS. 14 MAP - IMP PLANS (cont.) RECOMMND

please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: <http://rctlma.org/trans/General-Information/Pamphlets-Brochures>

50.TRANS. 15 MAP - CONSTRUCT RAMP RECOMMND

Ramps shall be constructed at 4-way intersections and "T" intersections per Standard No. 403, sheets 1 through 7 of Ordinance 461.

50.TRANS. 16 MAP - SIGNING & STRIPING PLAN RECOMMND

A signing and striping plan is required for this project. The applicant shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

50.TRANS. 17 MAP - PART-WIDTH RECOMMND

Anza Road along project boundary is designated MAJOR HIGHWAY and shall be improved with 38'-56' part-width AC pavement (38' on the project side and 18' on opposite side of the centerline), 8" concrete curb and gutter (project side), and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Director of Transportation within the 89' part-width (59' project side and 30' on the other side of the centerline, minimum) dedicated right-of-way in accordance with County Standard No. 93, Ordinance 461.

NOTE: 1. A 5' meandering sidewalk shall be constructed within the 21' parkway per Standard No. 404, Ordinance 461.

50.TRANS. 18 MAP - DEDICATION RECOMMND

Interior streets along project boundary are designated LOCAL ROAD and shall be improved with 36' full-width AC pavement and 6" concrete curb and gutter within the 56' dedicated right-of-way in accordance with County Standard No. 105, Section "A", Ordinance 461.

NOTE: A 5' sidewalk shall be constructed adjacent to the property line within the 10' parkway.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 MAP - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov .

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 MAP - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department. Single Family Dwelling units graded one lot per permit and proposing to grade less than 5,000 cubic yards are exempt.

60.BS GRADE. 3 MAP - IMPORT/EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 MAP - IMPORT/EXPORT (cont.) RECOMMND

Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 MAP - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department's Grading Division for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 5 MAP - SLOPE STABIL'TY ANLY RECOMMND

A slope stability report shall be submitted and approved by the County Geologist and/or Building and Safety Engineer for all proposed cut or fill slopes over 30 feet in vertical height or cut slopes steeper than 2:1 (horizontal to vertical) - unless addressed in a previous report. Fill slopes shall not be steeper than 2:1 (horizontal to vertical).

60.BS GRADE. 6 MAP - DRNAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 11 MAP - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 11 MAP - APPROVED WQMP (cont.) RECOMMND

County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 13 MAP - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 14 MAP- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 15 MAP - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

EPD DEPARTMENT

60.EPD. 1 EPD - 30-DAY BUOW SURVEY INEFFECT

Pursuant to Objectives 6 & 7 of the Species Account for the Burrowing Owl included in the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP), within 30 days prior to the issuance of a grading permit, a pre-construction presence/absence survey for the burrowing owl shall be conducted by a qualified biologist and the results provided in writing to the Environmental Programs Department. If it is determined that the project site is occupied by the Burrowing Owl, take of "active" nests shall

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 EPD - 30-DAY BUOW SURVEY (cont.) INEFFECT

be avoided pursuant to the MSHCP and the Migratory Bird Treaty Act. However, when the Burrowing Owl is present, relocation outside of the nesting season (March 1 through August 31) by a qualified biologist shall be required. The County Biologist shall be consulted to determine appropriate type of relocation (active or passive) and translocation sites. A grading permit may be issued once the species has been relocated.

If the grading permit is not obtained within 30 days of the survey, a new survey shall be required.

60.EPD. 4 EPD - MBTA SURVEY INEFFECT

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted. Prior to the issuance of a grading permit the project proponent must provide written proof to the Riverside County Planning Department, Environmental Programs Division (EPD) that a biologist who holds an MOU with the County of Riverside has been retained to carry out the required survey. Documentation submitted to prove compliance prior to grading permit issuance must at a minimum include the name and contact information for the Consulting Biologist and a signed statement from the Consulting Biologist confirming that they have been contracted by the applicant to conduct a Preconstruction Nesting Bird Survey. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a grading permit. Prior to finalization of a grading permit or prior to issuance of any building permits the projects consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

FIRE DEPARTMENT

60.FIRE. 1 MAP-#004 FUEL MODIFICATION RECOMMND

Prior to the issuance of a grading permit, the developer shall prepare and submit to the fire department for approval a fire protection/vegetation management that should include but not limited to the following items:

- a) fuel modification to reduce fire loading
- b) appropriate fire breaks according to fuel load, slope and terrain.
- c) non flammable walls along common boundaries between rear yards and open space.
- d) a homeowner's association or appropriate district shall be responsible for maintenance of all fire protection measures within open space areas.

ANY HABITAT CONSERVATION ISSUE AFFECTING THE FIRE DEPARTMENT FUEL MODIFICATION REQUIREMENT, SHALL HAVE CONCURRENCE WITH THE RESPONBILE WILDLIFE AND/OR OTHER CONSERVATION AGENCY.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 MAP EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 5 MAP ENCROACHMENT PERMIT REQ

RECOMMND

An encroachment permit shall be obtained for any work within the District right of way or with District facilities. The encroachment permit application shall be processed and approved concurrently with the improvement plans.

60.FLOOD RI. 8 MAP SUBMIT FINAL WQMP

RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 1 MAP - PALEO PRIMP/MONITOR

INEFFECT

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standards and Society of Vertebrate Paleontology standards, are as follows:

1.Description of the proposed site and planned grading operations.

2.Description of the level of monitoring required for all earth-moving activities in the project area.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1

MAP - PALEO PRIMP/MONITOR (cont.)

INEFFECT

3. Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.

4. Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.

5. Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.

6. Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.

7. Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.

8. Procedures and protocol for collecting and processing of samples and specimens.

9. Fossil identification and curation procedures to be employed.

10. Identification of the permanent repository to receive any recovered fossil material. *Pursuant the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet. A written agreement between the property owner/developer and the repository must be in place prior to site grading.

11. All pertinent exhibits, maps and references.

12. Procedures for reporting of findings.

13. Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.

The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 MAP - PALEO PRIMP/MONITOR (cont.) (cont.) INEFFECT

that such funding has been paid to the institution.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. One original signed copy of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

Safeguard Artifacts Being Excavated in Riverside County (SABER)

60.PLANNING. 1 MAP - MITIGATION DRAFT

During site preparation and grading activity, all crawler tractors, excavators, and graders shall be CARB certified tier 3 or higher; all rubber tired dozers and scrapers shall be CARB certified tier 4 or higher.

60.PLANNING. 1 MAP- MM AQ-1 RECOMMND

During site preparation and grading activity, all crawler tractors, excavators, and graders shall be CARB certified tier 3 or higher; all rubber tired dozers and scrapers shall be CARB certified tier 4 or higher.

60.PLANNING. 2 MAP - SLOPE STABILITY REPORT RECOMMND

The developer shall cause a Slope Stability Report to be submitted to the County Engineering Geologist. This report may be included as a part of a preliminary geotechnical report for the project site. Upon approval, the Geologist shall provide written clearance to the County Department of Building and Safety - Grading Division.

60.PLANNING. 18 MAP - FEE BALANCE RECOMMND

Prior to issuance of grading permits, the Planning Department shall determine if the deposit based fees are in

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 18 MAP - FEE BALANCE (cont.) RECOMMND

a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

60.PLANNING. 19 MAP - GRADING PLAN REVIEW RECOMMND

The land divider/permit holder shall cause a plan check application for a grading plan to be submitted to the county T.L.M.A - Land Use Division for review by the County Department of Building and Safety - Grading Division. Said grading plan shall be in conformance with the approved tentative map, in compliance with County Ordinance No. 457, and the conditions of approval for the tentative map.

60.PLANNING. 24 MAP - PROJECT ARCHAEOLOGIST RECOMMND

Prior to issuance of grading permits: The applicant/developer shall provide evidence to the County of Riverside Planning Department that a County certified professional archaeologist (Project Archaeologist) has been contracted to implement a Cultural Resource Monitoring Program. A Cultural Resource Monitoring Plan shall be developed that addresses the details of all activities and provides procedures that must be followed in order to reduce the impacts to cultural and historic resources to a level that is less than significant as well as address potential impacts to undiscovered buried archaeological resources associated with this project. A fully executed copy of the contract and a wet-signed copy of the Monitoring Plan shall be provided to the County Archaeologist to ensure compliance with this condition of approval.

Working directly under the Project Archaeologist, an adequate number of qualified Archaeological Monitors shall be present to ensure that all earth moving activities are observed and shall be on-site during all grading activities for areas to be monitored including off-site improvements. Inspections will vary based on the rate of excavation, the materials excavated, and the presence and abundance of artifacts and features. The frequency and location of inspections will be determined by the Project Archaeologist.

60.PLANNING. 25 MAP - TRIBAL MONITOR RECOMMND

Prior to the issuance of grading permits, the developer/permit applicant shall enter into an agreement

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 25 MAP - TRIBAL MONITOR (cont.)

RECOMMND

with a Native American Monitor from the Pechanga tribe.

The Native American Monitor shall be on-site during all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading and trenching,. In conjunction with the Archaeological Monitor, the Native American Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources.

The developer/permit applicant shall submit a fully executed copy of the agreement to the County Archaeologist to ensure compliance with this condition of approval. Upon verification, the Archaeologist shall clear this condition. This agreement shall not modify any condition of approval or mitigation measure.

TRANS DEPARTMENT

60.TRANS. 1 MAP-CREDIT/REIMBURSEMENT 4 IMP

RECOMMND

In order to receive any fee credit or reimbursement for improvements, the project proponent shall contact the Transportation Department and enter into an agreement for fee credit or reimbursement prior to advertising. All work shall be preapproved by and shall comply with the requirements of the Transportation Department and the public contracts code in order to be eligible for fee credit or reimbursement.

To enter into an agreement, please contact our Funding Programs group at (951) 955-1667.

For more information regarding the public work bidding requirements please visit the following link:
<http://rctlma.org/trans/Land-Development/Funding-Programs/Road-and-Bridge-Benefit-District-RBBD/Public-Works-Bidding-Requirements>.

60.TRANS. 2 MAP - SUBMIT GRADING PLAN

RECOMMND

When you submit a grading plan to the Department of Building and Safety, two sets of the grading plan (24" X 36") shall be submitted to the Transportation Department for review and subsequently for the required clearance of

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 2 MAP - SUBMIT GRADING PLAN (cont.) RECOMMND

the condition of approval prior to the issuance of a grading permit.

Please note, if improvements within the road right-of-way are required per the conditions of approval, the grading clearance may be dependent on the submittal of street improvement plans, the opening of an IP account, and payment of the processing fee.

Otherwise, please submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA

Standard plan check turnaround time is 10 working days.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 MAP - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 MAP - ROUGH GRADE APPROVAL (cont.) RECOMMND

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

EPD DEPARTMENT

80.EPD. 1 EPD - 30-DAY BUOW REPORT INEFFECT

Prior to the issuance of any building permits, the biologist who carried out the 30-day pre-construction burrowing owl survey shall submit a written report for review to EPD.

80.EPD. 2 EPD - MBTA REPORT INEFFECT

Prior to the issuance of any building permits, the biologist who carried out the MBTA survey(s) shall submit a written report for review to EPD. At a minimum the report shall provide survey results and describe any mitigation measures that may have been employed to avoid take of any MBTA covered species.

FIRE DEPARTMENT

80.FIRE. 1 MAP-#50C-TRACT WATER VERIFICA RECOMMND

The required water system, including all fire hydrant(s), shall be installed and accepted by the appropriate water agency and the Riverside County Fire Department prior to any combustible building material placed on an individual lot. Contact the Riverside County Fire Department to inspect the required fire flow, street signs, all weather surface, and all access and/or secondary.

Approved water plans must be a the job site.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 3 MAP-RESIDENTIAL FIRE SPRINKLER RECOMMND

Residential fire sprinklers are required in all one and two family dwellings per the California Residential Code, California Building Code and the California Fire Code.

Contact the Riverside County Fire Department for the Residential Fire Sprinkler standard.

West County- Riverside Office 951-955-4777
East County- Palm Desert Office 760-863-8886

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 MAP SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.FLOOD RI. 4 MAP SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 MAP - ROOF MOUNTED EQUIPMENT RECOMMND

Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with County Planning Department approval.

80.PLANNING. 2 MAP - UNDERGROUND UTILITIES RECOMMND

All utility extensions within a lot shall be placed underground.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 6 MAP - CONFORM FINAL SITE PLAN RECOMMND

Final clearance shall be obtained from the County Planning Department - Development Review Division stipulating that the building plans submitted conform to the approved Final Plan of Development.

80.PLANNING. 11 MAP- SCHOOL MITIGATION RECOMMND

Impacts to the Temecula Valley School District shall be mitigated in accordance with California State law.

80.PLANNING. 12 MAP - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

80.PLANNING. 14 MAP- ENTRY MONUMENT PLOT PLAN RECOMMND

The land divider/permit holder shall file four (4) sets of an Entry Monument and Gate plot plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

The plot plan shall contain the following elements:

1. A color photosimulation of a frontal view of all/the entry monument(s) and gate(s) with landscaping.
2. A plot plan of the entry monuments) and/or gate(s) with landscaping drawn to an engineer's scale. If lighting is planned, the location of lights, their intended direction, and proposed power shall be indicated.
3. An irrigation plan for the entry monument(s) and/or gate(s).

NOTE: The requirements of this plot plan may be incorporated with any minor plot plan required by the

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 14 MAP- ENTRY MONUMENT PLOT PLAN (cont.) RECOMMND

conditions of approval for this subdivision. However, this ENTRY MONUMENT nd GATES PLAN condition of approval shall be cleared individually.

80.PLANNING. 15 MAP - MODEL HOME COMPLEX RECOMMND

A plot plan application shall be submitted to the County Planning Department pursuant to Section 18.30.a.(1) of County Ordinance No. 348 (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee.

The Model Home Complex plot plan shall contain the following elements:

1. An engineer's scaled plan showing the model home lots, lot numbers, tract number, and north arrow.
2. Show front, side and rear yard setbacks.
3. Provide two dementioned off street parking spaces per model and one parking space for office use. The plan must have one accessible parking space.
4. Show detailed fencing plan including height and location.
5. Show typical model tour sign locations and elevation.
6. Six (6) sets of photographic or color laser prints (8" X 10") of the sample board and colored elevations shall be submitted for permaantent filing and agency distribution after the Plannning Department has reviewed and approved the sample board and colored elevations in accordance with the approved Design Manual and other applicable standards. All writing must be legible. Six (6) matrix sheets showing structure colors and texture schemes shall be submitted.
7. Provide a Model Home Complex landscape and irrigation plan.

NOTES: The Model Home Complex plot plan shall not be approved without Final Site Development Plan approval, or concurrent approval of both. See the Planning Department Model Home Complex application for detailed requirements.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 15 MAP - MODEL HOME COMPLEX (cont.) RECOMMND

The requirements of this plot plan may be incorporated with any minor plot plan required by the subdivision's conditions of approval. However, this MODEL HOME COMPLEX condition of approval shall be cleared individually.

80.PLANNING. 16 MAP - BUILDING SEPARATION 2 RECOMMND

Building separation between all buildings shall not be less than ten (10) feet. Additional encroachments are only allowed as permitted by County Ordinance No. 348.

80.PLANNING. 17 MAP- FINAL SITE PLAN RECOMMND

A plot plan application shall be submitted to the County Planning Department pursuant to Section 18.30.a.(1) of County Ordinance No. 348 (Plot Plans not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee.

Subdivision development shall conform to the approved plot plan and shall conform to the Design and Landscape Guidelines for the Third (3) District and the approved Design Manual, Exhibit.

The plot plan shall be approved by the Planning Director prior to issuance of building permits for lots included within that plot plan.

The plot plan shall contain the following elements:

1. A final site plan (40' scale precise grading plan) showing all lots, building footprints, setbacks, mechanical equipment and model assignments on individual lots.
2. Each model floor plan and elevations (all sides).
3. Six (6) sets of photographic or color laser prints (8" x 10") of the sample board and colored elevations shall be submitted for permanent filing and agency distribution after the Planning Department has reviewed and approved the sample board and colored elevations in accordance with the approved Design Manual and other applicable standards. All writing must be legible. Six (6) matrix sheets showing

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 17 MAP- FINAL SITE PLAN (cont.)

RECOMMND

structure colors and texture schemes shall be submitted.

4. At a minimum there should be three different floor plans for tract maps with 50 or less units. Reverse floor plans are not included as different floor plan. For tract maps with from 51 to 99 units, there shall be at least four different floor plans. Tract maps with 100 units or more shall provide five different floor plans and an additional floor plan for every 100 dwelling units above 100 units. For development projects that are to constructed in phases, a phasing plan shall be submitted to assure that the requirements for the number of floor plans is being met.

5. Homes and garages shall be placed at varying distances from the street and have varying entry locations. Front yard setbacks shall average 20 feet and may be varied by up to 25%, in increments of any size. The minimum front yard setback shall not be less than 15 feet.

6. The colors and materials on adjacent residential structures should be varied to establish a separate identity for the dwellings. A variety of colors and textures of building materials is encouraged, while maintaining overall design continuity in the neighborhood. Color sample boards shall be submitted as a part of the application and review process.

7. All new residences with garages shall be provided with roll-up (i.e. on tracks) garage doors (either sectional wood or steel). At least 25% of the garage doors in any project should have windows.

NOTE: The requirements of this plot plan may be incorporated with any minor plot plan required by this subdivision's conditions of approval. However, this FINAL SITE DEVELOPMENT plot plan condition of approval shall be cleared individually.

80.PLANNING. 18 MAP- Walls/Fencing Plans

RECOMMND

The land divider/permit holder shall file seven (7) sets of a Wall/Fencing Plan to the County Planning Department for review and approval. Said plan shall be submitted to the Department in the form of a plot plan application pursuant to County Ordinance No. 348, Section 18.30.a.(1) (Plot Plans not subject to the California Environmental Quality

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 18

MAP- Walls/Fencing Plans (cont.)

RECOMMND

Act and not subject to review by any governmental agency other than the Planning Department), along with the current fee. The plan shall be in compliance with Section 18.12, and the TENTATIVE MAP conditions of approval.

A. The plan shall show all project fencing including, but not limited to, perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical frontal view of all fences shall be shown on the fencing plan.

B. All utility service areas and enclosures shall be screened from view with landscaping or decorative barriers or baffle treatments, as approved by the Planning Department.

C. Front yard return walls shall be constructed of masonry slump stone or material of similar appearance, maintenance, and structural durability) and shall be a minimum of five feet in height.

D. Side yard gates are required on one side of front yard, and shall be constructed of wrought iron, wood, vinyl or tubular steel. Side and rear yard fencing shall be masonry, slump stone or other material of similar appearance, maintenance, and structural durability. Chain link fencing is not permitted. All construction must be of good quality and sufficient durability with an approved stain and/or sealant to minimize water staining. (Applicants shall provide specifications that shall be approved by the Planning Department).

E. All new residences constructed on lots of less than 20,000 square feet shall include rear and side yard fencing constructed of masonry block that is a minimum of five (5) feet in height. The maximum height of walls or fencing shall be six (6) feet in height. In the desert areas, block walls are discouraged on the perimeter in favor of increased setbacks with extensive drought tolerant landscaping, berms and fencing such as split rails.

F. Except for the desert areas, all lots having rear and/or side yards facing local streets or otherwise open to public view shall have fences or walls constructed of decorative block,

G. Corner lots shall be constructed with wrap-around

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 18 MAP- Walls/Fencing Plans (cont.) (cont.) RECOMMND

decorative block wall returns. (Note: exceptions for the desert area discussed above.)

H. Side yard gates are required on one side of the home and shall be constructed of powder-coated wrought iron or tubular steel.

I. Wrought iron or tubular steel fence sections may be included within tracts where view opportunities and/or terrain warrant its use. Where privacy of views is not an issue, tubular steel or wrought iron sections should be constructed in perimeter walls in order to take advantage of casual view opportunities.

J. A minimum seven (7) foot high noise barrier backyard wall is required for lots one (1) through four (4) adjacent to Anza Road.

K. A minimum six (6) foot high noise barrier backyard wall is required for lots 31 through 35 adjacent to Anza Road.

80.PLANNING. 19 MAP- MM N-1 RECOMMND

Prior to building permit issuance; the applicant shall submit wall plans which contain the following design:

* A minimum 7-foot high noise barrier for the outdoor living areas (backyards) of lots 1 to 4 adjacent to Anza Road; and

* A minimum 6-foot high noise barrier for the outdoor living areas (backyards) of lots 31 to 35 adjacent to Anza Road.

Walls shall be installed as required, prior to occupancy.

TRANS DEPARTMENT

80.TRANS. 1 MAP - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Transportation Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 1

MAP - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

the County of Riverside Guide to California Friendly Landscaping. At minimum, plans shall include the following components:

- 1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2)Weather based controllers and necessary components to eliminate water waste;
- 3)A copy of the "stamped" approved grading plans; and,
- 4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1)Identification of all common/open space areas;
- 2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3)Shading plans for projects that include parking lots/areas;
- 4)The use of canopy trees (24" box or greater) within the parking areas;
- 5)Landscaping plans for slopes exceeding 3 feet in height;
- 6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

- 1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only.
- 2)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Transportation Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The Transportation department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Transportation Department shall clear this condition.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2

MAP - LC LANDSCAPE SECURITIES

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Transportation Department, Landscape Division. Once the Transportation Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost time of building permit submittal is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.TRANS. 3

MAP - LC LNDSCPNG PROJ SPECIFC

RECOMMND

In addition to the requirements of the Landscape and Irrigation Plan submittal, the following project specific conditions shall be imposed:

- a. Project to meet CSA/CFD/LMD landscape standards.

80.TRANS. 4

MAP - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or other maintenance district approved by the Transportation Department for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 MAP - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

- (1) Landscaping along Anza Road.
- (2) Streetlights.
- (3) Street sweeping.

WASTE DEPARTMENT

80.WASTE. 1 MAP - WASTE RECYCLE PLAN (WRP) RECOMMND

Prior to building permit issuance, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Department of Waste Resources for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 MAP - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 2 MAP - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 MAP - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 MAP - WQMP BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a facility conditioned to install WQMP treatment control BMPs shall register such facility for annual inspections.

90.BS GRADE. 5 MAP - REQ'D GRDG INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Precise grade inspection.

a.Precise Grade Inspection can include but is not limited to the following:

1.Installation of slope planting and permanent irrigation on required slopes.

2.Completion of drainage swales, berms and required drainage away from foundation.

b.Inspection of completed onsite drainage facilities

c.Inspection of the WQMP treatment control BMPs

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.BS.GRADE. 7

MAP - PRECISE GRDG APPROVAL

RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for all lots included in the grading permit from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

3.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

4.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

90.BS.GRADE. 8

MAP - WQMP ANNUAL INSP FEE

RECOMMND

Prior to final building inspection, the applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

FIRE DEPARTMENT

90.FIRE. 1

MAP - FIRE SPRINKLER SYSTEM

INEFFECT

Fire sprinkler systems are required in all new one and two family dwellings. Plans shall be submitted to the Fire Department for review and approval prior to fire sprinkler installation.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

FLOOD RI DEPARTMENT

90.FLOOD RI. 2 MAP-BMP - EDUCATION

RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial residents. The developer may obtain NPDES Public Educational Program materials from the District's website: www.rcwatershed.org/about/materials-library.

The developer must provide to the District's Plan Check Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

If conditioned for a Water Quality Management Report (WQMP), a copy of the notarized affidavit must be placed in the report. The District MUST also receive the original notarized affidavit with the plan check submittal in order to clear the appropriate condition. Placing a copy of the affidavit without submitting the original will not guarantee clearance of the condition.

90.FLOOD RI. 3 MAP IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The District will not release occupancy permits for any portion of the project exceeding 80% of the total recorded residential lots within the map or phase within the map prior to the completion of these tasks.

PLANNING DEPARTMENT

90.PLANNING. 1 MAP- BLOCK WALL ANTIGRAFFITI

RECOMMND

The land divider/permit holder shall construct a six (6) and seven (7) foot high decorative block wall. The required wall shall be subject to the approval of the County Department of Building and Safety. An anti-graffiti coating shall be provided on all block walls, and written verification from the developer shall be provided to both

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 1 MAP- BLOCK WALL ANTIGRAFFITI (cont.) RECOMMND

the TDMA - Land Use Division, and the Development Review Division.

90.PLANNING. 3 MAP- QUIMBY FEES (2) RECOMMND

The land divider/permit holder shall present certification to the Riverside County Planning Department that payment of parks and recreation fees and/or dedication of land for park use in accordance with Section 10.35 of County Ordinance No. 460 has taken place. aid certification shall be obtained from the Valleywide Recreation and Park District County.

90.PLANNING. 4 MAP - CONCRETE DRIVEWAYS RECOMMND

The land divider/permit holder shall cause all driveways to be constructed of cement concrete.

90.PLANNING. 5 MAP - FENCING COMPLIANCE RECOMMND

Fencing shall be provided throughout the subdivision in accordance with the approved final site development plans.

90.PLANNING. 12 MAP- ROLL-UP GARAGE DOORS RECOMMND

All residences shall have automatic roll-up garage doors.

90.PLANNING. 13 MAP- MM N-2 RECOMMND

Prior to building permit issuance, the applicant shall submit plans which incorporate the following design:

1) Windows:

* All windows and sliding glass doors shall be well fitted, well weather-stripped assemblies and shall have the following minimum sound transmission class (STC) ratings:

2) Lots 1 to 4 and 31 to 35 adjacent to Anza Road require upgraded windows with a minimum STC rating of 32.

3) All other lots require standard windows with a minimum STC rating of 27.

4) Doors: All exterior doors shall be well weather-stripped solid core assemblies at least one and three-fourths-inch thick.

5) Walls: At any penetrations of exterior walls by pipes, ducts, or conduits, the space between the wall and pipes, ducts, or conduits shall be caulked or filled with mortar

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 13 MAP- MM N-2 (cont.)

RECOMMND

to form an airtight seal.

6) Roof: Roof sheathing of wood construction shall be well fitted or caulked plywood of at least one-half inch thick. Ceilings shall be well fitted, well-sealed gypsum board of at least one-half inch thick. Insulation with at least a rating of R-19 shall be used in the attic space.

7) Attic: Attic vents should be oriented away from Anza Road. If such an orientation cannot be avoided, then an acoustical baffle shall be placed in the attic space behind the vents.

8) Ventilation: Arrangements for any habitable room shall be such that any exterior door or window can be kept closed when the room is in use and still receive circulated air. A forced air circulation system (e.g. air conditioning) or active ventilation system (e.g. fresh air supply) shall be provided which satisfies the requirements of the Uniform Building Code.

9) Furnishings: All bedrooms, when in use, are expected to contain furniture or other materials that absorb sound equivalent to the absorption provided by wall-to-wall carpeting over a conventional pad.

All items above shall be installed as required, prior to occupancy.

TRANS DEPARTMENT

90.TRANS. 1 MAP - LC LNDS CP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 2 MAP - LNDS CP INSPCTN RQRMNTS

RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a INSTALLATION INSPECTION

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 2 MAP - LNDSCP E INSPCTN RQRMENTS (cont.) RECOMMND

with the Transportation Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the INSTALLATION INSPECTION, the applicant will arrange for an 6th month INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Transportation Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Transportation Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Transportation Department and the Department of Building and Safety. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 3 MAP - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Transportation Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Transportation Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Transportation Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Transportation Department shall clear this condition.

90.TRANS. 4 MAP - WRCOG TUMF RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 5

MAP - STREETLIGHTS INSTALL

RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinance 460 and 461.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the Developer to ensure that streetlights are energized along the streets of those lots where the Developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 6

MAP - UTILITY INSTALL

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 7

MAP - 80% COMPLETION

RECOMMND

Occupancy releases will not be issued to Building and Safety for any lot exceeding 80% of the total recorded residential lots within any map or phase of map prior to completion of the following improvements:

- a) Primary and Alternate (secondary) access roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions.
- b) Interior roads shall be completed and paved to finish grade according to the limits indicated in the improvement plans and as noted elsewhere in these conditions. All curbs, gutters, sidewalks and driveway approaches shall be installed. The final lift of Asphalt Concrete on interior streets

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 7 MAP - 80% COMPLETION (cont.)

RECOMMND

shall be placed prior to the release of the final 20% of homes or the production models or at any time when construction of new homes within the development has stopped. The developer shall be required to cap pave in front of occupied homes up to the nearest capped street within the tract boundary. The subdivision will remain responsible for the maintenance of these facilities until all improvements within the tract boundary shall be completed and accepted into the County maintained system.

- c) Storm drains and flood control facilities shall be completed according to the improvement plans and as noted elsewhere in these conditions. Written confirmation of acceptance for use by the Flood Control District, if applicable, is required.
- d) Water system, including fire hydrants, shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All water valves shall be raised to pavement finished grade. Written confirmation of acceptance from water purveyor is required.
- e) Sewer system shall be installed and operational, according to the improvement plans and as noted elsewhere in these conditions. All sewer manholes shall be raised to pavement finished grade. Written confirmation of acceptance from sewer purveyor is required.
- f) Landscaping and irrigation, water and electrical systems shall be installed and operational in accordance with County Ordinance 461.

90.TRANS. 8 MAP - LANDSCAPING

RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping shall be improved within Anza Road.

09/12/17
09:35

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 66

TRACT MAP Tract #: TR36644

Parcel: 966-380-004

90. PRIOR TO BLDG FINAL INSPECTION

WASTE DEPARTMENT

90.WASTE. 11-1-18 MAP - WASTE REPORTING FORM

RECOMMND

Prior to building final inspection, evidence (i.e., receipts or other types of verification) to demonstrate project compliance with the approved Waste Reporting Plan (WRP) shall be presented by the project proponent to the Planning Division of the Riverside County Department of Waste Resources. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.

**LAND DEVELOPMENT COMMITTEE (LDC)
SECOND CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT – RIVERSIDE
PO Box 1409
Riverside, 92502-1409**

DATE: August 2, 2016

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riverside County Flood Control
Riv. Co. Fire Department (Riv. Office)
Riv. Co. Regional Parks & Open Space

P.D. Environmental Programs Division
P.D. Geology Section
Riv. Co. Trans. Dept. – Landscape Section
P.D. Archaeology Section
Board of Supervisors - Supervisor: Washington

Planning Commissioner: Berger

CHANGE OF ZONE NO. 07901 AMD NO. 1 AND TENTATIVE TRACT MAP NO. 3664 AMD NO. 1-EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California – Southwest Area Plan; Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre) – 11.94 acres – Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5) – **REQUEST:** The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule “A” subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. APNs: 966-380-004. **BBID: 047-693-392 UPROJ CASE: TR36644 UPROJ CASE: CZ07901.**

LDC staff members and other listed Riverside County Agencies, Departments and Districts staff:

A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated LDC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled for a **LDC comment on August 11, 2016**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

Other listed entities/individuals:

Please note that the Planning Department has gone paperless and is no longer providing physical copies of the submitted map(s) and/or exhibit(s) for review. However, we still want your comments. You can view the project maps and exhibits by accessing the Bluebeam Studio Session at the following link. <https://studio.bluebeam.com/join.html?ID=514-201-411>. You will need Bluebeam software installed on your computer in order to access the Bluebeam Studio Session. If you do not have Bluebeam installed on your computer, you can download a free version at <http://www.bluebeam.com/us/products/free-viewer/>. Please provide any comments, questions and recommendations to the Planning Department on or before the above referenced date.

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

Go Paperless!

If you would prefer to receive these transmittals electronically, please send an email, with the subject line "LDC CONTACT" to Mary Stark at MCSTARK@rctlma.org. Please make sure you include the name of your organization, and the email address where you would like to receive future transmittals.

Any questions regarding this project, should be directed to Peter Lange, Project Planner at (951) 955-1417, or e-mail at plange@rctlma.org / MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Steve Weiss, AICP
Planning Director*

March 31, 2016

Cahuilla Band of Indians
Andreas J. Heredia
52701 Highway 371
Anza, CA 92539

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36644, CZ07901)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location is attached and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at hthomson@rctlma.org or by contacting me at (951) 955-2873.

CHANGE OF ZONE NO. 07901 AND TENTATIVE TRACT MAP NO. 36644- EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California- Southwest Area Plan: Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre)- 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5)-

REQUEST: The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. APNs: 966-380-004

9202 1139 7069

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only
 For delivery information, visit our website at www.usps.com

OFFICIAL USE

Postage	\$
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee (Endorsement Required)	

Postmark Here

SECTION ON DELIVERY

Agent
 Addressee

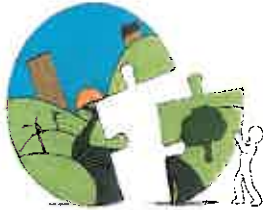
Printed Name: *Neil Gascon*
 C. Date of Delivery: *4/5/16*

Address different from item 1? Yes
 No
 delivery address below:

Cahuilla Band of Indians
Andreas J. Heredia
52701 Highway 371
Anza, CA 92539
(TR36644, CZ07901 AB52)

Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Return Receipt for Merchandise
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

77588 El Duna Court, Suite H
Desert, California 92211
8277 · Fax (760) 863-7040



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

March 31, 2016

Morongo Cultural Heritage Program
Attn: Ray Haute
12700 Pumarra Rd.
Banning, CA 92220

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36644, CZ07901)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location is attached and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at hthomson@rctlma.org or by contacting me at (951) 955-2873.

CHANGE OF ZONE NO. 07901 AND TENTATIVE TRACT MAP NO. 36644- EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California- Southwest Area Plan: Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre)- 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5)-

REQUEST: The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. APNs: 966-380-004

0 0002 1139 7076

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
Domestic Mail Only

For delivery information, visit our website at www.usps.com®

OFFICIAL USE

Postage \$
Certified Fee
Return Receipt Fee (Endorsement Required)
Restricted Delivery Fee (Endorsement Required)

Postmark Here

SECTION ON DELIVERY

Agent
 Addressee

Printed Name) M. Daneld
C. Date of Delivery 4/14/16

Address different from item? Yes
Delivery address below: No

Restricted Delivery Priority Mail Express®
Registered Mail™
Registered Mail Restricted Delivery
Return Receipt for Merchandise
Signature Confirmation™
Signature Confirmation Restricted Delivery

Morongo Cultural Heritage Program
Attn: Ray Haute
12700 Pumarra Rd.
Banning, CA 92220
(TR36644, CZ07901 AB52)

88 El Duna Court, Suite H
Banning, California 92211
Fax (760) 863-7040

Domestic Return Receipt

PS Form 3811, July 2015 PSN 7530-02-000-9053



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Steve Weiss, AICP
Planning Director*

March 31, 2016

Pechanga Cultural Resources Department
Anna Hoover, Cultural Analyst
P.O. Box 2183
Temecula, CA 92593

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36644, CZ07901)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location is attached and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at hthomson@rctlma.org or by contacting me at (951) 955-2873.

CHANGE OF ZONE NO. 07901 AND TENTATIVE TRACT MAP NO. 36644- EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California- Southwest Area Plan: Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre)- 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5)-

REQUEST: The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. APNs: 966-380-004

0002 1139 7083

U.S. Postal Service SM	
CERTIFIED MAIL [®] RECEIPT	
Domestic Mail Only	
For delivery information, visit our website at www.usps.com	
OFFICIAL USE	
Postage \$	
Certified Fee	
Return Receipt Fee (Endorsement Required)	
Restricted Delivery Fee	
	Postmark Here

SECTION ON DELIVERY	
	<input type="checkbox"/> Agent
	<input type="checkbox"/> Addressee
Printed Name) POURCAT	C. Date of Delivery 4-18-16
Address different from item 1? <input type="checkbox"/> Yes	Delivery address below. <input type="checkbox"/> No
Restricted Delivery <input type="checkbox"/> Priority Mail Express [®]	<input type="checkbox"/> Registered Mail [™]
Restricted Delivery <input type="checkbox"/> Registered Mail Restricted Delivery	<input type="checkbox"/> Return Receipt for Merchandise
Restricted Delivery <input type="checkbox"/> Signature Confirmation [™]	<input type="checkbox"/> Signature Confirmation Restricted Delivery
Restricted Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery	

Pechanga Cultural Resources Department
Anna Hoover, Cultural Analyst
P.O. Box 2183
Temecula, CA 92593
(TR36644, CZ07901 AB52)

588 El Duna Court, Suite H
Temecula, California 92211
7 · Fax (760) 863-7040



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Steve Weiss, AICP
Planning Director*

March 31, 2016

Rincon Band of Luiseño Indians
Vincent Whipple
1 West Tribal Road
Valley Center, CA 92082

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36644, CZ07901)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location is attached and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at hthomson@rctlma.org or by contacting me at (951) 955-2873.

CHANGE OF ZONE NO. 07901 AND TENTATIVE TRACT MAP NO. 36644- EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California- Southwest Area Plan: Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre)- 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5)-

REQUEST: The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. APNs: 966-380-004

1 0002 1139 7090

U.S. Postal Service™
CERTIFIED MAIL RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		

ADDRESSEE SECTION ON DELIVERY

Heather Thomson Agent
 Addressee

(Printed Name) *Heather Thomson* C. Date of Delivery *4/4/16*

Address different from item 1? Yes
delivery address below: No

Rincon Band of Luiseño Indians
Vincent Whipple
1 West Tribal Road
Valley Center, CA 92082
(TR36644, CZ07901 AB52)

Priority Mail Express®
 Registered Mail™
 Registered Mail Restr. Delivery
 Return Receipt for Merchandise
 Signature Confirmation
 Signature Confirmation Restricted Delivery

77588 El Duna Court, Suite H
Desert, California 92211
8277 · Fax (760) 863-7040



RIVERSIDE COUNTY PLANNING DEPARTMENT

*Steve Weiss, AICP
Planning Director*

March 31, 2016

Joseph Ontiveros
Cultural Resource Director
Soboba Band of Luiseño Indians
P.O. BOX 487
San Jacinto, Ca 92581

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36644, CZ07901)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location is attached and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at hthomson@rctlma.org or by contacting me at (951) 955-2873.

CHANGE OF ZONE NO. 07901 AND TENTATIVE TRACT MAP NO. 36644- EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California- Southwest Area Plan: Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre)- 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5)-

REQUEST: The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots.

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only
 For delivery information, visit our website at www.usps.com

OFFICIAL USE

Postage \$ _____
 Certified Fee _____
 Return Receipt Fee (Endorsement Required) _____
 Restricted Delivery Fee (Endorsement Required) _____

Postmark Here

THIS SECTION ON DELIVERY

Steve Weiss
 (Printed Name) _____
 Agent
 Addressee
 Date of Delivery _____

Address different from item 1? Yes
 delivery address below: No

Registered Mail™
 Registered Mail Restricted Delivery
 Return Receipt for Merchandise
 Signature Confirmation™
 Signature Confirmation Restricted Delivery

Domestic Return Receipt

Joseph Ontiveros
 Cultural Resource Director
 Soboba Band of Luiseño Indians
 P.O. BOX 487
 San Jacinto, Ca 92581
 (TR36644, CZ07901 AB52)

77588 El Duna Court, Suite H
 Desert, California 92211
 3277 · Fax (760) 863-7040



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

March 31, 2016

Colorado River Indian Tribes (CRIT)
Amanda Barrera
Tribal Secretary
26600 Mohave Road, Parker, Arizona

SUBJECT: ASSEMBLY BILL 52 (AB 52) FORMAL NOTIFICATION (TR36644, CZ07901)

This serves to notify you of a proposed project located within Riverside County. A map depicting the location is attached and a project description can be found below. Pursuant to Public Resources Code section 21080.3.1(d), if you wish to initiate consultation on this proposed project, please send a consultation request within thirty (30) days of receiving this letter to Heather Thomson via email at hthomson@rctlma.org or by contacting me at (951) 955-2873.

CHANGE OF ZONE NO. 07901 AND TENTATIVE TRACT MAP NO. 36644- EA42878- Applicant: Neil Gascon- Engineer/Representative: K&A Engineering- Third Supervisorial District – Rancho California- Southwest Area Plan: Community Development: Medium Density Residential (CD: MDR)(2-5 dwelling units per acre)- 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road- Zoning: Residential Agriculture-5 Acre Minimum (R-A-5)-

REQUEST: The Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots. APNs: 966-380-004

0002 1139 7113

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Postage	\$	
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		

Postmark Here

THIS SECTION ON DELIVERY

[Signature] Agent
 Addressee

(Printed Name) *CEIVAS* C. Date of Delivery *4/12/16*

Address different from item? Yes
 delivery address below: No

Colorado River Indian Tribes (CRIT)
Amanda Barrera
Tribal Secretary
26600 Mohave Road, Parker, Arizona
(TR36644, CZ07901 AB52)

Priority Mail Express®
 Registered Mail™
 Registered Mail Restricted Delivery
 Return Receipt for Merchandise
 Signature Confirmation™
 Signature Confirmation

77588 El Duna Court, Suite H
Desert, California 92211
3-8277 · Fax (760) 863-7040

INDEMNIFICATION AGREEMENT

This INDEMNIFICATION AGREEMENT ("Agreement"), made by and between the COUNTY OF RIVERSIDE, a political subdivision of the State of California ("COUNTY"), and Anza Butterfield Road 34, LLC ("PROPERTY OWNER"), relating to the PROPERTY OWNER'S indemnification of the COUNTY under the terms set forth herein:

WITNESSETH:

WHEREAS, the PROPERTY OWNER has a legal interest in the certain real property described as APN 966-380-004 ("PROPERTY"); and,

WHEREAS, on February 25, 2016 PROPERTY OWNER filed an application for Tentative Tract Map No. 36644 and Change of Zone No. 7901 ("PROJECT"); and,

WHEREAS, judicial challenges of projects requiring discretionary approvals, including, but not limited to, California Environmental Quality Act determinations, are costly and time consuming. Additionally, project opponents often seek an award of attorneys' fees in such challenges; and,

WHEREAS, since property owners are the primary beneficiaries of such approvals, it is appropriate that such owners bear the expense of defending against any such judicial challenge, and bear the responsibility of any costs, attorneys' fees and damages which may be awarded to a successful challenger; and,

WHEREAS, in the event a judicial challenge is commenced against the PROJECT, the COUNTY has requested and the PROPERTY OWNER has agreed to defend, indemnify and hold harmless the COUNTY, its agents, officers, or employees from any claim, action or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void or annul any approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PROJECT or its associated environmental documentation ("LITIGATION"); and,

WHEREAS, this Agreement is entered into by the COUNTY and PROPERTY OWNER to establish specific terms concerning PROPERTY OWNER'S indemnification obligation for the PROJECT,

NOW, THEREFORE, it is mutually agreed between COUNTY and PROPERTY OWNER as follows:

1. **Indemnification.** PROPERTY OWNER, at its own expense, shall defend, indemnify and hold harmless the COUNTY, its agents, officers, and employees from and against any claim, action or proceeding brought against the

COUNTY, its agents, officers, and employees to attack, set aside, void or annul any approval of the PROJECT including any associated costs, damages, and expenses including, but not limited to, costs associated with Public Records Act requests submitted to the COUNTY related to the PROJECT and an award of attorneys' fees and costs incurred or arising out of the above-referenced claim, action or proceeding brought against the COUNTY ("Indemnification Obligation.")

2. ***Defense Cooperation.*** PROPERTY OWNER and the COUNTY shall reasonably cooperate in all aspects of the LITIGATION. Nothing contained in this Agreement, however, shall be construed to limit the discretion of COUNTY, in the interest of the public welfare, to settle, defend, appeal or to decline to settle or to terminate or forego defense or appeal of the LITIGATION. It is also understood and agreed that all litigation pleadings are subject to review, revision and approval by COUNTY's Office of County Counsel.

3. ***Representation and Payment for Legal Services Rendered.*** COUNTY shall have the absolute right to approve any and all counsel retained to defend COUNTY in the LITIGATION. PROPERTY OWNER shall pay the attorneys' fees and costs of the legal firm retained by PROPERTY OWNER to represent the COUNTY in the LITIGATION. Failure by PROPERTY OWNER to pay such attorneys' fees and costs may be treated as an abandonment of the PROJECT and as a default of PROPERTY OWNER's obligations under this Agreement.

4. ***Payment for COUNTY's LITIGATION Costs.*** Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. LITIGATION costs include any associated costs, fees, damages, and expenses as further described in Section 1. herein as Indemnification Obligation. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the PROJECT, PROPERTY OWNER shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). PROPERTY OWNER shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the LITIGATION. Within ten (10) days of written notice from COUNTY, PROPERTY OWNER shall make such additional deposits. Collectively, the initial deposit and additional deposits shall be referred to herein as the "Deposit."

5. ***Return of Deposit.*** COUNTY shall return to PROPERTY OWNER any funds remaining on deposit after ninety (90) days have passed since final adjudication of the LITIGATION.

6. ***Notices.*** For all purposes herein, notices shall be effective when personally delivered, delivered by commercial overnight delivery service, or sent by

certified or registered mail, return receipt requested, to the appropriate address set forth below:

COUNTY:
Office of County Counsel
Attn: Melissa Cushman
3960 Orange Street, Suite 500
Riverside, CA 92501

PROPERTY OWNER:
Anza Butterfield Road 34, LLC
Attn: Neil Gascon
33175 Temecula Pkwy, #A-533
Temecula, CA 92592

7. ***Default and Termination.*** This Agreement is not subject to termination, except by mutual agreement or as otherwise provided herein. In the event of a default of PROPERTY OWNER's obligations under this Agreement, COUNTY shall provide written notification to PROPERTY OWNER of such alleged default and PROPERTY OWNER shall have ten (10) days after receipt of written notification to cure any such alleged default. If PROPERTY OWNER fails to cure such alleged default within the specified time period or otherwise reach agreement with the COUNTY on a resolution of the alleged default, COUNTY may, in its sole discretion, do any of the following or combination thereof:

- a. Deem PROPERTY OWNER's default of PROPERTY OWNER's obligations as abandonment of the PROJECT and as a breach of this Agreement;
- b. Rescind any PROJECT approvals previously granted;
- c. Settle the LITIGATION.

In the event of a default, PROPERTY OWNER shall remain responsible for any costs and attorney's fees awarded by the Court or as a result of settlement and other expenses incurred by the COUNTY related to the LITIGATION or settlement.

8. ***COUNTY Review of the PROJECT.*** Nothing in this Agreement shall be construed to limit, direct, impede or influence the COUNTY's review and consideration of the PROJECT.

9. ***Complete Agreement/Governing Law.*** This Agreement represents the complete understanding between the parties with respect to matters set forth herein. This Agreement shall be construed in accordance with the laws of the State of California.

10. ***Successors and Assigns.*** The obligations specific herein shall be made, and are binding on the successors in interest of the PROPERTY OWNER, whether the succession is by agreement, by operation of law or by any other means.

11. **Amendment and Waiver.** No modification, waiver, amendment or discharge of this Agreement shall be valid unless the same is in writing and signed by all parties.

12. **Severability.** If any term, provision, covenant or condition of this Agreement is held to be invalid, void or otherwise unenforceable, to any extent, by any court of competent jurisdiction, the remainder of this Agreement shall not be affected thereby, and each term, provision, covenant or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law.

13. **Survival of Indemnification.** The parties agree that this Agreement shall constitute a separate agreement from any PROJECT approval, and if the PROJECT, in part or in whole, is invalidated, rendered null or set aside by a court of competent jurisdiction, the parties agree to be bound by the terms of this Agreement, which shall survive such invalidation, nullification or setting aside.

14. **Interpretation.** The parties have been advised by their respective attorneys, or if not represented by an attorney, represent that they had an opportunity to be so represented in the review of this Agreement. Any rule of construction to the effect that ambiguities are to be resolved against the drafting party shall not be applied in interpreting this Agreement.

15. **Captions and Headings.** The captions and section headings used in this Agreement are inserted for convenience of reference only and are not intended to define, limit or affect the construction or interpretation of any term or provision hereof.

16. **Jurisdiction and Venue.** Any action at law or in equity arising under this Agreement or brought by a party hereto for the purpose of enforcing, construing or determining the validity of any provision of this Agreement shall be filed in the Courts of Riverside County, State of California, and the parties hereto waive all provisions of law providing for the filing, removal or change of venue to any other court or jurisdiction.

17. **Counterparts; Facsimile & Electronic Execution.** This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same document. To facilitate execution of this Agreement, the parties may execute and exchange facsimile or electronic counterparts, and facsimile or electronic counterparts shall serve as originals.

18. **Joint and Several Liability.** In the event there is more than one PROPERTY OWNER, the liability of PROPERTY OWNER shall be joint and several, and PROPERTY OWNER each of them shall be jointly and severally liable for performance of all of the obligations of PROPERTY OWNER under this Agreement.

19. **Effective Date.** The effective date of this Agreement is the date the parties sign the Agreement. If the parties sign the Agreement on more than one date, then the last date the Agreement is signed by a party shall be the effective date.

IN WITNESS WHEREOF, the parties hereto have duly caused this Agreement to be executed by their authorized representatives as of the date written.


COUNTY:
COUNTY OF RIVERSIDE,
a political subdivision of the State of California

By: 
~~Juan Perez~~ CHARISSA LEACH

Asst. Riverside County TLMA Director/Interim Planning Director

Dated: 8/24/17

PROPERTY OWNER:
Anza Butterfield Road 34, LLC

By: 
Neil Gascon
Manager

Dated: 7-25-17

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }

County of Riverside }

On July 25, 2017 before me, R. M. Reinagel, Notary Public
(Here insert name and title of the officer)

personally appeared Neil Gascon
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]
Notary Public Signature

(Notary Public Seal)



ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT
indemnification
(Title or description of attached document)
Agreement
(Title or description of attached document continued)
Number of Pages 5 Document Date 7/25/17

CAPACITY CLAIMED BY THE SIGNER

- Individual
- Corporate Officer

(Title)

- Partner(s)
- Attorney-in-Fact
- Trustee(s)
- Other _____

INSTRUCTIONS FOR COMPLETING THIS FORM

This form complies with current California statutes regarding notary wording and, if needed, should be completed and attached to the document. Acknowledgments from other states may be completed for documents being sent to that state so long as the wording does not require the California notary to violate California notary law.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name, as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. ~~he~~/she/~~they~~, ~~is~~ /~~are~~) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
 - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
 - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document with a staple.

NOTICE OF PUBLIC HEARING
and
INTENT TO ADOPT A NEGATIVE DECLARATION

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY PLANNING COMMISSION** to consider the project shown below:

CHANGE OF ZONE NO. 7901 AND TENTATIVE TRACT MAP NO. 36644 – Intent to Adopt a Negative Declaration – Applicant: Neil Gascon – Engineer/Representative: K&A Engineering – Third Supervisorial District – Rancho California – Southwest Area Plan: Community Development: Medium Density Residential (CD-MDR)(2-5 dwelling units per acre) – 11.94 acres- Location: Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road – Zoning: Residential Agricultural (5 Acre Minimum) (R-A-5) – **REQUEST:** The Change of Zone proposes to change the zoning classification from Residential Agricultural 5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule “A” Subdivision of 12.9 acres into 35 single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots.

TIME OF HEARING:	9:00 am or as soon as possible thereafter
DATE OF HEARING:	SEPTEMBER 20, 2017
PLACE OF HEARING:	RIVERSIDE COUNTY ADMINISTRATIVE CENTER BOARD CHAMBERS, 1ST FLOOR 4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project please contact Project Planner David Alvarez at (951) 951-5719 or email at daalvarez@rivco.org, or go to the County Planning Department's Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above project will not have a significant effect on the environment and has recommended adoption of a negative declaration. The Planning Commission will consider the proposed project and the proposed negative declaration, at the public hearing. The case file for the proposed project and the proposed negative declaration may be viewed Monday through Thursday, 8:30 a.m. to 5:00 p.m., at the County of Riverside Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501. For further information or an appointment, contact the project planner.

Any person wishing to comment on a proposed project may do so, in writing, between the date of this notice and the public hearing or appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: David Alvarez
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 7/25/2017,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers TR 36644 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

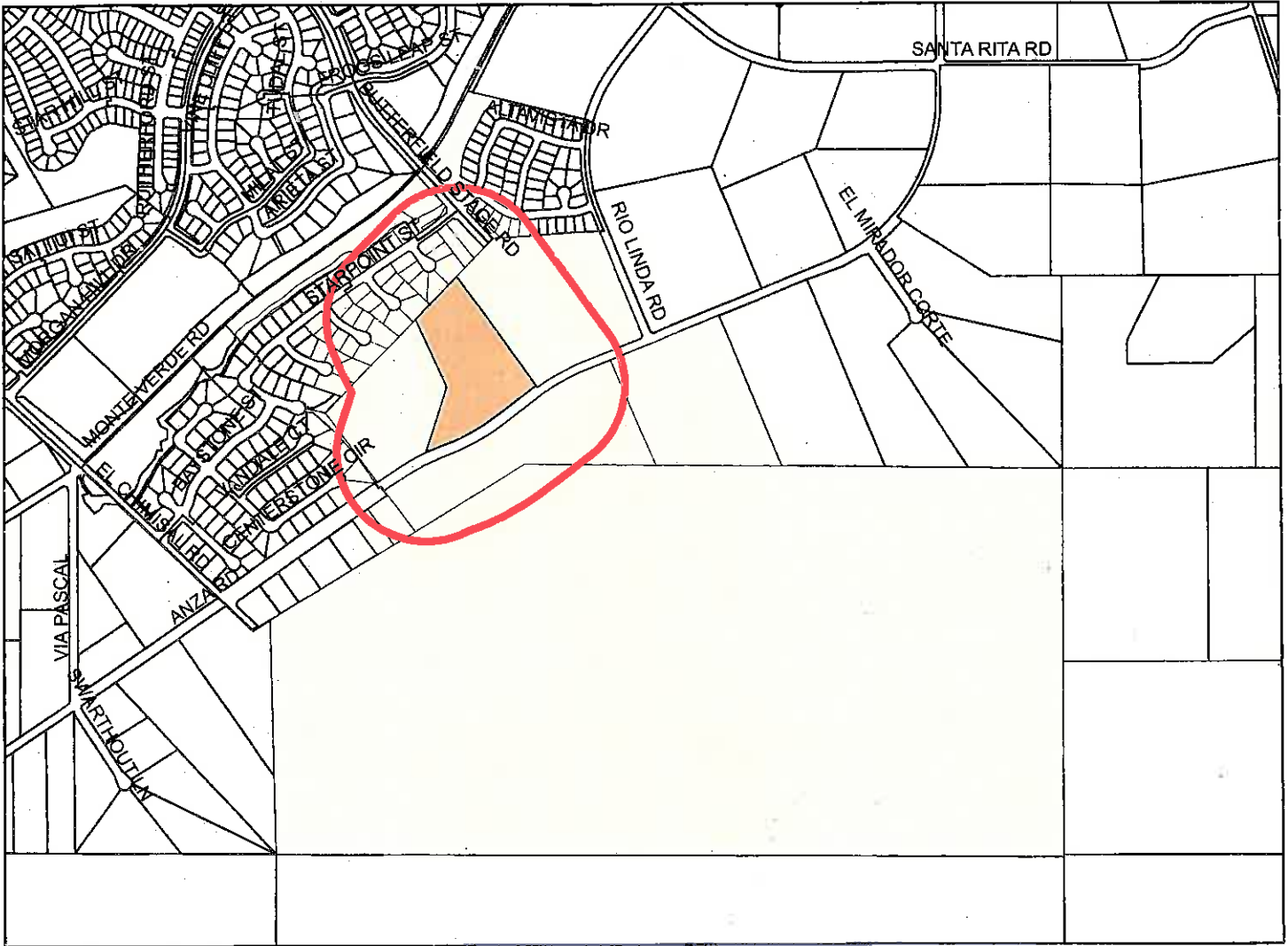
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

TR36644 (600 feet buffer)



Selected Parcels

966-401-002	966-391-001	966-430-001	966-380-004	966-411-013	966-411-005	966-430-017	966-401-014	966-401-001	966-401-013
966-390-023	966-400-005	966-411-008	966-411-003	966-401-004	966-411-015	966-401-005	966-411-012	966-430-015	966-400-002
966-401-015	966-431-007	966-411-001	966-401-007	966-401-003	966-400-004	966-430-018	966-401-010	966-401-016	966-430-014
966-411-009	966-401-017	966-380-005	966-431-006	966-401-008	966-393-007	966-411-004	966-411-014	966-401-009	966-391-005
966-391-014	966-380-003	966-380-038	966-380-039	966-380-040	966-400-003	966-410-008	966-401-006	966-411-007	966-391-006
966-401-012	966-400-001	966-410-009	966-380-009	966-380-007	966-380-008	966-380-041	966-391-004	966-430-016	966-411-002
966-393-008	966-391-007	966-401-011	917-300-001	966-391-003	966-391-002	966-411-006			



1,000 500 0 1,000 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 966380003, APN: 966380003
MORGAN VALLEY COMMUNITY ASSN
16845 VON KARMEN STE 200
IRVINE CA 92606

ASMT: 966391001, APN: 966391001
RANDA ARDA, ETAL
34145 MAZARINE DR
TEMECULA, CA. 92592

ASMT: 966380004, APN: 966380004
ANZA BUTTERFIELD ROAD 34
13240 EVENING CREEK 316
SAN DIEGO CA 92128

ASMT: 966391002, APN: 966391002
WALID YASIN
34157 MAZARINE DR
TEMECULA, CA. 92592

ASMT: 966380005, APN: 966380005
JUDITH GORMAN
43980 MAHLON VAIL NO 1302
TEMECULA CA 92592

ASMT: 966391003, APN: 966391003
VICTOR FRAUSTO
34169 MAZARINE DR
TEMECULA, CA. 92592

ASMT: 966380009, APN: 966380009
REDHAWK VALLEY II
C/O DAN STEPHENSON
41391 KALMIA ST 200
MURRIETA CA 92562

ASMT: 966391004, APN: 966391004
ROBERTA FRANTAL, ETAL
34181 MAZARINE DR
TEMECULA CA 92592

ASMT: 966380040, APN: 966380040
MORGAN VALLEY COMMUNITY ASSN
C/O PULTE HOME CORP
2 TECHNOLOGY
IRVINE CA 92618

ASMT: 966391005, APN: 966391005
DEBRA SCHLOTBOM, ETAL
34193 MAZARINE DR
TEMECULA CA 92592

ASMT: 966380041, APN: 966380041
RIVERSIDE COUNTY FLOOD CONT
1995 MARKET ST
RIVERSIDE CA 92501

ASMT: 966391006, APN: 966391006
CHRISTINE OAKLEY, ETAL
34205 MAZARINE DR
TEMECULA, CA. 92592

ASMT: 966390023, APN: 966390023
D R HORTON LOS ANGELES HOLDING CO
2280 WARDLOW CIR STE 100
CORONA CA 92880

ASMT: 966391007, APN: 966391007
SANGDOW THOMPSON, ETAL
34217 MAZARINE DR
TEMECULA CA 92592

ASMT: 966391014, APN: 966391014
 MORGAN HEIGHTS HOMEOWNERS ASSN
 C/O BARBARA MURAKAMI
 2280 WARDLOW CIR NO 100
 CORONA CA 92880

ASMT: 966400005, APN: 966400005
 MARJEAN COLLETTE, ETAL
 34234 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966393007, APN: 966393007
 ELISSA STARK, ETAL
 45143 PALOMAR PL
 TEMECULA, CA. 92592

ASMT: 966401001, APN: 966401001
 CHAD BARRY
 34269 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966393008, APN: 966393008
 NARGIS NASERI, ETAL
 45142 MORGAN HEIGHTS RD
 TEMECULA CA 92592

ASMT: 966401002, APN: 966401002
 KAREN BERRIOS, ETAL
 34255 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966400001, APN: 966400001
 ELAINE FOURNIER, ETAL
 34178 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966401003, APN: 966401003
 GRETCHEN KUCK
 45130 SAGEWIND CT
 TEMECULA, CA. 92592

ASMT: 966400002, APN: 966400002
 MARILYN MENDOZA, ETAL
 34192 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966401004, APN: 966401004
 ERIC WEBER
 45144 SAGEWIND CT
 TEMECULA, CA. 92592

ASMT: 966400003, APN: 966400003
 SIRANOSH MOSHI, ETAL
 34206 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966401005, APN: 966401005
 NATALIE KODA, ETAL
 45158 SAGEWIND CT
 TEMECULA, CA. 92592

ASMT: 966400004, APN: 966400004
 JACINTA LAGMAN
 34220 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966401006, APN: 966401006
 RACHEL REIF, ETAL
 45165 SAGEWIND CT
 TEMECULA, CA. 92592

ASMT: 966401007, APN: 966401007
 ALLISON TRAPP, ETAL
 45151 SAGEWIND CT
 RIVERSIDE CA 92592

ASMT: 966401014, APN: 966401014
 CARLOS CORNEJO
 45161 FIELDBROOK CT
 TEMECULA, CA. 92592

ASMT: 966401008, APN: 966401008
 DEBBIE RODGERS, ETAL
 45137 SAGEWIND CT
 TEMECULA, CA. 92592

ASMT: 966401015, APN: 966401015
 MARION STEWART, ETAL
 45147 FIELDBROOK CT
 TEMECULA, CA. 92592

ASMT: 966401009, APN: 966401009
 KRISTI GRANT, ETAL
 45123 SAGEWIND CT
 TEMECULA, CA. 92592

ASMT: 966401016, APN: 966401016
 LUCINDA ROWELL, ETAL
 45133 FIELDBROOK CT
 TEMECULA, CA. 92592

ASMT: 966401010, APN: 966401010
 MELINDA JUSTICE, ETAL
 45126 FIELDBROOK CT
 TEMECULA, CA. 92592

ASMT: 966401017, APN: 966401017
 KERIN SHIMOZONO, ETAL
 P O BOX 893278
 TEMECULA CA 92589

ASMT: 966401011, APN: 966401011
 STACEY VASQUEZ, ETAL
 45140 FIELDBROOK CT
 TEMECULA, CA. 92592

ASMT: 966410008, APN: 966410008
 MARIA ANDRES, ETAL
 10416 MISTY REDWOOD TR
 FORT WORTH TX 76177

ASMT: 966401012, APN: 966401012
 RICHELE JEMIOLA, ETAL
 45154 FIELDBROOK CT
 TEMECULA CA 92592

ASMT: 966410009, APN: 966410009
 REBECCA MORA
 34164 STARPOINT ST
 TEMECULA, CA. 92592

ASMT: 966401013, APN: 966401013
 NANCY TROUT, ETAL
 45168 FIELDBROOK CT
 TEMECULA, CA. 92592

ASMT: 966411001, APN: 966411001
 CARLA THOMAS, ETAL
 45122 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411002, APN: 966411002
 RONALD MORRIS
 45136 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411009, APN: 966411009
 SUSAN HURST, ETAL
 45115 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411003, APN: 966411003
 ELEANOR SEISE, ETAL
 45150 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411012, APN: 966411012
 ERIKA LUNDQUIST, ETAL
 45146 RIVERSTONE CT
 TEMECULA, CA. 92592

ASMT: 966411004, APN: 966411004
 CINDY SPANO, ETAL
 45164 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411013, APN: 966411013
 BO WANG
 45160 RIVERSTONE CT
 TEMECULA, CA. 92592

ASMT: 966411005, APN: 966411005
 ASHLEY SMITH, ETAL
 45171 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411014, APN: 966411014
 MARY BARNEY, ETAL
 45174 RIVERSTONE CT
 TEMECULA, CA. 92592

ASMT: 966411006, APN: 966411006
 KAREN CORCORAN, ETAL
 45157 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966411015, APN: 966411015
 CATHERINE ABALOS YAN, ETAL
 45167 RIVERSTONE CT
 TEMECULA, CA. 92592

ASMT: 966411007, APN: 966411007
 CHRISTIAN TAFOYA, ETAL
 45143 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966430001, APN: 966430001
 DEBRA BRISBOIS BERMUDEZ, ETAL
 34103 VANDALE CT
 TEMECULA, CA. 92592

ASMT: 966411008, APN: 966411008
 DONALD PARK
 45129 SADDLEBACK CT
 TEMECULA, CA. 92592

ASMT: 966430014, APN: 966430014
 MEERWEIS STANISAI, ETAL
 34086 CENTERSTONE CIR
 TEMECULA, CA. 92592

ASMT: 966430015, APN: 966430015
STEPHANIE KOENIGSHOFER, ETAL
34100 CENTERSTONE CIR
TEMECULA, CA. 92592

ASMT: 966430016, APN: 966430016
RULA FUERTEZ, ETAL
34105 CENTER STONE CIR
TEMECULA, CA. 92592

ASMT: 966430017, APN: 966430017
LISA BALKKA, ETAL
34091 CENTERSTONE CIR
TEMECULA, CA. 92592

ASMT: 966430018, APN: 966430018
MICHELE CORSO, ETAL
34077 CENTERSTONE CIR
TEMECULA, CA. 92592

ASMT: 966431006, APN: 966431006
JOHN WAGENBACH, ETAL
45570 ANZA RD
TEMECULA, CA. 92592

ASMT: 966431007, APN: 966431007
MONA ROYAL, ETAL
15346 WITS END DR
WOODBIDGE VA 22193

Western Riverside County Regional
Conservation Authority
3403 10th St., #320
Riverside, CA 92501

U.S. Army Corps of Engineers
Regulatory Division
5900 La Place Court, Suite 100
Carlsbad, CA 92008

SCAG
Attn: Intergovernmental Review
818 West 7th Street, 12th Fl
Los Angeles, CA 90017-3435

California Dept of Fish & Wildlife
Eastern Sierra, Inland Desert Region
3602 Inland Empire Blvd., C-220
Ontario, CA 91764

Santa Ana RWQCB
3737 Main Street, Suite 500
Riverside, CA 92501

South Coast AQMD
Attn: CEQA Review
21865 Copley Drive
Diamond Bar, CA 91765

Riverside County Flood Control and
Water Conservation District
1995 Market Street
Riverside, CA 92501

San Diego RWQCB
2375 Northside Drive, Suite 100
San Diego, CA 92108

Pechanga Band of Luiseño Mission
Indians
P.O. Box 2183
Temecula, CA 92593

Riverside Land Conservancy
4075 Mission Inn Avenue
Riverside, CA 92501

Soboba Band of Luiseño Mission
Indians
P.O. Box 487
San Jacinto, CA 92581



Mr. Neil Gascon
(Owner)
33175 Temecula Parkway Suite A-533
Temecula, CA 92592

MDMG, Inc.
(Consultant)
41635 Enterprise Circle North, B.
Temecula, CA 92590

Mr. Neil Gascon
(Owner)
33175 Temecula Parkway Suite A-533
Temecula, CA 92592

Applicant Labels
TR 36644

Mr. Neil Gascon
(Owner)
33175 Temecula Parkway Suite A-533
Temecula, CA 92592

Mr. Neil Gascon
(Owner)
33175 Temecula Parkway Suite A-533
Temecula, CA 92592

MDMG, Inc.
(Consultant)
41635 Enterprise Circle North, B.
Temecula, CA 92590

MDMG, Inc.
(Consultant)
41635 Enterprise Circle North, B.
Temecula, CA 92590

MDMG, Inc.
(Consultant)
41635 Enterprise Circle North, B.
Temecula, CA 92590





RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
Assistant TLMA Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

Tentative Tract Map (TR) No. 36644 and Change of Zone (CZ) 7901

Project Title/Case Numbers

Dave Alvarez
County Contact Person

951-955-5719
Phone Number

State Clearinghouse Number (if submitted to the State Clearinghouse)

Neil Gascon
Project Applicant

29540 Nuevo Road, Nuevo, CA 92567
Address

Northerly of Anza Road, southerly of Starpoint Street, easterly of El Chimisal Road, and westerly of Butterfield Road
Project Location

Change of Zone proposes to change the zoning classification from Residential Agriculture-5 Acre Minimum (R-A-5) to One-Family Dwellings (R-1). The Tentative Tract Map proposes a Schedule "A" subdivision of 12.9 acres into thirty five (35) single family residential lots, one (1) open space/water quality basin lot, and two (2) sewer maintenance lots.

Project Description

This is to advise that the Riverside County Board of Supervisors, as the lead agency, has approved the above-referenced project on _____, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,216.25+\$50.00) and reflect the independent judgment of the Lead Agency.
3. A statement of Overriding Considerations WAS NOT adopted
4. Findings were made pursuant to the provisions of CEQA.

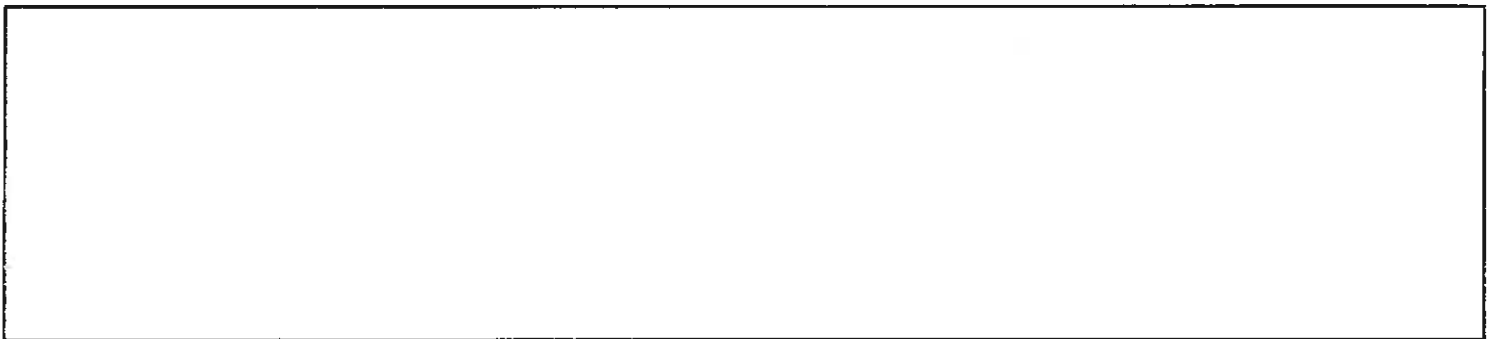
This is to certify that the earlier EA, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Project Planner
Title

Date 7/24/2017

Date Received for Filing and Posting at OPR: _____



COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

R1710280

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: GASCON NEIL \$2,216.25
paid by: CK 012807
paid towards: CFG06250 CALIF FISH & GAME - NEG DECL
EA42878
at parcel #:
appl type: CFG1

By _____ Jul 27, 2017 10:59
MGARDNER posting date Jul 27, 2017

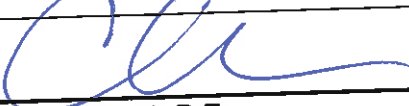
Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,216.25

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

Agenda Item No.: 4 . 5
Area Plan: Southwest
Zoning Area: Rancho California
Supervisorial District: Third
Project Planner: Robert Flores
Planning Commission: September 20, 2017

Change of Zone No. 7929
No New Environmental Document Required
Applicant: County of Riverside



Charissa Leach P.E.
Assistant TLMA Director

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION:

The Winery District Consistency Zoning Program ("Program"), **Change of Zone (CZ) No. 7929**, proposes to change the various zone classifications of 131 parcels totaling approximately 1,833 acres within the Temecula Valley Wine Country Policy Area – Winery District ("Winery District") to either the Wine Country – Winery (WC-W) Zone or the Wine Country - Winery Existing (WC-WE) Zone, as shown on Exhibit 1. This Program is focused on fostering economic and agricultural development by providing an opportunity for existing wineries, agricultural facilities, and property owners with development proposals to option into the County initiated General Plan consistency zoning effort. The Program's approach is to have voluntary participation by landowners who want to develop their parcels within the Winery District in conformance with the WC-W or WC-WE zones, as applicable, in order to further the intent of the Temecula Valley Wine Country Community Plan ("Community Plan").

PROJECT LOCATION:

The Program includes parcels within the Winery District located both on the northern and southern end of the Temecula Valley Wine Country Policy Area ("Policy Area"). The northern portion of the Winery District is bounded by Lake Skinner to the north, Butterfield Ranch Road to the west, De Portola Road (north/south) to the east, and Madera De Playa Drive and Los Nogales Road to the south – with a "peninsula" extending down to the intersection of De Portola Road and Pauba Road. The southern portion of the Winery District is bounded by California State Highway 79 to the north, Anza Road to the west, and Pauba Road to the east. The specific parcels affected by this change of zone are shown on Exhibit 1 and listed in Exhibit 2 attached to this staff report.

PROJECT BACKGROUND:

On March 11, 2014, the Board of Supervisors adopted the Community Plan which consisted of revisions to the General Plan, updated design guidelines and a new set of zone classifications that foster, encourage, and cultivate all the best aspects of the Temecula Valley Wine Country area. However, at the time the Community Plan was adopted, the actual zoning classification of parcels within the Policy Area was not changed; therefore, zone consistency would have to occur as part of the development approval process on specific parcels. In order to streamline development within the Temecula Valley Wine Country Policy Area – Equestrian District ("Equestrian District") and the Winery District, the County has embarked on two separate zoning consistency efforts to apply the newly adopted Wine Country (WC) zones to parcels in these districts.

Zoning Consistency Efforts:

CHANGE OF ZONE NO. 7929

Planning Commission Staff Report: September 20, 2017

Page 2 of 6

Equestrian District (CZ No. 7860)

On September 1, 2015, a consistency zoning effort for the Equestrian District was completed with the approval of Change of Zone No. 7860 and adoption of Ordinance No. 348.4213 that changed the zoning classification for 88 parcels totaling approximately 1,200 acres within the Equestrian District to the Wine Country – Equestrian (WC-E) Zone. This effort was also a voluntary “option-in” General Plan consistency zoning program, and it changed the zoning classification of 43% of the parcels in the Equestrian District.

Winery District (CZ No. 7929)

In order to further facilitate the implementation of the Community Plan, on January 17, 2017, the Board of Supervisors initiated the Winery District Consistency Zoning Program. This current effort is not proposing to change the zoning classification on any individual parcels without the expressed consent of the owner through the submittal of a “Letter of Intent to Participate” form (Letter of Intent). Anyone who does not participate at this time will need to process a separate change of zone initiated by the applicant at the applicant’s cost.

The parcels included in this Program will be rezoned either Wine Country – Winery (WC-W) or Wine Country – Winery Existing (WC-WE). Only those parcels that include one of the thirty one (31) existing wineries shown on Figure 4A, which was attached to Ordinance No.348.4729, are able to be rezoned WC-WE.

PROGRAM PARTICIPATION:

Since this Program is sponsored by the County, staff initiated interest in the Program in the following ways:

- Established a dedicated webpage, <http://planning.rctlma.org/AdvancedPlanning/WineryDistrictZoning.aspx>, on the Riverside County Planning Department’s public website that details the Program and provides resources for the public;
- Sent Program notification directly to property owner(s) of parcels within the Winery District with approved entitlements for a winery, with an existing onsite vineyard, or with an unrecorded parcel/tract map;
- Identified active cases within the Winery District that require a change of zone and gave the applicants the opportunity to participate. Applicants were also given the option to process a change of zone separate of the County-sponsored program, in association with their application, if they deemed appropriate;
- Participated in two (2) public events;
 - Presentation of the Program on April 13, 2017 at the annual Grape Day event, which is a wine and viticulture industry conference hosted by the Temecula Valley Winegrowers Association;
 - Held an informational workshop on April 27, 2017 to further explain the Program and answer general questions from the public. This workshop was announced during the presentation at the Grape Day event, on the Program’s webpage and Planning Department’s website home page, and through direct mailing to existing Wineries; and

- After the two public events, staff met with several property/business owners to explain the nature of the Program and its effects on specific properties or businesses.

The community outreach conveyed that this is a voluntary program and there is no charge to property owners for their participation in this County-initiated zone change.

CEQA COMPLIANCE:

All of the properties participating in the Program were included in the boundary analyzed in the previously certified Environmental Impact Report (EIR) No. 524. All potentially significant effects on the environment have been adequately analyzed, pursuant to applicable legal standards, and have been avoided or mitigated pursuant to that earlier EIR. Additionally, none of the conditions described in the CEQA Guidelines Section 15162 exist based on the findings and conclusions set forth herein; and therefore, no Further Environmental Documentation Required, pursuant to CEQA Guidelines Section 15162.

SUMMARY OF FINDINGS:

- Existing General Plan Land Use: Agriculture: Agriculture (AG:AG), Rural: Rural Mountainous (R:RM), Rural: Rural Residential (R:RR), and Rural Community: Estate Density Residential (RC: EDR) within the Policy Area.
- Surrounding General Plan Land Use: Agriculture: Agriculture (AG:AG), Rural: Rural Mountainous (R:RM), Rural: Rural Residential (R:RR), and Rural Community: Estate Density Residential (RC: EDR) within the Policy Area.
- Existing Zoning: Residential Agricultural – (R-A), Residential Agricultural – 2, 2 ½, 5, 10 and 20 Acre Minimums (R-A-2, R-A-2 ½, R-A-5, R-A-10 and R-A-20), Rural Residential (R-R), Light Agriculture – 10 and 20 Acre Minimums (A-1-10 and A-1-20), Citrus Vineyard (C/V), and Citrus Vineyard – 5, 10, and 20 Acre Minimums (C/V, C/V-5, C/V-10, and CV-20).
- Surrounding Zoning: Residential Agricultural – (R-A), Residential Agricultural – 2, 2 ½, 5, 10 and 20 Acre Minimums (R-A-2, R-A-2 ½, R-A-5, R-A-10 and R-A-20), Rural Residential (R-R), Rural Residential 5 Acre Minimums (R-R-5), Open Area Combining Zone – Residential Developments (R-5), Light Agriculture – 1, 5, 10 and 20 Acre Minimums (A-1-1, A-1-5, A-1-10 and A-1-20), Citrus Vineyard (C/V), and Citrus Vineyard – 5, 10, and 20 Acre Minimums (C/V, C/V-5, C/V-10, and CV-20), Commercial Citrus Vineyard (C-C/V), Wine Country – Winery

(WC-W), Wine Country – Winery Existing (WC-WE).

5. Existing Land Use: Citrus Groves, Vacant land/Open Space, Vineyards, Wineries
6. Surrounding Land Use: Citrus Groves, Vacant land/Open Space, Vineyards, Wineries

STAFF RECOMMENDATIONS:

THE PLANNING COMMISSION RECOMMENDS THAT THE BOARD OF SUPERVISORS TAKE THE FOLLOWING ACTIONS:

FIND that **NO NEW ENVIRONMENTAL DOCUMENT IS REQUIRED** because all potentially significant effects on the environment have been adequately analyzed in the previously certified **ENVIRONMENTAL IMPACT REPORT NO. 524**, pursuant to applicable legal standards, and have been avoided or mitigated, pursuant to that earlier EIR, and none of the conditions described in the CEQA Guidelines Section 15162 exist based on the findings and conclusions set forth herein; and,

TENTATIVELY APPROVE CHANGE OF ZONE NO. 7929, amending the various zoning classifications within the Temecula Valley Wine Country Policy Area - Winery District ("Winery District") to either the Wine Country – Winery Existing (WC-WE) or Wine Country – Winery (WC-W) zone, in accordance with Exhibit 1 and 2, based upon the findings and conclusions incorporated in the staff report, pending final adoption of the Zoning Ordinance by the Board of Supervisors.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project site has a General Plan Land Use Designation of Agriculture: Agriculture (AG:AG), Rural: Rural Mountainous (R:RM), Rural: Rural Residential (R:RR), and Rural Community: Estate Density Residential (RC:RC-EDR) in the Southwest Area Plan.
2. The proposed zone change is consistent with all provisions of the General Plan, including the Temecula Valley Wine Country Policy Area – Winery District. The Wine Country-Winery Existing (WC-WE) and Wine Country-Winery (WC-W) zones implement the Temecula Valley Wine Country Policy Area.
3. The project site is surrounded by properties which are designated Agriculture: Agriculture (AG:AG), Community Development: Commercial Tourist (CD:CT), Community Development: Medium Density Residential (CD:MDR), Community Development: Very High Density Residential (CD:VHDR), Open Space: Conservation Habitat (OS:OS-CH), Open Space: Recreation (OS:OS-R), Rural: Rural Residential (R:RR), and Rural Community: Estate Density Residential (RC:RC-EDR).
4. The project site is surrounded by properties which are zoned Residential Agricultural – (R-A), Residential Agricultural – 2, 2 ½, 5, 10 and 20 Acre Minimums (R-A-2, R-A-2 ½, R-A-5, R-A-10 and R-A-20), Rural Residential (R-R), Rural Residential 5 Acre Minimums (R-R-5), Open Area

CHANGE OF ZONE NO. 7929

Planning Commission Staff Report: September 20, 2017

Page 5 of 6

Combining Zone – Residential Developments (R-5), Light Agriculture – 1, 5, 10 and 20 Acre Minimums (A-1-1, A-1-5, A-1-10 and A-1-20), Citrus Vineyard (C/V), and Citrus Vineyard – 5, 10, and 20 Acre Minimums (C/V, C/V-5, C/V-10, and CV-20), Commercial Citrus Vineyard (C-C/V), Wine Country – Winery (WC-W), Wine Country – Winery Existing (WC-WE).

5. The zoning for the subject site is currently Residential Agricultural – (R-A), Residential Agricultural – 2, 2 ½, 5, 10 and 20 Acre Minimums (R-A-2, R-A-2 ½, R-A-5, R-A-10 and R-A-20), Rural Residential (R-R), Light Agriculture – 10 and 20 Acre Minimums (A-1-10 and A-1-20), Citrus Vineyard (C/V), and Citrus Vineyard – 5, 10, and 20 Acre Minimums (C/V, C/V-5, C/V-10, and CV-20).
6. This project is not within the City Sphere of Influence of Temecula.
7. Change of Zone No. 7929 is required to make the subject property's zoning classification consistent with the County's General Plan as amended by General Plan Amendment No. 1077. The certified Environmental Impact Report No. 524 (EIR No. 524) analyzed the potential environmental impacts of General Plan Amendment No. 1077 and Ordinance No. 348.4729, which included the Temecula Valley Wine Country Policy Area and the Wine Country-Winery and Wine Country-Winery Existing Zones, respectively.
8. In accordance with CEQA Guidelines Section 15162, Change of Zone No. 7929 will not result in any new significant environmental impacts not identified in certified EIR No. 524. The change of zone will not result in a substantial increase in the severity of previously identified significant effects, does not propose any substantial changes which will require major revision to EIR No. 524, no different mitigation measures have been identified and no mitigation measures found infeasible have become feasible because of the following:
 - a. Change of Zone No. 7929 is changing several property's zoning classifications to Wine Country – Winery (WC-W) and Wine Country – Winery Existing (WC-WE) zones to be consistent with the approved Temecula Valley Wine Country Policy Area, which was analyzed in EIR No. 524;
 - b. The subject site was included within the project boundary analyzed in EIR No. 524;
 - c. The Wine Country – Winery (WC-W) and Wine Country – Winery Existing (WC-WE) zones were included in Ordinance No. 348.4279, which was analyzed in EIR No. 524;
 - d. There are no changes to the mitigation measures included in EIR No. 524; and,
 - e. Change of Zone No. 7929 does not propose any changes to the approved Temecula Valley Wine Country Policy Area or the approved Wine Country – Winery and Wine Country – Winery Existing zones analyzed in EIR No. 524.

CONCLUSIONS:

1. The proposed project is in conformance with the Temecula Valley Wine Country Policy Area and with elements of the Riverside County General Plan.
2. The proposed project is consistent with the proposed Wine Country – Winery Existing (WC-WE) and Wine Country – Winery (WC-W) zoning classifications of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.

CHANGE OF ZONE NO. 7929

Planning Commission Staff Report: September 20, 2017

Page 6 of 6

3. The public's health, safety, and general welfare are protected.
4. The proposed project is compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment, pursuant to CEQA Guidelines Section 15162.

ATTACHMENTS:

Exhibit 1 (CZ No. 7929 Map)

Exhibit 2 (CZ No. 7929 Participation List)

Y:\PLANNING CASE FILES-RIVERSIDE OFFICE\CZ07929\DH-PC-BOS HEARINGS\PC 9.20.17\PC STAFF REPORT FOR CZ NO. 7929 - 9.20.17 (FINAL).DOCX

Date Prepared: 08/02/17

Date Revised: 09/01/17

CZ NO. 7929 PARTICIPATION LIST

APN(s)	Address	Existing LU	Existing Zoning	Proposed Zone
915370031	38580 Ganson Place	RR	R-A-5	WC-W
915370042	38212 Calle Jojoba	RR	R-A-5	WC-W
915370043	38376 Calle Jojoba	RR	R-A-5	WC-W
915370059	36679 E. Benton Road	RR	R-A-5	WC-W
915370060	36615 E. Benton Road	RR	R-A-5	WC-W
915370070	38170 Calle Jojoba	RR	R-A-5	WC-W
915690026	36084 SummitVille Street	RC-EDR	A-1-10	WC-WE
917110012	46260 Los Caballos Road	AG/RM	R-R	WC-W
917110013	46260 Los Caballos Road	RM	R-R	WC-W
924040001	38376 Calle Jojoba	RM	A-1-10	WC-W
924040014	38245 Mesa Rd	RM	R-A-5	WC-W
924040018	38376 Calle Jojoba	RM	A-1-10	WC-W
924040020	38376 Calle Jojoba	RM	A-1-10	WC-W
924330013	None	RR	R-A-5	WC-W
924330014	None	RR	R-A-5	WC-W
924340002	36650 Glen Oaks Road	AG	A-1-10	WC-WE
924340004	36650 Glen Oaks Road	AG	A-1-10	WC-W
924370005	36051 E. Benton	AG	A-1-20	WC-W
927180012	35600 Monte Verde Road	AG	A-1-20	WC-W
927180013	44500 Los Caballos Road	AG	A-1-20	WC-W
927180014	44500 Los Caballos Road	AG	A-1-20	WC-W
927180015	44500 Los Caballos Road	AG	A-1-20	WC-W
927180021	44500 Los Caballos Road	AG	A-1-20	WC-W
927180033	35450 Via Riata	AG	R-R	WC-W
927180035	35450 Via Riata	AG	R-R	WC-W
927280019	37850 DePortola Road	AG	R-A-10	WC-W
927280036	37750 De Portola Road	RR	C/V	WC-W
927280037	37640 De Portola Road	RR	R-A-10	WC-W
927280039	37640 De Portola Road	RR	R-A-10	WC-W
927280040	37640 De Portola Road	RR	R-A-10	WC-W
927530011	36130 Meadow Ridge Road	AG	R-A	WC-W
927540035	36260 Palmador Lane	AG	C/V	WC-W
927540036	36290 Palmador Lane	AG	C/V	WC-W
927550014	42151 Cibola Circle	AG	R-A	WC-W
927550024	41600 Valencia Way	AG	R-A	WC-W
927550031	36227 Alta Mesa Court	AG	R-A	WC-W
927610004	46260 Los Caballos Road	RR	R-R	WC-W
927620006	Galway Downs Drive	RR	R-A-2 1/2	WC-W
927620007	35820 Rancho California Road	RR	R-A-2 1/2	WC-W
927620008	35820 Rancho California Road	RR	R-A-2 1/2	WC-W
927630021	Shiraz Way/DePortola Road	AG	C/V	WC-W
927640003	37350 De Portola Rd	AG	C/V	WC-WE
927640004	37320 De Portola Road	AG	C/V	WC-WE
927640008	None	AG	C/V	WC-W
927640009	None	AG	C/V	WC-W

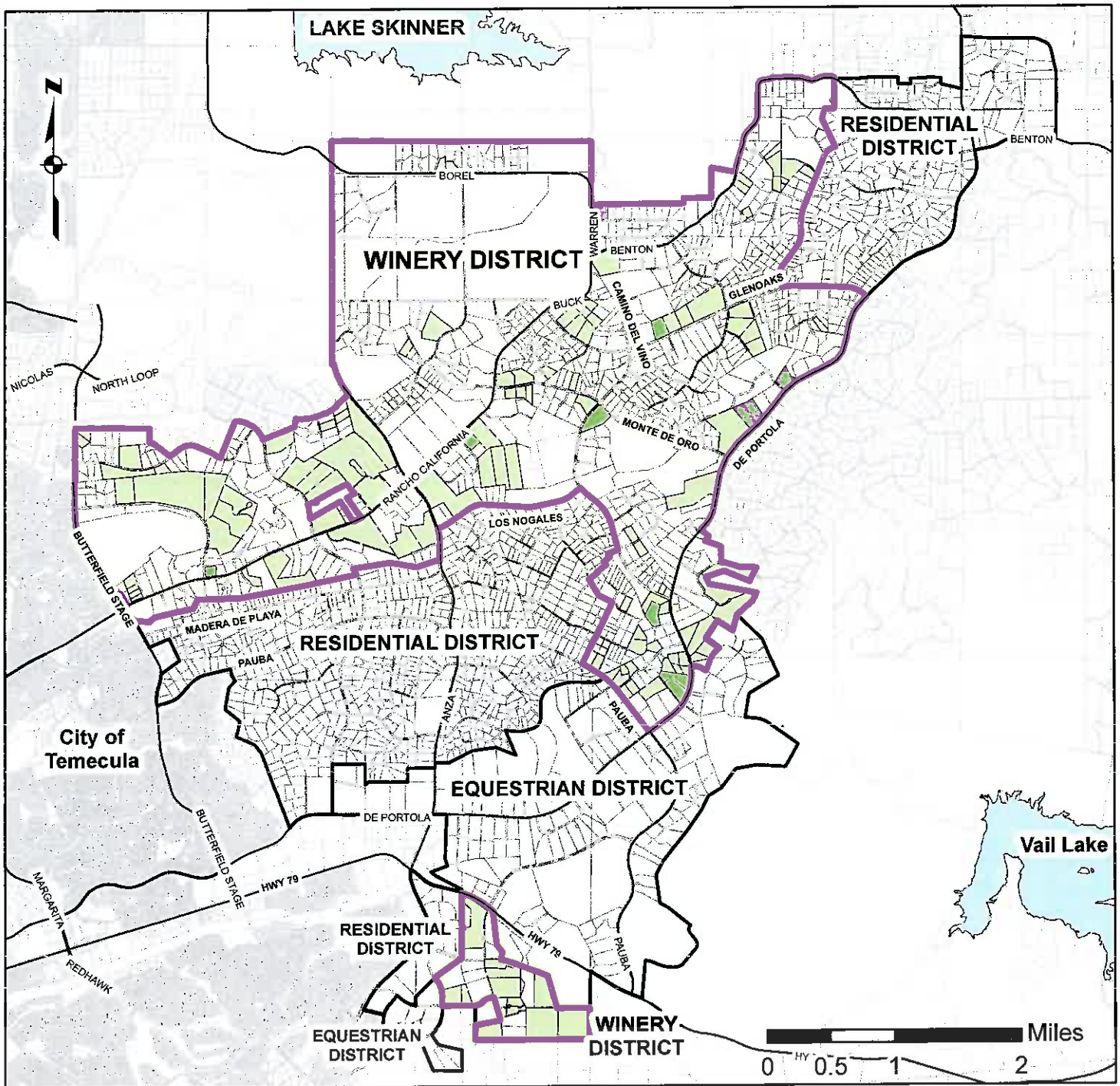
CZ NO. 7929 PARTICIPATION LIST

APN(s)	Address	Existing LU	Existing Zoning	Proposed Zone
927640011	None	AG	C/V	WC-W
927640012	None	AG	C/V	WC-W
927640015	None	AG	C/V	WC-W
927650027	36495 Avenida Verde	AG	C/V	WC-W
927650028	Avenida Verde	AG	C/V	WC-W
927650031	36100 Pauba Road	AG	C/V	WC-W
927650032	36150 Pauba Road	AG	C/V	WC-W
927650033	Avenida Verde	AG	C/V	WC-W
927650034	Avenida Verde	AG	C/V	WC-W
927660001	38060 De Portola Road	AG	C/V	WC-W
927660002	36522 Via Verde	AG	C/V	WC-WE
927660026	36800 Avenida Verde	AG	C/V-5	WC-W
927670009	41625 Camino Del Vino	AG	C/V-10	WC-W
927670012	41700 Camino Del Vino	AG	R-R	WC-W
941080037	39797 Calle Bellagio	RC-EDR	R-R	WC-W
941100002	40230 De Portola Road	AG	C/V	WC-WE
941130005	Bella Vista Road/Avenida Brisa	RR	R-A-2	WC-W
941130006	Bella Vista Road/Avenida Brisa	RC-EDR	R-A-2 1/2	WC-W
941130007	Bella Vista Road/Avenida Brisa	RC-EDR	R-A-5	WC-W
941130008	Bella Vista Road/Avenida Brisa	RC-EDR	R-R	WC-W
941170006	39750 De Portola Road	AG	C/V-10	WC-WE
941170007	39870 De Portola Road	AG	C/V-10	WC-WE
941180032	None	AG	C/V-10	WC-W
941230001	36095 Monte De Oro	AG	C/V	WC-WE
941270028	36284 Via El Pais Bonita	RR	C/V	WC-W
941270032	36279 Via El Pais	RR	C/V	WC-W
941290001	39300 De Portola Road	AG	C/V	WC-W
942030001	39112 Otis Street	AG	C/V	WC-W
942030002	39112 Otis Street	AG	C/V	WC-W
942030003	39112 Otis Street	AG	C/V	WC-W
942030005	39112 Otis Street	AG	C/V	WC-W
942030008	None	AG	C/V-10	WC-W
942030009	None	AG	C/V-10	WC-W
942030010	None	AG	C/V	WC-W
942070022	35700 Monte de Oro Road	AG	C/V	WC-W
942080039	39520 Colleen Way	AG	C/V	WC-W
942090011	35911 Rancho California Road	AG	C/V	WC-W
942090016	35911 Rancho California Road	AG	C/V	WC-W
942120008	Berenda Road	AG	C/V-10	WC-W
942150010	39345 Solidago Road	AG	C/V-10	WC-W
942190010	35183 Monte De Oro Road	AG	C/V	WC-W
942190011	35183 Monte De Oro Road	AG	C/V	WC-W
942190012	35183 Monte De Oro Road	AG	C/V	WC-W
942200005	35985 Monte De Oro	AG	C/V	WC-W
942210014	None	AG	C/V	WC-W

CZ NO. 7929 PARTICIPATION LIST

APN(s)	Address	Existing LU	Existing Zoning	Proposed Zone
942210015	None	AG	C/V	WC-W
942210016	None	AG	C/V	WC-W
942210017	None	AG	C/V	WC-W
942230008	35055 Via Del Ponte	AG	C/V-10	WC-WE
942230027	34843 Rancho California Road	AG	C/V	WC-W
943020012	40110 Butterfield Stage Road	RC-EDR	R-A-2	WC-W
943020013	40120 Butterfield Stage Road	RC-EDR	R-A-2	WC-W
943030010	0 Vista Del Monte	RC-EDR	R-A-5	WC-W
943030011	None	AG	C/V-20	WC-W
943040011	33820 Rancho California Road	AG	C/V	WC-W
943050014	32615 Vista Del Monte	AG	C/V	WC-W
943060010	33820 Rancho California Road	AG	C/V	WC-W
943060011	33820 Rancho California Road	AG	C/V	WC-W
943090019	41309 Avenida Biona	AG	C/V	WC-W
943090020	41309 Avenida Biona	AG	C/V-5	WC-W
943090021	41309 Avenida Biona	AG	C/V-5	WC-W
943090022	41309 Avenida Biona	AG	C/V-5	WC-W
943100009	33440 La Serena Way	AG	C/V	WC-WE
943120024	33820 Rancho California Road	AG	CV-10	WC-W
943120026	33820 Rancho California Road	AG	CV-10	WC-W
943120034	33820 Rancho California Road	AG	CV-10	WC-W
943210012	39780 Calle Contento	AG	C/V-10	WC-W
943220002	39841 Anza Road	AG	C/V	WC-W
943230007	34450 Rancho California Road	AG	C/V-20	WC-W
943230008	34450 Rancho California Road	AG	C/V-20	WC-W
943240004	40620 Calle Contento	AG	C/V-20	WC-W
943240005	40550 Calle Contento	AG	C/V-20	WC-W
943240006	40550 Calle Contento	AG	C/V-20	WC-W
943250019	33990 Rancho California Road	AG	C/V	WC-W
943280002	40134 Calle Cabernet	AG	C/V-20	WC-W
943280006	40174 Calle Caleta	AG	C/V	WC-W
951090001	None	AG	C/V	WC-W
951100001	33515 Rancho California Road	AG	C/V	WC-W
951140005	34225 Rancho California Road	AG	C/V	WC-W
951140006	34225 Rancho California Road	AG	C/V	WC-W
951140042	34225 Rancho California Road	AG	C/V-10	WC-W
964120012	Azusa Street (vacant lot)	RR	R-R	WC-W
964120013	37895 Normandy Road	RR	R-R	WC-W
966380017	34970 Santa Rita Road	AG	R-A-20	WC-W
966380018	34970 Santa Rita Road	AG	R-A-20	WC-W
966380023	46260 Los Caballos Road	RM/RR	R-A-20	WC-W

CHANGE OF ZONE (CZ) NO. 7929 EXHIBIT 1 - MAP



Legend

- Roads
- Assessor Parcels
- Temecula Valley Wine Country Policy Area
- TVWC Policy Area - Winery District

WINERY ZONES

- WC-W
- WC-WE

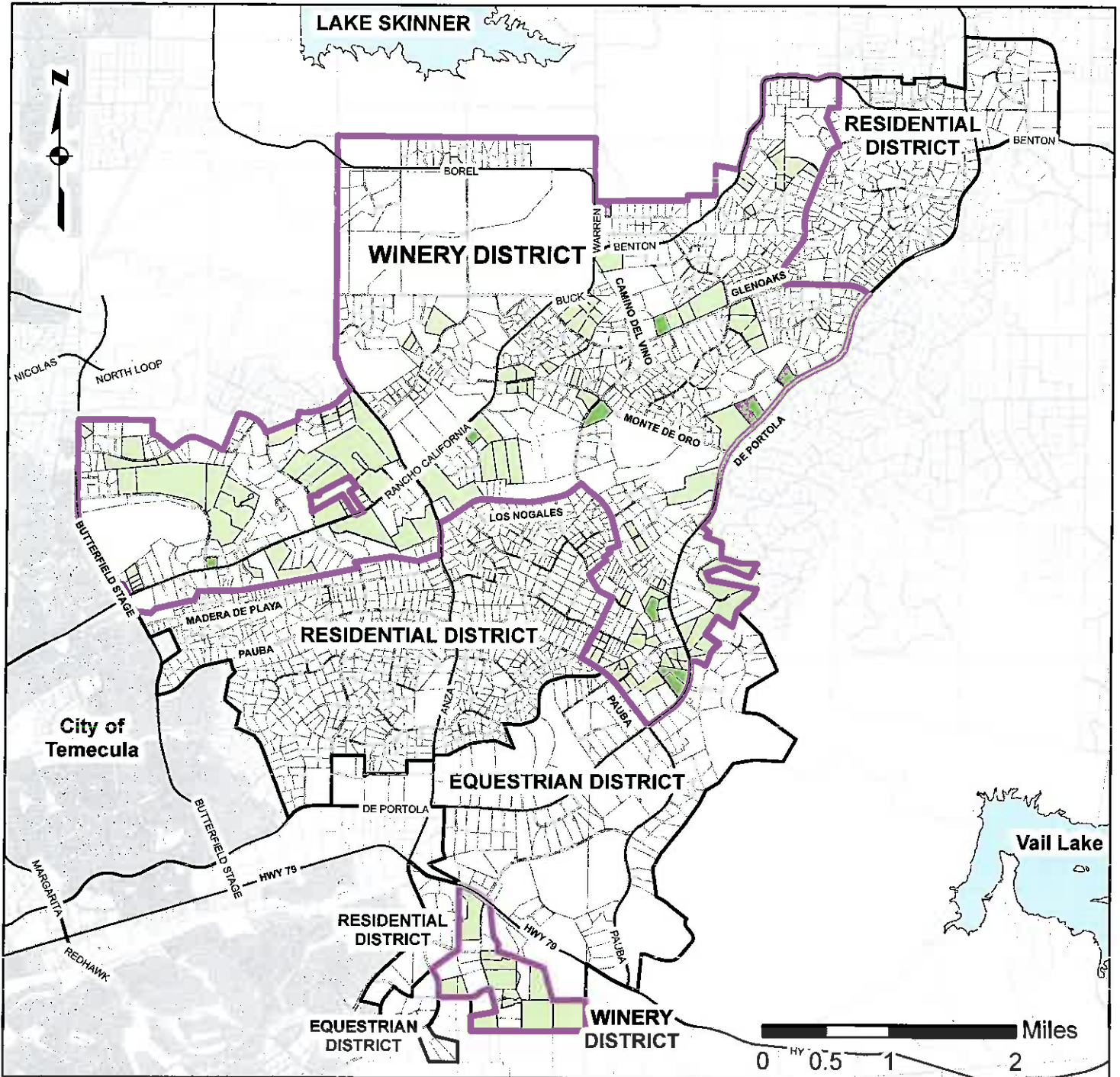
Data Source: Riverside County
 Date: August 31, 2017
 Drawn By: Robert Flores

Disclaimer: Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



RIVERSIDE COUNTY
 PLANNING DEPARTMENT

CHANGE OF ZONE (CZ) NO. 7929 EXHIBIT 1 - MAP



Legend

- Roads
- Assessor Parcels
- Temecula Valley Wine Country Policy Area
- TVWC Policy Area - Winery District

WINERY ZONES

- WC-W
- WC-WE

Data Source: Riverside County
 Date: August 31, 2017
 Drawn By: Robert Flores

Disclaimer: Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



RIVERSIDE COUNTY
 PLANNING DEPARTMENT

NOTICE OF PUBLIC HEARING

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **Riverside County** Planning Commission to consider the project shown below:

CHANGE OF ZONE NO. 7929 – WINERY DISTRICT CONSISTENCY ZONING PROGRAM (“Program”) – No new environmental documentation is required – Applicant: County of Riverside – Third Supervisorial District – Southwest Area Plan: Agriculture: Agriculture (AG:AG), Rural: Rural Mountainous (R:RM), Rural: Rural Residential (R:RR), and Rural Community: Estate Density Residential (RC: EDR) – Temecula Valley Wine Country Policy Area - Winery District (“Winery District”) – Rancho California Zoning Area – Zoning: Residential Agricultural – (R-A), Residential Agricultural – 2, 2 ½, 5, 10 and 20 Acre Minimums (R-A-2, R-A-2 ½, R-A-5, R-A-10 and R-A-20), Rural Residential (R-R), Light Agriculture – 10 and 20 Acre Minimums (A-1-10 and A-1-20), Citrus Vineyard (C/V), and Citrus Vineyard – 5, 10, and 20 Acre Minimums (C/V, C/V-5, C/V-10, and CV-20) – Location: The Winery District is located both on the northern and southern end of the Temecula Valley Wine Country Policy Area: the northern portion of the Winery District is bounded by Lake Skinner to the north, Butterfield Ranch Road to the west, De Portola Road (north/south) to the east, and Madera De Playa Drive and Los Nogales Road to the south, with a “peninsula” extending down to the intersection of De Portola Road and Pauba Road; the southern portion of the Winery District is bounded by California State Highway 79 to the north, Anza Road to the west, and Pauba Road to the east – **REQUEST:** The Program proposes to change the various zone classifications of 131 parcels totaling approximately 1,833 acres within the Winery District to either the Wine Country – Winery (WC-W) Zone or the Wine Country - Winery Existing (WC-WE) Zone, as shown on Exhibit 1. This Program is focused on fostering economic and agricultural development by providing an opportunity for existing wineries, agricultural facilities, and property owners with development proposals to option into the County initiated General Plan consistency zoning effort. The Program’s approach is to have voluntary participation by landowners who want to develop their parcels within the Winery District in conformance with the WC-W or WC-WE zones, as applicable, in order to further the intent of the Temecula Valley Wine Country Community Plan – Project Planner: Robert Flores, Phone: (951) 955-1195, Email: RFlores@rivco.org. (Quasi Judicial)

TIME OF HEARING: 9:00 a.m. or as soon as possible thereafter.
DATE OF HEARING: **SEPTEMBER 20, 2017**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
BOARD CHAMBERS, 1ST FLOOR
4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project, please contact Robert Flores, Urban/Regional Planner III at (951) 955-1195 or e-mail RFlores@rivco.org, or go to the County Planning Department’s Planning Commission agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible. The Planning Commission will consider the proposed application at the public hearing.

The case file for the proposed project may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon St. 12th Floor, Riverside, CA 92501.

Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Commission, and the Planning Commission will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. Be advised that as a result of public hearings and comment, the Planning Commission may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:

RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Robert Flores
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on Aug 30., 2017,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers TEMECULA VALLEY WINE COUNTRY- WINERY DISTRICT For

Company or Individual's Name RCIT - GIS,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

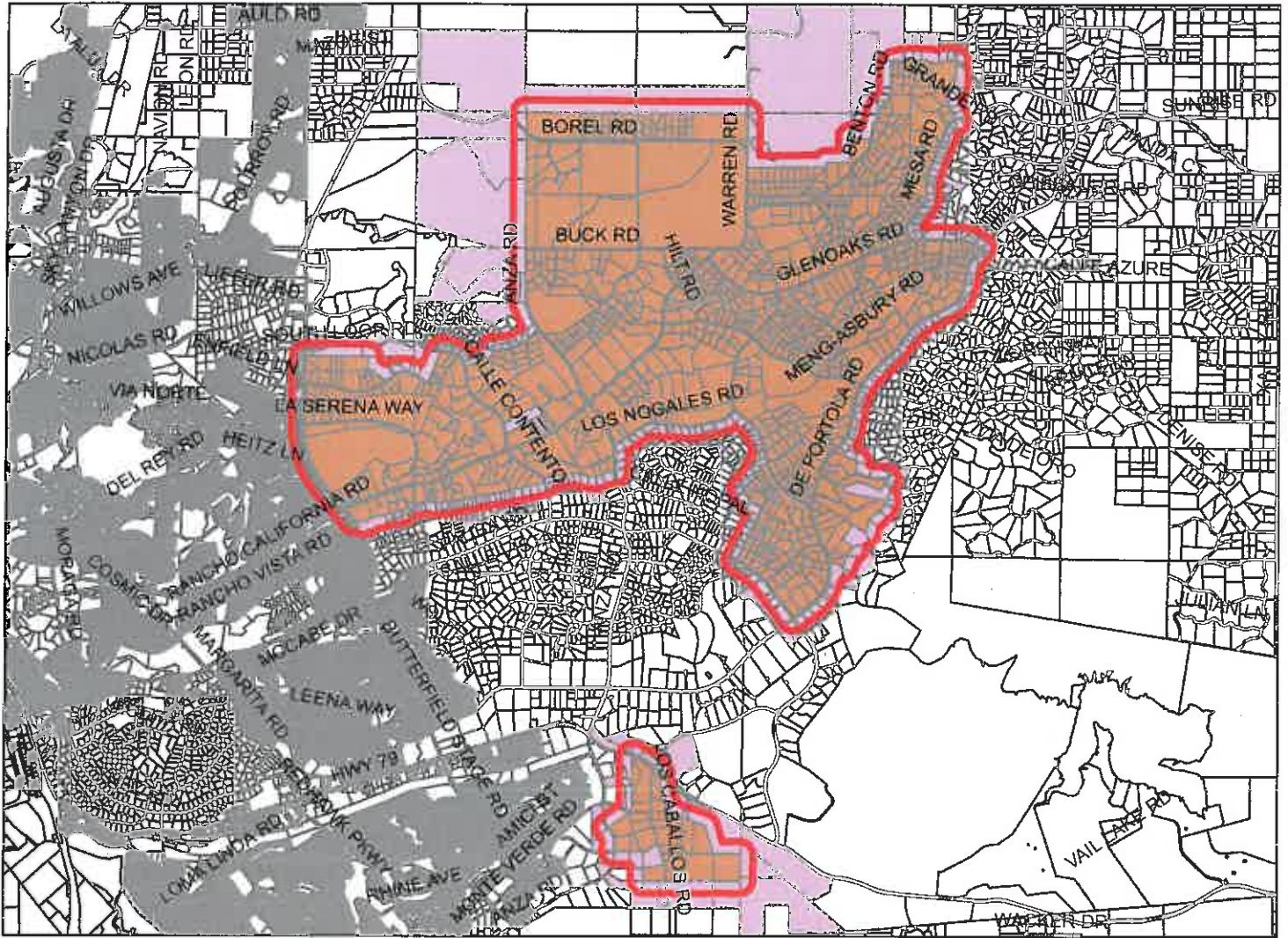
TITLE: GIS Analyst

ADDRESS: 4080 Lemon Street 9TH Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

Temecula Valley Winery District (600 feet buffer)



Selected Parcels

943-230-008	943-230-007	943-110-018	927-260-011	941-230-006	957-560-017	957-580-046	927-280-037	927-280-040	927-280-039
941-200-017	924-280-019	924-280-012	915-370-055	941-050-017	941-260-011	964-130-017	953-610-008	957-770-026	957-770-044
924-370-009	924-370-008	924-370-007	942-130-018	941-220-002	941-180-021	951-070-013	943-100-011	941-300-013	927-550-024
927-670-010	927-530-011	942-200-005	927-670-015	941-090-004	915-030-021	927-660-038	942-030-004	924-270-006	953-600-010
942-060-017	927-330-028	915-390-021	953-380-020	942-180-005	951-100-001	943-040-013	942-080-016	941-270-035	915-370-068
943-100-005	957-570-030	943-280-002	943-130-008	927-550-001	941-210-033	941-210-032	941-230-010	941-230-009	941-050-014
924-370-015	957-590-003	924-330-008	957-580-048	941-190-044	941-190-046	941-260-008	927-460-004	942-100-025	927-310-001
943-190-034	941-220-018	941-140-022	927-480-005	941-050-019	941-260-005	957-170-030	941-200-027	941-030-008	942-160-021
941-300-011	957-770-014	951-030-011	953-610-006	941-260-009	964-160-003	957-770-042	927-330-020	927-330-021	927-330-029
927-650-011	915-050-011	943-050-019	915-700-003	942-060-007	954-182-011	951-090-026	927-670-026	927-670-022	927-670-023
927-670-024	927-670-025	943-190-030	927-660-032	953-380-022	957-590-005	927-100-070	941-130-006	941-130-008	941-130-007
941-130-005	953-610-010	953-600-012	953-601-012	924-260-018	943-170-020	924-040-012	924-040-013	942-080-017	941-120-018

First 120 parcels shown



6,600 3,300 0 6,600 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 915040004, APN: 915040004
SOCAL PROP INVEST
C/O DAVID MARTINEZ
3380 LA SIERRA STE 104141
RIVERSIDE CA 92503

ASMT: 915050005, APN: 915050005
CHRISTIE SCHURR, ETAL
37245 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915040013, APN: 915040013
KIRSTEN MATTHEWS
C/O TROY GASTOR
P O BOX 893842
TEMECULA CA 92589

ASMT: 915050006, APN: 915050006
SUSAN STOKES, ETAL
1315 WARMLANDS
VISTA CA 92084

ASMT: 915040017, APN: 915040017
CONNIE WILLIAMS, ETAL
37000 E BENTON RD
TEMECULA CA 92592

ASMT: 915050008, APN: 915050008
MWD
C/O ASSEST MANAGEMENT
P O BOX 54153
LOS ANGELES CA 90054

ASMT: 915040021, APN: 915040021
MARIA VARELA, ETAL
2163 WILDFLOWER AVE
HEMET CA 92545

ASMT: 915050009, APN: 915050009
MICHAEL THESING, ETAL
30291 VIA BRISA
TEMECULA CA 92592

ASMT: 915050001, APN: 915050001
ASSOC, ETAL
40486 YARDLEY CT
TEMECULA CA 92591

ASMT: 915050010, APN: 915050010
JAI BANG
37641 E BENTON RD
TEMECULA CA 92592

ASMT: 915050002, APN: 915050002
ELLEN LUNDBERG PENA
P O BOX 831
TEMECULA CA 92593

ASMT: 915050011, APN: 915050011
BANG JAI H LIVING TRUST
C/O JAI BANG
37641 BENTON RD
TEMECULA, CA. 92592

ASMT: 915050004, APN: 915050004
WILLIAM SLOWIK
37711 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370012, APN: 915370012
HARTLERODE CHARLES E LIV TRUST
P O BOX 44315
LEMON GROVE CA 93244

ASMT: 915370015, APN: 915370015
MARY MOLT, ETAL
C/O RICHARD G MAYS
29742 CALLE PANTANO
TEMECULA CA 92591

ASMT: 915370047, APN: 915370047
CAROLE BROWNE, ETAL
38515 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370019, APN: 915370019
JILLA JAVADI
38750 CELITA CIR
TEMECULA, CA. 92592

ASMT: 915370048, APN: 915370048
ROSALYN ALBERTS, ETAL
38540 CELITA CIR
TEMECULA, CA. 92592

ASMT: 915370029, APN: 915370029
CHERYL ROBERTS, ETAL
38533 CELITA CIR
TEMECULA, CA. 92592

ASMT: 915370049, APN: 915370049
DARLENE MEDEARIS, ETAL
38595 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370031, APN: 915370031
HUIMIN LI, ETAL
587 N VENTU PARK RD E545
NEWBURY PARK CA 91320

ASMT: 915370050, APN: 915370050
KELLEY COOPER, ETAL
39099 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370032, APN: 915370032
MOJTABA SABAHI
1452 STANFORD CT
TUSTIN CA 92705

ASMT: 915370051, APN: 915370051
FRANCISCA KLOCKE, ETAL
112 15TH ST
HUNTINGTON BEACH CA 92648

ASMT: 915370040, APN: 915370040
HUIMIN LI, ETAL
587 W VENTU PARK NO E545
NEWBURY PARK CA 91320

ASMT: 915370052, APN: 915370052
TINA CHOU, ETAL
1188 S POINTE PREMIER
ANAHEIM CA 92807

ASMT: 915370046, APN: 915370046
PAMELA SMITH, ETAL
38521 CELITA
TEMECULA, CA. 92592

ASMT: 915370055, APN: 915370055
ALAN HARSEN
3280 DULZURA DR
HACIENDA HEIGHTS CA 91745

ASMT: 915370056, APN: 915370056
MARLENE LEICHTFUSS, ETAL
38938 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370065, APN: 915370065
REBECCA PILETTE, ETAL
20151 BIG BEND LN
HUNTINGTON BEACH CA 92646

ASMT: 915370059, APN: 915370059
FRANK GRISWOLD
36679 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370066, APN: 915370066
REBECCA LOYA, ETAL
38200 G10 CIR
TEMECULA CA 92592

ASMT: 915370060, APN: 915370060
MONIQUE GOEDE, ETAL
36615 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370067, APN: 915370067
CAROLE HOFFEE
38060 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370061, APN: 915370061
CONNIE RIOS, ETAL
P O BOX 892933
TEMECULA CA 92589

ASMT: 915370068, APN: 915370068
ARLETH CALOGERO, ETAL
NO 110
28822 OLD TOWN FRONT ST
TEMECULA CA 92590

ASMT: 915370062, APN: 915370062
LORI YOUNG, ETAL
36545 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370069, APN: 915370069
LORRAINE JOHANNES, ETAL
38140 CALLE JOJOBA
TEMECULA CA 92592

ASMT: 915370063, APN: 915370063
OFRI RON, ETAL
38165 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370070, APN: 915370070
MARGARET BACH
1001 GEORGINA AVE
SANTA MONICA CA 90402

ASMT: 915370064, APN: 915370064
IGNACIO OROZCO
38055 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370075, APN: 915370075
ANGELA YOUNG, ETAL
39090 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370076, APN: 915370076
WILLIAM BEMBENEK
32443 VIA DESTELLO
TEMECULA CA 92592

ASMT: 915690007, APN: 915690007
HELEN MAI, ETAL
7527 MAGELLAN ST
CARLSBAD CA 92009

ASMT: 915370077, APN: 915370077
MONA BREID
38718 CELITA DR
TEMECULA, CA. 92592

ASMT: 915690012, APN: 915690012
XIAOPING YANG, ETAL
44193 REIDEL ST
TEMECULA CA 92592

ASMT: 915370080, APN: 915370080
LARRY SUTTON
28443 PLYMOUTH WAY
TEMECULA CA 92591

ASMT: 915690013, APN: 915690013
DIANNE RADICAN, ETAL
36161 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690003, APN: 915690003
MARCELO DOFFO
36246 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690016, APN: 915690016
MARCELO DOFFO
36083 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690004, APN: 915690004
LYNNE SANDERS, ETAL
P O BOX 890313
TEMECULA CA 92589

ASMT: 915690018, APN: 915690018
MARIA UVA, ETAL
36309 SUMMITVILLE
TEMECULA, CA. 92592

ASMT: 915690005, APN: 915690005
DEBRA MOSS, ETAL
36370 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690019, APN: 915690019
CAROL PARADISO, ETAL
36373 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690006, APN: 915690006
MINHNAM HO
2113 GRAHAM AVE
REDONDO BEACH CA 90278

ASMT: 915690020, APN: 915690020
PAMELA HOVIS, ETAL
36312 TRAVIS CT
TEMECULA, CA. 92592

ASMT: 915690022, APN: 915690022
DIANE CADY, ETAL
36433 SUMMITVILLE ST
TEMECULA CA 92592

ASMT: 915700003, APN: 915700003
BARBARA KEMPTON
36644 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690023, APN: 915690023
KIMBERLY RENEAU, ETAL
36432 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 915700004, APN: 915700004
JULIA BURNS, ETAL
P O BOX 890040
TEMECULA CA 92589

ASMT: 915690024, APN: 915690024
CARRIE MAICHEL, ETAL
P O BOX 890039
TEMECULA CA 92589

ASMT: 915700005, APN: 915700005
BRENDA KENNISON, ETAL
36705 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690025, APN: 915690025
ERIN WHITING
46520 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 915700006, APN: 915700006
JAMES ALBANO
P O BOX 893056
TEMECULA CA 92589

ASMT: 915690026, APN: 915690026
CHAPIN FAMILY INV
C/O STEVEN W CHAPIN
2381 MARCA PL
CARLSBAD CA 92009

ASMT: 915700010, APN: 915700010
PACIFICA FIRST NATL INC
9320 S LA CIENEGA BLV
INGLEWOOD CA 90301

ASMT: 915700001, APN: 915700001
DIANE ZAVOLI, ETAL
36544 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915700011, APN: 915700011
REBECCA BENNETT
36550 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 915700002, APN: 915700002
SANDRA MCGEE, ETAL
36594 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915700012, APN: 915700012
HEZLA MOHAMED, ETAL
19643 GOLDEN BOUGH
COVINA CA 91724

ASMT: 915700013, APN: 915700013
JULIE PAGE
36765 E BENTON RD
TEMECULA, CA. 92592

ASMT: 924020015, APN: 924020015
DEBORAH HERBRANDSON
32949 AVENIDA LESTONNAC
TEMECULA CA 92592

ASMT: 915700017, APN: 915700017
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 924030001, APN: 924030001
GRESHAM ROSKAMP
4 RITZ COVE
DANA POINT CA 92629

ASMT: 915700021, APN: 915700021
BRENDA KENNISON, ETAL
36705 SUMMERVILLE
TEMECULA CA 92592

ASMT: 924040012, APN: 924040012
BENJAMIN DOHRMAN
37715 ROBERTSON WAY
TEMECULA, CA. 92592

ASMT: 924020001, APN: 924020001
KATE TRANSU, ETAL
37764 GRANDE RD
TEMECULA, CA. 92592

ASMT: 924040014, APN: 924040014
LCA PROP LLC
38245 MESA RD
TEMECULA CA 92592

ASMT: 924020002, APN: 924020002
RICHARD JONES
37800 GRANDE RD
TEMECULA, CA. 92591

ASMT: 924040015, APN: 924040015
JENNIFER BALANKY
7357 LAURA CT
SAN DIEGO CA 92120

ASMT: 924020003, APN: 924020003
DAAL CHAWAL
C/O AMIT KUMAR
417 GLENCREST DR
SOLANA BEACH CA 92075

ASMT: 924040016, APN: 924040016
COLLEEN MCLAUGHLIN, ETAL
38345 MESA RD
TEMECULA CA 92592

ASMT: 924020013, APN: 924020013
MICHAEL SHIRLEY
P O BOX 890626
TEMECULA CA 92589

ASMT: 924040017, APN: 924040017
JENNIFER MCLAUGHLIN, ETAL
37730 ROBERTSON WAY
TEMECULA, CA. 92592

ASMT: 924040021, APN: 924040021
WINERY, ETAL
5564 EDISON AVE
CHINO CA 91792

ASMT: 924270024, APN: 924270024
STEPHANIE DOEHRING, ETAL
41555 CHERRY ST STE F
MURRIETA CA 92562

ASMT: 924270002, APN: 924270002
SYLVIA EHLER, ETAL
P O BOX 11
SEASIDE OR 97138

ASMT: 924280001, APN: 924280001
KENNETH MARCUCCI
37434 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924270019, APN: 924270019
SAMANTHA DOHRMAN, ETAL
38475 MESA RD
TEMECULA, CA. 92592

ASMT: 924280002, APN: 924280002
SALLY HASEROT, ETAL
38975 MESA RD
TEMECULA, CA. 92592

ASMT: 924270020, APN: 924270020
EDWARD COOK, ETAL
1916 VIRAZON DR
LA HABRA HEIGHTS CA 90631

ASMT: 924280003, APN: 924280003
MARY RAMSAY, ETAL
P O BOX 52
TEMECULA CA 92593

ASMT: 924270021, APN: 924270021
PAMELA REEDER
37785 BEARING CIR
TEMECULA, CA. 92592

ASMT: 924280004, APN: 924280004
PATRICIA SATHER, ETAL
38919 MESA RD
TEMECULA, CA. 92592

ASMT: 924270022, APN: 924270022
GABRIELE SPRAFKE
821 FONTHILL AVE
TORRANCE CA 90503

ASMT: 924280005, APN: 924280005
SUSAN HUTCHISON
37475 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924270023, APN: 924270023
MELISSA SCHROLL, ETAL
37750 BEARING CIR
TEMECULA, CA. 92592

ASMT: 924280006, APN: 924280006
D ROGERS
P O BOX 892346
TEMECULA CA 92589

ASMT: 924280007, APN: 924280007
YAN SHEK, ETAL
37433 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280014, APN: 924280014
LETICIA PLUMMER, ETAL
37360 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280008, APN: 924280008
TRACY VALLEY, ETAL
929 VEGAS VIEW DR
HENDERSON NV 89052

ASMT: 924280015, APN: 924280015
CONNIE THOMPSON, ETAL
37380 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280009, APN: 924280009
ROSE GIBSON
37361 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280016, APN: 924280016
LEE RYZEWSKI, ETAL
37430 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280010, APN: 924280010
HOMES FOR OUR TROOPS INC
6 MAIN ST
TAUNTON MA 2780

ASMT: 924280017, APN: 924280017
NORMA MELILL
37400 DOWNEY RD
TEMECULA, CA. 92592

ASMT: 924280011, APN: 924280011
CHRISTINE UPDYKE, ETAL
37349 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280018, APN: 924280018
PUAOKAHAUKEA DUFFIELD, ETAL
37420 DOWNEY RD
TEMECULA, CA. 92592

ASMT: 924280012, APN: 924280012
ALADDIN DOROUDI
22221 AMBER ROSE
MISSION VIEJO CA 92692

ASMT: 924280019, APN: 924280019
SUSAN VANHEUMEN, ETAL
37450 DOWNEY RD
TEMECULA, CA. 92592

ASMT: 924280013, APN: 924280013
TERRYLE BLANTON, ETAL
37350 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280020, APN: 924280020
PAULINE CENA, ETAL
38795 MESA
TEMECULA, CA. 92592

ASMT: 924290015, APN: 924290015
IRMA NISHIMURA, ETAL
37410 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290022, APN: 924290022
NORMA WESOLOWSKI, ETAL
37190 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290016, APN: 924290016
PATRICK HURTER
37380 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924290023, APN: 924290023
THEODORE WILSON
39090 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290017, APN: 924290017
LAUREEN WEIMANN, ETAL
AME
39010 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924290024, APN: 924290024
GREGORY JIGAMIAN
39060 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290018, APN: 924290018
MELISSA KROME, ETAL
39011 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924290025, APN: 924290025
DEBRA GROMACKI BLYTH, ETAL
39030 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290019, APN: 924290019
LORI PRAY, ETAL
37230 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290026, APN: 924290026
MELINDA HELLAND, ETAL
38998 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 924290020, APN: 924290020
NICOLA HELM, ETAL
37210 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290027, APN: 924290027
THERESA KEENER
38990 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290021, APN: 924290021
JILL PRIEBOY, ETAL
37200 GLENOAKS
TEMECULA, CA. 92592

ASMT: 924290028, APN: 924290028
PAMELA COOPER, ETAL
38980 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 924290029, APN: 924290029
SANDRA SILVER, ETAL
25116 SUMMERHILL LN
STEVENSON RANCH CA 91381

ASMT: 924290038, APN: 924290038
THERESA NAZAROFF, ETAL
690 RIVERSIDE DR
LOS ALTOS CA 94024

ASMT: 924290030, APN: 924290030
TERRY BURKEY, ETAL
38931 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924300008, APN: 924300008
GIZELLA CZIRAKI, ETAL
2242 N HWY 395
FALLBROOK CA 92028

ASMT: 924290031, APN: 924290031
NANCI RADCLIFFE, ETAL
38911 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310007, APN: 924310007
GOLDIE KLEIN
P O BOX 890295
TEMECULA CA 92589

ASMT: 924290032, APN: 924290032
OCLA PROP
3626 LONG BEACH BL
LONG BEACH CA 90607

ASMT: 924310008, APN: 924310008
BEVERLY HOLCOMBE
38860 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290033, APN: 924290033
DANA HARO, ETAL
38900 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310009, APN: 924310009
ROBIN SHELDON, ETAL
38790 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290034, APN: 924290034
SHIRLEY BISHOP DAVIS, ETAL
38910 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310010, APN: 924310010
GALE EVANS
38720 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290036, APN: 924290036
JUDITH MIZELL, ETAL
38950 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310013, APN: 924310013
CHERYL MEEKS, ETAL
36727 CALLE BARTIZON
TEMECULA CA 92592

ASMT: 924310014, APN: 924310014
JAYE LUCERO, ETAL
36945 CALLE ARRUZA
TEMECULA CA 92592

ASMT: 924310022, APN: 924310022
CAROLINE GRIGORIADIS, ETAL
36725 CALLE BARTIZON
TEMECULA, CA. 92592

ASMT: 924310015, APN: 924310015
CHRISTINE NEWTON, ETAL
36965 CALE ARRUZA
TEMECULA CA 92592

ASMT: 924310023, APN: 924310023
MELISSA NAIL, ETAL
36735 CALLE BARTIZON
TEMECULA, CA. 92592

ASMT: 924310016, APN: 924310016
NICARI INV
C/O JEFFREY W LONG
7731 E NESTLING WAY
SCOTTSDALE AZ 85255

ASMT: 924320006, APN: 924320006
KAY DOCKINGS, ETAL
38875 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 924310017, APN: 924310017
DENISE WADE
36940 CALLE ARRUZA
TEMECULA, CA. 92592

ASMT: 924320007, APN: 924320007
CHRISTIAN JONES, ETAL
36525 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924310018, APN: 924310018
HPA BORROWER 2016 1
180 N STETSON AVE NO 3650
CHICAGO IL 60601

ASMT: 924320008, APN: 924320008
FRANCA FILES, ETAL
36345 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924310019, APN: 924310019
JAMIE VANGOMPEL, ETAL
40175 TENNYSON RD
MURRIETA CA 92563

ASMT: 924320010, APN: 924320010
PAMELA SHANABARGER, ETAL
38855 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924310021, APN: 924310021
ANN KIEFFER KELLY, ETAL
P O BOX 711
TEMECULA CA 92593

ASMT: 924320011, APN: 924320011
MICHELLE NICOLAIDES, ETAL
36591 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924320016, APN: 924320016
TERESA MOSTERO, ETAL
505 CHISWICK RD
PALOS VERDES EST CA 90274

ASMT: 924330012, APN: 924330012
TERRY KINNEY
36386 CALLE POCO RD
TEMECULA, CA. 92590

ASMT: 924330006, APN: 924330006
JUDY QUIGLEY, ETAL
131 WOODACRES DR SW
CALGARY AB CANADA T2W4V8

ASMT: 924330014, APN: 924330014
HELENE MENDELSON, ETAL
C/O HELENE MENDELSON
36850 GLEN OAKS RD
TEMECULA CA 92592

ASMT: 924330007, APN: 924330007
GEORGEANNA ALLEN
36970 VIA BROZA
TEMECULA CA 92592

ASMT: 924340002, APN: 924340002
CHRISTINE FOOTE, ETAL
36650 GLEN OAKS
TEMECULA CA 92592

ASMT: 924330008, APN: 924330008
NOELLE FIORE, ETAL
36900 VIA BROZA
TEMECULA, CA. 92592

ASMT: 924340003, APN: 924340003
MARA PEREZ, ETAL
36550 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924330009, APN: 924330009
CARRIE DRAGON, ETAL
36425 CALLE POCO RD
TEMECULA, CA. 92592

ASMT: 924340004, APN: 924340004
CHRISTINE FOOTE, ETAL
36650 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924330010, APN: 924330010
GAIL HAMES, ETAL
11527 SHOW RING LN
BAKERSFIELD CA 93312

ASMT: 924350002, APN: 924350002
LINDA HANSEN, ETAL
C/O LINDA HANSEN
P O BOX 890205
TEMECULA CA 92589

ASMT: 924330011, APN: 924330011
LYNN LAWSON, ETAL
36350 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924350004, APN: 924350004
SANDRA LANS
C/O CHRIS VANDER LANS
36400 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924350006, APN: 924350006
MIRIAM LANDBERG, ETAL
39280 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 924370011, APN: 924370011
FREDERICK VONVOIGT, ETAL
36325 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 924350007, APN: 924350007
VANDERLANS SANDRA B REV TRUST
C/O SANDRA B VANDERLANS REV TR
36400 GLEN OAKS RD
TEMECULA CA 92592

ASMT: 924370012, APN: 924370012
AGNES BERINSON, ETAL
36395 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 924360002, APN: 924360002
TEMECULA PUBLIC CEMETERY DIST
41911 C ST
TEMECULA CA 92592

ASMT: 924370013, APN: 924370013
DOWNAPHA BRITTON, ETAL
674 BOWCREEK DR
DIAMOND BAR CA 91765

ASMT: 924370005, APN: 924370005
TEMECULA INV CO INC, ETAL
28046 DEL RIO RD STE C
TEMECULA CA 92590

ASMT: 924370014, APN: 924370014
MARGARET PITKIN, ETAL
P O BOX 2107
TEMECULA CA 92593

ASMT: 924370008, APN: 924370008
ALBERT SALAZAR
36305 E BENTON RD
TEMECULA, CA. 92592

ASMT: 924370015, APN: 924370015
PATRICIA CAPONE, ETAL
36195 TRAVIS CT
TEMECULA, CA. 92592

ASMT: 924370009, APN: 924370009
ALBERT SALAZAR
P O BOX 893356
TEMECULA CA 92589

ASMT: 924370016, APN: 924370016
SEOMII LIGHTFOOT, ETAL
36125 TRAVIS CT
TEMECULA, CA. 92592

ASMT: 924370010, APN: 924370010
DAVID ORTIZ
36285 INDIAN KNOLL DR
TEMECULA, CA. 92592

ASMT: 924370019, APN: 924370019
MARCELO DOFFO
36083 SUMMITVILLE
TEMECULA CA 92592

ASMT: 927180006, APN: 927180006
ASSOC, ETAL
37812 DOROTHY CT
TEMECULA CA 92592

ASMT: 927180034, APN: 927180034
LORI SAPPINGTON, ETAL
35355 VIA RIATA
TEMECULA CA 92592

ASMT: 927180007, APN: 927180007
YUMEI LI, ETAL
1610 S NOGALES ST
ROWLAND HEIGHTS CA 91748

ASMT: 927180035, APN: 927180035
LAURA REAMES, ETAL
35450 VIA RIATA
TEMECULA, CA. 92592

ASMT: 927180012, APN: 927180012
SUSANNE CAMPBELL, ETAL
22536 LAKE FOREST LN
LAKE FOREST CA 92630

ASMT: 927280019, APN: 927280019
CAROL BRADY, ETAL
37850 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927180020, APN: 927180020
EFFIE GEORGANTOPOULOS, ETAL
31581 AQUACATE RD
SAN JUAN CAPISTRANO CA 92675

ASMT: 927280021, APN: 927280021
JANET TOBARI, ETAL
1630 W REDONDO BEACH 23
GARDENA CA 90247

ASMT: 927180021, APN: 927180021
KYUNG YOO, ETAL
16450 LA DONA CIR
HUNTINGTON BEACH CA 92649

ASMT: 927280024, APN: 927280024
RACHEL MAGUIRE, ETAL
38150 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 927180026, APN: 927180026
LAURA TURNBOW, ETAL
34200 MADERA DE PLAYA
TEMECULA CA 92592

ASMT: 927280025, APN: 927280025
NICOLAS MAGANA, ETAL
38280 DEPORTOLA RD
TEMECULA, CA. 92592

ASMT: 927180029, APN: 927180029
ROBIN CHISHOLM
35255 BEACH RD
CAPISTRANO BEACH CA 92624

ASMT: 927280026, APN: 927280026
HELENA VINCER, ETAL
38200 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927280036, APN: 927280036
CHRISTINE FALIK, ETAL
18451 COLLIER AVE
LAKE ELSINORE CA 92530

ASMT: 927450002, APN: 927450002
HEAVENSTONE CORP
17800 CASTLETON DR NO 300
CITY OF INDUSTRY CA 91748

ASMT: 927280037, APN: 927280037
ADOBE LAND CO
525 PLAZA DEL CID
CHULA VISTA CA 91910

ASMT: 927480003, APN: 927480003
SANDRA NIZETICH, ETAL
4617 ADENMORE AVE
LAKEWOOD CA 90712

ASMT: 927280040, APN: 927280040
ADOBE LAND CO
525 PLAZA DEL SID
CHULA VISTA CA 91910

ASMT: 927480004, APN: 927480004
HELENA TYSARCZYK, ETAL
35260 LOS NOGALES RD
TEMECULA, CA. 92592

ASMT: 927370028, APN: 927370028
GLENDA TREVASKIS, ETAL
40905 CALLE DEL MAYA RD
TEMECULA, CA. 92592

ASMT: 927480005, APN: 927480005
JERI COTA, ETAL
35280 LOS NOGALES RD
TEMECULA, CA. 92592

ASMT: 927370030, APN: 927370030
PRASIT KOOPONGSAKORN, ETAL
8811 CANOGA AVE SPC 207
CANOGA PARK CA 91304

ASMT: 927480006, APN: 927480006
MARIAN HAWKEY
1534 COUNTRY CLUB DR
ESCONDIDO CA 92029

ASMT: 927370031, APN: 927370031
BRIAN MONSON
109 N IRENA AVE STE A
REDONDO BEACH CA 90277

ASMT: 927530009, APN: 927530009
HEAVENSTONE RANCH CORP
17800 CASTLETON ST NO 300
CITY OF INDUSTRY CA 91748

ASMT: 927370032, APN: 927370032
MARY LAVEZZARI
41200 CALLE DE MAYA
TEMECULA, CA. 92592

ASMT: 927530011, APN: 927530011
THOMAS DECARLO, ETAL
36130 MEADOW RIDGE RD
TEMECULA, CA. 92592

ASMT: 927530014, APN: 927530014
THOMAS BELLIT
14 ILIAINA PL
KAILUA HI 96734

ASMT: 927530021, APN: 927530021
JLH ENTERPRISES
36068 HIDDEN SPGS NO C148
WILDOMAR CA 92595

ASMT: 927530015, APN: 927530015
E BELLIT
2151 E SHERMAN AVE
SALT LAKE CITY UT 84108

ASMT: 927540005, APN: 927540005
ANDREA MCCORMICK, ETAL
41370 VALENCIA WAY
TEMECULA CA 92592

ASMT: 927530016, APN: 927530016
LOLA WISNIEWSKI, ETAL
36020 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540007, APN: 927540007
GIZELLA CZIRAKI, ETAL
2242 N HIGHWAY 395
FALLBROOK CA 92028

ASMT: 927530017, APN: 927530017
LISA SCHRAUTH, ETAL
36040 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540019, APN: 927540019
ELLEN MUNDELL, ETAL
41400 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927530018, APN: 927530018
SUSAN MONTEMAYOR, ETAL
7962 POINSETTIA DR
BUENA PARK CA 90620

ASMT: 927540020, APN: 927540020
KATRINKA BLUNT, ETAL
505 COLLEGE ST S
MONMOUTH OR 97361

ASMT: 927530019, APN: 927530019
BRYANNA KESSLER
36070 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540021, APN: 927540021
CHARLES BURMEISTER
41480 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927530020, APN: 927530020
MARY DUFEK
P O BOX 893069
TEMECULA CA 92589

ASMT: 927540022, APN: 927540022
MARY MEREDITH, ETAL
36150 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927540031, APN: 927540031
MELISSA WALKER, ETAL
36191 MEADOW RIDGE RD
TEMECULA, CA. 92592

ASMT: 927550018, APN: 927550018
INA RAMOS, ETAL
36215 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927540032, APN: 927540032
JO ENSMINGER, ETAL
3613 MEADOW RIDGE RD
TEMECULA CA 92592

ASMT: 927550019, APN: 927550019
ALAN GRISWOLD, ETAL
36235 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927540033, APN: 927540033
SUSAN HETRICK, ETAL
36195 PALMADOR LN
TEMECULA CA 92592

ASMT: 927550020, APN: 927550020
SANDRA GOLDSMITH, ETAL
P O BOX 890988
TEMECULA CA 92592

ASMT: 927540034, APN: 927540034
SHU XU, ETAL
6825 BRENTMEAD AVE
ARCADIA CA 91007

ASMT: 927550024, APN: 927550024
PATRICIA REID, ETAL
41600 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540036, APN: 927540036
FRANNE FICARA, ETAL
36290 PALMADOR LN
TEMECULA, CA. 92592

ASMT: 927550031, APN: 927550031
ROSEMARY KELLY, ETAL
P O BOX 890553
TEMECULA CA 92589

ASMT: 927550014, APN: 927550014
MARTHA LASSALETTE, ETAL
42151 CIBOLA CIR
TEMECULA, CA. 92592

ASMT: 927550032, APN: 927550032
KATHY NOEL, ETAL
36210 CARAVEL LN
TEMECULA CA 92592

ASMT: 927550017, APN: 927550017
SUSAN BOERS, ETAL
36321 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927550036, APN: 927550036
DEBRA RUSSELL, ETAL
P O BOX 890631
TEMECULA CA 92589

ASMT: 927550037, APN: 927550037
TRAYBAK FAMILY LIVING TRUST
36265 ALTA MESA ST
TEMECULA, CA. 92592

ASMT: 927610003, APN: 927610003
LOUISA HSIEH, ETAL
P O BOX 890666
TEMECULA CA 92589

ASMT: 927550038, APN: 927550038
MELISSA LANDIS, ETAL
36275 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927610005, APN: 927610005
LINDA MARTIN, ETAL
34860 MONTE VERDE
TEMECULA CA 92592

ASMT: 927550039, APN: 927550039
KAREN SCHNEIDER
36120 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927620004, APN: 927620004
LEONESSE CELLARS, ETAL
C/O LEONESSE CELLARS
38311 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927550040, APN: 927550040
KAREN MANFIELD, ETAL
3009 CLUNE AVE
VENICE CA 90291

ASMT: 927620005, APN: 927620005
JACQUELINE MORGAN, ETAL
37005 GALAWAY DOWNS DR
TEMECULA, CA. 92592

ASMT: 927550042, APN: 927550042
MARY LAROCQUE, ETAL
P O BOX 890726
TEMECULA CA 92589

ASMT: 927620006, APN: 927620006
RONALD SCHREIBER
NO 2 PMB 250
31103 RANCHO VIEJO RD
SAN JUAN CAPISTRANO CA 92675

ASMT: 927600009, APN: 927600009
THATSANARY SOUBANNARATH, ETAL
32099 CAMINO RABAGO
TEMECULA CA 92592

ASMT: 927620008, APN: 927620008
VINEYARDS OF DEPORTOLA
C/O KEN ZIGNORSKY
35820 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 927610002, APN: 927610002
HSI CHAN, ETAL
P O BOX 3163
MANHATTAN BEACH CA 90266

ASMT: 927620012, APN: 927620012
GAIL FITZPATRICK, ETAL
38685 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927620015, APN: 927620015
LEO RIZZI
36990 LOS ALAMITOS DR
TEMECULA, CA. 92592

ASMT: 927640003, APN: 927640003
RENZONI VINEYARDS INC
37350 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927620016, APN: 927620016
RODNEY DREIER
5530 BAYBERRY WAY
YORBA LINDA CA 92887

ASMT: 927640004, APN: 927640004
FAZELI VINEYARDS
37320 DEPORTOLA RD
TEMECULA CA 92592

ASMT: 927630011, APN: 927630011
MARLENE MCRAE, ETAL
1120 SPUR 100
KERRVILLE TX 78028

ASMT: 927640009, APN: 927640009
SUMMIT ASSOC LTD
5647 SASHABOW
CLARKSTON MI 48346

ASMT: 927630013, APN: 927630013
BETTY WELLS, ETAL
37028 DEPORTOLA RD
TEMECULA CA 92592

ASMT: 927640015, APN: 927640015
SUMMIT ASSOC LTD
5647 SASHABAW
CLARKSTON MI 48346

ASMT: 927630014, APN: 927630014
HANDLE IT MMS
43620 RIDGE PARK DR NO 310
TEMECULA CA 92590

ASMT: 927650011, APN: 927650011
BACHA BHAVAN
43950 MARGARITA RD NO J
TEMECULA CA 92592

ASMT: 927630021, APN: 927630021
VVUS
SOLEBY STREET E1 4PN
LONDON ENGLAND
UNITED KINGDOM

ASMT: 927650018, APN: 927650018
KEITH ASKEV
36730 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927630022, APN: 927630022
DE PORTOLA WINERY
1015 FREMONT AVE NO 2
SOUTH PASADENA CA 91030

ASMT: 927650021, APN: 927650021
MACE FAMILY REVOCABLE TRUST 2006
C/O THOMAS J MACE
36745 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927650025, APN: 927650025
JUDY ROBERTS
36735 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660003, APN: 927660003
KARIANNE HAYES, ETAL
36520 VIA VERDE
TEMECULA, CA. 92592

ASMT: 927650027, APN: 927650027
PAULA LAWRENCE, ETAL
36495 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660005, APN: 927660005
TIANA HALLETT
37975 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927650029, APN: 927650029
KIMBERLEY PERROT, ETAL
36651 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660026, APN: 927660026
WENDY FAZELI, ETAL
36800 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927650030, APN: 927650030
PEYTON CROW
42909 JOSHUA TREE CT
MURRIETA CA 92562

ASMT: 927660027, APN: 927660027
RIMBA WEST
9 KINGS CT
VALLEY COTTAGE NY 10989

ASMT: 927650031, APN: 927650031
ORA MARTIN
36100 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927660029, APN: 927660029
RITA ZEPPIERI, ETAL
P O BOX 2046
FALLBROOK CA 92088

ASMT: 927660001, APN: 927660001
LACEY BRITTON, ETAL
38060 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927660032, APN: 927660032
SAMIRA SWEIS, ETAL
36494 VIA VERDE
TEMECULA, CA. 92592

ASMT: 927660002, APN: 927660002
VALERIE ANDREWS, ETAL
47200 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 927660037, APN: 927660037
KIM KIRKPATRICK, ETAL
36533 VIA VERDE
TEMECULA, CA. 92592

ASMT: 927660038, APN: 927660038
BLANCA SAKHAPOUR, ETAL
33381 MORNING VIEW DR
TEMECULA CA 92592

ASMT: 927670012, APN: 927670012
RANCHO DEL VINO
C/O ROBERT W BOSICH
43891 CARENTAN DR
TEMECULA CA 92592

ASMT: 927660039, APN: 927660039
JOHN SCHULER
P O BOX 892218
TEMECULA CA 92589

ASMT: 927670013, APN: 927670013
LJMJM RIVERSIDE
36585 COVINGTON CIR
MURRIETA CA 92563

ASMT: 927670007, APN: 927670007
ELIZABETH ANDERSON, ETAL
41275 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 927670014, APN: 927670014
CAROL OSTROWSKI, ETAL
P O BOX 893057
TEMECULA CA 92589

ASMT: 927670008, APN: 927670008
HOLLY OLSON, ETAL
P O BOX 890605
TEMECULA CA 92589

ASMT: 927670015, APN: 927670015
JESSICA MALDONADO, ETAL
38317 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 927670009, APN: 927670009
THOMAS BEREAN
PO BOX 3632
NEWPORT BEACH CA 92659

ASMT: 927670016, APN: 927670016
MYRIAM CESPEDES, ETAL
31902 CALLE CABALLOS
TEMECULA CA 92592

ASMT: 927670010, APN: 927670010
JULIET AFFOLTER, ETAL
38405 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927670017, APN: 927670017
KAREN ALEXANDER, ETAL
38303 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 927670011, APN: 927670011
LINDA PAVELICH TURNER
38325 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 927670018, APN: 927670018
TRACY MURPHY, ETAL
38332 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 927670019, APN: 927670019
TERESA RITENOUR, ETAL
38312 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 941080021, APN: 941080021
MARY WALTERS, ETAL
38211 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 927670020, APN: 927670020
KERRIE TULEY, ETAL
38280 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 941080022, APN: 941080022
SHERRY HILL, ETAL
P O BOX 1788
TEMECULA CA 92593

ASMT: 927670021, APN: 927670021
KELLY NEX, ETAL
41664 CAMINO DEL VINO RD
TEMECULA, CA. 92592

ASMT: 941080023, APN: 941080023
AFSOON BAHARLOO, ETAL
37879 PRATT RD
TEMECULA CA 92592

ASMT: 927670026, APN: 927670026
BARRY SMITH
1848 GUM TREE LN
FALLBROOK CA 92028

ASMT: 941080024, APN: 941080024
EQUITY HOLDING CORP
C/O EQUITY HOLDING CORP
3275 E ROBERTSON BLVD STE
CHOWCHILLA CA 93610

ASMT: 927670027, APN: 927670027
MICHELLE BOWERS, ETAL
41190 CORTE CATALUNYA
TEMECULA, CA. 92592

ASMT: 941080025, APN: 941080025
AYAKO ARIGA, ETAL
12200 GLINES CT
TUSTIN CA 92782

ASMT: 941080019, APN: 941080019
ROSANNE VALLONE, ETAL
37955 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941080026, APN: 941080026
TONI LACY
40930 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941080020, APN: 941080020
ROY ADAMS, ETAL
C/O ROY R ADAMS
PO BOX 890998
TEMECULA CA 92589

ASMT: 941080027, APN: 941080027
CHRISTIE HORTON, ETAL
40190 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080029, APN: 941080029
JOYCE PROTEAU
542 S WOODLAND ST
ORANGE CA 92869

ASMT: 941080039, APN: 941080039
DENISE MILLER
32148 CALLE BALAREZA
TEMECULA CA 92592

ASMT: 941080030, APN: 941080030
JOAN PRICE
801 JOHN BARROW RD NO 1
LITTLE ROCK AR 72205

ASMT: 941080040, APN: 941080040
JILL GOLDEN
37880 PRATT RD
TEMECULA, CA. 92592

ASMT: 941080031, APN: 941080031
BRENDA BEGG, ETAL
P O BOX 890691
TEMECULA CA 92589

ASMT: 941080041, APN: 941080041
TANIA REUBEN, ETAL
38250 PRATT RD
TEMECULA, CA. 92592

ASMT: 941080032, APN: 941080032
CAROL HIGHFILL
39760 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080042, APN: 941080042
MARILYN WATSON, ETAL
37877 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941080036, APN: 941080036
LAURA KINNEY
39775 CALLE BELLAGIO
TEMECULA CA 92592

ASMT: 941080043, APN: 941080043
KARLYN DAVIS, ETAL
40055 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080037, APN: 941080037
HUIMIN LI, ETAL
160 VIA FIESTA
NEWBURY PARK CA 91320

ASMT: 941080044, APN: 941080044
LJ, ETAL
41880 6TH ST
TEMECULA CA 92590

ASMT: 941080038, APN: 941080038
VICTOR COVARRUBIAS
39895 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080045, APN: 941080045
LUGO PROP
423 B OAKLAWN AVE
S PASADENA CA 91030

ASMT: 941080046, APN: 941080046
JODI GARCIA, ETAL
9 MAINSAIL DR
HAMPTON VA 23664

ASMT: 941100002, APN: 941100002
FRASER DEV
40230 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941080047, APN: 941080047
NANCY HURTIENNE, ETAL
37925 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941100006, APN: 941100006
DANA HOKANA
P O BOX 893369
TEMECULA CA 92589

ASMT: 941090002, APN: 941090002
JUDY CLODT, ETAL
PMB 70
30520 RANCHO CA RD NO 107
TEMECULA CA 92591

ASMT: 941100017, APN: 941100017
NANCY BROWN, ETAL
40520 DEPORTOLA RD
TEMECULA, CA. 92592

ASMT: 941090004, APN: 941090004
ALFREDO CAMBEROS
38585 WILLY WAY
TEMECULA, CA. 92592

ASMT: 941100018, APN: 941100018
PIEDRA DURA WINERY INC
39780 CUSHMAN CIR
TEMECULA CA 92592

ASMT: 941090005, APN: 941090005
HARRY MARINOW
P O BOX 1480
SUNSET BEACH CA 90742

ASMT: 941110015, APN: 941110015
THESSALONIKA FAMILY SERVICES
P O BOX 890326
TEMECULA CA 92589

ASMT: 941090006, APN: 941090006
ALICE LIU, ETAL
40880 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 941110016, APN: 941110016
KAREN MACINNES, ETAL
39480 AVENIDA BOGOTA
TEMECULA, CA. 92592

ASMT: 941090007, APN: 941090007
GRACIA LUMANG
10972 DEERING ST
SAN DIEGO CA 92126

ASMT: 941110017, APN: 941110017
BRENDA WILES, ETAL
39602 AVENIDA BOGOTA
TEMECULA, CA. 92592

ASMT: 941110018, APN: 941110018
DAVID MOREILLI
3450 N VERDUGO RD
GLENDALE CA 91208

ASMT: 941110026, APN: 941110026
LAURETTE NICOLL, ETAL
39588 MARCUS DR
TEMECULA, CA. 92592

ASMT: 941110019, APN: 941110019
WAYNE RICH
36200 CALLE PUERTA BONITA
TEMECULA CA 92592

ASMT: 941110027, APN: 941110027
GLORIA TUMBAGA
37535 GLENOAKS RD
TEMECULA CA 92592

ASMT: 941110020, APN: 941110020
DANIEL PILKINGTON
P O BOX 890237
TEMECULA CA 92589

ASMT: 941110028, APN: 941110028
SHELLY BENDYKOWSKI, ETAL
39350 MARCUS DR
TEMECULA, CA. 92592

ASMT: 941110021, APN: 941110021
JEAN VOSHALL, ETAL
39255 MARCUS DR
TEMECULA, CA. 92592

ASMT: 941110032, APN: 941110032
FRED FONG, ETAL
900 HONEYWOOD RD
LOS ANGELES CA 90049

ASMT: 941110022, APN: 941110022
TIMOTHY TERRIO, ETAL
PO BOX 892739
TEMECULA CA 92589

ASMT: 941120013, APN: 941120013
DANA AVILA, ETAL
39239 CALLE BELLAGIO
TEMECULA CA 92592

ASMT: 941110023, APN: 941110023
KAREN MASTRANGELO
39550 ANDROS
TEMECULA, CA. 92592

ASMT: 941120014, APN: 941120014
DEBORAH HOWELL, ETAL
30709 CENTAUR CT
TEMECULA CA 92592

ASMT: 941110024, APN: 941110024
PAMELA ETHRIDGE HERBERT, ETAL
P O BOX 1262
MURRIETA CA 92564

ASMT: 941120015, APN: 941120015
BEVERLY SCHULTE, ETAL
39280 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120016, APN: 941120016
MELINDA GORMAN, ETAL
39295 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120023, APN: 941120023
ROBERT GAMBLE, ETAL
39337 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120017, APN: 941120017
JAMIE ENFIELD, ETAL
39245 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120024, APN: 941120024
ANDREA BROWNING, ETAL
39357 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120018, APN: 941120018
JANICE DEVENEY, ETAL
P O BOX 1374
NOVATO CA 94948

ASMT: 941130008, APN: 941130008
BELLAGLEN LTD PARTNERSHIP
C/O JOHN MCLAUGHLIN
711 E IMPERIAL HWY NO 200
BREA CA 92821

ASMT: 941120019, APN: 941120019
HELEN STRANDBERG, ETAL
32961 CALLE SAN MARCOS
SAN JUAN CAPO CA 92675

ASMT: 941140022, APN: 941140022
EDWARD FINLEY, ETAL
36891 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 941120020, APN: 941120020
MICHAEL WEISZ
39100 CALLE BELLAGIO LN
TEMECULA, CA. 92592

ASMT: 941140023, APN: 941140023
CLIFFORD NICHOLS
P O BOX 891657
TEMECULA CA 92589

ASMT: 941120021, APN: 941120021
DENISE DEBUS, ETAL
39303 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941140024, APN: 941140024
PATRICIA GONZALEZ, ETAL
39355 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941120022, APN: 941120022
WESLEY HALL, ETAL
39309 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941140025, APN: 941140025
DEBRA CARLSON, ETAL
39235 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941140026, APN: 941140026
LARENA PENHALL, ETAL
37075 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941150021, APN: 941150021
CASSANDRA SMITH WILLIAMS, ETAL
P O BOX 890912
TEMECULA CA 92589

ASMT: 941140031, APN: 941140031
JEAN CHANG, ETAL
PO BOX 6257
GARDEN GROVE CA 92846

ASMT: 941150022, APN: 941150022
KIMBERLY CERVANTES, ETAL
39720 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941140032, APN: 941140032
CATHERINE GIBSON, ETAL
35230 LINDA ROSEA
TEMECULA CA 92592

ASMT: 941150023, APN: 941150023
JULIA SMITH, ETAL
PMB 104
31915 RCHO CALIF STE 200
TEMECULA CA 92591

ASMT: 941150017, APN: 941150017
GAYLE FOGLER, ETAL
39695 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941150024, APN: 941150024
RUSS MANN
39651 VIA CACHO
TEMECULA, CA. 92592

ASMT: 941150018, APN: 941150018
MELINDA THOMAS, ETAL
33565 PAUBA RD
TEMECULA CA 92592

ASMT: 941150025, APN: 941150025
JOANN ZALEWSKI STARRETT, ETAL
39705 VIA CACHO
TEMECULA, CA. 92592

ASMT: 941150019, APN: 941150019
JEAN FEMIA, ETAL
27475 YNEZ RD NO 377
TEMECULA CA 92591

ASMT: 941150028, APN: 941150028
TAMARA SANDON, ETAL
39450 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941150020, APN: 941150020
LAURA DEMARTINEZ, ETAL
2970 NAU AVE
TUSTIN CA 92782

ASMT: 941150030, APN: 941150030
MARIA ROBERTS
1910 ROBBINS ST
SANTA BARBARA CA 93101

ASMT: 941150031, APN: 941150031
KARTHRYN YECOSCHENKO, ETAL
39797 AVENIDA BRISA
TEMECULA CA 92592

ASMT: 941180019, APN: 941180019
GAIL SIMS, ETAL
36680 MONTE DE ORO RD
TEMECULA, CA. 92592

ASMT: 941150032, APN: 941150032
ROY HOLMES
39823 AVENIDA BRISA
TEMECULA, CA. 92592

ASMT: 941180020, APN: 941180020
SUSAN WITCHER, ETAL
29300 ANNANDALE RD
SUN CITY CA 92586

ASMT: 941160007, APN: 941160007
CORONA DEL REY
C/O MARY CORONA
43915 CORONADO DR
TEMECULA CA 92592

ASMT: 941180021, APN: 941180021
SVETLANA MUSHIK, ETAL
40425 AVENIDA TREBOLO
TEMECULA, CA. 92592

ASMT: 941170006, APN: 941170006
JO FRANGIPANI, ETAL
32174 CORTE ILLORA
TEMECULA CA 92592

ASMT: 941180023, APN: 941180023
CANDICE FLOCK
P O BOX 144
SAN JUAN CAPO CA 92693

ASMT: 941170007, APN: 941170007
JENNIFER BUFFINGTON, ETAL
39870 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941180027, APN: 941180027
FRANCES DIAZ, ETAL
1542 W KNAPP DR
VISTA CA 92083

ASMT: 941170008, APN: 941170008
ROBERET REED
39950 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941180028, APN: 941180028
THAMAR DRAPER, ETAL
37825 MONTE DE ORO RD
TEMECULA CA 92592

ASMT: 941170009, APN: 941170009
MICHELLE FISHER
PO BOX 8658
MAMMOTH LAKES CA 93546

ASMT: 941180029, APN: 941180029
JOSEPHINE HAMPSON, ETAL
P O BOX 891231
TEMECULA CA 92589

ASMT: 941180030, APN: 941180030
EFREN TERRAZAS
36950 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941180037, APN: 941180037
JOSELEE SARMIENTO, ETAL
40305 MENG ASBURY RD
TEMECULA, CA. 92592

ASMT: 941180031, APN: 941180031
WENDY HARBOUR, ETAL
NO 200 328
31915 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 941180038, APN: 941180038
SILVIA FONSECA, ETAL
40425 MENG ASBURY RD
TEMECULA, CA. 92592

ASMT: 941180032, APN: 941180032
XIAOLAN XU, ETAL
79 DUNMORE
IRVINE CA 92620

ASMT: 941190016, APN: 941190016
SUSAN SPENCER, ETAL
40300 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941180033, APN: 941180033
GHAZALEA JAMES, ETAL
P O BOX 892142
TEMECULA CA 92589

ASMT: 941190017, APN: 941190017
DNEVA DAMON
40200 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941180034, APN: 941180034
COURTNEY ATNIP, ETAL
40180 MENG ASBURY RD
TEMECULA, CA. 92592

ASMT: 941190018, APN: 941190018
LEONIDA BERRY, ETAL
24801 VIA SAN FERNANDO
MISSION VIEJO CA 92692

ASMT: 941180035, APN: 941180035
JULIE VANDAL, ETAL
40205 MENG ASBURY RD
TEMECULA CA 92592

ASMT: 941190019, APN: 941190019
PATRICIA GRIFFIN
40310 CARRE VISTA
TEMECULA, CA. 92592

ASMT: 941180036, APN: 941180036
LISA NAKAKIHARA, ETAL
40225 MENG ASBURY RD
TEMECULA CA 92592

ASMT: 941190024, APN: 941190024
MICHAEL BIGI
40 ROCKINGHAM DR
NEWPORT BEACH CA 92660

ASMT: 941190025, APN: 941190025
SUSAN ROWAN, ETAL
23020 BLUE BIRD DR
CANYON LAKE CA 92587

ASMT: 941190036, APN: 941190036
JESSE ROUX
39645 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190030, APN: 941190030
LYNDA PENNINGTON, ETAL
3717 PINEHURST ST
BAKERSFIELD CA 93306

ASMT: 941190037, APN: 941190037
JOANN DAVIS
39685 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190031, APN: 941190031
EVELYN GASTON, ETAL
39871 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190039, APN: 941190039
CIRILA PIATEK
40265 ARANDA ST
TEMECULA, CA. 92592

ASMT: 941190032, APN: 941190032
LYNNE THOMAS, ETAL
39939 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190040, APN: 941190040
SHARON FINCH, ETAL
P O BOX 891573
TEMECULA CA 92589

ASMT: 941190033, APN: 941190033
DONNA GENIS, ETAL
40570 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190041, APN: 941190041
DIANA BLOCHL, ETAL
40295 ARANDA ST
TEMECULA, CA. 92591

ASMT: 941190034, APN: 941190034
DAWN BRENNAN, ETAL
39630 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190044, APN: 941190044
OLIVIA PAPA, ETAL
36628 MONTE DE ORO RD
TEMECULA CA 92592

ASMT: 941190035, APN: 941190035
ELLEN CHRISTENSEN
39533 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190046, APN: 941190046
OLIVIA PAPA, ETAL
36628 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941200004, APN: 941200004
TIFFINY WEBSTER, ETAL
36685 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 941200018, APN: 941200018
PAULA BURKE, ETAL
39455 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200005, APN: 941200005
JACQUELYN SHALLOW, ETAL
36655 KAYFOUR RD
TEMECULA, CA. 92592

ASMT: 941200019, APN: 941200019
RAE GAGNON, ETAL
39559 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200013, APN: 941200013
KRISTIN PETERS, ETAL
39446 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200022, APN: 941200022
VIOLETTE SHALOM, ETAL
3347 MANDEVILLE PL
ORANGE CA 92667

ASMT: 941200014, APN: 941200014
VICKI MASCARO, ETAL
10340 ATLANTIC
SOUTH GATE CA 90280

ASMT: 941200027, APN: 941200027
QUEEN AYERS, ETAL
39350 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200015, APN: 941200015
HOLLY VOGT GUILLORY, ETAL
39155 CALLE ANITA RD
TEMECULA, CA. 92592

ASMT: 941200028, APN: 941200028
RACHELL WOLFE, ETAL
2680 LOSSREAND AVE
HENDERSON NV 89044

ASMT: 941200016, APN: 941200016
GLORIA PEREZ, ETAL
39377 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200029, APN: 941200029
ROBERT OLSON
6842 LILLIAN LN
EDEN PRAIRIE MN 55346

ASMT: 941200017, APN: 941200017
SANDRA BURGHARD, ETAL
39415 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200030, APN: 941200030
CAROL MUSULAS, ETAL
39470 CALLE ANITA RD
TEMECULA, CA. 92592

ASMT: 941210020, APN: 941210020
ANDREA ABBES, ETAL
32238 FIRESIDE DR
TEMECULA CA 92592

ASMT: 941210027, APN: 941210027
VIRGINIA MACDONALD, ETAL
P O BOX 891389
TEMECULA CA 92589

ASMT: 941210021, APN: 941210021
JUDITH KING, ETAL
P O BOX 890352
TEMECULA CA 92589

ASMT: 941210028, APN: 941210028
EDRA MOULD
40121 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941210022, APN: 941210022
VIRGINIA TAFT, ETAL
36275 AVENIDA DE ACACIAS
TEMECULA, CA. 92592

ASMT: 941210029, APN: 941210029
PEGGY BECK, ETAL
40103 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 941210023, APN: 941210023
MARGARET MINTER, ETAL
36300 AVENIDA DE ACACIAS
TEMECULA CA 92592

ASMT: 941210030, APN: 941210030
FRANK CARRILLO
36515 CALLE ARCARO
TEMECULA, CA. 92592

ASMT: 941210024, APN: 941210024
NICOLETTE DENNEY
39580 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941210031, APN: 941210031
SUSAN FRANKS, ETAL
40085 BELLA VIST RD
TEMECULA, CA. 92592

ASMT: 941210025, APN: 941210025
CHERYL TOKLE, ETAL
36262 AVENIDA DE ACACIA
TEMECULA, CA. 92592

ASMT: 941210032, APN: 941210032
ANN EICHBERGER
36481 CALLE ARCARO
TEMECULA CA 92592

ASMT: 941210026, APN: 941210026
KRIS OLKO, ETAL
P O BOX 892753
TEMECULA CA 92589

ASMT: 941210033, APN: 941210033
ANN EICHBERGER
36481 CALLE ARCARO RD
TEMECULA, CA. 92592

ASMT: 941210034, APN: 941210034
JENNIFER ROWLAND, ETAL
40063 BELLA VISTA RD
TEMECULA CA 92592

ASMT: 941220016, APN: 941220016
JOHN VANDERLANS
36260 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941210035, APN: 941210035
RYAN TRIMBLE, ETAL
40041 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941220017, APN: 941220017
CATHERINE MCDERMOTT
P O BOX 890684
TEMECULA CA 92589

ASMT: 941220001, APN: 941220001
ANITA BUSTILLOS, ETAL
39710 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941220018, APN: 941220018
DOREEN RANNALS, ETAL
39890 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 941220002, APN: 941220002
MINDA SZULC, ETAL
36210 TONTO LN
TEMECULA, CA. 92592

ASMT: 941220019, APN: 941220019
KATHLEEN JACOBSEN, ETAL
STE A422
33175 STATE HWY 79
TEMECULA CA 92592

ASMT: 941220003, APN: 941220003
SCOTT DANIELS
39776 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941220020, APN: 941220020
EVANGELINA HAJJAR, ETAL
36200 MONTE DR ORO
TEMECULA CA 92592

ASMT: 941220004, APN: 941220004
MODESTA ROMERO, ETAL
39774 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941220023, APN: 941220023
TAD WUERTZ
36345 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941220015, APN: 941220015
EVANGELINA HAJJAR, ETAL
36200 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941220024, APN: 941220024
MICHAEL SUAREZ
36325 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941220025, APN: 941220025
BETTY JAMIESON DUNNE
36395 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941230010, APN: 941230010
ROLAND TANG, ETAL
2219 CLOVERFIELD BLVD
SANTA MONICA CA 90405

ASMT: 941220026, APN: 941220026
MAUREEN KEO, ETAL
36370 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941230011, APN: 941230011
MYUNG KIM, ETAL
P O BOX 1358
GARDEN GROVE CA 92842

ASMT: 941230001, APN: 941230001
LORENZI ESTATE WINES INC
C/O DON LORENZI
3400 CENTRAL AVE STE 160
RIVERSIDE CA 92506

ASMT: 941260002, APN: 941260002
EMILY EHRENFELD, ETAL
28565 E VALLEJO AVE
TEMECULA CA 92592

ASMT: 941230004, APN: 941230004
PATRICIA NADEAU, ETAL
40170 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941260003, APN: 941260003
MARILYN PHELPS, ETAL
40885 VIA CHAMPAGNE
TEMECULA, CA. 92592

ASMT: 941230005, APN: 941230005
RODNEY TOPKOV
33209 OLD HWY 74
HEMET CA 92845

ASMT: 941260004, APN: 941260004
LISA CROSATO, ETAL
40825 VIA CHAMPAGNE
TEMECULA, CA. 92592

ASMT: 941230006, APN: 941230006
SANDRA M FAMILY TRUST, ETAL
40350 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941260005, APN: 941260005
LORNA RAMIREZ, ETAL
40795 VIA CHAMPAGNE
TEMECULA, CA. 92592

ASMT: 941230007, APN: 941230007
HELEN KIM, ETAL
40070 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941260006, APN: 941260006
STEPHEN HUNTINGTON
36280 VIA CHAMPAGNE
TEMECULA CA 92592

ASMT: 941260007, APN: 941260007
PAMELA HELMLE, ETAL
36320 VIA BURGUNDY
TEMECULA, CA. 92592

ASMT: 941270021, APN: 941270021
ANN THOMAS, ETAL
17302 KAMORI CIR
GARDENA CA 90247

ASMT: 941260008, APN: 941260008
KIRSTEN THORNBURG, ETAL
36351 VIA BURGANDY
TEMECULA, CA. 92592

ASMT: 941270022, APN: 941270022
MOLLY NEWMAN, ETAL
36420 CALLE PUERTO BONIT
TEMECULA, CA. 92592

ASMT: 941260009, APN: 941260009
MANISHA RAHEJA, ETAL
1509 VIA CORONEL
PALOS VERDES EST CA 90274

ASMT: 941270023, APN: 941270023
NANCY DUARTE, ETAL
P O BOX 890314
TEMECULA CA 92589

ASMT: 941260010, APN: 941260010
KIMBERLY HUESING, ETAL
36410 CALLE PUERTA BONIT
TEMECULA, CA. 92592

ASMT: 941270024, APN: 941270024
JOAQUIN CAMPOS
24815 GEORGIA SUE
LAGUNA HILLS CA 92653

ASMT: 941260011, APN: 941260011
ALAN RONSKA
40810 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941270025, APN: 941270025
LINDA NILSEN, ETAL
43980 MAHLON VAIL RD 2804
TEMECULA CA 92592

ASMT: 941270019, APN: 941270019
MURIEL WALKER
36211 CALLE PUERTO BONIT
TEMECULA, CA. 92592

ASMT: 941270026, APN: 941270026
AUGUSTA SORIYA, ETAL
36450 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941270020, APN: 941270020
PATRICK CUNNINGHAM
36333 CALLE PUERTO BONIT
TEMECULA, CA. 92592

ASMT: 941270027, APN: 941270027
ROCA MANAGEMENT
2920 BLAKEMAN AVE
ROWLAND HEIGHTS CA 91748

ASMT: 941270028, APN: 941270028
ROSEMARY SMITH, ETAL
P O BOX 1047
TEMECULA CA 92593

ASMT: 941270036, APN: 941270036
RICK ABRAHAMS
36475 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941270029, APN: 941270029
MARIAN HARRISON, ETAL
36210 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941290001, APN: 941290001
SISTERS OF THE CO OF MARY OUR LADY
16791 E MAIN ST
TUSTIN CA 92680

ASMT: 941270031, APN: 941270031
RAFAEL DUARTE
P O BOX 891972
TEMECULA CA 92589

ASMT: 941300001, APN: 941300001
FRASER VINEYARDS
C/O ROBERT F OLSON
39933 BELLA VISTA RD
TEMECULA CA 92592

ASMT: 941270032, APN: 941270032
DEBERA PUGNALE, ETAL
36279 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941300006, APN: 941300006
MARGARET GRANLUND, ETAL
38660 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 941270033, APN: 941270033
RABEAH SACKETT, ETAL
36311 VIA EL PAIS BONITA
TEMECULA, CA. 92592

ASMT: 941300007, APN: 941300007
MARGARET GRANLUND, ETAL
38660 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 941270034, APN: 941270034
LORI SPINELLA, ETAL
33175 TEMECULA PKY STE A
TEMECULA CA 92592

ASMT: 941300008, APN: 941300008
NANCY LAPOINTE
38440 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941270035, APN: 941270035
ANDREAS WOLF
91 ADELFA ST
LADERA RANCH CA 92694

ASMT: 941300009, APN: 941300009
ARAX KARALIAN, ETAL
44285 PHELPS ST
TEMECULA CA 92592

ASMT: 941300010, APN: 941300010
PATRICIA GARCIA, ETAL
36760 BIANCA WAY
TEMECULA, CA. 92592

ASMT: 942020003, APN: 942020003
KAY HOWELL
38999 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941300011, APN: 941300011
HEIDI RUSTIN, ETAL
32635 ROTHENBERG DR
TEMECULA CA 92592

ASMT: 942020005, APN: 942020005
LYNDA HERREID
P O BOX 890243
TEMECULA CA 92589

ASMT: 941300012, APN: 941300012
JEANNE ANDERSON, ETAL
36765 BIANCA WAY
TEMECULA CA 92592

ASMT: 942030004, APN: 942030004
ALICE KAMEYA
9352 OASIS AVE
WESTMINSTER CA 92683

ASMT: 941300013, APN: 941300013
TANYA GAITAN, ETAL
PO BOX 1612
TEMECULA CA 92593

ASMT: 942030005, APN: 942030005
GLORIA CHAVIRA, ETAL
1100 VERA CRUZ ST
MONTEBELLO CA 90640

ASMT: 941320004, APN: 941320004
PATRICIA LIN
C/O EUSTON HOMES
910 CAMINO DEL MAR NO A
DEL MAR CA 92014

ASMT: 942030007, APN: 942030007
HUDSON WALNUT GROUP
P O BOX 307
LA CANADA CA 91012

ASMT: 942020001, APN: 942020001
CASERMAN DORIS K REVOCABLE LIVING TRUST
C/O DORIS CASERMAN
4170 ELM NO 213
LONG BEACH CA 90807

ASMT: 942030009, APN: 942030009
RICHARD WILSON, ETAL
C/O JILL G WILSON
848 HANOVER ST
SANTA CRUZ CA 95062

ASMT: 942020002, APN: 942020002
DARAN ENTERPRISES
42772 ALMOND GROVE CIR
MURRIETA CA 92562

ASMT: 942030010, APN: 942030010
KARIN SHIEH, ETAL
22701 OXNARD ST
WOODLAND HILLS CA 91367

ASMT: 942040001, APN: 942040001
JAN STJOHN, ETAL
39155 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942040012, APN: 942040012
RENEE LASETER, ETAL
36120 FOX HOLLOW
TEMECULA, CA. 92592

ASMT: 942040002, APN: 942040002
REBECCA DOUGLAS, ETAL
39241 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942040013, APN: 942040013
SALLY HERNANDEZ
39311 CAMINO DEL VINO ST
TEMECULA, CA. 92592

ASMT: 942040003, APN: 942040003
JODY LOWELL, ETAL
C/O JODY A LOWELL
2799 PALA MESA LN
FALLBROOK CA 92028

ASMT: 942050002, APN: 942050002
DEBORAH STOFFEL, ETAL
36015 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942040008, APN: 942040008
DIANE LOS, ETAL
22436 ATOMO
MISSION VIEJO CA 92692

ASMT: 942050003, APN: 942050003
KRISTY MILTON, ETAL
P O BOX 890835
TEMECULA CA 92589

ASMT: 942040009, APN: 942040009
IRMA TORRES, ETAL
C/O MARIBEL TORRES
20784 SAGE ST
PERRIS CA 92570

ASMT: 942050007, APN: 942050007
BUCHANAN LEGACY LTD PARTNERSHIP, ETAL
36005 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942040010, APN: 942040010
SARA HOSTETLER
39375 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942050008, APN: 942050008
JACQUELINE KILLEN, ETAL
P O BOX 891557
TEMECULA CA 92589

ASMT: 942040011, APN: 942040011
SHARON EILAT
36123 FOX HOLLOW RD
TEMECULA, CA. 92592

ASMT: 942050009, APN: 942050009
KATHLEEN HOWARD, ETAL
39600 MILKWEED WAY
TEMECULA, CA. 92592

ASMT: 942050010, APN: 942050010
J RAMSAY CROP, ETAL
P O BOX 607
TEMECULA CA 92593

ASMT: 942060007, APN: 942060007
CHRISTOPHER VITOLO, ETAL
35675 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942050011, APN: 942050011
LISA AGLIO, ETAL
39621 AVENIDA ASCENCION
TEMECULA, CA. 92592

ASMT: 942060008, APN: 942060008
BELINDA WILDMAN, ETAL
39300 CAMINO DE MAGNOLIA
TEMECULA, CA. 92592

ASMT: 942050012, APN: 942050012
RICHARD CARSON, ETAL
P O BOX 892573
TEMECULA CA 92589

ASMT: 942060009, APN: 942060009
SHIHO SEKI, ETAL
39301 CAMINO DE MAGNOLIA
TEMECULA, CA. 92592

ASMT: 942050013, APN: 942050013
LINDA DOTSON, ETAL
39695 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 942060010, APN: 942060010
MARIO LOPEZ, ETAL
39370 CAMINO DE MAGNOLIA
TEMECULA, CA. 92592

ASMT: 942050014, APN: 942050014
FRANK AGLIO
36101 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942060013, APN: 942060013
EVELYN LEITHEIM, ETAL
35925 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942060001, APN: 942060001
VIRGINIA MURPHY, ETAL
P O BOX 892890
TEMECULA CA 92589

ASMT: 942060015, APN: 942060015
LYNNE SORRENTINO
35581 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942060002, APN: 942060002
DJK2
C/O KAT BAILEY
35450 CALLE NOPAL
TEMECULA CA 92592

ASMT: 942060016, APN: 942060016
PATRICIA WELCH
35615 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942060017, APN: 942060017
ALVIN WALKER
35635 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942070017, APN: 942070017
CHERYL ENGLISH, ETAL
39875 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942060018, APN: 942060018
PATRICIA BRICKER, ETAL
35595 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942070018, APN: 942070018
CHERYL HUDSON, ETAL
39725 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942060019, APN: 942060019
MICHAELA MUIR, ETAL
P O BOX 892392
TEMECULA CA 92583

ASMT: 942070020, APN: 942070020
DAVIDA DAVIES, ETAL
35610 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942060020, APN: 942060020
MICHAELA MUIR, ETAL
PO BOX 892392
TEMECULA CA 92589

ASMT: 942070021, APN: 942070021
DEBBI EDRINGTON, ETAL
35690 MONTE DE ORO RD
TEMECULA, CA. 92592

ASMT: 942060021, APN: 942060021
JO RAYMOND, ETAL
101 MAXIMO WAY
PALM DESERT CA 92260

ASMT: 942070022, APN: 942070022
LORILYN TEASDALE, ETAL
35700 MONTE DE ORO
TEMECULA, CA. 92591

ASMT: 942070012, APN: 942070012
PATRICIA SIVERT, ETAL
35770 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942070023, APN: 942070023
ELISA NIEDERECKER, ETAL
P O BOX 890337
TEMECULA CA 92589

ASMT: 942070016, APN: 942070016
GEOFFREY WILSEY
39885 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942070028, APN: 942070028
SHERRY ZITA, ETAL
39575 DE MARQUEZ CT
TEMECULA, CA. 92592

ASMT: 942070029, APN: 942070029
JOSEFINA MURRAY, ETAL
39555 DE MARQUEZ CT
TEMECULA, CA. 92592

ASMT: 942080007, APN: 942080007
KATHLEEN BRIERLEY, ETAL
39480 COLLEEN WAY
TEMECULA CA 92592

ASMT: 942070030, APN: 942070030
ROBYN WRIGHT, ETAL
P O BOX 890066
TEMECULA CA 92589

ASMT: 942080008, APN: 942080008
THERESA GARCIA, ETAL
35622 BALSAMINA CT
TEMECULA, CA. 92592

ASMT: 942070031, APN: 942070031
YIANOULA WARNE, ETAL
39505 DE MARQUEZ CT
TEMECULA CA 92592

ASMT: 942080009, APN: 942080009
CHERYL DORFNER, ETAL
35632 BALSAMINA CT
TEMECULA, CA. 92591

ASMT: 942070032, APN: 942070032
DONNA GRIFFIN, ETAL
NO 200 253
31915 RANCHO CALIF RD
TEMECULA CA 92591

ASMT: 942080016, APN: 942080016
ANA YURI
41541 LAKE RIVERSIDE DR
AGUANGA CA 92536

ASMT: 942070033, APN: 942070033
LOU ANN BEGGS FAM TR, ETAL
C/O MICHAEL L LOPEZ
39590 DE MARQUEZ
TEMECULA, CA. 92592

ASMT: 942080017, APN: 942080017
SHARON DRAKE, ETAL
39390 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942070035, APN: 942070035
PAULA NATALE KISGEN, ETAL
35566 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942080018, APN: 942080018
DENISE GLESS, ETAL
39450 COLLEEN
TEMECULA, CA. 92592

ASMT: 942080006, APN: 942080006
ELENA LUGO, ETAL
39470 COLLEEN WAY
TEMECULA CA 92592

ASMT: 942080019, APN: 942080019
LISA ROTHENBERG
2820 DEERPARK DR
SAN DIEGO CA 92110

ASMT: 942080024, APN: 942080024
JESSICA WILSON, ETAL
49344 BLACK MOUNTAIN CT
AGUANGA CA 92536

ASMT: 942080031, APN: 942080031
JUDY PALTSITS
P O BOX 894136
TEMECULA CA 92589

ASMT: 942080025, APN: 942080025
LOLA WHITESIDE, ETAL
P O BOX 891838
TEMECULA CA 92589

ASMT: 942080032, APN: 942080032
GLENDA HAAS, ETAL
39433 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080026, APN: 942080026
GTE CALIF INC
C/O GTE ATTN GARY WILLIAMS HQCO2G08
P O BOX 152206
IRVING TX 75015

ASMT: 942080033, APN: 942080033
ROBIN SWEENEY, ETAL
39570 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080027, APN: 942080027
VIVIEN KIRDPHU, ETAL
39333 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080039, APN: 942080039
KAROL SIMMS, ETAL
4 CRESWELL CT
GREENSBORO NC 27407

ASMT: 942080028, APN: 942080028
MORIAH HOLDINGS
7040 AVENIDA ENCINAS NO104
CARLSBAD CA 92011

ASMT: 942080040, APN: 942080040
ANNEMARIE WISHEK, ETAL
39512 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080029, APN: 942080029
SUSAN BRAY, ETAL
39485 COLLEEN WAY
TEMECULA CA 92592

ASMT: 942090001, APN: 942090001
RICHARD CHEN
3812 KIRKWOOD AVE
ORANGE CA 92869

ASMT: 942080030, APN: 942080030
MICHELLE BLACK, ETAL
35475 BALSAMINA CT
TEMECULA, CA. 92592

ASMT: 942090014, APN: 942090014
ROBBY BACA, ETAL
35300 LOMA VENTOSO LN
TEMECULA, CA. 92592

ASMT: 942090015, APN: 942090015
THERESA DUNCAN, ETAL
35350 LOMA VENTOSA LN
TEMECULA CA 92592

ASMT: 942100030, APN: 942100030
MARIA NEGRETE, ETAL
39060 AVENIDA ANTONOVICH
TEMECULA, CA. 92592

ASMT: 942090016, APN: 942090016
LAURA PAULK, ETAL
23445 CARANCHO RD
TEMECULA CA 92590

ASMT: 942100033, APN: 942100033
YU GU
39250 HILT RD
TEMECULA, CA. 92591

ASMT: 942100023, APN: 942100023
SHEENA CATHEY, ETAL
39195 AVENIDA ANTONOVICH
TEMECULA, CA. 92591

ASMT: 942100034, APN: 942100034
SANDRA HUTCHINSON, ETAL
39460 HILT RD
TEMECULA, CA. 92591

ASMT: 942100024, APN: 942100024
VERONICA KERRAVCIC, ETAL
39205 AVENIDA ANTONOVICH
TEMECULA, CA. 92591

ASMT: 942100035, APN: 942100035
WILLIAM LEO
37895 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 942100025, APN: 942100025
ANTHONY VOORHIES
39150 AVENIDA ANTONOVICH
TEMECULA, CA. 92591

ASMT: 942100036, APN: 942100036
GLADYS UHRICH
37161 VAN GAALE LN
MURRIETA CA 92563

ASMT: 942100028, APN: 942100028
PATRICIA EGGERS, ETAL
P O BOX 893896
TEMECULA CA 92589

ASMT: 942100040, APN: 942100040
PATRICIA SAKATA, ETAL
36580 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 942100029, APN: 942100029
ROBERT PETRISIN
32290 CORTE SAN VINCENTE
TEMECULA CA 92592

ASMT: 942100041, APN: 942100041
LAURA REYES, ETAL
37000 BUCK RD
TEMECULA, CA. 92591

ASMT: 942100042, APN: 942100042
SUSAN GREENE, ETAL
37100
TEMECULA, CA. 92591

ASMT: 942130008, APN: 942130008
NEILSIE TEGEL, ETAL
31592 MENDOCINO CT
TEMECULA CA 92592

ASMT: 942110006, APN: 942110006
LINA PHILLIPS, ETAL
P O BOX 890823
TEMECULA CA 92589

ASMT: 942130009, APN: 942130009
DEANNA YAP, ETAL
1355 STONE MEADOW CT
CAMARILLO CA 93010

ASMT: 942110012, APN: 942110012
JENNIFER WILSON, ETAL
35960 RANCHO CALIF RD
TEMECULA CA 92591

ASMT: 942130010, APN: 942130010
MY CAMPUS
2278 COUNTRY CLUB LOOP
WESTMINSTER CO 80234

ASMT: 942110013, APN: 942110013
JENIFER WILSON, ETAL
39410 BRENDA RD
TEMECULA CA 92591

ASMT: 942130011, APN: 942130011
ALICE SIMONIAN, ETAL
342 N NORTON AVE
LOS ANGELES CA 90004

ASMT: 942120005, APN: 942120005
MARISSA DEEGAN, ETAL
34515 BUCK RD
TEMECULA, CA. 92592

ASMT: 942130014, APN: 942130014
EVELYN BREHM, ETAL
41869 VARDON DR
TEMECULA CA 92591

ASMT: 942120007, APN: 942120007
JAMES CARTER
3719 S PLAZA DR
SANTA ANA CA 92704

ASMT: 942130016, APN: 942130016
DANA HOWE
2106 CRYSTAL DOWNS
CORONA CA 92881

ASMT: 942130007, APN: 942130007
ANNIE LEE, ETAL
C/O CAU LUU
6519 HAVENWOOD CIR
HUNTINGTON BEACH CA 92648

ASMT: 942130017, APN: 942130017
SUNDALE INV
40673 CEBU ST
TEMECULA CA 92591

ASMT: 942130018, APN: 942130018
RHONDA CORTES, ETAL
45640 CORTE ROYAL
TEMECULA CA 92592

ASMT: 942150008, APN: 942150008
JENNIFER WELTY, ETAL
39450 SOLIDAGO RD
TEMECULA, CA. 92591

ASMT: 942130019, APN: 942130019
DANA HOWE
2106 CRYSTAL DOWNS DR
CORONA CA 92883

ASMT: 942150010, APN: 942150010
JAN SCHNEIDER, ETAL
39345 SOLIDAGO
TEMECULA CA 92591

ASMT: 942140001, APN: 942140001
MICHELLE RUCKER
32237 CALLESITO FADRIQUE
TEMECULA CA 92592

ASMT: 942150011, APN: 942150011
INDRANI GILL, ETAL
56 TIMOR SEA
NEWPORT COAST CA 92657

ASMT: 942140003, APN: 942140003
YURI FARBER
161 CLIFF RD
PORT JEFFERSON NY 11777

ASMT: 942160004, APN: 942160004
SHERYL MARSH, ETAL
P O BOX 890397
TEMECULA CA 92589

ASMT: 942140009, APN: 942140009
JOAN ZUPKAS
1280 ARCHER ST
SAN DIEGO CA 92109

ASMT: 942160005, APN: 942160005
RHONDA SCHIEWE, ETAL
P O BOX 892546
TEMECULA CA 92589

ASMT: 942150006, APN: 942150006
LANI RAGER
39695 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942160016, APN: 942160016
DONNA BLANCHARD
39815 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942150007, APN: 942150007
EDNA BARNES, ETAL
39615 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942160019, APN: 942160019
CHRISTINE DECKER, ETAL
39700 BERENDA RD
TEMECULA CA 92591

ASMT: 942160020, APN: 942160020
HARRY CARTWRIGHT
39635 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942170009, APN: 942170009
WILSON CREEK FAMILY
35960 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 942160021, APN: 942160021
JIERANAI MAIER, ETAL
P O BOX 891203
TEMECULA CA 92589

ASMT: 942170013, APN: 942170013
OGB PARTNERS
C/O KEN ZIGNORSKY
35820 RANCHO CALIF RD
TEMECULA CA 92591

ASMT: 942160022, APN: 942160022
SHIRLEY SCOFIELD, ETAL
39745 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942180005, APN: 942180005
AMERICAN ASIA HOLDINGS
NO 3
2600 MICHELSON DR 17TH FL
IRIVINE CA 92612

ASMT: 942160023, APN: 942160023
ST CLAIR BEEMAN
39793 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942190009, APN: 942190009
SOUTHERN CALIFORNIA EDISON CO
14799 CHESTNUT ST
WESTMINSTER CA 92683

ASMT: 942160024, APN: 942160024
LORRAINE WELTY, ETAL
39650 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942190012, APN: 942190012
LANFLISI II, ETAL
SOUTH TOWER NO 2011
2170 CENTURY PARK E
LOS ANGELES CA 90067

ASMT: 942160027, APN: 942160027
JOHN CARTER
23905 CLINTON KEITH 114
WILDOMAR CA 92595

ASMT: 942190013, APN: 942190013
MICHAEL URMAN
35555 MONTE DE ORO RD
TEMECULA, CA. 92592

ASMT: 942170008, APN: 942170008
WILSON CREEK FAMILY
35960 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 942190014, APN: 942190014
MAY LORAH, ETAL
35767 VIA LAS RAMBLAS
TEMECULA CA 92592

ASMT: 942190016, APN: 942190016
PAUL BENEVIDES
C/O SPECIALTY METALS INDUSTRIES
P O BOX 890293
TEMECULA CA 92589

ASMT: 942200014, APN: 942200014
PALUMBO FAMILY PROP
C/O NICHOLAS PALUMBO
P O BOX 893202
TEMECULA CA 92589

ASMT: 942200005, APN: 942200005
INGEBORG HEINZELMANN, ETAL
C/O MONTE VINO VISTA
43015 BLACKDEER LOOP 105
TEMECULA CA 92590

ASMT: 942210013, APN: 942210013
GRAPEROAD
C/O CLAUDIO PONTE
725 W VENTURA BL NO F
CAMARILLO CA 93010

ASMT: 942200006, APN: 942200006
REGINA SANCHEZ, ETAL
PO BOX 892136
TEMECULA CA 92589

ASMT: 942210014, APN: 942210014
MICHAEL MCMILLAN
P O BOX 35
TEMECULA CA 92593

ASMT: 942200007, APN: 942200007
CITLALLI MURRAY, ETAL
40125 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942210017, APN: 942210017
PATRICIA MCMILLAN, ETAL
29379 RCH CALIFORNIA 201
TEMECULA CA 92591

ASMT: 942200010, APN: 942200010
PATRICIA BROWN, ETAL
P O BOX 891836
TEMECULA CA 92589

ASMT: 942230008, APN: 942230008
WIENS CELLARS
35055 VIA DEL PONTE
TEMECULA, CA. 92592

ASMT: 942200011, APN: 942200011
PALUMBO FAMILY PROP
C/O NICHOLAS PALUMBO
P O BOX 89202
TEMECULA CA 92589

ASMT: 942230009, APN: 942230009
MERI ROSA PRYCE, ETAL
38589 HILLSIDE TRAIL DR
MURRIETA CA 92562

ASMT: 942200012, APN: 942200012
CINDY YOST
35615 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942230010, APN: 942230010
BRENWEST LEASING
27440 BOSTIK CT
TEMECULA CA 92590

ASMT: 942230012, APN: 942230012
PVI INV LP
725 VIA DEL PONTE
TEMECULA CA 92592

ASMT: 942230029, APN: 942230029
THOMAS CRAMER
40970 ANZA RD
TEMECULA CA 92592

ASMT: 942230014, APN: 942230014
PVI INV LP
725 W VENTURA BL STE F
CAMARILLO CA 93010

ASMT: 942240006, APN: 942240006
LASSALETTE ENTERPRISES, ETAL
C/O GARY MCMILLIAM
29379 RANCHO CALIF RD 201
TEMECULA CA 92591

ASMT: 942230015, APN: 942230015
DEBRA MCCASLIN, ETAL
P O BOX 890159
TEMECULA CA 92589

ASMT: 942250026, APN: 942250026
KATHLEEN MORRIN, ETAL
39770 ANZA RD
TEMECULA CA 92591

ASMT: 942230016, APN: 942230016
STEPHEN MCMENAMIN, ETAL
2121 SKYLINE DR
FULLERTON CA 92831

ASMT: 942250027, APN: 942250027
DAWN OWEN, ETAL
39790 ANZA RD
TEMECULA, CA. 92591

ASMT: 942230017, APN: 942230017
LULU MAZENOD, ETAL
28910 INDIAN VALLEY RD
RCH PALOS VERDES CA 90275

ASMT: 942250031, APN: 942250031
MELINDA OURSLER
40075 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942230018, APN: 942230018
PVI INV
725 W VENTURA BLV STE F
CAMARILLO CA 93010

ASMT: 942250032, APN: 942250032
ORLANDO DEVIS
4754 W 132ND ST
HAWTHORNE CA 90250

ASMT: 942230025, APN: 942230025
PVI INV
C/O CLAUDIO PONTE
725 W VENTURA BLV NO F
CAMARILLO CA 93010

ASMT: 942250033, APN: 942250033
MELISSA WONACOTT, ETAL
40035 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250034, APN: 942250034
WILFRED CRISMAN
529 LAS LOMAS RD
DUARTE CA 91010

ASMT: 942250041, APN: 942250041
SARA PEREZ, ETAL
39801 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250035, APN: 942250035
MARIKA VIERLING
40001 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250042, APN: 942250042
DANIEL BARNARD
39800 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250036, APN: 942250036
KEIRA LARA, ETAL
34555 HUSBAND COVE
TEMECULA, CA. 92591

ASMT: 942250043, APN: 942250043
LINDA RAY
39810 BERENDA RD
TEMECULA CA 92591

ASMT: 942250037, APN: 942250037
KIMBERLY RUSSELL, ETAL
14750 NATALIE DR
WHITTIER CA 90604

ASMT: 942250044, APN: 942250044
JUDITH FOSTER FLUEGGE
38830 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250038, APN: 942250038
JOSE RENTERIA
36996 RANCH HOUSE RD
MURRIETA CA 92563

ASMT: 942250045, APN: 942250045
CAROL MITCHELLA, ETAL
39820 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250039, APN: 942250039
LYNN SAUNDERS, ETAL
39825 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250046, APN: 942250046
LUCY BISHOP
39860 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250040, APN: 942250040
THERESA LEE, ETAL
39845 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250047, APN: 942250047
LISA ASHE, ETAL
39886 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250048, APN: 942250048
MIA LEITMAN, ETAL
39900 BERENDA RD
TEMECULA, CA. 92591

ASMT: 943020014, APN: 943020014
KHATIDJA SORAH, ETAL
32050 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 942250049, APN: 942250049
MARIA MURILLO, ETAL
39940 BERENDA RD
TEMECULA, CA. 92591

ASMT: 943020015, APN: 943020015
NICHOLE SWEETON, ETAL
32100 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 942250051, APN: 942250051
DEBRA THOMPSON
39950 ANZA RD
TEMECULA, CA. 92591

ASMT: 943020017, APN: 943020017
MARY JONES, ETAL
P O BOX 890343
TEMECULA CA 92589

ASMT: 942250054, APN: 942250054
LORIMAR PROP
C/O LAWRENCE LIPTON
39990 ANZA RD
TEMECULA, CA. 92591

ASMT: 943020018, APN: 943020018
JENNIFER HOLT, ETAL
32135 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 942260003, APN: 942260003
ROCHELLE RAND
P O BOX 124725
SAN DIEGO CA 92112

ASMT: 943020019, APN: 943020019
ROMANA POKORNY PIRES, ETAL
6260 E PALO ALTO DR
ANAHEIM CA 92807

ASMT: 943020012, APN: 943020012
PERCY BUSTES, ETAL
40110 BUTTERFIELD STAGE RD
TEMECULA, CA. 92591

ASMT: 943020020, APN: 943020020
CINDY VICE, ETAL
32200 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943020013, APN: 943020013
MARY LARA, ETAL
P O BOX 890459
TEMECULA CA 92589

ASMT: 943020021, APN: 943020021
MARVIN SMOTRICH, ETAL
72789 CATSPAW CT
RANCHO MIRAGE CA 92270

ASMT: 943030006, APN: 943030006
SPERO RANCH
C/O MARK WOODSMALL
1030 S ARROYO PKY NO 11
PASADENA CA 91105

ASMT: 943040004, APN: 943040004
KL INV CO
16288 CAMEO ST
WHITTIER CA 90604

ASMT: 943030007, APN: 943030007
SPERO VINEYARDS
1030 S ARROYO PKY NO 115
PASADENA CA 91105

ASMT: 943040007, APN: 943040007
LAURA HART, ETAL
1617 PORT AVE
TORRANCE CA 90501

ASMT: 943030008, APN: 943030008
ELLEN SHELL, ETAL
3441 CLAIRTON PL
ENCINO CA 91436

ASMT: 943040008, APN: 943040008
LAURA HART, ETAL
1617 POST AVE
TORRANCE CA 90501

ASMT: 943030009, APN: 943030009
GRACE LEE
NO 110-216
5300 BEACH BLVD
BUENA PARK CA 90621

ASMT: 943040009, APN: 943040009
STACY NELSON, ETAL
40483 VIA GAMAY WAY
TEMECULA, CA. 92591

ASMT: 943030010, APN: 943030010
RESORT, ETAL
38240 CAMARADA LN
MURRIETA CA 92563

ASMT: 943040010, APN: 943040010
KIMBERLY HEISINGER, ETAL
31975 LUZON ST
TEMECULA CA 92591

ASMT: 943030011, APN: 943030011
VINEYARDS OF VISTA DEL MONTE
C/O KEN ZIGNORSKI
35820 RNCHO CALIFORNIA RD
TEMECULA CA 92591

ASMT: 943040012, APN: 943040012
EPIC MANAGEMENT GROUP
42225 REMINGTON AVE NO A5
TEMECULA CA 92590

ASMT: 943040003, APN: 943040003
DAYNA COLLOM, ETAL
32032 LA SERENA WAY
TEMECULA, CA. 92591

ASMT: 943040013, APN: 943040013
AMRIT TOOR
C/O HOSPITALITY CAR WASH
40495 WINCHESTER RD
TEMECULA CA 92591

ASMT: 943040014, APN: 943040014
BOONSTRA GROUP
847 PINWOOD DR
OCEANSIDE CA 92057

ASMT: 943050017, APN: 943050017
JOYCE WOODMANSEE, ETAL
28750 KATHLEEN AVE
SAUGUS CA 91390

ASMT: 943050011, APN: 943050011
AMANDA VECCHI, ETAL
C/O HUGO VECCHI
P O BOX 890846
TEMECULA CA 92589

ASMT: 943050019, APN: 943050019
KATHLEEN FRANZREB, ETAL
PO BOX 71116
KNOXVILLE TN 37938

ASMT: 943050012, APN: 943050012
JULIE HOLTMAN, ETAL
32610 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943050021, APN: 943050021
SUSAN STROUT, ETAL
P O BOX 890831
TEMECULA CA 92589

ASMT: 943050013, APN: 943050013
MARY WILLIS, ETAL
32925 VISTA DE ORO
TEMECULA, CA. 92591

ASMT: 943060011, APN: 943060011
LOUIDAR
C/O LOUIS DARWISH
P O BOX 891510
TEMECULA CA 92591

ASMT: 943050014, APN: 943050014
ALICIA MARSHALL, ETAL
PO BOX 502785
SAN DIEGO CA 92150

ASMT: 943090015, APN: 943090015
LINDA SMITH, ETAL
27475 YNEZ RD NO 309
TEMECULA CA 92591

ASMT: 943050015, APN: 943050015
JANE WADDICK, ETAL
32727 VISTA DEL MONTE
TEMECULA, CA. 92592

ASMT: 943090016, APN: 943090016
RENEE SANTOS, ETAL
41333 ARMADA DR
TEMECULA, CA. 92591

ASMT: 943050016, APN: 943050016
SUZANNE ZYCHOWICZ, ETAL
40242 HOLDEN CIR
TEMECULA CA 92591

ASMT: 943090022, APN: 943090022
SHIRLEY SABA, ETAL
41309 AVENIDA BIONA
TEMECULA CA 92591

ASMT: 943090023, APN: 943090023
MARY KONCHAR, ETAL
41100 AVENIDA BIONA
TEMECULA, CA. 92591

ASMT: 943110011, APN: 943110011
STACEY BENOTTO
41005 REID CT
TEMECULA, CA. 92591

ASMT: 943090027, APN: 943090027
NANCY HART, ETAL
4290 HIGHLAND DR
CARLSBAD CA 92008

ASMT: 943110016, APN: 943110016
G GOUDY, ETAL
24 BAY DR
LAGUNA BEACH CA 92651

ASMT: 943090029, APN: 943090029
MANYA KOBZOFF
41350 ARMADA PL
TEMECULA CA 92591

ASMT: 943110017, APN: 943110017
DEANNA CARPINELLI, ETAL
33350 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 943090030, APN: 943090030
EASTERN MUNICIPAL WATER DIST
C/O RIGHT OF WAY DEPT
P O BOX 8300
PERRIS CA 92572

ASMT: 943110018, APN: 943110018
89 PERCENT
1441 9TH AVE NO 2002
SAN DIEGO CA 92101

ASMT: 943100005, APN: 943100005
ANDREW HOLZMANN
33242 LA SERENA WAY
TEMECULA CA 92591

ASMT: 943110020, APN: 943110020
CELEBRATION CELLARS
33410 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 943100009, APN: 943100009
CAROL BAILY, ETAL
36150 PAUBA RD
TEMECULA CA 92592

ASMT: 943120014, APN: 943120014
LOUDAR
33820 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 943100011, APN: 943100011
GABRIELLA BRINKMEYER, ETAL
33400 LA SERENA WAY
TEMECULA CA 92591

ASMT: 943120018, APN: 943120018
JERRI OWEN, ETAL
39701 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943120019, APN: 943120019
SUSAN BRODERSEN, ETAL
39847 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943130009, APN: 943130009
GAIL BRADLEY, ETAL
33133 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943120021, APN: 943120021
CARRIE PELTZER, ETAL
40275 CALLE CONTENTO
TEMECULA, CA. 92592

ASMT: 943130010, APN: 943130010
MARTHA KLEINER, ETAL
216 N GLENROY AVE
LOS ANGELES CA 90049

ASMT: 943120022, APN: 943120022
KOO INTERNATIONAL CORP, ETAL
323 WEST COURT STE 301
SAN BERNARDINO CA 92401

ASMT: 943140005, APN: 943140005
SUSHEILA SHEAGLEY, ETAL
39425 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943120036, APN: 943120036
LOUIDAR
33820 RANCHO CALIFORNIA RD
TEMECULA CA 92591

ASMT: 943140006, APN: 943140006
LINDA MEINHARDT, ETAL
39485 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943130006, APN: 943130006
DARLA BOWLEY
33075 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943140007, APN: 943140007
JOSEFINA MENCHACA, ETAL
40460 CHAUNCEY WAY
TEMECULA CA 92591

ASMT: 943130007, APN: 943130007
DAVID HALPER
31805 TEMECULA PKWY NO 335
TEMECULA CA 92592

ASMT: 943140013, APN: 943140013
NICOLE SCHULER
33100 VISTA DEL MONTE
TEMECULA CA 92591

ASMT: 943130008, APN: 943130008
ANN ZUN, ETAL
33105 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943140014, APN: 943140014
RIVCOHOMES INC
16286 RED PONY LN
RIVERSIDE CA 92504

ASMT: 943210007, APN: 943210007
ROBIN RENNAKER, ETAL
33805 VINO WAY
TEMECULA, CA. 92591

ASMT: 943230005, APN: 943230005
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
3403 10TH ST STE 500
RIVERSIDE CA 92501

ASMT: 943210009, APN: 943210009
EILEEN RIVARD
40205 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 943240004, APN: 943240004
FALKNER WINERY INC
7625 HILLSIDE DR
LA JOLLA CA 92037

ASMT: 943210010, APN: 943210010
JODI DUBOTS, ETAL
33775 CORTE PRIVADA
TEMECULA, CA. 92591

ASMT: 943240005, APN: 943240005
RAUL RAMIREZ
440 W MARKHAM ST
PERRIS CA 92571

ASMT: 943210012, APN: 943210012
NALINI PATEL, ETAL
978 S LADAN LN
ANAHEIM HILLS CA 92808

ASMT: 943250001, APN: 943250001
RANCHO CALIF WATER DIST
C/O GENERAL MANAGER
P O BOX 9017
TEMECULA CA 92589

ASMT: 943210013, APN: 943210013
FELICITAS YAKUT, ETAL
39788 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943250012, APN: 943250012
KENNETH VEASEY
30520 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 943220002, APN: 943220002
RUTH MAIS
39841 ANZA RD
TEMECULA, CA. 92591

ASMT: 943250013, APN: 943250013
COLLEEN KLINE, ETAL
PO BOX 893713
TEMECULA CA 92589

ASMT: 943230004, APN: 943230004
DARA ZHANG, ETAL
32301 CORTE PALACIO
TEMECULA CA 92591

ASMT: 943250014, APN: 943250014
DENISE KILPATRICK, ETAL
40853 BUCHAREST ST
TEMECULA, CA. 92591

ASMT: 943250015, APN: 943250015
MELANIE GIBSON, ETAL
40851 NEWTON AVE
TEMECULA, CA. 92591

ASMT: 943260027, APN: 943260027
SIRAH VINEYARD DEV CORP
41391 KALMIA ST NO 100
MURRIETA CA 92562

ASMT: 943250016, APN: 943250016
SHIHO SEKI, ETAL
40897 NEWTON AVE
TEMECULA, CA. 92591

ASMT: 943260046, APN: 943260046
INVESTEUROPA
C/O JEFF COMERCHERO
41391 KALMIA ST STE 200
MURRIETA CA 92562

ASMT: 943250017, APN: 943250017
KATHY CONOVER, ETAL
31931 CAMPANULA WAY 4103
TEMECULA CA 92592

ASMT: 943280001, APN: 943280001
SHARON DILDAY, ETAL
40070 CALLE CABERNET
TEMECULA CA 92591

ASMT: 943250018, APN: 943250018
CALVARY CHAPEL BIBLE FELLOWSHIP
34180 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 943280002, APN: 943280002
ANDREW SEBOK
40134 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 943250019, APN: 943250019
MARVIN SMOTRICH, ETAL
4957 CALVIN AVE
TARZANA CA 91356

ASMT: 943280004, APN: 943280004
CHATEAU DHUIS
3350 E 7TH ST NO 811
LONG BEACH CA 90804

ASMT: 943250023, APN: 943250023
CALVARY CHAPEL BIBLE FELLOWSHIP INC
34180 RCH CALIFORNIA RD
TEMECULA CA 92591

ASMT: 943280005, APN: 943280005
LORENZA RECENDEZ, ETAL
P O BOX 892922
TEMECULA CA 92589

ASMT: 943260024, APN: 943260024
PDM TEMECULA
C/O PATRICIA LIN
910 CAMINO DEL MAR STE A
DEL MAR CA 92014

ASMT: 943280006, APN: 943280006
MELANIE KUEHNEL, ETAL
40174 CALLE CALETA
TEMECULA, CA. 92591

ASMT: 943280007, APN: 943280007
JOHN REINGRUBER
40250 CALLE CALETA
TEMECULA, CA. 92591

ASMT: 951060002, APN: 951060002
HANDLE IT MMS
43620 RIDGE PARK STE 310
TEMECULA CA 92590

ASMT: 943280008, APN: 943280008
SUSAN CHEN, ETAL
4942 FIESTA AVE
TEMPLE CITY CA 91780

ASMT: 951060003, APN: 951060003
MEY WANG, ETAL
1429 CASPIAN CT
WALNUT CA 91789

ASMT: 951020001, APN: 951020001
HEATHER PETERSEN
36736 PAUBA RD
TEMECULA CA 92590

ASMT: 951060009, APN: 951060009
DIPIKA AMIN, ETAL
41175 VAN TU LN
TEMECULA CA 92591

ASMT: 951020003, APN: 951020003
MEI KAO
11 F 477 MING SHUI RD
TAIPEI TAIWAN ROC

ASMT: 951060010, APN: 951060010
PREETH GUNARATNE, ETAL
16526 COTUIT CIR
HUNTINGTON BEACH CA 92649

ASMT: 951020004, APN: 951020004
KEVIN FOX
41410 CALLE ENCANTADO
TEMECULA, CA. 92590

ASMT: 951060011, APN: 951060011
USHA SACHDEV, ETAL
11292 PINECONE ST
CORONA CA 92883

ASMT: 951020007, APN: 951020007
THORNTON WINERY
P O BOX 9008
TEMECULA CA 92589

ASMT: 951060012, APN: 951060012
MICHELE COLEMAN, ETAL
1919 HILLCREST DR
HERMOSA BEACH CA 90254

ASMT: 951020008, APN: 951020008
CAPITAL, ETAL
14053 VALLEY FORGE CT
FONTANA CA 92336

ASMT: 951060013, APN: 951060013
CHURON WINERY
C/O RONALD THOMAS
3450 PACIFIC COAST HWY
VENTURA CA 93001

ASMT: 951090002, APN: 951090002
NATALIE SOO
C/O KATHLEEN G HUANG
1432 SANTA FE DR
TUSTIN CA 92780

ASMT: 951140002, APN: 951140002
FERMENT DESIGN INC
C/O YVETTE ABDELMESEEH
37621 RAVENBROOK WAY
COARSEGOLD CA 93614

ASMT: 951090003, APN: 951090003
SUAD KHALAF, ETAL
C/O FATIN KHALAF
22 SALERMO
LAGUNA BEACH CA 92677

ASMT: 951140003, APN: 951140003
KYLE STENLAKE
34791 CALLE BELLA LOMA
TEMECULA, CA. 92592

ASMT: 951090004, APN: 951090004
GIGI DIBERNARDO, ETAL
41141 REID CT
TEMECULA, CA. 92592

ASMT: 951140004, APN: 951140004
CHERYL LINN, ETAL
34795 CALLE BELLA LOMA
TEMECULA, CA. 92592

ASMT: 951090019, APN: 951090019
MEI HSIN, ETAL
23 OLD PALI PL
HONOLULU HI 96817

ASMT: 951140041, APN: 951140041
WINERY, ETAL
25009 REY ALBERTO CT
CALABASAS CA 91302

ASMT: 951100001, APN: 951100001
TRUST, ETAL
33515 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 951140042, APN: 951140042
SKATE RANCH
C/O G B VAN ROEKEL
42642 RIVERA DR
TEMECULA CA 92592

ASMT: 951130025, APN: 951130025
CREATIVE SPACE INNOVATION
C/O KENDALL WOOTAEK
4322 WILSHIRE BLV NO 300
LOS ANGELES CA 90010

ASMT: 951140056, APN: 951140056
GIZELLA CZIRAKI, ETAL
2242 OLD HIGHWAY 395
FALLBROOK CA 92028

ASMT: 951140001, APN: 951140001
JOSEPHINE ADAMS
34655 CALLE BELLA LOMA
TEMECULA, CA. 92592

ASMT: 951140059, APN: 951140059
DESTINY VINEYARDS
P O BOX 4026
CHATSWORTH CA 91313

ASMT: 951140063, APN: 951140063
LVR GROUP CHANG
16241 VENEZIA TER
CHINO HILLS CA 91709

ASMT: 964120004, APN: 964120004
MARIA SANTANA, ETAL
37807 AVENIDA DE LAURA AVE UNIT 1
WINCHESTER, CA. 92596

ASMT: 951140066, APN: 951140066
LVR GROUP CHANG
14790 YORBA CT
CHINO CA 91710

ASMT: 964120005, APN: 964120005
KRISTOFER LAUGTUG, ETAL
37890 AVENIDA ARMADA
WINCHESTER, CA. 92596

ASMT: 964070003, APN: 964070003
DENISE ZIONY, ETAL
P O BOX 760
MENLO PARK CA 94026

ASMT: 964120006, APN: 964120006
ALETA PAYNE, ETAL
37872 AVENIDA ARMADA
WINCHESTER, CA. 92596

ASMT: 964070010, APN: 964070010
YICHIN WANG
18965 AMBERLY PL
ROWLAND HEIGHTS CA 91748

ASMT: 964120008, APN: 964120008
JOHN LAAN
P O BOX 892800
TEMECULA CA 92589

ASMT: 964120001, APN: 964120001
MARIA CASTRO, ETAL
37801 AVENIDA DE LAURA
WINCHESTER, CA. 92596

ASMT: 964120009, APN: 964120009
MELISSA HAWLEY, ETAL
37925 AZUZA ST
WINCHESTER CA 92596

ASMT: 964120002, APN: 964120002
JENNIFER REYES, ETAL
37800 AVENIDA DE LAURA
WINCHESTER, CA. 92596

ASMT: 964120010, APN: 964120010
JEANNE LISH, ETAL
37895 AZUSA ST
WINCHESTER, CA. 92596

ASMT: 964120003, APN: 964120003
VALERIE SHUBERT, ETAL
37802 AVENIDA DE LAURA
WINCHESTER, CA. 92596

ASMT: 964120011, APN: 964120011
ROSANA DIAZ, ETAL
P O BOX 220
WINCHESTER CA 92596

ASMT: 964120012, APN: 964120012
RACHEL ROBERTS, ETAL
37895 NORMANDY RD
WINCHESTER CA 92596

ASMT: 964130006, APN: 964130006
JILL MADLEM, ETAL
32418 LARVOTTO CT
WINCHESTER CA 92596

ASMT: 964120015, APN: 964120015
DONNA HENDERSON, ETAL
37810 NORMANDY RD
WINCHESTER, CA. 92596

ASMT: 964130007, APN: 964130007
HENRY MARQUES
PO BOX 7064
DESERT CENTER CA 92239

ASMT: 964130001, APN: 964130001
LAURA KEMPTON, ETAL
37887 VISTA LAGO RD
WINCHESTER, CA. 92596

ASMT: 964130008, APN: 964130008
MELINA HENRY, ETAL
425 CYPRESS AVE
PASADENA CA 91103

ASMT: 964130002, APN: 964130002
ASHLEY JARVIS, ETAL
37850 VISTA LAGO RD
WINCHESTER, CA. 92596

ASMT: 964130009, APN: 964130009
AIDA HERCULES DODARO, ETAL
37863 ASHFIELD LN
WINCHESTER CA 92596

ASMT: 964130003, APN: 964130003
JEROME KLIM
37898 VISTA LAGO RD
WINCHESTER, CA. 92596

ASMT: 964130010, APN: 964130010
PETER SCHUTTER
37795 ASHFIELD LN
WINCHESTER, CA. 92596

ASMT: 964130004, APN: 964130004
EMMA MAPANAO, ETAL
13818 PREMIERE AVE
BELLFLOWER CA 90706

ASMT: 964130011, APN: 964130011
BARBARA ZIMMERMAN, ETAL
37850 ASHFIELD LN
WINCHESTER, CA. 92596

ASMT: 964130005, APN: 964130005
TRACY HOUCK, ETAL
37901 HALIFAX LN
WINCHESTER, CA. 92596

ASMT: 964130013, APN: 964130013
BONNIE MOYNIER, ETAL
P O BOX 68
WINCHESTER CA 92596

ASMT: 964130014, APN: 964130014
DANA LUTHER
613 GIBBS ST
NAVASOTA TX 77868

ASMT: 964190019, APN: 964190019
STANDARD TEMECULA
C/O DAVID G LIU
488 E SANTA CLARA STE 304
ARCADIA CA 91006

ASMT: 964130015, APN: 964130015
MARCIA SOTO, ETAL
37878 AROSA ST
WINCHESTER, CA. 92596

ASMT: 964190020, APN: 964190020
WESTERN RIVERSIDE CO REG CONSERV AUTHORI
C/O DEPT OF FACILITIES MANAGEMENT
3133 MISSION INN AVE
RIVERSIDE CA 92507

ASMT: 964130016, APN: 964130016
TAMERA MALGIERI, ETAL
1620 WAGON WHEEL DR
OCEANSIDE CA 92057

ASMT: 966380018, APN: 966380018
DIANE YOUNT
34970 SANTA RITA RD
TEMECULA, CA. 92592

ASMT: 964130017, APN: 964130017
ANNE DUHART, ETAL
35376 BOREL RD
WINCHESTER, CA. 92596

ASMT: 966380019, APN: 966380019
SOONTAREE NEMEC
41 ROCKY KNOLL
IRVINE CA 92715

ASMT: 964130018, APN: 964130018
JESSICA MOSES, ETAL
37931 ASHFIELD LN
WINCHESTER, CA. 92596

ASMT: 966380021, APN: 966380021
GILDA TAVOUSSI, ETAL
35010 SANTA RITA RD
TEMECULA, CA. 92592

ASMT: 964130019, APN: 964130019
CATTLE CORP, ETAL
5560 S FORT APACHE NO 100
LAS VEGAS NV 89148

ASMT: 966380023, APN: 966380023
KENNETH SMITH
44040 JERAMIE DR
TEMECULA CA 92592

ASMT: 964160003, APN: 964160003
ATEF KARAM
C/O CHARLY E MOUBAYED
18820 APHRODITE LN
SANTA CLARITA CA 91351

ASMT: 966380037, APN: 966380037
MONTE VERDE ROAD
2700 PCH 2ND FL
TORRANCE CA 90505

ASMT: 915030011, APN: 915030011
DOLORES FRANCO, ETAL
1730 KASHLAN RD
LA HABRA CA 90631

ASMT: 915040013, APN: 915040013
KIRSTEN MATTHEWS
C/O TROY GASTOR
P O BOX 893842
TEMECULA CA 92589

ASMT: 915030015, APN: 915030015
M GHIRONZI, ETAL
38705 VIA DEL OSO
TEMECULA CA 92592

ASMT: 915040018, APN: 915040018
CONNIE WILLIAMS, ETAL
37000 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915030019, APN: 915030019
KRISTIN CLARK, ETAL
37905 E BENTON RD
TEMECULA CA 92592

ASMT: 915040021, APN: 915040021
MARIA VARELA, ETAL
2163 WILDFLOWER AVE
HEMET CA 92545

ASMT: 915030020, APN: 915030020
KARNA HUMBERT, ETAL
37980 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915040025, APN: 915040025
KENNETH CODY
123 W MARQUITA
SAN CLEMENTE CA 92672

ASMT: 915030021, APN: 915030021
ALI FARIVAR
3622 TACOMA AVE
LOS ANGELES CA 90065

ASMT: 915050001, APN: 915050001
ASSOC, ETAL
40486 YARDLEY CT
TEMECULA CA 92591

ASMT: 915030022, APN: 915030022
SOUTH CAL PROP
1200 N EL DORADO PL STE 70
TUCSON AZ 85715

ASMT: 915050002, APN: 915050002
ELLEN LUNDBERG PENA
P O BOX 831
TEMECULA CA 92593

ASMT: 915040004, APN: 915040004
SOCAL PROP INVEST
C/O DAVID MARTINEZ
3380 LA SIERRA STE 104141
RIVERSIDE CA 92503

ASMT: 915050004, APN: 915050004
WILLIAM SLOWIK
37711 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915050005, APN: 915050005
CHRISTIE SCHURR, ETAL
37245 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370029, APN: 915370029
CHERYL ROBERTS, ETAL
38533 CELITA CIR
TEMECULA, CA. 92592

ASMT: 915050006, APN: 915050006
SUSAN STOKES, ETAL
1315 WARMLANDS
VISTA CA 92084

ASMT: 915370031, APN: 915370031
HUIMIN LI, ETAL
587 N VENTU PARK RD E545
NEWBURY PARK CA 91320

ASMT: 915050010, APN: 915050010
JAI BANG
37641 E BENTON RD
TEMECULA CA 92592

ASMT: 915370032, APN: 915370032
MOJTABA SABAH
1452 STANFORD CT
TUSTIN CA 92705

ASMT: 915050011, APN: 915050011
BANG JAI H LIVING TRUST
C/O JAI BANG
37641 BENTON RD
TEMECULA, CA. 92592

ASMT: 915370040, APN: 915370040
HUIMIN LI, ETAL
587 W VENTU PARK NO E545
NEWBURY PARK CA 91320

ASMT: 915370012, APN: 915370012
HARTLERODE CHARLES E LIV TRUST
P O BOX 44315
LEMON GROVE CA 93244

ASMT: 915370046, APN: 915370046
PAMELA SMITH, ETAL
38521 CELITA
TEMECULA, CA. 92592

ASMT: 915370015, APN: 915370015
MARY MOLT, ETAL
C/O RICHARD G MAYS
29742 CALLE PANTANO
TEMECULA CA 92591

ASMT: 915370047, APN: 915370047
CAROLE BROWNE, ETAL
38515 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370019, APN: 915370019
JILLA JAVADI
38750 CELITA CIR
TEMECULA, CA. 92592

ASMT: 915370048, APN: 915370048
ROSALYN ALBERTS, ETAL
38540 CELITA CIR
TEMECULA, CA. 92592

ASMT: 915370049, APN: 915370049
DARLENE MEDEARIS, ETAL
38595 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370060, APN: 915370060
MONIQUE GOEDE, ETAL
36615 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370050, APN: 915370050
KELLEY COOPER, ETAL
39099 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370061, APN: 915370061
CONNIE RIOS, ETAL
P O BOX 892933
TEMECULA CA 92589

ASMT: 915370051, APN: 915370051
FRANCISCA KLOCKE, ETAL
112 15TH ST
HUNTINGTON BEACH CA 92648

ASMT: 915370062, APN: 915370062
LORI YOUNG, ETAL
36545 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370052, APN: 915370052
TINA CHOU, ETAL
1188 S POINTE PREMIER
ANAHEIM CA 92807

ASMT: 915370063, APN: 915370063
OFRI RON, ETAL
38165 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370055, APN: 915370055
ALAN HARSEN
3280 DULZURA DR
HACIENDA HEIGHTS CA 91745

ASMT: 915370064, APN: 915370064
IGNACIO OROZCO
38055 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370056, APN: 915370056
MARLENE LEICHTFUSS, ETAL
38938 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370065, APN: 915370065
REBECCA PILETTE, ETAL
20151 BIG BEND LN
HUNTINGTON BEACH CA 92646

ASMT: 915370059, APN: 915370059
FRANK GRISWOLD
36679 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915370066, APN: 915370066
REBECCA LOYA, ETAL
38200 G10 CIR
TEMECULA CA 92592

ASMT: 915370067, APN: 915370067
CAROLE HOFFEE
38060 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915370080, APN: 915370080
LARRY SUTTON
28443 PLYMOUTH WAY
TEMECULA CA 92591

ASMT: 915370068, APN: 915370068
ARLETH CALOGERO, ETAL
NO 110
28822 OLD TOWN FRONT ST
TEMECULA CA 92590

ASMT: 915390004, APN: 915390004
ALICE BURRIS, ETAL
37400 TUCALOTA HILLS RD
TEMECULA, CA. 92592

ASMT: 915370069, APN: 915370069
LORRAINE JOHANNES, ETAL
38140 CALLE JOJOBA
TEMECULA CA 92592

ASMT: 915390007, APN: 915390007
JAMES BUCKINGHAM, ETAL
C/O JAMES BUCKINGHAM
3800 EBONY HOLLOW PASS
AUSTIN TX 78739

ASMT: 915370070, APN: 915370070
MARGARET BACH
1001 GEORGINA AVE
SANTA MONICA CA 90402

ASMT: 915390021, APN: 915390021
ERIC JORDON, ETAL
333 E CINNAMON DR APT 292
LEMOORE CA 93245

ASMT: 915370075, APN: 915370075
ANGELA YOUNG, ETAL
39090 CALLE JOJOBA
TEMECULA, CA. 92592

ASMT: 915400026, APN: 915400026
DONALD PAYNE
38220 BENTON RD
TEMECULA, CA. 92592

ASMT: 915370076, APN: 915370076
WILLIAM BEMBENEK
32443 VIA DESTELLO
TEMECULA CA 92592

ASMT: 915400030, APN: 915400030
MICHAEL THESING, ETAL
30291 VIA BRISA
TEMECULA CA 92592

ASMT: 915370077, APN: 915370077
MONA BREID
38718 CELITA DR
TEMECULA, CA. 92592

ASMT: 915690003, APN: 915690003
MARCELO DOFFO
36246 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690004, APN: 915690004
LYNNE SANDERS, ETAL
P O BOX 890313
TEMECULA CA 92589

ASMT: 915690018, APN: 915690018
MARIA UVA, ETAL
36309 SUMMITVILLE
TEMECULA, CA. 92592

ASMT: 915690005, APN: 915690005
DEBRA MOSS, ETAL
36370 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690019, APN: 915690019
CAROL PARADISO, ETAL
36373 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690006, APN: 915690006
MINHNAM HO
2113 GRAHAM AVE
REDONDO BEACH CA 90278

ASMT: 915690020, APN: 915690020
PAMELA HOVIS, ETAL
36312 TRAVIS CT
TEMECULA, CA. 92592

ASMT: 915690007, APN: 915690007
HELEN MAI, ETAL
7527 MAGELLAN ST
CARLSBAD CA 92009

ASMT: 915690022, APN: 915690022
DIANE CADY, ETAL
36433 SUMMITVILLE ST
TEMECULA CA 92592

ASMT: 915690012, APN: 915690012
XIAOPING YANG, ETAL
44193 REIDEL ST
TEMECULA CA 92592

ASMT: 915690023, APN: 915690023
KIMBERLY RENEAU, ETAL
36432 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 915690013, APN: 915690013
DIANNE RADICAN, ETAL
36161 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690024, APN: 915690024
CARRIE MAICHEL, ETAL
P O BOX 890039
TEMECULA CA 92589

ASMT: 915690016, APN: 915690016
MARCELO DOFFO
36083 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915690025, APN: 915690025
ERIN WHITING
46520 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 915690026, APN: 915690026
CHAPIN FAMILY INV
C/O STEVEN W CHAPIN
2381 MARCA PL
CARLSBAD CA 92009

ASMT: 915700010, APN: 915700010
PACIFICA FIRST NATL INC
9320 S LA CIENEGA BLV
INGLEWOOD CA 90301

ASMT: 915700001, APN: 915700001
DIANE ZAVOLI, ETAL
36544 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915700011, APN: 915700011
REBECCA BENNETT
36550 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 915700002, APN: 915700002
SANDRA MCGEE, ETAL
36594 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915700012, APN: 915700012
HEZLA MOHAMED, ETAL
19643 GOLDEN BOUGH
COVINA CA 91724

ASMT: 915700003, APN: 915700003
BARBARA KEMPTON
36644 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 915700013, APN: 915700013
JULIE PAGE
36765 E BENTON RD
TEMECULA, CA. 92592

ASMT: 915700004, APN: 915700004
JULIA BURNS, ETAL
P O BOX 890040
TEMECULA CA 92589

ASMT: 915700021, APN: 915700021
BRENDA KENNISON, ETAL
36705 SUMMERVILLE
TEMECULA CA 92592

ASMT: 915700005, APN: 915700005
BRENDA KENNISON, ETAL
36705 SUMMITVILLE ST
TEMECULA, CA. 92592

ASMT: 917110020, APN: 917110020
REGENTS OF THE UNIVERSITY OF CALIF
1111 FRANKLIN ST 6TH FL
OAKLAND CA 94612

ASMT: 915700006, APN: 915700006
JAMES ALBANO
P O BOX 893056
TEMECULA CA 92589

ASMT: 917120004, APN: 917120004
DORLAND MOUNTAIN ARTS COLONY INC
P O BOX 6
TEMECULA CA 92593

ASMT: 924020001, APN: 924020001
KATE TRANSU, ETAL
37764 GRANDE RD
TEMECULA, CA. 92592

ASMT: 924020013, APN: 924020013
MICHAEL SHIRLEY
P O BOX 890626
TEMECULA CA 92589

ASMT: 924020002, APN: 924020002
RICHARD JONES
37800 GRANDE RD
TEMECULA, CA. 92591

ASMT: 924020015, APN: 924020015
DEBORAH HERBRANDSON
32949 AVENIDA LESTONNAC
TEMECULA CA 92592

ASMT: 924020003, APN: 924020003
DAAL CHAWAL
C/O AMIT KUMAR
417 GLENCREST DR
SOLANA BEACH CA 92075

ASMT: 924030001, APN: 924030001
GRESHAM ROSKAMP
4 RITZ COVE
DANA POINT CA 92629

ASMT: 924020009, APN: 924020009
VIVIAN RHODEN, ETAL
37795 VIA LOBATO
TEMECULA, CA. 92592

ASMT: 924040012, APN: 924040012
BENJAMIN DOHRMAN
37715 ROBERTSON WAY
TEMECULA, CA. 92592

ASMT: 924020010, APN: 924020010
JUDY NITTI, ETAL
37825 VIA LOBATO
TEMECULA, CA. 92592

ASMT: 924040014, APN: 924040014
LCA PROP LLC
38245 MESA RD
TEMECULA CA 92592

ASMT: 924020011, APN: 924020011
XIOMARA HALL
37865 VIA LOBATO
TEMECULA, CA. 92592

ASMT: 924040015, APN: 924040015
JENNIFER BALANKY
7357 LAURA CT
SAN DIEGO CA 92120

ASMT: 924020012, APN: 924020012
MARTHA MURPHY, ETAL
38090 MESA RD
TEMECULA, CA. 92592

ASMT: 924040016, APN: 924040016
COLLEEN MCLAUGHLIN, ETAL
38345 MESA RD
TEMECULA CA 92592

ASMT: 924040017, APN: 924040017
JENNIFER MCLAUGHLIN, ETAL
37730 ROBERTSON WAY
TEMECULA, CA. 92592

ASMT: 924050007, APN: 924050007
MICHELLE VOYE, ETAL
38220 MESA RD
TEMECULA CA 92591

ASMT: 924040021, APN: 924040021
WINERY, ETAL
5564 EDISON AVE
CHINO CA 91792

ASMT: 924050008, APN: 924050008
PATRICIA MARTIN, ETAL
12132 WOODLAWN
SANTA ANA CA 92705

ASMT: 924050001, APN: 924050001
MARIANNE EVANS, ETAL
38333 MESA RD
TEMECULA, CA. 92592

ASMT: 924050011, APN: 924050011
JULIE SMITH, ETAL
38203 SENECA CIR
TEMECULA, CA. 92592

ASMT: 924050003, APN: 924050003
ESTHER PETRELLA, ETAL
P O BOX 381215
CLINTON MI 48038

ASMT: 924050025, APN: 924050025
MARILYN LAREZ
29943 MARITIME WAY
MENIFEE CA 92585

ASMT: 924050004, APN: 924050004
MAIVELI SILVA, ETAL
38350 MESA RD
TEMECULA, CA. 92592

ASMT: 924050026, APN: 924050026
RENEL NAVARRO, ETAL
30440 COLVER CT
TEMECULA CA 92592

ASMT: 924050005, APN: 924050005
MARGARET BAILEY, ETAL
38300 MESA RD
TEMECULA, CA. 92592

ASMT: 924050027, APN: 924050027
CLAIRE ANDREWS, ETAL
38050 CAMINO SIERRA RD
TEMECULA CA 92592

ASMT: 924050006, APN: 924050006
JAN CARAVEO
37775 CAMINO SIERRA
TEMECULA, CA. 92592

ASMT: 924060004, APN: 924060004
HANSOM FAMILY TRUST
37812 DOROTHY CT
TEMECULA, CA. 92592

ASMT: 924060011, APN: 924060011
WANDA VIZCAINO, ETAL
37935 DOROTHY CT
TEMECULA CA 92592

ASMT: 924220005, APN: 924220005
JEROLD SICHERMAN
72 VIA DEL CIELO
RCH PALOS VERDES CA 90275

ASMT: 924060012, APN: 924060012
BARBARA PISANO, ETAL
37755 DOROTHY CT
TEMECULA, CA. 92592

ASMT: 924220006, APN: 924220006
FATIMA YANEZ, ETAL
38350 VIA LUISA
TEMECULA, CA. 92592

ASMT: 924070013, APN: 924070013
JULIE RAMPHAL, ETAL
20141 CROWN REEF LN
HUNTINGTON BEACH CA 92646

ASMT: 924220007, APN: 924220007
RENEE WIGGINS
4459 W 62ND ST
LOS ANGELES CA 90043

ASMT: 924070014, APN: 924070014
MEL LINDSEY
384 FLINT AVE
LONG BEACH CA 90801

ASMT: 924220012, APN: 924220012
VADIM SHULAEV, ETAL
38295 ROCK CREEK CIR
TEMECULA, CA. 92592

ASMT: 924070015, APN: 924070015
KEERTHI SINGH, ETAL
14437 GASLIGHT CT
POWAY CA 92064

ASMT: 924220013, APN: 924220013
PATIENCE RANDOLPH, ETAL
38302 ROCK CREEK CIR
TEMECULA, CA. 92592

ASMT: 924080019, APN: 924080019
JOANNE WARN, ETAL
37820 VIA LOBATO
TEMECULA, CA. 92591

ASMT: 924220014, APN: 924220014
LISA BOYER, ETAL
38345 ROCK CREEK CIR
TEMECULA, CA. 92592

ASMT: 924080020, APN: 924080020
LAURA CIAMPAGALIA, ETAL
1621 ESPINOSA CIR
PALOS VERDES EST CA 90274

ASMT: 924220015, APN: 924220015
IRENE HSIEH, ETAL
38375 ROCK CREEK
TEMECULA, CA. 92592

ASMT: 924220016, APN: 924220016
SARA MONTOYA, ETAL
38388 ROCK CREEK DR
TEMECULA, CA. 92592

ASMT: 924230048, APN: 924230048
JODI PIORKOWSKI, ETAL
41395 VIA DEL TORONJO
TEMECULA, CA. 92592

ASMT: 924220017, APN: 924220017
SARA MONTOYA, ETAL
38388 ROCK CREEK CIR
TEMECULA CA 92592

ASMT: 924250002, APN: 924250002
MARIA JONES, ETAL
39215 KAPALUA WAY
TEMECULA, CA. 92592

ASMT: 924230011, APN: 924230011
GIRDHARI S PUROHIT MD INC
1225 E LATHAM AVE NO B
HEMET CA 92543

ASMT: 924250003, APN: 924250003
MARTIN CALAWAY
39423 KAPALUA WAY
TEMECULA, CA. 92592

ASMT: 924230012, APN: 924230012
MINGA BRANT
41280 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 924250009, APN: 924250009
PETR KUBICEK
33570 EMERSON WAY UNT B
TEMECULA CA 92592

ASMT: 924230044, APN: 924230044
GLEN OAKS RANCH PARTNERSHIP
12132 WOODLAWN AVE
SANTA ANA CA 92705

ASMT: 924260002, APN: 924260002
WESTWOOD INTERNATIONAL
15500 ERWIN ST STE 4007
VAN NUYS CA 91411

ASMT: 924230045, APN: 924230045
DEBRA BELUS, ETAL
41490 VIA DEL TORONJO
TEMECULA, CA. 92592

ASMT: 924260006, APN: 924260006
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 924230046, APN: 924230046
CONSTANCE CLARKE, ETAL
41365 VIA DEL TORONJO
TEMECULA CA 92592

ASMT: 924260007, APN: 924260007
MARIO CARRASCO
38830 MESA RD
TEMECULA, CA. 92592

ASMT: 924260008, APN: 924260008
JULIA HERRMANN, ETAL
38878 MESA RD
TEMECULA, CA. 92592

ASMT: 924270005, APN: 924270005
AILEEN GRESHAM, ETAL
P O BOX 891841
TEMECULA CA 92589

ASMT: 924260010, APN: 924260010
OTTO MONCADA
38940 MESA RD
TEMECULA, CA. 92592

ASMT: 924270006, APN: 924270006
ALICE STRAIN
P O BOX 890145
TEMECULA CA 92589

ASMT: 924260016, APN: 924260016
NATALIE RAMIREZ, ETAL
38790 MESA RD
TEMECULA CA 92592

ASMT: 924270008, APN: 924270008
RHONDA DIXON, ETAL
38500 MESA RD
TEMECULA, CA. 92592

ASMT: 924260017, APN: 924260017
LAMAR HUGHES
37717 COPPER MOUNTAIN CT
TEMECULA, CA. 92592

ASMT: 924270009, APN: 924270009
BETHANN LUTH, ETAL
38580 MESA RD
TEMECULA, CA. 92592

ASMT: 924260018, APN: 924260018
MARIA ESTHER SERAFIN, ETAL
P O BOX 890993
TEMECULA CA 92589

ASMT: 924270010, APN: 924270010
NICOLE OSWILL, ETAL
38620 MESA RD
TEMECULA, CA. 92592

ASMT: 924270002, APN: 924270002
SYLVIA EHLER, ETAL
P O BOX 11
SEASIDE OR 97138

ASMT: 924270011, APN: 924270011
VERNO ENTERPRISES INC
38680 MESA RD
TEMECULA, CA. 92592

ASMT: 924270004, APN: 924270004
STACY COSSEY, ETAL
25137 CORTE PICO
MURRIETA CA 92563

ASMT: 924270016, APN: 924270016
JULIE GUSTINE, ETAL
30520 RANCHO CALIF 107
TEMECULA CA 92591

ASMT: 924270017, APN: 924270017
JEANNEAN BINGHAM
38450 MESA RD
TEMECULA, CA. 92592

ASMT: 924270024, APN: 924270024
STEPHANIE DOEHRING, ETAL
41555 CHERRY ST STE F
MURRIETA CA 92562

ASMT: 924270018, APN: 924270018
JOSE FLORES
P O BOX 894018
TEMECULA CA 92589

ASMT: 924280001, APN: 924280001
KENNETH MARCUCCI
37434 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924270019, APN: 924270019
SAMANTHA DOHRMAN, ETAL
38475 MESA RD
TEMECULA, CA. 92592

ASMT: 924280002, APN: 924280002
SALLY HASEROT, ETAL
38975 MESA RD
TEMECULA, CA. 92592

ASMT: 924270020, APN: 924270020
EDWARD COOK, ETAL
1916 VIRAZON DR
LA HABRA HEIGHTS CA 90631

ASMT: 924280003, APN: 924280003
MARY RAMSAY, ETAL
P O BOX 52
TEMECULA CA 92593

ASMT: 924270021, APN: 924270021
PAMELA REEDER
37785 BEARING CIR
TEMECULA, CA. 92592

ASMT: 924280004, APN: 924280004
PATRICIA SATHER, ETAL
38919 MESA RD
TEMECULA, CA. 92592

ASMT: 924270022, APN: 924270022
GABRIELE SPRAFKE
821 FONTHILL AVE
TORRANCE CA 90503

ASMT: 924280005, APN: 924280005
SUSAN HUTCHISON
37475 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924270023, APN: 924270023
MELISSA SCHROLL, ETAL
37750 BEARING CIR
TEMECULA, CA. 92592

ASMT: 924280006, APN: 924280006
D ROGERS
P O BOX 892346
TEMECULA CA 92589

ASMT: 924280007, APN: 924280007
YAN SHEK, ETAL
37433 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280014, APN: 924280014
LETICIA PLUMMER, ETAL
37360 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280008, APN: 924280008
TRACY VALLEY, ETAL
929 VEGAS VIEW DR
HENDERSON NV 89052

ASMT: 924280015, APN: 924280015
CONNIE THOMPSON, ETAL
37380 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280009, APN: 924280009
ROSE GIBSON
37361 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280016, APN: 924280016
LEE RYZEWSKI, ETAL
37430 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280010, APN: 924280010
HOMES FOR OUR TROOPS INC
6 MAIN ST
TAUNTON MA 2780

ASMT: 924280017, APN: 924280017
NORMA MELILL
37400 DOWNEY RD
TEMECULA, CA. 92592

ASMT: 924280011, APN: 924280011
CHRISTINE UPDYKE, ETAL
37349 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280018, APN: 924280018
PUAOKAHAUKEA DUFFIELD, ETAL
37420 DOWNEY RD
TEMECULA, CA. 92592

ASMT: 924280012, APN: 924280012
ALADDIN DOROUDI
22221 AMBER ROSE
MISSION VIEJO CA 92692

ASMT: 924280019, APN: 924280019
SUSAN VANHEUMEN, ETAL
37450 DOWNEY RD
TEMECULA, CA. 92592

ASMT: 924280013, APN: 924280013
TERRYLE BLANTON, ETAL
37350 AVENIDA CHAPALA
TEMECULA, CA. 92592

ASMT: 924280020, APN: 924280020
PAULINE CENA, ETAL
38795 MESA
TEMECULA, CA. 92592

ASMT: 924290015, APN: 924290015
IRMA NISHIMURA, ETAL
37410 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290022, APN: 924290022
NORMA WESOLOWSKI, ETAL
37190 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290016, APN: 924290016
PATRICK HURTER
37380 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924290023, APN: 924290023
THEODORE WILSON
39090 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290017, APN: 924290017
LAUREEN WEIMANN, ETAL
AME
39010 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924290024, APN: 924290024
GREGORY JIGAMIAN
39060 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290018, APN: 924290018
MELISSA KROME, ETAL
39011 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924290025, APN: 924290025
DEBRA GROMACKI BLYTH, ETAL
39030 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290019, APN: 924290019
LORI PRAY, ETAL
37230 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290026, APN: 924290026
MELINDA HELLAND, ETAL
38998 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 924290020, APN: 924290020
NICOLA HELM, ETAL
37210 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924290027, APN: 924290027
THERESA KEENER
38990 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290021, APN: 924290021
JILL PRIEBOY, ETAL
37200 GLENOAKS
TEMECULA, CA. 92592

ASMT: 924290028, APN: 924290028
PAMELA COOPER, ETAL
38980 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 924290029, APN: 924290029
SANDRA SILVER, ETAL
25116 SUMMERHILL LN
STEVENSON RANCH CA 91381

ASMT: 924290038, APN: 924290038
THERESA NAZAROFF, ETAL
690 RIVERSIDE DR
LOS ALTOS CA 94024

ASMT: 924290030, APN: 924290030
TERRY BURKEY, ETAL
38931 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310007, APN: 924310007
GOLDIE KLEIN
P O BOX 890295
TEMECULA CA 92589

ASMT: 924290031, APN: 924290031
NANCI RADCLIFFE, ETAL
38911 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310008, APN: 924310008
BEVERLY HOLCOMBE
38860 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290032, APN: 924290032
OCLA PROP
3626 LONG BEACH BL
LONG BEACH CA 90607

ASMT: 924310009, APN: 924310009
ROBIN SHELDON, ETAL
38790 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290033, APN: 924290033
DANA HARO, ETAL
38900 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310010, APN: 924310010
GALE EVANS
38720 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924290034, APN: 924290034
SHIRLEY BISHOP DAVIS, ETAL
38910 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310013, APN: 924310013
CHERYL MEEKS, ETAL
36727 CALLE BARTIZON
TEMECULA CA 92592

ASMT: 924290036, APN: 924290036
JUDITH MIZELL, ETAL
38950 AVENIDA ARRIBA
TEMECULA, CA. 92592

ASMT: 924310014, APN: 924310014
JAYE LUCERO, ETAL
36945 CALLE ARRUZA
TEMECULA CA 92592

ASMT: 924310015, APN: 924310015
CHRISTINE NEWTON, ETAL
36965 CALE ARRUZA
TEMECULA CA 92592

ASMT: 924310023, APN: 924310023
MELISSA NAIL, ETAL
36735 CALLE BARTIZON
TEMECULA, CA. 92592

ASMT: 924310016, APN: 924310016
NICARI INV
C/O JEFFREY W LONG
7731 E NESTLING WAY
SCOTTSDALE AZ 85255

ASMT: 924320006, APN: 924320006
KAY DOCKINGS, ETAL
38875 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 924310017, APN: 924310017
DENISE WADE
36940 CALLE ARRUZA
TEMECULA, CA. 92592

ASMT: 924320007, APN: 924320007
CHRISTIAN JONES, ETAL
36525 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924310018, APN: 924310018
HPA BORROWER 2016 1
180 N STETSON AVE NO 3650
CHICAGO IL 60601

ASMT: 924320008, APN: 924320008
FRANCA FILES, ETAL
36345 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924310019, APN: 924310019
JAMIE VANGOMPEL, ETAL
40175 TENNYSON RD
MURRIETA CA 92563

ASMT: 924320010, APN: 924320010
PAMELA SHANABARGER, ETAL
38855 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 924310021, APN: 924310021
ANN KIEFFER KELLY, ETAL
P O BOX 711
TEMECULA CA 92593

ASMT: 924320011, APN: 924320011
MICHELLE NICOLAIDES, ETAL
36591 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924310022, APN: 924310022
CAROLINE GRIGORIADIS, ETAL
36725 CALLE BARTIZON
TEMECULA, CA. 92592

ASMT: 924320016, APN: 924320016
TERESA MOSTERO, ETAL
505 CHISWICK RD
PALOS VERDES EST CA 90274

ASMT: 924330006, APN: 924330006
JUDY QUIGLEY, ETAL
131 WOODACRES DR SW
CALGARY AB CANADA T2W4V8

ASMT: 924330014, APN: 924330014
HELENE MENDELSON, ETAL
C/O HELENE MENDELSON
36850 GLEN OAKS RD
TEMECULA CA 92592

ASMT: 924330007, APN: 924330007
GEORGEANNA ALLEN
36970 VIA BROZA
TEMECULA CA 92592

ASMT: 924340002, APN: 924340002
CHRISTINE FOOTE, ETAL
36650 GLEN OAKS
TEMECULA CA 92592

ASMT: 924330008, APN: 924330008
NOELLE FIORE, ETAL
36900 VIA BROZA
TEMECULA, CA. 92592

ASMT: 924340003, APN: 924340003
MARA PEREZ, ETAL
36550 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924330009, APN: 924330009
CARRIE DRAGON, ETAL
36425 CALLE POCO RD
TEMECULA, CA. 92592

ASMT: 924340004, APN: 924340004
CHRISTINE FOOTE, ETAL
36650 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 924330010, APN: 924330010
GAIL HAMES, ETAL
11527 SHOW RING LN
BAKERSFIELD CA 93312

ASMT: 924350002, APN: 924350002
LINDA HANSEN, ETAL
C/O LINDA HANSEN
P O BOX 890205
TEMECULA CA 92589

ASMT: 924330011, APN: 924330011
LYNN LAWSON, ETAL
36350 CALLE POCO
TEMECULA, CA. 92592

ASMT: 924350004, APN: 924350004
SANDRA LANS
C/O CHRIS VANDER LANS
36400 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 924330012, APN: 924330012
TERRY KINNEY
36386 CALLE POCO RD
TEMECULA, CA. 92590

ASMT: 924350006, APN: 924350006
MIRIAM LANDBERG, ETAL
39280 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 924350007, APN: 924350007
VANDERLANS SANDRA B REV TRUST
C/O SANDRA B VANDERLANS REV TR
36400 GLEN OAKS RD
TEMECULA CA 92592

ASMT: 924370012, APN: 924370012
AGNES BERINSON, ETAL
36395 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 924360002, APN: 924360002
TEMECULA PUBLIC CEMETERY DIST
41911 C ST
TEMECULA CA 92592

ASMT: 924370013, APN: 924370013
DOWNAPHA BRITTON, ETAL
674 BOWCREEK DR
DIAMOND BAR CA 91765

ASMT: 924370005, APN: 924370005
TEMECULA INV CO INC, ETAL
28046 DEL RIO RD STE C
TEMECULA CA 92590

ASMT: 924370014, APN: 924370014
MARGARET PITKIN, ETAL
P O BOX 2107
TEMECULA CA 92593

ASMT: 924370008, APN: 924370008
ALBERT SALAZAR
36305 E BENTON RD
TEMECULA, CA. 92592

ASMT: 924370015, APN: 924370015
PATRICIA CAPONE, ETAL
36195 TRAVIS CT
TEMECULA, CA. 92592

ASMT: 924370009, APN: 924370009
ALBERT SALAZAR
P O BOX 893356
TEMECULA CA 92589

ASMT: 924370016, APN: 924370016
SEOMII LIGHTFOOT, ETAL
36125 TRAVIS CT
TEMECULA, CA. 92592

ASMT: 924370010, APN: 924370010
DAVID ORTIZ
36285 INDIAN KNOLL DR
TEMECULA, CA. 92592

ASMT: 924370019, APN: 924370019
MARCELO DOFFO
36083 SUMMITVILLE
TEMECULA CA 92592

ASMT: 924370011, APN: 924370011
FREDERICK VONVOIGT, ETAL
36325 INDIAN KNOLL RD
TEMECULA, CA. 92592

ASMT: 927090033, APN: 927090033
MINGFU MAO, ETAL
5460 CASTILLO DE ROSAS
CAMERILLO CA 93012

ASMT: 927090037, APN: 927090037
JEANETTE DIXON, ETAL
P O BOX 531
TEMECULA CA 92593

ASMT: 927100043, APN: 927100043
DENISE PICKETT, ETAL
36875 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927090039, APN: 927090039
ERIN KELLERHOUSE, ETAL
46210 CARPET CT
TEMECULA CA 92592

ASMT: 927100044, APN: 927100044
FRAMTELO LTD PARTNERSHIP
36820 PASEO DEL TRAZA
TEMECULA, CA. 92592

ASMT: 927090040, APN: 927090040
PATRICIA RICH
36427 LINDA ROSEA
TEMECULA, CA. 92592

ASMT: 927100065, APN: 927100065
LORI FENTON, ETAL
36511 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927090041, APN: 927090041
PATRICIA RICH
36427 LINDA ROSEA RD
TEMECULA, CA. 92592

ASMT: 927100069, APN: 927100069
PAUBA PROP
C/O JOSH STEPHENSON
36137 LINDA ROSEA RD
TEMECULA CA 92592

ASMT: 927090042, APN: 927090042
HEIDI GREEN, ETAL
36340 LINDA ROSEA RD
TEMECULA, CA. 92592

ASMT: 927100070, APN: 927100070
BELLAGIO PROP
P O BOX 894029
TEMECULA CA 92589

ASMT: 927090044, APN: 927090044
LIZBETH BERONA, ETAL
36200 LINDA ROSEA RD
TEMECULA, CA. 92592

ASMT: 927140022, APN: 927140022
TANYA MCMICHAEL, ETAL
36835 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927100042, APN: 927100042
JAMES BROWN
36733 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927140023, APN: 927140023
VICKI CALAGNA, ETAL
24445 ADAMS AVE
MURRIETA CA 92562

ASMT: 927150008, APN: 927150008
YVONNE WALL, ETAL
78450 AVE 41
BERMUDA DUNES CA 92203

ASMT: 927180007, APN: 927180007
YUMEI LI, ETAL
1610 S NOGALES ST
ROWLAND HEIGHTS CA 91748

ASMT: 927150012, APN: 927150012
TSM PROP
531 W HOLT BLVD
ONTARIO CA 91762

ASMT: 927180012, APN: 927180012
SUSANNE CAMPBELL, ETAL
22536 LAKE FOREST LN
LAKE FOREST CA 92630

ASMT: 927150016, APN: 927150016
GROVE PLAZA
6480 WEATHERS PL STE 225
SAN DIEGO CA 92121

ASMT: 927180020, APN: 927180020
EFFIE GEORGANTOPOULOS, ETAL
31581 AQUACATE RD
SAN JUAN CAPISTRANO CA 92675

ASMT: 927150017, APN: 927150017
TRUST, ETAL
32446 CORTE BARELA
TEMECULA CA 92592

ASMT: 927180021, APN: 927180021
KYUNG YOO, ETAL
16450 LA DONA CIR
HUNTINGTON BEACH CA 92649

ASMT: 927150036, APN: 927150036
JUDY SMITH, ETAL
16092 JENNER ST
WESTMINSTER CA 92683

ASMT: 927180026, APN: 927180026
LAURA TURNBOW, ETAL
34200 MADERA DE PLAYA
TEMECULA CA 92592

ASMT: 927160041, APN: 927160041
JENNIFER SMITH, ETAL
43980 LOS CABALLOS RD
TEMECULA, CA. 92592

ASMT: 927180031, APN: 927180031
ROBIN CHISHOLM
35255 BEACH RD
CAPISTRANO BEACH CA 92624

ASMT: 927160042, APN: 927160042
LINDA PAINE, ETAL
43750 LOS CABALLOS
TEMECULA, CA. 92592

ASMT: 927180034, APN: 927180034
LORI SAPPINGTON, ETAL
35355 VIA RIATA
TEMECULA CA 92592

ASMT: 927180035, APN: 927180035
LAURA REAMES, ETAL
35450 VIA RIATA
TEMECULA, CA. 92592

ASMT: 927210001, APN: 927210001
LAURA FERREL, ETAL
32307 CORTE LAS CRUCES
TEMECULA CA 92592

ASMT: 927190001, APN: 927190001
RICHARD HERSHMAN
P O BOX 1540
WILDOMAR CA 92595

ASMT: 927210002, APN: 927210002
DALE MULLINS
40180 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927190002, APN: 927190002
DEBORAH MEGGERS, ETAL
P O BOX 892253
TEMECULA CA 92589

ASMT: 927210003, APN: 927210003
MATHEW DAY, ETAL
40010 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927190003, APN: 927190003
MARY CARTAYA, ETAL
39815 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 927210013, APN: 927210013
JEANETTE BASSI, ETAL
37330 VIA DE LOS ARBOLES
TEMECULA, CA. 92592

ASMT: 927190004, APN: 927190004
CHARLES MACKAY
40375 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927210014, APN: 927210014
MARIE FILARDO, ETAL
37495 VIA EL DORADO
TEMECULA, CA. 92592

ASMT: 927190006, APN: 927190006
ROBERT STEFANKO
5730 RIVER VALLEY TR
ANAHEIM CA 92807

ASMT: 927210016, APN: 927210016
ERNA CORTEZ, ETAL
40255 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927190007, APN: 927190007
KYUNG JUN
4257 DON MARIANO DR
LOS ANGELES CA 90008

ASMT: 927210017, APN: 927210017
LINDA KOVELL, ETAL
40445 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927210018, APN: 927210018
DEANNA BRADLEY, ETAL
42225 REMINGTON AVE STE 23
TEMECULA CA 92590

ASMT: 927220025, APN: 927220025
LORI DAY, ETAL
37190 AVENIDA BRAVURA
TEMECULA, CA. 92592

ASMT: 927220001, APN: 927220001
JENIFER KURVERS, ETAL
40370 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927220026, APN: 927220026
MICHELLE HARRIS, ETAL
40381 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927220013, APN: 927220013
MARY ELLEN FERRUGGIA, ETAL
27729 SUNRISE SHORE DR
MENIFEE CA 92585

ASMT: 927220027, APN: 927220027
DANIELLE SCHWARTZ, ETAL
40333 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927220021, APN: 927220021
TERRY HAMMETT, ETAL
40540 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927240001, APN: 927240001
HAILEY BEJACH, ETAL
40620 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927220022, APN: 927220022
DIANE WELLINGTON, ETAL
40520 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927240002, APN: 927240002
ASSOC, ETAL
C/O WAYNE HANSOM
17812 DOROTHY CT
TEMECULA CA 92592

ASMT: 927220023, APN: 927220023
LILY PENA, ETAL
40553 CHAPPARAL DR
TEMECULA, CA. 92592

ASMT: 927240003, APN: 927240003
REBECCA JAGODA, ETAL
40720 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927220024, APN: 927220024
LORI KINGSTON, ETAL
40525 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927240021, APN: 927240021
SANDRA NORTON, ETAL
C/O SANDRA NORTON
40755 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927240022, APN: 927240022
KELLY HEFLEY, ETAL
39110 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 927260007, APN: 927260007
ROSALYN NICKELSON, ETAL
38901 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927240023, APN: 927240023
P BYCZEK, ETAL
37 GOLF RIDGE DR
DOVE CANYON CA 92679

ASMT: 927260008, APN: 927260008
PATRICIA KUTSCHER, ETAL
38811 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927240024, APN: 927240024
SORAYA BADIANT
33918 PARADOR ST
TEMECULA CA 92592

ASMT: 927260010, APN: 927260010
JOCELYN BAYLESS, ETAL
37125 DELGADO WAY
TEMECULA, CA. 92592

ASMT: 927240025, APN: 927240025
MARIANNE MASINO, ETAL
40625 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927260011, APN: 927260011
JENNIFER HUMPHREYS, ETAL
37133 DELGADO WAY
TEMECULA, CA. 92592

ASMT: 927260004, APN: 927260004
LYNN CHRISTOPHER, ETAL
37150 DELGADO WAY
TEMECULA, CA. 92592

ASMT: 927260012, APN: 927260012
SHARON WIGGINS, ETAL
1706 VOORHEES AVE
MANHATTAN BEACH CA 90266

ASMT: 927260005, APN: 927260005
LYSE BIRO, ETAL
37120 DELGADO WAY
TEMECULA CA 92592

ASMT: 927260013, APN: 927260013
MARK WATTERS
37165 DELGADO WAY
TEMECULA, CA. 92592

ASMT: 927260006, APN: 927260006
TARA JOHANSSON, ETAL
38925 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927260014, APN: 927260014
TAMI BOTELLO, ETAL
37245 DELGADO WAY
TEMECULA, CA. 92592

ASMT: 927260030, APN: 927260030
CARIE CLARK, ETAL
29673 HAZEL GLEN RD
MURRIETA CA 92563

ASMT: 927280026, APN: 927280026
HELENA VINCER, ETAL
38200 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927260031, APN: 927260031
CHRISTINE SHOUP, ETAL
41595 PARADO DEL SOL RD
TEMECULA, CA. 92592

ASMT: 927280028, APN: 927280028
CARYN CARPENTER CADEZ, ETAL
3332 VERMONT RD
TEMECULA CA 92592

ASMT: 927280011, APN: 927280011
FOXTAIL RANCH
C/O JAMES ARTHUR SORCE
37100 OAK MOUNTAIN RD
TEMECULA CA 92592

ASMT: 927280035, APN: 927280035
TAMMY LAMAGNA, ETAL
15 LITTLE LAKE RUN
OSSINING NY 10562

ASMT: 927280019, APN: 927280019
CAROL BRADY, ETAL
37850 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927280036, APN: 927280036
CHRISTINE FALIK, ETAL
18451 COLLIER AVE
LAKE ELSINORE CA 92530

ASMT: 927280021, APN: 927280021
JANET TOBARI, ETAL
1630 W REDONDO BEACH 23
GARDENA CA 90247

ASMT: 927280037, APN: 927280037
ADOBE LAND CO
525 PLAZA DEL CID
CHULA VISTA CA 91910

ASMT: 927280024, APN: 927280024
RACHEL MAGUIRE, ETAL
38150 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 927280040, APN: 927280040
ADOBE LAND CO
525 PLAZA DEL SID
CHULA VISTA CA 91910

ASMT: 927280025, APN: 927280025
NICOLAS MAGANA, ETAL
38280 DEPORTOLA RD
TEMECULA, CA. 92592

ASMT: 927290001, APN: 927290001
LOUISE ZIMMER
42111 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927290002, APN: 927290002
WALTER ALLEN, ETAL
42200 CHAPARRAL DR DR
TEMECULA, CA. 92592

ASMT: 927310002, APN: 927310002
MICHELE AMON, ETAL
41925 AVENIDA ORTEGA
TEMECULA, CA. 92592

ASMT: 927290003, APN: 927290003
FOROOGH HAAJIZADEH, ETAL
2940 CHESAPEAKE AVE
ANCHORAGE AK 99516

ASMT: 927310003, APN: 927310003
SAUNDRA TAYLOR, ETAL
41875 AVENIDA ORTEGA
TEMECULA, CA. 92592

ASMT: 927290004, APN: 927290004
JOSEPH ERDMANN
42400 CHAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927330019, APN: 927330019
CRUZ WAY FARMS
2227 MONTGOMERY AVE
CARDIFF CA 92007

ASMT: 927290012, APN: 927290012
CHRISTY LESTER, ETAL
41707 PARADO DEL SOL
TEMECULA, CA. 92592

ASMT: 927330024, APN: 927330024
JACK MUNUSHIAN
C/O ASTOR & PHILLIPS
800 WILSHIRE BLV NO 1500
LOS ANGELES CA 90017

ASMT: 927300001, APN: 927300001
DEIDRE WEST, ETAL
42355 CAPARRAL DR
TEMECULA, CA. 92592

ASMT: 927330025, APN: 927330025
BRANDON MAGENO, ETAL
41450 CRUZ WAY
TEMECULA, CA. 92592

ASMT: 927300016, APN: 927300016
VICTORIA HOWE, ETAL
41721 AVENIDA ORTEGA
TEMECULA, CA. 92592

ASMT: 927330028, APN: 927330028
HEATHER LARA, ETAL
41275 CRUZ WAY
TEMECULA CA 92592

ASMT: 927310001, APN: 927310001
CHERYL MIRANDA, ETAL
43111 TURF LANE
TEMECULA CA 92592

ASMT: 927330029, APN: 927330029
AZSA BARRERA
41303 CRUZ WAY
TEMECULA CA 92592

ASMT: 927340023, APN: 927340023
CHRISTOPHER TEDESCO
41075 CAMINO NORTE
TEMECULA, CA. 92592

ASMT: 927360032, APN: 927360032
VINCENT DOMINICK, ETAL
30395 AINSWORTH PL
LAKE ELSINORE CA 92530

ASMT: 927360021, APN: 927360021
NELOFER KIRMANI, ETAL
51 WILLOWBROOK LANE
POMONA CA 91766

ASMT: 927360033, APN: 927360033
TERESA DOMINICK, ETAL
11876 RANCHO HEIGHTS RD
PALA CA 92059

ASMT: 927360022, APN: 927360022
CINDY COHEN, ETAL
41000 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 927360034, APN: 927360034
NATALIE REALTY
C/O ESTAFAN IBRAHIM
37610 VIA DE LOS ARBOLES
TEMECULA CA 92592

ASMT: 927360023, APN: 927360023
KHALAF HUSAM F LIVING TRUST
C/O HUSAM F KHALAF
4680 FIR AVE
SEAL BEACH CA 90740

ASMT: 927370014, APN: 927370014
MARLENE LILLY, ETAL
35780 MEADOW RIDGE RD
TEMECULA, CA. 92592

ASMT: 927360024, APN: 927360024
LUGARDA FAIRFIELD, ETAL
1021 N ORANGE ST
LA HABRA CA 90631

ASMT: 927370015, APN: 927370015
BLANCA HARTNETT, ETAL
P O BOX 891363
TEMECULA CA 92589

ASMT: 927360030, APN: 927360030
SUMMIT CIRCLE TEMECULA
C/O MARVIN R MAAS
P O BOX 3707
COSTA MESA CA 92628

ASMT: 927370016, APN: 927370016
DEBRA JOHNSON, ETAL
43980 MAHLON VAIL RD 2506
TEMECULA CA 92592

ASMT: 927360031, APN: 927360031
DAVID HUNTINGTON
C/O S ARCHIE MCRIMMON JR
6859 S EASTERN AVE NO 102
LAS VEGAS NV 89119

ASMT: 927370017, APN: 927370017
ANNABELLE RIOTOC, ETAL
43980 MAHLON VAIL RD 2606
TEMECULA CA 92592

ASMT: 927370018, APN: 927370018
BARBARA MALKOWSKI, ETAL
41115 VIA FERNANDO
TEMECULA, CA. 92592

ASMT: 927370029, APN: 927370029
JENNIFER SCHILLER, ETAL
41275 CALLE DE MAYA RD
TEMECULA, CA. 92592

ASMT: 927370019, APN: 927370019
PATRICIA GAFFNEY, ETAL
41121 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 927370030, APN: 927370030
PRASIT KOOPONGSAKORN, ETAL
8811 CANOGA AVE SPC 207
CANOGA PARK CA 91304

ASMT: 927370020, APN: 927370020
PATRICK COSTANTINI
23453 KATHRYN AVE
TORRANCE CA 90505

ASMT: 927370031, APN: 927370031
BRIAN MONSON
109 N IRENA AVE STE A
REDONDO BEACH CA 90277

ASMT: 927370024, APN: 927370024
ALMA MACY, ETAL
35800 MEADOW RIDGE RD
TEMECULA, CA. 92592

ASMT: 927370032, APN: 927370032
MARY LAVEZZARI
41200 CALLE DE MAYA
TEMECULA, CA. 92592

ASMT: 927370026, APN: 927370026
JOHN CARREON
41255 CALLE DE MAYA RD
TEMECULA, CA. 92592

ASMT: 927370035, APN: 927370035
MELINDA POMERLEAU, ETAL
35790 MEADOWRIDGE RD
TEMECULA, CA. 92592

ASMT: 927370027, APN: 927370027
KIMBERLY JOHNSON, ETAL
41260 CALLE DE MAYA RD
TEMECULA, CA. 92592

ASMT: 927420013, APN: 927420013
BRIDGET PRICE
41798 ARBOR GLEN DR
TEMECULA, CA. 92592

ASMT: 927370028, APN: 927370028
GLENDA TREVASKIS, ETAL
40905 CALLE DEL MAYA RD
TEMECULA, CA. 92592

ASMT: 927420017, APN: 927420017
PR INVESTORS
2245 SAN DIEGO AVE NO 125
SAN DIEGO CA 92110

ASMT: 927420029, APN: 927420029
PAUBA RIDGE
7402 W OCEAN FRONT
NEWPORT BEACH CA 92663

ASMT: 927460005, APN: 927460005
PAMELA DUFFY
40600 CALLE TOLEDO
TEMECULA, CA. 92592

ASMT: 927420030, APN: 927420030
PAUBA RIDGE
NO 223
2245 SAN DIEGO AVE 223
SAN DIEGO CA 92110

ASMT: 927460011, APN: 927460011
HELEN CASTILLO, ETAL
35410 CALLE CHICO
TEMECULA, CA. 92592

ASMT: 927450002, APN: 927450002
HEAVENSTONE CORP
17800 CASTLETON DR NO 300
CITY OF INDUSTRY CA 91748

ASMT: 927460012, APN: 927460012
CHI LEE, ETAL
13032 HART PL
CERRITOS CA 90703

ASMT: 927460001, APN: 927460001
MARCIA SMALLEY, ETAL
7 EDGEWATER
IRVINE CA 92604

ASMT: 927460013, APN: 927460013
CHRISTINA BILLINGS, ETAL
35445 CALLE CHICO
TEMECULA, CA. 92592

ASMT: 927460002, APN: 927460002
GREGORY GOODMAN
40605 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 927460014, APN: 927460014
JOHN GRANT, ETAL
35485 CALLE CHICO
TEMECULA, CA. 92592

ASMT: 927460003, APN: 927460003
GREG GOODMAN
40599 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 927460019, APN: 927460019
SANDRA KESHMIRI, ETAL
40644 CALLE TOLEDO
TEMECULA, CA. 92592

ASMT: 927460004, APN: 927460004
BOBBIE VALENTE, ETAL
31938 HWY 79 S NO A116
TEMECULA CA 92592

ASMT: 927470006, APN: 927470006
D LORENZ
29030 BOBCAT DR
MENIFEE CA 92584

ASMT: 927470007, APN: 927470007
JANET WILLMS, ETAL
35401 LOS NOGALES
TEMECULA, CA. 92590

ASMT: 927480003, APN: 927480003
SANDRA NIZETICH, ETAL
4617 ADENMORE AVE
LAKEWOOD CA 90712

ASMT: 927470008, APN: 927470008
DEV CO, ETAL
4170 MORENA BLV NO E
SAN DIEGO CA 92117

ASMT: 927480004, APN: 927480004
HELENA TYSARCZYK, ETAL
35260 LOS NOGALES RD
TEMECULA, CA. 92592

ASMT: 927470009, APN: 927470009
MANUEL MEZA, ETAL
35525 LOS NOGALES
TEMECULA, CA. 92592

ASMT: 927480005, APN: 927480005
JERI COTA, ETAL
35280 LOS NOGALES RD
TEMECULA, CA. 92592

ASMT: 927470010, APN: 927470010
MIMI CHANG, ETAL
NO 892200
30777 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 927480006, APN: 927480006
MARIAN HAWKEY
1534 COUNTRY CLUB DR
ESCONDIDO CA 92029

ASMT: 927470011, APN: 927470011
MICHAEL R GORDON INS SERVICES 401K PROFIT
18141 BEACH BLV NO 250
HUNTINGTON BEACH CA 90000

ASMT: 927490001, APN: 927490001
YESENIA CANAS, ETAL
35209 LOS NOGALES RD
TEMECULA, CA. 92592

ASMT: 927470012, APN: 927470012
ZARIK MENASSIAN
1615 W MINES AVE
MONTEBELLO CA 90640

ASMT: 927490002, APN: 927490002
SANDRA HUTCHENS, ETAL
25102 OCEAN KNOLL
DANA POINT CA 92629

ASMT: 927470013, APN: 927470013
ZARIK MENASSIAN
1615 MINES AVE
MONTEBELLO CA 90640

ASMT: 927490003, APN: 927490003
MICHAEL R GORDON INSURANCE SERVICES INC
18141 BEACH BLVD NO 250
HUNTINGTON BEACH CA 92648

ASMT: 927490009, APN: 927490009
JEANNIE DUGGER, ETAL
25096 JEFFERSON AVE STE B
MURRIETA CA 92562

ASMT: 927490020, APN: 927490020
SEBASTIAN HEYME
40463 CALLE CANCION
TEMECULA, CA. 92592

ASMT: 927490010, APN: 927490010
LINDA DOUGLAS, ETAL
HONEY HILL FARM
40920 ANZA RD
TEMECULA, CA. 92592

ASMT: 927490021, APN: 927490021
PAMELA TORTOMASI, ETAL
40453 LOS AMANTES RD
TEMECULA, CA. 92592

ASMT: 927490012, APN: 927490012
RAFAEL TELFER
41090 ANZA RD
TEMECULA, CA. 92592

ASMT: 927500015, APN: 927500015
MERWYN SMITH
41200 ANZA RD
TEMECULA, CA. 92592

ASMT: 927490013, APN: 927490013
TONITA GONZALES, ETAL
34881 LOS NOGALES RD
TEMECULA, CA. 92592

ASMT: 927500016, APN: 927500016
VILMA SHIELDS, ETAL
30460 SUMMERSIDE ST
MURRIETA CA 92563

ASMT: 927490014, APN: 927490014
JOHN KNUDSEN, ETAL
40420 CALLE CANCION
TEMECULA, CA. 92592

ASMT: 927500024, APN: 927500024
JOSEPHINE GANN
35051 CALLE LA COCA
TEMECULA, CA. 92592

ASMT: 927490016, APN: 927490016
LOUIS FLETCHER, ETAL
6446 LANGDON AVE
VAN NUYS CA 91406

ASMT: 927530009, APN: 927530009
HEAVENSTONE RANCH CORP
17800 CASTLETON ST NO 300
CITY OF INDUSTRY CA 91748

ASMT: 927490019, APN: 927490019
SHARON FILIPOWSKI, ETAL
40411 CALLE CANCION
TEMECULA CA 92592

ASMT: 927530011, APN: 927530011
THOMAS DECARLO, ETAL
36130 MEADOW RIDGE RD
TEMECULA, CA. 92592

ASMT: 927530014, APN: 927530014
THOMAS BELLIT
14 ILIAINA PL
KAILUA HI 96734

ASMT: 927530021, APN: 927530021
JLH ENTERPRISES
36068 HIDDEN SPGS NO C148
WILDOMAR CA 92595

ASMT: 927530015, APN: 927530015
E BELLIT
2151 E SHERMAN AVE
SALT LAKE CITY UT 84108

ASMT: 927540001, APN: 927540001
VIOLA HEINZELMANN
42568 JOLENE CT
TEMECULA CA 92592

ASMT: 927530016, APN: 927530016
LOLA WISNIEWSKI, ETAL
36020 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540004, APN: 927540004
OCEANBREEZE GROUP
1010 WEST ST
OCEANSIDE CA 92054

ASMT: 927530017, APN: 927530017
LISA SCHRAUTH, ETAL
36040 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540005, APN: 927540005
ANDREA MCCORMICK, ETAL
41370 VALENCIA WAY
TEMECULA CA 92592

ASMT: 927530018, APN: 927530018
SUSAN MONTEMAYOR, ETAL
7962 POINSETTIA DR
BUENA PARK CA 90620

ASMT: 927540007, APN: 927540007
GIZELLA CZIRAKI, ETAL
2242 N HIGHWAY 395
FALLBROOK CA 92028

ASMT: 927530019, APN: 927530019
BRYANNA KESSLER
36070 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540019, APN: 927540019
ELLEN MUNDELL, ETAL
41400 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927530020, APN: 927530020
MARY DUFEK
P O BOX 893069
TEMECULA CA 92589

ASMT: 927540020, APN: 927540020
KATRINKA BLUNT, ETAL
505 COLLEGE ST S
MONMOUTH OR 97361

ASMT: 927540021, APN: 927540021
CHARLES BURMEISTER
41480 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540034, APN: 927540034
SHU XU, ETAL
6825 BRENTMEAD AVE
ARCADIA CA 91007

ASMT: 927540022, APN: 927540022
MARY MEREDITH, ETAL
36150 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927540036, APN: 927540036
FRANNE FICARA, ETAL
36290 PALMADOR LN
TEMECULA, CA. 92592

ASMT: 927540029, APN: 927540029
ELIZABETH NAVARRETTE, ETAL
45458 CALLESITA ALTAR
TEMECULA CA 92592

ASMT: 927550001, APN: 927550001
RICHARD SHEA, ETAL
35880 LA LITA LN
TEMECULA, CA. 92592

ASMT: 927540030, APN: 927540030
ELIZABETH NAVARRETTE, ETAL
30301 ROGUE CIR
TEMECULA CA 92591

ASMT: 927550002, APN: 927550002
WILLIAM SCHAFFER
35890 LA LITA LN
TEMECULA, CA. 92592

ASMT: 927540031, APN: 927540031
MELISSA WALKER, ETAL
36191 MEADOW RIDGE RD
TEMECULA, CA. 92592

ASMT: 927550004, APN: 927550004
ANGELICA MANNING, ETAL
41665 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927540032, APN: 927540032
JO ENSMINGER, ETAL
3613 MEADOW RIDGE RD
TEMECULA CA 92592

ASMT: 927550014, APN: 927550014
MARTHA LASSALETTE, ETAL
42151 CIBOLA CIR
TEMECULA, CA. 92592

ASMT: 927540033, APN: 927540033
SUSAN HETRICK, ETAL
36195 PALMADOR LN
TEMECULA CA 92592

ASMT: 927550017, APN: 927550017
SUSAN BOERS, ETAL
36321 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927550018, APN: 927550018
INA RAMOS, ETAL
36215 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927550037, APN: 927550037
TRAYBAK FAMILY LIVING TRUST
36265 ALTA MESA ST
TEMECULA, CA. 92592

ASMT: 927550019, APN: 927550019
ALAN GRISWOLD, ETAL
36235 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927550038, APN: 927550038
MELISSA LANDIS, ETAL
36275 ALTA MESA CT
TEMECULA, CA. 92592

ASMT: 927550020, APN: 927550020
SANDRA GOLDSMITH, ETAL
P O BOX 890988
TEMECULA CA 92592

ASMT: 927550039, APN: 927550039
KAREN SCHNEIDER
36120 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927550024, APN: 927550024
PATRICIA REID, ETAL
41600 VALENCIA WAY
TEMECULA, CA. 92592

ASMT: 927550040, APN: 927550040
KAREN MANFIELD, ETAL
3009 CLUNE AVE
VENICE CA 90291

ASMT: 927550031, APN: 927550031
ROSEMARY KELLY, ETAL
P O BOX 890553
TEMECULA CA 92589

ASMT: 927550041, APN: 927550041
FLOARN LOTT, ETAL
35870 PAUBA RD
TEMECULA CA 92592

ASMT: 927550032, APN: 927550032
KATHY NOEL, ETAL
36210 CARAVEL LN
TEMECULA CA 92592

ASMT: 927550042, APN: 927550042
MARY LAROCQUE, ETAL
P O BOX 890726
TEMECULA CA 92589

ASMT: 927550036, APN: 927550036
DEBRA RUSSELL, ETAL
P O BOX 890631
TEMECULA CA 92589

ASMT: 927590002, APN: 927590002
PATRICIA WHYNAUGHT CHAVEZ, ETAL
P O BOX 468
TEMECULA CA 92593

ASMT: 927590004, APN: 927590004
TAMIYO FUKUBAYASHI, ETAL
10021 DUFFERIN AVE
RIVERSIDE CA 92505

ASMT: 927610005, APN: 927610005
LINDA MARTIN, ETAL
34860 MONTE VERDE
TEMECULA CA 92592

ASMT: 927600003, APN: 927600003
NITA MEGHPARA, ETAL
20 NEVADA
IRVINE CA 92705

ASMT: 927620004, APN: 927620004
LEONESSE CELLARS, ETAL
C/O LEONESSE CELLARS
38311 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927600007, APN: 927600007
LINDA MARTIN, ETAL
34860 MONTE VERDE RD
TEMECULA, CA. 92592

ASMT: 927620005, APN: 927620005
JACQUELINE MORGAN, ETAL
37005 GALAWAY DOWNS DR
TEMECULA, CA. 92592

ASMT: 927600009, APN: 927600009
THATSANARY SOUBANNARATH, ETAL
32099 CAMINO RABAGO
TEMECULA CA 92592

ASMT: 927620006, APN: 927620006
RONALD SCHREIBER
NO 2 PMB 250
31103 RANCHO VIEJO RD
SAN JUAN CAPISTRANO CA 92675

ASMT: 927600010, APN: 927600010
JUDITH SPERLING, ETAL
9996 GILLETTE RD
LE GRAND CA 95333

ASMT: 927620008, APN: 927620008
VINEYARDS OF DEPORTOLA
C/O KEN ZIGNORSKY
35820 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 927610002, APN: 927610002
HSI CHAN, ETAL
P O BOX 3163
MANHATTAN BEACH CA 90266

ASMT: 927620009, APN: 927620009
DAVID JONES
1017 CHRIST WAY
FALLBROOK CA 92028

ASMT: 927610003, APN: 927610003
LOUISA HSIEH, ETAL
P O BOX 890666
TEMECULA CA 92589

ASMT: 927620010, APN: 927620010
SHARLYN SPATES
43980 MAHLON VIAL RD 1607
TEMECULA CA 92592

ASMT: 927620011, APN: 927620011
RAYES
7060 CAMINITO MANRESA
LA JOLLA CA 92037

ASMT: 927630021, APN: 927630021
VVUS
SOLEBY STREET E1 4PN
LONDON ENGLAND
UNITED KINGDOM

ASMT: 927620012, APN: 927620012
GAIL FITZPATRICK, ETAL
38685 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927630022, APN: 927630022
DE PORTOLA WINERY
1015 FREMONT AVE NO 2
SOUTH PASADENA CA 91030

ASMT: 927620015, APN: 927620015
LEO RIZZI
36990 LOS ALAMITOS DR
TEMECULA, CA. 92592

ASMT: 927640003, APN: 927640003
RENZONI VINEYARDS INC
37350 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927620016, APN: 927620016
RODNEY DREIER
5530 BAYBERRY WAY
YORBA LINDA CA 92887

ASMT: 927640004, APN: 927640004
FAZELI VINEYARDS
37320 DEPORTOLA RD
TEMECULA CA 92592

ASMT: 927630011, APN: 927630011
MARLENE MCRAE, ETAL
1120 SPUR 100
KERRVILLE TX 78028

ASMT: 927640009, APN: 927640009
SUMMIT ASSOC LTD
5647 SASHABOW
CLARKSTON MI 48346

ASMT: 927630013, APN: 927630013
BETTY WELLS, ETAL
37028 DEPORTOLA RD
TEMECULA CA 92592

ASMT: 927640015, APN: 927640015
SUMMIT ASSOC LTD
5647 SASHABAW
CLARKSTON MI 48346

ASMT: 927630014, APN: 927630014
HANDLE IT MMS
43620 RIDGE PARK DR NO 310
TEMECULA CA 92590

ASMT: 927650011, APN: 927650011
BACHA BHAVAN
43950 MARGARITA RD NO J
TEMECULA CA 92592

ASMT: 927650018, APN: 927650018
KEITH ASKEV
36730 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660001, APN: 927660001
LACEY BRITTON, ETAL
38060 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927650021, APN: 927650021
MACE FAMILY REVOCABLE TRUST 2006
C/O THOMAS J MACE
36745 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660002, APN: 927660002
VALERIE ANDREWS, ETAL
47200 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 927650025, APN: 927650025
JUDY ROBERTS
36735 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660003, APN: 927660003
KARIANNE HAYES, ETAL
36520 VIA VERDE
TEMECULA, CA. 92592

ASMT: 927650027, APN: 927650027
PAULA LAWRENCE, ETAL
36495 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660005, APN: 927660005
TIANA HALLETT
37975 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927650029, APN: 927650029
KIMBERLEY PERROT, ETAL
36651 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927660026, APN: 927660026
WENDY FAZELI, ETAL
36800 AVENIDA VERDE
TEMECULA, CA. 92592

ASMT: 927650030, APN: 927650030
PEYTON CROW
42909 JOSHUA TREE CT
MURRIETA CA 92562

ASMT: 927660027, APN: 927660027
RIMBA WEST
9 KINGS CT
VALLEY COTTAGE NY 10989

ASMT: 927650031, APN: 927650031
ORA MARTIN
36100 PAUBA RD
TEMECULA, CA. 92592

ASMT: 927660029, APN: 927660029
RITA ZEPPIERI, ETAL
P O BOX 2046
FALLBROOK CA 92088

ASMT: 927660032, APN: 927660032
SAMIRA SWEIS, ETAL
36494 VIA VERDE
TEMECULA, CA. 92592

ASMT: 927670010, APN: 927670010
JULIET AFFOLTER, ETAL
38405 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 927660037, APN: 927660037
KIM KIRKPATRICK, ETAL
36533 VIA VERDE
TEMECULA, CA. 92592

ASMT: 927670011, APN: 927670011
LINDA PAVELICH TURNER
38325 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 927660038, APN: 927660038
BLANCA SAKHAPOUR, ETAL
33381 MORNING VIEW DR
TEMECULA CA 92592

ASMT: 927670012, APN: 927670012
RANCHO DEL VINO
C/O ROBERT W BOSICH
43891 CARENTAN DR
TEMECULA CA 92592

ASMT: 927660039, APN: 927660039
JOHN SCHULER
P O BOX 892218
TEMECULA CA 92589

ASMT: 927670013, APN: 927670013
LJMJM RIVERSIDE
36585 COVINGTON CIR
MURRIETA CA 92563

ASMT: 927670007, APN: 927670007
ELIZABETH ANDERSON, ETAL
41275 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 927670014, APN: 927670014
CAROL OSTROWSKI, ETAL
P O BOX 893057
TEMECULA CA 92589

ASMT: 927670008, APN: 927670008
HOLLY OLSON, ETAL
P O BOX 890605
TEMECULA CA 92589

ASMT: 927670015, APN: 927670015
JESSICA MALDONADO, ETAL
38317 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 927670009, APN: 927670009
THOMAS BEREAN
PO BOX 3632
NEWPORT BEACH CA 92659

ASMT: 927670016, APN: 927670016
MYRIAM CESPEDES, ETAL
31902 CALLE CABALLOS
TEMECULA CA 92592

ASMT: 927670017, APN: 927670017
KAREN ALEXANDER, ETAL
38303 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 941030001, APN: 941030001
NATHAN PEREA
41260 LOS RANCHOS CIR
TEMECULA, CA. 92592

ASMT: 927670018, APN: 927670018
TRACY MURPHY, ETAL
38332 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 941030002, APN: 941030002
GERALD NORMAN
41733 CAMINO LORADO
TEMECULA CA 92592

ASMT: 927670019, APN: 927670019
TERESA RITENOUR, ETAL
38312 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 941030008, APN: 941030008
STEPHANIE HOLCOMB, ETAL
41224 LOS RANCHOS CIR
TEMECULA, CA. 92592

ASMT: 927670020, APN: 927670020
KERRIE TULEY, ETAL
38280 CORTE ALEGRIA
TEMECULA, CA. 92592

ASMT: 941030009, APN: 941030009
GLEN NIELSEN
41166 LOS RANCHOS CIR
TEMECULA, CA. 92592

ASMT: 927670021, APN: 927670021
KELLY NEX, ETAL
41664 CAMINO DEL VINO RD
TEMECULA, CA. 92592

ASMT: 941030012, APN: 941030012
SHEILA DANCY
41105 LOS RANCHOS CIR
TEMECULA, CA. 92592

ASMT: 927670026, APN: 927670026
BARRY SMITH
1848 GUM TREE LN
FALLBROOK CA 92028

ASMT: 941030013, APN: 941030013
YVONNE WANG LIU, ETAL
26702 BRIDLEWOOD DR
LAGUNA HILLS CA 92653

ASMT: 927670027, APN: 927670027
MICHELLE BOWERS, ETAL
41190 CORTE CATALUNYA
TEMECULA, CA. 92592

ASMT: 941030017, APN: 941030017
MICHAEL HIGH
14531 VIOLET ST
CHINO HILLS CA 91709

ASMT: 941030019, APN: 941030019
VICKI MACDONALD, ETAL
41155 LOS RANCHOS CIR
TEMECULA, CA. 92592

ASMT: 941050015, APN: 941050015
TONY LUCK
39737 VIA CORDOVA DR
TEMECULA, CA. 92592

ASMT: 941050004, APN: 941050004
MICHAEL MALDONADO
12801 NORWALK BLV UNT 1
NORWALK CA 90650

ASMT: 941050016, APN: 941050016
GLENOAK HILLS COMMUNITY ASSN
GLENOAK HILLS COMMUNITY ASSN
P O BOX 891
TEMECULA CA 92589

ASMT: 941050005, APN: 941050005
LAMANDA MOUNTS, ETAL
1433 SW 343TH PL
FEDERAL WAY WA 98023

ASMT: 941050017, APN: 941050017
DOMARINA PACE, ETAL
11 HOLLYLEAF
ALISO VIEJO CA 92653

ASMT: 941050006, APN: 941050006
YOUNG AI LEE, ETAL
37840 LUNA DR
TEMECULA, CA. 92592

ASMT: 941050018, APN: 941050018
JOY CAMPBELL, ETAL
40125 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941050007, APN: 941050007
HARRIETT TAFT
37850 LUNA DR
TEMECULA, CA. 92592

ASMT: 941050019, APN: 941050019
LORNA RAMIREZ, ETAL
5860 VILLA DR
ALTA LOMA CA 91737

ASMT: 941050013, APN: 941050013
LARRY MITCHNER
41451 VIA CORDOVA DR
TEMECULA, CA. 92592

ASMT: 941080019, APN: 941080019
ROSANNE VALLONE, ETAL
37955 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941050014, APN: 941050014
LUCINDA BAWDEN, ETAL
40455 VIA CORDOVA DR
TEMECULA, CA. 92592

ASMT: 941080021, APN: 941080021
MARY WALTERS, ETAL
38211 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941080022, APN: 941080022
SHERRY HILL, ETAL
P O BOX 1788
TEMECULA CA 92593

ASMT: 941080030, APN: 941080030
JOAN PRICE
801 JOHN BARROW RD NO 1
LITTLE ROCK AR 72205

ASMT: 941080023, APN: 941080023
AFSOON BAHARLOO, ETAL
37879 PRATT RD
TEMECULA CA 92592

ASMT: 941080031, APN: 941080031
BRENDA BEGG, ETAL
P O BOX 890691
TEMECULA CA 92589

ASMT: 941080024, APN: 941080024
EQUITY HOLDING CORP
C/O EQUITY HOLDING CORP
3275 E ROBERTSON BLVD STE
CHOWCHILLA CA 93610

ASMT: 941080032, APN: 941080032
CAROL HIGHFILL
39760 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080025, APN: 941080025
AYAKO ARIGA, ETAL
12200 GLINES CT
TUSTIN CA 92782

ASMT: 941080036, APN: 941080036
LAURA KINNEY
39775 CALLE BELLAGIO
TEMECULA CA 92592

ASMT: 941080026, APN: 941080026
TONI LACY
40930 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941080037, APN: 941080037
HUIMIN LI, ETAL
160 VIA FIESTA
NEWBURY PARK CA 91320

ASMT: 941080027, APN: 941080027
CHRISTIE HORTON, ETAL
40190 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080038, APN: 941080038
VICTOR COVARRUBIAS
39895 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941080029, APN: 941080029
JOYCE PROTEAU
542 S WOODLAND ST
ORANGE CA 92869

ASMT: 941080039, APN: 941080039
DENISE MILLER
32148 CALLE BALAREZA
TEMECULA CA 92592

ASMT: 941080040, APN: 941080040
JILL GOLDEN
37880 PRATT RD
TEMECULA, CA. 92592

ASMT: 941080047, APN: 941080047
NANCY HURTIENNE, ETAL
37925 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941080041, APN: 941080041
TANIA REUBEN, ETAL
38250 PRATT RD
TEMECULA, CA. 92592

ASMT: 941090002, APN: 941090002
JUDY CLODT, ETAL
PMB 70
30520 RANCHO CA RD NO 107
TEMECULA CA 92591

ASMT: 941080042, APN: 941080042
MARILYN WATSON, ETAL
37877 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941090004, APN: 941090004
ALFREDO CAMBEROS
38585 WILLY WAY
TEMECULA, CA. 92592

ASMT: 941080043, APN: 941080043
KARLYN DAVIS, ETAL
40055 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941090005, APN: 941090005
HARRY MARINOW
P O BOX 1480
SUNSET BEACH CA 90742

ASMT: 941080044, APN: 941080044
LJ, ETAL
41880 6TH ST
TEMECULA CA 92590

ASMT: 941090006, APN: 941090006
ALICE LIU, ETAL
40880 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 941080045, APN: 941080045
LUGO PROP
423 B OAKLAWN AVE
S PASADENA CA 91030

ASMT: 941090007, APN: 941090007
GRACIA LUMANG
10972 DEERING ST
SAN DIEGO CA 92126

ASMT: 941080046, APN: 941080046
JODI GARCIA, ETAL
9 MAINSAIL DR
HAMPTON VA 23664

ASMT: 941100002, APN: 941100002
FRASER DEV
40230 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941100006, APN: 941100006
DANA HOKANA
P O BOX 893369
TEMECULA CA 92589

ASMT: 941110019, APN: 941110019
WAYNE RICH
36200 CALLE PUERTA BONITA
TEMECULA CA 92592

ASMT: 941100017, APN: 941100017
NANCY BROWN, ETAL
40520 DEPORTOLA RD
TEMECULA, CA. 92592

ASMT: 941110020, APN: 941110020
DANIEL PILKINGTON
P O BOX 890237
TEMECULA CA 92589

ASMT: 941100018, APN: 941100018
PIEDRA DURA WINERY INC
39780 CUSHMAN CIR
TEMECULA CA 92592

ASMT: 941110021, APN: 941110021
JEAN VOSHALL, ETAL
39255 MARCUS DR
TEMECULA, CA. 92592

ASMT: 941110015, APN: 941110015
THESSALONIKA FAMILY SERVICES
P O BOX 890326
TEMECULA CA 92589

ASMT: 941110022, APN: 941110022
TIMOTHY TERRIO, ETAL
PO BOX 892739
TEMECULA CA 92589

ASMT: 941110016, APN: 941110016
KAREN MACINNES, ETAL
39480 AVENIDA BOGOTA
TEMECULA, CA. 92592

ASMT: 941110023, APN: 941110023
KAREN MASTRANGELO
39550 ANDROS
TEMECULA, CA. 92592

ASMT: 941110017, APN: 941110017
BRENDA WILES, ETAL
39602 AVENIDA BOGOTA
TEMECULA, CA. 92592

ASMT: 941110024, APN: 941110024
PAMELA ETHRIDGE HERBERT, ETAL
P O BOX 1262
MURRIETA CA 92564

ASMT: 941110018, APN: 941110018
DAVID MOREILLI
3450 N VERDUGO RD
GLENDALE CA 91208

ASMT: 941110026, APN: 941110026
LAURETTE NICOLL, ETAL
39588 MARCUS DR
TEMECULA, CA. 92592

ASMT: 941110027, APN: 941110027
GLORIA TUMBAGA
37535 GLENOAKS RD
TEMECULA CA 92592

ASMT: 941120017, APN: 941120017
JAMIE ENFIELD, ETAL
39245 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941110028, APN: 941110028
SHELLY BENDYKOWSKI, ETAL
39350 MARCUS DR
TEMECULA, CA. 92592

ASMT: 941120018, APN: 941120018
JANICE DEVENEY, ETAL
P O BOX 1374
NOVATO CA 94948

ASMT: 941110032, APN: 941110032
FRED FONG, ETAL
900 HONEYWOOD RD
LOS ANGELES CA 90049

ASMT: 941120019, APN: 941120019
HELEN STRANDBERG, ETAL
32961 CALLE SAN MARCOS
SAN JUAN CAPO CA 92675

ASMT: 941120013, APN: 941120013
DANA AVILA, ETAL
39239 CALLE BELLAGIO
TEMECULA CA 92592

ASMT: 941120020, APN: 941120020
MICHAEL WEISZ
39100 CALLE BELLAGIO LN
TEMECULA, CA. 92592

ASMT: 941120014, APN: 941120014
DEBORAH HOWELL, ETAL
30709 CENTAUR CT
TEMECULA CA 92592

ASMT: 941120021, APN: 941120021
DENISE DEBUS, ETAL
39303 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120015, APN: 941120015
BEVERLY SCHULTE, ETAL
39280 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120022, APN: 941120022
WESLEY HALL, ETAL
39309 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120016, APN: 941120016
MELINDA GORMAN, ETAL
39295 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120023, APN: 941120023
ROBERT GAMBLE, ETAL
39337 CALLE BELLAGIO
TEMECULA, CA. 92592

ASMT: 941120024, APN: 941120024
ANDREA BROWNING, ETAL
39357 CALLE BELLAGIO
TEMECULA, CA. 92590

ASMT: 941140031, APN: 941140031
JEAN CHANG, ETAL
PO BOX 6257
GARDEN GROVE CA 92846

ASMT: 941130008, APN: 941130008
BELLAGLEN LTD PARTNERSHIP
C/O JOHN MCLAUGHLIN
711 E IMPERIAL HWY NO 200
BREA CA 92821

ASMT: 941140032, APN: 941140032
CATHERINE GIBSON, ETAL
35230 LINDA ROSEA
TEMECULA CA 92592

ASMT: 941140022, APN: 941140022
EDWARD FINLEY, ETAL
36891 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 941150017, APN: 941150017
GAYLE FOGLER, ETAL
39695 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941140023, APN: 941140023
CLIFFORD NICHOLS
P O BOX 891657
TEMECULA CA 92589

ASMT: 941150018, APN: 941150018
MELINDA THOMAS, ETAL
33565 PAUBA RD
TEMECULA CA 92592

ASMT: 941140024, APN: 941140024
PATRICIA GONZALEZ, ETAL
39355 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941150019, APN: 941150019
JEAN FEMIA, ETAL
27475 YNEZ RD NO 377
TEMECULA CA 92591

ASMT: 941140025, APN: 941140025
DEBRA CARLSON, ETAL
39235 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941150020, APN: 941150020
LAURA DEMARTINEZ, ETAL
2970 NAU AVE
TUSTIN CA 92782

ASMT: 941140026, APN: 941140026
LARENA PENHALL, ETAL
37075 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 941150021, APN: 941150021
CASSANDRA SMITH WILLIAMS, ETAL
P O BOX 890912
TEMECULA CA 92589

ASMT: 941150022, APN: 941150022
KIMBERLY CERVANTES, ETAL
39720 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941150032, APN: 941150032
ROY HOLMES
39823 AVENIDA BRISA
TEMECULA, CA. 92592

ASMT: 941150023, APN: 941150023
JULIA SMITH, ETAL
PMB 104
31915 RCHO CALIF STE 200
TEMECULA CA 92591

ASMT: 941160007, APN: 941160007
CORONA DEL REY
C/O MARY CORONA
43915 CORONADO DR
TEMECULA CA 92592

ASMT: 941150024, APN: 941150024
RUSS MANN
39651 VIA CACHO
TEMECULA, CA. 92592

ASMT: 941170006, APN: 941170006
JO FRANGIPANI, ETAL
32174 CORTE ILLORA
TEMECULA CA 92592

ASMT: 941150025, APN: 941150025
JOANN ZALEWSKI STARRETT, ETAL
39705 VIA CACHO
TEMECULA, CA. 92592

ASMT: 941170007, APN: 941170007
JENNIFER BUFFINGTON, ETAL
39870 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941150028, APN: 941150028
TAMARA SANDON, ETAL
39450 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941170008, APN: 941170008
ROBERET REED
39950 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 941150030, APN: 941150030
MARIA ROBERTS
1910 ROBBINS ST
SANTA BARBARA CA 93101

ASMT: 941170009, APN: 941170009
MICHELLE FISHER
PO BOX 8658
MAMMOTH LAKES CA 93546

ASMT: 941150031, APN: 941150031
KARTHRYN YECOSCHENKO, ETAL
39797 AVENIDA BRISA
TEMECULA CA 92592

ASMT: 941180019, APN: 941180019
GAIL SIMS, ETAL
36680 MONTE DE ORO RD
TEMECULA, CA. 92592

ASMT: 941180020, APN: 941180020
SUSAN WITCHER, ETAL
29300 ANNANDALE RD
SUN CITY CA 92586

ASMT: 941180032, APN: 941180032
XIAOLAN XU, ETAL
79 DUNMORE
IRVINE CA 92620

ASMT: 941180021, APN: 941180021
SVETLANA MUSHIK, ETAL
40425 AVENIDA TREBOLO
TEMECULA, CA. 92592

ASMT: 941180033, APN: 941180033
GHAZALEA JAMES, ETAL
P O BOX 892142
TEMECULA CA 92589

ASMT: 941180023, APN: 941180023
CANDICE FLOCK
P O BOX 144
SAN JUAN CAPO CA 92693

ASMT: 941180034, APN: 941180034
COURTNEY ATNIP, ETAL
40180 MENG ASBURY RD
TEMECULA, CA. 92592

ASMT: 941180027, APN: 941180027
FRANCES DIAZ, ETAL
1542 W KNAPP DR
VISTA CA 92083

ASMT: 941180035, APN: 941180035
JULIE VANDAL, ETAL
40205 MENG ASBURY RD
TEMECULA CA 92592

ASMT: 941180028, APN: 941180028
THAMAR DRAPER, ETAL
37825 MONTE DE ORO RD
TEMECULA CA 92592

ASMT: 941180036, APN: 941180036
LISA NAKAKIHARA, ETAL
40225 MENG ASBURY RD
TEMECULA CA 92592

ASMT: 941180029, APN: 941180029
JOSEPHINE HAMPSON, ETAL
P O BOX 891231
TEMECULA CA 92589

ASMT: 941180037, APN: 941180037
JOSELEE SARMIENTO, ETAL
40305 MENG ASBURY RD
TEMECULA, CA. 92592

ASMT: 941180030, APN: 941180030
EFREN TERRAZAS
36950 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941180038, APN: 941180038
SILVIA FONSECA, ETAL
40425 MENG ASBURY RD
TEMECULA, CA. 92592

ASMT: 941190016, APN: 941190016
SUSAN SPENCER, ETAL
40300 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941190031, APN: 941190031
EVELYN GASTON, ETAL
39871 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190017, APN: 941190017
DNEVA DAMON
40200 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941190032, APN: 941190032
LYNNE THOMAS, ETAL
39939 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190018, APN: 941190018
LEONIDA BERRY, ETAL
24801 VIA SAN FERNANDO
MISSION VIEJO CA 92692

ASMT: 941190033, APN: 941190033
DONNA GENIS, ETAL
40570 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190019, APN: 941190019
PATRICIA GRIFFIN
40310 CARRE VISTA
TEMECULA, CA. 92592

ASMT: 941190034, APN: 941190034
DAWN BRENNAN, ETAL
39630 BEAUJOLAIS CT
TEMECULA, CA. 92592

ASMT: 941190024, APN: 941190024
MICHAEL BIGI
40 ROCKINGHAM DR
NEWPORT BEACH CA 92660

ASMT: 941190035, APN: 941190035
ELLEN CHRISTENSEN
39533 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190025, APN: 941190025
SUSAN ROWAN, ETAL
23020 BLUE BIRD DR
CANYON LAKE CA 92587

ASMT: 941190036, APN: 941190036
JESSE ROUX
39645 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190030, APN: 941190030
LYNDA PENNINGTON, ETAL
3717 PINEHURST ST
BAKERSFIELD CA 93306

ASMT: 941190037, APN: 941190037
JOANN DAVIS
39685 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190039, APN: 941190039
CIRILA PIATEK
40265 ARANDA ST
TEMECULA, CA. 92592

ASMT: 941200013, APN: 941200013
KRISTIN PETERS, ETAL
39446 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190040, APN: 941190040
SHARON FINCH, ETAL
P O BOX 891573
TEMECULA CA 92589

ASMT: 941200014, APN: 941200014
VICKI MASCARO, ETAL
10340 ATLANTIC
SOUTH GATE CA 90280

ASMT: 941190041, APN: 941190041
DIANA BLOCHL, ETAL
40295 ARANDA ST
TEMECULA, CA. 92591

ASMT: 941200015, APN: 941200015
HOLLY VOGT GUILLORY, ETAL
39155 CALLE ANITA RD
TEMECULA, CA. 92592

ASMT: 941190044, APN: 941190044
OLIVIA PAPA, ETAL
36628 MONTE DE ORO RD
TEMECULA CA 92592

ASMT: 941200016, APN: 941200016
GLORIA PEREZ, ETAL
39377 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941190046, APN: 941190046
OLIVIA PAPA, ETAL
36628 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941200017, APN: 941200017
SANDRA BURGHARD, ETAL
39415 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200004, APN: 941200004
TIFFINY WEBSTER, ETAL
36685 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 941200018, APN: 941200018
PAULA BURKE, ETAL
39455 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200005, APN: 941200005
JACQUELYN SHALLOW, ETAL
36655 KAYFOUR RD
TEMECULA, CA. 92592

ASMT: 941200019, APN: 941200019
RAE GAGNON, ETAL
39559 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941200022, APN: 941200022
VIOLETTE SHALOM, ETAL
3347 MANDEVILLE PL
ORANGE CA 92667

ASMT: 941210022, APN: 941210022
VIRGINIA TAFT, ETAL
36275 AVENIDA DE ACACIAS
TEMECULA, CA. 92592

ASMT: 941200027, APN: 941200027
QUEEN AYERS, ETAL
39350 CALLE ANITA
TEMECULA, CA. 92592

ASMT: 941210023, APN: 941210023
MARGARET MINTER, ETAL
36300 AVENIDA DE ACACIAS
TEMECULA CA 92592

ASMT: 941200028, APN: 941200028
RACHELL WOLFE, ETAL
2680 LOSSREAND AVE
HENDERSON NV 89044

ASMT: 941210024, APN: 941210024
NICOLETTE DENNEY
39580 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941200029, APN: 941200029
ROBERT OLSON
6842 LILLIAN LN
EDEN PRAIRIE MN 55346

ASMT: 941210025, APN: 941210025
CHERYL TOKLE, ETAL
36262 AVENIDA DE ACACIA
TEMECULA, CA. 92592

ASMT: 941200030, APN: 941200030
CAROL MUSULAS, ETAL
39470 CALLE ANITA RD
TEMECULA, CA. 92592

ASMT: 941210026, APN: 941210026
KRIS OLKO, ETAL
P O BOX 892753
TEMECULA CA 92589

ASMT: 941210020, APN: 941210020
ANDREA ABBES, ETAL
32238 FIRESIDE DR
TEMECULA CA 92592

ASMT: 941210027, APN: 941210027
VIRGINIA MACDONALD, ETAL
P O BOX 891389
TEMECULA CA 92589

ASMT: 941210021, APN: 941210021
JUDITH KING, ETAL
P O BOX 890352
TEMECULA CA 92589

ASMT: 941210028, APN: 941210028
EDRA MOULD
40121 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941210029, APN: 941210029
PEGGY BECK, ETAL
40103 BELLA VISTA
TEMECULA, CA. 92592

ASMT: 941220001, APN: 941220001
ANITA BUSTILLOS, ETAL
39710 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941210030, APN: 941210030
FRANK CARRILLO
36515 CALLE ARCARO
TEMECULA, CA. 92592

ASMT: 941220002, APN: 941220002
MINDA SZULC, ETAL
36210 TONTO LN
TEMECULA, CA. 92592

ASMT: 941210031, APN: 941210031
SUSAN FRANKS, ETAL
40085 BELLA VIST RD
TEMECULA, CA. 92592

ASMT: 941220003, APN: 941220003
SCOTT DANIELS
39776 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941210032, APN: 941210032
ANN EICHBERGER
36481 CALLE ARCARO
TEMECULA CA 92592

ASMT: 941220004, APN: 941220004
MODESTA ROMERO, ETAL
39774 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941210033, APN: 941210033
ANN EICHBERGER
36481 CALLE ARCARO RD
TEMECULA, CA. 92592

ASMT: 941220015, APN: 941220015
EVANGELINA HAJJAR, ETAL
36200 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941210034, APN: 941210034
JENNIFER ROWLAND, ETAL
40063 BELLA VISTA RD
TEMECULA CA 92592

ASMT: 941220016, APN: 941220016
JOHN VANDERLANS
36260 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 941210035, APN: 941210035
RYAN TRIMBLE, ETAL
40041 BELLA VISTA RD
TEMECULA, CA. 92592

ASMT: 941220017, APN: 941220017
CATHERINE MCDERMOTT
P O BOX 890684
TEMECULA CA 92589

ASMT: 941220018, APN: 941220018
DOREEN RANNALS, ETAL
39890 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 941230001, APN: 941230001
LORENZI ESTATE WINES INC
C/O DON LORENZI
3400 CENTRAL AVE STE 160
RIVERSIDE CA 92506

ASMT: 941220019, APN: 941220019
KATHLEEN JACOBSEN, ETAL
STE A422
33175 STATE HWY 79
TEMECULA CA 92592

ASMT: 941230004, APN: 941230004
PATRICIA NADEAU, ETAL
40170 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941220020, APN: 941220020
EVANGELINA HAJJAR, ETAL
36200 MONTE DR ORO
TEMECULA CA 92592

ASMT: 941230005, APN: 941230005
RODNEY TOPKOV
33209 OLD HWY 74
HEMET CA 92845

ASMT: 941220023, APN: 941220023
TAD WUERTZ
36345 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941230006, APN: 941230006
SANDRA M FAMILY TRUST, ETAL
40350 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941220024, APN: 941220024
MICHAEL SUAREZ
36325 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941230007, APN: 941230007
HELEN KIM, ETAL
40070 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941220025, APN: 941220025
BETTY JAMIESON DUNNE
36395 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941230010, APN: 941230010
ROLAND TANG, ETAL
2219 CLOVERFIELD BLVD
SANTA MONICA CA 90405

ASMT: 941220026, APN: 941220026
MAUREEN KEO, ETAL
36370 FINO VISTA LN
TEMECULA, CA. 92592

ASMT: 941230011, APN: 941230011
MYUNG KIM, ETAL
P O BOX 1358
GARDEN GROVE CA 92842

ASMT: 941260002, APN: 941260002
EMILY EHRENFELD, ETAL
28565 E VALLEJO AVE
TEMECULA CA 92592

ASMT: 941260009, APN: 941260009
MANISHA RAHEJA, ETAL
1509 VIA CORONEL
PALOS VERDES EST CA 90274

ASMT: 941260003, APN: 941260003
MARILYN PHELPS, ETAL
40885 VIA CHAMPAGNE
TEMECULA, CA. 92592

ASMT: 941260010, APN: 941260010
KIMBERLY HUESING, ETAL
36410 CALLE PUERTA BONIT
TEMECULA, CA. 92592

ASMT: 941260004, APN: 941260004
LISA CROSATO, ETAL
40825 VIA CHAMPAGNE
TEMECULA, CA. 92592

ASMT: 941260011, APN: 941260011
ALAN RONSKA
40810 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941260005, APN: 941260005
LORNA RAMIREZ, ETAL
40795 VIA CHAMPAGNE
TEMECULA, CA. 92592

ASMT: 941270019, APN: 941270019
MURIEL WALKER
36211 CALLE PUERTO BONIT
TEMECULA, CA. 92592

ASMT: 941260006, APN: 941260006
STEPHEN HUNTINGTON
36280 VIA CHAMPAGNE
TEMECULA CA 92592

ASMT: 941270020, APN: 941270020
PATRICK CUNNINGHAM
36333 CALLE PUERTO BONIT
TEMECULA, CA. 92592

ASMT: 941260007, APN: 941260007
PAMELA HELMLE, ETAL
36320 VIA BURGUNDY
TEMECULA, CA. 92592

ASMT: 941270021, APN: 941270021
ANN THOMAS, ETAL
17302 KAMORI CIR
GARDENA CA 90247

ASMT: 941260008, APN: 941260008
KIRSTEN THORNBURG, ETAL
36351 VIA BURGANDY
TEMECULA, CA. 92592

ASMT: 941270022, APN: 941270022
MOLLY NEWMAN, ETAL
36420 CALLE PUERTO BONIT
TEMECULA, CA. 92592

ASMT: 941270023, APN: 941270023
NANCY DUARTE, ETAL
P O BOX 890314
TEMECULA CA 92589

ASMT: 941270031, APN: 941270031
RAFAEL DUARTE
P O BOX 891972
TEMECULA CA 92589

ASMT: 941270024, APN: 941270024
JOAQUIN CAMPOS
24815 GEORGIA SUE
LAGUNA HILLS CA 92653

ASMT: 941270032, APN: 941270032
DEBERA PUGNALE, ETAL
36279 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941270025, APN: 941270025
LINDA NILSEN, ETAL
43980 MAHLON VAIL RD 2804
TEMECULA CA 92592

ASMT: 941270033, APN: 941270033
RABEAH SACKETT, ETAL
36311 VIA EL PAIS BONITA
TEMECULA, CA. 92592

ASMT: 941270026, APN: 941270026
AUGUSTA SORIYA, ETAL
36450 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941270034, APN: 941270034
LORI SPINELLA, ETAL
33175 TEMECULA PKY STE A
TEMECULA CA 92592

ASMT: 941270027, APN: 941270027
ROCA MANAGEMENT
2920 BLAKEMAN AVE
ROWLAND HEIGHTS CA 91748

ASMT: 941270035, APN: 941270035
ANDREAS WOLF
91 ADELFA ST
LADERA RANCH CA 92694

ASMT: 941270028, APN: 941270028
ROSEMARY SMITH, ETAL
P O BOX 1047
TEMECULA CA 92593

ASMT: 941270036, APN: 941270036
RICK ABRAHAMS
36475 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941270029, APN: 941270029
MARIAN HARRISON, ETAL
36210 VIA EL PAIS
TEMECULA, CA. 92592

ASMT: 941300001, APN: 941300001
FRASER VINEYARDS
C/O ROBERT F OLSON
39933 BELLA VISTA RD
TEMECULA CA 92592

ASMT: 941300006, APN: 941300006
MARGARET GRANLUND, ETAL
38660 DE PORTOLA
TEMECULA, CA. 92592

ASMT: 941300013, APN: 941300013
TANYA GAITAN, ETAL
PO BOX 1612
TEMECULA CA 92593

ASMT: 941300007, APN: 941300007
MARGARET GRANLUND, ETAL
38660 DE PORTOLA RD
TEMECULA CA 92592

ASMT: 941320004, APN: 941320004
PATRICIA LIN
C/O EUSTON HOMES
910 CAMINO DEL MAR NO A
DEL MAR CA 92014

ASMT: 941300008, APN: 941300008
NANCY LAPOINTE
38440 DE PORTOLA RD
TEMECULA, CA. 92592

ASMT: 942020001, APN: 942020001
CASERMAN DORIS K REVOCABLE LIVING TRUST
C/O DORIS CASERMAN
4170 ELM NO 213
LONG BEACH CA 90807

ASMT: 941300009, APN: 941300009
ARAX KARALIAN, ETAL
44285 PHELPS ST
TEMECULA CA 92592

ASMT: 942020002, APN: 942020002
DARAN ENTERPRISES
42772 ALMOND GROVE CIR
MURRIETA CA 92562

ASMT: 941300010, APN: 941300010
PATRICIA GARCIA, ETAL
36760 BIANCA WAY
TEMECULA, CA. 92592

ASMT: 942020003, APN: 942020003
KAY HOWELL
38999 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 941300011, APN: 941300011
HEIDI RUSTIN, ETAL
32635 ROTHENBERG DR
TEMECULA CA 92592

ASMT: 942020005, APN: 942020005
LYNDA HERREID
P O BOX 890243
TEMECULA CA 92589

ASMT: 941300012, APN: 941300012
JEANNE ANDERSON, ETAL
36765 BIANCA WAY
TEMECULA CA 92592

ASMT: 942030004, APN: 942030004
ALICE KAMEYA
9352 OASIS AVE
WESTMINSTER CA 92683

ASMT: 942030005, APN: 942030005
GLORIA CHAVIRA, ETAL
1100 VERA CRUZ ST
MONTEBELLO CA 90640

ASMT: 942040008, APN: 942040008
DIANE LOS, ETAL
22436 ATOMO
MISSION VIEJO CA 92692

ASMT: 942030007, APN: 942030007
HUDSON WALNUT GROUP
P O BOX 307
LA CANADA CA 91012

ASMT: 942040009, APN: 942040009
IRMA TORRES, ETAL
C/O MARIBEL TORRES
20784 SAGE ST
PERRIS CA 92570

ASMT: 942030009, APN: 942030009
RICHARD WILSON, ETAL
C/O JILL G WILSON
848 HANOVER ST
SANTA CRUZ CA 95062

ASMT: 942040010, APN: 942040010
SARA HOSTETLER
39375 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942030010, APN: 942030010
KARIN SHIEH, ETAL
22701 OXNARD ST
WOODLAND HILLS CA 91367

ASMT: 942040011, APN: 942040011
SHARON EILAT
36123 FOX HOLLOW RD
TEMECULA, CA. 92592

ASMT: 942040001, APN: 942040001
JAN STJOHN, ETAL
39155 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942040012, APN: 942040012
RENEE LASETER, ETAL
36120 FOX HOLLOW
TEMECULA, CA. 92592

ASMT: 942040002, APN: 942040002
REBECCA DOUGLAS, ETAL
39241 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942040013, APN: 942040013
SALLY HERNANDEZ
39311 CAMINO DEL VINO ST
TEMECULA, CA. 92592

ASMT: 942040003, APN: 942040003
JODY LOWELL, ETAL
C/O JODY A LOWELL
2799 PALA MESA LN
FALLBROOK CA 92028

ASMT: 942050002, APN: 942050002
DEBORAH STOFFEL, ETAL
36015 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942050003, APN: 942050003
KRISTY MILTON, ETAL
P O BOX 890835
TEMECULA CA 92589

ASMT: 942050013, APN: 942050013
LINDA DOTSON, ETAL
39695 CAMINO DEL VINO
TEMECULA CA 92592

ASMT: 942050007, APN: 942050007
BUCHANAN LEGACY LTD PARTNERSHIP, ETAL
36005 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942050014, APN: 942050014
FRANK AGLIO
36101 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942050008, APN: 942050008
JACQUELINE KILLEN, ETAL
P O BOX 891557
TEMECULA CA 92589

ASMT: 942060001, APN: 942060001
VIRGINIA MURPHY, ETAL
P O BOX 892890
TEMECULA CA 92589

ASMT: 942050009, APN: 942050009
KATHLEEN HOWARD, ETAL
39600 MILKWEED WAY
TEMECULA, CA. 92592

ASMT: 942060002, APN: 942060002
DJK2
C/O KAT BAILEY
35450 CALLE NOPAL
TEMECULA CA 92592

ASMT: 942050010, APN: 942050010
J RAMSAY CROP, ETAL
P O BOX 607
TEMECULA CA 92593

ASMT: 942060007, APN: 942060007
CHRISTOPHER VITOLO, ETAL
35675 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942050011, APN: 942050011
LISA AGLIO, ETAL
39621 AVENIDA ASCENCION
TEMECULA, CA. 92592

ASMT: 942060008, APN: 942060008
BELINDA WILDMAN, ETAL
39300 CAMINO DE MAGNOLIA
TEMECULA, CA. 92592

ASMT: 942050012, APN: 942050012
RICHARD CARSON, ETAL
P O BOX 892573
TEMECULA CA 92589

ASMT: 942060009, APN: 942060009
SHIHO SEKI, ETAL
39301 CAMINO DE MAGNOLIA
TEMECULA, CA. 92592

ASMT: 942060010, APN: 942060010
MARIO LOPEZ, ETAL
39370 CAMINO DE MAGNOLIA
TEMECULA, CA. 92592

ASMT: 942060020, APN: 942060020
MICHAELA MUIR, ETAL
PO BOX 892392
TEMECULA CA 92589

ASMT: 942060013, APN: 942060013
EVELYN LEITHEIM, ETAL
35925 GLENOAKS RD
TEMECULA, CA. 92592

ASMT: 942060021, APN: 942060021
JO RAYMOND, ETAL
101 MAXIMO WAY
PALM DESERT CA 92260

ASMT: 942060015, APN: 942060015
LYNNE SORRENTINO
35581 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942070012, APN: 942070012
PATRICIA SIVERT, ETAL
35770 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942060016, APN: 942060016
PATRICIA WELCH
35615 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942070016, APN: 942070016
GEOFFREY WILSEY
39885 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942060017, APN: 942060017
ALVIN WALKER
35635 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942070017, APN: 942070017
CHERYL ENGLISH, ETAL
39875 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942060018, APN: 942060018
PATRICIA BRICKER, ETAL
35595 GLEN OAKS RD
TEMECULA, CA. 92592

ASMT: 942070018, APN: 942070018
CHERYL HUDSON, ETAL
39725 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942060019, APN: 942060019
MICHAELA MUIR, ETAL
P O BOX 892392
TEMECULA CA 92583

ASMT: 942070020, APN: 942070020
DAVIDA DAVIES, ETAL
35610 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942070021, APN: 942070021
DEBBI EDRINGTON, ETAL
35690 MONTE DE ORO RD
TEMECULA, CA. 92592

ASMT: 942070032, APN: 942070032
DONNA GRIFFIN, ETAL
NO 200 253
31915 RANCHO CALIF RD
TEMECULA CA 92591

ASMT: 942070022, APN: 942070022
LORILYN TEASDALE, ETAL
35700 MONTE DE ORO
TEMECULA, CA. 92591

ASMT: 942070033, APN: 942070033
LOU ANN BEGGS FAM TR, ETAL
C/O MICHAEL L LOPEZ
39590 DE MARQUEZ
TEMECULA, CA. 92592

ASMT: 942070023, APN: 942070023
ELISA NIEDERECKER, ETAL
P O BOX 890337
TEMECULA CA 92589

ASMT: 942070035, APN: 942070035
PAULA NATALE KISGEN, ETAL
35566 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942070028, APN: 942070028
SHERRY ZITA, ETAL
39575 DE MARQUEZ CT
TEMECULA, CA. 92592

ASMT: 942080006, APN: 942080006
ELENA LUGO, ETAL
39470 COLLEEN WAY
TEMECULA CA 92592

ASMT: 942070029, APN: 942070029
JOSEFINA MURRAY, ETAL
39555 DE MARQUEZ CT
TEMECULA, CA. 92592

ASMT: 942080007, APN: 942080007
KATHLEEN BRIERLEY, ETAL
39480 COLLEEN WAY
TEMECULA CA 92592

ASMT: 942070030, APN: 942070030
ROBYN WRIGHT, ETAL
P O BOX 890066
TEMECULA CA 92589

ASMT: 942080008, APN: 942080008
THERESA GARCIA, ETAL
35622 BALSAMINA CT
TEMECULA, CA. 92592

ASMT: 942070031, APN: 942070031
YIANOULA WARNE, ETAL
39505 DE MARQUEZ CT
TEMECULA CA 92592

ASMT: 942080009, APN: 942080009
CHERYL DORFNER, ETAL
35632 BALSAMINA CT
TEMECULA, CA. 92591

ASMT: 942080016, APN: 942080016
ANA YURI
41541 LAKE RIVERSIDE DR
AGUANGA CA 92536

ASMT: 942080027, APN: 942080027
VIVIEN KIRDPHU, ETAL
39333 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080017, APN: 942080017
SHARON DRAKE, ETAL
39390 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080028, APN: 942080028
MORIAH HOLDINGS
7040 AVENIDA ENCINAS NO104
CARLSBAD CA 92011

ASMT: 942080018, APN: 942080018
DENISE GLESS, ETAL
39450 COLLEEN
TEMECULA, CA. 92592

ASMT: 942080029, APN: 942080029
SUSAN BRAY, ETAL
39485 COLLEEN WAY
TEMECULA CA 92592

ASMT: 942080019, APN: 942080019
LISA ROTHENBERG
2820 DEERPARK DR
SAN DIEGO CA 92110

ASMT: 942080030, APN: 942080030
MICHELLE BLACK, ETAL
35475 BALSAMINA CT
TEMECULA, CA. 92592

ASMT: 942080024, APN: 942080024
JESSICA WILSON, ETAL
49344 BLACK MOUNTAIN CT
AGUANGA CA 92536

ASMT: 942080031, APN: 942080031
JUDY PALTSITS
P O BOX 894136
TEMECULA CA 92589

ASMT: 942080025, APN: 942080025
LOLA WHITESIDE, ETAL
P O BOX 891838
TEMECULA CA 92589

ASMT: 942080032, APN: 942080032
GLENDA HAAS, ETAL
39433 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080026, APN: 942080026
GTE CALIF INC
C/O GTE ATTN GARY WILLIAMS HQCO2G08
P O BOX 152206
IRVING TX 75015

ASMT: 942080033, APN: 942080033
ROBIN SWEENEY, ETAL
39570 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942080039, APN: 942080039
KAROL SIMMS, ETAL
4 CRESWELL CT
GREENSBORO NC 27407

ASMT: 942100024, APN: 942100024
VERONICA KERRAVCIC, ETAL
39205 AVENIDA ANTONOVICH
TEMECULA, CA. 92591

ASMT: 942080040, APN: 942080040
ANNEMARIE WISHEK, ETAL
39512 COLLEEN WAY
TEMECULA, CA. 92592

ASMT: 942100025, APN: 942100025
ANTHONY VOORHIES
39150 AVENIDA ANTONOVICH
TEMECULA, CA. 92591

ASMT: 942090001, APN: 942090001
RICHARD CHEN
3812 KIRKWOOD AVE
ORANGE CA 92869

ASMT: 942100028, APN: 942100028
PATRICIA EGGERS, ETAL
P O BOX 893896
TEMECULA CA 92589

ASMT: 942090014, APN: 942090014
ROBBY BACA, ETAL
35300 LOMA VENTOSO LN
TEMECULA, CA. 92592

ASMT: 942100029, APN: 942100029
ROBERT PETRISIN
32290 CORTE SAN VINCENTE
TEMECULA CA 92592

ASMT: 942090015, APN: 942090015
THERESA DUNCAN, ETAL
35350 LOMA VENTOSA LN
TEMECULA CA 92592

ASMT: 942100030, APN: 942100030
MARIA NEGRETE, ETAL
39060 AVENIDA ANTONOVICH
TEMECULA, CA. 92592

ASMT: 942090016, APN: 942090016
LAURA PAULK, ETAL
23445 CARANCHO RD
TEMECULA CA 92590

ASMT: 942100033, APN: 942100033
YU GU
39250 HILT RD
TEMECULA, CA. 92591

ASMT: 942100023, APN: 942100023
SHEENA CATHEY, ETAL
39195 AVENIDA ANTONOVICH
TEMECULA, CA. 92591

ASMT: 942100034, APN: 942100034
SANDRA HUTCHINSON, ETAL
39460 HILT RD
TEMECULA, CA. 92591

ASMT: 942100035, APN: 942100035
WILLIAM LEO
37895 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 942110013, APN: 942110013
JENIFER WILSON, ETAL
39410 BRENDA RD
TEMECULA CA 92591

ASMT: 942100036, APN: 942100036
GLADYS UHRICH
37161 VAN GAALE LN
MURRIETA CA 92563

ASMT: 942120005, APN: 942120005
MARISSA DEEGAN, ETAL
34515 BUCK RD
TEMECULA, CA. 92592

ASMT: 942100040, APN: 942100040
PATRICIA SAKATA, ETAL
36580 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 942120007, APN: 942120007
JAMES CARTER
3719 S PLAZA DR
SANTA ANA CA 92704

ASMT: 942100041, APN: 942100041
LAURA REYES, ETAL
37000 BUCK RD
TEMECULA, CA. 92591

ASMT: 942130007, APN: 942130007
ANNIE LEE, ETAL
C/O CAU LUU
6519 HAVENWOOD CIR
HUNTINGTON BEACH CA 92648

ASMT: 942100042, APN: 942100042
SUSAN GREENE, ETAL
37100
TEMECULA, CA. 92591

ASMT: 942130008, APN: 942130008
NEILSIE TEGEL, ETAL
31592 MENDOCINO CT
TEMECULA CA 92592

ASMT: 942110006, APN: 942110006
LINA PHILLIPS, ETAL
P O BOX 890823
TEMECULA CA 92589

ASMT: 942130009, APN: 942130009
DEANNA YAP, ETAL
1355 STONE MEADOW CT
CAMARILLO CA 93010

ASMT: 942110012, APN: 942110012
JENNIFER WILSON, ETAL
35960 RANCHO CALIF RD
TEMECULA CA 92591

ASMT: 942130010, APN: 942130010
MY CAMPUS
2278 COUNTRY CLUB LOOP
WESTMINSTER CO 80234

ASMT: 942130011, APN: 942130011
ALICE SIMONIAN, ETAL
342 N NORTON AVE
LOS ANGELES CA 90004

ASMT: 942140003, APN: 942140003
YURI FARBER
161 CLIFF RD
PORT JEFFERSON NY 11777

ASMT: 942130014, APN: 942130014
EVELYN BREHM, ETAL
41869 VARDON DR
TEMECULA CA 92591

ASMT: 942140009, APN: 942140009
JOAN ZUPKAS
1280 ARCHER ST
SAN DIEGO CA 92109

ASMT: 942130016, APN: 942130016
DANA HOWE
2106 CRYSTAL DOWNS
CORONA CA 92881

ASMT: 942150006, APN: 942150006
LANI RAGER
39695 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942130017, APN: 942130017
SUNDALE INV
40673 CEBU ST
TEMECULA CA 92591

ASMT: 942150007, APN: 942150007
EDNA BARNES, ETAL
39615 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942130018, APN: 942130018
RHONDA CORTES, ETAL
45640 CORTE ROYAL
TEMECULA CA 92592

ASMT: 942150008, APN: 942150008
JENNIFER WELTY, ETAL
39450 SOLIDAGO RD
TEMECULA, CA. 92591

ASMT: 942130019, APN: 942130019
DANA HOWE
2106 CRYSTAL DOWNS DR
CORONA CA 92883

ASMT: 942150010, APN: 942150010
JAN SCHNEIDER, ETAL
39345 SOLIDAGO
TEMECULA CA 92591

ASMT: 942140001, APN: 942140001
MICHELLE RUCKER
32237 CALLESITO FADRIQUE
TEMECULA CA 92592

ASMT: 942150011, APN: 942150011
INDRANI GILL, ETAL
56 TIMOR SEA
NEWPORT COAST CA 92657

ASMT: 942160004, APN: 942160004
SHERYL MARSH, ETAL
P O BOX 890397
TEMECULA CA 92589

ASMT: 942160023, APN: 942160023
ST CLAIR BEEMAN
39793 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942160005, APN: 942160005
RHONDA SCHIEWE, ETAL
P O BOX 892546
TEMECULA CA 92589

ASMT: 942160024, APN: 942160024
LORRAINE WELTY, ETAL
39650 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942160016, APN: 942160016
DONNA BLANCHARD
39815 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942160027, APN: 942160027
JOHN CARTER
23905 CLINTON KEITH 114
WILDOMAR CA 92595

ASMT: 942160019, APN: 942160019
CHRISTINE DECKER, ETAL
39700 BERENDA RD
TEMECULA CA 92591

ASMT: 942170008, APN: 942170008
WILSON CREEK FAMILY
35960 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 942160020, APN: 942160020
HARRY CARTWRIGHT
39635 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942170009, APN: 942170009
WILSON CREEK FAMILY
35960 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 942160021, APN: 942160021
JIERANAI MAIER, ETAL
P O BOX 891203
TEMECULA CA 92589

ASMT: 942170013, APN: 942170013
OGB PARTNERS
C/O KEN ZIGNORSKY
35820 RANCHO CALIF RD
TEMECULA CA 92591

ASMT: 942160022, APN: 942160022
SHIRLEY SCOFIELD, ETAL
39745 JEREMIAH RD
TEMECULA, CA. 92591

ASMT: 942180005, APN: 942180005
AMERICAN ASIA HOLDINGS
NO 3
2600 MICHELSON DR 17TH FL
IRIVINE CA 92612

ASMT: 942190009, APN: 942190009
SOUTHERN CALIFORNIA EDISON CO
14799 CHESTNUT ST
WESTMINSTER CA 92683

ASMT: 942200007, APN: 942200007
CITLALLI MURRAY, ETAL
40125 CAMINO DEL VINO
TEMECULA, CA. 92592

ASMT: 942190012, APN: 942190012
LANFLISI II, ETAL
SOUTH TOWER NO 2011
2170 CENTURY PARK E
LOS ANGELES CA 90067

ASMT: 942200010, APN: 942200010
PATRICIA BROWN, ETAL
P O BOX 891836
TEMECULA CA 92589

ASMT: 942190013, APN: 942190013
MICHAEL URMAN
35555 MONTE DE ORO RD
TEMECULA, CA. 92592

ASMT: 942200011, APN: 942200011
PALUMBO FAMILY PROP
C/O NICHOLAS PALUMBO
P O BOX 89202
TEMECULA CA 92589

ASMT: 942190014, APN: 942190014
MAY LORAH, ETAL
35767 VIA LAS RAMBLAS
TEMECULA CA 92592

ASMT: 942200012, APN: 942200012
CINDY YOST
35615 MONTE DE ORO
TEMECULA, CA. 92592

ASMT: 942190016, APN: 942190016
PAUL BENEVIDES
C/O SPECIALTY METALS INDUSTRIES
P O BOX 890293
TEMECULA CA 92589

ASMT: 942200014, APN: 942200014
PALUMBO FAMILY PROP
C/O NICHOLAS PALUMBO
P O BOX 893202
TEMECULA CA 92589

ASMT: 942200005, APN: 942200005
INGEBORG HEINZELMANN, ETAL
C/O MONTE VINO VISTA
43015 BLACKDEER LOOP 105
TEMECULA CA 92590

ASMT: 942210013, APN: 942210013
GRAPEROAD
C/O CLAUDIO PONTE
725 W VENTURA BL NO F
CAMARILLO CA 93010

ASMT: 942200006, APN: 942200006
REGINA SANCHEZ, ETAL
PO BOX 892136
TEMECULA CA 92589

ASMT: 942210014, APN: 942210014
MICHAEL MCMILLAN
P O BOX 35
TEMECULA CA 92593

ASMT: 942210017, APN: 942210017
PATRICIA MCMILLAN, ETAL
29379 RCH CALIFORNIA 201
TEMECULA CA 92591

ASMT: 942230016, APN: 942230016
STEPHEN MCMENAMIN, ETAL
2121 SKYLINE DR
FULLERTON CA 92831

ASMT: 942230008, APN: 942230008
WIENS CELLARS
35055 VIA DEL PONTE
TEMECULA, CA. 92592

ASMT: 942230017, APN: 942230017
LULU MAZENOD, ETAL
28910 INDIAN VALLEY RD
RCH PALOS VERDES CA 90275

ASMT: 942230009, APN: 942230009
MERI ROSA PRYCE, ETAL
38589 HILLSIDE TRAIL DR
MURRIETA CA 92562

ASMT: 942230018, APN: 942230018
PVI INV
725 W VENTURA BLV STE F
CAMARILLO CA 93010

ASMT: 942230010, APN: 942230010
BRENWEST LEASING
27440 BOSTIK CT
TEMECULA CA 92590

ASMT: 942230025, APN: 942230025
PVI INV
C/O CLAUDIO PONTE
725 W VENTURA BLV NO F
CAMARILLO CA 93010

ASMT: 942230012, APN: 942230012
PVI INV LP
725 VIA DEL PONTE
TEMECULA CA 92592

ASMT: 942230029, APN: 942230029
THOMAS CRAMER
40970 ANZA RD
TEMECULA CA 92592

ASMT: 942230014, APN: 942230014
PVI INV LP
725 W VENTURA BL STE F
CAMARILLO CA 93010

ASMT: 942240006, APN: 942240006
LASSALETTE ENTERPRISES, ETAL
C/O GARY MCMILLIAM
29379 RANCHO CALIF RD 201
TEMECULA CA 92591

ASMT: 942230015, APN: 942230015
DEBRA MCCASLIN, ETAL
P O BOX 890159
TEMECULA CA 92589

ASMT: 942250026, APN: 942250026
KATHLEEN MORRIN, ETAL
39770 ANZA RD
TEMECULA CA 92591

ASMT: 942250027, APN: 942250027
DAWN OWEN, ETAL
39790 ANZA RD
TEMECULA, CA. 92591

ASMT: 942250037, APN: 942250037
KIMBERLY RUSSELL, ETAL
14750 NATALIE DR
WHITTIER CA 90604

ASMT: 942250031, APN: 942250031
MELINDA OURSLER
40075 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250038, APN: 942250038
JOSE RENTERIA
36996 RANCH HOUSE RD
MURRIETA CA 92563

ASMT: 942250032, APN: 942250032
ORLANDO DEVIS
4754 W 132ND ST
HAWTHORNE CA 90250

ASMT: 942250039, APN: 942250039
LYNN SAUNDERS, ETAL
39825 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250033, APN: 942250033
MELISSA WONACOTT, ETAL
40035 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250040, APN: 942250040
THERESA LEE, ETAL
39845 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250034, APN: 942250034
WILFRED CRISMAN
529 LAS LOMAS RD
DUARTE CA 91010

ASMT: 942250041, APN: 942250041
SARA PEREZ, ETAL
39801 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250035, APN: 942250035
MARIKA VIERLING
40001 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250042, APN: 942250042
DANIEL BARNARD
39800 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250036, APN: 942250036
KEIRA LARA, ETAL
34555 HUSBAND COVE
TEMECULA, CA. 92591

ASMT: 942250043, APN: 942250043
LINDA RAY
39810 BERENDA RD
TEMECULA CA 92591

ASMT: 942250044, APN: 942250044
JUDITH FOSTER FLUEGGE
38830 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942250054, APN: 942250054
LORIMAR PROP
C/O LAWRENCE LIPTON
39990 ANZA RD
TEMECULA, CA. 92591

ASMT: 942250045, APN: 942250045
CAROL MITCHELLA, ETAL
39820 BERENDA RD
TEMECULA, CA. 92591

ASMT: 942260003, APN: 942260003
ROCHELLE RAND
P O BOX 124725
SAN DIEGO CA 92112

ASMT: 942250046, APN: 942250046
LUCY BISHOP
39860 BERENDA RD
TEMECULA, CA. 92591

ASMT: 943020012, APN: 943020012
PERCY BUSTES, ETAL
40110 BUTTERFIELD STAGE RD
TEMECULA, CA. 92591

ASMT: 942250047, APN: 942250047
LISA ASHE, ETAL
39886 BERENDA RD
TEMECULA, CA. 92591

ASMT: 943020013, APN: 943020013
MARY LARA, ETAL
P O BOX 890459
TEMECULA CA 92589

ASMT: 942250048, APN: 942250048
MIA LEITMAN, ETAL
39900 BERENDA RD
TEMECULA, CA. 92591

ASMT: 943020014, APN: 943020014
KHATIDJA SORAH, ETAL
32050 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 942250049, APN: 942250049
MARIA MURILLO, ETAL
39940 BERENDA RD
TEMECULA, CA. 92591

ASMT: 943020015, APN: 943020015
NICHOLE SWEETON, ETAL
32100 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 942250051, APN: 942250051
DEBRA THOMPSON
39950 ANZA RD
TEMECULA, CA. 92591

ASMT: 943020017, APN: 943020017
MARY JONES, ETAL
P O BOX 890343
TEMECULA CA 92589

ASMT: 943020018, APN: 943020018
JENNIFER HOLT, ETAL
32135 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943030009, APN: 943030009
GRACE LEE
NO 110-216
5300 BEACH BLVD
BUENA PARK CA 90621

ASMT: 943020019, APN: 943020019
ROMANA POKORNY PIRES, ETAL
6260 E PALO ALTO DR
ANAHEIM CA 92807

ASMT: 943030010, APN: 943030010
RESORT, ETAL
38240 CAMARADA LN
MURRIETA CA 92563

ASMT: 943020020, APN: 943020020
CINDY VICE, ETAL
32200 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943030011, APN: 943030011
VINEYARDS OF VISTA DEL MONTE
C/O KEN ZIGNORSKI
35820 RNCHO CALIFORNIA RD
TEMECULA CA 92591

ASMT: 943020021, APN: 943020021
MARVIN SMOTRICH, ETAL
72789 CATSPAW CT
RANCHO MIRAGE CA 92270

ASMT: 943040003, APN: 943040003
DAYNA COLLOM, ETAL
32032 LA SERENA WAY
TEMECULA, CA. 92591

ASMT: 943030006, APN: 943030006
SPERO RANCH
C/O MARK WOODSMALL
1030 S ARROYO PKY NO 11
PASADENA CA 91105

ASMT: 943040004, APN: 943040004
KL INV CO
16288 CAMEO ST
WHITTIER CA 90604

ASMT: 943030007, APN: 943030007
SPERO VINEYARDS
1030 S ARROYO PKY NO 115
PASADENA CA 91105

ASMT: 943040007, APN: 943040007
LAURA HART, ETAL
1617 PORT AVE
TORRANCE CA 90501

ASMT: 943030008, APN: 943030008
ELLEN SHELL, ETAL
3441 CLAIRTON PL
ENCINO CA 91436

ASMT: 943040008, APN: 943040008
LAURA HART, ETAL
1617 POST AVE
TORRANCE CA 90501

ASMT: 943040009, APN: 943040009
STACY NELSON, ETAL
40483 VIA GAMAY WAY
TEMECULA, CA. 92591

ASMT: 943050012, APN: 943050012
JULIE HOLTMAN, ETAL
32610 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943040012, APN: 943040012
EPIC MANAGEMENT GROUP
42225 REMINGTON AVE NO A5
TEMECULA CA 92590

ASMT: 943050013, APN: 943050013
MARY WILLIS, ETAL
32925 VISTA DE ORO
TEMECULA, CA. 92591

ASMT: 943040013, APN: 943040013
AMRIT TOOR
C/O HOSPITALITY CAR WASH
40495 WINCHESTER RD
TEMECULA CA 92591

ASMT: 943050014, APN: 943050014
ALICIA MARSHALL, ETAL
PO BOX 502785
SAN DIEGO CA 92150

ASMT: 943040014, APN: 943040014
BOONSTRA GROUP
847 PINWOOD DR
OCEANSIDE CA 92057

ASMT: 943050015, APN: 943050015
JANE WADDICK, ETAL
32727 VISTA DEL MONTE
TEMECULA, CA. 92592

ASMT: 943050006, APN: 943050006
NANCY MIZE, ETAL
32850 VISTA DEL MONTE RD
TEMECULA, CA. 92591

ASMT: 943050016, APN: 943050016
SUZANNE ZYCHOWICZ, ETAL
40242 HOLDEN CIR
TEMECULA CA 92591

ASMT: 943050009, APN: 943050009
NANCY MIZE, ETAL
32850 VISTA DEL MONTE
TEMECULA CA 92591

ASMT: 943050017, APN: 943050017
JOYCE WOODMANSEE, ETAL
28750 KATHLEEN AVE
SAUGUS CA 91390

ASMT: 943050011, APN: 943050011
AMANDA VECCHI, ETAL
C/O HUGO VECCHI
P O BOX 890846
TEMECULA CA 92589

ASMT: 943050018, APN: 943050018
SHIRLEY LASSLEY, ETAL
32850 VISTA DE ORO
TEMECULA CA 92591

ASMT: 943050019, APN: 943050019
KATHLEEN FRANZREB, ETAL
PO BOX 71116
KNOXVILLE TN 37938

ASMT: 943090027, APN: 943090027
NANCY HART, ETAL
4290 HIGHLAND DR
CARLSBAD CA 92008

ASMT: 943050021, APN: 943050021
SUSAN STROUT, ETAL
P O BOX 890831
TEMECULA CA 92589

ASMT: 943090028, APN: 943090028
J CALIXTO, ETAL
5036 REGINA LN
VIRGINIA BEACH VA 23455

ASMT: 943060011, APN: 943060011
LOUDAR
C/O LOUIS DARWISH
P O BOX 891510
TEMECULA CA 92591

ASMT: 943090029, APN: 943090029
MANYA KOBZOFF
41350 ARMADA PL
TEMECULA CA 92591

ASMT: 943090015, APN: 943090015
LINDA SMITH, ETAL
27475 YNEZ RD NO 309
TEMECULA CA 92591

ASMT: 943090030, APN: 943090030
EASTERN MUNICIPAL WATER DIST
C/O RIGHT OF WAY DEPT
P O BOX 8300
PERRIS CA 92572

ASMT: 943090016, APN: 943090016
RENEE SANTOS, ETAL
41333 ARMADA DR
TEMECULA, CA. 92591

ASMT: 943100005, APN: 943100005
ANDREW HOLZMANN
33242 LA SERENA WAY
TEMECULA CA 92591

ASMT: 943090022, APN: 943090022
SHIRLEY SABA, ETAL
41309 AVENIDA BIONA
TEMECULA CA 92591

ASMT: 943100009, APN: 943100009
CAROL BAILY, ETAL
36150 PAUBA RD
TEMECULA CA 92592

ASMT: 943090023, APN: 943090023
MARY KONCHAR, ETAL
41100 AVENIDA BIONA
TEMECULA, CA. 92591

ASMT: 943100011, APN: 943100011
GABRIELLA BRINKMEYER, ETAL
33400 LA SERENA WAY
TEMECULA CA 92591

ASMT: 943110011, APN: 943110011
STACEY BENOTTO
41005 REID CT
TEMECULA, CA. 92591

ASMT: 943120019, APN: 943120019
SUSAN BRODERSEN, ETAL
39847 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943110016, APN: 943110016
G GOUDY, ETAL
24 BAY DR
LAGUNA BEACH CA 92651

ASMT: 943120021, APN: 943120021
CARRIE PELTZER, ETAL
40275 CALLE CONTENTO
TEMECULA, CA. 92592

ASMT: 943110017, APN: 943110017
DEANNA CARPINELLI, ETAL
33350 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 943120022, APN: 943120022
KOO INTERNATIONAL CORP, ETAL
323 WEST COURT STE 301
SAN BERNARDINO CA 92401

ASMT: 943110018, APN: 943110018
89 PERCENT
1441 9TH AVE NO 2002
SAN DIEGO CA 92101

ASMT: 943120036, APN: 943120036
LOUIDAR
33820 RANCHO CALIFORNIA RD
TEMECULA CA 92591

ASMT: 943110020, APN: 943110020
CELEBRATION CELLARS
33410 RANCHO CALIFORNIA RD
TEMECULA, CA. 92591

ASMT: 943130006, APN: 943130006
DARLA BOWLEY
33075 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943120014, APN: 943120014
LOUIDAR
33820 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 943130007, APN: 943130007
DAVID HALPER
31805 TEMECULA PKWY NO 335
TEMECULA CA 92592

ASMT: 943120018, APN: 943120018
JERRI OWEN, ETAL
39701 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943130008, APN: 943130008
ANN ZUN, ETAL
33105 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943130009, APN: 943130009
GAIL BRADLEY, ETAL
33133 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943140014, APN: 943140014
RIVCOHOMES INC
16286 RED PONY LN
RIVERSIDE CA 92504

ASMT: 943130010, APN: 943130010
MARTHA KLEINER, ETAL
216 N GLENROY AVE
LOS ANGELES CA 90049

ASMT: 943150028, APN: 943150028
SYLVIA SAVALA, ETAL
P O BOX 891688
TEMECULA CA 92589

ASMT: 943140005, APN: 943140005
SUSHEILA SHEAGLEY, ETAL
39425 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943150029, APN: 943150029
MONICA BALTATU
22 CEDAR TREE LN
IRVINE CA 92612

ASMT: 943140006, APN: 943140006
LINDA MEINHARDT, ETAL
39485 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943150030, APN: 943150030
CYNTHIA PHILLIPS, ETAL
39400 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943140007, APN: 943140007
JOSEFINA MENCHACA, ETAL
40460 CHAUNCEY WAY
TEMECULA CA 92591

ASMT: 943170010, APN: 943170010
BERYL WOODING, ETAL
33495 VINO WAY
TEMECULA CA 92591

ASMT: 943140011, APN: 943140011
HELEN HADDAD, ETAL
45580 ANZA RD
TEMECULA CA 92592

ASMT: 943170011, APN: 943170011
TAMARA FLUBACHER, ETAL
33475 VINO WAY
TEMECULA, CA. 92591

ASMT: 943140013, APN: 943140013
NICOLE SCHULER
33100 VISTA DEL MONTE
TEMECULA CA 92591

ASMT: 943170012, APN: 943170012
ALICIA MARTINEZ, ETAL
33434 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943170013, APN: 943170013
DAVID DAUER
5863 W 77TH PL
LOS ANGELES CA 90045

ASMT: 943190020, APN: 943190020
JULIE MILLER, ETAL
39897 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 943170019, APN: 943170019
TRACI DEWEY, ETAL
39720 BUENOS WAY
TEMECULA, CA. 92591

ASMT: 943190022, APN: 943190022
MARGARET LUCEY, ETAL
123 SUNRISE CIR
MOORESVILLE NC 28117

ASMT: 943170021, APN: 943170021
TIMOTHY FAULKNER, ETAL
C/O TIMOTHY A FAULKNER
39500 BUENOS WAY
TEMECULA, CA. 92591

ASMT: 943190024, APN: 943190024
JOAN GALLOWAY, ETAL
33612 VINO WAY
TEMECULA CA 92590

ASMT: 943170022, APN: 943170022
SUBHA VUTHOORI, ETAL
39440 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943190025, APN: 943190025
TERESA JINES, ETAL
33614 VINO WAY
TEMECULA, CA. 92591

ASMT: 943180004, APN: 943180004
ALNI, ETAL
24933 ARIELLA DR
CALABASAS CA 91302

ASMT: 943190026, APN: 943190026
DOROTHY CARFRAE, ETAL
869 DOROTHEA RD
LA HABRA HEIGHTS CA 90631

ASMT: 943190007, APN: 943190007
JILL HERNANDEZ, ETAL
39757 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 943190028, APN: 943190028
PAMELA WANTINK, ETAL
33583 VINO WAY
TEMECULA CA 92591

ASMT: 943190019, APN: 943190019
THOMAS HARNEY, ETAL
39817 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 943190029, APN: 943190029
CAROL BUCK, ETAL
33625 VINO WAY
TEMECULA, CA. 92591

ASMT: 943190030, APN: 943190030
LISA YODER, ETAL
33667 VINO WAY
TEMECULA, CA. 92591

ASMT: 943200020, APN: 943200020
ALEXANDRA DECARLO, ETAL
39625 ANZA RD
TEMECULA, CA. 92591

ASMT: 943190032, APN: 943190032
DIANNE NASH, ETAL
33425 VISTA DEL MONTE
TEMECULA, CA. 92591

ASMT: 943200026, APN: 943200026
SILVANA LUNETTO, ETAL
39840 CALLE DE VINEDOS
TEMECULA, CA. 92591

ASMT: 943190033, APN: 943190033
MARK DONATI
39581 SPERRY CT
TEMECULA, CA. 92591

ASMT: 943200030, APN: 943200030
ROSALYN BRAINARD, ETAL
P O BOX 892544
TEMECULA CA 92589

ASMT: 943190034, APN: 943190034
ELIZABETH CHANDLER, ETAL
40124 SPERRY CT
TEMECULA, CA. 92591

ASMT: 943210007, APN: 943210007
ROBIN RENNAKER, ETAL
33805 VINO WAY
TEMECULA, CA. 92591

ASMT: 943200015, APN: 943200015
KATHLEEN A FAMILY TRUST, ETAL
C/O GERALD CURRAN
P O BOX 891092
TEMECULA CA 92589

ASMT: 943210009, APN: 943210009
EILEEN RIVARD
40205 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 943200016, APN: 943200016
LYLE KNODE, ETAL
P O BOX 892065
TEMECULA CA 92589

ASMT: 943210010, APN: 943210010
JODI DUBOTS, ETAL
33775 CORTE PRIVADA
TEMECULA, CA. 92591

ASMT: 943200017, APN: 943200017
APRIL GREER, ETAL
33900 VINO WAY RD
TEMECULA, CA. 92591

ASMT: 943210012, APN: 943210012
NALINI PATEL, ETAL
978 S LADAN LN
ANAHEIM HILLS CA 92808

ASMT: 943210013, APN: 943210013
FELICITAS YAKUT, ETAL
39788 CALLE CONTENTO
TEMECULA, CA. 92591

ASMT: 943250013, APN: 943250013
COLLEEN KLINE, ETAL
PO BOX 893713
TEMECULA CA 92589

ASMT: 943220002, APN: 943220002
RUTH MAIS
39841 ANZA RD
TEMECULA, CA. 92591

ASMT: 943250014, APN: 943250014
DENISE KILPATRICK, ETAL
40853 BUCHAREST ST
TEMECULA, CA. 92591

ASMT: 943230004, APN: 943230004
DARA ZHANG, ETAL
32301 CORTE PALACIO
TEMECULA CA 92591

ASMT: 943250015, APN: 943250015
MELANIE GIBSON, ETAL
40851 NEWTON AVE
TEMECULA, CA. 92591

ASMT: 943230005, APN: 943230005
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
3403 10TH ST STE 500
RIVERSIDE CA 92501

ASMT: 943250016, APN: 943250016
SHIHO SEKI, ETAL
40897 NEWTON AVE
TEMECULA, CA. 92591

ASMT: 943240004, APN: 943240004
FALKNER WINERY INC
7625 HILLSIDE DR
LA JOLLA CA 92037

ASMT: 943250017, APN: 943250017
KATHY CONOVER, ETAL
31931 CAMPANULA WAY 4103
TEMECULA CA 92592

ASMT: 943240005, APN: 943240005
RAUL RAMIREZ
440 W MARKHAM ST
PERRIS CA 92571

ASMT: 943250018, APN: 943250018
CALVARY CHAPEL BIBLE FELLOWSHIP
34180 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 943250012, APN: 943250012
KENNETH VEASEY
30520 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 943250019, APN: 943250019
MARVIN SMOTRICH, ETAL
4957 CALVIN AVE
TARZANA CA 91356

ASMT: 943250023, APN: 943250023
CALVARY CHAPEL BIBLE FELLOWSHIP INC
34180 RCH CALIFORNIA RD
TEMECULA CA 92591

ASMT: 943280005, APN: 943280005
LORENZA RECENDEZ, ETAL
P O BOX 892922
TEMECULA CA 92589

ASMT: 943260024, APN: 943260024
PDM TEMECULA
C/O PATRICIA LIN
910 CAMINO DEL MAR STE A
DEL MAR CA 92014

ASMT: 943280006, APN: 943280006
MELANIE KUEHNEL, ETAL
40174 CALLE CALETA
TEMECULA, CA. 92591

ASMT: 943260027, APN: 943260027
SIRAH VINEYARD DEV CORP
41391 KALMIA ST NO 100
MURRIETA CA 92562

ASMT: 943280007, APN: 943280007
JOHN REINGRUBER
40250 CALLE CALETA
TEMECULA, CA. 92591

ASMT: 943260046, APN: 943260046
INVESTEUROPA
C/O JEFF COMERCHERO
41391 KALMIA ST STE 200
MURRIETA CA 92562

ASMT: 943280008, APN: 943280008
SUSAN CHEN, ETAL
4942 FIESTA AVE
TEMPLE CITY CA 91780

ASMT: 943280001, APN: 943280001
SHARON DILDAY, ETAL
40070 CALLE CABERNET
TEMECULA CA 92591

ASMT: 951020001, APN: 951020001
HEATHER PETERSEN
36736 PAUBA RD
TEMECULA CA 92590

ASMT: 943280002, APN: 943280002
ANDREW SEBOK
40134 CALLE CABERNET
TEMECULA, CA. 92591

ASMT: 951020003, APN: 951020003
MEI KAO
11 F 477 MING SHUI RD
TAIPEI TAIWAN ROC

ASMT: 943280004, APN: 943280004
CHATEAU DHUIS
3350 E 7TH ST NO 811
LONG BEACH CA 90804

ASMT: 951020004, APN: 951020004
KEVIN FOX
41410 CALLE ENCANTADO
TEMECULA, CA. 92590

ASMT: 951020007, APN: 951020007
THORNTON WINERY
P O BOX 9008
TEMECULA CA 92589

ASMT: 951030053, APN: 951030053
GRETCHEN SCHORR
32621 AVENIDA LESTONNAC
TEMECULA CA 92590

ASMT: 951020008, APN: 951020008
CAPITAL, ETAL
14053 VALLEY FORGE CT
FONTANA CA 92336

ASMT: 951030055, APN: 951030055
SISTERS OF CO OF MARY OUR LADY
16791 E MAIN ST
TUSTIN CA 92780

ASMT: 951030003, APN: 951030003
ERIC JACOBSON
41519 AVENIDA BORDEAUX
TEMECULA, CA. 92592

ASMT: 951060002, APN: 951060002
HANDLE IT MMS
43620 RIDGE PARK STE 310
TEMECULA CA 92590

ASMT: 951030010, APN: 951030010
SUZANNE OESTERLING, ETAL
32789 AVENIDA LESTONNAC
TEMECULA, CA. 92592

ASMT: 951060003, APN: 951060003
MEY WANG, ETAL
1429 CASPIAN CT
WALNUT CA 91789

ASMT: 951030011, APN: 951030011
ACHALA DORAISWAMY, ETAL
32831 AVENIDA LESTONNAC
TEMECULA, CA. 92592

ASMT: 951060009, APN: 951060009
DIPIKA AMIN, ETAL
41175 VAN TU LN
TEMECULA CA 92591

ASMT: 951030012, APN: 951030012
KRISTIN QUINTANILLA, ETAL
41575 AVENIDA BORDEAUX
TEMECULA, CA. 92592

ASMT: 951060010, APN: 951060010
PREETH GUNARATNE, ETAL
16526 COTUIT CIR
HUNTINGTON BEACH CA 92649

ASMT: 951030052, APN: 951030052
CARRIE HAN, ETAL
32575 AVENIDA LESTONNAC
TEMECULA, CA. 92592

ASMT: 951060011, APN: 951060011
USHA SACHDEV, ETAL
11292 PINECONE ST
CORONA CA 92883

ASMT: 951060012, APN: 951060012
MICHELE COLEMAN, ETAL
1919 HILLCREST DR
HERMOSA BEACH CA 90254

ASMT: 951070009, APN: 951070009
JERRY LOBB
32938 AVENIDA LESTONNAC RD
TEMECULA, CA. 92592

ASMT: 951060013, APN: 951060013
CHURON WINERY
C/O RONALD THOMAS
3450 PACIFIC COAST HWY
VENTURA CA 93001

ASMT: 951070010, APN: 951070010
TONYA BAKER, ETAL
P O BOX 892885
TEMECULA CA 92589

ASMT: 951070001, APN: 951070001
RENATE DUGAN, ETAL
32905 AVENIDA LESTONNAC
TEMECULA, CA. 92592

ASMT: 951070011, APN: 951070011
MARY CACHAT, ETAL
41504 AVENIDA BORDEAUX
TEMECULA, CA. 92592

ASMT: 951070002, APN: 951070002
DAWN DIPIETRO, ETAL
32921 AVENIDA LESTONNAC
TEMECULA, CA. 92592

ASMT: 951070012, APN: 951070012
JULIANA PRITCHARD
41280 BERKSWELL
TEMECULA, CA. 92592

ASMT: 951070005, APN: 951070005
ERIN LAMB, ETAL
32965 AVENIDA LESTONNAC
TEMECULA, CA. 92592

ASMT: 951070013, APN: 951070013
GABRIELA BRINKMEYER, ETAL
33400 SERENA WAY
TEMECULA CA 92591

ASMT: 951070006, APN: 951070006
ERIN LAMB, ETAL
32550 AVENIDA LESTONNAC
TEMECULA CA 92592

ASMT: 951070014, APN: 951070014
STEVEN COHEN, ETAL
41355 BERKSWELL LN
TEMECULA, CA. 92592

ASMT: 951070008, APN: 951070008
RAFAELA GOMEZ
16854 VIEW PARK AVE
BELLFLOWER CA 90706

ASMT: 951070017, APN: 951070017
GAGANDEEP DHANOA, ETAL
2573 E WIND WAY
SIGNAL HILL CA 90755

ASMT: 951070019, APN: 951070019
DEBRA KOLEK, ETAL
41455 CIRCLE M DR
TEMECULA, CA. 92592

ASMT: 951080045, APN: 951080045
BETTY REED
1217 CANTANIA DR
REDLANDS CA 92374

ASMT: 951070020, APN: 951070020
BLP ENTERPRISES
C/O LENA HOLLAND
3032 PANSY CIR
CORONA CA 92881

ASMT: 951090002, APN: 951090002
NATALIE SOO
C/O KATHLEEN G HUANG
1432 SANTA FE DR
TUSTIN CA 92780

ASMT: 951070022, APN: 951070022
PAULA SERRANO, ETAL
32945 AVENIDA LESTONNAC
TEMECULA CA 92592

ASMT: 951090003, APN: 951090003
SUAD KHALAF, ETAL
C/O FATIN KHALAF
22 SALERMO
LAGUNA BEACH CA 92677

ASMT: 951070025, APN: 951070025
KAREN KELLY PELAYES, ETAL
P O BOX 274
HELENDALE CA 92342

ASMT: 951090004, APN: 951090004
GIGI DIBERNARDO, ETAL
41141 REID CT
TEMECULA, CA. 92592

ASMT: 951070027, APN: 951070027
LAKE CHIVAL
32823 TEMECULA PKWY
TEMECULA CA 92592

ASMT: 951090015, APN: 951090015
TED MCWHORTER
33376 MADERA DE PLAYA ST
TEMECULA, CA. 92592

ASMT: 951070028, APN: 951070028
PAULA CONSENTINO
6133 CANYON ESTATES CT
RIVERSIDE CA 92506

ASMT: 951090019, APN: 951090019
MEI HSIN, ETAL
23 OLD PALI PL
HONOLULU HI 96817

ASMT: 951070029, APN: 951070029
MARK STRUCICH
33180 MADERA DE PLAYA RD
TEMECULA, CA. 92592

ASMT: 951090020, APN: 951090020
LAURA WILLIAMS
40675 CALIFORNIA OAKS A
TEMECULA CA 92562

ASMT: 951090021, APN: 951090021
IRENE BRIGHT, ETAL
33491 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951090036, APN: 951090036
THOMAS ROE
31915 RANCHO CALIFORNIA RD
NO 200
TEMECULA CA 92591

ASMT: 951090022, APN: 951090022
GIZELLA CZIRAKI, ETAL
2242 N HWY 395
FALLBROOK CA 92028

ASMT: 951090037, APN: 951090037
DEBORAH HILL, ETAL
PMB 227
31805 HIGHWAY 79 S
TEMECULA CA 92592

ASMT: 951090025, APN: 951090025
DENISE BEERER, ETAL
33479 MADERA DE PLAYA
TEMECULA, CA. 92590

ASMT: 951090038, APN: 951090038
TIMOTHY MARTIN, ETAL
33352 MADERA DE PLAYA RD
TEMECULA, CA. 92592

ASMT: 951090026, APN: 951090026
BARRETT BIRD
7522 CIRCULO SEQUOIA
CARLSBAD CA 92009

ASMT: 951090039, APN: 951090039
ROBERT MADDISON
33391 MADERA DE PLAYA
TEMECULA CA 92592

ASMT: 951090027, APN: 951090027
KEVIN MCDANIEL
45588 JAGUAR WAY
TEMECULA CA 92592

ASMT: 951090041, APN: 951090041
LEE KAWAGUCHI
32852 TULLEY RANCH RD
TEMECULA CA 92592

ASMT: 951090028, APN: 951090028
NORA BABER, ETAL
33442 MADERA DE PLAYA ST
TEMECULA, CA. 92592

ASMT: 951100001, APN: 951100001
TRUST, ETAL
33515 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 951090029, APN: 951090029
MARIA IGAYA GUEVARRA, ETAL
39511 CALLE CABERNET
TEMECULA CA 92591

ASMT: 951110001, APN: 951110001
TANUYA BIVIN, ETAL
33502 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951110002, APN: 951110002
MARY BISHOP
33510 MADERA DE PLAYA
TEMECULA CA 92592

ASMT: 951110009, APN: 951110009
PATRICK DILLON
33545 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951110003, APN: 951110003
BRICE PERRY
200 322
31915 RANCHO CALIFORNIA
TEMECULA CA 92591

ASMT: 951110010, APN: 951110010
MICHELLE UYS, ETAL
33605 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951110004, APN: 951110004
CHERISE MANNING, ETAL
33600 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951110011, APN: 951110011
LI CHIAO, ETAL
17508 LINDA WAY
CERRITOS CA 90703

ASMT: 951110005, APN: 951110005
MARIA BORGES, ETAL
12056 CHARLWOOD ST
ARTESIA CA 90701

ASMT: 951110025, APN: 951110025
HOLLY BROWN, ETAL
33735 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951110006, APN: 951110006
GEORGE MASSAS
33700 MADERA DE PLAYA
TEMECULA CA 92592

ASMT: 951130004, APN: 951130004
GINA WEAVER, ETAL
33740 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951110007, APN: 951110007
EILEEN RUNDE, ETAL
33718 MADERA DE PLAYA DR
TEMECULA CA 92590

ASMT: 951130005, APN: 951130005
LAURA STEARN
P O BOX 15876
NEWPORT BEACH CA 92659

ASMT: 951110008, APN: 951110008
LAEL HALL, ETAL
P O BOX 986
TEMECULA CA 92593

ASMT: 951130006, APN: 951130006
MADERA RESERVE
C/O AYAN CHATTERJEE
7 SALVO
IRVINE CA 92606

ASMT: 951130007, APN: 951130007
JEAN FERRE
33966 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951140001, APN: 951140001
JOSEPHINE ADAMS
34655 CALLE BELLA LOMA
TEMECULA, CA. 92592

ASMT: 951130009, APN: 951130009
RICHARD HARVEY
33747 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951140002, APN: 951140002
FERMENT DESIGN INC
C/O YVETTE ABDELMESEEH
37621 RAVENBROOK WAY
COARSEGOLD CA 93614

ASMT: 951130010, APN: 951130010
KATHRYN FERRELL, ETAL
33771 MADERA DE PLAYA ST
TEMECULA, CA. 92592

ASMT: 951140003, APN: 951140003
KYLE STENLAKE
34791 CALLE BELLA LOMA
TEMECULA, CA. 92592

ASMT: 951130011, APN: 951130011
DEBRA ALVARADO, ETAL
33851 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951140004, APN: 951140004
CHERYL LINN, ETAL
34795 CALLE BELLA LOMA
TEMECULA, CA. 92592

ASMT: 951130012, APN: 951130012
JUDY UHRICH, ETAL
33883 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951140007, APN: 951140007
MARCIA AU, ETAL
41432 CALLE CONTENTO
TEMECULA, CA. 92592

ASMT: 951130013, APN: 951130013
DEBRA TAYLOR, ETAL
33933 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951140008, APN: 951140008
JUNE MAHURIN
41460 CALLE CONTENTO RD
TEMECULA, CA. 92592

ASMT: 951130025, APN: 951130025
CREATIVE SPACE INNOVATION
C/O KENDALL WOOTAEK
4322 WILSHIRE BLV NO 300
LOS ANGELES CA 90010

ASMT: 951140009, APN: 951140009
GEORGENE RAISNER, ETAL
34020 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 951140010, APN: 951140010
LAURA TURNBOW, ETAL
34200 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951140037, APN: 951140037
ADRIAN MCGREGOR, ETAL
P O BOX 894108
TEMECULA CA 92589

ASMT: 951140011, APN: 951140011
XIUJUAN WANG
44025 MARGARITA RD NO 100
TEMECULA CA 92590

ASMT: 951140038, APN: 951140038
J BURGESS OBRIEN, ETAL
34708 PAUBA RD
TEMECULA CA 92592

ASMT: 951140012, APN: 951140012
LORI NAYLOR, ETAL
13834 RECUERDO DR
DEL MAR CA 92014

ASMT: 951140041, APN: 951140041
WINERY, ETAL
25009 REY ALBERTO CT
CALABASAS CA 91302

ASMT: 951140013, APN: 951140013
JUSTIN ALLINGTON
39825 AVENIDA ARIZONA
TEMECULA CA 92591

ASMT: 951140042, APN: 951140042
SKATE RANCH
C/O G B VAN ROEKEL
42642 RIVERA DR
TEMECULA CA 92592

ASMT: 951140014, APN: 951140014
LAURA MORA, ETAL
P O BOX 646
TEMECULA CA 92593

ASMT: 951140056, APN: 951140056
GIZELLA CZIRAKI, ETAL
2242 OLD HIGHWAY 395
FALLBROOK CA 92028

ASMT: 951140015, APN: 951140015
RUBEN RAMIREZ, ETAL
34652 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951140059, APN: 951140059
DESTINY VINEYARDS
P O BOX 4026
CHATSWORTH CA 91313

ASMT: 951140016, APN: 951140016
LEONORA WEST
34790 MADERA DE PLAYA DR
TEMECULA, CA. 92592

ASMT: 951140063, APN: 951140063
LVR GROUP CHANG
16241 VENEZIA TER
CHINO HILLS CA 91709

ASMT: 951140066, APN: 951140066
LVR GROUP CHANG
14790 YORBA CT
CHINO CA 91710

ASMT: 953150014, APN: 953150014
LAWRENCE SWAIN
32350 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 951270001, APN: 951270001
NORMA SCHOEDL, ETAL
34721 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 953150015, APN: 953150015
HAYLEY BROWN, ETAL
32358 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 951270009, APN: 951270009
MARY LESMEISTER, ETAL
34653 MADERA DE PLAYA
TEMECULA, CA. 92592

ASMT: 953150016, APN: 953150016
MAYRA HARTSFIELD, ETAL
35435 VIA SOL VISTA
TEMECULA CA 92592

ASMT: 953150009, APN: 953150009
KAREN GRISHAM, ETAL
C/O KAREN GRISHAM
32318 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150017, APN: 953150017
ANA STOKES ADAMS, ETAL
32374 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150010, APN: 953150010
BRIAN SHAW
32326 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150018, APN: 953150018
PAMELA BABEK
32381 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150011, APN: 953150011
CARINA CHAVEZ, ETAL
32334 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150019, APN: 953150019
CAROL CHIU
5240 CANOGA AVE
WOODLAND HILLS CA 91364

ASMT: 953150012, APN: 953150012
SHANE PARTLOW
32342 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150020, APN: 953150020
ADELHEID SERNA, ETAL
32365 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150021, APN: 953150021
CHRISTINE MATTHEW, ETAL
32357 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150028, APN: 953150028
SUSAN IYER, ETAL
32368 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150022, APN: 953150022
HEIDI TUTT, ETAL
15231 RIDGEVIEW PL
POWAY CA 92064

ASMT: 953150029, APN: 953150029
DEBRA FIDERO, ETAL
32376 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150023, APN: 953150023
ROSEMARY MCMAHON, ETAL
32335 CERCLE LATOUR
TEMECULA, CA. 92591

ASMT: 953150030, APN: 953150030
JENNIFER HARCARIK, ETAL
32369 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150024, APN: 953150024
HESILIA DUNHAM, ETAL
32330 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150031, APN: 953150031
JANA ANDERSON, ETAL
32361 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150025, APN: 953150025
GABRIELA WALKER, ETAL
32338 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150032, APN: 953150032
CATHERINE SCHNEIDER, ETAL
32353 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150026, APN: 953150026
SCOTT UNDERHILL
32346 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150033, APN: 953150033
LISA HUANG, ETAL
62 NORTHERN PINE LOOP
ALISO VIEJO CA 92565

ASMT: 953150027, APN: 953150027
DOROTHY MCCREA
27450 YNEZ RD NO 124
TEMECULA CA 92591

ASMT: 953150034, APN: 953150034
MICHELLE SAWYER, ETAL
32337 CERCLE BEAUREGARD
TEMECULA, CA. 92591

ASMT: 953150037, APN: 953150037
MARLBOROUGH DEV CORP
100 BAYVIEW CIRCLE #2000
NEWPORT BEACH CA 92660

ASMT: 953212013, APN: 953212013
JOHN LEBLANC, ETAL
41215 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953150038, APN: 953150038
RANCHO CALIF WATER DIST
C/O GENERAL MANAGER
P O BOX 9017
TEMECULA CA 92589

ASMT: 953213001, APN: 953213001
SWANDAYANI CURATOLO, ETAL
41212 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953212008, APN: 953212008
STEPHANIE KING, ETAL
41263 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953213007, APN: 953213007
SUMMER BUSH, ETAL
41268 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953212009, APN: 953212009
JENNI MASON, ETAL
41257 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953213008, APN: 953213008
THERESA DUCKETT, ETAL
41276 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953212010, APN: 953212010
ANN COAKES, ETAL
41245 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953213009, APN: 953213009
BESSIE BUFORD
41284 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953212011, APN: 953212011
ALISON ORZECOWSKI, ETAL
41231 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953213010, APN: 953213010
BRENT THARP
41292 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953212012, APN: 953212012
KIMBERLY BALTAZAR, ETAL
41227 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953213012, APN: 953213012
CHARDONNAY HILLS HOMEOWNERS ASSN
C/O MARLBOROUGH DEV CORP
6865 AIRPORT DR
RIVERSIDE CA 92504

ASMT: 953213017, APN: 953213017
TRACY HECK, ETAL
41236 PROMENADE CHARDONNAY
TEMECULA CA 92592

ASMT: 953213025, APN: 953213025
LAURA SHAW, ETAL
26810 YNEZ CT STE D
TEMECULA CA 92591

ASMT: 953213018, APN: 953213018
DIANE VICK, ETAL
41244 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953380014, APN: 953380014
DEBORA WALSH, ETAL
31928 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953213019, APN: 953213019
JULIE THOMS, ETAL
41252 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953380015, APN: 953380015
ROSE ARELLANO, ETAL
31942 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953213020, APN: 953213020
ILDA ROMEO, ETAL
41260 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953380017, APN: 953380017
PHILOMENA HODAPP, ETAL
31956 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953213022, APN: 953213022
JULIE WRATHER, ETAL
41194 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953380018, APN: 953380018
WEI LIU, ETAL
11149 CORTE MAR DECRISTAL
SAN DIEGO CA 92130

ASMT: 953213023, APN: 953213023
RONALD ENALEN
41200 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953380019, APN: 953380019
JAMIE PARSLEY, ETAL
31984 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953213024, APN: 953213024
JOAN NORDQUIST
41206 PROMENADE CHARDONN
TEMECULA, CA. 92591

ASMT: 953380020, APN: 953380020
AMELIA HAMMERTON
31979 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953380021, APN: 953380021
CHARDONNAY HILLS HOMEOWNERS ASSN
C/O BRAMALEA CALIF
23333 AVENIDA LA CAZA
COTO DE CAZA CA 92679

ASMT: 953600004, APN: 953600004
ANDREW SCOFIELD, ETAL
3905 S JERSEY ST
DENVER CO 80237

ASMT: 953380022, APN: 953380022
JOSEPHINE BEARCE, ETAL
31969 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953600005, APN: 953600005
COLETTE LIMA, ETAL
41150 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953380023, APN: 953380023
LORI MCMAHON, ETAL
31951 CERCLE CHAMBERTIN
TEMECULA, CA. 92591

ASMT: 953600006, APN: 953600006
ANNA GUELI, ETAL
41160 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953390005, APN: 953390005
CHARDONNAY HILLS HOMEOWNERS ASSN
C/O CCL DEV
31608 RAILROAD CANYON RD
CANYON LAKE CA 92587

ASMT: 953600007, APN: 953600007
RUSLANA BARRON, ETAL
41170 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953600001, APN: 953600001
LYNN BRINEGAR, ETAL
41110 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953600008, APN: 953600008
PRINCESS DAVID, ETAL
41180 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953600002, APN: 953600002
HARRIET HULING, ETAL
P O BOX 893835
TEMECULA CA 92589

ASMT: 953600009, APN: 953600009
ROJA NARAYAN, ETAL
41190 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953600003, APN: 953600003
STACY CLEMENS, ETAL
41130 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953600010, APN: 953600010
JORGE TERRIQUEZ, ETAL
P O BOX 7485
CHULA VISTA CA 91912

ASMT: 953600011, APN: 953600011
WHITNEY MULLEN, ETAL
41210 SAINT CROIX
TEMECULA CA 92591

ASMT: 953601006, APN: 953601006
NALAN NARINE, ETAL
32339 SAINT MICHEL
TEMECULA, CA. 92591

ASMT: 953600013, APN: 953600013
PHONG LY
41220 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953601007, APN: 953601007
SALLY JONES
41187 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953601001, APN: 953601001
SHARON GIORDANI, ETAL
32310 SAINT MICHEL
TEMECULA, CA. 92591

ASMT: 953601008, APN: 953601008
THELMA TATAR, ETAL
41199 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953601002, APN: 953601002
DEBRA COLEMAN, ETAL
32320 SAINT MICHEL
TEMECULA, CA. 92591

ASMT: 953601009, APN: 953601009
TONY ALFARO
41213 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953601003, APN: 953601003
JONI SANCHEZ, ETAL
32330 SAINT MICHEL
TEMECULA, CA. 92591

ASMT: 953601010, APN: 953601010
CHRISTOPHER ZELTNER, ETAL
32520 SAINT ELOI
TEMECULA, CA. 92591

ASMT: 953601004, APN: 953601004
RICHARD BERMINGHAM
32315 SAINT MICHEL
TEMECULA, CA. 92591

ASMT: 953601011, APN: 953601011
CAROL SALUTE, ETAL
32530 SAINT ELOI
TEMECULA, CA. 92591

ASMT: 953601005, APN: 953601005
ALYSSA ALKURDI, ETAL
32327 SAINT MICHEL
TEMECULA, CA. 92591

ASMT: 953601013, APN: 953601013
LINDA CLERMONT, ETAL
32515 SAINT ELOI
TEMECULA, CA. 92591

ASMT: 953601014, APN: 953601014
THERESA RONAN, ETAL
32527 SAINT ELOI
TEMECULA, CA. 92591

ASMT: 953610004, APN: 953610004
JENNIFER JANERT, ETAL
41287 SAINT CROIX
TEMECULA CA 92591

ASMT: 953601015, APN: 953601015
OMARCO PROP
43528 CALLE DE VELARDO
TEMECULA CA 92592

ASMT: 953610005, APN: 953610005
SHARISSE ROWAN, ETAL
41299 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953601016, APN: 953601016
MYRIAM THAMER, ETAL
41237 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610006, APN: 953610006
CLAUDIA KASIM, ETAL
41311 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953601017, APN: 953601017
MEETA PATEL
41225 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610007, APN: 953610007
RACHEL CHARLES, ETAL
41323 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610001, APN: 953610001
DEBRA HINTON, ETAL
41249 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610008, APN: 953610008
THERESA TAFOYA, ETAL
41335 SAINT CROIX
TEMECULA CA 92591

ASMT: 953610002, APN: 953610002
DEBERA NELSON
41263 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610009, APN: 953610009
ALEESHA WINKLER, ETAL
41240 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610003, APN: 953610003
SHAUNA GRAMMATICO, ETAL
41275 SAINT CROIX
TEMECULA, CA. 92591

ASMT: 953610010, APN: 953610010
BELLE MAISON COMMUNITY ASSN
42430 WINCHESTER RD
TEMECULA CA 92590

ASMT: 954060002, APN: 954060002
VINTAGE HILLS HOMEOWNERS ASSN
C/O JERI TABBACK
26755 VERDUGO ST NO 110
SAN JUAN CAPO CA 92675

ASMT: 954182016, APN: 954182016
DAVID BIENVENUE
32364 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182006, APN: 954182006
VINTAGE HILLS PLANNED COMMUNITY ASSN
31820 CAMINO MAREA
TEMECULA CA 92592

ASMT: 954182017, APN: 954182017
JACKIE BELIN, ETAL
32376 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182011, APN: 954182011
MARCI PHILLIPS, ETAL
32304 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182018, APN: 954182018
JANICE RICHARDSON, ETAL
32388 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182012, APN: 954182012
KARIN PAUL, ETAL
32316 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182019, APN: 954182019
MELISSA HALL, ETAL
32400 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182013, APN: 954182013
CARINA BRUNER, ETAL
32328 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182020, APN: 954182020
ROBERT MARTIN
32389 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182014, APN: 954182014
SUSAN LASKI, ETAL
32340 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182024, APN: 954182024
MELISSA HEATON, ETAL
32326 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182015, APN: 954182015
LISA MALLORY, ETAL
32352 CORTE CORONADO
TEMECULA, CA. 92592

ASMT: 954182025, APN: 954182025
IRMA JOHNSON, ETAL
32338 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182026, APN: 954182026
JENNIFER CHARLTON, ETAL
2520 GATES AVE
REDONDO BEACH CA 90278

ASMT: 954182033, APN: 954182033
MARY P FAMILY TRUST, ETAL
C/O DONALD W HITZEMAN
32371 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182027, APN: 954182027
FLORA ORLEBECK, ETAL
32362 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182034, APN: 954182034
DIANE TRIMBLE, ETAL
32359 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182028, APN: 954182028
DONNA BAKER, ETAL
32374 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182035, APN: 954182035
JENNIFER SCHREINER, ETAL
32327 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954182029, APN: 954182029
RITA PALADINO, ETAL
32386 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954192035, APN: 954192035
TRACY MORSE, ETAL
32401 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 954182030, APN: 954182030
PHYLLIS PAVLINCH, ETAL
32398 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954192036, APN: 954192036
LIN HSU, ETAL
32400 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 954182031, APN: 954182031
DAVID BERGLUND, ETAL
32395 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954192037, APN: 954192037
EILEEN LATUPERISSA, ETAL
32384 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 954182032, APN: 954182032
MARY KNIGHT, ETAL
32383 CORTE SAN VINCENTE
TEMECULA, CA. 92592

ASMT: 954192038, APN: 954192038
COLLEEN ANDREWS, ETAL
32370 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 954192039, APN: 954192039
CARYANN BRAICOVICH, ETAL
40989 JULO WAY
TEMECULA CA 92591

ASMT: 957170028, APN: 957170028
HEATHER SANFORD, ETAL
40030 WALCOTT LN
TEMECULA, CA. 92591

ASMT: 954192040, APN: 954192040
MELONY MEADOWS, ETAL
32330 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 957170029, APN: 957170029
ROBERT GORHAM
5535 AVERILL DR
GRANTS PASS OR 97526

ASMT: 954192041, APN: 954192041
BETTY OGLETREE, ETAL
32318 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 957170030, APN: 957170030
ARTHI SPARGO
26297 NORMA JEAN
MURRIETA CA 92562

ASMT: 954192042, APN: 954192042
T SCHLALINE, ETAL
32300 CTE SANTA CATALINA
TEMECULA, CA. 92592

ASMT: 957170031, APN: 957170031
SUSAN ALVARADO, ETAL
6072 CANDLE LIGHT LN
YORBA LINDA CA 92886

ASMT: 957130017, APN: 957130017
PALM INV GROUP
13832 MULHOLLAND DR
BEVERLY HILLS CA 90210

ASMT: 957170042, APN: 957170042
XOCHITL AMAO, ETAL
31900 ANDREA CIR
TEMECULA, CA. 92592

ASMT: 957130020, APN: 957130020
JANET GROPP, ETAL
10078 S CLYDE CIR
HIGHLANDS RANCH CO 80129

ASMT: 957170043, APN: 957170043
RICHARD KANTOR
31950 ANDREA CIR
TEMECULA, CA. 92591

ASMT: 957170027, APN: 957170027
MA RAMIREZ
31985 CALLE CHAPOS
TEMECULA, CA. 92591

ASMT: 957170044, APN: 957170044
CASSANDRA JOHNSON, ETAL
31651 ANDREA CIR
TEMECULA CA 92591

ASMT: 957170045, APN: 957170045
CAROLYN CONOVER
31901 ANDREA CIR
TEMECULA, CA. 92592

ASMT: 957560023, APN: 957560023
SUSAN JOHNSON, ETAL
40433 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560017, APN: 957560017
LAURA CLOWDUS, ETAL
40517 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560024, APN: 957560024
YAJING LOU
40427 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560018, APN: 957560018
KAIAH BOWER, ETAL
40509 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561003, APN: 957561003
RAQUILINA TRAN, ETAL
40420 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560019, APN: 957560019
LUCIA BARRAGAN
40501 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561004, APN: 957561004
YVETTE BEAUBIEN, ETAL
40430 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560020, APN: 957560020
NICOLE KELLEHER, ETAL
40463 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561005, APN: 957561005
CORINNA SALAZAR
40440 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560021, APN: 957560021
MARGARET CURTIS, ETAL
40453 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561006, APN: 957561006
KATHRYN JOHNSON, ETAL
40450 WGASA PL
TEMECULA, CA. 92591

ASMT: 957560022, APN: 957560022
MARGARETE MORA, ETAL
40443 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561007, APN: 957561007
ERIKA GOYETTE, ETAL
40460 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561008, APN: 957561008
JUDITH FREEMAN, ETAL
40470 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561015, APN: 957561015
JEAN HEIN
31977 AURORA CT
TEMECULA, CA. 92591

ASMT: 957561009, APN: 957561009
ANDREA TRAVERS, ETAL
40480 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561016, APN: 957561016
CUC MARKS, ETAL
31967 AURORA CT
TEMECULA, CA. 92591

ASMT: 957561010, APN: 957561010
KANTATA SHONUJI, ETAL
40490 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561017, APN: 957561017
YU LIN, ETAL
40502 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561011, APN: 957561011
ROBERT NAY, ETAL
31978 AURORA CT
TEMECULA, CA. 92591

ASMT: 957561018, APN: 957561018
LAURA HO, ETAL
40510 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561012, APN: 957561012
SARAH PUGH, ETAL
31988 AURORA CT
TEMECULA, CA. 92591

ASMT: 957561019, APN: 957561019
KEIRNAN FOSTER, ETAL
40518 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561013, APN: 957561013
DEBRA OLSON, ETAL
31997 AURORA CT
TEMECULA, CA. 92591

ASMT: 957561020, APN: 957561020
LAWRENCE HARVEY, ETAL
40526 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561014, APN: 957561014
MELISSA RYAN, ETAL
31987 AURORA CT
TEMECULA, CA. 92591

ASMT: 957561021, APN: 957561021
TING LI, ETAL
40534 WGASA PL
TEMECULA, CA. 92591

ASMT: 957561026, APN: 957561026
P WITHROW, ETAL
31938 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561033, APN: 957561033
HOLLY BAUMANN, ETAL
31999 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561027, APN: 957561027
SANDRA DURAN, ETAL
31948 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561035, APN: 957561035
JENNIFER ENGLAND, ETAL
31979 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561028, APN: 957561028
AMANDA SCHEMBRI, ETAL
31958 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561036, APN: 957561036
LINDA GARCIA, ETAL
31969 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561029, APN: 957561029
XOCHITL MAGDALENO, ETAL
31968 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561037, APN: 957561037
TONI DORAN, ETAL
31959 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561030, APN: 957561030
LYNDA LINDOW, ETAL
31978 AVENIDA ENRIQUE
TEMECULA CA 92591

ASMT: 957561038, APN: 957561038
KARI JOHNSON, ETAL
31949 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561031, APN: 957561031
FRANKLIN GUILLENN
42072 MAJESTIC CT
TEMECULA CA 92592

ASMT: 957561039, APN: 957561039
YUSUF YAQUBI
45735 CALLE AYORA
TEMECULA CA 92592

ASMT: 957561032, APN: 957561032
JOYCE MCCALMONT, ETAL
31998 AVENIDA ENRIQUE
TEMECULA, CA. 92591

ASMT: 957561042, APN: 957561042
DMP ENTERPRISES
1480 NANDINA AVE
PERRIS CA 92591

ASMT: 957561043, APN: 957561043
KIMBERLY HEISINGER, ETAL
31975 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570001, APN: 957570001
ROXANNE BARRAZA, ETAL
31950 PASOS PL
TEMECULA CA 92591

ASMT: 957561044, APN: 957561044
SARAH SCHULTZ, ETAL
31967 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570002, APN: 957570002
LARISSA DOSS, ETAL
31960 PASOS PL
TEMECULA, CA. 92591

ASMT: 957561045, APN: 957561045
STEVEN HULL, ETAL
31959 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570003, APN: 957570003
SUSAN ANDERSON
31970 PASOS PL
TEMECULA, CA. 92591

ASMT: 957561046, APN: 957561046
ZAREEN BUCCHERI, ETAL
31951 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570004, APN: 957570004
DIANE BUTLER, ETAL
31980 PASOS PL
TEMECULA, CA. 92591

ASMT: 957561047, APN: 957561047
WENDIE BONINI, ETAL
31943 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570005, APN: 957570005
KELLY SERVOLD, ETAL
31990 PASOS PL
TEMECULA, CA. 92591

ASMT: 957561048, APN: 957561048
YAMA ABASSI
31935 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570006, APN: 957570006
TARA HICKS, ETAL
31993 PASOS PL
TEMECULA, CA. 92591

ASMT: 957561049, APN: 957561049
SUE KIM, ETAL
31927 LUZON ST
TEMECULA, CA. 92591

ASMT: 957570007, APN: 957570007
LINDA DOW, ETAL
31981 PASOS PL
TEMECULA, CA. 92591

ASMT: 957570008, APN: 957570008
BOBBI CALVIN, ETAL
31969 PASOS PL
TEMECULA, CA. 92591

ASMT: 957570015, APN: 957570015
PAULA GORE, ETAL
31944 CORTE CYNTHIA
TEMECULA, CA. 92591

ASMT: 957570009, APN: 957570009
DONNA SMOLLEN, ETAL
31957 PASOS PL
TEMECULA, CA. 92591

ASMT: 957570016, APN: 957570016
G GHANEM YBARRA, ETAL
31954 CORTE CYNTHIA
TEMECULA, CA. 92591

ASMT: 957570010, APN: 957570010
A NELSON, ETAL
NO 1085
110 3 GREENWAY PKY
PHOENIX AZ 85022

ASMT: 957570017, APN: 957570017
KIMBERLY GRANO, ETAL
31964 CORTE CYNTHIA
TEMECULA, CA. 92591

ASMT: 957570011, APN: 957570011
RHONDA PARISH, ETAL
31933 PASOS PL
TEMECULA, CA. 92591

ASMT: 957570018, APN: 957570018
EMILY SCHUYLER, ETAL
31976 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570012, APN: 957570012
KIMBERLY SZWAST, ETAL
31921 PASOS PL
TEMECULA, CA. 92591

ASMT: 957570019, APN: 957570019
MARK FRISCH, ETAL
31986 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570013, APN: 957570013
RACHEL KENNY, ETAL
31924 CORTE CYNTHIA
TEMECULA, CA. 92591

ASMT: 957570020, APN: 957570020
TIGDEN AYUSH, ETAL
31966 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570014, APN: 957570014
JOEL FARNUM
31934 CORTE CYNTHIA
TEMECULA, CA. 92591

ASMT: 957570021, APN: 957570021
ELLEN THATCHER, ETAL
31956 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570022, APN: 957570022
DOMINIC ZIZZO, ETAL
31946 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570029, APN: 957570029
KELLEY ARCHER, ETAL
31955 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570023, APN: 957570023
TRINIDAD PINEDA, ETAL
31936 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570030, APN: 957570030
ANDREW MASSIE
31965 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570024, APN: 957570024
ROQUE GARCIA, ETAL
31926 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570031, APN: 957570031
LAURA CRAIG, ETAL
45768 BOULDER WAY
TEMECULA CA 92592

ASMT: 957570025, APN: 957570025
SEHAM GAJIC, ETAL
31915 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570033, APN: 957570033
JIAO YU, ETAL
3209 ISABEL AVE
ROSEMEAD CA 91770

ASMT: 957570026, APN: 957570026
SAEED BASHIRTASH
31925 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570034, APN: 957570034
HEATHER THOMPSON, ETAL
34 W GRANDVIEW AVE
SIERRA MADRE CA 91024

ASMT: 957570027, APN: 957570027
NICOLE KELEPOURIS, ETAL
31935 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957570035, APN: 957570035
SERENA HILLS HOMEOWNERS ASSN
C/O MARCIA GOODMAN
10721 TREENA ST NO 200
SAN DIEGO CA 92131

ASMT: 957570028, APN: 957570028
CASSANDRA TAYLOR CAMPOS, ETAL
31945 AVENIDA MALLARI
TEMECULA, CA. 92591

ASMT: 957580001, APN: 957580001
JESSICA LAW, ETAL
31988 CALLE ELENITA
TEMECULA, CA. 92591

ASMT: 957580002, APN: 957580002
ELIZABETH HARRIGAN, ETAL
31982 CALLE ELENITA
TEMECULA, CA. 92591

ASMT: 957580023, APN: 957580023
ALESSANDRA THORNTON, ETAL
40988 CEBU DR
TEMECULA, CA. 92591

ASMT: 957580003, APN: 957580003
HEIDI MANN, ETAL
31976 CALLE ELENITA
TEMECULA, CA. 92591

ASMT: 957580024, APN: 957580024
DONNA GINGERELLI, ETAL
31993 DANIEL WAY
TEMECULA, CA. 92591

ASMT: 957580004, APN: 957580004
VERA WEBSTER, ETAL
31970 CALLE ELENITA
TEMECULA, CA. 92591

ASMT: 957580025, APN: 957580025
TOMAS ARANETA
26960 CHERRY HILLS BLV B
SUN CITY CA 92586

ASMT: 957580005, APN: 957580005
MABEL JOSON, ETAL
31964 CALLE ELENITA
TEMECULA, CA. 92591

ASMT: 957580026, APN: 957580026
KAREN KOSEL, ETAL
31977 DANIEL WAY
TEMECULA, CA. 92591

ASMT: 957580006, APN: 957580006
CHERYL SIMS
6912 ERIE DR
MAINEVILLE OH 45039

ASMT: 957580033, APN: 957580033
JEANENE AMES, ETAL
31920 DANIEL WAY
TEMECULA, CA. 92591

ASMT: 957580021, APN: 957580021
LOIS PINCH
40960 CEBU DR
TEMECULA, CA. 92591

ASMT: 957580034, APN: 957580034
PAULA WILSON, ETAL
31930 DANIEL WAY
TEMECULA, CA. 92591

ASMT: 957580022, APN: 957580022
MICHAEL KEEHMER
40974 CEBU DR
TEMECULA, CA. 92591

ASMT: 957580035, APN: 957580035
MARISSA MOORE, ETAL
31940 DANIEL WAY
TEMECULA, CA. 92591

ASMT: 957580036, APN: 957580036
JENNA FAY, ETAL
31950 DANIEL WAY
TEMECULA, CA. 92591

ASMT: 957580043, APN: 957580043
ORA ADAMS, ETAL
C/O ADAMS FAMILY TRUST
PO BOX 890998
TEMECULA CA 92589

ASMT: 957580037, APN: 957580037
CATARINA LOVE, ETAL
40855 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580044, APN: 957580044
SUSAN MERCER, ETAL
40828 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580038, APN: 957580038
HUA YU, ETAL
204 KNOLL RIDGE RD
SIMI VALLEY CA 93065

ASMT: 957580045, APN: 957580045
MUSTAFA KARADAG
28 WILLOW GROVE
IRVINE CA 92604

ASMT: 957580039, APN: 957580039
MICHEL PIETERS
40827 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580046, APN: 957580046
ADRIAN CONKLIN, ETAL
40856 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580040, APN: 957580040
MEGAN MCLEOD
40813 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580047, APN: 957580047
NICOLE STONE, ETAL
40870 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580041, APN: 957580041
CHRISTINA GIORDANO, ETAL
40801 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580048, APN: 957580048
ANTHONY MUNOZ
40884 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580042, APN: 957580042
LAURA HOSKINS, ETAL
40800 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957580049, APN: 957580049
JANE HELTON, ETAL
31994 CALLE ELENITA
TEMECULA, CA. 92591

ASMT: 957590001, APN: 957590001
ALICIA HILL HAIN, ETAL
40898 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957591004, APN: 957591004
TERESA OSTER
40966 JULO WAY
TEMECULA, CA. 92591

ASMT: 957590002, APN: 957590002
MADELAINE ELIA, ETAL
40912 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957591005, APN: 957591005
ESTHER LIANG, ETAL
40976 JULO WAY
TEMECULA, CA. 92591

ASMT: 957590003, APN: 957590003
ANTHONY CURATOLO
40926 CARLENA LN
TEMECULA, CA. 92591

ASMT: 957591006, APN: 957591006
JENNIFER OLSON, ETAL
40986 JULO WAY
TEMECULA CA 92591

ASMT: 957590004, APN: 957590004
COLLEEN MILLER, ETAL
40997 CEBU LN
TEMECULA, CA. 92591

ASMT: 957591007, APN: 957591007
VALERIE WALKER, ETAL
40996 JULO WAY
TEMECULA, CA. 92591

ASMT: 957590005, APN: 957590005
BEATRICE MEDINA
40985 CEBU DR
TEMECULA, CA. 92591

ASMT: 957591008, APN: 957591008
SAMUEL PARK
1637 BEECHWOOD
COSTA MESA CA 92626

ASMT: 957591001, APN: 957591001
CHERI PRYOR
6789 AVENA CT
CARLSBAD CA 92011

ASMT: 957770002, APN: 957770002
PAMA GOOD, ETAL
31704 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957591002, APN: 957591002
RICHARD HOLDER, ETAL
31984 AHERN PL
TEMECULA, CA. 92591

ASMT: 957770003, APN: 957770003
BRITTANY TRICHTER, ETAL
31708 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770004, APN: 957770004
HIEU BUI, ETAL
31712 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770011, APN: 957770011
MELISSA MALONE
31740 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770005, APN: 957770005
CASSIE RANDAZZO, ETAL
31716 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770012, APN: 957770012
SENDUS TOMA, ETAL
31744 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770006, APN: 957770006
JULIE SMITH, ETAL
31720 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770013, APN: 957770013
PULRI TOU, ETAL
31743 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770007, APN: 957770007
MONICA COLWELL, ETAL
31724 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770014, APN: 957770014
FERMA MICLAT, ETAL
31739 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770008, APN: 957770008
BRENDA TOWNSEND, ETAL
31728 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770015, APN: 957770015
MARIA SERRANO, ETAL
31735 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770009, APN: 957770009
ALEXANDRIA HOLTZ, ETAL
31732 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770016, APN: 957770016
KIMBERLY PREITE, ETAL
31731 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770010, APN: 957770010
ELIZABETH HUTTON, ETAL
31736 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770017, APN: 957770017
AMBAR DEAL, ETAL
31727 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770018, APN: 957770018
ANGELA LOCZI, ETAL
31723 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770027, APN: 957770027
BRIAN KELLY
31730 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770019, APN: 957770019
SUSAN CRUMLEY, ETAL
31719 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770028, APN: 957770028
PENNY ROWLANDS
31737 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770020, APN: 957770020
MOHAMMAD HASSANKHAIL
31715 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770029, APN: 957770029
CANDELARIA LIPSCOMB, ETAL
31733 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770021, APN: 957770021
CYNTHIA DEL CAMPO, ETAL
31711 ABRUZZO ST
TEMECULA, CA. 92591

ASMT: 957770030, APN: 957770030
PEGGY BANKS
31729 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770024, APN: 957770024
BEVERLY KRALIK, ETAL
40208 GRENACHE CT
MURRIETA CA 92563

ASMT: 957770031, APN: 957770031
KEARLY NEILSON, ETAL
31725 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770025, APN: 957770025
GREGORY MILLER
31738 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770032, APN: 957770032
ANDREA SANTIANI, ETAL
40220 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770026, APN: 957770026
BARBARA MARLAND, ETAL
31734 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770033, APN: 957770033
KIM NESHATI, ETAL
40224 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770034, APN: 957770034
ALEXIS BANUELOS, ETAL
40228 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770041, APN: 957770041
BONNYMAE BAKER, ETAL
40233 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770035, APN: 957770035
RICHARD WOODS
40232 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770042, APN: 957770042
CECILIA PECSON, ETAL
31711 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770036, APN: 957770036
DEBBIE MINJAREZ, ETAL
40236 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770043, APN: 957770043
MELISSA LARSON, ETAL
31709 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770037, APN: 957770037
JOLIE BRYANT, ETAL
40240 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770044, APN: 957770044
KATHLEEN OLLERDESSEN, ETAL
31705 SEVILLE ST
TEMECULA, CA. 92591

ASMT: 957770038, APN: 957770038
DEREK VALENTINE
40245 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770050, APN: 957770050
THE VINEYARD COMMUNITY ASSN
C/O WALCOTT 45
2900 ADAMS ST C-25
RIVERSIDE CA 92504

ASMT: 957770039, APN: 957770039
MA OLIVIA SAN DIEGO, ETAL
40241 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 957770051, APN: 957770051
THE VINEYARD COMMUNITY ASSN
C/O WALCOTT 45
2900 ADAMS ST NO C-25
RIVERSIDE CA 92504

ASMT: 957770040, APN: 957770040
MARY WITTENBERG
40237 LOMBARDY ST
TEMECULA, CA. 92591

ASMT: 964070003, APN: 964070003
DENISE ZIONY, ETAL
P O BOX 760
MENLO PARK CA 94026

ASMT: 964070010, APN: 964070010
YICHIN WANG
18965 AMBERLY PL
ROWLAND HEIGHTS CA 91748

ASMT: 964120008, APN: 964120008
JOHN LAAN
P O BOX 892800
TEMECULA CA 92589

ASMT: 964120001, APN: 964120001
MARIA CASTRO, ETAL
37801 AVENIDA DE LAURA
WINCHESTER, CA. 92596

ASMT: 964120009, APN: 964120009
MELISSA HAWLEY, ETAL
37925 AZUZA ST
WINCHESTER CA 92596

ASMT: 964120002, APN: 964120002
JENNIFER REYES, ETAL
37800 AVENIDA DE LAURA
WINCHESTER, CA. 92596

ASMT: 964120010, APN: 964120010
JEANNE LISH, ETAL
37895 AZUSA ST
WINCHESTER, CA. 92596

ASMT: 964120003, APN: 964120003
VALERIE SHUBERT, ETAL
37802 AVENIDA DE LAURA
WINCHESTER, CA. 92596

ASMT: 964120011, APN: 964120011
ROSANA DIAZ, ETAL
P O BOX 220
WINCHESTER CA 92596

ASMT: 964120004, APN: 964120004
MARIA SANTANA, ETAL
37807 AVENIDA DE LAURA AVE UNIT 1
WINCHESTER, CA. 92596

ASMT: 964120012, APN: 964120012
RACHEL ROBERTS, ETAL
37895 NORMANDY RD
WINCHESTER CA 92596

ASMT: 964120005, APN: 964120005
KRISTOFER LAUGTUG, ETAL
37890 AVENIDA ARMADA
WINCHESTER, CA. 92596

ASMT: 964120015, APN: 964120015
DONNA HENDERSON, ETAL
37810 NORMANDY RD
WINCHESTER, CA. 92596

ASMT: 964120006, APN: 964120006
ALETA PAYNE, ETAL
37872 AVENIDA ARMADA
WINCHESTER, CA. 92596

ASMT: 964130001, APN: 964130001
LAURA KEMPTON, ETAL
37887 VISTA LAGO RD
WINCHESTER, CA. 92596

ASMT: 964130002, APN: 964130002
ASHLEY JARVIS, ETAL
37850 VISTA LAGO RD
WINCHESTER, CA. 92596

ASMT: 964130009, APN: 964130009
AIDA HERCULES DODARO, ETAL
37863 ASHFIELD LN
WINCHESTER CA 92596

ASMT: 964130003, APN: 964130003
JEROME KLIM
37898 VISTA LAGO RD
WINCHESTER, CA. 92596

ASMT: 964130010, APN: 964130010
PETER SCHUTTER
37795 ASHFIELD LN
WINCHESTER, CA. 92596

ASMT: 964130004, APN: 964130004
EMMA MAPANAO, ETAL
13818 PREMIERE AVE
BELLFLOWER CA 90706

ASMT: 964130011, APN: 964130011
BARBARA ZIMMERMAN, ETAL
37850 ASHFIELD LN
WINCHESTER, CA. 92596

ASMT: 964130005, APN: 964130005
TRACY HOUCK, ETAL
37901 HALIFAX LN
WINCHESTER, CA. 92596

ASMT: 964130013, APN: 964130013
BONNIE MOYNIER, ETAL
P O BOX 68
WINCHESTER CA 92596

ASMT: 964130006, APN: 964130006
JILL MADLEM, ETAL
32418 LARVOTTO CT
WINCHESTER CA 92596

ASMT: 964130014, APN: 964130014
DANA LUTHER
613 GIBBS ST
NAVASOTA TX 77868

ASMT: 964130007, APN: 964130007
HENRY MARQUES
PO BOX 7064
DESERT CENTER CA 92239

ASMT: 964130015, APN: 964130015
MARCIA SOTO, ETAL
37878 AROSA ST
WINCHESTER, CA. 92596

ASMT: 964130008, APN: 964130008
MELINA HENRY, ETAL
425 CYPRESS AVE
PASADENA CA 91103

ASMT: 964130016, APN: 964130016
TAMERA MALGIERI, ETAL
1620 WAGON WHEEL DR
OCEANSIDE CA 92057

ASMT: 964130017, APN: 964130017
ANNE DUHART, ETAL
35376 BOREL RD
WINCHESTER, CA. 92596

ASMT: 964180016, APN: 964180016
MWD
C/O ASSEST MANAGEMENT
P O BOX 54153
LOS ANGELES CA 90054

ASMT: 964130018, APN: 964130018
JESSICA MOSES, ETAL
37931 ASHFIELD LN
WINCHESTER, CA. 92596

ASMT: 964180035, APN: 964180035
CITY OF TEMECULA
C/O CITY CLERK
P O BOX 9033
TEMECULA CA 92589

ASMT: 964130019, APN: 964130019
CATTLE CORP, ETAL
5560 S FORT APACHE NO 100
LAS VEGAS NV 89148

ASMT: 964180036, APN: 964180036
RORIPAUGH VALLEY RESTORATION
C/O STEVEN SWARTZ
482 N ROSEMEAD STE 103
PASADENA CA 91107

ASMT: 964150015, APN: 964150015
STATE OF CALIF
650 HOWE AVE
SACRAMENTO CA 95825

ASMT: 964190019, APN: 964190019
STANDARD TEMECULA
C/O DAVID G LIU
488 E SANTA CLARA STE 304
ARCADIA CA 91006

ASMT: 964160003, APN: 964160003
ATEF KARAM
C/O CHARLY E MOUBAYED
18820 APHRODITE LN
SANTA CLARITA CA 91351

ASMT: 964190020, APN: 964190020
WESTERN RIVERSIDE CO REG CONSERV AUTHORI
C/O DEPT OF FACILITIES MANAGEMENT
3133 MISSION INN AVE
RIVERSIDE CA 92507

ASMT: 964180001, APN: 964180001
RIVERSIDE COUNTY PUBLIC FIN AUTHORITY
C/O JOE RANK
3535 10TH ST STE 300
RIVERSIDE CA 92501

ASMT: 966380015, APN: 966380015
TEMECULA QK HOLDINGS
C/O GREGORY KOLL
28780 OLD TOWN FRONT C-5
TEMECULA CA 92590

ASMT: 964180015, APN: 964180015
DREAM HOUSE USA
31596 ROSALES AVE
MURRIETA CA 92563

ASMT: 966380016, APN: 966380016
KATHLEEN SPANO, ETAL
34670 SANTA RITA RD
TEMECULA CA 92592

ASMT: 966380018, APN: 966380018
DIANE YOUNT
34970 SANTA RITA RD
TEMECULA, CA. 92592

ASMT: 966380025, APN: 966380025
JILL LITTEN, ETAL
45031 ANZA RD
TEMECULA, CA. 92592

ASMT: 966380019, APN: 966380019
SOONTAREE NEMEC
41 ROCKY KNOLL
IRVINE CA 92715

ASMT: 966380032, APN: 966380032
REDHAWK INV, ETAL
627 S MANCHESTER AVE
ANAHEIM CA 92802

ASMT: 966380020, APN: 966380020
RAKSHANDA AHMED, ETAL
36035 CORTE LISBOA
MURRIETA CA 92562

ASMT: 966380037, APN: 966380037
MONTE VERDE ROAD
2700 PCH 2ND FL
TORRANCE CA 90505

ASMT: 966380021, APN: 966380021
GILDA TAVOUSSI, ETAL
35010 SANTA RITA RD
TEMECULA, CA. 92592

ASMT: 966380022, APN: 966380022
BRADLEY CAPEN, ETAL
31874 VIA BARRAZA
TEMECULA CA 92592

ASMT: 966380023, APN: 966380023
KENNETH SMITH
44040 JERAMIE DR
TEMECULA CA 92592

ASMT: 966380024, APN: 966380024
SUSAN HARRISON, ETAL
34725 SANTA RITA RD
TEMECULA, CA. 92592