



# RIVERSIDE COUNTY PLANNING COMMISSION

RIVERSIDE COUNTY  
PLANNING DEPARTMENT

9:00 A.M.

JANUARY 15, 2014

**PLANNING  
COMMISSIONERS  
2014**

**1<sup>st</sup> District**  
Charissa Leach

**2<sup>nd</sup> District**  
Ed Sloman

**3<sup>rd</sup> District**  
John Petty

**4<sup>th</sup> District**  
Bill Sanchez  
*Chairman*

**5<sup>th</sup> District**  
Mickey Valdivia  
*Vice Chairman*

**Interim  
Planning Director**  
Juan C. Perez

**Legal Counsel**  
Michelle Clack  
*Deputy  
County Counsel*

*Phone*  
951 955-3200

*Fax*  
951 955-1811

## AGENDA

• REGULAR MEETING • RIVERSIDE COUNTY •  
**RIVERSIDE COUNTY PLANNING COMMISSION**  
4080 LEMON STREET, 1<sup>ST</sup> FLOOR BOARD CHAMBERS  
RIVERSIDE, CA 92501

CALL TO ORDER - ROLL CALL  
SALUTE TO THE FLAG

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the TLMA Commission Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Mary Stark at (951) 955-7436 or E-mail at [mcstark@rctlma.org](mailto:mcstark@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 CONSENT CALENDAR

1.1 **NONE**

2.0 GENERAL PLAN AMENDMENT INITIATION PROCEEDINGS: 9:00 a.m. or as soon as possible thereafter. (Presentation available upon Commissioners' request)

2.1 **GENERAL PLAN AMENDMENT NO. 1127** – Applicant: Christopher Development Group, Inc. – First/First Supervisorial District – Location: Northeasterly corner of El Sobrante Road and McAllister Street – 23.70 Gross Acres – **REQUEST:** The General Plan Amendment proposes to amend the Riverside County General Plan Land Use Element from Community Development: Commercial Retail (CD: CR) (0.20 – 0.35 Floor Area Ratio) and Community Development: Medium Density Residential (CD: MDR) (0.20 – 0.35 Floor Area Ratio) Land Use Designation to Community Development: Medium Density Residential (CD: MDR) (0.20 – 0.35 Floor Area Ratio). Project Planner: Damaris Abraham at (951) 955-5719 or email [dabraham@rctlma.org](mailto:dabraham@rctlma.org). (Legislative)

2.2 **GENERAL PLAN AMENDMENT NO. 1125** – Applicant: Cal Thermal Real Estate LLC – Representative: Paul Quill Enterprises LLC – Fourth/Fourth Supervisorial District – Lower Coachella Valley Zoning District – Eastern Coachella Valley: Agriculture: Agriculture (AG: AG) (10 acre minimum) – Location: Northwest corner of 61<sup>st</sup> Avenue and Sundowner Avenue – 80.8 Gross Acres – Zoning: Light Agriculture-10 acre minimum (A-1-10) – **REQUEST:** To change the project site's current General Plan Land Use designation from Agriculture: Agriculture to Community Development: Medium

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 77588 El Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555

Density Residential (2-5 dwelling unit per acre). Project Planner: Paul Rull at (951) 955-0972 or email [prull@rctlma.org](mailto:prull@rctlma.org). (Legislative)

2.3 **GENERAL PLAN AMENDMENT NO. 1132** – Applicant: CV Communities – Engineer/Representative: Henninger Grant – First/First Supervisorial District – Lake Mathews Zoning District – Lake Mathews/Woodcrest Area Plan: Rural Community: Very Low Density Residential (RC:VLDC) (1 Acre Minimum) and Rural Community: Estate Density Residential (RC:EDR) (2 Acre Minimum) – Location: Northerly of Lake Mathews, southerly of the Street A in the Citrus Heights Specific Plan (SP325A1), and westerly of Blackburn Road – 168.38 net acres – Zoning: Light Agricultural- 10 Acre Minimum (A-1-10) **REQUEST:** The General Plan Amendment proposes to amend the General Plan Land Use Designation from Rural Community: Very Low Density Residential (RC:VLDC) (1 Acre Minimum) and Rural Community: Estate Density Residential (RC:EDR) (2 Acre Minimum) to Rural Community: Low Density Residential (RC:LDR) (1/2 Acre Minimum). Project Planner: Matt Straite at (951) 955-8631 or email [mstraite@rctlma.org](mailto:mstraite@rctlma.org). (Legislative)

2.4 **GENERAL PLAN AMENDMENT NO. 1131** – Applicant: David Jeffers Consulting, Inc. – First/First Supervisorial District – Location: Those portions of Rancho California Rd, De Luz Rd, Via Vaquero Rd, Glen Meadows Rd and Carancho Rd that are within and along the boundaries of the Walker Basin Policy Area – N/A Gross Acres – **REQUEST:** The General Plan Amendment proposes to amend the Riverside County General Plan Circulation Element by removing the Circulation Element designations from the portions of Rancho California Rd, De Luz Rd, Via Vaquero Rd, Glen Meadows Rd and Carancho Rd that are within and along the boundaries of the Walker Basin Policy Area so that they can be constructed as either Collector Rural Roads or Residential Rural Roads. Project Planner: Richard Fairhurst at (951) 955-6757 or email [rfairhur@rctlma.org](mailto:rfairhur@rctlma.org). (Legislative)

**3.0 PUBLIC HEARING: 9:00 a.m. or as soon as possible thereafter:**

3.1 **CONDITIONAL USE PERMIT NO. 3252, REVISED PERMIT NO. 4** – Intent to Adopt Mitigated Negative Declaration – Applicant: SA Recycling, LLC – Fourth/Fourth Supervisorial District – Location: Southerly of Vista Chino Road, northerly of Watt Court, and westerly of Sierra Del Sol Road at 29-250 Rio Del Sol Road in Thousand Palms – **REQUEST:** A phased expansion of an existing outdoor recycling facility from 25 acres to 43 gross acres with approximately 380,000 combined annual tons of incoming volume which includes a recycling facility for green and wood waste materials, a recycling facility for composting operations, a recycling facility for asphalt and concrete (inert materials), and a recycling facility for metals and white goods including processing of end of life vehicles (EOL). Additionally, the recycling facility proposes the addition of a 73,000 ft. equipment storage area, a 15,000 square foot warehouse at a maximum height of 25 feet, and a 29,000 square foot employee parking area, along with existing accessory office and shop buildings. Continued from December 4, 2013. Project Planner: Jay Olivas at 951-955-1195 or email at [jolivas@rctlma.org](mailto:jolivas@rctlma.org) (Quasi-judicial)

**STAFF REPORT PENDING**

3.2 **RECLAMATION PLAN NO. 135, NOTICE AND ORDER TO COMPLY** – Mine Operator: Mission Clay Products – First/First Supervisorial District – Glen Ivy Zoning Area – Temescal Canyon Area Plan: Community Center (CC), Commercial Retail (CR), Light Industrial (LI), Open Space: Conservation (OS-C), and Open Space – Water (OS-W) – Location: East of Interstate 15, west of Temescal Canyon Wash, and south of Dawson Canyon Road, 2 miles North of Indian Truck Trail – 285.66 Gross Acres – Zoning: SP - **REQUEST:** The Planning Commission is to consider testimony from Staff and the Mine Operator relative to the Notice and Order to Comply issued by the County pursuant to the Surface Mining and Reclamation Act and County Ord. No. 555, and shall determine whether or not the operator is complying with the approved reclamation plan, the permit conditions or the provisions of this ordinance and may affirm, modify or set aside the order issued by the Planning Director. Continued from December 4, 2013. Project Planner: David Jones at (951) 955-6863 or email [djones@rctlma.org](mailto:djones@rctlma.org). (Quasi-judicial)



- 3.3 **SURFACE MINING PERMIT NO. 102, NOTICE AND ORDER TO COMPLY** – Mine Operator: Sun Services – Fourth/Fourth Supervisorial District - Chuckwalla Zoning District – Location: 25 Miles north of Blythe, 10 Miles west of Midland Road, and 15 Miles south of State Highway 62 – 400 Gross Acres - Zoning: Natural Assets (N-A) - **REQUEST:** The Planning Commission is to consider testimony from Staff and the Mine Operator relative to the Notice and Order to Comply issued by the County pursuant to the Surface Mining and Reclamation Act and County Ord. No. 555, and shall determine whether or not the operator is complying with the approved mining plan, the approved reclamation plan, the permit conditions or the provisions of this ordinance and may affirm, modify or set aside the order issued by the Planning Director. Continued from November 6, 2013. Project Manager, David Jones at (951) 955-6863 or email [dljones@rctlma.org](mailto:dljones@rctlma.org). (Quasi-judicial)
- 3.4 **SURFACE MINING PERMIT APPLICATION NO. 197, NOTICE AND ORDER TO COMPLY** – Mine Operator: Corona Clay Company – First/First Supervisorial District – Glen Ivy Zoning Area – Temescal Canyon Area Plan: Open Space – Mineral Resources (OS-MIN) – Location: East of Interstate 15 and the Temescal Canyon Wash, South of El Sobrante Landfill, North of Dawson Canyon Road – 36.02 Gross Acres - Zoning: M-R - **REQUEST:** The Planning Commission is to consider testimony from Staff and the Mine Operator relative to the Notice and Order to Comply issued by the County pursuant to the Surface Mining and Reclamation Act and County Ord. No. 555, and shall determine whether or not the operator is complying with the approved reclamation plan, the permit conditions or the provisions of this ordinance and may affirm, modify or set aside the order issued by the Planning Director. Project Manager: David Jones at (951) 955-6863 or email [dljones@rctlma.org](mailto:dljones@rctlma.org). (Quasi-judicial)
- 3.5 **GENERAL PLAN AMENDMENT NO. 1119** – CEQA Exempt – Applicant – Riverside County Transportation Department – All Supervisorial Districts – All Zoning Districts – Location: Countywide Policy – **REQUEST:** Amend the General Plan Circulation Element Policy C 2.1 to include language clarifying that the Board of Supervisors may apply other Level of Service (LOS) targets on a plan, program or project that has completed an Environmental Impact Report, based on the Board's policy decision about the balancing of congestion management considerations in relation to the benefits, impacts and costs of the future plans, programs or projects. Continued from December 4, 2013. Project Planner: Richard Fairhurst at (951) 955-6757 or email [rfairhur@rctlma.org](mailto:rfairhur@rctlma.org). (Legislative)
- 3.6 **PLOT PLAN NO. 24928** – Adopt a Negative Declaration – Applicant: Verizon Wireless – Third/Third Supervisorial District – Location: Northerly of Mayberry Ave, southerly of Acacia Ave., easterly of Stanford St., and westerly of Meridian St. – **REQUEST:** The plot plan is a proposal for Verizon Wireless to construct and operate a disguised 65 foot high pine tree with twelve (12) panel antennas located at 58 foot height, one (1) parabolic antenna. The project also includes approximately 200 square foot equipment shelter, 30 kilowatt backup generator within a 900 square foot lease area surrounded by a six (6) foot block wall with landscaping on approximately six (6) acre vacant site. The location of the tower is to the southwest section of the property (within W-1 zoning designation) 50 feet away from the existing fault line. Access to the facility is proposed with a 12 foot wide easement along the western property line. Continued from August 21, 2013, September 18, 2013, October 2, 2013, November 6, 2013, and December 4, 2013. (Public hearing was closed December 4, 2013). Project Planner: HP Kang at (951) 955-1888 or email [hpkang@rctlma.org](mailto:hpkang@rctlma.org). (Quasi-judicial)

### **STAFF REPORT PENDING**

- 3.7 **APPEAL OF PLOT PLAN NO. 25210** – Intent to Adopt a Negative Declaration – Applicant: Jung Hwan Choi – Engineer/Representative: Hyung Jin Seo – Third/Third Supervisorial District - Location: Northerly of Strawberry Valley Drive, easterly of Saunders Meadow Rd, westerly of Bickneil Lane and southerly of Highway 243 – **REQUEST:** The plot plan proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres. There is no added square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. It also includes architectural enhancement that includes the

Vinyl Log Cabin Siding (Cypress - Beige Color) and River Rock veneer along the bottom section, new front balcony with wooden railing, new wooden railing along the 1<sup>st</sup> floor front with large wood posts, new windows with Harde board plank trim, and new paint color of earth tones (beige and brown-red). Project Planner: HP Kang at (951) 955-1888 or email [hpkang@rctlma.org](mailto:hpkang@rctlma.org). (Quasi-judicial)

3.8 **CONDITIONAL USE PERMIT NO. 3439, REVISED PERMIT NO. 1** – Consider an Addendum to a Mitigated Negative Declaration – Applicant: Ottavio and Marie Forcone – First/First Supervisorial District – Location: Northeasterly of I-15 Freeway, southwesterly of Temescal Canyon Road, and easterly side of Earthmover Circle, more specifically 26362 Earthmover Circle – 1.45 Gross Acres – **REQUEST:** The Revised Permit proposes to replace the proposed earth mounding over the Liquid Propane Gas (LPG) tanks with Infrared flame detection and shut-off system for the previously approved LPG distribution facility which includes three 30,000 gallon liquid propane tanks. Project Planner: Damaris Abraham at (951) 955-5719 or email [dabraham@rctlma.org](mailto:dabraham@rctlma.org). (Quasi-judicial)

3.9 **GENERAL PLAN AMENDMENT NO. 1122** – No Further Environmental Documentation is Required – Applicant: County of Riverside – All Supervisorial Districts – Location: County wide Policy – **REQUEST:** GENERAL PLAN AMENDMENT NO. 1122 proposes the 5th cycle update to the Housing Element (Chapter 8) for the Riverside County General Plan in accordance with, and incorporating revisions, approved by the State of California Department of Housing and Community Development (HCD) for the planning period of October 15, 2013 to October 15, 2021. Project Planner: Bill Gayk at (951) 955-8514 or email [bgayk@rctlma.org](mailto:bgayk@rctlma.org). (Legislative)

#### 4.0 WORKSHOPS:

4.1 **NONE**

#### 5.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

#### 6.0 DIRECTOR'S REPORT

#### 7.0 COMMISSIONERS' COMMENTS

201

Agenda Item No.:  
Area Plan: Lake Mathews/Woodcrest  
Zoning District: Lake Mathews  
Supervisorial District: First/First  
Project Planner: Damaris Abraham  
Planning Commission: January 15, 2014

GENERAL PLAN AMENDMENT NO. 1127  
(Entitlement/Policy Amendment)  
Applicant: Christopher Development Group, Inc.  
Engineer/Representative: Albert A. Webb Associates

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

General Plan Amendment No. 1127 proposes to amend the Riverside County General Plan Land Use Element from Community Development: Commercial Retail (CD: CR) (0.20 – 0.35 Floor Area Ratio) and Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units per Acre) Land Use Designation to Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units per Acre).

The proposed Amendment is located in the Lake Mathews/Woodcrest Area Plan; more specifically, the project is located at the northeasterly corner of El Sobrante Road and McAllister Street.

### BACKGROUND:

The initiation of proceedings for any General Plan Amendment (GPA) requires the adoption of an order by the Board of Supervisors. The Planning Director is required to prepare a report and recommendation on all GPA applications and submit them to the Board of Supervisors. Prior to the submittal to the Board, comments on the applications will be requested from the Planning Commission, and the Planning Commission comments will be included in the report to the Board. The Board will either approve or disapprove the initiation of the proceedings for the GPA requested in the applications.

The consideration of the initiation of proceedings pursuant to this application by the Planning Commission and the Board of Supervisors will not involve a noticed public hearing. The Planning Department, however, did notify the applicant by mail of the time, date and place when the Planning Commission will consider this GPA initiation request.

If the Board of Supervisors adopts an order initiating proceedings pursuant to this application, the proposed amendment will thereafter be processed, heard and decided in accordance with all the procedures applicable to GPA applications, including noticed public hearings before the Planning Commission and Board of Supervisors. The adoption of an order initiating proceedings does not imply that any amendment will be approved. If the Board of Supervisors declines to adopt an order initiating proceedings, no further proceedings of this application will occur.

The Board of Supervisors established the procedures for initiation of GPA applications with the adoption of Ordinance No. 348.4573 (effective May 8, 2008), which amended Article II of that ordinance. This particular GPA application is an Entitlement/Policy Amendment GPA, under Section 2.4.

### GENERAL PLAN ADMINISTRATIVE ELEMENT FINDINGS:

In order to support the initiation of a proposed General Plan Amendment it must be established that the proposal could possibly satisfy certain required findings subject to the development review process and final CEQA determination. The Administration Element of the General Plan explains that there are four categories of amendments, Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing.

D.M.

General Plan Amendment No. 1127 falls into the Entitlement/Policy category, because it is changing within the same Foundation-Component, Community Development.

The Administration Element of the General Plan explains that two findings must be made, and at least one of five additional findings must be made to justify an entitlement/policy amendment. The two findings are:

- a. The proposed change does not involve a change in or conflict with:
  - (1) The Riverside County Vision;
  - (2) Any General Plan Principle; or,
  - (3) Any Foundation Component designation in the General Plan.
- b. The proposed amendment would either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them.

The additional findings, only one of which need be made include:

- c. Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.
- d. A change in policy is required to conform to changes in state or federal law or applicable findings of a court of law.
- e. An amendment is required to comply with an update of the Housing Element or change in State Housing Element law.
- f. An amendment is required to expand basic employment job opportunities (jobs that contribute directly to the County's economic base) and that would improve the ratio of jobs-to-workers in the County.
- g. An amendment is required to address changes in public ownership of land or land not under Board of Supervisors' land use authority.

**Consideration Analysis:**

**First Required Finding:** The first finding per the General Plan Administrative element explains that the proposed Amendment must not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan.

- A. The proposed change does not conflict with:

- (1) The Riverside County Vision.

The Proposed Project would eliminate potential land use conflicts and compatibility issues which would result from development of the site according to the existing General Plan Commercial Retail designation. The Proposed Project would result in a land use designation



that is consistent with existing development in the immediate vicinity of the site and represents a logical continuation of land use in the area. Lands located to the north, east, and west of the project site are designated "Medium Density Residential" and land located to the east are developed with single family homes.

(2) Any General Plan Principle.

The proposed General Plan Amendment meets the General Plan principle of encouraging a wide range of housing opportunities for residents in a wider range of economic circumstances within the El Sobrante Policy Area than provided by the current designation. However, at this stage it cannot be determined if the project is, or is not consistent with the requirements of the Policy Area. The applicant will be required to provide a detailed analysis of the project's consistency with the El Sobrante Policy Area.

(3) Any Foundation Component designation in the General Plan.

The proposed designation would be within the same Foundation Component of the General Plan. Thus, the proposed amendment is consistent with the Community Development Foundation.

**Second Required Finding:** The second General Plan Administrative Element finding explains that the proposed Amendment must either contribute to the achievement of the purposes of the General Plan or,

The Proposed Project would not be detrimental to the purposes of the General Plan and Lake Mathews/Woodcrest Area Plan because the proposed amendment would maintain the rural and suburban style residential atmosphere of the community.

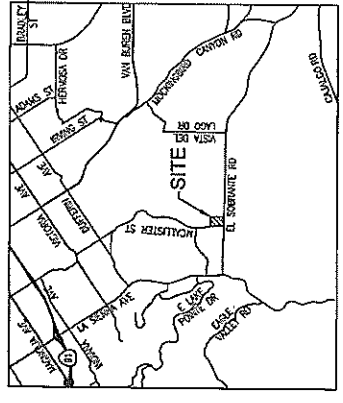
**Third Required Finding:** In addition to the two, the General Plan indicates that an additional finding, from a list of five, must also be made.

The appropriate additional finding for the proposed Amendment is:

The appropriate additional finding for the proposed amendment is "required to expand basic employment job opportunities and would improve the ratio of jobs-to-workers in the County." The proposed amendment will provide local construction jobs to develop the 23.7 acre site into a residential community. Subsequent jobs would be created to service and maintain the community.

**SUMMARY OF FINDINGS:**

- |                                    |  |
|------------------------------------|--|
| 1. General Plan Land Use (Ex. #6): | Community Development: Commercial Retail (CD: CR) (0.20 – 0.35 Floor Area Ratio) and Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units per Acre) |
| 2. Proposed General Plan Land Use: | Community Development: Medium Density Residential (CD: MDR) (2-5 Dwelling Units per Acre)  |
| 3. Existing Zoning (Ex. #2):       | Light Agriculture - 10 Acre Minimum (A-1-10)   |
| 4. Surrounding Zoning (Ex. #2):    | Light Agriculture - 10 Acre Minimum (A-1-10) to the north and east, Controlled Development Areas (W-2) to the south, One Family Dwellings (R-1) to the west                    |



**VICINITY MAP**

**OWNER**  
 H&R WARNE FARMS, INC.  
 13100 EL SOBRANTE ROAD  
 RIVERSIDE, CA 92503

**APPLICANT**  
 CHRISTOPHER DEVELOPMENT GROUP, INC.  
 23 CORPORATE PLAZA, SUITE 246  
 NEWPORT BEACH, CA 92660  
 (949) 729-1237

**ENGINEER**  
 ALBERT A. WEBB ASSOCIATES  
 3788 MCCRAY STREET  
 RIVERSIDE, CA 92506  
 (951) 686-1070

**ASSESSOR'S PARCEL NO.**  
 270-180-010

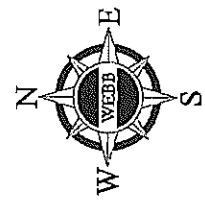
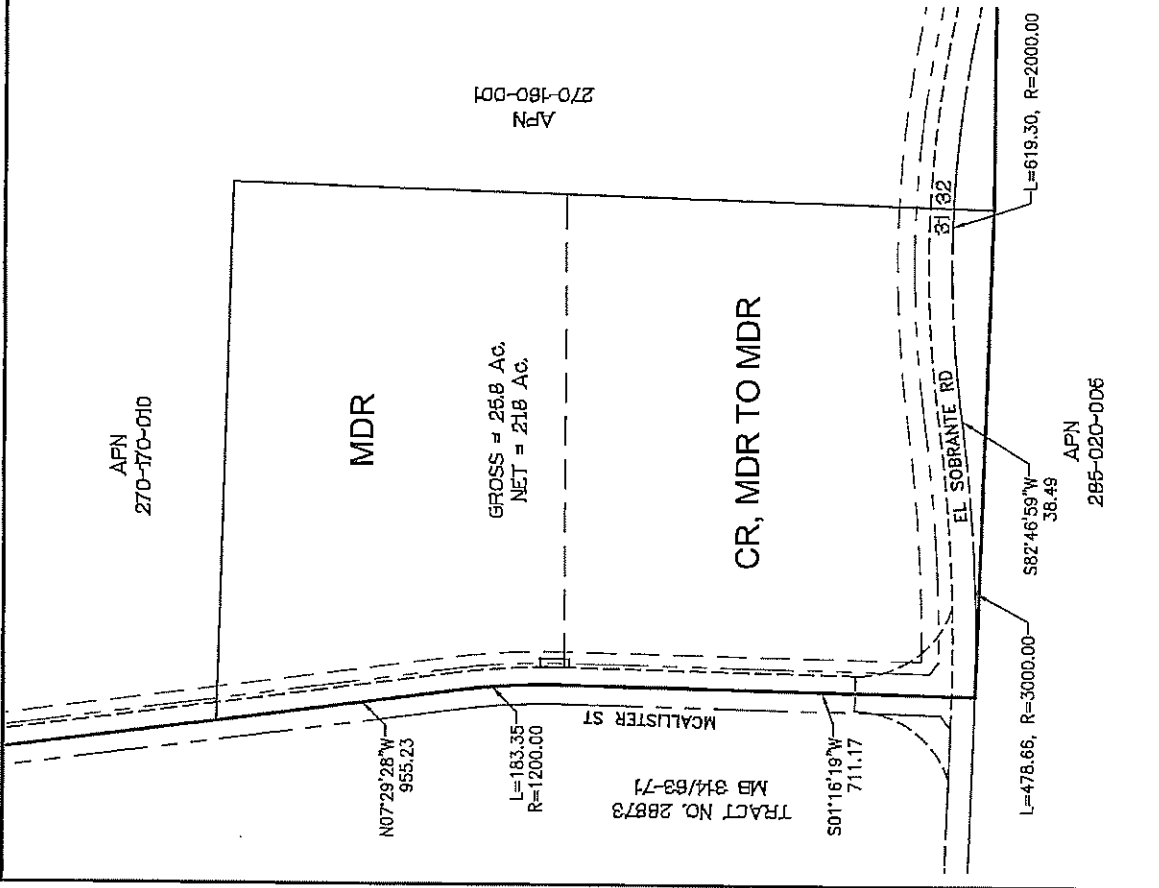
**ACREAGE**  
 ACRES GROSS/OWNERSHIP 23.70 AC

**LAND USE**  
 EXISTING LAND USE DESIGNATION: CR - COMMERCIAL RETAIL AND  
 MDR - MEDIUM DENSITY RESIDENTIAL  
 PROPOSED LAND USE DESIGNATION: MDR - MEDIUM DENSITY RESIDENTIAL  
 EXISTING ZONING: A-1-10

**LEGAL DESCRIPTION**  
 THOSE PORTIONS OF THE NORTHEAST QUARTER OF THE  
 SOUTHEAST QUARTER AND THE SOUTH HALF OF THE  
 SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF  
 SECTION 31, TOWNSHIP 3 SOUTH, RANGE 5 WEST, THOSE  
 PORTIONS OF THE SOUTHWEST QUARTER OF THE NORTHWEST  
 QUARTER AND THE SOUTHWEST QUARTER OF SECTION 30,  
 TOWNSHIP 3 SOUTH, RANGE 5 WEST, AS SAID SECTIONS ARE  
 SHOWN ON MAP OF THE RANCHO EL SOBRANTE DE SAN  
 JACINTO OF FILE IN BOOK 1, PAGE 8 OF MAPS, SAN  
 BERNARDINO COUNTY RECORDS.

**UTILITIES**  
 WATER.....WESTERN MUNICIPAL WATER DISTRICT  
 SEWER.....WESTERN MUNICIPAL WATER DISTRICT  
 ELECTRIC.....SOUTHERN CALIFORNIA Edison COMPANY  
 TELEPHONE.....ATT  
 TELEVISION.....INDIVIDUAL RECEPTION/CABLE

**NOTES**  
 1. 2007 EDITION THOMAS BRDS. MAP BOOK: PAGE 745,  
 GRID A7



REVISIONS	DATE	BY

<b>GENERAL PLAN AMENDMENT #</b>	
<b>SEC 31, T3S, R5W</b>	
SCALE: 1"=200'	W.O. 13-0182
DATE: 10/11/2013	SHEET 1
DESIGNED: ALBERT A. WEBB	OF 1 SHEETS
CHECKED: ALBERT A. WEBB	DWG. NO.
PLN CK REF:	
F.B.	



RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01127

VICINITY/POLICY AREAS

Supervisor Jeffries  
District 1

Date Drawn: 12/04/13  
Vicinity Map



Zoning District: Lake Mathews  
 Township/Range: T3SR5W  
 Section: 31

Assessors Bk. Pg. 270-18  
 Thomas Bros. Pg. 745 A7  
 Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.ftmsa.co.riverside.ca.us/index.html>



RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01127

LAND USE

Supervisor Jeffries  
District 1

Date Drawn: 12/04/13

Exhibit 1



Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 31

Assessors Bk. Pg. 270-18  
Thomas Bros. Pg. 745 A7  
Edition 2009



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RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01127

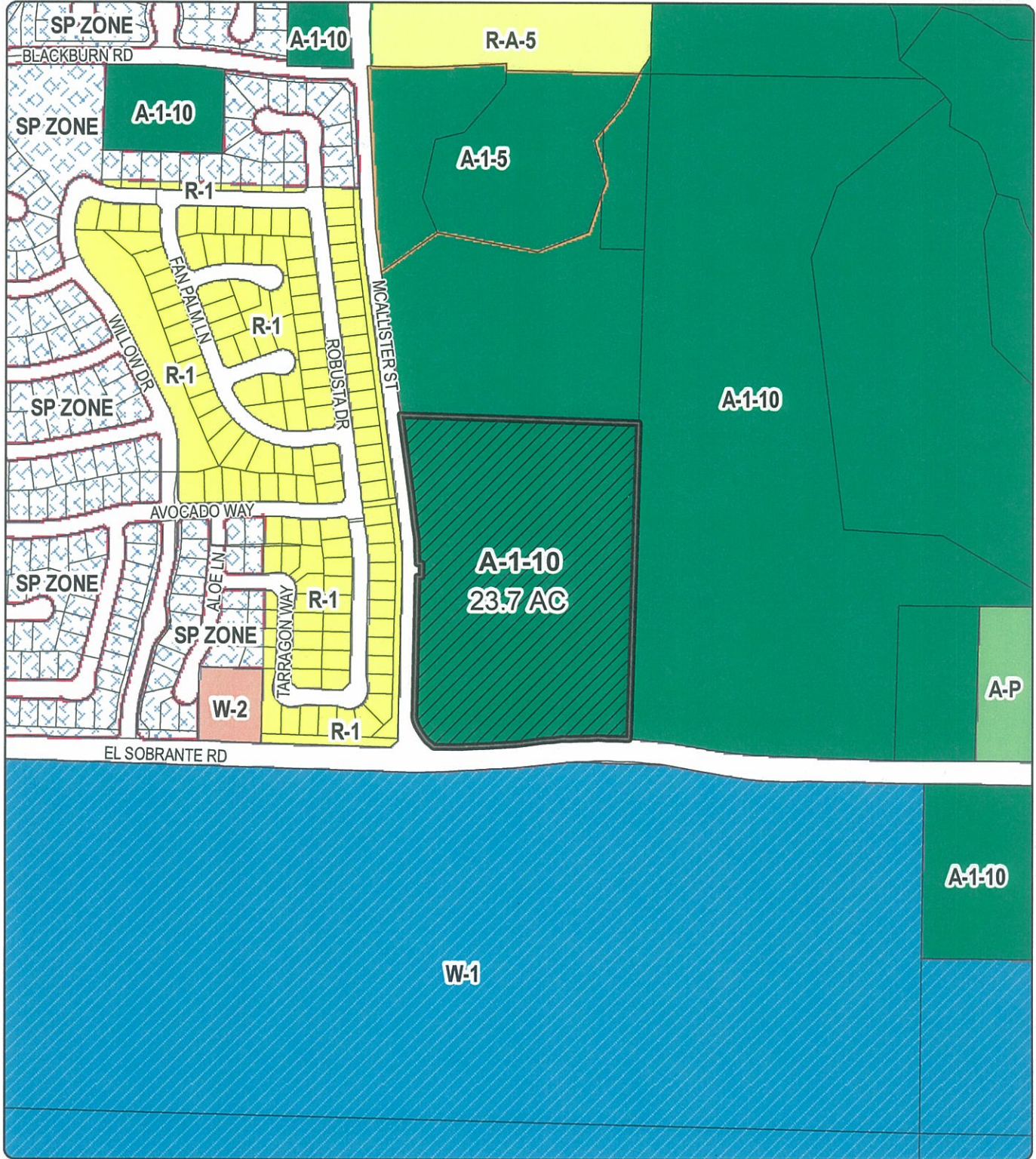
EXISTING ZONING

Supervisor Jeffries

District 1

Date Drawn: 12/04/13

Exhibit 2



Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 31

Assessors Bk. Pg. 270-18  
Thomas Bros. Pg. 745 A7  
Edition 2009



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RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01127

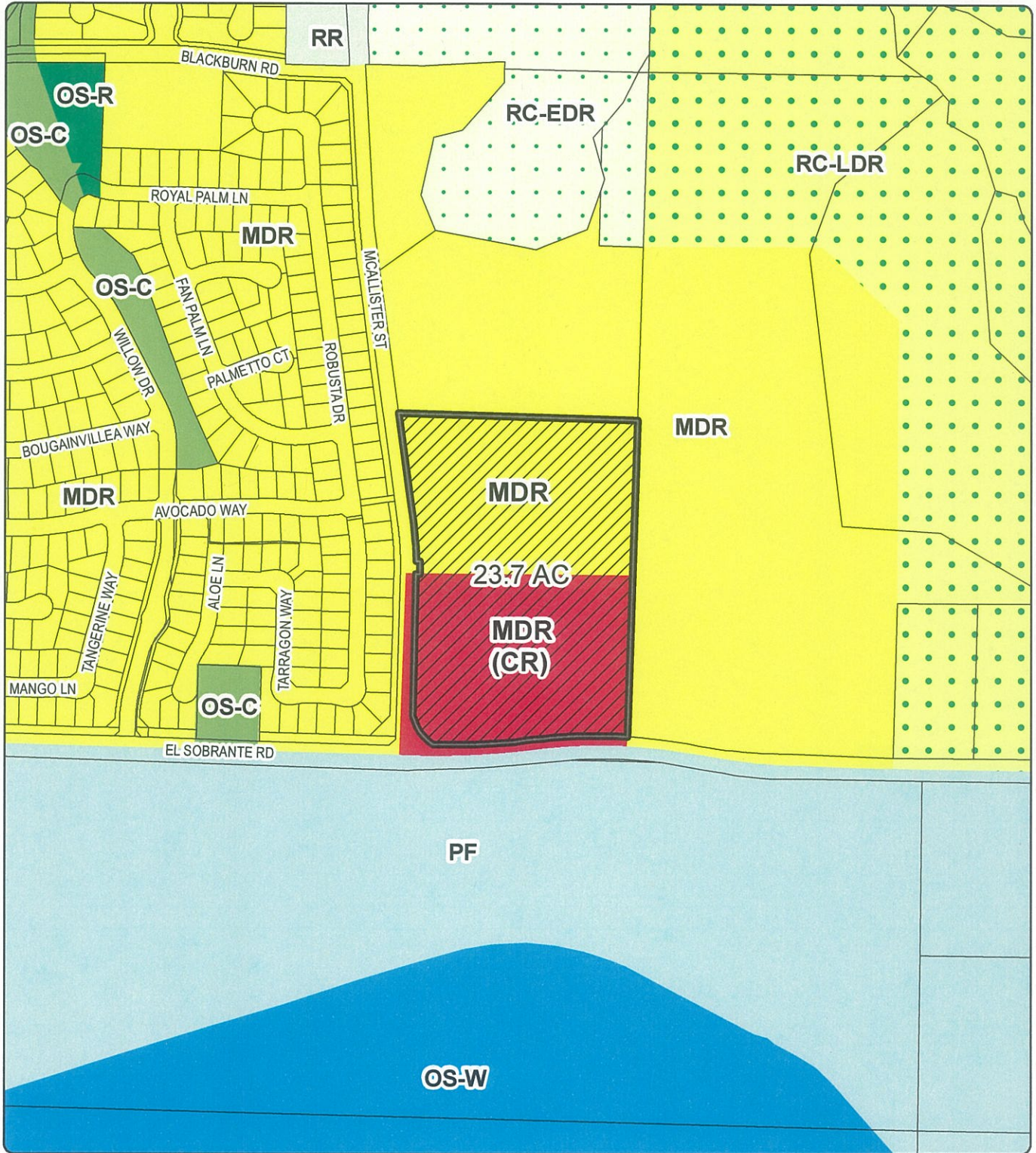
PROPOSED GENERAL PLAN

Date Drawn: 12/04/13

Exhibit 6

Supervisor Jeffries

District 1



Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 31

Assessors Bk. Pg. 270-18  
Thomas Bros. Pg. 745 A7  
Edition 2009



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Agenda Item No.: 2.2  
Area Plan: Eastern Coachella Valley  
Zoning District: Lower Coachella Valley  
Supervisory District: Fourth  
Project Planner: Paul Rull  
Planning Commission: January 15, 2014

General Plan Amendment No. 1125  
(Agricultural Amendment)  
Applicant: Cal Thermal Real Estate LLC  
Representative: Paul Quill Enterprises LLC

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

General Plan Amendment No. 1125 proposes to amend the Riverside County General Plan Land Use Element from Agriculture: Agriculture (AG: AG) (10 acre minimum) Land Use Designation to Community Development: Medium Density Residential (2-5 dwelling units per acre).

The proposed Amendment is located in the Eastern Coachella Valley Area Plan; more specifically, the project is located on the northwest corner of 61<sup>st</sup> Avenue and Sundowner Avenue.

### BACKGROUND:

The initiation of proceedings for any General Plan Amendment (GPA) requires the adoption of an order by the Board of Supervisors. The Planning Director is required to prepare a report and recommendation on all GPA applications and submit them to the Board of Supervisors. Prior to the submittal to the Board, comments on the applications will be requested from the Planning Commission, and the Planning Commission comments will be included in the report to the Board. The Board will either approve or disapprove the initiation of the proceedings for the GPA requested in the applications.

The consideration of the initiation of proceedings pursuant to this application by the Planning Commission and the Board of Supervisors will not involve a noticed public hearing. The Planning Department, however, did notify the applicant by mail of the time, date and place when the Planning Commission will consider this GPA initiation request.

If the Board of Supervisors adopts an order initiating proceedings pursuant to this application, the proposed amendment will thereafter be processed, heard and decided in accordance with all the procedures applicable to GPA applications, including noticed public hearings before the Planning Commission and Board of Supervisors. The adoption of an order initiating proceedings does not imply that any amendment will be approved. If the Board of Supervisors declines to adopt an order initiating proceedings, no further proceedings of this application will occur.

The Board of Supervisors established the procedures for initiation of GPA applications with the adoption of Ordinance No. 348.4573 (effective May 8, 2008), which amended Article II of that ordinance. This particular GPA application is an [General Plan Technical Amendment and Entitlement/Policy Amendment][General Plan Foundation Component Amendment – Regular][General Plan Foundation Component Amendment - Extraordinary][Agriculture Foundation Component General Plan Amendment] GPA, under Section [2.4][2.5][2.6][2.7].

Additionally, refer to the attached Worksheets for General Plan Amendment Initiation Consideration Analysis.

**GENERAL PLAN ADMINISTRATIVE ELEMENT FINDINGS:**

In order to support the initiation of a proposed General Plan Amendment it must be established that the proposal could possibly satisfy certain required findings subject to the development review process and final CEQA determination. The Administration Element of the General Plan explains that there are four categories of amendments, Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing.

General Plan Amendment No. 1125 falls into the Agriculture Foundation Amendment category which involves an amendment to a property designated as Agriculture in the General Plan.

The Administration Element of the General Plan explains that findings must be made for the proposal that will be changing from Agriculture Foundation to a Community Development designation. The require findings for this section of the analysis are:

- 1) The amendment would contribute to the achievement of the purposes of the General Plan.
- 2) The amendment would not be detrimental to the purposes of the General Plan.

Additionally, the Agriculture foundation allows up to 7% of all the land within one of three designated areas (i. Palo Verde, Desert Center, and Eastern Desert Area Plans, ii. Eastern Coachella Valley and Western Coachella Valley Area Plans, iii. All other area plans) to be converted to another Foundation and Land Use Designations (LUDs) during a two and a half year cycle. In the event that the 7% threshold has been exceeded, an Agricultural Task Force would review the project.

The proposed Amendment is in the Eastern Coachella Land Use Plan which is part of the "Eastern Coachella Valley and Western Coachella Valley" designated area prescribed by the Administration Element. General Plan Amendment No. 1125 proposes to remove 80.8 acres from the Agriculture Foundation into the Community Development: Medium Density Residential. Pursuant to a County of Riverside GIS Analysis, 920.10 acres of property located within the Agriculture Foundation component has been removed and converted to another Foundation consistent with the Administration Element of the General Plan from October 1, 2003 to December 31, 2010. This amount is well below the 7% threshold during the first 2 ½ - year cycle and the County is currently within our fourth, 2 ½ - year, review cycle.

Therefore, the adoption of GPA No. 1125 will not result in the 7% threshold being exceeded, within the fourth Agriculture Foundation review cycle (2011 - 2013).

**Consideration Analysis:**

**First Required Agriculture Finding:** This proposal would change the Land Use designation from Agriculture to Community Development: Medium Density Residential; therefore, it must be established that this designation would contribute to the achievement of the purposes of the General Plan.

The Land Use Element of the General Plan encourages a "balanced mixture of land uses, including commercial, office, industrial, agriculture, and open space, as well as a variety of residential product types, densities, and intensities in appropriate locations that respond to a multitude of market segments." The proposed General Plan Amendment would positively contribute towards the purposes of the General Plan by providing housing opportunities for a growing population. The creation of a variety of home types will contribute to the financial standing of the surrounding community by providing



housing opportunity for a local job base, and also improve the health and well being of its residents. This is consistent with General Plan Policy LU 22.4. The findings can be made that the proposed Amendment contributes to the purposes of the General Plan.

**Second Required Agriculture Finding:** The Agricultural Foundation changes of the proposed Amendment must also not be detrimental to the purposes of the General Plan.

The intent of the Agricultural Foundation is to protect the Agricultural industry in the County. As previously mentioned, the General Plan uses a 7% threshold for the conversion of agriculture land to another designation. The proposed Amendment of converting 80.8 acres from agriculture to residential will not significantly alter or affect the overall agricultural identity of the County. Previous GIS analysis has revealed that between the years of 2003 and 2010, only 920.10 acres were converted, which was below the 7% threshold for the first 2 ½ year cycle, and therefore it is unlikely that the proposed General Plan Amendment of 23 acres will exceed the threshold. The proposed conversion is within the 7% conversion threshold as outlined in the Administration Element and is consistent with the purposes of the General Plan. The findings can be made that the proposed Amendment is not detrimental to the purposes of the General Plan.

**SUMMARY OF FINDINGS:**

1. General Plan Land Use (Ex. #5):	Agriculture: Agriculture (AG: AG) (10 acre minimum)
2. Proposed General Plan Land Use:	Community Development: Medium Density Residential (2-5 dwelling units per acre)
3. Existing Zoning (Ex. #2):	Light Agriculture-10 acre minimum (A-1-10)
4. Surrounding Zoning (Ex. #2):	Light Agriculture-10 acre minimum (A-1-10), City of La Quinta
5. Existing Land Use (Ex. #1):	Vacant
6. Surrounding Land Use (Ex. #1):	Vacant, agriculture, large lot single-family residences, small lot single-family residences
7. Project Data:	Total Acreage: 80.8 gross acres

---

**RECOMMENDATIONS:**

Staff recommends that the appropriate findings per the General Plan Administration Element can be made and request that the Planning Commission provide comments to the Board of Supervisors regarding General Plan Amendment No. 1125. The initiation of proceedings by the Board of Supervisors for the amendment of the General Plan, or any element thereof, shall not imply any such amendment will be approved.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. An Agricultural Preserve;
  - b. A Policy Area;
  - c. A Zoning Overlay;
  - d. A Habitat Conservation Area;
  - e. A High Fire Area;

- f. A Historic Preservation District;
  - g. Tribal Land;
  - h. An Airport Influence Area;
  - i. A Flood Zone; or,
  - j. A Fault Zone.
3. The project site is located within:
- a. The Vista Santa Rosa Community Council;
  - b. A High Liquefaction Area;
  - c. High Paleontological Sensitivity Area;
  - d. Community Development Policy Overlay;
  - e. The City of La Quinta Sphere of Influence; and
  - f. Ord. No. 655 Mount Palomar Lighting Influence Area, Zone B (40.54 miles).
4. The subject site is currently designated as Assessor's Parcel Number 764-290-003.

XX:xx  
Y:\Planning Case Files-Riverside office\GPA01125\GPIP\GPIP Staff Report.docx  
Date Prepared: 10/20/08  
Date Revised: 12/6/13

# AGRICULTURE AMENDMENT

CYCLE: Quarterly

Case No. GPA No. 1125 Supervisorial District: Fourth Existing Zoning: Limited Agriculture-10 acre minimum (A-1-10)

Area Plan: Eastern Coachella Valley  
Acreage: 80.8 gross

## EXISTING GENERAL PLAN DESIGNATIONS

Existing General Plan Foundation: Agriculture

Existing General Plan Land Use Designation: Agriculture

Existing Policy Area(s) or Overlay(s): Community Development

Existing Map(s) of Issue (cite GP figure # and page #): N/A

Existing Text of Issue (cite GP page #, plus policy #, if applicable): N/A

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## PROPOSED GENERAL PLAN CHANGES (For categories with no proposed change, write "N/A" on applicable line.)

Proposed General Plan Foundation: Community Development (CD)

Proposed General Plan Land Use Designation: Medium Density Residential (2-5 dwelling units per acre)

Proposed Change to Policy Area or Overlay: N/A

Proposed Change to Map (cite GP map name): N/A

Proposed Revision(s) to GP Text: (Attach redline/strike-out of text): N/A

**CHECK LIST**

Affected by	Yes	No	Comments
Coachella Valley MSHCP Conservation Area		X	
Western Riverside County MSHCP Cell		X	
Agricultural Preserve		X	
Airport Compatibility Zone		X	
Flood Plain (Zone A – 100 Year)		X	
FLT Sand Source Area or FLT Preserve		X	
Fault Zone		X	
Faults within ½ Mile		X	
Liquefaction Potential; Subsidence		X	
High Fire Area		X	
Code Compliant		X	
MSHCP Conserved Land		X	
Access / Alternate Access Issues		X	
Water / Sewer Issues		X	
City Sphere of Influence	X		City of La Quinta
Proposed Annexation/ Incorporation Area		X	
Other Issues* (see below)		X	



**AGRICULTURE FINDINGS** *(Check all that apply)*

Is there a reasonable possibility that the first two findings listed below and any one or more of the subsequent findings listed below can be made?\*

Finding	Yes	No	Comment
<p>The amendment would contribute to the achievement of the purposes of the General Plan.</p>	X		<p>The Land Use Element of the General Plan encourages a "balanced mixture of land uses, including commercial, office, industrial, agriculture, and open space, as well as a variety of residential product types, densities, and intensities in appropriate locations that respond to a multitude of market segments." The proposed General Plan Amendment would positively contribute towards the purposes of the General Plan by providing housing opportunities for a growing population. The creation of a variety of home types will contribute to the financial standing of the surrounding community by providing housing opportunity for a local job base, and also improve the health and well being of its residents. This is consistent with General Plan Policy LU 22.4. The findings can be made that the proposed Amendment contributes to the purposes of the General Plan.</p>
<p>The amendment would not be detrimental to the purposes of the General Plan.</p>	X		<p>The intent of the Agricultural Foundation is to protect the Agricultural industry in the County. As previously mentioned, the General Plan uses a 7% threshold for the conversion of agriculture land to another designation. The proposed Amendment of converting 80.8 acres from agriculture to residential will not significantly alter or affect the overall agricultural identity of the County. Previous GIS analysis has revealed that between the years of 2003 and 2010, only 920.10 acres were converted, which was below the 7% threshold for the first 2 ½ year cycle, and therefore it is unlikely that the proposed General Plan Amendment of 23 acres will exceed the threshold. The proposed conversion is within the 7% conversion threshold as outlined in the Administration Element and is consistent with the purposes of the General Plan. The findings can be made that the proposed Amendment is not detrimental to the purposes of the General Plan.</p>

\* **THE ADOPTION OF AN ORDER BY THE BOARD OF SUPERVISORS INITIATING AMENDMENT PROCEEDINGS SHALL NOT IMPLY ANY SUCH AMENDMENT WILL BE APPROVED.**

**STAFF COMMENTS:**

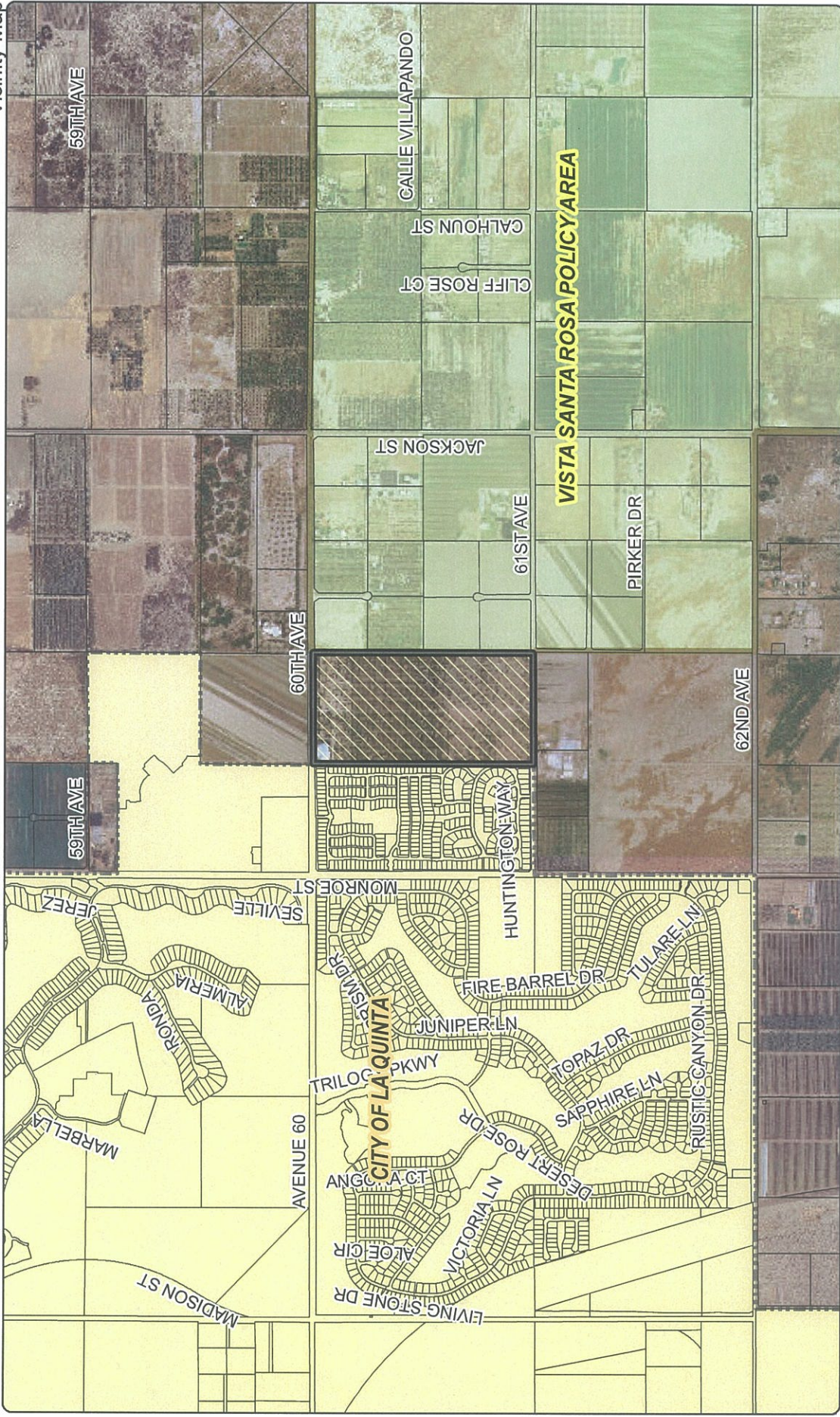
<b>Department</b>	<b>Comments</b>
Planning	None at this time
Transportation	None at this time
EPD	None at this time
Fire	None at this time
Flood	None at this time
Building and Safety	None at this time
Geologist	None at this time



**RIVERSIDE COUNTY PLANNING DEPARTMENT**  
**GPA01125 / SP385 / CZ7814 / TR36590**  
**VICINITY/POLICY AREAS**

Supervisor Benoit  
 District 4

Date Drawn: 12/04/13  
 Vicinity Map



Assessors Bk. Pg. 764-29  
 Thomas Bros. Pg. 5590 F2  
 Edition 2009

Zoning District: Lower Coachella Valley  
 Township/Range: T6SR7E  
 Section: 35

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.alfar.co.riverside.ca.us/index6x.html>



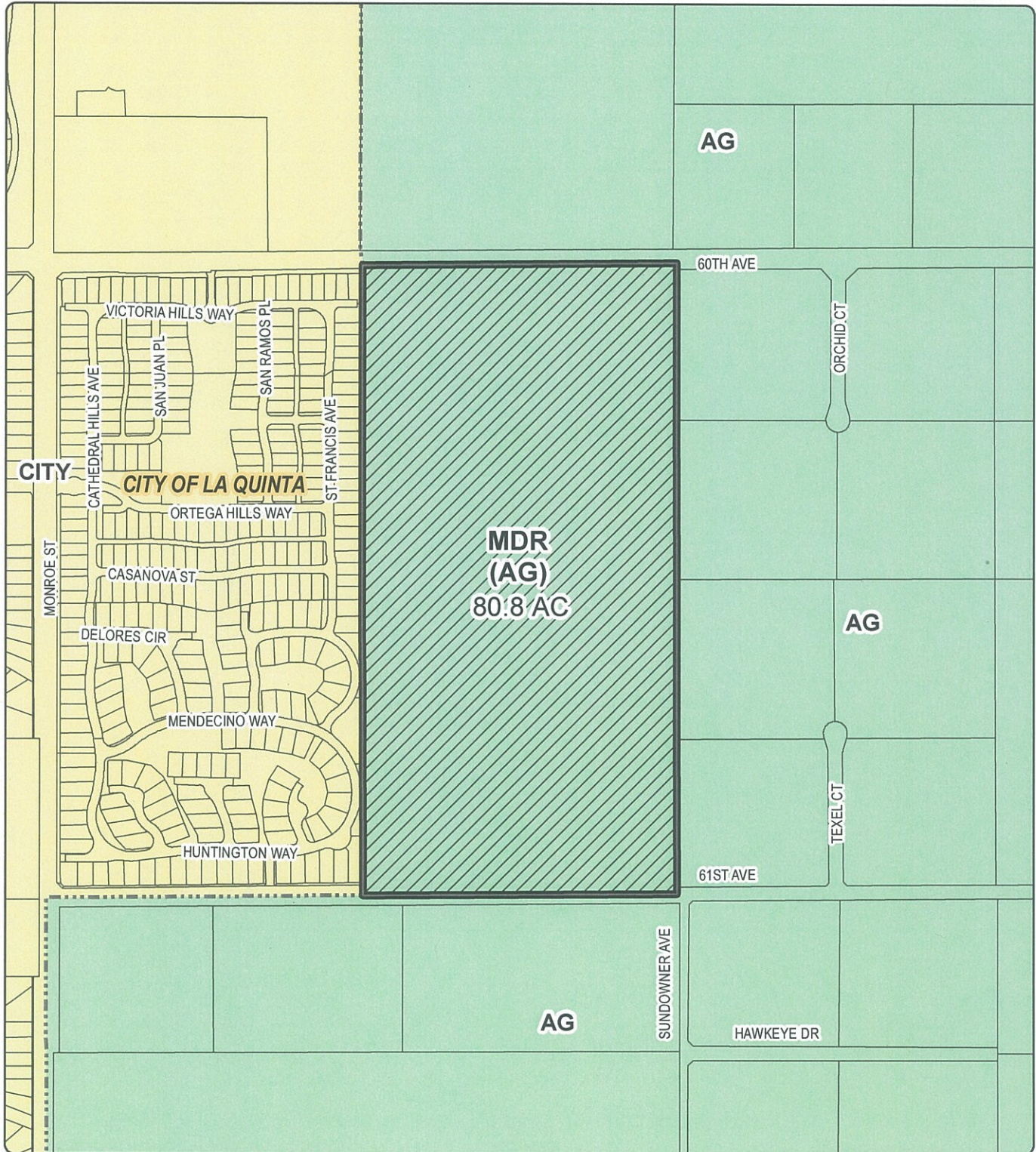
RIVERSIDE COUNTY PLANNING DEPARTMENT  
**GPA01125 / SP385 / CZ7814 / TR36590**

Supervisor Benoit  
 District 4

**PROPOSED GENERAL PLAN**

Date Drawn: 12/04/13

Exhibit 6



Zoning District:: Lower Coachella Valley  
 Township/Range: T6SR7E  
 Section: 35



Assessors Bk. Pg. 764-29  
 Thomas Bros. Pg. 5590 F2  
 Edition 2009

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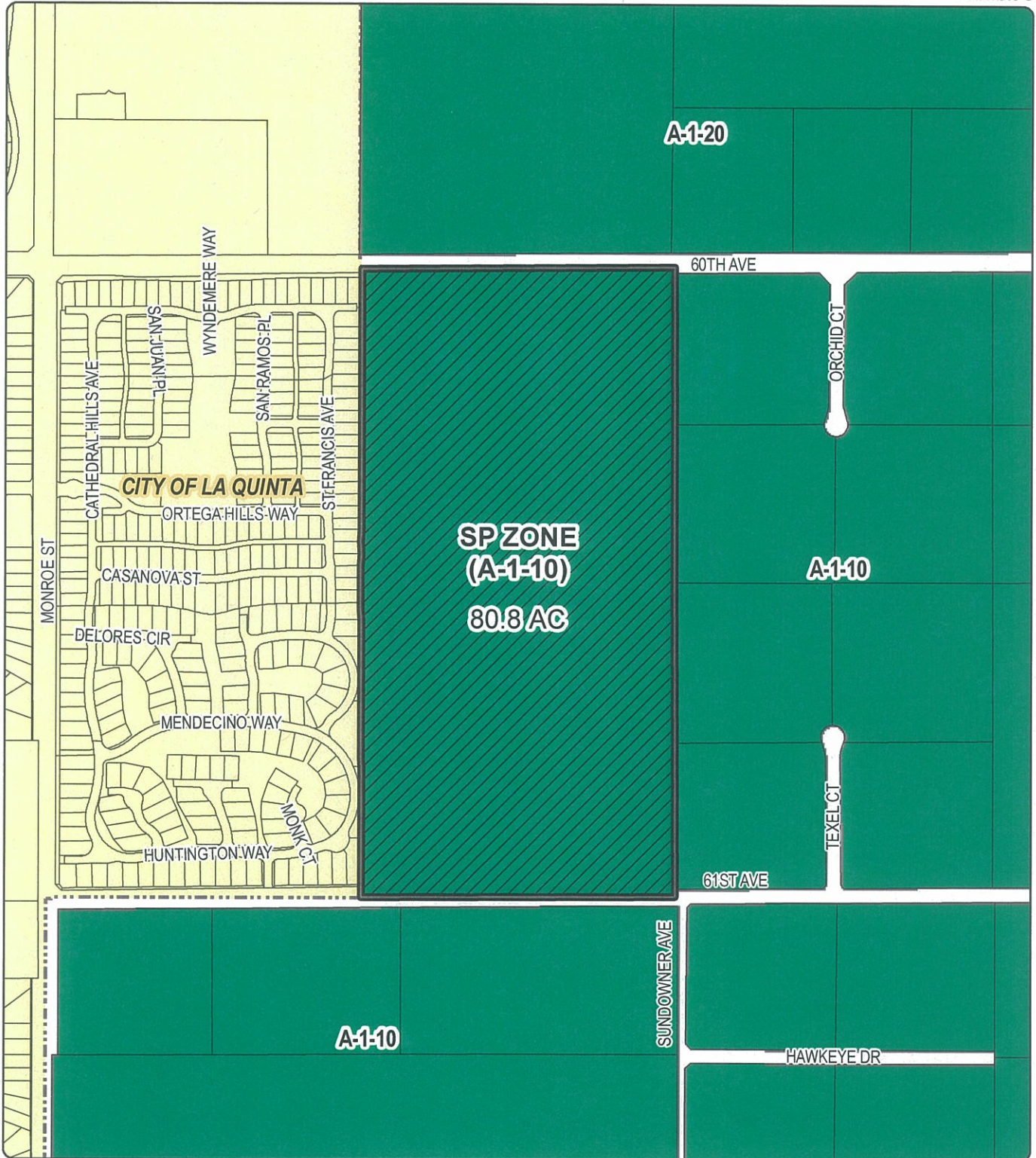


RIVERSIDE COUNTY PLANNING DEPARTMENT  
GPA01125 / SP385 / CZ7814 / TR36590

Supervisor Benoit  
District 4

**PROPOSED ZONING**

Date Drawn: 12/04/13  
Exhibit 3



Zoning District:: Lower Coachella Valley  
Township/Range: T6SR7E  
Section: 35



Assessors Bk. Pg. 764-29  
Thomas Bros. Pg. 5590 F2  
Edition 2009

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.tlma.co.riverside.ca.us/index.html>



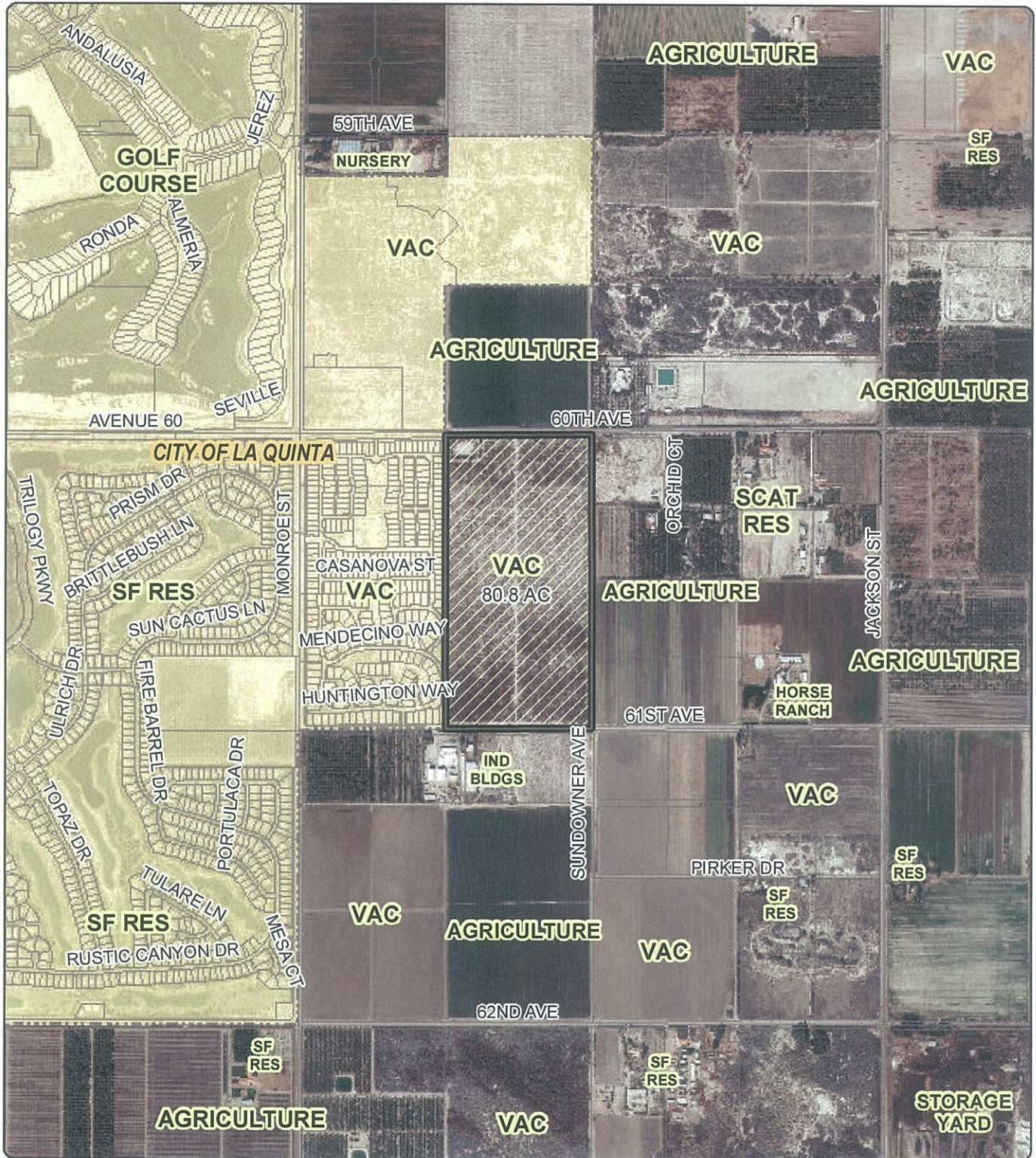


RIVERSIDE COUNTY PLANNING DEPARTMENT  
**GPA01125 / SP385 / CZ7814 / TR36590**

Supervisor Benoit  
 District 4

Date Drawn: 12/04/13  
 Exhibit 1

**LAND USE**



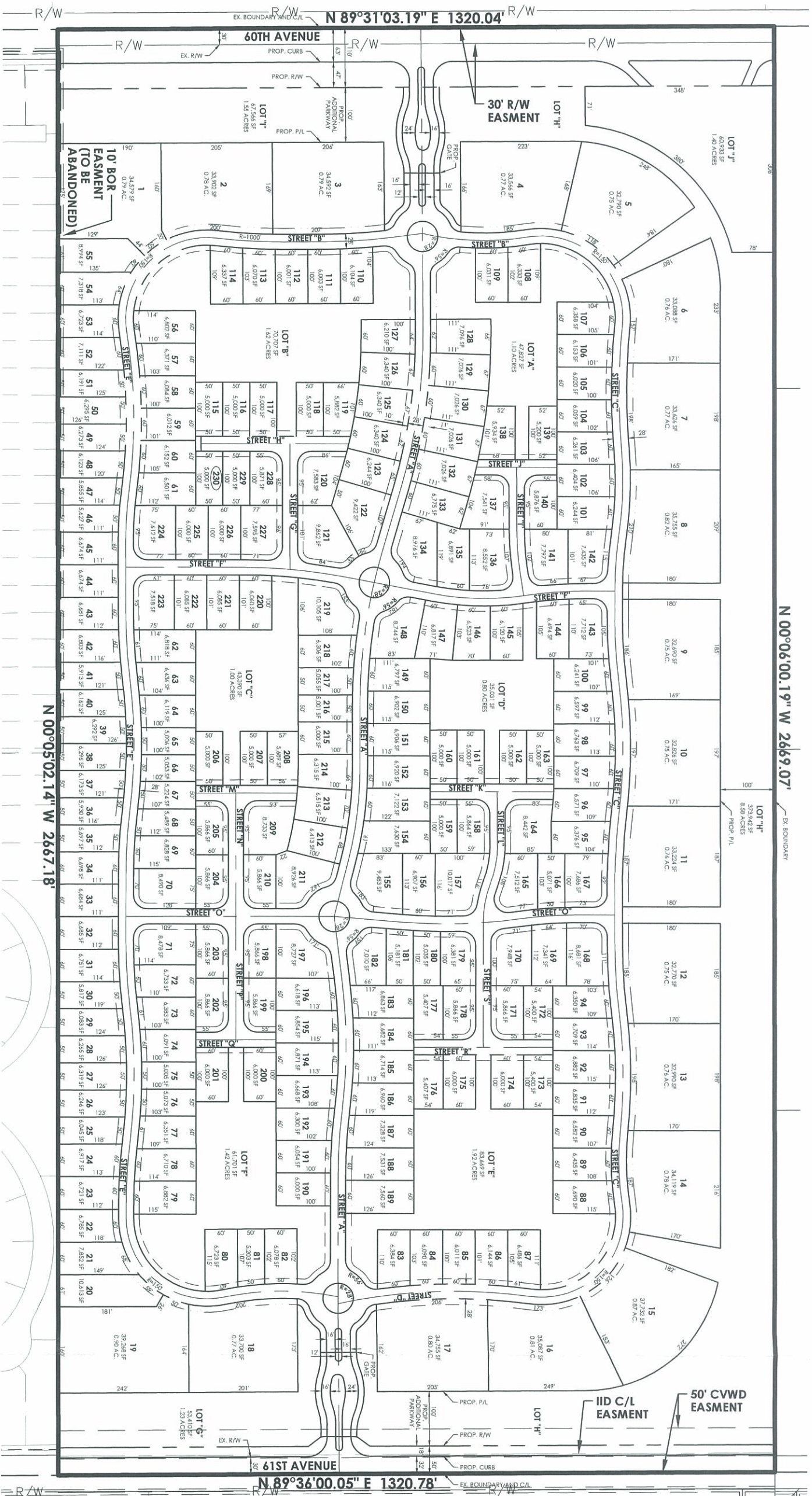
Zoning District: Lower Coachella Valley  
 Township/Range: T6SR7E  
 Section: 35

Assessors Bk. Pg. 764-29  
 Thomas Bros. Pg. 5590 F2  
 Edition 2009



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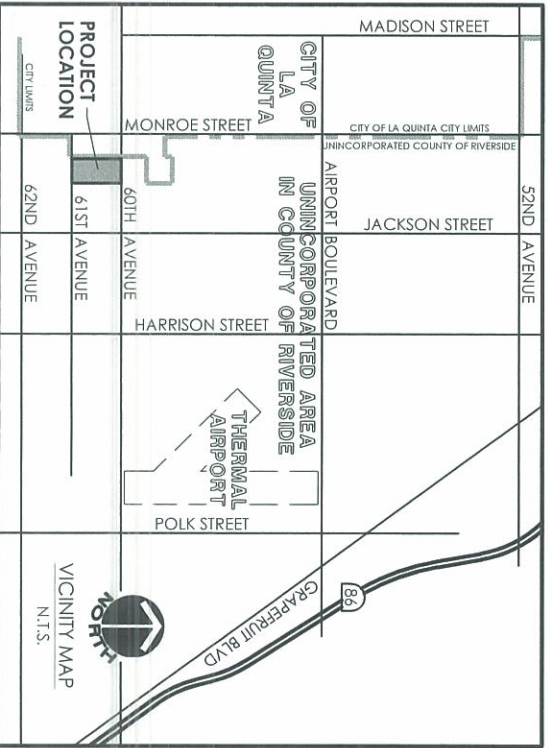




**CASE#: GPA1125**  
**DATED: 10/23/13**  
**PLANNER: P.RULL**



MSA CONSULTING, INC.  
 www.msiconsultinginc.com



# GENERAL PLAN AMENDMENT

## SITE PLAN EXHIBIT

<b>APPLICANT:</b>	JIM STOCKHAUSEN 4675 MACARTHUR COURT SUITE 1550 NEWPORT BEACH, CALIFORNIA 92660
<b>CONTACT:</b>	JIM STOCKHAUSEN (949) 255-2682 PAUL QUILL (760) 771-8050
<b>LAND OWNER:</b>	CAL THERMAL REAL ESTATE LLC 4675 MACARTHUR COURT SUITE 1550 NEWPORT BEACH, CALIFORNIA 92660
<b>CONTACT:</b>	JIM STOCKHAUSEN (949) 255-2682
<b>MAP PREPARER:</b>	MSA CONSULTING, INC. 34200 BOB HOPE DRIVE RANCHO MIRAGE, CALIFORNIA 92270
<b>CONTACT:</b>	PAUL DEPALATIS, AICP (760) 320-9811
<b>LEGAL DESCRIPTION:</b>	APN: 764-290-003; THE PROPERTY IS LOCATED IN THE EAST HALF OF NORTH-WEST QUARTER OF SECTION 35, TOWN-SHIP 6 SOUTH, RANGE 7 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY, EXCEPT ALL OIL, GAS, HYDROCARBON SUB-STANCES AND OTHER MINERALS IN AND UNDER SAID LAND AS UN DIVIDED 1/8TH INTEREST EACH TO JOHN GARABEDIAN, A MARRIED MAN, BERTHA GARABEDIAN, HIS WIFE, AND ED PETERS, A MARRIED MAN, AND LUCY PETERS, HIS WIFE, BY DEED RECORDED SEPTEMBER 3, 1958, AS INSTRUMENT NO. 63214 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.
<b>EXISTING GENERAL PLAN DESIGNATION:</b>	AGRICULTURE (AG)
<b>PROPOSED GENERAL PLAN DESIGNATION:</b>	MEDIUM DENSITY RESIDENTIAL (MDR)
<b>AMENDMENT DESCRIPTION:</b>	CONVERT 80.88 ACRES OF AGRICULTURE TO MEDIUM DENSITY RESIDENTIAL WITHIN THE COMMUNITY OF VISTA SANTA ROSA
<b>PROPERTY AREA:</b>	80.88 ACRES (GROSS)
<b>EXHIBIT DATE:</b>	OCTOBER 9, 2013
<b>THOMAS BROTHERS MAP:</b>	PAGE: 5590, GRID: F1, F2, G1, AND G2 / YEAR: 2013





# RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna  
Director

## APPLICATION FOR AMENDMENT TO THE RIVERSIDE COUNTY GENERAL PLAN

SECTIONS I, II, AND VI BELOW MUST BE COMPLETED FOR ANY AMENDMENT TO THE AREA PLAN MAPS OF THE GENERAL PLAN.

FOR OTHER TYPES OF AMENDMENTS, PLEASE CONSULT PLANNING DEPARTMENT STAFF FOR ASSISTANCE PRIOR TO COMPLETING THE APPLICATION.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: GPA 01125 DATE SUBMITTED: September 10, 2013

### I. GENERAL INFORMATION

#### APPLICATION INFORMATION

Applicant's Name: C/O CAL THERMAL REAL ESTATE LLC Sabal Financial Group LP E-Mail: jim.stockhausen@sabalfin.com

Mailing Address: 4675 MacArthur Court, Suite 1550  
Newport Beach, CA 92660  
City State ZIP

Daytime Phone No: (949) 255-2462 Fax No: (949) 255-2462

Engineer/Representative's Name: Paul Quill, Quill Enterprises LLC E-Mail: paul@quillenterprises.net

Mailing Address: 51245 Avenida Rubio  
La Quinta, CA 92253  
City State ZIP

Daytime Phone No: (760) 771-8050 Fax No: (760) 771-8050

Property Owner's Name: CAL THERMAL REAL ESTATE LLC MKA Real Estate Qualified Fund LLC E-Mail: jim.stockhausen@sabalfin.com

Mailing Address: 4675 MacArthur Court, Suite 1550,  
Newport Beach, CA 92660  
City State ZIP

Daytime Phone No: (949) 255-2462 Fax No: (949) 255-2462

Riverside Office • 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road  
Palm Desert, California 92211  
(760) 863-8277 • Fax (760) 863-7555



**APPLICATION FOR AMENDMENT TO THE RIVERSIDE COUNTY GENERAL PLAN**

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Jim Stockhausen

\_\_\_\_\_  
*PRINTED NAME OF APPLICANT*

\_\_\_\_\_  
*SIGNATURE OF APPLICANT*

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Jim Stockhausen

\_\_\_\_\_  
*PRINTED NAME OF PROPERTY OWNER(S)*

\_\_\_\_\_  
*SIGNATURE OF PROPERTY OWNER(S)*

N/A

\_\_\_\_\_  
*PRINTED NAME OF PROPERTY OWNER(S)*

\_\_\_\_\_  
*SIGNATURE OF PROPERTY OWNER(S)*

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 4 760-290-003

Section: 35 Township: 6 Range: 7E SBBM

Approximate Gross Acreage: 80

**APPLICATION FOR AMENDMENT TO THE RIVERSIDE COUNTY GENERAL PLAN**

General location (nearby or cross streets): North of Avenue 61, South of Avenue 60, East of Monroe Street, West of Jackson.

Thomas Brothers map, edition year, page number, and coordinates: \_\_\_\_\_

Existing Zoning Classification(s): A-1-10

Existing Land Use Designation(s): AG

Proposal (describe the details of the proposed general plan amendment):

General Plan Amendment is to convert approximately 80 acres +/- from the Ag Foundation to the Development Foundation taking the zoning from A 1-10 to SP. The property is within the Vista Santa Rosa Community of unincorporated Riverside County. The conversion is well within the 7% allowed by the RCIP for annual conversion of Ag land to development.

Related cases filed in conjunction with this request:

Tract 36590 will be filed later as will a Change of Zone Application however no case numbers have been assigned to these and the GPA application is being opened to create a case file primarily for deposits.

Has there been previous development applications (parcel maps, zone changes, plot plans, etc.) filed on the project site? Yes  No

Case Nos. \_\_\_\_\_

E.A. Nos. (if known) \_\_\_\_\_ E.I.R. Nos. (if applicable): \_\_\_\_\_

Name of Company or District serving the area the project site is located (if none, write "none.")		Are facilities/services available at the project site?	
		Yes	No
Electric Company	Imperial Irrigation District	X	
Gas Company	Southern California Gas	X	
Telephone Company	Verizon	X	
Water Company/District	CvWD	X	
Sewer District	Cvwd	X	

Is water service available at the project site: Yes  No

If "No," how far away are the nearest available water line(s)? (No of feet/miles) 1350 feet

Is sewer service available at the site? Yes  No

If "No," how far away are the nearest available sewer line(s)? (No. of feet/miles) 1350 feet

Cal Thermal Real Estate LLC  
4675 MacArthur Court, Ste 1500  
Newport Beach CA 92660

Quill Enterprises LLC  
Attn: Paul Quill  
51245 Avenida Rubio  
La Quinta CA 92253

Cal Thermal Real Estate LLC  
4675 MacArthur Court, Ste 1500  
Newport Beach CA 92660

Quill Enterprises LLC  
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La Quinta CA 92253

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La Quinta CA 92253

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Quill Enterprises LLC  
Attn: Paul Quill  
51245 Avenida Rubio  
La Quinta CA 92253

Cal Thermal Real Estate LLC  
4675 MacArthur Court, Ste 1500  
Newport Beach CA 92660

Quill Enterprises LLC  
Attn: Paul Quill  
51245 Avenida Rubio  
La Quinta CA 92253



**NOTICE OF PUBLIC HEARING**  
**SCHEDULING REQUEST FORM**

DATE SUBMITTED: December 6, 2013

TO: Planning Commission Secretary

FROM: Paul Rull (Riverside)

PHONE No.: 951-955-0972

E-Mail: prull@rctlma.org

SCHEDULE FOR: Planning Commission on **January 15, 2014**

10-Day Advertisement: General Plan Initiation Proceedings

**GENERAL PLAN AMENDMENT NO. 1125** – Applicant: Cal Thermal Real Estate LLC – Representative: Paul Quill Enterprises LLC – Fourth/Fourth Supervisorial District – Lower Coachella Valley Zoning District – Eastern Coachella Valley: Agriculture: Agriculture (AG: AG) (10 acre minimum) – Location: Northwest corner of 61<sup>st</sup> Avenue and Sundowner Avenue – 80.8 Gross Acres – Zoning: Light Agriculture-10 acre minimum (A-1-10) – **REQUEST:** To change the project site’s current General Plan Land Use designation from Agriculture: Agriculture to Community Development: Medium Density Residential (2-5 dwelling unit per acre).

**STAFF RECOMMENDATION:**

- APPROVAL (CONSENT CALENDAR)
- APPROVAL
- APPROVAL WITHOUT DISCUSSION
- CONTINUE WITH DISCUSSION TO \_\_\_\_\_.
- CONTINUE WITHOUT DISCUSSION TO \_\_\_\_\_.
- CONTINUE WITHOUT DISCUSSION OFF CALENDAR
- DENIAL
- SCOPING SESSION
- INITIATION OF THE GENERAL PLAN AMENDMENT
- DECLINE TO INITIATE THE GENERAL PLAN AMENDMENT
- 

Provide one set of mailing labels, including ~~surrounding property owners, Non-County Agency and Interested Parties~~ and, owner, applicant, and engineer/representative *(Confirmed to be less than 6 months old from date of preparation to hearing date)*

Provide one set of labels for owner, applicant, and engineer/representative.

Fee Balance: \$53,044.83, as of 12/6/13.

CFG Case # N/A - Fee Balance: \$ N/A

Estimated amount of time needed for Public Hearing: 5 Minutes (Min 5 minutes)

Controversial: YES  NO

*Provide a very brief explanation of controversy (1 short sentence)*

Principal's signature/initials: _____
Date: _____

2.3

Agenda Item No.:  
Area Plan: Lake Mathews/ Woodcrest  
Zoning District: Lake Mathews  
Supervisory District: First  
Project Planner: Matt Straite  
Planning Commission: January 15, 2014

General Plan Amendment No. 1132  
(Entitlement/Policy Amendment)  
Applicant: CV Communities  
Engineer/Representative: T&B Planning

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

General Plan Amendment No. 1132 proposes to amend the Riverside County General Plan Land Use Element from Rural Community: Very Low Density Residential (RC:VLDC) (1 Acre Minimum) and Rural Community: Estate Density Residential (RC:EDR) (2 Acre Minimum) to Rural Community: Low Density Residential (RC:LDR)(1/2 Acre Minimum).

The proposed Amendment is located in the Lake Mathews/ Woodcrest Area Plan; more specifically, the project is located northerly of Lake Mathews, southerly of the Street A in the Citrus Heights Specific Plan (SP325A1), westerly of Blackburn Road.

### BACKGROUND:

The initiation of proceedings for any General Plan Amendment (GPA) requires the adoption of an order by the Board of Supervisors. The Planning Director is required to prepare a report and recommendation on all GPA applications and submit them to the Board of Supervisors. Prior to the submittal to the Board, comments on the applications will be requested from the Planning Commission, and the Planning Commission comments will be included in the report to the Board. The Board will either approve or disapprove the initiation of the proceedings for the GPA requested in the applications.

The consideration of the initiation of proceedings pursuant to this application by the Planning Commission and the Board of Supervisors will not involve a noticed public hearing. The Planning Department, however, did notify the applicant by mail of the time, date and place when the Planning Commission will consider this GPA initiation request.

If the Board of Supervisors adopts an order initiating proceedings pursuant to this application, the proposed amendment will thereafter be processed, heard and decided in accordance with all the procedures applicable to GPA applications, including noticed public hearings before the Planning Commission and Board of Supervisors. The adoption of an order initiating proceedings does not imply that any amendment will be approved. If the Board of Supervisors declines to adopt an order initiating proceedings, no further proceedings of this application will occur.

The Board of Supervisors established the procedures for initiation of GPA applications with the adoption of Ordinance No. 348.4573 (effective May 8, 2008), which amended Article II of that ordinance. This particular GPA application is an General Plan Entitlement/Policy Amendment GPA, under Section 2.4.

### GENERAL PLAN ADMINISTRATIVE ELEMENT FINDINGS:

In order to support the initiation of a proposed General Plan Amendment it must be established that the proposal could possibly satisfy certain required findings subject to the development review process and final CEQA determination. The Administration Element of the General Plan explains that there are four categories of amendments, Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing.

D.M.

General Plan Amendment No. 1132 falls into the Entitlement/Policy category, because it is changing within the same Foundation-Component, Community Development.

The Administration Element of the General Plan explains that two findings must be made, and at least one of five additional findings must be made to justify an entitlement/policy amendment. The two findings are:

- a. The proposed change does not involve a change in or conflict with:
  - (1) The Riverside County Vision;
  - (2) Any General Plan Principle; or,
  - (3) Any Foundation Component designation in the General Plan.
- b. The proposed amendment would either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them.

The additional findings, only one of which need be made include:

- c. Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.
- d. A change in policy is required to conform to changes in state or federal law or applicable findings of a court of law.
- e. An amendment is required to comply with an update of the Housing Element or change in State Housing Element law.
- f. An amendment is required to expand basic employment job opportunities (jobs that contribute directly to the County's economic base) and that would improve the ratio of jobs-to-workers in the County.
- g. An amendment is required to address changes in public ownership of land or land not under Board of Supervisors' land use authority.

**Consideration Analysis:**

**First Required Finding:** The first finding per the General Plan Administrative element explains that the proposed Amendment must not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan. ***The applicant has provided the following information:***

- A. The proposed change does not conflict with:

- (1) The Riverside County Vision.

A. Amending the land use designation of the Proposed Project from RC-EDR and RCVLDR to RC-LDR would allow for a gradual transition of land uses from Medium

Density Residential (MDR) to the rural residential uses on larger lots found to the south and east of the site.

B. The Proposed Project site will remain rural in nature under an RC-LDR land use designation because the designation allows for a maximum of 2 dwelling units per acre, consistent with the Rural Community Foundation Designation and the Lake Mathews/Woodcrest Area Plan vision. *Staff note: This is true, but it would also permit lots as small as ½ acre.*

(2) Any General Plan Principle.

A. The Proposed Project is consistent with General Plan Principle V.6 because it will provide a transitional and buffering land use (RC-LDR) between the Community Development MDR designation within Citrus Heights Specific Plan to the north and the RC-EDR and RC-VLDR south of this site.

B. The Proposed Project is consistent with General Plan Principle Principal IV.F.1 because the RC-LDR land use will allow for the development of broader range of housing opportunities for residents in a wider range of economic circumstances within the El Sobrante Policy Area than provided by the current designation. *Staff note: the applicant will be required to provide a detailed analysis of the projects consistency with the El Sobrante Policy Area. It cannot be determined at this stage if the project is, or is not consistent with the requirements of the Policy Area.*

(3) Any Foundation Component designation in the General Plan.

A. The site is currently designated as "Estate Density Residential" and "Very Low Density Residential" within the Rural Communities Foundation Component. The proposed amendment would designate the site as "Low Density Residential" within the Rural Communities Foundation Component. *Staff note: The foundation would not change.*

**Second Required Finding:** The second General Plan Administrative Element finding explains that the proposed Amendment must either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them. ***The applicant has provided the following information:***

A. The Proposed Project would not be detrimental to the purposes of the General Plan and Lake Mathews/Woodcrest Area Plan because the proposed amendment would maintain the rural residential atmosphere of the community.

**Third Required Finding:** In addition to the two, the General Plan indicates that an additional finding, from a list of five, must also be made. ***The applicant has provided the following information:***

The appropriate additional finding for the proposed Amendment is:

Special circumstances or conditions have emerged that were unanticipated in preparing the general plan.

At the time the County of Riverside adopted the existing General Plan in 2003, the land use adjacent to the north of the Proposed Project site was designated RC-VLDR. However, in 2004,

the County of Riverside Board of Supervisors approved SP 325, which was subsequently amended in 2013 (SP325A1). Specific Plan 325A1 includes Medium Density Residential designations which establish it as a Community Development Specific Plan. The change from RC-VLDR to MDR constitutes a change in condition which was unanticipated in preparing the General Plan.

**SUMMARY OF FINDINGS:**

- |                                    |   |
|------------------------------------|---|
| 1. General Plan Land Use (Ex. #5): | Rural Community: Very Low Density Residential (RC:VLDC) (1 Acre Minimum) and Rural Community: Estate Density Residential (RC:EDR) (2 Acre Minimum)  |
| 2. Proposed General Plan Land Use: | Rural Community: Low Density Residential (RC:LDR)(1/2 Acre Minimum)   |
| 3. Existing Zoning (Ex. #2):       | Light Agricultural- 10 Acre Minimum (A-1-10)  |
| 4. Surrounding Zoning (Ex. #2):    | Light Agricultural- 10 Acre Minimum (A-1-10) to the east, and south, Light Agricultural- 10 Acre Minimum (A-1-10) and Residential Agricultural- 5 Acre Minimum (R-A-5) to the west, Specific Plan and Residential Agricultural (R-A) to the north |
| 5. Existing Land Use (Ex. #1):     | Vacant/old Citrus groves  |
| 6. Surrounding Land Use (Ex. #1):  | Vacant to the north south east and west.  |
| 7. Project Data                    | 168.22 Acres  |

**RECOMMENDATIONS:**

Staff recommends that the appropriate findings per the General Plan Administration Element might be possible, although additional analysis is required, and request that the Planning Commission provide comments to the Board of Supervisors regarding General Plan Amendment No. 1132. The initiation of proceedings by the Board of Supervisors for the amendment of the General Plan, or any element thereof, shall not imply any such amendment will be approved.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
  - a. A Redevelopment Area;
  - b. An Airport Influence Area;
  - c. Ord. No. 655 Mount Palomar Lighting Influence Area, Zone B (47.20 miles).
  - d. A MSHCP Criteria Area;
  - e. An area of high liquefaction;
  - f. A Flood Zone; or,
  - g. A Fault Zone.
3. The project site is located within:
  - a. An Agricultural Preserve (El Sobrante No. 1)
  - b. A High Fire Area;
  - c. The City of Riverside Sphere of Influence;



- d. The Community of Lake Mathews;
  - e. The El Sobrante Policy Area; and,
  - f. Ord. No. 663.10 Stephen's Kangaroo Rat Fee Area.
4. The subject site is currently designated as Assessor's Parcel Numbers 270-070-004, 270-080-017, 270-090-001, 270-090-002.

MS  
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Date Prepared: 12/4/13  
Date Revised: 12/3/13

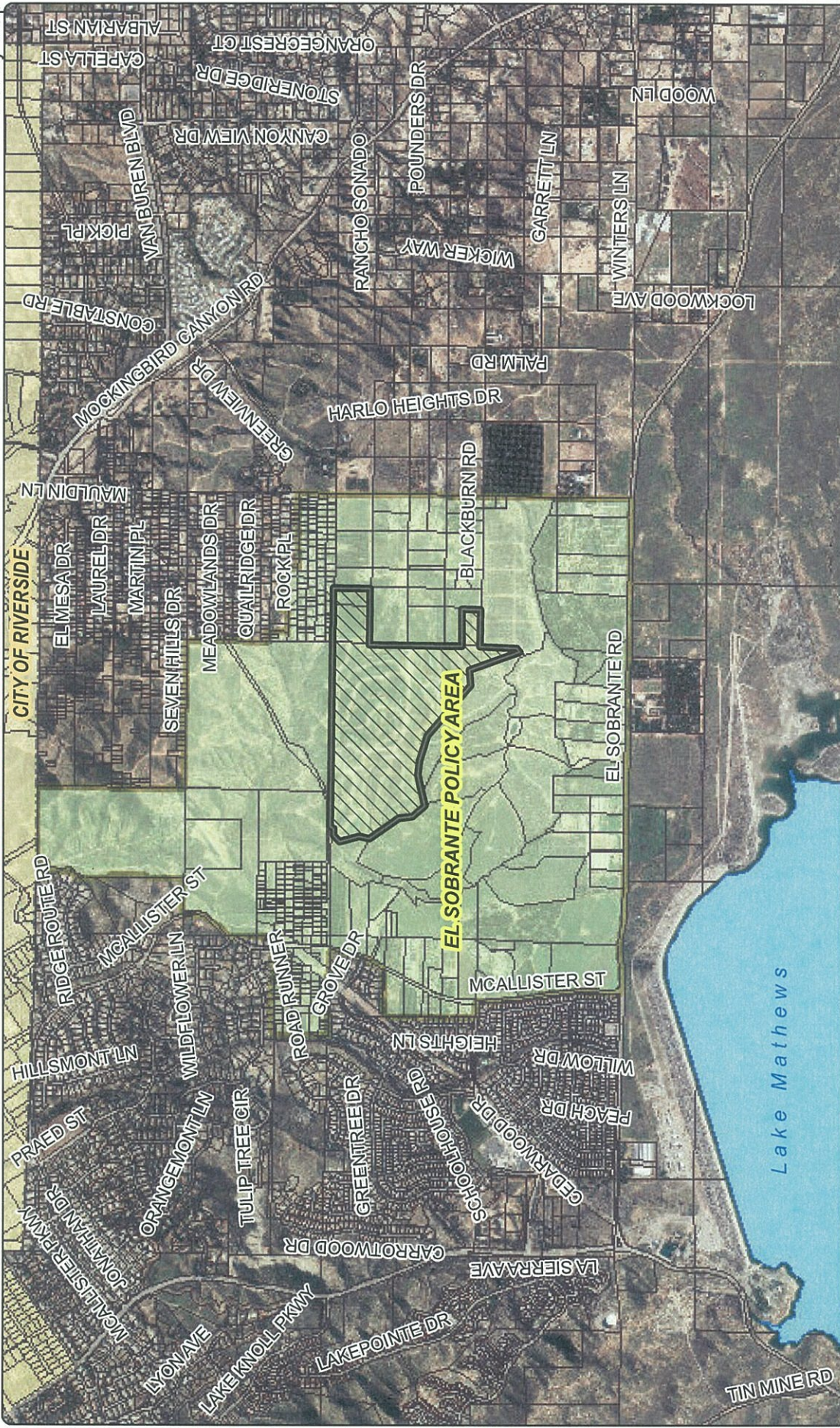




RIVERSIDE COUNTY PLANNING DEPARTMENT  
GPA01132 / CZ07816 / TR36475  
VICINITY/POLICY AREAS

Supervisor Jeffries  
District 1

Date Drawn: 12/04/13  
Vicinity Map



Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 32

Assessors Bk. Pg. 270-07, 08, 09  
Thomas Bros. Pg. 745 C6  
Edition 2009



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.plmsa.co.riverside.ca.us/index.html>



RIVERSIDE COUNTY PLANNING DEPARTMENT

GPA01132 / CZ07816 / TR36475

Supervisor Jeffries  
District 1

Date Drawn: 12/04/13  
Exhibit 1

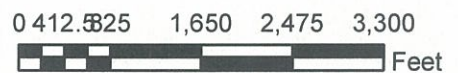
LAND USE



Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 32



Assessors Bk. Pg. 270-07, 08, 09  
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Edition 2009



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RIVERSIDE COUNTY PLANNING DEPARTMENT

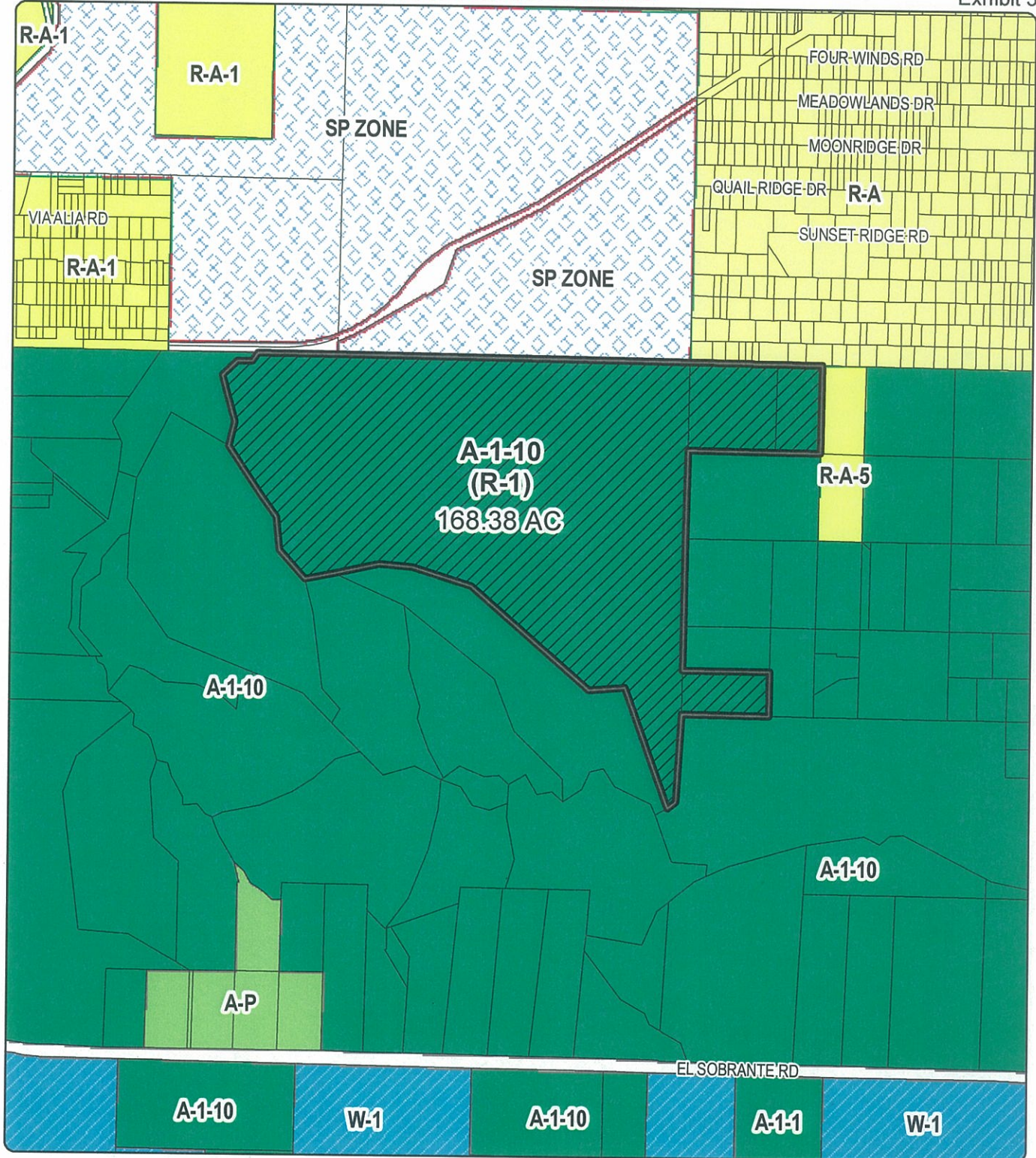
GPA01132 / CZ07816 / TR36475

PROPOSED ZONING

Supervisor Jeffries  
District 1

Date Drawn: 12/04/13

Exhibit 3



Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 32

Assessors Bk. Pg. 270-07, 08, 09  
Thomas Bros. Pg. 745 C6  
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RIVERSIDE COUNTY PLANNING DEPARTMENT

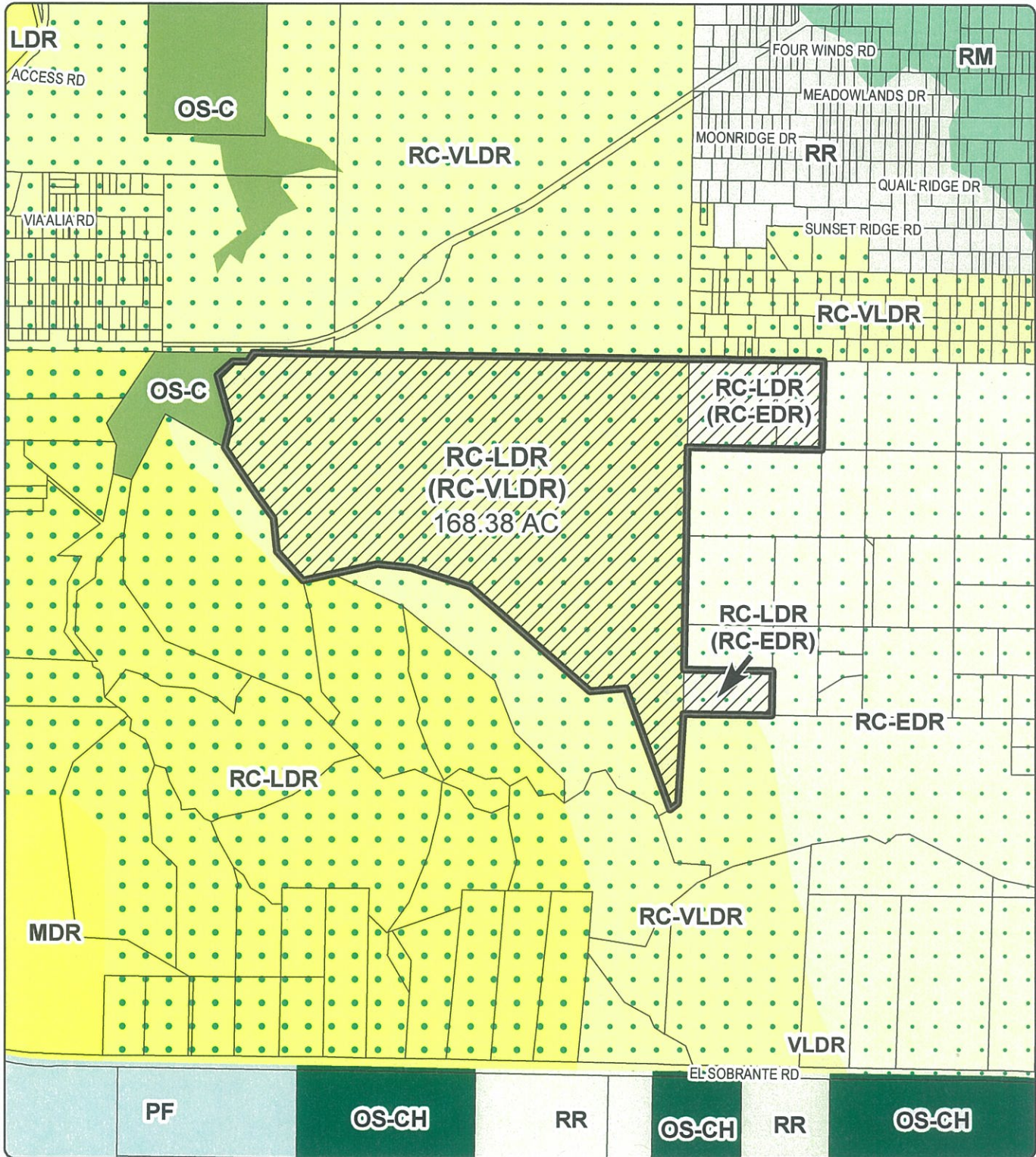
GPA01132 / CZ07816 / TR36475

PROPOSED GENERAL PLAN

Supervisor Jeffries  
District 1

Date Drawn: 12/04/13

Exhibit 6

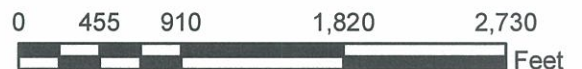


Zoning District: Lake Mathews  
Township/Range: T3SR5W  
Section: 32

Assessors Bk. Pg. 270-07, 08, 09  
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Agenda Item No.: 2.4  
Area Plan: Southwest Area  
Zoning District: Rancho California  
Supervisorial District: 1  
Project Planner: Richard Fairhurst  
Planning Commission: January 15, 2014

General Plan Amendment No. 1131  
(Technical Amendment)  
Applicant: Riverside County Transportation  
Department  
Engineer/Representative: David Jeffers  
Consulting, Inc.

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

General Plan Amendment No. 1131 proposes to amend the Circulation Element map within and along the boundaries of the Walker Basin Policy Area by removing the following Circulation Element designations so that they can be constructed as either Collector Rural Roads or Residential Rural Roads:

1. Remove the Mountain Arterial Highway designation from Rancho California Road between De Luz Road and approximately 370 feet easterly of its intersection with De Luz Road
2. Remove the Mountain Arterial Highway designation from De Luz Road between Rancho California Road and approximately 450 feet westerly of its intersection with Via Vaquero Road
3. Remove the Secondary Highway designation from Via Vaquero Road between De Luz Road and Glen Meadows Road
4. Remove the Secondary Highway designation from Glen Meadows Road between Carancho Road and Via Vaquero Road
5. Remove the Secondary Highway designation from Via Vaquero Road between Glen Meadows Road and approximately 1,700 feet southerly of its intersection with Glen Meadows Road
6. Remove the Mountain Arterial Highway designation from De Luz Road between Carancho Road and Terreno Drive
7. Remove the Secondary Highway designation from Carancho Road between De Luz Road and approximately 1,800 feet southerly of its intersection with Glen Meadows Road

### BACKGROUND:

The initiation of proceedings for any General Plan Amendment (GPA) requires the adoption of an order by the Board of Supervisors. The Planning Director is required to prepare a report and recommendation on all GPA applications and submit them to the Board of Supervisors. Prior to the submittal to the Board, comments on the applications will be requested from the Planning Commission, and the Planning Commission comments will be included in the report to the Board. The Board will either approve or disapprove the initiation of the proceedings for the GPA requested in the applications.

The consideration of the initiation of proceedings pursuant to this application by the Planning Commission and the Board of Supervisors will not involve a noticed public hearing.

If the Board of Supervisors adopts an order initiating proceedings pursuant to this application, the proposed amendment will thereafter be processed, heard and decided in accordance with all the procedures applicable to GPA applications, including noticed public hearings before the Planning

Commission and Board of Supervisors. The adoption of an order initiating proceedings does not imply that any amendment will be approved. If the Board of Supervisors declines to adopt an order initiating proceedings, no further proceedings of this application will occur.

The Board of Supervisors established the procedures for initiation of GPA applications with the adoption of Ordinance No. 348.4573 (effective May 8, 2008), which amended Article II of that ordinance. This particular GPA application is a General Plan Technical Amendment GPA, under Section 2.4.

The amendment request is designed to correct a conflict in the General Plan between the Circulation Element and the Walker Basin Policy Area of the Land Use Element.

The Walker Basin project and the entire De Luz/Santa Rosa Plateau area were once planned for several thousand homes. The Walker Basin project was approved in 1984 for 1,631 units. In order to accommodate the perceived growth the County approved wider rights-of-ways for roads in the area and revised the General Plan Circulation Element to accommodate the proposed traffic volumes.

The number of units, and therefore the traffic volumes, were never realized for the De Luz/Santa Rosa Plateau area and the Walker Basin Specific Plan approval for 1,631 units was rescinded by the Board of Supervisors on July 15, 2003. The Walker Basin Specific Plan was replaced by the Walker Basin Policy Area which would only accommodate a maximum of one hundred (100) homes over the 401.5 acre site.

**GENERAL PLAN ADMINISTRATIVE ELEMENT FINDINGS:**

In order to support the initiation of a proposed General Plan Amendment it must be established that the proposal could possibly satisfy certain required findings subject to the development review process and final CEQA determination. The Administration Element of the General Plan explains that there are four categories of amendments, Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing.

General Plan Amendment No. 1119 falls into the Technical category, because it involves a technical correction discovered in the process of implementing the General Plan.

The Administration Element of the General Plan explains that the first finding and any one or more of the subsequent findings listed below would justify a Technical Amendment:

- a. The proposed amendment would not change any policy direction or intent of the General Plan.
- b. An error or omission needs to be corrected.
- c. A land use designation was based on inaccurate or misleading information and should therefore be changed to properly reflect the policy intent of the General Plan.
- d. A point of clarification is needed to more accurately express the General Plan's meaning or eliminate a source of confusion.
- e. A minor change in boundary will more accurately reflect geological or topographic features, or legal or jurisdictional boundaries

**Consideration Analysis:**

**Required Finding:**

1a “The proposed amendment would not change any policy direction or intent of the General Plan.”: The proposed change is consistent with the policy direction and intent of the Walker Basin Policy Area SWAP 6.1 policy which states that:

“The proposed development shall be of a scale that would not require the introduction of sewer infrastructure, major road improvements, or other urban services or infrastructure into the hilly De Luz area, or the establishment of assessment districts to finance such infrastructure.”

The policy language does not support the construction of the roadway widths currently required by the Circulation Element designations within the policy area (i.e., Mountain Arterial Highway at 110-foot right-of-way and Secondary Highway at 100-foot right-of-way). The proposed amendment would resolve this conflict by removing the Circulation Element designations within the Walker Basin Policy Area to make the Circulation Element consistent with the Policy Area’s direction and intent.

**Additional Findings:** The proposed Amendment also is supported by two of the additional findings required for a Technical Amendment.

1b. “An error or omission needs to be corrected.”: There is currently a conflict between the language of the Walker Basin Policy Area prohibiting major roads in the area and the Circulation Element designations which was not corrected when the 2003 General Plan was adopted. The proposed amendment would resolve this conflict by clearly removing the conflicting Circulation Element designation to clearly establish the direction and intention of the Walker Basin Policy Area.

1d. “A point of clarification is needed to more accurately express the General Plan’s meaning or eliminate a source of confusion.”: The removal of the Circulation Element designation would eliminate the conflict and any confusion caused by the conflict.

**ADDITIONAL PLANNING CONSIDERATIONS:**

The Transportation Department is aware that the proposed amendment would create breaks in the Circulation Element designations of the affected roadways within the De Luz/Santa Rosa Plateau area. Staff considered recommending the expansion of the proposed amendment to remove the entire length of the roadways affected by the amendment within the larger De Luz/Santa Rosa Plateau area boundaries. However, the scope of such an amendment would create a much greater burden on the project applicant and likely would result in significant project delays. Numerous property owners far beyond the applicant’s project boundaries would have to be involved in such an amendment, but it is likely the project applicant would be burdened with most, if not all, of the additional costs of expanding the proposal. The Transportation Department has included a larger proposal within the upcoming General Plan update; however, the applicant chose to pay for a privately initiated amendment to expedite the resolution of the conflicts between the Circulation Element and Land Use Element rather than wait for the update. The Transportation Department believes that the General Plan update will provide an appropriate means of resolving the larger Circulation Element issue for the entire De Luz/Santa Rosa Plateau area and that the applicant’s proposed amendment as requested is consistent with the direction and intent of both the current General Plan and the coming update. It is therefore



staff's recommendation that the proposed amendment be initiated only for the roadway limits described in this staff report.

**RECOMMENDATIONS:**

Staff recommends that the appropriate findings per the General Plan Administration Element can be made and requests that the Planning Commission provide comments to the Board of Supervisors regarding General Plan Amendment No. 1131. The initiation of proceedings by the Board of Supervisors for the amendment of the General Plan, or any element thereof, shall not imply any such amendment will be approved.

**INFORMATIONAL ITEMS:**

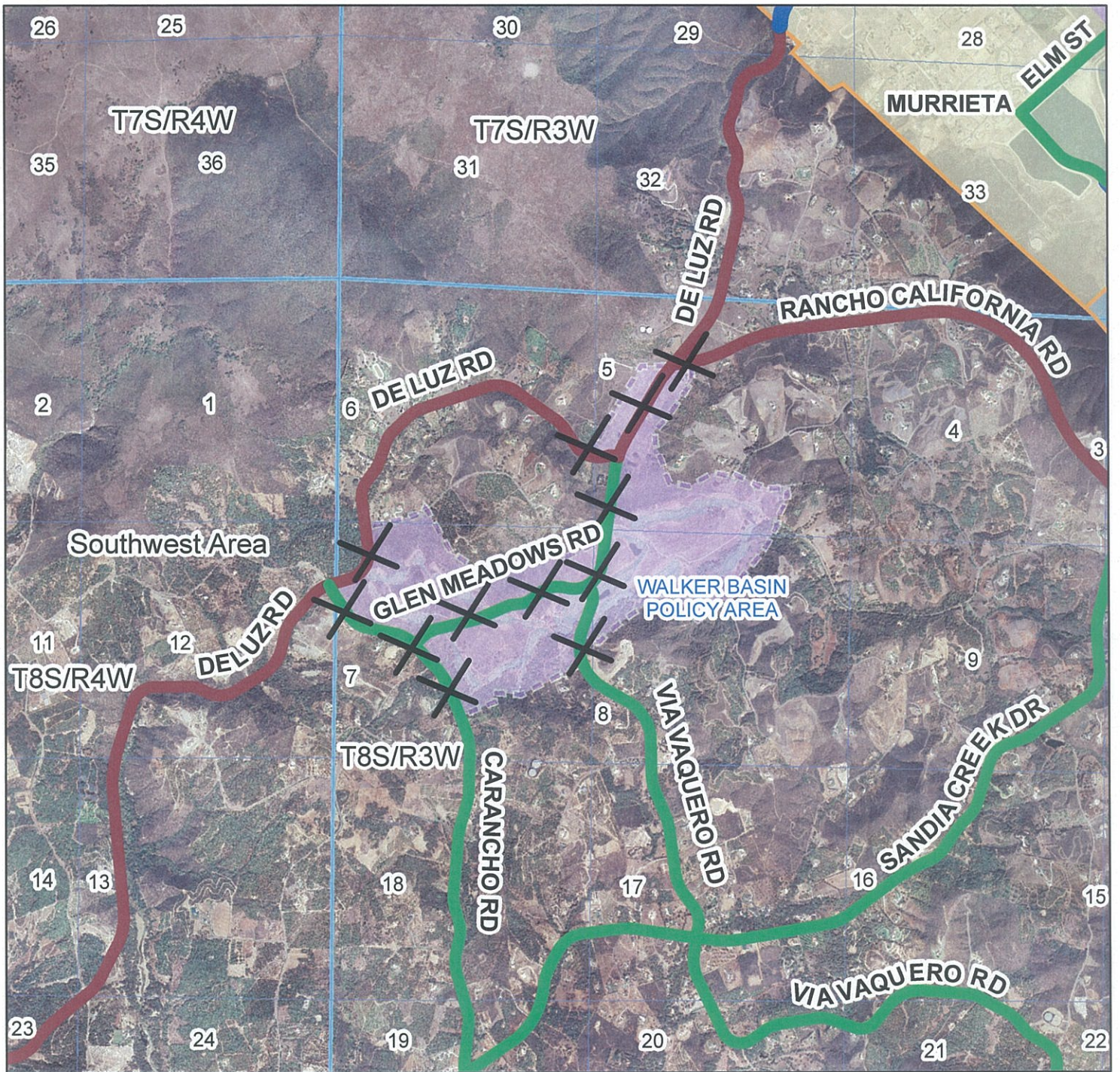
1. As of this writing, no letters in support or opposition have been received.
2. The project site is an amendment to remove the roadway designations within the Walker Basin Policy Area the Circulation Element of the General Plan.

RW:rf

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Date Prepared: 12/17/13



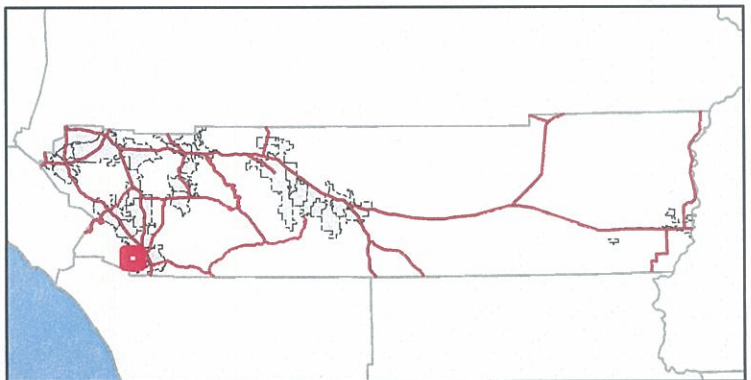


GENERAL PLAN AMENDMENT NO. 1131

**Legend**

**Circulation Element Designations**

- Expressway (184' to 220' ROW)
- Urban Arterial (152' ROW)
- Arterial (128' ROW)
- Major (118' ROW)
- Secondary (100' ROW)
- Collector (74' ROW)
- Mountain Arterial (110' ROW)
- Freeway (Variable ROW)
- Walker Basin Policy Area
- Designation Deletion



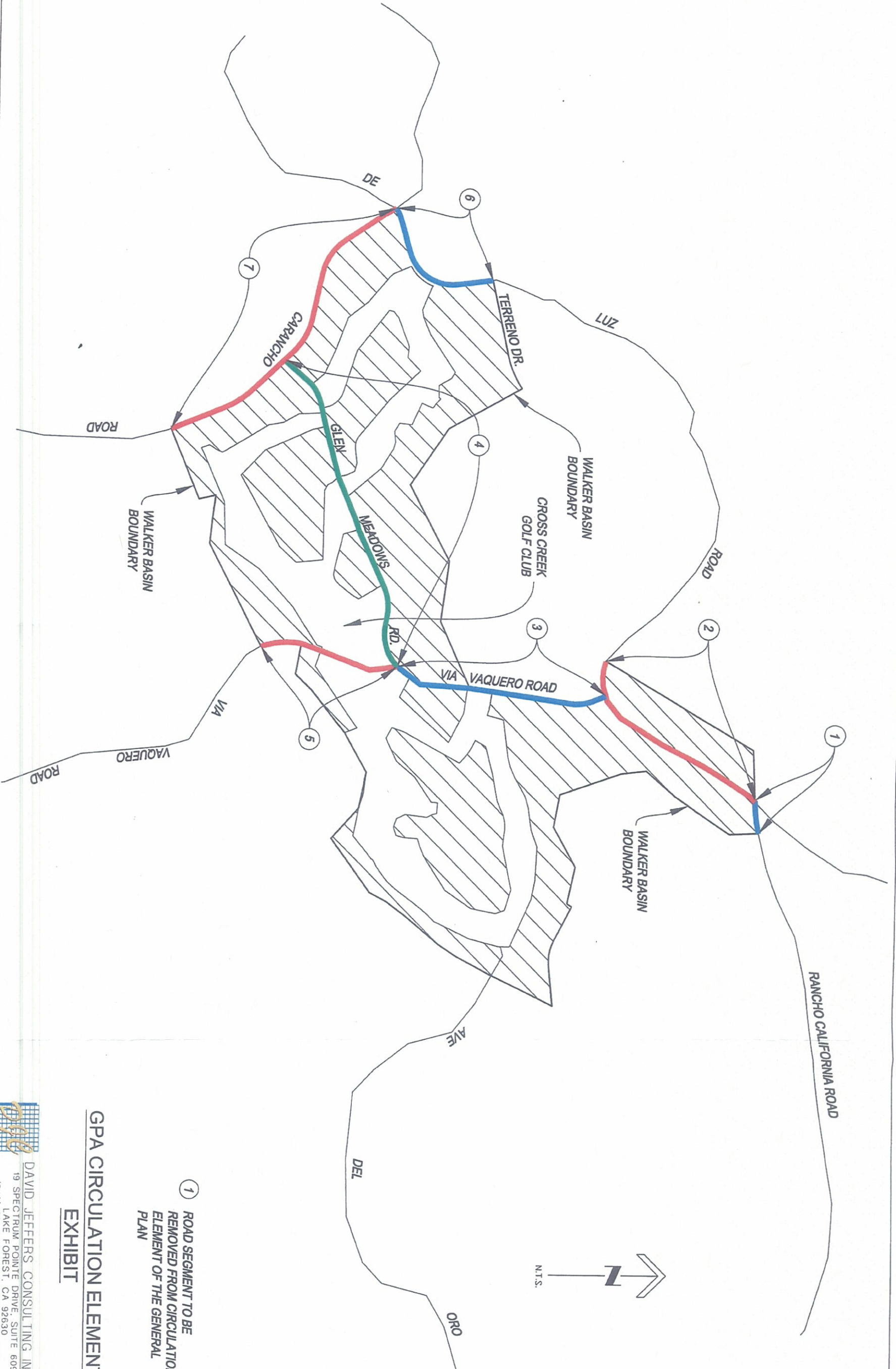
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 Orthophotos Flown April 2007  
 Printed by rfairhur on 10/24/12



The County of Riverside assumes no warranty or legal responsibility for the information contained on this map. Data and information represented on this map is subject to updates, modifications and may not be complete or appropriate for all purposes. County GIS and other sources should be queried for the most current information. Do not copy or resell this map.







- ① ROAD SEGMENT TO BE REMOVED FROM CIRCULATION ELEMENT OF THE GENERAL PLAN

**GPA CIRCULATION ELEMENT EXHIBIT**



DAVID JEFFERS CONSULTING INC.  
 19 SPECTRUM POINT DRIVE, SUITE 609  
 LAKE FOREST, CA 92630  
 (949) 586-5778, FAX (949) 586-5527



Agenda Item No.: 2.4  
Area Plan: Southwest Area  
Zoning District: Rancho California  
Supervisorial District: 1  
Project Planner: Richard Fairhurst  
Planning Commission: January 15, 2014

General Plan Amendment No. 1131  
(Technical Amendment)  
Applicant: Riverside County Transportation  
Department  
Engineer/Representative: David Jeffers  
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Commission and Board of Supervisors. The adoption of an order initiating proceedings does not imply that any amendment will be approved. If the Board of Supervisors declines to adopt an order initiating proceedings, no further proceedings of this application will occur.

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The amendment request is designed to correct a conflict in the General Plan between the Circulation Element and the Walker Basin Policy Area of the Land Use Element.

The Walker Basin project and the entire De Luz/Santa Rosa Plateau area were once planned for several thousand homes. The Walker Basin project was approved in 1984 for 1,631 units. In order to accommodate the perceived growth the County approved wider rights-of-ways for roads in the area and revised the General Plan Circulation Element to accommodate the proposed traffic volumes.

The number of units, and therefore the traffic volumes, were never realized for the De Luz/Santa Rosa Plateau area and the Walker Basin Specific Plan approval for 1,631 units was rescinded by the Board of Supervisors on July 15, 2003. The Walker Basin Specific Plan was replaced by the Walker Basin Policy Area which would only accommodate a maximum of one hundred (100) homes over the 401.5 acre site.

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General Plan Amendment No. 1119 falls into the Technical category, because it involves a technical correction discovered in the process of implementing the General Plan.

The Administration Element of the General Plan explains that the first finding and any one or more of the subsequent findings listed below would justify a Technical Amendment:

- a. The proposed amendment would not change any policy direction or intent of the General Plan.
- b. An error or omission needs to be corrected.
- c. A land use designation was based on inaccurate or misleading information and should therefore be changed to properly reflect the policy intent of the General Plan.
- d. A point of clarification is needed to more accurately express the General Plan's meaning or eliminate a source of confusion.
- e. A minor change in boundary will more accurately reflect geological or topographic features, or legal or jurisdictional boundaries



**Consideration Analysis:**

**Required Finding:**

1a “The proposed amendment would not change any policy direction or intent of the General Plan.”: The proposed change is consistent with the policy direction and intent of the Walker Basin Policy Area SWAP 6.1 policy which states that:

“The proposed development shall be of a scale that would not require the introduction of sewer infrastructure, major road improvements, or other urban services or infrastructure into the hilly De Luz area, or the establishment of assessment districts to finance such infrastructure.”

The policy language does not support the construction of the roadway widths currently required by the Circulation Element designations within the policy area (i.e., Mountain Arterial Highway at 110-foot right-of-way and Secondary Highway at 100-foot right-of-way). The proposed amendment would resolve this conflict by removing the Circulation Element designations within the Walker Basin Policy Area to make the Circulation Element consistent with the Policy Area’s direction and intent.

**Additional Findings:** The proposed Amendment also is supported by two of the additional findings required for a Technical Amendment.

1b. “An error or omission needs to be corrected.”: There is currently a conflict between the language of the Walker Basin Policy Area prohibiting major roads in the area and the Circulation Element designations which was not corrected when the 2003 General Plan was adopted. The proposed amendment would resolve this conflict by clearly removing the conflicting Circulation Element designation to clearly establish the direction and intention of the Walker Basin Policy Area.

1d. “A point of clarification is needed to more accurately express the General Plan’s meaning or eliminate a source of confusion.”: The removal of the Circulation Element designation would eliminate the conflict and any confusion caused by the conflict.

**ADDITIONAL PLANNING CONSIDERATIONS:**

The Transportation Department is aware that the proposed amendment would create breaks in the Circulation Element designations of the affected roadways within the De Luz/Santa Rosa Plateau area. Staff considered recommending the expansion of the proposed amendment to remove the entire length of the roadways affected by the amendment within the larger De Luz/Santa Rosa Plateau area boundaries. However, the scope of such an amendment would create a much greater burden on the project applicant and likely would result in significant project delays. Numerous property owners far beyond the applicant’s project boundaries would have to be involved in such an amendment, but it is likely the project applicant would be burdened with most, if not all, of the additional costs of expanding the proposal. The Transportation Department has included a larger proposal within the upcoming General Plan update; however, the applicant chose to pay for a privately initiated amendment to expedite the resolution of the conflicts between the Circulation Element and Land Use Element rather than wait for the update. The Transportation Department believes that the General Plan update will provide an appropriate means of resolving the larger Circulation Element issue for the entire De Luz/Santa Rosa Plateau area and that the applicant’s proposed amendment as requested is consistent with the direction and intent of both the current General Plan and the coming update. It is therefore

staff's recommendation that the proposed amendment be initiated only for the roadway limits described in this staff report.

**RECOMMENDATIONS:**

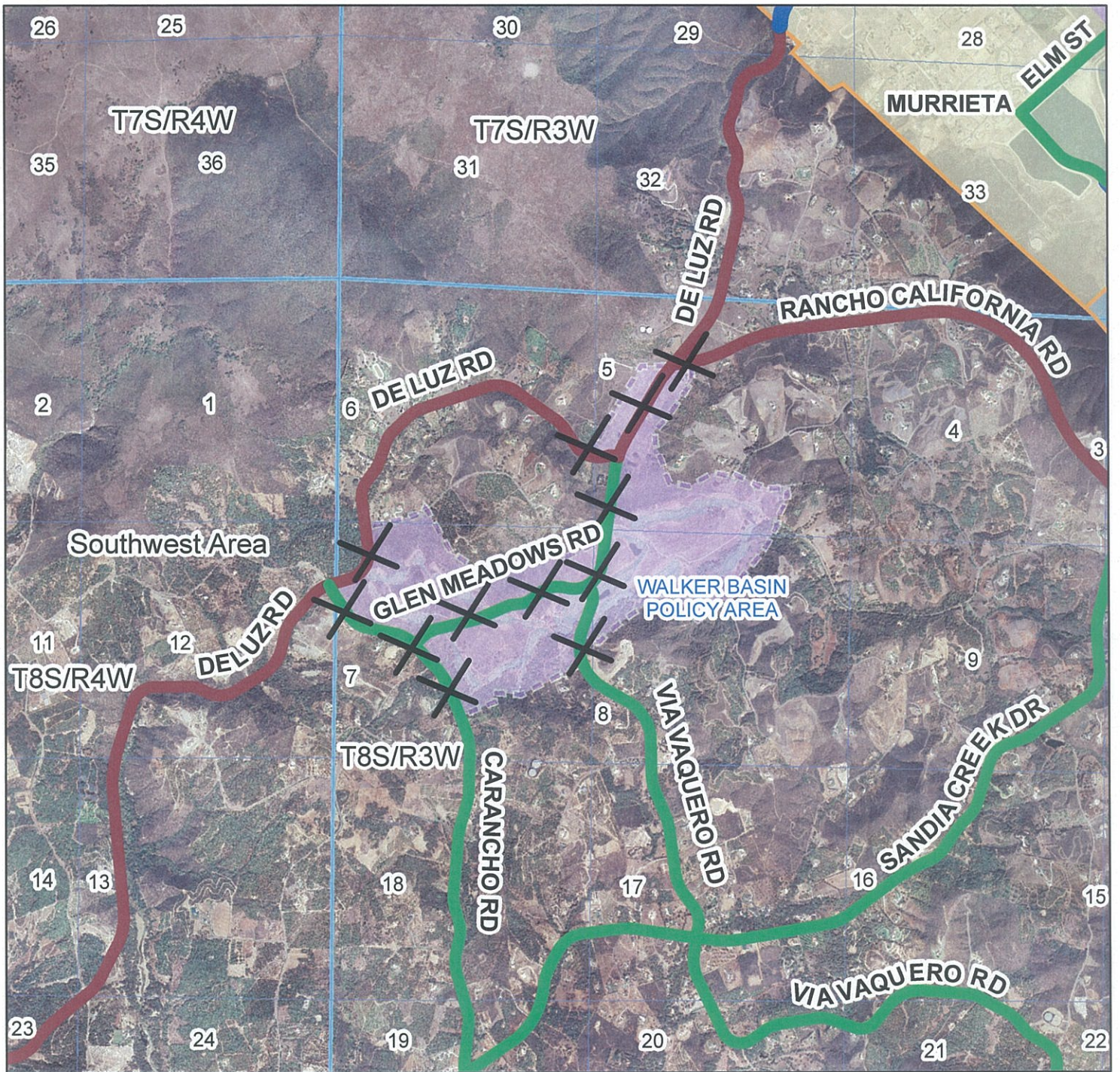
Staff recommends that the appropriate findings per the General Plan Administration Element can be made and requests that the Planning Commission provide comments to the Board of Supervisors regarding General Plan Amendment No. 1131. The initiation of proceedings by the Board of Supervisors for the amendment of the General Plan, or any element thereof, shall not imply any such amendment will be approved.

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters in support or opposition have been received.
2. The project site is an amendment to remove the roadway designations within the Walker Basin Policy Area the Circulation Element of the General Plan.

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Date Prepared: 12/17/13





GENERAL PLAN AMENDMENT NO. 1131

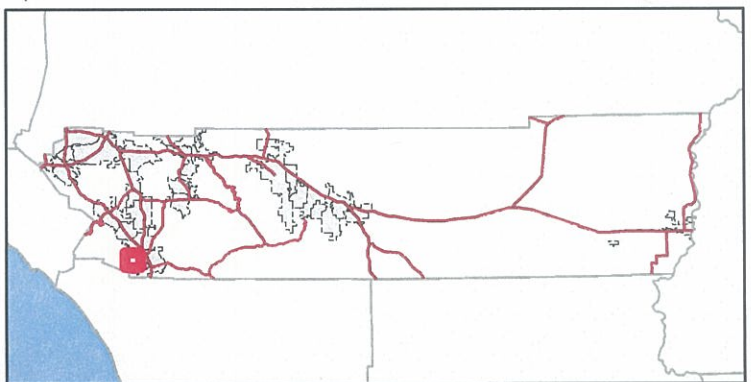
**Legend**

**Circulation Element Designations**

- Expressway (184' to 220' ROW)
- Urban Arterial (152' ROW)
- Arterial (128' ROW)
- Major (118' ROW)
- Secondary (100' ROW)
- Collector (74' ROW)
- Mountain Arterial (110' ROW)
- Freeway (Variable ROW)

Walker Basin Policy Area

Designation Deletion



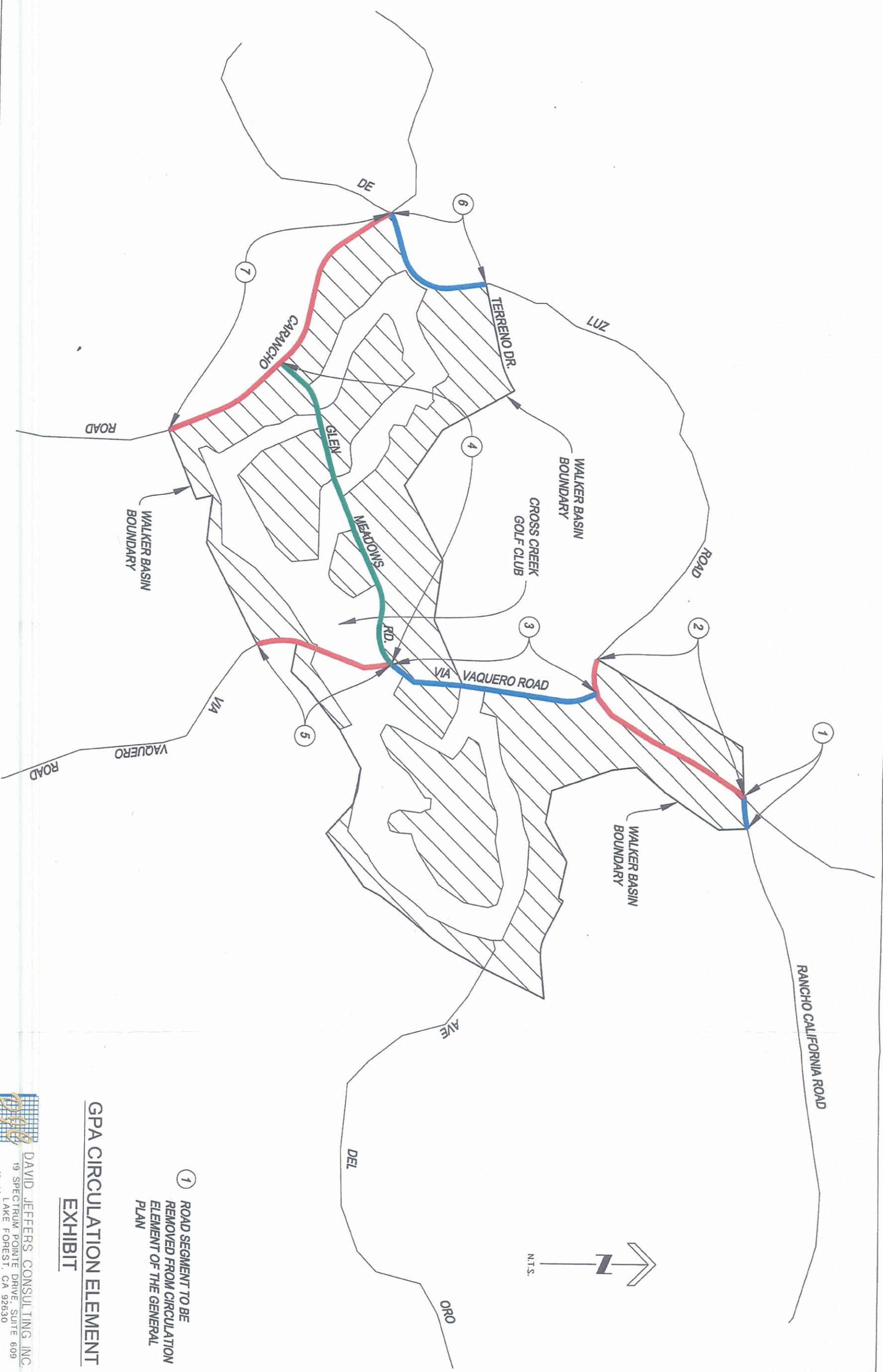
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① ROAD SEGMENT TO BE REMOVED FROM CIRCULATION ELEMENT OF THE GENERAL PLAN

**GPA CIRCULATION ELEMENT EXHIBIT**



DAVID JEFFERS CONSULTING INC.  
 19 SPECTRUM POINT DRIVE, SUITE 609  
 LAKE FOREST, CA 92630  
 (949) 586-5778, FAX (949) 586-5527



Agenda Item No.: 2.4  
Area Plan: Southwest Area  
Zoning District: Rancho California  
Supervisorial District: 1  
Project Planner: Richard Fairhurst  
Planning Commission: January 15, 2014

General Plan Amendment No. 1131  
(Technical Amendment)  
Applicant: Riverside County Transportation  
Department  
Engineer/Representative: David Jeffers  
Consulting, Inc.

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

General Plan Amendment No. 1131 proposes to amend the Circulation Element map within and along the boundaries of the Walker Basin Policy Area by removing the following Circulation Element designations so that they can be constructed as either Collector Rural Roads or Residential Rural Roads:

1. Remove the Mountain Arterial Highway designation from Rancho California Road between De Luz Road and approximately 370 feet easterly of its intersection with De Luz Road
2. Remove the Mountain Arterial Highway designation from De Luz Road between Rancho California Road and approximately 450 feet westerly of its intersection with Via Vaquero Road
3. Remove the Secondary Highway designation from Via Vaquero Road between De Luz Road and Glen Meadows Road
4. Remove the Secondary Highway designation from Glen Meadows Road between Carancho Road and Via Vaquero Road
5. Remove the Secondary Highway designation from Via Vaquero Road between Glen Meadows Road and approximately 1,700 feet southerly of its intersection with Glen Meadows Road
6. Remove the Mountain Arterial Highway designation from De Luz Road between Carancho Road and Terreno Drive
7. Remove the Secondary Highway designation from Carancho Road between De Luz Road and approximately 1,800 feet southerly of its intersection with Glen Meadows Road

### BACKGROUND:

The initiation of proceedings for any General Plan Amendment (GPA) requires the adoption of an order by the Board of Supervisors. The Planning Director is required to prepare a report and recommendation on all GPA applications and submit them to the Board of Supervisors. Prior to the submittal to the Board, comments on the applications will be requested from the Planning Commission, and the Planning Commission comments will be included in the report to the Board. The Board will either approve or disapprove the initiation of the proceedings for the GPA requested in the applications.

The consideration of the initiation of proceedings pursuant to this application by the Planning Commission and the Board of Supervisors will not involve a noticed public hearing.

If the Board of Supervisors adopts an order initiating proceedings pursuant to this application, the proposed amendment will thereafter be processed, heard and decided in accordance with all the procedures applicable to GPA applications, including noticed public hearings before the Planning

Commission and Board of Supervisors. The adoption of an order initiating proceedings does not imply that any amendment will be approved. If the Board of Supervisors declines to adopt an order initiating proceedings, no further proceedings of this application will occur.

The Board of Supervisors established the procedures for initiation of GPA applications with the adoption of Ordinance No. 348.4573 (effective May 8, 2008), which amended Article II of that ordinance. This particular GPA application is a General Plan Technical Amendment GPA, under Section 2.4.

The amendment request is designed to correct a conflict in the General Plan between the Circulation Element and the Walker Basin Policy Area of the Land Use Element.

The Walker Basin project and the entire De Luz/Santa Rosa Plateau area were once planned for several thousand homes. The Walker Basin project was approved in 1984 for 1,631 units. In order to accommodate the perceived growth the County approved wider rights-of-ways for roads in the area and revised the General Plan Circulation Element to accommodate the proposed traffic volumes.

The number of units, and therefore the traffic volumes, were never realized for the De Luz/Santa Rosa Plateau area and the Walker Basin Specific Plan approval for 1,631 units was rescinded by the Board of Supervisors on July 15, 2003. The Walker Basin Specific Plan was replaced by the Walker Basin Policy Area which would only accommodate a maximum of one hundred (100) homes over the 401.5 acre site.

**GENERAL PLAN ADMINISTRATIVE ELEMENT FINDINGS:**

In order to support the initiation of a proposed General Plan Amendment it must be established that the proposal could possibly satisfy certain required findings subject to the development review process and final CEQA determination. The Administration Element of the General Plan explains that there are four categories of amendments, Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing.

General Plan Amendment No. 1119 falls into the Technical category, because it involves a technical correction discovered in the process of implementing the General Plan.

The Administration Element of the General Plan explains that the first finding and any one or more of the subsequent findings listed below would justify a Technical Amendment:

- a. The proposed amendment would not change any policy direction or intent of the General Plan.
- b. An error or omission needs to be corrected.
- c. A land use designation was based on inaccurate or misleading information and should therefore be changed to properly reflect the policy intent of the General Plan.
- d. A point of clarification is needed to more accurately express the General Plan's meaning or eliminate a source of confusion.
- e. A minor change in boundary will more accurately reflect geological or topographic features, or legal or jurisdictional boundaries



**Consideration Analysis:**

**Required Finding:**

1a “The proposed amendment would not change any policy direction or intent of the General Plan.”: The proposed change is consistent with the policy direction and intent of the Walker Basin Policy Area SWAP 6.1 policy which states that:

“The proposed development shall be of a scale that would not require the introduction of sewer infrastructure, major road improvements, or other urban services or infrastructure into the hilly De Luz area, or the establishment of assessment districts to finance such infrastructure.”

The policy language does not support the construction of the roadway widths currently required by the Circulation Element designations within the policy area (i.e., Mountain Arterial Highway at 110-foot right-of-way and Secondary Highway at 100-foot right-of-way). The proposed amendment would resolve this conflict by removing the Circulation Element designations within the Walker Basin Policy Area to make the Circulation Element consistent with the Policy Area’s direction and intent.

**Additional Findings:** The proposed Amendment also is supported by two of the additional findings required for a Technical Amendment.

1b. “An error or omission needs to be corrected.”: There is currently a conflict between the language of the Walker Basin Policy Area prohibiting major roads in the area and the Circulation Element designations which was not corrected when the 2003 General Plan was adopted. The proposed amendment would resolve this conflict by clearly removing the conflicting Circulation Element designation to clearly establish the direction and intention of the Walker Basin Policy Area.

1d. “A point of clarification is needed to more accurately express the General Plan’s meaning or eliminate a source of confusion.”: The removal of the Circulation Element designation would eliminate the conflict and any confusion caused by the conflict.

**ADDITIONAL PLANNING CONSIDERATIONS:**

The Transportation Department is aware that the proposed amendment would create breaks in the Circulation Element designations of the affected roadways within the De Luz/Santa Rosa Plateau area. Staff considered recommending the expansion of the proposed amendment to remove the entire length of the roadways affected by the amendment within the larger De Luz/Santa Rosa Plateau area boundaries. However, the scope of such an amendment would create a much greater burden on the project applicant and likely would result in significant project delays. Numerous property owners far beyond the applicant’s project boundaries would have to be involved in such an amendment, but it is likely the project applicant would be burdened with most, if not all, of the additional costs of expanding the proposal. The Transportation Department has included a larger proposal within the upcoming General Plan update; however, the applicant chose to pay for a privately initiated amendment to expedite the resolution of the conflicts between the Circulation Element and Land Use Element rather than wait for the update. The Transportation Department believes that the General Plan update will provide an appropriate means of resolving the larger Circulation Element issue for the entire De Luz/Santa Rosa Plateau area and that the applicant’s proposed amendment as requested is consistent with the direction and intent of both the current General Plan and the coming update. It is therefore

staff's recommendation that the proposed amendment be initiated only for the roadway limits described in this staff report.

**RECOMMENDATIONS:**

Staff recommends that the appropriate findings per the General Plan Administration Element can be made and requests that the Planning Commission provide comments to the Board of Supervisors regarding General Plan Amendment No. 1131. The initiation of proceedings by the Board of Supervisors for the amendment of the General Plan, or any element thereof, shall not imply any such amendment will be approved.

**INFORMATIONAL ITEMS:**

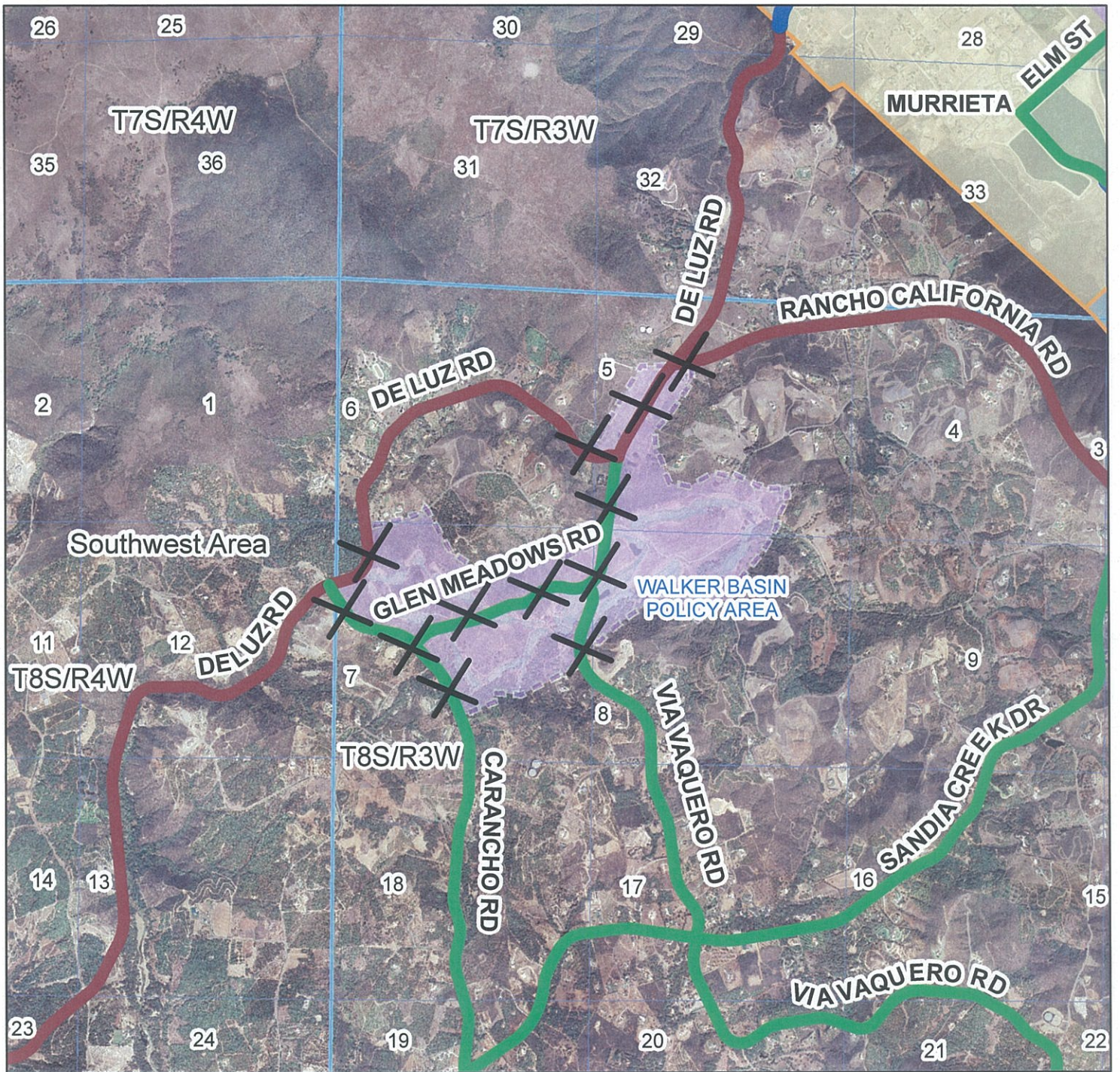
1. As of this writing, no letters in support or opposition have been received.
2. The project site is an amendment to remove the roadway designations within the Walker Basin Policy Area the Circulation Element of the General Plan.

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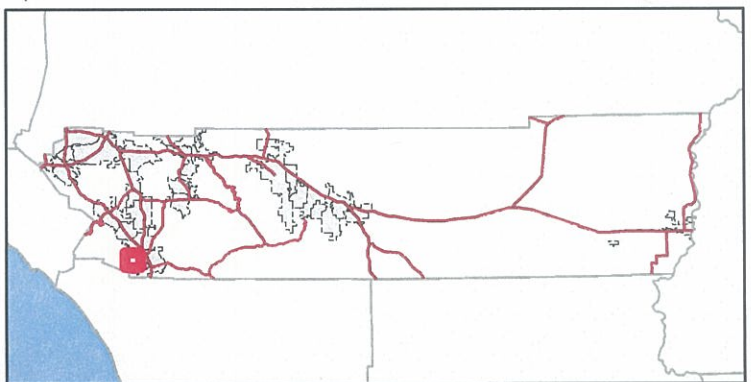


GENERAL PLAN AMENDMENT NO. 1131

**Legend**

**Circulation Element Designations**

- Expressway (184' to 220' ROW)
- Urban Arterial (152' ROW)
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- Walker Basin Policy Area
- Designation Deletion



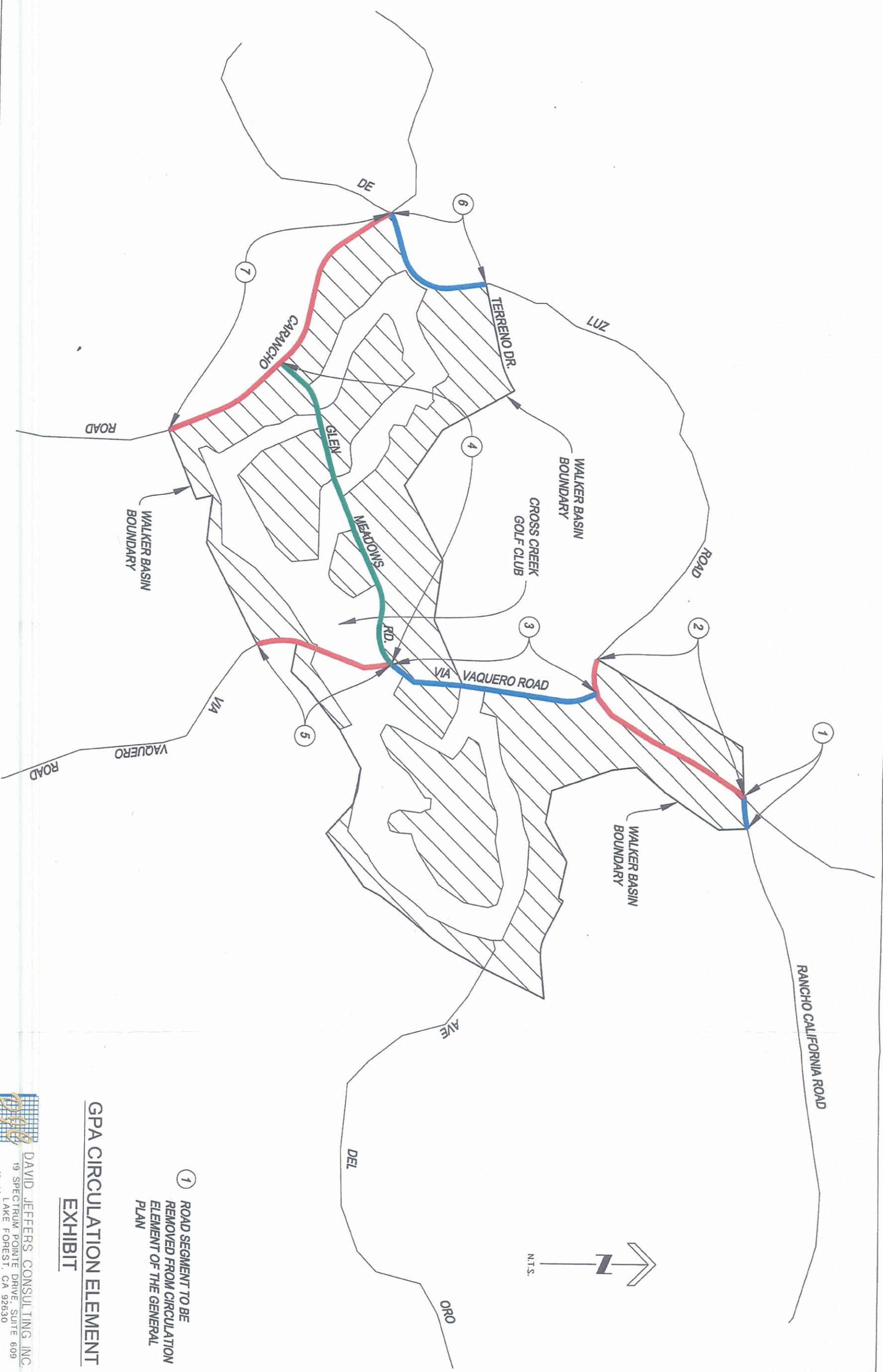
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- ① ROAD SEGMENT TO BE REMOVED FROM CIRCULATION ELEMENT OF THE GENERAL PLAN

**GPA CIRCULATION ELEMENT EXHIBIT**



DAVID JEFFERS CONSULTING INC.  
 19 SPECTRUM POINT DRIVE, SUITE 609  
 LAKE FOREST, CA 92630  
 (949) 586-5778, FAX (949) 586-5527



Agenda Item No.: 3.2  
Area Plan: Temescal Canyon  
Zoning District: Glen Ivy Area  
Supervisory District: First  
Project Planner: David L. Jones  
Planning Commission: January 15, 2014

RECLAMATION PLAN NO. 135  
ORDER TO COMPLY PROGRESS UPDATE  
Environmental Assessment No. N/A  
Applicant: Mission Clay Products  
Engineer/Representative: Ken Garrett

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

**Reclamation Plan No. 135 Order to Comply (OTC)** was issued October 15, 2013 by the Planning Director, pursuant to County Ordinance No. 555 and the relevant sections of California Surface Mining and Reclamation Act (SMARA), in response to the owner's/operator's lack of response to the County's November 13, 2012 Notice of Violation (NOV) for issues identified during the County's October 4, 2012 annual inspection of the mine. The violations include mining outside of the limits of the approved reclamation plan, over-steepened mine slopes, excessive erosion, and material cast into a water course among others (see attached Notice and Order to Comply). This OTC was also issued in response to the owner's/operator's lack of response to the County's August 22, 2013 Notice of Violation (NOV) for not timely filing their application for their annual SMARA Inspection, not submitting annual updated financial assurance cost estimates (FACE), and not providing proof of payment to the Office of Mine Reclamation (OMR) among others (see attached Notice and Order to Comply).

County Ordinance No. 555 Section 10.b. requires a public hearing at the County's Planning Commission wherein the Planning Commission shall determine whether or not the operator is complying with the approved mining plan, the approved reclamation plan, the permit conditions or the provisions of this ordinance and may affirm, modify or set aside the order issued by the Planning Director. The Planning Commission may also revoke or suspend the operator's permit in accordance with the procedures set forth in Section 7 of this ordinance.

On December 4, 2013, The Planning Commission discussed the Order to Comply and voted to continue the hearing to January 15, 2014.

The project is located East of Interstate 15, West of Temescal Canyon Wash, South of Dawson Canyon Road, 2 miles North of Indian Truck Trail.

### ISSUES OF POTENTIAL CONCERN:

Although there has been progress made by the mine operator in correcting some of the most pressing issues and the operator has engaged a mining consultant, the financial assurance has yet to be increased to accommodate the necessary reclamation.

**FINDINGS:** The following findings are a summary of the current progress at the mine site and the existing land use:

1. *Mining Outside of Approved Mining Reclamation Plan*  
The mine operator has engaged a mining consultant to produce a revised reclamation plan for this site. Work has been started on the analysis of physical site conditions (slope stability analysis and drainage patterns) and a draft of the revised reclamation plan is in progress.
2. *Over-steepened Slopes*  
The mine operator has engaged a mining consultant to produce a revised reclamation plan for this site. Work has been started on the analysis of physical site conditions (slope stability analysis and drainage patterns) and a draft of the revised reclamation plan is in progress. Some of the over-steepened slopes have been corrected.
3. *Tailings/Fill Material Side Cast*  
The mine operator has engaged a mining consultant to produce a revised reclamation plan for this site. Work has been started on the analysis of physical site conditions (slope stability analysis and drainage patterns) and a draft of the revised reclamation plan is in progress. Some of the tailings/fill materials have been removed from the stream courses.
4. *Non-filing of Annual SMARA Inspection Application*  
The operator submitted additional funding to extend the life of their 2012 Annual SMARA Inspection permit (BMP120021) on July 22, 2013. No new permit application or separate fees have been submitted as of this writing.
5. *Updated Financial Assurance Cost Estimate*  
Although there has been progress made by the mine operator in correcting some of the most pressing issues and the operator has engaged a mining consultant, the financial assurance has yet to be increased to accommodate the necessary reclamation.
6. The project site is designated Community Center (CC), Commercial Retail (CR), Light Industrial (LI), Open Space: Conservation (OS-C), and Open Space – Water (OS-W) on the Temescal Canyon Area Plan.
7. The existing use, surface mining, is a permitted use in the in the Open Space – Water (OS-W) designation. The existing use, surface mining, is not expressly a permitted use in the in the Community Center (CC), Commercial Retail (CR), Light Industrial (LI), or Open Space: Conservation (OS-C) designation.
8. The project site is surrounded by properties which are designated Community Center (CC), Commercial Retail (CR), Light Industrial (LI), Open Space: Conservation (OS-C), and Open Space – Water (OS-W) on the Temescal Canyon Area Plan.
9. The zoning for the subject site is Specific Plan (SP).
10. The existing use, surface mining, is not a permitted conditional use in this Specific Plan. However, mining is a contemplated use until future development under the Specific Plan is initiated.



11. The existing use, surface mining, is not consistent with the development standards set forth in the Specific Plan. However, mine reclamation is designed to leave the site rough graded for future uses defined in the Specific Plan.
12. The project site is surrounded by properties which are zoned M-M, M-R-A, CPS, and R-R.
13. Similar mining uses have been previously constructed in the project vicinity.
14. This mine is not subject to the Western Riverside County Multiple Species Habitat Conservation Plan, the Coachella Valley Multiple Species Habitat Conservation Plan or any other currently approved Multiple Species Habitat Conservation Plan.
15. This existing mining operation is not within a City but is within the City Sphere of Corona.
16. This existing mining operation is located within a very high fire hazard severity zone.
17. The existing mining operation is not in compliance with its approved mining permit or reclamation plan (See attached Notice and Order to Comply for specific SMARA-related violations).
18. The mining operation has gone outside of the limits of the approved reclamation plan.
19. The mining operation has constructed slopes steeper than allowed in the approved reclamation plan.
20. The mining operation has cast material into the waterway located at the northern end of the site.

**CONCLUSIONS:**

1. The existing mining operation remains in violation of its' approved reclamation plan. However, reasonable progress is being made to revise the reclamation plan in order to bring the operation into compliance.
2. The existing mining operation must come into compliance with County Ordinance No. 555 and SMARA by submitting and obtaining approval for a revised reclamation plan application. Reasonable progress is being made to revise the reclamation plan in order to bring the operation into compliance.
3. The existing mining operation must come into compliance with County Ordinance No. 555 and SMARA by submitting and obtaining approval for an updated financial assurance cost estimate and associated financial assurance mechanism. The operator must submit an increase to their financial assurance, or a new total amount financial assurance, to accommodate reclamation of the existing and next year's planned disturbances.
4. The existing mining operation is in conformance Light Industrial (LI), Open Space: Conservation (OS-C), and Open Space – Water (OS-W) on the Temescal Canyon Area Plan, but not consistent with Community Center (CC), Commercial Retail (CR) and other elements of the Riverside County General Plan. This project is in violation with General Plan policies OS 14.1 and OS 14.4.
5. The existing project is consistent with the Specific Plan (SP) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348 in that Specific Plan No.

353 is conditioned for the mining operation to cease prior to approval of any implementing projects.

6. The public's health, safety, and general welfare are not currently protected through project design.
7. The existing mining operation is compatible with the present development but not with future logical development of the area.
8. The existing mining operation may have a significant effect on the environment.
9. The existing mining operation will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP) or the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

**RECOMMENDATIONS:**

**DISCUSS THE MINING OPERATOR'S PROGRESS TO DATE, SET ASIDE THE ORDER TO COMPLY, AND DIRECT STAFF TO PROVIDE THE PLANNING COMMISSION A PROGRESS UPDATE FOR THE MINING OPERATION AT THE APRIL 4, 2014 PLANNING COMMISSION HEARING.**

**INFORMATIONAL ITEMS:**

1. Numerous telephone conversations with the mine operator and his consultants and several site visits have been accomplished since issuance of the Order to Comply; including one site visit and several phone conversations since the December 6, 2013 Planning Commission hearing.
2. As of this writing, no letters, in support or opposition have been received.
3. As of this writing, the mine operator (Mission Clay Products) has not applied for their 2013 annual SMARA mine inspection.
4. As of this writing, the mine operator (Mission Clay Products) has submitted an application to revise their mining permit but, has not submitted the necessary amended exhibits and deposit based fee to continue processing this application.
5. The project site is not located within:
  - a. A City;
  - b. A County Service Area (CSA);
  - c. A dam inundation area;
  - d. An area drainage plan;
  - e. A 100-year flood plain, an area drainage plan, or dam inundation area;
  - f. A fault hazard area;
  - g. A high liquefaction hazard potential area



- h. The project site is located within an area classified as MRZ-2 for mineral resources (Areas of Identified Mineral Resource Significance) and MRZ-3 (Areas of Undetermined Mineral Resource Significance).
  
- 6. The subject site is currently designated as Assessor's Parcel Numbers 283-200-009, 283-200-010, 283-190-014 and 283-190-027.
  
- 7. Existing General Plan Land Use (Ex. #3): Community Center (CC), Commercial Retail (CR), Light Industrial (LI), Open Space: Conservation (OS-C), and Open Space – Water (OS-W)
  
- 8. Surrounding General Plan Land Use (Ex. #3): Community Center (CC), Commercial Retail (CR), Light Industrial (LI), Open Space: Conservation (OS-C), and Open Space – Water (OS-W)
  
- 9. Existing Zoning (Ex. #2): Specific Plan (SP) [SP00353 – Serrano]
  
- 10. Surrounding Zoning (Ex. #2): Mineral Resources (M-R), Mineral Resources and Related Manufacturing (M-R-A), Manufacturing – Medium (M-M), Scenic Highway Commercial (C-P-S), Specific Plan (SP)
  
- 11. Existing Land Use (Ex. #1): Mining
  
- 12. Surrounding Land Use (Ex. #1): Manufacturing to the North, south, Open Space to the South, Interstate 15 to the West, and Open Space to the East.
  
- 13. Project Data: Total Acreage: 285.66
  
- 14. Environmental Concerns: CEQA Exempt Case

Agenda Item No.: 3.3  
Area Plan: East County - Desert  
Zoning District: Chuckawalla  
Supervisory District: Fourth/Fourth  
Project Planner: David L. Jones  
Planning Commission: January 15, 2014

**SURFACE MINING PERMIT NO. 102  
ORDER TO COMPLY - PROGRESS UPDATE  
Environmental Assessment No. N/A  
Applicant: Sun Services, Inc.  
Engineer/Representative: David Maughan**

## **COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT**

### **PROJECT DESCRIPTION AND LOCATION:**

**Surface Mining Permit No. 102 Order to Comply (OTC)** was issued September 27, 2013 by the Planning Director, pursuant to County Ordinance No. 555 and the relevant sections of California Surface Mining and Reclamation Act (SMARA), in response to the owner's/operator's lack of response to the County's November 8, 2012 Notice of Violation (NOV) for issues identified during the County's September 26, 2012 annual inspection of the mine. The violations include mining outside of the limits of the approved reclamation plan, over-steepened mine slopes, inadequate financial assurance, and blocked drainages among others (see attached Notice and Order to Comply).

County Ordinance No. 555 Section 10.b. requires a public hearing at the County's Planning Commission wherein the Planning Commission shall determine whether or not the operator is complying with the approved mining plan, the approved reclamation plan, the permit conditions or the provisions of this ordinance and may affirm, modify or set aside the order issued by the Planning Director. The Planning Commission may also revoke or suspend the operator's permit in accordance with the procedures set forth in Section 7 of this ordinance.

On November 6, 2013, the Planning Commission voted to entertain the order to comply and continued the hearing to January 15, 2014.

The project is located ~25 Miles North of Blythe, ~10 Miles West of Midland Road, ~15 Miles South of State Hwy 62).

### **ISSUES OF POTENTIAL CONCERN:**

1. This mine operator continues to operate the mine without benefit of an approved mining permit that accommodates all aspects of his operations necessary to comply with SMARA and County Ordinance No. 555.
2. This mine operator continues to operate the mine without benefit of an approved financial assurance that accommodates reclamation of the mine necessary to be in compliance with SMARA and County Ordinance No. 555.

**FINDINGS:** The following findings are a summary of the current progress at the mine site and the existing land use:

1. *Mining Outside of Approved Mining Permit and Reclamation Plan*  
As of this writing, the mine owner/operator has not submitted an application to amend their mining permit to revise the limits of mining and required reclamation. Further, the mining operator has failed to show meaningful progress toward this end.



2. *Over-steepened Slopes*  
The mine owner/operator has attempted to secure some of the over-steepened slopes. However, the owner/operator has provided no plans or associated slope stability analysis to document the relative safety of the existing mine slopes.
3. *Blocked Drainages*  
The mine owner/operator has attempted to redirect some of the drainages on the site. However, none of the work performed was with benefit of an approved mining permit or reclamation plan required to initiate the work.
4. *Inadequate Financial Assurance*  
The owner/operator has yet to submit adequate financial assurance for this mining operation.
5. The mine owner/operator submitted the required fees for this year's annual mine inspection on November 8, 2013.
6. The project site is designated Open Space: Rural (OS-RUR) on the East County – Desert Area Area Plan.
7. The existing use, surface mining, is a permitted use in the in the Open Space: Rural (OS-RUR) designation.
8. The project site is surrounded by properties which are designated Open Space: Rural (OS-RUR).
9. The zoning for the subject site is Natural Assets (N-A).
10. The existing use, surface mining, is a permitted use, subject to approval of a Surface Mining Permit in the Natural Assets (N-A) zone.
11. The existing use, surface mining, is consistent with the development standards set forth in the Natural Assets (N-A) zone.
12. The project site is surrounded by properties which are zoned Natural Assets (N-A).
13. Similar mining uses have been previously constructed in the project vicinity, but are not currently operating.
14. This project is not subject to the Western Riverside County Multiple Species Habitat Conservation Plan, the Coachella Valley Multiple Species Habitat Conservation Plan or any other currently approved Multiple Species Habitat Conservation Plan.
15. This existing mining operation is not within a City or City Sphere of Influence.
16. This existing mining operation is not located within a very high fire hazard severity zone.
17. The existing mining operation is not in compliance with its approved mining permit or reclamation plan (See attached Notice and Order to Comply for specific SMARA-related violations).

**CONCLUSIONS:**

1. The existing mining operation must come into compliance with County Ordinance No. 555 and SMARA by submitting and obtaining approval for a revised mining permit and reclamation plan application.
2. The existing mining operation must come into compliance with County Ordinance No. 555 and SMARA by submitting and obtaining approval for an updated financial assurance cost estimate and associated financial assurance mechanism.
3. The public's health, safety, and general welfare are not currently protected through project design.
4. The existing mining operation is in conformance with the Open Space: Rural (OS-RUR) Land Use Designation, but not consistent with all elements of the Riverside County General Plan. This project is in violation with General Plan policies OS 14.1 and OS 14.4.
5. The existing project is consistent with the Natural Assets (N-A) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
6. The existing mining operation is compatible with the present and future logical development of the area.
7. The existing mining operation may have a significant effect on the environment.
8. The existing mining operation will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP) or the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

**RECOMMENDATIONS:**

**ACCEPT THE FINDINGS OF THE PLANNING DIRECTOR'S NOTICE AND ORDER TO COMPLY AND PLACE THE ORDER TO COMPLY INTO IMMEDIATE EFFECT WITH APPROPRIATE CHANGES TO THE PRESCRIBED PERFORMANCE DEADLINES**

**INFORMATIONAL ITEMS:**

1. As of this writing, no letters, in support or opposition have been received.
2. As of this writing, the owner/operator has not communicated with the Planning Department other than an 11/22/13 e-mail from his mining consultant requesting information on existing County reclamation plans they could use as examples. Staff provided them information on how to access these documents.
3. The project site is not located within:
  - a. A City or City sphere of influence;
  - b. A County Service Area (CSA);
  - c. A dam inundation area;



- d. An area drainage plan;
  - e. A high fire area.
  - f. A 100-year flood plain, an area drainage plan, or dam inundation area;
  - g. A fault hazard area;
  - h. A liquefaction hazard area
  - i. The Stephens Kangaroo Rat Fee Area or Core Reserve Area; or,
  - j. California Gnatcatcher, Quino Checkerspot Butterfly habitat.
4. The project site is located within:  
a. An area classified as MRZ-2 for mineral resources (Areas of Identified Mineral Resource Significance).
5. The subject site is currently designated as Assessor's Parcel Numbers 809-170-024 and 809-170-025.
6. Existing General Plan Land Use (Ex. #3): Open Space: Rural (OS-RUR)
7. Surrounding General Plan Land Use (Ex. #3): Open Space: Rural (OS-RUR) to the north, south, east and west.
8. Existing Zoning (Ex. #2): Natural Assets (N-A).
9. Surrounding Zoning (Ex. #2): Natural Assets (N-A) to the north, south, east and west.
10. Existing Land Use (Ex. #1): Mining
11. Surrounding Land Use (Ex. #1): Open Space to the north, south, east and west.
12. Project Data: Total Acreage: 410
13. Environmental Concerns: CEQA Exempt Case

Agenda Item No.: 3.4  
Area Plan: Temescal Canyon  
Zoning District: Glen Ivy Area  
Supervisory District: First  
Project Planner: David L. Jones  
Planning Commission: January 15, 2014

Surface Mining Permit NO. 197  
ORDER TO COMPLY  
Environmental Assessment No. N/A  
Applicant: Corona Clay Company  
Engineer/Representative: Craig Deleo

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

**Surface Mining Permit No. 197 Order to Comply (OTC)** was issued December 5, 2013 by the Planning Director, pursuant to County Ordinance No. 555 and the relevant sections of California Surface Mining and Reclamation Act (SMARA) in response to the owner's/applicant's (Corona Clay Company) lack of response to the County's October 3, 2013 Notice of Violation (NOV) for operating a mine without permit. The violations listed in the NOV include mining without benefit of an approved mining permit, mining without benefit of an approved reclamation plan and mining without benefit of approved financial assurance.

County Ordinance No. 555 Section 10.b. requires a public hearing at the County's Planning Commission wherein the Planning Commission shall determine whether or not the operator is complying with the approved mining plan, the approved reclamation plan, the permit conditions or the provisions of this ordinance and may affirm, modify or set aside the order issued by the Planning Director. The Planning Commission may also revoke or suspend the operator's permit in accordance with the procedures set forth in Section 7 of this ordinance. As there is no approved mining permit or reclamation plan, the Planning Commission shall determine whether the operator is complying with provisions of SMARA and County Ordinance No. 555.

The project is located East of Interstate 15, East of Temescal Canyon Wash, South of El Sobrante Landfill, North of Dawson Canyon Road.

### ISSUES OF POTENTIAL CONCERN:

#### *Mining Without Benefit of an Approved Mining Permit or Reclamation Plan*

As explained above and in the OTC, mining has occurred at this site in Violation of SMARA and County Ordinance No. 555 whereas none of the operations have taken place with benefit of permit. County Ordinance No. 555, Section 3. States: "Unless exempted by the provisions of Section 2 or Section 12, no person, firm, corporation or private association shall conduct surface mining operations in the unincorporated area of the County of Riverside without first obtaining a permit to do so". This mining operation is not exempt from County Ordinance No. 555 Section 2 or Section 12.

#### *Mining Without Benefit of Approved Financial Assurance*

As explained above and in the OTC, mining has occurred at this site in Violation of SMARA and County Ordinance No. 555 whereas none of the operations have taken place with benefit of approved financial assurance. County Ordinance No. 555, Section 9. a. states: "Prior to the commencement of the surface mining operation, the operator shall post with the Building Director a financial assurance."



**SUMMARY OF FINDINGS:**

1. Existing General Plan Land Use (Ex. #3): Open Space Mineral Resources (OS-MIN)
2. Surrounding General Plan Land Use (Ex. #3): Public Facilities (PF), Light Industrial (LI), Rural Mountainous (RM), and Open Space – Water (OS-W)
3. Existing Zoning (Ex. #2): Mineral Resources (M-R)
4. Surrounding Zoning (Ex. #2): Mineral Resources (M-R), Mineral Resources and Related Manufacturing (M-R-A), Natural Assets (N-A)
5. Existing Land Use (Ex. #1): Mining, Motocross Tracks, Recycling of Clay Pipe/Brick, Equipment Storage, Machine Shop
6. Surrounding Land Use (Ex. #1): Manufacturing and Surface Mining to the West and Southwest, Surface Mining and El Sobrante Landfill to the North, Vacant Land and Residential to the East.
7. Project Data: Total Acreage: 36.02
8. Environmental Concerns: The Order to Comply process is CEQA Exempt. This Mining Operation is not exempt from the MSHCP.
  
9. Mining has taken place at this site over the past several decades. Signs of potential mining disturbance can be seen in 1974 aerial photographs. No signs of mining are seen on 1962 aerial photographs. Mining at this site began in earnest during the late 1970's to the mid 1980's. Aerial photos indicate mining has taken place through the 1990's and into the 2000's.
10. The existing use, surface mining, is a permitted use in the Mineral Resources (M-R) zone. However, no mining permit was ever pursued to completion by the mine operator (Corona Clay Company) for this mining operation.
11. The project site is surrounded by properties which have land use designations compatible with mining operations. Several of the surrounding properties contain mining operations that are operating in full compliance with SMARA and County Ordinance No. 555.
12. This mine may not be exempt from the Western Riverside County Multiple Species Habitat Conservation Plan as it was not an approved mine site or operating with benefit of a mining permit prior to the adoption of the MSHCP.
15. Although not part of the Notice and Order to Comply, this site and contiguous parcels owned by this mine operator contain other uses that are operating without benefit of County-required permits (motocross test tracks, buildings, grading, a landfill, model airplane paved runway and carports).
16. The first citations on this property were issued April 6, 1994, including one for illegal surface mining.

**CONCLUSIONS:**

1. The public's health, safety, and general welfare are not currently protected through project design.
2. The existing mining operation is compatible with the present development but not with future logical development of the area.
3. The existing mining operation may have a significant effect on the environment.
4. The existing mining operation may preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
5. The existing mining operation is in violation of SMARA and County Ordinance No. 555.
6. The existing mining operation must come into compliance with County Ordinance No. 555 and SMARA by submitting and obtaining approval for a mining permit application.
7. The existing mining operation must come into compliance with County Ordinance No. 555 and SMARA by submitting and obtaining approval for an updated financial assurance cost estimate and associated financial assurance mechanism.

**RECOMMENDATIONS:**

**ACCEPT THE FINDINGS OF THE PLANNING DIRECTOR'S NOTICE AND ORDER TO COMPLY AND PLACE THE ORDER TO COMPLY INTO IMMEDIATE EFFECT**

**INFORMATIONAL ITEMS:**

1. As of this writing, the County has received communication from the Office of Mine Reclamation indicating their recommendation that the County issue Administrative Penalties against this mine owner/operator pursuant to Public Resources Code Section 2774.1(c).
2. As of this writing, the County has received no communication from the mine operator (Corona Clay Company) with the exception of their submittal of an incomplete application requesting withdrawal of their mining permit application and telephone conversations with Ms. Halimah Shenghur (Planning Staff) regarding same.
3. The project (SMP00197R1) is currently locked due to a negative financial balance.
4. The project site is not located within:
  - a. A City;
  - b. A County Service Area (CSA);
  - c. A dam inundation area;
  - d. An area drainage plan;
  - e. A 100-year flood plain, an area drainage plan, or dam inundation area;



- f. A fault hazard area;
  - g. A high liquefaction hazard potential area
  - h. The project site is located within an area classified as MRZ-3 for mineral resources (Areas of Undetermined Mineral Resource Significance). The project site is not designated as being of regional or statewide importance for minerals.
5. This existing mining operation is not within a City but is within the City Sphere of Corona.
6. This existing mining operation is located within a high fire area.
7. The subject site is currently designated as Assessor's Parcel Numbers 283-190-021, 283-190-040.

Agenda Item No.: 3.5  
Area Plan: Countywide  
Zoning District: Countywide  
Supervisory District: Countywide  
Project Planner: Richard Fairhurst  
Planning Commission: January 15, 2014  
(Continued from December 4, 2013)

GENERAL PLAN AMENDMENT NO. 1119  
Applicant: Riv. Co. Transportation  
Engineer/Rep.: N/A

## COUNTY OF RIVERSIDE TRANSPORTATION DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

**GENERAL PLAN AMENDMENT NO. 1119** proposes to amend General Plan Circulation Element Policy C 2.1 to include language clarifying that the Board of Supervisors may apply other Level of Service (LOS) targets on a plan, program or project that has completed an Environmental Impact Report, based on the Board's policy decision about the balancing of congestion management considerations in relation to the benefits, impacts and costs of future plans, programs and projects. The proposed amendment to General Plan Policy C 2.1 is not associated with any specific property, plan, program or project at this time and shall change the language of the policy as follows (with new text underlined, and deleted text shown as strike-out):

"Maintain the following countywide target LOS:

LOS "C" along all County maintained roads and conventional state Highways, except that:

~~As an exception,~~ LOS "D" may be allowed in Community Development areas, only at intersections of any combination of Secondary Highways, Major Highways, Arterials, Urban Arterials, Expressways, conventional state highways or freeway ramp intersections.

LOS "E" may be allowed in designated community centers to the extent that it would support transit-oriented development and walkable communities. (AI 3)

Other LOS may be allowed by the Board for a plan, program or project for which an Environmental Impact Report has been completed, based on the Board's policy decision about the balancing of congestion management considerations in relation to the benefits, impacts and costs of future plans, programs and projects."

### FURTHER PLANNING CONSIDERATIONS:

On December 4, 2013, the Planning Commission hearing for General Plan Amendment No. 1119 was continued one month due to staff requesting additional time to review and respond to five (5) letters of opposition received the day prior to the public hearing. No one appeared on the matter and no testimony was taken. Staff has consulted with County Counsel and now believes that an additional two (2) months will be required to prepare a response to the letters. Staff is therefore recommending another continuance of two (2) months to March 19, 2014. No additional letters have been received on this item since the December 4, 2013 hearing.

#### **I. The Transportation Department recommends that the Planning Commission:**

**CONTINUE GENERAL PLAN AMENDMENT NO. 1119 TO MARCH 19, 2014**

**PREVIOUS PLANNING CONSIDERATIONS:**

Based on new state mandates to reduce greenhouse gas emissions from the transportation and land use sectors, including AB 32 and SB 375, in April of 2012 the Southern California Association of Governments ("SCAG") approved the 2012 Regional Transportation Plan/Sustainable Communities Strategy ("RTP/SCS"), following certification of an Environmental Impact Report ("EIR"). The RTP/SCS was subsequently approved by all appropriate federal and state agencies as having complied with all applicable legal requirements, and includes a greater focus on funding for transit, bicycle and pedestrian improvements that may result in a decrease in intersection performance below Level of Service ("LOS") "C" while providing other potential transportation or environmental benefits that should be balanced and weighed when considering the specific environmental impacts of a particular transportation program or project.

It has been the policy and practice of Riverside County that the elected officials of the County have the authority to interpret and apply the County's General Plan policies. This policy and practice is consistent with established law, including cases affirming that principle that the governing body that adopts the general plan and its policies has a "unique competence to interpret those policies when applying them in its adjudicatory capacity." *Napa Citizens for Honest Government*, 91 Cal.App.4th at 386. (See also *Eureka Citizens For Responsible Government v. City of Eureka* (2007) 147 Cal.App.4th 357, 374-75.)

To manage future transportation and transit projects, including securing available public financing for such projects, the General Plan is proposed to be amended to clarify and restore the County's flexibility to consider and apply its intersection congestion level policy in the context of a full range of General Plan policies and an informed analysis of the relative benefits, impacts and costs of future plans, programs and projects. The proposed amendment to Policy C 2.1 assures that no new exception to the LOS "C" performance for intersections can occur unless there is a full environmental analysis under CEQA of the plan, program or project that could result in a reduced LOS.

**General Plan administrative element findings:**

The County's General Plan and Ordinance No. 348 set forth findings that must be made for the approval of a general plan amendment. The Administration Element of the General Plan and Ordinance No. 348 explain that there are four categories of amendments: Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing. General Plan Amendment No. 1119 falls into the Entitlement/Policy category, because it involves changes in a General Plan policy that does not change the Riverside County Vision, Foundation Component, or a General Plan Principal.

A Planning Commission resolution recommending approval of an Entitlement/Policy Amendment and a Board of Supervisors resolution approving an Entitlement/Policy Amendment shall include the first two findings listed below and any one or more of the subsequent findings listed below:

- (a) The proposed change does not involve a change in or conflict with: the Riverside County Vision; any General Planning Principle set forth in General Plan Appendix B; or any Foundation Component designation in the General Plan.
- (b) The proposed amendment would either contribute to the purposes of the General Plan or, at a minimum, would not be detrimental to them.
- (c) Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.



(d) A change in policy is required to conform to changes in state or federal law or applicable findings of a court of law.

(e) An amendment is required to comply with an update of the Housing Element or change in State Housing Element law.

(f) An amendment is required to expand basic employment job opportunities (jobs that contribute directly to the County's economic base) and that would improve the ratio of jobs-to-workers in the County.

(g) An amendment is required to address changes in ownership of land or land not under the land use authority of the Board of Supervisors.

**Consideration Analysis:**

**First Required Finding:** The first required finding explains that the General Plan Amendment No. 1119 must not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan.

A. General Plan Amendment No. 1119 does not conflict with:

(1) The Riverside County Vision.

The objectives of the Riverside County Vision contained in Chapter 2 of the General Plan, especially those that are related to Transportation, will not be changed by the proposed amendment and will continue to be considered under the amended policy.

(2) Any General Plan Principle.

The General Plan Principles identified in Appendix B of the General Plan will not be changed by the proposed amendment and will continue to be considered under the amended policy.

(3) Any Foundation Component designation in the General Plan.

The proposed policy will not change any Foundation Component designation in the General Plan and it does not conflict with any Foundation Component designation.

**Second Required Finding:** The second required finding explains that General Plan Amendment No. 1119 must either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them.

General Plan Amendment No. 1119, on its own, does not authorize or approve any project or activity that would result in a physical change to the environment. Additionally, the County has in the past balanced its general plan policies, and in adopting this amendment is clarifying and restoring the County's existing General Plan interpretative practice and is not implementing any change in County practice that would result in any adverse effects on the purposes of the General Plan. Therefore, the proposed General Plan Amendment will not be detrimental to the achievement of the purposes of the General Plan.

**Third Required Finding:** In addition to the two above findings, the General Plan indicates that an additional finding, from a list of five, must also be made.

The appropriate additional finding for General Plan Amendment No. 1119 is:

- c. Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.

General Plan Amendment No. 1119 is intended to clarify the intent of Policy C 2.1 so that it reflects the Riverside County Board of Supervisor's discretion to interpret the Riverside County General Plan policies in accordance with CEQA. The outcome of recent litigation has resulted in unanticipated circumstances that could prevent the County's interpretive practice with respect to this policy, and the proposed amendment clarifies that this policy is subject to the County's normal interpretive practices.

**FINDINGS:**

1. The proposed General Plan Amendment is a Policy Amendment to the Circulation Element of the Riverside County General Plan.
2. The project is not associated to any specific property at this time and before any particular site would apply the amended policy, all environmental issues will be analyzed in site specific environmental impact reports or other environmental documents.
3. General Plan Amendment No. 1119 is exempt from CEQA pursuant to CEQA Guidelines section 15061(b)(3) because it can be seen with certainty that there is no possibility that GPA No. 1119, on its own, may have a significant effect on the environment. GPA No. 1119 allows the Board to consider an alternative Level of Service (LOS) target for a project when an EIR has been completed for that particular project when considering and balancing the particular project as a whole. Nothing is automatic or as a matter of right under GPA No. 1119. Neither the current language of General Plan Policy C.2.1, nor the proposed language to be added by GPA No. 1119, uses mandatory terms. In fact, both use the term "allowed" and therefore, recognize flexibility in the policy. On its own, GPA No. 1119 has no effect on the environment.

GPA No. 1119 does not commit Riverside County to any particular course of action regarding future development projects that may affect the environment, nor does it authorize any future development project to deviate as a matter of right from the County's existing General Plan LOS targets. Similarly, the GPA No. 1119 will not create the need for future projects. Future projects may fall within the current General Plan LOS targets, or future projects may adopt statements of overriding considerations for traffic impacts under CEQA - at which point the Board of Supervisors may allow (or disallow) the project to proceed notwithstanding adverse traffic impacts relative to the LOS C target. When the County makes decisions on development projects in the future, the County will have to review the potential environmental impacts of such projects.

There is no specific development application associated with GPA No. 1119 and it does not commit the County to any development. To perform any environmental analysis at this early stage would require the County to speculate as to what roads might be involved, what type of development or use might be proposed, and what impacts a future development project might have on current General Plan LOS targets. "An accurate, stable and finite project description is the *sine qua non* of an informative and legally sufficient EIR." *County of Inyo v. City of Los Angeles* (1977) 71 Cal.App.3d. 185, 193. Under these circumstances, environmental analysis at this time would be premature and meaningless.

Before development occurs on any particular site, all environmental issues will be analyzed in site-specific environmental impact reports or other environmental documents. State CEQA Guidelines section 15004(b) provides: "Choosing the precise time for CEQA compliance involves a balancing of competing factors. EIRs and negative declarations should be prepared as early as feasible in the planning process to enable environmental considerations to influence project program and design and yet late enough to provide meaningful information for environmental assessment." "Determining whether a project qualifies for the common sense exemption need not necessarily be preceded by

detailed or extensive fact finding. Evidence appropriate to the CEQA stage in issue is all that is required." *Muzzy Ranch Co. v. Solano County Airport Land Use Commission* (2007) 41 Cal.4th 372, 388.

The County has consistently applied its General Plan LOS policies to allow projects for which an EIR was prepared to proceed, and this pattern of General Plan implementation flexibility is imbedded in the General Plan EIR and further analyzed and documented by project-level EIRs. GPA No. 1119 simply restores the County's practice of allowing for deviations from the General Plan LOS targets for projects accompanied by an EIR, thereby assuring that there is "no possibility" that the Proposed GPA will result in any physical effect on the environment without CEQA compliance.

**CONCLUSIONS:**

1. The proposed General Plan Amendment will not include a change or conflict with the Riverside County Vision.
2. The proposed General Plan Amendment will not include a change or conflict with any General Plan Principle.
3. The proposed General Plan Amendment will not include a change or conflict with any General Plan Foundation Component.
4. The proposed General Plan Amendment will not include a change or conflict with any Foundation Component designation in the General Plan.
5. The adoption of the proposed General Plan Amendment will not adversely impact the environment. It can be seen with certainty that there is no possibility GPA No. 1119, on its own, may have a significant effect on the environment.

**INFORMATIONAL ITEMS:**

1. As of this writing, three (3) tribal responses to SB 18 notification have been received for General Plan Amendment No. 1119 since its initiation. Five (5) letters of opposition from three (3) different parties were received prior to the initiation of General Plan Amendment No. 1119 and were included in the presentation of the General Plan Initiation Procedure (GPIP) to the Planning Commission and Board of Supervisors. Five (5) letters of opposition were received prior to the December 4, 2013 Planning Commission hearing on General Plan Amendment No. 1119 and staff is requesting a two month continuance to allow more time to review and respond to these letters.



Agenda Item No.: 3.7  
Area Plan: Riverside Extended Mountain  
Zoning Area: Idyllwild District  
Supervisory District: Third/Third  
Project Planner: H. P. Kang  
Planning Commission: January 15, 2014

APPEAL OF PLOT PLAN NO. 25210  
Environmental Assessment No. 42544  
Applicant: Jung Hwan Choi  
Engineer/Representative: Hyung Jin Seo

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

The appeal proposes to deny the Director's Hearing decision to approve the Plot Plan No. 25210 to convert an existing 2,606 square foot 2-story apartment building to five (5) unit resort/hotel with one (1) manager's unit on approximately 0.41 acres. There is no added square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. It also includes architectural enhancement that includes the Vinyl Log Cabin Siding (Cypress - Beige Color) and River Rock veneer along the bottom section, new front balcony with wooden railing, new wooden railing along the 1<sup>st</sup> floor front with large wood posts, new windows with Harde board plank trim, and new paint color of earth tones (beige and brown-red).

The project is located generally at the northerly of Strawberry Valley Drive, easterly of Saunders Meadow Rd, westerly of Bickneil Lane and southerly of Highway 243 in the area of Idyllwild within the County of Riverside.

### ADDITIONAL INFORMATION:

On December 12, 2013, the Planning Department received a letter of appeal of the Plot Plan No. 25210 on the basis of "...may not be consistent nor compatible with the surrounding area..." by Juan C. Perez, TLMA Director/Interim Planning Director, on behalf of Supervisor Stone.

On December 4, 2013, an approval letter with a ten (10) day appeal period was sent to the applicant.

On December 2, 2013, the item was heard by the Planning Director (or designee). No one spoke in favor or in opposition of the project and the project was approved with conditions of approval in the staff report and added two (2) additional conditions as a part of a memorandum dated December 2, 2013 to the Planning Director.

On November 4, 2013, the item was continued to December 2, 2013 Director's Hearing to allow additional time to reevaluate the architecture enhancements.

On October 7, 2013, the item was heard and continued to November 4, 2013 Director's Hearing to allow additional time for the applicant to provide options and enhance the architecture of the existing building to keep with the "Rustic Mountain Resort" look. The applicant is working on making the appropriate changes to the elevation to incorporate the features of rustic mountain resort.

As of writing of this report, staff has not received any opposition, favor, or neutral comments from the public.

### SUMMARY OF FINDINGS:

- Existing General Plan Land Use: Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio)

D.M.

2. Surrounding General Plan Land Use: Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) to the north, east, and west, Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Unit Per Acre) to the south.
3. Existing Zoning: Scenic Highway Commercial (C-P-S)
4. Surrounding Zoning: Scenic Highway Commercial (C-P-S) to the north, east and west  
Village Tourist Residential (R-3A) to the south
5. Existing Land Use: 5 Unit Apartment Complex
6. Surrounding Land Use: Commercial development to the west; and Single Family Residences to the south; and resort/hotel to the east; and Vacant to the north.
7. Project Data: Total Acreage: 0.41 acres  
Project Size: 2,606 Square Feet
8. Environmental Concerns: See Attached Environmental Assessment

**RECOMMENDATIONS:**

**CONSIDER THE APPEAL;** and,

**ADOPT NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42544**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVAL** of **PLOT PLAN NO. 25210**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) on the Remap Area Plan which allows for resort/hotel development.
2. The Commercial Retail land use designation allows for the development of commercial retail uses at a neighborhood, community and regional level, as well as for professional office and tourist-oriented commercial uses.
3. The Scenic Highway Commercial (C-P-S) zone permits a wide variety of commercial retail uses, as well as an array of professional office uses.

4. The proposed use of Resort/Hotel is a permitted use in the (C-P-S) zone.
5. The proposed resort/hotel use is surrounded by Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) to the north, east and west; and Community Development: Medium Density Residential (MDR) (2-5 Dwelling Units per Acre) to the south.
6. The proposed resort/hotel is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S).
7. The proposed resort/hotel use is consistent with the lot size, setbacks, building height, parking, and roof mounted equipment screening standards set forth in the Scenic Highway Commercial (C-P-S) zone.
8. The proposed resort/hotel use (as identified in the Section 9.50) is permitted in the Scenic Highway Commercial (C-P-S) zone based on County Ordinance No. 348.
9. The surrounding zoning is Scenic Highway Commercial (C-P-S) to the east and west, Village Tourist Residential (R-3A) to the south, and Controlled Development Areas (W-2) to the north.
10. The project site contains 5-unit two story apartment building with nine (9) parking spaces adjacent to an existing commercial service to the west and single family residential development to the south. There is a resort/hotel to the east and a vacant land to the north.
11. The potential air quality impacts resulting from the proposed project would not exceed emissions projected by the Air Quality element since there is no new added square footage and the proposed use is a resort/hotel similar to existing multi-family housing.
12. Based on the size and proposed use, the project will not generate trips above the emissions (e.g., ROC, NO<sub>x</sub>, CO, PM<sub>10</sub>) threshold that was identified in the 2003 General Plan EIR. The proposed project will generate 3 peak hour (AM and PM) trips as identified in the ITE Trip Generation 9<sup>th</sup> Edition. This does not exceed our 100 trip threshold for the peak hour.
13. All projects must comply with 2011 Riverside County Congestion Management Program dated December 14, 2011.
14. This project site is not located within a Criteria Area Cell Group. However, the Planning staff has conferred with the Environmental Programs Division staff and determined the project fulfills the requirements of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
15. Pursuant to Public Resources Code Division 13, Section 21083.3, Subsection 1, the General Plan has been designated to accommodate a specific density of development and an EIR (EIR No. 441) was approved for that planning action. The subject site does not contain any features that would create environmental impacts that would be peculiar to the subject parcels, beyond what was studied in the General Plan EIR.
16. Environmental Assessment No. 42544 concluded that there are no potentially significant impacts from the project proposal.



**CONCLUSIONS:**

1. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
2. The public's health, safety, and general welfare are protected through project design.
3. The proposed project is clearly compatible with the present and future logical development of the area.
4. The proposed project was evaluated in Environmental Assessment No. 42544 and found to have less than significant impact and General Plan in EIR No. 441 evaluated the commercial density and use for this site.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

**INFORMATIONAL ITEMS:**

1. As of this writing, one request for hearing was received.
2. The project site is not located within:
  - a. A City Sphere of Influence;
  - b. A Specific Plan;
  - c. An Agricultural Preserve;
  - d. A Subsidence Area;
  - e. A Flood Zone;
  - f. A Liquefaction area;
  - g. The Western TUMF (Transportation Uniform Mitigation Fee Ord. 824);
  - h. The Stephens Kangaroo Rat Fee Area;
  - i. A Fault Zone; or,
  - j. An Airport Influence Area.
3. The project site is located within:
  - a. A County Service Area No. 36 (Idyllwild);
  - b. A High Fire Area;
  - c. The DIF (Development Impact Fee Area Ord. 659) Remap; and,
  - d. The Boundaries of the Hemet Unified School District.
4. The subject site is currently designated as Assessor's Parcel Numbers 565-171-006.

HK: hk

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Date Prepared: 08/23/13

Date Revised: 08/23/13

Agenda Item No.: 2.3  
Area Plan: Riverside Extended Mountain  
Zoning Area: Idyllwild District  
Supervisory District: Third/Third  
Project Planner: H. P. Kang  
Director's Hearing: December 2, 2013,  
(Continued from November 4, 2013 and  
October 7, 2013)

PLOT PLAN NO. 25210  
Environmental Assessment No. 42544  
Applicant: Jung Hwan Choi  
Engineer/Representative: Hyung Jin Seo

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

The plot plan proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres. There is no added square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property.

The project is located generally at the northerly of Strawberry Valley Drive, easterly of Saunders Meadow Rd, westerly of Bickneil Lane and southerly of Highway 243 in the area of Idyllwild within the County of Riverside.

### ADDITIONAL INFORMATION:

On November 4, 2013, the item was continued to December 2, 2013 Director's Hearing to allow additional time to reevaluate the architecture enhancements.

On October 7, 2013, the item was heard and continued to November 4, 2013 Director's Hearing to allow additional time for the applicant to provide options and enhance the architecture of the existing building to keep with the "Rustic Mountain Resort" look. The applicant is working on making the appropriate changes to the elevation to incorporate the features of rustic mountain resort.

As of writing of this report, staff has not received the enhanced architecture. Additionally, staff has not received any opposition, favor, or neutral comments from the public.

### SUMMARY OF FINDINGS:

- |                                       |   |
|---------------------------------------|---|
| 1. Existing General Plan Land Use:    | Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio)   |
| 2. Surrounding General Plan Land Use: | Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) to the north, east, and west, Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Unit Per Acre) to the south. |
| 3. Existing Zoning:                   | Scenic Highway Commercial (C-P-S)   |
| 4. Surrounding Zoning:                | Scenic Highway Commercial (C-P-S) to the north, east and west<br>Village Tourist Residential (R-3A) to the south  |

- |                            |   |
|----------------------------|---|
| 5. Existing Land Use:      | 5 Unit Apartment Complex  |
| 6. Surrounding Land Use:   | Commercial development to the west; and Single Family Residences to the south; and resort/hotel to the east; and Vacant to the north. |
| 7. Project Data:           | Total Acreage: 0.41 acres<br>Project Size: 2,606 Square Feet  |
| 8. Environmental Concerns: | See Attached Environmental Assessment   |

**RECOMMENDATIONS:**

**ADOPTION** of a **NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42544**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

**APPROVAL** of **PLOT PLAN NO. 25210**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) on the Remap Area Plan which allows for resort/hotel development.
2. The Commercial Retail land use designation allows for the development of commercial retail uses at a neighborhood, community and regional level, as well as for professional office and tourist-oriented commercial uses.
3. The Scenic Highway Commercial (C-P-S) zone permits a wide variety of commercial retail uses, as well as an array of professional office uses.
4. The proposed use of Resort/Hotel is a permitted use in the (C-P-S) zone.
5. The proposed resort/hotel use is surrounded by Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) to the north, east and west; and Community Development: Medium Density Residential (MDR) (2-5 Dwelling Units per Acre) to the south.
6. The proposed resort/hotel is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S).
7. The proposed resort/hotel use is consistent with the lot size, setbacks, building height, parking, and roof mounted equipment screening standards set forth in the Scenic Highway Commercial (C-P-S) zone.
8. The proposed resort/hotel use (as identified in the Section 9.50) is permitted in the Scenic Highway Commercial (C-P-S) zone based on County Ordinance No. 348.
9. The surrounding zoning is Scenic Highway Commercial (C-P-S) to the east and west, Village Tourist Residential (R-3A) to the south, and Controlled Development Areas (W-2) to the north.



10. The project site contains 5-unit two story apartment building with nine (9) parking spaces adjacent to an existing commercial service to the west and single family residential development to the south. There is a resort/hotel to the east and a vacant land to the north.
11. The potential air quality impacts resulting from the proposed project would not exceed emissions projected by the Air Quality element since there is no new added square footage and the proposed use is a resort/hotel similar to existing multi-family housing.
12. Based on the size and proposed use, the project will not generate trips above the emissions (e.g., ROC, NO<sub>x</sub>, CO, PM<sub>10</sub>) threshold that was identified in the 2003 General Plan EIR. The proposed project will generate 3 peak hour (AM and PM) trips as identified in the ITE Trip Generation 9<sup>th</sup> Edition. This does not exceed our 100 trip threshold for the peak hour.
13. All projects must comply with 2011 Riverside County Congestion Management Program dated December 14, 2011.
14. This project site is not located within a Criteria Area Cell Group. However, the Planning staff has conferred with the Environmental Programs Division staff and determined the project fulfills the requirements of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
15. Pursuant to Public Resources Code Division 13, Section 21083.3, Subsection 1, the General Plan has been designated to accommodate a specific density of development and an EIR (EIR No. 441) was approved for that planning action. The subject site does not contain any features that would create environmental impacts that would be peculiar to the subject parcels, beyond what was studied in the General Plan EIR.
16. Environmental Assessment No. 42544 concluded that there are no potentially significant impacts from the project proposal.

**CONCLUSIONS:**

1. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
2. The public's health, safety, and general welfare are protected through project design.
3. The proposed project is clearly compatible with the present and future logical development of the area.
4. The proposed project was evaluated in Environmental Assessment No. 42544 and found to have less than significant impact and General Plan in EIR No. 441 evaluated the commercial density and use for this site.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

**INFORMATIONAL ITEMS:**

1. As of this writing, one request for hearing was received.
2. The project site is not located within:
  - a. A City Sphere of Influence;
  - b. A Specific Plan;
  - c. An Agricultural Preserve;
  - d. A Subsidence Area;
  - e. A Flood Zone;
  - f. A Liquefaction area;
  - g. The Western TUMF (Transportation Uniform Mitigation Fee Ord. 824);
  - h. The Stephens Kangaroo Rat Fee Area;
  - i. A Fault Zone; or,
  - j. An Airport Influence Area.
3. The project site is located within:
  - a. A County Service Area No. 36 (Idyllwild);
  - b. A High Fire Area;
  - c. The DIF (Development Impact Fee Area Ord. 659) Remap; and,
  - d. The Boundaries of the Hemet Unified School District.
4. The subject site is currently designated as Assessor's Parcel Numbers 565-171-006.

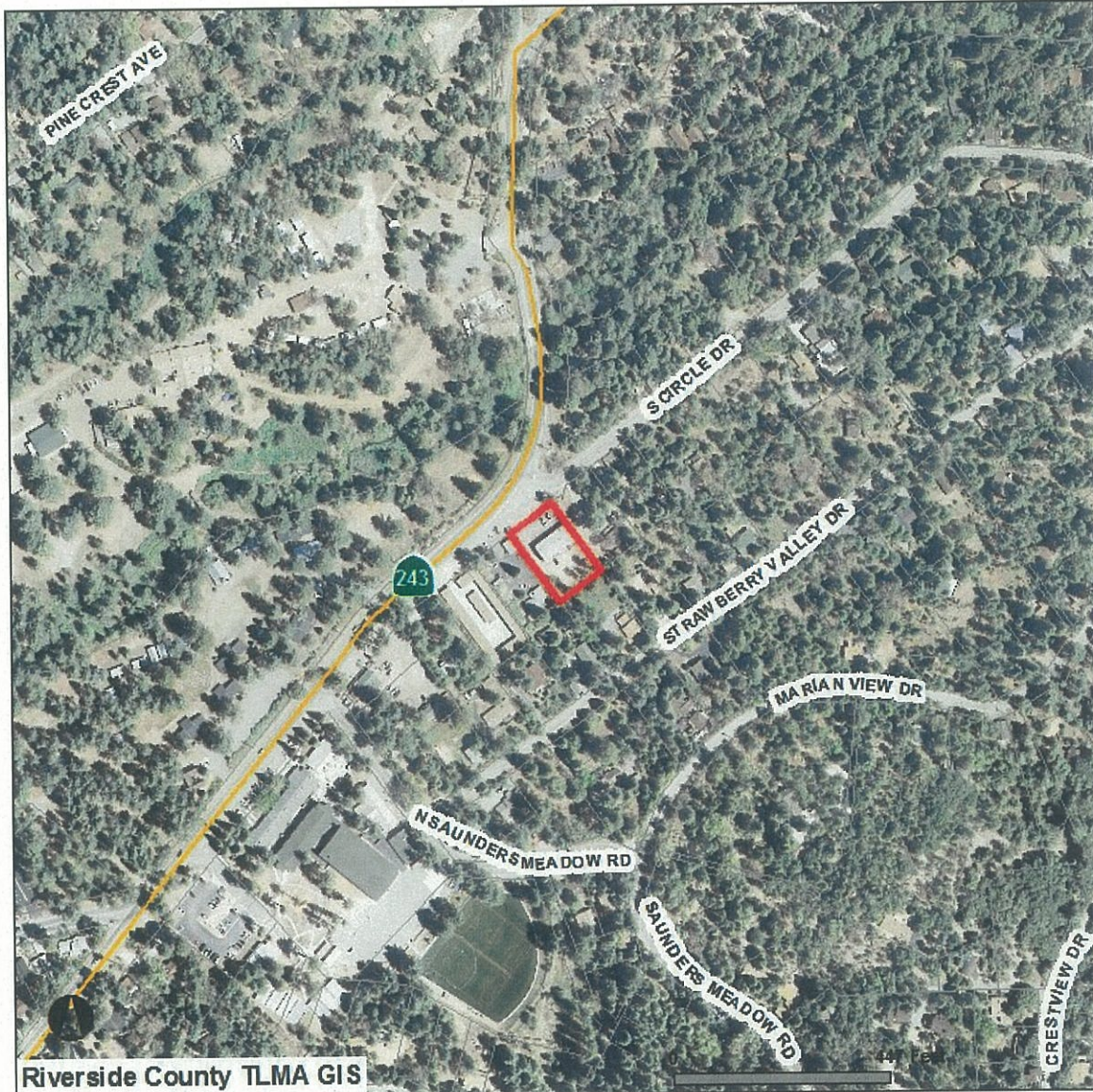
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Date Prepared: 08/23/13

Date Revised: 08/23/13

PP25210



LEGEND



CASE



INTERSTATES



HIGHWAYS



PARCELS

**\*IMPORTANT\***

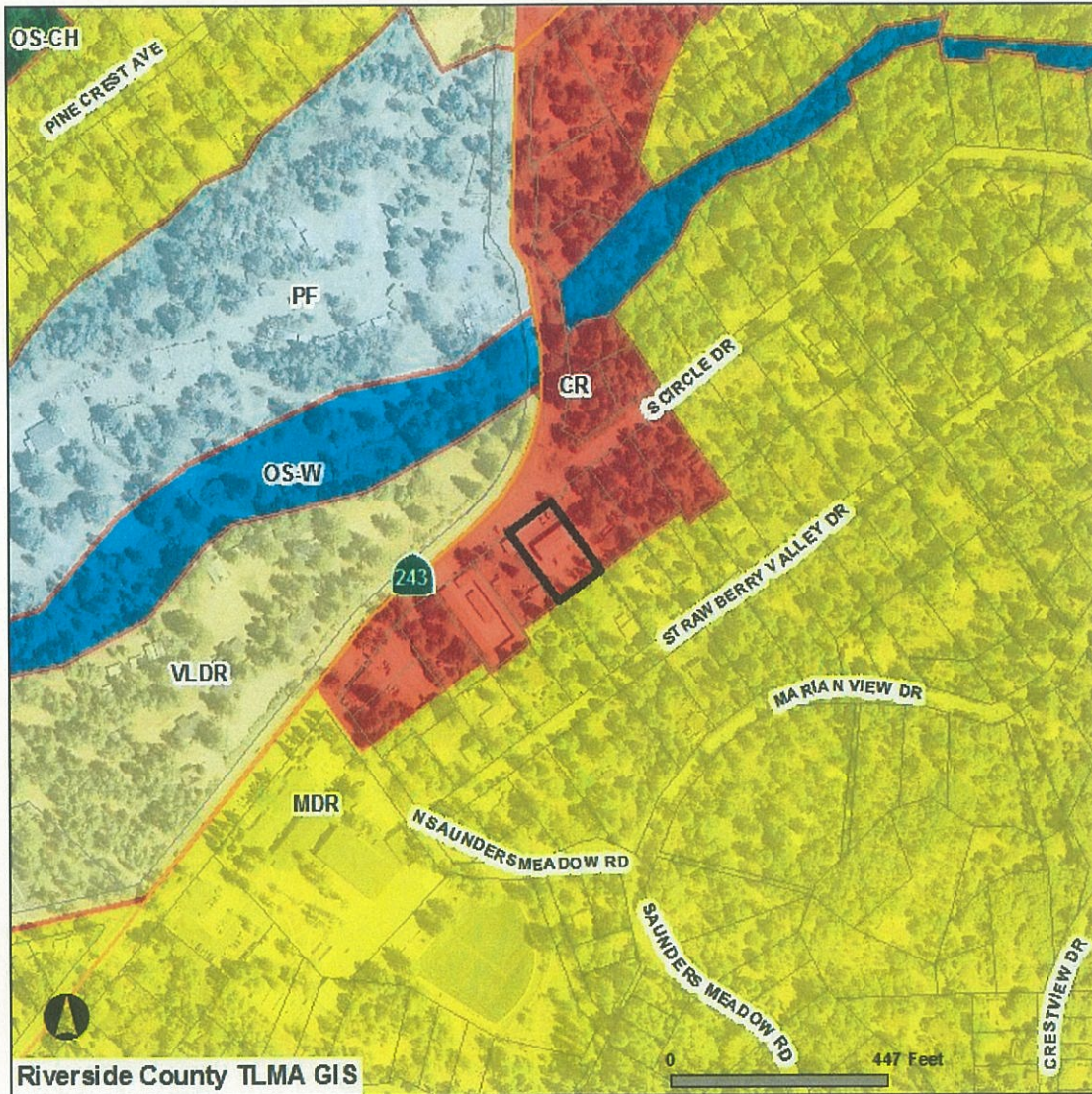
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REPORT PRINTED ON...Mon Aug 26 11:00:44 2013

Version 130624



PP25210



**Selected parcel(s):**  
565-171-006

**LAND USE**

- |                        |                                     |                              |              |
|------------------------|-------------------------------------|------------------------------|--------------|
| SELECTED PARCEL        | INTERSTATES                         | HIGHWAYS                     | PARCELS      |
| CR - COMMERCIAL RETAIL | MDR - MEDIUM DENSITY RESIDENTIAL    | OS-CH - CONSERVATION HABITAT | OS-W - WATER |
| PF - PUBLIC FACILITIES | VLDR - VERY LOW DENSITY RESIDENTIAL |                              |              |

**\*IMPORTANT\***

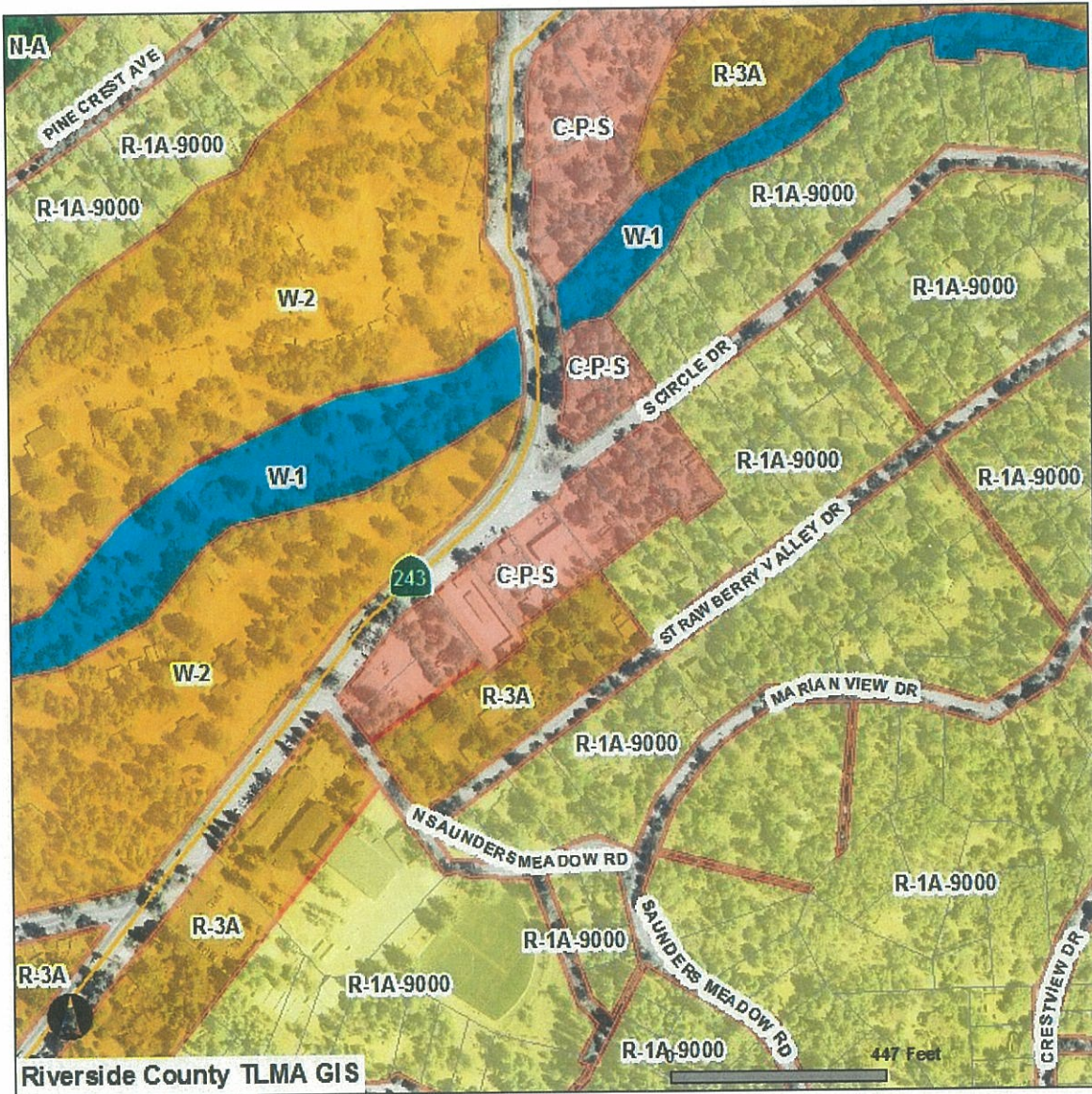
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PP25210



ZONING

-  INTERSTATES
-  HIGHWAYS
-  PARCELS
-  ZONING BOUNDARY
-  C-P-S
-  N-A
-  R-1A, R-1A-9000
-  R-3A
-  W-1
-  W-2

**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130624





**PROJECT  
SITE**

Serrano

Serrano

243

243

Esperanza Freighters Memorial Highway

Esperanza Freighters Memorial Highway



TECHNICAL DRAWING NO. 19-24-2012  
 2000 EDITION, PG 8 OF 17  
 PARCEL NUMBER: 25500 DYLLWILD  
 SHEET NO. 85-71-406

DATE	BY	DESCRIPTION
12/13/13	AS	1 STREET NAME AND AREA CORRECTED.
12/13/13	AS	2 CROSS SECTION AND PLANTER AREAS CORRECTED.
12/13/13	AS	3 TRANS ENCLOSURE AND PLANTER AREAS CORRECTED.
12/13/13	AS	4 WORK AREA CORRECTED.

DATE	BY	DESCRIPTION
12/13/13	AS	1 STREET NAME AND AREA CORRECTED.
12/13/13	AS	2 CROSS SECTION AND PLANTER AREAS CORRECTED.
12/13/13	AS	3 TRANS ENCLOSURE AND PLANTER AREAS CORRECTED.
12/13/13	AS	4 WORK AREA CORRECTED.

DATE	BY	DESCRIPTION
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12/13/13	AS	2 CROSS SECTION AND PLANTER AREAS CORRECTED.
12/13/13	AS	3 TRANS ENCLOSURE AND PLANTER AREAS CORRECTED.
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12/13/13	AS	4 WORK AREA CORRECTED.

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12/13/13	AS	4 WORK AREA CORRECTED.

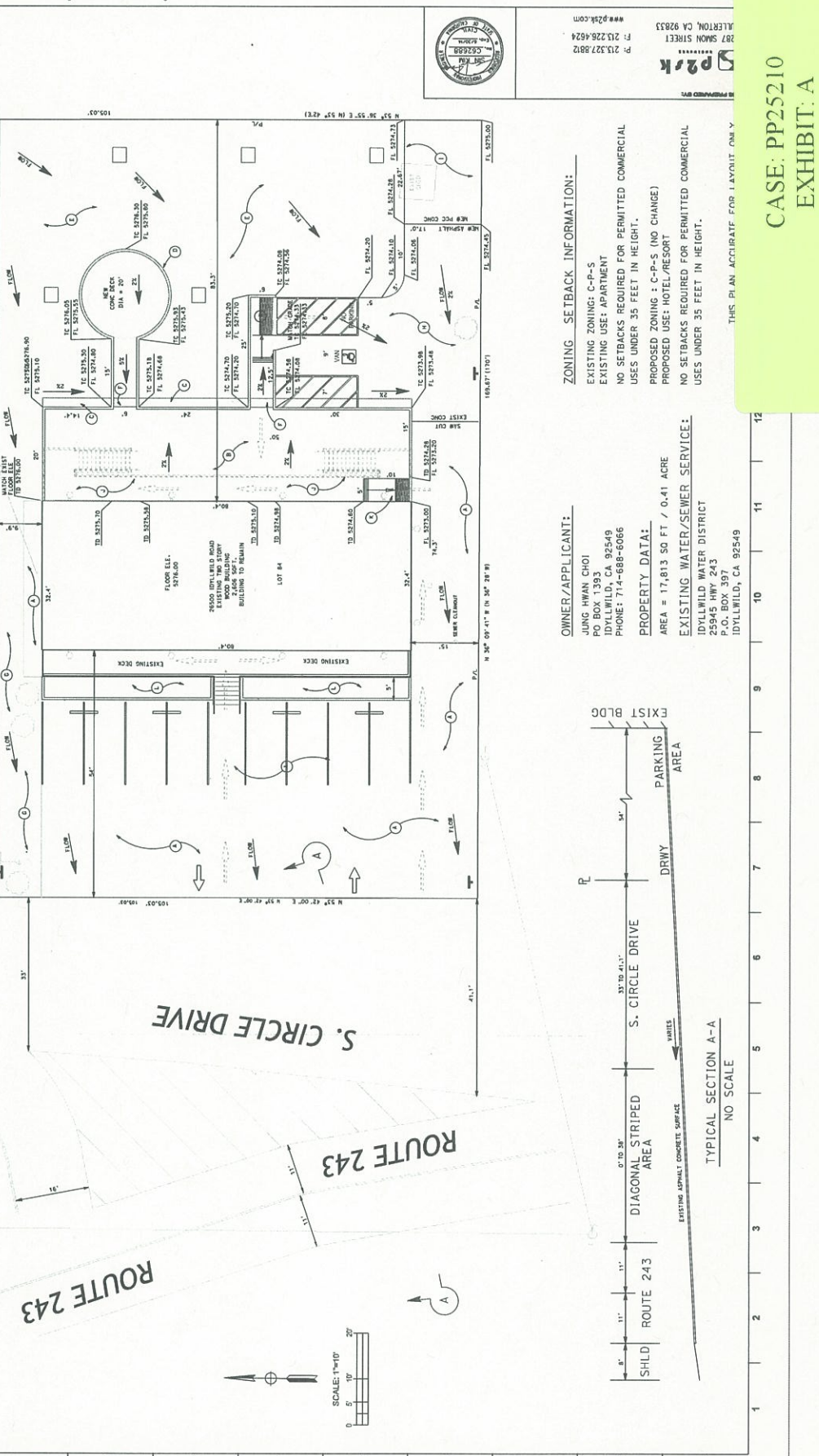
DATE	BY	DESCRIPTION
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12/13/13	AS	2 CROSS SECTION AND PLANTER AREAS CORRECTED.
12/13/13	AS	3 TRANS ENCLOSURE AND PLANTER AREAS CORRECTED.
12/13/13	AS	4 WORK AREA CORRECTED.

NOTES:  
 1. THE CONTRACTORS SHALL VERIFY EXISTING ASPHALT PAVEMENT SECTION PRIOR TO CONSTRUCTION.  
 2. THE CONTRACTORS SHALL RESTORE DAMAGED EXISTING ASPHALT SURFACING TO MATCH WITH ORIGINAL CONDITION.

LEGEND:  
 (1) EXISTING PARKING AND PAVEMENT TO REMAIN  
 (2) NEW PCC CONCRETE DECK  
 (3) NEW TYPE A-6 CURB AND GUTTER  
 (4) DETAILS SEE COUNTY OF REVERSHIDE STANDARD NO. 200  
 (5) NEW 6" TYPE D CURB  
 (6) DETAILS SEE COUNTY OF REVERSHIDE STANDARD NO. 204  
 (7) NEW LANDSCAPE AREA  
 (8) UNDER SIDEWALK DRAIN C.I.P.  
 (9) DETAILS SEE COUNTY OF REVERSHIDE STANDARD NO. 309  
 (10) EXISTING DIRT AREA TO REMAIN  
 (11) NEW ASPHALT PAVING  
 (12) ACCESSIBLE PATH OF TRAVEL

NEW PCC CONCRETE PAD FOR TRASH ENCLOSURE  
 DETAILS SEE COUNTY OF REVERSHIDE STANDARD DRAWING 3  
 NEW ADA RAMPS, SEE SITE PLAN  
 NEW PLANTER, SEE PLANTING PLAN  
 WATER FLOW  
 TOP OF CURB  
 FLOW LINE  
 TOP OF NEW CONC PAVING  
 PLANTER / NEW TREE  
 EXISTING POWER POLE  
 EXISTING TREE  
 EXISTING FIRE HYDRANT

VICINITY MAP  
 NO SCALE  
 IDYLLWILD  
 S. CIRCLE DRIVE  
 ROUTE 243



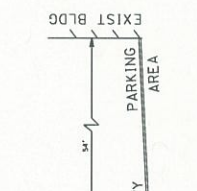
16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

K J I H G F E D C B A

ZONING SETBACK INFORMATION:  
 EXISTING ZONING: C-P-5  
 EXISTING USE: APARTMENT  
 NO SETBACKS REQUIRED FOR PERMITTED COMMERCIAL USES UNDER 35 FEET IN HEIGHT.  
 PROPOSED ZONING: C-P-5 (NO CHANGE)  
 PROPOSED USE: HOTEL/RESORT  
 NO SETBACKS REQUIRED FOR PERMITTED COMMERCIAL USES UNDER 35 FEET IN HEIGHT.

OWNER/APPLICANT:  
 JUNG HWAN CHOI  
 PO BOX 1393  
 IDYLLWILD, CA 92549  
 PHONE: 714-688-6066

PROPERTY DATA:  
 AREA = 17,813 SQ FT / 0.41 ACRE  
 EXISTING WATER/SEWER SERVICE:  
 IDYLLWILD WATER DISTRICT  
 25945 HWY 243  
 P.O. BOX 397  
 IDYLLWILD, CA 92549



TYPICAL SECTION A-A  
 NO SCALE

THIS PLAN ACCURATE FOR LAYOUT ONLY

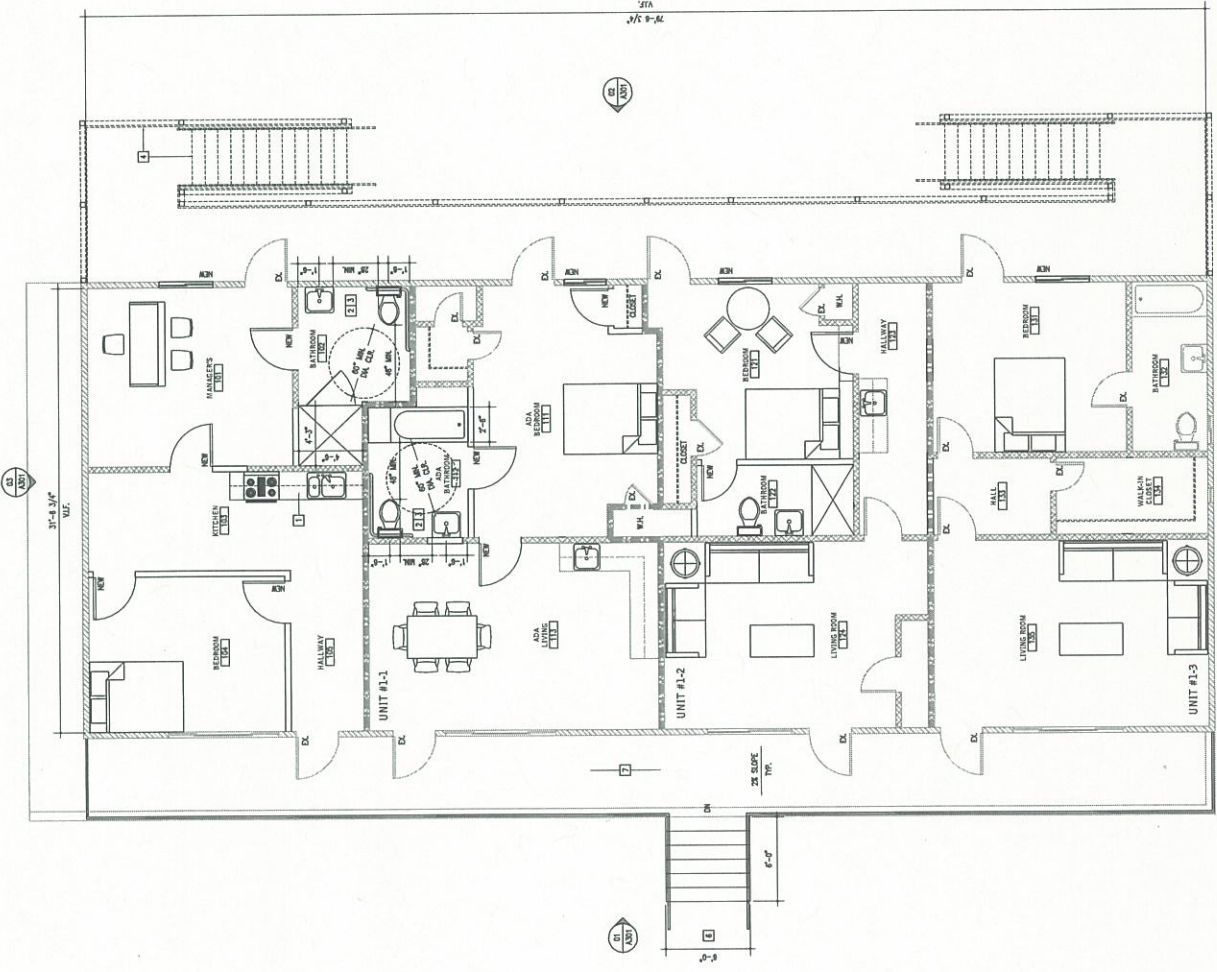
CASE: PP25210  
 EXHIBIT: A  
 DATE: 06/27/13  
 PLANNER: H. P. KANG

PROJECT: 25500 DYLLWILD  
 SHEET TITLE: LAYOUT PLAN  
 ADDRESS: 25500 DYLLWILD ROAD, DYLLWILD, CA 92549  
 PROJECT NO.: 25500 DYLLWILD  
 SHEET NO.: 85-71-406  
 DRAWN BY: R. KIM & A. SHIM  
 CHECKED BY: R. KIM  
 DATE: 12/13/13  
 ENGINEER: R. KIM & A. SHIM  
 PROJECT NO.: 25500 DYLLWILD  
 SHEET NO.: 85-71-406  
 DRAWN BY: R. KIM & A. SHIM  
 CHECKED BY: R. KIM  
 DATE: 12/13/13  
 ENGINEER: R. KIM & A. SHIM



NO.	DATE	DESCRIPTION
1	06/27/13	ISSUE FOR PERMIT

DATE	06/27/13
PROJECT NUMBER	PP25210
DATE	06/27/13



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH WALL.
2. ALL DOORS TO BE 2'-0" WIDE 6'-0" HIGH UOLA.
3. ALL DOORS TO BE 2'-0" WIDE 6'-0" HIGH UOLA.
4. ALL DOORS TO BE 2'-0" WIDE 6'-0" HIGH UOLA.
5. TYPICAL DOOR SWELL TO BE 1/4" MIN. 3/4" MAX. BY INCREASING DAMAGED EXCHANGES.
6. ALL DOOR SWELL TO BE 1/4" MIN. 3/4" MAX. BY INCREASING DAMAGED EXCHANGES. THE DOOR SWELLING SHALL BE LIMITED TO THE THICKNESS OF THE FLOOR FINISHES.
7. ALL DOOR SWELLING SHALL BE LEAD TYPE UOLA.
8. ALL PAINTED DOORS AND FRAMES SHALL MATCH COLOR OF ADJACENT WALL, CEILING-GLASS BEEN.
9. MINIMUM SETBACK TO OPERATE DOORS SHALL NOT EXCEED 5' POWER FOR BOTH INTERIOR AND EXTERIOR DOORS.
10. NEW DOORS TO BE ADDED PER (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100).
11. NEW CEILINGS TO BE ADDED TO ALL ROOMS PER (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100).

LEGEND

- |  |  |
|--|--|
|  | EXISTING EXTERIOR WALL   |
|  | EXISTING INTERIOR WALL   |
|  | FRAME GLASS WALL PARTITION/WINDOW  |
|  | INTERIOR PARTITION PER (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)   |
|  | ONE SIDED SOLID WALL, BREAK EXISTING OVERALL AND REPLACE WITH TYPE & COP BOARD PER (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100) |

KEYNOTES

1. NEW OVERDOOR AND FLAM CONCEPTOR (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)
2. FOR RESTROOM MARKING SYMBOLS, SEE (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)
3. FOR GRAB BAR, SEE (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)
4. NEW DECK AND STAIR, SEE (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)
5. NET LOAD (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)
6. NEW STAIR, SEE (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)
7. NEW COMPOSITE WOOD DOORS WITH SLIPSTIC, TOP OF DOOR TO BE 1/4" BELOW FINISH FLOOR (1), (2), (3), (4), (5), (6), (7), (8), (9), (10), (11), (12), (13), (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100)

01 FIRST FLOOR PLAN - UNIT 1-1, & 1-2  
SCALE: 1/4"=1'-0"

CASE: PP25210  
EXHIBIT: A  
DATE: 06/27/13  
PLANNER: H. P. KANG



**GENERAL NOTES**

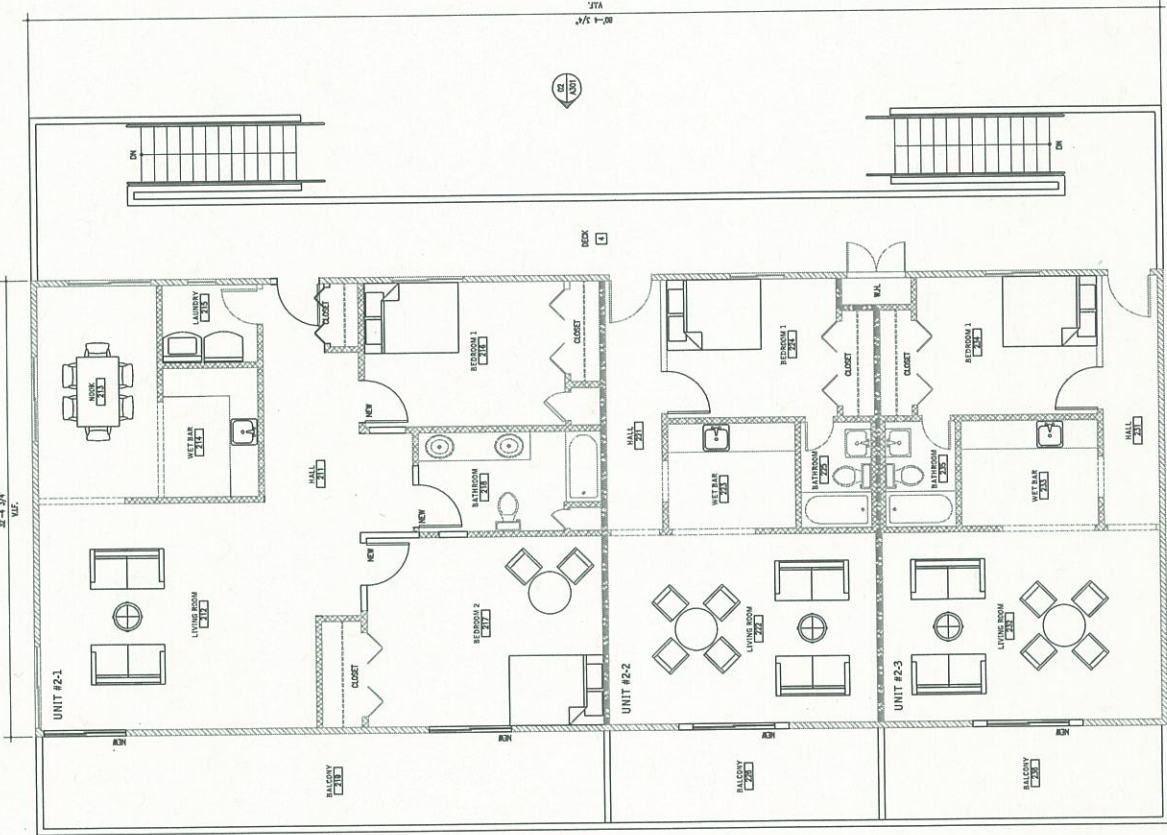
1. ALL DIMENSIONS ARE TO FACE OF FINISH LASK.
2. ALL DOORS TO BE 3'-0" WIDE 6'-0" HIGH LASK.
3. ALL CEILING TO BE 5'-0" TYPE X TOP W/IN.
4. ALL DOOR UNDOORS FOR BATHING CHANGING ROOMS ETC. SHALL BE 5'-0" WIDE.
5. TYPICAL DOOR SWELL TO BE 1/4" IN 2" W/AL. BY MEANS OF TEMPLATES MEASUREMENTS.
6. ALL DOOR UNDOORS SHALL BE 5'-0" HIGH. BY MEANS OF TEMPLATES MEASUREMENTS.
7. ALL DOOR UNDOORS SHALL BE 5'-0" HIGH. BY MEANS OF TEMPLATES MEASUREMENTS.
8. ALL DOOR UNDOORS SHALL BE 5'-0" HIGH. BY MEANS OF TEMPLATES MEASUREMENTS.
9. ALL BATHING CHANGING ROOMS SHALL BE 5'-0" HIGH. BY MEANS OF TEMPLATES MEASUREMENTS.
10. NEW DOORS TO BE ADDED PER [KEYNOTE 07] [KEYNOTE 08] [KEYNOTE 13] [KEYNOTE 14].
11. NEW CEILING TO BE ADDED TO ALL ROOMS PER [KEYNOTE 07] [KEYNOTE 08] [KEYNOTE 13] [KEYNOTE 14].

**LEGEND**

- [SYMBOL] EXISTING EXTERIOR WALL
- [SYMBOL] EXISTING INTERIOR WALL
- [SYMBOL] FRAME GLASS WALL PARTITION/WINDOW
- [SYMBOL] INTERIOR PARTITION PER [KEYNOTE 11] [KEYNOTE 12]
- [SYMBOL] NEW GLASS WALL FRAME EXISTING JOURNAL AND REPLACE WITH [KEYNOTE 13] [KEYNOTE 14]

**KEYNOTES**

- 1 NEW CEILING AND PLAF COUNTERTOP
- 2 FOR RESTROOM BATHING CHANGING ETC. SEE [KEYNOTE 07]
- 3 FOR GYM GYM SEE [KEYNOTE 08]
- 4 NEW DECK AND STAIRS SEE [KEYNOTE 07]
- 5 NEW CEILING



02 SECOND FLOOR PLAN- UNIT 2-1, 2-2, & 2-3  
SCALE: 1/8" = 1'-0"



DATE	REVISION



DATE	DESIGNER

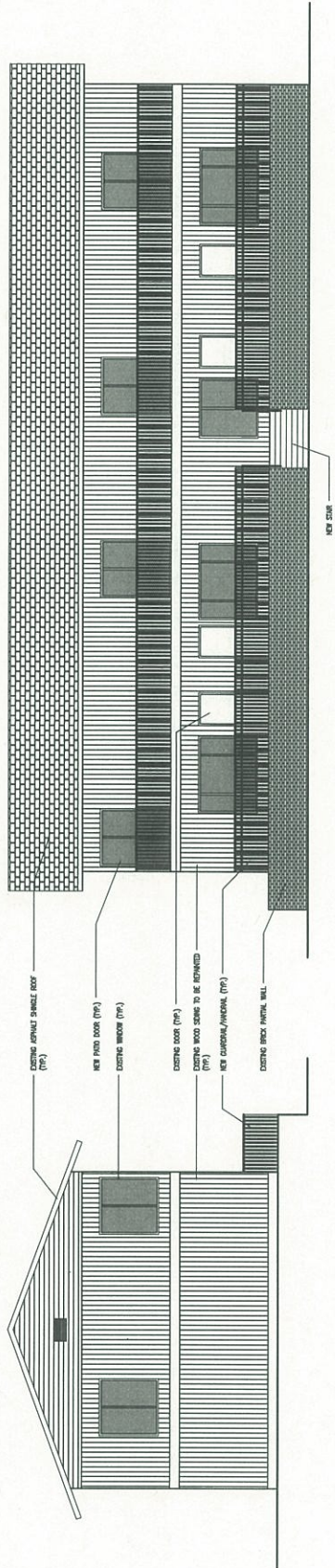
CASE: PP25210  
EXHIBIT: A  
DATE: 06/27/13  
PLANNER: H. P. KANG



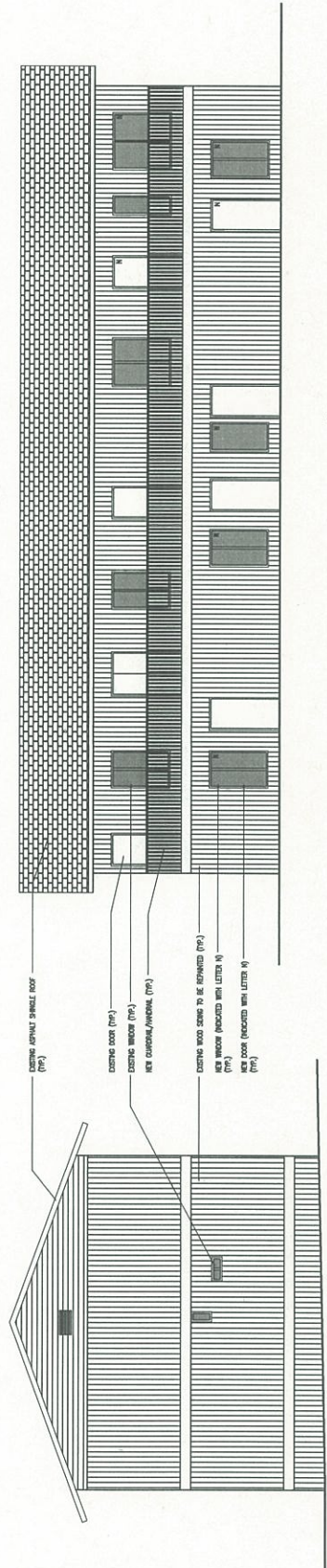


DATE	DESCRIPTION

DATE	DESCRIPTION



03 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"  
REF.



04 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"  
REF.

01 WEST ELEVATION  
SCALE: 3/16" = 1'-0"  
REF.

02 EAST ELEVATION  
SCALE: 3/16" = 1'-0"  
REF.

CASE: PP25210  
EXHIBIT: A  
DATE: 06/27/13  
PLANNER: H. P. KANG

# IDYLLWILD RESORT HOTELS CONVERSION

EXTERIOR ENHANCEMENT

OCT. 23, 2013

CASE: PP25210  
EXHIBIT: B  
PLANNER: H. P. KANG  
DATE: 11/14/13



**JS ARCHITECT**  
13004 HAWTHORN AVE. CA 94533  
TEL: (925) 752-1421

Idyllwild Resort Hotels Conversion  
28500 Idyllwild Rd., Idyllwild,  
CA 92549

Prepared for: Jung Hwan Choi

NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE

Date: \_\_\_\_\_  
Project Number: 201112.01  
Sheet No: \_\_\_\_\_

COVER  
A0





01 EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"  
REF.



03 EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"  
REF.



02 PROPOSED WEST ELEVATION  
SCALE: 3/32" = 1'-0"  
REF.



04 PROPOSED EAST ELEVATION  
SCALE: 3/32" = 1'-0"  
REF.



J.S. ARCHITECT  
13200 Mission Ave. CA 92522  
760.272.7888 / 480.321.0201

Idyllwild Resort Hotels Conversion  
26500 Idyllwild Rd., Idyllwild,  
CA 92549

Prepared for: Jung Hwan Choi

Number	Revised	Date	Description

Date	Drawn By
Project Number	Checked By
20111201	
Sheet Title	

ELEVATIONS





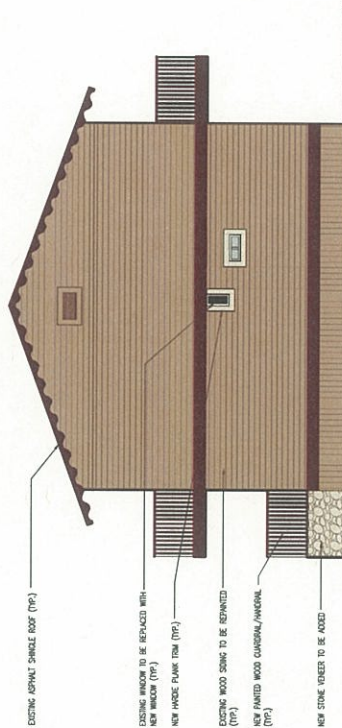
01 EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



03 EXISTING SOUTH EAST ELEVATION  
SCALE: 1/8" = 1'-0"



02 PROPOSED NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



04 PROPOSED SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

Idyllwild Resort Hotels Conversion  
26500 Idyllwild Rd., Idyllwild,  
CA 92549

Prepared for: Jung Hwan Choi



**J.S. ARCHITECT**  
13334A WOODWAY PARK CA 92022  
(951) 275-7183 / (951) 275-7181

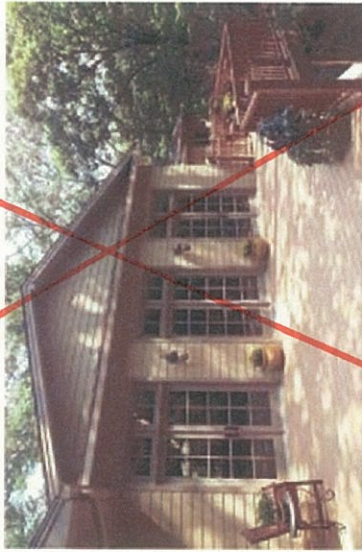
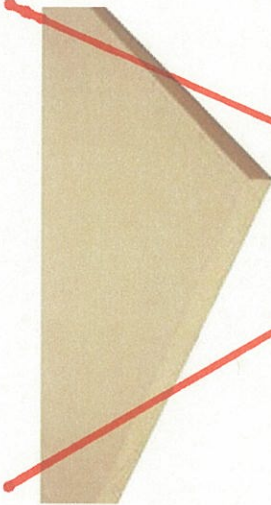
Project Name	Idyllwild Resort Hotels Conversion
Client	Jung Hwan Choi
Architect	Jung Jin Seo
Scale	As Shown
Date	2011.12.01
Sheet No.	A2

Date	2011.12.01
Project Number	201112.01
Sheet Title	ELEVATIONS
Sheet Number	A2

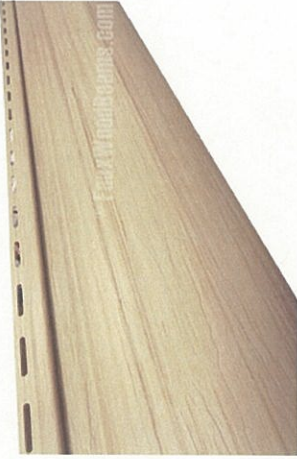




River Rock



~~Alternate Option for Siding  
SBC 16 in. Safari Beige Eastern White Cedar Shingle Siding~~



Vinyl Log Cabin Siding - Cypress (Beige Color)

Site:	Client's Name:
Project Number:	Client's Address:
201112.01	
Drawn By:	Checked By:

MATERIAL BOARD

DATE: 2011.12.01

Idyllwild Resort Hotels Conversion  
26500 Idyllwild Rd., Idyllwild,  
CA 92549

Prepared for: Jung Hwan Choi

DATE:	DATE:
DATE:	DATE:
DATE:	DATE:
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**J.S. ARCHITECT**  
11200 Rockwood Ave. CA 92512  
(951) 709-1100 FAX (951) 709-1101

**COUNTY OF RIVERSIDE  
ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY**

**Environmental Assessment (E.A.) Number:** 42544  
**Project Case Type (s) and Number(s):** Plot Plan No. 25210  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** P.O. Box 1409, Riverside, CA 92502-1409  
**Contact Person:** H. P. Kang  
**Telephone Number:** (951) 955-1888  
**Applicant's Name:** Jung Hwan Choi  
**Applicant's Address:** 26500 Idyllwild Road, Idyllwild, CA 92549  
**Engineer's Name:** Hyung Jin Seo  
**Engineer's Address:** 1130 Quail Meadow, Irvine, CA 92603

**I. PROJECT INFORMATION**

**A. Project Description:** The plot plan proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres. There is no added square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property.

**B. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**C. Total Project Area:** 0.41 acre parcel

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other: 900 square foot lease area			

**D. Assessor's Parcel No(s):** 565-171-006

**E. Street References:** At the southeast corner of S. Circle Drive and Highway 243 in the community of Homeland within the County of Riverside.

**F. Section, Township & Range Description or reference/attach a Legal Description:**  
Recorded Book/Page: MB 10/81 Subdivision Name: Idyllwild Mt Park Co Sub 6 Lot/Parcel: 84

**G. Brief description of the existing environmental setting of the project site and its surroundings:** The project site is located in the community of Idyllwild, located along State Highway 243 and east of the City of Hemet. This area has historically included smaller mountainous lot rural community uses. The site currently contains one 2,600 square foot structure with front parking. The site is surrounded by residential development to the northeast and southeast, commercial development to the southwest, and vacant to northeast.

**II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS**

**A. General Plan Elements/Policies:**



1. **Land Use:** The proposed project meets the requirements for the Community Development: Commercial Retail (CD: CR) (0.20-0.35 Floor Area Ratio) land use designation. The proposed project meets the General Plan and all applicable land use policies.
  2. **Circulation:** Adequate circulation facilities exist and are proposed to serve the proposed project. The proposed project meets with all other applicable circulation policies of the General Plan.
  3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
  4. **Safety:** The proposed project is located within a high fire hazard area. The proposed project is not located within any other special hazard zone (including FEMA flood zone, fault zone, dam inundation zone, area with high liquefaction potential, etc.). The proposed project has allowed for sufficient provision of emergency response services to the project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety element policies.
  5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project meets all other applicable Noise Element Policies.
  6. **Housing:** The proposed project meets with all applicable Housing element policies.
  7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.
- B. General Plan Area Plan(s):** Remap Area Plan
- C. Foundation Component(s):** Community Development (CD)
- D. Land Use Designation(s):** Commercial Retail (CD: CR) (0.20-0.35 Floor Area Ratio)
- E. Overlay(s), if any:** Not Applicable
- F. Policy Area(s), if any:** Village Tourist Policy Area
- G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD:CR) to the south, north, and west, Community Development: Medium Density Residential (CD:MDR) to the south.
- H. Adopted Specific Plan Information**
1. **Name and Number of Specific Plan, if any:** Not Applicable
  2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable
- I. Existing Zoning:** Scenic Highway Commercial (C-P-S)

J. **Proposed Zoning, if any:** Scenic Highway Commercial (C-P-S)

K. **Adjacent and Surrounding Zoning:** The project site is surrounded by mixture of Rural Residential (R-R) and Scenic Highway Commercial (C-P-S) along Highway 74 but not contiguous. The general vicinity of the project site is zoned Rural Residential (R-R) as it moves away from Highway 74.

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality     | <input type="checkbox"/> Transportation / Traffic           |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning           | <input type="checkbox"/> Utilities / Service Systems        |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Geology / Soils                | <input type="checkbox"/> Population / Housing          | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services               |   |

### IV. DETERMINATION

On the basis of this initial evaluation:

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

H. P. Kang

Printed Name

August 13, 2013

Date

For Carolyn Syms Luna, Director



## V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

### Findings of Fact:

a) The project site is located on the east side of SH-243 which is designated by the General Plan as a State Designated Scenic Highway. Through this area of the corridor, the scenic resources would include the view of the mountains and forest. The proposed Resort/Hotel building would be subject to the latest adopted building code and through design the visual impact is minimal in preserving and protecting the scenic highway corridor. The project is setback approximately 55 feet from the new right-of-way and provides new landscaping strip in between the parking stalls and the building that will minimize the impact to the scenic highway corridor. Additionally, the existing maximum height of the building is at 27 vertical feet to the roof pitch.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, open to the public, as these features do not exist on the project site. Additionally, the project will not result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

## **2. Mt. Palomar Observatory**

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County

Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to the GENERAL PLAN, the project site is located approximately 28 miles away from the Mt. Palomar Observatory; which is within the designated 45-mile (ZONE B) Special Lighting Area that surrounds the Mt. Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition and exceptions. With incorporation of project lighting requirements of the Riverside County Ordinance No. 655 into the proposed project, this impact will be reduced to a less than significant impact. (COA 10.PLANNING.30) This is a standard condition of approval and therefore is not considered mitigation pursuant to CEQA.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The project will not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area, or expose residential property to unacceptable levels of light or glare. Adjacent residential properties will not be exposed to unacceptable light levels. Any lighting on site is required to be shielded and directed away from any residential properties. Light created from potential increased traffic to the site may increase as well as interior lighting associated with the proposed resort/hotel use. This lighting will be shielded from the neighboring residential properties per building code and Mt. Palomar Observatory Ordinance No. 655. The ordinance contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition, and exceptions. With incorporation of the standard conditions of approval for project lighting requirements of the Riverside County Ordinance No. 655 into the proposed project, this impact will be reduced to a less than significant impact. (COA 10.PLANNING.6 and 10.PLANNING.30) and is therefore not considered mitigation pursuant to CEQA.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AGRICULTURE & FOREST RESOURCES** Would the project

**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, and Project Application Materials.

Findings of Fact:

- a) According to GIS database, the project is located in mountain area is not mapped as "Farmland". Therefore, the project will not convert a Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to non-agricultural use. The project will have no significant impact.
- b) According to GIS database, the project is not located within an Agriculture Preserve or under a Williamson Act contract; therefore, no impact will occur as a result of the proposed project.
- c) The project site is not surrounded by agriculturally zoned land (A-1, A-2, A-P, A-D & C/V) and will not cause development of non-agricultural uses within 300 feet of agriculturally zoned property. Therefore, the project site, the project will not cause development of a non-agricultural use within 300 feet of agriculturally zoned property.
- d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>5. Forest</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?				
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. The project is not located within the boundaries of a forest land (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.

b) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. The project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AIR QUALITY** Would the project

**6. Air Quality Impacts**

	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: SCAQMD CEQA Air Quality Handbook and Greenhouse Gas Review Study dated April 15, 2013

Findings of Fact: CEQA Guidelines indicate that a project will significantly impact air quality if the project violates any ambient air quality standard, contributes substantially to an existing air quality violation, or exposes sensitive receptors to substantial pollutant concentrations.

a) The project site is located in the South Coast Air Basin (SCAB). The South Coast Air Quality Management District (SCAQMD) adopted its most recent Air Quality Management Plan (AQMP) for the SCAB on August 1, 2003. The AQMP is a plan for the regional improvement of air quality. As part of adoption of the County's General Plan in 2003, the General Plan's EIR (No. 441, SCH No. 2002051143) analyzed the General Plan growth projections for consistency with the AQMP and concluded that the General Plan is consistent with the SCAQMD's AQMP. The project is consistent with the County General Plan and would therefore be consistent with the SCAQMD's AQMP.

b-c) The South Coast Air Basin (SCAB) is in a non-attainment status for federal ozone standards, federal carbon monoxide standards, and state and federal particulate matter standards. Any development in the SCAB, including the proposed project, would cumulatively contribute to these pollutant violations.

The project is consistent with the General Plan and the Remap Area Plan land use designations. The General Plan (2003) is a policy document that reflects the County's vision for the future of Riverside County. The General Plan is organized into eight separate elements, including an Air Quality Element. The purpose of the Air Quality Element is to protect County residents from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. The Air Quality Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB). Potential air quality impacts resulting from the proposed project would not exceed emissions projected by the Air Quality Element since they are not adding any new square footage. The County is charged with implementing the policies in the General Plan Air Quality Element, which are focused on reducing concentrations of criteria pollutants, reducing negative impacts to sensitive receptors, reducing mobile and stationary pollutant sources, increasing energy conservation and efficiency, improving the jobs to housing balance, and facilitating multi-jurisdictional coordination for the improvement of air quality.

Implementation of the project would not impact air quality beyond the levels documented in EIR No. 441 prepared for the General Plan. The project would impact air quality in the short-term during construction and in the long-term through operation. In accordance with standard county requirements, dust control measures and maintenance of construction equipment shall be utilized on the property to limit the amount of particulate matter generated. These are standard requirements and are not considered mitigation pursuant to CEQA.

The proposed project would primarily impact air quality through increased automotive emissions. Projects of this type do not generate enough traffic and associated air pollutants to violate clean air standards or contribute enough air pollutants to be considered a cumulatively considerable significant impact. Therefore, the impacts to air quality are considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, however, the project is not expected to generate substantial point source emissions. The project will not include manufacturing uses or generate significant odors.

e) Surrounding land uses do not include significant localized CO sources, toxic air contaminants, or odors. An 2,606 square foot resort/hotel building is not considered a substantial point source emitter or a sensitive receptor.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Mitigation

Monitoring: No monitoring measures are required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool,	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRCMSHCP

Findings of Fact:

a) The project site does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The project site is a previously built parcel in a mountain village area. The area is currently being used as a multifamily residential structure. The proposal will disturb portions of approximately 0.4 acres for the construction of one handicap parking stall. Based on minor disturbance, the site is not anticipated to have biological impacts. Therefore, project will have less than significant impact.

b-c) The proposal will disturb a portion of approximately 0.4 acres for the construction of one handicap parking stall. Based on minor disturbance, the site is not anticipated to have habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). The project will have a less than significant impact.

d) The project will not result in the adverse impacts on MSHCP-listed plant or animal species. Natural watercourses are not present on the site. U.S. Army Corps of Engineers and CDFG jurisdictional waters of the US wetlands and streambeds are not present. The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, there is no significant impact.

e-f) The project site does not contain riverine/riparian areas or vernal pools. Therefore, there is no significant impact.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Therefore, there is no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**CULTURAL RESOURCES** Would the project

**8. Historic Resources**

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:**

a-b) The proposed site built with 2,606 square foot 2 story building. The project does not propose to alter or destroy a historic site or cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. The project will have no significant impact.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source:** Project Application Materials

**Findings of Fact:**

a-b) Site disturbance has already occurred from previous construction of 2,606 square foot 2-story building and associated parking areas. The project is not anticipated to alter or destroy an archaeological site. If, however, during ground disturbing activities, unique cultural resources are discovered, all ground disturbances shall halt until a meeting is held between the developer, archaeologist, and Native American representative to discuss the significance of the find. Therefore, the project will not alter or destroy an archaeological site or cause a substantive adverse change in the significance of an archaeological resource.

c) There may be a possibility that ground disturbing activities will expose human remains. The project is subject to State Health and Safety Code Section 7050.5 if human remains are discovered during ground disturbing activities. This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

d) The project will not restrict existing religious or sacred uses within the potential impact area. Therefore, there is no impact.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**10. Paleontological Resources**

a) Directly or indirectly destroy a unique paleonto-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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logical resource, or site, or unique geologic feature?

Source: GIS database

Findings of Fact:

a) According to GIS database, this site has been mapped as having a low potential for paleontological resources. There may be a possibility that ground disturbing activities will expose fossil specimens. Therefore, a Paleontological Monitoring Report shall be submitted to the County Geologist for site grading operation. This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

**GEOLOGY AND SOILS** Would the project

**11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones**

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database

Findings of Fact:

a-b) No active faults are known to traverse the subject site. The project site does not lie within a State of California Earthquake Fault Hazard Zone (formerly called an Alquist-Priolo Special Studies Zone). Additionally, the project is subject to the California Building Code (CBC) requirements pertaining to commercial development and thereby mitigating any potential impact to less than significant. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**12. Liquefaction Potential Zone**      
 a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", GIS Database

Findings of Fact:



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project is located within an area of no potential for liquefaction. Adherence to the California Building Code (CBC) will mitigate any potential liquefaction that might exist on the site. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

<b>13. Ground-shaking Zone</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Be subject to strong seismic ground shaking?				

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. The project is located within a very high ground shaking risk area. California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

<b>14. Landslide Risk</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?				

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project site is located on generally flat land with minimal possibilities of resulting in on- or off-site landslide, lateral spreading, collapse, or rock fall hazards. In addition, no further information is provided to suggest that the project would be located on unstable soil. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: GIS database, Riverside County General Plan Figure S-7 "Documented Subsidence Areas".

Findings of Fact:

a) According to GIS database, the project site is not located in an area with potential subsidence, Adherence to the California Building Code (CBC) will mitigate any possible subsidence potential that might exists on the site to less than significant. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: Project Application Materials

a) The project site is not located near any large bodies of water or in a known volcanic area; therefore, the project site is not subject to geologic hazards, such as seiche, mudflow, or volcanic hazard.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**17. Slopes**

a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

c) Result in grading that affects or negates subsurface sewage disposal systems?

Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is generally flat land with no slope present on the site. The proposed resort/hotel facility will not change topography or ground surface relief features. Therefore, the project will not have an impact.

b) The project will not cut or fill slopes greater than 2:1 or create a slope higher than 10 feet.

c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**18. Soils**

a) Result in substantial soil erosion or the loss of topsoil?

b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?

c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Source: General Plan figure S-6 "Engineering Geologic Materials Map", Project Application Materials, Building and Safety Grading review

a) The development of the site will not result in the loss of topsoil from grading activities and not in a manner that would result in significant amounts of soil erosion. Implementation of Best Management Practices (BMPs) would reduce the impact to below a level of significance. Impacts would be less than significant.

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

c) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. The existing project is being served with public water and sewer system. Therefore, there is no impact anticipated with this project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**19. Erosion**

a) Change deposition, siltation, or erosion that may



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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modify the channel of a river or stream or the bed of a lake?

b) Result in any increase in water erosion either on or off site?

Source: Flood Control District review, Project Application Materials

Findings of Fact:

a) The proposed project is not located in the vicinity of a stream or lake, will not change deposition, siltation, or erosion that may modify the channel of a river, stream, or the bed of a lake. The project will have no significant impact.

b) The proposed project is not likely to increase in water erosion either on or off site; therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**20. Wind Erosion and Blowsand from project either on or off site.**

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The site is located in an area of Low Wind Erodibility rating. The General Plan, Safety Element Policy for Wind Erosion requires buildings and structures to be designed to resist wind loads which are covered by the California Building Code. With such compliance, the project will not result in an increase in wind erosion and blowsand, either on or off site. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GREENHOUSE GAS EMISSIONS** Would the project

**21. Greenhouse Gas Emissions**

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Project application materials, Air Study Dated April 15, 2013.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. Based on existing structures and no new addition of any square footage, the proposed project does not exceed the threshold set by South Coast Air Basin (SCAB) and Southeast Desert Air Basin (SEDAB). The construction activities will involve light duty equipment and labor. However, the construction of this size (under 10,000 square foot) will not have a significant impact on the air quality of the area. Therefore, greenhouse gas emissions generated during construction phase are minimal. In addition, the powering of the resort/hotel will not require an extensive amount of electricity. Therefore, project is not anticipated to generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

b) The project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HAZARDS AND HAZARDOUS MATERIALS** Would the project

22. Hazards and Hazardous Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a) The project will not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The project will not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.

c) The project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

d) The project site is not located within one-quarter mile of an existing school. The proposed change of zone and construction of retail commercial facility does not emit and/or handle hazardous or acutely hazardous materials, substances, or waste. Therefore, there is no impact.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan. The closest airport is Hemet-Ryan Airport which is located approximately 10 miles west of the project site.

b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission.

c) The project is not located within an airport land use plan and would not result in a safety hazard for people residing or working in the project area. The closest airport is Hemet-Ryan Airport which is located approximately 10 miles west of the project site.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area. The closest airport is Hemet-Ryan Airport which is located approximately 10 miles west of the project site.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**24. Hazardous Fire Area**

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

Findings of Fact

a) The project is located in a high fire hazard area. The project shall adhere to all Fire Department requirements for projects located within high fire hazard areas. This is a standard condition of approval and is not considered mitigation under CEQA.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HYDROLOGY AND WATER QUALITY** Would the project

**25. Water Quality Impacts**

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Insurance Rate Map or other flood hazard delineation map?</b>				
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

a)-b) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. Through this process, the site will not alter the drainage from its current natural flow to Highway 243.

Additionally, the site does not contain nor alter the course a stream or river in a manner that would result in substantial erosion or siltation on- or off-site. Therefore, there is no impact anticipated.

c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Therefore, the impact is considered less than significant.

d) Due to the amount of impervious surfaces within the project site, this proposal will not increase flow rates on downstream property owners. Therefore, no new flood control facilities or water quality mitigation will be required. Therefore, the impact is considered less than significant.

e) The project site is not located within a 100 year flood zone and no new housing is proposed with this project. Therefore, the project shall not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map No. 06065C2155G or other flood hazard delineation map.

f) The project site is not located within a 100 year flood zone within Zone X. Therefore, the project will not place structures within a 100-year flood hazard area which would impede or redirect flood flows.

g-h) The project will not substantially degrade water quality or include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors). Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

**26. Floodplains**

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>		
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," GIS database, FEMA Issued Flood Map

Findings of Fact:

a) Because of the small size and limited development of the project site, the project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site. Additionally, the property is located in Zone X, and it is determined to be outside the 0.2% annual chance floodplain [FEMA Flood Insurance Rate Map (FIRM) with effective date of August 28, 2008, Map No. 06065C2155G, Panel 2155 of 3805]. Therefore, the project will have less than significant impact.

b) Because of the small size and limited development of the project site, the project will not result in changes in absorption rates or the rate and amount of surface runoff within a floodplain. Therefore, the project will have less than significant impact.

c) The project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. Therefore, the project will have less than significant impact.

d) Because of the small size and limited development of the project site, the project will not cause changes in the amount of surface water in any water body. Therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>LAND USE/PLANNING</b> Would the project				
<b>27. Land Use</b>				
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan and GIS database

Findings of Fact:

a) The proposed use is in compliance with the current land use of Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio) in the REMAP Area Plan. The project will have a less than significant impact as it likely will not result in the substantial alteration of the present or planned land use of an area.

b) The project is not adjacent to a city boundary and not in a sphere of influence. Therefore, the project will not have significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>28. Planning</b>				
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a-b) The project will be consistent with the site's zoning for the proposed resort/hotel development. The project site is surrounded by properties which are zoned One-Family Dwellings Mountain Resort (R-1A), Village Tourist Residential (R-3A), and Scenic Highway Commercial (C-P-S) zonings along Highway 243 and south east and west of the project site. The General Plan designation for all properties along Highway 243 is Community Development: Commercial Retail (CD:CR) (0.2 to 0.35 Floor Area Ratio). It is the future plan for this area along Highway 243 to be developed as commercial retail developments. Therefore, the project will have no significant impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) The proposed commercial development will be consistent with existing commercial developments along Highway 243 including but not limited to vacation resort, barber shop, mini storage, auto parts store, and a café. As a result, the project will be compatible with existing surrounding zoning and with existing and planned surrounding land uses. Impacts are less than significant.

d-e) The project is consistent with the land use designations and policies of the General Plan. In addition, the project will not disrupt or divide the physical arrangement of an established community. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

**MINERAL RESOURCES** Would the project

**29. Mineral Resources**

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

a) The project site is within unstudied area for Mineral Resources Area. The General Plan identifies policies that encourage protection for existing mining operations and for appropriate management of mineral extraction. A significant impact that would constitute a loss of availability of a known mineral resource would include unmanaged extraction or encroach on existing extraction. No existing or abandoned quarries or mines exist in the area surrounding the project site. The project does not propose any mineral extraction on the project site. Any mineral resources on the project site will be unavailable for the life of the project; however, the project will not result in the permanent loss of significant mineral resources.

b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**NOISE** Would the project result in

**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

**30. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels. The closest airport (Hemet Ryan Airport) is located approximately 10 miles west from the project site. Therefore, there is no impact anticipated.

b) The project is not located within the vicinity of a private airstrip and would not expose people residing on the project site to excessive noise levels. The closest airport (Hemet Ryan Airport) is located approximately 10 miles west from the project site. Therefore, there is no impact anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**31. Railroad Noise**

NA  A  B  C  D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The project site is not located adjacent to a rail line. The project has no significant impact.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**32. Highway Noise**

NA  A  B  C  D

Source: On-site Inspection, Project Application Materials

Findings of Fact: The project site is located adjacent to a highway. The closest highway is Highway 243 which fronts the project site. The next closest freeway is 10 Freeways is approximately 12.5 miles north from the project site.

The existing noise on the project site and surrounding areas is primarily created by the amount of traffic on adjacent SH-243. The proposal is for the 5 unit resort/hotel from a 5 unit apartment complex. Therefore, the residential use to commercial resort/hotel use is like and similar use and would not add any additional noise levels. In addition, the noise generated by Highway 243 is predicted to be within acceptable limits for commercial uses within the proposed commercial hotel use. There will be no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**33. Other Noise**

NA  A  B  C  D

Source: Project Application Materials, GIS database

Findings of Fact: No additional noise sources have been identified near the project site that would contribute a significant amount of noise to the project. There will be no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**34. Noise Effects on or by the Project**

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) Although the project will increase the ambient noise level in the immediate vicinity during construction, and the general ambient noise level will not increase after project completion, the impacts are not considered significant within the commercial zoning areas.

b) All noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. These may include but are not limited to hours of construction, hours of operation, hours of delivery, use of noise reducing equipments (e.g.: mufflers and engine shrouds), orientation of the main entrance, and setbacks. The operation of the resort/hotel will occur all within the enclosed structure and will not have excess noise beyond the normal vehicular noise added by the hotel guests. Therefore, the project will have a less than significant impact. These are standard conditions of approval, and therefore is not considered mitigation pursuant to CEQA.

c-d) The project would not expose persons to or generation of noise levels in excess of standards established in the local General Plan or noise ordinance, or applicable standards of other agencies or expose persons to or generation of excessive ground-borne vibration or ground-borne noise levels. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**POPULATION AND HOUSING** Would the project

<b>35. Housing</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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roads or other infrastructure)?

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property. The project will be converting exiting apartments to resort/hotel and will not displace substantial number of existing homes to necessitate any replacement housing elsewhere. Therefore, the project will have less than significant impact.
- b) The project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. The project will have no significant impact.
- c) The project will not displace substantial number of people, necessitating the construction of replacement housing elsewhere. The project will have no significant impact.
- d) The project is not located within a Redevelopment Area and the State of California (Governor Brown) has dissolved the Redevelopment Agencies of all funding and responsibility. Therefore, the project will not affect a County Redevelopment Project Area. The project will have no significant impact.
- e) The project will not cumulatively exceed official regional or local population projections. The project will have no significant impact.
- f) The project could potentially encourage additional residential development in the area since there will be commercial retail service, but the development would have to be consistent with the land uses designated by the General Plan. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

**36. Fire Services**

Source: Riverside County General Plan Safety Element

The proposed project will have an incremental impact on the demand for fire services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provisions of Ordinance No.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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659, which require payment of the appropriate fees set forth in the Ordinance. Ordinance 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. With compliance to Ordinance No. 659, impact to fire services will be less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. Any construction of new facilities required by the cumulative effects will have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>37. Sheriff Services</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

The proposed project will have an incremental impact on the demand for sheriff services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provisions of Ordinance No. 659, which require payment of the appropriate fees set forth in the Ordinance. Ordinance 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. With compliance to Ordinance No. 659 and the mitigation measures, impact to sheriff services will be less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. Any construction of new facilities required by the cumulative effects will have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>38. Schools</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Hemet Unified School District, GIS database

Findings of Fact: The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Hemet Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. This is a standard condition of approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

**39. Libraries**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

The proposed project will have an incremental impact on the demand for library services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provisions of Ordinance No. 659, which require payment of the appropriate fees set forth in the Ordinance. Ordinance 659 sets forth policies, regulations, and fees related to the funding and construction of facilities necessary to address direct and cumulative environmental effects generated by new development. With compliance to Ordinance No. 659, impact to library services will be less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. Any construction of new facilities required by the cumulative effects will have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**40. Health Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

The use of the proposed lease area would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The project will have no impact. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**RECREATION**

**41. Parks and Recreation**

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Is the project located within a Community Service

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

a) The proposed project proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres with no new square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property at the south side of Highway 243 and S. Circle Drive in the community of Idyllwild within the County of Riverside. The project would not include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. The project will have no significant impact.

b) The project would not include the use of existing neighborhood or regional parks or other recreation facilities such that substantial physical deterioration of the facility would occur or be accelerated. The project will have no significant impact.

c) The project is located within a County Service Area No. 36 (Street Lighting District and Park & Recreation District). The project will have no significant impact on recreation and park district with a Community Parks and Recreation Plan.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**42. Recreational Trails**

Source: Riverside County General Plan

Findings of Fact: The project (a request to convert existing building to resort/hotel) does not create a need or impact a recreational trail in the vicinity of the project. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**TRANSPORTATION/TRAFFIC** Would the project

**43. Circulation**

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a) The project will generate minimal traffic to the area and regional transportation system. The project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system. The impact is less than significant.

b) The project will not conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. The project will have no impact.

c-d) The project does not propose any design issues that would cause a change in air traffic patterns, alter waterborne, or rail and air traffic. The project will have no impact.

e-f) The project will not substantially increase hazards due to a design feature or cause an effect upon a need for new or altered maintenance of roads. The project will have no impact.

g) The project site will cause an effect upon circulation during the project's construction; however, impacts are considered less than significant.

h) The project will not cause inadequate emergency access or access to nearby uses. The project will have no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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i) The project site will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**44. Bike Trails**

Source: Riverside County General Plan

Findings of Fact: The project does not incorporate any bicycle racks based on the use. The proposed resort/hotel use is generally not accessible with a bicycle from the lower valley and the resident manager lives on site, eliminating the need for employee trips. Therefore, the project will not have any impact to the bike trails.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**UTILITY AND SERVICE SYSTEMS** Would the project

**45. Water**

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact:

a-b) The project is currently served by Idyllwild Water District (IWD). The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**46. Sewer**

a) Require or result in the construction of new

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a-b) The project is currently served by Idyllwild Water District (IWD) sewer services area. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**47. Solid Waste**

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) According to the Riverside County Waste Management Department, the proposed project has the potential to impact landfill capacity from the generation of solid waste during construction. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**48. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-g) Implementation of the project will result in an incremental system capacity demand for energy systems, communication systems, storm water drainage systems, street lighting systems, maintenance of public facilities, including roads and potentially other governmental services. Each of the utility systems, including collection of solid waste, is available at the project site and lines will have to be extended onto the site, which will already be disturbed by grading and other construction activities. These impacts are considered less than significant based on the availability of existing public facilities that support local systems. The project will not conflict with adopted energy conservation plans.

Compliance with the requirements of Southern California Edison, Southern California Gas, Verizon, Riverside County Flood Control and Riverside County Transportation Department will ensure that potential impacts to utility systems are reduced to a less than significant level. Note street lighting must conform to the Palomar lighting standards (see discussion under Aesthetics). Based on data available at this time, no offsite utility improvements will be required to support this project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**49. Energy Conservation**

a) Would the project conflict with any adopted energy conservation plans?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan, Project Application Materials

a-b) The proposed project will not conflict with any adopted energy conservation plans. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**MANDATORY FINDINGS OF SIGNIFICANCE**

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

**VI. EARLIER ANALYSES**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Not applicable

Location Where Earlier Analyses, if used, are available for review: Not applicable

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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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## VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

File: EA.PP25248  
Revised: 8/23/2013 10:58 AM



PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for conversion of existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approxiamtely 0.41 acres. There is no added square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.) RECOMMND

incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25210 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 25210, Exhibit A, Amended No. 1, dated 06/27/13.

10. EVERY. 4 USE - 90 DAYS TO PROTEST RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

12/16/13  
12:36

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 3

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS

RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is



PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.BS GRADE. 6                   USE - NPDES INSPECTIONS (cont.)                   RECOMMND

required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7                   USE - EROSION CNTRL PROTECT                   RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8                   USE - DUST CONTROL                   RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 11                  USE - MINIMUM DRNAGE GRADE                   RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 18                  USE - OFFST. PAVED PKG                   RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 24                  USE - FINISH GRADE                   RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1                   INDUSTRIAL HYGIENE-NOISE STUDY                   RECOMMND

Noise Consultant: Roma Environmental  
Temecula, CA

Noise Study: "Noise Impact Analysis for the Idyllwild Motel PP 25210, Idyllwild, California"

12/16/13  
12:36

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 5

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.E HEALTH. 1 INDUSTRIAL HYGIENE-NOISE STUDY (cont.) RECOMMND

dated June 27, 2013.

Based on the County of Riverside, Industrial Hygiene Program's review of the aforementioned Noise Study, PP 25210 shall comply with the recommendations set forth under the Industrial Hygiene Program's response letter dated July 15, 2013 c/o Steve Hinde, REHS, CIH (RivCo Industrial Hygienist).

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

10.E HEALTH. 2 IDYLLWILD WATER DISTRICT RECOMMND

The subject property (26500 Idyllwild Road, Idyllwild) for Plot Plan 25210 is currently receiving water and sewer service from the Idyllwild Water District (IWD). It is the responsibility of the facility to ensure that all requirements to continue receiving potable water and sanitary sewer service are met with IWD as well as all other applicable agencies. Please note that the sewer purveyor, IWD, shall have the responsibility of determining all grease interceptor requirements if needed.

10.E HEALTH. 3 CONTACT DISTRICT ENV SERVICES RECOMMND

If this facility proposes a public food facility, public pool facility, and/or public spa facility, the applicant shall contact the Department of Environmental Health, District Environmental Services to obtain information regarding plan check and permitting requirements.

County of Riverside, Department of Environmental Health  
District Environmental Services  
800 South Sanderson Avenue,  
Hemet, CA 92545  
(951) 766-2824

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD RPT 12/12/12 RECOMMND

Plot Plan No. 25182 is a proposal to convert an existin two-story building to be a resort/hotel. The project includes approximately 3,600 square foot (sf.) of concrete paving. The 0.42 acre site is located in Idyllwild, north

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE FLOOD HAZARD RPT 12/12/12 (cont.) RECOMMND

of Strawberry Valley Drive, east of Saunders Meadow, and west of Bickneil Lane.

The site is located on a ridge and as such, does not receive offsite storm runoff. The project is located on relatively high ground with a negligible tributary area. Except for nuisance nature local runoff that may traverse portions of the property, the project is considered free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage. New construction should comply with all applicable ordinances.

The site proposes the addition or creation of approximately 3,600 sf. of impervious area, below the 5,000 sf. threshold for significant redevelopment and therefore a Water Quality Management Plan (WQMP) is not required.

If it is determined at final engineering that the development consists of an addition or replacement of 5,000 or more square feet of impervious surface on an existing developed site, it is subject to WQMP Significant Redevelopment requirements. Where Significant Redevelopment results in an increase/replacement of more than 50% of the existing impervious surfaces of an existing developed site, the WQMP would be required for the entire site. This development fits this category and therefore, the entire site shall be mitigated for water quality. A preliminary site specific WQMP shall be provided and approved by the District prior to issuance of conditions of approval. The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: [www.rcflood.org/npdes](http://www.rcflood.org/npdes).

10.FLOOD RI. 7 USE SBMT FINAL WQMP IF >5000SF RECOMMND

If it is determined at final engineering that the development consists of an addition or replacement of 5,000 or more square feet of impervious surface on an existing developed site, it is subject to WQMP Significant Redevelopment requirements. Where Significant Redevelopment results in an increase/replacement of more than 50% of the existing impervious surfaces of an existing developed site, the WQMP would be required for the entire site. A preliminary site specific WQMP shall be provided



PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.FLOOD RI. 7 USE SBMT FINAL WQMP IF >5000SF (cont.) RECOMMND

and approved by the District prior to issuance of conditions of approval, as appropriate. The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: [www.rcflood.org/npdes](http://www.rcflood.org/npdes).

PLANNING DEPARTMENT

10.PLANNING. 1 USE - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.PLANNING. 1 USE - LOW PALEO (cont.)

RECOMMND

activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum\* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. \* Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8.The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

10.PLANNING. 2 USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.PLANNING. 3 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 4 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 5 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT A.

10.PLANNING. 9 USE - LIMIT ON SIGNAGE RECOMMND

All signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 16 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 18 USE - NO RESIDENT OCCUPANCY RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence except the caretaker's dwelling as shown on the APPROVED EXHIBIT A. No person, except the caretaker and members of the caretaker's family, shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.PLANNING. 20 USE - EXTERIOR NOISE LEVELS

RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 21 USE - NOISE MONITORING REPORTS

RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 23 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit,  
a) is found to be in violation of the terms and conditions of this permit,  
b) is found to have been obtained by fraud or perjured testimony, or  
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.



12/16/13  
12:36

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 11

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.PLANNING. 24 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 28 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 29 USE - ORD 810 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 810, to assist in providing revenue to acquire and preserve open space and habitat, an Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

10.PLANNING. 33 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at [www.rctlma.org.buslic](http://www.rctlma.org.buslic).

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

10. GENERAL CONDITIONS

10.TRANS. 1 USE - STD INTRO (ORD 461) (cont.) RECOMMND

461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10.TRANS. 4 USE - NO ADD'L ON-SITE R-O-W RECOMMND

No additional on-site right-of-way shall be required on South Circle Drive since adequate right-of-way exists.

10.TRANS. 5 USE - NO ADD'L ROAD IMPRVMENTS RECOMMND

No additional road improvements will be required at this time along South Circle Drive due to existing improvements.

20. PRIOR TO A CERTAIN DATE

BS PLNCK DEPARTMENT

20.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

Approval for the current proposed allowance of the existing building (No bldg permit found) to apartment(s) is granted per the following requirements:

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

20. PRIOR TO A CERTAIN DATE

20.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.)

RECOMMND

Due to public safety concerns, time frames have been reduced. Within 30 days of the current planning case approval, building plans and supporting documents shall be submitted to the building department as part of the building & safety plan check/ permit process.

All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

NOTE: Where a building and/or structure has been constructed, altered, or placed on the property without permit, the applicable building/structure shall not be occupied or in use until a final approved building inspection has been received.

Included within the building plan submittal, the applicant shall provide a copy of the approved construction waste management plan by the Riverside County Waste Management Department that:

1. Identifies the materials to be diverted from disposal by efficient usage, reuse on the project, or salvage for future use or sales.
2. Determines if materials will be sorted on site or mixed.
3. Identifies diversion facilities where material collected will be taken.
4. Specifies that the amount of materials diverted shall be calculated by weight or volume, but not both.

For information regarding compliance with the above provision and requirements, please contact the Waste Management Department @ (951) 486-3200.

Included within the building plan submittal, please provide a revised site plan to reflect all required accessible path of travel details. The revised site plan shall include the following information for the required continuous paved accessible path of travel:

1. Connection to the public R.O.W.
2. Connection to all buildings.
3. Connection to areas of public accommodation (Including recreation/sports park facilities and viewing areas.
4. Connection to accessible designed trash enclosures.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

20. PRIOR TO A CERTAIN DATE

20.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.) (cont.) RECOMMND

- 5.Connection to mail kiosks.
- 6.Connection to accessible parking loading/unloading areas.  
THE DETAILS SHALL INCLUDE:
  - 1.Accessible path construction type (Concrete or asphalt)
  - 2.Path width.
  - 3.Path slope%, cross slope%.
  - 4.Ramp and curb cut-out locations.
  - 5.Level landing areas at all entrance and egress points.

Please note the accessible path of travel included within the planning case was incomplete and is subject to review during the building plan review process.

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 6 USE - EXISTING STRUCTURE CHECK RECOMMND

ITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in- interest shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety, to ensure that all existing buildings, structures and uses



PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 6 USE - EXISTING STRUCTURE CHECK (cont.) RECOMMND

are in compliance with Ordinance No. 348 and Ordinance No. 457 and the conditions of approval of this permit.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at [www.swrcb.ca.gov](http://www.swrcb.ca.gov).

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE - IMPORT / EXPORT (cont.)

RECOMMND

requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.\* \*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100

RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 11 USE-APPROVED WQMP-IF REQ'D

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District and that all approved water quality treatment control BMPs have been included on the grading plan.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG

RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- BMP CONST NPDES PERMIT

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 14 USE - SWPPP REVIEW

RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

FLOOD RI DEPARTMENT

60.FLOOD RI. 1 USE SBMT FINAL WQMP IF >5000SF

RECOMMND

If it is determined at final engineering that the development consists of an addition or replacement of 5,000 or more square feet of impervious surface on an existing developed site, a copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 10 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 25210, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - E.HEALTH CLEARANCE REQ. RECOMMND

ENVIRONMENTAL HEALTH CLEARANCE IS REQUIRED PRIOR TO THE ISSUANCE OF THIS BUILDING PERMIT.



PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

80. PRIOR TO BLDG PRMT ISSUANCE

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 USE SBMT FINAL WQMP IF >5000SF

RECOMMND

If it is determined at final engineering that the development consists of an addition or replacement of 5,000 or more square feet of impervious surface on an existing developed site, a copy of the project specific WQMP shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

80.PLANNING. 1 USE- LANDSCAPE PLOT PLAN REQ

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. At minimum, plans shall include the following components:

- 1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2)Weather based controllers and necessary components to eliminate water waste;
- 3)A copy of the "stamped" approved grading plans; and,
- 4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1)Identification of all common/open space areas;
- 2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3)Shading plans for projects that include parking lots/areas;
- 4)The use of canopy trees (24" box or greater) within the parking areas;
- 5)Landscaping plans for slopes exceeding 3 feet in height;
- 6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

- 1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department

12/16/13  
12:36

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 20

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 USE- LANDSCAPE PLOT PLAN REQ (cont.) RECOMMND

shall not approve landscape plans within the Road Right-of-Way.

2)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 4 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B with Vinyl Log Cabin Siding - Cypress (Beige Color) and River Rock veneer along the bottom section. The alternative siding option shall not be used (SBC 16 in. Safari Beige Eastern White Cedar Shingle Siding) or like material as approved by the Planning Department.  
(Modified on 12/02/13 at DH)

80.PLANNING. 5 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT A.

80.PLANNING. 6 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 12 USE - PLANS SHOWING BIKE RACKS RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval.

80.PLANNING. 17 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated December 10, 2012, summarized as follows:

The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

80.PLANNING. 20 USE - FEE STATUS RECOMMND

Prior to issuance of building permits for Plot Plan No. 25210, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE-WQMP BMP INSP-IF REQ'D RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE-WQMP CERT-IF REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 2                   USE-WQMP CERT-IF REQ'D (cont.)                   RECOMMND

Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3                   USE-GPS COORDINATES-IF REQ'D                   RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4                   USE-BUSINESS REGISTRATION                   RECOMMND

Prior to final building inspection, the applicant/owner shall register the project with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5                   USE - REQ'D GRADING INSP'S                   RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

- a.Inspection of Final Paving-If any paving is proposed.
- b.Precise Grade Inspection
- c.Inspection of completed onsite storm drain facilities
- c.Inspection of the WQMP treatment control BMPs-If WQMP is required.

90.BS GRADE. 6                   USE - PRECISE GRDG APPROVAL                   RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

- 1.Requesting and obtaining approval of all required grading inspections.



PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.) RECOMMND

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FLOOD RI DEPARTMENT

90.FLOOD RI. 1 USE SBMT FINAL WQMP IF >5000SF RECOMMND

If the development consists of an addition or replacement of 5,000 or more square feet of impervious surface on an existing developed site, it is subject to WQMP Significant Redevelopment requirements. All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the Applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

90. PRIOR TO BLDG FINAL INSPECTION

PLANNING DEPARTMENT

90.PLANNING. 3 USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of nine (9) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 4 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of one (1) accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at \_\_\_ or by telephoning \_\_\_."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING

RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 10 USE - INSTALL BIKE RACKS RECOMMND

A bicycle rack with a minimum of two spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT A. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

90.PLANNING. 11 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 12 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 16 USE - EXISTING STRUCTURES RECOMMND

All existing buildings, structures and uses on the entire property shall conform to all the applicable requirements of Ordinance No. 348 and Ordinance No. 457, and the conditions of this permit.

90.PLANNING. 24 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 27 USE - ORD 810 O S FEE (2) RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of

12/16/13  
12:36

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 26

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 27 USE - ORD 810 O S FEE (2) (cont.)

RECOMMND

occupancy (such as an SMP), whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 25210 is calculated to be 0.41 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 28 USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 25210 has been calculated to be 0.41 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.



12/16/13  
12:36

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 27

PLOT PLAN:TRANSMITTED Case #: PP25210

Parcel: 565-171-006

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 29 USE - ELEVATIONS

RECOMMND

Prior to building permit final inspection approval, the elevations of all buildings and structures for the project shall be substantially conform to the elevations shown on APPROVED EXHIBIT B with Vinyl Log Cabin Siding - Cypress (Beige Color) and River Rock veneer along the bottom section. (Added by DH on 12/02/13)

TRANS DEPARTMENT

90.TRANS. 1 USE-SIGNING & STRIPING

RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

NOTE: No on-site parking shall be allowed adjacent to the travel way of South Circle Drive. Appropriate signage shall be provided on-site to comply with this condition.

90.TRANS. 2 USE - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

LAND DEVELOPMENT COMMITTEE/  
DEVELOPMENT REVIEW TEAM  
INITIAL CASE TRANSMITTAL  
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE  
P.O. Box 1409  
Riverside, CA 92502-1409

FILE COPY

DATE: November 19, 2012

TO:

Riv. Co. Transportation Dept.  
Riv. Co. Environmental Health Dept.  
Riv. Co. Fire Dept.  
Riv. Co. Flood Control District  
Riv. Co. Building & Safety – Grading  
Riv. Co. Building & Safety – Plan Check  
Regional Parks & Open Space District  
Riv. Co. Environmental Programs Division  
P.D. Geology Section

P.D. Landscaping Section  
P.D. Archaeology Section  
Riverside Transit Agency  
Riv. Co. Sheriff's Dept.  
Riv. Co. Waste Management Dept.  
3rd District Supervisor  
3rd District Planning Commissioner  
Valley-Wide Recreation & Parks Dist.  
County Service Area No. 36

Idyllwild Fire District  
Eastern Municipal Water Dist.  
Southern California Edison  
Southern California Gas Co.  
Caltrans District #8  
Regional Water Quality Board- Colorado River  
Eastern Information Center- UCR

**PLOT PLAN NO. 25210** – EA42544 – Applicant: Jung Hwan Choi – Engineer/Representative: Hyung Jin Seo – Third/Third Supervisorial District – Idyllwild Zoning District - Remap Area Plan: Community Development: Commercial Retail (CR) – Location: Northerly of Strawberry Valley Drive, easterly of Saunders Meadow, and westerly of Bickneil Lane – .42 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** Existing 2 Story Building to be converted to a Resort/Hotel – APN: 565-171-006

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on December 20, 2012**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **H.P Kang**, Project Planner, at **(951) 955-1888** or email at **hp kang@rcplma.org / MAILSTOP# 1070**.

Public Hearing Path: DH:  PC:  BOS:

COMMENTS:

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

PLEASE PRINT NAME AND TITLE: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_

*If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.*

December 10, 2012

H.P. Kang, Project Planner  
Riverside County Planning Department  
P.O. Box No. 1409  
Riverside, CA 92502-1409

**RE: Plot Plan (PP) No. 25210 – Convert an Existing 2 Story Building into a Resort/Hotel (APN: 565-171-006)**

Dear Mr. Kang:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project, located easterly of Saunders Meadow, northerly of Strawberry Valley Drive, and westerly of Bickneil Lane in the Remap Area Plan. The RCWMD recommends the following conditions for approval of PP 25210:

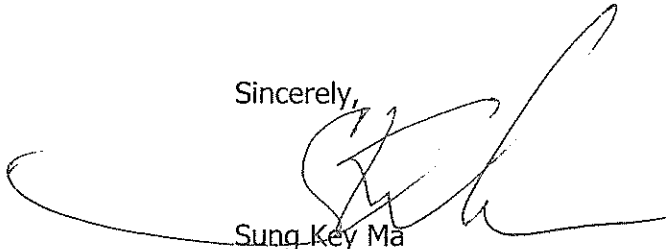
1. a) **Prior to issuance of a building permit**, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.
- b) **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.
2. **Prior to issuance of a building permit**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to *Design Guidelines for Recyclables Collection and Loading Areas*, provided by the Waste Management Department, and shall show the location of and access to the

collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

3. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan(s), as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection
4. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the development of the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding determination, transportation, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234
5. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
6. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3283.

Sincerely,



Sung Key Ma  
Urban/Regional Planner IV

**PD #130153**





COUNTY OF RIVERSIDE  
**DEPARTMENT OF ENVIRONMENTAL HEALTH**

**Date:** July 15, 2013

**To:** HP Kang  
Riverside County Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside, California 92502  
Fax: (951) 955-8631

**From:** Steven Hinde, REHS, CIH *SK*  
Senior Industrial Hygienist  
Department of Environmental Health  
Office of Industrial Hygiene  
3880 Lemon Street, Ste. 200  
Riverside, California 92501  
(951) 955-8980  
Fax: (951) 955-8988



**Report written by:** Steven Hinde, REHS, CIH  
Senior Industrial Hygienist

**Project Reviewed:** Plot Plan No. 25210

**Reference Number:** SR# 28715

**Applicant:** Jung Chio  
26500 Idyllwild Road  
Idyllwild, CA 92549

**Noise Consultant:** Roma Environmental  
Temecula, CA

**Review Stage:** First Review

**Information**  
**Provided:**

"Noise Impact Analysis for the Idyllwild Motel PP 25210, Idyllwild, California 92549" dated June 27, 2013

**Noise Standards:**

1. The "Noise Element" section of the Riverside County General Plan states "to avoid future noise hazard, the maximum capacity design standard (average daily trips) for highways and major roads" (including airports) "shall be used for determining the maximum future noise level" or, in the case of freeways and airports, the projected conditions for 20 years in the future may be used.
2. The interior noise levels in residential dwellings shall not exceed 45 Ldn (CNEL).
3. The exterior noise level shall not exceed 65 Ldn.

**Highway Prediction Model:**

Using FHWA RD 77-108 Highway Traffic Prediction Model, the noise consultant shall estimate noise impacts (Ldn) from the Highways (design capacity "C" Level of Service).

**Acoustical Parameters for County Highways:**

1. Average daily traffic (ADT) design capacity of 16,700 assumed for Hwy 243 (the County General Plan classifies Hwy 243. as a "Mountain Arterial" highway quoted from the "Remap Area Plan Circulation, Vol. 2 Figure 6, dated Aug. 03".
2. Truck/Auto Mix as follows (Riverside Co. Road Department):

**For Mountain Arterial Highway**

VEHICLE	Overall %	DAY(7AM-7PM)	EVENING(7PM-10PM)%	NIGHT(10PM-7AM)%
Auto	92	69.5	12.9	9.6
Med. Truck	3	1.44	0.06	1.5
Heavy Truck	5	2.4	0.1	2.5

3. Traffic Speed of 40 MPH.
4. The distance from the center of Hwy 243 to the nearest building face is estimated to be 113 feet
5. Modeling for Hwy 243 done using a "hard site" assumption for exterior.
6. The standard residential design with windows closed provides a 20 dB, A-weighted (reduction inside) attenuation.
7. Barrier calculations based on receptor at 10 feet from the barrier and at a 5

foot elevation for wall barrier height at or less than six feet. However, a receptor placement of 3-foot elevation is required when a wall barrier height is greater than six feet.

8. Interior calculations based on receptor at a 5-foot elevation inside the dwelling in the room nearest the noise source and 14 feet above the pad for the second floor in the middle of the room nearest the noise source.

### **Findings:**

The consultant's report is adequate. Based on our calculations the wall heights recommended should provide sufficient attenuation to reduce interior roadway noise levels to below 45 Ldn.

### **Recommendations:**

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

1. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official. County of Riverside Ordinance No. 847, Section 2
2. During construction, best efforts should be made to locate stockpiling and/or stationary noise-generating construction equipment from the property line of existing of sensitive receptors, when and where feasible.
3. All construction equipment should be properly maintained with operation mufflers and air intake silencers as effective as those installed by the original manufacture.
4. To minimize noise from idling engines, all vehicles and construction equipment shall be prohibited from idling in excess of three minutes, when not in use.

### To be incorporated into the project design:

5. In-window, through-wall, or through-floor air-conditioning, ventilating, or heating units shall not be used.
6. Through-the-wall/ door mailboxes or mail slots shall not be used.
7. Windows on the first floor should have an Sound Transmission Class (STC) rating a minimum of 32.

8. Sliding glass doors on the second floor should have an STC rating a minimum of 28.
9. Provide "windows closed" condition requiring mechanical ventilation.
10. All window, door and sliding glass door assemblies used shall be free of cut outs and openings and shall be well fitted and well weather-stripped and have positive seal.
11. At any penetrations of exterior wall by pipes, ducts or conduits, the space between the wall and pipes, ducts or conduits shall be caulked or filled with mortar to form an airtight seal





Carolyn Syms Luna  
Director

# RIVERSIDE COUNTY PLANNING DEPARTMENT

## APPLICATION FOR APPEAL

DATE SUBMITTED: December 12, 2013

Appeal of application case No(s): PP25210

Name of Advisory Agency: Planning Department *List all concurrent applications*

Date of the decision or action: December 2, 2013

Appellant's Name: Juan C. Perez, Interim Planning Director E-Mail: jcperetz@rctlma.org

Mailing Address: 4080 Lemon Street, 12th Floor  
Riverside, CA 92501  
City State ZIP

Daytime Phone No: ( 951 ) 955-6097 Fax No: ( 951 ) 955-1811

ADVISORY AGENCY WHOSE ACTION IS BEING APPEALED	HEARING BODY TO WHICH APPEAL IS BEING MADE	APPEAL TO BE FILED WITH
Planning Director	<ul style="list-style-type: none"> <li>• <b>Board of Supervisors</b> for: Temporary Outdoor Events, Substantial Conformance Determination for WECS, Variances, and Fast Track Plot Plans.</li> <li>• <b>Planning Commission</b> for: all other decisions.</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Clerk of The Board</b> for: Appeals before the Board of Supervisors.</li> <li>• <b>Planning Department</b> for: Appeals before the Planning Commission.</li> </ul>
Planning Commission	<b>Board of Supervisors</b>	<b>Clerk of the Board of Supervisors</b>

TYPE OF CASES BEING APPEALED	FILING DEADLINE
<ul style="list-style-type: none"> <li>• Change of Zone denied by the Planning Commission</li> <li>• Commercial WECS Permit</li> <li>• Conditional Use Permit</li> <li>• Hazardous Waste Facility Siting Permit</li> <li>• Public Use Permit</li> <li>• Variance</li> <li>• Specific Plan denied by the Planning Commission</li> <li>• Substantial Conformance Determination for WECS</li> <li>• Surface Mining and Reclamation Permit</li> </ul>	Within 10 days after the notice of decision appears on the Board of Supervisors Agenda.

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555

**APPLICATION FOR APPEAL**

<ul style="list-style-type: none"> <li>• Land Division (Tentative Tract Map or Tentative Parcel Map)</li> <li>• Revised Tentative Map</li> <li>• Minor Change to Tentative Map</li> <li>• Extension of Time for Land Division (not vesting map)</li> </ul>	<p>Within 10 days after the notice of decision appears on the Board of Supervisor's Agenda.</p>
<ul style="list-style-type: none"> <li>• Extension of Time for Vesting Tentative Map</li> </ul>	<p>Within 15 days after the notice of decision appears on the Board of Supervisor's agenda.</p>
<ul style="list-style-type: none"> <li>• General Plan or Specific Plan Consistency Determination</li> <li>• Temporary Outdoor Event</li> </ul>	<p>Within 10 days after date of mailing or hand delivery of decision of the Planning Director.</p>
<ul style="list-style-type: none"> <li>• Environmental Impact Report</li> </ul>	<p>Within 10 days of receipt of project sponsor or Planning Director determination, or within 7 days after notice of decision by Planning Commission appears on the Board's agenda.</p>
<ul style="list-style-type: none"> <li>• Plot Plan</li> <li>• Second Unit Permit</li> <li>• Temporary Use Permits</li> <li>• Accessory WECS</li> </ul>	<p>Within 10 calendar days after the date of mailing of the decision.</p>
<ul style="list-style-type: none"> <li>• Letter of Substantial Conformance for Specific Plan</li> </ul>	<p>Within 7 days after the notice of decision appears on the Board of Supervisor's agenda.</p>
<ul style="list-style-type: none"> <li>• Revised Permit</li> </ul>	<p>Same appeal deadline as for original permit.</p>
<ul style="list-style-type: none"> <li>• Certificate of Compliance</li> <li>• Tree Removal Permit</li> </ul>	<p>Within 10 days after the date of the decision by the Planning Director.</p>
<ul style="list-style-type: none"> <li>• Revocation of Variances and Permits</li> </ul>	<p>Within 10 days following the mailing of the notice of revocation by the Director of Building and Safety, or within 10-days after the notice of decision of the Planning Commission appears on the Board of Supervisor's agenda.</p>

**PLEASE STATE THE REASONS FOR APPEAL.**

Please state the basis for the appeal and include any supporting evidence if applicable. If appealing one or more specific conditions of approval, indicate the number of the specific condition(s) being protested. In addition, please include all actions on related cases, which might be affected if the appeal is granted. This will allow all changes to be advertised and modified at the same time. AN APPEAL OF ONE OR MORE CONDITIONS OF APPROVAL SHALL BE DEEMED AS AN APPEAL OF THE ACTION AS A WHOLE, AND THE APPEAL BODY MAY APPROVE OR DENY THE ENTIRE MATTER, AND CHANGE ANY OR ALL OF THE CONDITIONS OF APPROVAL.

**APPLICATION FOR APPEAL**

The project as proposed may not be consistent nor compatible with the surrounding area and therefore is being requested to be heard before the Planning Commission.

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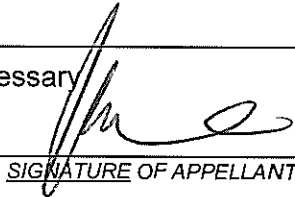
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Use additional sheets if necessary

Juan C. Perez, Interim Planning Director, on behalf of  
Supervisor Stone

*PRINTED NAME OF APPELLANT*



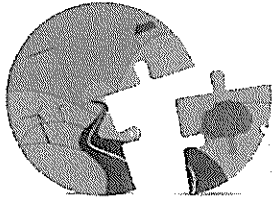
*SIGNATURE OF APPELLANT*

12/12/13  
*DATE*

**THE APPEAL FILING PACKAGE MUST CONSIST OF THE FOLLOWING:**

1. One completed and signed application form.
2. Public Hearing Notice Label Requirements mailing address labels for notification of the appeal hearing.
3. All appropriate filing fees (the base fee, plus other fees specifically for the Department of Building and Safety, Fire Department, Flood Control District and/or Transportation Department conditions, if applicable).

PLEASE NOTE: Obtain surrounding property owners label package/instructions (Form 295-1051) from a County Public Information Services Center or download it from the Planning Department web page.



Carolyn Syms Luna  
Director

11/11  
0006399

RIVERSIDE COUNTY  
PLANNING DEPARTMENT

### APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- |   |   |   |
|---|---|---|
| <input checked="" type="checkbox"/> PLOT PLAN | <input type="checkbox"/> CONDITIONAL USE PERMIT | <input type="checkbox"/> TEMPORARY USE PERMIT |
| <input type="checkbox"/> REVISED PERMIT       | <input type="checkbox"/> PUBLIC USE PERMIT      | <input type="checkbox"/> VARIANCE             |

PROPOSED LAND USE: N/A

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: Sect. 9.50.(A)(99)

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP25210 DATE SUBMITTED: 9.12.12  
EA 42544 OF 6 05919

**APPLICATION INFORMATION**

Applicant's Name: JUNG HWAN CHOI E-Mail: choi200802@msn.com

Mailing Address: 26500 IDYLLWILD ROAD PO Box 1393  
Street  
IDYLLWILD CA 92549  
City State ZIP

Daytime Phone No: (714) 688-6066 Fax No: ( ) \_\_\_\_\_

Engineer/Representative's Name: HYUNG JIN SEO E-Mail: jsarch01@gmail.com

Mailing Address: 1130 OUAIL MEADOW  
Street  
IRVINE CA 92603  
City State ZIP

Daytime Phone No: (949) 892-9732 Fax No: ( ) \_\_\_\_\_

Property Owner's Name: JUNG HWAN CHOI E-Mail: choi200802@msn.com

Mailing Address: 26500 IDYLLWILD ROAD  
Street  
IDYLLWILD CA 92549  
City State ZIP

Daytime Phone No: (714) 688-6066 Fax No: ( ) \_\_\_\_\_

Riverside Office · 4080 Lemon Street, 12th Floor  
P.O. Box 1409, Riverside, California 92502-1409  
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road  
Palm Desert, California 92211  
(760) 863-8277 · Fax (760) 863-7555



**APPLICATION FOR LAND USE PROJECT**

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

***AUTHORIZATION FOR CONCURRENT FEE TRANSFER***

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

**JUNG HWAN CHOI**

PRINTED NAME OF APPLICANT



SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Choi Jung H

PRINTED NAME OF PROPERTY OWNER(S)



SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 565-171-006-3

Section: 18 Township: 5S Range: 3E

**APPLICATION FOR LAND USE PROJECT**

Approximate Gross Acreage: 17.819 SQFT / 0.62 ACRES

General location (nearby or cross streets): North of STRAWBERRY YAWES DR., South of GR 247, East of SAUNDERS MEADOW DR., West of DICKWELL LN.

Thomas Brothers map, edition year, page number, and coordinates: 2005 EDITION PG 814-E-7

Project Description: (describe the proposed project in detail)

EXISTING 2 STORY BUILDING TO BE CONVERTED TO RESORT/HOTEL.  
RENOVATION OF SITE LAYOUT, EXTERIOR STAIRS, DECKS AND INTERIOR WALLS.

Related cases filed in conjunction with this application:

PAR 01310

Is there a previous application filed on the same site: Yes  No

If yes, provide Case No(s). \_\_\_\_\_ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) \_\_\_\_\_ E.I.R. No. (if applicable): \_\_\_\_\_

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes  No

If yes, indicate the type of report(s) and provide a copy: \_\_\_\_\_

Is water service available at the project site: Yes  No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes  No

Is sewer service available at the site? Yes  No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes  No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 169 CU.YD.

**APPLICATION FOR LAND USE PROJECT**

Estimated amount of fill = cubic yards 22 CU.YD.

Does the project need to import or export dirt? Yes  No

Import \_\_\_\_\_ Export 121 CU.YD. Neither \_\_\_\_\_

What is the anticipated source/destination of the import/export?  
MINOR BACKYARD GRADING OF 4" x 6" CUT.

What is the anticipated route of travel for transport of the soil material?  
SR 249 TO I-10 OR SR 249 TO SR 74

How many anticipated truckloads? 8 truck loads.

What is the square footage of usable pad area? (area excluding all slopes) EXIST. 26006 sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes  No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes  No

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes  No

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes  No

Does the project area exceed one acre in area? Yes  No

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

- Santa Ana River     Santa Margarita River     San Jacinto River     Whitewater River

**PROPERTY OWNERS CERTIFICATION FORM**

**PP25210**

**APN 565-171-006**

I, Mickey Zolezio, certify that on  
(Print Name)

8/27/2013 the attached property owners list  
(Date)

was prepared by County of Riverside / GIS  
(Print Company or Individual's Name)

Distance Buffered : 600'

Pursuant to application requirements furnished by the Riverside County Planning Department; Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Mickey Zolezio

TITLE/REGISTRATION Senior GIS Analyst

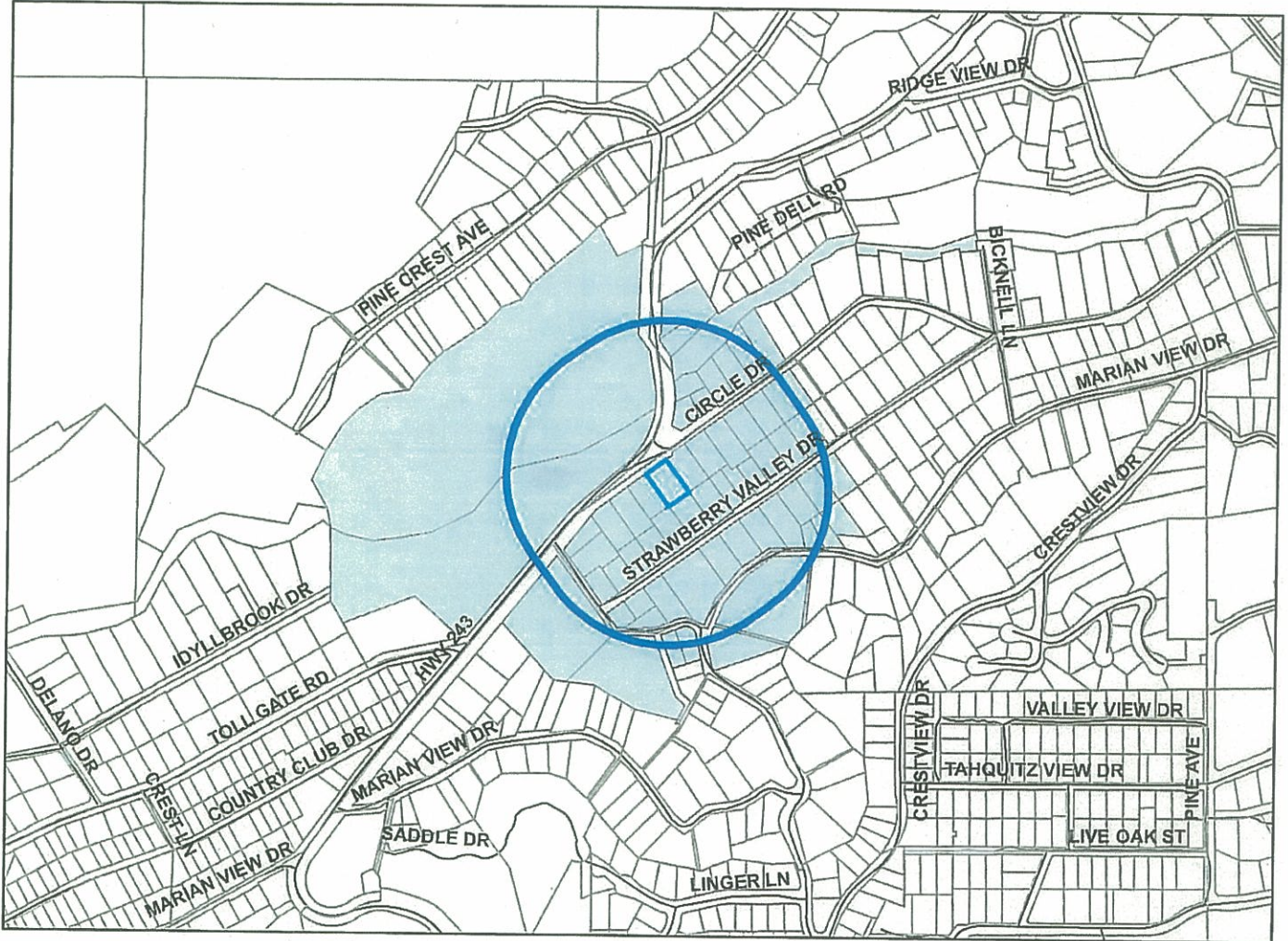
ADDRESS: 4080 Lemon St. 10<sup>th</sup> Floor

Riverside, CA 92501

TELEPHONE (8 a.m. – 5 p.m.): (951) 955-4649



# PP25210



## Selected Parcels

565-171-030	565-091-005	565-172-012	565-172-009	565-171-035	565-172-001	565-171-037	565-171-033	565-091-003	565-171-013
565-180-001	565-091-002	565-091-004	565-172-013	565-171-010	565-171-011	565-171-018	565-171-019	565-171-012	561-143-002
565-180-023	565-080-049	561-020-025	561-020-027	565-091-026	565-091-027	565-172-007	565-171-032	565-171-005	565-180-006
565-180-007	565-171-006	565-171-027	565-172-003	565-091-020	565-171-020	565-171-023	565-171-024	565-172-019	565-171-008
565-171-009	565-171-029	565-171-001	565-171-036	565-172-020	565-172-021	565-171-039	565-172-010	565-172-011	565-180-002
565-080-028	565-080-053	565-171-017	565-172-002	565-171-007	565-172-008	565-171-022	565-172-024	565-172-025	



525 262.5 0 525 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 561020027, APN: 561020027  
CONFERENCE CENTER, ETAL  
P O BOX 425  
IDYLLWILD CA 92549

ASMT: 565091005, APN: 565091005  
LUCY DOREMUS, ETAL  
53 TOSCANA WAY E  
RANCHO MIRAGE CA 92270

ASMT: 561143002, APN: 561143002  
HEMET SCHOOL DIST  
HEMET SCHOOL DIST  
5550 LBJ FREEWAY STE 700  
DALLAS TX 75240

ASMT: 565091020, APN: 565091020  
LINDA CARR  
P O BOX 1425  
IDYLLWILD CA 92549

ASMT: 565080049, APN: 565080049  
IDYLLWILD ALL YEAR RESORT  
BOX 147  
IDYLLWILD CA 92549

ASMT: 565091027, APN: 565091027  
NORMA BURGESS, ETAL  
2956 E DEL MAR BLVD 227  
PASADENA CA 91107

ASMT: 565080053, APN: 565080053  
CURT SCOTT, ETAL  
C/O STRAWBERRY CREEK INN  
P O BOX 1818  
IDYLLWILD CA 92549

ASMT: 565171001, APN: 565171001  
NAM KIM  
PO BOX 3143  
IDYLLWILD CA 92549

ASMT: 565091002, APN: 565091002  
TONY GUENTHER, ETAL  
328 PIAZZA LIDO  
NEWPORT BEACH CA 92663

ASMT: 565171005, APN: 565171005  
JIM HUNTOON  
41104 MAYBERRY AVE  
HEMET CA 92544

ASMT: 565091003, APN: 565091003  
TRUDY JOHNSTON, ETAL  
23 AMBASSADOR CIR  
RANCHO MIRAGE CA 92270

ASMT: 565171006, APN: 565171006  
JUNG CHOI  
P O BOX 1393  
IDYLLWILD CA 92549

ASMT: 565091004, APN: 565091004  
KAREN SHEETS, ETAL  
4230 THERESA AVE  
LONG BEACH CA 90814

ASMT: 565171007, APN: 565171007  
SQUARE PEG ROUND HOLE  
P O BOX 243  
IDYLLWILD CA 92549

ASMT: 565171009, APN: 565171009  
CASSANDRA LAWTON, ETAL  
1840 HERMOSA AVE  
HERMOSA BEACH CA 90254

ASMT: 565171024, APN: 565171024  
MERCEDES MORENO  
2003 S EL CAMINO REAL 109  
OCEANSIDE CA 92054

ASMT: 565171013, APN: 565171013  
JAMES POMEROY, ETAL  
P O BOX 3837  
HEMET CA 92546

ASMT: 565171027, APN: 565171027  
KENNA DAHLEEN  
P O BOX 3094  
IDYLLWILD CA 92549

ASMT: 565171017, APN: 565171017  
REBECCA JOHNSON, ETAL  
1874 FANWOOD  
LONG BEACH CA 90815

ASMT: 565171029, APN: 565171029  
JENNIFER MCCAGHREN MORTON, ETAL  
P O BOX 492  
IDYLLWILD CA 92549

ASMT: 565171019, APN: 565171019  
DWIGHT SIGWORTH, ETAL  
C/O EDWINA BARATS  
606 STILLWELL DR  
EAGLE ID 83616

ASMT: 565171030, APN: 565171030  
ANNE COX  
6718 CATALINA DR  
RIVERSIDE CA 92504

ASMT: 565171020, APN: 565171020  
JAMES MABERY, ETAL  
P O BOX 390218  
ANZA CA 92539

ASMT: 565171032, APN: 565171032  
JEFFREY CRIDER  
P O BOX 16678  
SAN DIEGO CA 92176

ASMT: 565171022, APN: 565171022  
GERALDINE JOHN, ETAL  
P O BOX 83  
IDYLLWILD CA 92549

ASMT: 565171033, APN: 565171033  
BAILEY MITCHELL, ETAL  
P O BOX 1483  
IDYLLWILD CA 92549

ASMT: 565171023, APN: 565171023  
MARY COLVIN  
20018 CEDAR ACRES DR  
RIDGEFIELD WA 98642

ASMT: 565171035, APN: 565171035  
CALFAMVEST  
PMB 192  
43430 HIGHWAY 74 STE F  
HEMET CA 92544

ASMT: 565171036, APN: 565171036  
NAM PARK  
C/O YAK Y PARK  
P O BOX 3143  
IDYLLWILD CA 92549

ASMT: 565172008, APN: 565172008  
HILDE WEAVER, ETAL  
2381 QUINCY WAY  
PALM SPRINGS CA 92262

ASMT: 565171037, APN: 565171037  
CATHERINE DEARING  
P O BOX 344  
IDYLLWILD CA 92549

ASMT: 565172009, APN: 565172009  
BUERKLE FAMILY TRUST  
C/O PETER J BUERKE  
15811 WICKLOW LN  
HUNTINGTON BEACH CA 92647

ASMT: 565171039, APN: 565171039  
ANGELO GEORGIN, ETAL  
25996 MONTE CARLO WAY  
MISSION VIEJO CA 92692

ASMT: 565172010, APN: 565172010  
VOLA CORBIN, ETAL  
C/O OWEN CORBIN  
P O BOX 44  
DAGGETT CA 92327

ASMT: 565172001, APN: 565172001  
MILDRED SEERIGHT, ETAL  
P O BOX 1009  
IDYLLWILD CA 92549

ASMT: 565172011, APN: 565172011  
PAUL BAILEY  
7119 SEAWIND DR  
LONG BEACH CA 90803

ASMT: 565172002, APN: 565172002  
DAVID ARNAIZ, ETAL  
802 STEVENS AVE  
SOLANA BEACH CA 92075

ASMT: 565172012, APN: 565172012  
BONNIE WOLF  
P O BOX V  
IDYLLWILD CA 92549

ASMT: 565172003, APN: 565172003  
CHERIE BERRYMAN BEYER, ETAL  
P O BOX 251  
IDYLLWILD CA 92549

ASMT: 565172013, APN: 565172013  
ANTJE BANKS, ETAL  
P O BOX 875  
IDYLLWILD CA 92549

ASMT: 565172007, APN: 565172007  
JAMES TATUM  
P O BOX 1696  
IDYLLWILD CA 92549

ASMT: 565172019, APN: 565172019  
REBECCA ANDELSON, ETAL  
75545 MARY LN  
INDIAN WELLS CA 92210



ASMT: 565172021, APN: 565172021  
NEIL SCHROEDER  
C/O WESTERN DENTAL  
P O BOX 3470  
CAMARILLO CA 93011

ASMT: 565172025, APN: 565172025  
MELODY BLASCHKO, ETAL  
P O BOX 3029  
IDYLLWILD CA 92549

ASMT: 565180001, APN: 565180001  
ELANIE MOORE  
P O BOX 1462  
IDYLLWILD CA 92549

ASMT: 565180002, APN: 565180002  
CAROL GAFFNEY, ETAL  
4964 PINE ST  
LA MESA CA 91941

ASMT: 565180007, APN: 565180007  
LINDA LAWRENCE, ETAL  
2034 N PECK RD  
EL MONTE CA 91733

ASMT: 565180023, APN: 565180023  
HEMET VALLEY UNION SCHOOL DIST  
HEMET VALLEY UNION SCHOOL DIST  
UNKNOWN

Terilee Hammett  
40450 Chaparral Drive  
Temecula, CA 92592

3rd Supervisor District  
Jeff Stone, Supervisor  
Board of Supervisors, Riverside County  
Mail Stop 1003

ATTN: Mark Knorringa  
Building Industry Assoc.  
3891 11th St.  
Riverside, CA 92501-2973

Bureau of Land Management,  
U.S. Department of the Interior  
22835 Calle San Juan de los Lagos  
Moreno Valley, CA 92553

California State  
Dept. of Forestry & Fire Protection  
210 W. San Jacinto Ave.  
Perris, CA 92570-1915

California State  
Dept. of Parks & Recreation  
1416 9th St., Rm 1435  
P.O. Box 942896  
Sacramento, CA 95814

ATTN: District Services Manager  
California State Parks, Colorado Desert  
District  
200 Palm Canyon Dr.  
Borrego Springs, CA 92004

ATTN: Senator Jim Battin  
California State Senate, 37th District  
73-710 Fred Waring Dr., Suite 112  
Palm Desert, CA 92260-2574

Fern Valley Water District  
55790 S. Circle Dr.  
P.O. Box 3039  
Idyllwild, CA 92549

Hill Municipal Advisory Council  
P.O. Box 1200  
Idyllwild, CA 92549

Idyllwild Chamber of Commerce  
54295 Village Center Dr.  
P.O. Box 304  
Idyllwild, CA 92549

Idyllwild Fire Department  
54160 Maranatha Dr.  
P.O. Box 656  
Idyllwild, CA 92549-0656

Idyllwild Property Owners' Assoc.  
P.O. Box 165  
Idyllwild, CA 92549

Idyllwild Water District  
25945 Hwy. 243  
P.O. Box 397  
Idyllwild, CA 92549

Mountain Area Planning Council  
P.O. Box 394  
Idyllwild, CA 92549

Mt. San Jacinto State Park  
25905 Hwy. 243  
Idyllwild, CA 92549

Natural Resources Conservation Services  
950 N. Ramona Blvd., Suite 6  
San Jacinto, CA 92582-2567

Pine Cove County Water District  
24917 Marion Ridge Dr.  
P.O. Box 2296  
Idyllwild, CA 92549

Pine Cove Property Owners' Assoc.  
P.O. Box 2023  
Idyllwild, CA 92549

ATTN: Ruth Watling  
Pinyon Community Council  
69030 Pinesmoke #51  
Mountain Center, CA 92561

Pinyon Pines County Water District  
63500 Pozo Dr.  
Mountain Center, CA 92561-3578

Pinyon Pines Homeowners' Assoc.  
Pinyon Pines 69  
Mountain Center, CA 92561

ATTN: John Petty  
c/o Mary Stark, Planning Commission  
Secretary  
Planning Commission, Riverside County  
Mail Stop 1070

ATTN: Bruce Colbert, Executive Dir.  
Property Owners of Riverside County  
P.O. Box 127  
Riverside, CA 92502

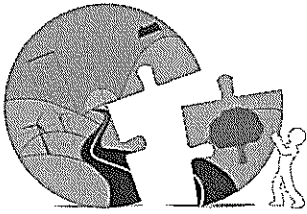
ATTN: Aida Martin  
Rural Community United  
P.O. Box 760  
Aguanga, CA 92536

San Bernardino National Forest,  
Forest Service  
U.S. Department of Agriculture  
1824 Commercenter Cir.  
San Bernardino, CA 92408-3430

San Jacinto Ranger Station,  
Forest Service  
U.S. Department of Agriculture  
54270 Pinecrest  
P.O. Box 518  
Idyllwild, CA 92549

Applicant/Owner:  
Jung Hwan Choi  
P. O. Box 1393  
Idyllwild, CA 92549

Architect/representative:  
Hyung Jin Seo  
1130 Quail Meadow  
Irvine, CA 92603



RIVERSIDE COUNTY  
PLANNING DEPARTMENT

Carolyn Syms Luna  
Director

## NEGATIVE DECLARATION

Project/Case Number: Plot Plan No. 25210

Based on the Initial Study, it has been determined that the proposed project will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION (see Environmental Assessment No. 42544).

COMPLETED/REVIEWED BY:

By: H. P. Kang Title: Project Planner Date: October 7, 2013

Applicant/Project Sponsor: Jung Hwan Choi Date Submitted: September 12, 2012

ADOPTED BY: Planning Director

Person Verifying Adoption: \_\_\_\_\_ Date: \_\_\_\_\_

The Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501

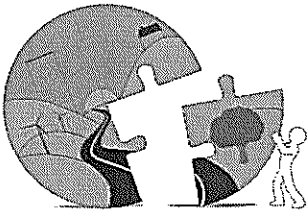
For additional information, please contact H. P. Kang at (951) 955-1888.

Revised: 10/16/07

Y:\Planning Case Files-Riverside office\PP25210\DH-PC-BOS Hearings\DH-PC\Negative Declaration.PP25210.docx

Please charge deposit fee case#: ZEA42544 ZCFG5919 \$2,156.25 +\$50

FOR COUNTY CLERK'S USE ONLY



# RIVERSIDE COUNTY PLANNING DEPARTMENT

**Carolyn Syms Luna**  
Director

TO:  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

FROM: Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42544/Plot Plan No. 25210

Project Title/Case Numbers

H. P. Kang  
County Contact Person

951-955-1888  
Phone Number

N/A  
State Clearinghouse Number (if submitted to the State Clearinghouse)

Jung Hwan Choi  
Project Applicant

26500 Idyllwild Road, Idyllwild, CA 92549  
Address

The project is located at the Northerly of Strawberry Valley Drive, easterly of Saunders Meadow, and westerly of Bickneil Lane and southerly of Highway 243.

Project Location

The plot plan proposes to convert an existing 2,606 square foot 2-story apartment building to 5 unit resort/hotel with one manager's unit on approximately 0.41 acres. There is no added square footage to this proposal and all modifications are interior with one additional accessible parking space to the rear of the property.

Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on \_\_\_\_\_, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,156.25 + \$50.00).
3. Mitigation measures WERE NOT made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

\_\_\_\_\_  
Signature Title Date

Date Received for Filing and Posting at OPR: \_\_\_\_\_

HK/hk  
Revised 8/25/2009  
Y:\Planning Case Files-Riverside office\PP25248\DH-PC-BOS Hearings\DH-PC\NOD Form.PP25248.docx

Please charge deposit fee case#: ZEA42544 ZCFG5919 . \$2,156.25

**FOR COUNTY CLERK'S USE ONLY**



COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

A\* REPRINTED \* R1208093

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHOI JUNG HWAN \$64.00  
paid by: CK 5044  
CFG FOR EA42544  
paid towards: CFG05919 CALIF FISH & GAME: DOC FEE  
at parcel: 26500 IDYLLWILD RD IDYL  
appl type: CFG3

By \_\_\_\_\_ Sep 12, 2012 11:35  
MGARDNER posting date Sep 12, 2012

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

S\* REPRINTED \* R1308268

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: CHOI JUNG HWAN \$2,156.25  
paid by: CK 5497  
CFG FOR EA42544  
paid towards: CFG05919 CALIF FISH & GAME: DOC FEE  
at parcel: 26500 IDYLLWILD RD IDYL  
appl type: CFG3

By \_\_\_\_\_ Aug 29, 2013 13:44  
BNTHOMAR posting date Aug 29, 2013

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,156.25

Overpayments of less than \$5.00 will not be refunded!

Agenda Item No.: 3.8  
Area Plan: Elsinore  
Zoning Area: Alberhill  
Supervisory District: First/First  
Project Planner: Damaris Abraham  
Planning Commission: January 15, 2014

CONDITIONAL USE PERMIT NO. 3439,  
REVISED PERMIT NO. 1  
Environmental Assessment No. 42613  
Applicant: Ottavio and Marie Forcone  
Engineer/Representative: Glen Daigle

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

The Revised Permit proposes to replace the proposed earth mounding over the Liquid Propane Gas (LPG) tanks with Infrared flame detection and shut-off system for the previously approved LPG distribution facility which includes three 30,000 gallon liquid propane tanks.

The project site is located northeasterly of I-15 Freeway, southwesterly of Temescal Canyon Road, and easterly side of earthmover Circle, more specifically 26362 Earthmover Circle.

### BACKGROUND:

**Conditional Use Permit No. 3439** proposed a Liquid Propane Gas (LPG) distribution facility consisting of three 30,000 gallon liquid propane tanks, a 2,400 square foot office, seven standard parking spaces, and one accessible parking space and was approved by the Planning Commission on March 23, 2011.

**Conditional Use Permit No. 3439, Substantial Conformance No. 1** proposed the reduction of the building size from 2,400 sq. ft. to 1,360 sq. ft., relocation of the leach field, elimination of the circular drive and replacing it with straight drive with a hammerhead turn around, and replacement of three (3) block walls with earth mounds around the three (3) tanks and was approved administratively on May 2, 2012.

**Conditional Use Permit No. 3439, Substantial Conformance No. 2** proposed the deletion of two 6 foot high interior masonry walls not abutting the streets and was approved administratively on January 30, 2013.

An addendum to the previously adopted Mitigated Negative Declaration for Environmental Assessment No. 39785 was prepared for this project. The addendum was determined appropriate as a change was made to the mitigation measure proposed for the project. The project is now proposing to install an Infrared flame detection system tied to an offsite monitoring company to notify the Fire Department in lieu of the previously approved storage tank earth mounding. The Infrared flame detection system proposed to mitigate the potential impact from a Boiling Liquid Expanding Vapor Explosion (BLEVE) was reviewed and approved as an acceptable mitigation measure by the Fire Department. There are no major changes or additions to the previous CEQA document, as a result of the proposed project and none of the conditions described in CEQA Guidelines Section 15162 calling for the preparation of a subsequent negative declaration exist.

### SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (Ex. #5): Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio); Warm Springs and Temescal Wash Policy Areas
2. Surrounding General Plan Land Use (Ex. #5): Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio) to the north, south,

D.M.

- |                                   |   |
|-----------------------------------|---|
|                                   | east, and west  |
| 3. Existing Zoning (Ex. #2):      | Manufacturing-Service Commercial (M-SC)                                     |
| 4. Surrounding Zoning (Ex. #2):   | Manufacturing-Service Commercial (M-SC) to the north, south, east, and west |
| 5. Existing Land Use (Ex. #1):    | Vacant  |
| 6. Surrounding Land Use (Ex. #1): | General Commercial and Industrial uses                                      |
| 7. Project Data:                  | Total Acreage: 1.45<br>Total Building Area: 1,360 sq. ft.                   |
| 8. Environmental Concerns:        | See attached environmental assessment                                       |

**RECOMMENDATIONS:**

**CONSIDERATION** of an **ADDENDUM** to an **ADOPTED MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 39785**, based on the findings incorporated in the initial study (EA42613) and the conclusion that none of the conditions described in CEQA Guidelines Section 15162 exist; and,

**APPROVAL** of **CONDITIONAL USE PERMIT NO. 3439, REVISED PERMIT NO. 1**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (0.25-0.60 Floor Area Ratio) on the Elsinore Area Plan.
2. The Light Industrial land use designation allows for a wide variety of light industrial uses and related uses, including, but not limited to, assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers and supporting retail uses.
3. The project site located within the Warm Springs Policy Area of the Elsinore Area Plan. Policy ELAP 1.3 requires commercial and industrial uses to be sensitive to environmental hazards (i.e. flooding) and not substantially impact environmental resources (i.e. biological and water quality). The northeast corner of the property is located within the 100-yr Zone AE floodplain limits of Temescal Wash. However, no structural improvements are proposed within this area. The project site has also been designed not to have substantial impact on water quality as well as on biological resources.
4. The project site located within the Temescal Wash Policy Area of the Elsinore Area Plan. Policy ELAP 2.1 requires the protection of the multipurpose open space attributes of the Temescal Wash through adherence to policies in the Flood and Inundation Hazards section of the General Plan Safety Element, the Trails section of the Circulation Element, and the Open Space, Habitat and Natural Resource Preservation section of the Land Use Element. The northeast corner of the property is located within the 100-yr Zone AE floodplain limits of Temescal Wash. However, no structural improvements are proposed within this area. The project site has also been designed not to have substantial impact on water quality as well as on biological resources.



5. The project site is surrounded by properties which are designated Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio) to the north, south, east, and west.
6. The zoning for the subject site is Manufacturing-Service Commercial (M-SC).
7. The proposed use, natural gas storage, above ground, is a permitted use, subject to approval of a conditional use permit in the M-SC zone, in accordance with Section 11.2.c. (15) of Ordinance No. 348.
8. The proposed use, natural gas storage, above ground, is consistent with the development standards set forth in the M-SC zone.
9. The project site is surrounded by properties which are zoned Manufacturing-Service Commercial (M-SC) to the north, south, east, and west.
10. General Commercial and Industrial uses have been constructed and are operating in the project vicinity.
11. The project is located within the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP), in Cell Group F, Criteria Cell Number 3648. The Habitat Evaluation and Acquisition Negotiation Strategy (HANS) completed for the project area concluded that no conservation is described for this property. Therefore, the project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.
12. No new substantial changes are being proposed with this project. The size, the capacity as well as the footprint of the LPG distribution facility will remain the same. The only change that is being proposed with project is to provide a new mechanism of fire protection, which would be to install an Infrared flame detection system tied to an offsite monitoring company to notify the Fire Department in lieu of the previously approved storage tank earth mounding.
13. While the storage tank earth mounding is an acceptable measure of fire protection, it is costly and has drawbacks. Corrosion protection, earth stabilization, and water runoff will require the tanks be unearthed in three years to inspect the integrity of the steel storage tanks. On the other hand, using Infrared flame detection system will provide the needed fire protection and will also allow easy access to the tanks as well as to all connection points (piping and gauges) to inspect and ensure that the tanks are maintained and are in good working condition.
14. Addendum to a previously adopted Mitigated Negative Declaration for Environmental Assessment No. 39785 was prepared for this project. Under CEQA Guidelines Section 15164, an addendum to an adopted negative declaration shall be prepared only if minor technical changes or additions are necessary and none of the conditions are present as described in Section 15162 calling for the preparation of a subsequent negative declaration.
  - a. As provided in findings 12 and 13 above, no new substantial changes are proposed in the project which will require major revisions of the previous negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

- b. As provided in findings 12 and 13 above, no new substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or,
  - c. As provided in findings 12 and 13 above, no new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the negative declaration, was adopted.
  - d. Therefore, an addendum to a previous Mitigated Negative Declaration was prepared as part of this project as a change was made to the mitigation measure for the Hazards and Hazardous Materials section of the Initial Study. The project is now proposing to install an Infrared flame detection system tied to an offsite monitoring company to notify the Fire Department in lieu of the previously approved storage tank earth mounding. The Infrared flame detection system proposed to mitigate the potential impact from a Boiling Liquid Expanding Vapor Explosion (BLEVE) was reviewed and approved as an acceptable mitigation measure by the Fire Department. There are no major changes or additions to the previous CEQA document, as a result of the proposed project.
15. Addendum to Environmental Assessment No. 39785 identified the following potentially significant impact:
- a. Hazards and Hazardous Materials

This listed impact will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and none of the conditions described in CEQA Guidelines 15162 exist.

**CONCLUSIONS:**

- 1. The proposed project is in conformance with the Community Development: Light Industrial (0.25-0.60 Floor Area Ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
- 2. The proposed project is consistent with the Manufacturing-Service Commercial (M-SC) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
- 3. The public's health, safety, and general welfare are protected through project design.
- 4. The proposed project is compatible with the present and future logical development of the area.
- 5. The proposed project will not have a significant effect on the environment.
- 6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

**INFORMATIONAL ITEMS:**

- 1. As of this writing, no letters, in support or opposition have been received.

2. The project site is not located within:
  - a. A fault zone; or,
  - b. An Airport Influence area.
  
3. The project site is located within:
  - a. A high fire area;
  - b. Areas of Flooding Sensitivity;
  - c. The City of Lake Elsinore sphere of influence;
  - d. The boundaries of the Lake Elsinore Unified School District;
  - e. The Stephens Kangaroo Rat Fee Area;
  - f. An area susceptible to subsidence;
  - g. An area with High Paleontological sensitivity; and,
  - h. An area with low to moderate liquefaction potential.
  
2. The subject site is currently designated as Assessor's Parcel Numbers 391-480-021.

DA:da

Y:\Planning Case Files-Riverside office\CUP03439R1\DH-PC-BOS Hearings\DH-PC\Staff Report.CUP03439R1.docx

Date Prepared: 08/29/13

Date Revised: 12/12/13



**RIVERSIDE COUNTY PLANNING DEPARTMENT**  
**CUP03439R1**  
**VICINITY/POLICY AREAS**

Supervisor Jeffries  
 District 1

Date Drawn: 10/25/13  
 Vicinity Map



Zoning Area: Alberhill  
 Township/Range: T5SR5W  
 Section: 17

Assessors Bk. Pg. 391-480  
 Thomas Bros. Pg. 835 C3  
 Edition 2011



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.riverside.ca.us/index.html>

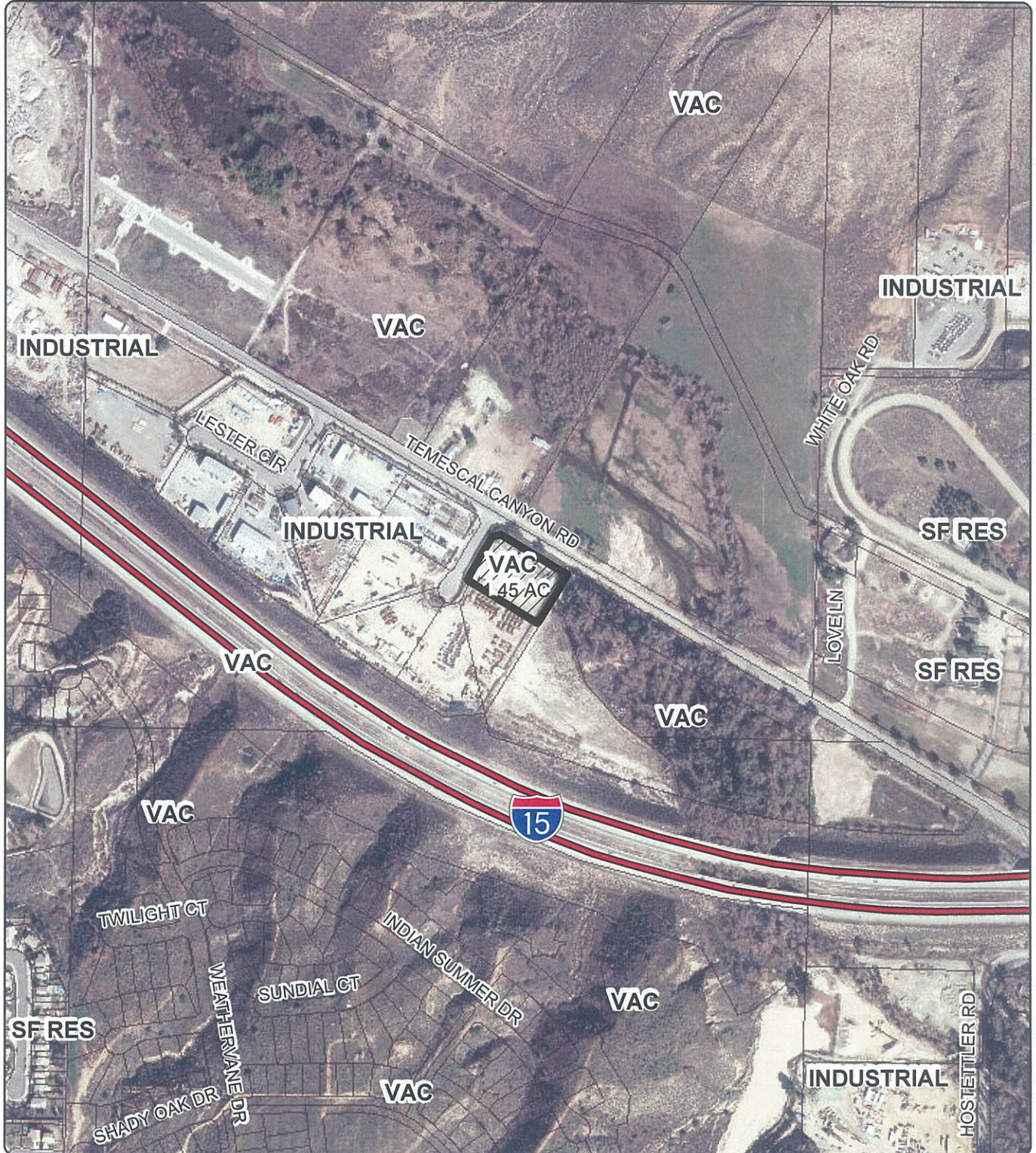


RIVERSIDE COUNTY PLANNING DEPARTMENT  
CUP03439R1

Supervisor Jeffries  
District 1

Date Drawn: 10/25/13  
Exhibit 1

LAND USE



Zoning Area: Alberhill  
Township/Range: T5SR5W  
Section: 17



Assessors Bk. Pg. 391-480  
Thomas Bros. Pg. 835 C3  
Edition 2011



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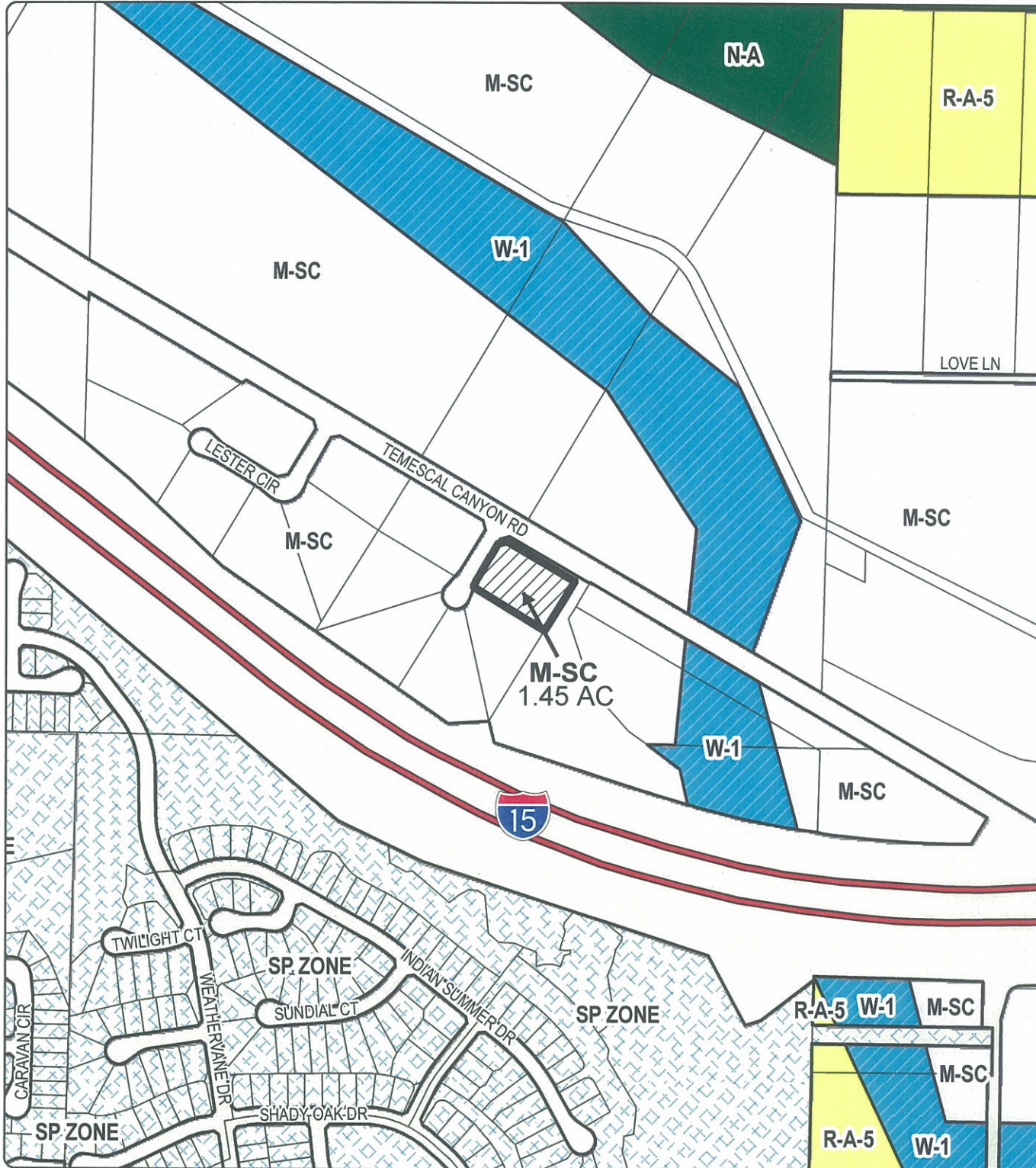


RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03439R1  
EXISTING ZONING

Supervisor Jeffries  
District 1

Date Drawn: 10/25.2013  
Exhibit 2



Zoning Area: Alberhill  
Township/Range: T5SR5W  
Section: 17

Assessors Bk. Pg. 391-480  
Thomas Bros. Pg. 835 C3  
Edition 2011

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lima.co.riverside.ca.us/index.html>





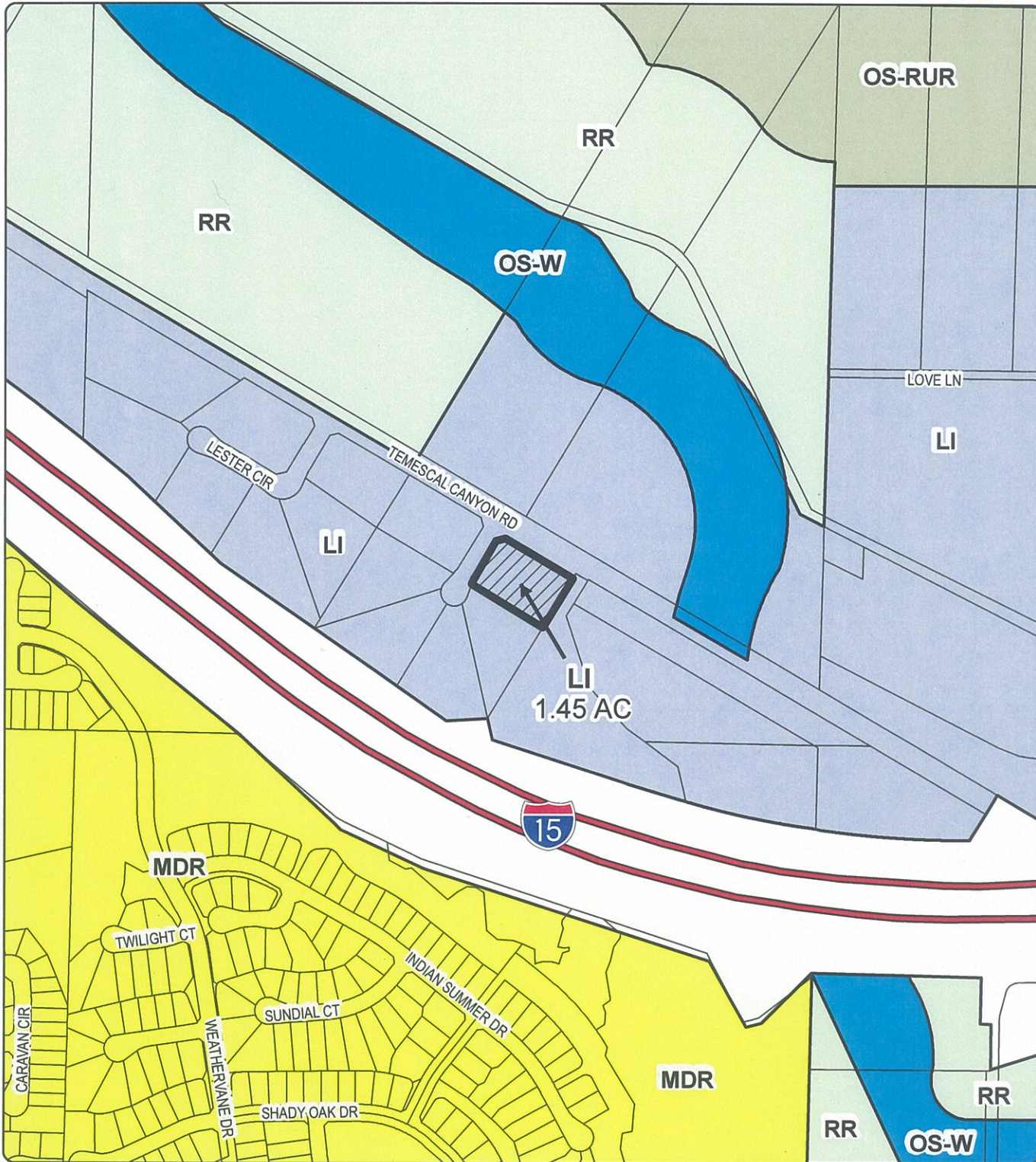
RIVERSIDE COUNTY PLANNING DEPARTMENT

CUP03439R1

EXISTING GENERAL PLAN

Supervisor Jeffries  
District 1

Date Drawn: 10/25/2013  
Exhibit 5



Zoning Area: Alberhill  
Township/Range: T5SR5W  
Section: 17

Assessors Bk. Pg. 391-480  
Thomas Bros. Pg. 835 C3  
Edition 2011



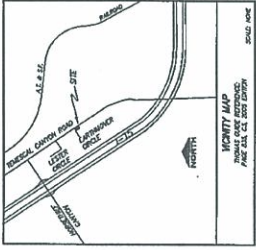
DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.lima.co.riverside.ca.us/index.html>



CASE: CUP03439R1, AMD.#1  
 EXHIBIT: A-1  
 DATE: 10/28/13  
 PLANNER: D. ABRAHAM

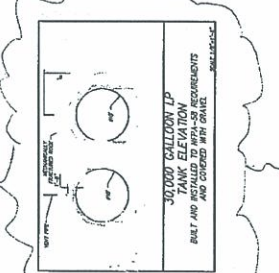


CONDITIONAL USE PERMIT 3439  
 FOR  
 K.C.C. PROPANE  
 RIVERSIDE COUNTY, CALIFORNIA

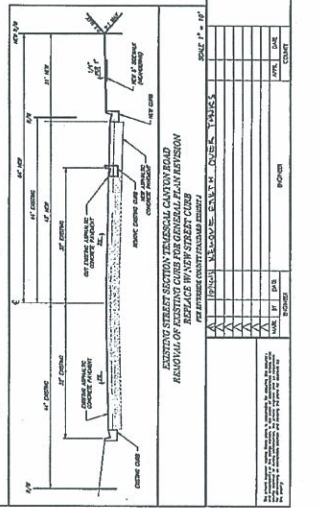
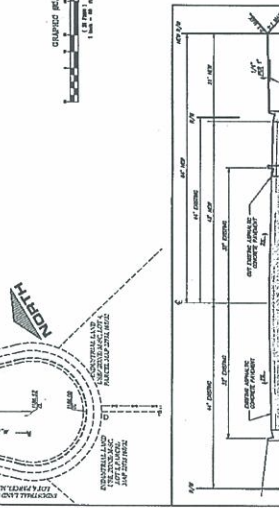
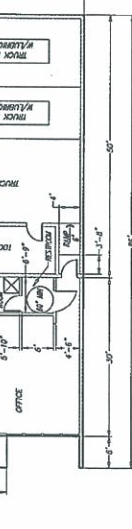


1. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
2. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
3. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
4. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
5. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
6. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
7. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
8. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
9. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.
10. THE PROJECT IS A PROPOSED 30,000 GALLON L.P.G. TANK ELEVATION, 300 SQ. FT. OFFICE, 300 SQ. FT. CHANGE ROOM, AND 300 SQ. FT. STORAGE AREA.

ITEM NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	10/28/13	DAVID
2	REVISED PER PERMIT COMMENTS	11/15/13	DAVID
3	REVISED PER PERMIT COMMENTS	12/10/13	DAVID
4	REVISED PER PERMIT COMMENTS	1/15/14	DAVID
5	REVISED PER PERMIT COMMENTS	2/10/14	DAVID
6	REVISED PER PERMIT COMMENTS	3/10/14	DAVID
7	REVISED PER PERMIT COMMENTS	4/10/14	DAVID
8	REVISED PER PERMIT COMMENTS	5/10/14	DAVID
9	REVISED PER PERMIT COMMENTS	6/10/14	DAVID
10	REVISED PER PERMIT COMMENTS	7/10/14	DAVID



NOTE: 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, 2009 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE, 2007 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, 2008 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA SAFETY CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA SOILS AND FOUNDATIONS CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA WELDERING CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CONSTRUCTION CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS. 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA LABOR CODE, 2001 EDITION, AS AMENDED, AND ALL APPLICABLE ORDINANCES AND REGULATIONS.



APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 10/28/13

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 11/15/13

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 12/10/13

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 1/15/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 2/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 3/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 4/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 5/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 6/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 7/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 8/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 9/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 10/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 11/10/14

APPROVED BY THE RIVERSIDE COUNTY HEALTH DEPARTMENT  
 DATE: 12/10/14

QUALITY ENGINEERING CORPORATION  
 1000 WEST 10TH STREET, SUITE 100  
 RIVERSIDE, CALIFORNIA 92507  
 TEL: (951) 514-1000  
 FAX: (951) 514-1001  
 WWW.QE-CORP.COM

PROJECT: K.C.C. PROPANE

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT NO.: 13-001

SHEET NO.: 1 OF 1

TITLE: SHEET - PERMIT SET

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT: K.C.C. PROPANE

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT NO.: 13-001

SHEET NO.: 1 OF 1

TITLE: SHEET - PERMIT SET

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT: K.C.C. PROPANE

DATE: 10/28/13

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PROJECT NO.: 13-001

SHEET NO.: 1 OF 1

TITLE: SHEET - PERMIT SET

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT: K.C.C. PROPANE

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT NO.: 13-001

SHEET NO.: 1 OF 1

TITLE: SHEET - PERMIT SET

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT: K.C.C. PROPANE

DATE: 10/28/13

SCALE: 1/8" = 1'-0"

PROJECT NO.: 13-001

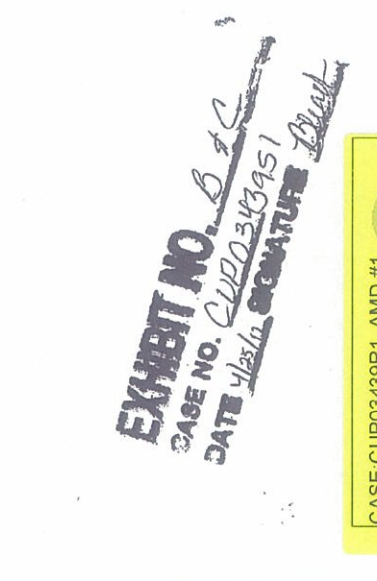
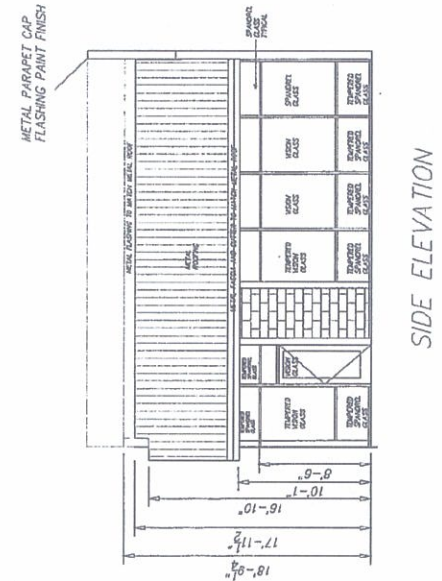
SHEET NO.: 1 OF 1

TITLE: SHEET - PERMIT SET

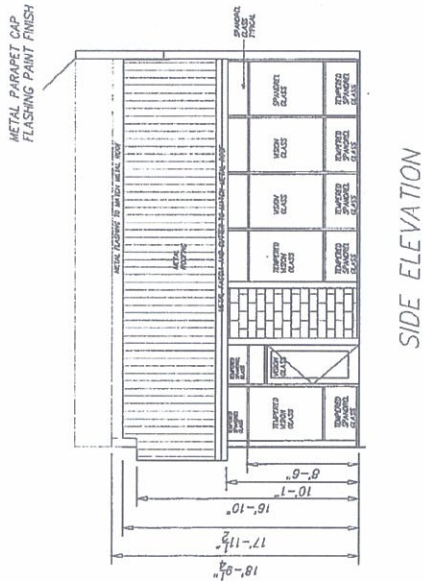
DATE: 10/28/13

SCALE: 1/8" = 1'-0"





FRONT ELEVATION



SIDE ELEVATION

**EXHIBIT NO. B & C**  
**CASE NO. CUP0343991**  
**DATE 1/25/13**

Signature: D. Abraham

CASE: CUP0343991, AMD #1  
 EXHIBIT: B&C  
 DATE: 10/28/13  
 PLANNER: D. ABRAHAM

CONSTRUCTION MANAGEMENT  
 18111 BROADWAY, SUITE 101  
 FARMINGTON, CT 06032

SCALE

NOT TO BE CONSIDERED UNLESS THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCLOSURE PERMITS AND SUCH A GRADING PERMIT HAS BEEN ISSUED.

DO NOT SCALE FROM THESE PLANS

	<b>PROJECT NO.</b> 2	<b>COUNTY</b> FREDERICK
	<b>DATE</b> 10/28/13	
<b>PROJECT NAME</b> SUBSTANTIAL CONFORMANCE NO. 3439 LPG DISTRIBUTION & STORAGE FACILITY	<b>NO.</b> 2	<b>NO.</b> 2
<b>DATE OF REVISIONS:</b> THE BASIS OF REVISIONS FOR THE MAP (NOTE: IF ANY PART OF THE REVISIONS AFFECTS THE ROAD, A ROAD PROJECT PERMITS & ROAD DESIGN PERMITS ARE REQUIRED)	<b>NO.</b> 2	<b>NO.</b> 2
<b>DATE</b> 10/28/13	<b>NO.</b> 2	<b>NO.</b> 2

# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** 42613  
**Project Case Type (s) and Number(s):** Conditional Use Permit No. 3439, Revised Permit No.1  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** P.O. Box 1409, Riverside, CA 92502-1409  
**Contact Person:** Damaris Abraham  
**Telephone Number:** (951) 955-5719  
**Applicant's Name:** Ottavio and Marie Forcone  
**Applicant's Address:** 634 Scout Tr, Anaheim, CA 92807  
**Engineer's Name:** Glen Daigle  
**Engineer's Address:** 25109 Jefferson Ave, Suite 220, Murrieta, CA 92562

### I. PROJECT INFORMATION

- A. Project Description:** The Revised Permit proposes to replace the earth mounding over the Liquid Propane Gas (LPG) tanks with Infrared flame detection and shut-off system for the previously approved LPG distribution facility which includes three 30,000 gallon liquid propane tanks.

An addendum to the previously adopted Mitigated Negative Declaration for Environmental Assessment No. 39785 was prepared for this project. The addendum was determined appropriate as a change was made to the mitigation measure proposed for the project. The project is now proposing to install an Infrared flame detection system tied to an offsite monitoring company to notify the Fire Department in lieu of the previously approved storage tank earth mounding. The Infrared flame detection system proposed to mitigate the potential impact from a Boiling Liquid Expanding Vapor Explosion (BLEVE) was reviewed and approved as an acceptable mitigation measure by the Fire Department. There are no major changes or additions to the previous CEQA document, as a result of the proposed project and none of the conditions described in CEQA Guidelines Section 15162 calling for the preparation of a subsequent negative declaration.

- B. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**C. Total Project Area:** 1.45 gross acres

<b>Residential Acres:</b>	<b>Lots:</b>	<b>Units:</b>	<b>Projected No. of Residents:</b>
<b>Commercial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b>	<b>Est. No. of Employees:</b>
<b>Industrial Acres:</b> 1.45	<b>Lots:</b> 1	<b>Sq. Ft. of Bldg. Area:</b> 1,360	<b>Est. No. of Employees:</b> 2
<b>Other:</b>			

**D. Assessor's Parcel No(s):** 391-480-021

**E. Street References:** Northeasterly of Interstate 15, southwesterly of Temescal Canyon Road, and easterly of Earthmover Circle.

**F. Section, Township & Range Description or reference/attach a Legal Description:**  
Township 5 South, Range 5 West, Section 17

**G. Brief description of the existing environmental setting of the project site and its surroundings:** The project site is currently vacant and is surrounded by vacant land and General Commercial and Industrial uses.

## I. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

### A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements of the Community Development: Light Industrial (CD:LI) (0.25-0.60 Floor Area Ratio) general plan land use designation. The proposal meets all other applicable land use policies.
2. **Circulation:** The project has adequate circulation to the site and is therefore consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The project is located within the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP), in Cell Group F, Criteria Cell Number 3648. The Habitat Evaluation and Acquisition Negotiation Strategy (HANS) completed for the project area concluded that no conservation is described for this property. The project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project is within a high fire hazard area. The proposed project is not located within any other special hazard zone (including fault zone, high liquefaction, dam inundation zone, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future users of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The project is for Liquid Propane Gas (LPG) distribution facility. There are no impacts to housing as a direct result of this project at this time.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.

B. **General Plan Area Plan(s):** Elsinore

C. **Foundation Component(s):** Community Development (CD)

D. **Land Use Designation(s):** Light Industrial (LI) (0.20 to 0.60 Floor Area Ratio)

E. **Overlay(s), if any:** Not Applicable

F. **Policy Area(s), if any:** Warm Springs and Temescal Wash Policy Areas

G. **Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** The project site is surrounded

by properties which are designated Community Development: Light Industrial (CD: LI) (0.25 – 0.60 Floor Area Ratio) to the north, south, east, and west.

**H. Adopted Specific Plan Information**

- 1. **Name and Number of Specific Plan, if any:** Not Applicable
- 2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

**I. Existing Zoning:** Manufacturing-Service Commercial (M-SC)

**J. Proposed Zoning, if any:** Not Applicable

**K. Adjacent and Surrounding Zoning:** The project site is surrounded by properties which are located zoned Manufacturing-Service Commercial (M-SC) to the north, south, east, and west.

**II. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED**

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Aesthetics                     | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality                | <input type="checkbox"/> Transportation / Traffic           |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning                      | <input type="checkbox"/> Utilities / Service Systems        |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources                        | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                                    | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Geology / Soils                | <input type="checkbox"/> Population / Housing                     | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services                          |   |

**III. DETERMINATION**

On the basis of this initial evaluation:

<b>A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED</b>
<input type="checkbox"/> I find that the proposed project <b>COULD NOT</b> have a significant effect on the environment, and a <b>NEGATIVE DECLARATION</b> will be prepared.
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. <b>A MITIGATED NEGATIVE DECLARATION</b> will be prepared.
<input type="checkbox"/> I find that the proposed project <b>MAY</b> have a significant effect on the environment, and an <b>ENVIRONMENTAL IMPACT REPORT</b> is required.

<b>A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED</b>
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, <b>NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED</b> because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier



EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

  
Signature

December 3, 2013  
Date

Damaris Abraham  
Printed Name

For Carolyn Syms Luna, Director

#### IV. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) The project is located about 500 feet away from Interstate 15, which is a State Eligible Scenic Highway. The project is not within the immediate vicinity of a State Eligible Scenic Corridor. Therefore, the project will not have substantial effect upon this scenic highway.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; or obstruct any prominent scenic vista, as these features do not exist on the project site. The impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

<b>2. Mt. Palomar Observatory</b>				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project proposes lighting; however, the potential environmental impacts of the project were fully studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The project proposes lighting; however, the potential environmental impacts of the project were fully studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AGRICULTURE & FOREST RESOURCES** Would the project

<b>4. Agriculture</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?

Source: GIS database, and Project Application Materials.

Findings of Fact:

a-d) Potential impacts to Agricultural Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>5. Forest</b>				
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a-c) Potential impacts to Forest Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AIR QUALITY** Would the project

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>6. Air Quality Impacts</b>				



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?				
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook

Findings of Fact:

a-f) Potential impacts to Air Quality were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRCMSHCP, Environmental Programs Division (EPD) review

Findings of Fact:

a-g) Potential impacts to Biological Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**CULTURAL RESOURCES** Would the project

**8. Historic Resources**

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-b) Potential impacts to Historic Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-d) Potential impacts to Archaeological Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**10. Paleontological Resources**

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity

Findings of Fact:

a) Potential impacts to Paleontological Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

**GEOLOGY AND SOILS** Would the project

<b>11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologist Comments

Findings of Fact:

a-b) Potential impacts to Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>12. Liquefaction Potential Zone</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction

Findings of Fact:

a) Potential impacts to Liquefaction were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**13. Ground-shaking Zone**

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

Potential impacts to Ground-shaking were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) Potential Landslide Risk impacts were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas"

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) Potential impacts to Ground Subsidence were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: Project Application Materials

a) Potential impacts to Other Geologic Hazards were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**17. Slopes**

a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

c) Result in grading that affects or negates subsurface sewage disposal systems?

Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

a-c) Potential impacts to Slopes were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**18. Soils**

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan figure S-6 "Engineering Geologic Materials Map", Project Application Materials, Building and Safety Grading review

a-c) Potential impacts to Soils were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**19. Erosion**

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Flood Control District review, Project Application Materials

Findings of Fact:

a-b) Potential impacts to Erosion were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>20. Wind Erosion and Blowsand from project either on or off site.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) Potential impacts to Erosion were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GREENHOUSE GAS EMISSIONS** Would the project

<b>21. Greenhouse Gas Emissions</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project application materials

Findings of Fact:

a-b) Potential impacts to Greenhouse Gas Emissions were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>HAZARDS AND HAZARDOUS MATERIALS</b> Would the project				
<b>22. Hazards and Hazardous Materials</b>				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, Fire Safety Analysis for KC Propane, prepared by LPGAS Systems, Inc., with updated attachments dated 11/16/13 and 11/7/13 and review by JSB Fire Protection, LLC dated 10/7/13 with updated attachment dated 11/11/13, which is incorporated herein by reference

Findings of Fact:

a) The project may create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials. The potential for a Boiling Liquid Expanding Vapor Explosion (BLEVE) during the processing of Liquid Propane Gas (LPG) may have a significant impact to adjacent and surrounding properties. The applicant will mitigate the potential for a BLEVE by installing two (2) infrared flame detection systems in the propane storage area. One of the eyes will monitor the storage tank valves, fittings and piping and the facility liquid dispenser pump. The other eye will monitor the refueling station. These flame detectors will be connected in conjunction with the emergency shut-down system. In the event an incident was to occur, the propane system will completely shut down. The Infrared flame detection system will also be tied into an offsite monitoring company to automatically notify the Fire Department of an event. (COA 90.FIRE.1) With the incorporation of this mitigation measure, the project will have a less than significant impact.

b) The project may create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. The potential for a Boiling Liquid Expanding Vapor Explosion (BLEVE) may have significant impacts to the public or environment should this occur. In order to mitigate these concerns, the applicant has proposed to install two (2) infrared flame detection systems in the propane storage area. One of the eyes will monitor the storage tank valves, fittings and piping and the facility liquid dispenser pump. The other eye will monitor the refueling station. These flame detectors will be connected in conjunction with the emergency shut-down system. In the event an incident was to occur, the propane system will completely shut down. The Infrared flame detection system will also be

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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tied into an offsite monitoring company to automatically notify the Fire Department of an event. (COA 90.FIRE.1) With the incorporation of this mitigation measure, the project will have a less than significant impact.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair the implementation or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

d) The project is not located within one-quarter mile of an existing school. The project will have no significant impact.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Mitigation: The Facility shall comply with the Fire Protection Report done by JSB Fire Protection, LLC dated 10/7/13 with updated attachment dated 11/11/13 and LPGAS Systems, Inc. Fire Safety Analysis, that includes installing two (2) infrared flame detection systems in the propane storage area that will be monitoring the storage tank valves, fittings and piping and the facility liquid dispenser pump as well as the refueling station. The Infrared flame detection system shall also be tied into an offsite monitoring company to automatically notify the Fire Department of an event. (COA 90.FIRE.1)

Monitoring: Monitoring shall be conducted by the Riverside County Fire Department and by the Department of Building and Safety plan check process.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

a-d) Potential impacts to Airports were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**24. Hazardous Fire Area**

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) Potential impacts due to a Hazardous Fire Area were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HYDROLOGY AND WATER QUALITY** Would the project

**25. Water Quality Impacts**

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

a-h) Potential impacts to Water Quality were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**26. Floodplains**

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable  U - Generally Unsuitable  R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a-d) Potential impacts to Water Quality were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**LAND USE/PLANNING** Would the project

**27. Land Use**

a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a-b) Potential impacts to Land Use were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**28. Planning**

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:**

a-e) Potential impacts to Planning were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required

**MINERAL RESOURCES** Would the project

**29. Mineral Resources**

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure OS-5 "Mineral Resources Area"

a-d) Potential impacts to Mineral Resources were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**NOISE** Would the project result in

**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable                      A - Generally Acceptable                      B - Conditionally Acceptable  
 C - Generally Unacceptable              D - Land Use Discouraged

**30. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D





Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a-b) Potential impacts to Airport Noise were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**31. Railroad Noise**

NA  A  B  C  D





Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: Potential impacts to Railroad Noise were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**32. Highway Noise**

NA  A  B  C  D





Source: On-site Inspection, Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact: Potential impacts to Highway Noise were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**33. Other Noise**

NA     A     B     C     D                

Source: Project Application Materials, GIS database

Findings of Fact: No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**34. Noise Effects on or by the Project**

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?               

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?               

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?               

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?               

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a-d) Potential impacts due to Noise Effects on or by the were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**POPULATION AND HOUSING** Would the project

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>35. Housing</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a-f) Potential impacts to Highway Noise were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

<b>36. Fire Services</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Safety Element

Findings of Fact:

Potential impacts to Fire Services were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

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**37. Sheriff Services**

Source: Riverside County General Plan

Findings of Fact:

Potential impacts to Sheriff Services were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

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**38. Schools**

Source: Lake Elsinore Unified School District correspondence, GIS database

Findings of Fact:

Potential impacts to Schools were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

**39. Libraries**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

Potential impacts to Libraries were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**40. Health Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

Potential impacts to Health Services were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**RECREATION**

**41. Parks and Recreation**

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Com-

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) Potential impacts to Parks and Recreation were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**42. Recreational Trails**

Source: Riverside County General Plan

Findings of Fact: Potential impacts to Recreational Trails were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

**TRANSPORTATION/TRAFFIC** Would the project

**43. Circulation**

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-i) Potential impacts to Circulation were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>44. Bike Trails</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: Potential impacts to Bike Trails were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**UTILITY AND SERVICE SYSTEMS** Would the project

**45. Water**

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

a-b) Potential impacts to Water were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**46. Sewer**

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Department of Environmental Health (DEH) Review

Findings of Fact:

a-b) Potential impacts to Sewer were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**47. Solid Waste**

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) Potential impacts to Solid Waste were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**48. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-g) Potential impacts to Utilities were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**49. Energy Conservation**

a) Would the project conflict with any adopted energy conservation plans?

Source:

a) Potential impacts to Energy Conservation were studied in Environmental Assessment No. 39785 (EA39785), which is on file in the Planning Department. The Riverside County Planning Commission adopted the Mitigated Negative Declaration on March 23, 2011. The proposed project will not result in any new significant environmental impacts not identified in EA39785, nor will it substantially increase the severity of the environmental impacts identified in EA39785. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**MANDATORY FINDINGS OF SIGNIFICANCE**

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

## VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Environmental Assessment No. 39785

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department  
4080 Lemon Street, 12th Floor  
Riverside, CA 92502

## VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 12/12/2013 12:59 PM  
File: EA.CUP03439R1

# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** 39785  
**Project Case Type (s) and Number(s):** Conditional Use Permit No. 3439  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** P.O. Box 1409, Riverside, CA 92502-1409  
**Contact Person:** Wendell Bugtai, Project Planner  
**Telephone Number:** 951-955-2419  
**Applicant's Name:** Ottavio and Marie Forcone  
**Applicant's Address:** 634 Scott Trail, Anaheim, CA 92807

### I. PROJECT INFORMATION

#### A. Project Description:

**Conditional Use Permit No. 3439** is a proposal to develop a Liquid Propane Gas (LPG) distribution facility on 1.59 gross acres consisting of three (3) 30,000 gallon liquid propane tanks, a 2,400 square-foot manufactured mobile office trailer, seven (7) standard parking spaces, and one (1) disabled accessible parking space.

**B. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**C. Total Project Area:** 1.59 Gross Acres

<b>Residential Acres:</b>	<b>Lots:</b>	<b>Units:</b>	<b>Projected No. of Residents:</b>
<b>Commercial Acres:</b> 1.59	<b>Lots:</b> 1	<b>Sq. Ft. of Bldg. Area:</b> 2,400	<b>Est. No. of Employees:</b> 2
<b>Industrial Acres:</b>	<b>Lots:</b>	<b>Sq. Ft. of Bldg. Area:</b>	<b>Est. No. of Employees:</b>
<b>Other:</b>			

**D. Assessor's Parcel No(s):** 391-480-013

**Street References:** The proposed project is located northeast of the I-15 Freeway and southwest of Temescal Canyon Road within the Elsinore Area Plan.

**E. Section, Township & Range Description or reference/attach a Legal Description:**  
Section 17, Township 5 South, Range 5 West

**F. Brief description of the existing environmental setting of the project site and its surroundings:** The project consists of loose and vacant land. Currently, the property is fenced off and an unoccupied mobile home trailer and an empty LPG tank is stored on the property.

### II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

#### A. General Plan Elements/Policies:

- 1. Land Use:** The project is a proposal to develop a Liquid Propane Gas (LPG) distribution facility on 1.59 gross acres consisting of three (3) 30,000 gallon liquid propane tanks, a 2,400 square-foot manufactured mobile office trailer, seven (7) standard parking spaces, and one (1) disabled accessible parking space. The project meets all other applicable circulation policies of the General Plan.

2. **Circulation:** Adequate circulation facilities currently exist and serve the project. The proposed project meets all other applicable land use policies of the General Plan.
3. **Multipurpose Open Space:** The project site is located within an MSHCP criteria area: Group F, Cell Number 3648. The project has completed the Habitat Acquisition and Negotiation Strategy (HANS 672). The project complies with all other applicable multi-purpose open space policies of the General Plan.
4. **Safety:** The proposed project is located within a High Fire Hazard Area. The proposed project is not located within any other special hazard zone (including fault zone, dam inundation zone, etc.) The proposed project has allowed for sufficient provision of emergency response services to the future users of the project. The proposed project meets all applicable General Plan Safety element policies.
5. **Noise:** The proposed project meets with all applicable Noise Element policies.
6. **Housing:** the proposed project meets with all applicable Housing Element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality Element policies.

**B. General Plan Area Plan(s):** Elsinore Area Plan

**C. Foundation Component(s):** Community Development (CD)

**D. Land Use Designation(s):** Light Industrial (LI)

**E. Overlay(s), if any:** None

**F. Policy Area(s), if any:** Temescal Wash Policy Area, Warm Springs Policy Area

**G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** N/A

**H. Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** N/A

2. **Specific Plan Planning Area, and Policies, if any:** N/A

**I. Existing Zoning:** Manufacturing – Service Commercial (M-SC)

**J. Proposed Zoning, if any:** N/A

**K. Adjacent and Surrounding Zoning:** Manufacturing – Service Commercial (M-SC)

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |   |  |
|---|---|--|
| <input checked="" type="checkbox"/> Aesthetics          | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                          |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality                | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning                      | <input type="checkbox"/> Utilities / Service Systems         |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources                        | <input type="checkbox"/> Other:                              |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                                    | <input type="checkbox"/> Other:                              |
| <input checked="" type="checkbox"/> Geology / Soils     | <input type="checkbox"/> Population / Housing                     | <input type="checkbox"/> Mandatory Findings of Significance  |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input checked="" type="checkbox"/> Public Services               |  |

#### IV. DETERMINATION

On the basis of this initial evaluation:

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.
- I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.
- I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have



been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

Wendell Bugtai, Project Planner

For Carolyn Syms Luna, Director

Printed Name

**V. ENVIRONMENTAL ISSUES ASSESSMENT**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) This project is located about 500-feet from the I-15 Freeway. Therefore, it is not located within the immediate vicinity of a State Eligible Scenic Corridor (Riverside County Integrated Plan, Circulation Element. Figure C-9 "Riverside County Scenic Highways").

b) This site has been disturbed and will not damage scenic resources, such as trees, rock outcroppings and/or other unique landmark features. It will have no impact on or obstruct any prominent scenic vista or view open to the public or result in the creation of an aesthetically offensive site open to public view.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

<b>2. Mt. Palomar Observatory</b>				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:** At 41.31 miles from the Mount Palomar Observatory, the project site is located within Zone B of Riverside County Ordinance No. 655. At such a distance, the project is required to comply with Ord. No. 655. Interference with the nighttime use of the Mount Palomar Observatory, as protected through Ord. No. 655 will be less than significant with mitigation measures incorporated.

**Mitigation:** In observance with Zone B of Ord. 655, the project has been conditioned to utilize low-pressure sodium lighting or non low-pressure sodium lighting provided it will emit no greater than 4050 Lumens (Condition of Approval 10.PLANNING.3).

**Monitoring:** Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Source:** On-site Inspection, Project Application Description

**Findings of Fact:**

a) The project will not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area.

b) The project will not expose residential property to unacceptable light levels.

**Mitigation:** No mitigation is required.

**Monitoring:** No monitoring is required.

**AGRICULTURE & FOREST RESOURCES** Would the project

**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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conversion of Farmland, to non-agricultural use?

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) This project is not located within Prime Farmland, Unique Farmland or Farmland of Statewide Importance as depicted on the Agricultural Resources map of the RCIP, Figure OS-2. Therefore, it will not convert nor have any impact on these designated farmlands to non-agricultural use.

b) This project is located in the Manufacturing-Service Commercial (M-SC) zone and will not conflict nor have any impact on existing agricultural uses, or a Williamson Act contract. The immediate surrounding zones of this project site are all MS-C. Therefore, this project is not within 300 feet of agriculturally zoned property and will have no impact on Ordinance 625.

c) This project will have no impact on other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**5. Forest**

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The project will not conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))

b) The project will not result in the loss of forest land or conversion of forest land to non-forest use.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**AIR QUALITY** Would the project

**6. Air Quality Impacts**

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact:

- a) The project does not conflict with or obstruct implementation of the applicable air quality plan.
- b) The project does not violate any air quality standard or contribute substantially to an existing or projected air quality violation.
- c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors).
- d) The project will not expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions.
- e) The project will not involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter.
- f) The project will not create objectionable odors affecting a substantial number of people.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, WRC-MSHCP and/or CV-MSHCP, On-site Inspection, Habitat Acquisition and Negotiation Strategy (HANS) 672

Findings of Fact:

a) The project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. A Habitat Acquisition and Negotiation Strategy (HANS) No. 672 has been conducted and

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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has been deemed by the County of Riverside Environmental Programs Department that no conservation is required.

b) The project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12).

c) The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service.

d) The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites.

e) The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service.

f) The project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.

g) The project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**CULTURAL RESOURCES** Would the project

**8. Historic Resources**

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The project will not alter or destroy an historic site, given the project has previously been disturbed and is not identified as a historical site.

b) The project will not cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

- a) The project will not alter or destroy an archaeological site.
- b) The project will not cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.
- c) The project will not disturb any human remains, including those interred outside of formal cemeteries.
- d) The project will not restrict existing religious or sacred uses within the potential impact area.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**10. Paleontological Resources**

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity"

Findings of Fact:

- a) The project will not directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**GEOLOGY AND SOILS** Would the project

<b>11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geologist Comments

Findings of Fact:

a) The project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death related to fault zones or fault hazards. The project is not located within any fault or hazard zones.

b) The project will not be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

<b>12. Liquefaction Potential Zone</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction" Soils and Geology Group – "Preliminary Geotechnical Investigation, Proposed Propane Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005, Soils and Geology Group – "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010.

Findings of Fact:

a) The geotechnical report shows there is potential for liquefaction and recommends that additional mitigation be required. These mitigation measures are as follows:

County Geologic Report (GEO) No. 1452, submitted for this project (CUP03439), was prepared by Soils and Geology Group and is entitled: "Preliminary Geotechnical Investigation, Proposed Propane Storage Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005. In addition, Soils and Geology Group prepared "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010. This document is herein incorporated as a part of GEO01452.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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GEO01452 concluded:

1. No active faults are known to cross the site.
2. The site is subject to liquefaction. Total settlements of 6.4 inches were calculated.
3. The site will be subject to strong ground shaking in the future from seismic events.

GEO01452 recommended:

1. Structures should be designed in accordance with the 2007 CBC with site class D.
2. A mat foundation is recommended for the settlements from liquefaction potential.

GEO No. 1452 satisfies the requirement for a Geotechnical study for Planning/CEQA purposes. GEO No. 1452 is hereby accepted for planning purposes. Engineering and other Uniform Building Code parameters were not included, as a part of this review or approval and this approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

Mitigation: The applicant shall comply with the Soils and Geology Group "Preliminary Geotechnical Investigation, Proposed Propane Storage Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005 and "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010. (CONDITIONS OF APPROVAL 10.PLANNING.42)

Monitoring: Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process and Planning Department.

**13. Ground-shaking Zone**

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), Soils and Geology Group – "Preliminary Geotechnical Investigation, Proposed Propane Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005, Soils and Geology Group – "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010.

Findings of Fact:

a) The project will not be subject to strong seismic ground shaking given the project is not located within ½ mile of any know fault zones. The geotechnical report does show there is potential for strong ground shaking and recommends that additional mitigation be required. These mitigation measures are as follows:

County Geologic Report (GEO) No. 1452, submitted for this project (CUP03439), was prepared by Soils and Geology Group and is entitled: "Preliminary Geotechnical Investigation, Proposed Propane



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Storage Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005. In addition, Soils and Geology Group prepared "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010. This document is herein incorporated as a part of GEO01452.

GEO01452 concluded:

1. No active faults are known to cross the site.
2. The site is subject to liquefaction. Total settlements of 6.4 inches were calculated.
3. The site will be subject to strong ground shaking in the future from seismic events.

GEO01452 recommended:

1. Structures should be designed in accordance with the 2007 CBC with site class D.
2. A mat foundation is recommended for the settlements from liquefaction potential.

GEO No. 1452 satisfies the requirement for a Geotechnical study for Planning/CEQA purposes. GEO No. 1452 is hereby accepted for planning purposes. Engineering and other Uniform Building Code parameters were not included, as a part of this review or approval and this approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

Mitigation: The applicant shall comply with the Soils and Geology Group "Preliminary Geotechnical Investigation, Proposed Propane Storage Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005 and "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010. (CONDITIONS OF APPROVAL 10.PLANNING.42)

Monitoring: Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process and Planning Department.

**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) The project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards. This project has been disturbed and approved per Parcel Map 22735.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map"

Findings of Fact:

a) The project will not be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**16. Other Geologic Hazards**

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The project will not be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard and no other geological hazards have been identified.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**17. Slopes**

a) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The project will not change topography or ground surface relief features. The project is relatively flat and disturbed.
- b) The project will not change topography or ground surface relief features. The project is relatively flat and disturbed.
- c) The project will not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**18. Soils**

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

- a) The project will not result in substantial soil erosion or the loss of topsoil.
- b) The project will not be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property.
- c) The project will not have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**19. Erosion**

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

- a) The project will not change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake and is not adjacent to any channel, stream or lake bed.
- b) The project will not result in any increase in water erosion either on or off site.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

<b>20. Wind Erosion and Blowsand from project either on or off site.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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- a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

- a) The project has a wind erodibility rating of "moderate" but will not be impacted by or result in an increase in wind erosion and blowsand, either on or off site.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**GREENHOUSE GAS EMISSIONS** Would the project

<b>21. Greenhouse Gas Emissions</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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- a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

- b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Project Materials, SB 97, State CEQA Guidelines Revisions (State adopted Jan. 1, 2010)

Findings of Fact:

- a) The project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HAZARDS AND HAZARDOUS MATERIALS** Would the project

**22. Hazards and Hazardous Materials**

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, RCE "Fire Safety Analysis for KC Propane Facility" Report by Phillip Taylor dated July 1, 2010.

Findings of Fact:

a) The project may create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials. The potential for a Boiling Liquid Expanding Vapor Explosion (BLEVE) during the processing of Liquid Propane Gas (LPG) may have a significant impact to adjacent and surrounding properties. The applicant will mitigate the potential for a BLEVE through the reduction of the originally proposed six (6) to three (3) LPG tanks. In addition, the LPG tanks will be constructed as "Above Ground Mounding" tanks which will be enclosed in a concrete block wall casing and filled to the top with pea gravel or a similar dense material which would ensure the tanks are not subjected to direct flame impingement, thus mitigating the concerns of a BLEVE to a level less than significant.

b) The project may create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. The potential for a Boiling Liquid Expanding Vapor Explosion (BLEVE) may have significant impacts to the public or environment should this occur. In order to mitigate these concerns, the applicant has proposed to construct the project as "Above Ground Mounding" tanks which will be



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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enclosed in a concrete block wall casing and filled to the top with pea gravel or a similar dense material which would ensure the tanks are not subjected to direct flame impingement, thus mitigating the concerns of a BLEVE to a level less than significant.

c) The project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. Staff is not aware of any known emergency response plans, emergency evacuation plan or has it received any information from any agency which would impair or interfere with any existing plans.

d) The project would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. The project is not located within one-quarter mile of any existing schools.

e) The project could be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment. Upon further review by Planning Staff, the project site is not listed as a site within Government Code Section 65962.5.

**Mitigation:** The applicant shall comply with Registered Civil Engineer Report by Phillip Taylor dated July 1, 2010. Conditions of approval (CONDITIONS OF APPROVAL 10.FIRE.1)

**Monitoring:** Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process and Fire Department review.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Source:** Riverside County General Plan Figure S-19 "Airport Locations," GIS database

**Findings of Fact:**

a) The project will not result in an inconsistency with an Airport Master Plan. The project is not located near an airport.

b) The project will not require review by the Airport Land Use Commission.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) The project is not located within an airport land use plan nor is it located where such a plan has not been adopted, within two miles of a public airport or public use airport. Therefore, the project would not result in a safety hazard for people residing or working in the project area.

d) The project is not located within the vicinity of a private airstrip, or heliport, therefore, the project would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**24. Hazardous Fire Area**

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project would potentially expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands. Although the project is located within a High Fire Area, the project and the majority of parcels within the vicinity have been graded or disturbed and conducting business under the Manufacturing-Service Commercial (M-SC) zoning which has reduced the likelihood of fire within the immediate area. In order to ensure the significant risk of loss, injury or death involving wildland fires, the applicant shall comply with Fire Department conditions related to building construction.

Mitigation: Buildings constructed or proposed within High Fire Areas shall comply with Provision of Riverside County Ordinance 787.1 (CONDITIONS OF APPROVAL 10.FIRE.2).

Monitoring: Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process.

**HYDROLOGY AND WATER QUALITY** Would the project

**25. Water Quality Impacts**

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?				
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site.
- b) The project will not violate any water quality standards or waste discharge requirements.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted).
- d) The project will not create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff.
- e) The project would not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The project would not place within a 100-year flood hazard area structures which would impede or redirect flood flows.
- g) The project will not otherwise substantially degrade water quality.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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h) The project would not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**26. Floodplains**

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable

U - Generally Unsuitable

R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.

b) The project will not provide for major changes in absorption rates or the rate and amount of surface runoff.

c) The project will not Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area).

d) The project will not make significant changes in the amount of surface water in any water body.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**LAND USE/PLANNING** Would the project

**27. Land Use**

a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a) The project will not result in any substantial alteration of the present or planned land use of an area. The project is currently zone Manufacturing-Service Commercial (M-SC) which the proposal is allowed within the zoning requirements.

b) The project will not affect land use within a city sphere of influence and/or within adjacent city or county boundaries. The project is located within the City of Lake Elsinore city sphere of influence. The City of Lake Elsinore was previously notified and there have been no comments received.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**28. Planning**

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The project will be consistent with the site's existing or proposed zoning.

b) The project will be compatible with existing surrounding zoning

c) The project will be compatible with existing and planned surrounding land uses.



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project will be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan).

e) The project will not disrupt or divide the physical arrangement of an established community (including a low-income or minority community).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**MINERAL RESOURCES** Would the project

**29. Mineral Resources**

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a) The project will not result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State. There are no known mineral resources adjacent to the project site.

b) The project will not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**NOISE** Would the project result in

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable                      A - Generally Acceptable                      B - Conditionally Acceptable  
 C - Generally Unacceptable              D - Land Use Discouraged

**30. Airport Noise**

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA     A     B     C     D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA     A     B     C     D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The project is not project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels.

b) The project is not located within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**31. Railroad Noise**

NA     A     B     C     D                                                                                        

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact:

a) The project is not located or adjacent to any railroads.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**32. Highway Noise**

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NA  A  B  C  D

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a) The project is located approximately 500-feet from Interstate 15. The project will not emit unacceptable noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**33. Other Noise**

NA  A  B  C  D

Source: Project Application Materials, GIS database

Findings of Fact:

a) There are no other noise issues which have been found.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**34. Noise Effects on or by the Project**

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) The project will not provide a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The project will not provide for a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project.

c) The project will not provide exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

d) The project will not provide exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**POPULATION AND HOUSING** Would the project

**35. Housing**

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a) The project will not displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere.

b) The project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income.

c) The project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project will not affect a County Redevelopment Project Area.

e) The project will not cumulatively exceed official regional or local population projections.

f) The project will not induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

**36. Fire Services**

Source: Riverside County General Plan Safety Element

Findings of Fact:

a) The project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for fire services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**37. Sheriff Services**

Source: Riverside County General Plan

Findings of Fact:

a) The project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for sheriff services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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<b>38. Schools</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Lake Elsinore Unified School District correspondence, GIS database

Findings of Fact:

a) The project is located within the Lake Elsinore Unified School District. The project will not result in the increase in the number of students and the need for additional classrooms.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>39. Libraries</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

a) The project will not result in an incremental increased demand for libraries.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>40. Health Services</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

a) The project will not result in an incremental increased demand for health services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**RECREATION**

<b>41. Parks and Recreation</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a) The project will not result in the need to provide park or recreational facilities. There are no present and future plans to build a park in the area that would be impacted by the operation of this facility. No impacts are expected to occur.

b) The project would not include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated.

c) The project is located within a Community Service Area (CSA) 152 or recreation and park district with a Community Parks and Recreation Plan (Quimby fees). There are no present and future plans to build a park in the area that would be impacted by the operation of this facility.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>42. Recreational Trails</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

a) The project is located within the Temescal Canyon Area Plan and has been conditioned to dedicate right-of-way to the project for trail purposes.

Mitigation: The project will be subject to right-of-way dedication (CONDITIONS OF APPROVAL 80.TRANS.1)

Monitoring: Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process and Transportation Department.

**TRANSPORTATION/TRAFFIC** Would the project

<b>43. Circulation</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a) The project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit.

b) The project will not conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways.

c) The project will not result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks.

d) The project will not alter waterborne, rail or air traffic.

e) The project will not substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment).

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- f) The project will not cause an effect upon, or a need for new or altered maintenance of roads.
- g) The project will not cause an effect upon circulation during the project's construction.
- h) The project will not result in inadequate emergency access or access to nearby uses.
- i) The project will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**44. Bike Trails**

Source: Riverside County General Plan

Findings of Fact:

a) The project is located within the Temescal Canyon Area Plan and has been conditioned to dedicate right-of-way to the project for trail and class I bike purposes.

Mitigation: The project will be subject to right-of-way dedication (CONDITIONS OF APPROVAL 80.TRANS.1)

Monitoring: Conditions implemented will be monitored through the Department of Building and Safety via the Plan Check process and Transportation Department.

**UTILITY AND SERVICE SYSTEMS** Would the project

**45. Water**

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact:

a) The project will not require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) The project will have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**46. Sewer**

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review

Findings of Fact:

a) The project will not require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects.

b) The project will result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**47. Solid Waste**

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project will be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs.

b) The project will comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**48. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source:

Findings of Fact:

Facilities constructed is anticipated with less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**49. Energy Conservation**

a) Would the project conflict with any adopted energy conservation plans?

Source:

Findings of Fact:

a) The project will not conflict with any adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**OTHER**

50. Other:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Staff review

Findings of Fact:

No other significant impacts were identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**MANDATORY FINDINGS OF SIGNIFICANCE**

51. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

52. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

53. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, project application

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

**VI. EARLIER ANALYSES**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

- A. RCE "Fire Safety Analysis for KC Propane Facility" Report by Phillip Taylor dated July 1, 2010.
- B. Soils and Geology Group – "Preliminary Geotechnical Investigation, Proposed Propane Facility, 26362 Earthmover Circle, Riverside County, California", dated January 14, 2005
- C. Soils and Geology Group – "Geotechnical Update, 26362 Earthmover Circle, Riverside County, California", dated March 12, 2010.

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department  
4080 Lemon Street, 12th Floor  
Riverside, CA 92505

**VI. AUTHORITIES CITED**

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is to replace the proposed earth mounding over the Liquid Propane Gas (LPG) tanks with Infrared flame detection and shut-off system for the previously approved Liquid Propane Gas (LPG) distribution facility consisting of three 30,000 gallon liquid propane tanks.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the CONDITIONAL USE PERMIT; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the CONDITIONAL USE PERMIT, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Conditional Use Permit No. 3439R1 shall be henceforth defined as follows:

APPROVED EXHIBIT A-1 = Conditional Use Permit No. 3439R1, Exhibit A-1, Amended No. 1, dated 10/28/13.

APPROVED EXHIBIT A-2 = Conditional Use Permit No. 3439R1, Exhibit A-2, Amended No. 1, dated 10/28/13.

APPROVED EXHIBIT A-3 = Conditional Use Permit No. 3439R1, Exhibit A-3, Amended No. 1, dated 10/28/13.

APPROVED EXHIBIT B&C = Conditional Use Permit No. 3439R1, Exhibit B&C, Amended No. 1, dated 10/28/13.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.



12/03/13  
11:11

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 3

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT

RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS

RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.BS GRADE. 6                   USE - NPDES INSPECTIONS (cont.)                   RECOMMND

greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7                   USE - EROSION CNTRL PROTECT                   RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8                   USE - DUST CONTROL                   RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9                   USE - 2:1 MAX SLOPE RATIO                   RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11                  USE - MINIMUM DRNAGE GRADE                  RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12                  USE - DRAINAGE & TERRACING                  RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13                  USE - SLOPE SETBACKS                   RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.BS GRADE. 14                      USE - SLOPES IN FLOODWAY                      RECOMMND

Graded slopes which infringe into the 100 year storm flood way boundaries, shall be protected from erosion, or other flood hazards, by a method acceptable to the Building & Safety Department's Engineer - which may include Riverside County Flood Control & Water Conservation District's review and approval. However, no graded slope will be allowed which in the professional judgment of the Building & Safety Department Engineer blocks, concentrates or diverts drainage flows.

10.BS GRADE. 18                      USE - OFFST. PAVED PKG                      RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 20                      USE - RETAINING WALLS                      RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23                      USE - MANUFACTURED SLOPES                      RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24                      USE - FINISH GRADE                      RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK

RECOMMND

The current project description includes replacing the block wall enclosure and the installation of a fire detection shut-off system.

If the blockwall is to be replaced with the construction of another blockwall at any height, or fencing exceeding 6'-0" in height, a building permit shall be obtained from the building dept. prior to construction on the property.

Permits and approval from the building dept. may be required in addition to the fire dept. requirements for the detection and shut-off system design and installation.

E HEALTH DEPARTMENT

10.E HEALTH. 1 CUP 3439 R1 - COMMENTS

RECOMMND

Conditional Use Permit 3439 Revised Permit 1 is proposing to replace the concrete block wall enclosing the Liquid Propane Gas (LPG) tanks and the earth mounding over the tanks with a fire detection and shut off system for the proposed LPG distribution facility.

All conditions listed under the original Conditional Use Permit 3439 shall apply to this revised permit.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR

RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#88A-AUTO/MAN GATES

RECOMMND

Gate(s) shall be automatic or manually operated, minimum 20 feet in width, Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.FIRE. 2 USE-#88A-AUTO/MAN GATES (cont.) RECOMMND

force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND

CUP 3439 R1 is a proposal to replace the concrete block wall enclosing the Liquid Propane Gas (LPG) tanks and the earth mounding over the tanks with a fire detection and shut-off system for the LPG distribution facility on a 1.45-acres site in Elsinore area. The project site is located northeasterly of I-15 Freeway, southwesterly of Temescal Canyon Road, and easterly side of Earthmover Circle.

The northeast corner of the property is located within the 100-yr Zone AE floodplain limits of Temescal Wash as delineated on Panel No. 06065C-2006G of the Flood Insurance Rate Maps issued in conjunction with the National Flood Insurance Program administered by the Federal Emergency Management Agency (FEMA). The proposed site is lot 2 of PM 22735. The grading has been approved previously by the District under this parcel map. However, the FEMA map is not revised therefore the eastern half of the site is still designated as floodplain. No structure is proposed in the floodplain area, but placement of any structure in the future will require a revision to the floodplain. All the approved conditions for the original CUP are applicable to this revised permit. Since no new impervious areas proposed with this revised permit the approved Final Water Quality Management Plan (WQMP) on May 23, 2012 is still valid and the District has no objection to this proposal.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially



CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.PLANNING. 1 USE - COMPLY WITH ORD./CODES (cont.) RECOMMND

with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 3 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE - HOURS OF OPERATION RECOMMND

Use of the facilities approved under this conditional use permit shall be limited to the hours of 7 a.m. to 6 p.m., Monday through Saturday.

10.PLANNING. 7 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), 1 space/250 square feet of office area and an additional 1 space/500 square feet of garage area.

10.PLANNING. 9 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 15 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.PLANNING. 16 USE - NO SECOND FLOOR RECOMMND

No tenant improvement permit, or any other building permit, shall be granted for any second story, second floor, mezzanine, or interior balcony unless a plot plan, conditional use permit, public use permit, substantial conformance or a revised permit is approved by the Planning Department pursuant to Section 18.12 of Ordinance No. 348 in order to assure adequate parking remains within the property. Only a one story building was approved as part of this permit and reviewed for parking standards.

10.PLANNING. 17 USE - NO RESIDENT OCCUPANCY RECOMMND

No permanent occupancy shall be permitted within the property approved under this conditional use permit as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 19 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. he permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 20 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.PLANNING. 20 USE - NOISE MONITORING REPORTS (cont.) RECOMMND

Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 22 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,  
a) is found to be in violation of the terms and conditions of this permit,  
b) is found to have been obtained by fraud or perjured testimony, or  
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 23 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 24 USE - IND OCCUPANT CHANGE RECOMMND

Prior to initial occupancy, upon tenant/occupant change, or upon change in industrial use, the permit holder shall provide a letter from the Planning Department to Building & Safety verifying no need for further environmental, hazardous materials or air quality review as a result of the change.

10.PLANNING. 27 USE - MT PALOMAR LIGHTING AREA RECOMMND

The subject property lies within the boundary of Zone B of Ordinance No. 655 (Mt. Palomar Special Lighting Area.) In accordance with Section 5 (General Requirements) of this Ordinance, Low Pressure Sodium lamps and other lamps below 4050 lumens are allowed, and other lamps above 4050 lumens are prohibited.

Note that all outdoor lighting must be fully shielded if feasible or partially shielded in all other cases, and must be focused to minimize spill light into the night sky and onto adjacent properties. All outdoor lighting must remain

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.PLANNING. 27 USE - MT PALOMAR LIGHTING AREA (cont.) RECOMMND

in compliance with the requirements of Ord. No. 655 for the life of this permit.

10.PLANNING. 29 USE - PERMIT SIGNS RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 32 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at [www.rctlma.org.buslic](http://www.rctlma.org.buslic).

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

10. GENERAL CONDITIONS

10.TRANS. 2 USE - COUNTY WEB SITE (cont.) RECOMMND

Transportation Department Web site:  
<http://rctlma.org/trans/>. If you have questions, please  
call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic  
study for the subject project. The Transportation  
Department has determined that the project is exempt from  
traffic study requirements.

10.TRANS. 4 USE - NO ADD'L ON-SITE R-O-W RECOMMND

No additional on-site right-of-way shall be required on  
Earthmover Circle since adequate right-of-way exists, per  
PM 22735 (PM167/29-32).

10.TRANS. 5 USE - NO ADD'L ROAD IMPRVMENTS RECOMMND

No additional road improvements will be required at this  
time along Earthmover Circle due to existing  
improvements.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 2 USE - LIFE OF THE PERMIT RECOMMND

The life of Conditional Use Permit No. 3439R1 shall  
terminate on June 1, 2021. This permit shall thereafter be  
null and void and of no effect whatsoever.

20.PLANNING. 4 USE - EXPIRATION DATE-CUP/PUP RECOMMND

This approval shall be used within two (2) years of the  
approval date; otherwise, it shall become null and void and  
of no effect whatsoever. By use is meant the beginning of  
substantial construction contemplated by this approval  
within two (2) year period which is thereafter diligently  
pursued to completion or to the actual occupancy of  
existing buildings or land under the terms of the  
authorized use. Prior to the expiration of the two year  
period, the permittee may request a one (1) year extension  
of time in which to begin substantial construction or use  
of this permit. Should the one year extension be obtained



CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 4 USE - EXPIRATION DATE-CUP/PUP (cont.) RECOMMND

and no substantial construction or use of this permit be initiated within three (3) years of the approval date this permit, shall become null and void.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at [www.swrcb.ca.gov](http://www.swrcb.ca.gov).

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3                   USE - IMPORT / EXPORT (cont.)                   RECOMMND

approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4                   USE - GEOTECH/SOILS RPTS                   RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.\* \*The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6                   USE - DRAINAGE DESIGN Q100                   RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7                   USE - OFFSITE GRDG ONUS                   RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8                   USE - NOTARIZED OFFSITE LTR                   RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 8                   USE - NOTARIZED OFFSITE LTR (cont.)                   RECOMMND  
plan.

60.BS GRADE. 11                  USE - APPROVED WQMP                   RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12                  USE - PRE-CONSTRUCTION MTG                   RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13                  USE- BMP CONST NPDES PERMIT                   RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 14                  USE - SWPPP REVIEW                   RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

60. PRIOR TO GRADING PRMT ISSUANCE

PLANNING DEPARTMENT

60.PLANNING. 7 USE - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 2.17 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 10 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Conditional Use Permit No. 3439R1, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2                   USE - ROUGH GRADE APPROVAL (cont.)                   RECOMMND

Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1                   USE - E.HEALTH CLEARANCE REQ.                   RECOMMND

ENVIRONMENTAL HEALTH CLEARANCE IS REQUIRED PRIOR TO THE ISSUANCE OF THIS BUILDING PERMIT.

FIRE DEPARTMENT

80.FIRE. 1                   USE-#17A-BLDG PLAN CHECK \$                   RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.



CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 3 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B&C.

80.PLANNING. 4 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT B&C.

80.PLANNING. 5 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 17 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Lake Elsinore Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 18 USE - LIGHTING PLANS RECOMMND

All parking lot lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 19 USE - FEE STATUS RECOMMND

Prior to issuance of building permits for Conditional Use Permit No. 3439R1, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

TRANS DEPARTMENT

80.TRANS. 1 USE - R-O-W DEDICATION 1 RECOMMND

Sufficient public street right-of-way along Temescal Canyon Road shall be conveyed for public use to provide for a 64 foot half-width right-of-way per County Standard No. 92,

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 1                   USE - R-O-W DEDICATION 1 (cont.)                   RECOMMND  
Ordinance 461.

80.TRANS. 2                   USE - CORNER CUT-BACK I                   RECOMMND  
All corner cutbacks shall be applied per Standard 805,  
Ordinance 461.

80.TRANS. 3                   USE - ANNEX L&LMD/OTHER DIST                   RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Temescal Canyon Road raised curbed median.
- (2) Streetlights.
- (3) Street sweeping.
- (4) Temescal Canyon Road Parkway.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - LIGHTING PLAN

RECOMMND

A separate street light plan is required for this project. Street lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 5 USE - LANDSCAPING

RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed per Temescal Canyon Guidelines within Temescal Canyon Road and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 6 USE - TUMF CREDIT AGREEMENT

RECOMMND

If the applicant/developer is constructing a "TUMF" facility as a condition of approval for this project and will be seeking "TUMF" credits and/or reimbursements for the "TUMF" improvements built with this project, the applicant shall enter into a "TUMF Improvement and Credit Agreement" with the Transportation Department prior to the first building permit issuance as directed by the Director of Transportation. Please contact (951) 955-6800 for additional information.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION

RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 1                   USE - WQMP BMP INSPECTION (cont.)                   RECOMMND

constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2                   USE - WQMP BMP CERT REQ'D                   RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3                   USE - BMP GPS COORDINATES                   RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4                   USE - BMP REGISTRATION                   RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5                   USE - REQ'D GRADING INSP'S                   RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

2.Base inspection prior to paving.

3.Precise grade inspection of entire permit area.

a.Inspection of Final Paving

b.Precise Grade Inspection

c.Inspection of completed onsite storm drain facilities

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 5                   USE - REQ'D GRADING INSP'S (cont.)                   RECOMMND

d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6                   USE - PRECISE GRDG APPROVAL                   RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.



12/03/13  
11:11

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 23

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE- E.HEALTH CLEARANCE REQ RECOMMND

Environmental Health Clearance prior to final inspection.

FIRE DEPARTMENT

90.FIRE. 1 USEFIRE PROTECTION REPORT RECOMMND

FACILITY SHALL COMPLY WITH FIRE PROTECTION REPORT DONE BY JSB FIRE PROTECTION,LLC. SIGNED BY JAMES BARGER(FPE) DATED 10/7/13 WITH UPDATED ATTACHMENT DATED 11/11/13 AND LPGAS SYSTEMS,INC ATTACHMENTS DONE BY DOUGLAS LOCATELLI DATED 11/6/13 AND 11/7/13.

90.FIRE. 2 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 3 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

PLANNING DEPARTMENT

90.PLANNING. 3 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of eight (8) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 4 USE - ACCESSIBLE PARKING RECOMMND

A minimum of one (1) accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 4 USE - ACCESSIBLE PARKING (cont.) RECOMMND

permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at \_\_\_ or by telephoning \_\_\_."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 11 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 12 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 12 USE - CURBS ALONG PLANTERS (cont.) RECOMMND

similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 15 USE - TRASH ENCLOSURES RECOMMND

One (1) trash enclosure which is adequate to enclose a minimum of one (1) bin shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure shall be a minimum of six (6) feet in height and shall be made with masonry block, landscaping screening, and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 18 USE - REMOVE OUTDOOR ADVERTISE RECOMMND

All existing outdoor advertising displays, signs or billboards shall be removed.

90.PLANNING. 19 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A

90.PLANNING. 23 USE - SKR FEE CONDITION RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance.

The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 23 USE - SKR FEE CONDITION (cont.) RECOMMND

calculated on the approved development project which is anticipated to be 2.17 acres (gross) in accordance with APPROVED EXHIBIT A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 24 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 27 USE - ORD 810 O S FEE RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Conditional Use Permit No. 3439R1 is calculated to be 1.59 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 28 USE - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and

12/03/13  
11:11

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 27

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 28 USE - ORD NO. 659 (DIF) (cont.)

RECOMMND

installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Conditional Use Permit No. 3439R1 has been calculated to be 1.59 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

TRANS DEPARTMENT

90.TRANS. 1 USE - IMP PLANS

RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: [www.rctlma.org/trans/land\\_dev\\_plan\\_check\\_guidelines.html](http://www.rctlma.org/trans/land_dev_plan_check_guidelines.html).

90.TRANS. 2 USE - ST DESIGN/IMP CONCEPT

RECOMMND

The street design and improvement concept of this project shall be coordinated with Temescal Canyon Design Guidelines.



CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE - SIGNING & STRIPING RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

90.TRANS. 4 USE - WRCOG TUMF RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 5 USE- STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 6 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 7 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the

CONDITIONAL USE PERMIT Case #: CUP03439R1

Parcel: 391-480-021

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 7 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Temescal Canyon raised curb median.
- (2) Streetlights.
- (3) Street sweeping.
- (4) Temescal Canyon Road Parkway.

90.TRANS. 8 MAP - EXISTING MAINTAINED RECOMMND

Temescal Canyon Road along project boundary is a paved County maintained road designated as an Arterial Highway and shall be improved with 8" concrete curb and gutter located 43 feet from centerline to curb line, 8" curbed landscape median, and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 64 foot half-width dedicated right-of-way in accordance with County Standard No. 92 and Temescal Canyon Design Guidelines. (43'/64')

- NOTE: 1. A 5' sidewalk shall be constructed 8' from curb line within the 21' parkway per Temescal Canyon Design Guidelines.
2. Construct transition AC pavement tapering of acceleration lane and join existing AC pavement to the south project boundary or as approved by the Director of Transportation.
  3. The project proponent may pay cash in lieu of constructing improvements.

**LAND DEVELOPMENT COMMITTEE/  
DEVELOPMENT REVIEW TEAM  
INITIAL CASE TRANSMITTAL  
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE  
P.O. Box 1409  
Riverside, CA 92502-1409**

DATE: August 22, 2013

**TO:**

Riv. Co. Transportation Dept.	Regional Parks & Open Space District	1 <sup>st</sup> District Supervisor Jeffries
Riv. Co. Environmental Health Dept.	Riv. Co. Environmental Programs Division	1 <sup>st</sup> District Planning Commissioner Leach
Riv. Co. Public Health – Industrial Hygiene	P.D. Geology Section	City of Lake Elsinore
Riv. Co. Public Health	P.D. Landscaping Section	Lee Lake Water District
Riv. Co. Flood Control District	P.D. Archaeology Section	Southern California Edison
Riv. Co. Fire Department	Riv. Co. Sheriff's Dept.	Southern California Gas Co.
Riv. Co. Building & Safety – Grading	Riv. Co. Waste Management Dept.	
Riv. Co. Building & Safety – Plan Check	Temescal Canyon Municipal Advisory Council	

**CONDITIONAL USE PERMIT NO. 3439, REVISED PERMIT NO. 1 – EA42613 – Applicant:** Ottavio and Marie Forcone – **Engineer/Representative:** Glen Daigle – First/First Supervisorial District – Alberhill Zoning Area – Elsinore Area Plan: Community Development: Light Industrial (CD:LI) (0.25 - 0.60 Floor Area Ratio) – **Location:** Northeasterly of I-15 Freeway, southwesterly of Temescal Canyon Road, and easterly side of earthmover Circle – 1.45 Acres - **Zoning:** Manufacturing – Service Commercial (M-SC) - **REQUEST:** The Revised Permit proposes to replace the concrete block wall enclosing the Liquid Propane Gas (LPG) tanks and the earth mounding over the tanks with a fire detection and shut-off system for the proposed Liquid Propane Gas (LPG) distribution facility. – **APN:** 391-480-021 – **Related Cases:** CUP03439, CUP03439S1, and CUP03439S2

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on September 12, 2013**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Damaris Abraham**, Project Planner, at **(951) 955-5719** or email at **DABRAHAM@rctlma.org / MAILSTOP# 1070**.

*Public Hearing Path:* DH:  PC:  BOS:

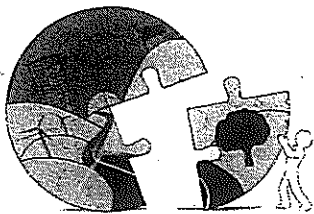
COMMENTS:

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

PLEASE PRINT NAME AND TITLE: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_

*If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.*



# RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna  
Director

## APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN                       CONDITIONAL USE PERMIT                       TEMPORARY USE PERMIT  
 REVISED PERMIT                       PUBLIC USE PERMIT                       VARIANCE

PROPOSED LAND USE: \_\_\_\_\_

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: \_\_\_\_\_

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: CUP 3439 R1                      DATE SUBMITTED: 7-30-2013

**APPLICATION INFORMATION**

Applicant's Name: MARIE OTTAVIO FORCONE                      E-Mail: K.C. PROPAVE@SBCGLOBAL.NET  
 Mailing Address: 634 SCOUT TRAIL  
ANAHEIM                      CA                      92807  
City                      State                      ZIP

Daytime Phone No: (714) 240 6420                      Fax No: (714) 637 1156

Engineer/Representative's Name: Glen Daigle                      E-Mail: glen@ogeinc.net

Mailing Address: 25109 Jefferson Ave Ste 220  
MURRIETA                      CA                      92562  
City                      State                      ZIP

Daytime Phone No: (951) 837 2222                      Fax No: (951) 837 2213

Property Owner's Name: MARIE OTTAVIO FORCONE                      E-Mail: K.C. PROPAVE@SBCGLOBAL.NET

Mailing Address: 634 SCOUT TRAIL  
ANAHEIM                      CA                      92807  
City                      State                      ZIP

Daytime Phone No: (714) 240 6420                      Fax No: (714) 637 1156

Riverside Office • 4080 Lemon Street, 12th Floor  
 P.O. Box 1409, Riverside, California 92502-1409  
 (951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road  
 Palm Desert, California 92211  
 (760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

**APPLICATION FOR LAND USE PROJECT**

Approximate Gross Acreage: 1.45

General location (nearby or cross streets): North of Lake Street, South of HORSETHIEF CANYON, East of 1-15, West of N/A

Thomas Brothers map, edition year, page number, and coordinates: \_\_\_\_\_

Project Description: (describe the proposed project in detail)  
Replace earth mounding over tanks with fire detection and shut-off system

Related cases filed in conjunction with this application:  
CUP 3439

Is there a previous application filed on the same site: Yes  No

If yes, provide Case No(s). CUP 3439 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) \_\_\_\_\_ E.I.R. No. (if applicable): \_\_\_\_\_

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes  No

If yes, indicate the type of report(s) and provide a copy: \_\_\_\_\_

Is water service available at the project site: Yes  No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes  No

Is sewer service available at the site? Yes  No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) \_\_\_\_\_

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes  No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: GRADING PERMIT ISSUED



**APPLICATION FOR LAND USE PROJECT**

Estimated amount of fill = cubic yards GRADING PERMIT ISSUED

Does the project need to import or export dirt? Yes  No

Import \_\_\_\_\_ Export \_\_\_\_\_ Neither \_\_\_\_\_

What is the anticipated source/destination of the import/export?  
\_\_\_\_\_

What is the anticipated route of travel for transport of the soil material?  
\_\_\_\_\_

How many anticipated truckloads? \_\_\_\_\_ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) \_\_\_\_\_ sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes  No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes  No

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes  No

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes  No

Does the project area exceed one acre in area? Yes  No

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

- Santa Ana River       Santa Margarita River       San Jacinto River       Whitewater River

**APPLICATION FOR LAND USE PROJECT**

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

**AUTHORIZATION FOR CONCURRENT FEE TRANSFER**

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

OTTAVIO & MARIE FORCONI   
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

**AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:**

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)  
OTTAVIO FORCONI   
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

**PROPERTY INFORMATION:**

Assessor's Parcel Number(s): 391-430-021  
Section: 17 Township: 5S Range: 5W

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 10/22/2013.

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers CUPO3439R1 For

Company or Individual's Name Planning Department,

Distance buffered 2000'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

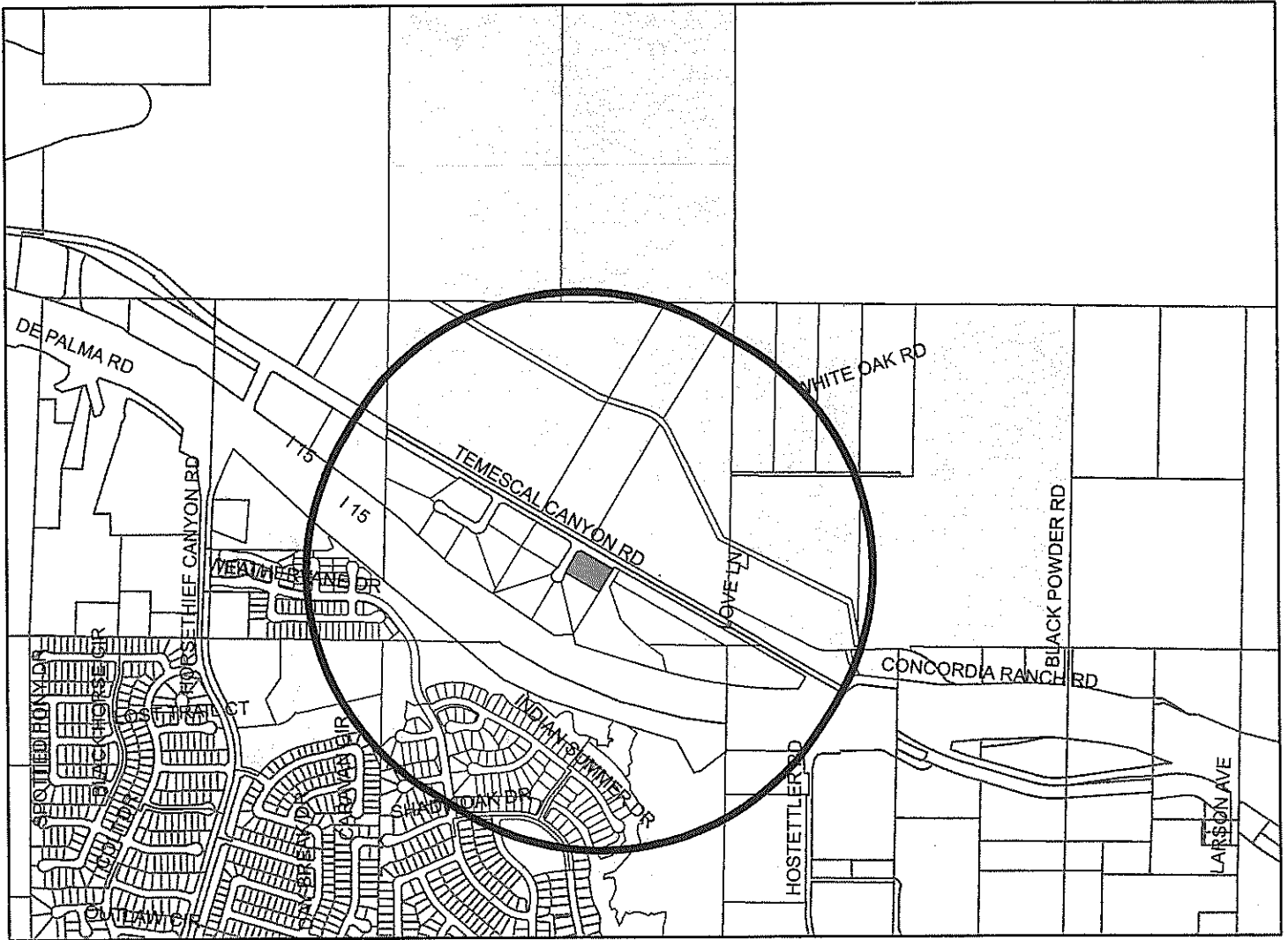
ADDRESS: 4080 Lemon Street 2<sup>nd</sup> Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

*Copy  
4/22/14*

**CUP03439R1 (2000 feet buffer)**



**Selected Parcels**

391-100-001	391-480-016	391-480-018	391-150-027	391-480-009	391-480-003	391-480-004	391-480-014	391-110-003	391-110-005
391-480-006	391-100-040	391-480-010	391-480-011	391-480-012	391-110-001	391-110-021	391-110-002	391-120-015	391-140-019
391-110-022	391-940-056	391-140-020	391-110-006	391-110-007	391-480-005	391-480-020	391-480-021	391-060-004	391-060-005
391-140-031	391-880-001	391-880-006	391-880-007	391-880-008	391-880-013	391-880-041	391-890-001	391-890-006	391-890-008
391-890-012	391-890-017	391-890-018	391-890-025	391-890-036	391-890-055	391-890-057	391-890-062	391-890-065	391-900-004
391-900-007	391-900-008	391-900-014	391-900-024	391-900-025	391-930-087	391-940-019	391-940-021	391-940-025	391-940-027
391-940-029	391-940-034	391-940-035	391-940-036	391-940-046	391-940-048	391-940-072	391-100-043	391-880-002	391-880-004
391-880-005	391-880-019	391-880-021	391-890-016	391-890-024	391-890-028	391-890-029	391-890-035	391-890-043	391-890-064
391-900-010	391-900-011	391-900-012	391-900-019	391-900-020	391-920-052	391-920-055	391-930-084	391-940-024	391-940-032
391-940-033	391-940-049	391-940-053	391-940-055	391-940-057	391-940-060	391-940-063	391-940-075	391-140-027	391-880-009
391-880-011	391-880-038	391-880-039	391-890-005	391-890-020	391-890-021	391-890-027	391-890-031	391-890-038	391-890-044
391-890-046	391-890-050	391-890-056	391-890-058	391-890-066	391-900-001	391-900-003	391-900-006	391-900-023	391-900-027

First 120 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 391060005, APN: 391060005  
MICHAEL LISTON, ETAL  
21501 TEMESCAL CANYON RD  
CORONA CA 92883

ASMT: 391120017, APN: 391120017  
TEMESCAL CANYON LP  
C/O NEAR CAL CORP  
512 CHANEY ST  
LAKE ELSINORE CA 92530

ASMT: 391100001, APN: 391100001  
ACKER STONE INDUSTRIES  
C/O LYNN MCALISTER  
13296 TEMESCAL CANYON RD  
CORONA CA 92883

ASMT: 391120018, APN: 391120018  
SANDRA JAUREGUI  
22349 AMBER EVE DR  
CORONA CA 92883

ASMT: 391100035, APN: 391100035  
SANDRA BROWN, ETAL  
P O BOX 265  
LAKE ELSINORE CA 92531

ASMT: 391120019, APN: 391120019  
WILLIAN CROW  
1466 EAST 1370 SOUTH  
PROVO UT 84604

ASMT: 391100040, APN: 391100040  
DWIGHT BUSCHLEN  
3604 BUCHANAN AVE  
RIVERSIDE CA 92503

ASMT: 391120026, APN: 391120026  
SOUTHERN CALIF EDISON CO  
C/O G BRIDGES ATTN: TAX DEPT  
2244 WALNUT GROVE AVE  
ROSEMEAD CA 91770

ASMT: 391110005, APN: 391110005  
SHANNON BEADOR, ETAL  
C/O BEADOR CONST CO  
26320 LESTER CIR  
CORONA CA 92883

ASMT: 391140019, APN: 391140019  
EVMWD  
P O BOX 3000  
LAKE ELSINORE CA 92531

ASMT: 391110007, APN: 391110007  
JOANNE DERUYTER, ETAL  
1136 HUMMINGBIRD LN  
CORONA CA 92882

ASMT: 391140020, APN: 391140020  
HORSETHIEF CANYON RANCH MAINTENANCE  
C/O THE PRESLEY COMPANIES  
22659 OLD CANAL RD  
YORBA LINDA CA 92687

ASMT: 391120016, APN: 391120016  
SOUTHERN CALIF EDISON CO  
2ND FLOOR  
2131 WALNUT GROVE AVE  
ROSEMEAD CA 91770

ASMT: 391150019, APN: 391150019  
SO CAL SANDBAGS INC  
12620 BOSLEY LN  
CORONA CA 92883



ASMT: 391150023, APN: 391150023  
WILLIAM HANMER  
P O BOX 2407  
CORONA CA 92878

ASMT: 391480011, APN: 391480011  
EARTHMOVER CIRCLE  
C/O RONALD C SMIT  
205 W BRISTOL LN  
ORANGE CA 92886

ASMT: 391150027, APN: 391150027  
BFW CORONA  
C/O CENTENNIAL FUNDING CORP  
1131 E MAIN ST STE 207B  
TUSTIN CA 92780

ASMT: 391480014, APN: 391480014  
CORONA PROP CORP  
2550 S SANTA FE AVE  
VISTA CA 92084

ASMT: 391480004, APN: 391480004  
CORONA LESTER 11  
16402 CONSTRUCTION CIR E  
IRVINE CA 92606

ASMT: 391480015, APN: 391480015  
WESTERN RIVERSIDE CO REG CONSERV AUT  
3133 MISSION INN AVE  
RIVERSIDE CA 92507

ASMT: 391480005, APN: 391480005  
JENNIFER CHIRKANIAN, ETAL  
26330 LESTER CIR  
CORONA, CA. 92883

ASMT: 391480018, APN: 391480018  
ADAD  
2118 WILSHIRE BLV NO 1142  
SANTA MONICA CA 90403

ASMT: 391480006, APN: 391480006  
SHANNON BEADOR, ETAL  
P O BOX 1  
CORONA DEL MAR CA 92625

ASMT: 391480020, APN: 391480020  
LEVEL 3 COMMUNICATIONS  
14023 DENVER WEST PKWY  
GOLDEN CO 80401

ASMT: 391480008, APN: 391480008  
TERRY PARCELL, ETAL  
9550 WARNER AVE STE 336  
FOUNTAIN VALLEY CA 92708

ASMT: 391480021, APN: 391480021  
MARIE FORCONE, ETAL  
634 S SCOUT TRAIL  
ANAHEIM CA 92807

ASMT: 391480009, APN: 391480009  
WADE RASMUSSEN, ETAL  
C/O WADE RASMUSSEN  
3250 RANCHO DEL MONICO RD  
COVINA CA 91724

ASMT: 391940075, APN: 391940075  
HILL COUNTRY S A LTD, ETAL  
3161 MICHELSON DR STE 425  
IRVINE CA 92612

City of Lake Elsinore  
130 Main St.  
Lake Elsinore, CA 92530

Southern California Gas Company  
3460 Orange St.  
Riverside, CA 92506

Lee Lake Water District  
22646 Temescal Canyon Rd.  
Corona, CA 92883-4106

Lake Elsinore Unified School District  
545 Chaney St.  
Lake Elsinore, CA 92530

Southern California Edison  
2244 Walnut Grove Ave., Rm 312  
P.O. Box 600  
Rosemead, CA 91770

Applicant/Owner:  
Marie Ottavio Forcone  
634 Scout Trail  
Anaheim, CA 92807

Eng-Rep:  
Glen Daigle  
25109 Jefferson Ave, Suite 220  
Murrieta, CA 92562

Applicant/Owner:  
Marie Ottavio Forcone  
634 Scout Trail  
Anaheim, CA 92807

Eng-Rep:  
Glen Daigle  
25109 Jefferson Ave, Suite 220  
Murrieta, CA 92562



# RIVERSIDE COUNTY PLANNING DEPARTMENT

**Carolyn Syms Luna**  
*Director*

**TO:**  Office of Planning and Research (OPR)  
P.O. Box 3044  
Sacramento, CA 95812-3044  
 County of Riverside County Clerk

**FROM:** Riverside County Planning Department  
 4080 Lemon Street, 12th Floor  
P. O. Box 1409  
Riverside, CA 92502-1409

38686 El Cerrito Road  
Palm Desert, California 92211

**SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.**

EA42613/CUP03439R1

*Project Title/Case Numbers*

Damaris Abraham

*County Contact Person*

951-955-5719

*Phone Number*

N/A

*State Clearinghouse Number (if submitted to the State Clearinghouse)*

Marie Ottavio Forcone

*Project Applicant*

634 Scout Trail, Anaheim, CA 92807

*Address*

The project site is located northeasterly of I-15 Freeway, southwesterly of Temescal Canyon Road, and easterly side of earthmover Circle, more specifically 26362 Earthmover Circle.

*Project Location*

The Revised Permit proposes to replace the proposed earth mounding over the Liquid Propane Gas (LPG) tanks with Infrared flame detection and shut-off system for the previously approved LPG distribution facility which includes three 30,000 gallon liquid propane tanks.

*Project Description*

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on January 15, 2014, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. An Addendum to adopted EA No. 39785 was prepared for the project pursuant to the provisions of the California Environmental Quality Act Proof of prior payment + \$50.00.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the earlier EA, and Addendum with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

\_\_\_\_\_  
*Signature*

\_\_\_\_\_  
*Title*

\_\_\_\_\_  
*Date*

Date Received for Filing and Posting at OPR: \_\_\_\_\_

DM/dm  
Revised 12/09/2013  
Y:\Planning Case Files-Riverside office\CUP03439R1\DH-PC-BOS Hearings\PC\NOD Form.CUP03439R1.docx

Please charge deposit fee case#: ZEA42613 ZCFG5989 .

**FOR COUNTY CLERK'S USE ONLY**

COUNTY OF RIVERSIDE  
SPECIALIZED DEPARTMENT RECEIPT  
Permit Assistance Center

O\* REPRINTED \* R1307128

4080 Lemon Street  
Second Floor  
Riverside, CA 92502  
(951) 955-3200

39493 Los Alamos Road  
Suite A  
Murrieta, CA 92563  
(951) 694-5242

38686 El Cerrito Rd  
Indio, CA 92211  
(760) 863-8271

\*\*\*\*\*  
\*\*\*\*\*

Received from: FORCONE OTTAVIO AND MARIE \$50.00  
paid by: VI 01374G  
EA42613  
paid towards: CFG05989 CALIF FISH & GAME: DOC FEE  
at parcel: 26362 EARTHMOVER CIR COR  
appl type: CFG3

By \_\_\_\_\_ Jul 30, 2013 16:50  
MGARDNER posting date Jul 30, 2013

\*\*\*\*\*  
\*\*\*\*\*

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

3.9

Agenda Item No.:  
Area Plan: All Area Plans  
Zoning: All Zoning Districts and Areas  
Supervisory District: All  
Project Planner: Larry Ross  
Planning Commission: January 15, 2014

General Plan Amendment No. 1122  
(Entitlement/Policy Amendment)  
Environmental Assessment No. 42610  
Applicant: County of Riverside

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

**GENERAL PLAN AMENDMENT NO. 1122** proposes the 5<sup>th</sup> cycle update to the Housing Element (Chapter 8) for the Riverside County General Plan in accordance with, and incorporating revisions, approved by the State of California Department of Housing and Community Development (HCD) for the planning period of October 15, 2013 to October 15, 2021.

The County of Riverside Housing Element is an integral part of the County's overall General Plan. This Element assesses the current and future housing needs of all income groups and formulates goals, policies and programs to address those needs for the unincorporated areas of Riverside County. Riverside County's housing needs have been identified by the Regional Housing Needs Assessment (RHNA), prepared by the Southern California Association of Governments (SCAG) in conjunction with the State of California for the planning period of October 15, 2013 to October 15, 2021. The Housing Element's goals, policies and programs are intended to address the County's affordable housing needs as identified by the RHNA and guide the County toward achieving these needs through the 8 year planning period. The Housing Element is mandated by the State of California-Office of Planning and Research as one of the seven required elements of a General Plan.

### ISSUES OF POTENTIAL CONCERN:

#### Adoption of the 5<sup>th</sup> Cycle Housing Element by February 15, 2014

The 4<sup>th</sup> cycle update for the planning period January 2006 - July 2014 General Plan Amendment No. 1097 (GPA No. 1097), was adopted by the Board of Supervisors on April 30, 2013 and certified by HCD on August 19, 2013. The 5<sup>th</sup> cycle must be adopted by the Board of Supervisors by February 15, 2014 or the planning period of October 15, 2013 to October 15, 2021, will be reduced from an 8 year cycle to a 4 year cycle. As a result, the cycle would then be from February 15, 2014 to October 15, 2017. In addition, the County would need to prepare and adopt another Housing Element update by 2017.

#### Certification of the 5<sup>th</sup> Cycle Housing Element

The 5<sup>th</sup> Cycle Housing Element must be certified by HCD to gain a number of benefits; these benefits include, but are not limited to the following:

- 1) Various programs and grant opportunities for the County (an example list is attached to this staff report under the title "Incentives for Housing Element Compliance"); and
- 2) The RHNA Protection Period January 1, 2014 to October 31, 2021. This means additional units would not be allocated to the County during this time frame, and jurisdictions that are out of compliance would receive those allocations.



The 5<sup>th</sup> Cycle Housing Element update may be adopted by the Board of Supervisors to retain the 8 year planning period, but until it is certified by HCD it is still deemed out of compliance. If a Housing Element is deemed out of compliance, the aforementioned benefits noted are lost.

In the attached August 19, 2013 conditional certification letter from HCD, it stated a number of items that needed to be completed before HCD would certify the 5<sup>th</sup> Cycle update to the Housing Element. These were action items 1.2q, 1.2s, 1.2t, 1.3e, 1.5g and 3.3b from the 4<sup>th</sup> Cycle Housing Element:

- 1.2q – Review and make appropriate changes to high density parking requirements in Ordinance No. 348.
- 1.2s – Amend Ordinance No. 348 to remove the one acre size requirement for 2<sup>nd</sup> units.
- 1.2t – Change the designation on 595 acres to Highest Density Residential to meet RHNA requirements.
- 1.3e – Amend Ordinance No. 348 to comply with 17021.5 and 17021.6 of the Health and Safety Code regarding farm worker housing.
- 1.5g – Amend Ordinance No. 348 to add the definitions of transitional and supportive housing.
- 3.3b – Develop a process for persons with disabilities to make a reasonable accommodation request.

The action items were to be completed this year, but with limited staff resources, all items are still outstanding. It is anticipated that all items except 1.2t will be included either in the proposed comprehensive update to Ordinance No. 348 or are minor policy changes.

Item 1.2t requires that by October 15, 2013 that 595 acres shall be designated with a higher density in the General Plan. Since this action item was not met, the County received an additional RHNA allocation of 290 acres that needs to be re-designated.

Proposed General Plan Amendment No. 1130 addresses the 885 (595+290) acres that need to be re-designated to Highest Density Residential to meet the obligation from the 4<sup>th</sup> Cycle Housing Element.

## **BACKGROUND:**

### **5<sup>th</sup> Cycle Housing Element Regional Housing Needs Assessment Allocation**

The California State Department of Finance, Demographic Research Unit in consultation to the California Department of Housing and Community Development (HCD), projects household growth for the SCAG region for the eight year period covered by the Housing Element. For the 5<sup>th</sup> Cycle Housing Element, the eight year period is October 1, 2013 through October 1, 2021. This projection is based on the age and racial/ethnic structure of the current and future population. SCAG and HCD enter into a consultation process to further refine this projection for the final regional housing need. Following this process, HCD determines and issues SCAG's regional housing need. The 5<sup>th</sup> Cycle Housing Element SCAG regional housing need was a range of 409,060 to 438,030 housing units for the period of 2013-2021 for the SCAG region.

SB-375 requires that the Regional Housing Needs Assessment (RHNA) projected household growth to be consistent with the Regional Transportation Plan/Sustainable Communities (RTP/SCS) household growth. The starting point for a jurisdiction's RHNA allocation is based on the SCAG 2012 Regional RTP/SCS household growth forecast. The process for developing the SCAG 2012 RTP/SCS growth

forecast began in 2008. SCAG developed 2008 baseline population, households and employment and then projections for 2020 and 2035. These were prepared for the SCAG region and the 197 jurisdictions in the SCAG region. Over the next three years these numbers were revised and adjusted based on input from local jurisdictions, including projections prepared by the Riverside County Center for Demographic Research and approved by the Board of Supervisors, CVAG and WRCOG, results of the 2010 Census, and Department of Finance population and household estimates for cities and counties. The final RTP/SCS household forecasts were then interpolated to project the 2013 and 2021 household figures for the RHNA. These two numbers were used to calculate the 2013-2021 household growth for each jurisdiction in the SCAG region.

The next step was to calculate the number of vacant units necessary for a “healthy housing market.” SCAG used a vacancy rate of 1.5% for owner occupied units and 5.0% for renter occupied units based on the 2010 Census and applied to the household growth forecast. This figure was then added to the projected household growth.

Following this step, the replacement need was calculated. The replacement represents the need to replace demolished dwelling units. HCD determines a replacement need for the SCAG region. This figure is then, in turn, allocated to each jurisdiction based on its historical share of SCAG’s historical demolitions. The replacement need is also added to the household growth forecast.

The fourth step was to determine a jurisdiction’s “excess” vacant units. This represents the number of units in excess of the “healthy market” vacancy need. HCD determined, in consultation with SCAG, a regional credit for excess vacant units. There were two types of excess vacant units: (1) effect vacancy credit based on for sale and for rent units (69,105 units) and (2) other vacant units (6,286 units). Using a series of formulae, SCAG calculated an excess vacant credit for each jurisdiction. This figure was then subtracted from the household growth forecast.

Seven jurisdictions in Riverside County, including the unincorporated area of Riverside County, received additional credits for projected household growth on Tribal lands. This credit was granted by HCD because Tribal lands have sovereign nation status and local jurisdictions cannot exercise land use authority over Tribal lands. SCAG, in consultation with HCD, determined a regional Tribal land household growth number. This number was then divided between the seven jurisdictions in Riverside County based on consultation with the Riverside County Center for Demographic Research. The household growth forecast was reduced by each jurisdiction’s share of the projected household growth on Tribal land.

In summary, the final RHNA allocation of housing need for the unincorporated area of Riverside County was household growth + healthy market vacancy need + replacement need – excess vacant units – Tribal land household growth.

The final step was to distribute the RHNA allocation of housing need growth into four income categories: Very Low Income, Low Income, Moderate Income, and Above Moderate Income. The income categories were based on the County’s median household income from the 2005-2009 American Community Survey. Very Low Income was less than 50% of the County Median Household Income; low Income was between 50% to 80% of the County Median Household Income; Moderate Income was between 80% to 120% of the County Median Household Income; and, Above Moderate Income was greater than 120% of the County Median Household Income. A jurisdiction’s housing need was distributed to each of these categories based on the percentage of the jurisdictions households in each of the categories. The household allocation was then adjusted for “equity.” In simple terms, if a jurisdiction’s income level was above the County’s income level, the household allocation would be

adjusted slightly to have more households in the Lower Income Categories and fewer households in the Moderate and Above Moderate Income categories. Conversely, if a jurisdiction's income level was below the County's income level, the household allocation would be adjusted slightly to have more households in the Moderate and Above Moderate income categories.

#### **5<sup>th</sup> Cycle Housing Element RHNA Allocation**

The RHNA allocation for the 5<sup>th</sup> Cycle Housing Element update includes the 5<sup>th</sup> Cycle Housing Element RHNA Allocation and a carryover of the 4<sup>th</sup> Cycle RHNA allocation. The 4<sup>th</sup> Cycle and 5<sup>th</sup> Cycle RHNA allocation methodology were very similar with three major differences. The 4<sup>th</sup> Cycle RHNA was developed in 2007 during the height of the "housing boom." Consequently, the household forecasts were substantially higher as was HCD's final housing need determination for the SCAG region. For the unincorporated area of Riverside County, the household forecast used for the 5<sup>th</sup> Cycle RHNA was nearly 20,000 household forecast less than that used for the 4<sup>th</sup> Cycle RHNA. Additionally, due to the collapse of the housing market in 2008-2009, most jurisdictions, including the unincorporated area of Riverside County, got a substantially higher excess vacancy adjustment in the 5<sup>th</sup> Cycle RHNA. There was also an adjustment for household growth on Tribal lands in the 4<sup>th</sup> Cycle RHNA as there was in the 5<sup>th</sup> Cycle RHNA. Finally, Riverside County's allocation was reduced due to the incorporations that occurred during the period when 5<sup>th</sup> Cycle RHNA housing need allocation were developed. The end result was that the 5<sup>th</sup> Cycle RHNA allocation for the unincorporated area of Riverside County was nearly 25,000 less than it was for the 4<sup>th</sup> Cycle RHNA.

#### **RECOMMENDATIONS:**

##### **THE PLANNING COMMISSION RECOMMENDS THAT THE BOARD OF SUPERVISORS:**

**FIND THAT NO NEW ENVIRONMENTAL DOCUMENTS ARE REQUIRED** for **GENERAL PLAN AMENDMENT NO. 1122** because all potentially significant impacts were adequately analyzed in the earlier Negative Declaration, Environmental Assessment No. 42371 for the 4<sup>th</sup> Cycle Housing Element General Plan Amendment No. 1097, pursuant to the applicable legal standards, all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier Negative Declaration, the proposed project will not result in any new significant environmental effects not identified in the earlier Negative Declaration, the proposed project will not substantially increase the severity of the environmental effects identified in the earlier Negative Declaration, no considerably different mitigation measures have been identified; and, no mitigation measures found infeasible have become feasible; and,

**TENTATIVELY APPROVE GENERAL PLAN AMENDMENT NO. 1122**, based upon the findings contained in Environmental Assessment No. 42610, the findings and conclusions contained in the staff report and pending final adoption of a resolution by the Board of Supervisors; and,

**ADOPT PLANNING COMMISSION'S RESOLUTION NO. 2014-002** recommending adoption of General Plan Amendment No. 1122 based on the staff report and the findings and conclusions stated therein.

**FINDINGS:**

1. Pursuant to the General Plan Administrative Element, the proposed Amendment must not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan.

A. The proposed Amendment does not conflict with:

- (1) The Riverside County Vision.

The Riverside County Vision statement (Chapter 2 of the General Plan) identifies the “richly varied range of income categories” available within the County and also states that “housing is available in every increment of this range”. The Housing Element promotes this General Plan Vision by identifying the various income levels and associated housing needs that need to be met for each category. The Housing Element also identifies funding opportunities, establishes programs and policies, and prescribes responsibilities for several County departments to implement the policies established as part of the Housing Element. Therefore, by including the 5<sup>th</sup> Cycle Housing Element update into the General Plan, the County’s vision is enhanced and does not change or conflict with the Vision statement.

- (2) Any General Plan Principle.

The General Plan provides several principles that establish direction for land use, economic, and housing development. Specifically, subsection D of Appendix B (General Planning Principles) states that “the Housing Element should be revised to adopt policies that address the real-world projections of overall housing growth and demands for housing of varied type, style, price and density, which encouraging a wide range of choices and opportunities within the framework of the larger economy and the realities of the marketplace.” The County’s 5<sup>th</sup> Cycle Housing Element update specifically implements these provisions. As a result, the Housing Element will include programs and policies that are proposed within the County’s Action Plan to meet the overall housing demands in the County for all specified income categories (Extremely Low, Very Low, Low, Moderate, and Above Moderate). Therefore, by updating the Housing Element, the County’s General Plan principles will continue to promote housing goals and objectives (subsection D of Appendix B) and the proposed General Plan Amendment will not change or conflict with the General Plan principles.

- (3) Any Foundation Component designation in the General Plan.

The 5<sup>th</sup> Cycle Housing Element update and associated General Plan Amendment is a policy document that sets forth programs and policies to address the County’s current and anticipated affordable housing needs for the next 8 years. This General Plan Amendment proposes to amend the Housing Element of the General Plan, which is not classified as a Land Use Foundation or Designation change. Therefore, the integration of the 5<sup>th</sup> Cycle Housing Element update into the General Plan will not cause a change or conflict with any Foundation Component or designation in the General Plan.

2. **Pursuant to** General Plan Administrative Element, the proposed General Plan Amendment must either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them.

The Housing Element is a legally required component of the General Plan. The inclusion of the 5<sup>th</sup> Cycle Housing Element update contributes to the achievement of the purposes, goals and objectives of the overall General Plan and provides for the current and anticipated affordable housing needs for the next 8 years.

3. In addition to the aforementioned two findings, the General Plan Administrative Element also requires that an additional finding, from a list of five, be made.

The appropriate additional finding for the proposed 5<sup>th</sup> Cycle Housing Element update and its General Plan Amendment is:

The proposed General Plan Amendment is required to comply with an update of the Housing Element or change in State Housing Element law.

The Housing Element is one of the seven General Plan elements mandated by the State of California, as set forth in Sections 65580 to 65589.8 of the Government Code. State law requires that the Housing Element consist of "an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement and development of housing." The residential character of the County is, to a large extent, determined by the variety of its housing and the location and maintenance of the housing. The 5<sup>th</sup> Cycle Housing Element update is an official response to the need to provide housing for all economic segments of the population. It establishes policies that will guide County decision making, and sets forth an action program to implement housing goals through 2021.

4. There are no significant changes between the adopted 4<sup>th</sup> Cycle Housing Element and the proposed 5<sup>th</sup> Cycle Housing Element update as established by Environmental Assessment No. 42610.
5. In accordance with CEQA Guidelines Section 15162, the proposed 5<sup>th</sup> Cycle Housing Element update and its General Plan Amendment would not have a significant effect on the environment and nothing further is required because all potentially significant effects have been adequately analyzed pursuant to an earlier Negative Declaration, Environmental Assessment No. 42371 (EA42371) for GPA No. 1097 4<sup>th</sup> Cycle Housing Element, and Environmental Assessment No. 42610 (EA42610) pursuant to applicable legal standards; and have been avoided or mitigated pursuant to that earlier Negative Declaration including revisions or mitigation measures that are imposed upon the proposed 5<sup>th</sup> Cycle Housing Element update and its General Plan Amendment. It has been determined through EA42610 that:
  - a. No new substantial changes are proposed in the project which will require major revisions of the previous Negative Declaration EA42371 due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and,
  - b. No new substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous Negative Declaration EA42371 due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; and,



c. No new information of substantial importance has been provided, which was not known and could not have been known with the exercise of reasonable diligence at the time the Negative Declaration EA42371 was adopted.

**CONCLUSIONS:**

1. The proposed 5<sup>th</sup> Cycle Housing Element update and corresponding General Plan Amendment is in conformance with the Entitlement/Policy Amendment Findings as set forth in the Administrative Element of the General Plan and will not change or conflict with the Riverside County Vision; any General Plan principle as set forth in Appendix B; or any Foundation Component or Designation in the General Plan.
2. The proposed 5<sup>th</sup> Cycle Housing Element update and corresponding General Plan Amendment contributes to the purposes of the General Plan and is not detrimental to them.
3. The proposed General Plan Amendment is necessary to comply with an update of the Housing Element as required by State law.
4. The proposed 5<sup>th</sup> Cycle Housing Element update and corresponding General Plan Amendment will not have a significant effect on the environment.

**ATTACHMENTS:**

Attachment A: Incentives for Housing Element Compliance

Attachment B: HCD August 19, 2013 Conditional Certification Letter

Attachment C: GPA No. 1122 EA42610

Attachment D: 5<sup>th</sup> Cycle Housing Element and Appendixes

Attachment E: Planning Commission Resolution 2014-002

**DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT****Division of Housing Policy Development**

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P. O. Box 952053  
Sacramento, CA 94252-2053  
(916) 323-3177  
FAX (916) 327-2643

**Incentives for Housing Element Compliance**

Updated January 2009

Housing elements have been mandatory portions of local general plans in California since 1969. This reflects the statutory recognition that the availability of housing is a matter of statewide importance and cooperation between government and the private sector is critical to attainment of the State's housing goals. Housing element law is the State's primary market-based strategy to increase housing supply, affordability and choice. The law recognizes that in order for the private sector to adequately address housing needs and demand, local governments must adopt land-use plans and regulatory schemes that provide opportunities for, and do not unduly constrain, housing development.

To incentivize and reward local governments that have adopted compliant and effective housing elements, several housing, community development and infrastructure funding programs include housing element compliance as a rating and ranking or threshold requirement.

Housing element compliance is generally included as a rating and ranking criteria in programs where the primary applicants are local governments. As eligible applicants vary by program, (e.g., only non-entitlement jurisdictions eligible for State CDBG or HOME programs) not all jurisdictions are affected by these programmatic requirements.

The effect or significance of the housing element factor within the context of other competitive factors varies by program. Please refer to program specific information available for the specific criteria utilized including timing requirements.

**California Department of Housing and Community Development**

- **Building Equity and Growth in Neighborhoods (BEGIN) Program**  
<http://www.hcd.ca.gov/fa/begin>

Program Description: The BEGIN Program is a homeownership program providing grants to local governments that reduce regulatory constraints to housing. Grants are provided for downpayment assistance to low- and moderate-income first-time homebuyers.

Housing Element Criteria: Points are granted for jurisdictions with an adopted housing element found in substantial compliance with State housing element law.

- **Home Investments Partnerships (HOME) Program (Federal)**

<http://www.hcd.ca.gov/fa/home>

Program Description: The HOME Program provides grants to cities, counties, and State-certified CHDO's for housing rehabilitation, new construction, and acquisition and rehabilitation for both single family and multifamily housing projects serving lower-income renters and owners.

Housing Element Criteria: Points are granted for jurisdictions with an adopted housing element found in substantial compliance with State housing element law.

- **Community Development Block Grant (CDBG) Program**

<http://www.hcd.ca.gov/fa/cdbg>

***General Allocation***

Program Description: The CDBG/GA Program provides funds for new construction, housing acquisition, housing programs, housing rehabilitation, public services, community facilities, economic development, and public works.

Housing Element Criteria: To be eligible for funding, a jurisdiction's housing element must be adopted pursuant to Government Code Section 65585 by a date established in the NOFA/Application.

***Planning and Technical Assistance***

Program Description: CDBG/PTA Program provides funds for planning and feasibility studies related to CDBG-eligible activities.

Housing Element Criteria: To be eligible for funding, a jurisdiction's housing element must be adopted pursuant to Government Code Section 65585 by a date established in the NOFA/Application.

- **Infill Incentive Grant (IIG) Program**

<http://www.hcd.ca.gov/fa/iig/>

Program Description: The IIG Program provides funds for infrastructure improvements necessary to facilitate new infill housing development.

Housing Element Criteria: To be eligible for funding, projects must be located in a locality which has an adopted housing element that has been found by the Department to be in substantial compliance as of the due date for applications pursuant to the NOFA.

- **Housing Related Parks (Parks) Program**

<http://www.hcd.ca.gov/hpd/hrpp/>

Program Description: The Housing Related Parks Program creates incentives and rewards for cities and counties with documented housing starts for newly constructed units affordable to very low or low-income households with grant funds which can be used to create new parks or rehabilitation or improvement to existing parks.

Housing Element Criteria: To be eligible for funding Cities and counties must have an adopted housing element that the Department has found to be in substantial compliance with State housing element law by the end of the 12-month period (CY) for which application is made. In addition, jurisdictions must have submitted to the Department the annual progress report required by Section 65400 of the Government Code within the preceding 12 months.

- **Local Housing and Trust (LHTF) Program**

<http://www.hcd.ca.gov/fa/ahif/lhtf.html>

Program Description: The LHTF helps finance local housing trust funds dedicated to the creation or preservation of affordable housing. The program provides matching grants (dollar-for-dollar) to local housing trust funds that are funded on an ongoing basis from private contributions or public sources that are not otherwise restricted in use for housing programs.

Housing Element Criteria: To be eligible for funding, Cities and counties must have adopted housing elements that the Department has found in compliance with State housing element law.

- **Workforce Housing Reward (WFH) Program (*no current funding available*)**

<http://www.hcd.ca.gov/fa/whrp>

Program Description: The WFH Program provides financial incentives to cities and counties that issue building permits for new housing affordable to very low- or low-income households. Grant funds can be used for a wide range of capital asset projects including parks, street/infrastructure improvements, recreational facilities, housing, neighborhood improvements, public safety and community revitalization efforts.

Housing Element Criteria: To be eligible for funding, a jurisdiction must have an adopted housing element that has been found in compliance by the Department by a date established in the NOFA/Application.

### Other Statewide Programs

- **California Debt Limit Allocation Committee of State Treasurer's Office  
Single Family Home Program**

<http://www.treasurer.ca.gov/cdlac/procedures/adopted.pdf>

Program Description: Reduced interest, tax-exempt bonds to finance affordable housing projects, both rental and homeownership.

Housing Element Criteria: The proposed Single Family Home Program must be consistent with the adopted housing element for the jurisdiction in which the program is to be operated.

- **California Infrastructure and Economic Development Bank (I-Bank) Infrastructure State Revolving Fund (ISRF) Program**  
[http://www.ibank.ca.gov/ttca/pdfs/detail/inf\\_bank/BoardApprovedCriteria-revised02-01-07.pdf](http://www.ibank.ca.gov/ttca/pdfs/detail/inf_bank/BoardApprovedCriteria-revised02-01-07.pdf)

Program Description: The ISRF Program provides low-cost financing to public agencies for a wide variety of infrastructure projects. Eligible project categories include city streets, county highways, state highways, drainage, water supply and flood control, educational facilities, environmental mitigation measures, parks and recreational facilities, port facilities, public transit, sewage collection and treatment, solid waste collection and disposal, water treatment and distribution, defense conversion, public safety facilities, and power and communications facilities.

Housing Element Criteria: Points will be granted for jurisdictions or applicants located within a jurisdiction with a Department approved housing element.

- **California Housing Finance Agency Housing Enabled by Local Partnerships (HELP) Program**  
<http://www.calhfa.ca.gov/localities/help/index.htm>

Program Description: The HELP Program and the Residential Development Loan Program (RDLP) offer reduced rate loans to local government entities for locally determined affordable housing activities and priorities (acquisition, construction, rehabilitation, single-family homeownership, or preservation of multifamily and special needs units).

Housing Element Criteria: Proposals must include documented housing plans that demonstrate that the proposed housing activity described in the application has been identified as a local housing priority. Eligible documented housing plans include the housing elements, consolidated plans, redevelopment plans or other general housing plans that the locality's governing board has ratified. Applications must also include evidence that a plan has been approved.

**DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF HOUSING POLICY DEVELOPMENT**

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www.hcd.ca.gov



August 19, 2013

Mr. Jay Orr, County Executive Officer  
County Administrative Center  
4080 Lemon Street - 4th Floor  
Riverside, California 92501

Dear Mr. Orr:

**RE: Review of the County of Riverside's 4<sup>th</sup> cycle (2008-2014) Adopted Housing Element**

Thank you for submitting the County of Riverside's housing element adopted on April 30, 2013 and received for review on June 26, 2013. Pursuant to Government Code Section 65585(h), the Department is reporting the results of its review.

The Department is pleased to find the adopted housing element in full compliance with State housing element law (Article 10.6 of the Government Code). This finding is based on, among other things, the County's commitment to rezone 595 acres to the Highest Density Residential (HHDR) zone to accommodate the regional housing need for lower-income households demonstrated by Program 1.2t. The Department's review found the adopted element to be substantially the same as the revised draft element reviewed by the Department on April 12, 2013 and determined to comply with statutory requirements.

The Department is pleased to inform the County that 4th cycle housing element compliance makes the County eligible to meet one of the threshold requirements of the Housing Related Parks (HRP) Program that rewards local governments for approving housing affordable to lower-income households. The HRP Program, funded by Proposition 1C, provides grant funds to eligible local governments for every qualifying unit permitted since 2010. Grant awards can be used to fund park-related capital asset projects. More specific information about the Program is available on the Department's website at <http://www.hcd.ca.gov/hpd/hrpp/>.

Among many other components, implementation and community participation are critical to the housing element process. Given the late timing in the planning period, the Department urges the County to expeditiously implement its program such as Program 1.2t (rezone) or various other zoning amendments (e.g., 1.2q, 1.2s, 1.3e, 1.5g and 3.3b). In addition, the Department received significant comments from California Rural Legal Assistance (CRLA) regarding a variety of issues under housing element law. The County should continue to engage the community and CRLA to address those issues as part of the upcoming 5th cycle housing element update.



Mr. Jay Orr, County Executive Officer  
Page 2

The Department appreciates the hard work and dedication of Riverside County's housing element update team and looks forward to receiving the County's adopted housing element. If you have any questions or need additional technical assistance, please contact Brett Arriaga, of our staff, at (916) 263-7439.

Sincerely,

A handwritten signature in cursive script that reads "Glen A. Campora". The signature is written in black ink and is positioned above the printed name and title.

Glen A. Campora  
Assistant Deputy Director

# COUNTY OF RIVERSIDE

## ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

**Environmental Assessment (E.A.) Number:** 42610  
**Project Case Type and Number:** General Plan Amendment No. 1122  
**Lead Agency Name:** County of Riverside Planning Department  
**Address:** P.O. Box 1409, Riverside, CA 92502-1409  
**Contact Person:** Larry Ross, Project Planner  
**Telephone Number:** (951) 955-9294  
**Applicant's Name:** County of Riverside  
**Applicant's Address:** 4080 Lemon Street, 12<sup>th</sup> Floor, P.O. Box 1409, Riverside, CA 92502

### I. PROJECT INFORMATION

#### A. Project Description:

**GENERAL PLAN AMENDMENT NO. 1122** proposes the 5<sup>th</sup> cycle update to the Housing Element (Chapter 8) for the Riverside County General Plan in accordance with, and incorporating revisions, approved by the State of California Department of Housing and Community Development (HCD) for the planning period of October 15, 2013 to October 15, 2021.

The County of Riverside Housing Element is an integral part of the County's overall General Plan. This Element assesses the current and future housing needs of all income groups and formulates goals, policies and programs to address those needs for the unincorporated areas of Riverside County. Riverside County's housing needs have been identified by the Regional Housing Needs Assessment (RHNA), prepared by the Southern California Association of Governments (SCAG) in conjunction with the State of California for the planning period of October 15, 2013 to October 15, 2021. The Housing Element's goals, policies and programs are intended to address the County's affordable housing needs as identified by the RHNA and guide the County toward achieving these needs through the 8 year planning period. The Housing Element is mandated by the State of California-Office of Planning and Research as one of the seven required elements of a General Plan.

Since the adoption of the 4<sup>th</sup> Cycle of the Housing Element, only minor updates were introduced to the 5<sup>th</sup> Cycle Housing Element reflecting the changes that occurred between April 30, 2013 and October 15, 2013. The majority of the updates were statistical in nature, and reflect changes in housing occupancy or behavior between adoption and October 15, 2013. In the action plan, and elsewhere in the document, the Riverside County Redevelopment Agency has been removed as a responsible agency and the appropriate successor agency has been added. And minor clean up to language was made and any errors corrected.

**B. Type of Project:** Site Specific ; Countywide ; Community ; Policy .

**C. Total Project Area:** Countywide (unincorporated areas)

<b>Residential Acres:</b> N/A	<b>Lots:</b> N/A	<b>Units:</b> N/A	<b>Projected No. of Residents:</b> N/A
<b>Commercial Acres:</b> N/A	<b>Lots:</b> N/A	<b>Sq. Ft. of Bldg. Area:</b> N/A	<b>Est. No. of Employees:</b> N/A
<b>Industrial Acres:</b> N/A	<b>Lots:</b> N/A	<b>Sq. Ft. of Bldg. Area:</b> N/A	<b>Est. No. of Employees:</b> N/A
<b>Other:</b> N/A			

**D. Assessor's Parcel Nos:** All APN's within unincorporated Riverside County

**E. Street References:** N/A

**F. Section, Township & Range Description or reference/attach a Legal Description:** Varies Countywide.

**G. Brief description of the existing environmental setting of the project site and its surroundings:** Varies Countywide.

**II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS**

**H. General Plan Elements/Policies:**

1. **Land Use:** Varies Countywide.
2. **Circulation:** Varies Countywide.
3. **Multipurpose Open Space:** Varies Countywide.
4. **Safety:** Varies Countywide.
5. **Noise:** Varies Countywide.
6. **Housing:** Varies Countywide.
7. **Air Quality:** Varies Countywide.

**I. General Plan Area Plan(s):** Varies Countywide.

**J. Foundation Component(s):** Varies Countywide.

**K. Land Use Designation(s):** Varies Countywide.

**L. Overlay(s), if any:** Varies Countywide.

**M. Policy Area(s), if any:** Varies Countywide.

**N. Adjacent and Surrounding :**

1. **Area Plan(s):** Varies Countywide.
2. **Foundation Component(s):** Varies Countywide.
3. **Land Use Designation(s):** Varies Countywide.
4. **Overlay(s):** Varies Countywide.
5. **Policy Area(s), if any:** Varies Countywide.

**O. Adopted Specific Plan Information**

1. **Name and Number of Specific Plan, if any:** Varies Countywide.
2. **Specific Plan Planning Area, and Policies, if any:** Varies Countywide.

P. Existing Zoning: Varies Countywide.

Q. Proposed Zoning, if any: N/A

R. Adjacent and Surrounding Zoning: Varies Countywide.

### III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below ( x ) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Aesthetics                     | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology/Water Quality       | <input type="checkbox"/> Transportation / Traffic           |
| <input type="checkbox"/> Air Quality                    | <input type="checkbox"/> Land Use / Planning           | <input type="checkbox"/> Utilities / Service Systems        |
| <input type="checkbox"/> Biological Resources           | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Cultural Resources             | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Other:                             |
| <input type="checkbox"/> Geology / Soils                | <input type="checkbox"/> Population / Housing          | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions       | <input type="checkbox"/> Public Services               |   |

### IV. DETERMINATION

On the basis of this initial evaluation:

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

- I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.
- I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

#### A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

- I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
- I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

\_\_\_\_\_  
Signature

Larry Ross, Project Planner  
\_\_\_\_\_  
Printed Name

December 16, 2013  
\_\_\_\_\_  
Date

For Juan C. Perez, Interim Planning  
Director  
\_\_\_\_\_

**V. ENVIRONMENTAL ISSUES ASSESSMENT**

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>AESTHETICS</b> Would the project				
<b>1. Scenic Resources</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>2. Mt. Palomar Observatory</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**3. Other Lighting Issues**

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**AGRICULTURE RESOURCES** Would the project

**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural use, or a Williamson Act (agricultural preserve) contract (Riv. Co. Agricultural Land Conservation Contract Maps)?

c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?

d) Involve other changes in the existing environment

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**5. Forest**

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?

b) Result in the loss of forest land or conversion of forest land to non-forest use?

c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

**AIR QUALITY** Would the project

**6. Air Quality Impacts**

a) Conflict with or obstruct implementation of the

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
applicable air quality plan?				
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

**Findings of Fact:** The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**BIOLOGICAL RESOURCES** Would the project

**7. Wildlife & Vegetation**

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?

d) Interfere substantially with the movement of any

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?				
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No unique project specific mitigation is required.

Monitoring: No unique mitigation monitoring is required.

**CULTURAL RESOURCES** Would the project

<b>8. Historic Resources</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**9. Archaeological Resources**

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Monitoring: No monitoring measures are required.

**10. Paleontological Resources**

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No unique project specific mitigation is required.

Monitoring: No unique mitigation monitoring is required.

**GEOLOGY AND SOILS** Would the project

<b>11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>12. Liquefaction Potential Zone</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**13. Ground-shaking Zone**

Be subject to strong seismic ground shaking?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**14. Landslide Risk**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**15. Ground Subsidence**

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: RCIP

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**Findings of Fact:**

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**16. Other Geologic Hazards**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

**Source:** RCIP

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

**17. Slopes**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Source:** RCIP

**Findings of Fact:**

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>18. Soils</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be located on expansive soil, as defined in SECTION 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>19. Erosion</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>20. Wind Erosion and Blowsand from project either on or off site.</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**GREENHOUSE GAS EMISSIONS** Would the project

<b>21. Greenhouse Gas Emissions</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: RCIP

Findings of Fact:

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Mitigation: No mitigation is required.

Monitoring: No monitoring is required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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**HAZARDS AND HAZARDOUS MATERIALS** Would the project

**22. Hazards and Hazardous Materials**

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?

d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**23. Airports**

a) Result in an inconsistency with an Airport Master Plan?

b) Require review by the Airport Land Use Commission?

c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>24. Hazardous Fire Area</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**HYDROLOGY AND WATER QUALITY** Would the project

<b>25. Water Quality Impacts</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?				
b) Violate any water quality standards or waste	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
discharge requirements?				
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

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**Mitigation:** No mitigation measures are required.

**Monitoring:** No monitoring measures are required.

## 26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable  U - Generally Unsuitable  R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?

b) Changes in absorption rates or the rate and amount

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
of surface runoff?				
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>LAND USE/PLANNING</b> Would the project				
<b>27. Land Use</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in a substantial alteration of the present or planned land use of an area?				
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

<b>28. Planning</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be consistent with the site's existing or proposed				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
zoning?				
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**MINERAL RESOURCES** Would the project

<b>29. Mineral Resources</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**NOISE** Would the project result in

**Definitions for Noise Acceptability Ratings**

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

**30. Airport Noise**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA  A  B  C  D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

NA  A  B  C  D

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**31. Railroad Noise**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

NA  A  B  C  D

Source: RCIP

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**32. Highway Noise**

NA  A  B  C  D

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**33. Other Noise**

NA  A  B  C  D

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**34. Noise Effects on or by the Project**

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No unique project specific mitigation is required.

Monitoring: No unique mitigation monitoring is required.

**POPULATION AND HOUSING** Would the project

<b>35. Housing</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP



Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**PUBLIC SERVICES** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

**36. Fire Services**

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**37. Sheriff Services**

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**38. Schools**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**39. Libraries**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**40. Health Services**

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**RECREATION**

**41. Parks and Recreation**

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

c) Is the project located within a C.S.A. or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**42. Recreational Trails**

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No unique project specific mitigation is required.

Monitoring: No unique mitigation monitoring is required.

**TRANSPORTATION/TRAFFIC** Would the project

**43. Circulation**

a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

b) Result in inadequate parking capacity?

c) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated road or highways?

d) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

e) Alter waterborne, rail or air traffic?

f) Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

g) Cause an effect upon, or a need for new or altered maintenance of roads?

h) Cause an effect upon circulation during the project's construction?

i) Result in inadequate emergency access or access to nearby uses?

j) Conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks)?

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>44. Bike Trails</b>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**UTILITY AND SERVICE SYSTEMS** Would the project

**45. Water**

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**46. Sewer**

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the project

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**47. Solid Waste**

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP (County Integrated Waste Management Plan)?

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**48. Utilities**

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?



	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Conflict with adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

**49. Energy Conservation**

a) Would the project conflict with any adopted energy conservation plans?

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: None Required

Monitoring: None Required

**OTHER**

**50. Other: Not Applicable**

Source: RCIP

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

Mitigation: None Required

Monitoring: None Required

**MANDATORY FINDINGS OF SIGNIFICANCE**

51. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare, or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

52. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of other current projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

53. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The potential environmental effects of the project were fully studied in Environmental Assessment No. 42371, which is incorporated herein by reference. Based thereon, the negative declaration for EA42371 was adopted on April 30, 2013. The Project will not result in any new significant environmental effects not identified in EA42371, nor will it substantially increase the severity of the environmental effects identified in EA42371. In addition, no considerably different mitigation measures have been identified and no mitigation measures found infeasible have become feasible.

**VI. EARLIER ANALYSES**

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Riverside County General Plan EIR No. 441

RCLIS

Flood Control District  
Geology Report

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department  
4080 Lemon Street, 9th Floor  
Riverside, CA 92505

**VII. AUTHORITIES CITED**

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

COUNTY OF RIVERSIDE GENERAL PLAN UPDATE 2013  
**GENERAL PLAN AMENDMENT NO. 1122**  
**CHAPTER 8 – HOUSING ELEMENT 2013 - 2021**

**“Our shelter will be safe, comfortable, and diverse, providing a wide range of housing opportunities in all densities, styles, and price ranges. Neighborhoods will be well designed, conveniently located with respect to schools, jobs, shopping and transportation systems, encouraging a strong sense of community identity among residents.”**

**- Riverside County Strategic Vision Plan**



**RIVERSIDE COUNTY**  
**PLANNING DEPARTMENT**





TABLE OF CONTENTS

Chapter 8: Housing Element

**INTRODUCTION ..... 1**

    CONSISTENCY WITH STATE PLANNING LAW ..... 1

    HOUSING ELEMENT REQUIREMENTS ..... 1

    CITIZEN PARTICIPATION ..... 2

    GENERAL PLAN CONSISTENCY ..... 4

    HOUSING ELEMENT ORGANIZATION ..... 4

    SUMMARY AND CONCLUSIONS: HOUSING NEEDS ..... 5

**EVALUATION OF THE PREVIOUS HOUSING ELEMENT ..... 8**

    PROGRESS IN IMPLEMENTING THE PAST ELEMENT GOALS AND OBJECTIVES ..... 8

**COMMUNITY PROFILE ..... 51**

    DATA SOURCES ..... 51

    DEMOGRAPHIC TRENDS ..... 51

    EMPLOYMENT TRENDS ..... 56

    HOUSEHOLD CHARACTERISTICS ..... 60

    HOUSING STOCK CHARACTERISTICS ..... 66

    SPECIAL NEEDS GROUPS ..... 75

    PRESERVATION OF ASSISTED UNITS AT RISK OF CONVERSION ..... 85

**HOUSING RESOURCES ..... 94**

    OVERVIEW OF THE REGIONAL HOUSING NEEDS ASSESSMENT ..... 94

    AVAILABILITY OF SITES FOR HOUSING ..... 95

**CONSTRAINTS ..... 103**

    GOVERNMENTAL CONSTRAINTS ..... 103

    NON-GOVERNMENTAL CONSTRAINTS ..... 133

**EIGHT-YEAR ACTION PLAN ..... 149**

    EIGHT-YEAR GOALS, POLICIES AND ACTIONS ..... 149

    IMPLEMENTING RESOURCES ..... 174

    QUANTIFIED OBJECTIVES ..... 197





LIST OF TABLES

TABLE H-1 PROGRESS IN IMPLEMENTING HOUSING GOALS AND ACTIONS JANUARY 1, 2006 TO JUNE 30, 2014 .....9

TABLE H-2 REGIONAL POPULATION GROWTH TRENDS: 2000–2012 .....52

TABLE H-3 COUNTY/CITY POPULATION GROWTH TRENDS 2000-2012.....53

TABLE H-4 POPULATION, HOUSEHOLDS, AND EMPLOYMENT DISTRIBUTION .....55

TABLE H-5 AGE DISTRIBUTION 2007–2010 .....56

TABLE H-6 EMPLOYMENT BY INDUSTRY 2007–2011 .....57

TABLE H-7 EMPLOYMENT TRENDS BY INDUSTRY 2010-2020.....58

TABLE H-8 RIVERSIDE COUNTY LARGEST EMPLOYERS .....59

TABLE H-9 JOB-HOUSEHOLD RATIOS, UNINCORPORATED RIVERSIDE COUNTY 2000-2010.....60

TABLE H-10 HOUSEHOLD CHARACTERISTICS .....61

TABLE H-11 HOUSEHOLD SIZE DISTRIBUTION 2010 .....61

TABLE H-12 OVERCROWDING 2010 .....62

TABLE H-13 INCOME LIMITS BY PERSONS IN HOUSEHOLD RIVERSIDE COUNTY 2013 .....63

TABLE H-14 HOUSEHOLD INCOME DISTRIBUTION 2000–2010 .....63

TABLE H-15 LOWER-INCOME HOUSEHOLDS OVERPAYING OR SEVERELY OVERPAYING .....65

TABLE H-16 HOUSING INVENTORY BY TYPE RIVERSIDE COUNTY UNINCORPORATED AREA 2007 AND 2013.....66

TABLE H-17 HOUSING INVENTORY BY TENURE RIVERSIDE COUNTY UNINCORPORATED AREA 2010 .....67

TABLE H-18 AGE OF HOUSING STOCK, RIVERSIDE COUNTY .....69

TABLE H-19 COMBINED HOUSING REHABILITATION AND REPLACEMENT NEED .....71

TABLE H-20 COMPARISON OF MEDIAN HOME PRICES BETWEEN 2007 AND 2012 BY AREA .....72

TABLE H-21 COST COMPARISON FOR NEW MANUFACTURED HOMES 2000–2007 .....74

TABLE H-22 AVERAGE RENTS BY UNIT TYPE, 2013 .....74

TABLE H-23 HOUSING AFFORDABILITY BY INCOME LEVEL (BASED ON A FOUR-PERSON HOUSEHOLD) .....75

TABLE H-24 MOBILITY AND SELF-CARE LIMITATION AGE 16+ RIVERSIDE COUNTY UNINCORPORATED AREA 2000.....77

TABLE H-25 DEVELOPMENTALLY DISABLED RESIDENTS, BY AGE RIVERSIDE COUNTY UNINCORPORATED AREA .....78

TABLE H-26 DISTRIBUTION OF UNSHELTERED HOMELESS POPULATION RIVERSIDE COUNTY JANUARY 2013 .....80

TABLE H-27 HOMELESS SHELTER RESOURCES RIVERSIDE COUNTY 2009 .....82

TABLE H-28 FARM WORKERS IN RIVERSIDE COUNTY 2007.....84

TABLE H-29 UNINCORPORATED RIVERSIDE COUNTY INVENTORY OF ASSISTED UNITS .....86

TABLE H-30 FAIR MARKET RENTS FOR EXISTING HOUSING, RIVERSIDE COUNTY, 2012.....88

TABLE H-31 ESTIMATED MONTHLY SUBSIDY TO VERY LOW-INCOME RESIDENTS, 2012 .....88

TABLE H-32 REPLACEMENT COST BY TYPE OF UNIT .....89

TABLE H-33 2014–2021 REGIONAL HOUSING NEEDS ALLOCATION UNINCORPORATED COUNTY .....94

TABLE H-34 APPROVED PROJECTS (NOT YET BUILT) .....95

TABLE H-35 UNACCOMMODATED NEED FROM THE 2006–2014 PLANNING PERIOD .....97

TABLE H-36 COMPARISON OF REGIONAL HOUSING NEED AND RESIDENTIAL SITES <sup>1</sup> .....98

TABLE H-37 HOUSING POTENTIAL OF SPECIFIC PLANS .....102

TABLE H-38 LAND USE DESIGNATIONS SUMMARY.....105

TABLE H-39 SUMMARY OF RESIDENTIAL ZONING REQUIREMENTS.....110

TABLE H-40 ZONING USE INDEX SUMMARY .....111

TABLE H-41 RESIDENTIAL PARKING REQUIREMENTS .....117

TABLE H-42 DENSITY BONUS .....118

TABLE H-43 RECENT REPRESENTATIVE PROJECT DEVELOPMENT FEES .....123

TABLE H-44 OTHER MITIGATION FEES .....127

TABLE H-45 DEVELOPER IMPACT FEE SUMMARY BY AREA PLAN .....129

TABLE H-46 LOCAL DEVELOPMENT PROCESSING TIMELINES .....131

TABLE H-47 WATER AND SEWER PROVIDERS, 2013 .....136

TABLE H-48 ENERGY CONSERVATION PROGRAMS SUMMARY .....147

TABLE H-49 EIGHT-YEAR ACTION PLAN SUMMARY .....150

TABLE H-50 HOUSING RESOURCES/PROGRAMS SUMMARY .....175

TABLE H-51 QUANTIFIED OBJECTIVES 2013 – 2021 .....199



## **Chapter 8: Housing Element**

### ***Introduction***

The Housing Element of the Riverside County (County) General Plan identifies and establishes the County's policies with respect to meeting the needs of existing and future residents in Riverside County. It establishes policies that will guide County decision-making and sets forth an action plan to implement its housing goals in the next eight years. The commitments are in furtherance of the statewide housing goal of "early attainment of decent housing and a suitable living environment for every California family," as well as a reflection of the concerns unique to Riverside County.

### **CONSISTENCY WITH STATE PLANNING LAW**

The Housing Element is one of the seven General Plan elements mandated by the State of California, as articulated in Sections 65580 to 65589.8 of the Government Code. State law requires that the Housing Element consist of "an identification and analysis of existing and projected housing needs and a statement of goals, policies, quantified objectives, and scheduled programs for the preservation, improvement and development of housing." The residential character of the County is, to a large extent, determined by the variety of its housing and the location and maintenance of the housing. The Housing Element is an official response to the need to provide housing for all economic segments of the population. It establishes policies that will guide County decision-making, and sets forth an action program to implement housing goals through 2021.

State law also requires that jurisdictions evaluate their Housing Elements every eight years to determine their effectiveness in achieving county and state housing goals and objectives, and to adopt an updated Housing Element that reflects the results of this evaluation. The current statutory update in the Southern California Association of Governments (SCAG) region covers the planning period October 15, 2013 through October 15, 2021. The County's Housing Element represents a comprehensive update of its housing element to bring it into compliance with state housing law and to meet the statutory update requirement.

### **HOUSING ELEMENT REQUIREMENTS**

Government Code Section 65583 requires the Housing Element to include the following components:

- A review of the previous element's goals, policies, programs, and objectives to ascertain the effectiveness of each of these components, as well as the overall effectiveness of the Housing Element.
- An assessment of housing needs and an inventory of resources and constraints related to meeting these needs.





- An analysis and program for preserving assisted housing developments.
- A statement of community goals, quantified objectives, and policies relative to the maintenance, preservation, improvement, and development of housing.
- A program which sets forth an eight-year planning period schedule of actions that the County is undertaking, or intends to undertake, in implementing the policies set forth in the Housing Element.

### **CITIZEN PARTICIPATION**

The California Government Code requires that local governments make diligent efforts to solicit public participation from all economic segments of the community, especially low-income persons, in the development of the Housing Element. During the preparation of this Housing Element update, public input was actively encouraged in a variety of ways.

In addition to the outreach done during the 4<sup>th</sup> cycle Housing Element, the County also participates in the bimonthly meetings of the Riverside County Housing Review Committee Advisory Council. The Housing Element is a permanent agenda item at these meetings, and updates regarding the progress of the Housing Element as well as input regarding items of concern within the Housing Element are given. Moreover, these public meetings discuss all aspects of affordable housing and how to assist the citizens of Riverside County in meeting their housing needs.

The permanent members of this Riverside County Housing Review Committee Advisory Council are:

A representative for the 4<sup>th</sup> District Supervisor, TLMA Ombudsman, Transportation Land Management Agency, Riverside County Code Enforcement, California Department of Housing and Community Development, federal Department of Housing and Urban Development, US Department of Agriculture, Office of Social Concerns Catholic Charities, Torres Martinez Desert Cahuilla Indians, Desert Alliance for Community Empowerment, Coachella Valley Housing Coalition, Fair Housing Council, Riverside County Economic Development Agency, California Rural Legal Assistance, Inc., Tenant Mobile Home Owner–Sergio Duran, Mobile Home Park Owner–Robert Melkesian, Nonprofit Housing Provider–Pueblo Unido, and Non-Developer Representative–Poder Popular

The public participation effort during the drafting of the 4<sup>th</sup> round Housing Element included:

- Community Workshops held in three locations around Riverside County
  - o December 14, 2010 – Western Riverside County
  - o November 16, 2010 – Eastern Riverside County
  - o December 14, 2011 – Eastern Riverside County

## County of Riverside General Plan

### *Housing Element 2013 - 2021*



- Workshops held by the Riverside County Housing Technical Advisory Committee
- Workshops held by the General Plan Advisory Committee
- Study sessions by the Riverside County Planning Commission
- Public Hearings held before the Riverside County Planning Commission and Board of Supervisors

### **Public Notices**

Notice of all public workshops and hearings are provided to the County's list of interested parties, which include representatives of low-income and special needs groups, non-profit and for-profit housing developers, community organizations, and other governmental agencies. In addition, to accommodate the needs of Spanish-speaking residents, the County provides the services of qualified translators at community workshops.

Public notices of each meeting were published in three ways; first the County placed advertisements in the print publications of highest circulation given the subject area. For the eastern County locations, this included the Desert Sun newspaper and for the western County, the Press Enterprise. In addition, to the public advertisement, the County transmitted over 282 individual hard copy notifications of the meetings, copies of which are attached herein. Lastly, these same notifications were transmitted via electronic mail to participants, interested parties and stakeholders that had previously indicated interest in the Housing Element document and public participation process.

### **Comments Received**

During the 4<sup>th</sup> round the County received two comment letters, changes to the Housing Element were made with respect to clarifications, additions, and modifications to provisions for Extremely Low Income Households, Farm worker programs and policies, and establishment of a rezoning and affordable housing ordinance program to accommodate additional incentives to increase the housing stock within these particular sub-areas.

### **HCD Review**

The Draft and Final Housing Element were also provided to the Department of Housing and Community Development for review and comment, as required by law. Efforts to involve the public in the preparation of the final element included Spanish radio public service announcements, newspaper notices for community meetings in both English and Spanish, direct mail notices to for-profit and non-profit affordable housing developers and other interested housing advocates.

*In addition, the County posted the Housing Element on its website with a request for public comment.*



## **GENERAL PLAN CONSISTENCY**

The Housing Element of the General Plan is only one facet of a county's planning program. The California Government Code requires that General Plans contain an integrated, consistent set of goals and policies. The Housing Element is, therefore, affected by development policies contained in the Land Use Element, which establishes the location, type, intensity and distribution of land uses throughout the County. The Circulation Element establishes policies for providing essential streets and roadways to all housing that is developed. The policies contained in other elements of the General Plan affect the quality of life that citizens expect.

This update to the Housing Element is part of a larger effort to update the entire General Plan. As stated above, it is imperative that all elements remain consistent with the General Plan. To ensure consistency, elements to be updated will be made consistent with the Housing Element and any needed changes will be made to this document. In addition, as portions of the General Plan may be amended after the update process is complete, the County will periodically review the elements of the General Plan, including the Housing Element, to ensure internal consistency is maintained. Under state law, Housing Elements are to be reviewed and updated every eight years.

In 2008, the County of Riverside issued a Notice of Preparation (NOP) for a Comprehensive General Plan Amendment (GPA) required by the County's General Plan as a review and update every five years. This General Plan update will be under review and public hearings and California Environmental Quality Act analysis will be processed during the current planning period. The County has made provisions and included within the scope of this General Plan update accommodations for statutory changes to Government Code Section 65302 (Chapter 369, Statutes 207 [AB 162] which require amendment of the Safety and Conservation Elements of the County's General Plan. The required changes will be completed, via the County's General Plan update, within the planning period.

## **HOUSING ELEMENT ORGANIZATION**

The Housing Element is divided into six sections.

1. The first section provides an overview of the scope and purpose of the Housing Element, and the remaining sections address the required components identified above.
2. Section two reviews the accomplishments of the 2006-2014 Housing Element to date.
3. The third section is the community profile which provides an overview of population, employment, and housing characteristics in the County.
4. Section four identifies existing housing needs and describes future housing needs for the 2013-2021 planning period.
5. Section five addresses factors that either facilitate or impede housing development in the unincorporated County.



6. Section six is the County's Eight-Year Action Plan, which includes a statement of housing goals and policies and describes the housing programs that will be implemented in order to implement these goals and policies. This section also summarizes the quantified objectives for the 2013-2021 planning period.

## **SUMMARY AND CONCLUSIONS: HOUSING NEEDS**

### **Demographics**

- Between 2000 and 2012 Riverside County grew by over 699,000 people or approximately 45 percent compared to 10 percent for the SCAG region and 11 percent for California as a whole. Due to the incorporation of multiple cities between 2008 and 2011, the unincorporated County population declined by 23 percent.
- About 15 percent of Riverside County's population in 2012 lived in unincorporated areas.
- In 2012 the western County area had approximately 76 percent of the unincorporated County's population.

### **Employment**

- According to the California Employment Development Department (EDD), Riverside and San Bernardino Counties are expected to add 206,700 jobs, a 16 percent increase, between 2010 and 2020. The three industry sectors responsible for almost 62 percent of the new jobs are: transportation, trade, and utilities; professional and business services; leisure and hospitality.
- Riverside County serves as a bedroom community that supplies a portion of the labor pool for the Los Angeles-Orange County metropolitan area.
- Compared to the County as a whole, the unincorporated area is job-poor, with 0.57 jobs per household in the unincorporated western County and 0.77 jobs per household in the unincorporated eastern County in 2010. The 2010 Countywide average was 1.07 jobs per household.

### **Housing Characteristics**

- The median income for a family of four in 2013 for Riverside County was \$65,000. Incomes among homeowners were generally higher than those among renters and western County residents generally had higher incomes than eastern County residents.
- Mobile homes represented over almost one quarter of all housing units in the unincorporated County in 2013. The majority (70 percent) of the remaining units being single-family detached units.
- These unincorporated area of Riverside County experienced a 16 percent vacancy rate in 2010. There was a 26 percent vacancy rate in the eastern County area and a 12 percent





vacancy rate in the western County area.

- At the time of the 2000 Census, over half of the housing stock in the unincorporated County was 20 years old or less. Moreover, between 2000 and 2006, the beginning of the new planning period, the unincorporated County added 31,689 new units, a 20 percent increase. While a more recent estimate of the age of the unincorporated County's housing stock is not readily available, information from the 2010 ACS indicates that more than 67 percent of the Countywide housing stock was built after 1980.
- Riverside County rental rates and purchase prices are relatively affordable compared to the urbanized Los Angeles/Orange County areas.

### **Existing Housing Needs**

- In 2010, approximately 11 percent of renter households in Riverside County were reported to be overcrowded and 4 percent was severely overcrowded, whereas only 4 percent of owner-occupied units were overcrowded while 1 percent was severely overcrowded.
- In 2010, about 82 percent of lower-income renters were estimated to be overpaying or severely overpaying for housing. Among lower-income owners, 71.7 percent are estimated to be overpaying or severely overpaying. Of the 115,964 households in 2010, lower-income households who were overpaying or severely overpaying made up about 16 percent of all households in Riverside County.
- Approximately 12 percent of the unincorporated area population was 65 years of age or older in 2010. The percentage of elderly persons was higher in the eastern county (20%) than in the western county (11%).
- In 2010, there were a reported 12,420 households with five or more persons, representing 21 percent of all households (58,119) in the unincorporated county. Of these, about 32 percent (8,494 households) were renters and 68 percent (3,926 households) were owners.
- In 2009, there were 14,962 female-headed households, or 11 percent of all households.
- According to the 2000 Census, 43,317 persons, age 16 or older, living in the unincorporated County reported some kind of self-care or mobility limitation, representing approximately 14 percent of the total population.
- According to the Inland Regional Center, there are 7,163 persons with developmental disabilities within the unincorporated County. This makes up 2 percent of the total population.
- In 2013, there were approximately 2,978 homeless persons (adults and children) in Riverside County, down from 4,500 persons in 2007. Of these, 143 were reported living in the unincorporated areas of the County.



- According to the EDD the annual average employment by industry between 2010 and 2020 within the Riverside-San Bernardino-Ontario Metropolitan Statistical Area (consisting of Riverside and San Bernardino Counties). is expected to reach 1.46 million or a gain of 206,700 jobs for an annual growth rate of 1.6 percent.

### **Future Housing Needs**

- According to the adopted SCAG Regional Housing Needs Assessment, 30,303 new housing units are needed to accommodate anticipated population growth in the unincorporated areas of Riverside County during the 7.8-year period from January 1, 2014 to October 31, 2021.



## *Evaluation of the Previous Housing Element*

### **PROGRESS IN IMPLEMENTING THE PAST ELEMENT GOALS AND OBJECTIVES**

State law requires communities to assess the achievements under adopted housing programs as part of the update of their Housing Elements. These results should be quantified wherever possible, but may be qualitative where necessary. These results need to be compared with what was projected or planned in the earlier element. Where significant shortfalls exist between what was planned or what was achieved, the reasons for such difference must be discussed. As the past planning period extended from January 1, 2006 to June 30, 2014, it is appropriate to evaluate the following:

- The appropriateness of the housing goals, policies, and programs in contributing to the attainment of the past element's objectives.
- The effectiveness of the element in attainment of the County's housing goals and objectives.
- The progress of the County in implementing the previous Housing Element.

Table H-1 Progress in Implementing Housing Goals, Programs and Objectives contains a summary of the results of this evaluation of the previous Housing Element, along with recommendations for the current element, where appropriate.



# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 1.1a:</b> Use, to the greatest extent possible, all funding available for the production and subsidization of low and moderate income housing. Utilize public financing tools when available, including but not limited to: multifamily revenue bonds, the CDBG Housing Loan Fund, HOME funds, RDA Set-Aside funds to provide low interest loans, and where feasible, leverage other state and federal financing obtained by the developer (e.g. Low Income Housing Tax Credits [LIHTC], CHFA multi-family housing assistance programs, HCD Multi-family Housing Loans), and other financing available. All projects receiving public assistance will be required to remain affordable in compliance with the requirements of the program in which they participate.  <b>Timing:</b> 2014 for implementation  <b>Responsibility:</b> EDA/RDA/ Housing Authority</p>	<p>Review and revise, if necessary, the County's Fast Track Policies.                       Develop an affordability ordinance that provides direction and incentives to the development community to encourage areas and opportunities for affordable housing developments</p>	<p>The County's fast track policies have been updated and reviewed and now include provisions regarding renewable energy.                       An affordability ordinance has not yet been developed. This is pending funding.                       [HCD – revisions pending updated data]</p>	<p>Continue.</p>
<p><b>Action 1.1b:</b> Continue utilization of tax exempt revenue bonds for the financing of new multi-family construction.  <b>Timing:</b> Continue program through planning period - 2014  <b>Responsibility:</b> Housing Authority</p>	<p>Tax Exempt Private Activity Bond Program</p>	<p>One new multifamily project was completed, Mission Village Senior Apartments. This is a 102-unit senior complex in Jurupa Valley. This project was completed prior to incorporation of Jurupa Valley.                      [HCD – revisions pending updated data]</p>	<p>Continue.</p>
<p><b>Action 1.1c:</b> Continue to utilize federal and state funding programs to assist prospective owners and renters of mobile homes in funding the purchase and/or installment of mobile home units.  <b>Timing:</b> Annually, or in response to the Notice of Funding Availability (NOFA)  <b>Responsibility:</b> EDA</p>		<p>The County received \$1.5 million in CalHOME funds two years ago and has assisted approximately 30 to 40 mobile homes to date.                      [HCD – revisions pending updated data]</p>	<p>Continue.</p>
<p><b>Action 1.1d:</b> Continue to offer fast track/priority processing, gap financing options, density bonus and fee subsidies to developers of County-assisted projects proposing new housing, mixed-use or infill projects</p>	<p>Review programs annually and revise is necessary</p>	<p>All affordable projects are fast tracked. The most recent was Mission Village Senior Apartments, a 102-unit senior complex in Jurupa Valley. This project</p>	<p>Continue.</p>



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>affordable to lower income households, farm workers, seniors, and other special needs groups.  <b>Timing:</b> Review annually through end of planning period  <b>Responsibility:</b> EDA/RDA/ TLMA</p>		<p>was completed prior to incorporation of Jurupa Valley.</p>	
<p><b>Action 1.1e:</b> In addition to waiving Ordinance 659 development fees to proponents of mobile homes on non-permanent foundations, second units, and publicly subsidized projects for low income households, consider waiving selected fees for projects proposing units affordable to households with incomes below 80% of the County median in all planning areas.  <b>Timing:</b> Continue waiver policy  <b>Responsibility:</b> TLMA/EDA</p>	<p>Ordinance 659 fees are waived for second income households, and projects with affordable housing components.</p>	<p>Ordinance 659 provides fee waivers for all affordable projects.</p>	<p>Delete. This program is done by ordinance.</p>
<p><b>1.1f:</b> Where feasible and/or necessary, the County shall offer assistance with land acquisition, off-site infrastructure improvements, and other up-front costs, as well as assistance in securing federal or state housing financing resources for projects which reserve a proportion of units affordable to households with incomes below 80 percent of the County median.  <b>Timing:</b> Review resources on an annual basis through 2014  <b>Responsibility:</b> EDA, TLMA</p>		<p>[HCD – revisions pending updated data]</p>	<p>Continue.</p>
<p><b>Action 1.1g:</b> Consider adopting a special density bonus provision, or other incentives to promote the construction of rental housing with three or more bedrooms.  <b>Timing:</b> To be adopted as part of 2013 General Plan update.  <b>Responsibility:</b> TLMA</p>	<p>Develop an affordable housing incentives provision or ordinance</p>	<p>The County has not adopted a special density bonus and the County feels the current state density bonus law is meeting the needs of the community.</p>	<p>Delete.</p>
<p><b>Action 1.1h:</b> Give priority to permit processing for non-County assisted projects providing affordable housing when requested. Expand application of processing priority to projects providing housing for seniors and other special needs groups.  <b>Responsibility:</b> TLMA</p>	<p>Additional policies and procedures should be adopted with the new zoning ordinance that would prioritize affordable housing projects.</p>	<p>The County continues to give permit priority to projects providing affordable units.</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 1.1i:</b> Promote the continued use of density bonus provisions on a case by case basis to provide affordable housing, particularly in high density, mixed-use and infill areas.  <b>Timing:</b> 2014 for implementation  <b>Responsibility:</b> TLMA/EDA</p>	<p>Develop an affordability ordinance that provides direction and incentives to the development community to encourage areas and opportunities for affordable housing developments that also implements State law</p>	<p>The County continues to implement state density bonus requirements.</p>	<p>Modify; combine with action 1.1j.</p>
<p><b>Action 1.1j:</b> Review State Density Bonus provisions and adopt incentives program as part of the Comprehensive General Plan Update to ensure consistency with state law.  <b>Timing:</b> Consider adopting affordable housing incentives program, including density bonuses where appropriate, as part of the 2013 General Plan update.  <b>Responsibility:</b> TLMA</p>	<p>General Plan Incentives Program</p>	<p>The County continues to implement state density bonus requirements.</p>	<p>Modify; combine with action 1.1i.</p>
<p><b>Action 1.1k:</b> Develop fee assistance program with sliding scale pegged to affordable housing units provided.  <b>Timing:</b> With consideration of the General Plan Density Bonus Incentives Program during the 2013 General Plan Update  <b>Responsibility:</b> TLMA</p>	<p>Consider as part of affordable housing incentives program.</p>	<p>The County has not yet developed a fee assistance program with sliding scale pegged to affordable housing units provided due to lack of funding.</p>	<p>Modify; due to lack of funding the County will now consider developing a fee assistance program.</p>
<p><b>Action 1.1l:</b> Expand recruitment of Community Housing Development Organizations (CHDOs) under the HOME program.  <b>Timing:</b> Review annually through planning period.  <b>Responsibility:</b> EDA</p>	<p>Review program and if necessary, increase staffing levels and resources to assist in outreach</p>	<p>The Economic Development Agency (EDA) continues to encourage Habitat for Humanity chapters to apply as CHDOs at the time of submitting projects that meet CHDO requirements pursuant to HOME regulations.</p>	<p>Continue.</p>
<p><b>Action 1.1m:</b> Continue to exempt publicly subsidized projects for low income households per Ordinance 659.  <b>Timing:</b> Review exemptions on a quarterly basis.  <b>Responsibility:</b> TLMA</p>	<p>Ordinance 659. Implement a tracking mechanism to review performance</p>	<p>As part of Ordinance 659, all publicly subsidized projects for low-income households are exempt.</p>	<p>Delete.  The County has an ordinance which states that publicly subsidized projects are exempt; therefore a program in the Housing Element is not needed.</p>





# County of Riverside General Plan Housing Element 2013 - 2021

**Table H-1  
Progress in Implementing Housing Goals and Actions  
January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 1.1n:</b> Work with public or private sponsors to make applications to State and Federal housing programs for new construction of rental housing for seniors and other special needs, and take all actions necessary to expedite processing and approval of such projects. See Implementing Resources Matrix for other special needs housing funding (Table H-58) <b>Timing:</b> Continue policy <b>Responsibility:</b> EDA</p>		[HCD – revisions pending updated data]	Continue.
<p><b>Action 1.1o:</b> The County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus. <b>Timing:</b> Ongoing, as projects are processed, and annual outreach with local developers <b>Responsibility:</b> EDA</p>		The County requires that all multifamily projects restrict anywhere from 10 to 30 percent of the total units for extremely low-income households.	Continue.
<p><b>Action 1.2a:</b> Utilize HOME and Redevelopment Set-Aside funds to write down land costs of acquiring sites and CDBG funds for off-site improvements for projects for lower income households where feasible. <b>Responsibility:</b> EDA/RDA</p>	Annually review projects assisted.	2,519 units (1,509 units restricted) were created countywide, including those developed within participating cities, from January 1, 2006, to present. 1,223 units (935 units restricted) were created within unincorporated areas of the County.	Continue.
<p><b>Action 1.2b:</b> Work with public or private sponsors to identify candidate sites for new construction of rental housing for seniors and other special needs, and take all</p>		[HCD – revisions pending updated data]	Modify. Combine with action 1.1n.

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>actions necessary to expedite processing and approval of such projects.  <b>Responsibility:</b> EDA/TLMA</p>			
<p><b>Action 1.2c:</b> Continue to allow the development of affordable housing in the R-6 zone, or similar zoning concepts. Utilize incentives for development within this zone as established in Ordinance No. 348, or as provided in the General Plan.  <b>Timing:</b> 2014 for implementation  <b>Responsibility:</b> TLMA</p>	<p>Develop an affordable housing ordinance that will augment the R-6 zoning and offer new opportunities to private developers</p>	<p>No new housing developed occurred within the R-6 zone.</p>	<p>Delete. This is done by ordinance.</p>
<p><b>Action 1.2d:</b> Identify areas of the County with adequate infrastructure and limited environmental constraints that are most suited to the construction of housing, particularly housing affordable to low/moderate income households, and high density product types.  <b>Timing:</b> Sites have been identified through site inventory.  <b>Responsibility:</b> TLMA/GIS Section</p>		<p>County staff identified areas of the County with adequate infrastructure and limited environmental constraints that are most suited to the construction of housing, particularly housing affordable to low/moderate-income households, and high density product types. Refer to the adequate sites inventory of this Housing Element.</p>	<p>Delete. This action is completed.</p>
<p><b>Action 1.2e:</b> As part of the General Plan update process, establish a Land Use Inventory which provides the mechanism to monitor acreage and location, by General Plan designation, of vacant and underutilized land, as well as build out of approved projects, utilizing the County's GIS system and supported by mapping. Update the Land Use Inventory on an annual basis. (Also see Policy 4.2, Action 4.2b.)  <b>Timing:</b> Concurrent with Comprehensive General Plan update for 2013.  <b>Responsibility:</b> TLMA/GIS Section</p>		<p>The Housing Element includes a complete list of available sites.</p>	<p>Modify. Combine with action 1.2f.</p>
<p><b>Action 1.2f:</b> Utilize the County GIS system to facilitate preliminary strategic planning studies to identify vacant or underutilized commercial properties for infill construction</p>	<p>County GIS/County General Plan Update</p>	<p>The Housing Element includes a complete list of available sites.</p>	<p>Modify. Combine with action 1.2e.</p>



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>or adaptive reuse in high density areas.  <b>Timing:</b> Implementation shall take place through 2013  <b>General Plan Update</b>  <b>Responsibility:</b> EDA/TLMA/ GIS Section</p>			
<p><b>Action 1.2g:</b> Where feasible, the County shall work with non-profits in the development of County owned sites in planning areas where affordable housing is needed. Combine provision of sites with other subsidy/assistance programs.  <b>Timing:</b> Concurrent with Comprehensive General Plan update for 2013.  <b>Responsibility:</b> EDA/RDA</p>	<p>County GIS/County General Plan Update</p>	<p>The County provided funding to SafeHouse. The County works with nonprofits to deed them any available County-owned site and assists them with the fast tracking and in some cases the funding, should funding be available.</p>	<p>Continue.</p>
<p><b>Action 1.2h:</b> Identify areas of the County where urban infill is appropriate based on General Plan land use policy and Area Plan designations, and encourage infill development through the use of incentives  <b>Responsibility:</b> TLMA/EDA/GIS</p>	<p>Establish targets for number of housing units to be provided.</p>	<p>The Housing Element includes a complete list of available sites.</p>	<p>Modify. Combine with action 1.2e.</p>
<p><b>Action 1.2i:</b> As part of the General Plan update, designate residential land use districts in the unincorporated County within close proximity to major transportation corridors and transit nodes with more intensive uses and mixed-use development. Designate less intensive uses in more rural areas.  <b>Timing:</b> Concurrent with Comprehensive General Plan update for 2013.  <b>Responsibility:</b> TLMA</p>	<p>None provided</p>	<p>All sites have been identified and this action will be completed with the General Plan update, summer of 2014.</p>	<p>Continue.</p>
<p><b>Action 1.2j:</b> Ensure that redevelopment revitalization plans include provisions for new affordable housing for projects within established redevelopment and target areas.  <b>Timing:</b> Annually review RDA Sub-area plans to ensure through the planning period.  <b>Responsibility:</b> RDA</p> <p><b>Action 1.2k:</b> Maintain an inventory of County owned lands</p>	<p>RDA Sub-area plans</p>	<p>The County is still completing some redevelopment efforts but this will be covered through other actions.</p>	<p>Delete, due to the dissolution of the redevelopment agency.</p>
	<p>Estimate how many affordable units might</p>	<p>369 affordable units are estimated to</p>	<p>Modify. Combine with</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
with potential for low and moderate income housing. <b>Responsibility:</b> TLMA/EDA	be created through this approach	be created from County-owned land within unincorporated areas of the County for low- and moderate-income housing.	action 1.2e.
<b>Action 1.2i:</b> The Housing Authority shall continue to develop new affordable very low income rental housing units under the HUD Public Housing Development Program and State tax exempt private activity bond financing. <b>Responsibility:</b> Housing Authority	HUD Public Housing Development Program, Tax Exempt Private Activity Bond Program	The Housing Authority has not developed any new public housing units. [HCD – revisions pending updated data]	Continue.
<b>Action 1.2m:</b> Encourage potential developers to identify candidate vacant sites and underutilized properties by referring them to the County's Land Use Inventory. <b>Responsibility:</b> EDA/TLMA/ GIS Section	Land Use Inventory is available for developers to identify candidate sites.	The Housing Element includes a complete list of available sites.	Modify. Combine with action 1.2e.
<b>Action 1.2n:</b> Consider land-swapping of County land and other incentives for the provision of affordable housing projects. <b>Responsibility:</b> EDA	Continue policy. EDA will consider land swapped for development of affordable housing.	No land swapping opportunities occurred but the County will continue to consider this as an option for the development of affordable housing.	Continue.
<b>Action 1.2o:</b> Prepare a land inventory of sites suitable for farm worker housing in the Coachella Valley as a priority. <b>Timing:</b> Concurrent with General Plan Update (2013) <b>Responsibility:</b> TLMA		This has not yet been completed.	Continue.
<b>Action 1.2p:</b> Identify appropriately zoned land transferred to the new Cities of Wildomar and Menifee to determine their fair share of the County of Riverside's RHNA housing target for the current planning period. <b>Timing:</b> Prepare agreement and have in place with cities by 2010. <b>Responsibility:</b> TLMA, RCEO		The County worked with the newly incorporated cities of Wildomar, Eastvale, and Menifee to determine their fair share of the County of Riverside's RHNA target for the current planning period.	Delete.
<b>Action 1.2q:</b> The County will continue to allow for reduced parking requirements for senior and affordable housing projects as well as pursue the following revisions to the County's parking standards to more easily accommodate higher densities on multi-family and mixed use sites.		The County allows for reduced parking requirements for senior and affordable housing projects. The County is planning to revise some of the requirements as part of the affordable	Continue.





**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
January 1, 2006 to June 30, 2014

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>Further study of these revisions shall be conducted before changes to the Zoning Ordinance are made:</p> <ul style="list-style-type: none"> <li>• Reductions in the number of spaces required for affordable or senior housing projects, if it can be demonstrated that the expected tenants will own fewer cars than the regular standards anticipate – or if spaces will not be “pre-assigned” to specific units in the project.</li> <li>• Allowances for some of the spaces to be tandem or uncovered, provided that none of the spaces extend into the front yard setback.</li> <li>• Standards for “shared parking” when uses with different peaking characteristics (such as offices and apartments) are combined in a single structure.</li> <li>• Reductions to the space requirements for studio and one-bedroom apartments (presently 2 spaces per unit)</li> <li>• In addition, the County should explore the feasibility of an ordinance which would prohibit the long-term storage of cars in designated parking spaces in multi-family complexes, thereby ensuring that the spaces may remain available for tenant use.</li> </ul> <p>The County will also evaluate the associated costs with the current parking requirements to ensure they are not a constraint on development.</p> <p><b>Timing:</b> Review alternative parking options and revise as necessary by December 2013.</p> <p><b>Responsibility:</b> LMA</p>		housing ordinance.	
<p><b>Action 1.2r:</b> The County will provide for the inclusion of mixed-income housing in future new growth areas of the county through development agreements and other mechanisms. To facilitate the development of affordable housing on smaller parcels (50 to 150 units in size), the</p>		No new areas have been identified.	Continue.

# County of Riverside General Plan Housing Element 2013 - 2021



**Table H-1  
Progress in Implementing Housing Goals and Actions  
January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>County will routinely coordinate with property owners and give high priority to processing subdivision maps that include rezoned R-4 sites or affordable housing units. Also, an expedited review process will be available for the subdivision of larger sites into buildable lots where the development application can be found consistent with the General Plan and applicable Specific Plan.  <b>Timing:</b> Ongoing, as projects are processed.  <b>Responsibility:</b> TLMA</p>			
<p><b>Action 1.2s:</b> The County will amend its Zoning Ordinance to comply with Government Code Section 65852.2 (AB1866) and remove the one acre min lot size requirement for second units.  <b>Timing:</b> Amend the Zoning Ordinance by December 2013.  <b>Responsibility:</b> TLMA</p>		<p>The County has not yet made this amendment. This is planned for July 2014.</p>	<p>Continue.</p>
<p><b>Action 1.2t:</b> To ensure the County has enough land to meet its Regional Housing Needs Allocation (RHNA), the County will amend the Land Use Map of this General Plan to add a minimum of 595 acres to the Highest Density Residential designation (HDR). The County has identified several possible vacant sites to redesignate (see Appendix B).  All rezoned sites will permit owner-occupied and rental multi-family developments by right and will not require a conditional use permit, a planned unit development permit, or any other discretionary review. All sites will accommodate a minimum of 20 units per acre and at least 16 units per site, per state law requirements. Although density is not determined by the zoning, to ensure multi-family development is permitted, the County will also rezone the sites to the R-4 zone permitting owner-occupied and rental multi-family development by right.</p>		<p>The County has not yet completed the land use designation to accommodate its 4<sup>th</sup> round RHNA. This is planned for Fall 2014.</p>	<p>Continue.</p>





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Timing:</b> Amend the Land Use Map and rezone sites by summer 2013.  <b>Responsibility:</b> LMA</p> <p><b>Action 1.3a:</b> Continue to provide funding resources through the Federal HOME program, the County Housing Loan Fund (CDBG) and Redevelopment Agency 20% Set-Aside funds to non-profit organizations for the development of farm worker housing.  <b>Timing:</b> 2006-2014  <b>Responsibility:</b> EDA</p>	<p>CDBG Housing Loan Fund, Agricultural Housing Assistance Fund Program</p>	<p>929 units were constructed countywide for farm worker housing. 830 of those units were created within unincorporated areas of the County. The number of units quantified for the construction of farm worker housing between 2006–2014 was drastically reduced due to the elimination of redevelopment in California by operation of law as of February 1, 2012, and also impacted due to federal budget cuts to HOME and CDBG.</p>	<p>Continue</p>
<p><b>Action 1.3b:</b> Prepare a Countywide Gap Analysis and Farm Worker Housing Plan to be integrated into the Department of Community Action's Annual Local Plan  <b>Timing:</b> 2009  <b>Responsibility:</b> CRLA, Dept. of Community Action</p>		<p>The County does not have the resources to assume full responsibility for this type of study, but would be interested in collaborating with a nonprofit entity that is more active in the Coachella Valley to complete one.</p>	<p>Continue.</p>
<p><b>Action 1.3c:</b> Continue to work with non-profit organizations such as CVHC and Habitat for Humanity in the production of self-help housing for ownership and multi-family farm worker housing opportunities.  <b>Timing:</b> 2006-2014  <b>Responsibility:</b> EDA, non-profit organizations</p>	<p>888 units quantified for construction between 2006 – 2014.</p>	<p>From January 1, 2006, to present, 461 units were constructed Countywide by nonprofit affordable housing organizations providing self-help housing and multifamily farm worker housing opportunities. 362 of those units were created within unincorporated areas of the County. The number of units quantified for the production of self-help housing for ownership and multifamily farm worker housing opportunities between 2006–</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014				
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete	
<p><b>Action 1.3d:</b> Develop incentives for the set-aside of agricultural land for farm worker housing. Continue policy and study feasibility of using Williamson Act land. <b>Responsibility:</b> EDA/TLMA</p> <p><b>Action 1.3 e:</b> The County will amend the Zoning Ordinance, to comply with Health and Safety Code Sections 17021.5 and 17021.6. For the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located. <b>Timing:</b> Amend the Zoning Ordinance by December 2013. <b>Responsibility:</b> TLMA</p> <p><b>Action 1.4a:</b> Recruit and train a Mental Health Housing Coordinator or services coordination by a non-profit organization <b>Timing:</b> Continue <b>Responsibility:</b> Department of Mental Health</p>		<p>2014 was drastically reduced due to the elimination of redevelopment in California by operation of law as of February 1, 2012, and also impacted due to federal budget cuts to HOME and CDBG.</p> <p>The County has not yet developed incentive for the set-aside of agricultural land for farm worker housing.</p> <p>This is planned for July 2014.</p>	<p>Continue.</p> <p>Continue.</p>	
		<p>RCDMH established a centralized housing program (HHOPE) in 2005 and recently expanded the scope and range of services provided. The recent expansion also added an Administrative Services Manager position that reports to the Deputy Director of Housing. Both positions have been filled with trained staff.</p>	<p>Continue.</p>	



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 1.4b:</b> Support current legislation to block grant Supportive Housing Program and Shelter Plus Care Program Funds  <b>Timing:</b> Meet quarterly with County Legislative Advocates to address implications of new legislation  <b>Responsibility:</b> Department of Public Social Services</p> <p><b>Action 1.4c:</b> Develop design criteria for housing suitable for the mentally disabled for use by affordable housing developers  <b>Timing:</b> Implement by 2014  <b>Responsibility:</b> Department of Mental Health in conjunction with EDA</p>	<p>Supportive Housing Program, Shelter Plus Care</p> <p>Develop an affordability ordinance that will include design criteria and build upon current fee exemptions and fast track authority that currently provides assistance for affordable housing units for the mentally disabled.</p>	<p>The County continues to support current legislation for block grant funding to aid Supportive Housing Program and Shelter Plus Care Program Funds.</p> <p>The County has not yet developed an affordable housing ordinance. This will be partially addressed as part of the County's reasonable accommodation procedure.</p>	<p>Continue.</p> <p>Continue.</p>
<p><b>Action 1.4d:</b> Update the 1993 "Assessment of the Status and Problems of Homeless Mentally ill Persons in Riverside County"  <b>Timing:</b> 2010  <b>Responsibility:</b> Department of Mental Health</p>		<p>The County has not updated this report.</p>	<p>Delete.</p>
<p><b>Action 1.4e:</b> Promote the integration of special needs housing into affordable housing communities as disabled development projects maximize community opposition, add to development financing difficulties and segregate persons with mental health disorders, promoting stigma.  <b>Timing:</b> Implement by 2014  <b>Responsibility:</b> Department of Mental Health</p>	<p>Special needs housing will be integrated into proposed affordable housing ordinance</p>	<p>RCDMH has employed three primary strategies to expanding integrated supportive housing capacity.</p> <ol style="list-style-type: none"> <li>1) Employed Housing Resource Specialists to contact apartment property managers to solicit and engage them in providing affordable housing to RCDMH consumers who would receive supportive services. This focused on establishing access to existing housing.</li> <li>2) Pursued HUD-supportive permanent housing scattered</li> </ol>	<p>Continue.</p>

**County of Riverside General Plan**  
**Housing Element 2013 - 2021**



<p align="center"><b>Table H-1</b>  <b>Progress in Implementing Housing Goals and Actions</b>  <b>January 1, 2006 to June 30, 2014</b></p>			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
		<p>site funding (new grants and Shelter Plus Care vouchers) that would assist to establish housing options for very low-income consumers. Scattered site funding helps to establish supportive housing that is integrated in general population housing.</p> <p>3) RCDMH invested \$19 million in Mental Health Services Act (MHSA) funds in new project development in partnership with EDA and affordable housing developers. Funding was allocated to six new construction and one acquisition rehabilitation projects. Two projects were affordable housing senior communities; five were multifamily projects. Each project set aside 15 MHSA-supportive housing units. One hallmark of success is that in each project community-based stigma and preconceptions have been significantly overcome and/or reduced. In total, MHSA funds have been used to create 105 new, integrated very low-income (30% AMI) supportive</p>	





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 1.4f:</b> Continue the Shelter Plus Care Program through addition of permanent housing facilities for the mentally disabled, as funding is available, and implement a new program to provide safe havens to the mentally ill.  <b>Responsibility:</b> Department of Public Social Services</p>	<p>Shelter Plus Care Program Safe Haven for the Mentally Ill Program            268 beds were established during 1995 – 2008. Goal to meet or to exceed previous amount.</p>	<p>housing units. Additionally, by leveraging funds to support affordable housing development, over 700 total affordable housing units were added to Riverside County. Development locations included Riverside (two projects), Moreno Valley, Menifee, Perris, Desert Hot Springs, and Thousand Palms.</p>	<p>Continue.</p>
<p><b>Action 1.5a:</b> Support current legislation to block grant Supportive Housing program and Shelter Plus Care Funds and modify the current fair share funding ratio to allow for multiple continuums.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> Department of Public Social Services</p>		<p>The County has several transitional housing facilities as well as permanent supportive housing. These units range in age from 20 years to two years.</p>	<p>Modify. Combine with action 1.4b.</p>
<p><b>Action 1.5b:</b> Ensure that the Local Emergency Shelter Strategy includes provisions for new construction of special needs permanent housing  <b>Timing:</b> Annually  <b>Responsibility:</b> Department of Public Social Services</p>		<p>No progress.</p>	<p>Delete.</p>
<p><b>Action 1.5c:</b> Ensure that evaluation criteria for Supportive Housing applications include provisions for new construction of units, not merely numbers of beds.</p>		<p>DPSS is working with HUD to get all projects to develop as units, not beds. All permanent supportive housing is</p>	<p>Delete.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Timing:</b> 2009.</p> <p><b>Responsibility:</b> Department of Public Social Services</p> <p><b>Action 1.5d:</b> Continue to participate in the Continuum of Care Supportive Housing Program and Shelter Plus Care Program. (See also 1.4f)</p> <p><b>Timing:</b> See item 1.4f</p> <p><b>Responsibility:</b> Department of Public Social Services</p>	Supportive Housing Program/Shelter Plus Care program	developed as units.	Modify. Combine with action 1.4f.
<p><b>Action 1.5e:</b> Develop transitional housing facilities in established regions of the County where transitional housing shelters are needed, in cooperation with non-profits and local jurisdictions.</p> <p><b>Timing:</b> Maintain current funding. Utilize the County's 10-Year Plan to End Homelessness and the POLIS Project to site facilities.</p> <p><b>Responsibility:</b> Department of Public Social Services</p>	Supportive Housing Program	The County has several transitional housing facilities as well as permanent supportive housing. These units range in age from two years to 20 years.	Continue.
<p><b>Action 1.5f:</b> Expand the number of emergency shelters in identified areas of Riverside County in cooperation with non-profit organizations and local jurisdictions</p> <p><b>Responsibility:</b> Department of Public Social Services</p>	Emergency Housing Assistance Program, Emergency Shelter Grants, FEMA	No public or private applications have been received since the ordinance was updated in 2011. There has been one shelter developed in the planning period. The County's ordinance is being used in Temecula.	Continue.
<p><b>Action 1.5g:</b> Amend Ordinance 348 to include use and occupancy requirements for transitional and emergency shelters as follows:</p> <ul style="list-style-type: none"> <li>Allow for emergency shelter in the I-P zone by right without discretionary review</li> </ul> <p>Add the current definition of transitional housing and supportive housing and to permit transitional and supportive housing types as residential uses and subject only to those restrictions that apply to other residential uses of the same type in the same zone.</p> <p><b>Timing:</b> Amend the Zoning Ordinance by December 2013.</p> <p><b>Responsibility:</b> TLMA</p>	Ensure the emergency shelter needs of mentally ill and domestic violence victims are addressed.  Ordinance 348	The County's Zoning Ordinance was amended to allow emergency shelters by right in the I-P zone as well as adopting performance standards specific to that use.  Amendments to address transitional and supportive housing will be completed in July 2014.	Continue.





PLANNING DEPARTMENT

# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 1.6a:</b> Identify and recruit Habitat for Humanity chapters within Riverside County as Community Housing Development Organizations (CHDOs) under the HOME Program.  <b>Timing:</b> Establish a quarterly meeting schedule with Habitat for Humanity to provide policy direction.  <b>Responsibility:</b> EDA</p>		<p>EDA continues to encourage Habitat for Humanity chapters to apply as CHDO at the time of submitting projects that meet CHDO requirements pursuant to HOME regulations.</p>	<p>Continue.</p>
<p><b>Action 1.6b:</b> Continue to work with Habitat for Humanity and Coachella Valley Housing Coalition in providing homeownership opportunities through the Rural Development Self Help program and other self help construction programs. Refer to Implementing Resources Matrix for additional programs/funding (Table H-58)  <b>Timing:</b> See objective in 1.6a  <b>Responsibility:</b> EDA</p>	<p>Rural Development Self Help Program</p>	<p>The EDA and Housing Authority continue to encourage nonprofit organizations to provide homeownership opportunities through the Rural Development Self Help program and other self-help construction programs.</p>	<p>Continue.</p>
<p><b>Action 1.7a:</b> Continue to provide for greater flexibility in the design of single family development through the processing of PUDs, Specific Plans, and Area Plans, and application of density bonus provisions, when requested, to allow for varying lot sizes and development standards than normally required in residential districts.  <b>Timing:</b> Implemented by 2014.  <b>Responsibility:</b> TLMA/Building and Safety</p>	<p>Develop an affordable housing ordinance that will implement State Housing Law and Density Bonus provisions. Update Ordinance 348 to provide for greater flexibility for high density development. Update County's General Plan to provide additional policies that compliment affordable housing development from private developments.</p>	<p>Ongoing.</p>	<p>Continue.</p>
<p><b>Action 1.7b:</b> Maintain those provisions of Ordinance No. 348 providing opportunities for the lawful establishment of second units.  <b>Timing:</b> Provisions have been established  <b>Responsibility:</b> TLMA/Building and Safety</p>		<p>Program completed.</p>	<p>Delete.</p>
<p><b>Action 1.7c:</b> Continue to allow mobile homes in single family residential zones "by right," and mobile home parks subject to a CUP, and encourage construction of new mobile home parks and manufactured housing to increase</p>		<p>Provisions have been established including Fast Track authorization for any affordable housing/farm worker housing mobile home parks.</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>the supply of affordable dwelling units. Continue to waive the fees associated with Ordinance No. 659 as an incentive.</p> <p><b>Timing: Ongoing</b></p> <p><b>Responsibility: TLMA/Building and Safety</b></p> <p><b>Action 1.7d:</b> Encourage new large scale development proposals to provide a range of housing types and densities for all income levels through the use of creative planning concepts such as specific plans and mixed-use development.</p> <p><b>Timing:</b> Implemented by 2014</p> <p><b>Responsibility: TLMA</b></p> <p><b>Action 1.7e:</b> Encourage multi-family housing developers to designate accessible and/or adaptable units already required by law to be affordable to persons with disabilities or persons with special needs.</p> <p><b>Timing:</b> Implemented by 2014</p> <p><b>Responsibility: EDA/County Counsel</b></p>	<p>Update Ordinance 348 to establish design standards and specific criteria to encourage such developments. Provide for an affordability ordinance to regulate/mandate affordable housing development in Specific Plans. Continue use of Fast Track process.</p> <p>See Action 1.7d</p>	<p>Continue to encourage large-scale developments with a range of housing types.</p>	<p>Continue.</p>
<p><b>Action 1.7f:</b> Evaluate existing specific plans with affordability restrictions and develop minimal affordability thresholds and criteria</p> <p><b>Timing:</b> Adopt countywide provisions, thresholds or criteria for affordability to be used in the design of Specific Plans following adoption of General Plan update in 2008.</p> <p><b>Responsibility: EDA/TLMA</b></p> <p><b>Action 1.7g:</b> Encourage "universal design" features such as level entries, larger bathrooms, and lower kitchen countertops to accommodate persons with disabilities. Continue to enforce regulations and requirements.</p> <p><b>Timing:</b></p> <p><b>Responsibility: TLMA</b></p> <p><b>Action 2.1a:</b> Advertise and promote the availability of funds for the rehabilitation of single family and mobile home dwelling units through the CDBG Minor and Enhanced</p>	<p>The County adheres to all state ADA requirements.</p>	<p>The County reviewed the existing specific plans as part of the 2006-2014 Housing Element land inventory and identified sites that would be appropriate for affordable housing development.</p> <p>The County encourages developers to accommodate persons with disabilities.</p>	<p>Modify. Combine with action 3.3b.</p> <p>Continue.</p> <p>Modify. Combine with action 3.3b.</p>
<p>Housing Rehabilitation Program (RHRP and CRRP), Minor and Enhanced Senior Home Repair Program</p>	<p>Housing Rehabilitation Program (RHRP and CRRP), Minor and Enhanced Senior Home Repair Program</p>	<p>Under MHTL, MHPL and AGHL, 774 units were constructed Countywide and 767 were constructed within</p>	<p>Modify and continue.</p>





**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>Senior Home Repair Program and the two components of the Housing Rehabilitation Program: the RDA Set-Aside funded RHRP in unincorporated County and the CDBG funded CHRP in incorporated cities. Continue to distribute informational materials throughout redevelopment target areas.  <b>Timing:</b> Procedures are established and will continue  <b>Responsibility:</b> EDA/RDA</p>		<p>unincorporated areas of the County. These programs are now discontinued due to the elimination of redevelopment in California by operation of law on February 1, 2012. Other sources of funding are being sought to fulfill construction for the MHTL program in 2014.</p>	
<p><b>Action 2.1b:</b> Advertise and promote the availability of funds administered by the County for the rehabilitation of multi-family units using HOME, CDBG Housing Loan Fund, and Redevelopment Set-Aside funds, as well as the HCD Multifamily Housing Loan Program available to developers through the State. Continue to distribute informational materials throughout redevelopment target areas.  <b>Timing:</b> Procedures are established and will continue  <b>Responsibility:</b> EDA/RDA</p>	<p>HOME, CDBG Housing Loan Fund, HCD Multifamily Housing Loan Program</p>	<p>The County advertises HOME funds on the website. Currently there is no funding available. As funding becomes available, the County will post NOFAs in the paper.</p>	<p>Modify. Combine with action 2.1a.</p>
<p>2.1c: Continue to utilize the Mobile Home Park Assistance Loan Fund and Mobile Home Tenant Assistance Loan programs for the rehabilitation of mobile homes in the Coachella Valley, as well as the Agricultural Housing Loan Fund.  <b>Responsibility:</b> EDA</p>	<p>Mobile Home Park Assistance Loan Fund, Mobile Home Tenant Assistance Loan Program, Agricultural Housing Loan Program            888 units were quantified for construction during the planning period.</p>	<p>[HCD – revisions pending updated data]</p>	<p>Modify. Combine with action 2.1a.</p>
<p><b>Action 2.1d:</b> The Housing Authority, to the extent feasible, will pursue all available federal and state funds to modernize all public housing units affordable to very low and low income households  <b>Responsibility:</b> <i>Housing Authority</i></p>	<p>Meet or exceed the quantified objectives from last planning period utilizing this funding.</p>	<p>Capital fund financing program spent from January 1, 2006, to June 30, 2014 totaling \$5,887,997.00            Individual grant sums below:            Grant 50106 - \$743,669            50107 - \$722,576            50108 - \$762,625</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 2.1e:</b> Continue utilization of tax exempt private activity bonds for the financing of multi-family housing rehabilitation.  <b>Responsibility:</b> EDA/Housing Authority</p>		<p>50109 - \$760,695  ARRA 50109S - \$975,488  Grant 50110 - \$740,965  50111 - \$615,220  50112 - \$566,759  Grant 50113 will not be expended by June 30, 2014.</p>	
<p><b>Action 2.1f:</b> Research funding for historic preservation of structures, such as adoption of a Mills Act ordinance which would give property tax relief for rehabilitation of historic property, as well as grants for the identification of historic structures.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> EDA</p>	<p>424 multi-family units were rehabilitated during previous period. Meet or exceed through current period.</p>	<p>102 multifamily units were newly constructed and financed by tax-exempt private activity bonds, but no multifamily units were rehabilitated and financed by tax-exempt private activity bonds.</p>	<p>Continue.</p>
<p><b>Action 2.1g:</b> Continue to provide funding from the Redevelopment Agency and CDBG funded Housing Rehabilitation Program to retrofit units to meet accessibility standards.  <b>Responsibility:</b> EDA/Building and Safety Department</p>	<p>Inner Cities Venture Fund, National Preservation Loan Fund</p>	<p>Procedures have been updated.</p>	<p>Continue.</p>
<p><b>Action 2.1h:</b> Consider the adaptive reuse of small older motels to transitional housing facilities, emergency shelters</p>	<p>509 special needs units were quantified for assistance/construction during the planning period.</p>	<p>1,172 units were assisted under housing rehabilitation programs. 730 were RDA-funded for projects in the unincorporated areas of the County and 446 were CDBG-funded within participating cities. RDA funding is discontinued due to the elimination of redevelopment in California by operation of law on February 1, 2012, and CDBG funding is also discontinued due to federal budget cuts.</p>	<p>Continue.</p>
	<p>Supportive Housing Program, Emergency Housing Assistance Program, HUD SRO</p>	<p>No cases have resulted; however, program should continue and research</p>	<p>Modify. Combine with action 3.5c.</p>



# County of Riverside General Plan Housing Element 2013 - 2021

**Table H-1  
Progress in Implementing Housing Goals and Actions  
January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>or Single Resident Occupancy (SROs) in conjunction with qualified non-profit organizations. (Also see Policy 3.5, Action 3.5c.)</p> <p>In addition, the County will amend the Zoning Ordinance to define single-room occupancy units (SROs) and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit.</p> <p><b>Timing:</b> Amend the Zoning Ordinance by December 2013. <b>Responsibility:</b> DPSS, TLMA, non-profits, EDA</p>	<p>Moderate Rehabilitation Program</p>	<p>should be continued.</p> <p>In July 2014, the County will amend the Zoning Ordinance to define single-room occupancy units (SROs) and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit.</p>	
<p><b>Action 2.1i:</b> Department of Community Action (DCA) shall continue to implement the Home Weatherization program to conserve existing single family housing through weatherization and/or rehabilitation.</p> <p><b>Timing:</b> Ongoing <b>Responsibility:</b> DCA</p>	<p>County HOME Weatherization Program, County Low Income Home Efficiency Assistance Program</p> <p>As part of an ongoing program, target 1,600 households in the incorporated portion of the County and 800 households in the unincorporated County.</p>	<p>Program should be continued.</p>	<p>Continue.</p>
<p><b>Action 2.2a:</b> Continue to utilize RDA Set-Aside funding to eliminate conditions of blight, rehabilitate affordable units within the project areas, expand housing opportunities for low and moderate income households, and expand employment opportunities in selected target areas.</p> <p><b>Timing:</b> Ongoing <b>Responsibility:</b> EDA/RDA</p>	<p>Quantified objectives are included herein from RDA Set-Asides. 115 single-family units and 1,170 multi-family units are planned for construction.</p>	<p>n/a</p>	<p>Delete.</p>
<p><b>Action 2.2b:</b> Ensure that currently sound housing is maintained through code enforcement activities. Continue to administer the Code Enforcement Program per Ordinance No. 457 to eliminate substandard conditions in residential units and continue inspections and permitting for the maintenance, use and occupancy of mobile home parks.</p> <p><b>Timing:</b> Code Enforcement procedures, including a new case tracking system, has been upgraded and is on-line</p>	<p>Code Enforcement Ordinance No. 457</p> <p>Code Enforcement prioritizes safe and sound housing opportunities and maintenance of the County's existing housing stock. Priority permitting, including by not limited to, Fast Track Authorization is offered to residential code actions.</p>	<p>Enforcement is ongoing.</p>	<p>Continue.</p>



# County of Riverside General Plan

## Housing Element 2013 - 2021



PLANNING DEPARTMENT

Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
since 2009. <b>Responsibility:</b> Building and Safety Department/ Department of Environmental Health			
<b>Action 2.2c:</b> Maintain and improve community facilities, and infrastructure in sound condition utilizing available CDBG and RDA Set-Aside funds. <b>Responsibility:</b> EDA/RDA	Redevelopment 5-Year Implementation Plan, Consolidated Plan  328 beds within community facilities have been established with associated upgrades. Meet or exceed previous objectives.	ongoing	Continue.
<b>Action 2.2d:</b> Continue and enhance outreach efforts to educate and inform communities about available rehabilitation programs through: presentations at community service organizations (PTA, Kiwanis); brochures, as well as presentations at community facilities such as medical facilities, county government offices and one-stop processing centers within participating jurisdictions. <b>Timing:</b> Establish quarterly meetings with service organizations to evaluate and revise, if necessary, outreach policies. <b>Responsibility:</b> EDA/DCA	Outreach is coordinated through RDA staff.	When the County has funding for rehabilitation programs, information is provided at the senior center and community meetings are held.	Continue.
<b>Action 2.2e:</b> EDA shall continue to work with each cooperating city so that each city can assume its fair share responsibility for rehabilitation of existing housing. <b>Timing:</b> Establish an annual reporting of fair share contributions. <b>Responsibility:</b> EDA	EDA Staff meets regularly with Cities as they update their Housing Element	Due to lack of resources, reporting has not been completed.	Continue.
<b>Action 2.2f:</b> Environmental Health shall continue to respond to household sanitation complaints in respect to Ordinance No. 650 and No. 657. <b>Timing:</b> Programs are successful and will continue. <b>Responsibility:</b> Environmental Health Department	Ordinance No. 650 and No. 657 are implemented by Environmental Health Staff on a case-by-case basis	Environmental Health responds as necessary to household sanitation complaints.	Continue.





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 2.2g:</b> HCD shall continue to implement the employee housing (farm labor camp) enforcement program.  <b>Timing:</b> Ongoing.  <b>Responsibility:</b> HCD</p>	<p>HCD Employee Housing Enforcement Program</p>	<p>Ongoing.</p>	<p>Continue.</p>
<p><b>Action 2.3a:</b> Conserve existing affordable mobile home and housing stock, utilizing the Mobile Home Park Loan Fund and Mobile Home Tenant Assistance Loan programs funded by CDBG, as well as the Agricultural Housing Assistance Fund which provides financial aid in the form of an at or below market interest rate loan up to \$75,000 to bring existing agricultural facilities up to code.  <b>Timing:</b> See Policy 2.1.C  <b>Responsibility:</b> EDA/RDA</p>	<p>Mobile Home Tenant Assistance Program,            Mobile Home Park Assistance Loan Program, Agricultural Housing Assistance Loan Fund</p>	<p>Currently there is no funding available but the County is looking at other funding sources – private financing through County intervention to fund infrastructure repairs -</p>	<p>Modify.</p>
<p><b>Action 2.3b:</b> Consolidate the Mobile Home Tenant Assistance Grant program with the Mobile Home Tenant Assistance Loan program and increase the maximum loan amount to \$35,000 per unit to accommodate replacement of existing substandard units.  <b>Responsibility:</b> EDA</p>	<p>Mobile Home Tenant Assistance Loan program            500 units were rehabilitated during the previous planning period. 357 units are programmed for current period.</p>	<p>[HCD – revisions pending updated data]</p>	<p>Delete.</p>
<p><b>Action 2.3c:</b> Organize bilingual outreach materials and activities to educate and inform the farm worker community about available rehabilitation programs and resources.  <b>Timing:</b> Establish annual reporting on policy with quarterly meeting schedule of stakeholders.  <b>Responsibility:</b> EDA</p>	<p>Bilingual outreach programs are in process and coordinated by RDA staff with assistance from non-profits, service organizations, and community volunteers</p>	<p>This program is complete and in the ongoing and monitoring stage. Materials are communicated on an "as-requested" basis through the Desert Alliance for Community Empowerment (DACE) office in Coachella.</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 2.4a:</b> Ensure that affordable housing assisted with public funds remains affordable for the required time period through maintenance of an inventory of assisted units with monitoring of expiration dates on an annual basis. Public and private projects, utilizing such public funds, are required to record covenants on property title for a period of 55-years.</p> <p><b>Timing:</b> Establish an annual review of existing covenants and update as necessary.</p> <p><b>Responsibility:</b> EDA/Housing Authority/RDA</p>		No units have been acquired or preserved for low- and moderate-income households.	Continue.
<p><b>Action 2.4b:</b> Place a priority on providing financial assistance, where feasible, to preserve federal or state assisted, bond financed, density bonus, RDA assisted or other types of affordable units at risk of conversion to market rate during the planning period through purchase of the units by a nonprofit organization, assisting with low or no interest loans for rehabilitation, bond refinancing, and referral to other federal or local sources of below market financing.</p> <p><b>Timing:</b> Ongoing</p> <p><b>Responsibility:</b> EDA</p>		No projects or units have been found to be at risk. Monitoring will continue.	Modify. Combine with action 2.4a.
<p><b>Action 2.4c:</b> Assist non-profit and for profit organizations with the acquisition and preservation of assisted single family and multi-family units affordable to low and moderate income households.</p> <p><b>Timing:</b> Ongoing</p> <p><b>Responsibility:</b> EDA/RDA</p>	1,681 units were preserved during previous period. Meet or exceed previous goal.	Program has been implemented and objectives achieved.	Continue.
<p><b>Action 2.4d:</b> The County Housing Authority shall continue to work with HUD, private management companies, non-profit organizations, and participating cities, as applicable, to maintain subsidized projects.</p> <p><b>Timing:</b> Annual reporting and ongoing</p> <p><b>Responsibility:</b> Housing Authority/EDA</p>	268 beds were created during the previous period.	The EDA and Housing Authority monitor a Countywide portfolio of 112 projects for compliance consisting of a total of 6,241 units in which 2,987 are income-restricted by the County. 45 of the projects are located within	Continue.



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 2.4e:</b> Continue to require maintenance of newly provided affordable housing projects through affordability covenants with the project proponent and the RDA, EDA or Housing Authority. Conditions of Approval provide for the establishment of these requirements. In the case of public projects, covenants are recorded on the subject title.  <b>Timing:</b> Ongoing as projects come forward.  <b>Responsibility:</b> RDA/EDA/ Housing Authority</p>	<p>See Implementing Program for Policy 2.4a</p>	<p>unincorporated areas of the County and consist of a total of 2,273 units in which 1,686 are income-restricted.            Action is implemented on an ongoing basis as projects come forward.</p>	<p>Delete.</p>
<p><b>Action 2.4f:</b> Develop strategies to maintain affordability of 63 identified at-risk units scheduled to expire in 2018. All practical and legitimate programs for maintaining affordability should be examined.  <b>Timing:</b> Have strategies identified and in place by 2014 to be included in next Housing Element update.  <b>Responsibility:</b> EDA</p>	<p>Preserve affordability of 63 potentially at-risk units.</p>	<p>The EDA and Housing Authority conduct annual compliance monitoring site visits and file audits as part of ongoing compliance requirements enforced by loan agreements. Many multifamily projects have additional affordability restrictions due to other funding sources, such as tax credits or HCD funding. Pursuant to HOME regulations, risk assessment procedures will be required for projects going forward, which has already been implemented by the County.</p>	<p>Modify. Combine with action 2.4a.</p>
<p><b>Action 3.1a:</b> Continue to utilize the services of the Fair Housing Council of Riverside County to implement a number of programs, including: 1. Audits of lending institutions and rental establishments 2. Education and training of County staff 3. Education and outreach to apartment owners, associations, management companies, lending institutions, building industry associations, homebuyers and residents in emergency shelters and transitional housing facilities. EDA staff coordinates with</p>	<p>The Fair Housing Council provides services to both Cities and Counties.</p>	<p>Implementation occurs as needed and is ongoing.</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>the Fair Housing Council and monitors their work program. Funding is proposed to continue to establish existing efforts.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> Fair Housing Council/EDA/ Housing Authority</p>			
<p><b>Action 3.1b:</b> Update the 2003 Fair Housing Impediments Study  <b>Timing:</b> 2011  <b>Responsibility:</b> EDA/Fair Housing Council</p>		<p>The last Fair Housing Impediments Study was updated in 2009. The next update is scheduled for 2014.</p>	<p>Continue.</p>
<p><b>Action 3.1c:</b> Ensure that actions to remove fair housing impediments identified in the 2003 Study will be reflected in the General Plan Update cycle.  <b>Timing:</b> Covered in Housing Element update.  <b>Responsibility:</b> TLM/A/EDA</p>		<p>Completed as part of the Fair Housing Impediments Study.</p>	<p>Modify. Combine with action 3.1b.</p>
<p><b>Action 3.1d:</b> Provide financial assistance from CDBG to fair housing (See also 3.2b). EDA/RDA Staff regularly coordinates and monitors work programs of the Fair Housing Council, including, but not limited to First Time Home Buying programs.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> EDA</p>	<p>CDBG Funds are transferred via EDA/RDA staff</p>	<p>The County provides annual financial assistance from CDBG to fair housing. The County works closely with fair housing and helps with outreach on the First Time Home Buyer (FTHB) program.</p>	<p>Continue.</p>
<p><b>Action 3.2a:</b> EDA shall continue to provide education and training for mortgage lenders applying for certification or re-certification to participate in the First Time Home Buyers Down Payment Assistance Program.  <b>Timing:</b> DA staff regularly reports graduates of training programs. No specific target has been established.  <b>Responsibility:</b> EDA</p>	<p>EDA staff regularly reports graduates of training programs. No specific target has been established.</p>	<p>The FTHB program is still being funded and implemented, but funding is limited due to federal budget cuts.</p>	<p>Continue.</p>
<p><b>Action 3.2b:</b> Continue to use the services of the Fair Housing Council to provide education and outreach services to the public in both Spanish and English (See also 3.1d).</p>	<p>First Time Homebuyers Down Payment Assistance Program</p>	<p>Implementation of this program occurs on an as-needed base.</p>	<p>Continue.</p>



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>EDA/RDA Staff regularly coordinates and monitors work programs of the Fair Housing Council, including, but not limited to First Time Home Buying programs.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> Fair Housing Council/EDA</p>			
<p><b>Action 3.3a:</b> Continue to facilitate coordination between the County, participating jurisdictions, non-profit agencies and community groups to implement food programs, emergency shelters and homeless assistance programs, including the Supportive Housing Program, the Shelter Plus Care Program and the Emergency Housing Assistance Program. Coordination continues to occur between EDA/RDA staff and community groups.  <b>Timing:</b> Units produced have been detailed within the Housing Element.  <b>Responsibility:</b> DPSS</p>	<p>Units produced have been detailed within the Housing Element. Supportive Housing Program, Shelter Plus Care, Emergency Housing Assistance Program</p>	<p>Units produced have been detailed within the Housing Element.</p>	<p>Delete.</p>
<p><b>Action 3.3b:</b> Ensure that persons with disabilities have increased access/placement in residential units rehabilitated or constructed through County programs. Continue to cooperate with non-profit agencies that provide placement or referral services for persons with disabilities.            The County will amend Ordinance 348 to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.  <b>Timing:</b> Implement ordinance by 2014. Develop a reasonable accommodation procedure by December 2013.  <b>Responsibility:</b> Shared Housing, a Riverside Experience (SHARE), Housing Authority, Non-profits and Community</p>	<p>The provision of an affordable housing ordinance will establish standards for special needs.</p>	<p>This action will be completed in July 2014.</p>	<p>Modify. Combine with action 1.7e.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>Access Center, DPSS</p> <p><b>Action 3.3c:</b> Increase housing choice for persons with disabilities through retrofit of existing housing and the continued enforcement of ADA requirements. Provide information to Community Access and County staff for dissemination and public outreach.  <b>Timing:</b> Implement ordinance by 2014.  <b>Responsibility:</b> Community Access/ Building and Safety</p> <p><b>Action 3.3d:</b> The Housing Authority shall continue to work in cooperation with local organizations that provide referral and support services to persons with disabilities.  <b>Timing:</b> Establish quarterly reporting by the Housing Authority in their coordination and outreach to special needs communities.  <b>Responsibility:</b> Housing Authority, DPSS</p>	<p>Through the establishment of a new affordability ordinance coupled with a GIS analysis to establish the best location for special need housing choices</p>	<p>Will be completed as part of the reasonable accommodation procedure.</p>	<p>Delete.</p>
<p><b>Action 3.3e:</b> Continue to provide rental certificates to persons with disabilities (Housing Choice Voucher Program previously known as Section 8 Rental Assistance Program).  <b>Timing:</b> Establish a reporting mechanism to track rental certificates.  <b>Responsibility:</b> Housing Authority</p>	<p>Mainstream Housing Opportunities for Persons with Disabilities program/ Housing Choice Voucher Program (previously known as Section 8 Rental Assistance Program)</p>	<p>The Housing Authority continues to work with local organizations to provide targeted outreach to persons with disabilities. Specifically, the Housing Authority has fostered relationships and partnerships with Fair Housing Council of Riverside County, Community Access Center, local HIV providers, the VA Loma Linda, the Department of Public Social Services' CARE Team, and the Riverside County Office on Aging to provide housing information and support for persons with disabilities. Quarterly reports have not been provided but can be completed once a template is provided by the Transportation and Land Management Agency (TLMA).</p>	<p>Continue.</p>





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 3.3f:</b> Continue to refer eligible participants to the SHARE Program.  <b>Responsibility:</b> DPSS</p>	<p>The Department of Public Social Services provides education and management of the SHARE Program.</p> <p>870 units have been provided under this program under the previous period. Set goal to meet or exceed program through DPSS</p>	<p>are elderly and/or disabled households. Addressed as part of the SHARE program outreach.</p>	<p>Delete.</p>
<p><b>Action 3.3g:</b> The Department of Public Social Services will continue to administer homeless programs and services, and seek provision of additional emergency shelter, transitional and permanent supportive housing facilities in cooperation with non-profit organizations and homeless service providers. (See also 1.5e and 1.5f) <b>Timing:</b> Continue. DPSS will focus on development of permanent supportive housing units  <b>Responsibility:</b> DPSS</p>	<p>The Department of Public Social Services provides Supportive Housing Program, Shelter Plus Care, Emergency Housing Assistance Program and FEMA programs.</p>	<p>Implementation of this action is ongoing. Addressed as part of other action items.</p>	<p>Delete.</p>
<p><b>Action 3.3h:</b> Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates) 2. Family Unification Program 3. Family Self Sufficiency Program 4. Housing Opportunities for Persons with AIDS (HOPWA) 5. Veteran's Affairs Supportive Housing Program (VASH) 6. Foster Care Youth Program 7. Tenant Based Rental Assistance Program.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> Housing Authority, EDA, DPSS</p>	<p>7,255 Section 8 vouchers were issued on an annual basis between 1998 – 2005 within incorporated cities and 570 annually within the unincorporated county. Program will continue as funding is obtained.</p>	<p>The Housing Authority continues to operate and expand its special needs housing programs. At present time these programs consist of the following:  - 10 Section 8 vouchers reserved for pilot project for youth aging out of foster care  - 385 VASH vouchers for homeless veterans (this includes a new allocation of 75 vouchers available 11/1/13)  - 150 Family Unification vouchers  - Over 600 participants in the Family Self Sufficiency program with 7.0 FTE full time service coordinators</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



COUNTY OF RIVERSIDE  
PLANNING DEPARTMENT

Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014				
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete	
<p><b>Action 3.3i:</b> The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within Western and Eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> HUD</p>	<p>268 beds were provided as part of the Shelter Plus Care program during the last planning period (1998 – 2005). Current Planning period quantified objectives would be to meet or exceed this goal.</p>	<p>- 90 rental vouchers for HOPWA                      - 135 Shelter Plus Care rental vouchers for chronically homeless individuals and families                      - 50 medium-term rapid re-housing subsidies for homeless individuals and families                      The TBRA program has been discontinued.</p>		Continue.
<p><b>Action 3.3j:</b> Maintain 469 public housing units and assist 8,499 extremely low and very low income recipients per year with Housing Choice Vouchers (Section 8 rental assistance vouchers).  <b>Timing:</b> Ongoing annually  <b>Responsibility:</b> Housing Authority</p> <p><b>Action 3.3k:</b> DPSS shall continue to work with non-profit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.  <b>Timing:</b> In March 2011, the County adopted Emergency Shelter provisions as part of Ordinance 348 in compliance with SB 2. As a result, a tracking mechanism will be</p>	<p>Housing Choice Voucher Program (formerly, Section 8 Rental Housing Assistance)                      Program has been quantified within the Housing Element and will be maintained.                      Supportive Housing Program, Emergency Shelter Program, and Shelter Plus Care</p>	<p>The Housing Authority maintained 469 units of public housing (179 of which are located in the unincorporated areas of the County), 76 units of farm worker housing, and 8,523 Housing Choice Vouchers (Section 8).                      In March 2011, the County adopted emergency shelter provisions as part of Ordinance 348 in compliance with SB 2. As a result, a tracking mechanism will be established to report emergency shelter facilities constructed under these provisions.</p>		Continue.



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>established to report emergency shelter facilities constructed under these provisions.  <b>Responsibility:</b> DPSS</p>			
<p><b>Action 3.3i:</b> Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.  <b>Timing:</b> 2009  <b>Responsibility:</b> DPSS</p>	<p>Supportive Housing program, Shelter Plus Care</p>	<p>The County continues to support legislation as the opportunity arises. Implementation of this action is ongoing.</p>	<p>Continue.</p>
<p><b>Action 3.3m:</b> The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the consumer price index (CPI).  <b>Timing:</b> As the last amendment of Ord. 760 was 9/17/1996, during the Planning period, review of the effectiveness of Ord. 760 and proposed amendments is necessary  <b>Responsibility:</b> County Executive Office</p>	<p>Mobile Home Rent Stabilization Ordinance No. 760</p>	<p>Rent stabilization issues related to permitted mobile home parks occur infrequently. Covenants in place related to allowed rent often preclude issues from arising which would trigger implementation of the ordinance. The County continues to implement this ordinance when issues do arise. This action is ongoing and will be continued.</p>	<p>Continue.</p>
<p><b>Action 3.4b:</b> Continue to implement the Mortgage Credit Certificate Program (MCC) for low to moderate income homeowners.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> EDA</p>	<p>750 units were assisted through the MCC. Set goal to meet or exceed this previous planning objective.</p>	<p>541 homeowners Countywide were assisted through the MCC program. 108 of the homeowners were assisted within unincorporated areas of the County.</p>	<p>Continue.</p>
<p><b>Action 3.4d:</b> Continue to provide down payment assistance and closing cost assistance to low income first time homebuyers through the First Time Homebuyers Program.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> EDA</p>	<p>500 units were assisted during the previous planning period. 81 units were assisted from 2006 – 2008. Set goal to meet or exceed previous periods results</p>	<p>224 first-time homebuyers throughout the County were assisted through the FTHB program. 68 of the first-time homebuyers were assisted within unincorporated areas of the County.</p>	<p>Continue.</p>
<p><b>Action 3.4e:</b> Continue to participate as an associate member of the Riverside-San Bernardino Housing and Finance Agency Lease Purchase Program.  <b>Timing:</b> Ongoing</p>	<p>25 units were assisted during the last period (1998 – 2005). Set goal to meet or exceed previous periods results</p>	<p>The Riverside-San Bernardino Housing and Finance Agency Lease Purchase Program was dissolved.</p>	<p>Delete.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Responsibility:</b> EDA</p> <p><b>Action 3.4f:</b> Investigate the feasibility of acquiring foreclosure homes and offering them to residents at prices affordable to low and moderate income households.</p> <p><b>Timing:</b> Implement program approved by the Board of Supervisors on November 25, 2008.</p> <p><b>Responsibility:</b> EDA</p>		<p>Implementation of this action did not occur during the foreclosure crisis. The foreclosure crisis has ended and this action is no longer appropriate and will not be continued.</p>	Delete.
<p><b>Action 3.4g:</b> The Housing Authority implemented the Mortgage Voucher Assistance Program in April 2008. This program enables lower income households to use their Section 8 vouchers for home purchases. The Housing Authority will continue to market and find current Section 8 households who are renters and work with them to transition to homeownership until the program reaches capacity.</p> <p><b>Timing:</b> Ongoing</p> <p><b>Responsibility:</b> Housing Authority</p>	Housing Choice Voucher Program	16 households used their Section 8 vouchers for home purchases since January 1, 2006.	Continue.
<p><b>Action 3.5a:</b> Work with public or private sponsors to encourage acquisition/ rehabilitation of existing multi-family units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median.</p> <p><b>Timing:</b> 2006-2014</p> <p><b>Responsibility:</b> EDA/RDA</p>	<p>HUD Assisted Living Conversion Program for Eligible MF Projects</p> <p>243 multi-family, senior restricted units, were produced during the last planning period (1998 – 2005). 503 multi-family, senior, units are programmed for the current planning period.</p>	<p>The EDA and Housing Authority continue to work with developers to identify housing for acquisition and rehabilitation for senior housing. Projects must meet amenity requirements for conversion to senior housing. At this time no projects or units have been acquired, rehabilitated, and converted for senior housing.</p>	Continue.
<p><b>Action 3.5b:</b> Assist eligible non-profit buyers in acquiring market rate apartments in exchange for reservation of a portion of the units to be made available at rents affordable to low and moderate income households.</p>	20,356, market-rate units, were provided under the previous planning period. Set goal to meet or exceed previous periods results.	The EDA and Housing Authority continue to work with nonprofit developers to identify market rate housing in exchange for reservation of a	Continue.



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>Timing: 2006-2014                      Responsibility: EDA/RDA</p>		<p>portion of the units to be made available at rents affordable to low-and moderate-income households. At this time no projects or units have been acquired.</p>	
<p><b>Action 3.5c:</b> Consider the conversion of small older hotels to transitional housing facilities, emergency shelters or SROs in conjunction with qualified non-profit organizations. The Department of Social Services shall work with participating jurisdictions when requested. (Also see Policy 2.1, Action 2.1h.)                      Timing: Ongoing                      Responsibility: DPSS, Non-profits</p>	<p>Supportive Housing Program, HUD SRO                      Moderate Rehabilitation Program</p>	<p>No conversions occurred.</p>	<p>Continue.</p>
<p><b>Action 4.1a:</b> Revise Countywide Development Mitigation Fees.                      Timing: Ordinance No. 659 is reviewed on an annual basis with the last amendment approved on 08/10/10. Updates are provided as needed. Development Mitigation Fees provide exemptions for special needs and publicly subsidized affordable housing projects. Annual reviews will continue to analyze and evaluate the effectiveness of this ordinance.                      Responsibility: County Counsel/TLMA</p>	<p>Ordinance No. 659.9</p>	<p>A review of the Countywide Development Mitigation Fees is under way which will result in an updated nexus study.</p>	<p>Delete.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



<b>Table H-1</b> <b>Progress in Implementing Housing Goals and Actions</b> <b>January 1, 2006 to June 30, 2014</b>			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 4.2a:</b> Maintain an inventory of County owned lands with potential for low and moderate income housing.  <b>Timing:</b> Establish an annual review of all County owned sites and evaluate with EDA/RDA staff for potential scoring for affordable housing siting. To date, no existing, non-affordable housing sites have been converted to such uses.  <b>Responsibility:</b> TLMA/GIS Section</p>	County GIS and Facilities Management	Action has been implemented throughout the planning period and will be continued.	Modify. Combine with action 1.2e.
<p><b>Action 4.2b:</b> Update the land use inventory on a continual basis  <b>Timing:</b> Annually  <b>Responsibility:</b> TLMA/GIS Section</p>	Housing Element Maintenance	This action has been implemented and is ongoing.	Modify. Combine with action 1.2e.
<p><b>Action 4.2c:</b> Identify and map areas of the County where urban infill is appropriate  <b>Timing:</b> Annually  <b>Responsibility:</b> TLMA/GIS Section</p>	Housing Element Maintenance	This action has been implemented and is ongoing.	Modify. Combine with action 1.2e.
<p><b>Action 4.2d:</b> Encourage the developer to provide current market analysis to determine supply and demand for special needs affordable housing projects as part of the application for County assistance. The establishment of an affordable housing ordinance will provide additional incentives that will compliment the County's R-6 zone, State Law, and Density Bonus provisions.  <b>Timing:</b> Implement by 2014.  <b>Responsibility:</b> EDA</p>		It is County policy to provide this analysis for projects over 100 units. This approach has been implemented and is ongoing.	Modify and continue.
<p><b>Action 4.2e:</b> Develop program for tracking and categorizing affordable units provided through the County's development review process. Maintain data base of new affordable housing provided.</p>	Development review process	EDA has a program for tracking and categorizing affordable units.	Delete.





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/ Delete
<p>Timing: Develop tracking program and have in place by 2013.                      Responsibility: TLMA</p>			
<p>Action 4.2f: Evaluate the affordability via interest rates, underwriting issues, cost per unit                      Timing: Update annually                      Responsibility: EDA</p>		<p>For the County's HOME program, affordability is evaluated at the time the application is received for review and must meet all HOME regulations prior to funding agreement.</p>	<p>Continue.</p>
<p>Action 4.2g: Determine strategies for specified needs: • Dispersed (County-wide) versus target areas • Level of assistance (RDA induced or developer induced) • Non-profit versus for profit-developers • Competitive application/RFP process first come, first served • Types of housing - seniors, farm workers, special needs, assisted living, multi-family, single family, mixed-use, transit oriented developments, etc • Market group - small family, large family, persons with disabilities, farm workers, etc. • Type of program - rehabilitation, new construction, rental housing, owner-occupied, acquisition of existing housing, etc. • Fee reductions, waivers or other incentives • Services such as child care                      Timing: These policies include provisions that have been previously quantified. The establishment of strategies for specific needs will be completed by the completion of the current planning period (2014).                      Responsibility: EDA/RDA/ TLMA</p>	<p>Housing Element Maintenance</p>	<p>This action has not been completed and will be developed as part of the Affordable Housing Ordinance.</p>	<p>Continue.</p>
<p>Action 4.2h: Map the location of affordable projects developed by the County.                      Timing: Maps will be completed by end of planning period (2014) and updated annually.                      Responsibility: EDA/TLMA</p>	<p>Program will be implemented as part of policy 4.2B and 4.2C</p>	<p>A map of affordable projects is provided on the County's website.</p>	<p>Delete.</p>
<p>Action 4.3a: Ensure that redevelopment revitalization plans</p>	<p>Redevelopment Sub-Area Master Plans</p>	<p>This action will not be continued due to</p>	<p>Delete.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>include provisions for new affordable housing, where feasible</p> <p><b>Timing:</b> RDA Sub-Area plans are reviewed and updated in accordance with State Law. The inclusionary aspects of new affordable housing are currently included in the work effort.</p> <p><b>Responsibility:</b> EDA/RDA</p>		<p>the dissolution of the redevelopment agency.</p>	
<p><b>Action 4.3b:</b> Identify and summarize housing requirements and obligations annually (e.g. RDA inclusionary and replacement housing, implementation plans, housing production plans, new regulations and legislative mandates)</p> <p><b>Timing:</b> Annual review is currently included in RDA work programs and updated in accordance with State Law.</p> <p><b>Responsibility:</b> RDA/EDA</p>	<p>Redevelopment Sub-Area Master Plans</p>	<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	<p>Delete.</p>
<p><b>Action 4.3c:</b> Identify programs of greatest use based on community needs, potential funding, available resources; prioritize programs based on funding sources such as grants, deferred/amortized loans, land write downs, loan guarantees, rental assistance, etc.</p> <p><b>Timing:</b> These policies include provisions that have been previously quantified. The establishment of community needs, potential funding, and available resources will be completed by the completion of the current planning period (2014).</p> <p><b>Responsibility:</b> RDA/EDA</p>	<p>Redevelopment Sub-Area Master Plans</p>	<p>This action has been implemented and is ongoing.</p>	<p>Continue.</p>
<p><b>Action 4.3d:</b> Propose and advocate legislative efforts to promote jobs/housing balance. Participate in sub regional (WRCOG and CVAG) and regional (SCAG) agency meetings to establish housing goals beyond County lines and ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary.</p> <p><b>Timing:</b> Establish a quarterly meeting schedule with</p>	<p>Supportive Housing Program</p>	<p>This action has been implemented at the council of governments level and will be continued.</p>	<p>Continue.</p>



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>County's legislative advocates to ascertain the impact existing and proposed legislation, including, but not limited to SB 375. EDA and Planning Staff shall provide a report on the County's legislative platform with respect to affordable housing and Housing Element legislation.  <b>Responsibility:</b> RDA/EDA/ County Counsel</p> <p><b>Action 4.3e:</b> Implement the County's new economic development strategy which utilizes both public and private sector financing to stimulate economic development utilizing CDBG funding.  <b>Timing:</b> The County's economic development strategy will be refined and implementation will be completed by 2014.  <b>Responsibility:</b> EDA</p>	<p>EDA Workforce Development Program</p>	<p>[HCD – revisions pending updated data]</p>	<p>Continue.</p>
<p><b>Action 4.3f:</b> Train County staff to implement programs, perform assessments, and provide housing counseling and technical service and referral services.  <b>Timing:</b> The County will establish training modules to provide training for outreach and implementation of Housing Element policies by the end of the Planning period.  <b>Responsibility:</b> TLMA/EDA</p>	<p>Housing Element Maintenance</p>	<p>The EDA and Housing Authority send staff to training and workshops for implementation and administering of various programs. The agencies do not provide housing counseling or technical and referral services.</p>	<p>Delete.</p>
<p><b>Action 4.3g:</b> Direct and assist regional and local agencies, private developers and non-profit agencies to facilitate the attainment of County housing goals.  <b>Responsibility:</b> TLMA/EDA</p>	<p>Housing Element Maintenance            County staff will establish outreach materials; include training on affordable housing incentives for private and non-profit agencies.</p>	<p>This action has been completed and implemented thru DACE outreach is ongoing.</p>	<p>Delete.</p>
<p><b>Action 4.3h:</b> Seek changes in state policy to encourage the production of affordable housing such as construction defect litigation reform and additional low income tax credits.  <b>Timing:</b> See Policy 4.3d  <b>Responsibility:</b> EDA</p>	<p>Supportive Housing Program</p>	<p>The EDA and Housing Authority continue to seek changes in state and federal policies to encourage the production of affordable housing through the establishment of legislative platforms.</p>	<p>Continue.</p>

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 4.3i:</b> Require management plans for special needs affordable housing projects to reduce potential opposition.  <b>Timing:</b> As part of the establishment of an affordable housing and rezoning program, design standards for special need communities will be established. Implementation will occur within the planning period (2014)  <b>Responsibility:</b> EDA/RDA/TLMA Planning</p>	<p>Housing Element Maintenance</p>	<p>This action has been implemented and is ongoing.</p>	<p>Continue.</p>
<p><b>Action 4.3j:</b> Maintain adequate staffing levels to correspond to size and complexity of housing projects  <b>Timing:</b> Staffing levels to correspond to work load is a constant assessment of County staff. This program is ongoing through the planning period and will continue to the next planning period.  <b>Responsibility:</b> All County Departments</p>	<p>Development Review Procedures for private projects.</p>	<p>Due to limited budget resources, staffing levels have not been maintained. This program will be continued.</p>	<p>Continue.</p>
<p><b>Action 4.3k:</b> Seek changes in State policy to revise the 1986 Tax Reform Act, which removed private incentives to construct and own rental housing and therefore contributed to the decline of multifamily construction.  <b>Timing:</b> See Policy 4.3d  <b>Responsibility:</b> EDA</p>	<p>Housing Element Maintenance</p>	<p>The EDA and Housing Authority have not sought changes in state policy to revise the 1986 Tax Reform Act, which removed private incentives to construct and own rental housing which therefore contributed to the decline of multifamily construction.</p>	<p>Combine with action 4.3h.</p>
<p><b>Action 4.3l:</b> Continue the Housing Review Committee Advisory Council to continue to develop solutions for farm worker housing and services . Farm worker housing and services are established through a number of programs and policies. In addition, an affordable housing ordinance will be implemented as previously referenced and additional zones will be modified to authorize farm worker housing projects.  <b>Timing:</b> The Housing Review Committee Advisory Council provides regular reporting on its work programs.  <b>Responsibility:</b> EDA/TLMA</p>		<p>The Housing Review Committee Advisory Council provides regular reporting on its work programs. Farm worker housing and services are established through a number of programs and policies. In addition, an affordable housing ordinance is being considered, as previously referenced, and additional zones will be modified to authorize farm worker housing projects.</p>	<p>Continue</p>





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 4.3m:</b> Establish reasonable numeric targets for housing production annually, by region, income category and type. Ensure that numeric targets are consistent between the HUD 5-Year Consolidated Plan, Housing Element, AB315 Housing Production Plan and RDA Implementation Plans.</p> <p><b>Timing:</b> Numeric targets for housing production are established through the Housing Element. By the end of the Planning Period, the County will reconcile the Housing Element quantified goals, HUD 5-year Consolidated Plan, AB315 Housing Production Plan and RDA Implementation Plans.</p> <p><b>Responsibility:</b> EDA/TLMA</p>		<p>Due to the elimination of redevelopment in California by operation of law as of February 1, 2012, RDA Implementation Plans have been eliminated along with AB 315 Housing Production Plan. The 5-Year Consolidated Plan continues as a requirement of federal HUD funding. The Housing Element continues as well.</p>	Delete.
<p><b>Action 4.3n:</b> Support changes in Redevelopment Law that increase home-ownership eligibility by raising affordability criteria and respective mortgage payment maximums.</p> <p><b>Timing:</b> See Policy 4.3d</p> <p><b>Responsibility:</b> EDA/TLMA</p>		<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	Delete.
<p><b>Action 4.3o:</b> Support changes in Redevelopment Law that would allow expanded flexibility to use increment funds cooperatively across multiple jurisdictions to provide affordable housing outside of identified project areas.</p> <p><b>Timing:</b> See Policy 4.3d</p> <p><b>Responsibility:</b> EDA/TLMA</p>	Housing Element Maintenance	<p>This action will not be continued due to the dissolution of the redevelopment agency.</p>	Delete.
<p><b>Action 4.4a:</b> Develop a standardized system of annually reporting and monitoring housing activities. Information to be standardized should include, but not be limited to: jurisdiction in which the project is located; level of income (based on HUD classifications) household size and type of household (based on HUD classifications); the program(s) utilized for assistance and funding source; the agency or department responsible for the program or project; the total number of units; and other relevant factors to be</p>	<p>Housing Element Maintenance</p> <p>This policy shall be included within the implementation of policy 4.3m.</p>	<p>The County keeps track of the risk assessment for each project and completes annual site visits to monitor its documentation.</p>	Continue.

# County of Riverside General Plan Housing Element 2013 - 2021



**Table H-1  
Progress in Implementing Housing Goals and Actions  
January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p>determined. The standardized system should be used for reporting in association with the Consolidated Annual Performance and Evaluation Report (CAPER), the Redevelopment Annual Housing Report, and the Housing Element Annual Housing Status Report. <b>Responsibility:</b> EDA/TLMA</p>			
<p><b>Action 4.4b:</b> Monitor the expiration of affordability periods and assess replacement needs annually. <b>Timing:</b> Annually <b>Responsibility:</b> EDA/TLMA</p>	<p>Housing Element Maintenance  This policy shall be included within the implementation of policy 4.3m.  Housing Element Maintenance</p>	<p>This action is ongoing.</p>	<p>Modify. Combine with action 2.4a.</p>
<p><b>Action 4.5.a:</b> Review the current housing and infrastructure expenditures and programs of the various departments and agencies in the County to determine where they are implemented geographically (i.e.: in unincorporated County or within incorporated cities) and develop strategies to target the resources where they will most benefit the County. <b>Responsibility:</b> EDA/TLMA</p>	<p>This policy shall be included within the implementation of policy 4.3m.</p>		
<p><b>Action 4.5b:</b> Identify and evaluate current and projected revenues such as general funds, federal and state entitlement, grants, housing bonds, set-asides, etc. <b>Timing:</b> See Policy 4.3d <b>Responsibility:</b> EDA/RDA/TLMA</p>	<p>Housing Element Maintenance</p>	<p>Funding balances for CDBG, HOME, and ESG are reported each year in the County's Consolidated Annual Performance Evaluation Report (CAPER) and former RDA balances are listed in the Recognized Obligation Payment Schedule.</p>	<p>Continue.</p>
<p><b>Action 4.5c:</b> Evaluate financial resources for leveraging opportunities <b>Timing:</b> See Policy 4.3d <b>Responsibility:</b> EDA/RDA/TLMA</p>	<p>Housing Element Maintenance</p>	<p>Every multifamily project has some type of leveraging and it is evaluated as necessary.</p>	<p>Delete.</p>
<p><b>Action 4.5d:</b> Determine the appropriateness of grants and loans. Develop and adopt grant policies that are consistent with housing goals.</p>	<p>Housing Element Maintenance</p>	<p>The County has not adopted grant policies but it does collaborate with other nonprofits. Improving the</p>	<p>Continue.</p>





# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
**Progress in Implementing Housing Goals and Actions**  
**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Timing:</b> Establish a grant and loan policy by the end of the planning period.  <b>Responsibility:</b> EDA/RDA/TLMA</p>		<p>number of affordable units is in line with the County's mission.</p>	
<p><b>Action 4.5e:</b> Establish a funding plan and timing of activities.  <b>Timing:</b> See Policy 4.5e  <b>Responsibility:</b> EDA/RDA/TLMA</p>		<p>Priorities are set as part of the County's action plan. The action plan is available on the website.</p>	Delete.
<p><b>Action 4.5f:</b> Prioritize financial assistance based on housing needs (e.g. special needs, large families, mixed-use, multi-family, single family, number of units, or cost per unit)  <b>Timing:</b> See Policy 4.3m  <b>Responsibility:</b> EDA/RDA/TLMA</p>		<p>This is completed as part of the consolidated plan.</p>	Delete.
<p><b>Action 4.5g:</b> Target future financial resources to meet future housing obligations.  <b>Timing:</b> See Policy 4.3m  <b>Responsibility:</b> EDA, Housing Authority</p>	Housing Element Maintenance	<p>Ongoing. The EDA and Housing Authority continue to seek additional financial resources due to the elimination of redevelopment in California by operation of law as of February 1, 2012, and federal budget cuts to HOME and CDBG.</p>	Continue.
<p><b>Action 5.1a:</b> Create incentives for energy conservation above and beyond the requirements of Title 24 by developing a sliding scale Fee Assistance Program. More energy measures = more fees waived.  <b>Responsibility:</b> EDA/TLMA</p>	<p>Climate Action Plan (CAP)            Develop a General Plan Energy Element that will include incentives for production of renewable energy resources and greater efficiencies than Title 24.</p>	<p>The CAP is being completed was part of the General Plan update.</p>	Modify. Combine with action 5.1f.
<p><b>Action 5.1b:</b> The Department of Community Action shall continue to operate the LIHEAP and Home Weatherization programs to reduce maintenance and energy costs for households with low incomes and increase efforts to inform the public about available energy conservation programs.  <b>Timing:</b> Ongoing.  <b>Responsibility:</b> DCA</p>	<p>County Home Weatherization Program/County Low Income Home Efficiency Assistance Program, consumer education workshops</p>	<p>The Department of Community Action continued to operate the LIHEAP and Home Weatherization programs.</p>	Continue.

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-1 Progress in Implementing Housing Goals and Actions January 1, 2006 to June 30, 2014			
Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 5.1c:</b> Pursue grant funds for energy rehab costs and consumer education  <b>Timing:</b> Annually, or in response to NOFAS  <b>Responsibility:</b> DCA</p> <p><b>Action 5.1d:</b> Utilize bidding procedures in County rehabilitation programs to incorporate energy conservation measures.  <b>Timing:</b> Ongoing  <b>Responsibility:</b> EDA</p>	<p>County Housing Rehabilitation Programs                      (Senior Home Repair, CHR and RHRP)</p>	<p>The EDA and Housing Authority continue to encourage developers to pursue grant funds for energy rehab costs and consumer education.                      This action has been implemented and is ongoing.</p>	<p>Continue.</p> <p>Continue.</p>
<p><b>Action 5.1e:</b> Promote level pay utility payments for the Housing Choice Voucher Program recipients (Section 8)  <b>Timing:</b> Ongoing.  <b>Responsibility:</b> Housing Authority</p>		<p>The Housing Authority analyzes utility usage Countywide and annually revises utility allowance schedules on July 1. The utility allowance amounts are factored in the rent calculation when determining a participant's portion of rent. Each household is expected to pay 30 percent of its income toward rent and utilities, and is allowed up to 40 percent at move-in. Portions can go up after move-in and a family may pay a higher percentage of rent if the gross rent of the unit is above the applicable payment standard amounts. Gross rent equals the contract rent plus the applicable utility allowance amounts. Payment standards are based on a percentage of HUD-determined Fair Market Rent amounts.</p>	<p>Continue.</p>
<p><b>Action 5.1f:</b> Encourage developer incentives for the incorporation of active and passive energy conservation features in new residential construction  <b>Timing:</b> Ongoing  <b>Responsibility:</b> Building and Safety</p>	<p>County Energy Efficiency Programs</p>	<p>The County continues to encourage developer incentives for energy conservation features.</p>	<p>Modify. Combine with action 5.1a.</p>



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-1**  
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**January 1, 2006 to June 30, 2014**

Actions	Objective (quantified/qualified)	Result/Effectiveness	Continue/ Modify/Delete
<p><b>Action 5.1g:</b> Support changes in Redevelopment law that increases home-ownership eligibility by raising utility allowances and respective mortgage payment maximums.  <b>Timing:</b> See Policy 4.3d  <b>Responsibility:</b> EDA/RDA/TLMA</p>	<p>Housing Element Maintenance</p>	<p>This action has not been implemented due to the dissolution of the redevelopment agency.</p>	<p>Delete.</p>
<p><b>Action 5.1h:</b> Annually evaluate and update the Section 8 utility allowance tables to account for increases and or decreases of energy consumption and costs of consumption.  <b>Timing:</b> Establish an annual reporting mechanism that provides reporting for Section utility allowance tables. Reporting mechanisms shall be established by the end of the planning period.  <b>Responsibility:</b> Housing Authority</p>	<p>Housing Element Maintenance</p>	<p>The Section 8 and Public Housing utility tables are updated annually to account for adjustments in utility consumption and costs. This update includes an annual assessment study which justifies any adjustments and is updated on or about July 1 each year.</p>	<p>Continue.</p>



### *Community Profile*

An accurate assessment of existing and future residents' demographic characteristics and housing needs forms the basis for establishing program priorities and quantified objectives in the Housing Element. This section presents statistical information and analysis of demographic and housing factors that influence housing demand, availability, and cost. The focus of this section is identifying the need for housing according to income level as well as by special needs groups.

#### **DATA SOURCES**

To assist localities in assessing housing needs in their community, SCAG prepared data packets. While these packets provide several relevant data components from the American Community Survey and other sources, due to the County's large geographic area, and the recent incorporation of multiple cities, this data packet was supplemented with additional information from the US Census Bureau, CA Department of Finance (DOF), ESRI, and the Riverside County Center for Demographic Research.

The US Census, which is completed every ten years, is an important source of information for the community profile. It provides the most reliable and in-depth data for demographic characteristics of a locality. The DOF is another source of valuable data and is more current than the Census. However, the DOF does not provide the depth of information that can be found within the US Census Bureau reports. Whenever possible, DOF data and other local sources were used in the Housing Needs Assessment in order to provide the most current profile of the community. This report also uses projection data prepared by Riverside County Information Technology.

The 2010 Census did not collect information in several categories that are required for the assessment of housing needs. Where this is the case, the assessment references US Census Bureau American Community Survey (ACS) data. The ACS provides estimates of numerous housing-related indicators based on samples averaged over a five-year period. Where ACS data is used, the numbers should not be interpreted as absolute fact, but rather as a tool to illustrate general proportion or scale.

#### **DEMOGRAPHIC TRENDS**

##### **Regional Growth**

Between April 1, 2000, and January 1, 2012, Riverside County's population grew by over 699,000 people or by approximately 45 percent. The western portion of the County (including unincorporated areas and member jurisdictions of the Western Riverside Council of Governments (WRCOG)) grew at a faster pace (76%) than the eastern portion (including unincorporated areas and member jurisdictions of the Coachella Valley Association of Governments (CVAG)) (36%). Riverside County grew four and a half times as fast as the region covered by SCAG, which includes the counties of Los Angeles, Orange, Riverside, San



Bernardino, Ventura, and Imperial Counties. The SCAG region grew 10 percent during this same time period (Table H-2). Since the Housing Element addresses the unincorporated County, it is important to note that the population in the unincorporated areas in the western portion of the County declined by 23 percent between 2000 and 2012 due to the incorporation of the cities of Eastvale, Jurupa Valley, Menifee, and Wildomar, while the eastern portion of the unincorporated County’s population grew by approximately 19 percent.

**WRCOG**—The Western Riverside Council of Governments. Members include: the cities of Banning, Beaumont, Calimesa, Corona, Canyon Lake, Eastvale, Hemet, Jurupa Valley, Lake Elsinore, Menifee, Moreno Valley, Murrieta, Norco, Perris, Riverside, San Jacinto, Temecula, and Wildomar; the County of Riverside; the Eastern Municipal Water District; and the Western Municipal Water District.

**CVAG**—The Coachella Valley Association of Governments. Members include: the cities of Blythe, Cathedral City, Indio, Coachella, Desert Hot Springs, Indian Wells, Indio, La Quinta, Palm Desert, Palm Springs, and Rancho Mirage; the County of Riverside; the Agua Caliente B. C. I.; the Cabazon B. M. I.; and the Torres Martinez B. C. I.

**SCAG**—Southern California Association of Governments. Includes the counties of and cities within Los Angeles, Orange, San Bernardino, Riverside, Ventura and Imperial Counties.

**Table H-2 Regional Population Growth Trends: 2000–2012**

Area	4/1/2000 <sup>1</sup>	4/1/2010 <sup>1</sup>	1/1/2012 <sup>2</sup>	Change 2000-2012 (%)
Riverside County	1,545,387	2,189,641	2,244,399	45%
Cities	1,124,666	1,685,249	1,887,766	68%
Unincorporated	420,721	504,392	356,633	-15%
WRCOG Area				
Cities	848,413	1,467,188	1,495,621	76%
Unincorporated	351,652	423,231	271,173	-23%
CVAG Area				
Cities	276,253	367,335	375,323	36%
Unincorporated	69,069	82,444	82,444	19%
SCAG Region	16,516,703	18,421,491	18,249,494	10%
California	33,873,086	37,559,440	37,668,804	11%

*Sources:*

1. US Census Bureau, 2010.

2. California Department of Finance, 2012.

# County of Riverside General Plan

## Housing Element 2013 - 2021



Table H-3 presents the percentage change in population of the cities in Riverside County between 2000 and 2012. The fastest growing cities during this period were Beaumont and Murrieta, where the percentage changes in population were 241% and 137%, respectively. This is four to five times the percentage change that occurred in the unincorporated County at 27.8%. While the unincorporated County experienced growth overall between 2000 and 2010, the incorporation of the cities of Eastvale in 2010 and Jurupa Valley in 2011 led to an overall 15% decrease between 2010 and 2012. Had several cities not incorporated between 2000 and 2012, the population growth within land areas in the unincorporated county in 2000 would have resulted in an unincorporated population increase of 48% (counting the unincorporated population plus the cities of Eastvale, Jurupa Valley, Menifee, and Wildomar in 2012).

**Table H-3 County/City Population Growth Trends 2000-2012**

County/City	April 1, 2000	April 1, 2010	January 1, 2012	% Change (2000–2012)
Banning	23,562	29,603	29,965	27%
Beaumont	11,384	36,877	38,851	241%
Blythe	20,465	20,817	20,400	0%
Calimesa	7,139	7,879	7,998	12%
Canyon Lake	9,952	10,561	10,689	7%
Cathedral City	42,647	51,200	51,952	22%
Coachella	22,724	40,704	41,904	84%
Corona	124,966	152,374	154,520	24%
Desert Hot Springs	16,582	25,938	27,638	67%
Eastvale*	n/a	n/a	55,602	n/a
Hemet	58,812	78,657	80,089	36%
Indian Wells	3,816	4,958	5,035	32%
Indio	49,116	76,036	78,065	59%
Jurupa Valley*	n/a	n/a	96,456	n/a
Lake Elsinore	28,930	51,821	53,024	83%
La Quinta	23,694	37,467	38,075	61%
Menifee*	n/a	77,519	80,589	n/a
Moreno Valley	142,379	193,965	196,495	38%
Murrieta	44,282	103,466	104,985	137%
Norco	24,157	27,063	27,053	12%
Palm Desert	41,155	48,445	49,471	20%
Palm Springs	42,805	44,552	45,279	6%
Perris	36,189	68,386	70,180	94%
Rancho Mirage	13,249	17,218	17,504	32%
Riverside	255,166	303,871	308,511	21%
San Jacinto	23,779	44,199	44,803	88%
Temecula	57,716	100,097	103,092	79%
Wildomar*	n/a	32,176	32,719	n/a
<b>Unincorporated</b>	<b>420,721</b>	<b>504,392</b>	<b>356,633</b>	<b>-15%</b>
<b>County Total</b>	<b>1,545,387</b>	<b>2,190,241</b>	<b>2,227,577</b>	<b>44%</b>

\* Cities incorporated after 2000.

Source: Demographic Research Unit, 2012. CA Department of Finance, 2012.





Table H-4 displays the estimated population, housing units, households, and employment for the unincorporated areas of Riverside County for 2010. The sub-areas used in this analysis correspond to the County Land Use Element's Area Plans. The results show that the western portion of the County contains approximately 76 percent of the unincorporated area's population, 81.3 percent of its housing units, 85.1 percent of its households, and 81 percent of its employment. In comparison, the eastern County (i.e., CVAG area) contains 24 percent of the population, 18.7 percent of the housing units, 14.9 percent of the household, and 19 percent of the employment. The most populous area within the eastern County is the Western Coachella Valley Area. By contrast, the incorporated cities contained 84.1 percent of the population, 87.5 percent of the housing units, 86.6 percent of the households, and 76.5 percent of all employment within the County.

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-4 Population, Households, and Employment Distribution  
Riverside County Unincorporated Area 2007 [HCD – revisions pending updated data]**

Planning Area <sup>1</sup>	Population	% of Total	Housing Units	% of Total	Households	% of Total	Employment	% of Total
<b>WRCOG Area</b>								
Eisnore	52,602	9.8%	18,072	9.0%	16,829	9.7%	8,187	6.8%
Harvest Valley / Winchester	12,882	2.4%	4,993	2.5%	4,550	2.6%	1,686	1.4%
Highgrove	5,904	1.1%	2,025	1.0%	1,921	1.1%	2,649	2.2%
Lake Mathews / Woodcrest	38,110	7.1%	13,252	6.6%	11,827	6.9%	6,261	5.2%
Lakeview / Nuevo	9,125	1.7%	3,002	1.5%	3,249	1.9%	2,167	1.8%
March Air Reserve Base	1,074	0.2%	612	0.3%	548	0.3%	2,528	2.1%
Mead Valley	19,860	3.7%	5,850	2.9%	5,266	3.1%	2,769	2.3%
Reche Canyon / Badlands	2,147	0.4%	1,047	0.5%	854	0.5%	843	0.7%
REMAP	12,882	2.4%	9,036	4.5%	5,166	3.0%	2,769	2.3%
San Jacinto Valley	32,742	6.1%	13,654	6.8%	12,123	7.0%	3,853	3.2%
Southwest Area	40,257	7.5%	14,457	7.2%	13,439	7.8%	8,307	6.9%
Temescal Canyon	34,352	6.4%	10,241	5.1%	9,957	5.8%	9,150	7.6%
San Geronio Pass	12,345	2.3%	7,028	3.5%	4,602	2.7%	6,261	5.2%
Subtotal	450,337	83.9%	163,246	81.3%	146,928	85.1%	97,520	81.0%
<b>CVAG Area</b>								
Desert Center	1,610	0.3%	402	0.2%	345	0.2%	482	0.4%
East County - Desert Area	3,221	0.6%	3,414	1.7%	1,030	0.6%	1,324	1.1%
Eastern Coachella Valley	31,668	5.9%	7,229	3.6%	6,302	3.7%	4,816	4.0%
Palo Verde Valley	4,294	0.8%	1,205	0.6%	799	0.5%	2,769	2.3%
Western Coachella Valley	45,624	8.5%	25,300	12.6%	17,265	10.0%	13,484	11.2%
Subtotal	86,417	16.1%	37,549	18.7%	25,741	14.9%	22,875	19.0%
Total	536,754	100.0%	200,795	100.0%	172,653	100.0%	120,395	100.0%

Sources: Riverside County Center for Demographic Research (using percentages based on Traffic Analysis Zone (TAZ) Estimates, total from DOF)

1. Four Jurisdictions—Eastvale, Menifee, Wildomar, and Jurupa Valley—incorporated after 2007 and their populations are no longer included in the overall population of unincorporated Riverside County.



## Age Composition

The age distribution for the western and eastern portions of Riverside County is presented in Table H-5. According to 2010 Census data, roughly two-fifths of unincorporated Riverside County’s population is working age, falling between 25 and 54 years of age. Another fifth of the population is school age, falling between 5 and 17 years of age. Roughly one-fifth of the population is over 55 years of age. The remaining fifth of the population comprises preschoolers and young adults. There is relatively little difference in age distribution between the unincorporated western and eastern County, except for a higher percentage of those of retirement age in the eastern County (20%) versus the western County (11%). There is also a higher percentage of school age children in the western County (21%) versus the eastern County (19%). There is little difference in age distribution between the incorporated and unincorporated areas of the County, although the percentage of young adults is lower in the unincorporated County (9%) than in the cities (11%) and the percentage of those of retirement age is higher in the unincorporated County (13%) than in the cities (11%).

**Table H-5 Age Distribution 2007–2010**

Age Group	2007		2010			
	Unincorp. Total	Countywide Total	Western Unincorp.	Eastern Unincorp.	Unincorp. Total	Countywide Total
Preschool (0-4)	37,573	152,274	19,712	6,362	26,074	157,741
School (5-17)	107,888	420,275	58,409	15,421	73,830	442,958
Young Adult (18-24)	54,749	211,153	25,663	7,290	32,953	222,768
Prime Working (25-54)	219,532	852,732	110,017	27,541	137,558	839,939
Mature (55-64)	47,234	164,456	29,757	9,092	38,849	204,339
Retirement (65+)	69,778	229,426	31,000	16,738	47,738	248,779
<b>Total</b>	<b>536,754</b>	<b>2,030,316</b>	<b>274,558</b>	<b>82,444</b>	<b>357,002</b>	<b>2,116,524</b>

Sources: Riverside County for Demographic Research 2012; US Census Bureau, 2010.

## EMPLOYMENT TRENDS

### Employment Characteristics

In 2011, the estimated number of employed residents in all of Riverside County for all industries was 868,898. Of this, 1.5 percent or 13,433 were farm jobs, while 98.5 percent or 855,465 were non-farm jobs. Of the non-farm jobs, 22 percent were goods-producing jobs, while 78 percent or 479,600 were service-providing jobs. A further breakdown is provided in Table H-6 Employment by Industry, 2007-2011.



**Table H-6 Employment by Industry 2007–2011**

Subject	Riverside County, California			
	Total		Median earnings	Income Level
	Estimate	Percentage	Estimate	
Civilian employed population 16 years and over	868,898	100%	\$32,481	Very Low
Educational services, health care and social assistance	174,575	20%	\$36,390	Low
Retail trade	112,110	13%	\$23,055	Very Low
Arts, entertainment, and recreation, and accommodation and food services	91,633	11%	\$18,491	Extremely Low
Professional, scientific, and management, and administrative and waste management services	86,301	10%	\$32,015	Very Low
Manufacturing	81,972	9%	\$39,257	Low
Construction	79,020	9%	\$37,036	Low
Finance and insurance, real estate and rental and leasing	50,438	6%	\$41,013	Low
Transportation and warehousing, and utilities	47,177	5%	\$43,118	Low
Other services, except public administration	43,752	5%	\$21,921	Very Low
Public administration	42,799	5%	\$63,559	Moderate
Wholesale trade	30,331	3%	\$38,145	Low
Information	15,357	2%	\$49,173	Low
Agriculture, forestry, fishing and hunting, and mining	13,433	2%	\$19,589	Extremely Low

Source: US Census Bureau ACS 2007-2011 Estimates

Table H-7 projects the annual average employment by industry between 2010 and 2020 within the Riverside-San Bernardino-Ontario Metropolitan Statistical Area consisting of Riverside and San Bernardino Counties. Over this 10-year period, employment is expected to reach 1.46 million or a gain of 206,700 jobs for an annual growth rate of 1.6 percent. By comparison during the same period, California’s annual growth rate is estimated to be slightly lower at 1.5 percent. Riverside and San Bernardino Counties account for approximately 8.5 percent of California’s total non-farm employment. This will increase to 9.2 percent of the California’s non-farm employment growth during this period. The three industry sectors responsible for almost 62 percent of the new jobs are: transportation, trade, and utilities; professional and business services; leisure and hospitality. Using the annual average percentage growth rate for all non-farm employment of 1.5 percent as a baseline, the fastest growing non-farm industry sector is transportation, warehousing, and utilities which is expected to grow at 2.8 percent. In addition to the 206,700 job gain between 2010 and 2020, an estimated 315,500 job openings are also expected to become available. New jobs together with job openings would therefore total about 522,200 job openings during this period.

As the national economy improved during the 1990s, Riverside County’s economy also improved with the unemployment rate dropping from a high in 1993 of 12.2 percent (71,000



unemployed) to 5.4 percent (36,500 unemployed) in 2000. Between 2000 and 2010, the unemployment rate for Riverside County averaged 5.8 percent. Since 2006, the height of the “housing bubble” and accompanying economic downturn, the unemployment rate steadily increased to a high of 13.1 percent in May 2009, and has declined with economic recovery to 10.2 percent as of June 2013. Riverside County’s unemployment rate is higher than the statewide rate of 8.5 percent (California Labor Market Info).

**Table H-7 Employment Trends by Industry 2010-2020**

Industry	Employment			Percent Distribution		
	2010	2020	change	2010	2020	change
<b>Total Employment</b>	<b>1,253,300</b>	<b>1,460,000</b>	<b>206,700</b>	<b>100.0%</b>	<b>100.0%</b>	<b>0.0%</b>
<b>Total Farm</b>	<b>15,000</b>	<b>14,000</b>	<b>-1,000</b>	<b>1.2%</b>	<b>1.0%</b>	<b>-0.2%</b>
<b>Total Non-Farm</b>	<b>1,238,300</b>	<b>1,446,000</b>	<b>207,700</b>	<b>98.8%</b>	<b>99.0%</b>	<b>0.2%</b>
Natural Resources and Mining	1,000	900	-100	0.1%	0.1%	0.0%
Construction	59,700	69,300	9,600	4.8%	4.7%	0.0%
Manufacturing	85,100	88,400	3,300	6.8%	6.1%	-0.7%
Durable Goods (321, 327, 331-339)	55,300	59,000	3,700	4.4%	4.0%	-0.4%
Nondurable Goods (311-316, 322-326)	29,800	29,400	-400	2.4%	2.0%	-0.4%
Trade, Transportation and Utilities	270,800	336,600	65,800	21.6%	23.1%	1.4%
Wholesale Trade	48,600	60,500	11,900	3.9%	4.1%	0.3%
Retail Trade	155,500	190,800	35,300	12.4%	13.1%	0.7%
Transportation, Warehousing and Utilities	66,600	85,300	18,700	5.3%	5.8%	0.5%
Utilities	5,800	6,400	600	0.5%	0.4%	0.0%
Transportation and Warehousing	60,900	78,900	18,000	4.9%	5.4%	0.5%
Information	15,800	15,600	-200	1.3%	1.1%	-0.2%
Financial Activities	41,000	45,400	4,400	3.3%	3.1%	-0.2%
Finance and Insurance	25,500	28,400	2,900	2.0%	1.9%	-0.1%
Real Estate and Rental and Leasing	15,500	17,100	1,600	1.2%	1.2%	-0.1%
Professional and Business Services	123,400	156,500	33,100	9.8%	10.7%	0.9%
Education and Health Services	133,800	169,800	36,000	10.7%	11.6%	1.0%
Educational Services (Private)	15,600	21,000	5,400	1.2%	1.4%	0.2%
Health Care and Social Assistance	118,200	148,800	30,600	9.4%	10.2%	0.8%
Leisure and Hospitality	122,800	151,300	28,500	9.8%	10.4%	0.6%
Arts, Entertainment, and Recreation	15,800	18,100	2,300	1.3%	1.2%	0.0%
Accommodation and Food Services	106,900	133,200	26,300	8.5%	9.1%	0.6%
Other Services (excludes 814-Private Household Workers)	38,200	43,300	5,100	3.0%	3.0%	-0.1%
Government	234,300	243,600	9,300	18.7%	16.7%	-2.0%
Federal Government	22,700	19,800	-2,900	1.8%	1.4%	-0.5%
State Government	29,300	31,000	1,700	2.3%	2.1%	-0.2%
Local Government	182,300	192,800	10,500	14.5%	13.2%	-1.3%

Source: CA Employment Development Department



**Large Employers**

There are several organizations in Riverside County that employ a large number of residents from Riverside or nearby counties, though the majority of these employers are located in cities rather than the unincorporated County. Table H-8 identifies the County’s largest employers.

<b>Table H-8 Riverside County Largest Employers</b>		
<b>Employer Name</b>	<b>Location</b>	<b>Industry</b>
5,000 – 9,999 Employees		
Restoration Technologies Inc	Corona	Electronic Equipment & Supplies-Repair
Roupe's Renovations	Wildomar	Remodeling & Repairing Bldg Contractors
1,000 – 4,999 Employees		
Corrections Dept	Norco	State Govt-Correctional Institutions
Desert Regional Medical Ctr	Palm Springs	Hospitals
Eisenhower Medical Ctr Heart	Rancho Mirage	Orthopedic Surgeons
Handsome Rewards	Perris	Internet & Catalog Shopping
Hemet Valley Medical Ctr	Hemet	Hospitals
Hotel At Fantasy Springs	Indio	Casinos
Inland Valley Medical Ctr	Wildomar	Hospitals
Jw Marriott-Desert Spgs Resort	Palm Desert	Hotels & Motels
Kaiser Permanente	Riverside	Hospitals
La Quinta Golf Course	La Quinta	Golf Courses
La Quinta Resort & Club	La Quinta	Hotels & Motels
Morongo Casino Resort & Spa	Cabazon	Casinos
Morongo Tribal Gaming Ent	Banning	Business Management Consultants
Pechanga Resort & Casino	Temecula	Casinos
Riverside County Regional Med	Moreno Valley	Clinics
Starcrest of California	Perris	Internet & Catalog Shopping
Starcrest Products	Perris	Gift Shops

*Source: California Employment Development Department, 2013.*

**Jobs / Housing Balance**

In its 2001 paper, “The New Economy and Jobs/Housing Balance in Southern California,” SCAG defined jobs/housing balance as the “provision of an adequate supply of housing to house workers employed in a defined area (i.e., community or sub region). Alternatively, a jobs/housing balance can be defined as an adequate provision of employment in a defined area that generates enough local workers to fill the housing supply.” Based on earlier commuter surveys, SCAG determined that commuters preferred one-way commute times less than 30





minutes (14 minutes was the ideal), based on average commute speeds, and jobs within 14 miles of home. From this information, SCAG established jobs-to-household ratios of 1.0 to 1.29 to be balanced. Areas with ratios significantly different for this standard would be considered to be out of balance.

Traffic patterns on the major east-west transportation routes indicate that Riverside County serves as a bedroom community that supplies a substantial portion of the labor pool for the Los Angeles-Orange County metropolitan area. Between 2000 and 2010, Riverside County’s jobs-to-household ratio increased slightly from 1.02 to 1.07 (Table H-9). The unincorporated area, on the other hand, shows a severe shortage of jobs with only 0.57 jobs per household in the western County and 0.77 jobs per household in the eastern County in 2010, a decline from 2007 job-household ratios, likely due to the economic recession and the incorporation of multiple cities where more of the jobs are located.

**Table H-9 Job-Household Ratios, Unincorporated Riverside County 2000-2010**

	Total County		Western	Eastern	Total
	2000	2010	2010	2010	2010
Employment	517,000	700,266	47,339	20,116	67,455
Households	506,218	653,977	83,746	26,120	109,866
Jobs-Household Ratios	1.02	1.07	0.57	0.77	0.61

Source: Riverside County Center for Demographic Research, 2012.  
 Total employment includes wage and salary employment from Employment Development Department plus self-employment.  
 Total households from the Department of Finance.  
 Note: Data not seasonally adjusted.

**HOUSEHOLD CHARACTERISTICS**

The following is an analysis of household size and income characteristics. By definition a "household" consists of all the people occupying a dwelling unit, whether or not they are related. A single person living in an apartment is a household, just as a couple with two children living in the same dwelling unit is considered a household.

**Households Type and Size**

A household refers to the people occupying a home, such as a family, a single person, or unrelated persons living together. Family households often prefer single-family homes or condominiums to accommodate children, while non-family households generally occupy smaller apartments or condominiums.

Table H-10 displays household composition as reported by the 2010 Census. In unincorporated Riverside County, families comprised 78.6 percent of all households in the western part of the County, and 70.6 percent of all households in the eastern part of the County. In the unincorporated County, 37.6 percent of households in the western County are families with children under the age of 18, with 29.6 percent of households in the eastern portion of the



County with families under the age of 18. Riverside County as a whole has a slightly lower percentage of families (74.4%) and almost the same percentage of families with children under 18 years of age (37.5%).

**Table H-10 Household Characteristics**

Jurisdiction	Households	Average Household Size	Percentage of Households		
			Families	Families With Children Under 18	Non-Family
Unincorporated WRCOG Area	83,666	3.28	78.6%	37.6%	21.3%
Unincorporated CVAG Area	28,818	2.86	70.6%	29.6%	29.1%
Riverside County	686,260	3.14	74.4%	37.5%	25.6%

Source: 2010 US Census.

**Persons per Household**

The distribution of household size for Riverside County is displayed in Table H-11. The data indicates that 61 percent of households in Riverside County contain two to four persons, 18 percent contain one person, and 21 percent contain five or more persons. The County’s eastern area tends to have slightly more one-person or two-person households and fewer households with three or more people. This is at least partially explained by the fact that a higher percentage of retirement-age persons live in the Coachella Valley than in the western portions of the county.

**Table H-11 Household Size Distribution 2010**

Household Size	Western County Area		Eastern County Area		Riverside County	
	Unincorp.	Percentage	Unincorp.	Percentage	Unincorp.	Percentage
1 person	13,579	16.23%	6,662	23.12%	20,241	17.99%
2 persons	24,167	28.88%	10,510	36.47%	34,677	30.83%
3-4 persons	27,438	32.79%	6,465	22.43%	33,903	30.14%
5+ persons	18,483	22.09%	5,181	17.98%	23,664	21.04%
Total	83,667	100.00%	28,818	100.00%	112,485	100.00%

Source: US Census Bureau, 2010.

**Overcrowding**

In response to higher housing prices, lower-income households must often be satisfied with smaller, less adequate housing for available money. This may result in overcrowding. Overcrowding causes a strain on physical facilities, does not provide a satisfying environment, and eventually causes conditions which contribute both to deterioration of the housing stock and neighborhoods in general. A household is considered to be overcrowded if there is more than 1.0 person per room. A typical two-bedroom apartment with a living room and kitchen (a total of four rooms excluding bathrooms and hallways) would be considered overcrowded if it had more than four occupants.



Overcrowding varies with tenure and income. Based on 2006-2010 ACS data provided by the US Census Bureau regarding overcrowding within Riverside County (Table H-12), approximately 15 percent of renter households were reported to be overcrowded or severely overcrowded. Only 5 percent of owner-occupied units were overcrowded or severely overcrowded. These statistics indicate that overcrowding is more prevalent among renter households than owner households.

When looking at the cost of housing, the average apartment rental price is \$1,050 per month. This cost is unaffordable to extremely low-income households no matter the household size and would also be unaffordable to very low-income households with fewer than eight people in the household. Since only about 30 percent of all rentals are large enough to accommodate larger households, even if the household could afford to the rent, nearly 20 percent of all households in Riverside County had five or more persons in 2009. This analysis indicates a need for increased rental opportunities at rents affordable to extremely low- and very low-income households, whether at market rate or assisted through federal, state or local programs.

Among owner households, overcrowding can often be alleviated by a room addition to the home. However, many lower-income households may lack the resources for a room addition, or the owners may be constrained by lot size or other physical constraints.

Table H-12 Overcrowding 2010						
Persons Per Room	Owner		Renter		Total Overcrowded	
	Households	Percent	Households	Percent	Households	Percent
1.00 or less (Not Overcrowding)	99,509	95%	26,212	85%	125,721	93%
1.01 to 1.50 (Overcrowded)	4,195	4%	3,389	11%	7,584	6%
1.51 or more (Severely Overcrowded)	1,111	1%	1,325	4%	2,436	2%
<b>TOTAL</b>	104,815	100%	30,926	100%	135,741	100%
<b>Percent Overcrowded by Tenure</b>	<b>5%</b>		<b>15%</b>		<b>7%</b>	

Source: 2006-2010 American Community Survey 5-year Block Group Summary File for Unincorporated County, US Census.

### Household Income

The State of California uses five income categories for the purpose of determining housing affordability and need in communities. This method is consistent with definitions of low- and moderate-income households used in various federal and state housing programs, e.g., Section 8 and State Density Bonus Law. These categories are as follows:

- Extremely Low Income—less than or equal to 30% of median income
- Very Low Income—31% to 50% of median income
- Low Income—51% to 80% of median income
- Moderate Income—81% to 120% of median income
- Above Moderate Income—more than 120% of median income



The California Department of Housing and Community Development (HCD) develops annual median household income estimates and income limits (as shown on Table H-13) for Riverside County. The median income for a family of four in 2013 was \$65,000.

**Table H-13 Income Limits by Persons in Household  
Riverside County 2013**

Income Category	Number of Persons in Household							
	1	2	3	4	5	6	7	8
Extremely Low	\$14,100	\$16,100	\$18,100	\$20,100	\$21,750	\$23,350	\$24,950	\$26,550
Very Low	\$23,450	\$26,800	\$30,150	\$33,500	\$36,200	\$38,900	\$41,550	\$44,250
Low	\$37,550	\$42,900	\$48,250	\$53,600	\$57,900	\$62,200	\$66,500	\$70,800
Moderate	\$45,500	\$52,000	\$58,500	<b>\$65,000</b>	\$70,200	\$75,400	\$80,600	\$85,800
Above Moderate	\$54,600	\$62,400	\$70,200	\$78,000	\$84,250	\$90,500	\$96,700	\$102,950
<b>Area Median Income:</b>	<b>\$65,000</b>							

Source: Department of Housing and Community Development: Official State Income Limits for 2013

Table H-14 presents the distribution of household income in unincorporated Riverside County as reported in the 2000 and 2010 Census. The percentage of households considered to be very low income and moderate income have increased since 2000, while the percentage of low-income households and above moderate-income households have decreased slightly since 2000. Extremely low-income households made up 11 percent of the households in 2010.

According to the 2000 Census (Summary File 3, Table P87, Poverty Status in 1999), the poverty rate in Riverside County was 14.1 percent (the national rate was 11.1 percent). For a family of three, this amounted to a yearly income of \$13,861. According to the 2012 ACS, the rate of poverty has declined slightly since 2000 to 14.0 percent in 2012.

**Table H-14 Household Income Distribution 2000—2010**

Income Category	2000		2010	
	Number	Percentage	Number	Percentage
Extremely Low (<30%)	n/a	n/a	13,062	11%
Very Low (< 50%)	29,238	21%	14,657	13%
Low (51% - 80%)	26,340	19%	18,490	16%
Moderate (81% - 120 %)	21,834	16%	20,575	18%
Above Moderate (> 120%)	59,917	44%	49,180	43%
<b>Total</b>	<b>137,329</b>	<b>100%</b>	<b>115,964</b>	<b>100%</b>

Source: 2000 and 2010 US Census

Note: The population decrease is due to the incorporation of new cities.



### **Extremely Low-Income Households**

Extremely low-income households are those earning 30 percent or less of the area median income, and have the largest problem in finding affordable housing. In 2013, the upper limit of the ELI income category was \$20,100 for a family of four. These households typically include seniors on social security, individuals with disabilities, single parents, and low-wage workers. Those with the lowest incomes may experience the greatest challenges in finding suitable, affordable housing. Some extremely low-income individuals and households are homeless. ELI households often have a combination of housing challenges related to income, credit status, disability or mobility status, family size, household characteristics, supportive service needs, or a lack of affordable housing opportunities.

According to the 2010 CHAS data, approximately 9 percent (or 11,615 households) of households in unincorporated Riverside County were ELI households. Of which 49 percent of were renters and 51 percent were homeowners.

### **Households Overpaying for Housing**

State housing policy recognizes that cooperative participation of the private and public sectors is necessary to expand housing opportunities to all economic segments of the community. A primary state goal is the provision of decent housing and suitable living environment for Californians of all economic levels. Historically, the private sector generally responds to the majority of the community's housing needs through the production of market-rate housing. However, the percentage of the population on a statewide basis that can afford market rate housing is declining. By definition, a household is considered to be overpaying "when housing cost exceeds 30 percent of gross household income" (Health & Safety Code, Section 50052.5).

In determining existing need for affordable housing it is necessary to relate income to housing costs and rent prices. Affordability is defined by the Department of Housing and Urban Development (HUD) as the expenditure of no more than 30 percent of the household income for housing costs using a hypothetical family of four persons. Severe cost burden occurs when a household spends more than 50 percent of its total income on housing, including utilities. Incidence of cost burden is of concern for the reasons previously discussed. Incidence of cost burden is most significant among lower-income households since, by definition, their income is so small that overpaying for housing endangers their ability to pay for other necessities. Among owner-occupied households, cost burden is a concern, as sufficient resources to properly maintain the home or make repairs when needed may not be available, thus accelerating deterioration of the home.

Overall, cost burden among renter households tended to be most prevalent among the lower-income households. As well, large renter families with lower incomes experienced severe cost burdens. Among the total renter population, the highest incidence of overpayment was found among the elderly. This may have been due to the fact that most elderly households have fixed incomes, yet rent and utility costs continue to rise. Since many elderly households also have high health care costs, overpayment for housing may cause these households to forego needed



medical attention. The cost of an illness or hospitalization may place these households in serious jeopardy.

A distinction between renter and owner housing overpayment is important—while homeowners may overextend themselves financially to purchase a home, owners maintain the option of selling the home and may realize tax benefits or appreciation in value. (Due to the drop in home values during the mid- to late-2000s some owners who purchased at the peak of the market may be “upside down,” i.e., their current equity is less than their loan amount. This is reflected in the increased foreclosure rates during that period). Renters, on the other hand, are limited to the rental market, and are generally required to pay the rent established by the market. The discrepancy between renter and owner households is largely reflective of the tendency for renter households to have lower incomes than owner households.

Table H-15 lists the percentage of lower-income renters and homeowners with monthly housing costs exceeding 30 percent and 50 percent of their monthly gross income, based on the 2010 Census data and HUD analysis.

<b>Table H-15 Lower-Income Households Overpaying or Severely Overpaying</b>			
	<b>Total Renters</b>	<b>Total Owners</b>	<b>Total Households</b>
<b>Household Income ≤30% MFI</b>	<b>5,688</b>	<b>5,927</b>	<b>11,615</b>
% Cost Burden >30%	81.6%	71.7%	78.4%
% Cost Burden >50%	70.0%	60.0%	64.9%
<b>Household Income &gt;30 to ≤50% MFI</b>	<b>5,720</b>	<b>8,139</b>	<b>13,859</b>
% Cost Burden >30%	78.4%	62.7%	69.2%
% Cost Burden >50%	43%	44.0%	43.5%

*Source: Comprehensive Housing Affordability Strategy*

### **Housing Problems for Lower Income Households**

Table H-15 shows that in unincorporated Riverside County, about 81.6 percent of lower-income renters are estimated to be overpaying or severely overpaying for housing. Among lower-income owners, 71.7 percent are estimated to be overpaying or severely overpaying. Of the 115,964 households in 2010, lower-income households who were overpaying or severely overpaying made up about 16 percent of all households in Riverside County.

The Comprehensive Housing Affordability Strategy (CHAS), which was developed by HUD to assist jurisdictions in writing their consolidated plans, has special tabulation data based on the 2006-2010 ACS data. According to this data, there were 11,615 households making less than 30% of the area median income.

To assist with the housing need for extremely low-income households, the County has included program 1.1.k which states that the County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing





developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus.

**HOUSING STOCK CHARACTERISTICS**

This section summarizes the housing inventory and prevailing market conditions in Riverside County.

**Housing Type**

Table H-16 summarizes the distribution of housing by type in the unincorporated portions of Riverside County in 2007 and 2013. (2013 data was not available for eastern and western portions of the County). Of the 133,395 units in the unincorporated County, 70 percent were single-family detached homes, 23 percent were mobile homes, and multifamily made up a total of 4 percent. When comparing this to 2007, the percentages were almost identical, with 70.4 percent representing single-family homes, 22.4 percent mobile homes, and 5.2 percent making up multifamily units.

Second units are also a component of the housing stock in the unincorporated area of Riverside County. From 2006 to August 2013, 383 second units were permitted in the County’s unincorporated area.

Table H-16 Housing Inventory by Type Riverside County Unincorporated Area 2007 and 2013						
Planning Area	SF Detached	SF Attached	Multiple 2-4	Multiple 5+	Mobile Homes	Total
<b>2013</b>						
Unincorporated County	93,334	2,492	3,298	3,210	31,061	133,395
	70%	2%	2%	2%	23%	100%
<b>2007</b>						
Western County Area	123,044	2,622	2,673	5,170	29,737	163,246
	87%	65%	71%	77%	66%	81%
Eastern County Area	18,286	1,404	1,086	1,537	15,236	37,549
	13%	35%	29%	23%	34%	19%
Total	141,330	4,026	3,759	6,707	44,973	200,795
	100%	100%	100%	100%	100%	100%
Percent of Total Inventory	70.4%	2.0%	1.9%	3.3%	22.4%	100%

Source: Source: Riverside County Center for Demographic Research (totals from DOF), DOF, 2013

Note: Totals might not add up due to rounding.



**Vacancy Rates and Tenure**

The vacancy rate is an indicator of the general availability of housing. It also reflects how well available units meet the current housing market demand. A low vacancy rate suggests that households may have difficulty finding housing within their price range; a high vacancy rate may indicate either an imbalance between household characteristics, and the type of available units, or an oversupply of housing units. The availability of vacant housing units provides households with choices on different unit types to accommodate changing needs (e.g., single persons, newly married couples, and elderly households typically need smaller units than households with school-age children). A low vacancy rate may contribute to higher market rents and prices, and may limit the choices of households in finding adequate housing. It may also be related to overcrowding, as discussed later.

Table H-17 provides 2010 occupancy and tenure characteristics for the unincorporated areas of Riverside County. The data indicated a 26 percent vacancy rate in the eastern County area and a 12 percent vacancy rate in the western County area. These figures combine to give the entire unincorporated area of Riverside County a 16 percent vacancy rate in 2010.

In 2010, occupancy rates were higher in owned units (62%) than in rental units (21%). Owned units are more prevalent in both planning areas and particularly in the western County area, where owned units represent over three quarters of occupied units. The unusually high vacancy rate in the eastern County area is due primarily to the large number of vacation homes.

**Table H-17  
Housing Inventory by Tenure  
Riverside County Unincorporated Area 2010**

Planning Area	Total Units	Occupied Units		Vacant Units		
		Rental	Owner	For Rent	For Sale	Other
Western County Area	95,436	19,809	63,857	1,617	2,240	7,913
	100%	21%	67%	2%	2%	8%
Eastern County Area	39,193	9,046	19,772	1,288	968	8,119
	100%	23%	50%	3%	2%	21%
Total	134,629	28,855	83,629	2,905	3,208	16,032
	100%	21%	62%	2%	2%	12%

*Source: 2010 Census*

*Note: Totals might not add up due to rounding.*





### Age and Condition of Housing Stock

Age is one measure of housing stock conditions and a factor for determining the need for rehabilitation. Without proper maintenance, housing units deteriorate over time. Thus, units that are older are more likely to be in need of major repairs (e.g., a new roof or plumbing). As a general rule of thumb, houses 30 years old or older are considered aged and are more likely to require major repairs. In addition, older houses may not be built to current standards for fire and earthquake safety.

At the time of the 2000 Census, over half of the housing stock in unincorporated areas was relatively new, 20 years old or less in age (Table H-18). The Statewide Housing Plan (California's Housing Markets 1990-1997) estimated that approximately 12 percent of the overall housing stock in California was in need of rehabilitation. In 1997, the estimate for Riverside County was approximately 8 percent, or just under 13,000 units. According to the California Department of Finance, between 2000 and 2006, the unincorporated area added 31,689 new units, a 20 percent increase, growing from 159,404 to 191,093 units. While a more recent estimate of the age of the unincorporated County's housing stock is not readily available, information from the 2010 ACS indicates that more than 67 percent of the Countywide housing stock was built after 1980. Based on this, it is safe to assume that a majority of these units are in need of some type of rehabilitation.

It should be noted, however, over one-fifth of all housing units in the unincorporated County are manufactured homes. Experience has shown that these structures age much more rapidly than those of traditional construction; therefore, assumptions regarding housing conditions based solely on age may not be valid for manufactured homes. The County has paid particular attention to the illegal and unsafe mobile home parks in the Coachella Valley. Approximately 125 illegal housing facilities, containing up to 600 unpermitted and potentially substandard mobile home units, are located within the community of Mecca and surrounding areas [HCD – revisions pending updated data]. The County has addressed the issue by assigning staff from the following agencies/organizations to address this issue: Economic Development Agency; Environmental Health Department; Building and Safety Department; Code Enforcement; and Department of Animal Services. With their assistance, the County has developed an array of programs, allocating millions of dollars of redevelopment funds to assist mobile home park owners and residents in bringing the parks and residences up to code.



Table H-18 Age of Housing Stock, Riverside County

Planning Area	Western Co Area	Eastern Co Area	Unincorporated Total	2010 Countywide Total
Total	126,437	32,938	159,404	801,324
Pre-1940	3,019	671	3,690	14,933
% of Total	2.40%	2.00%	2.30%	1.90%
1940-1959	12,284	3,112	15,396	66,635
% of Total	9.70%	9.40%	9.70%	8.30%
1960-1979	44,923	11,666	56,619	183,561
% of Total	35.50%	35.40%	35.50%	22.90%
1980- 1989	36,979	8,283	45,262	183,897
% of Total	29.20%	25.10%	28.40%	22.90%
1990- 2000	29,231	9,206	38,437	128,609
% of Total	23.10%	27.90%	24.10%	16.00%
2000 or later				223,689
% of Total	n/a	n/a	n/a	27.90%

Source: 2000 Census, 2010 American Community Survey

Note: Totals might not add up due to rounding.

**Substandard Housing**

As shown in Table H-18, the housing stock in unincorporated areas is relatively new, with over 88 percent of all units built after 1960. According to the 2010 Census, only 0.5 percent of all Riverside County housing units lacked complete kitchen facilities and only 1.5 percent lacked complete plumbing facilities. As a result, a relatively small proportion of units should require major rehabilitation.

As of 2010, there were 135,000 housing units in unincorporated Riverside County. According to the state Housing Plan, about 10 percent of housing units statewide are estimated to be in need of rehabilitation or repair. On this basis it is estimated that about 19,000 units in the unincorporated County have some physical problem requiring attention (see Table H-19); in actuality there are 17,876 units that need rehabilitation or repairs, which is about 9 percent of the housing stock. An estimated 8,361 units in the western County and 4,149 units in the eastern County may require substantial rehabilitation; 3,633 units in the western County area and 1,734 units in the eastern County may require replacement. [HCD – revisions pending updated data]

Two different methodologies were used to assess the housing stock condition in unincorporated Riverside County. The Census of Population and Housing Summary provides the number of housing units by the year built. At the "high range," the estimate of housing rehabilitation need is based upon the National Center of Lead-Safe Housing, which establishes estimates for the number of housing units that may contain lead-based paint hazards. This conservative estimate indicates that 14,645 units or 20.6 percent of all housing units constructed prior to 1979 in





unincorporated Riverside County may need some level of rehabilitation to mitigate lead-based paint hazards. An analysis of the County's Housing Rehabilitation Program activity from inception to present provides the second methodology for determining housing stock conditions. At the "low range," the number of units needing rehabilitation or replacement is 17,876. The summary of the combined findings is shown in Table H-19. [HCD – revisions pending updated data]

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-19  
Combined Housing Rehabilitation and Replacement Need [HCD – revisions pending updated data]**

Housing Stock		Units Needing Rehabilitation						Units Needing Replacement			
Year Built	Total Number of Units Unincorp. Riverside <sup>1</sup>	Current Rate of County Assistance By Age Category <sup>2</sup>	Units Needing Assisted Rehabilitation or Replacement (Low Range)	Western County <sup>2</sup>	Eastern County <sup>2</sup>	% of Units That May Have Lead-Based Paint Hazards <sup>4</sup>	Units Needing Assisted Lead-Based Paint Hazards Mitigation (High Range)	% Rate of Replacement Need	Units Needing Replacement (Assisted)	Western County <sup>3</sup>	Eastern County <sup>3</sup>
2000 or later	40,043	0	0	0	0	n/a	n/a	0	0	0	0
1990 to 1999	35,828	3.0%	1,075	570	505	n/a	n/a	5%	107	57	51
1980 to 1989	44,641	12.7%	5,668	3,854	1,814	n/a	n/a	10%	566	385	181
1960 to 1979	49,048	11.1%	5,433	3,694	1,739	29.9%	14,645	20%	1,087	739	348
1940 to 1959	17,818	19.9%	3,548	2,413	1,135	49.4%	8,800	30%	1,065	724	341
1939 or earlier	4,023	53.5%	2,152	1,463	689	186.9%	7,518	40%	860	585	275
<b>Total Units:</b>	<b>191,401</b>		<b>17,876</b>	<b>11,994</b>	<b>5,882</b>		<b>30,963</b>		<b>3,685</b>	<b>2,490</b>	<b>1,196</b>

<sup>1</sup> Source: 2006 US Census of Population and Housing Summary

<sup>2</sup> A total of 1513 units were inspected between March 1992 and February 2002 for County Rehab Program eligibility. 1150 were assisted. Source: Housing Rehab Master Database 2002

<sup>3</sup> Based on historical percentages of assistance for Riverside County Housing Rehabilitation Programs from program inception to present. Source: Annual Performance Reports (APR) and Consolidated Annual Performance and Evaluation Reports (CAPER)

<sup>4</sup> National Center for Lead-Safe Housing





## Housing Costs and Rents

### New Home Price Trends

Between 2001 and 2006, the height of the “housing bubble,” median housing prices in the County rose from \$172,894 to \$420,000, a 143 percent increase in price. Between 2006 and January 2009, prices fell from a high of \$420,000 to a low of \$195,000, a 54 percent decline (source: DataQuick Information Systems).

Table H-20 compares median sales prices by community between 2008 and 2012. Over this period, the median sales price for all units dropped 19.2 percent from \$260,000 to \$210,000. The median sales price rose in just one area: Palm Desert. The highest median home prices continue to be found in Indian Wells, Palm Desert, Rancho Mirage, Mira Loma, La Quinta, and Corona. For the cities in Coachella Valley, this may be attributable to the popularity of resort communities with a high level of amenities. For the cities in western Riverside County, proximity to job centers in Orange and Los Angeles Counties is a factor. The lowest median home prices were found in Blythe, Cabazon, Desert Center, Desert Hot Springs, Mecca, North Palm Springs, and Thermal, all below \$100,000.

**Table H-20  
Comparison of Median Home Prices between 2007 and 2012 by Area**

County/City/Area	Median Price	# Sold	Median Price	# Sold	% Change
	2008	2008	2012	2012	Yr-to-Yr
RIVERSIDE COUNTY	\$260,000	40,870	\$210,000	37,322	-19%
AGUANGA	\$260,000	23	\$175,500	27	-33%
ANZA	\$185,000	10	\$132,500	28	-28%
BANNING	\$167,000	450	\$125,000	507	-25%
BEAUMONT	\$270,000	1,353	\$180,500	897	-33%
BLYTHE	\$198,500	103	\$94,250	130	-53%
CABAZON	\$125,000	36	\$54,000	28	-57%
CALIMESA	\$237,500	54	\$160,500	107	-32%
CATHEDRAL CITY	\$218,000	743	\$150,000	947	-31%
COACHELLA	\$202,000	490	\$130,000	378	-36%
CORONA	\$365,000	4,898	\$320,000	3,544	-12%
DESERT CENTER	\$105,000	2	\$40,500	4	-61%
DESERT HOT SPRINGS	\$131,750	945	\$96,500	748	-27%
HEMET	\$172,000	1,909	\$123,000	1,777	-28%
HOMELAND	\$200,000	15	\$169,000	20	-16%
IDYLLWILD	\$271,000	105	\$171,000	181	-37%
INDIAN WELLS	\$743,409	189	\$611,000	328	-18%
INDIO	\$250,500	1,940	\$180,000	920	-28%



**Table H-20  
Comparison of Median Home Prices between 2007 and 2012 by Area**

County/City/Area	Median Price	# Sold	Median Price	# Sold	% Change
	2008	2008	2012	2012	Yr-to-Yr
LA QUINTA	\$425,000	1,299	\$295,000	1,562	-31%
LAKE ELSINORE	\$235,000	1,623	\$192,000	1,220	-18%
MECCA	\$120,363	17	\$61,500	26	-49%
MENIFEE	\$260,000	1,174	\$215,000	913	-17%
MIRA LOMA	\$345,000	365	\$300,000	337	-13%
MORENO VALLEY	\$190,000	3,947	\$158,000	2,600	-17%
MOUNTAIN CENTER	\$234,000	17	\$145,000	47	-38%
MURRIETA	\$285,000	3,102	\$259,000	2,407	-9%
NORCO	\$425,000	262	\$330,000	335	-22%
NORTH PALM SPRINGS	\$50,000	4	\$40,500	4	-19%
NUEVO	\$215,500	75	\$155,000	78	-28%
PALM DESERT	\$352,500	1,334	\$360,500	2,007	2%
PALM SPRINGS	\$284,750	1,350	\$204,750	2,146	-28%
PERRIS	\$195,000	1,896	\$135,750	1,157	-30%
RANCHO MIRAGE	\$500,000	600	\$360,500	841	-28%
RIVERSIDE	\$256,000	4,339	\$204,750	4,729	-20%
SAN JACINTO	\$186,000	1,001	\$135,750	774	-27%
SUN CITY	\$220,000	1,238	\$149,000	976	-32%
TEMECULA	\$320,000	2,473	\$289,500	2,222	-10%
THERMAL	\$217,500	14	\$80,000	21	-63%
THOUSAND PALMS	\$174,000	62	\$118,000	78	-32%
WILDOMAR	\$300,000	655	\$228,750	399	-24%
WINCHESTER	\$295,000	720	\$241,250	496	-18%

Source: DataQuick Information Systems

**Manufactured Homes**

Manufactured homes provide an affordable alternative to stick-built homes. Table H-21 shows the cost per square foot for manufactured homes between 2000 and 2007. The cost per square foot does not include the cost of land or installation. The average cost for new manufactured homes over this period was \$65.33 per square foot, while new single-family construction averaged \$100.57 over the same period. It also shows that, on average, Riverside County accounted for over 12 percent of sales of new manufactured homes statewide during this period. A manufactured home may also be used as a second under the County Ordinance 348.



Mobile homes, because of differences in materials and construction technology, have in the past not been as durable as traditional stick-built homes. Repairs may be more difficult for the same reasons. The County continues to address unpermitted mobile home parks. Of particular concern are the health and safety of the residents in illegal and unsafe mobile homes or mobile parks in Coachella Valley. Approximately 100 illegal housing facilities, containing up to 2,000 unpermitted and potential substandard mobile home units, have been identified within the Coachella Valley. [HCD – revisions pending updated data]

**Table H-21 Cost Comparison for New Manufactured Homes  
2000–2007**

	2000	2001	2002	2003	2004	2005	2006	2007
Average Sales Price*	\$77,202	\$83,041	\$76,352	\$79,983	\$88,250	\$97,940	\$109,940	\$113,143
Average Square Footage*	1,340	1,346	1,356	1,385	1,416	1,418	1,441	1,411
Cost per Square Foot	\$57.61	\$61.69	\$56.31	\$57.75	\$63.72	\$69.07	\$76.29	\$80.19
Average Price Per Square Foot of New Single-Family Houses in Western U.S. <sup>1</sup>	\$79.93	\$82.77	\$89.31	\$93.43	\$102.26	\$114.45	\$120.66	\$121.78
<b>New Manufactured Units Sold</b>								
California	6,372	6,568	7,195	7,481	9,206	9,412	8,744	5,876
Riverside County	638	704	800	1,099	1,408	1,413	1,136	665
Riverside Units as a Percentage of State Sales	10%	11%	11%	15%	15%	15%	13%	11%

\*Represents average of a two-section manufactured home only, no fees or land included.

Source: California Manufactured Housing Institute, Northwest Research Group, Sawtooth Research Group.

1. US Census Bureau Characteristics of New Housing.

**Rental Prices**

Since their peak in 2006, rental prices have dropped as the economy weakened, new apartment units already under construction became available, and foreclosures increased the number of single-family residential units available for rent. According to various apartment listing websites, the average rent for housing units varies widely depending on location. Table H-22 identifies average rental listing prices for a variety of areas in Riverside County. Generally, the rental price of units in the eastern County are significantly lower than the western county, and available units in the unincorporated County will be slightly lower than those in the cities listed below.

**Table H-22 Average Rents by Unit Type, 2013**

Jurisdiction	1-bedroom	2-bedroom	3-bedroom
Blythe	\$505	\$875	n/a
Eastvale	\$1,590	\$1,810	\$2,100
Temecula	\$1,280	\$1,495	\$1,912
Wildomar	\$1,111	\$1,374	\$1,499

Sources: apartmentratings.com, trulia, hotpads.com, craigslist.org, 2013.



**Housing Affordability**

Table H-23 provides the affordable rents and maximum purchase price, based on the HCD income limits for Riverside County. As shown in Table H-23, the maximum affordable rent is \$838 monthly for a very low-income four-person household, \$1,340 for a low-income household, and \$1,950 for a moderate-income household. As shown in Table H-22, two- and three-bedroom units were renting at a range of \$875 to \$1,912, and therefore are out of the affordability range for very low-income households and slightly out of the affordability range for low-income households, but within a price range for moderate-income households. As shown in Table H-22, some units on the lower end of the price range are within reach of both very low- and low-income households.

As of 2012, the median sales price for all single-family homes in the County was \$210,000 (Table H-20). The maximum affordable sales price for a four-person household is \$111,320 for a very low-income household, \$178,590 for a low-income household, and \$252,580 for a moderate-income household. This indicates that very low-, low-, and moderate-income households would be able to afford existing and newly constructed homes if they live in the non-resort areas of eastern Riverside County, but only moderate-income households would be able to afford the median home price for most of the western parts of the County.

**Table H-23  
Housing Affordability by Income Level  
(Based on a Four-person Household)**

	Income Level		
	Very Low	Low	Moderate
Annual Income	\$33,500	\$53,600	\$78,000
Monthly Income	\$2,792	\$4,467	\$6,500
Maximum Monthly Gross Rent <sup>1</sup>	\$838	\$1,340	\$1,950
Maximum Purchase Price <sup>2</sup>	\$111,320	\$178,590	\$252,580

*Source: 2013 Income Limits, Department of Housing and Community Development, monthly mortgage calculation: <http://www.realtor.com/home-finance/financial-calculators/home-affordability-calculator.aspx?source=web>*

<sup>1</sup> *Affordable housing cost for renter-occupied households assumes 30% of gross household income, not including utility cost.*

<sup>2</sup> *Affordable housing sales prices are based on the following assumed variables: approximately 10% down payment, 30-year fixed rate mortgage at 5.6% annual interest rate.*

**SPECIAL NEEDS GROUPS**

California Housing Law requires that the special needs of certain household groups be addressed by each jurisdiction in its Housing Element. The special needs groups include elderly, persons with disabilities, large families, female heads of household, the homeless, and farm workers. These households typically experience difficulty in securing decent, affordable housing. Housing problems experienced by these groups may include, but are not limited to: insufficient number of bedrooms to accommodate the number of persons residing in the unit; limited availability of



studio and one-bedroom units for single persons; monthly housing payments which severely limit remaining expendable income; accessibility problems for persons with disabilities or persons with limited mobility; the housing unit needs moderate or greater repair; and insufficient parking or access to public transportation. In terms of tenure, rental households generally have higher percentages of housing problems than owner households. Overall, generally the population segments with the greatest housing assistance needs are households earning less than 50 percent of the County median income.

### **Elderly Persons**

The special housing needs of the elderly are an important concern since many retired persons are likely to be on fixed low incomes. In addition, the elderly maintain special needs related to housing construction and location. The elderly often require ramps, handrails, lower cupboards and counters to allow greater access and mobility. They also may need special security devices for their homes to allow greater self-protection. In terms of location, because of limited mobility, the elderly also typically need to have access to public facilities (i.e., medical and shopping) and public transit facilities. The County of Riverside is committed to addressing the special needs of senior citizens. As such, the County offers a variety of resources and housing programs to meet the needs of seniors.

Approximately 12 percent of the unincorporated area population was 65 years of age or older in 2010 (47,738 persons). The percentage of elderly persons was higher in the eastern county (20%) than in the western county (11%). Of the senior population, 27,455 seniors were householders representing 20 percent of all households in the unincorporated County. Of those households, approximately 87 percent were owner-occupied and 13 percent were renter-occupied.

### **Large Households**

In 2010, SCAG reported 12,420 households with five or more persons, representing 21 percent of all households (58,119) in the unincorporated county (Table H-25). Of these, about 32 percent (8,494 households) were renters and 68 percent (3,926 households) were owners. Large households are included as a special needs group because they require larger dwellings with more bedrooms. These households typically have the highest cost burdens (2006–2010 ACS). This is especially true for renter households, because multifamily rental units are typically smaller than single-family units.

In addition to space requirements, large households often face a significant cost burden for housing. Large, very low-income households will continue to be among the most impacted in terms of finding and maintaining affordable and appropriate housing. Market-rate housing options available to this segment often include overcrowded rental units or poorly maintained single-family homes.

Statistics for the unincorporated area indicate that there are sufficient three-bedroom and above units to accommodate need. However, the majority of these units are offered at rents which are affordable to moderate-income households and above, with a small proportion affordable to the



upper income range of low-income households. This indicates that although there are resources available to meet the needs of large renter households, there are not sufficient numbers to accommodate the need, as the available units may be out of the price range for a number of households, and a number of the larger units may be rented by smaller households who are able to afford the market rent.

In order to increase the production of housing units for large families, the County utilizes local, state, and federal resources.

**Female-Headed Households**

Female-headed households are included as a special needs group because of the low rate of homeownership, lower incomes, and high poverty rates experienced by this group. In 2009, there were 14,962 female-headed households, or 11 percent of all households (2005–2009 ACS, SCAG).

**Persons with Disabilities**

Physical and developmental disabilities can hinder access to housing units of traditional design. Examples of housing design features that may be needed to accommodate persons with disabilities include level entries, wider doorways, larger bathrooms, lever-style door handles, hand-held showerheads, lower kitchen counters, and pull-out shelves.

According to the 2000 Census, 305,602 individuals, 16 years of age or older and living in the unincorporated county, reported a mobility and/or self-care limitation, or 14.2 percent of this age group. The breakdown in population by type of limitation for the eastern and western unincorporated County is shown in Table H-24.

To meet the special needs of disabled residents, the County operates programs for home repair, rental assistance, and improving accessibility.

**Table H-24 Mobility and Self-Care Limitation Age 16+  
Riverside County Unincorporated Area 2000**

Planning Area	Mobility Limitation Only	Self-Care Limitation*	Total with Limitation	Total 16+	Percent with limitation
Western County	26,623	9,055	35,678	228,285	15.6%
Eastern County	5,988	1,651	7,639	77,317	9.9%
Total	32,611	10,706	43,317	305,602	14.2%

source: 2000 Census

\*Note: Self-care limitation includes those who have both a mobility and a self-care limitation.





**Persons with Developmental Disabilities (Senate Bill 812)**

Senate Bill (SB) 812 requires the City to include in the special housing needs analysis the needs of individuals with a developmental disability within the community. According to Section 4512 of the Welfare and Institutions Code, a "developmental disability" means a disability that originates before an individual attains age 18 years, continues, or can be expected to continue, indefinitely, and constitutes a substantial disability for that individual which includes mental retardation, cerebral palsy, epilepsy, and autism. This term shall also include disabling conditions found to be closely related to mental retardation or to require treatment similar to that required for individuals with mental retardation, but shall not include other handicapping conditions that are solely physical in nature.

Many developmentally disabled persons can live and work independently within a conventional housing environment. More severely disabled individuals require a group living environment where supervision is provided. The most severely affected individuals may require an institutional environment where medical attention and physical therapy are provided. Because developmental disabilities exist before adulthood, the first issue in supportive housing for the developmentally disabled is the transition from the person's living situation as a child to an appropriate level of independence as an adult.

The California Department of Developmental Services currently provides community-based services to approximately 243,000 persons with developmental disabilities and their families through a statewide system of 21 regional centers, four developmental centers, and two community-based facilities. The Inland Regional Center is one of 21 regional centers in the State of California that provides point of entry to services for people with developmental disabilities. The center is a private, nonprofit community agency that contracts with local businesses to offer a wide range of services to individuals with developmental disabilities and their families.

The following information (Table H-25) from the Inland Regional Center, charged by the State of California with the care of people with developmental disabilities, defined as those with severe, life-long disabilities attributable to mental and/or physical impairments, provides a closer look at the disabled population. As shown below, there are 7,163 persons within the zip codes listed that are served by the Inland Regional Center. This makes up 2 percent of the total population.

**Table H-25 Developmentally Disabled Residents, by Age  
Riverside County Unincorporated Area**

Zip Code	0-14	15-22	23-54	55-65	65+	Totals
92536	1	1	5	0	0	7
92530	132	59	74	11	1	277
92518	1	0	2	0	0	3
92539	11	4	3	0	0	18
92503	243	120	211	25	9	508
92504	135	62	141	20	10	368
92509	216	144	162	35	10	567



**Table H-25 Developmentally Disabled Residents, by Age  
Riverside County Unincorporated Area**

Zip Code	0-14	15-22	23-54	55-65	65+	Totals
92230	2	3	6	2	0	13
92507	113	56	112	8	5	294
92223	117	38	61	19	6	241
92882	192	77	121	14	3	407
92585	55	11	31	4	1	102
92544	120	72	117	13	17	339
92553	211	114	304	53	17	699
92881	79	51	59	5	2	196
92563	154	69	77	4	2	306
92583	122	36	76	12	2	248
92883	78	33	37	5	1	154
92570	152	70	111	3	1	337
92545	98	59	106	9	3	275
92548	15	7	19	0	0	41
92549	6	3	4	0	0	13
92567	28	5	8	0	2	43
92505	124	61	189	33	17	424
92508	83	41	82	6	4	216
92561	2	2	0	0	0	4
92282	0	2	0	0	0	2
92220	48	19	67	6	5	145
92587	37	11	22	3	1	74
92555	120	58	126	11	3	318
92592	185	83	84	5	2	359
92532	54	24	33	0	0	11
92595	63	38	51	2	0	154
<b>Total</b>	<b>2,997</b>	<b>1,433</b>	<b>2,501</b>	<b>308</b>	<b>124</b>	<b>7,163</b>

Source: Inland Regional Center 2013.

There are a number of housing types appropriate for people living with a development disability: rent-subsidized homes, licensed and unlicensed single-family homes, inclusionary housing, Section 8 vouchers, special programs for home purchase, HUD housing, and SB 962 homes. The design of housing-accessibility modifications, the proximity to services and transit, and the availability of group living opportunities represent some of the types of considerations that are important in serving this special needs group.

### Homeless Population

Every two years, Riverside County conducts a homeless count, the most recent being completed in January 2013. Although the primary purpose of the count was to find out how many people were homeless on a given day, it also provided demographic information about the adults counted related to location (whether a person was counted on the streets or in a residential facility that serves homeless people), age, gender, ethnicity, and the state born. Adults were also



asked if their “spouse or partner were homeless and living with them” and “how many of their children were homeless and living with them.” The count revealed that in Riverside County as a whole:

- **Total Number of Homeless Persons:** There are approximately 2,978 adults and children who are homeless on a given day in Riverside County, down from 4,500 persons in 2007, with 143 of those persons reported living in the unincorporated areas.
- **Location:** More than 63 percent of homeless adults and children live on the streets and nearly 37 percent live in shelters or transitional housing programs on a given day throughout Riverside County.
- **Gender:** More than two-thirds of homeless adults are men and nearly one-third are women on a given day throughout Riverside County.
- **Families:** More than 300 families are homeless on a given day throughout Riverside County, with 43 of those being unsheltered families.
- **Children:** Nearly 13 percent of homeless persons are children under the age of 18 living with a homeless parent(s) on a given day throughout Riverside County.

The County provides services to homeless persons in both the incorporated and unincorporated areas of the County, through the Department of Public Health and Department of Social Services.

The large numbers of homeless persons, the high cost of housing, and the number of people living in poverty combine to create a very serious situation. This combination of circumstances exacerbates the problem of finding suitable and affordable housing for homeless and at-risk families.

Table H-26 identifies the cities and communities in which homeless adults and their children were encountered during the January 2013 homeless count.

Table H-26 Distribution of Unsheltered Homeless Population Riverside County January 2013		
Location	Persons Counted	Percentage
Incorporated Cities	1,673	92%
<b>Unincorporated Areas</b>	<b>143</b>	<b>8%</b>
Western	88	5%
Eastern	55	3%
Total Unsheltered	1,816	100%

Source: The 2013 County of Riverside Homeless Count, May 2013.



During this same period, there were a total of 1,090 full-time shelter beds available within the entire Riverside County. Each year, in the period of November 1 through March 31, the Emergency Cold Weather Shelter Program (ECWSP) provides emergency shelter for homeless persons that cannot gain admittance into a regular, full-time shelter. California National Guard armories are used for the ECWSP, as well as other suitable facilities as needed. The Riverside and Indio armories, each with a bed capacity of 136, are operated under this program for an average of 90 nights, providing a total of approximately 25,000 shelter bed nights. The Riverside County, through its Department of Public Social Services, contracts with local community-based organizations to provide this program in appropriate locations.

Every two years the County Department of Public Social Services (DPSS) Homeless Programs Unit conducted a County of Riverside Homeless Survey, doing so in partnership with the Housing and Homeless Coalition for Riverside County, a coalition of over 100 active public and private agency participants, and in consultation with the Institute for Urban Research and Development. The survey was administered to 630 homeless adults or the equivalent of nearly one of every five adults (17 percent) who were included in the homeless count. Among other items, the survey was designed to compile a cross-section of information concerning several pre-determined sub-populations that included chronic homeless persons, persons with mental illness, seniors, substance abusers, veterans, victims of domestic violence, and unaccompanied youth.

In general, the homeless population in Riverside County is concentrated around urbanized cities where homeless services and transportation are readily accessible. Although no emergency or transitional shelters exist in unincorporated areas, the County has recognized the need for these facilities throughout the County and has passed local ordinances implementing SB 2, as well as targeting the eastern and mid-County areas due to lack of shelter services in those areas. Through partnerships between the DPSS and nonprofits, programs such as the Supportive Housing Program, the Shelter Plus Care Program, the Emergency Shelter Grants Program (ESG), the Community Services Block Grant program, Federal Emergency Management Agency and the Emergency Food and Shelter Program are existing resources for the support and development of homeless facilities in Riverside County.

Table H-27 shows some of the shelter resources available to the homeless in Riverside County. It should be noted that there are many organizations and agencies that provide other services such as emergency food, vouchers, and rental/mortgage payment assistance. All of these facilities are located in cities where services are available. A complete list of these resources can be found in Riverside County 2009–2014 Consolidated Plan.

The County is committed to working with area nonprofit agencies and addressing homeless problems from all sides, which includes providing prevention, outreach, and providing shelter.



**Table H-27 Homeless Shelter Resources  
Riverside County 2009**

Shelter Name	Type of Shelter	City	Clientele or Needs Serviced	Number of Beds <sup>1</sup>
Alternatives to Domestic Violence	Emergency	Riverside/ Corona	Women & children	15
God's Helping Hand	Emergency	Perris	General	15
I Care Shelter	Emergency	Riverside	Families	30
Operation SafeHouse	Emergency	Riverside	Runaway youth	17
Valley Restart Shelter	Emergency	Hemet	Families	89
Friends of Jefferson House	Transitional	Riverside	Substance abuse/dually diagnosed	30
God's Helping Hand	Transitional	Perris	Substance abuse	15
Inland AIDS Project	Transitional	Riverside	HIV/AIDS	20
Lutheran Social Services	Transitional	Riverside	Families	30
Operation Safe House	Transitional	Riverside	Youth	20
Riverside Recovery Resources	Transitional	Hemet	Substance abuse	21
Valley Restart Shelter	Transitional	Hemet	Families	54
Whiteside Manor	Transitional	Riverside	Dually diagnosed	47
Whiteside Manor	Transitional	Riverside	Substance abuse	122
Whiteside Manor	Transitional	Riverside	Substance abuse/women	21
Friends of Jefferson House	Permanent	Riverside	Substance abuse/dually diagnosed	30
Valley Restart Shelter	Permanent	Hemet	Families	32
<b>CVAG Area</b>				
ABC Recovery Center	Emergency	Indio	Women & children	68
Coachella Valley Rescue Mission	Emergency	Indio	General	20
Nightingale Manor	Emergency	Palm Springs	Families	40
Richard Allen Community Services	Emergency	Blythe	General	28
Shelter from the Storm	Emergency	Palm Springs	Women & children	60
ABC Recovery Center	Transitional	Indio	Substance abuse	40
Episcopal Community Services	Transitional	Cathedral City	HIV/AIDS	34

<sup>1</sup> A total of 1,090 full-time beds are available in the County. Some of the beds are double-counted in this table as some shelters provide emergency, transitional, and/or permanent shelter beds.

Source: Riverside County Consolidated Plan 2009-2014.



### Farm workers

Agricultural production is an important component of Riverside County's economy. According to the 2012 Agricultural Production Report prepared by the Agricultural Commissioner's Office, the total gross valuation of agricultural production in Riverside County was \$1.2 billion. Moreover, for every dollar received by an agriculturalist, most economists estimate there is a multiplier effect of 3.5 times that amount injected into the local economy, or \$4.4 billion in this case. With respect to agricultural crop valuation by agricultural district, the Coachella Valley District produced the most at 56 percent, or approximately \$544 million; the San Jacinto/Temecula Valley District produced 16 percent, or approximately \$158 million; the Riverside/Corona District produced 11 percent, or approximately \$111 million; and the Palo Verde District produced 16 percent, or approximately \$155 million. A thriving and productive work force is critical to maintaining this billion dollar industry. Riverside County made farm worker and migrant farm worker housing needs in western Riverside County and the Coachella Valley an affordable housing priority in its "Riverside Urban County Community Planning and Development Programs (CDBG, ESG, and HOME) Five Year Consolidated Plan for 2009-2014." To better understand the living conditions and daily service needs of the farm worker population in the eastern Coachella Valley, one of the County's most important agricultural areas, Riverside County also commissioned the 2006 Coachella Valley Farm Worker Survey.

Farm workers are traditionally defined as persons whose primary incomes are earned through seasonal agricultural work. They have special housing needs because they earn lower incomes than many other workers and move throughout the season from one harvest to the next. However, recent trends indicate that a growing number of farm workers are permanent residents.

According to definitions used by the Migrant Health Program of the US Department of Health and Human Services, a seasonal farm worker is "an individual whose principal employment (51% of time) is in agriculture on a seasonal basis, who has been so employed within the last 24 months." A migrant farm worker meets the same definition but "establishes for the purposes of such employment a temporary abode."

The housing needs of farm workers will differ depending on whether they are migrant or seasonal workers. Migrant workers generally are in need of temporary shelter, which may include campgrounds or grower-provided boardinghouse-type facilities. Seasonal workers are more likely to need permanent low-cost housing and larger units to accommodate their families. Suitable housing types would include manufactured homes as well as traditional single-family homes or multifamily apartments.

Farm worker housing is often substandard or nonexistent. Over the past decade much housing has been demolished and not replaced. In addition, in many areas, farm workers must move frequently to seek employment. Larger farms may provide labor camp housing, but often this is not the case. As a result, many farm workers must camp out or sleep in their vehicles. Where housing is available, it is often expensive, overcrowded, and lacking adequate sanitary facilities.





According to the US Department of Agriculture (USDA), in its 2007 Census of Agriculture, there were 16,069 farm workers in Riverside County (see Table H-29). Of these workers, 8,124 worked fewer than 150 days during the year, while 7,945 worked 150 days or more per year. Of the 1,197 farms with hired farm labor in Riverside County, 213 farms (17.8%) used migrant farm labor.

**Table H-28 Farm Workers in Riverside County 2007**

	Total Farms	Total Farm Workers	Worked 150+ Days	% Worked 150+ Days	Worked <150 Days	% Worked <150 Days
California	81,033	448,183	191,438	42.7 %	256,745	57.3%
Riverside County	3,463	16,069	7,945	49.4%	8,124	50.6

*Note: Data is for the entire county, including cities.*

*USDA National Agricultural Statistics Service, 2007 Census of Agriculture, Table 7. Hired Farm Labor – Workers and Payroll: 2007*

The 2006 Coachella Valley Farm Worker Survey described above was administered to 525 year-round and seasonal farm workers. Of the respondents, 72 percent of the respondents lived in the Coachella Valley year-round, whereas 28 percent were seasonal workers. The survey identified notable differences between the two groups: seasonal farm workers were mostly men, whereas year-round farm workers were more evenly split between men and women; seasonal farm workers were generally older; the children of seasonal workers were less likely to obtain health care services than their year-round counterparts; and only 3 percent of seasonal workers had a income of \$15,000 or more, whereas nearly one quarter of year-round farm workers had incomes of \$15,000 or more. With respect to housing, 30 percent of seasonal farm workers lived in situations not meant for human habitation, whereas 88 percent of year-round farm workers lived in conventional housing situations including apartments, houses, and mobile homes. Both seasonal and year-round farm workers identified medical services as the first service that would be most helpful to them and their families.

When looking at farm worker data for the unincorporated portions of the County, according to the 2006-2010 American Community Survey five-year estimates, there are approximately 5,250 farm workers in the unincorporated portions of the County, making up 2.2 percent of the unincorporated County’s labor force. This was determined by looking at the County as a whole and subtracting out the incorporated cities.

To meet the needs of farm workers, Riverside County has a number of programs for the preservation and rehabilitation of existing mobile home parks and individual units as well as programs directed toward new construction. There are also programs directed toward migrant seasonal workers.



## **PRESERVATION OF ASSISTED UNITS AT RISK OF CONVERSION**

### **Overview**

State Housing Element law requires the analysis of government-assisted housing units that are eligible to convert from low-income housing to market-rate housing during the 10 years starting from the beginning of the current Housing Element planning period (through October 15, 2023) due to expiring subsidies, mortgage prepayments, or expiration of affordability restrictions, and development of programs aimed at their preservation. The following must be included in each Housing Element as part of its preservation analysis:

- An inventory of assisted housing units at risk of converting to market rate within 10 years.
- An analysis of the costs of preserving and/or replacing these units.
- Resources that could be used to preserve the at-risk units.
- Program efforts for preservation of at-risk units.
- Quantified objectives for the number of at-risk units to be preserved during the Housing Element planning period.

Use restrictions, as defined by state law, means any federal, state, or local statute, regulation, ordinance, or contract which as a condition of receipt of any housing assistance, including a rental subsidy, mortgage subsidy, or mortgage insurance, to an assisted housing development, establishes maximum limitations on tenant income as a condition of eligibility for occupancy.

The following section analyzes the potential conversion of assisted housing units to market-rate housing.

### **Inventory of Assisted Units at Risk**

Table H-29 summarizes the assisted, multi-family rental units in the unincorporated communities of Riverside County. All multi-family rental units assisted under federal, state, and/or local programs, including HUD programs, state and local bond programs, redevelopment programs and local in-lieu fee, tax credit, HOME funds, density bonus, public housing, or direct assistance programs, in the unincorporated portions of the County are included.

As shown in Table H-29, there are a total of 1,823 assisted units in the unincorporated County, of which only 63 units are at risk of conversion to market rate before October 15, 2023. These rental units received assistance under a combination of the FmHA Section 515 Rural Rental Housing program and the Project Based Section 8 program.



**Table H-29 Unincorporated Riverside County  
Inventory of Assisted Units**

Project	Location	Form of Assistance	# of Units	Subsidy Termination
<b>At Risk Units</b>				
Arbol Real	Thousand Palms	Tax Credit	1	12/30/2018
Callita Bell	Thousand Palms	Tax Credit	1	12/30/2018
Callita Bonnie	Thousand Palms	Tax Credit	1	12/30/2018
Los Flores	Thousand Palms	Tax Credit	1	12/30/2018
Monte Vista Way	Thousand Palms	Tax Credit	11	12/31/2019
Thermal Properties Inc.	Thermal/Coachella	Rural Rental Housing	48	12/30/2018
<b>Total At-Risk Units</b>			<b>63</b>	
<b>Assisted Units Not At Risk</b>				
[HCD – revisions pending updated data]				
Highland Avenue	Highgrove	LPRH (Public Housing)	4	until sold
Dr. Clair S. Johnson Apartments	Mecca	LPRH (Public Housing)	40	until sold
Mecca Apartments II	Mecca	Tax Credits, HOME	60	01/01/2026
Nueva Vista Apartments	Mecca	Tax Credit	32	03/31/2016
Paseo de los Poetas	Mecca	Tax Credit	21	2027
Pie de la Cuesta Apartments	Mecca	FmHA Farm worker Housing/ Labor Housing (USDA)	68	2022
Thunderbird (Mecca Apts.)	Mecca	Tax Credit, Rural Rental Housing (USDA)	54	12/31/2021
Country Village	Mira Loma	HUD Insured Loan (2312), Seniors Only	1,197	2020
Ripley Migrant Center	Ripley	FmHA/ Labor Housing (USDA)	77	2020
Hillside I	Sun City	Tax Credits/FmHA/ Rural Rental Housing (USDA)	36	12/31/2020
Hillside II	Sun City	Tax Credit/ FmHA	81	12/31/2020
Thermal Apartments	Thermal	LRPH (Public Housing)	28	until sold
Thermal II Apartments	Thermal	LRPH (Public Housing)	25	until sold
Shangi La Palms 61	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase 3 #197	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase 3 Lot 241	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase 3 Lot 242	Thousand Palms	Tax Credit	1	12/31/2020



**Table H-29 Unincorporated Riverside County  
Inventory of Assisted Units**

Project	Location	Form of Assistance	# of Units	Subsidy Termination
Thousand Palms Phase 3 Lot 98	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase II	Thousand Palms	Tax Credit	5	12/31/2020
Thousand Palms Phase II	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase III Lot 33	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase III Lot 60	Thousand Palms	Tax Credit	1	12/31/2021
Thousand Palms Phase IV	Thousand Palms	Tax Credit	1	08/31/2021
<b>Total Assisted Units</b>			<b>1,823</b>	
<i>Source: Riverside County, 2013</i>				

**Cost of Preservation versus Replacement**

The cost of preserving units projected to expire in 2023 is estimated to be less in most cases to the County than replacing the units through new construction. Replacing the units with rehabilitated units may be cost-effective in some instances. Actual costs involved in each option will depend on the rental and real estate market situations at the time the affordability restrictions on these projects expire.

Preservation of the units as affordable may require financial incentives to the project owners to extend low-income use restrictions. Other scenarios for preservation would involve purchase of the affordable units by a nonprofit or public agency, or local subsidies to offset the difference between affordable and market rents.

Scenarios for preservation depend on the type of project at risk. As no bond-financed projects are at risk during the 10-year analysis period, two of the three options available for the preservation of bond-financed at-risk units in Riverside County—refinancing and transfer of ownership—are not summarized in detail in this section.

**Local Rental Subsidy**

One available option for preservation of at-risk units would be a local rental subsidy to residents. This option could be used to retain the affordable status of the units by providing assistance to the residents when their affordable units convert to market rate. Rent subsidies using state, local (Economic Development Agency), or other funding sources can be used to maintain the affordability of these at-risk units. Rent subsidies can be structured to mirror the Section 8 program.



As noted in Table H-29, the earliest date that the at-risk units could convert to market rate is 2018. The cost of providing subsidies for the 63 at-risk units to maintain subsidized rents assumes that none of the at-risk units are preserved. The cost of providing subsidies to 63 very low-income households is based on a comparison between fair market rents (FMR) and rents which are affordable for very low-income households. Affordability is defined as rents that do not exceed 30 percent of a household’s monthly income.

The current FMR for the Riverside-San Bernardino Metropolitan Area, which encompasses Riverside County, are shown in Table H-31.

**Table H-30 Fair Market Rents for Existing Housing, Riverside County, 2012**

Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
\$763	\$879	\$1,116	\$1,577	\$1,924

FMRs include utility costs  
 Source: US Department of Housing and Urban Development, 2012.

**Table H-31 Estimated Monthly Subsidy to Very Low-Income Residents, 2012**

Unit	FMR	Affordable Rent	Number of Units	Difference	Total Monthly	Annual
Studio	\$763	\$350	0	\$546	\$0	\$0
1 bedroom	\$879	\$400	0	\$579	\$0	\$0
2 bedroom	\$1,116	\$450	60	\$692	\$41,520	\$498,240
3 bedroom	\$1,577	\$500	3	\$1,122	\$3,366	\$40,392
4 bedroom	\$1,924	\$540	0	\$1,356	\$0	\$0
		<b>Total</b>	<b>63</b>	<b>\$3,170</b>	<b>\$44,886</b>	<b>\$538,632</b>

FMR taken from Table H-33  
 Affordable rent analysis is from Table H-30  
 Number of units from Table H-29

Based on 2012 HCD-adjusted HUD income data for Riverside County, affordable rents for very low-income households would be approximately \$450 for a two-bedroom unit, \$500 for a three-bedroom unit, and \$540 for a four-bedroom unit. This assumes a two-person household for a two-bedroom unit, a four-person household for a three-bedroom unit, and a five-person household for a four-bedroom unit, which are worst case scenarios.

Table H-31 shows that the cost of subsidizing 63 very low-income units in today’s market would cost approximately \$538,632 per year.



**Replacement Cost**

Maintenance of at-risk housing units as affordable will depend largely on market conditions and the attractiveness of financial incentives that the County can provide to investors. Theoretically, replacement of units as an option is limited only to those at-risk projects owned by “for profit” investors with no long-term use restriction by a public entity (such as HUD) or the County, as expiration of the current use restriction on these projects would actually physically reduce the County’s affordable housing inventory. Should affordability controls on this project be lost in the County, the County has the option to construct new units to replenish its housing stock. The cost to replace the 63 units at risk of converting to market rate during the next Housing Element planning period will vary based on the timing of replacement and the economic conditions in the region. Recent construction cost information of an average of \$156 per square foot for multifamily units (source: Housing Report) was used to gauge the cost of replacing the at-risk units. Using average square footages of 750 square feet for two-bedroom units, 850 square feet for three-bedroom units and 1,000 for four-bedroom units, Table H-32 shows that the cost of replacing the at-risk units through new construction is approximately \$7,417,800.

**Table H-32 Replacement Cost by Type of Unit**

Unit Size	Square Feet	Cost per S.F.	Cost per Unit	Number of Units 1	Total Cost 2
Efficiency	600	\$156	\$93,600	-	\$-
1 Bedroom	650	\$156	\$101,400	-	\$-
2 Bedroom	750	\$156	\$117,000	60	\$7,020,000
3 Bedroom	850	\$156	\$132,600	3	\$397,800
4 Bedroom	1000	\$156	\$156,000	-	\$-
<b>Total Cost</b>					<b>\$7,417,800</b>

*Note: Cost estimates include costs of land.*

**Other Replacement Units**

The Riverside County Economic Development Agency currently has a number of projects under way which will add affordable housing units to Riverside County’s housing stock. These projects will be added during the 2013–2021 housing element planning period. The pending project(s) is/are expected to add approximately 3,600 affordable units to the County’s housing stock.





## Resources for Preservation

### *Funding Sources*

The types of resources needed for preserving at-risk units fall into three categories: 1) financial resources available to purchase existing units or develop replacement units; 2) entities with the intent and ability to purchase and/or manage at-risk units; and 3) programs to provide replacement funding for potentially lost Housing Choice Voucher Program rent subsidies (previously known as the Section 8 Program).

**Public Financing/Subsidies**—A variety of federal, state, and local programs are available for potential acquisition, subsidy, or replacement of at-risk units. Due to both the high costs of developing and preserving housing and limitations on both the amount and uses of funds, a variety of funding sources would be required. The following summarizes financial resources available to the County for preservation of assisted, multifamily rental housing units.

#### Federal Programs

**Community Development Block Grant (CDBG)**—This program is intended to enhance and preserve the County's affordable housing stock. CDBG funds are awarded to the County on a formula basis for housing and community development activities. Eligible activities include: acquisition, rehabilitation, economic development, and public services. CDBG grants benefit primarily persons/households with incomes not exceeding 80 percent of the County median family income.

**HOME Investment Partnership**—HOME funding is a flexible grant program which is awarded to the County on a formula basis for housing activities which take into account local market conditions, inadequate housing, poverty, and housing production costs. HOME funding is provided to jurisdictions to either assist rental housing or home ownership through acquisition, construction, reconstruction, and/or rehabilitation of affordable housing, as well as possible property acquisition, site improvements, and other expenses related to the provision of affordable housing and projects that serve a group identified as having special needs related to housing.

**Housing Choice Voucher (Section 8) Program**—This program provides rental assistance payments to owners of private market rate units on behalf of very low-income tenants.

**Section 811/202 Program**—Nonprofit organizations and consumer cooperatives are eligible to receive no interest capital advances from HUD for the construction of very low-income rental housing for senior citizens and persons with disabilities. Project-based assistance is also provided in conjunction with this program. Section 811 can be used to develop group homes, independent living facilities, and intermediate care facilities. Eligible activities include acquisition, rehabilitation, new construction, and rental assistance.



**HUD Low Income Housing Preservation and Resident Homeownership Act (LIHPRHA)**—LIHPRHA was enacted in response to concern over the prepayment of HUD-assisted housing. The legislation addresses the prepayment of units assisted under Section 221(d) (3) and Section 236 (Section 236 replaced the Section 221(d) (3) program in 1968). Generally, the law facilitates the preservation of these low-income units by providing incentives to property owners to either retain their units as low-income, or to sell the project to priority purchasers (tenants, nonprofits, or governmental agencies.) Pursuant to LIHPRHA, HUD must offer a package of incentives to property owners to extend the low income use restrictions. These incentives would assure property owners of an 8 percent return on the recalculated equity of their property, provided the rents necessary to yield this return fall within a specified federal cost limit. The cost limits are either 120 percent of the FMR, or the prevailing rent in the local market. If HUD can provide the owner with this return, the owner cannot prepay the mortgage. The owner must either stay in the program, or offer to sell the project (a “voluntary” sale) to a priority purchaser for a 12-month option period or other purchasers for an additional three months. The owner is required to document this choice in a plan of action.

If HUD cannot provide the owner with the 8 percent return, i.e., the rents required would exceed federal cost limits, the owner may prepay only after offering the sale to priority purchasers for 12 months, or other qualified buyers for an additional three months (a “mandatory” sale), and filing a Plan of Action which demonstrates that conversion will not adversely impact affordable housing, or displace tenants. According to the California Housing Partnership Corporation, most projects in California will fall within federal cost limits, except those with exceptionally high rental value or condominium conversion potential.

Projects that are preserved under either of these methods are required to maintain affordability restrictions for the remaining useful life of the project, which is defined minimally as 50 years. Despite these requirements, property owners may still be able to prepay. First, the owner may prepay the property if no bona fide offer to purchase the property is made. Second, HUD may not provide some of the discretionary monies to priority purchasers in preservation sales. Finally, the overall success of the preservation efforts is contingent on congressional appropriation of sufficient funding to HUD.

### State Programs

**California Housing Finance Agency (CHFA) Multiple Rental Housing Programs**—This state program provides below market-rate financing to builders and developers of multiple-family and elderly rental housing. Tax-exempt bonds provide below market mortgage money. Eligible activities include new construction, rehabilitation, and acquisition of properties with 20-150 units.

**Low Income Housing Tax Credit (LIHTC)**—This state program provides tax credits to individuals and corporations that invest in low income rental housing. Tax credits are sold to corporations and people with high tax liability and proceeds are used to create housing. Eligible activities include new construction, rehabilitation, and acquisition



**California Community Reinvestment Corporation (CCRC)**—This private, nonprofit mortgage banking consortium provides long-term debt financing for affordable multifamily rental housing. Eligible activities include new construction, rehabilitation, and acquisition.

**Nonprofit Entities**—Nonprofit entities serving the County can be contacted to gauge their interest and ability in acquiring and/or managing units at risk of conversion. A partial listing of entities with resources in the Riverside County area follows:

- Alternatives for Domestic Violence
- Shelter From the Storm
- Banning Partners for a Revitalized Community
- Catholic Charities
- Coachella Valley Housing Coalition (CVHC)
- Fair Housing Council of Riverside County
- Family Service Association of Riverside County
- Habitat For Humanity
- Lutheran Social Services
- Shared Housing

### **Program Efforts to Preserve At-Risk Units**

The following housing programs have been developed to address the preservation of assisted very low-income units eligible to convert to market rate. The Riverside County Economic Development Agency (EDA) and/or the Planning Department will be responsible for implementing the programs. Funding for implementation could be provided through funding sources cited above.

#### ***Monitoring At-Risk Units***

The County will maintain contact with owners of at-risk units as the use restriction expiration dates approach. The County will communicate to the owners the importance of the units to the supply of affordable housing in the County as well as its desire to preserve the units as affordable.

**Rental Subsidies**—If HUD funding is discontinued at some point in the future within the next planning period to subsidize affordable units, and other methods to preserve the at-risk units fail, the County will determine if it can assign financial resources to provide rental assistance to very low-income tenants to cover the difference between their current rents and market rents as well as continue to promote the development of affordable housing. The previous section addressing the cost of preservation describes how a subsidy program would work. If the owners of the projects expected to expire in 2018 intend to convert their units to market rate, the County will evaluate the feasibility of implementing the options available to



preserve bond-financed units at risk of conversion: (1) offer rental subsidies using HOME or other available funding; (2) work with the property owner to refinance the mortgage at lower interest rates; (3) work with nonprofit entities to evaluate the potential for acquisition of the complex (although, as only a portion of the units are at risk, this may not be feasible); (4) consider acquisition and rehabilitation of the project.

**Housing Corporation**—The 2009-2014 Consolidated Plan identifies the possibility of the County exploring the potential of establishing a nonprofit housing development corporation as an effective institutional mechanism for increasing the supply of affordable housing. Its establishment and operation, it is believed, would result in a net increase in the County’s inventory of very low-, low-, and moderate-income housing. The County does not believe that a housing development corporation would be duplicative of existing public and private organizations (with the exception of the CVHC’s accomplishments) within Riverside County.

The County has pledged to support the establishment of an independent, nonprofit housing corporation that specializes in applying for funding and creating housing programs and building decent, affordable housing, including mobile home park housing, and repairing housing units for the benefit of individual farm workers and farm worker families (migrant and seasonal) and other low-income individuals and families. To that purpose, the County will provide HOME funds in the amount of \$50,000.



## Housing Resources

### OVERVIEW OF THE REGIONAL HOUSING NEEDS ASSESSMENT

California’s Housing Element law requires that each city and county develop local housing programs designed to meet its “fair share” of housing needs for all income groups, as determined by the jurisdiction’s Council of Governments, when preparing the state-mandated Housing Element of its General Plan. This “fair share” allocation concept seeks to ensure that each jurisdiction accepts responsibility for the housing needs of not only its current population, but also for those households who might reasonably be expected to reside within the jurisdiction, particularly lower-income households.

The fair share allocation process begins with the California Department of Finance’s projection of statewide housing need for the eight-year planning period October 2013–October 2021, which is then apportioned by HCD among the state’s various regions. Estimates of housing need are based on anticipated population growth, migration, household formation rates, employment forecasts, and other factors. These regional housing need allocations are then further allocated to individual jurisdictions and are a key component in the preparation of local housing plans and programs. In the six-county Southern California region, which includes Riverside County, the agency responsible for assigning fair share need “targets” to each jurisdiction is SCAG.

A local jurisdiction’s “fair share” of regional housing need is the number of additional dwelling units that would be required to accommodate the anticipated growth in households, replace expected demolitions and conversion of housing units to non-housing uses, and achieve a future vacancy rate that allows for the healthy functioning of the housing market. The fair share is allocated by four income categories: very low; low; moderate; and above moderate, defined as households earning up to 50 percent, 80 percent, 120 percent, and more than 120 percent of the county median income, respectively. The allocations are further adjusted to avoid an over-concentration of lower-income households.

### **The 2014–2021 Riverside County Regional Housing Needs Allocation (RHNA)**

Table H-33 presents the RHNA allocation for Riverside County for the eight-year planning period as approved by SCAG in October 2012. As a whole, the unincorporated county was allocated 30,303 housing units for the 2014–2021 planning period. This allocation represents a decrease of approximately 20,312 units as compared to the 2006–2014 RHNA period. This decrease was based upon the reexamination of growth trends and incorporation of the cities of Menifee, Eastvale, Jurupa Valley, and Wildomar during the previous planning period.

<b>Table H-33 2014–2021 Regional Housing Needs Allocation Unincorporated County</b>					
<b>Total Allocation</b>	<b>Income Category</b>				
	<b>Extremely Low</b>	<b>Very Low</b>	<b>Low</b>	<b>Moderate</b>	<b>Above Moderate</b>
30,303	3,586	3,587	4,871	5,534	12,725

*Source: SCAG, Final Regional Housing Needs Assessment 2012.*



**AVAILABILITY OF SITES FOR HOUSING**

The Regional Housing Needs Assessment process assigned unincorporated Riverside County 30,303 units in new construction need. With its proximity to surrounding counties, infrastructure capability, and available land, it is anticipated that the majority of growth during the next eight years will occur within the sphere of influence areas of incorporated cities, and in areas for which Specific Plans or tract maps have been prepared. These properties include vacant and undeveloped lands presently in the unincorporated County that are adjacent to or within service hookup distance from public sewer, water, and street systems. The County’s policy is to promote compact development in strategically located activity centers, along with infill opportunities within existing urban areas, in order to minimize development pressures on vacant land on the urban fringe. An analysis of residential development potential demonstrates that there is ample vacant land within these areas that is designated for residential uses to satisfy the RHNA new construction need.

In a limited capacity, infill projects throughout unincorporated communities will contribute to the County’s future housing stock. County policy recommends that growth be concentrated near or within existing urban and suburban areas to maintain the rural and open space character of Riverside County to the greatest extent possible. Under the General Plan, higher density residential areas are sited near employment nodes, commercial cores, and major transportation corridors, and in conjunction with resort, recreation, and tourist areas.

**Approved Housing Units**

Table H-34 details the number of units that have been approved but not yet built; therefore, the County can credit these units toward meeting a portion of its RHNA.

Table H-34 Approved Projects (Not yet Built)								
Project/Unit	Total Proposed Units	Total Restricted Units	Affordability Level					Funding Source
			EL	Very Low	Low	Mod	Abv. Mod	
Specific Plan Units	67,535	3,343			3,343	16,048	48,144	Affordability based on Zoning and GP des.
Paseo de Los Heroes III	81	80		80				RDA Bond Proceeds
Los Vinedos (Phase 1)	42	41		41				HOME funds
Los Vinedos (Phase 2)	43	43			43			TBD
Mustang Lane Infill Housing Project	22	10			10			TBD
Nuestro Orgullo Self Help Homes	291	83		44	39			RDA Bond Proceeds
<b>Total</b>	<b>68,014</b>	<b>3,600</b>	<b>0</b>	<b>165</b>	<b>3,435</b>	<b>16,048</b>	<b>48,144</b>	

Source: Riverside County EDA, November 2013





## **Vacant Land Analysis**

For the 2014–2021 Housing Element update, the County prepared a site inventory using the County’s geographical information system to identify vacant parcels that could readily be developed to meet the County’s regional housing needs. The County prepared an inventory of all vacant properties designated for residential use under the General Plan. It then identified those parcels located within an existing water district boundary. Please refer to **Appendix A – Housing Inventory List** for a parcel specific inventory.

### ***Sites without Existing Appropriate Zoning***

As noted in the Housing Inventory List (see Appendix A), many parcels have underlying zoning that is inconsistent with the site’s land use designation and are therefore considered to be unavailable for development at this time. These sites are listed in the Housing Inventory List but are not counted toward the County’s overall land capacity. However, with an appropriate zone change, they could be made available for development in the future.

### ***Realistic Capacity***

The County considered and evaluated the implementation of its current multifamily development standards and on-site improvement requirements (e.g., setbacks, building height, parking, and open space requirements) to determine approximate density and unit capacity. Realistic capacity was determined by multiplying the number of acres by the maximum density for the site; 85 percent of that result was then used as the final realistic unit number to account for site and regulatory constraints.

It should be noted that each parcel’s density is determined by the land use designation and not the zoning. Therefore, all sites included in the inventory have been organized by land use designation and allocated to the category in which they will develop at maximum potential.

### ***Unaccommodated Need***

Program 1.2t in the 2008–2014 Housing Element stated that the County planned to redesignate a minimum of 595 acres of land to the HHDR designation. This would have given the County an additional capacity of 15,173 units that would allow for 30 units per acre and therefore be appropriate to meet a portion of the lower-income RHNA. Because the County completed its 4th round Housing Element later than expected, the County was not able to meet the rezone/redesignation deadline of October 15, 2013; it therefore has an unaccommodated need from the previous planning period.

Table H-35 shows the County’s land capacity available during the 4th round planning period. Based on this capacity, the County has an unaccommodated need of 14,968 units from the previous planning period.



**Table H-35 Unaccommodated Need from the 2006–2014 Planning Period**

RHNA		Units Built	Approved Projects	Remaining RHNA	Vacant Land Capacity	Remaining Need
Very Low	11,979	259	1,101	10,619	73	14,968
Low	8,324	271	3,631	4,422		
Moderate	9,363	10,603	2	(1,242)	1,436	0
Above Moderate	20,949	10,604	64,192	(53,847)	10,383	0
<b>Total</b>	<b>50,615</b>	<b>21,737</b>	<b>68,926</b>	<b>(40,048)</b>	<b>11,892</b>	<b>14,968</b>

Source: SCAG, Riverside County, 2013

***Zoning to Accommodate the Development of Housing Affordable to Lower-Income Households***

Housing Element law requires jurisdictions to provide a requisite analysis showing that zones identified for lower-income households are sufficient to encourage such development. The law provides two options for preparing the analysis: (1) describe market demand and trends, financial feasibility, and recent development experience; (2) utilize default density standards deemed adequate to meet the appropriate zoning test. According to state law, the default density standard for the Riverside County is 30 dwelling units per acre.

The Highest Density Residential (HHDR) land use designation allows for 20 to 40 units per acre, and the County currently has two sites (a total of 4.57 acres) with this designation and appropriate zoning. In an effort to provide for the development of housing for lower-income households and to meet the lower-income RHNA for them 4<sup>th</sup> planning cycle as well as the identified unaccommodated need, as shown in table H-35.

***Redesignation to Meet the County’s RHNA***

As previously mentioned, the County had included Program 1.2t in the 2008–2014 Housing Element to redesignate a minimum of 595 acres of land to HHDR to meet its lower-income housing need. The County also needed to rezone the sites to a zone permitting multifamily development by right. Because the County was unable to complete the General Plan land use designation to HHDR, it must now accommodate both the 4th round shortfall and 5th round RHNA.

In an effort to accommodate the need from the 2008–2014 planning period and the 2014–2021 planning period, the County is planning to amend its General Plan Land Use map and rezone a total of 925 acres to the HHDR designation (Action 1.2k)

The County has started the process to amend the General Plan Land Use as will have all amendments and rezones completed by fall 2014. All sites will permit multifamily by right and will comply with state law shortfall requirements.



**Large Sites**

In addition, to facilitate the development of affordable housing on smaller parcels (50 to 150 units in size), the County will routinely give high priority and fast track authorization to processing subdivision maps that include affordable housing units. Also, the County will expedite the review process for the subdivisions of larger sites into buildable lots where the development application can be found consistent with the General Plan, applicable Specific Plan, and Master Environmental Impact Report. Through adoption of these mechanisms, the County has the ability to provide adequate sites to accommodate its share of the region’s housing needs (Action 1.2i).

**Progress toward Meeting the RHNA**

Table H-36 provides a comparison of the County’s RHNA, credited units (units approved) and the capacity of the vacant land inventory. It is assumed that land designated HHDR is appropriate for lower-income households; VHDR and HDR for moderate-income households; and MHDR, MDR, LDR and EDR for above moderate-income households.

Table H-36 Comparison of Regional Housing Need and Residential Sites <sup>1</sup>						
RHNA		Approved Projects	Unaccom. Need	Remaining RHNA	Vacant Land Capacity	Remaining Need
Very Low	7,173	165	14,968	23,412	73 <sup>1</sup>	23,339
Low	4,871	3,435				
Moderate	5,534	16,048	0	0	1,436 <sup>2</sup>	0
Above Moderate	12,725	48,144	0	0	10,383 <sup>2</sup>	0
<b>Total</b>	<b>30,303</b>	<b>68,926</b>	<b>14,968</b>	<b>23,412</b>	<b>11,892</b>	<b>23,339</b>

Source: Riverside County, 2012

1. Implementation of action 1.2k will give the County a capacity of 23,587 units.

2. This capacity includes the capacity of the sites that are available for rezone. With the large surplus, the County will still be able to meet its moderate and above moderate income RHNA once the rezones take place.

**Environmental Site Constraints**

Environmental factors may also adversely affect a parcel’s potential for development. The parcel-specific database in appendix A indicates whether or not a parcel available for residential development is potentially subject to faulting, flooding, high fire danger, high or very high liquefaction potential, or risk of landslide. Other factors, such as land with slopes greater than 25 percent, may pose significant financial constraints that render housing development infeasible. Environmental hazards are discussed and mapped in further detail in the Safety Element in the County's General Plan as well as in the County’s adopted Multiple Species Habitat Conservation Plan. The presence of an environmental constraint does not necessarily preclude the development of a site for housing. In many cases, environmental constraints may be ameliorated through proper site design, infrastructure improvements, or other mitigation measures.



### Specific Plans within the County

#### ***Specific Plans with Densities to Meet Lower-Income Housing Needs***

There are several approved specific plans within the unincorporated County, of which two, the Villages of Lakeview and Valante, have densities appropriate to meet a portion of the County's lower-income RHNA. Table H-37 shows the total capacity for all specific plans. The 3,343 units is the total capacity for the Villages of Lakeview and Valante Specific Plans that allow for up to 30 units per acre. The affordability was based on the zoning and General Plan designations. The 64,192 units within Specific Plans have densities of 20 units per acre and less and have been allocated toward the moderate- and above moderate-income categories. Specific Plans sites are not included in the housing inventory list because these have already been approved for a specific number of units.

#### Villages at Lakeview

The Villages of Lakeview is an approved Specific Plan that will allow for a maximum of 11,350 dwelling units to be constructed within a variety of villages. The number of residences allowed within each village could range from 500–3,500, but no more than 11,350 dwelling units in total will be developed. There are 10 mixed-use planning areas within the Specific Plan which total approximately 288 gross acres with a dwelling unit range of 5–40 dwelling units an acre and a target of 3,100 dwelling units and a minimum of 250,000 square feet to 500,000 square feet of nonresidential uses such as commercial/retail/office space. Because the mixed-use designation allows up to 40 dwelling units per acre, the County has credited these units toward meeting a portion of its lower income housing need (see Table H-37).

Currently the Environmental Impact Report for this project is being revised which must then be resubmitted to the court for reevaluation. Once the project has the go-ahead from the court, a subdivision map will need to be filed and a public hearing before the Planning Commission will need to occur. Once the hearing has been held, development can occur through building permits.

#### Valante

Valante is an approved Specific Plan that will allow for 460 units. Of those units, 243 are planned for very high density residential development allowing up to 30 dwelling units per acre.

In order for this project to move forward a subdivision map will need to be filed and a public hearing before the Planning Commission will need to occur. Once the hearing has been held development can occur through building permits.

#### ***Specific Plan Potential***

Over 300 specific plans have been processed in the County since 1973. A specific plan is an important planning tool within the County as it establishes the permitted number of dwelling units and accommodates a variety of housing types including attached and multifamily uses, and it fosters clustering concepts, leaving room for open space and other amenities. Additionally





Specific Plan requirements call for infrastructure plans (water, sewer, drainage, and circulation) to be prepared to support the proposed development, thereby ensuring that the community will be adequately served by infrastructure systems. The majority of the approved Specific Plans have been built out over the years per their approvals, or have had selected phases, neighborhoods, or tract maps processed and constructed under the umbrella of the Specific Plan. In some instances, Specific Plan applications have been withdrawn, abandoned, or the term of approval expired. Other Specific Plans processed under the County's jurisdiction have been annexed into the incorporated boundaries of one of the cities in the County. As a result they no longer provide potential for additional units within the unincorporated area.

There are 45 specific plans located in the unincorporated Riverside County with planned densities resulting in a unit potential of 75,421 housing units. Additionally, there are 13 specific plans being processed by the County. Three of these are located in the western portion of the County, and the others are located within the unincorporated areas of the Coachella Valley. [HCD – revisions pending updated data]

#### **Availability of Infrastructure**

As mentioned above, Specific Plan Requirements call for infrastructure plans (water, sewer, drainage, and circulation) to be prepared to support the proposed development to ensure that the community will be adequately served by infrastructure systems. However, a significant portion of vacant parcels in Winchester Valley in the southeast portion of WRCOG and the vast majority of vacant parcels in CVAG do not lie within a Specific Plan. The impact of infrastructure on the overall capacity and timing of development is critical in these areas.

General Plan policy requires that urban development with densities of two dwelling units per acre or higher must provide domestic water, sewage disposal, street improvements, and fire protection.

Although there are approximately 42 independent water and/or sanitary agencies operating in unincorporated Riverside County, only 67 percent of vacant parcels in WRCOG and 49 percent of vacant parcels in CVAG are within a water or sanitation district. Even then, some communities such as Cherry Valley, Cabazon, Banning, Idyllwild, the Palo Verde Valley and portions of Winchester Valley, Beaumont, and Mira Loma rely on septic systems.

Development in unincorporated areas outside water district service areas face the greatest infrastructure impacts, especially when located in non-contiguous areas with no infrastructure readily available. In CVAG's agricultural areas, the development of farm labor mobile home parks may be conditioned by the County to construct on-site subsurface sewage disposal systems (septic tanks) as a temporary measure until such time as sewer lines from an established sewer district become available. Connection to the system would be made at that time. In addition, the drilling of underground wells may be approved to provide adequate water supply when water lines are not available. Both well water supply and the installation of subsurface sewage disposal systems must meet all current Department of Environmental Health requirements.



Street improvements are another infrastructure need of new housing in unincorporated Riverside County. While roads in agricultural areas provide adequate access within the unincorporated Coachella and Palo Verde Valleys, most are designed to conduct agricultural run-off and are insufficient for the development of housing. Extension of roadways and the construction of curbs, gutters, sidewalks, and retention basins may require project coordination and/or the need for subsidies from the County when constructed in conjunction with housing development.

These parcels are located within several County Specific Plans and along major transportation corridors which currently provide master planned opportunities for higher densities to occur as well as infrastructure opportunities to facilitate this development. As previously indicated, all parcels provided within the site inventory are located within water districts, which provides the facilitation of sewer, water, and wastewater provisions for new development. The units described in Table H-40 have the appropriate infrastructure available in order to develop.

The impact of infrastructure on the overall capacity and timing of current and future development is therefore minimal given the capacity of the County to:

- Provide coordination and/or financial assistance for the construction of street improvements.
- Permit the construction of subsurface sewage disposal systems as an interim measure when sewer lines are unavailable or infeasible to construct.
- Permit the drilling of wells to provide on-site water supply when water lines are unavailable or infeasible to construct.





**Table H-37 Housing Potential of Specific Plans**

Specific Plan		Dwelling Units				
Number	Name	Maxed D.U.s	Mapped Units	Pending Units	Built D.U.s	Remaining D.U.s
183	Rancho Nuevo	508	0	0	0	508
184	Rancho Bella Vista	1998	1,391	0	939	1059
198	Belle Meadows	440	257	0	0	440
208	Cal Neva	1670	1,047	0	1047	623
212	Mesa Grande	200	200	0	0	200
238	Crown Valley Village	591	417	0	236	355
239	Stoneridge	1900	803	0	0	1900
246	McCanna Hills	2967	417	0	0	2903
250	Gateway Center	553	83	0	0	553
251A1	Lakeview Nuevo Village	315	309	0	0	315
256	Sycamore Creek	1765	872	0	872	893
260	Menifee North	2388	200	212	200	2188
284	Quinta Do Lago	1318	995	0	624	523
286	Winchester 1800	4870	2,743	141	2417	2362
288	The Crossroads in Winchester	795	0	0	0	795
293	Winchester Hills	5690	3956	981	0	5691
310	Domenigoni/Barton Properties	4186	0	0	0	4186
312	French Valley	1793	1,631	0	228	1565
313	Morgan Hill	1121	1,123	0	656	465
317	The Retreat	545	431	0	342	203
322	BSA Properties	421	0	0	0	421
323	Spring Mountain Ranches	1461	1,558	0	0	1461
325	Lake Mathews Golf & CC	295		32	0	295
327	Toscana	1443	0	0	0	1443
330	Springbrook Estates	650	230	432	0	650
333	Renaissance Ranch	355	355	0	0	355
336	Desert Dunes	2250	386	1,333	0	2250
342	Villages of Lake View	11350	0	0	0	11350
360	Valante	460	0	0	0	460
362	Panorama	2718	0	0	0	2718
369	Thermal 551	2354	0	0	0	2354
375	Travertine	16,655	0	0		16,655
<b>Subtotal</b>		<b>75,421</b>	<b>19,606</b>	<b>3,131</b>	<b>7,561</b>	<b>67,535</b>



## ***Constraints***

### **GOVERNMENTAL CONSTRAINTS**

Governmental constraints are policies, standards, requirements, or actions imposed by the various levels of government upon land and housing ownership and development. Although federal and state agencies play a role in the imposition of governmental constraints, these agencies are beyond the influence of local government and are therefore not addressed in this document.

### **Land Use Controls**

#### ***General Plan***

A general plan is a set of long-term goals and policies that the community uses to guide development decisions. Although the general plan establishes standards for the location and density of land uses, it does not directly regulate land use. State law requires each local jurisdiction to have a general plan.

The Land Use Element of the Riverside County's General Plan identifies the location, distribution, and density of land uses in the County. Densities are expressed as dwelling units per acre. The Riverside County General Plan Land Use Map consists of five broad Foundation Component land uses: Agriculture, Rural, Rural Community, Open Space, and Community Development. Each of these Foundation Components is subdivided into more detailed land use designations at the area plan level. In addition, the General Plan Land Use map includes a number of overlays which allow residential uses. Table H-38, Land Use Designations Summary, describes all the land use designations used within Riverside County General Plan, including those accommodating residential land uses.

The Community Centers designation provides for the development of a complementary and creative mix of retail, professional office, light industrial, business park, civic uses, recreational open space, and higher density residential uses. Community Centers are located along transit lines and major circulation facilities in order to enhance accessibility and to create a focal point for the surrounding community. Transit, bicycle, and other such facilities that enhance pedestrian movement and civic vitality are prominent features within Community Centers. Housing densities in the Community Centers designation range from 5 to 40 units per acre.

The General Plan identifies the following four types of Community Centers, differentiated by size, scale, and land use emphasis: Village Centers, Town Centers, Employment Centers and Tourist Centers.

The Rural Village Overlay allows a concentration of development within areas of rural character. Rural Villages serve a similar function as the Community Centers except that they are of a much smaller scale. Like Community Centers, Rural Villages allow a range of residential and local-serving employment, shopping, educational, and recreational/cultural opportunities. They also



serve as a focal point for the surrounding community. Limited in their size and scope, Rural Villages allow a mixture of uses that respond to local demand. They are not like conventional suburban subdivisions. This type of overlay allows for residential development ranging from Low Density Residential to Medium Density Residential, as well as the uses specified in the Commercial Retail land use designation.

The County's analysis of our governmental constraints upon the maintenance, improvement, or development of housing for all income levels is detailed and specific in our opinion. The cumulative impacts generated from the development of affordable housing developments are small by comparison to market-rate projects. This is due to several factors, such as public-private partnerships, the County's Fast Track process and program, and an exemption from many County impact fees (such as developer impact fees, Open Space, etc.), but mostly in where most affordable housing units added during the last planning period were developed by the County or Riverside, the Redevelopment Agency, or the County's Housing Authority. These agencies are not subject to most constraints as identified with the Housing Element. The constraints of the utmost importance are land use implications, which the County understands are a constraint to the process and development of affordable units. These implications are parcels that require a zone change to a zoning classification that allows multifamily housing due to their inconsistency with the General Plan designation. In order to address these constraints, the County will develop a programmatic rezoning process to bring these parcels, incorrectly zoned under the site inventory, into conformity with the overlying General Plan designation. This program, in conjunction with the development of an affordable housing ordinance for private development applications, will employ significant steps to solve rezoning as a constraint for affordable housing development for both private and public entities.

The elimination of government constraints that preclude the provision of housing for persons with disabilities, supportive housing, transitional housing, and emergency shelters are coordinated by the County Land Use Division and Economic Development Agency. The primary subsidy provided by the County remains the Fast Track Authority, in which processing time and fees are subsidized and in some cases exempted for the projects in question.

Riverside County's residential development standards have not constrained housing development in the County nor have they been an obstacle to the development of affordable housing. The densities generally match the zoning categories and the setback and height requirements relate well to the densities permitted. Lot size requirements also are reasonable.

# County of Riverside General Plan

Housing Element 2013- 2021



**Table H-38 Land Use Designations Summary**

Foundation Component	Area Plan Land Use Designation	Building Intensity Range (du/ac or FAR) <sup>1, 2,3</sup>	Notes
Agriculture	Agriculture (AG)	10 ac min.	Agricultural land including row crops, groves, nurseries, dairies, poultry farms, processing plants, and other related uses. One single-family residence allowed per 10 acres except as otherwise specified by a policy or an overlay.
Rural	Rural Residential (RR)	5 ac min.	Single-family residences with a minimum lot size of 5 acres. Allows limited animal-keeping and agricultural uses, recreational uses, compatible resource development (not including the commercial extraction of mineral resources) and associated uses and governmental uses.
	Rural Mountainous (RM)	10 ac min.	Single-family residential uses with a minimum lot size of 10 acres. Areas of at least 10 acres where a minimum of 70% of the area has slopes of 25% or greater. Allows limited animal-keeping, agriculture, recreational uses, compatible resource development (which may include the commercial extraction of mineral resources with approval of a SMP) and associated uses and governmental uses.
	Rural Desert (RD)	10 ac min.	Single-family residential uses with a minimum lot size of 10 acres. Allows limited animal-keeping, agriculture, recreational, renewable energy uses including solar, geothermal and wind energy uses, as well as associated uses required to develop and operate these renewable energy sources, compatible resource development (which may include the commercial extraction of mineral resources with approval of SMP), and governmental and utility uses.
Rural Community	Estate Density Residential (RC-EDR)	2 ac min.	Single-family detached residences on large parcels of 2 to 5 acres. Limited agriculture, intensive equestrian and animal-keeping uses are expected and encouraged.
	Very Low Density Residential (RC-VLDR)	1 ac min.	Single-family detached residences on large parcels of 1 to 2 acres. Limited agriculture, intensive equestrian and animal-keeping uses are expected and encouraged.
	Low Density Residential (RC-LDR)	1/2 ac min.	Single-family detached residences on large parcels of 1/2 to 1 acre. Limited agriculture, intensive equestrian and animal-keeping uses are expected and encouraged.
Open Space	Conservation (C)	N/A	The protection of open space for natural hazard protection, and natural and scenic resource preservation. Existing agriculture is permitted.
	Conservation Habitat (CH)	N/A	Applies to public and private lands conserved and managed in accordance with adopted Multi-Species Habitat and other Conservation Plans. Must comply with GPA 1120 and in accordance with related Riverside County policies.
	Water (W)	N/A	Includes bodies of water and natural or artificial drainage corridors. Extraction of mineral resources subject to SMP may be permissible provided that flooding hazards are addressed and long-term habitat and riparian values are maintained.
	Recreation (R)	N/A	Recreational uses including parks, trails, athletic fields, and golf courses. Neighborhood parks are permitted within residential land uses.
	Rural (RUR)	20 ac min.	One single-family residence allowed per 20 acres. Extraction of mineral resources subject to SMP may be permissible provided that scenic resources and views are protected.
	Mineral Resources (MR)	N/A	Mineral extraction and processing facilities. Areas held in reserve for future mineral extraction and processing.
Community Development	Estate Density Residential (EDR)	2 ac min.	Single-family detached residences on large parcels of 2 to 5 acres. Limited agriculture and animal-keeping is permitted; however, intensive animal-



**Table H-38 Land Use Designations Summary**

Foundation Component	Area Plan Land Use Designation	Building Intensity Range (du/ac or FAR) <sup>1, 2,3</sup>	Notes
			keeping is discouraged.
	Very Low Density Residential (VLDR)	1 ac min.	Single-family detached residences on large parcels of 1 to 2 acres. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged.
	Low Density Residential (LDR)	1/2 ac min.	Single-family detached residences on large parcels of 1/2 to 1 acre. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged.
	Medium Density Residential (MDR)	2 - 5 du/ac	Single-family detached and attached residences with a density range of 2 to 5 dwelling units per acre. Limited agriculture and animal-keeping is permitted; however, intensive animal-keeping is discouraged. Lot sizes range from 5,500 to 20,000 sq. ft.; typical 7,200 sq. ft. lots allowed.
	Medium High Density Residential (MHDR)	5 - 8 du/ac	Single-family attached and detached residences with a density range of 5 to 8 dwelling units per acre. Lot sizes range from 4,000 to 6,500 sq. ft.
	High Density Residential (HDR)	8 - 14 du/ac	Single-family attached and detached residences, including townhouses, stacked flats, courtyard homes, patio homes, townhouses, and zero lot line homes.
	Very High Density Residential (VHDR)	14 - 20 du/ac	Single-family attached residences and multifamily dwellings.
	Highest Density Residential (HHDR)	20+ du/ac	Multifamily dwellings, includes apartments and condominium. Multi-storied (3+) structures are allowed.
	Commercial Retail (CR)	0.20 - 0.35 FAR	Local and regional serving retail and service uses. The amount of land designated for Commercial Retail exceeds that amount anticipated to be necessary to serve the County's population at buildout. Once buildout of Commercial Retail reaches the 40% level within any Area Plan, additional studies will be required before CR development beyond the 40% will be permitted.
	Commercial Tourist (CT)	0.20 - 0.35 FAR	Tourist-related commercial including hotels, golf courses, and recreation/amusement activities.
	Commercial Office (CO)	0.35 - 1.0 FAR	Variety of office-related uses including financial, legal, insurance and other office services.
	Light Industrial (LI)	0.25 - 0.60 FAR	Industrial and related uses including warehousing/distribution, assembly and light manufacturing, repair facilities, and supporting retail uses.
	Heavy Industrial (HI)	0.15 - 0.50 FAR	More intense industrial activities that generate significant impacts such as excessive noise, dust, and other nuisances.
	Business Park (BP)	0.25 - 0.60 FAR	Employee intensive uses, including research and development, technology centers, corporate offices, "clean" industry, and supporting retail uses.
	Public Facilities (PF)	≤ 0.60 FAR	Civic uses such as County administrative buildings and schools.
	Community Center (CC)	5 - 40 du/ac 0.10 - 0.3 FAR	Includes combination of small-lot single family residences, multifamily residences, commercial retail, office, business park uses, civic uses, transit facilities, and recreational open space within a unified planned development area. This also includes Community Centers in adopted specific plans.
	Mixed Use Planning Area		This designation is applied to areas outside of Community Centers. The intent of the designation is not to identify a particular mixture or intensity of land uses, but to designate areas where a mixture of residential, commercial, office, entertainment, educational, and/or recreational uses, or other uses is planned.

# County of Riverside General Plan

## Housing Element 2013- 2021



### Overlays and Policy Areas

Overlays and Policy Areas are not considered a Foundation Component. Overlays and Policy Areas address local conditions and can be applied in any Foundation Component. The specific details and development characteristics of each Policy Area and Overlay are contained in the appropriate Area Plan.

Community Development Overlay (CDO)	Allows Community Development land use designations to be applied through General Plan Amendments within specified areas within Rural, Rural Community, Agriculture, or Open Space Foundation Component areas. Specific policies related to each Community Development Overlay are contained in the appropriate Area Plan.
Community Center Overlay (CCO)	Allows for either a Community Center or the underlying designated land use to be developed.
Rural Village Overlay (RVO) and Rural Village Overlay Study Area (RVOSA)	The Rural Village Overlay allows a concentration of residential and local serving commercial uses within areas of rural character. The Rural Village Overlay allows the uses and maximum densities/intensities of the Medium Density Residential and Medium High Density Residential and Commercial Retail land use designations. In some rural village areas, identified as Rural Village Overlay Study Areas, the final boundaries will be determined at a later date during the consistency zoning program. (The consistency zoning program is the process of bringing current zoning into consistency with the adopted General Plan.)
Watercourse Overlay (WCO)	The Watercourse Overlay designates watercourses, including natural or controlled stream channels and flood control channels.
Specific Community Development Designation Overlay	Permits flexibility in land use designations to account for local conditions. Consult the applicable Area Plan text for details.
Policy Areas	Policy Areas are specific geographic districts that contain unique characteristics that merit detailed attention and focused policies. These policies may impact the underlying land use designations. At the Area Plan level, Policy Areas accommodate several locally specific designations, such as the Limonite Policy Area (Jurupa Area Plan), or the Scott Road Policy Area (Sun City/Menifee Valley Area Plan). Consult the applicable Area Plan text for details.

#### NOTES:

<sup>1</sup> FAR = Floor area ratio, which is the measurement of the amount of nonresidential building square footage in relation to the size of the lot. Du/ac = dwelling units per acre, which is the measurement of the amount of residential units in a given acre.

<sup>2</sup> The building intensity range noted is exclusive, that is, the range noted provides a minimum and maximum building intensity.

<sup>3</sup> Clustering is encouraged in all residential designations. The allowable density of a particular land use designation may be clustered in one portion of the site in smaller lots, as long as the ratio of dwelling units/area remains within the allowable density range associated with the designation. The rest of the site would then be preserved as open space or a use compatible with open space (e.g., agriculture, pasture or wildlife habitat). Within the Rural Foundation Component and Rural Designation of the Open Space Foundation Component, the allowable density may be clustered as long as no lot is smaller than 1/2 acre. This 1/2 acre minimum lot size also applies to the Rural Community Development Foundation Component. However, for sites adjacent to Community Development Foundation Component areas, 10,000 square foot minimum lots are allowed. The clustered areas would be a mix of 10,000 and 1/2 acre lots. In such cases, larger lots or open space would be required near the project boundary with Rural Community and Rural Foundation Component areas.





Density is a critical factor in the development of affordable housing. In theory, maintaining low densities typically increases the cost of construction while higher density lowers the per unit land cost. More intense residential development can be achieved through a number of mechanisms, including amending the land use designation to allow higher density residential uses, density bonus provisions, clustering of residential development, and zero lot line/small lot development, subject to local development standards. Clustering housing can produce higher densities on a portion of land while retaining the overall density of the entire property. This method generally requires the portions of the property not utilized for residential development to remain in open space or developed as an amenity such as a park or golf course. The County's Medium Density Residential, Medium High Density Residential, High Density Residential, Very High Density Residential, Highest Density Residential and Community Center designations, which allow the combination of residential and commercial developments, accommodate the clustering concept and a diversity of housing types. Clustering of housing allows for higher density uses within areas where the overall density typically would not accommodate housing products which may be affordable to low- and moderate-income households.

The General Plan land use designations allow for a wide range of development at densities suitable to accommodate all income categories. Therefore, they are not considered a constraint to the provision of housing.

### **Zoning Code**

Zoning, unlike the General Plan, is regulatory. Under the zoning ordinance, development must comply with specific, enforceable standards such as minimum lot requirements, minimum setbacks, maximum building heights, and a list of allowable uses. Zoning is applied lot-by-lot, whereas the General Plan has a community-wide perspective. The zoning applied to a lot must be consistent with the General Plan.

Riverside County Ordinance No. 348, (Land Use Ordinance) sets forth the classifications. Table H-39 summarizes residential uses allowed within these zones.

A great deal of mixed development is permitted in these residential zones; however, lot sizes are generally no smaller than 7,200 square feet, unless recreational facilities are provided as part of the development. Lot sizes within a Specific Plan or Planned Residential Development (PRD) may vary from the typical 7,200-square-foot requirement, particularly for the higher density single-family detached and attached product types. Table H-40 summarizes allowable residential uses by zoning district and type of approval.

The Land Use Ordinance also establishes development standards for PRDs, which are intended to do the following:

1. Foster and encourage innovative design, variety, and flexibility in housing types which would not otherwise be allowed in other zoning districts.
2. Ensure the provision of open space as a part of the development.
3. Provide a greater diversity in housing choices.



The total number of dwelling units in a PRD may not exceed that which would be permitted if the project were a standard lot development. The height of buildings may not exceed the height permitted in the zone in which the project is located. There are also minimum standards for living areas. The maximum permitted density and height limits may be reduced if it is determined to be necessary for a planned development to achieve compatibility with the area in which the development is located. In PRDs for senior citizens, a minimum percentage of the residential units must be adaptable for persons with disabilities.

The need for affordable housing is recognized as one of the most significant housing problems facing the County. The County has, therefore, established the R-6 zone (Residential Incentive), incentives and zoning requirements. The current requirements of the R-6 zone restrict the selling price to one of the following: 1) the average price of all dwelling units within the R-6 zone shall not exceed 80 percent of the average homes sales price in a market area; 2) the selling price of 25 percent of the dwelling units shall be at an amount affordable to families earning no greater than 120 percent of the County median income; or 3) the selling price of 15 percent of the dwelling units must be affordable to families earning no more than 80 percent of the County median income. The allowable density within this zone is flexible based on physical and service constraints as well as location, but must be no less than 4 units per acre. The density may exceed the density permitted by the underlying General Plan Land Use Element. The zone also has minimum lot size and open space requirements.

The R-6 zone was utilized in two County-assisted affordable housing developments. Amendments to the General Plan were made to convert existing commercial zoning to the R-6 zone for the Mission Villas Senior Apartments (1997) and the Mission LaRue Senior Apartments (2002-3). The R-6 zoning allowed the projects to exceed the maximum density of 16-20 du/acre and provide affordable housing at 24 dwelling units per acre and 20.5 dwelling units per acre, respectively. This zone is currently being reevaluated to increase its effectiveness.



## Development Standards

**Table H-39 Summary of Residential Zoning Requirements**

Development Standards	R-1, R-1A, R-2	R-2A	R-3	R-3A	R-4	R-6****	R-A	R-R	R-RO	R-T*****	R-T-R	R-D	A-1, A-2	A-P	A-P (Operations)	A-D	A-D (Operations)
<b>Lot Dimensions</b>																	
Minimum Lot Size (sf)	7,200	7,200	7,200	9,000	3,500	5,000	20,000	0.5 acres	0.5 acres	7200	40000	20,000	20,000	5 ac	5 ac	20 Ac	20 Ac
Minimum Lot Width	60	60	60	60	40	30	100	80	80	60	100	100	100	200	200	x	x
Depth	100	100	100	100	80	x	150	150	150	100	100	150	150	x	x	x	x
<b>Setbacks</b>																	
Front	50	20	10	10	10	10	20	20	20	20	20	20	20	20	20	20	50
Side	5*	5*	5	5**	5***	varies	5	5	5	5	5	10	5	10	10	10	25
Rear	10	10	10	10	10	10	10	10	10	5	5	5	10	10	10	10	25
<b>Height</b>																	
Feet	40	30	50-75	50-75	40 - 50	35-50	40	40	40	40	40	50-75	40	40	40	50-105	40
Floors	3	2	n/a	n/a	n/a	n/a	3	3	3	3	3	x	x	x	x	x	x

Notes

\*10 ft setback on corner lots

\*\*20 ft. front setback for single-family. Setbacks are for buildings not over 35 ft. in height. See §18.18 for detached accessory building setbacks.

\*\*\*Multiple buildings must have 20-foot separation between buildings. No structural encroachments permitted in front, side or rear yard except as provided in §18.19.

\*\*\*\*Additional setbacks may be required depending on height and adjacent land uses.

\*\*\*\*\*Minimum size of mobile home shall be 450 sq. ft. Minimum size of conventional one-family house shall be 750 sq. ft. Mobile home front setbacks may be reduced to 10 ft. if community recreational facilities exist in tract. Minimum frontage of 30 ft. If Community Recreation/Open Space is developed as part of the subdivision: - A min. of 500 sq. ft. for each residential lot shall be usable recreational area. - Combined sq. footage of community area and lot area, excluding street ROW, shall total no less than 6,000 sq. ft. for each residential lot. The minimum size site that may be developed for a mobile home park shall be 5 ac. gross.

# County of Riverside General Plan Housing Element 2013-2021



## Zoning for a Variety of Housing Types

Table H-40 Zoning Use Index Summary

Use Description	R-R	R-O	R-1	R-1A	R-1B	R-2	R-2A	R-2B	R-2C	R-2D	R-2E	R-2F	R-2G	R-2H	R-2I	R-2J	R-2K	R-2L	R-2M	R-2N	R-2O	R-2P	R-2Q	R-2R	R-2S	R-2T	R-2U	R-2V	R-2W	R-2X	R-2Y	R-2Z		
Second Dwelling Units <sup>1</sup>	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup	sup		
Apartment Houses						pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp		
Boarding, Rooming, Lodging Houses <sup>2</sup>						pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp		
Congregate Care/Residential Facility <sup>3,9</sup>	pup	pup	pup	pup	pup	pp/cup	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp		
Dwellings - Agricultural Mobile home <sup>4</sup>	pp	pp																																
Dwellings - Multiple, Apartment <sup>5</sup>						pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	pp	
Dwellings - One Family <sup>6,7</sup>	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p		
Emergency Shelter																																		
Migrant Agricultural Workers Mobile Home Park	cup	cup																																
Mobile Home Parks <sup>11</sup>	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	cup	
Mobile Home - Single Family <sup>6</sup>	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	
Farm Labor Camp <sup>12</sup>	cup	cup																																
Planned Residential Development <sup>10</sup>	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	p	

CUP- Conditional Use Permit, P- Permitted, PP- Plot Plan PUP- Public Use Permit, SUP- Second Dwelling Unit Permit, A- Allowed

1. The lot is zoned for a one-family dwelling as a permitted use; provided, however, that the lot may not be part of a planned residential development or located in the R-6 zone.

2. A building where lodging and meals are provided for compensation for 6 but not more than 15 persons, not including rest homes.

3. A housing arrangement developed pursuant to Ordinance No. 348, where non-medical care and supervision are provided, including meals and security services.

4. One additional mobile home, excluding principal dwelling, for each 10 acres being farmed (occupied by owner, operator, or employee). SUP not required if 10 acres are being farmed.

5. A building or portion thereof used to house two or more families, including domestic employees or each such family, living independently of each other, and doing their own cooking.

6. A building or structure, including a mobile home or manufactured home, containing one kitchen and used to house not more than one family, including domestic employees. Zone A-D only allows one family.

7. Guest dwellings are allowed in all zones which permit single-family residential units provided the standards of §21.31 are met.

8. Where a permitted and existing commercial use is established and the unit is a part of the approval.

9. A Congregate Care Facility may be located in any zone provided that a Public Use Permit is granted pursuant to Section 18.29 of Ordinance 348.

10. A residential development, including, but not limited to, statutory and non-statutory condominiums, cluster housing, townhouses, community apartment projects and mobile home developments, that is permitted reduced lot area, width and depth requirements and building setback requirements by integrating into the overall development open space and outdoor recreational facilities, which may include recreational and public buildings intended primarily for the use of the residents of the project, within the development.

11. A mobile home park is any area or tract of land where one or more mobile home lots are rented or leased or held out for rent or lease to accommodate mobile home used for human habitation. The rental paid for any such mobile home shall be deemed to include rental for the lot it occupies. Notwithstanding the foregoing definition, any person, not including a mobile home park operator, who owns a mobile home and owns, rents or leases the land upon which the mobile home is located, is permitted to rent, lease, sublease, let out, or hire out for occupancy the mobile home and the land upon which the mobile home is located, without obtaining a permit to construct or operate a mobile home park.

12. Any building or group of buildings where five or more farm employees are housed.

Note: Please refer to the respective Specific Plan for allowable uses and development requirements.

Note: Please refer to Ordinance No. 348 for specific development requirements.

Source: Riverside County Planning Department - Ordinance No. 348 and Zone Use Index Summary at <http://www.tlma.co.nvside.ca.us/plan/useindex.htm>



### ***Multifamily Units***

The County recognizes the importance of multifamily units in meeting affordable housing needs and providing residents with a variety of housing choices. Among the multifamily units permitted in the County are two-family, multifamily, bungalow courts, and apartment units.

### ***Mobile Homes and Manufactured Homes***

For purposes of permit issuance, a mobile home on a foundation system is allowed on all lots zoned to permit single-family dwellings. The installation of manufactured homes, not on foundations, is allowed whenever it is specifically provided for in the various zone classifications, and is subject to the requirements and standards set forth in those zones.

A mobile home permitted in the R-R, R-D, W-2, and W-2-M zones must have the following: a floor living area of at least 450 square feet, a lot size of at least 2,500 square feet with a width of at least 30 feet, and an opaque skirt screening the area between the ground level and the floor level of the unit. Mobile home parks must have a masonry wall 6 feet in height erected along the perimeter of the park. Manufactured homes outside of these zones must comply with the same standards except that they must have a floor living area of at least 750 square feet.

Manufactured homes provide an additional opportunity for affordable housing in the County. Section 65852.7 of the California Government Code requires that the County permit manufactured homes in all residential zones. Riverside County is in full compliance with this section of the Government Code (Table H-40). In all zones where manufactured homes are permitted "by right" or through the issuance of a Conditional Use Permit (CUP), there are standards for unit size, density, minimum size of space, perimeter walls, and automobile storage. However, these requirements are not onerous and are similar to requirements of surrounding cities and counties.

### ***Second Units***

Second units also provide opportunities to provide affordable units. Second units are currently allowed where the lot is zoned for a one-family dwelling as a permitted use (without a discretionary permit), and the lot is at least one acre in size, but does not allow second units on lots located within a PRD or located within the R-6 zone. Under the Land Use Ordinance, second units may be occupied by any person without rent, but if rented, an annual certification by the property owner is required, certifying that the renter is of low or moderate income as defined by Section 50093 of the Health and Safety Code.

The County has amended Land Use Ordinance No. 348 to permit second units on residential lots zoned for single-family or multifamily residential use, subject to issuance of a second unit permit. This provision was made in response to State of California legislation promoting additional housing opportunities for elderly relatives and rental purposes. The ordinance was amended in 2008 to require property owners to submit an annual certification that the second units are being offered without rent (for relatives, for example) or rents in the low to moderate income range based upon HUD statistics.



Ordinance No. 348 currently requires:

- A second unit permit for both attached and detached units.
- Compatibility with existing development in the surrounding area.
- Minimum parcel size of 1 acre, with specific standards for larger parcels.
- Compatible setbacks.
- Maximum unit size to ensure the status of the unit as secondary to the main unit.
- Adequate water, sewage disposal, and circulation capacities.

In an effort to comply with Government Code Section 65852.2 (AB1866) the County has included action 1.2j to amend Ordinance No. 348 to only require the following provisions:

- The unit is not intended for sale and may be rented.
- The lot is zoned for single-family or multifamily use.
- The lot contains an existing single-family dwelling.
- The second unit is either attached to the existing dwelling and located within the living area of the existing dwelling or detached from the existing dwelling and located on the same lot as the existing dwelling.
- The increased floor area of an attached second unit shall not exceed 30 percent of the existing living area.
- The total area of floor space for a detached second unit shall not exceed 1,200 square feet.
- Requirements relating to height, setback, lot coverage, architectural review, site plan review, fees, charges, and other zoning requirements generally applicable to residential construction in the zone in which the property is located.
- Local building code requirements which apply to detached dwellings, as appropriate.
- Approval by the local health officer where a private sewage disposal system is being used, if required.

### ***Congregate Care Facilities***

The Land Use Ordinance also addresses special needs groups. It provides for congregate care residential facilities, allowing an opportunity for transitional housing and for independent living units. Specifically, congregate care residential facilities are a housing arrangement where non-medical care and supervision are provided as well as meals and social, recreational, homemaking and security services. Congregate care residential facilities with six or fewer persons are permitted “by right” in all residential zones. Congregate care residential facilities with seven or more persons are subject to a Public Use Permit (PUP) and CUP, depending on the zone and land use designation.





#### ***Farm Worker Housing***

Farm worker housing is allowed with a CUP in the following zones: Rural Residential (R-R), Rural Residential, Outdoor Advertising (R-R-O), Light Agriculture (A-1), Heavy Agriculture (A-2), and the Citrus Vineyard (C-V) zoning classifications. However, to comply with Health and Safety Code Sections 17021.5 and 17021.6, the County has included action 1.3e that states: for the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in an agricultural zone shall include agricultural employees who do not work on the property where the employee housing is located.

The County of Riverside Economic Development Agency (EDA) has recently shepherded through an amendment to the County's zoning ordinance which promotes a fast track status to farm worker housing. A copy of the ordinance amendment is attached. In short, the amendment authorizes projects receiving fast track status to be scheduled for public hearing within 90 days of application submittal (the Fast Track Procedures can be found at the following links: <http://www.rctlma.org/planning/content/zoning/ordnance/ord348c.html#section18.26> and Board of Supervisors Policy <http://boardos.co.riverside.ca.us/policy-a/POLICY-A32.pdf>). This is a significant cost savings compared to the average time frame of 187 days for the average CUP application and an average cost of \$37,000. For example, Conditional Use Permit No. 3645 is a proposal for farm worker housing for very low- and low-income agricultural workers. The project was submitted to the County of Riverside on May 27, 2010 and was approved, i.e., entitled, by August 2011, for a total of 15 months at a cost of \$33,630.30. While this time frame and cost is above average, the project is not located within an established water district and currently faces significant water conveyance and quality issues that impact the public welfare of the existing community. The project proposes to rectify these infrastructure concerns as they have already upgraded the existing property to alleviate the majority of the water quality concerns. This project is an example of even the most complex of planning- and infrastructure-related concerns being associated with a project that still is able to come to fruition.

#### ***Emergency Shelters, and Transitional and Supportive Housing***

In the current Land Use Ordinance, emergency/transitional shelters with six or fewer or County-owned shelters are exempt, and emergency/transitional shelters with more than six beds are classified as a congregate or group facility and implicitly included as such in the zoning code. Shelters or transitional housing with seven or more beds are subject to a CUP or PUP.

The process for the CUP and the PUP are the same. A CUP is used for projects not requiring a state license or permit. The PUP applies to projects of this type requiring a license or permit from the State of California. Discretionary permits like these are subject to review under the California Environmental Quality Act (CEQA). Unless a project is found to be exempt during its preliminary review, CEQA would require an initial study to be prepared. If there are no potential environmental impacts or the impacts are less than significant, a negative declaration would be prepared. If there are potentially significant environmental impacts and those impacts can be



mitigated to less than significant, a mitigated negative declaration would be prepared. If the proposed project may have a significant effect on the environment, an environmental impact report would need to be prepared. The County also prepares conditions of approval and a staff report prior to noticed public hearings before the appropriate hearing body.

**Emergency shelters.** The County permits emergency shelters by right, without discretionary review in the Industrial Park (I-P) zone. The I-P zone is appropriate for an emergency shelter because of its close proximity to municipal services, the uses in the zone are compatible (the main use is service commercial, and there are no manufacturing or industrial uses), and there is sufficient land available in the form of vacant lots and vacant warehouses. Currently the County has 181 vacant parcels available for an emergency shelter. These parcels range in size from less than an acre to 295 acres (average parcel size of 12 acres). In addition to available vacant land, the County has 132 sites with available warehouses that would be appropriate for an emergency shelter, ranging in size from 290 square feet to 800,000 square feet (average square footage of 25,000).

The County has objective development and management standards that are designed to encourage and facilitate the development of or conversion to an emergency shelter. Those standards can be found in ordinance 348.

**Transitional and Supportive Housing.** In order to comply with SB 2 requirements, the County has included the action I.5c which states that Transitional and supportive housing types will be treated as a residential use and will only be subject to those restrictions that apply to other residential uses of the same type in the same zone. The County will do the following: (1) add the current definition of transitional housing and supportive housing consistent with Health and Safety Code Sections 50675.14 and 50675.2; and (2) list these as permitted uses within residential zones.

### ***Housing for Persons with Disabilities***

In compliance with SB 520, a complete evaluation of the County's zoning laws, practices, and policies was done as part of the Housing Element update process. No constraints to housing development for persons with disabilities were found at that time. However, action 3.3a has been incorporated into the Housing Element to mitigate any possible constraints.

- **Reasonable accommodations**—Currently the County's ordinance does not contain a reasonable accommodation procedure. Action 3.3a states that the County will develop a policy to include a formal procedure for reviewing and approving requests for modifications to building or zoning requirements in order to ensure reasonable accommodations for persons with disabilities.
- **Separation requirements for congregate care facilities**—The County's ordinance currently states that congregate residential care facilities shall be located in accordance with all applicable developmental and locational guidelines under the General Plan and shall be located in those areas which offer appropriate services for the residents of these facilities, including necessary medical, transportation, shopping, recreational, and nutritional programs.





- **Separation requirements for parolee-probationer homes**—The County requires that there shall be a 2,000-foot separation requirement between parolee-probationer homes.
- **Site planning requirements**—The site planning requirements for group homes and residential care facilities are no different than for other residential uses in the same zone.
- **Definition of family**—The County’s definition of family states: “An individual or two or more persons related by blood, marriage, adoption, or other established civil union, or a group of not more than five unrelated persons, living together as a single housekeeping unit.”

#### ***Extremely Low Income Households***

Extremely low-income households typically comprise persons with special housing needs, including but not limited to persons experiencing homelessness or at risk of homelessness, persons with substance abuse problems, and farm workers. Assembly Bill 2634 (Lieber, 2006) requires the quantification and analysis of existing and projected housing needs of extremely low-income households. Housing elements must also identify zoning to encourage and facilitate supportive housing and single-room occupancy units.

Action 3.5c states that the County will amend its zoning ordinance to explicitly define and allow for single-room occupancy units in the General Commercial (C-1/C-P) zone. In addition, to encourage and facilitate the development of housing affordable to extremely low-income households, action 1.1k states that the County will encourage the development of housing for extremely low-income households through a variety of activities such as outreach to housing developers on an annual basis, providing financial assistance (when feasible) or in-kind technical assistance or land writedowns, providing expedited processing, identifying grant and funding opportunities, applying for or supporting applications for funding on an ongoing basis, reviewing and prioritizing local funding at least twice in the planning period, and/or offering additional incentives beyond the density bonus.

The Riverside County Department of Mental Health has taken steps to hire a mental health housing coordinator, whose responsibilities will include the development of design criteria for housing suitable for the homeless mentally disabled (Action 1.4a, 1.4c, and 1.4d in Table H-52). The development standards for shelters are the same as for other structures in the applicable zoning designation.

#### **Parking Requirements**

In Southern California, providing sufficient parking for vehicles is an essential part of good planning. At the same time, however, parking can constrain the development of housing. For every parking space that is required, there is that much less land available for development. Excessive parking requirements can thus drive the cost of development up and the amount of housing down.

Residential parking standards are not deemed to be a constraint to the development, improvement, and maintenance of housing. The current standards (see Table H-41) are similar to



other counties, match current vehicle ownership patterns of residents, and do not have an impact on the cost or supply of housing. In an effort to assist with the development of housing affordable to lower-income households, the County will continue to allow for parking reductions for affordable projects and will review possible parking alternatives to ensure parking requirements are not a constraint to the development of housing (Action 1.2h).

**Table H-41 Residential Parking Requirements**

Type of Residential Development	Required Parking Spaces	Comments
Single-Family:	2 spaces/unit	
Second Units:	2 spaces/unit	May have a carport depending upon compatibility with surrounding uses.
Multifamily:		In addition, 1 space/employee <sup>1</sup>
Single bedroom or studio	1.25 spaces/unit	
Two bedrooms/unit	2.25 spaces/unit	
Three or more bedrooms/unit	2.75 spaces/unit	
Planned Residential Development:		
Single bedroom dwelling unit	1.5 spaces/unit	
Two or more bedrooms dwelling unit	2.5 spaces/unit	
Senior citizen (parking spaces shall be located no more than 150 feet from the unit they serve)	Same as single- and multifamily requirements	
Mobile Home Parks	2 spaces/travel trailer or mobile home	Spaces may be tandem but must provide 1 guest space for every 8 mobile home spaces

*Note: Unless otherwise specified, all parking must be within 300 feet of the use served, on the same parcel as the use, or on an adjoining appropriately zoned parcel.*

<sup>1</sup> *On-site employee parking (e.g., manager, landscaper, etc.)*

*Source: Land Use Ordinance of Riverside County No. 348*

The County’s Land Use Ordinance assigns parking standards with the intent to promote efficient land use as well as reduce street congestion and traffic hazards and promote vehicular and pedestrian safety. To ensure these goals are reached, the County requires a parking plot plan for dwelling units containing more than two families. In the case of mixed-land uses, the total required number of parking spaces equals the sum of the requirements for the various uses computed separately, unless approved otherwise. The granting of a shared parking provision (allowing uses with different hours of operation to share parking spaces to satisfy parking requirements) would translate into a reduction in acreage required for parking spaces and an associated reduction in land cost. Shared parking could be used as an incentive to the provision of higher density and affordable housing.

A multifamily project that was approved September 28, 2010 on 0.41 acres and proposed eight residential units (19.5 d.u.s/ac) complied with the parking standards as prescribed by the County Ordinance No. 348 as specified for high density housing development while being able to maximize overall density of nearly 20 dwelling units per acre. With that being said, the County,



and as previously stated, is considering the development of an affordable housing ordinance that will more effectively implement the state's density bonus program, as well as facilitate affordable housing development in the County. As part of this ordinance, the County intends to develop parking standards specific designed for projects that meet the income requirements of affordability in the County.

**Density Bonus**

Beyond local requirements, state law allows a developer to increase the density of a residential development up to 35 percent when the development includes either 11 percent very low-income units, 20 percent low-income units or 40 percent moderate-income units (Gov. Code Sec. 65915 and SB 1818). Table H-42 shows the density bonus required by state law for providing a given percentage of units affordable to those with very low, low and moderate incomes.

<b>Table H-42 Density Bonus</b>					
<b>Income Level</b>	<b>Percent of Project Made Affordable</b>	<b>Density Bonus</b>	<b>Additional Density Bonus for Every 1% Increase in the Number of Affordable Units Above the Initial Amount Up to the Maximum</b>	<b>Maximum Density Bonus</b>	<b>Percent of Project Made Affordable to Receive Maximum Bonus</b>
Very Low	5%	20%	2.5%	35%	11%
Low	10%	20%	1.5%	35%	20%
Moderate (Applies to Condominiums and Planned Residential Developments Only)	10%	5%	1.0%	35%	40%

*Source: Gov. Code Section 65915 and SB 1818*

As the percentage of affordable units increases, Government Code Section 65915 requires the County to grant increasing concessions or incentives to the developer. These concessions and incentives may include reductions in zoning standards, development standards, design requirements, mixed-use zoning, and other incentives reducing the cost of development. To make a project economically feasible, applicants may also request the waiver of development standards which are defined as site or construction conditions. The County of Riverside complies with the density bonus provisions required by state law in residential zones when requested by the project applicant.



## Design Standards

Design guidelines were initially developed by the Transportation and Land Management Agency (Planning Department) for the Rubidoux Village Area. Later, design guidelines were created for the Second, Third, and Fifth Supervisorial Districts. With the exception of commercial development, these district guidelines have been supplanted by the Countywide Design Standards and Guidelines.

These guidelines were adopted to advance several specific development goals of the districts, including:

- Ensuring that new homes are constructed in neighborhoods that are interesting and varied in appearance.
- Utilizing building materials and enhanced landscaping to promote a look of quality, both at the time of initial occupancy, as well as in future years.
- Encouraging efficient use of land while creating high quality communities that will maintain their economic value and long-term desirability as places to live and work.
- Incorporating conveniently located neighborhood parks, trails, and open space.

The Transportation and Land Management Agency has also assisted five communities in the Coachella Valley and three communities in western Riverside County to capture and articulate the communities' vision for themselves and develop guidelines to promote a unique and lasting sense of place for these communities. The communities in the Coachella Valley having guidelines are Bermuda Dunes, Desert Edge, Mecca, Thermal, and Vista Santa Rosa. The communities or areas in the western Riverside County are Citrus Vineyard Policy Area, Lake View Nuevo, and Temescal Valley. Design guidelines are now being developed for the Anza area of western Riverside County.

In general, the guidelines were prepared to address market rate housing developments. Because the guidelines have not been adopted by ordinance, the applicability of the guidelines to individual developments is currently subject to the discretion of the Board of Supervisors.

Generally, affordable housing approved in the unincorporated County has been multiple-family in nature. With the exception of the Mecca Design Guidelines, none of the other guidelines provide guidance for multiple-family development at this time. The Mecca Design Guidelines for multiple-family homes encourage techniques which reduce perceived size and scale of these larger buildings as well as incorporate features which enliven wall surfaces and facades, preventing monotonous and blank elevations. The cost of these exterior enhancements may be offset by durable, cost-conscious, interior treatments.





Additionally, the Lakeview Nuevo Design Guidelines do provide guidance for the interface between new development and the existing rural areas. The goal is to help accommodate larger projects, like multi-family development, while preserving the rural ambience. Therefore, at present, design guidelines have had little or no effect on affordable housing.

Discussions with the development community have identified only three items which have increased market rate housing cost. These are:

- Tile roofs
- Masonry walls on interior lot lines
- Decorative masonry walls extending from the lot line fences or walls to the side of the houses, separating the front and back yards, called "return" walls

These discussions have revealed the following information:

1. Market rate builders virtually always install some type of tile or concrete tile roof, guidelines notwithstanding. So this requirement results in no added cost to market rate housing, and, as stated above, does not apply to affordable housing.
2. The interior masonry walls do add to the cost of market-rate units. However, these have not been required on affordable housing. The builders in several situations involving market rate housing have also had the requirement waived upon request.
3. The decorative masonry return walls add cost to market-rate housing, depending on the length of the wall (which should be as little as 5 feet) and the type of gate material used on one side.

To facilitate the goals of the design guidelines, the County has developed a number of policies that may provide financial incentives, bonus densities, fast-tracking, and fee waivers to those developers that include units in their projects that will be sold to low- and moderate-income households.

### **Building Codes**

A variety of building and safety codes, while adopted for purposes of preserving public health and safety, and ensuring the construction of safe and decent housing, have the potential to increase the cost of housing construction or maintenance. However, any increased cost is justified by the corresponding protection of public health and safety.

Through the periodic amendment of Ordinance No. 457, Building Codes and Fees, Riverside County establishes its local building codes, incorporating international and state standards with minor modifications to fit local conditions. The County's building codes are based on regulations necessary to protect public health, safety, and welfare. The County adopts updates as the code is



amended. Residential code enforcement in Riverside County is performed on a complaint basis. Through a review of all applicable building code amendments approved by the County Board of Supervisors during the plan period, none have impacted the development process, cost, timing, or in any way increased the burden or constraint of government controls on the production of housing. The County has made amendments, listed below, to the local code. These amendments have been made to ensure public health and safety and do not pose a constraint to the development of housing.

### ***Building Code Amendments***

1. No building permit shall be issued if it violates any state law or county ordinance.
2. Level lots shall have the finished floor elevated a minimum of one foot above the adjacent ground.
3. Sloping lots shall have a finished floor elevated a minimum of one foot above the finished pad elevation measured at the upstream edge of the structure.
4. Where the lot drains towards the adjacent road or is subject to water impound behind an adjacent road, the finished floor shall be elevated a minimum of one foot above the center line of that adjacent road.
5. The submission of a building permit shall be subject to a deposit-based fee.

Americans with Disabilities Act—The County’s building code requires that new residential construction comply with the federal Americans with Disabilities Act (ADA). ADA provisions include requirements for a minimum percentage of units in new developments to be fully accessible to persons with disabilities. Provisions of fully accessible units may also increase the overall project development costs. Unlike the Uniform Building Code, however, enforcement of ADA requirements is administered under federal law.

The ADA Standards for Accessible Design, or the “ADA Standards,” refer to the requirements necessary to make a building or other facility architecturally (physically) accessible to people with disabilities. The ADA Standards identify what features need to be accessible, set forth the number of those features that need to be made accessible, and then provide the specific measurements, dimensions, and other technical information needed to make the feature accessible.

Compliance with building codes and the ADA may increase the cost of housing production and can also impact the viability of rehabilitation of older properties required to be brought up to current standards. These regulations, however, provide minimum standards that must be complied with to ensure the development of safe and accessible housing.



## **Site Improvements**

Site improvement costs include the cost of providing access to the site, clearing the site, and grading the pad area. In the case of a subdivision, such costs may also include major improvements such as building roads and installing sewer, water, and other utilities. As with land costs, several variables affect costs, including site topography and proximity to established roads, sewers, and water lines. Engineering and other technical assistance costs are usually included with site improvements as these services are required to ensure that development is constructed according to established codes and standards.

The County sets forth varying levels of improvement standards that are dependent upon the lot size and density of a particular development. Typical site improvements for high density development include half-width street improvements for all frontage streets, built to General Plan standards. A typical local street width is 56 feet with 32 feet of pavement (two lanes). In addition, the appropriate level of R-O-W landscaping, 8-inch curb and gutter, and sidewalk improvements (either curb or parkway adjacent) are required for property frontage. Water, sewer, and drainage facilities are traditionally not under the direct control of the County. The County of Riverside coordinates with several water and sewer districts that directly administer the construction of water and sewer improvements. These improvements, for a high density/affordable housing project, typically require both potable and reclaimed water systems. With respect to flood control and drainage facilities, these on-site improvements are under the direct control of either the Riverside County Flood Control and Water Conservation District or the Coachella Valley Water District (CVWD). On-site drainage facilities can range from 24 inches to 72 inches in diameter depending upon site conditions. These and other site improvement costs are typical of unincorporated jurisdictions in California and do not impose a significant constraint on the development of housing within the unincorporated areas of Riverside County. The County does not impose any unusual requirements as conditions of approval for new development.

## **Development Fees**

Various fees and assessments are charged by the County and other agencies to cover the cost of processing development permits and providing services.

Development fees are passed on to renters and homeowners in the cost of housing, and thus affect housing affordability. Fees associated with the extension and installation of utilities can be particularly significant. Most agencies involved in the County's development review process obtain a majority of their operating revenues through development fees, and this trend is likely to continue in the future. These fees also help ensure quality development and the provision of adequate public services. As such, fee waivers as an incentive to produce affordable housing could adversely affect the General Fund. However, for high priority affordable housing projects, the County has used redevelopment housing set-aside funds to help pay application fees and other costs associated with the development review process. This method of reducing some of the processing costs associated with affordable housing



projects will continue to be utilized in the future on a case-by-case basis to help address barriers to affordability.

The County also refrains from imposing fees on second units on existing family lots even though they may contribute to the need for public facilities. This policy is based upon second units providing relatively affordable housing for low- and moderate-income households without public subsidy.

<b>Table H-43 Recent Representative Project Development Fees</b>		
Department	Fees	Amount
Building & Safety	BRS & BNR Plan Check & Building Permit Inspection Fees* ( <i>*Deposit Based</i> )	\$72,574.42
	NPDES Inspections Fee* <i>*Included in Deposit Based Grading Permit.</i>	\$4,714.13
	Grading Bonds	\$22,500.00
	Geo-tech Soils Report	\$1,897.20
Transportation	Encroachment Fees	\$200.00
	Street Light Plan Review & Inspection	\$91,095.12
	Annexation Fees into Lighting Landscaping & Maintenance Dist.	\$2,500.00
Dept of Public Health, Industrial Hygiene	Acoustical Study Review Fees	\$500.00
Coachella Valley Water Dist	Plan Review Fees for Water & Sewer	\$3,572.00
	Drainage Plan Submittal Review	<i>Transportation Dept. review</i>
Fire Dept.	Fire's Building Plan Check Fee <i>*\$1,056.00/Bldg. Permit Deposit-Based</i>	\$13,728.00
TLMA	Development Impact Fees* ORD. 659 <i>*\$2,481/Dwelling Unit</i>	\$200,961.00
	Open Space Mitigation Fee ORD. 875 <i>*\$1,284/Dwelling Unit</i>	\$104,004.00
	TUMF Fee ORD. 673 <i>*\$1,2760.80/Dwelling Unit TUMF Exempt if Determined Low-Income Housing</i>	\$103,420.80
Planning Dept., Landscaping Section	Landscaping Minor Plot Plan Fees* <i>*Deposit Based</i>	\$2,040.00
<b>Total Fees</b>		<b>\$623,706.67</b>



### ***Planning, Surveyor and Building Fees***

The County has an established fee schedule, effective as of January 11, 2010, based on the permits and requirements of Ordinance No. 348, Ordinance No. 460, Ordinance No. 659.7 and CEQA.

The County acknowledges that fees and the requirements for CUPs are potential constraints to development of housing affordable to farm workers and very low-income households, as are any requirements for expenditures of funds by these persons or households. The fees for the processing of development applications are based on the average cost of these applications, but the fees are deposit-based. If a lower than average number of person-hours is needed to process the application, the applicant is provided with a refund at the end of the process. If a higher than average number of person-hours is required to process the application, additional funds are required from the applicant. The purpose of the deposit-based system is to establish a nexus between the resources used to process the application and the fee charged for its processing on an individualized basis. The only alternative would be for the fees to be subsidized by another entity (such as the Housing Authority or a nonprofit entity such as the Coachella Valley Housing Coalition).

Plot Plan No. 24228 is a proposal for 81 affordable housing apartments within 10 two-story multiple dwelling buildings, one community building, and 217 parking spaces on 14.2 acres. Information has been previously presented herein that demonstrates the comprehensive amount of planning fees that are required for such a project. Plot Plan No. 24228 is being presented as an example of a privately entitled affordable housing project in order to establish an appropriate baseline for calculating the total impact of development fees and exactions placed onto such projects by the County of Riverside. This is important to recognize as publically developed projects do not incur the amount of fees typically required of privately developed projects

Riverside County's Surveyor's Office charges separate fees for surveying, survey monument field inspection, Ordinance No. 653 (Record of Survey, Recording Fee and Corner Records), and hourly miscellaneous fees. In most cases the land development processing fees are on a deposit-based system, with the actual cost basis determined on an established base fee plus additional costs per number of units, acreage, or other factors. All fees charged per acre are based on the gross acreage of the project site. All fees, with the exception of Fish and Game Fees, and selected miscellaneous fees, are subject to an additional 2.0% Land Management System Fee surcharge.

The Building and Safety Department has divided its fee schedule into three different categories: 1) fixed permit fees, 2) deposit-based fees and 3) commercial and mobile home fees. Building and Safety permit fees vary by the specific type of permit. In relation to housing, many of the Building and Safety fixed permit fees relate to miscellaneous permits such as residential electrical permits and wall/fencing permits where fees can range anywhere from \$70.80 to \$869.24. Deposits for residential building permits are valuation based and the permits range from items such as single-family attached permits and



multifamily permits and also include miscellaneous permits such as hourly inspection permits. Initial deposits for deposit-based fee permits can range anywhere from \$131 to \$5,401.82 depending on permit type. Lastly, mobile home permit fees can either be fixed or deposit-based depending on the type of permit. Mobile home fixed-fee permits range from residential mobile home permits (\$196.53) to permanent foundation permits (\$295.27). Mobile home deposit-based fee permits range from residential site preparation permits to residential factory built permits, which range from \$508.96 to \$679.5, respectively.

#### **County Mitigation Fees**

In addition to the aforementioned fees, the County assesses various mitigation fees in order to help mitigate development occurring within the County. The most common mitigation fees are: (1) Development Mitigation Fee; (2) Transportation Uniform Mitigation Fee; (3) Western Riverside County Transportation Uniform Mitigation Fee; (4) Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee; (5) Coachella Valley Multiple Species Habitat Conservation Plan Mitigation Ordinance; (6) Traffic Signal Mitigation Fee; (7) Road and Bridge Benefit District Fee; (8) Riverside County Fire Mitigation Fee; and (9) Stephens' Kangaroo Rat Fee.

**Development Impact Fee (Ordinance No. 659)**—One of the primary purposes of the Development Mitigation Fee is to alleviate the impacts created by new residential development in unincorporated areas of the County for the following three basic types of facilities: public facilities; regional parkland and recreational trails; and habitat conservation and open space. Specific facilities impacted include: communication facilities; hospital facilities; health services; mental health facilities; libraries; regional parks; juvenile detention facilities; public social service facilities; transportation; sheriff and jail facilities; courts; County government facilities; and habitat conservation and open space. The Public Facilities Fee was determined by identifying specific facilities according to the areas served and levying fees for those areas based on the construction costs, revenue sources, and number of persons anticipated to be served. Overall, the combined Development Mitigation Fees range from \$3,598 to \$7,280 per unit depending on location, physical terrain, and level of service currently in the area, etc. Refer to Riverside County Ordinance No. 659 for further information.

**Transportation Uniform Mitigation Fee (Ordinance No. 673)**—The County established the Transportation Uniform Mitigation Fee (TUMF) program for funding the engineering, purchasing of right-of-way, and constructing of transportation improvements required by the year 2010 in the Coachella Valley. This fee is required of only those land developments in the Coachella Valley. The fee amounts are based on an equation involving the number of average weekday trips generated by a particular development. Trip generation rates are calculated at \$192 per average daily trip for all residential developments. Refer to Riverside County Ordinance No. 673 for further information.





***Western Riverside County Transportation Uniform Mitigation Fee (Ordinance No. 824)***—Fees collected pursuant to Ordinance 824 shall be used to help pay for the construction and acquisition of land associated with enlarging the capacity of the Regional System of Highways and Urban Arterials in Western Riverside County. Such improvements have been identified in the 2009 Nexus Study. The fee is imposed on new developments that treat impacts on traffic and the need for improvements. TUMF fees range from \$8,873 per single-family residential unit to \$6,231 per multifamily residential unit. Given the current economic and development trends, a temporary 50 percent reduction in TUMF fees was approved, commencing on January 1, 2010 and ending on December 31, 2010. This was done in order to encourage development in western Riverside County by lowering the costs of development. Refer to Riverside County Ordinance No. 824 for further information.

***Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee (Ordinance No. 810)***—The Western Riverside County Multiple Species Habitat Conservation Plan Mitigation Fee was established in order to implement the goals and objectives of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) and to mitigate the impacts caused by new developments in western Riverside County. The fee will supplement the financing of the acquisition of lands supporting species covered by the MSHCP and to pay for new development's share of this cost. The fee commonly referred to as the "Open Space" fee ranges from \$859 per dwelling unit for residential developments with a density greater than 14.1 dwelling units per acre to \$2,354 per dwelling unit for residential developments with a density of less than 8.0 dwelling units per acre. Refer to Riverside County Ordinance No. 810 for further information.

***Coachella Valley Multiple Species Habitat Conservation Plan Mitigation Fee (Ordinance No. 875)***—The fee was established in order to acquire and conserve lands necessary to implement the MSHCP. The fee shall be paid for each residential unit, development project, or portion thereof to be constructed within the County that is within the boundaries of the Coachella Valley MSHCP. Three categories of the fee are defined for residential development and range from \$235 per dwelling unit for residential developments with a density greater than 14.1 dwelling units per acre and \$1,284 per dwelling unit for residential developments with a density of less than 8.0 dwelling units per acre. Refer to Riverside County Ordinance No. 875 for further information.

***Traffic Signal Mitigation Fee (Ordinance No. 748)***—The Traffic Signal Mitigation Program Ordinance was established to fund the installation of traffic signals and related road improvements needed to mitigate the cumulative environmental impacts of additional traffic generated by new development projects. The current fee is \$232 per single-family residential unit and \$216 per multifamily unit. For senior/retirement single-family residential the current fee is \$155 per dwelling unit and for senior/retirement multifamily residential the current fee is \$144 per dwelling unit. Refer to Riverside County Ordinance No. 748 for further information.



**Road and Bridge Benefit District Fee**—The County has created a program establishing areas of benefit and determining fees to be collected to finance the construction (and all preliminary design acquisition and contract administration costs) of bridges and major thoroughfares to serve each area. Residential developments within an established area of benefit pay the mitigation fee per dwelling unit. There are currently four Road and Bridge Benefit Districts established for Riverside County: Southwest; Mira Loma; Menifee Valley; and Scott Road. Each district is broken into various zones which determine the fee amount. Fee amounts are then adjusted for any TUMF credits that have been given for the development project. The fee amount ranges from \$0 per dwelling unit in Zone E4 of the Menifee Valley District for residential development to \$5,074 per dwelling unit in Zone E1 of the Menifee Valley District. The Mira Loma District is the only district where fee amounts for residential developments are separated by single-family residential and multifamily residential. Single-family residential fees within the Mira Loma District range from \$884 per dwelling unit to \$2,681 per dwelling unit. Multifamily residential fees within the Mira Loma District range from \$417 per dwelling unit to \$1,857 per dwelling unit. Refer to Riverside County Ordinance No. 460, section 10.30 for further information.

**Other Mitigation Fees**—In addition to the mitigation fees summarized in the previous sections, other environmental and localized fees may be imposed upon a project. Some of these fees are associated with a particular area or jurisdiction of the County and are not applicable to all projects. These fees are summarized in Table H-44.

<b>Table H-44 Other Mitigation Fees</b>			
<b>Fee Name</b>	<b>Conditioning Entity</b>	<b>Fee Amount/Basis</b>	<b>Purpose of Fee</b>
Library Fees	County of Riverside Planning Department	Fee amount based on location	Construction and book purchases for a public library in Temecula.
School District	Each of Riverside County's 23 School districts	Fee amount based on square footage of structures -varies district-to-district	Construction and improvement of school facilities.
Quimby Act/Park Fees	Riverside County Regional Park and Open Space District County Service Area (CSA)	Fees vary by County Service Area (CSA) region and Park District	Purchase or improvement of recreation and park service lands for area residents. Fees can be paid in lieu of the dedication of land for parks.
Development Agreement	Contractual agreement conditioned by Planning Department	Based on contractual agreement between the developer and the County	Fee intended to pay for unfunded portions of public facilities, public services, parks, and habitat costs incurred by new growth.
Air Quality Fee	County of Riverside Planning Department	\$12.00 per lot (residential tract/parcel maps)	Funds staffing for Air Quality Element of County General Plan and implementing ordinances.

*Note: Fees in table reflect conditions as of 2006. These fees may have been restructured or revised in the interim. The table is provided to identify potential additional cost sources to development. It is not to be used as a means of calculating development fee costs for a project.*



### ***Infrastructure Fees***

The County, along with various agencies, charges fees for the provision of drainage, water, and sewer services. The fees are generally established based on regional service areas, and vary according to type and level of service provided by each agency and/or the County. The Riverside County Flood Control and Water Conservation District has established 17 Area Drainage Plans (ADP), with fees ranging from \$131 per unit in the Winchester/North Hemet ADP to \$12,636 in the Homeland/Romoland ADP.

There are numerous water and sewer providers in Riverside County, the largest being the Eastern Municipal Water District (EMWD), Western Municipal Water District (WMWD), and Coachella Valley Water District. Each service provider charges different fee amounts for service, usually as a per-unit fee. A complete inventory of fees by individual agency is simply too large to itemize in this document. As an example, however, EMWD, which serves a large portion of the County's geographic area, charges fees on a sliding scale according to zone for water backup service, a water deposit, a water equity fee, and water meter fees. Sewer services typically entail a sewer equity fee and a sewer connection fee averaging around \$1,877 per unit. Coachella Valley Water District typically assesses \$1,600 per single-family unit for water service, and \$9,600 for a multifamily unit.

### **Comprehensive Mitigation Fee Review**

The County also has an established comprehensive mitigation fee schedule, which was reviewed for appropriateness in September 2001, and will be subsequently revised where applicable. The mitigation fees generally address the added demands of growth in population, housing, and employment on the County's public facilities and infrastructure.

The County of Riverside completed a Comprehensive Mitigation Fee Review study, which was approved by the Board of Supervisors on November 11, 2006. The Comprehensive Mitigation Fee Review study and fee exemptions under Ordinance No. 659, including Table H-47, Other Mitigation Fees, centers only on those fees and exactions that are imposed and collected by the County's Planning Department for new construction in unincorporated areas. The ordinance contains exemptions for the following residential uses: a) reconstruction of a residential unit damaged or destroyed by fire or other natural causes; b) rehabilitation or remodeling of an existing residential building, and additions to an existing residential unit or building; c) the location or installation of a mobile home, without a permanent foundation, on any site; d) residential units in publicly subsidized projects constructed as housing for low-income households as such households are defined pursuant to Section 50079.5 of the Health and Safety Code (except any project or project applicant receiving a tax credit provided by the State of California Franchise Tax Board); e) detached second unit permits; f) construction of a single-family residential unit on a property wherein a mobile home, installed pursuant to an installation permit, was previously located prior to January 22, 1989; and g) construction of a residential unit replacing a residential unit which has been acquired by the Metropolitan Water District of Southern California for purposes of constructing Diamond Valley Lake. In addition, the fees would be reduced by 33.3 percent for senior citizens' residential units.

# County of Riverside General Plan

Housing Element 2013 - 2021



Ordinance No. 659 establishes development mitigation fees already exempted:

(a) Residential units in publicly subsidized projects constructed as housing for low-income households as such households are defined pursuant to section 50079.5 of the Health and Safety Code (except any project or project applicant receiving a tax credit provided by the State of California Franchise Tax Board; (b) the location or installation of a mobile home, without a permanent foundation, on any site; and (c) construction of any residential units in the Palo Verde Valley. It should be noted that mobile home parks and recreational vehicle parks are the only major types of residential use that requires a CUP; apartment projects are processed through a less costly plot plan review process and subdivisions are processed through the tract map process. Except for the amount of the fee and the review body, the plot plan review process is similar to the CUP review process in that CEQA review occurs and conditions are imposed that must be fulfilled before the project can be built or occupied.

Table H-45 summarizes the total fees (described above) imposed on residential development by the County. An analysis of developer impact fees charged under Ordinance No. 659, when applied to the County's 19 area plans, indicates that developer impact fees average about \$300 more in the Eastern County Area Plans than the Western County Area Plans. This is due in part to the different population densities of the two regions but also reflective of the Countywide effects of Proposition 13 that limited property taxes to 1 percent, resulting in an increase of infrastructure costs borne by the developer.

An update to the development mitigation fees was adopted by the Board of Supervisors on September 11, 2006, which went into effect November 11, 2006. The fees were adjusted for increases on the Consumer Price Index; however, fees were reduced overall for transportation projects funded by TUMF.

**Table H-45 Developer Impact Fee Summary by Area Plan**

<b>Developer Impact Fee by Area Plans Commencing 11-11-06</b>	<b>Single-Family Residential (\$ per dwelling unit)</b>	<b>Multifamily Residential (\$ per dwelling unit)</b>
<b>EASTERN COUNTY</b>		
Western Coachella	\$6,481	\$5,211
Desert Center	\$4,575	\$3,855
Palo Verde Valley	\$7,098	\$5,658
Eastern Coachella	\$7,280	\$5,815
<b>WESTERN COUNTY</b>		
Jurupa	\$4,613	\$3,842
Highgrove	\$3,628	\$3,064
Reche Canyon/Badlands	\$3,628	\$3,064
Eastvale	\$4,057	\$3,413
Temescal Canyon	\$4,416	\$3,700
Lake Mathews/Woodcrest	\$5,142	\$4,262
March Air Reserve Base*	\$3,598	\$3,039

Agenda Item No.: 3.5  
Area Plan: Countywide  
Zoning District: Countywide  
Supervisory District: Countywide  
Project Planner: Richard Fairhurst  
Planning Commission: January 15, 2014  
(Continued from December 4, 2013)

GENERAL PLAN AMENDMENT NO. 1119  
Applicant: Riv. Co. Transportation  
Engineer/Rep.: N/A

## COUNTY OF RIVERSIDE TRANSPORTATION DEPARTMENT STAFF REPORT

### PROJECT DESCRIPTION AND LOCATION:

**GENERAL PLAN AMENDMENT NO. 1119** proposes to amend General Plan Circulation Element Policy C 2.1 to include language clarifying that the Board of Supervisors may apply other Level of Service (LOS) targets on a plan, program or project that has completed an Environmental Impact Report, based on the Board's policy decision about the balancing of congestion management considerations in relation to the benefits, impacts and costs of future plans, programs and projects. The proposed amendment to General Plan Policy C 2.1 is not associated with any specific property, plan, program or project at this time and shall change the language of the policy as follows (with new text underlined, and deleted text shown as strike-out):

"Maintain the following countywide target LOS:

LOS "C" along all County maintained roads and conventional state Highways, except that:

~~As an exception,~~ LOS "D" may be allowed in Community Development areas, only at intersections of any combination of Secondary Highways, Major Highways, Arterials, Urban Arterials, Expressways, conventional state highways or freeway ramp intersections.

LOS "E" may be allowed in designated community centers to the extent that it would support transit-oriented development and walkable communities. (AI 3)

Other LOS may be allowed by the Board for a plan, program or project for which an Environmental Impact Report has been completed, based on the Board's policy decision about the balancing of congestion management considerations in relation to the benefits, impacts and costs of future plans, programs and projects."

### FURTHER PLANNING CONSIDERATIONS:

On December 4, 2013, the Planning Commission hearing for General Plan Amendment No. 1119 was continued one month due to staff requesting additional time to review and respond to five (5) letters of opposition received the day prior to the public hearing. No one appeared on the matter and no testimony was taken. Staff has consulted with County Counsel and now believes that an additional two (2) months will be required to prepare a response to the letters. Staff is therefore recommending another continuance of two (2) months to March 19, 2014. No additional letters have been received on this item since the December 4, 2013 hearing.

#### **I. The Transportation Department recommends that the Planning Commission:**

**CONTINUE GENERAL PLAN AMENDMENT NO. 1119 TO MARCH 19, 2014**

**PREVIOUS PLANNING CONSIDERATIONS:**

Based on new state mandates to reduce greenhouse gas emissions from the transportation and land use sectors, including AB 32 and SB 375, in April of 2012 the Southern California Association of Governments ("SCAG") approved the 2012 Regional Transportation Plan/Sustainable Communities Strategy ("RTP/SCS"), following certification of an Environmental Impact Report ("EIR"). The RTP/SCS was subsequently approved by all appropriate federal and state agencies as having complied with all applicable legal requirements, and includes a greater focus on funding for transit, bicycle and pedestrian improvements that may result in a decrease in intersection performance below Level of Service ("LOS") "C" while providing other potential transportation or environmental benefits that should be balanced and weighed when considering the specific environmental impacts of a particular transportation program or project.

It has been the policy and practice of Riverside County that the elected officials of the County have the authority to interpret and apply the County's General Plan policies. This policy and practice is consistent with established law, including cases affirming that principle that the governing body that adopts the general plan and its policies has a "unique competence to interpret those policies when applying them in its adjudicatory capacity." *Napa Citizens for Honest Government*, 91 Cal.App.4th at 386. (See also *Eureka Citizens For Responsible Government v. City of Eureka* (2007) 147 Cal.App.4th 357, 374-75.)

To manage future transportation and transit projects, including securing available public financing for such projects, the General Plan is proposed to be amended to clarify and restore the County's flexibility to consider and apply its intersection congestion level policy in the context of a full range of General Plan policies and an informed analysis of the relative benefits, impacts and costs of future plans, programs and projects. The proposed amendment to Policy C 2.1 assures that no new exception to the LOS "C" performance for intersections can occur unless there is a full environmental analysis under CEQA of the plan, program or project that could result in a reduced LOS.

**General Plan administrative element findings:**

The County's General Plan and Ordinance No. 348 set forth findings that must be made for the approval of a general plan amendment. The Administration Element of the General Plan and Ordinance No. 348 explain that there are four categories of amendments: Technical, Entitlement/Policy, Foundation, and Agriculture. Each category has distinct required findings that must be made by the Board of Supervisors at a noticed public hearing. General Plan Amendment No. 1119 falls into the Entitlement/Policy category, because it involves changes in a General Plan policy that does not change the Riverside County Vision, Foundation Component, or a General Plan Principal.

A Planning Commission resolution recommending approval of an Entitlement/Policy Amendment and a Board of Supervisors resolution approving an Entitlement/Policy Amendment shall include the first two findings listed below and any one or more of the subsequent findings listed below:

- (a) The proposed change does not involve a change in or conflict with: the Riverside County Vision; any General Planning Principle set forth in General Plan Appendix B; or any Foundation Component designation in the General Plan.
- (b) The proposed amendment would either contribute to the purposes of the General Plan or, at a minimum, would not be detrimental to them.
- (c) Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.



(d) A change in policy is required to conform to changes in state or federal law or applicable findings of a court of law.

(e) An amendment is required to comply with an update of the Housing Element or change in State Housing Element law.

(f) An amendment is required to expand basic employment job opportunities (jobs that contribute directly to the County's economic base) and that would improve the ratio of jobs-to-workers in the County.

(g) An amendment is required to address changes in ownership of land or land not under the land use authority of the Board of Supervisors.

**Consideration Analysis:**

**First Required Finding:** The first required finding explains that the General Plan Amendment No. 1119 must not involve a change in or conflict with the Riverside County Vision; any General Plan Principle; or any Foundation Component designation in the General Plan.

A. General Plan Amendment No. 1119 does not conflict with:

(1) The Riverside County Vision.

The objectives of the Riverside County Vision contained in Chapter 2 of the General Plan, especially those that are related to Transportation, will not be changed by the proposed amendment and will continue to be considered under the amended policy.

(2) Any General Plan Principle.

The General Plan Principles identified in Appendix B of the General Plan will not be changed by the proposed amendment and will continue to be considered under the amended policy.

(3) Any Foundation Component designation in the General Plan.

The proposed policy will not change any Foundation Component designation in the General Plan and it does not conflict with any Foundation Component designation.

**Second Required Finding:** The second required finding explains that General Plan Amendment No. 1119 must either contribute to the achievement of the purposes of the General Plan or, at a minimum, would not be detrimental to them.

General Plan Amendment No. 1119, on its own, does not authorize or approve any project or activity that would result in a physical change to the environment. Additionally, the County has in the past balanced its general plan policies, and in adopting this amendment is clarifying and restoring the County's existing General Plan interpretative practice and is not implementing any change in County practice that would result in any adverse effects on the purposes of the General Plan. Therefore, the proposed General Plan Amendment will not be detrimental to the achievement of the purposes of the General Plan.

**Third Required Finding:** In addition to the two above findings, the General Plan indicates that an additional finding, from a list of five, must also be made.

The appropriate additional finding for General Plan Amendment No. 1119 is:

- c. Special circumstances or conditions have emerged that were unanticipated in preparing the General Plan.

General Plan Amendment No. 1119 is intended to clarify the intent of Policy C 2.1 so that it reflects the Riverside County Board of Supervisor's discretion to interpret the Riverside County General Plan policies in accordance with CEQA. The outcome of recent litigation has resulted in unanticipated circumstances that could prevent the County's interpretive practice with respect to this policy, and the proposed amendment clarifies that this policy is subject to the County's normal interpretive practices.

**FINDINGS:**

1. The proposed General Plan Amendment is a Policy Amendment to the Circulation Element of the Riverside County General Plan.
2. The project is not associated to any specific property at this time and before any particular site would apply the amended policy, all environmental issues will be analyzed in site specific environmental impact reports or other environmental documents.
3. General Plan Amendment No. 1119 is exempt from CEQA pursuant to CEQA Guidelines section 15061(b)(3) because it can be seen with certainty that there is no possibility that GPA No. 1119, on its own, may have a significant effect on the environment. GPA No. 1119 allows the Board to consider an alternative Level of Service (LOS) target for a project when an EIR has been completed for that particular project when considering and balancing the particular project as a whole. Nothing is automatic or as a matter of right under GPA No. 1119. Neither the current language of General Plan Policy C.2.1, nor the proposed language to be added by GPA No. 1119, uses mandatory terms. In fact, both use the term "allowed" and therefore, recognize flexibility in the policy. On its own, GPA No. 1119 has no effect on the environment.

GPA No. 1119 does not commit Riverside County to any particular course of action regarding future development projects that may affect the environment, nor does it authorize any future development project to deviate as a matter of right from the County's existing General Plan LOS targets. Similarly, the GPA No. 1119 will not create the need for future projects. Future projects may fall within the current General Plan LOS targets, or future projects may adopt statements of overriding considerations for traffic impacts under CEQA - at which point the Board of Supervisors may allow (or disallow) the project to proceed notwithstanding adverse traffic impacts relative to the LOS C target. When the County makes decisions on development projects in the future, the County will have to review the potential environmental impacts of such projects.

There is no specific development application associated with GPA No. 1119 and it does not commit the County to any development. To perform any environmental analysis at this early stage would require the County to speculate as to what roads might be involved, what type of development or use might be proposed, and what impacts a future development project might have on current General Plan LOS targets. "An accurate, stable and finite project description is the *sine qua non* of an informative and legally sufficient EIR." *County of Inyo v. City of Los Angeles* (1977) 71 Cal.App.3d. 185, 193. Under these circumstances, environmental analysis at this time would be premature and meaningless.

Before development occurs on any particular site, all environmental issues will be analyzed in site-specific environmental impact reports or other environmental documents. State CEQA Guidelines section 15004(b) provides: "Choosing the precise time for CEQA compliance involves a balancing of competing factors. EIRs and negative declarations should be prepared as early as feasible in the planning process to enable environmental considerations to influence project program and design and yet late enough to provide meaningful information for environmental assessment." "Determining whether a project qualifies for the common sense exemption need not necessarily be preceded by

detailed or extensive fact finding. Evidence appropriate to the CEQA stage in issue is all that is required." *Muzzy Ranch Co. v. Solano County Airport Land Use Commission* (2007) 41 Cal.4th 372, 388.

The County has consistently applied its General Plan LOS policies to allow projects for which an EIR was prepared to proceed, and this pattern of General Plan implementation flexibility is imbedded in the General Plan EIR and further analyzed and documented by project-level EIRs. GPA No. 1119 simply restores the County's practice of allowing for deviations from the General Plan LOS targets for projects accompanied by an EIR, thereby assuring that there is "no possibility" that the Proposed GPA will result in any physical effect on the environment without CEQA compliance.

**CONCLUSIONS:**

1. The proposed General Plan Amendment will not include a change or conflict with the Riverside County Vision.
2. The proposed General Plan Amendment will not include a change or conflict with any General Plan Principle.
3. The proposed General Plan Amendment will not include a change or conflict with any General Plan Foundation Component.
4. The proposed General Plan Amendment will not include a change or conflict with any Foundation Component designation in the General Plan.
5. The adoption of the proposed General Plan Amendment will not adversely impact the environment. It can be seen with certainty that there is no possibility GPA No. 1119, on its own, may have a significant effect on the environment.

**INFORMATIONAL ITEMS:**

1. As of this writing, three (3) tribal responses to SB 18 notification have been received for General Plan Amendment No. 1119 since its initiation. Five (5) letters of opposition from three (3) different parties were received prior to the initiation of General Plan Amendment No. 1119 and were included in the presentation of the General Plan Initiation Procedure (GPIP) to the Planning Commission and Board of Supervisors. Five (5) letters of opposition were received prior to the December 4, 2013 Planning Commission hearing on General Plan Amendment No. 1119 and staff is requesting a two month continuance to allow more time to review and respond to these letters.



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-49  
Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
	<p>3.3d: Continue to utilize the following programs to assist special needs households: 1. Housing Choice Voucher Program (Section 8 Certificates).            2. Family Unification Program.            3. Family Self Sufficiency Program.            4. Housing Opportunities for Persons with AIDS (HOPWA).            5. Veteran’s Affairs Supportive Housing Program (VASH).            6. Foster Care Youth Program.            7. Tenant Based Rental Assistance Program.</p>	<p>HUD Housing Choice Voucher Program (Section 8 Rental Assistance), Family Unification Program, Family Self-Sufficiency Program, HOPWA, VASH, Foster Care Youth Program, TBRA</p>	<p>Housing Authority, EDA, DPSS</p>	<p>Program will continue as funding is obtained.</p>
	<p>3.3e: The Housing Authority shall continue its collaborative agreement with Riverside County Department of Mental Health to administer Shelter Plus Care housing assistance for mentally ill homeless persons in the City of Riverside and within western and eastern Riverside County, as funding is awarded. Services should be expanded to include western Riverside County during the planning period.</p>	<p>HUD Shelter Plus Care</p>	<p>Housing Authority/ DPSS</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3f: Maintain 469 public housing units and assist 8,499 extremely low- and very low-income recipients per year with Housing Choice Vouchers (Section 8 rental assistance vouchers).</p>	<p>HUD Housing Choice Voucher Program (formerly Section 8 Rental Housing Assistance)            FEMA, ESG, EHAP</p>	<p>Housing Authority</p>	<p>Ongoing, throughout the planning period.</p>
	<p>3.3g: DPSS shall continue to work with nonprofit organizations and participating cities, as applicable, on programs to prevent homelessness, including rental mortgage assistance.</p>	<p>FEMA, ESG, EHAP</p>	<p>DPSS</p>	<p>Ongoing, throughout the planning period.</p>

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-49  
Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
	3.3h: Support legislation for block grant entitlement of Supportive Housing Program and Shelter Plus Care Program funds.	HUD Supportive Housing program, Shelter Plus Care	DPSS	Ongoing
	3.3i: The County will continue to administer the Mobile Home Rent Stabilization Ordinance No. 760, limiting rent increases to correspond to the increase in the Consumer Price Index.		County Executive Office	Ongoing
Policy 3.4: Support programs that offer low- and moderate-income households the opportunity for home ownership.	3.4a: Continue to implement the Mortgage Credit Certificate Program (MCC) for low- to moderate-income homeowners.	CDLAC	EDA	Ongoing.
	3.4b: Continue to provide down payment assistance and closing cost assistance to low-income first-time homebuyers through the First Time Home Buyer Program.	HOME	EDA	Ongoing, as funding is available.
	3.4c: The Housing Authority will continue to market and find current Section 8 households who are renters and work with them to transition to homeownership until the program reaches capacity.	Section 8	Housing Authority	Ongoing.
Policy 3.5: Expand the availability of affordable and/or special needs housing through acquisition or conversion.	3.5a: Work with public or private sponsors to encourage acquisition/rehabilitation of existing multifamily units to be converted to senior housing with a portion of the units required to be reserved for households with incomes below 80 percent of the County median.	HOME, CDBG, HUD	EDA	Ongoing



**Table H-49**  
**Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
	<p>3.5b: Assist eligible nonprofit buyers in acquiring market rate apartments in exchange for reservation of a portion of the units to be made available at rents affordable to low- and moderate-income households.</p>	HOME, , CDBG	EDA	Ongoing
	<p>3.5c: Consider the conversion of small older hotels to transitional housing facilities, emergency shelters or single-room occupancy units (SRO) in conjunction with qualified nonprofit organizations. The Department of Social Services shall work with participating jurisdictions when requested.</p> <p>In addition, the County will amend the Zoning Ordinance to define SROs and allow them to be permitted in the General Commercial Zone (C-1/C-P) with a conditional use permit.</p>	HUD, HCD	DPSS, nonprofits	No projects reported during previous planning period. Program will continue with additional research and outreach.
<b>Goal 4</b>				
<p>Policy 4.1: Evaluate the County's planning policies, codes, development review procedures, and fees as part of the Housing Element update cycle to ensure that they do not represent unjustified constraints to the development of housing. (Note: Other elements of the General Plan address various components of residential neighborhoods that could</p>	<p>4.1a: Annually review fees to ensure they do not pose a constraint to the development of housing.</p>	General Fund	CTLMA	Annually.



# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-49  
Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
<p>add to the cost of housing— e.g., Safety Element or Circulation Element—but are considered essential ingredients of balanced communities.)</p> <p>Policy 4.2: Establish and maintain accurate planning and demographic data using GIS (geographic information systems).</p>	<p>4.2a: For projects over 100 units, encourage the developer to provide current market analysis to determine supply and demand for special needs affordable housing projects as part of the application for County assistance.</p> <p>4.2b: Evaluate the affordability via interest rates, underwriting issues, and cost per unit.</p> <p>4.2c: Determine strategies for specified needs: • Dispersed (Countywide) versus target areas • Level of assistance • Nonprofit versus for-profit developers • Competitive application/RFP process first-come, first-served • Types of housing— seniors, farm workers, special needs, assisted living, multifamily, single-family, mixed-use, transit-oriented developments, etc. • Market group—small family, large family, persons with disabilities, farm workers, etc. • Type of program—rehabilitation, new construction, rental housing, owner-occupied, acquisition of existing housing, etc. • Fee reductions, waivers, or other incentives • Services such as child care</p>	<p>General Fund</p>	<p>EDA</p>	<p>Ongoing, as projects are processed.</p>
			<p>EDA</p>	<p>Update annually</p>
			<p>EDA/TLMA</p>	<p>These policies include provisions that have been previously quantified. The establishment of strategies for specific needs will be completed by the completion of the current planning period (2014).</p>



**Table H-49**  
**Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
Policy 4.3: Ensure that administrative functions are consistent with housing policies and goals.	4.3a: Identify programs of greatest use based on community needs, potential funding, available resources; prioritize programs based on funding sources such as grants, deferred/amortized loans, land writedowns, loan guarantees, rental assistance, etc. 4.3b: Propose and advocate legislative efforts to promote jobs/housing balance. Participate in subregional (WRCOG and CVAG) and regional (SCAG) agency meetings to establish housing goals beyond County lines and ensure that regional plans are consistent with County policies and goals. Prepare legislative proposals as necessary.	CDBG	EDA	By the end of the planning period.
	4.3c: Implement the County's new economic development strategy which utilizes both public and private sector financing to stimulate economic development utilizing CDBG funding.	CDBG	EDA/County Counsel	Establish a quarterly meeting schedule with County's legislative advocates to ascertain the impact existing and proposed legislation..
	4.3d: Seek changes in state policy to:	CDBG	EDA	The County's economic development strategy will be refined and implementation will be completed by 2014. Ongoing.
	<ul style="list-style-type: none"> <li>• Encourage the production of affordable housing such as construction defect litigation reform and additional low-income tax credits.</li> <li>• Revise the 1986 Tax Reform Act, which removed private incentives to construct and own rental housing and therefore contributed to the decline of multifamily construction.</li> </ul>	General Fund	EDA	
	4.3e: Continue to require management plans for special needs affordable housing projects to reduce potential opposition.	General Fund	EDA/TLMA Planning	Ongoing, as projects are processed.

# County of Riverside General Plan

## Housing Element 2013 - 2021



**Table H-49  
Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
	<p>4.3f: Maintain adequate staffing levels to correspond to size and complexity of housing projects.</p> <p>4.3g: Continue the Housing Review Committee Advisory Council to continue to develop solutions for farm worker housing and services</p>	<p>General Fund</p> <p>CDBG</p>	<p>All County departments</p> <p>EDA/4th District Supervisor</p>	<p>Ongoing, throughout the planning period.</p> <p>Ongoing, throughout the planning period.</p>
<p>Policy 4.4: Consistently monitor and review the effectiveness of the Housing Element programs and other County activities in addressing housing need.</p>	<p>4.4a: Continue annual reporting and monitoring housing activities. Information to be standardized should include, but not be limited to: jurisdiction in which the project is located; level of income (based on HUD classifications); household size and type of household (based on HUD classifications); the program(s) utilized for assistance and funding source; the agency or department responsible for the program or project; the total number of units; and other relevant factors to be determined. The standardized system should be used for reporting in association with the Consolidated Annual Performance and Evaluation Report (CAPER), and the Housing Element Annual Housing Status Report.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Annual monitor</p>
<p>Policy 4.5: Develop sound fiscal management practices to implement housing policies and programs.</p>	<p>4.5a: Review the current housing and infrastructure expenditures and programs of the various departments and agencies in the County to determine where they are implemented geographically (i.e., in unincorporated County or within incorporated cities) and develop strategies to target the resources where they will most benefit the County.</p>	<p>General Fund</p>	<p>EDA/TLMA</p>	<p>Ongoing.</p>



Table H-49  
Eight-Year Action Plan Summary

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
	4.5b: Identify and evaluate current and projected revenues such as general funds, federal and state entitlement, grants, housing bonds, , etc.	General Fund	EDA/RDA/TLMA	Ongoing
	4.5c: Determine the appropriateness of grants and loans. Consider developing and adopting grant policies that are consistent with housing goals.	General Fund	EDA/TLMA	Consider establishing a grant and loan policy by the end of the planning period.
	4.5d: Target future financial resources to meet future housing obligations.	Refer to Implementing Resources	EDA, Housing Authority	Ongoing.
<b>GOAL #5: REDUCE PER CAPITA RESIDENTIAL ENERGY USE.</b>				
Policy 5.1: Encourage the use of energy conservation features in residential construction and remodeling.	<p>5.1a: Create incentives for energy conservation above and beyond the requirements of Title 24 by:</p> <ul style="list-style-type: none"> <li>Developing a sliding scale fee assistance program. More energy measures = more fees waived.</li> <li>Providing developer incentives for the incorporation of active and passive energy conservation features in new residential construction.</li> </ul> <p>5.1b: The Department of Community Action shall continue to operate the LIHEAP and Home Weatherization programs to reduce maintenance and energy costs for households with low incomes and increase efforts to inform the public about available energy conservation programs.</p> <p>5.1c: Pursue grant funds for energy rehab costs and consumer education.</p>	Energy Efficiency Block Grant (EECBG) funded by the Department of Energy (DOE).	EDA/TLMA/Building and Safety	<p>Develop a Climate Action Plan that will include incentives for production of renewable energy resources and greater efficiencies than Title 24.</p> <p>Ongoing as projects are processed through the Planning Department.</p>
		California Conservation Corp., DOE, state Department of Community Services and Development, WEEK, Emergency Contingency Funds	DCA	Ongoing.
			DCA	Annually, or in response to NOFAs.

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-49  
Eight-Year Action Plan Summary**

POLICIES	ACTIONS	IMPLEMENTING RESOURCES	RESPONSIBLE AGENCY	TIME FRAME
	5.1d: Utilize bidding procedures in County rehabilitation programs to incorporate energy conservation measures.	CDBG,	EDA	Ongoing.
	5.1e: Promote level pay utility payments for the Housing Choice Voucher Program recipients (Section 8).	HUD	Housing Authority	Ongoing.
	5.1f: Annually evaluate and update the Section 8 utility allowance tables to account for increases and or decreases of energy consumption and costs of consumption.	General Fund	Housing Authority	Establish an annual reporting mechanism that provides reporting for section utility allowance tables. Reporting mechanisms shall be established by the end of the planning period.

Note: Refer to Implementing Resources Summary matrix for descriptions Implementing Programs and/or Implementing Resources. It should be noted that not all federal programs are administered by HUD, and not all state programs are administered by HCD.



## **IMPLEMENTING RESOURCES**

Table H-50, below, provides a general listing of available federal, state, private and local resources and programs which may: (1) be currently administered by the County in order to fund its programs, implement its current and proposed actions, and achieve its housing objectives; (2) not currently be administered or utilized by the County but which may be applied for on behalf of the County or other entities including individual jurisdictions, nonprofit agencies/CHDOs, developers, public housing authorities and other providers of housing; or (3) not be available to public jurisdictions but may be applied for by others (nonprofits, for-profit developers, homeowners, public service providers, etc.). The listing is comprehensive in terms of summarizing resources which are applicable to the County and its needs, but is not inclusive of every program available at the federal, state, or private level.



# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
<b>COUNTY PROGRAMS/RESOURCES</b>				
<b>General/Multiple Applications</b>				
CDBG Housing Loan Fund	Provides "gap" financing for housing development or rehabilitation projects that serve lower-income households. Financing is provided at below market rate, second or third position loans, in amounts and terms necessary to make a project serving lower-income households financially feasible. The developer is required to provide the bulk of the financing (between 75% to 90%) from non-CDBG sources.	HUD CDBG Allocation	1 New construction 2 Rehabilitation 3 Acquisition	County EDA
<b>Homeownership Assistance for First-Time Home Buyers and Low-Income Community</b>				
First Time Home Buyer (FTHB) Down Payment Assistance Program	The FTHB program provides HOME funds for down payment assistance to low- and very low-income households that have not owned homes within a three-year period. The program is available for households with an annual income that is not greater than 80% of the area median income published by HUD. The FTHB program provides 20% of the purchase price with a 15-year affordability period as a silent second loan.	HOME	Down payment assistance	County EDA
Mortgage Credit Certificate (MCC) Program	The California Debt Limit Allocation Committee (CDLAC) administers a tax-exempt private activity bond program that provides mortgage credit certificates to qualified buyers toward the purchase of single-family homes. The County of Riverside applies for these competitive funds annually. Offers income tax credit for qualified home buyers in unincorporated County and all participating cities. Qualified buyers use the MCC to reduce the federal tax liability by applying the credit to their net tax due equal to 15% of the annual interest paid on their mortgage loan.	CDLAC tax-exempt private activity bonds	Tax credit	County EDA
Housing Choice Mortgage Voucher Program	The Housing Choice Voucher (HCV) Homeownership Program (HP) allows qualified participants the option to purchase a home and use the HVC Housing Assistance Payment (HAP) toward mortgage payments and other housing costs.	HUD	Monthly Mortgage Assistance	County of Riverside Housing Authority



**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
<b>Improve Conditions of Substandard Housing and Existing Affordable Housing</b> Housing Rehabilitation Program (HRP and CHRP)	The HRP has two sources of funding, each of which governs how and where the program can be used. The HRP program provides one-time grants of up to \$20,000 to qualified low-income homeowners to repair or improve the quality of their homes. The grant allows homeowners to address both interior and exterior health and safety issues, housing quality standards, and handicapped accessibility improvements, and enhance the exterior appearance of their properties. Program participants using the HRP funded with CDBG funds must live in a participating city or the unincorporated County. Both programs require a 10-year affordability covenant.	CDBG – Participating cities (CHRP)	1 Interior rehabilitation 2 Exterior rehabilitation	County of Riverside
Senior Home Repair Program (SHRP)	The SHRP provides one-time grants of up to \$6,000 to qualified extremely low-income and very low-income senior homeowners (62 years or older) or extremely low-income and very low-income disabled persons of any age to repair or improve their homes. The grant requires that the repairs address health and safety issues and handicapped accessibility improvements.	CDBG Home Improvement Loan Fund	Rehabilitation and repair	County EDA
Enhanced Home Repair (EHR)	The EHR program provides one-time grants up to \$6,000 to extremely low-income and very low-income households for home repair or enhancements to address health and safety issues. The program is available to all homeowners regardless of age and it does not require a specific disability.	CDBG	Rehabilitation and repair	County EDA

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
CDBG Housing Loan Fund	The Housing Loan Fund is a CDBG-funded revolving loan fund which provides low interest and gap financing to private entities intending to improve the conditions of substandard housing and improve the conditions of existing rental housing affordable to low-income families, which is one of the five Consolidated Plan primary goals.	HUD-CDBG allocation	<ol style="list-style-type: none"> <li>1 Rehabilitation</li> <li>2 Acquisition and rehabilitation</li> <li>3 New construction of special needs housing</li> <li>4 Build infrastructure to support new construction of affordable housing</li> </ol>	County EDA
HOME Program	See HOME description under Federal Resources.			
<b>Address Farm Worker/Migrant Farm Worker Housing Needs</b>				
Mobile Home Park Assistance Loan Program	Provides financing for mobile home park rehabilitation and improvement projects to save very low- and low-income farm worker housing in the Coachella Valley. Eligibility is limited to existing unpermitted mobile home parks located in the unincorporated areas of the Coachella Valley. Affordability is protected by a 45-year deed restriction.		Preserve and rehabilitate mobile home parks	County EDA
Transitional and Supportive Housing	Ordinance No. 348,4706 was adopted March 22, 2011, to allow such facilities in compliance with Senate Bill 2 (which amended Sections 65582, 65583, and 65589.5 of the California Government Code). Transitional and supportive housing for more than six (6) individuals is considered a multifamily residence and is permitted subject to a discretionary permit as other multifamily housing units are permitted within the County. The County does not institute special or unique restrictions for transitional or supportive housing that would prevent the development of such uses.	Private funding	<ol style="list-style-type: none"> <li>1. Emergency Shelters</li> <li>2. Homeless Shelters</li> <li>3. Transitional support centers</li> </ol>	Planning
Farm Worker Housing	Farm worker housing projects are authorized with a Conditional Use Permit in the R-R, R-R-O, A-1, and A-2 zones. Fast Track authority is available for all farm worker projects	Private funding,	<ol style="list-style-type: none"> <li>1. Farm labor camps</li> </ol>	Planning, EDA



**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Mobile Home Tenant Loan Assistance Program	This program, recently combined with the Mobile Home Tenant Grant program, offers a loan to mobile home owners who are tenants of unpermitted mobile home parks or agricultural housing facilities and whose mobile home coach does not comply with state and local laws, and which do not have the physical and structural capacity to be repaired. The program provides financial assistance in the form of loans up to \$40,000 for rehabilitation to bring a mobile home unit up to code compliance, or may be used for replacement of the units if rehabilitation is structurally infeasible. Eligibility is restricted to very low-income owner occupants of mobile homes in the unincorporated areas of the Coachella Valley.		Preserve and rehabilitate mobile homes and provide home ownership opportunities	County EDA
Agricultural Housing Assistance Loan Fund Program	Provides financial aid in terms of an at- or below-market interest loan up to \$75,000 to bring existing agricultural housing facilities in danger of closure due to lack of facility compliance with federal, state and/or local laws and regulations up to code, or to provide infrastructure improvement projects. Targeted solely to low-income farm workers in the unincorporated areas of the Coachella Valley. Units are restricted for a term of 55 years.		1 Rehabilitation 2 Infrastructure improvements	County EDA
<b>Assist in Development of Affordable Rental Housing</b>				
HOME Program	Continue to provide loans to eligible nonprofits, CHDOs and developers of affordable housing for new construction and acquisition of affordable rental housing projects. 15% of the HOME allocation granted for Riverside County is reserved for private, nonprofit organizations.	HOME	1 New construction 2 Acquisition/rehabilitation 3 Tenant-based rental and security deposit assistance	County EDA
CDBG	The CDBG Housing Loan Fund is a revolving loan fund which provides low interest and gap financing to private entities in pursuit of achieving the expansion of the affordable rental housing stock for low-income and special needs households, which is one of the primary goals of the County's Consolidated Plan.	HUD-CDBG Allocation Program	New construction acquisition/rehabilitation	County EDA

**County of Riverside General Plan**  
*Housing Element 2013 - 2021*



**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
<b>Provide Shelter for Homeless</b>				
Once in a Lifetime Homeless and Diversion Payment Program	Provide funds to qualified applicants to cover living costs.	Federal, state and local	Homelessness prevention	County DPSS
CDBG	The County allocates a portion of CDBG funds to provide assistance for public services and public facilities to operate and support emergency shelters and transitional facilities.	HUD-CDBG allocations	Operation expenses of emergency shelters and transitional facilities	County EDA
Continuum of Care Homeless Assistance Program	The County's Continuum of Care program is administered by the Department of Public Social Services (DPSS). The program addresses homeless programs and services utilizing a variety of funding resources and programs. See Continuum of Care (McKinney Act), Supportive Housing Program, Shelter Plus Care, and Housing Choice Voucher Program (Section 8 Moderate Rehabilitation) for SRO program under the Federal Resources heading)	Federal ESG, CDBG, FEMA, Supportive Housing Program, Shelter Plus Care; state HCD	Homeless outreach Homeless prevention Homeless facilities Transitional facilities Permanent supportive housing support services	County DPSS
Emergency Cold Weather Shelter Program	Provide emergency cold weather shelter at four locations throughout the County, including two National Guard Armories.	HUD Emergency Shelter Grants, Emergency Food and Shelter Grants, General Fund	Cold weather shelters	County DPSS
Federal Emergency Shelter Grants	See description under Federal Resources.			
Emergency Food and Shelter National Board Program	See description under Federal Resources.			
Emergency Housing Assistance Program	See description under State Resources.			
Federal Emergency Management Agency	See description under Federal Resources.			



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
HOME Investment Partnership Formula Grant Program	See description under Federal Resources.			
<b>Housing Assistance</b>				
County Weatherization Program	Provide weatherization services and assistance through grants and financial assistance. Activities may include energy conservation measures, weatherization such as weather stripping, water heater wrap, insulation of various home components, etc., and financial assistance.	Southern California Gas, DOE, WEER, LIHEAP	<ol style="list-style-type: none"> <li>1. Weatherization</li> <li>2. Rehabilitation</li> </ol>	Department of Community Action
<b>Misc.</b>				
Density Bonus Ordinance	Provides for the adoption of a Density Bonus Ordinance consistent with state law by.		New construction	County Planning Department
<b>Federal Resources</b>				
223(f) mortgage Insurance for Purchase/Refinance	Mortgage insurance for purchase or refinance of existing multifamily units.	HUD	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 New construction</li> <li>3 Administration</li> </ol>	Applied for by others
241(a) Rehabilitation Loans for Multi-Family Projects	Provides mortgage insurance for improvements, repairs, or additions to multifamily projects	HUD	<ol style="list-style-type: none"> <li>1 Energy conservation</li> <li>2 Multifamily rehabilitation</li> </ol>	Applied for by others
224(d)(3) and (4) Mortgage Insurance for Rental Housing	Provides mortgage insurance to fund good quality rental or cooperative housing for low- and moderate-income families.	HUD	<ol style="list-style-type: none"> <li>1 New construction</li> <li>2 Refinance</li> </ol>	Applied for by others
Capital Fund Grant Program	Funds are allocated for the modernization of all HUD affordable housing. This modernization includes compliance with Section 504 of the Rehabilitation Act of 1972 for accessibility requirements and capital improvements in the affordable housing projects.	HUD	<ol style="list-style-type: none"> <li>1 Rehabilitation</li> <li>2 Accessibility retrofit</li> </ol>	County of Riverside Housing Authority



# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Community Development Block Grant (CDBG) Entitlements	Provides formula funds to metropolitan cities and urban counties to support the development of viable urban communities by providing decent housing and a suitable living environment and expanding economic opportunities.	HUD	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 Infrastructure improvements</li> <li>3 Group homes/homeless and transitional housing</li> <li>4 Housing preservation and rehabilitation</li> <li>5 New construction (if completed by nonprofit groups)/self-help housing</li> <li>6 Public services and community facilities</li> <li>7 Landlord/tenant mediation</li> <li>8 Accessibility retrofit and energy conservation</li> <li>9 Administration</li> </ol>	County of Riverside EDA
Community Development Technical Assistance Grants	Provides technical assistance funds under four separate technical assistance programs: CDBG technical assistance; Community Housing Development Organization (CHDO) technical assistance; HOME technical assistance, and Supportive Housing technical assistance.	HUD	Technical assistance	Applied for by others/County
Community Facilities Loans	To provide loan and loan guarantees to fund the construction, enlargement, or improvement of community facilities in rural areas, towns, and cities with populations up to 50.	Rural Housing Service	<ol style="list-style-type: none"> <li>1 Community facilities</li> <li>2 Infrastructure/public works</li> </ol>	Applied for by others
Congregate Housing Services Program	Provides grants to public agency or private nonprofits to provide meals and other supportive services to frail elderly and persons with disabilities residents in federally assisted housing. Also supports remodeling to meet accessibility needs.	HUD	<ol style="list-style-type: none"> <li>1 Group homes/congregate</li> <li>2 Care social services</li> <li>3 Administration</li> </ol>	Applied for by others
Continuum of Care for Homeless Persons (McKinney)	Provides grants to assist the homeless through a combined NOFA for three programs: Supportive Housing, Section 8 SRO, and Shelter Plus Care. These programs provide services and transitional or permanent	HUD	<ol style="list-style-type: none"> <li>1 Rent subsidies (S+C)</li> <li>2 Rental housing rehabilitation</li> </ol>	Administered by County of Riverside DPSS



Table H-50  
Housing Resources/Programs Summary

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
	housing for homeless persons. (Specific programs are described individually in this matrix.)		3 Acquisition of group homes, homeless shelters, transitional housing and SROs.	
Disaster Relief Program	Provides grants for assistance to jurisdictions and victims hit by emergencies or disasters, as declared by the President. Funds are for repair, restoration, reconstruction or replacement of public and nonprofit facilities, loans to local government to cover tax and revenue losses, and emergency shelter for up to 18 months.	FEMA	1 Homeless shelters, SROs, and transitional housing 2 Rehabilitation	Applied for by others and County (as needed)
Disposition of HUD Multifamily Housing	To dispose of multifamily housing owned or financed by HUD that is delinquent, under workout or foreclosed with mechanisms designed to preserve the low- and moderate-income housing stock. Provides loans and rent subsidies for a 15-year term, with priority given to nonprofit organizations.	HUD	1 Acquisition 2 New rental housing 3 Preserve existing affordable housing	Applied for by others
Emergency Food and Shelter (EFS) Program	EFS meets the needs of the hungry and homeless by providing funds to local public agencies and nonprofits to provide emergency food and shelter. Program funds are used to provide the following housing assistance, as determined by the local board in funded jurisdictions: lodging in a mass shelter or hotel; one month of rent or mortgage payment; one month's utility bill; and minimal repairs to allow a sheltering facility to function during the program year.	HUD	1 Homeowner assistance 2 Rental assistance 3 Emergency shelter assistance	Administered by County DPSS
Emergency Shelter Grants (ESG)	An entitlement program established under the Stewart B. McKinney Act. Annual grant funds are allocated on a formula basis. Funds are provided to jurisdictions for renovation, rehabilitation, conversion of buildings for use as emergency shelters for the homeless, and for payment of specific costs associated with maintenance and operation of shelters for homeless prevention activities. Eligible subrecipients are nonprofit shelter providers and public agencies. The County administers the funds from this program for a number of homeless facilities and services, and selects nonprofit agencies to receive ESG funds for emergency shelter and essential services for homeless.	HUD	1 Homelessness prevention 2 Rehabilitation/conversion of buildings for use as shelters 3 Cold weather shelters 4 30% on essential services 5 Operating costs	Administered by County EDA

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
FDIC Affordable Housing Program	Sell homes and multifamily property to provide homes for low- and moderate-income households. Provides purchase assistance for rehabilitation costs and closing costs.	Federal Deposit Insurance Corporation	1 Acquisition 2 Rehabilitation	Applied for by others
FEMA	FEMA offers disaster assistance for housing through low interest loans or cash grants for individuals and disaster grant assistance for the repair, replacement, or restoration of disaster damaged publicly owned facilities and the facilities of certain nonprofit organizations.	Federal Emergency Management Agency	1 Housing assistance 2 Rehabilitation 3 Homeless and transitional housing	FEMA
Federal Home Loan Bank Affordable Housing Program	Federal law requires each of the 12 District Federal Home Loan Banks to establish an Affordable Housing Program under which the District Bank provides low cost funds to member saving institutions for below market rate loans or grants for affordable housing activities. Member banks then provide grants and below market loans to organizations for the purchase, construction, and/or rehabilitation of rental housing. A minimum of 20% of the units must be occupied and affordable to very low-income households.	Federal Home Loan Bank	1 Acquisition 2 New rental unit construction 3 Rental unit rehabilitation	Applied for by others
Federal Home Loan Bank Community Investment Program	This program provides long-term funding at fixed rates to develop rental housing, including acquisition, rehabilitation and construction, or to finance first-time home purchases for families and individuals with incomes up to 115% of the area median income.	Federal Home Loan Bank	1 Acquisition 2 New rental unit construction 3 Rental unit rehabilitation 4 First time homeowner assistance	Applied for by others
HUD Single Family Property Disposition Program	Sells HUD-acquired single-family properties to expand homeownership opportunities and strengthen neighborhoods. Up to 10% of HUD-held single-family properties are made available for lease for use in homeless programs – rent is \$1.00 per year. Nonprofit organizations may purchase properties for use in homeless programs for 30% less than the HUD fair market value.	HUD	1 Homeowner assistance 2 Homeless facilities 3 Rehabilitation	Applied for by others
Homeless Providers Grants and Per Diem Program	Provides grants to nonprofits and public entities to develop programs that help veterans recover from homelessness, including transitional housing and supportive services for homeless veterans.	Department of Veterans Affairs	1 Acquisition 2 Operation 3 Social services 4 Homeless facilities	Applied for by others



# County of Riverside General Plan

## Housing Element 2013 - 2021

**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Housing Opportunities for Persons with AIDS (HOPWA)	Funds are allocated to the City of Riverside on behalf of all of the jurisdictions in Riverside County. Funds are made available countywide for supportive social services, affordable housing development, and rental assistance. Provides local governments and nonprofits the opportunity to devise long-term strategies for meeting the housing needs of persons with AIDS and their families.	HUD	<ol style="list-style-type: none"> <li>1 Project- or tenant-based rental assistance</li> <li>2 Supportive services and prevention activities</li> <li>3 Primary medical care administration</li> <li>4 Acquisition, rehabilitation, and leasing of property</li> </ol>	Administered by the City of Riverside
HOME Investment Partnership Formula Grant Program	The HOME Investment Partnerships program affords state and local government the flexibility to fund a wide range of low-income housing activities through housing partnerships among states, localities, private industry, and nonprofit organizations. The intent of this program is to expand the supply of decent, safe, and sanitary affordable housing. The HOME program provides local funds to finance the development of affordable ownership and rental housing, preservation of existing housing, and homeownership assistance. The County of Riverside utilizes HOME funds for: new construction assistance to CVHC, Habitat for Humanity, other CHDOs, developers, and participating jurisdictions; transitional housing facilities; predevelopment assistance, the First Time Home Buyers Assistance Program; and acquisition and/or rehabilitation of mobile homes and multifamily units. 15% of a state or local jurisdiction's HOME funds must be set aside for use by community-based nonprofit organizations (CHDOs). (See programs under County Resources.)	HUD	<ol style="list-style-type: none"> <li>1 New construction</li> <li>2 Multifamily acquisition and/or rehabilitation</li> <li>3 Site improvements</li> <li>4 CHDO assistance</li> <li>5 Homeowner assistance</li> <li>6 Tenant-based security deposit assistance</li> <li>7 Administration</li> </ol>	County EDA
Inner City Ventures Fund	As the lending arm of the Community Partners, this program provides loan financing to rehabilitation projects in endangered, low-, moderate-, and mixed-income historic neighborhoods.	National Trust for Historic Preservation	<ol style="list-style-type: none"> <li>1 Rehabilitation</li> <li>2 Homeless/SROs/ transitional facilities</li> </ol>	Applied for by others
Low Income Housing Preservation – Tenant Assistance/Capacity Building	Provides grants to enable resident groups and nonprofits to buy HUD-assisted multifamily projects. Pre-development and resident capacity grants available.	HUD	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 Preservation of affordable housing</li> </ol>	Applied for by others (nonprofits)

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Low Income Housing Tax Credit Equity Program	Equity investment for acquisition and rehabilitation of rental programs.	National Affordable Housing Trust	<ol style="list-style-type: none"> <li>1 New construction and rehabilitation of rental units</li> <li>2 Preservation of affordable housing</li> <li>3 Acquisition</li> <li>4 Transitional/SROs</li> </ol>	Applied for by others
National Preservation Loan Fund	Program makes loans to establish or expand preservation-revolving funds and loan pools and to acquire and/or rehabilitate historic building sites and districts. Properties must be listed in the National Register of Historic Places.	National Trust for Historic Preservation	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 Rehabilitation</li> <li>3 Self-help housing</li> <li>4 Homeless/SRO and transitional housing</li> </ol>	Applied for by others
RECDs	Tenant assistance to ensure that residents do not pay more than 30% of their income for rent.	Rural Housing Service	Tenant assistance	Applied for by others (nonprofit agencies)
Rural Development Loan Program	Loan program to provide housing for farm workers.	Rural Housing Service	New construction	Applied for by others (nonprofit agencies -CVHC)
Rural Self Help Housing Technical Assistance Grants	Provides grants to sponsoring organizations to provide technical and supervisory assistance which will help low-income households participate in self-help housing construction.	Rural Housing Service	<ol style="list-style-type: none"> <li>1 New construction and rehabilitation of single family units</li> <li>2 Self-help housing</li> </ol>	Applied for by others
Rural Homeless Housing Assistance	Provides grants to nonprofits in rural areas to provide direct emergency assistance to those in rural areas that are homeless or at risk of becoming homeless. Assistance may be used for rents, utility or mortgage assistance, security deposit, or short-term lodging in motels.	HUD	<ol style="list-style-type: none"> <li>1 Emergency/transitional shelter</li> <li>2 Rehabilitation</li> <li>3 Rental assistance</li> </ol>	Applied for by others
Rural Housing Preservation Grants	Supports the rehabilitation and repair of homeownership and rental housing for very low- and low-income households living in rural substandard housing.	Rural Housing Service	<ol style="list-style-type: none"> <li>1 Rehabilitation</li> <li>2 Construction</li> <li>3 Preservation of affordable housing</li> </ol>	Applied for by others





Table H-50  
Housing Resources/Programs Summary

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Section 515 Rural Rental Housing Loans	Makes loans for the creation of rental housing in rural areas for persons with incomes below 80% of the County median.	Rural Housing Service	<ol style="list-style-type: none"> <li>4 Energy conservation</li> <li>1 Acquisition</li> <li>2 Infrastructure</li> <li>3 New construction and rehabilitation of rental housing</li> <li>4 Group homes</li> <li>5 Operation</li> </ol>	Applied for by others
Section 202 Supportive Housing for the Elderly	Provides capital grants and operating subsidies for supportive housing for the elderly in the way of loans, grants, and rent subsidies.	HUD	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 New rental construction and rehabilitation</li> <li>3 Operation</li> <li>4 Rental assistance</li> <li>5 Social services</li> </ol>	Applied for by others
Section 521 Rural Rental Assistance Program	Provides direct rental assistance payments in conjunction with applications for rural rental housing projects for very low- and low-income tenants.	Rural Housing Service	Rent subsidies	Applied for by others
Section 523/524 Rural Housing Site Loans	Provides loans to enable public and private nonprofit groups to obtain and develop land for housing sites in rural areas.	Rural Housing Service	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 Infrastructure</li> </ol>	Applied for by others
Housing Choice Voucher Program	The Housing Choice Voucher program provides rent subsidies to owners of housing units on behalf of extremely low- and very low-income tenants. Under this program, tenants pay 30% of their monthly income on rent. In order to be compliant with regulatory requirements, the Housing Authority will release families to result in a lease up of 75% of the families being at or below 30% of the median income (extremely low income).	HUD	Rental assistance	Administered by County Housing Authority
Section 8 Mainstream Program for Persons with Disabilities	Funds are available through Public Housing Authorities and nonprofit disability organizations to provide Section 8 rent subsidies targeted to people with disabilities.	HUD	Rental assistance	Administered by County Housing Authority



# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Section 8 Moderate Rehabilitation Program for Single-Room Occupancy (SRO) Dwellings for Homeless Individuals	This program, one of the three programs under the McKinney Continuum of Care Program umbrella, provides public housing authorities and nonprofit organizations with rehabilitation assistance to convert existing facilities into SROs for homeless individuals. SRO projects enter into agreements with the Housing Authority which provides Section 8 rental assistance to those units for up to 10 years.	HUD	Rehabilitation assistance	Administered by DPSS
Section 108 Loan Guarantee	Program allows jurisdictions to pledge future CDBG grants as collateral to guarantee private market loans to allow large community development projects, such as acquisition of property, rehabilitation, demolition, etc.	HUD	All uses	County and participating jurisdictions are eligible
Section 538 Rural Rental Housing	Provides guaranteed loans to lenders and eligible housing providers to generate new and better affordable housing in rural areas.	Rural Housing Service	New rental construction	Applied for by others
Section 811 Supportive Housing for Persons With Disabilities	Provides funding to developers of housing for persons with disabilities, low-income households. Provides capital grants and project rental assistance contracts to nonprofit sponsored housing developments for persons with disabilities. Section 811 provides 100% of the development costs (which do not have to be repaid) if the project remains available to very low-income people with disabilities for 40 years.	HUD	1 Acquisition 2 Group homes 3 New construction and rehabilitation of rental units 4 Social services	Applied for by others
Self-Leveraging Revolving Loan Fund	Work with participating banks to establish revolving loan funds with CDBG seed money and matching bank funds.	CDBG; banks	1 New construction 2 Rehabilitation 3 Infrastructure improvements 4 Housing assistance	County EDA
Shelter Plus Care Program	Provides rental assistance that is either tenant-based, project-based, or sponsor-based to maximize independence for homeless persons with disabilities, primarily those with mental illness, chronic problems with alcohol or drugs and AIDS or related diseases.	HUD	1 Rehabilitation of rental units 2 Tenant- or sponsor-based rental assistance 3 Social services	Administered by DPSS
Self Help Home Ownership Opportunity Program	Program funded by an allocation from HUD which funds land acquisition and infrastructure for sweat equity homes.	Housing Assistance Council	1 Acquisition 2 Infrastructure 3 New construction single	Applied for by others (nonprofits)



Table H-50  
Housing Resources/Programs Summary

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Supportive Housing Program	This program is one of the three programs under the McKinney Continuum of Care Program umbrella. The program provides supportive housing and/or supportive services to homeless persons. Funding can be used for transitional housing facilities, permanent supportive housing for persons with disabilities, or other supportive services.	HUD	family 1 Transitional housing construction, acquisition, leasing or rehabilitation 2 Operating costs 3 Supportive services	Administered by County DPSS
Use of Federal Real Property to Assist Homeless	To lease, permit, or donate certain real property (land or buildings) for use to assist the homeless. HUD surveys each federal agency each quarter to determine which properties are excess, surplus, unutilized, or underutilized.	HUD	1 Emergency shelter, transitional housing or SROs 2 New rental construction	Applied for by others
Federal Emergency Shelter Grant program	Provides grants for rehabilitation and operation of emergency shelters.	HUD	1 Rehabilitation 2 Operation	Administered by EDA
Youth Build	Provides grants for projects employing economically disadvantaged young adults to build or rehabilitate housing and housing-related facilities. Aim is to provide these young adults with meaningful on-site training in housing construction and rehabilitation.	HUD	1 New construction 2 Rehabilitation 3 Operations 4 Social services/job training	Administered by EDA
<b>State Resources</b>				
Multifamily Housing Program – Acquisition and Rehabilitation Component	Acquisition and rehabilitation of existing affordable rental housing. Priority is given to projects currently subject to regulatory restrictions that may be terminated. Terms for loans are 55 years.	HCD	1 Preservation of existing affordable housing 2 Rent subsidies 3 Multifamily rehabilitation 4 Acquisition	Applied for by others
CDBG Economic Development Allocation – Enterprise Fund Component	Program reserves block grant funds for cities and counties, which in turn make loans to businesses, fund public infrastructure improvements, or fund activities that will foster the development of micro-enterprises	HCD	1 Business start-up 2 Infrastructure development	Cities or County are eligible
CDBG Economic Development	Loans to businesses and grants to cities and counties for infrastructure required to assist businesses that create or retain jobs for low-income	HCD	1 Business start up 2 Infrastructure development	Cities or County are eligible

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Allocation – Over the Counter Component	persons.			
CDBG Planning/Technical Assistance	Provides grants to be used for planning and feasibility studies related to public works, housing rehabilitation and construction, community facilities, public services and community development.	HCD	Planning technical assistance	Cities or County are eligible
California Self-Help Housing program	Provides grants to governmental agencies, nonprofit, and cooperatives to provide technical assistance to participants who are building their own residence. 10% simple interest loans made to sponsor organizations to assist with project development and construction.	HCD	1 New construction assistance 2 Administration	Applied for by others
CalHOME	Loans and grants to local public agencies and nonprofit developers to assist individual households through deferred payment loans; direct, forgivable loans to assist development of projects involving multiple ownership units, including single-family subdivisions.	HCD	1 Acquisition 2 Energy conservation 3 Infrastructure development 4 New construction single-family	County EDA, or applied for by nonprofit agencies
CHFA 501(c)(3) Preservation Mortgage Program	Provides 30-year term acquisition loans to nonprofit agencies for acquisition and refinance of existing assisted projects. Requires that 20% or more of the units be reserved for households with incomes below 50% of the County median.	California Housing Finance Agency (CHFA)	1 Acquisition 2 Refinance	Applied for by others
CHFA Affordable Housing Partnership Program	Below market rate, long-term mortgage loans combined with purchase assistance for income eligible first-time homebuyers to purchase a single-family home. Eligible sales price varies by County and are the same as under the CHFA Single Family program.	California Housing Finance Agency	1 Acquisition 2 Purchase homes	Applied for by others
CHFA Builder Lock (BLOCK)	Builder/developers may purchase forward commitments for permanent mortgage financing for CHFA eligible borrowers tied to their construction/marketing program at single-family developments.	California Housing Finance Agency	New construction of single-family and multifamily units	Applied for by nonprofits and for-profit organizations
CHFA California Home Ownership Assistance Program (CHAP)	Equity sharing mortgage participation loan whereby the state provides loans up to 49% of the purchase price of a home with the balance funded by a private lender.	California Housing Finance Agency	Housing assistance	Applied for by others



**County of Riverside General Plan**  
Housing Element 2013 - 2021

**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
CHFA CHAP 100% Loan Program	Provides 100% of the financing needs of first-time homebuyers.	California Housing Finance Agency	Housing Assistance	Applied for on behalf of others
CHFA Bridge Loan Program	A second loan program designed to provide tax-exempt funds necessary to meet the 50% basis test required for 4% tax credits.	California Housing Finance Agency	Housing Assistance	Applied for by others
CHFA HELP Program	To provide affordable housing opportunities through program partnerships with local government entities consistent with locality affordable housing priorities. Provides loans for acquisition, gap financing, construction, redevelopment and pre-development. Funds must be used to directly provide affordable housing units with minimum affordability term of 10 years.	California Housing Finance Agency	1 Acquisition 2 Preservation of affordable units 3 Rehabilitation	County of Riverside Housing Authority
CHFA Mobile Home Park Tenant Acquisition Program	Provides tax-exempt bond financing for tenant acquisition of mobile home parks in conjunction with the state Mobile Home Park Resident Ownership program and/or local government funding. Program is conjunction with Bank of America. Funds have been suspended at this time.	CHFA	Mobile home park purchase assistance	Applied for by others
DOE Energy Weatherization Assistance Program	Reduces the heating and cooling costs for low-income families by improving energy efficiency of their homes. Focuses on low-income seniors, individuals with disabilities, and families with children. Assistance includes: (1) in-home energy education; (2) energy-related home repairs; (3) blower door guided air sealing; (4) heat system safety tests, repair and tune; (5) duct insulation and sealing; (6) attic insulation; and (7) hot water savings measures.	California Department of Community Services and Development	1 Energy conservation 2 Rehabilitation and repair	County of Riverside Department of Community Action
Emergency Housing Assistance Program	Each county receives a grant allocation. Eligible activities include operating facilities to provide emergency or transitional shelter acquisition, construction, expansion or rehabilitation, counseling, rental assistance, equipment purchases, and program costs.	HCD	Emergency shelter	County of Riverside DPSS
Family Housing Demonstration Program (FHDP)	An FHDP development has three components consisting of housing, supporting services which may include an on-site child care center, and a job training and development program. The program provides loans for gap financing—the future funding of which requires voter approval	HCD	1 Acquisition 2 New rental construction 3 Rehabilitation	Applied for by others (nonprofit agencies –

**County of Riverside General Plan**  
**Housing Element 2013 - 2021**



**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Farm Worker Housing Assistance program	for bond issuance. Provides grants to public and private nonprofits to provide technical assistance to farm workers and farm worker housing agencies toward securing temporary or permanent housing.	Employment and Training Administration	Technical assistance and counseling	CVHC Applied for by others
Farm Worker Housing Grant Program	Provides loans, grants, down payment assistance and technical assistance to provide housing opportunities for agricultural households.	HCD	1 Acquisition 2 New construction 3 Rehabilitation 4 Self-help housing	Applied for by others
State Emergency Shelter Grant program	Provides grants for rehabilitation and operation of emergency shelters.	HCD	1 Rehabilitation 2 Operation	Applied for by others
Joe Serna Jr. Farm Worker Housing Grant Program	Provides owner-occupied and rental units for agricultural workers, with priority for lower-income households. Provides grants to assist development or rehabilitation of various types of housing projects for agricultural worker households. An affordability term of 40 years is required for new rental housing; an affordability term of 20 years is required for rehabilitation.	HCD	1 Acquisition 2 Site development 3 New construction and rehabilitation of rental units 4 Mortgage writedowns	County EDA, or applied for by nonprofits
Loan Packaging Program	To increase access to capital for low-income communities with a focus on financing housing at affordable rates and terms.	Low Income Housing Fund	1 Acquisition 2 New construction 3 Rehabilitation 4 Homeless SRO/transitional housing 5 Mobile home park purchase assistance	Applied for on behalf of others
LIHF Mortgage Banking Pools	Increases access to capital for low income communities. Provides bridge loans for tax credit purposes.	Low Income Housing Fund	1 New construction 2 Rehabilitation 3 Transitional/SROs 4 Self-help housing	Applied for by others
Low Income Home Energy Assistance	The LIHEAP block grant is funded by the Department of Health and Human Services and provides financial assistance and home	California Department of	1 Financial assistance 2 Energy conservation	County of Riverside



**County of Riverside General Plan**  
*Housing Element 2013 - 2021*

**Table H-50**  
**Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Program (LIHEAP)	<p>weatherization. This is accomplished through three components: (1) the Weatherization Program which provides free weatherization services to improve the energy efficiency of homes including attic insulation, weather stripping, minor housing repairs, and related conservation measures; (2) the Home Energy Assistance Program (HEAP) which provides financial assistance to eligible households to offset the costs of heating or cooling dwellings; and (3) the Energy Crisis Intervention Program which provides payments for weather-related emergencies.</p>	Community Services and Development		Department of Community Action
Low Income Housing Tax Credit Program	<p>To encourage low-income housing production and provide lower rents by offering a federal and state income tax credit based on the cost of acquiring, rehabilitating, or constructing low-income housing. Terms of affordability are for 55 years. Construction and permanent financing are required from other sources.</p>	State Tax Credit Allocation Committee	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 New construction and rehabilitation of rental units</li> <li>3 Preservation of affordable housing</li> <li>4 SROs</li> </ol>	Applied for by others
Mobile Home Park Resident Ownership Program	<p>Provides acquisition loans and construction/rehabilitation loans for purchase of mobile homes parks by resident organizations, as well as down payment assistance and rent subsidies.</p>	HCD	<ol style="list-style-type: none"> <li>1 Mobile home park purchase assistance</li> <li>2 Acquisition of mobile home parks</li> </ol>	Applied for by others
Mobile Home Park Resident Ownership Program	<p>Technical assistance to mobile home park organizations and low interest loans for conversion or acquisition.</p>	HCD	<ol style="list-style-type: none"> <li>1 Housing assistance</li> <li>2 Supportive services/technical assistance</li> <li>3 Administration</li> </ol>	Applied for by others
Multifamily Low Income Housing Program	<p>Program provides tax-exempt bond financing for a variety of projects, such as for multifamily and seniors, representing direct benefits to cities.</p>	California Statewide Communities Development Authority	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 New rental construction</li> <li>3 Rental rehabilitation</li> </ol>	Applied for by others
Proposition 84 Office of Migrant Services	<p>Uses general obligation bonds to fund new construction or conversion and rehabilitation of existing facilities to migrant housing. Provides loans, grants, gap financing and assistance.</p>	HCD	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 New construction and rehabilitation of rental</li> </ol>	Applied for on behalf of others



# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Multifamily Housing Program	New construction/rehabilitation, or acquisition and rehabilitation of permanent or transitional rental housing, and the conversion of non-residential structures to rental housing.	HCD	housing 1 Acquisition 2 New construction and rehabilitation of rental housing 3 Preservation of affordable housing 4 Transitional housing/SROs	Applied for by others
Preservation Financing Program	Provides tax-exempt financing for the acquisition or refinancing of projects with expiring Section 8 contracts that would opt out of subsidy contracts.	CHFA	1 Acquisition 2 Preservation of affordable housing	Applied for by others (nonprofits)
Rural Seed Money Loan programs	HAC operates a number of revolving loan funds to provide seed money for rural housing and development projects intended to benefit very low- and low-income persons.	State Housing Assistance Council (HAC)	1 Acquisition 2 Infrastructure 3 New construction 4 Rehabilitation 5 Preservation of affordable housing 6 Self-help housing	Applied for by others
Surplus Land Priority Sale	California Government Code requires that a 60-day advance notice priority be given in the sale or lease of excess properties to sponsors or government agencies that would develop low- and moderate-income housing.	California Department of Transportation	1 Land acquisition 2 New construction	Applied for by others or County
Surplus Property Sale	Program allows for a 30-day period during which agencies wishing to purchase land for park, open space, or low- and moderate-income housing can have priority over other purchasers.	California Department of Water Resources	1 Land acquisition 2 New construction	Applied for by others or County
Tax-Exempt Affordable Mortgage Program	Provides bond-financed fixed-rate mortgages for 30 to 40 years to developers of housing that have at least 20% of the units occupied and affordable to households making less than 50% of the County median.	CHFA	1 Acquisition 2 New construction and rehabilitation of rental units	Applied for by others (nonprofits, for-profits and



# County of Riverside General Plan

Housing Element 2013 - 2021

**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Tax-Exempt Private Activity Bond Program	CDLAC administers the tax-exempt private activity bond program available annually for California. The bonds issued are purchased by the private sector and the repayment is not an obligation of the state or federal government. Agencies and organizations authorized to issue tax-exempt private activity bonds must receive an allocation from CDLAC. Two programs apply to housing: (1) Multifamily Rental Housing: State and local agencies can issue tax-exempt housing revenue bonds to assist developers of multifamily rental housing units acquire land and construct new projects or purchase and rehabilitate existing units. (2) Single Family Housing: State and local agencies can issue tax-exempt mortgage revenue bonds to fund mortgages for homebuyers. The tax-exempt source of funds reduces the interest rate paid by purchasers by approximately 1% or more depending on current market conditions.	California Debt Limit Allocation Committee (CDLAC)	<ol style="list-style-type: none"> <li>1 New construction or rehabilitation of rental units</li> <li>2 Acquisition and rehabilitation of rental units</li> <li>3 Homeowner assistance</li> </ol>	County of Riverside through the state (for MCC program)
<b>PRIVATE RESOURCES</b>				
Affordable Housing Program	Provides grants or subsidized interest rate loans for purchase, construction, or rehabilitation of owner-occupied housing by very low-, low-, and moderate-income households and/or to finance the purchase, construction, or rehabilitation of rental housing.	Federal Home Loan Bank of San Francisco	<ol style="list-style-type: none"> <li>1 Acquisition</li> <li>2 Homeless and transitional facilities</li> <li>3 Mobile home park purchase assistance</li> <li>4 New construction</li> <li>5 Rehabilitation</li> <li>6 Self-help housing</li> </ol>	Applied for by others
Bridge Financing program	Provides bridge financing for tax credit projects.	Rural Community Assistance Corporation	New rental housing	Applied for by others
CRA Lending	Includes tax credit, Affordable Housing Program, and permanent loans for housing and community development.	SAMCO	1 Homeless and transitional housing	Applied for by others

# County of Riverside General Plan

Housing Element 2013 - 2021



**Table H-50  
Housing Resources/Programs Summary**

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Adtech.net	Grants for down payment assistance for first time homebuyers.	Adtech	2 New rental units 3 Multifamily rehab Housing Assistance	Applied for by others
Bridge Loan Program	Provide a bridge loan to provide flow of funding between project closing and equity pay-ins by tax credit investors. To be used with tax credit projects by nonprofit organizations.	Local Initiatives Managed Assets Corp.	1 Rehabilitation 2 Acquisition 3 New rental construction	Applied for by others
California Community Reinvestment Corporation	Nonprofit mortgage banking consortium that pools resources through a revolving blind loan pool to reduce lender risk in financing affordable housing. Provides long-term debt financing for affordable single-family and multifamily housing, acquisition, preservation, and rehabilitation.	California Community Reinvestment Corporation	Acquisition	Applied for by others
Community Development Finance Department	Department will address the credit needs of low- and moderate-income families by providing real estate-related credit products. Provides construction/rehab loans.	Union Bank of California, NA	1 Acquisition 2 Infrastructure development 3 New construction 4 Rehabilitation 5 Self-help housing	Applied for by others
House America	Program provides affordable residential lending for low- and moderate-income individuals.	Countywide Home Loans	Acquisition	Applied for by others
Mercy Loan Fund	Makes loans to projects in which conventional financing is not available or not affordable and promotes innovative and effective financing arrangements.	Mercy Loan Fund	1 New construction 2 Rehabilitation 3 Acquisition	Applied for by others
Neighborhood Housing Services (NHS)	NHS is a three-way partnership among neighborhood residents, local government, and local businesses. NRG provides direct technical assistance, expendable grants and capital grants to NHS, which makes loans for rehabilitation.	Neighborhood Reinvestment Group (NRG)	1 Rehabilitation 2 Energy conservation 3 Community Services/facilities	Applied for by others
Nonprofit Program	Program purchases loans from lenders, such as community loan funds, community development financial institutions, and commercial banks, so that lenders can recycle loan funds to increase the development or acquisition of low- and moderate-income housing.	Local Initiatives Managed Assets Corporation	1 New construction and rehabilitation of rental units 2 Preservation of affordable housing 3 Homeless/SRO and	Applied for by others



Table H-50  
Housing Resources/Programs Summary

Housing Program	Program Intent/Description	Funding Source <sup>1</sup>	Eligible Activities	Sponsor
Permanent Loan Program	Program provides 10- and 15-year fully amortized loans.	Rural Communities Assistance Corp.	transitional housing 4 Mobile home park purchase assistance 1 Acquisition 2 Community facilities 3 Mobile home park purchase assistance 4 New construction and rehabilitation of rental units 5 SROs 6 Public works	Applied for by others
Pre-development/Construction Loan Program	A revolving loan fund making loans at below market rates to finance a multitude of activities related to general housing and community facility projects.	Rural Communities Assistance Corp	See above 1 New construction/rehabilitation of single-family units 2 Infrastructure 3 Self-help housing	Applied for by others
Self Help Housing Program	Program provides technical assistance to individuals participating in self-help housing.	Self-Help Enterprises	Technical assistance	Applied for by others
Southern California Gas Company – Direct Weatherization Program	Contracts with the Riverside County Department of Community Action to provide funds for assistance to low-income households for weatherization measures and energy-efficiency measures including such actions as weather stripping, water heater wrapping, installation of low-flow shower heads, and others specific to individual needs.	Southern California Gas Company	Energy conservation	County of Riverside Department of Community Action
WorldBRIDGE Initiative	Provides lower interest construction financing for affordable or mixed-income rental housing or affordable home ownership through a consortium of World Savings/Calpers/Wells Fargo Bank of America.	Bridge Housing Corp.	1 New construction 2 SROs	Applied for by others

Source: Riverside County, 2013



### QUANTIFIED OBJECTIVES

State Housing Law requires that each jurisdiction establish the maximum number of housing units that will be constructed, rehabilitated, and preserved over the planning period. The Quantified Objectives for the Housing Element reflect the planning period from January 1, 2014 through October 1, 2021.

It is important to note that while the Quantified Objectives are required to be part of the Housing Element and the County will strive to obtain these objectives, the County cannot guarantee that these needs will be met given limited financial and staff resources, the current development climate in the county, and the changing gap in the affordability of housing resources and incomes. Satisfaction of the County's share of regional housing needs will depend heavily on the cooperation of private funding sources and developers, as well as resources of the state, federal, and County programs that are used to support the needs of the lower-income and special needs households. Additionally, outside economic forces heavily influence the housing market. Current economic challenges have chilled much of the activity in the new housing market. The Quantified Objectives assume optimum conditions for the production of housing; however, environmental, physical, and market conditions exert influence on the timing, type, and cost of housing production in a community. State law recognizes that a locality may not be able to accommodate its regional fair share housing need.

### **New Construction**

Table H-51 contains the quantified objectives that will be used as guidelines toward meeting the County of Riverside's new construction objectives for the planning period, inclusive of 2013–2021, and compares them to the fair share established by the RHNA.

Quantified objectives for new construction are based on the following factors and assumptions:

- County records of units completed between 2008 and 2013.
- Entitled projects either under construction or awaiting Board of Supervisors review and approval, or projects which have been the subject of negotiation with the County but for which permits are pending.
- Potential projects for which builder, developers, or nonprofit entities have expressed interest in pursuing but no activity in terms of filing permit applications, or negotiations with the County, have occurred at this point.
- Potential units established as targets by the 2013–2021 Action Plan utilizing federal, state, or local funding options, such as senior units and multifamily units utilizing multifamily revenue bonds, federal funding, CHFA, or tax credit financing assistance obtained by others, or transitional/permanent housing facilities.



- Potential market rate units (with yet undetermined builders, developers, or other entities), located primarily within adopted Specific Plans, based on past development trends.

### **Rehabilitation/Conservation**

The County's Housing Rehabilitation Programs (RHRP and CHRP) for single-family and mobile home units, the Minor and Enhanced Senior Home Repair programs, the CDBG Housing Loan Fund, the Mobile Home Tenant Assistance Program, the Mobile Home Park Assistance Loan program, the Agricultural Housing Loan program, and multifamily rehabilitation projects utilizing HOME will address the rehabilitation of housing units owned and/or rented to lower-income households in the County. It is assumed that the majority of moderate- and above-moderate income households will rehabilitate units as needed through private efforts

### **Preservation**

There are 63 at-risk units identified during the current planning cycle through 2021 that are expected to expire.





**Table H-51  
Quantified Objectives 2013 – 2021**

Unit Type/Description	# Units		Income Levels				
	Incorp.	Unincorp.	EL	Very Low	Low	Mod	Above Mod
<b>NEW CONSTRUCTION</b>							
<b>Single Family Affordable/Assisted</b>							
<b>HOME Funds</b>							
Nuestro Orgullo Self Help Homes		291		44	39		208
<i>Subtotal Single-Family Affordable</i>	<i>0</i>	<i>291</i>	<i>0</i>	<i>44</i>	<i>39</i>	<i>0</i>	<i>208</i>
<b>Multi-Family Affordable/Assisted</b>							
<b>Redevelopment Funds (RDA)</b>							
Paseo de los Heroes II		52	12	13			27
<b>Funding TBD</b>							
Mustang Lane Infill Housing Project		22			10		12
<i>Subtotal Multi-Family Affordable</i>	<i>0</i>	<i>74</i>	<i>12</i>	<i>13</i>	<i>10</i>	<i>0</i>	<i>39</i>
<b>Mobile Homes &amp; Parks Affordable/Assisted</b>							
<b>HOME Funds</b>							
Los Vinedos (Phase 1)		42		41			1
Los Vinedos (Phase 2)		43			43		
<i>Subtotal Mobile Home Affordable</i>	<i>0</i>	<i>85</i>	<i>0</i>	<i>41</i>	<i>43</i>	<i>0</i>	<i>1</i>
<b>Total New Construction:</b>	<b>0</b>	<b>450</b>	<b>12</b>	<b>98</b>	<b>92</b>	<b>0</b>	<b>249</b>
<b>REHABILITATION/PRESERVATION</b>							
Home Rehabilitation Program	150	150	300	81	88	131	
Tenant Home Rehabilitation Program		3	3	1	2		
Senior Home Repair Programs	150	150	300	144	156		
Enhanced Home Repair Programs		5	5	2	2	1	
Emergency Housing Response Program		65	65	6	6	13	0
Home Improvement Program		5	5			5	
Manufactured Home Replacement Program		5	5	2	3		
<b>Total Rehabilitation/Preservation</b>	<b>300</b>	<b>383</b>	<b>683</b>	<b>236</b>	<b>255</b>	<b>150</b>	<b>0</b>
<b>ASSISTANCE</b>							
MCC	9	13	22			11	
First Time Homebuyers Program - HOME Funded	49	32	81		1	80	
Down Payment Assistance Program - RDA Funded			0				
Housing Authority - Security Deposit Assistance	490		490	234	256		
Housing Authority - Emergency Housing Response Program - RDA Funded		105	105		105		
<b>Total Assistance</b>	<b>548</b>	<b>150</b>	<b>698</b>	<b>234</b>	<b>726</b>	<b>91</b>	<b>0</b>
<b>Total All Units</b>	<b>848</b>	<b>983</b>	<b>1,393</b>	<b>568</b>	<b>1,073</b>	<b>241</b>	<b>249</b>

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
HHDR														
135063016	WRCOG6B-CORRECTLY ZONED	0.669	HHDR		20+ DU/AC	R-6	13	11						WMWD
135063019	WRCOG6B-CORRECTLY ZONED	3.907	HHDR		20+ DU/AC	R-6	78	63						WMWD
		4.576					92	73						
	Not Zoned Correctly													
	n/a													
VHDR														
256140004	WRCOG6B-CORRECTLY ZONED	0.569	VHDR		14-20 DU/AC	R-3	8	6			YES			WMWD
447140030	WRCOG6B-CORRECTLY ZONED	0.052	VHDR		14-20 DU/AC	R-3	1	1						EMWD
551401074	WRCOG6B-CORRECTLY ZONED	3.574	VHDR		14-20 DU/AC	R-3	50	40						EMWD
447150044	WRCOG6B-CORRECTLY ZONED	2.241	VHDR		14-20 DU/AC	R-3	31	25						EMWD
551400014	WRCOG6B-CORRECTLY ZONED	0.516	VHDR		14-20 DU/AC	R-3	7	6						EMWD
551400030	WRCOG6B-CORRECTLY ZONED	1.868	VHDR		14-20 DU/AC	R-3	26	21						EMWD
		8.821					123	99						
	Not Zoned Correctly													
551400028	WRCOG6A-NOT CORRECTLY Z	0.434	VHDR		14-20 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				
626150014	CVAG6A-NOT CORRECTLY ZON	0.041	VHDR		14-20 DU/AC	W-2-10				AREAS OF FLOODING SENSITIVITY			Zone E	
654200058	CVAG6A-NOT CORRECTLY ZON	5.295	VHDR		14-20 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				
727100007	CVAG6A-NOT CORRECTLY ZON	21.651	VHDR		14-20 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				
HDR														
723163005	CVAG6B-CORRECTLY ZONED S	0.167	HDR		8-14 DU/AC	R-3	1	1						CVWD
723306013	CVAG6B-CORRECTLY ZONED S	0.193	HDR		8-14 DU/AC	R-2	2	1						CVWD
723225009	CVAG6B-CORRECTLY ZONED S	0.336	HDR		8-14 DU/AC	R-3	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
723281026	CVAG6B-CORRECTLY ZONED S	0.169	HDR		8-14 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723031014	CVAG6B-CORRECTLY ZONED S	0.254	HDR		8-14 DU/AC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
607223028	CVAG6B-CORRECTLY ZONED S	0.325	HDR		8-14 DU/AC	R-2-4000	3	2		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
723162021	CVAG6B-CORRECTLY ZONED S	0.313	HDR		8-14 DU/AC	R-3	3	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723272007	CVAG6B-CORRECTLY ZONED S	0.208	HDR		8-14 DU/AC	R-3	2	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
694050003	CVAG6B-CORRECTLY ZONED S	6.092	HDR		8-14 DU/AC	R-2	49	39		AREAS OF FLOODING SENSITIVITY				CVWD
723281030	CVAG6B-CORRECTLY ZONED S	0.210	HDR		8-14 DU/AC	R-2	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
727120008	CVAG6B-CORRECTLY ZONED S	0.045	HDR		8-14 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609201005	CVAG6B-CORRECTLY ZONED S	0.296	HDR		8-14 DU/AC	R-2-4000	2	2		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
721252017	CVAG6B-CORRECTLY ZONED S	0.187	HDR		8-14 DU/AC	R-3	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723031026	CVAG6B-CORRECTLY ZONED S	0.186	HDR		8-14 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723307011	CVAG6B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723272024	CVAG6B-CORRECTLY ZONED S	0.202	HDR		8-14 DU/JAC	R-2	2	2	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723021007	CVAG6B-CORRECTLY ZONED S	0.292	HDR		8-14 DU/JAC	R-3	2	2	2	AREAS OF FLOODING SENSITIVITY				CWWD
723143006	CVAG6B-CORRECTLY ZONED S	0.293	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
694050002	CVAG6B-CORRECTLY ZONED S	18.543	HDR		8-14 DU/JAC	R-2	148	119		AREAS OF FLOODING SENSITIVITY				CWWD
603073004	CVAG6B-CORRECTLY ZONED S	0.164	HDR		8-14 DU/JAC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723162017	CVAG6B-CORRECTLY ZONED S	0.347	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723291001	CVAG6B-CORRECTLY ZONED S	0.168	HDR		8-14 DU/JAC	R-3	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723161008	CVAG6B-CORRECTLY ZONED S	0.367	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723032009	CVAG6B-CORRECTLY ZONED S	0.178	HDR		8-14 DU/JAC	R-3	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721252010	CVAG6B-CORRECTLY ZONED S	0.188	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723174018	CVAG6B-CORRECTLY ZONED S	0.354	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723031001	CVAG6B-CORRECTLY ZONED S	0.265	HDR		8-14 DU/JAC	R-3	2	2	COUNTY 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723023001	CVAG6B-CORRECTLY ZONED S	0.351	HDR		8-14 DU/JAC	R-3	3	3		AREAS OF FLOODING SENSITIVITY				CWWD
723163012	CVAG6B-CORRECTLY ZONED S	0.371	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272006	CVAG6B-CORRECTLY ZONED S	0.195	HDR		8-14 DU/JAC	R-3	2	2	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272025	CVAG6B-CORRECTLY ZONED S	0.208	HDR		8-14 DU/JAC	R-2	2	2	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723162020	CVAG6B-CORRECTLY ZONED S	0.276	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
727141006	CVAG6B-CORRECTLY ZONED S	0.503	HDR		8-14 DU/JAC	R-3	4	3		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723272004	CVAG6B-CORRECTLY ZONED S	0.192	HDR		8-14 DU/JAC	R-3	2	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723306005	CVAG6B-CORRECTLY ZONED S	0.162	HDR		8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272021	CVAG6B-CORRECTLY ZONED S	0.165	HDR		8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
607223026	CVAG6B-CORRECTLY ZONED S	0.425	HDR		8-14 DU/JAC	R-3-3000	3	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
607144013	CVAG6B-CORRECTLY ZONED S	0.279	HDR		8-14 DU/JAC	R-2-4000	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
723282001	CVAG6B-CORRECTLY ZONED S	0.175	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723282012	CVAG6B-CORRECTLY ZONED S	0.172	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723169004	CVAG6B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721252016	CVAG6B-CORRECTLY ZONED S	0.184	HDR		8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CWWD
723161001	CVAG6B-CORRECTLY ZONED S	0.356	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CWWD
723307001	CVAG6B-CORRECTLY ZONED S	0.172	HDR		8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE					CWWD
603171011	CVAG6B-CORRECTLY ZONED S	0.325	HDR		8-14 DU/JAC	R-2-4000	3	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
723212014	CVAG6B-CORRECTLY ZONED S	0.301	HDR		8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723031007	CVAG6B-CORRECTLY ZONED S	0.300	HDR		8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723022019	CVAG6B-CORRECTLY ZONED S	0.171	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723023014	CVAG6B-CORRECTLY ZONED S	0.184	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723291012	CVAG6B-CORRECTLY ZONED S	0.176	HDR		8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723163014	CVAG6B-CORRECTLY ZONED S	0.211	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD
603072019	CVAG6B-CORRECTLY ZONED S	0.319	HDR		8-14 DU/JAC	R-2	3	3	SAN ANDREAS FAULT ZONE					CWWD
609201008	CVAG6B-CORRECTLY ZONED S	0.297	HDR		8-14 DU/JAC	R-2-4000	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone B2	CWWD
723281006	CVAG6B-CORRECTLY ZONED S	0.155	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723282005	CVAG6B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723281029	CVAG6B-CORRECTLY ZONED S	0.250	HDR		8-14 DU/JAC	R-2	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723144004	CVAG6B-CORRECTLY ZONED S	0.367	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723022007	CVAG6B-CORRECTLY ZONED S	0.296	HDR		8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

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723022017	CVAG66B-CORRECTLY ZONED S	0.171	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723021005	CVAG66B-CORRECTLY ZONED S	0.307	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723163015	CVAG66B-CORRECTLY ZONED S	0.193	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723307009	CVAG66B-CORRECTLY ZONED S	0.165	HDR		8-14 DU/JAC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
723307004	CVAG66B-CORRECTLY ZONED S	0.171	HDR		8-14 DU/JAC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
721252025	CVAG66B-CORRECTLY ZONED S	0.296	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723163011	CVAG66B-CORRECTLY ZONED S	0.172	HDR		8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723022013	CVAG66B-CORRECTLY ZONED S	0.177	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723031002	CVAG66B-CORRECTLY ZONED S	0.248	HDR		8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723162005	CVAG66B-CORRECTLY ZONED S	0.299	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723174001	CVAG66B-CORRECTLY ZONED S	0.357	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723162022	CVAG66B-CORRECTLY ZONED S	0.410	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723174021	CVAG66B-CORRECTLY ZONED S	0.550	HDR		8-14 DU/JAC	R-3	4	4	SAN ANDREAS FAULT ZONE					CVWD
723163017	CVAG66B-CORRECTLY ZONED S	0.174	HDR		8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723163002	CVAG66B-CORRECTLY ZONED S	0.171	HDR		8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723174022	CVAG66B-CORRECTLY ZONED S	0.402	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723161002	CVAG66B-CORRECTLY ZONED S	0.370	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723174012	CVAG66B-CORRECTLY ZONED S	0.243	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
607222006	CVAG66B-CORRECTLY ZONED S	0.254	HDR		8-14 DU/JAC	R-2-4000	2	2	SAN ANDREAS FAULT ZONE				Zone D	CVWD
723023015	CVAG66B-CORRECTLY ZONED S	0.178	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723174003	CVAG6B-CORRECTLY ZONED S	0.365	HDR		8-14 DU/JAC	R-3	3	2	SAN ANDREAS 2 FAULT ZONE					CYWD
723163027	CVAG6B-CORRECTLY ZONED S	0.239	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS 2 FAULT ZONE					CYWD
721252003	CVAG6B-CORRECTLY ZONED S	0.182	HDR		8-14 DU/JAC	R-3	1	1	SAN ANDREAS 1 FAULT ZONE					CYWD
723291004	CVAG6B-CORRECTLY ZONED S	0.220	HDR		8-14 DU/JAC	R-3	2	2	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723022011	CVAG6B-CORRECTLY ZONED S	0.204	HDR		8-14 DU/JAC	R-3	2	2	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723021006	CVAG6B-CORRECTLY ZONED S	0.311	HDR		8-14 DU/JAC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CYWD
723161006	CVAG6B-CORRECTLY ZONED S	0.189	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS 1 FAULT ZONE					CYWD
723141004	CVAG6B-CORRECTLY ZONED S	0.512	HDR		8-14 DU/JAC	R-3	4	3	SAN ANDREAS 3 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
609171034	CVAG6B-CORRECTLY ZONED S	0.411	HDR		8-14 DU/JAC	R-3-4000	3	3					Zone D	CYWD
723281012	CVAG6B-CORRECTLY ZONED S	0.166	HDR		8-14 DU/JAC	R-3	1	1						CYWD
723174005	CVAG6B-CORRECTLY ZONED S	0.372	HDR		8-14 DU/JAC	R-3	3	2	SAN ANDREAS 2 FAULT ZONE					CYWD
723124002	CVAG6B-CORRECTLY ZONED S	0.314	HDR		8-14 DU/JAC	R-3	3	2	SAN ANDREAS 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723124004	CVAG6B-CORRECTLY ZONED S	0.548	HDR		8-14 DU/JAC	R-3	4	4	SAN ANDREAS 4 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723021004	CVAG6B-CORRECTLY ZONED S	0.323	HDR		8-14 DU/JAC	R-3	3	2		AREAS OF FLOODING SENSITIVITY				CYWD
609172060	CVAG6B-CORRECTLY ZONED S	2.960	HDR		8-14 DU/JAC	R-3-8000	24	19					Zone D	CYWD
72307007	CVAG6B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/JAC	R-2	1	1						CYWD
723144006	CVAG6B-CORRECTLY ZONED S	0.363	HDR		8-14 DU/JAC	R-3	3	2	SAN ANDREAS 2 FAULT ZONE					CYWD
723291009	CVAG6B-CORRECTLY ZONED S	0.221	HDR		8-14 DU/JAC	R-2	2	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723281028	CVAG6B-CORRECTLY ZONED S	0.220	HDR		8-14 DU/JAC	R-2	2	2						CYWD
723023011	CVAG6B-CORRECTLY ZONED S	0.181	HDR		8-14 DU/JAC	R-3	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723281031	CVAG6B-CORRECTLY ZONED S	0.174	HDR		8-14 DU/JAC	R-2	1	1						CYWD



Housing Element Appendix A - Housing Inventory List

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723163001	CVAG66B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272008	CVAG66B-CORRECTLY ZONED S	0.188	HDR		8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272005	CVAG66B-CORRECTLY ZONED S	0.176	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721252002	CVAG66B-CORRECTLY ZONED S	0.183	HDR		8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272003	CVAG66B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
607413062	CVAG66B-CORRECTLY ZONED S	0.960	HDR		8-14 DU/JAC	R-2-4000	8	6	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
609063000	CVAG66B-CORRECTLY ZONED S	0.126	HDR		8-14 DU/JAC	R-2	1	1						CWWD
723162011	CVAG66B-CORRECTLY ZONED S	0.285	HDR		8-14 DU/JAC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CWWD
723212012	CVAG66B-CORRECTLY ZONED S	0.339	HDR		8-14 DU/JAC	R-3	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
723281020	CVAG66B-CORRECTLY ZONED S	0.166	HDR		8-14 DU/JAC	R-2	1	1						CWWD
607311001	CVAG66B-CORRECTLY ZONED S	0.237	HDR		8-14 DU/JAC	R-2-8000	2	2					Zone D	CWWD
723282003	CVAG66B-CORRECTLY ZONED S	0.162	HDR		8-14 DU/JAC	R-3	1	1						CWWD
723173002	CVAG66B-CORRECTLY ZONED S	0.253	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723023005	CVAG66B-CORRECTLY ZONED S	0.181	HDR		8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723174026	CVAG66B-CORRECTLY ZONED S	0.294	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721252026	CVAG66B-CORRECTLY ZONED S	0.300	HDR		8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723282011	CVAG66B-CORRECTLY ZONED S	0.168	HDR		8-14 DU/JAC	R-3	1	1						CWWD
723023017	CVAG66B-CORRECTLY ZONED S	0.433	HDR		8-14 DU/JAC	R-3	3	3		AREAS OF FLOODING SENSITIVITY				CWWD
723124001	CVAG66B-CORRECTLY ZONED S	0.336	HDR		8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272026	CVAG66B-CORRECTLY ZONED S	0.164	HDR		8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723307023	CVAG66B-CORRECTLY ZONED S	0.168	HDR		8-14 DU/JAC	R-3	1	1						CWWD
723223005	CVAG66B-CORRECTLY ZONED S	0.335	HDR		8-14 DU/JAC	R-3	3	3		AREAS OF FLOODING SENSITIVITY				CWWD
723282008	CVAG66B-CORRECTLY ZONED S	0.173	HDR		8-14 DU/JAC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723022010	CVAG66B-CORRECTLY ZONED S	0.358	HDR		8-14 DU/JAC	R-3	3	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
607342050	CVAG6B-CORRECTLY ZONED S	0.483	HDR		8-14 DU/AC	R-2-4000	4	3					Zone D	CWWD
723281018	CVAG6B-CORRECTLY ZONED S	0.166	HDR		8-14 DU/AC	R-2	1	1						CWWD
723174010	CVAG6B-CORRECTLY ZONED S	0.301	HDR		8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD
721252030	CVAG6B-CORRECTLY ZONED S	0.297	HDR		8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD
723225003	CVAG6B-CORRECTLY ZONED S	0.332	HDR		8-14 DU/AC	R-3	3	3		AREAS OF FLOODING SENSITIVITY				CWWD
727340001	CVAG6B-CORRECTLY ZONED S	0.164	HDR		8-14 DU/AC	R-3	1	1						CWWD
723022007	CVAG6B-CORRECTLY ZONED S	0.176	HDR		8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE					CWWD
723307006	CVAG6B-CORRECTLY ZONED S	0.174	HDR		8-14 DU/AC	R-2	1	1						CWWD
721252020	CVAG6B-CORRECTLY ZONED S	0.185	HDR		8-14 DU/AC	R-3	1	1	SAN ANDREAS FAULT ZONE					CWWD
723161009	CVAG6B-CORRECTLY ZONED S	0.352	HDR		8-14 DU/AC	R-3	3	3	SAN ANDREAS FAULT ZONE					CWWD
723282002	CVAG6B-CORRECTLY ZONED S	0.169	HDR		8-14 DU/AC	R-3	1	1						CWWD
723222010	CVAG6B-CORRECTLY ZONED S	0.328	HDR		8-14 DU/AC	R-3	3	3		AREAS OF FLOODING SENSITIVITY				CWWD
723031018	CVAG6B-CORRECTLY ZONED S	0.186	HDR		8-14 DU/AC	R-3	1	1						CWWD
723163030	CVAG6B-CORRECTLY ZONED S	0.237	HDR		8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD
72307019	CVAG6B-CORRECTLY ZONED S	0.174	HDR		8-14 DU/AC	R-3	1	1						CWWD
723022004	CVAG6B-CORRECTLY ZONED S	0.186	HDR		8-14 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723022006	CVAG6B-CORRECTLY ZONED S	0.181	HDR		8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE					CWWD
723282004	CVAG6B-CORRECTLY ZONED S	0.163	HDR		8-14 DU/AC	R-3	1	1						CWWD
723174025	CVAG6B-CORRECTLY ZONED S	0.283	HDR		8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD
723031006	CVAG6B-CORRECTLY ZONED S	0.297	HDR		8-14 DU/AC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CWWD
72307017	CVAG6B-CORRECTLY ZONED S	0.170	HDR		8-14 DU/AC	R-3	1	1						CWWD
723162009	CVAG6B-CORRECTLY ZONED S	0.304	HDR		8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723031020	CVAG66B-CORRECTLY ZONED S	0.188 HDR			8-14 DU/JAC	R-3	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
723174009	CVAG66B-CORRECTLY ZONED S	0.393 HDR			8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723291013	CVAG66B-CORRECTLY ZONED S	0.180 HDR			8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723031023	CVAG66B-CORRECTLY ZONED S	0.188 HDR			8-14 DU/JAC	R-3	2	1						CVWD
723307016	CVAG66B-CORRECTLY ZONED S	0.170 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723307022	CVAG66B-CORRECTLY ZONED S	0.177 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723307002	CVAG66B-CORRECTLY ZONED S	0.172 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723281016	CVAG66B-CORRECTLY ZONED S	0.187 HDR			8-14 DU/JAC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
694120002	CVAG66B-CORRECTLY ZONED S	4.682 HDR			8-14 DU/JAC	R-2	37	30						CVWD
723282021	CVAG66B-CORRECTLY ZONED S	0.199 HDR			8-14 DU/JAC	R-2	2	1						CVWD
723174005	CVAG66B-CORRECTLY ZONED S	0.377 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723021002	CVAG66B-CORRECTLY ZONED S	0.293 HDR			8-14 DU/JAC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CVWD
723307014	CVAG66B-CORRECTLY ZONED S	0.167 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723163016	CVAG66B-CORRECTLY ZONED S	0.187 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
603063005	CVAG66B-CORRECTLY ZONED S	0.045 HDR			8-14 DU/JAC	R-2	0	0						CVWD
723162012	CVAG66B-CORRECTLY ZONED S	0.321 HDR			8-14 DU/JAC	R-3	3	2						CVWD
723032012	CVAG66B-CORRECTLY ZONED S	0.181 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723031022	CVAG66B-CORRECTLY ZONED S	0.183 HDR			8-14 DU/JAC	R-3	1	1						CVWD
603201028	CVAG66B-CORRECTLY ZONED S	1.072 HDR			8-14 DU/JAC	R-2-4000	9	7					Zone B2	CVWD
723022022	CVAG66B-CORRECTLY ZONED S	0.172 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721252032	CVAG66B-CORRECTLY ZONED S	0.380 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723023012	CVAG66B-CORRECTLY ZONED S	0.175 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723161011	CVAG66B-CORRECTLY ZONED S	0.047 HDR			8-14 DU/JAC	R-3	0	0	SAN ANDREAS FAULT ZONE					CVWD
723163010	CVAG66B-CORRECTLY ZONED S	0.181 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723281017	CVAG66B-CORRECTLY ZONED S	0.176 HDR			8-14 DU/JAC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721252024	CVAG6B-CORRECTLY ZONED S	0.298 HDR			8-14 DU/JAC	R-3		2	SAN ANDREAS FAULT ZONE					CVWD
723174015	CVAG6B-CORRECTLY ZONED S	0.372 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723272028	CVAG6B-CORRECTLY ZONED S	0.168 HDR			8-14 DU/JAC	R-2	1	1	COUNTY					CVWD
723032005	CVAG6B-CORRECTLY ZONED S	0.183 HDR			8-14 DU/JAC	R-3	1	1	FAULT ZONE					CVWD
723365007	CVAG6B-CORRECTLY ZONED S	0.202 HDR			8-14 DU/JAC	R-2	2	1						CVWD
723174004	CVAG6B-CORRECTLY ZONED S	0.371 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723174002	CVAG6B-CORRECTLY ZONED S	0.373 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723124003	CVAG6B-CORRECTLY ZONED S	0.408 HDR			8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723282017	CVAG6B-CORRECTLY ZONED S	0.166 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723143004	CVAG6B-CORRECTLY ZONED S	0.489 HDR			8-14 DU/JAC	R-3	4	3	SAN ANDREAS FAULT ZONE					CVWD
723282013	CVAG6B-CORRECTLY ZONED S	0.178 HDR			8-14 DU/JAC	R-3	1	1						CVWD
607215026	CVAG6B-CORRECTLY ZONED S	0.238 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CVWD
723023013	CVAG6B-CORRECTLY ZONED S	0.174 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723163007	CVAG6B-CORRECTLY ZONED S	0.172 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723281009	CVAG6B-CORRECTLY ZONED S	0.162 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723144001	CVAG6B-CORRECTLY ZONED S	0.375 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723144008	CVAG6B-CORRECTLY ZONED S	0.374 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723163028	CVAG6B-CORRECTLY ZONED S	0.168 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723272029	CVAG6B-CORRECTLY ZONED S	0.161 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723223001	CVAG6B-CORRECTLY ZONED S	0.343 HDR			8-14 DU/JAC	R-3	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
607215030	CVAG6B-CORRECTLY ZONED S	0.232 HDR			8-14 DU/JAC	R-2-4000	2	1					Zone D	CVWD
723212010	CVAG6B-CORRECTLY ZONED S	0.340 HDR			8-14 DU/JAC	R-3	3	2						CVWD
723281032	CVAG6B-CORRECTLY ZONED S	0.169 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723272002	CVAG6B-CORRECTLY ZONED S	0.171 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723307010	CVAG6B-CORRECTLY ZONED S	0.173 HDR			8-14 DU/JAC	R-2	1	1						CVWD
721252011	CVAG6B-CORRECTLY ZONED S	0.184 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723031015	CVAG6B-CORRECTLY ZONED S	0.183 HDR			8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723281004	CVAG6B-CORRECTLY ZONED S	0.161 HDR			8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723032008	CVAG6B-CORRECTLY ZONED S	0.179 HDR			8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723032011	CVAG6B-CORRECTLY ZONED S	0.184 HDR			8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723272019	CVAG6B-CORRECTLY ZONED S	0.163 HDR			8-14 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723141006	CVAG6B-CORRECTLY ZONED S	0.424 HDR			8-14 DU/AC	R-3	3	3	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723291003	CVAG6B-CORRECTLY ZONED S	0.186 HDR			8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723023002	CVAG6B-CORRECTLY ZONED S	0.208 HDR			8-14 DU/AC	R-3	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
723281007	CVAG6B-CORRECTLY ZONED S	0.161 HDR			8-14 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723281015	CVAG6B-CORRECTLY ZONED S	0.199 HDR			8-14 DU/AC	R-2	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
723282019	CVAG6B-CORRECTLY ZONED S	0.197 HDR			8-14 DU/AC	R-2	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
72325015	CVAG6B-CORRECTLY ZONED S	0.375 HDR			8-14 DU/AC	R-3	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
607342052	CVAG6B-CORRECTLY ZONED S	0.477 HDR			8-14 DU/AC	R-2-4000	4	3		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
723174024	CVAG6B-CORRECTLY ZONED S	0.287 HDR			8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723163009	CVAG6B-CORRECTLY ZONED S	0.168 HDR			8-14 DU/AC	R-3	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721252031	CVAG6B-CORRECTLY ZONED S	0.298 HDR			8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721252019	CVAG6B-CORRECTLY ZONED S	0.186 HDR			8-14 DU/AC	R-3	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723162007	CVAG6B-CORRECTLY ZONED S	0.292 HDR			8-14 DU/AC	R-3	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723031013	CVAG6B-CORRECTLY ZONED S	0.272 HDR			8-14 DU/AC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723161007	CVAG6B-CORRECTLY ZONED S	0.358 HDR			8-14 DU/AC	R-3	3	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723271002	CVAG6B-CORRECTLY ZONED S	0.161 HDR			8-14 DU/AC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

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723174011	CVAG68-CORRECTLY ZONED S	0.267 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723272031	CVAG68-CORRECTLY ZONED S	0.170 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723272023	CVAG68-CORRECTLY ZONED S	0.226 HDR			8-14 DU/JAC	R-2	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723282009	CVAG68-CORRECTLY ZONED S	0.166 HDR			8-14 DU/JAC	R-3	1	1						CVWD
607183028	CVAG68-CORRECTLY ZONED S	0.288 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CVWD
723163023	CVAG68-CORRECTLY ZONED S	0.307 HDR			8-14 DU/JAC	R-3	2	2						CVWD
607342051	CVAG68-CORRECTLY ZONED S	0.473 HDR			8-14 DU/JAC	R-2-4000	4	4					Zone D	CVWD
723031010	CVAG68-CORRECTLY ZONED S	0.292 HDR			8-14 DU/JAC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CVWD
723282014	CVAG68-CORRECTLY ZONED S	0.160 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723031025	CVAG68-CORRECTLY ZONED S	0.184 HDR			8-14 DU/JAC	R-3	1	1						CVWD
72325007	CVAG68-CORRECTLY ZONED S	0.338 HDR			8-14 DU/JAC	R-3	3	3		AREAS OF FLOODING SENSITIVITY				CVWD
723211003	CVAG68-CORRECTLY ZONED S	0.336 HDR			8-14 DU/JAC	R-3	3	3						CVWD
607144008	CVAG68-CORRECTLY ZONED S	0.252 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CVWD
603072001	CVAG68-CORRECTLY ZONED S	0.139 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723207003	CVAG68-CORRECTLY ZONED S	0.174 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723022023	CVAG68-CORRECTLY ZONED S	0.227 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723163020	CVAG68-CORRECTLY ZONED S	0.240 HDR			8-14 DU/JAC	R-3	2	2						CVWD
723022004	CVAG68-CORRECTLY ZONED S	0.301 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723060014	CVAG68-CORRECTLY ZONED S	0.190 HDR			8-14 DU/JAC	R-2	2	2						CVWD
723031003	CVAG68-CORRECTLY ZONED S	0.903 HDR			8-14 DU/JAC	R-3	7	6	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723022012	CVAG68-CORRECTLY ZONED S	0.172 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723031011	CVAG68-CORRECTLY ZONED S	0.295 HDR			8-14 DU/JAC	R-3	2	2						CVWD
723212008	CVAG68-CORRECTLY ZONED S	0.336 HDR			8-14 DU/JAC	R-3	3	3						CVWD
723167018	CVAG68-CORRECTLY ZONED S	0.283 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723163003	CVAG68-CORRECTLY ZONED S	0.163 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723144005	CVAG68-CORRECTLY ZONED S	0.372 HDR			8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723281025	CVAG68-CORRECTLY ZONED S	0.152 HDR			8-14 DU/JAC	R-2	1	1						CVWD



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723141005	CVAG6B-CORRECTLY ZONED S	0.458 HDR			8-14 DU/AC	R-3	4	3	SAN ANDREAS 3 FAULT ZONE					CWWD
603051013	CVAG6B-CORRECTLY ZONED S	0.127 HDR			8-14 DU/AC	R-2	1	1						CWWD
723032014	CVAG6B-CORRECTLY ZONED S	0.181 HDR			8-14 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723022009	CVAG6B-CORRECTLY ZONED S	0.321 HDR			8-14 DU/AC	R-3	3	2	COUNTY 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723032002	CVAG6B-CORRECTLY ZONED S	0.189 HDR			8-14 DU/AC	R-3	2	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723173001	CVAG6B-CORRECTLY ZONED S	0.261 HDR			8-14 DU/AC	R-3	2	2	SAN ANDREAS 2 FAULT ZONE					CWWD
723282020	CVAG6B-CORRECTLY ZONED S	0.185 HDR			8-14 DU/AC	R-2	1	1						CWWD
723307018	CVAG6B-CORRECTLY ZONED S	0.169 HDR			8-14 DU/AC	R-3	1	1						CWWD
723281013	CVAG6B-CORRECTLY ZONED S	0.204 HDR			8-14 DU/AC	R-3	2	1		AREAS OF FLOODING SENSITIVITY				CWWD
723022008	CVAG6B-CORRECTLY ZONED S	0.295 HDR			8-14 DU/AC	R-3	2	2	COUNTY 2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723307025	CVAG6B-CORRECTLY ZONED S	0.165 HDR			8-14 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723023003	CVAG6B-CORRECTLY ZONED S	0.189 HDR			8-14 DU/AC	R-3	2	1		AREAS OF FLOODING SENSITIVITY				CWWD
723163008	CVAG6B-CORRECTLY ZONED S	0.174 HDR			8-14 DU/AC	R-3	1	1	SAN ANDREAS 1 FAULT ZONE					CWWD
609181002	CVAG6B-CORRECTLY ZONED S	0.314 HDR			8-14 DU/AC	R-2-4000	3	2					Zone D	CWWD
609171025	CVAG6B-CORRECTLY ZONED S	0.952 HDR			8-14 DU/AC	R-3-8000	8	6					Zone D	CWWD
723022014	CVAG6B-CORRECTLY ZONED S	0.175 HDR			8-14 DU/AC	R-3	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723162016	CVAG6B-CORRECTLY ZONED S	0.458 HDR			8-14 DU/AC	R-3	4	3	SAN ANDREAS 3 FAULT ZONE					CWWD
723031005	CVAG6B-CORRECTLY ZONED S	0.295 HDR			8-14 DU/AC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CWWD
723306008	CVAG6B-CORRECTLY ZONED S	0.195 HDR			8-14 DU/AC	R-2	2	1						CWWD
723307021	CVAG6B-CORRECTLY ZONED S	0.168 HDR			8-14 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723143003	CVAG6B-CORRECTLY ZONED S	0.615 HDR			8-14 DU/AC	R-3	5	4	SAN ANDREAS 4 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723272001	CVAG6B-CORRECTLY ZONED S	0.144 HDR			8-14 DU/AC	R-3	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723032001	CVAG6B-CORRECTLY ZONED S	0.229 HDR			8-14 DU/AC	R-3	2	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
727141005	CVAG6B-CORRECTLY ZONED S	0.503 HDR			8-14 DU/AC	R-3	4	3						CWWD
723163018	CVAG6B-CORRECTLY ZONED S	0.220 HDR			8-14 DU/AC	R-3	2	1						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723022018	CVAG66B-CORRECTLY ZONED S	0.177 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723161005	CVAG66B-CORRECTLY ZONED S	0.139 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723272009	CVAG66B-CORRECTLY ZONED S	0.160 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723272027	CVAG66B-CORRECTLY ZONED S	0.165 HDR			8-14 DU/JAC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723162008	CVAG66B-CORRECTLY ZONED S	0.298 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723307020	CVAG66B-CORRECTLY ZONED S	0.169 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723306001	CVAG66B-CORRECTLY ZONED S	0.170 HDR			8-14 DU/JAC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
723022006	CVAG66B-CORRECTLY ZONED S	0.299 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723281011	CVAG66B-CORRECTLY ZONED S	0.162 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE					CVWD
723162023	CVAG66B-CORRECTLY ZONED S	0.379 HDR			8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE					CVWD
723163022	CVAG66B-CORRECTLY ZONED S	0.220 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
721252008	CVAG66B-CORRECTLY ZONED S	0.184 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
608171012	CVAG66B-CORRECTLY ZONED S	0.364 HDR			8-14 DU/JAC	R-3-8000	3	3	SAN ANDREAS FAULT ZONE				Zone D	CVWD
723282007	CVAG66B-CORRECTLY ZONED S	0.171 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723165026	CVAG66B-CORRECTLY ZONED S	0.239 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
607227081	CVAG66B-CORRECTLY ZONED S	23.524 HDR			8-14 DU/JAC	R-3-3000	188	151	SAN ANDREAS FAULT ZONE				Zone D	CVWD
723141001	CVAG66B-CORRECTLY ZONED S	1.077 HDR			8-14 DU/JAC	R-3	9	7	SAN ANDREAS FAULT ZONE					CVWD
607215027	CVAG66B-CORRECTLY ZONED S	0.236 HDR			8-14 DU/JAC	R-2-4000	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
723232002	CVAG66B-CORRECTLY ZONED S	0.334 HDR			8-14 DU/JAC	R-3	3	3						CVWD
723163025	CVAG66B-CORRECTLY ZONED S	0.182 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723163031	CVAG66B-CORRECTLY ZONED S	0.191 HDR			8-14 DU/JAC	R-3	2	1	SAN ANDREAS FAULT ZONE					CVWD
723307026	CVAG66B-CORRECTLY ZONED S	0.185 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723163029	CVAG66B-CORRECTLY ZONED S	0.172 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723163024	CVAG66B-CORRECTLY ZONED S	0.327 HDR			8-14 DU/JAC	R-3	3	3						CVWD
723033002	CVAG66B-CORRECTLY ZONED S	0.186 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723021003	CVAG66B-CORRECTLY ZONED S	0.307 HDR			8-14 DU/JAC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CVWD
723307015	CVAG66B-CORRECTLY ZONED S	0.169 HDR			8-14 DU/JAC	R-3	1	1						CVWD

Housing Element Appendix A - Housing Inventory List

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723281022	CVAG66B-CORRECTLY ZONED S	0.160 HDR			8-14 DU/JAC	R-2	1	1						CVWD
609201007	CVAG66B-CORRECTLY ZONED S	0.297 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CVWD
603072010	CVAG66B-CORRECTLY ZONED S	0.139 HDR			8-14 DU/JAC	R-2	1	1					Zone D	CVWD
607216017	CVAG66B-CORRECTLY ZONED S	0.250 HDR			8-14 DU/JAC	R-2-4000	2	2		AREAS OF FLOODING SENSITIVITY				CVWD
723023016	CVAG66B-CORRECTLY ZONED S	0.188 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE					CVWD
609201002	CVAG66B-CORRECTLY ZONED S	0.293 HDR			8-14 DU/JAC	R-2-4000	2	2		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
723271001	CVAG66B-CORRECTLY ZONED S	0.076 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE					CVWD
723174017	CVAG66B-CORRECTLY ZONED S	0.596 HDR			8-14 DU/JAC	R-3		5	SAN ANDREAS FAULT ZONE					CVWD
723032013	CVAG66B-CORRECTLY ZONED S	0.184 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723291008	CVAG66B-CORRECTLY ZONED S	0.231 HDR			8-14 DU/JAC	R-2	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723281019	CVAG66B-CORRECTLY ZONED S	0.176 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723282018	CVAG66B-CORRECTLY ZONED S	0.194 HDR			8-14 DU/JAC	R-2	2	2						CVWD
723031028	CVAG66B-CORRECTLY ZONED S	0.393 HDR			8-14 DU/JAC	R-3	3	3						CVWD
609172072	CVAG66B-CORRECTLY ZONED S	2.409 HDR			8-14 DU/JAC	R-2-6000	19	15					Zone D	CVWD
723212005	CVAG66B-CORRECTLY ZONED S	0.364 HDR			8-14 DU/JAC	R-3	3	2						CVWD
607141035	CVAG66B-CORRECTLY ZONED S	0.234 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CVWD
723144003	CVAG66B-CORRECTLY ZONED S	0.374 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
723281027	CVAG66B-CORRECTLY ZONED S	0.177 HDR			8-14 DU/JAC	R-2	1	1						CVWD
723022002	CVAG66B-CORRECTLY ZONED S	0.297 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723272010	CVAG66B-CORRECTLY ZONED S	0.161 HDR			8-14 DU/JAC	R-3	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723291005	CVAG66B-CORRECTLY ZONED S	0.194 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723141003	CVAG66B-CORRECTLY ZONED S	0.326 HDR			8-14 DU/JAC	R-3	3	3	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723281010	CVAG66B-CORRECTLY ZONED S	0.164 HDR			8-14 DU/JAC	R-3	1	1						CVWD
723031012	CVAG66B-CORRECTLY ZONED S	0.386 HDR			8-14 DU/JAC	R-3	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
723143005	CVAG66B-CORRECTLY ZONED S	0.339 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CVWD
721292013	CVAG66B-CORRECTLY ZONED S	0.181 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CVWD
723282022	CVAG66B-CORRECTLY ZONED S	0.173 HDR			8-14 DU/JAC	R-2	1	1						CVWD

Housing Element Appendix A - Housing Inventory List

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723306002	CVAG66-CORRECTLY ZONED S	0.178 HDR			8-14 DU/JAC	R-2	1	1						CWWD
723307024	CVAG66-CORRECTLY ZONED S	0.168 HDR			8-14 DU/JAC	R-3	1	1						CWWD
723162015	CVAG66-CORRECTLY ZONED S	0.586 HDR			8-14 DU/JAC	R-3	5	4	SAN ANDREAS FAULT ZONE					CWWD
723162002	CVAG66-CORRECTLY ZONED S	0.292 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CWWD
721252005	CVAG66-CORRECTLY ZONED S	0.185 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CWWD
723281021	CVAG66-CORRECTLY ZONED S	0.169 HDR			8-14 DU/JAC	R-2	1	1	SAN ANDREAS FAULT ZONE					CWWD
723144002	CVAG66-CORRECTLY ZONED S	0.374 HDR			8-14 DU/JAC	R-3	3	2	SAN ANDREAS FAULT ZONE					CWWD
723281014	CVAG66-CORRECTLY ZONED S	0.198 HDR			8-14 DU/JAC	R-2	2	1		AREAS OF FLOODING SENSITIVITY				CWWD
694120005	CVAG66-CORRECTLY ZONED S	2.128 HDR			8-14 DU/JAC	R-T	17	14						CWWD
723174013	CVAG66-CORRECTLY ZONED S	0.877 HDR			8-14 DU/JAC	R-3	7	6	SAN ANDREAS FAULT ZONE					CWWD
723163006	CVAG66-CORRECTLY ZONED S	0.169 HDR			8-14 DU/JAC	R-3	1	1						CWWD
723306012	CVAG66-CORRECTLY ZONED S	0.218 HDR			8-14 DU/JAC	R-2	2	1						CWWD
723506015	CVAG66-CORRECTLY ZONED S	0.169 HDR			8-14 DU/JAC	R-2	1	1						CWWD
723174020	CVAG66-CORRECTLY ZONED S	0.550 HDR			8-14 DU/JAC	R-3	4	4	SAN ANDREAS FAULT ZONE					CWWD
723022003	CVAG66-CORRECTLY ZONED S	0.299 HDR			8-14 DU/JAC	R-3	2	2	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723031019	CVAG66-CORRECTLY ZONED S	0.190 HDR			8-14 DU/JAC	R-3	2	1		AREAS OF FLOODING SENSITIVITY				CWWD
694050006	CVAG65-CORRECTLY ZONED S	41.593 HDR			8-14 DU/JAC	R-2	333	266		AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CWWD
723282010	CVAG65-CORRECTLY ZONED S	0.172 HDR			8-14 DU/JAC	R-3	1	1						CWWD
723031008	CVAG66-CORRECTLY ZONED S	0.297 HDR			8-14 DU/JAC	R-3	2	2		AREAS OF FLOODING SENSITIVITY				CWWD
603074019	CVAG66-CORRECTLY ZONED S	0.319 HDR			8-14 DU/JAC	R-2	3	2						CWWD
607183024	CVAG66-CORRECTLY ZONED S	0.293 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CWWD
607204018	CVAG66-CORRECTLY ZONED S	0.280 HDR			8-14 DU/JAC	R-2-4000	2	2					Zone D	CWWD
723162013	CVAG66-CORRECTLY ZONED S	0.592 HDR			8-14 DU/JAC	R-3	5	4	SAN ANDREAS FAULT ZONE					CWWD
721252014	CVAG66-CORRECTLY ZONED S	0.183 HDR			8-14 DU/JAC	R-3	1	1	SAN ANDREAS FAULT ZONE					CWWD

Housing Element Appendix A - Housing Inventory List

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723162003	CVAG6B-CORRECTLY ZONED S	0.295 HDR			8-14 DU/JAC	R-3	2	2	SAN ANDREAS FAULT ZONE					CVWD
723307012	CVAG6B-CORRECTLY ZONED S	0.168 HDR			8-14 DU/JAC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
815282002	OTHER6B-CORRECTLY ZONED	1.028 HDR			8-14 DU/JAC	R-T	8	7		AREAS OF FLOODING SENSITIVITY				PVID
561020010	WRCOG6B-CORRECTLY ZONED	0.949 HDR			8-14 DU/JAC	R-T	8	6		AREAS OF FLOODING SENSITIVITY				Idyllwild County Water District
447150029	WRCOG6B-CORRECTLY ZONED	0.445 HDR			8-14 DU/JAC	R-3	4	3						EMWD
447150030	WRCOG6B-CORRECTLY ZONED	0.503 HDR			8-14 DU/JAC	R-3	4	3		AREAS OF FLOODING SENSITIVITY				EMWD
166630088	WRCOG6B-CORRECTLY ZONED	0.630 HDR			8-14 DU/JAC	R-3	5	4						JCSJ
549090036	WRCOG6B-CORRECTLY ZONED	5.896 HDR			8-14 DU/JAC	R-3	47	38	SAN JACINTO FAULT ZONE					EMWD
135141013	WRCOG6B-CORRECTLY ZONED	2.450 HDR			8-14 DU/JAC	R-3	20	16						HOME GARDENS SANITARY DISTRICT
561020016	WRCOG6B-CORRECTLY ZONED	0.274 HDR			8-14 DU/JAC	R-T	2	2		AREAS OF FLOODING SENSITIVITY				Idyllwild County Water District
247092013	WRCOG6B-CORRECTLY ZONED	0.750 HDR			8-14 DU/JAC	R-3	6	5						CITY OF RIVERSIDE WATER SERVICE
438211041	WRCOG6B-CORRECTLY ZONED	4.324 HDR			8-14 DU/JAC	R-2-6000	35	28	SAN JACINTO FAULT ZONE					WMWD
247081009	WRCOG6B-CORRECTLY ZONED	0.058 HDR			8-14 DU/JAC	R-3	0	0						CITY OF RIVERSIDE WATER SERVICE
247111002	WRCOG6B-CORRECTLY ZONED	0.106 HDR			8-14 DU/JAC	R-2	1	1						WMWD
135483009	WRCOG6B-CORRECTLY ZONED	0.524 HDR			8-14 DU/JAC	R-3	4	3						WMWD
	Not Zoned Correctly	208.850					1671	1337						
727120002	CVAG6A-NOT CORRECTLY ZONED	38.589 HDR			8-14 DU/JAC	A-1-5				AREAS OF FLOODING SENSITIVITY				
654210002	CVAG6A-NOT CORRECTLY ZONED	1.278 HDR			8-14 DU/JAC	W-2								
603062029	CVAG6A-NOT CORRECTLY ZONED	0.090 HDR			8-14 DU/JAC	C-1/C-P								
603062030	CVAG6A-NOT CORRECTLY ZONED	0.064 HDR			8-14 DU/JAC	C-1/C-P								
654210004	CVAG6A-NOT CORRECTLY ZONED	0.317 HDR			8-14 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				
607130009	CVAG6A-NOT CORRECTLY ZONED	2.287 HDR			8-14 DU/JAC	R-1							Zone D	
603073010	CVAG6A-NOT CORRECTLY ZONED	0.291 HDR			8-14 DU/JAC	C-1/C-P								
659020028	CVAG6A-NOT CORRECTLY ZONED	18.773 HDR			8-14 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				
656060004	CVAG6A-NOT CORRECTLY ZONED	5.130 HDR			8-14 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				

Housing Element Appendix A - Housing Inventory List

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626130019	CVAG6A-NOT CORRECTLY ZON	53.367 HDR			8-14 DU/AC	SP ZONE				AREAS OF FLOODING SENSITIVITY			Zone E	
626130003	CVAG6A-NOT CORRECTLY ZON	10.121 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				
670220015	CVAG6A-NOT CORRECTLY ZON	9.949 HDR			8-14 DU/AC					AREAS OF FLOODING SENSITIVITY			Zone E	
654210015	CVAG6A-NOT CORRECTLY ZON	1.067 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				
654210003	CVAG6A-NOT CORRECTLY ZON	0.315 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				
650020006	CVAG6A-NOT CORRECTLY ZON	19.967 HDR			8-14 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				
727112011	CVAG6A-NOT CORRECTLY ZON	38.688 HDR			8-14 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				
650390003	CVAG6A-NOT CORRECTLY ZON	11.314 HDR			8-14 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				
650390001	CVAG6A-NOT CORRECTLY ZON	12.622 HDR			8-14 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				
650390004	CVAG6A-NOT CORRECTLY ZON	3.520 HDR			8-14 DU/AC	R-2				AREAS OF FLOODING SENSITIVITY				
656060011	CVAG6A-NOT CORRECTLY ZON	4.717 HDR			8-14 DU/AC					AREAS OF FLOODING SENSITIVITY				
727112024	CVAG6A-NOT CORRECTLY ZON	39.745 HDR			8-14 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				
650020026	CVAG6A-NOT CORRECTLY ZON	19.896 HDR			8-14 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				
650390002	CVAG6A-NOT CORRECTLY ZON	9.627 HDR			8-14 DU/AC	R-2				AREAS OF FLOODING SENSITIVITY				
654210027	CVAG6A-NOT CORRECTLY ZON	8.887 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY	YES			
465040010	WRCOG6A-NOT CORRECTLY Z	10.011 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY	YES			
465040008	WRCOG6A-NOT CORRECTLY Z	9.712 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY	YES			
115210033	WRCOG6A-NOT CORRECTLY Z	0.418 HDR			8-14 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY	YES			
465040009	WRCOG6A-NOT CORRECTLY Z	9.934 HDR			8-14 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY	YES			
MHDR														
650102006	CVAG6B-CORRECTLY ZONED S	0.229 MHDR			5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CWWD



Housing Element Appendix A - Housing Inventory List

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723063001	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723062002	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
727182032	CVAG6B-CORRECTLY ZONED S	0.073	MHDR		5-8 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723043016	CVAG6B-CORRECTLY ZONED S	0.192	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
694072010	CVAG6B-CORRECTLY ZONED S	0.139	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721271013	CVAG6B-CORRECTLY ZONED S	0.174	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723052002	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723064008	CVAG6B-CORRECTLY ZONED S	0.190	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723043013	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723064005	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723062001	CVAG6B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
757023040	CVAG6B-CORRECTLY ZONED S	0.036	MHDR		5-8 DU/AC	R-3-4000	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
654110012	CVAG6B-CORRECTLY ZONED S	0.082	MHDR		5-8 DU/AC	R-T	0	0	SAN ANDREAS FAULT ZONE				Zone D	DWA
757023038	CVAG6B-CORRECTLY ZONED S	0.073	MHDR		5-8 DU/AC	R-3-4000	0	0	COUNTY					CVWD
723053013	CVAG6B-CORRECTLY ZONED S	0.195	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721242024	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
721262034	CVAG6B-CORRECTLY ZONED S	0.178	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE					CVWD
723073002	CVAG6B-CORRECTLY ZONED S	0.192	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723053005	CVAG6B-CORRECTLY ZONED S	0.195	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE					CVWD
721271002	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE					CVWD
654141051	CVAG6B-CORRECTLY ZONED S	0.017	MHDR		5-8 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				DWA
723023026	CVAG6B-CORRECTLY ZONED S	0.190	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
650101030	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-3-6000	1	1	1	AREAS OF FLOODING SENSITIVITY				CVWD
723023030	CVAG6B-CORRECTLY ZONED S	0.180	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721242041	CVAG6B-CORRECTLY ZONED S	0.178	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723044004	CVAG66B-CORRECTLY ZONED S	0.194	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
723044020	CVAG66B-CORRECTLY ZONED S	0.198	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
723064002	CVAG66B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
65141054	CVAG66B-CORRECTLY ZONED S	0.091	MHDR		5-8 DU/AC	R-2	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				DWA
721271011	CVAG66B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
723022021	CVAG66B-CORRECTLY ZONED S	0.178	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
721262025	CVAG66B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
72302001	CVAG66B-CORRECTLY ZONED S	0.901	MHDR		5-8 DU/AC	R-2A	5	4	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
651140005	CVAG66B-CORRECTLY ZONED S	14.975	MHDR		5-8 DU/AC	R-4	75	60	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
757051014	CVAG66B-CORRECTLY ZONED S	0.164	MHDR		5-8 DU/AC	R-3-4000	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF			Zone D	CVWD
651140008	CVAG66B-CORRECTLY ZONED S	2.074	MHDR		5-8 DU/AC	R-4	10	8	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
650101034	CVAG66B-CORRECTLY ZONED S	2.943	MHDR		5-8 DU/AC	R-3-5000	15	12	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
650102027	CVAG66B-CORRECTLY ZONED S	1.192	MHDR		5-8 DU/AC	R-3-6000	6	5	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
723044010	CVAG66B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
65011030	CVAG66B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-3-6000	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
727151030	CVAG66B-CORRECTLY ZONED S	0.175	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
727173028	CVAG66B-CORRECTLY ZONED S	0.158	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
721251011	CVAG66B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
748280009	CVAG66B-CORRECTLY ZONED S	18.498	MHDR		5-8 DU/AC	R-4	92	74	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF			Zone D	CVWD
723042007	CVAG66B-CORRECTLY ZONED S	0.192	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
723044009	CVAG66B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723033033	CVAG6B-CORRECTLY ZONED S	0.194	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
727151012	CVAG6B-CORRECTLY ZONED S	0.224	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723051005	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
651140006	CVAG6B-CORRECTLY ZONED S	18.992	MHDR		5-8 DU/AC	R-4	95	76	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723032017	CVAG6B-CORRECTLY ZONED S	0.192	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723044001	CVAG6B-CORRECTLY ZONED S	0.236	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
757024005	CVAG6B-CORRECTLY ZONED S	0.070	MHDR		5-8 DU/AC	R-3-4000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
723073004	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723043020	CVAG6B-CORRECTLY ZONED S	0.191	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
650101020	CVAG6B-CORRECTLY ZONED S	0.343	MHDR		5-8 DU/AC	R-3-6000	2	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721262035	CVAG6B-CORRECTLY ZONED S	0.176	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723053018	CVAG6B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723073008	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
757052013	CVAG6B-CORRECTLY ZONED S	0.154	MHDR		5-8 DU/AC	R-3-4000	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
721251013	CVAG6B-CORRECTLY ZONED S	0.180	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723044013	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721262031	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723072003	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
654141058	CVAG6B-CORRECTLY ZONED S	0.100	MHDR		5-8 DU/AC	R-T	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				DWA
727163020	CVAG6B-CORRECTLY ZONED S	0.078	MHDR		5-8 DU/AC	R-2	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
727163021	CVAG6B-CORRECTLY ZONED S	0.174	MHDR		5-8 DU/AC	R-4	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
650101018	CVAG6B-CORRECTLY ZONED S	0.174	MHDR		5-8 DU/AC	R-3-6000	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
72305808	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	COUNTY 1 FAULT ZONE					CVWD
721242040	CVAG6B-CORRECTLY ZONED S	0.176	MHDR		5-8 DU/AC	R-2	1	1						CVWD
721262028	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1						CVWD
721211006	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1						CVWD
723042013	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723051018	CVAG6B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
661272057	CVAG6B-CORRECTLY ZONED S	6.628	MHDR		5-8 DU/AC	R-2A	33	27		AREAS OF FLOODING SENSITIVITY				DWA
757024004	CVAG6B-CORRECTLY ZONED S	0.285	MHDR		5-8 DU/AC	R-3-4000	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
723069002	CVAG6B-CORRECTLY ZONED S	0.194	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
654141053	CVAG6B-CORRECTLY ZONED S	0.014	MHDR		5-8 DU/AC	R-T	0	0						DWA
727331069	CVAG6B-CORRECTLY ZONED S	0.134	MHDR		5-8 DU/AC	R-6	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650111025	CVAG6B-CORRECTLY ZONED S	0.365	MHDR		5-8 DU/AC	R-3-6000	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
721251012	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS 1 FAULT ZONE					CVWD
723042009	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650102009	CVAG6B-CORRECTLY ZONED S	0.215	MHDR		5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
727205010	CVAG6B-CORRECTLY ZONED S	0.141	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723043005	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
727151026	CVAG6B-CORRECTLY ZONED S	0.031	MHDR		5-8 DU/AC	R-2	0	0						CVWD
723063006	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723032016	CVAG6B-CORRECTLY ZONED S	0.235	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
650290023	CVAG6B-CORRECTLY ZONED S	0.752	MHDR		5-8 DU/AC	R-3-6000	4	3		AREAS OF FLOODING SENSITIVITY				CVWD
727163012	CVAG6B-CORRECTLY ZONED S	0.071	MHDR		5-8 DU/AC	R-2	0	0						CVWD
757041035	CVAG6B-CORRECTLY ZONED S	0.152	MHDR		5-8 DU/AC	R-3-4000	1	1					Zone D	CVWD
727205013	CVAG6B-CORRECTLY ZONED S	0.180	MHDR		5-8 DU/AC	R-2	1	1						CVWD
727331068	CVAG6B-CORRECTLY ZONED S	0.765	MHDR		5-8 DU/AC	R-6	4	3		AREAS OF FLOODING SENSITIVITY				CVWD
650101004	CVAG6B-CORRECTLY ZONED S	0.217	MHDR		5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION/AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
727152015	CVAG6B-CORRECTLY ZONED S	0.094	MHDR			5-8 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694072002	CVAG6B-CORRECTLY ZONED S	0.271	MHDR			5-8 DU/AC	R-4	1	1						CVWD
721271014	CVAG6B-CORRECTLY ZONED S	0.179	MHDR			5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723072004	CVAG6B-CORRECTLY ZONED S	0.182	MHDR			5-8 DU/AC	R-2	1	1	COUNTY					CVWD
727361039	CVAG6B-CORRECTLY ZONED S	0.029	MHDR			5-8 DU/AC	R-6	0	0						CVWD
723032029	CVAG6B-CORRECTLY ZONED S	0.185	MHDR			5-8 DU/AC	R-2A	1	1						CVWD
694050007	CVAG6B-CORRECTLY ZONED S	22.894	MHDR			5-8 DU/AC	R-T	114	92		AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CVWD
727201045	CVAG6B-CORRECTLY ZONED S	0.201	MHDR			5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
693230011	CVAG6B-CORRECTLY ZONED S	5.921	MHDR			5-8 DU/AC	R-4	30	24		AREAS OF FLOODING SENSITIVITY				CVWD
723043015	CVAG6B-CORRECTLY ZONED S	0.190	MHDR			5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723052006	CVAG6B-CORRECTLY ZONED S	0.187	MHDR			5-8 DU/AC	R-2	1	1	COUNTY					CVWD
757053036	CVAG6B-CORRECTLY ZONED S	0.149	MHDR			5-8 DU/AC	R-3-4000	1	1	FAULT ZONE				Zone D	CVWD
721251010	CVAG6B-CORRECTLY ZONED S	0.185	MHDR			5-8 DU/AC	R-2	1	1	SAN ANDREAS					CVWD
727182033	CVAG6B-CORRECTLY ZONED S	0.078	MHDR			5-8 DU/AC	R-2	0	0	FAULT ZONE					CVWD
723053011	CVAG6B-CORRECTLY ZONED S	0.192	MHDR			5-8 DU/AC	R-2	1	1	COUNTY					CVWD
694050001	CVAG6B-CORRECTLY ZONED S	40.582	MHDR			5-8 DU/AC	R-T	203	162		AREAS OF FLOODING SENSITIVITY				CVWD
721262021	CVAG6B-CORRECTLY ZONED S	0.178	MHDR			5-8 DU/AC	R-2	1	1						CVWD
727151002	CVAG6B-CORRECTLY ZONED S	0.502	MHDR			5-8 DU/AC	R-2	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
723064004	CVAG6B-CORRECTLY ZONED S	0.185	MHDR			5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723023023	CVAG6B-CORRECTLY ZONED S	0.184	MHDR			5-8 DU/AC	R-2A	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
694072006	CVAG6B-CORRECTLY ZONED S	0.155	MHDR			5-8 DU/AC	R-4	1	1	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
650370001	CVAG6B-CORRECTLY ZONED S	0.169	MHDR			5-8 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721242023	CVAG6B-CORRECTLY ZONED S	0.186	MHDR			5-8 DU/AC	R-2	1	1	SAN ANDREAS					CVWD
723023024	CVAG6B-CORRECTLY ZONED S	0.186	MHDR			5-8 DU/AC	R-2A	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

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723052009	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY					CVWD
723073005	CVAG6B-CORRECTLY ZONED S	0.194	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY					CVWD
727182037	CVAG6B-CORRECTLY ZONED S	0.082	MHDR		5-8 DU/AC	R-2	0	0						CVWD
721262039	CVAG6B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1						CVWD
721262024	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1						CVWD
723044006	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CVWD
723043012	CVAG6B-CORRECTLY ZONED S	0.191	MHDR		5-8 DU/AC	R-2	1	1						CVWD
727205011	CVAG6B-CORRECTLY ZONED S	0.095	MHDR		5-8 DU/AC	R-2	0	0						CVWD
650110051	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-3-6000	1	1						CVWD
723042004	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1						CVWD
650101035	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-3-6000	1	1						CVWD
723073006	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY					CVWD
723072008	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY					CVWD
721271005	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1						CVWD
723023032	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2A	1	1	1 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723032022	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2A	1	1	1 FAULT ZONE COUNTY					CVWD
723051008	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723062005	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1						CVWD
757023039	CVAG6B-CORRECTLY ZONED S	0.159	MHDR		5-8 DU/AC	R-3-4000	1	1					Zone D	CVWD
694072009	CVAG6B-CORRECTLY ZONED S	0.145	MHDR		5-8 DU/AC	R-4	1	1						CVWD
723051005	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
721262030	CVAG6B-CORRECTLY ZONED S	0.176	MHDR		5-8 DU/AC	R-2	1	1						CVWD
721251020	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1						CVWD
723044003	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1	1 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723063008	CVAG6B-CORRECTLY ZONED S	0.196	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723044014	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
727173031	CVAG6B-CORRECTLY ZONED S	0.160	MHDR		5-8 DU/AC	R-2	1	1						CWWD
721242042	CVAG6B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1						CWWD
723063005	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1						CWWD
654083021	CVAG6B-CORRECTLY ZONED S	0.061	MHDR		5-8 DU/AC	R-2	0	0						DWA
723032027	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723023031	CVAG6B-CORRECTLY ZONED S	0.191	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721271009	CVAG6B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1						CWWD
723042015	CVAG6B-CORRECTLY ZONED S	0.191	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650300013	CVAG6B-CORRECTLY ZONED S	4.996	MHDR		5-8 DU/AC	R-3-6000	25	20		AREAS OF FLOODING SENSITIVITY				CWWD
721262023	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723043018	CVAG6B-CORRECTLY ZONED S	0.191	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723064001	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723043002	CVAG6B-CORRECTLY ZONED S	0.249	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723043017	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1						CWWD
721262038	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650101016	CVAG6B-CORRECTLY ZONED S	0.596	MHDR		5-8 DU/AC	R-3-6000	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
723044011	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723071003	CVAG6B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723022024	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
727191036	CVAG6B-CORRECTLY ZONED S	0.077	MHDR		5-8 DU/AC	R-2	0	0						CWWD
721251005	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE					CWWD
727361040	CVAG6B-CORRECTLY ZONED S	0.021	MHDR		5-8 DU/AC	R-6	0	0						CWWD
727173046	CVAG6B-CORRECTLY ZONED S	0.158	MHDR		5-8 DU/AC	R-2	1	1						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
727151031	CVAG66B-CORRECTLY ZONED S	0.125	MHDR		5-8 DU/AC	R-2	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
694120011	CVAG66B-CORRECTLY ZONED S	8.268	MHDR		5-8 DU/AC	R-3	41	33		AREAS OF FLOODING SENSITIVITY				CVWD
723051011	CVAG66B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	COUNTY	FLOODING SENSITIVITY				CVWD
757052010	CVAG66B-CORRECTLY ZONED S	0.001	MHDR		5-8 DU/AC	R-3-4000	0	0					Zone D	CVWD
727182038	CVAG66B-CORRECTLY ZONED S	0.075	MHDR		5-8 DU/AC	R-2	0	0						CVWD
723032025	CVAG66B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY					CVWD
723053006	CVAG66B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723053009	CVAG66B-CORRECTLY ZONED S	0.193	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
727151036	CVAG66B-CORRECTLY ZONED S	0.207	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723052003	CVAG66B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
721271001	CVAG66B-CORRECTLY ZONED S	0.197	MHDR		5-8 DU/AC	R-2	1	1						CVWD
723042020	CVAG66B-CORRECTLY ZONED S	0.180	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723043010	CVAG66B-CORRECTLY ZONED S	0.193	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
661260057	CVAG66B-CORRECTLY ZONED S	3.338	MHDR		5-8 DU/AC	R-2A	17	13		AREAS OF FLOODING SENSITIVITY				DWA
723071006	CVAG66B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1	COUNTY	FLOODING SENSITIVITY				CVWD
654322004	CVAG66B-CORRECTLY ZONED S	0.086	MHDR		5-8 DU/AC	R-T	0	0						DWA
727151007	CVAG66B-CORRECTLY ZONED S	0.498	MHDR		5-8 DU/AC	R-2	2	2						CVWD
727163022	CVAG66B-CORRECTLY ZONED S	0.145	MHDR		5-8 DU/AC	R-2	1	1						CVWD
694050011	CVAG66B-CORRECTLY ZONED S	27.594	MHDR		5-8 DU/AC	R-3	138	110		AREAS OF FLOODING SENSITIVITY				CVWD
650102026	CVAG66B-CORRECTLY ZONED S	0.581	MHDR		5-8 DU/AC	R-3-6000	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
650102003	CVAG66B-CORRECTLY ZONED S	0.218	MHDR		5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721242043	CVAG66B-CORRECTLY ZONED S	0.225	MHDR		5-8 DU/AC	R-2	1	1						CVWD
727350206	CVAG66B-CORRECTLY ZONED S	4.432	MHDR		5-8 DU/AC	R-6	22	18		AREAS OF FLOODING SENSITIVITY				CVWD
650020014	CVAG66B-CORRECTLY ZONED S	9.865	MHDR		5-8 DU/AC	R-1	49	39		AREAS OF FLOODING SENSITIVITY				CVWD
721251006	CVAG66B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721251003	CVAG6B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE COUNTY					CWWD
723032018	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2A	1	1	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
694072003	CVAG6B-CORRECTLY ZONED S	0.133	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
721271018	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723064003	CVAG6B-CORRECTLY ZONED S	0.184	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
727166027	CVAG6B-CORRECTLY ZONED S	0.148	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723023029	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721271008	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
727151035	CVAG6B-CORRECTLY ZONED S	0.214	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723032023	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723053010	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723062007	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
757051017	CVAG6B-CORRECTLY ZONED S	0.377	MHDR		5-8 DU/AC	R-3-4000	2	2		AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
650102010	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
721262026	CVAG6B-CORRECTLY ZONED S	0.178	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723053004	CVAG6B-CORRECTLY ZONED S	0.190	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CWWD
727361041	CVAG6B-CORRECTLY ZONED S	0.043	MHDR		5-8 DU/AC	R-6	0	0						CWWD
694072007	CVAG6B-CORRECTLY ZONED S	0.142	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723042006	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650020018	CVAG6B-CORRECTLY ZONED S	5.600	MHDR		5-8 DU/AC	R-1	28	22		AREAS OF FLOODING SENSITIVITY				CWWD
723044007	CVAG6B-CORRECTLY ZONED S	0.188	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723053015	CVAG6B-CORRECTLY ZONED S	0.194	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
727151034	CVAG6B-CORRECTLY ZONED S	0.226	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
727182034	CVAG6B-CORRECTLY ZONED S	0.068	MHDR		5-8 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
651140007	CVAG6B-CORRECTLY ZONED S	5.071	MHDR		5-8 DU/AC	R-5	25	20		AREAS OF FLOODING SENSITIVITY				CVWD
721242025	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723042003	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723032028	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
650101019	CVAG6B-CORRECTLY ZONED S	0.168	MHDR		5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
727205012	CVAG6B-CORRECTLY ZONED S	0.337	MHDR		5-8 DU/AC	R-2	2	1						CVWD
721262020	CVAG6B-CORRECTLY ZONED S	0.197	MHDR		5-8 DU/AC	R-2	1	1						CVWD
723052004	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723073003	CVAG6B-CORRECTLY ZONED S	0.186	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723063004	CVAG6B-CORRECTLY ZONED S	0.190	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723072009	CVAG6B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723044017	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650250001	CVAG6B-CORRECTLY ZONED S	4.827	MHDR		5-8 DU/AC	R-3-6000	24	19		AREAS OF FLOODING SENSITIVITY				CVWD
723071002	CVAG6B-CORRECTLY ZONED S	0.180	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721271003	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650101009	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-3-6000	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723042002	CVAG6B-CORRECTLY ZONED S	0.242	MHDR		5-8 DU/AC	R-2A	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723052015	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723043001	CVAG6B-CORRECTLY ZONED S	0.245	MHDR		5-8 DU/AC	R-2A	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721271010	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723023019	CVAG6B-CORRECTLY ZONED S	0.222	MHDR		5-8 DU/AC	R-2A	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

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721242029	CVAG66B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
694072008	CVAG66B-CORRECTLY ZONED S	0.141	MHDR		5-8 DU/AC	R-4	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
727165023	CVAG66B-CORRECTLY ZONED S	0.148	MHDR		5-8 DU/AC	R-2	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
723023018	CVAG66B-CORRECTLY ZONED S	0.249	MHDR		5-8 DU/AC	R-2A	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
727163031	CVAG66B-CORRECTLY ZONED S	0.165	MHDR		5-8 DU/AC	R-2	1	1						CVWD
721271016	CVAG66B-CORRECTLY ZONED S	0.173	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
723051004	CVAG66B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723044016	CVAG66B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723051020	CVAG66B-CORRECTLY ZONED S	0.195	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
654331005	CVAG66B-CORRECTLY ZONED S	0.095	MHDR		5-8 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD DWA
650101027	CVAG66B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-3-6000	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
748280008	CVAG66B-CORRECTLY ZONED S	19.580	MHDR		5-8 DU/AC	R-4	98	78	AREAS OF FLOODING SENSITIVITY					CVWD
721262022	CVAG66B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1	AREAS OF FLOODING SENSITIVITY				Zone D	CVWD CVWD
650101017	CVAG66B-CORRECTLY ZONED S	0.167	MHDR		5-8 DU/AC	R-3-6000	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
723023028	CVAG66B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE					CVWD
694072004	CVAG66B-CORRECTLY ZONED S	0.138	MHDR		5-8 DU/AC	R-4	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
723053017	CVAG66B-CORRECTLY ZONED S	0.192	MHDR		5-8 DU/AC	R-2	1	1	COUNTY					CVWD
727182039	CVAG66B-CORRECTLY ZONED S	0.083	MHDR		5-8 DU/AC	R-2	0	0	COUNTY FAULT ZONE					CVWD
694072001	CVAG66B-CORRECTLY ZONED S	0.247	MHDR		5-8 DU/AC	R-4	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
721242034	CVAG66B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723042019	CVAG66B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1	AREAS OF FLOODING SENSITIVITY					CVWD
757053027	CVAG66B-CORRECTLY ZONED S	0.077	MHDR		5-8 DU/AC	R-3-4000	0	0	AREAS OF FLOODING SENSITIVITY				Zone D	CVWD CVWD

Housing Element Appendix A - Housing Inventory List

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723064006	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723042017	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721251004	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
729050002	CVAG6B-CORRECTLY ZONED S	22.929	MHDR		5-8 DU/AC	W-2	115	92						CVWD
721242089	CVAG6B-CORRECTLY ZONED S	0.172	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723042018	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
727163027	CVAG6B-CORRECTLY ZONED S	0.157	MHDR		5-8 DU/AC	R-2	1	1						CVWD
757023042	CVAG6B-CORRECTLY ZONED S	0.087	MHDR		5-8 DU/AC	R-3-4000	0	0					Zone D	CVWD
727182051	CVAG6B-CORRECTLY ZONED S	0.118	MHDR		5-8 DU/AC	R-2	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723043007	CVAG6B-CORRECTLY ZONED S	0.197	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723053007	CVAG6B-CORRECTLY ZONED S	0.192	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723071007	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650300014	CVAG6B-CORRECTLY ZONED S	1.848	MHDR		5-8 DU/AC	R-3-6000	9	7		AREAS OF FLOODING SENSITIVITY				CVWD
721271004	CVAG6B-CORRECTLY ZONED S	0.179	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721251017	CVAG6B-CORRECTLY ZONED S	0.182	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
721271007	CVAG6B-CORRECTLY ZONED S	0.180	MHDR		5-8 DU/AC	R-2	1	1						CVWD
721242038	CVAG6B-CORRECTLY ZONED S	0.178	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE					CVWD
757042016	CVAG6B-CORRECTLY ZONED S	0.264	MHDR		5-8 DU/AC	R-3-4000	1	1					Zone D	CVWD
723052013	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
723043009	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723043011	CVAG6B-CORRECTLY ZONED S	0.190	MHDR		5-8 DU/AC	R-2	1	1						CVWD
727191030	CVAG6B-CORRECTLY ZONED S	0.076	MHDR		5-8 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723044008	CVAG6B-CORRECTLY ZONED S	0.195	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD
757052014	CVAG6B-CORRECTLY ZONED S	0.159	MHDR		5-8 DU/AC	R-3-4000	1	1					Zone D	CVWD
723072002	CVAG6B-CORRECTLY ZONED S	0.195	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650300011	CVAG6B-CORRECTLY ZONED S	2.307	MHDR		5-8 DU/AC	R-3-6000	12	9		AREAS OF FLOODING SENSITIVITY				CWWD
727182036	CVAG6B-CORRECTLY ZONED S	0.076	MHDR		5-8 DU/AC	R-2	0	0						CWWD
721251008	CVAG6B-CORRECTLY ZONED S	0.181	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE COUNTY					CWWD
723053003	CVAG6B-CORRECTLY ZONED S	0.195	MHDR		5-8 DU/AC	R-2	1	1	FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CWWD
723044002	CVAG6B-CORRECTLY ZONED S	0.245	MHDR		5-8 DU/AC	R-2A	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
727172011	CVAG6B-CORRECTLY ZONED S	0.341	MHDR		5-8 DU/AC	R-2	2	1	COUNTY					CWWD
723073007	CVAG6B-CORRECTLY ZONED S	0.189	MHDR		5-8 DU/AC	R-2	1	1	FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CWWD
694060023	CVAG6B-CORRECTLY ZONED S	41.661	MHDR		5-8 DU/AC	R-4	208	167	COUNTY	AREAS OF FLOODING SENSITIVITY				CWWD
723053019	CVAG6B-CORRECTLY ZONED S	0.200	MHDR		5-8 DU/AC	R-2	1	1	FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				CWWD
723071001	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723072006	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE					CWWD
723042010	CVAG6B-CORRECTLY ZONED S	0.187	MHDR		5-8 DU/AC	R-2	1	1	FAULT ZONE COUNTY	FLOODING				CWWD
721251009	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723042005	CVAG6B-CORRECTLY ZONED S	0.185	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723044012	CVAG6B-CORRECTLY ZONED S	0.190	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	FLOODING SENSITIVITY				CWWD
723062006	CVAG6B-CORRECTLY ZONED S	0.183	MHDR		5-8 DU/AC	R-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650290022	CVAG6B-CORRECTLY ZONED S	0.841	MHDR		5-8 DU/AC	R-3-6000	4	3		FLOODING SENSITIVITY				CWWD
757041036	CVAG6B-CORRECTLY ZONED S	0.071	MHDR		5-8 DU/AC	R-3-4000	0	0					Zone D	CWWD
757051016	CVAG6B-CORRECTLY ZONED S	0.244	MHDR		5-8 DU/AC	R-3-4000	1	1					Zone D	CWWD
723044005	CVAG6B-CORRECTLY ZONED S	0.177	MHDR		5-8 DU/AC	R-2	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
650020016	CVAG6B-CORRECTLY ZONED S	5.193	MHDR		5-8 DU/AC	R-1	26	21		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

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659020020	CVAG66B-CORRECTLY ZONED S	5.371	MHDR		5-8 DU/AC	R-1	27	21		AREAS OF FLOODING SENSITIVITY				CVWD
727182035	CVAG66B-CORRECTLY ZONED S	0.076	MHDR		5-8 DU/AC	R-2	0	0						CVWD
727151037	CVAG66B-CORRECTLY ZONED S	0.196	MHDR		5-8 DU/AC	R-2	1	1						CVWD
757052015	CVAG66B-CORRECTLY ZONED S	0.150	MHDR		5-8 DU/AC	R-3-4000	1	1					Zone D	CVWD
757052017	CVAG66B-CORRECTLY ZONED S	0.000	MHDR		5-8 DU/AC	R-3-4000	0	0					Zone D	CVWD
757052017	CVAG66B-CORRECTLY ZONED S	0.081	MHDR		5-8 DU/AC	R-3-4000	0	0					Zone D	CVWD
727205020	CVAG66B-CORRECTLY ZONED S	0.732	MHDR		5-8 DU/AC	R-2	4	3						CVWD
727211045	CVAG66B-CORRECTLY ZONED S	0.389	MHDR		5-8 DU/AC	R-2	2	2					Zone D	CVWD
757052016	CVAG66B-CORRECTLY ZONED S	0.226	MHDR		5-8 DU/AC	R-3-4000	1	1						CVWD
727163034	CVAG66B-CORRECTLY ZONED S	0.140	MHDR		5-8 DU/AC	R-2	1	1						CVWD
869090033	OTHER66B-CORRECTLY ZONED	0.246	MHDR		5-8 DU/AC	R-2	1	1						PVID
869090037	OTHER66B-CORRECTLY ZONED	0.246	MHDR		5-8 DU/AC	R-2	1	1						PVID
869090005	OTHER66B-CORRECTLY ZONED	0.245	MHDR		5-8 DU/AC	R-2	1	1						PVID
869090111	OTHER66B-CORRECTLY ZONED	0.190	MHDR		5-8 DU/AC	R-2	1	1						PVID
869090038	OTHER66B-CORRECTLY ZONED	0.474	MHDR		5-8 DU/AC	R-2	2	2						PVID
869090056	OTHER66B-CORRECTLY ZONED	0.183	MHDR		5-8 DU/AC	R-2	1	1						PVID
869090051	OTHER66B-CORRECTLY ZONED	4.747	MHDR		5-8 DU/AC	R-2	24	19						PVID
869090055	OTHER66B-CORRECTLY ZONED	0.018	MHDR		5-8 DU/AC	R-2	0	0						PVID
869090043	OTHER66B-CORRECTLY ZONED	0.187	MHDR		5-8 DU/AC	R-2	1	1						PVID
869090048	OTHER66B-CORRECTLY ZONED	2.139	MHDR		5-8 DU/AC	R-2	11	9						PVID
135572006	WRICOG66B-CORRECTLY ZONED	0.177	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275033	WRICOG66B-CORRECTLY ZONED	0.286	MHDR		5-8 DU/AC	R-4	1	1						WMWD
549110030	WRICOG66B-CORRECTLY ZONED	7.986	MHDR		5-8 DU/AC	R-2-4000	40	32						EMWD
140920010	WRICOG66B-CORRECTLY ZONED	0.325	MHDR		5-8 DU/AC	R-4	2	1						EMWD
135380080	WRICOG66B-CORRECTLY ZONED	0.705	MHDR		5-8 DU/AC	R-4	4	3						WMWD
135561002	WRICOG66B-CORRECTLY ZONED	0.162	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275013	WRICOG66B-CORRECTLY ZONED	0.153	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135560003	WRICOG66B-CORRECTLY ZONED	0.275	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275017	WRICOG66B-CORRECTLY ZONED	0.111	MHDR		5-8 DU/AC	R-4	1	0						WMWD
371160007	WRICOG66B-CORRECTLY ZONED	3.771	MHDR		5-8 DU/AC	R-D	19	15	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
408050002	WRICOG66B-CORRECTLY ZONED	0.588	MHDR		5-8 DU/AC	R-T	3	2		AREAS OF FLOODING SENSITIVITY				SGPWA
140275014	WRICOG66B-CORRECTLY ZONED	0.128	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275029	WRICOG66B-CORRECTLY ZONED	0.105	MHDR		5-8 DU/AC	R-4	1	0						WMWD
140275039	WRICOG66B-CORRECTLY ZONED	0.267	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275035	WRICOG66B-CORRECTLY ZONED	0.129	MHDR		5-8 DU/AC	R-4	1	1						WMWD
408050011	WRICOG66B-CORRECTLY ZONED	4.760	MHDR		5-8 DU/AC	R-T	24	19		AREAS OF FLOODING SENSITIVITY				SGPWA
179082013	WRICOG66B-CORRECTLY ZONED	1.017	MHDR		5-8 DU/AC	R-1	5	4					Zone E	WMWD
135562001	WRICOG66B-CORRECTLY ZONED	0.457	MHDR		5-8 DU/AC	R-4	2	2						WMWD
963142032	WRICOG66B-CORRECTLY ZONED	0.722	MHDR		5-8 DU/AC	R-2	4	3					Zone D	EMWD
140310018	WRICOG66B-CORRECTLY ZONED	0.229	MHDR		5-8 DU/AC	R-4	1	1						WMWD
552310007	WRICOG66B-CORRECTLY ZONED	0.200	MHDR		5-8 DU/AC	R-T-2000	1	1						EMWD
140275031	WRICOG66B-CORRECTLY ZONED	0.091	MHDR		5-8 DU/AC	R-4	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

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371150010	WRCOG6B-CORRECTLY ZONE	2.058	MHDR		5-8 DU/AC	R-D	10	8	COUNTY FAULT ZONE	FLOODING SENSITIVITY				WMWD
247071002	WRCOG6B-CORRECTLY ZONE	0.222	MHDR		5-8 DU/AC	R-3	1	1						WMWD
135562006	WRCOG6B-CORRECTLY ZONE	0.196	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135580007	WRCOG6B-CORRECTLY ZONE	0.548	MHDR		5-8 DU/AC	R-4	3	2						WMWD
135562003	WRCOG6B-CORRECTLY ZONE	0.171	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135571025	WRCOG6B-CORRECTLY ZONE	0.155	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275028	WRCOG6B-CORRECTLY ZONE	0.097	MHDR		5-8 DU/AC	R-4	0	0						WMWD
135572007	WRCOG6B-CORRECTLY ZONE	0.442	MHDR		5-8 DU/AC	R-4	2	2						WMWD
140275041	WRCOG6B-CORRECTLY ZONE	0.126	MHDR		5-8 DU/AC	R-4	1	1						WMWD
552130080	WRCOG6B-CORRECTLY ZONE	3.002	MHDR		5-8 DU/AC	R-4	15	12						EMWD
140310023	WRCOG6B-CORRECTLY ZONE	0.173	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135562008	WRCOG6B-CORRECTLY ZONE	0.178	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275011	WRCOG6B-CORRECTLY ZONE	0.203	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135562007	WRCOG6B-CORRECTLY ZONE	0.180	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135560001	WRCOG6B-CORRECTLY ZONE	0.210	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275020	WRCOG6B-CORRECTLY ZONE	0.158	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275026	WRCOG6B-CORRECTLY ZONE	0.277	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135572008	WRCOG6B-CORRECTLY ZONE	0.158	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135561005	WRCOG6B-CORRECTLY ZONE	0.217	MHDR		5-8 DU/AC	R-4	1	1						WMWD
963130014	WRCOG6B-CORRECTLY ZONE	0.506	MHDR		5-8 DU/AC	R-2	3	2					Zone D	EMWD
140275034	WRCOG6B-CORRECTLY ZONE	0.131	MHDR		5-8 DU/AC	R-4	1	1						WMWD
371150016	WRCOG6B-CORRECTLY ZONE	2.265	MHDR		5-8 DU/AC	R-D	11	9	COUNTY FAULT ZONE	FLOODING SENSITIVITY				WMWD
290200032	WRCOG6B-CORRECTLY ZONE	2.962	MHDR		5-8 DU/AC	R-T	15	12	ELSINORE FAULT ZONE	FLOODING SENSITIVITY				WMWD
408050008	WRCOG6B-CORRECTLY ZONE	0.411	MHDR		5-8 DU/AC	R-T	2	2						SSPWA
549161029	WRCOG6B-CORRECTLY ZONE	0.404	MHDR		5-8 DU/AC	R-T	2	2						EMWD
140310019	WRCOG6B-CORRECTLY ZONE	0.233	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135580009	WRCOG6B-CORRECTLY ZONE	2.660	MHDR		5-8 DU/AC	R-4	13	11						WMWD
461280002	WRCOG6B-CORRECTLY ZONE	0.536	MHDR		5-8 DU/AC	R-3	3	2						EMWD
552331022	WRCOG6B-CORRECTLY ZONE	0.042	MHDR		5-8 DU/AC	R-1	0	0						EMWD
290230220	WRCOG6B-CORRECTLY ZONE	2.804	MHDR		5-8 DU/AC	R-T	14	11	ELSINORE FAULT ZONE	FLOODING SENSITIVITY				WMWD
140275040	WRCOG6B-CORRECTLY ZONE	0.224	MHDR		5-8 DU/AC	R-4	1	1						WMWD
963120006	WRCOG6B-CORRECTLY ZONE	0.465	MHDR		5-8 DU/AC	R-2	2	2						EMWD
140275016	WRCOG6B-CORRECTLY ZONE	0.105	MHDR		5-8 DU/AC	R-4	1	0					Zone D	EMWD
140275025	WRCOG6B-CORRECTLY ZONE	0.105	MHDR		5-8 DU/AC	R-4	1	0						WMWD

Housing Element Appendix A - Housing Inventory List

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408050009	WRCO66B-CORRECTLY ZONE	2.812	MHDR		5-8 DU/AC	R-T	14	11		FLOODING SENSITIVITY				SGPWA
140275022	WRCO66B-CORRECTLY ZONE	0.117	MHDR		5-8 DU/AC	R-4	1	0						WMWD
135571027	WRCO66B-CORRECTLY ZONE	0.925	MHDR		5-8 DU/AC	R-4	5	4						WMWD
140170014	WRCO66B-CORRECTLY ZONE	3.793	MHDR		5-8 DU/AC	R-4	19	15						WMWD
140275019	WRCO66B-CORRECTLY ZONE	0.167	MHDR		5-8 DU/AC	R-4	1	1						WMWD
461280001	WRCO66B-CORRECTLY ZONE	5.644	MHDR		5-8 DU/AC	R-3	28	23		AREAS OF FLOODING SENSITIVITY	YES			EMWD
247082015	WRCO66B-CORRECTLY ZONE	0.880	MHDR		5-8 DU/AC	R-2	4	4						WMWD
140311011	WRCO66B-CORRECTLY ZONE	2.567	MHDR		5-8 DU/AC	R-4	13	10						WMWD
135560002	WRCO66B-CORRECTLY ZONE	0.222	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275027	WRCO66B-CORRECTLY ZONE	0.259	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135561006	WRCO66B-CORRECTLY ZONE	0.226	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275037	WRCO66B-CORRECTLY ZONE	0.112	MHDR		5-8 DU/AC	R-4	1	0						WMWD
135331054	WRCO66B-CORRECTLY ZONE	1.050	MHDR		5-8 DU/AC	R-4	5	4						WMWD
135561001	WRCO66B-CORRECTLY ZONE	0.141	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
461280004	WRCO66B-CORRECTLY ZONE	1.735	MHDR		5-8 DU/AC	R-3	9	7						EMWD
370310002	WRCO66B-CORRECTLY ZONE	4.997	MHDR		5-8 DU/AC	R-3	25	20		AREAS OF FLOODING SENSITIVITY				WMWD
408050001	WRCO66B-CORRECTLY ZONE	3.069	MHDR		5-8 DU/AC	R-T	15	12						SGPWA
135561003	WRCO66B-CORRECTLY ZONE	0.179	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135562004	WRCO66B-CORRECTLY ZONE	0.174	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275036	WRCO66B-CORRECTLY ZONE	0.113	MHDR		5-8 DU/AC	R-4	1	0						WMWD
461280003	WRCO66B-CORRECTLY ZONE	4.378	MHDR		5-8 DU/AC	R-3	22	18			YES			EMWD
140320025	WRCO66B-CORRECTLY ZONE	5.419	MHDR		5-8 DU/AC	R-4	27	22						WMWD
135562005	WRCO66B-CORRECTLY ZONE	0.185	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275015	WRCO66B-CORRECTLY ZONE	0.097	MHDR		5-8 DU/AC	R-4	0	0						WMWD
135571026	WRCO66B-CORRECTLY ZONE	0.059	MHDR		5-8 DU/AC	R-4	0	0						WMWD
140275038	WRCO66B-CORRECTLY ZONE	0.132	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135562009	WRCO66B-CORRECTLY ZONE	0.202	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275012	WRCO66B-CORRECTLY ZONE	0.194	MHDR		5-8 DU/AC	R-4	1	1						WMWD
438210035	WRCO66B-CORRECTLY ZONE	4.032	MHDR		5-8 DU/AC	R-2	20	16	SAN JACINTO FAULT ZONE					EMWD
135380082	WRCO66B-CORRECTLY ZONE	1.765	MHDR		5-8 DU/AC	R-4	9	7						WMWD
140275023	WRCO66B-CORRECTLY ZONE	0.117	MHDR		5-8 DU/AC	R-4	1	0						WMWD
371150002	WRCO66B-CORRECTLY ZONE	2.256	MHDR		5-8 DU/AC	R-D	11	9	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
135560005	WRCO66B-CORRECTLY ZONE	0.290	MHDR		5-8 DU/AC	R-4	1	1						WMWD
963351089	WRCO66B-CORRECTLY ZONE	0.935	MHDR		5-8 DU/AC	R-2	5	4						EMWD
140275032	WRCO66B-CORRECTLY ZONE	0.158	MHDR		5-8 DU/AC	R-4	1	1					Zone D	WMWD
140275018	WRCO66B-CORRECTLY ZONE	0.116	MHDR		5-8 DU/AC	R-4	1	0						WMWD
290212049	WRCO66B-CORRECTLY ZONE	3.008	MHDR		5-8 DU/AC	R-T	15	12	ELSHORE FAULT ZONE					WMWD

Housing Element Appendix A - Housing Inventory List

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160240027	WRG066B-CORRECTLY ZONED	0.207	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
135580004	WRG066B-CORRECTLY ZONED	0.311	MHDR		5-8 DU/AC	R-4	2	2						WMWD
140275030	WRG066B-CORRECTLY ZONED	0.092	MHDR		5-8 DU/AC	R-4	0	0						WMWD
135561004	WRG066B-CORRECTLY ZONED	0.205	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
549191016	WRG066B-CORRECTLY ZONED	0.104	MHDR		5-8 DU/AC	R-T		0						EMWD
140275021	WRG066B-CORRECTLY ZONED	0.102	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275010	WRG066B-CORRECTLY ZONED	0.401	MHDR		5-8 DU/AC	R-4	2	2						WMWD
140275044	WRG066B-CORRECTLY ZONED	0.187	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135572009	WRG066B-CORRECTLY ZONED	0.178	MHDR		5-8 DU/AC	R-4	1	1						WMWD
370910012	WRG066B-CORRECTLY ZONED	4.559	MHDR		5-8 DU/AC	R-3	23	18						WMWD
135562002	WRG066B-CORRECTLY ZONED	0.288	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140275024	WRG066B-CORRECTLY ZONED	0.129	MHDR		5-8 DU/AC	R-4	1	1						WMWD
140310017	WRG066B-CORRECTLY ZONED	0.251	MHDR		5-8 DU/AC	R-4	1	1						WMWD
135561007	WRG066B-CORRECTLY ZONED	0.540	MHDR		5-8 DU/AC	R-4	3	2						WMWD
140275042	WRG066B-CORRECTLY ZONED	0.135	MHDR		5-8 DU/AC	R-4	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
549191014	WRG066B-CORRECTLY ZONED	1.414	MHDR		5-8 DU/AC	R-T		7	6					EMWD
140275043	WRG066B-CORRECTLY ZONED	0.129	MHDR		5-8 DU/AC	R-4	1	1						WMWD
549110021	WRG066B-CORRECTLY ZONED	0.052	MHDR		5-8 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
135580011	WRG066B-CORRECTLY ZONED	2.690	MHDR		5-8 DU/AC	R-4	13	11						WMWD
135580014	WRG066B-CORRECTLY ZONED	9.400	MHDR		5-8 DU/AC	R-4	47	38						WMWD
135580012	WRG066B-CORRECTLY ZONED	0.322	MHDR		5-8 DU/AC	R-4	2	1						WMWD
135580010	WRG066B-CORRECTLY ZONED	0.826	MHDR		5-8 DU/AC	R-4	4	3						WMWD
	Not Correctly Zoned	492					2458	1966						
664210036	CVAG6A-NOT CORRECTLY ZONED	2.558	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
755262005	CVAG6A-NOT CORRECTLY ZONED	0.788	MHDR		5-8 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				CWWD
694071007	CVAG6A-NOT CORRECTLY ZONED	0.143	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CWWD
694071009	CVAG6A-NOT CORRECTLY ZONED	0.145	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CWWD
664200032	CVAG6A-NOT CORRECTLY ZONED	2.476	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
654190030	CVAG6A-NOT CORRECTLY ZONED	2.127	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
694071006	CVAG6A-NOT CORRECTLY ZONED	0.141	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
694071002	CVAG66A-NOT CORRECTLY ZON	0.154	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CVWD
664200030	CVAG66A-NOT CORRECTLY ZON	2.548	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
694060022	CVAG66A-NOT CORRECTLY ZON	52.591	MHDR		5-8 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CVWD
664200002	CVAG66A-NOT CORRECTLY ZON	2.251	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
654190029	CVAG66A-NOT CORRECTLY ZON	4.851	MHDR		5-8 DU/AC	W-2								CVWD
654190011	CVAG66A-NOT CORRECTLY ZON	2.515	MHDR		5-8 DU/AC	W-2								CVWD
654190006	CVAG66A-NOT CORRECTLY ZON	2.567	MHDR		5-8 DU/AC	W-2								CVWD
664200017	CVAG66A-NOT CORRECTLY ZON	2.508	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
755262001	CVAG66A-NOT CORRECTLY ZON	1.081	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
694071017	CVAG66A-NOT CORRECTLY ZON	1.181	MHDR		5-8 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CVWD
694071012	CVAG66A-NOT CORRECTLY ZON	0.168	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CVWD
694071015	CVAG66A-NOT CORRECTLY ZON	0.211	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CVWD
664200009	CVAG66A-NOT CORRECTLY ZON	0.560	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664200031	CVAG66A-NOT CORRECTLY ZON	2.507	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
694071013	CVAG66A-NOT CORRECTLY ZON	0.206	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CVWD
664200024	CVAG66A-NOT CORRECTLY ZON	2.478	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664240002	CVAG66A-NOT CORRECTLY ZON	39.794	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
654190031	CVAG66A-NOT CORRECTLY ZON	4.622	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
664200018	CVAG66A-NOT CORRECTLY ZON	1.273	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200005	CVAG66A-NOT CORRECTLY ZON	2.262	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200003	CVAG66A-NOT CORRECTLY ZON	2.234	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200011	CVAG66A-NOT CORRECTLY ZON	2.264	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200014	CVAG66A-NOT CORRECTLY ZON	2.515	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200023	CVAG66A-NOT CORRECTLY ZON	2.520	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200010	CVAG66A-NOT CORRECTLY ZON	0.565	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200037	CVAG66A-NOT CORRECTLY ZON	2.107	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
694071008	CVAG66A-NOT CORRECTLY ZON	0.127	MHDR		5-8 DU/AC	R-4				FLOODING SENSITIVITY AREAS OF				CWWD
693230013	CVAG66A-NOT CORRECTLY ZON	11.745	MHDR		5-8 DU/AC	R-5				FLOODING SENSITIVITY AREAS OF				CWWD
650102016	CVAG66A-NOT CORRECTLY ZON	0.180	MHDR		5-8 DU/AC	C-P-5				FLOODING SENSITIVITY AREAS OF				CWWD
664200026	CVAG66A-NOT CORRECTLY ZON	2.531	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
694071003	CVAG66A-NOT CORRECTLY ZON	0.154	MHDR		5-8 DU/AC	R-4				FLOODING SENSITIVITY AREAS OF				CWWD
664200020	CVAG66A-NOT CORRECTLY ZON	2.599	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200007	CVAG66A-NOT CORRECTLY ZON	0.593	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664200008	CVAG66A-NOT CORRECTLY ZON	0.542	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
694071005	CVAG66A-NOT CORRECTLY ZON	0.138	MHDR		5-8 DU/AC	R-4				FLOODING SENSITIVITY AREAS OF				CVWD
654220006	CVAG66A-NOT CORRECTLY ZON	2.528	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200022	CVAG66A-NOT CORRECTLY ZON	2.554	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200001	CVAG66A-NOT CORRECTLY ZON	2.289	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
755262007	CVAG66A-NOT CORRECTLY ZON	0.131	MHDR		5-8 DU/AC	C-1/C-P				FLOODING SENSITIVITY AREAS OF				CVWD
664200016	CVAG66A-NOT CORRECTLY ZON	2.543	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200027	CVAG66A-NOT CORRECTLY ZON	2.574	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200034	CVAG66A-NOT CORRECTLY ZON	2.525	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200033	CVAG66A-NOT CORRECTLY ZON	2.548	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200004	CVAG66A-NOT CORRECTLY ZON	2.178	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200015	CVAG66A-NOT CORRECTLY ZON	2.458	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
694071016	CVAG66A-NOT CORRECTLY ZON	0.235	MHDR		5-8 DU/AC	R-4				FLOODING SENSITIVITY AREAS OF				CVWD
755262008	CVAG66A-NOT CORRECTLY ZON	0.234	MHDR		5-8 DU/AC	C-1/C-P				FLOODING SENSITIVITY AREAS OF				CVWD
664200013	CVAG66A-NOT CORRECTLY ZON	2.543	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200012	CVAG66A-NOT CORRECTLY ZON	2.572	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664200028	CVAG66A-NOT CORRECTLY ZON	2.566	MHDR		5-8 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
755262003	CVAG6A-NOT CORRECTLY ZON	0.193	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
694071004	CVAG6A-NOT CORRECTLY ZON	0.143	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CVWD
664200025	CVAG6A-NOT CORRECTLY ZON	2.558	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
654190007	CVAG6A-NOT CORRECTLY ZON	2.511	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664270001	CVAG6A-NOT CORRECTLY ZON	40.204	MHDR		5-8 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
755262013	CVAG6A-NOT CORRECTLY ZON	0.227	MHDR		5-8 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				CVWD
694071014	CVAG6A-NOT CORRECTLY ZON	0.204	MHDR		5-8 DU/AC	R-4				AREAS OF FLOODING SENSITIVITY				CVWD
757090027	CVAG6A-NOT CORRECTLY ZON	8.210	MHDR		5-8 DU/AC	M-SC								CVWD
757090028	CVAG6A-NOT CORRECTLY ZON	20.555	MHDR		5-8 DU/AC	M-SC							Zone D	CVWD
757090029	CVAG6A-NOT CORRECTLY ZON	46.319	MHDR		5-8 DU/AC	M-SC							Zone D	CVWD
918140015	WRGOG6A-NOT CORRECTLY Z	14.896	MHDR		5-8 DU/AC	R-R							Zone D	EMWD
458040029	WRGOG6A-NOT CORRECTLY Z	1.301	MHDR		5-8 DU/AC	R-R					YES			EMWD
290190064	WRGOG6A-NOT CORRECTLY Z	1.586	MHDR		5-8 DU/AC	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
461280020	WRGOG6A-NOT CORRECTLY Z	3.256	MHDR		5-8 DU/AC	R-R					YES			EMWD
918140014	WRGOG6A-NOT CORRECTLY Z	16.761	MHDR		5-8 DU/AC	R-R								WMWD
918140013	WRGOG6A-NOT CORRECTLY Z	25.793	MHDR		5-8 DU/AC	R-R					YES			WMWD
869090047	OTHER6A-NOT CORRECTLY ZC	0.195	MHDR		5-8 DU/AC	M-M								WMWD
869090008	OTHER6A-NOT CORRECTLY ZC	0.177	MHDR		5-8 DU/AC	M-M								PVID
52221023	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290048	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300004	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310002	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
522213007	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310015	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
650134008	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657313021	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192011	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657402007	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657381002	CVAG66B-CORRECTLY ZONED S	0.263	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
665131008	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657311008	CVAG66B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665143009	CVAG66B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657313015	CVAG66B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665153013	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723325005	CVAG66B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
721194008	CVAG66B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0						CWWD
721201006	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
721235004	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
721184016	CVAG66B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723079010	CVAG66B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0						CWWD
723334004	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
657351014	CVAG66B-CORRECTLY ZONED S	0.287	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
522270046	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280029	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
650191014	CVAG66B-CORRECTLY ZONED S	0.304	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
657323018	CVAG66B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132001	CVAG66B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665131023	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650142035	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650162020	CVAG66B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650203032	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723084004	CVAG6B-CORRECTLY ZONED S	0.301	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
721202022	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723075024	CVAG6B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0	COUNTY OF FAULT ZONE					CVWD
723081002	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721234010	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232005	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
723222008	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0						CVWD
721214025	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
723103015	CVAG6B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723303014	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723063010	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723071019	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
767423015	CVAG6B-CORRECTLY ZONED S	0.355	MDR	CCO	2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area	Zone E	CVWD
665141001	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650171015	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609040014	CVAG6B-CORRECTLY ZONED S	6.188	MDR		2-5 DU/AC	R-1-12000	12	10					Zone E	CVWD
522290072	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290059	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
607294022	CVAG6B-CORRECTLY ZONED S	0.280	MDR		2-5 DU/AC	R-1-9000	1	0					Zone B2	CVWD
669183001	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0						CVWD
654100002	CVAG6B-CORRECTLY ZONED S	16.663	MDR		2-5 DU/AC	R-T	33	27	SAN ANDREAS FAULT ZONE					CVWD
665153024	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669201002	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192010	CVAG6B-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
669660024	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665153028	CVAG6B-CORRECTLY ZONED S	0.151	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723312005	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721235020	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
723082002	CVAG6B-CORRECTLY ZONED S	0.301	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723304006	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
694110036	CVAG6B-CORRECTLY ZONED S	0.137	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723305001	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723334016	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723151011	CVAG6B-CORRECTLY ZONED S	0.284	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
721191001	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0						CVWD
609441040	CVAG6B-CORRECTLY ZONED S	0.101	MDR		2-5 DU/AC	R-2-8000	0	0					Zone E	CVWD
522221022	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0						CVWD
606026003	CVAG6B-CORRECTLY ZONED S	0.237	MDR		2-5 DU/AC	R-1	0	0						CVWD
607294028	CVAG6B-CORRECTLY ZONED S	0.212	MDR		2-5 DU/AC	R-1-9000	0	0						CVWD
609052010	CVAG6B-CORRECTLY ZONED S	2.323	MDR		2-5 DU/AC	R-1-12000	5	4		AREAS OF FLOODING SENSITIVITY				CVWD
650051005	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650221023	CVAG6B-CORRECTLY ZONED S	0.285	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251015	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
648150005	CVAG6B-CORRECTLY ZONED S	14.534	MDR		2-5 DU/AC	R-A	23	23		AREAS OF FLOODING SENSITIVITY				CVWD
657322003	CVAG6B-CORRECTLY ZONED S	0.215	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665162019	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132010	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657374002	CVAG6B-CORRECTLY ZONED S	0.240	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
661095004	CVAG6B-CORRECTLY ZONED S	0.327	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
723324034	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CWWD
721195009	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0						CWWD
723122015	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS COUNTY					CWWD
723054014	CVAG6B-CORRECTLY ZONED S	0.324	MDR		2-5 DU/AC	R-1	1	1	1 FAULT ZONE					CWWD
721204006	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CWWD
7212161007	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650051039	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
522290016	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320020	CVAG6B-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650203001	CVAG6B-CORRECTLY ZONED S	0.217	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650210006	CVAG6B-CORRECTLY ZONED S	4.852	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				CWWD
669670012	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723061019	CVAG6B-CORRECTLY ZONED S	0.209	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS COUNTY					CWWD
723292001	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723252003	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CWWD
7212161030	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0						CWWD
721215013	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
7212101010	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
723322013	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
721223006	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
721215004	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723340004	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CWWD
522212016	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290014	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310033	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
608065029	CVAG6B-CORRECTLY ZONED S	0.275	MDR		2-5 DU/AC	R-1	1	0					Zone E	CWWD
606050016	CVAG6B-CORRECTLY ZONED S	0.274	MDR		2-5 DU/AC	R-2-8000	1	0					Zone D	CWWD
522210034	CVAG6B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
609181038	CVAG6B-CORRECTLY ZONED S	0.266	MDR		2-5 DU/AC	R-1	1	0					Zone D	CWWD
609245004	CVAG6B-CORRECTLY ZONED S	0.213	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665143032	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657402004	CVAG6B-CORRECTLY ZONED S	0.338	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650061001	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131001	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151011	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163026	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665142003	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251027	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650061007	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721202024	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721233001	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723104009	CVAG6B-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723304010	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723105001	CVAG6B-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721211002	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723061010	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
72121036	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723074010	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723332007	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
721235009	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
723333008	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0						CVWD
609062006	CVAG6B-CORRECTLY ZONED S	4.674	MDR		2-5 DU/AC	R-1-12000	9	7					Zone E	CVWD
522270017	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270034	CVAG6B-CORRECTLY ZONED S	0.214	MDR		2-5 DU/AC	R-1	0	0						CVWD
523000031	CVAG6B-CORRECTLY ZONED S	0.210	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300032	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
522223011	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522223010	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
608320004	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650051033	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657981010	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657971004	CVAG6B-CORRECTLY ZONED S	0.302	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657932006	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133025	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192019	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723292041	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723071016	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721182014	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232026	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
723134013	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY					CVWD
723094005	CVAG6B-CORRECTLY ZONED S	0.349	MDR		2-5 DU/AC	R-1	1	1	FAULT ZONE					CVWD
723292031	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723334008	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0						CVWD
767980016	CVAG6B-CORRECTLY ZONED S	18.388	MDR	CD	2-5 DU/AC	R-1-10000	37	29					Zone E	CVWD
607991042	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CVWD
609040003	CVAG6B-CORRECTLY ZONED S	20.285	MDR		2-5 DU/AC	R-1-12000	41	32					Zone E	CVWD
609430089	CVAG6B-CORRECTLY ZONED S	8.658	MDR		2-5 DU/AC	R-2-4000	17	14					Zone D	CVWD
522290020	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280037	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270003	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290045	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
522211002	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
522214003	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522223003	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
609113002	CVAG6B-CORRECTLY ZONED S	0.237	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
609410013	CVAG6B-CORRECTLY ZONED S	0.797	MDR		2-5 DU/AC	R-2-7000	2	1		AREAS OF FLOODING SENSITIVITY			Zone E	CWWD
650071037	CVAG6B-CORRECTLY ZONED S	0.239	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650192026	CVAG6B-CORRECTLY ZONED S	0.332	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
665164011	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650202019	CVAG6B-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132004	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657395001	CVAG6B-CORRECTLY ZONED S	0.385	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650203008	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650161021	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721202031	CVAG6B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721182004	CVAG6B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132009	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721235005	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723073019	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
723062011	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
721215002	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
693094023	CVAG6B-CORRECTLY ZONED S	0.106	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723030019	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CWWD
723040007	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
723334026	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
721214013	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
721232014	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CWWD
721330004	CVAG6B-CORRECTLY ZONED S	0.320	MDR		2-5 DU/AC	R-1	1	1						CWWD
723301007	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
669680016	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
607391008	CVAG6B-CORRECTLY ZONED S	0.204	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CWWD
522320001	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
522280024	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270019	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CWWD
609242009	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
657351011	CVAG6B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
657394008	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
665141009	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132014	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661062033	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
648150020	CVAG6B-CORRECTLY ZONED S	15.892	MDR		2-5 DU/AC	R-A	32	25		AREAS OF FLOODING SENSITIVITY				CWWD
657311011	CVAG6B-CORRECTLY ZONED S	0.215	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661091002	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657401011	CVAG6B-CORRECTLY ZONED S	0.446	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
665131015	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665163024	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669202009	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661095012	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650261009	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723340008	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
693153001	CVAG6B-CORRECTLY ZONED S	1.448	MDR		2-5 DU/AC	R-T	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
723294002	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721251037	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE					CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
72331017	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723271023	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-3	0	0						CWWD
721214006	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320055	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290062	CVAG6B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310017	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300019	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
609194012	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
607320005	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
609321009	CVAG6B-CORRECTLY ZONED S	0.202	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD
607294014	CVAG6B-CORRECTLY ZONED S	0.252	MDR		2-5 DU/AC	R-1-9000	1	0					Zone D	CWWD
550142004	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650152002	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661072016	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650044011	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650071013	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657323001	CVAG6B-CORRECTLY ZONED S	0.249	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657421002	CVAG6B-CORRECTLY ZONED S	0.241	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665152022	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657371005	CVAG6B-CORRECTLY ZONED S	0.248	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657313001	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
650163006	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650262017	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665152009	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
661133015	CVAG6B-CORRECTLY ZONED S	0.204	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CWWD
723032012	CVAG6B-CORRECTLY ZONED S	0.289	MDR		2-5 DU/AC	R-1	1	1	0	AREAS OF FLOODING SENSITIVITY				CWWD
657382010	CVAG6B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
723054002	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-2A	0	0	0					CWWD
721242013	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CWWD
723153006	CVAG6B-CORRECTLY ZONED S	0.387	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
694110073	CVAG6B-CORRECTLY ZONED S	0.136	MDR		2-5 DU/AC	R-T	0	0	0					CWWD
723133005	CVAG6B-CORRECTLY ZONED S	0.354	MDR		2-5 DU/AC	R-1	1	1	1					CWWD
721211003	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
723064024	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	1	0					CWWD
723171001	CVAG6B-CORRECTLY ZONED S	0.254	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE			Willow Hole Conservation Area		CWWD
665141007	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
522290022	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522280008	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522244024	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522222002	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
522230006	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
608031034	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC		0	0	0				Zone E	CWWD
651130065	CVAG6B-CORRECTLY ZONED S	5.546	MDR		2-5 DU/AC	R-1	11	9	0	AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CWWD
650261020	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-2-6000	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
665141010	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
669183003	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
723323024	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650134010	CVAG68-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721195016	CVAG68-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723292037	CVAG68-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
657923012	CVAG68-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	0	0						CVWD
723314004	CVAG68-CORRECTLY ZONED S	0.211	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723122003	CVAG68-CORRECTLY ZONED S	0.457	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723331008	CVAG68-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723331010	CVAG68-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
757070008	CVAG68-CORRECTLY ZONED S	0.245	MDR		2-5 DU/AC	R-A-20	0	0					Zone D	CVWD
727172003	CVAG68-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
657972003	CVAG68-CORRECTLY ZONED S	0.243	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290069	CVAG68-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522270033	CVAG68-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CVWD
522240014	CVAG68-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290077	CVAG68-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
607291010	CVAG68-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
607291015	CVAG68-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
657913010	CVAG68-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143034	CVAG68-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657401003	CVAG68-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665151016	CVAG68-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670026	CVAG68-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670013	CVAG68-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657362011	CVAG68-CORRECTLY ZONED S	0.248	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665162011	CVAG68-CORRECTLY ZONED S	0.149	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657352008	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
721201002	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
661104004	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723114009	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1						CVWD
723301003	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CVWD
721242003	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
721184001	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723073014	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723303040	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
723071022	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723104005	CVAG6B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723122006	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
721241004	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
721271022	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-3	0	0						CVWD
522290041	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290052	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300022	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
607341014	CVAG6B-CORRECTLY ZONED S	0.257	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
650270001	CVAG6B-CORRECTLY ZONED S	19.479	MDR		2-5 DU/AC	R-1	39	31		AREAS OF FLOODING SENSITIVITY				CVWD
650282007	CVAG6B-CORRECTLY ZONED S	1.969	MDR		2-5 DU/AC	R-1	4	3		AREAS OF FLOODING SENSITIVITY				CVWD
650151011	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650191015	CVAG6B-CORRECTLY ZONED S	0.282	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
661083020	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153012	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657913022	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650261025	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650062029	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650203014	CVAG6B-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
659198001	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0				Santa Rosa and San Jacinto Mountains Conservation Area		CVWD
665143025	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665142021	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151005	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661191011	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143001	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303027	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
695272027	CVAG6B-CORRECTLY ZONED S	0.128	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723292023	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721202011	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721261033	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0						CVWD
721194023	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0						CVWD
723083002	CVAG6B-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS	AREAS OF FLOODING SENSITIVITY				CVWD
723303029	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522290009	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290039	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320018	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
609243002	CVAG6B-CORRECTLY ZONED S	0.245	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665152032	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650191004	CVAG6B-CORRECTLY ZONED S	0.264	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650262003	CVAG6B-CORRECTLY ZONED S	0.197	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721224010	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721242008	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
665161007	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723074019	CVAG6B-CORRECTLY ZONED S	0.335	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					CVWD
669203005	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
723114003	CVAG6B-CORRECTLY ZONED S	0.350	MDR		2-5 DU/AC	R-1	1	1						CVWD
721202006	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
723303001	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
764230009	CVAG6B-CORRECTLY ZONED S	31.180	MDR	CD	2-5 DU/AC	R-1	62	50						CVWD
723069014	CVAG6B-CORRECTLY ZONED S	0.194	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
757030002	CVAG6B-CORRECTLY ZONED S	0.757	MDR		2-5 DU/AC	R-2-8000	2	1					Zone D	CVWD
723152002	CVAG6B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723151004	CVAG6B-CORRECTLY ZONED S	0.276	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
522310031	CVAG6B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CVWD
522224020	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280030	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
522211016	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300029	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300010	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310012	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320028	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
657314014	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609244004	CVAG6B-CORRECTLY ZONED S	0.261	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
657403004	CVAG6B-CORRECTLY ZONED S	0.342	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
657313020	CVAG6B-CORRECTLY ZONED S	0.214	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657402011	CVAG6B-CORRECTLY ZONED S	0.343	MDR		2-5 DU/AC	R-1	1	1						CVWD
650071003	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0						CVWD
723172007	CVAG6B-CORRECTLY ZONED S	0.393	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE					CVWD
723062020	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
661095017	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723292026	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD
721241031	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
723103014	CVAG6B-CORRECTLY ZONED S	0.281	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE					CVWD
721202029	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
721241033	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
723072025	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0						CVWD
723313007	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723082007	CVAG6B-CORRECTLY ZONED S	0.344	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721212004	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232024	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
723340009	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
608031032	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
607393012	CVAG6B-CORRECTLY ZONED S	0.053	MDR		2-5 DU/AC	R-1	0	0					Zone A	CVWD
609263012	CVAG6B-CORRECTLY ZONED S	0.755	MDR		2-5 DU/AC	R-2-4000	2	1					Zone D	CVWD
522290053	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290053	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280020	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
608172007	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
607294026	CVAG6B-CORRECTLY ZONED S	0.210	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
609235001	CVAG6B-CORRECTLY ZONED S	0.300	MDR		2-5 DU/AC	R-1-10000	1	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
657313011	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143018	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657313009	CVAG66B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153002	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661121004	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657379010	CVAG66B-CORRECTLY ZONED S	0.241	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657401001	CVAG66B-CORRECTLY ZONED S	0.297	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665152020	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665162017	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132008	CVAG66B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131031	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665173006	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661151007	CVAG66B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
665143006	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665183017	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132013	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
693275036	CVAG66B-CORRECTLY ZONED S	0.108	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721202020	CVAG66B-CORRECTLY ZONED S	0.248	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721204018	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723092002	CVAG66B-CORRECTLY ZONED S	0.301	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665204016	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723313003	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723093007	CVAG66B-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	0						CVWD
721214003	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
721215008	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723292020	CVAG68-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721120213	CVAG68-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723113010	CVAG68-CORRECTLY ZONED S	0.315 MDR			2-5 DU/AC	R-1	1	1	1					CVWD
727371018	CVAG68-CORRECTLY ZONED S	2.637 MDR			2-5 DU/AC	R-6	5	4	4					CVWD
522280018	CVAG68-CORRECTLY ZONED S	0.161 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
522280009	CVAG68-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
522290071	CVAG68-CORRECTLY ZONED S	0.207 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
609182021	CVAG68-CORRECTLY ZONED S	0.086 MDR			2-5 DU/AC	R-1	0	0	0				Zone D	CVWD
657333018	CVAG68-CORRECTLY ZONED S	0.217 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CVWD
669182001	CVAG68-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
650044026	CVAG68-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
657322006	CVAG68-CORRECTLY ZONED S	0.214 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
657321005	CVAG68-CORRECTLY ZONED S	0.225 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
665153015	CVAG68-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
721193015	CVAG68-CORRECTLY ZONED S	0.218 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
669202007	CVAG68-CORRECTLY ZONED S	0.189 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
723323013	CVAG68-CORRECTLY ZONED S	0.166 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
665133019	CVAG68-CORRECTLY ZONED S	0.172 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
669173009	CVAG68-CORRECTLY ZONED S	0.181 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
723293009	CVAG68-CORRECTLY ZONED S	0.206 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723071015	CVAG68-CORRECTLY ZONED S	0.183 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
723134001	CVAG68-CORRECTLY ZONED S	0.281 MDR			2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
609061012	CVAG68-CORRECTLY ZONED S	1.441 MDR			2-5 DU/AC	R-1-12000	3	2	0	FAULT ZONE			Zone E	CVWD
522290042	CVAG68-CORRECTLY ZONED S	0.193 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
522290005	CVAG68-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
522290001	CVAG68-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
522310041	CVAG68-CORRECTLY ZONED S	0.160 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
607292016	CVAG68-CORRECTLY ZONED S	0.244 MDR			2-5 DU/AC	R-1-9000	0	0	0				Zone B2	CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657393009	CVAG6B-CORRECTLY ZONED S	0.315	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
665142036	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657314021	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
6503191025	CVAG6B-CORRECTLY ZONED S	0.291	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
651130062	CVAG6B-CORRECTLY ZONED S	9.088	MDR		2-5 DU/AC	R-1	18	15		AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CWWD
661105011	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657371008	CVAG6B-CORRECTLY ZONED S	0.248	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650163005	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
7212123014	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721242001	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
721201005	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CWWD
723082004	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0						CWWD
661122013	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0						CWWD
650192008	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
723324013	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
723092007	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0						CWWD
723295009	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
723111012	CVAG6B-CORRECTLY ZONED S	0.318	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723292018	CVAG6B-CORRECTLY ZONED S	0.209	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
723340011	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CWWD
723312010	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
721215012	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
721232025	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
767452045	CVAG6B-CORRECTLY ZONED S	0.181	MDR	CCO	2-5 DU/AC	R-1	0	0						CWWD
721261010	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0						CWWD
608031035	CVAG6B-CORRECTLY ZONED S	0.194	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
606050018	CVAG6B-CORRECTLY ZONED S	0.495 MDR	MDR		2-5 DU/AC	R-2-8000	1	1					Zone D	CVWD
522320024	CVAG6B-CORRECTLY ZONED S	0.155 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270031	CVAG6B-CORRECTLY ZONED S	0.158 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310039	CVAG6B-CORRECTLY ZONED S	0.240 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320006	CVAG6B-CORRECTLY ZONED S	0.159 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
609330007	CVAG6B-CORRECTLY ZONED S	0.274 MDR	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
665131017	CVAG6B-CORRECTLY ZONED S	0.170 MDR	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650201004	CVAG6B-CORRECTLY ZONED S	0.217 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650222022	CVAG6B-CORRECTLY ZONED S	0.306 MDR	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650210005	CVAG6B-CORRECTLY ZONED S	4.875 MDR	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				CVWD
669660023	CVAG6B-CORRECTLY ZONED S	0.157 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
721235018	CVAG6B-CORRECTLY ZONED S	0.166 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
723323019	CVAG6B-CORRECTLY ZONED S	0.162 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721241016	CVAG6B-CORRECTLY ZONED S	0.174 MDR	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723114008	CVAG6B-CORRECTLY ZONED S	0.319 MDR	MDR		2-5 DU/AC	R-1	1	1						CVWD
723314002	CVAG6B-CORRECTLY ZONED S	0.161 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723063017	CVAG6B-CORRECTLY ZONED S	0.191 MDR	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723081004	CVAG6B-CORRECTLY ZONED S	0.312 MDR	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS	AREAS OF FLOODING SENSITIVITY				CVWD
767400003	CVAG6B-CORRECTLY ZONED S	36.927 MDR	MDR	CD	2-5 DU/AC	R-1	74	59	FAULT ZONE				Zone E	CVWD
665142019	CVAG6B-CORRECTLY ZONED S	0.171 MDR	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area		CVWD
723151009	CVAG6B-CORRECTLY ZONED S	0.280 MDR	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
522310044	CVAG6B-CORRECTLY ZONED S	0.158 MDR	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522310024	CVAG6B-CORRECTLY ZONED S	0.159 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
609051003	CVAG6B-CORRECTLY ZONED S	4.754 MDR	MDR		2-5 DU/AC	R-1-12000	10	8					Zone E	CVWD
650186007	CVAG6B-CORRECTLY ZONED S	0.192 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661092008	CVAG6B-CORRECTLY ZONED S	0.258 MDR	MDR		2-5 DU/AC	R-1	1	1						CVWD
665131016	CVAG6B-CORRECTLY ZONED S	0.169 MDR	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661083008	CVAG6B-CORRECTLY ZONED S	0.175 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721222013	CVAG6B-CORRECTLY ZONED S	0.274 MDR	MDR		2-5 DU/AC	R-1	1	1						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650152006	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657402009	CVAG6B-CORRECTLY ZONED S	0.298	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723111005	CVAG6B-CORRECTLY ZONED S	0.316	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
72305023	CVAG6B-CORRECTLY ZONED S	0.262	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723313008	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723311021	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
721191002	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2-5 DU/AC	R-1	0	0						CVWD
721201007	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
723093004	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1	COUNTY					CVWD
607121038	CVAG6B-CORRECTLY ZONED S	0.203	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE				Zone D	CVWD
522310045	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290057	CVAG6B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320011	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
650221021	CVAG6B-CORRECTLY ZONED S	0.283	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
60932007	CVAG6B-CORRECTLY ZONED S	0.279	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
657402005	CVAG6B-CORRECTLY ZONED S	0.338	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650172011	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650191023	CVAG6B-CORRECTLY ZONED S	0.286	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650202029	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657403010	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657314024	CVAG6B-CORRECTLY ZONED S	0.250	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665143035	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665152027	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661094014	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723073009	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area		CVWD
665142018	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0						CVWD
723311020	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
721222003	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
723323004	CVAG6B-CORRECTLY ZONED S	0.154	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CVWD
721223021	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
723324002	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723093006	CVAG6B-CORRECTLY ZONED S	0.315	MDR		2-5 DU/AC	R-1	1	1	COUNTY 1 FAULT ZONE					CVWD
757021029	CVAG6B-CORRECTLY ZONED S	0.009	MDR		2-5 DU/AC	R-2-8000	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
693082036	CVAG6B-CORRECTLY ZONED S	0.025	MDR		2-5 DU/AC	R-1	0	0						CVWD
723333001	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
608320006	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
723041015	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-2	0	0						CVWD
723081007	CVAG6B-CORRECTLY ZONED S	0.302	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723151010	CVAG6B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE					CVWD
522212011	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
522212014	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310003	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0						CVWD
522213003	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
608050022	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2-5 DU/AC	R-2-8000	0	0					Zone D	CVWD
609213007	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
657404002	CVAG6B-CORRECTLY ZONED S	0.329	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650230016	CVAG6B-CORRECTLY ZONED S	1.283	MDR		2-5 DU/AC	R-1	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
665163001	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0						CVWD
669660025	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
669183014	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
665141011	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143019	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723171003	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
561065008	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CWWD
721261005	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0						CWWD
651132002	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723323017	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723322009	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
723132007	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
721241046	CVAG6B-CORRECTLY ZONED S	0.086	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
723302001	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
721201008	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723331014	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
723324004	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
694110028	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723315018	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723054011	CVAG6B-CORRECTLY ZONED S	0.339	MDR		2-5 DU/AC	R-3	1	1	FAULT ZONE					CWWD
767380015	CVAG6B-CORRECTLY ZONED S	18.381	MDR	CD	2-5 DU/AC	R-A-2.1/2	37	29						CWWD
522213004	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
522213001	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
607294027	CVAG6B-CORRECTLY ZONED S	0.211	MDR		2-5 DU/AC	R-1-9000	0	0					Zone D	CWWD
609490006	CVAG6B-CORRECTLY ZONED S	0.239	MDR		2-5 DU/AC	R-1-12000	0	0					Zone E	CWWD
650151017	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0	AREAS OF FLOODING SENSITIVITY					CWWD
657423007	CVAG6B-CORRECTLY ZONED S	0.245	MDR		2-5 DU/AC	R-1	0	0	AREAS OF FLOODING SENSITIVITY					CWWD
656143030	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	AREAS OF FLOODING SENSITIVITY					CWWD
651140040	CVAG6B-CORRECTLY ZONED S	9.640	MDR		2-5 DU/AC	R-1	19	15		AREAS OF FLOODING SENSITIVITY				CWWD
657373005	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2-5 DU/AC	R-1	0	0	AREAS OF FLOODING SENSITIVITY					CWWD

Housing Element Appendix A - Housing Inventory List

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657401007	CVAG6B-CORRECTLY ZONED S	0.287	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650261023	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723062012	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723323025	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
665152005	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132007	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723084009	CVAG6B-CORRECTLY ZONED S	0.316	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723121008	CVAG6B-CORRECTLY ZONED S	0.289	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723082003	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723312007	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723121013	CVAG6B-CORRECTLY ZONED S	0.329	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
721261025	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723292012	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
721203005	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723334005	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694110067	CVAG6B-CORRECTLY ZONED S	0.146	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609062023	CVAG6B-CORRECTLY ZONED S	1.969	MDR		2-5 DU/AC	R-1	4	3					Zone E	CVWD
522270041	CVAG6B-CORRECTLY ZONED S	0.204	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320021	CVAG6B-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522223008	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522214009	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
609211037	CVAG6B-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
650191012	CVAG6B-CORRECTLY ZONED S	0.262	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650151018	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665131030	CVAG66B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153023	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657364003	CVAG66B-CORRECTLY ZONED S	0.269	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192020	CVAG66B-CORRECTLY ZONED S	0.285	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251030	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
651130063	CVAG66B-CORRECTLY ZONED S	9.458	MDR		2-5 DU/AC	R-1	19	15		AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CVWD
665152010	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657324002	CVAG66B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669182008	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723324001	CVAG66B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721224008	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723064013	CVAG66B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721262002	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723304017	CVAG66B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723333003	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
723311019	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
723132004	CVAG66B-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	1	0						CVWD
607294012	CVAG66B-CORRECTLY ZONED S	0.255	MDR		2-5 DU/AC	R-1-9000	1	0					Zone D	CVWD
609220044	CVAG66B-CORRECTLY ZONED S	0.025	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
657381001	CVAG66B-CORRECTLY ZONED S	0.260	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
522270021	CVAG66B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
607215018	CVAG66B-CORRECTLY ZONED S	0.205	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
608330020	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
650162015	CVAG66B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665131024	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657315006	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657332016	CVAG6B-CORRECTLY ZONED S	0.219	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650180005	CVAG6B-CORRECTLY ZONED S	9.693	MDR		2-5 DU/AC	R-1	19	16		AREAS OF FLOODING SENSITIVITY				CVWD
669203007	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-2A	0	0		AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area		CVWD
665141008	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669182009	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650202031	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657383005	CVAG6B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669570004	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721224012	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721181003	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721070031	CVAG6B-CORRECTLY ZONED S	7.613	MDR		2-5 DU/AC	R-A-20	15	12		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
721232027	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721222004	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723340012	CVAG6B-CORRECTLY ZONED S	0.262	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721185009	CVAG6B-CORRECTLY ZONED S	0.234	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
606050017	CVAG6B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
727152037	CVAG6B-CORRECTLY ZONED S	0.192	MDR		2-5 DU/AC	R-2-8000	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
522213002	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522300009	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609330005	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
650062021	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657413001	CVAG6B-CORRECTLY ZONED S	0.276	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650261014	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665152016	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
65732001	CVAG6B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
651140042	CVAG6B-CORRECTLY ZONED S	8.984	MDR		2-5 DU/AC	R-1	18	14		FLOODING SENSITIVITY AREAS OF				CVWD
657381003	CVAG6B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
665143014	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665161008	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
650162023	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665162005	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723112005	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
721202019	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232036	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
669670009	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0						CVWD
723321001	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723134010	CVAG6B-CORRECTLY ZONED S	0.295	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
721202023	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0						CVWD
721214024	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
723154007	CVAG6B-CORRECTLY ZONED S	0.264	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723122009	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
522300017	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522224023	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CVWD
522213010	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
607294019	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
650161016	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650151024	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669197004	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-2A	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657311005	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192023	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143033	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669197005	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-2A	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657313004	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
651095009	CVAG6B-CORRECTLY ZONED S	0.334	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723063024	CVAG6B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723073011	CVAG6B-CORRECTLY ZONED S	0.198	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
665131033	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153020	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
725102002	CVAG6B-CORRECTLY ZONED S	0.447	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723333006	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723062017	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721231005	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
654220029	CVAG6B-CORRECTLY ZONED S	27.777	MDR		2-5 DU/AC	R-2-8000	56	44		AREAS OF FLOODING SENSITIVITY				CVWD
727172006	CVAG6B-CORRECTLY ZONED S	0.336	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723103012	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
648150027	CVAG6B-CORRECTLY ZONED S	39.732	MDR		2-5 DU/AC	R-A	79	64		AREAS OF FLOODING SENSITIVITY				CVWD
522290044	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522221004	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290064	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609132008	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
607181013	CVAG66B-CORRECTLY ZONED S	0.269 MDR	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
609112009	CVAG66B-CORRECTLY ZONED S	0.245 MDR	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
609115001	CVAG66B-CORRECTLY ZONED S	0.264 MDR	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
661202025	CVAG66B-CORRECTLY ZONED S	0.198 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
669670021	CVAG66B-CORRECTLY ZONED S	0.212 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251040	CVAG66B-CORRECTLY ZONED S	0.167 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650202016	CVAG66B-CORRECTLY ZONED S	0.186 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661095010	CVAG66B-CORRECTLY ZONED S	0.165 MDR	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
661073024	CVAG66B-CORRECTLY ZONED S	0.174 MDR	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
723113004	CVAG66B-CORRECTLY ZONED S	0.309 MDR	MDR		2-5 DU/AC	R-1	1	0						CVWD
721120403	CVAG66B-CORRECTLY ZONED S	0.170 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723292043	CVAG66B-CORRECTLY ZONED S	0.170 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
657322023	CVAG66B-CORRECTLY ZONED S	0.227 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721282011	CVAG66B-CORRECTLY ZONED S	0.179 MDR	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
767473007	CVAG66B-CORRECTLY ZONED S	0.084 MDR	MDR	CCO	2-5 DU/AC	R-1	0	0						CVWD
723304011	CVAG66B-CORRECTLY ZONED S	0.170 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723292009	CVAG66B-CORRECTLY ZONED S	0.189 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721232023	CVAG66B-CORRECTLY ZONED S	0.164 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
721231009	CVAG66B-CORRECTLY ZONED S	0.171 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310019	CVAG66B-CORRECTLY ZONED S	0.162 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280021	CVAG66B-CORRECTLY ZONED S	0.163 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270011	CVAG66B-CORRECTLY ZONED S	0.200 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
607371007	CVAG66B-CORRECTLY ZONED S	0.209 MDR	MDR		2-5 DU/AC	R-1	0	0					Zone A	CVWD
650262016	CVAG66B-CORRECTLY ZONED S	0.156 MDR	MDR		2-5 DU/AC	R-2-5000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143017	CVAG66B-CORRECTLY ZONED S	0.172 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650161025	CVAG66B-CORRECTLY ZONED S	0.169 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650172024	CVAG66B-CORRECTLY ZONED S	0.194 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721232001	CVAG66B-CORRECTLY ZONED S	0.173 MDR	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
721234004	CVAG66B-CORRECTLY ZONED S	0.205 MDR	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
723322014	CVAG66B-CORRECTLY ZONED S	0.165 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657373001	CVAG66B-CORRECTLY ZONED S	0.240 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665161015	CVAG6B-CORRECTLY ZONED S	0.172 MDR			2-5 DU/AC		0	0						CYWD
721234004	CVAG6B-CORRECTLY ZONED S	0.163 MDR			2-5 DU/AC	R-1	0	0						CYWD
721222007	CVAG6B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0						CYWD
723074007	CVAG6B-CORRECTLY ZONED S	0.192 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
723311005	CVAG6B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
723293011	CVAG6B-CORRECTLY ZONED S	0.182 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
721213005	CVAG6B-CORRECTLY ZONED S	0.171 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
721214022	CVAG6B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
721223013	CVAG6B-CORRECTLY ZONED S	0.187 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
767471014	CVAG6B-CORRECTLY ZONED S	0.301 MDR	CCO		2-5 DU/AC	R-1	1	0						CYWD
721215015	CVAG6B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0						CYWD
721201009	CVAG6B-CORRECTLY ZONED S	0.163 MDR			2-5 DU/AC	R-1	0	0						CYWD
721203023	CVAG6B-CORRECTLY ZONED S	0.220 MDR			2-5 DU/AC	R-1	0	0						CYWD
721271028	CVAG6B-CORRECTLY ZONED S	0.183 MDR			2-5 DU/AC	R-3	0	0	COUNTY					CYWD
723074015	CVAG6B-CORRECTLY ZONED S	0.333 MDR			2-5 DU/AC	R-1	1	1	COUNTY					CYWD
723151005	CVAG6B-CORRECTLY ZONED S	0.278 MDR			2-5 DU/AC	R-1	1	0	SAN ANDREAS					CYWD
609040029	CVAG6B-CORRECTLY ZONED S	8.367 MDR			2-5 DU/AC	R-1-12000	17	13	SAN ANDREAS				Zone E	CYWD
609181027	CVAG6B-CORRECTLY ZONED S	0.261 MDR			2-5 DU/AC	R-1	1	0					Zone D	CYWD
669670005	CVAG6B-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665151003	CVAG6B-CORRECTLY ZONED S	0.174 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
669204013	CVAG6B-CORRECTLY ZONED S	0.175 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665152023	CVAG6B-CORRECTLY ZONED S	0.163 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650192022	CVAG6B-CORRECTLY ZONED S	0.308 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CYWD
650192017	CVAG6B-CORRECTLY ZONED S	0.309 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CYWD
661105012	CVAG6B-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
723023005	CVAG6B-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CYWD
723092011	CVAG6B-CORRECTLY ZONED S	0.285 MDR			2-5 DU/AC	R-1	1	0	COUNTY					CYWD
723062016	CVAG6B-CORRECTLY ZONED S	0.186 MDR			2-5 DU/AC	R-1	0	0	SAN ANDREAS					CYWD
723103019	CVAG6B-CORRECTLY ZONED S	0.280 MDR			2-5 DU/AC	R-1	1	0	SAN ANDREAS					CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723331013	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
723104012	CVAG66B-CORRECTLY ZONED S	0.287	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
721262017	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650310001	CVAG66B-CORRECTLY ZONED S	38.779	MDR		2-5 DU/AC	R-1	78	62						CWWD
522320030	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290040	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280005	CVAG66B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290060	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
609313014	CVAG66B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-2-8000	1	0					Zone E	CWWD
609400025	CVAG66B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-2-7000	0	0					Zone E	CWWD
657321004	CVAG66B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
609330024	CVAG66B-CORRECTLY ZONED S	0.237	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD
657402014	CVAG66B-CORRECTLY ZONED S	0.335	MDR		2-5 DU/AC	R-1	1	1						CWWD
657352005	CVAG66B-CORRECTLY ZONED S	0.435	MDR		2-5 DU/AC	R-1	1	1						CWWD
669172005	CVAG66B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0						CWWD
657311010	CVAG66B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0						CWWD
721230007	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CWWD
721204022	CVAG66B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CWWD
723102003	CVAG66B-CORRECTLY ZONED S	0.300	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
721232020	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
723092006	CVAG66B-CORRECTLY ZONED S	0.309	MDR		2-5 DU/AC	R-1	1	0						CWWD
721235015	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CWWD
723323032	CVAG66B-CORRECTLY ZONED S	0.198	MDR		2-5 DU/AC	R-1	0	0						CWWD
657374008	CVAG66B-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280004	CVAG66B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280017	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290013	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300025	CVAG66B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CWWD
607304016	CVAG66B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0					Zone D	CWWD
609181050	CVAG66B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
607294017	CVAG66B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1-9000	0	0					Zone D	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665153025	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665153019	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
669205001	CVAG66B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650251099	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661133014	CVAG66B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669172007	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723072013	CVAG66B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
721241009	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS					CWWD
721194005	CVAG66B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
721202027	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
767421022	CVAG66B-CORRECTLY ZONED S	0.245	MDR	CCO	2-5 DU/AC	R-1	0	0					Zone E	CWWD
723061009	CVAG66B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
522290003	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280028	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
522224007	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280025	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300036	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310014	CVAG66B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CWWD
606030004	CVAG66B-CORRECTLY ZONED S	0.340	MDR		2-5 DU/AC	R-1	1	1					Zone D	CWWD
608330048	CVAG66B-CORRECTLY ZONED S	0.147	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD
650043027	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669174003	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
657333007	CVAG66B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669133002	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
650120001	CVAG66B-CORRECTLY ZONED S	9.649	MDR		2-5 DU/AC	R-1	19	15						CWWD
723030010	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
723103009	CVAG66B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665151019	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721241036	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0						CVWD
723293010	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721232008	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
721271031	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-3	0	0						CVWD
665165017	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721215018	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CVWD
721241023	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0						CVWD
723292022	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721202010	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
723121009	CVAG6B-CORRECTLY ZONED S	0.293	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723122018	CVAG6B-CORRECTLY ZONED S	0.239	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723292005	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
606050025	CVAG6B-CORRECTLY ZONED S	0.295	MDR		2-5 DU/AC	R-2-8000	1	0					Zone D	CVWD
607391054	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CVWD
522300021	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522211018	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
609122008	CVAG6B-CORRECTLY ZONED S	0.347	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
608031085	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
608320003	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC		0	0					Zone E	CVWD
669172009	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665142008	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650162008	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669183010	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657312001	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670015	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153021	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669173011	CVAG6B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721235017	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
721193004	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0						CVWD
721213004	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723283002	CVAG68-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723074017	CVAG68-CORRECTLY ZONED S	0.332	MDR		2-5 DU/AC	R-1	1	1	1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
693082034	CVAG68-CORRECTLY ZONED S	0.039	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
693201017	CVAG68-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721203009	CVAG68-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723292008	CVAG68-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
665142031	CVAG68-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
727152033	CVAG68-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300003	CVAG68-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320026	CVAG68-CORRECTLY ZONED S	0.153	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320014	CVAG68-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280011	CVAG68-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CWWD
609322006	CVAG68-CORRECTLY ZONED S	0.276	MDR		2-5 DU/AC	R-1	1	1					Zone E	CWWD
650281023	CVAG68-CORRECTLY ZONED S	0.254	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650151022	CVAG68-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657313002	CVAG68-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650282003	CVAG68-CORRECTLY ZONED S	0.745	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
657315002	CVAG68-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721234002	CVAG68-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723064021	CVAG68-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723084007	CVAG68-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CWWD
669173002	CVAG68-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	1 FAULT ZONE					CWWD
665142022	CVAG68-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723322004	CVAG68-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
693062011	CVAG68-CORRECTLY ZONED S	0.111	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD



Housing Element Appendix A - Housing Inventory List

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723112012	CVAG6B-CORRECTLY ZONED S	0.322	MDR		2-5 DU/AC	R-1	1	1						CWWD
723331001	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
723111006	CVAG6B-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723311026	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CWWD
723325008	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CWWD
721185005	CVAG6B-CORRECTLY ZONED S	0.253	MDR		2-5 DU/AC	R-1	1	1	0 FAULT ZONE					CWWD
657352011	CVAG6B-CORRECTLY ZONED S	0.319	MDR		2-5 DU/AC	R-1	1	1						CWWD
607333010	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
665132018	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723151007	CVAG6B-CORRECTLY ZONED S	0.260	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
727112017	CVAG6B-CORRECTLY ZONED S	7.235	MDR		2-5 DU/AC	R-1	14	12						CWWD
721241025	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
657352006	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
522310042	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300014	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270012	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280057	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310004	CVAG6B-CORRECTLY ZONED S	0.207	MDR		2-5 DU/AC	R-1	0	0						CWWD
609233012	CVAG6B-CORRECTLY ZONED S	0.844	MDR		2-5 DU/AC	R-1	1	1					Zone D	CWWD
608320065	CVAG6B-CORRECTLY ZONED S	0.778	MDR		2-5 DU/AC	R-1	2	1					Zone E	CWWD
522280001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CWWD
657413014	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
669660022	CVAG6B-CORRECTLY ZONED S	0.212	MDR		2-5 DU/AC	R-1	0	0						CWWD
650062018	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665142026	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657392009	CVAG6B-CORRECTLY ZONED S	0.411	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650251023	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

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APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650031008	CVAG68-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132016	CVAG68-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665141003	CVAG68-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665164002	CVAG68-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661072004	CVAG68-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721262009	CVAG68-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723103005	CVAG68-CORRECTLY ZONED S	0.282	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
723033003	CVAG68-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-2A	0	0						CWWD
727211018	CVAG68-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-3	0	0						CWWD
665164001	CVAG68-CORRECTLY ZONED S	0.192	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723294009	CVAG68-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
721242007	CVAG68-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
723064016	CVAG68-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723092009	CVAG68-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	1	0						CWWD
723102007	CVAG68-CORRECTLY ZONED S	0.261	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
721213006	CVAG68-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
721215001	CVAG68-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
721241047	CVAG68-CORRECTLY ZONED S	0.087	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
721204011	CVAG68-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CWWD
723142002	CVAG68-CORRECTLY ZONED S	0.919	MDR		2-5 DU/AC	R-1	2	1	SAN ANDREAS FAULT ZONE					CWWD
721235013	CVAG68-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CWWD
609052007	CVAG68-CORRECTLY ZONED S	2.380	MDR		2-5 DU/AC	R-1-12000	5	4					Zone E	CWWD
522290024	CVAG68-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310010	CVAG68-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
609132005	CVAG68-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0						CWWD
607300007	CVAG68-CORRECTLY ZONED S	5.027	MDR		2-5 DU/AC	R-1	10	8					Zone E Zone D	CWWD
609181025	CVAG68-CORRECTLY ZONED S	0.374	MDR		2-5 DU/AC	R-1	1	1					Zone D	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
648150028	CVAG6B-CORRECTLY ZONED S	36.783 MDR			2-5 DU/AC	R-A	74	59		FLOODING SENSITIVITY				CVWD
609212007	CVAG6B-CORRECTLY ZONED S	0.284 MDR			2-5 DU/AC	R-1	1	0					Zone D	CVWD
669173008	CVAG6B-CORRECTLY ZONED S	0.198 MDR			2-5 DU/AC	R-1	0	0						CVWD
669670017	CVAG6B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0						CVWD
665152026	CVAG6B-CORRECTLY ZONED S	0.161 MDR			2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650033024	CVAG6B-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
666215012	CVAG6B-CORRECTLY ZONED S	0.191 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151006	CVAG6B-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723041011	CVAG6B-CORRECTLY ZONED S	0.200 MDR			2-5 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723334009	CVAG6B-CORRECTLY ZONED S	0.177 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721234001	CVAG6B-CORRECTLY ZONED S	0.161 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694100020	CVAG6B-CORRECTLY ZONED S	0.137 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721251039	CVAG6B-CORRECTLY ZONED S	0.184 MDR			2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE					CVWD
723334013	CVAG6B-CORRECTLY ZONED S	0.178 MDR			2-5 DU/AC	R-1	0	0						CVWD
609313016	CVAG6B-CORRECTLY ZONED S	0.275 MDR			2-5 DU/AC	R-2-8000	1	0					Zone E	CVWD
654070003	CVAG6B-CORRECTLY ZONED S	54.043 MDR			2-5 DU/AC	R-1	108	86	SAN ANDREAS FAULT ZONE					CVWD
522280003	CVAG6B-CORRECTLY ZONED S	0.217 MDR			2-5 DU/AC	R-1	0	0						CVWD
522290075	CVAG6B-CORRECTLY ZONED S	0.156 MDR			2-5 DU/AC	R-1	0	0						CVWD
522300012	CVAG6B-CORRECTLY ZONED S	0.164 MDR			2-5 DU/AC	R-1	0	0						CVWD
522290025	CVAG6B-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0						CVWD
522270022	CVAG6B-CORRECTLY ZONED S	0.161 MDR			2-5 DU/AC	R-1	0	0						CVWD
609420053	CVAG6B-CORRECTLY ZONED S	8.178 MDR			2-5 DU/AC	R-2-7000	16	13					Zone E	CVWD
665131011	CVAG6B-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133017	CVAG6B-CORRECTLY ZONED S	0.163 MDR			2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657391008	CVAG6B-CORRECTLY ZONED S	0.302 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650043003	CVAG6B-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661063005	CVAG6B-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665131007	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
659202006	CVAG6B-CORRECTLY ZONED S	0.198	MDR		2-5 DU/AC	R-2A	0	0						CVWD
723061013	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723064010	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
721202032	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CVWD
723084006	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0						CVWD
767421004	CVAG6B-CORRECTLY ZONED S	0.309	MDR	CCO	2-5 DU/AC	R-1	1	0	COUNTY				Zone E	CVWD
723054009	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-2	0	0						CVWD
721197010	CVAG6B-CORRECTLY ZONED S	0.240	MDR		2-5 DU/AC	R-1	0	0						CVWD
721194012	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0						CVWD
721239009	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723332001	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
723122004	CVAG6B-CORRECTLY ZONED S	0.471	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
522310023	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
609570052	CVAG6B-CORRECTLY ZONED S	0.029	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
665133014	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650210004	CVAG6B-CORRECTLY ZONED S	4.877	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				CVWD
650222019	CVAG6B-CORRECTLY ZONED S	0.309	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
6502152020	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665141012	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143028	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132022	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650071010	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721133005	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
725293003	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669197008	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0						CVWD
669183012	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
723093011	CVAG6B-CORRECTLY ZONED S	0.295	MDR		2-5 DU/AC	R-1	1	0						CVWD
723122008	CVAG6B-CORRECTLY ZONED S	0.457	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 1 FAULT ZONE					CVWD
606020006	CVAG6B-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
609062004	CVAG6B-CORRECTLY ZONED S	4.775	MDR		2-5 DU/AC	R-1-12000	10	8					Zone E	CVWD
522280041	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280034	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270027	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
607181027	CVAG6B-CORRECTLY ZONED S	1.817	MDR		2-5 DU/AC	R-1-12000	4	3		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650051007	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657404003	CVAG6B-CORRECTLY ZONED S	2.420	MDR		2-5 DU/AC	R-1	5	4		AREAS OF FLOODING SENSITIVITY				CVWD
659670014	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
669205008	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0				Santa Rosa and San Jacinto Mountains Conservation Area		CVWD
657313007	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657331004	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657413003	CVAG6B-CORRECTLY ZONED S	0.286	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650032001	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
721181001	CVAG6B-CORRECTLY ZONED S	0.269	MDR		2-5 DU/AC	R-1	1	0						CVWD
721201003	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
650033016	CVAG6B-CORRECTLY ZONED S	0.153	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163018	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303002	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723142003	CVAG6B-CORRECTLY ZONED S	0.908	MDR		2-5 DU/AC	R-1	2	1	SAN ANDREAS 1 FAULT ZONE					CVWD
665143001	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
66512011	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723323014	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2.5 DU/AC	R-1	0	0						CWWD
721102003	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2.5 DU/AC	R-1	0	0						CWWD
721231006	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/AC	R-1	0	0	COUNTY					CWWD
723292033	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					CWWD
723334019	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2.5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
757070037	CVAG6B-CORRECTLY ZONED S	0.426	MDR		2.5 DU/AC	R-A-20	1	1					Zone D	CWWD
723123007	CVAG6B-CORRECTLY ZONED S	0.277	MDR		2.5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723093001	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2.5 DU/AC	R-1	1	1	COUNTY					CWWD
522270035	CVAG6B-CORRECTLY ZONED S	0.200	MDR		2.5 DU/AC	R-1	0	0	1 FAULT ZONE					CWWD
522310038	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2.5 DU/AC	R-1	0	0						CWWD
522320034	CVAG6B-CORRECTLY ZONED S	0.152	MDR		2.5 DU/AC	R-1	0	0						CWWD
609321014	CVAG6B-CORRECTLY ZONED S	0.150	MDR		2.5 DU/AC	R-1	0	0					Zone E	CWWD
609111006	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone E	CWWD
650281001	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
657311013	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657403003	CVAG6B-CORRECTLY ZONED S	0.341	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
661122016	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650282026	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657423017	CVAG6B-CORRECTLY ZONED S	0.276	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
661092003	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
694010051	CVAG6B-CORRECTLY ZONED S	0.116	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723074012	CVAG6B-CORRECTLY ZONED S	0.194	MDR		2.5 DU/AC	R-1	0	0	COUNTY					CWWD
723091003	CVAG6B-CORRECTLY ZONED S	0.309	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
721233009	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/AC	R-1	0	0						CWWD
767471017	CVAG6B-CORRECTLY ZONED S	0.301	MDR	CCO	2.5 DU/AC	R-1	1	1						CWWD
721182005	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2.5 DU/AC	R-1	0	0						CWWD
721232022	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2.5 DU/AC	R-1	0	0						CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721203020	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
723111009	CVAG66B-CORRECTLY ZONED S	0.406	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723134009	CVAG66B-CORRECTLY ZONED S	0.281	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723311001	CVAG66B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CVWD
721182010	CVAG66B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0						CVWD
723134002	CVAG66B-CORRECTLY ZONED S	0.289	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723301008	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
723284005	CVAG66B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0						CVWD
6083320074	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
723103013	CVAG66B-CORRECTLY ZONED S	0.283	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
607391050	CVAG66B-CORRECTLY ZONED S	0.210	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CVWD
522270010	CVAG66B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300016	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
608181029	CVAG66B-CORRECTLY ZONED S	0.236	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
609211038	CVAG66B-CORRECTLY ZONED S	0.253	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
607294013	CVAG66B-CORRECTLY ZONED S	0.245	MDR		2-5 DU/AC	R-1-9000	0	0					Zone D	CVWD
650192001	CVAG66B-CORRECTLY ZONED S	0.333	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
657365005	CVAG66B-CORRECTLY ZONED S	0.376	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
661122012	CVAG66B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CVWD
657423022	CVAG66B-CORRECTLY ZONED S	0.274	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
657401004	CVAG66B-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665133004	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132006	CVAG66B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650142011	CVAG66B-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665152024	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721224009	CVAG66B-CORRECTLY ZONED S	0.279	MDR		2-5 DU/AC	R-1	0	0						CVWD
669201005	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-2A	0	0						CVWD
723172009	CVAG66B-CORRECTLY ZONED S	0.314	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
721202015	CVAG66B-CORRECTLY ZONED S	0.211	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
693076018	CVAG66B-CORRECTLY ZONED S	0.027	MDR		2-5 DU/AC	R-T	0	0						CVWD
723122005	CVAG66B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723311025	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
607391040	CVAG66B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CVWD
52224021	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290638	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320035	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270014	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
608390063	CVAG66B-CORRECTLY ZONED S	0.237	MDR		2-5 DU/AC	R-1	0	0						CVWD
608052004	CVAG66B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0						CVWD
602620278	CVAG66B-CORRECTLY ZONED S	1.686	MDR		2-5 DU/AC	R-2-4000	3	3		AREAS OF FLOODING SENSITIVITY				CVWD
657411010	CVAG66B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	1						CVWD
665132031	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650062006	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650072029	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723294004	CVAG66B-CORRECTLY ZONED S	0.214	MDR		2-5 DU/AC	R-1	0	0						CVWD
723312002	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
721234008	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
723323009	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
693180001	CVAG66B-CORRECTLY ZONED S	38.564	MDR		2-5 DU/AC	R-3-6000	77	62		AREAS OF FLOODING SENSITIVITY				CVWD
721213015	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
721213010	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232018	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
767440005	CVAG66B-CORRECTLY ZONED S	0.122	MDR	CCO	2-5 DU/AC	R-1	0	0						CVWD
723351007	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723303021	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
767421005	CVAG6B-CORRECTLY ZONED S	0.308	MDR	ECCO	2-5 DU/AC	R-1	1	0					Zone E	CVWD
721202014	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CVWD
723114012	CVAG6B-CORRECTLY ZONED S	0.816	MDR		2-5 DU/AC	R-1	1	1						CVWD
522340001	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290046	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310011	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330018	CVAG6B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
608320054	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609141008	CVAG6B-CORRECTLY ZONED S	0.240	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609312009	CVAG6B-CORRECTLY ZONED S	0.399	MDR		2-5 DU/AC	R-1	1	1					Zone E	CVWD
650210003	CVAG6B-CORRECTLY ZONED S	4.855	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				CVWD
665139002	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163005	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661062011	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657310003	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661184013	CVAG6B-CORRECTLY ZONED S	0.499	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
665163023	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723324005	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721241027	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723061018	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
665151009	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723073020	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
665163009	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721271040	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723172004	CVAG6B-CORRECTLY ZONED S	0.920	MDR		2-5 DU/AC	R-1	2	1	SAN ANDREAS FAULT ZONE					CVWD
721251024	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721261006	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0						CVWD
723304005	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
723142005	CVAG6B-CORRECTLY ZONED S	0.386	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
723284002	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
665152015	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0						CVWD
522214010	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290034	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522215005	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
609092005	CVAG6B-CORRECTLY ZONED S	0.257	MDR		2-5 DU/AC	R-1	1	0						CVWD
607181030	CVAG6B-CORRECTLY ZONED S	0.258	MDR		2-5 DU/AC	R-1-12000	1	0						CVWD
609361002	CVAG6B-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	1	0						CVWD
608064009	CVAG6B-CORRECTLY ZONED S	0.254	MDR		2-5 DU/AC	R-1	1	0						CVWD
608330064	CVAG6B-CORRECTLY ZONED S	0.321	MDR		2-5 DU/AC	R-1	1	1						CVWD
665133011	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650262026	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650061037	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661062020	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132005	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669680009	CVAG6B-CORRECTLY ZONED S	0.197	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650221019	CVAG6B-CORRECTLY ZONED S	0.286	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303041	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133024	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133015	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721271024	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723172005	CVAG6B-CORRECTLY ZONED S	0.456	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
721251035	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-2	0	0	1 FAULT ZONE					CVWD
723323008	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS COUNTY					CVWD
721203017	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	1 FAULT ZONE					CVWD

Housing Element Appendix A - Housing Inventory List

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723292016	CVAG6B-CORRECTLY ZONED S	0.201 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721251018	CVAG6B-CORRECTLY ZONED S	0.199 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD
723132005	CVAG6B-CORRECTLY ZONED S	0.320 MDR			2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723331016	CVAG6B-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
609061034	CVAG6B-CORRECTLY ZONED S	1.456 MDR			2-5 DU/AC	R-1	3	2	0 FAULT ZONE				Zone E	CVWD
522222001	CVAG6B-CORRECTLY ZONED S	0.188 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522211009	CVAG6B-CORRECTLY ZONED S	0.157 MDR			2-5 DU/AC	R-1	0	0						CVWD
522279013	CVAG6B-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0						CVWD
609241001	CVAG6B-CORRECTLY ZONED S	0.323 MDR			2-5 DU/AC	R-1	1	1					Zone D	CVWD
609330011	CVAG6B-CORRECTLY ZONED S	0.311 MDR			2-5 DU/AC	R-1	1	1					Zone D	CVWD
650143005	CVAG6B-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151004	CVAG6B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657331005	CVAG6B-CORRECTLY ZONED S	0.228 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650151037	CVAG6B-CORRECTLY ZONED S	0.173 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657323002	CVAG6B-CORRECTLY ZONED S	0.283 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143008	CVAG6B-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657382003	CVAG6B-CORRECTLY ZONED S	0.244 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153011	CVAG6B-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657401017	CVAG6B-CORRECTLY ZONED S	0.059 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131020	CVAG6B-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
72322034	CVAG6B-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
757070044	CVAG6B-CORRECTLY ZONED S	0.063 MDR			2-5 DU/AC	R-A-20	0	0	0 FAULT ZONE				Zone D	CVWD
723333007	CVAG6B-CORRECTLY ZONED S	0.183 MDR			2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

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723303032	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2.5 DU/AC	R-1	0	0						CVWD
721261009	CVAG66B-CORRECTLY ZONED S	0.182	MDR		2.5 DU/AC	R-1	0	0						CVWD
723041014	CVAG66B-CORRECTLY ZONED S	0.194	MDR		2.5 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
609261031	CVAG66B-CORRECTLY ZONED S	2.032	MDR		2.5 DU/AC	R-3-8000	4	3					Zone D	CVWD
522213011	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2.5 DU/AC	R-1	0	0						CVWD
522280059	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2.5 DU/AC	R-1	0	0						CVWD
522320033	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2.5 DU/AC	R-1	0	0						CVWD
522270007	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2.5 DU/AC	R-1	0	0						CVWD
609211007	CVAG66B-CORRECTLY ZONED S	0.232	MDR		2.5 DU/AC	R-1	0	0					Zone D	CVWD
607294025	CVAG66B-CORRECTLY ZONED S	0.210	MDR		2.5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
665143016	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151014	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650281016	CVAG66B-CORRECTLY ZONED S	0.251	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657403006	CVAG66B-CORRECTLY ZONED S	0.340	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721193013	CVAG66B-CORRECTLY ZONED S	0.223	MDR		2.5 DU/AC	R-1	0	0						CVWD
721233001	CVAG66B-CORRECTLY ZONED S	0.182	MDR		2.5 DU/AC	R-1	0	0						CVWD
669670003	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2.5 DU/AC	R-1	0	0						CVWD
665133028	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131005	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721191006	CVAG66B-CORRECTLY ZONED S	0.276	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723061014	CVAG66B-CORRECTLY ZONED S	0.190	MDR		2.5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723062010	CVAG66B-CORRECTLY ZONED S	0.183	MDR		2.5 DU/AC	R-1	0	0						CVWD
721182007	CVAG66B-CORRECTLY ZONED S	0.429	MDR		2.5 DU/AC	R-1	1	1						CVWD
693134018	CVAG66B-CORRECTLY ZONED S	0.113	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723304004	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
727211002	CVAG66B-CORRECTLY ZONED S	0.056	MDR		2.5 DU/AC	R-3	0	0						CVWD
723333009	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2.5 DU/AC	R-1	0	0						CVWD
721194014	CVAG66B-CORRECTLY ZONED S	0.248	MDR		2.5 DU/AC	R-1	0	0						CVWD
723132005	CVAG66B-CORRECTLY ZONED S	0.444	MDR		2.5 DU/AC	R-1	1	1						CVWD
721271026	CVAG66B-CORRECTLY ZONED S	0.183	MDR		2.5 DU/AC	R-3	0	0						CVWD
721262010	CVAG66B-CORRECTLY ZONED S	0.175	MDR		2.5 DU/AC	R-1	0	0						CVWD
721222022	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2.5 DU/AC	R-1	0	0						CVWD
721232007	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/AC	R-1	0	0						CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723123003	CVAG6B-CORRECTLY ZONED S	0.284	MDR		2.5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
522270018	CVAG6B-CORRECTLY ZONED S	0.197	MDR		2.5 DU/AC	R-1	0	0						CVWD
522212013	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2.5 DU/AC	R-1	0	0						CVWD
522280012	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2.5 DU/AC	R-1	0	0						CVWD
607294024	CVAG6B-CORRECTLY ZONED S	0.210	MDR		2.5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
650162004	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CVWD
657333019	CVAG6B-CORRECTLY ZONED S	0.209	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661051015	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2.5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
609141001	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2.5 DU/AC	R-1	0	0					Zone E	CVWD
657401002	CVAG6B-CORRECTLY ZONED S	0.295	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657314015	CVAG6B-CORRECTLY ZONED S	0.219	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650221012	CVAG6B-CORRECTLY ZONED S	0.266	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657311007	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131021	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650162017	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665142004	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665162018	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723083009	CVAG6B-CORRECTLY ZONED S	0.327	MDR		2.5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
665151013	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665162020	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723079001	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CWWD
721262013	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
721204015	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
723071013	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721262016	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
721182016	CVAG6B-CORRECTLY ZONED S	0.263	MDR		2-5 DU/AC	R-1	1	0	0					CWWD
723064020	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
767350010	CVAG6B-CORRECTLY ZONED S	0.325	MDR		2-5 DU/AC	R-1	1	1	1					CWWD
723041008	CVAG6B-CORRECTLY ZONED S	0.206	MDR		2-5 DU/AC	R-2	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
657411001	CVAG6B-CORRECTLY ZONED S	0.527	MDR		2-5 DU/AC	R-1	1	1	1	AREAS OF FLOODING SENSITIVITY				CWWD
522290021	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522320010	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
607323009	CVAG6B-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	0	0				Zone D	CWWD
607294018	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1-9000	0	0	0				Zone B2	CWWD
650043020	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
669174006	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
657371009	CVAG6B-CORRECTLY ZONED S	0.246	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
657312003	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
657314005	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
721184009	CVAG6B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
723071021	CVAG6B-CORRECTLY ZONED S	0.192	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
723304019	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
657315005	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
665143027	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
723072017	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721203012	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
721193002	CVAG66B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0						CVWD
723315019	CVAG66B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
767471015	CVAG66B-CORRECTLY ZONED S	0.301	MDR	CCO	2-5 DU/AC	R-1	1	0						CVWD
723334002	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
608320075	CVAG66B-CORRECTLY ZONED S	0.215	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
723154003	CVAG66B-CORRECTLY ZONED S	0.269	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723131002	CVAG66B-CORRECTLY ZONED S	0.308	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
522320009	CVAG66B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280039	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310037	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310001	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320008	CVAG66B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650151027	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650051010	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650191026	CVAG66B-CORRECTLY ZONED S	0.308	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650172017	CVAG66B-CORRECTLY ZONED S	0.198	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133029	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650222023	CVAG66B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723304001	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723071023	CVAG66B-CORRECTLY ZONED S	0.260	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723103020	CVAG66B-CORRECTLY ZONED S	0.281	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723103004	CVAG66B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723315009	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723304013	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
723322005	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721251026	CVAG66B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
665153018	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0						CVWD
723122019	CVAG66B-CORRECTLY ZONED S	0.236	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
694110072	CVAG66B-CORRECTLY ZONED S	0.210	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
608330046	CVAG66B-CORRECTLY ZONED S	0.146	MDR		2-5 DU/AC		0	0					Zone E	CVWD
723340011	CVAG66B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1	0	0						CVWD
723081008	CVAG66B-CORRECTLY ZONED S	0.336	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
609220022	CVAG66B-CORRECTLY ZONED S	0.209	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
665142034	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694100032	CVAG66B-CORRECTLY ZONED S	0.109	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661133018	CVAG66B-CORRECTLY ZONED S	0.250	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
522280047	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290051	CVAG66B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
52224015	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290056	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310013	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
569175004	CVAG66B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650136006	CVAG66B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670016	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650033026	CVAG66B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669203006	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151020	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163021	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694110031	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
72122028	CVAG66B-CORRECTLY ZONED S	0.211	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303037	CVAG66B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723152001	CVAG66B-CORRECTLY ZONED S	0.317	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723082001	CVAG6B-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723153003	CVAG6B-CORRECTLY ZONED S	0.393	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS COUNTY FAULT ZONE					CVWD
723072022	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0						CVWD
721241040	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
721241013	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
723312017	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280048	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270026	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
657404004	CVAG6B-CORRECTLY ZONED S	0.348	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650044029	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650222014	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
669660001	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669174009	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132021	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650203009	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153010	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143002	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721224020	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721262019	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723113007	CVAG6B-CORRECTLY ZONED S	0.317	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721224006	CVAG6B-CORRECTLY ZONED S	0.204	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723122012	CVAG6B-CORRECTLY ZONED S	0.234	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
522290030	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290061	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522280022	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
608161011	CVAG6B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
650052012	CVAG6B-CORRECTLY ZONED S	0.194	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650142038	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657313005	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665163008	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723081005	CVAG6B-CORRECTLY ZONED S	0.302	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723102008	CVAG6B-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
721183005	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0						CYWD
7212131002	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CYWD
721292004	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CYWD
723295006	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723331003	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723284001	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0						CYWD
723103022	CVAG6B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723303007	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CYWD
723293001	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723122011	CVAG6B-CORRECTLY ZONED S	0.478	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
723273003	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
650210007	CVAG6B-CORRECTLY ZONED S	4.857	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				CYWD
607393011	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CYWD
721211008	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CYWD
522270042	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CYWD
522290002	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CYWD
522300037	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CYWD
522212001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CYWD
522270043	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650062033	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657314009	CVAG6B-CORRECTLY ZONED S	0.219	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650281007	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
665161014	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
650032017	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
661072020	CVAG6B-CORRECTLY ZONED S	0.289	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
657402012	CVAG6B-CORRECTLY ZONED S	0.337	MDR		2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
657391006	CVAG6B-CORRECTLY ZONED S	0.301	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
657382008	CVAG6B-CORRECTLY ZONED S	0.210	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
650141005	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
650034011	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665131029	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
657383010	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
693062028	CVAG6B-CORRECTLY ZONED S	0.111	MDR		2-5 DU/AC	R-T	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
721204004	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723311014	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723323028	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
721183003	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	0	0	FLOODING SENSITIVITY AREAS OF				CVWD
723103006	CVAG6B-CORRECTLY ZONED S	0.274	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723073023	CVAG6B-CORRECTLY ZONED S	0.273	MDR		2-5 DU/AC	R-1	1	0	0	FLOODING SENSITIVITY AREAS OF				CVWD
723323007	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
721203021	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	0	FLOODING SENSITIVITY AREAS OF				CVWD
693072010	CVAG6B-CORRECTLY ZONED S	0.087	MDR		2-5 DU/AC	R-T	0	0		FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A -- Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723136002	CVAG6B-CORRECTLY ZONED S	0.304	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS 0 FAULT ZONE					CVWD
721221005	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
757070032	CVAG6B-CORRECTLY ZONED S	2.279	MDR		2-5 DU/AC	R-A-20	5	4					Zone D	CVWD
723122014	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
757070050	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-A-20	0	0					Zone D	CVWD
721261036	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0						CVWD
723121007	CVAG6B-CORRECTLY ZONED S	0.279	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS 0 FAULT ZONE					CVWD
522214008	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
522222010	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310009	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270006	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
606050015	CVAG6B-CORRECTLY ZONED S	0.252	MDR		2-5 DU/AC	R-2-8000	1	0					Zone D	CVWD
607291013	CVAG6B-CORRECTLY ZONED S	0.254	MDR		2-5 DU/AC	R-1-9000	1	0					Zone D	CVWD
607291009	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1-9000	0	0		AREAS OF FLOODING SENSITIVITY			Zone B2	CVWD
665162010	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251022	CVAG6B-CORRECTLY ZONED S	0.212	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650163009	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650222018	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657412011	CVAG6B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132011	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669182003	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721241038	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
72324012	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669181006	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657381006	CVAG6B-CORRECTLY ZONED S	0.264	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723064022	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/JAC	R-1	0	0		FLOODING SENSITIVITY				CWWD
721193001	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/JAC	R-1	0	0						CWWD
721182013	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/JAC	R-1	0	0						CWWD
721203025	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/JAC	R-1	0	0						CWWD
723123001	CVAG6B-CORRECTLY ZONED S	0.282	MDR		2-5 DU/JAC	R-1	1	0	SAN ANDREAS COUNTY FAULT ZONE					CWWD
723292042	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					CWWD
609062001	CVAG6B-CORRECTLY ZONED S	1.611	MDR		2-5 DU/JAC	R-1-12000	3	3					Zone E	CWWD
522214001	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/JAC	R-1	0	0						CWWD
522290054	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
522223004	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
609145003	CVAG6B-CORRECTLY ZONED S	0.438	MDR		2-5 DU/JAC	R-1	1	1					Zone E	CWWD
609000008	CVAG6B-CORRECTLY ZONED S	0.399	MDR		2-5 DU/JAC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	CWWD
650252019	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657314020	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657321003	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665142006	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661103009	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661112012	CVAG6B-CORRECTLY ZONED S	0.282	MDR		2-5 DU/JAC	R-1	1	0						CWWD
721202001	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/JAC	R-1	0	0						CWWD
723295001	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/JAC	R-1	0	0	COUNTY FAULT ZONE					CWWD
665153008	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669174008	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/JAC	R-1	0	0	COUNTY FAULT ZONE					CWWD
723292004	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/JAC	R-1	0	0						CWWD
721191005	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/JAC	R-1	0	0						CWWD
723084010	CVAG6B-CORRECTLY ZONED S	0.304	MDR		2-5 DU/JAC	R-1	1	0	SAN ANDREAS COUNTY FAULT ZONE					CWWD
694110077	CVAG6B-CORRECTLY ZONED S	0.139	MDR		2-5 DU/JAC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723292028	CVAG66B-CORRECTLY ZONED S	0.171 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
7211215005	CVAG66B-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723094012	CVAG66B-CORRECTLY ZONED S	0.317 MDR			2-5 DU/AC	R-1	1	1	COUNTY					CVWD
721241003	CVAG66B-CORRECTLY ZONED S	0.177 MDR			2-5 DU/AC	R-1	0	0	SAN ANDREAS					CVWD
522270038	CVAG66B-CORRECTLY ZONED S	0.158 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522280053	CVAG66B-CORRECTLY ZONED S	0.175 MDR			2-5 DU/AC	R-1	0	0						CVWD
522300080	CVAG66B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0						CVWD
522300095	CVAG66B-CORRECTLY ZONED S	0.163 MDR			2-5 DU/AC	R-1	0	0						CVWD
609321011	CVAG66B-CORRECTLY ZONED S	0.023 MDR			2-5 DU/AC	R-1	0	0					Zone E	CVWD
609181016	CVAG66B-CORRECTLY ZONED S	0.289 MDR			2-5 DU/AC	R-1	1	1					Zone D	CVWD
650051011	CVAG66B-CORRECTLY ZONED S	0.174 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132019	CVAG66B-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151025	CVAG66B-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721232002	CVAG66B-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669183005	CVAG66B-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0						CVWD
723316001	CVAG66B-CORRECTLY ZONED S	0.222 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723316002	CVAG66B-CORRECTLY ZONED S	0.239 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721182003	CVAG66B-CORRECTLY ZONED S	0.224 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
693062080	CVAG66B-CORRECTLY ZONED S	0.092 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723061017	CVAG66B-CORRECTLY ZONED S	0.190 MDR			2-5 DU/AC	R-1	0	0	SAN ANDREAS					CVWD
723274002	CVAG66B-CORRECTLY ZONED S	0.172 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721232028	CVAG66B-CORRECTLY ZONED S	0.171 MDR			2-5 DU/AC	R-1	0	0						CVWD
721215017	CVAG66B-CORRECTLY ZONED S	0.164 MDR			2-5 DU/AC	R-1	0	0						CVWD
723123006	CVAG66B-CORRECTLY ZONED S	0.282 MDR			2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
723292040	CVAG66B-CORRECTLY ZONED S	0.200 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721235016	CVAG66B-CORRECTLY ZONED S	0.169 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
757030001	CVAG66B-CORRECTLY ZONED S	1.513 MDR			2-5 DU/AC	R-2-8000	3	3					Zone D	CVWD
723296002	CVAG66B-CORRECTLY ZONED S	0.234 MDR			2-5 DU/AC	R-1	0	0	COUNTY					CVWD
522280035	CVAG66B-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522221007	CVAG66B-CORRECTLY ZONED S	0.180 MDR			2-5 DU/AC	R-1	0	0						CVWD
522270045	CVAG66B-CORRECTLY ZONED S	0.154 MDR			2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
572320019	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650061019	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
608920066	CVAG6B-CORRECTLY ZONED S	0.021	MDR		2-5 DU/AC		0	0					Zone E	CWWD
657914023	CVAG6B-CORRECTLY ZONED S	0.231	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657932018	CVAG6B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665143012	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657911009	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669197001	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657981009	CVAG6B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
657411009	CVAG6B-CORRECTLY ZONED S	0.253	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132012	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657401005	CVAG6B-CORRECTLY ZONED S	0.293	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
721203007	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665131035	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721262001	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723313004	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723334006	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
661251008	CVAG6B-CORRECTLY ZONED S	0.254	MDR		2-5 DU/AC	R-1	1	0						CWWD
522222028	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270009	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
606090014	CVAG6B-CORRECTLY ZONED S	0.263	MDR		2-5 DU/AC	R-2-8000	1	0		AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
657997002	CVAG6B-CORRECTLY ZONED S	0.295	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
665131013	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650192018	CVAG6B-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DUJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650151020	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
650143017	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
665152021	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
669670006	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
665151026	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
723093003	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					CYWD
721242015	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CYWD
723114004	CVAG6B-CORRECTLY ZONED S	0.354	MDR		2-5 DU/AC	R-1	1	1						CYWD
721203011	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CYWD
723123003	CVAG6B-CORRECTLY ZONED S	0.510	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CYWD
721241022	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0						CYWD
721213016	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CYWD
721271021	CVAG6B-CORRECTLY ZONED S	0.209	MDR		2-5 DU/AC	R-3	0	0						CYWD
607121011	CVAG6B-CORRECTLY ZONED S	0.209	MDR		2-5 DU/AC	R-1	0	0					Zone D	CYWD
522290011	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CYWD
607231008	CVAG6B-CORRECTLY ZONED S	0.204	MDR		2-5 DU/AC	R-1	0	0					Zone A	CYWD
609103010	CVAG6B-CORRECTLY ZONED S	0.243	MDR		2-5 DU/AC	R-1	0	0					Zone D	CYWD
657403011	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
669660026	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
657411008	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
650152027	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CYWD
650222017	CVAG6B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CYWD
723083004	CVAG6B-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CYWD
721262003	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CYWD
721235008	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CYWD
723262015	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CYWD
721242014	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CYWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657352012	CVAG6B-CORRECTLY ZONED S	0.261	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
522300005	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310022	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
607300016	CVAG6B-CORRECTLY ZONED S	1.730	MDR		2-5 DU/AC	R-1	3	3					Zone B2	CWWD
522280040	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270016	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
665132033	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657423006	CVAG6B-CORRECTLY ZONED S	0.243	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657364014	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
665142009	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669660027	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665163002	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723094009	CVAG6B-CORRECTLY ZONED S	0.343	MDR		2-5 DU/AC	R-1	1	1	COUNTY					CWWD
721212002	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	1	FAULT ZONE				CWWD
661111019	CVAG6B-CORRECTLY ZONED S	0.270	MDR		2-5 DU/AC	R-1	1	0						CWWD
723112008	CVAG6B-CORRECTLY ZONED S	0.316	MDR		2-5 DU/AC	R-1	1	1						CWWD
723303028	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CWWD
723311003	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721194013	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	0						CWWD
721193003	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0						CWWD
723103010	CVAG6B-CORRECTLY ZONED S	0.273	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS					CWWD
721241010	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS					CWWD
723091001	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
607294011	CVAG6B-CORRECTLY ZONED S	0.252	MDR		2-5 DU/AC	R-1-9000	1	0					Zone D	CWWD
721201011	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
607395003	CVAG6B-CORRECTLY ZONED S	0.351	MDR		2-5 DU/AC	R-1	1	1					Zone A	CWWD
522212019	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
607294015	CVAG6B-CORRECTLY ZONED S	0.269	MDR		2-5 DU/AC	R-1-9000	1	0					Zone D	CWWD
603211026	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657312004	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650072033	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669175003	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665151027	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
661152017	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CWWD
665142005	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
723082011	CVAG6B-CORRECTLY ZONED S	0.271	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE COUNTY					CWWD
723323012	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
7211181002	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0						CWWD
723311015	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
721241045	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0						CWWD
721261001	CVAG6B-CORRECTLY ZONED S	0.202	MDR		2-5 DU/AC	R-1	0	0						CWWD
721202028	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723074013	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
721209010	CVAG6B-CORRECTLY ZONED S	0.202	MDR		2-5 DU/AC	R-1	0	0						CWWD
721215007	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CWWD
723333004	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0						CWWD
721232015	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CWWD
665132017	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
607371020	CVAG6B-CORRECTLY ZONED S	0.210	MDR		2-5 DU/AC	R-1	0	0					Zone A	CWWD
727152032	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280014	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290049	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320032	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522211021	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310043	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
522222023	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657313012	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650152033	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665163004	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665151024	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650251009	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657313019	CVAG6B-CORRECTLY ZONED S	0.217	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650171018	CVAG6B-CORRECTLY ZONED S	0.197	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669560002	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657314019	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661103001	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723303025	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721242014	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
721194024	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0						CWWD
723331011	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
721271030	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-3	0	0						CWWD
723122010	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
723311018	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0						CWWD
767350028	CVAG6B-CORRECTLY ZONED S	0.038	MDR		2-5 DU/AC	R-1	0	0						CWWD
723340006	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
606050019	CVAG6B-CORRECTLY ZONED S	0.298	MDR		2-5 DU/AC	R-2-8000	1	0		AREAS OF FLOODING SENSITIVITY			Zone D	CWWD
650120007	CVAG6B-CORRECTLY ZONED S	9.484	MDR		2-5 DU/AC	R-1	19	15		AREAS OF FLOODING SENSITIVITY				CWWD
650310002	CVAG6B-CORRECTLY ZONED S	38.733	MDR		2-5 DU/AC	R-1	77	62		AREAS OF FLOODING SENSITIVITY				CWWD
522300026	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300076	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300005	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
609350021	CVAG6B-CORRECTLY ZONED S	0.319	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	CWWD
650230030	CVAG6B-CORRECTLY ZONED S	1.459	MDR		2-5 DU/AC	R-1	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
659670010	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669570024	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665133006	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657190015	CVAG66B-CORRECTLY ZONED S	8.663	MDR		2-5 DU/AC	R-T-8700	17	14		AREAS OF FLOODING SENSITIVITY				CWWD
665153027	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665151001	CVAG66B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669175011	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665131032	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669181008	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132024	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665165011	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132026	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
694010091	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723082009	CVAG66B-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
721185002	CVAG66B-CORRECTLY ZONED S	0.234	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
694110075	CVAG66B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723334022	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723334003	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723134003	CVAG66B-CORRECTLY ZONED S	0.281	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
721240003	CVAG66B-CORRECTLY ZONED S	0.192	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300040	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320025	CVAG66B-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0						CWWD
609241002	CVAG66B-CORRECTLY ZONED S	0.322	MDR		2-5 DU/AC	R-1	1	1					Zone D	CWWD
607291007	CVAG66B-CORRECTLY ZONED S	0.329	MDR		2-5 DU/AC	R-1-9000	1	1					Zone B2	CWWD
609500046	CVAG66B-CORRECTLY ZONED S	0.197	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD
609373005	CVAG66B-CORRECTLY ZONED S	0.336	MDR		2-5 DU/AC	R-1	1	1					Zone D	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665151015	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650071002	CVAG6B-CORRECTLY ZONED S	0.243	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
654100001	CVAG6B-CORRECTLY ZONED S	8.896	MDR		2-5 DU/AC	R-T	18	14	SAN ANDREAS FAULT ZONE					CWWD
650062025	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721242005	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
661062015	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661105006	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723072015	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
693062003	CVAG6B-CORRECTLY ZONED S	0.092	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723273004	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
723292029	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
721241044	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723083008	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723292024	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
723134014	CVAG6B-CORRECTLY ZONED S	0.268	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723134004	CVAG6B-CORRECTLY ZONED S	0.274	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
665162001	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
609051007	CVAG6B-CORRECTLY ZONED S	4.027	MDR		2-5 DU/AC	R-1-12000	8	6					Zone E	CWWD
723136003	CVAG6B-CORRECTLY ZONED S	0.364	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723315004	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
522280056	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODS OF AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657333004	CVAG66B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
650092016	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
665133021	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
650191001	CVAG66B-CORRECTLY ZONED S	0.283	MDR		2-5 DU/AC	R-1	1	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
650162013	CVAG66B-CORRECTLY ZONED S	0.211	MDR		2-5 DU/AC	R-1	0	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
650072016	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
657372006	CVAG66B-CORRECTLY ZONED S	0.248	MDR		2-5 DU/AC	R-1	0	0		FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
665131025	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0	COUNTY	FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
723304002	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721231004	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723072020	CVAG66B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
723325002	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723317002	CVAG66B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721215014	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723093005	CVAG66B-CORRECTLY ZONED S	0.314	MDR		2-5 DU/AC	R-1	1	1	COUNTY					CVWD
723273005	CVAG66B-CORRECTLY ZONED S	0.197	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723091005	CVAG66B-CORRECTLY ZONED S	0.318	MDR		2-5 DU/AC	R-1	1	1	COUNTY					CVWD
723325010	CVAG66B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723332003	CVAG66B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
723081001	CVAG66B-CORRECTLY ZONED S	0.293	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY	FLOODS OF AREAS OF FLOODING SENSITIVITY				CVWD
723315005	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522290035	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522300038	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
609241003	CVAG66B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
609361004	CVAG66B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650262001	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-2-6000	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
650051001	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665131002	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
669204002	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
661191005	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665133012	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
723084011	CVAG6B-CORRECTLY ZONED S	0.297	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE COUNTY					CWWD
723313009	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723041009	CVAG6B-CORRECTLY ZONED S	0.198	MDR		2-5 DU/AC	R-2	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
723294001	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
723172006	CVAG6B-CORRECTLY ZONED S	0.400	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
721241001	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
721251030	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE					CWWD
721212006	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
723274001	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0						CWWD
723123002	CVAG6B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CWWD
522280050	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0						CWWD
52224012	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310040	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0						CWWD
522211015	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310007	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290026	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
522231008	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280023	CVAG6B-CORRECTLY ZONED S	0.211	MDR		2-5 DU/AC	R-1	0	0						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
659034010	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
650142020	CVAG6B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665152018	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		FLOODING AREAS OF SENSITIVITY				CWWD
657311003	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665131019	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC		0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665152001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		FLOODING AREAS OF SENSITIVITY				CWWD
657423001	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665152017	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		FLOODING AREAS OF SENSITIVITY				CWWD
661131003	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665131018	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		FLOODING AREAS OF SENSITIVITY				CWWD
650162003	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
665143011	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		FLOODING AREAS OF SENSITIVITY				CWWD
657371010	CVAG6B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
723061004	CVAG6B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY	FLOODING AREAS OF SENSITIVITY				CWWD
723315001	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	FLOODING AREAS OF SENSITIVITY				CWWD
723063016	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
723093002	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	0	COUNTY	FLOODING AREAS OF SENSITIVITY				CWWD
723312019	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
721241019	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723104011	CVAG6B-CORRECTLY ZONED S	0.300	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
757022023	CVAG6B-CORRECTLY ZONED S	0.050	MDR		2-5 DU/AC	R-2-8000	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
657972002	CVAG6B-CORRECTLY ZONED S	0.258	MDR		2-5 DU/AC	R-1	1	0						CVWD
713033008	CVAG6B-CORRECTLY ZONED S	0.341	MDR		2-5 DU/AC	R-3	1	1						CVWD
607392001	CVAG6B-CORRECTLY ZONED S	0.257	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY			Zone B2	CVWD
683230001	CVAG6B-CORRECTLY ZONED S	39.931	MDR		2-5 DU/AC	R-1	80	64						CVWD
522280046	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290078	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270032	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280033	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280045	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280007	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330050	CVAG6B-CORRECTLY ZONED S	0.150	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609202020	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
609103036	CVAG6B-CORRECTLY ZONED S	0.403	MDR		2-5 DU/AC	R-3-8000	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650230027	CVAG6B-CORRECTLY ZONED S	2.774	MDR		2-5 DU/AC	R-1	6	4						CVWD
609095010	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
650172015	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650152015	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650032002	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657392007	CVAG6B-CORRECTLY ZONED S	0.401	MDR		2-5 DU/AC	R-1	1	1						CVWD
669570011	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC	R-1	0	0						CVWD
657322019	CVAG6B-CORRECTLY ZONED S	0.215	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669175005	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-3	0	0						CVWD
657374005	CVAG6B-CORRECTLY ZONED S	0.246	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669182006	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665142025	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721222008	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
66919702	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143026	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0						CVWD
721232021	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
723154001	CVAG6B-CORRECTLY ZONED S	0.270	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723922015	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
723121004	CVAG6B-CORRECTLY ZONED S	0.319	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
657344001	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721231001	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320015	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290043	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270044	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
607414007	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2-5 DU/AC	R-1	0	0						CVWD
609202015	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0						CVWD
650045012	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650033008	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650262007	CVAG6B-CORRECTLY ZONED S	0.194	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650230010	CVAG6B-CORRECTLY ZONED S	2.342	MDR		2-5 DU/AC	R-1	5	4		FLOODING SENSITIVITY				CVWD
721221009	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650032031	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661061008	CVAG6B-CORRECTLY ZONED S	0.252	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657383004	CVAG6B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723323002	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721183002	CVAG6B-CORRECTLY ZONED S	0.341	MDR		2-5 DU/AC	R-1	1	1						CVWD
721201004	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
721221003	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
723063012	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723315014	CVAG66B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723111031	CVAG66B-CORRECTLY ZONED S	0.276	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
694110074	CVAG66B-CORRECTLY ZONED S	0.146	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723331002	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723104030	CVAG66B-CORRECTLY ZONED S	0.324	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723104001	CVAG66B-CORRECTLY ZONED S	0.309	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
522310020	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300011	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270024	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
52223013	CVAG66B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0						CVWD
609300003	CVAG66B-CORRECTLY ZONED S	0.422	MDR		2-5 DU/AC	R-1	1	1					Zone E	CVWD
609244007	CVAG66B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
650051034	CVAG66B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0						CVWD
659173003	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
657371002	CVAG66B-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	0						CVWD
650131014	CVAG66B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0						CVWD
650252021	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
665163012	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
657391005	CVAG66B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0						CVWD
650162018	CVAG66B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0						CVWD
669680010	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0						CVWD
657401008	CVAG66B-CORRECTLY ZONED S	0.272	MDR		2-5 DU/AC	R-1	1	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723312014	CVAG6B-CORRECTLY ZONED S	0.241	MDR		2.5 DU/AC	R-1	0	0						CVWD
721194017	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2.5 DU/AC	R-1	0	0						CVWD
721241030	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2.5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723073018	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721222019	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2.5 DU/AC	R-1	0	0						CVWD
723064015	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303011	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/AC	R-1	0	0						CVWD
721214011	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2.5 DU/AC	R-1	0	0						CVWD
723133003	CVAG6B-CORRECTLY ZONED S	0.355	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723061006	CVAG6B-CORRECTLY ZONED S	0.308	MDR		2.5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723323031	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2.5 DU/AC	R-1	0	0						CVWD
723292035	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
693274001	CVAG6B-CORRECTLY ZONED S	0.110	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723315016	CVAG6B-CORRECTLY ZONED S	0.192	MDR		2.5 DU/AC	R-1	0	0						CVWD
721202007	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/AC	R-1	0	0						CVWD
723301009	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/AC	R-1	0	0						CVWD
723084001	CVAG6B-CORRECTLY ZONED S	0.315	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723324003	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2.5 DU/AC	R-1	0	0						CVWD
721215009	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2.5 DU/AC	R-1	0	0						CVWD
721215011	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC	R-1	0	0						CVWD
723331012	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area		CVWD
665142002	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/AC	R-1	0	0						CVWD
609220043	CVAG6B-CORRECTLY ZONED S	0.025	MDR		2.5 DU/AC	R-1	0	0					Zone D	CVWD
522280038	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2.5 DU/AC	R-1	0	0						CVWD
522320017	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2.5 DU/AC	R-1	0	0						CVWD
607181032	CVAG6B-CORRECTLY ZONED S	0.096	MDR		2.5 DU/AC	R-1-12000	0	0					Zone D	CVWD
665151023	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163003	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665161016	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657311001	CVAG6B-CORRECTLY ZONED S	0.279	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657382006	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657322001	CVAG6B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661084011	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657401006	CVAG6B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665152003	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133026	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132029	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723292002	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723091002	CVAG6B-CORRECTLY ZONED S	0.302	MDR		2-5 DU/AC	R-1	1	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
723111007	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723102006	CVAG6B-CORRECTLY ZONED S	0.290	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721251040	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723041004	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
721232032	CVAG6B-CORRECTLY ZONED S	0.215	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723122017	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721214019	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290008	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522270023	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
607371011	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone A	CVWD
607294016	CVAG6B-CORRECTLY ZONED S	0.388	MDR		2-5 DU/AC	R-1-9000	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650131013	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650071009	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657361004	CVAG6B-CORRECTLY ZONED S	0.350	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
721199011	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0						CYWD
721241032	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CYWD
694040070	CVAG6B-CORRECTLY ZONED S	0.110	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665162009	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657322024	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723082010	CVAG6B-CORRECTLY ZONED S	0.280	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CYWD
665133023	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723063022	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723340010	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
608320062	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0					Zone E	CYWD
522280015	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CYWD
522270037	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CYWD
609193004	CVAG6B-CORRECTLY ZONED S	0.279	MDR		2-5 DU/AC	R-1	1	1					Zone D	CYWD
522320037	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CYWD
609030001	CVAG6B-CORRECTLY ZONED S	0.217	MDR		2-5 DU/AC	R-1	0	0					Zone D	CYWD
650072015	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657361003	CVAG6B-CORRECTLY ZONED S	0.353	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
657392004	CVAG6B-CORRECTLY ZONED S	0.414	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
669183013	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657314003	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657199012	CVAG6B-CORRECTLY ZONED S	9.351	MDR		2-5 DU/AC	R-T-8700	19	15		AREAS OF FLOODING SENSITIVITY				CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657332004	CVAG66B-CORRECTLY ZONED S	0.219	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132020	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665164008	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657324006	CVAG66B-CORRECTLY ZONED S	0.231	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133016	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723314003	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721262015	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0						CVWD
721241011	CVAG66B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CVWD
723233001	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CVWD
721214009	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
721261031	CVAG66B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723315005	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723292014	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723113012	CVAG66B-CORRECTLY ZONED S	0.329	MDR		2-5 DU/AC	R-1	1	1						CVWD
723273006	CVAG66B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
609271012	CVAG66B-CORRECTLY ZONED S	0.457	MDR		2-5 DU/AC	R-1	1	1	FAULT ZONE				Zone D	CVWD
609450019	CVAG66B-CORRECTLY ZONED S	1.479	MDR		2-5 DU/AC	R-1-12000	3	3					Zone E	CVWD
522222012	CVAG66B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320013	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650191010	CVAG66B-CORRECTLY ZONED S	0.266	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665133032	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
607371014	CVAG66B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone A	CVWD
650202011	CVAG66B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661172028	CVAG66B-CORRECTLY ZONED S	0.270	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
669173012	CVAG66B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163015	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650262008	CVAG66B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-2-8000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669174004	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
721192005	CVAG66B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0						CVWD
721235003	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723313002	CVAG66B-CORRECTLY ZONED S	0.153	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723332011	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721204019	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
767471016	CVAG66B-CORRECTLY ZONED S	0.301	MDR	CCO	2-5 DU/AC	R-1	1	1	COUNTY					CVWD
723292010	CVAG66B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723154002	CVAG66B-CORRECTLY ZONED S	0.262	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
723301005	CVAG66B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
650171023	CVAG66B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723104007	CVAG66B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
721211001	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
522280042	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290050	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
522222013	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320002	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330049	CVAG66B-CORRECTLY ZONED S	0.148	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609145011	CVAG66B-CORRECTLY ZONED S	0.433	MDR		2-5 DU/AC	R-1	1	1					Zone E	CVWD
608992002	CVAG66B-CORRECTLY ZONED S	0.253	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
665131009	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670019	CVAG66B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CVWD
669183007	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
665142011	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665164003	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721235008	CVAG66B-CORRECTLY ZONED S	0.154	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665161019	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153022	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723074011	CVAG66B-CORRECTLY ZONED S	0.202	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
693105016	CVAG6B-CORRECTLY ZONED S	0.092	MDR		2-5 DU/AC	R-7	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723054012	CVAG6B-CORRECTLY ZONED S	0.320	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
698272012	CVAG6B-CORRECTLY ZONED S	0.115	MDR		2-5 DU/AC	R-7	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723323027	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723303026	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CWWD
721262006	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CWWD
721232016	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CWWD
723312009	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
721251033	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE					CWWD
665142020	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area		CWWD
721211007	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
522222030	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270036	CVAG6B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280026	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270040	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310034	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270005	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CWWD
522214016	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CWWD
522320007	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
608390021	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0					Zone E	CWWD
650251018	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650202007	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657423015	CVAG6B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
650221013	CVAG6B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
669205011	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0				Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
650051020	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665141002	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
657399005	CVAG6B-CORRECTLY ZONED S	0.390	MDR		2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
665133030	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665132027	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665131027	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
657314016	CVAG6B-CORRECTLY ZONED S	0.214	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723072012	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723313006	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
721242010	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS	FLOODING SENSITIVITY AREAS OF				CVWD
721184010	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723084008	CVAG6B-CORRECTLY ZONED S	0.299	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
721202005	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723273001	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723340005	CVAG6B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723114005	CVAG6B-CORRECTLY ZONED S	0.358	MDR		2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
721222016	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723505015	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
72171033	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
723104002	CVAG6B-CORRECTLY ZONED S	0.363	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS	FLOODING SENSITIVITY AREAS OF				CVWD
723114006	CVAG6B-CORRECTLY ZONED S	0.349	MDR		2-5 DU/AC	R-1	1	1	COUNTY	FLOODING SENSITIVITY AREAS OF				CVWD
665164006	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
657315007	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
727152035	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
522310030	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
522213013	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
522270039	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD



Housing Element Appendix A - Housing Inventory List

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650152031	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650203031	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650202017	CVAG6B-CORRECTLY ZONED S	0.236	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
669181013	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657311015	CVAG6B-CORRECTLY ZONED S	0.207	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650171025	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657374010	CVAG6B-CORRECTLY ZONED S	0.231	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657311017	CVAG6B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665131028	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
669175006	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
657403001	CVAG6B-CORRECTLY ZONED S	0.343	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
669181005	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723222011	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CYWD
723064023	CVAG6B-CORRECTLY ZONED S	0.260	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
721204020	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723082006	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CYWD
723062021	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
721212001	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CYWD
723122007	CVAG6B-CORRECTLY ZONED S	0.928	MDR		2-5 DU/AC	R-1	2	1	SAN ANDREAS FAULT ZONE					CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723061012	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
723121004	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723094008	CVAG6B-CORRECTLY ZONED S	0.314	MDR		2-5 DU/AC	R-1	1	1	1 FAULT ZONE					CVWD
723332005	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
757070035	CVAG6B-CORRECTLY ZONED S	0.021	MDR		2-5 DU/AC	R-A-20	0	0	COUNTY				Zone D	CVWD
723292006	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD
767452041	CVAG6B-CORRECTLY ZONED S	0.049	MDR	CCO	2-5 DU/AC	R-1	0	0					Zone E	CVWD
609450012	CVAG6B-CORRECTLY ZONED S	0.355	MDR		2-5 DU/AC	R-1-12000	1	1	1				Zone D	CVWD
607932010	CVAG6B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY			Zone B2	CVWD
657352007	CVAG6B-CORRECTLY ZONED S	0.294	MDR		2-5 DU/AC	R-1	1	1	0					CVWD
523200024	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
607294021	CVAG6B-CORRECTLY ZONED S	0.213	MDR		2-5 DU/AC	R-1-9000	0	0	0				Zone B2	CVWD
609103026	CVAG6B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-3-8000	1	1	0				Zone D	CVWD
661192004	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
665131003	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
651130064	CVAG6B-CORRECTLY ZONED S	9.734	MDR		2-5 DU/AC	R-1	19	16	16	AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CVWD
657313008	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
665162006	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC		0	0	0					CVWD
665161020	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC		0	0	0					CVWD
665151028	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0	0					CVWD
721194001	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
723114002	CVAG6B-CORRECTLY ZONED S	0.356	MDR		2-5 DU/AC	R-1	1	1	1					CVWD
723511006	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
721195006	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
721215010	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
723102001	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1	1	SAN ANDREAS FAULT ZONE				CVWD
721183007	CVAG6B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-1	1	1	0					CVWD
723112011	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1	1					CVWD

Housing Element Appendix A - Housing Inventory List

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721223010	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0						CVWD
721251031	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
522290017	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290085	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300015	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
609312020	CVAG6B-CORRECTLY ZONED S	0.053	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609371001	CVAG6B-CORRECTLY ZONED S	0.043	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650180002	CVAG6B-CORRECTLY ZONED S	3.849	MDR		2-5 DU/AC	R-1	8	6		AREAS OF FLOODING SENSITIVITY				CVWD
657421001	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657369007	CVAG6B-CORRECTLY ZONED S	0.329	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665162016	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665152028	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721193017	CVAG6B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721194018	CVAG6B-CORRECTLY ZONED S	0.243	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694100034	CVAG6B-CORRECTLY ZONED S	0.096	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721203006	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723134020	CVAG6B-CORRECTLY ZONED S	0.292	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS 0 FAULT ZONE					CVWD
721261023	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0						CVWD
723323029	CVAG6B-CORRECTLY ZONED S	0.207	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CVWD
723041013	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670002	CVAG6B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280052	CVAG6B-CORRECTLY ZONED S	0.212	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330040	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
650151031	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650197009	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665161006	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665152013	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665151021	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723293007	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
721211006	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723064018	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721214016	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
7212121008	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723292045	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723292021	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
723315007	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723114001	CVAG6B-CORRECTLY ZONED S	0.355	MDR		2-5 DU/AC	R-1	1	1	COUNTY					CWWD
608330051	CVAG6B-CORRECTLY ZONED S	0.151	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE				Zone E	CWWD
665164005	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
522290019	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300039	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
522222011	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CWWD
522310006	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290066	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300013	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
609191009	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD
650282002	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657371011	CVAG6B-CORRECTLY ZONED S	0.245	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657392006	CVAG6B-CORRECTLY ZONED S	0.418	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650062020	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665131026	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657333010	CVAG6B-CORRECTLY ZONED S	0.217	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669175010	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION/ACREAGE	PARCEL GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665151022	CVAG6B-CORRECTLY ZONED S 0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665183013	CVAG6B-CORRECTLY ZONED S 0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CYWD
721192009	CVAG6B-CORRECTLY ZONED S 0.226	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723084003	CVAG6B-CORRECTLY ZONED S 0.314	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
721261012	CVAG6B-CORRECTLY ZONED S 0.185	MDR		2-5 DU/AC	R-1	0	0						CYWD
721203003	CVAG6B-CORRECTLY ZONED S 0.200	MDR		2-5 DU/AC	R-1	0	0						CYWD
721213013	CVAG6B-CORRECTLY ZONED S 0.173	MDR		2-5 DU/AC	R-1	0	0						CYWD
522224018	CVAG6B-CORRECTLY ZONED S 0.169	MDR		2-5 DU/AC	R-1	0	0						CYWD
522211005	CVAG6B-CORRECTLY ZONED S 0.163	MDR		2-5 DU/AC	R-1	0	0						CYWD
522280032	CVAG6B-CORRECTLY ZONED S 0.161	MDR		2-5 DU/AC	R-1	0	0						CYWD
607291008	CVAG6B-CORRECTLY ZONED S 0.219	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CYWD
603202016	CVAG6B-CORRECTLY ZONED S 0.230	MDR		2-5 DU/AC	R-1	0	0					Zone D	CYWD
608330045	CVAG6B-CORRECTLY ZONED S 0.201	MDR		2-5 DU/AC	R-1	0	0					Zone E	CYWD
657314022	CVAG6B-CORRECTLY ZONED S 0.224	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650192002	CVAG6B-CORRECTLY ZONED S 0.315	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CYWD
665143010	CVAG6B-CORRECTLY ZONED S 0.177	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CYWD
665153017	CVAG6B-CORRECTLY ZONED S 0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CYWD
650051008	CVAG6B-CORRECTLY ZONED S 0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
693062034	CVAG6B-CORRECTLY ZONED S 0.091	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723068018	CVAG6B-CORRECTLY ZONED S 0.191	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				CYWD
723292003	CVAG6B-CORRECTLY ZONED S 0.166	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
721184008	CVAG6B-CORRECTLY ZONED S 0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CYWD
723061015	CVAG6B-CORRECTLY ZONED S 0.189	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS	AREAS OF FLOODING SENSITIVITY				CYWD
721184005	CVAG6B-CORRECTLY ZONED S 0.231	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CYWD
721241015	CVAG6B-CORRECTLY ZONED S 0.172	MDR		2-5 DU/AC	R-1	0	0						CYWD
723334027	CVAG6B-CORRECTLY ZONED S 0.253	MDR		2-5 DU/AC	R-1	1	1						CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721251036	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
606050026	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-2-8000	0	0					Zone D	CVWD
522300034	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280060	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
608031086	CVAG6B-CORRECTLY ZONED S	0.650	MDR		2-5 DU/AC		1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650143013	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657394002	CVAG6B-CORRECTLY ZONED S	0.264	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665143015	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650281011	CVAG6B-CORRECTLY ZONED S	0.263	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650071001	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
693120048	CVAG6B-CORRECTLY ZONED S	0.027	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721183006	CVAG6B-CORRECTLY ZONED S	0.340	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
669670020	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723294003	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721271025	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723340010	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723331006	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
721193010	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721232030	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721182015	CVAG6B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
723061008	CVAG6B-CORRECTLY ZONED S	0.313	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 1 FAULT ZONE					CVWD
721242020	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723512018	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522320005	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522211013	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290074	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522222024	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290065	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522280043	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
522290004	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310018	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0						CVWD
607202006	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
608230040	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609540021	CVAG6B-CORRECTLY ZONED S	0.263	MDR		2-5 DU/AC	R-1	1	0					Zone E	CVWD
609570053	CVAG6B-CORRECTLY ZONED S	1.362	MDR		2-5 DU/AC	R-1	3	2		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650143004	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650222020	CVAG6B-CORRECTLY ZONED S	0.311	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
661084009	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133005	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133033	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669175009	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721224002	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721233008	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723072024	CVAG6B-CORRECTLY ZONED S	0.214	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721213003	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
723303018	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723054005	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-2	0	0	COUNTY					CVWD
723323005	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721241012	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290018	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280016	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290028	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522223001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522221006	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290073	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0						CVWD
522214013	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
522221019	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290029	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290006	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300028	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310016	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330041	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
607291014	CVAG6B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1-9000	0	0					Zone E	CVWD
609051005	CVAG6B-CORRECTLY ZONED S	2.363	MDR		2-5 DU/AC	R-1-12000	5	4		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
665162002	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657314002	CVAG66B-CORRECTLY ZONED S	0.233	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
657364012	CVAG66B-CORRECTLY ZONED S	0.276	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
665133034	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
650192025	CVAG66B-CORRECTLY ZONED S	0.316	MDR		2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
65D044001	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
669182007	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665159007	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
665142023	CVAG66B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
721184004	CVAG66B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
669204001	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723073016	CVAG66B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
694100031	CVAG66B-CORRECTLY ZONED S	0.110	MDR		2-5 DU/AC	R-T	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
721241026	CVAG66B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CVWD
609122001	CVAG66B-CORRECTLY ZONED S	0.296	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF			Zone D	CVWD
609431017	CVAG66B-CORRECTLY ZONED S	2.660	MDR		2-5 DU/AC	R-2-4000	5	4		FLOODING SENSITIVITY AREAS OF			Zone D	CVWD
522320029	CVAG66B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
522320007	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
522320023	CVAG66B-CORRECTLY ZONED S	0.155	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
607871022	CVAG66B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF			Zone A	CVWD
609142005	CVAG66B-CORRECTLY ZONED S	0.237	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF			Zone E	CVWD
609372001	CVAG66B-CORRECTLY ZONED S	0.322	MDR		2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY AREAS OF			Zone D	CVWD
650043018	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
657423014	CVAG66B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650192015	CVAG6B-CORRECTLY ZONED S	0.308	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
661124002	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0						CVWD
657391002	CVAG6B-CORRECTLY ZONED S	0.347	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665133001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657393007	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661093014	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0						CVWD
721231003	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
723172011	CVAG6B-CORRECTLY ZONED S	1.398	MDR		2-5 DU/AC	R-1	3	2	SAN ANDREAS FAULT ZONE					CVWD
665162013	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303033	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0						CVWD
723324008	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
72124026	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
721211005	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
721261019	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
723292007	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
721193014	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0						CVWD
723332002	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
723151003	CVAG6B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
522310021	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
52224011	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
522224001	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0						CVWD
52224012	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
65732015	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665161004	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661122007	CVAG6B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0						CVWD
665153016	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657313016	CVAG6B-CORRECTLY ZONED S	0.217	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721193018	CVAG6B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665132034	CVAG6B-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC		0	0		FLOODING SENSITIVITY				CVWD
723322007	CVAG6B-CORRECTLY ZONED S	0.183 MDR			2-5 DU/AC	R-1	0	0						CVWD
721184003	CVAG6B-CORRECTLY ZONED S	0.221 MDR			2-5 DU/AC	R-1	0	0						CVWD
723332004	CVAG6B-CORRECTLY ZONED S	0.180 MDR			2-5 DU/AC	R-1	0	0						CVWD
721211004	CVAG6B-CORRECTLY ZONED S	0.163 MDR			2-5 DU/AC	R-1	0	0						CVWD
609450059	CVAG6B-CORRECTLY ZONED S	0.253 MDR			2-5 DU/AC	R-1-8000	1	0					Zone E	CVWD
723312001	CVAG6B-CORRECTLY ZONED S	0.176 MDR			2-5 DU/AC	R-1	0	0						CVWD
608320002	CVAG6B-CORRECTLY ZONED S	0.179 MDR			2-5 DU/AC	R-1	0	0					Zone E	CVWD
723151002	CVAG6B-CORRECTLY ZONED S	0.280 MDR			2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
665132036	CVAG6B-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723121005	CVAG6B-CORRECTLY ZONED S	0.277 MDR			2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
522270030	CVAG6B-CORRECTLY ZONED S	0.157 MDR			2-5 DU/AC	R-1	0	0						CVWD
522280006	CVAG6B-CORRECTLY ZONED S	0.178 MDR			2-5 DU/AC	R-1	0	0						CVWD
609193005	CVAG6B-CORRECTLY ZONED S	0.284 MDR			2-5 DU/AC	R-1	1	0					Zone D	CVWD
607371018	CVAG6B-CORRECTLY ZONED S	0.190 MDR			2-5 DU/AC	R-1	0	0					Zone A	CVWD
608330019	CVAG6B-CORRECTLY ZONED S	0.166 MDR			2-5 DU/AC	R-1	0	0					Zone E	CVWD
657190014	CVAG6B-CORRECTLY ZONED S	9.497 MDR			2-5 DU/AC	R-T-8700	19	15		AREAS OF FLOODING SENSITIVITY				CVWD
650210001	CVAG6B-CORRECTLY ZONED S	9.676 MDR			2-5 DU/AC	R-1	19	15		AREAS OF FLOODING SENSITIVITY				CVWD
650192004	CVAG6B-CORRECTLY ZONED S	0.308 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657423010	CVAG6B-CORRECTLY ZONED S	0.253 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
661082006	CVAG6B-CORRECTLY ZONED S	0.184 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650191013	CVAG6B-CORRECTLY ZONED S	0.286 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153001	CVAG6B-CORRECTLY ZONED S	0.166 MDR			2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
668203015	CVAG6B-CORRECTLY ZONED S	0.184 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721261022	CVAG6B-CORRECTLY ZONED S	0.184 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
72124017	CVAG6B-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723303039	CVAG6B-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723324011	CVAG6B-CORRECTLY ZONED S	0.161 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721185006	CVAG6B-CORRECTLY ZONED S	0.251 MDR			2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

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72120326	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
721271039	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-3	0	0						CWWD
723054010	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-2	0	0	COUNTY 0 FAULT ZONE					CWWD
650230002	CVAG6B-CORRECTLY ZONED S	30.747	MDR		2-5 DU/AC	R-1	61	49		AREAS OF FLOODING SENSITIVITY				CWWD
522270004	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
606050021	CVAG6B-CORRECTLY ZONED S	0.250	MDR		2-5 DU/AC	R-2-8000	0	0					Zone D	CWWD
608163010	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD
665131012	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669660039	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC	R-1	0	0						CWWD
657363008	CVAG6B-CORRECTLY ZONED S	0.326	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
650222016	CVAG6B-CORRECTLY ZONED S	0.328	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
665162007	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665152019	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132030	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
721194007	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CWWD
723292044	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CWWD
721203013	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
721261017	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0						CWWD
723062018	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CWWD
721215005	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CWWD
721184011	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0						CWWD
723311004	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
721223005	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
723312012	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
721214017	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
767436013	CVAG6B-CORRECTLY ZONED S	0.068	MDR	CCO	2-5 DU/AC	R-1	0	0						CWWD
723151008	CVAG6B-CORRECTLY ZONED S	0.280	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS 0 FAULT ZONE					CWWD
522320027	CVAG6B-CORRECTLY ZONED S	0.153	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290058	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
522214019	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CWWD
522300002	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CWWD

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650252020	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251043	CVAG6B-CORRECTLY ZONED S	0.691	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
661073016	CVAG6B-CORRECTLY ZONED S	0.231	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657361001	CVAG6B-CORRECTLY ZONED S	0.353	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
657392024	CVAG6B-CORRECTLY ZONED S	0.243	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131022	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669204015	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657391003	CVAG6B-CORRECTLY ZONED S	0.346	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
669181003	CVAG6B-CORRECTLY ZONED S	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
699076015	CVAG6B-CORRECTLY ZONED S	0.027	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665152025	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163022	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
693180002	CVAG6B-CORRECTLY ZONED S	3.188	MDR		2-5 DU/AC	R-T	6	5		FLOODING SENSITIVITY				CVWD
721272032	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-3	0	0						CVWD
721194015	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2-5 DU/AC	R-1	0	0						CVWD
723101002	CVAG6B-CORRECTLY ZONED S	0.287	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS COUNTY					CVWD
723293006	CVAG6B-CORRECTLY ZONED S	0.197	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723334001	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CVWD
608031033	CVAG6B-CORRECTLY ZONED S	0.268	MDR		2-5 DU/AC		1	1					Zone E	CVWD
609234007	CVAG6B-CORRECTLY ZONED S	0.203	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
522320003	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290036	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280044	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270029	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD



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572300033	CVAG6B-CORRECTLY ZONED S	0.237	MDR		2-5 DU/AC	R-1	0	0						CVWD
572270028	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
609143004	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
657423002	CVAG6B-CORRECTLY ZONED S	0.399	MDR		2-5 DU/AC	R-1	1	1						CVWD
661061004	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
695670025	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
721194019	CVAG6B-CORRECTLY ZONED S	0.247	MDR		2-5 DU/AC	R-1	0	0						CVWD
721192008	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0						CVWD
721182012	CVAG6B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	0						CVWD
723303009	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	1	0						CVWD
723091007	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	0						CVWD
723134006	CVAG6B-CORRECTLY ZONED S	0.277	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
721214001	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
721213002	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
723303022	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
721222023	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CVWD
721212008	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
723134011	CVAG6B-CORRECTLY ZONED S	0.266	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723334018	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
721203022	CVAG6B-CORRECTLY ZONED S	0.145	MDR		2-5 DU/AC	R-1	0	0						CVWD
721202012	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
723325009	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
522270001	CVAG6B-CORRECTLY ZONED S	0.193	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290027	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290012	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310028	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330022	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
609195005	CVAG6B-CORRECTLY ZONED S	0.301	MDR		2-5 DU/AC	R-1	1	0					Zone E	CVWD
609251005	CVAG6B-CORRECTLY ZONED S	0.250	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
657332002	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657332010	CVAG6B-CORRECTLY ZONED S	0.217	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143029	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665163010	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665163014	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721241043	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CVWD
721182008	CVAG6B-CORRECTLY ZONED S	0.463	MDR		2-5 DU/AC	R-1	1	1						CVWD
661122022	CVAG6B-CORRECTLY ZONED S	0.362	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665163027	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721303016	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
721222006	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
721251027	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS FAULT ZONE					CVWD
723092008	CVAG6B-CORRECTLY ZONED S	0.307	MDR		2-5 DU/AC	R-1	1	0						CVWD
723083010	CVAG6B-CORRECTLY ZONED S	0.317	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CVWD
723084002	CVAG6B-CORRECTLY ZONED S	0.303	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723295007	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
807121015	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
723094001	CVAG6B-CORRECTLY ZONED S	0.346	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					CVWD
608330062	CVAG6B-CORRECTLY ZONED S	0.352	MDR		2-5 DU/AC	R-1	1	1					Zone E	CVWD
522280010	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300008	CVAG6B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1	0	0						CVWD
609211025	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
657411006	CVAG6B-CORRECTLY ZONED S	0.255	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151017	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657363006	CVAG6B-CORRECTLY ZONED S	0.371	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650052018	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657402010	CVAG6B-CORRECTLY ZONED S	0.338	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
657322013	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721222021	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
661094032	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
721185004	CVAG6B-CORRECTLY ZONED S	0.224	MDR		2-5 DU/AC	R-1	0	0						CVWD
721261028	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0						CVWD
723103023	CVAG6B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE COUNTY					CVWD
723295012	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723062019	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
694100025	CVAG6B-CORRECTLY ZONED S	0.152	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				CVWD
721214018	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
721191004	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0						CVWD
721204010	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
721231007	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
608320073	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
522310036	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300007	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0						CVWD
609340027	CVAG6B-CORRECTLY ZONED S	0.489	MDR		2-5 DU/AC	R-1	1	1					Zone E	CVWD
609330022	CVAG6B-CORRECTLY ZONED S	0.144	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609111003	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
657423019	CVAG6B-CORRECTLY ZONED S	0.309	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650034004	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133003	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153005	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657363009	CVAG6B-CORRECTLY ZONED S	0.325	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665162014	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650171006	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665142007	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657352013	CVAG6B-CORRECTLY ZONED S	0.309	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
665152002	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723311002	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-2	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
721224015	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
723295002	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
721271027	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE					CVWD
723103016	CVAG6B-CORRECTLY ZONED S	0.280	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS					CVWD
723301004	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD
723311013	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0						CVWD
721233006	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
72171040	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CVWD
721214020	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
607121021	CVAG6B-CORRECTLY ZONED S	0.196	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
522280013	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522212017	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0						CVWD
607294020	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
609361005	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
665131036	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650180006	CVAG6B-CORRECTLY ZONED S	29.134	MDR		2-5 DU/AC	R-1	58	47		AREAS OF FLOODING SENSITIVITY				CVWD
661061005	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650141013	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657190013	CVAG6B-CORRECTLY ZONED S	8.957	MDR		2-5 DU/AC	R-T-8700	18	14		AREAS OF FLOODING SENSITIVITY				CVWD
721223017	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723285004	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
657374009	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
721251029	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS					CVWD
723334025	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD
723325007	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723083011	CVAG6B-CORRECTLY ZONED S	0.389	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
721185007	CVAG6B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0						CWWD
767452040	CVAG6B-CORRECTLY ZONED S	0.159	MDR	CCO	2-5 DU/AC	R-1	0	0					Zone E	CWWD
723159007	CVAG6B-CORRECTLY ZONED S	0.385	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
721211009	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0						CWWD
60605020	CVAG6B-CORRECTLY ZONED S	0.416	MDR		2-5 DU/AC	R-2-8000	1	1					Zone D	CWWD
723152005	CVAG6B-CORRECTLY ZONED S	0.368	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
522310032	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290015	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
522121009	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
607312023	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657394009	CVAG6B-CORRECTLY ZONED S	0.285	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
657381008	CVAG6B-CORRECTLY ZONED S	0.270	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
665131014	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665159014	CVAG6B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657381014	CVAG6B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
669680008	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665143023	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650230019	CVAG6B-CORRECTLY ZONED S	1.382	MDR		2-5 DU/AC	R-1	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
721182009	CVAG6B-CORRECTLY ZONED S	0.235	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723311008	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723292030	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
721213014	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723103021	CVAG6B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
723332008	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
723085002	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
522320022	CVAG6B-CORRECTLY ZONED S	0.156 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290023	CVAG6B-CORRECTLY ZONED S	0.165 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522212012	CVAG6B-CORRECTLY ZONED S	0.180 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522290087	CVAG6B-CORRECTLY ZONED S	0.159 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310046	CVAG6B-CORRECTLY ZONED S	0.160 MDR	MDR		2-5 DU/AC	R-1	0	0						CVWD
609112010	CVAG6B-CORRECTLY ZONED S	0.253 MDR	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
609239006	CVAG6B-CORRECTLY ZONED S	0.302 MDR	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
657315004	CVAG6B-CORRECTLY ZONED S	0.230 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650151026	CVAG6B-CORRECTLY ZONED S	0.179 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133027	CVAG6B-CORRECTLY ZONED S	0.161 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133020	CVAG6B-CORRECTLY ZONED S	0.169 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
654150017	CVAG6B-CORRECTLY ZONED S	20.581 MDR	MDR		2-5 DU/AC	R-T	41	33						CVWD
550032019	CVAG6B-CORRECTLY ZONED S	0.157 MDR	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723332022	CVAG6B-CORRECTLY ZONED S	0.159 MDR	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
665161018	CVAG6B-CORRECTLY ZONED S	0.170 MDR	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723082005	CVAG6B-CORRECTLY ZONED S	0.314 MDR	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723094002	CVAG6B-CORRECTLY ZONED S	0.303 MDR	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE					CVWD
723091004	CVAG6B-CORRECTLY ZONED S	0.304 MDR	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE					CVWD
721212029	CVAG6B-CORRECTLY ZONED S	0.187 MDR	MDR		2-5 DU/AC	R-3	0	0						CVWD
723132008	CVAG6B-CORRECTLY ZONED S	0.331 MDR	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723171004	CVAG6B-CORRECTLY ZONED S	0.226 MDR	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723324007	CVAG6B-CORRECTLY ZONED S	0.179 MDR	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723061003	CVAG6B-CORRECTLY ZONED S	0.304 MDR	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
721251025	CVAG6B-CORRECTLY ZONED S	0.186 MDR	MDR		2-5 DU/AC	R-2	0	0	FAULT ZONE					CVWD
609040022	CVAG6B-CORRECTLY ZONED S	6.032 MDR	MDR		2-5 DU/AC	R-1-12000	12	10	SAN ANDREAS COUNTY				Zone E	CVWD
607392007	CVAG6B-CORRECTLY ZONED S	0.256 MDR	MDR		2-5 DU/AC	R-1	1	0					Zone B2	CVWD
609062020	CVAG6B-CORRECTLY ZONED S	1.169 MDR	MDR		2-5 DU/AC	R-1-12000	2	2					Zone E	CVWD



Housing Element Appendix A - Housing Inventory List

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522280051	CVAG66B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0						CVWD
522820091	CVAG66B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310027	CVAG66B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310008	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
607294023	CVAG66B-CORRECTLY ZONED S	0.209	MDR		2-5 DU/AC	R-1-9000	0	0					Zone B2	CVWD
607341022	CVAG66B-CORRECTLY ZONED S	0.231	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
609091007	CVAG66B-CORRECTLY ZONED S	0.244	MDR		2-5 DU/AC	R-1	0	0					Zone D	CVWD
609400045	CVAG66B-CORRECTLY ZONED S	1.728	MDR		2-5 DU/AC	R-2-7000	3	3					Zone E	CVWD
607411011	CVAG66B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0					Zone B2	CVWD
650281017	CVAG66B-CORRECTLY ZONED S	0.255	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657394003	CVAG66B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665141005	CVAG66B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650282006	CVAG66B-CORRECTLY ZONED S	1.990	MDR		2-5 DU/AC	R-1	4	3		AREAS OF FLOODING SENSITIVITY				CVWD
650141038	CVAG66B-CORRECTLY ZONED S	0.200	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657315003	CVAG66B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650072032	CVAG66B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650151030	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657396001	CVAG66B-CORRECTLY ZONED S	0.378	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
661111018	CVAG66B-CORRECTLY ZONED S	0.194	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650222015	CVAG66B-CORRECTLY ZONED S	0.288	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670008	CVAG66B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669173001	CVAG66B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721234003	CVAG66B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723112002	CVAG66B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
721222014	CVAG66B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721214017	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694110034	CVAG66B-CORRECTLY ZONED S	0.538	MDR		2-5 DU/AC	R-T	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657352010	CVAG6B-CORRECTLY ZONED S	0.380	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
729093005	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-2A	0	0						CVWD
522300032	CVAG6B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300033	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
609290001	CVAG6B-CORRECTLY ZONED S	0.482	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
650180004	CVAG6B-CORRECTLY ZONED S	4.849	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				CVWD
609251015	CVAG6B-CORRECTLY ZONED S	0.366	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650043023	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192016	CVAG6B-CORRECTLY ZONED S	0.304	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657311014	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650251042	CVAG6B-CORRECTLY ZONED S	0.205	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132015	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665143007	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132028	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661111007	CVAG6B-CORRECTLY ZONED S	0.141	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
729082004	CVAG6B-CORRECTLY ZONED S	0.306	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY					CVWD
723315003	CVAG6B-CORRECTLY ZONED S	0.179	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723071009	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721222005	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
729091009	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2-5 DU/AC	R-1	1	0						CVWD
723322016	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723310118	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD
723312011	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723194007	CVAG6B-CORRECTLY ZONED S	0.281	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS COUNTY	AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
608320072	CVAG6B-CORRECTLY ZONED S	0.213	MDR		2-5 DU/AC			0					Zone E	CWWD
522221021	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1		0						CWWD
522270025	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1		0						CWWD
607291017	CVAG6B-CORRECTLY ZONED S	0.232	MDR		2-5 DU/AC	R-1-9000		0					Zone B2	CWWD
609362001	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1		0					Zone E	CWWD
609570054	CVAG6B-CORRECTLY ZONED S	0.334	MDR		2-5 DU/AC	R-1		1					Zone D	CWWD
608330047	CVAG6B-CORRECTLY ZONED S	0.145	MDR		2-5 DU/AC			0					Zone E	CWWD
608031036	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC			0					Zone E	CWWD
651140039	CVAG6B-CORRECTLY ZONED S	5.446	MDR		2-5 DU/AC	R-1	11	9		AREAS OF FLOODING SENSITIVITY				CWWD
657372004	CVAG6B-CORRECTLY ZONED S	0.249	MDR		2-5 DU/AC	R-1		0		AREAS OF FLOODING SENSITIVITY				CWWD
650033027	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1		0		FLOODING SENSITIVITY				CWWD
669560029	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1		0		FLOODING SENSITIVITY				CWWD
665142010	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
650671020	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1		0		AREAS OF FLOODING SENSITIVITY				CWWD
650180003	CVAG6B-CORRECTLY ZONED S	3.000	MDR		2-5 DU/AC	R-1	6	5		FLOODING SENSITIVITY				CWWD
665133008	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
665142037	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
657313013	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2-5 DU/AC	R-1		0		AREAS OF FLOODING SENSITIVITY				CWWD
661181014	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1		0	SAN ANDREAS FAULT ZONE					CWWD
723311016	CVAG6B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-1		0						CWWD
721242019	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2-5 DU/AC	R-1		0						CWWD
723325001	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1		0	COUNTY FAULT ZONE					CWWD
723313001	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1		0	COUNTY FAULT ZONE					CWWD
723113009	CVAG6B-CORRECTLY ZONED S	0.314	MDR		2-5 DU/AC	R-1	1	1						CWWD
723334021	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1		0						CWWD
723323023	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1		0	COUNTY FAULT ZONE					CWWD
721204016	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1		0						CWWD
721235014	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1		0						CWWD

Housing Element Appendix A - Housing Inventory List

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723292013	CVAG68-CORRECTLY ZONED S	0.168 MDR			2-5 DU/AC	R-1	0	0	0	FAULT ZONE				CVWD
721203016	CVAG68-CORRECTLY ZONED S	0.164 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
723334007	CVAG68-CORRECTLY ZONED S	0.164 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
723152004	CVAG68-CORRECTLY ZONED S	0.300 MDR			2-5 DU/AC	R-1	1	0	SAN ANDREAS					CVWD
721221010	CVAG68-CORRECTLY ZONED S	0.167 MDR			2-5 DU/AC	R-1	0	0	0	FAULT ZONE				CVWD
522280031	CVAG68-CORRECTLY ZONED S	0.161 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
522300027	CVAG68-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC	R-1	0	0	0					CVWD
606050024	CVAG68-CORRECTLY ZONED S	0.230 MDR			2-5 DU/AC	R-2-8000	0	0	0				Zone D	CVWD
655132002	CVAG68-CORRECTLY ZONED S	0.182 MDR			2-5 DU/AC		0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
657313018	CVAG68-CORRECTLY ZONED S	0.221 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
657352005	CVAG68-CORRECTLY ZONED S	0.234 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
650032028	CVAG68-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
665153006	CVAG68-CORRECTLY ZONED S	0.162 MDR			2-5 DU/AC		0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
657333016	CVAG68-CORRECTLY ZONED S	0.220 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
669197010	CVAG68-CORRECTLY ZONED S	0.171 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
693160002	CVAG68-CORRECTLY ZONED S	39.720 MDR			2-5 DU/AC	R-1	79	64	0	AREAS OF FLOODING SENSITIVITY				CVWD
665164004	CVAG68-CORRECTLY ZONED S	0.187 MDR			2-5 DU/AC		0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
721241029	CVAG68-CORRECTLY ZONED S	0.177 MDR			2-5 DU/AC	R-1	0	0	SAN ANDREAS					CVWD
723153010	CVAG68-CORRECTLY ZONED S	0.387 MDR			2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
723093008	CVAG68-CORRECTLY ZONED S	0.314 MDR			2-5 DU/AC	R-1	1	1	0	AREAS OF FLOODING SENSITIVITY				CVWD
723331004	CVAG68-CORRECTLY ZONED S	0.166 MDR			2-5 DU/AC	R-1	0	0	SAN ANDREAS					CVWD
723323020	CVAG68-CORRECTLY ZONED S	0.165 MDR			2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CVWD
721251028	CVAG68-CORRECTLY ZONED S	0.183 MDR			2-5 DU/AC	R-2	0	0	SAN ANDREAS					CVWD

Housing Element Appendix A - Housing Inventory List

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723297032	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
650262004	CVAG6B-CORRECTLY ZONED S	0.201	MDR		2-5 DU/AC	R-2-6000	0	0	0					CWWD
727153019	CVAG6B-CORRECTLY ZONED S	0.129	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522224019	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522270002	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522280055	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522280027	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522290031	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
522310026	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0	0					CWWD
608330065	CVAG6B-CORRECTLY ZONED S	0.022	MDR		2-5 DU/AC	R-1	0	0	0				Zone E	CWWD
650071007	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
651140041	CVAG6B-CORRECTLY ZONED S	9.817	MDR		2-5 DU/AC	R-1	20	16	0	AREAS OF FLOODING SENSITIVITY				CWWD
650152024	CVAG6B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
650201003	CVAG6B-CORRECTLY ZONED S	0.222	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
650171020	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
657982013	CVAG6B-CORRECTLY ZONED S	0.253	MDR		2-5 DU/AC	R-1	1	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
657923016	CVAG6B-CORRECTLY ZONED S	0.220	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
665143024	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
665143005	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
665165013	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
723073015	CVAG6B-CORRECTLY ZONED S	0.192	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
723030034	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
72121020	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD
693112040	CVAG6B-CORRECTLY ZONED S	0.093	MDR		2-5 DU/AC	R-T	0	0	0	AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

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72308001	CVAG6B-CORRECTLY ZONED S	0.319	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
723091008	CVAG6B-CORRECTLY ZONED S	0.308	MDR		2-5 DU/AC	R-1	1	0	COUNTY					CVWD
723334017	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CVWD
723303003	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
693134019	CVAG6B-CORRECTLY ZONED S	0.122	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721113012	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
723122001	CVAG6B-CORRECTLY ZONED S	0.399	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
723301006	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232009	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320016	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310025	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
522390070	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0						CVWD
522310029	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
609243007	CVAG6B-CORRECTLY ZONED S	0.366	MDR		2-5 DU/AC	R-1	1	1					Zone D	CVWD
650033015	CVAG6B-CORRECTLY ZONED S	0.145	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661172010	CVAG6B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0						CVWD
650262011	CVAG6B-CORRECTLY ZONED S	0.199	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665161002	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665164007	CVAG6B-CORRECTLY ZONED S	0.182	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650044025	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657411003	CVAG6B-CORRECTLY ZONED S	0.258	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657403008	CVAG6B-CORRECTLY ZONED S	0.461	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665151018	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669660036	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131004	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657333017	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665161010	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657323023	CVAG6B-CORRECTLY ZONED S	0.230	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669181011	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
669205009	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657351010	CVAG6B-CORRECTLY ZONED S	0.310	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
723325004	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CWWD
72124013	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CWWD
723101001	CVAG6B-CORRECTLY ZONED S	0.338	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS FAULT ZONE					CWWD
721261035	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0						CWWD
723324010	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
723294007	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CWWD
721192011	CVAG6B-CORRECTLY ZONED S	0.297	MDR		2-5 DU/AC	R-1	1	0						CWWD
723311024	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
721233003	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CWWD
723317003	CVAG6B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0						CWWD
723315013	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
609441067	CVAG6B-CORRECTLY ZONED S	4.979	MDR		2-5 DU/AC	R-1-10000	10	8					Zone E	CWWD
727171037	CVAG6B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CWWD
609061007	CVAG6B-CORRECTLY ZONED S	4.754	MDR		2-5 DU/AC	R-1-12000	10	8					Zone E	CWWD
661051027	CVAG6B-CORRECTLY ZONED S	0.066	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CWWD
522310005	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0						CWWD
522290068	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CWWD
522270015	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280019	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0						CWWD
522224022	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0						CWWD
522280049	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CWWD
609141003	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0					Zone E	CWWD
607371012	CVAG6B-CORRECTLY ZONED S	0.194	MDR		2-5 DU/AC	R-1	0	0					Zone A	CWWD
609244006	CVAG6B-CORRECTLY ZONED S	0.242	MDR		2-5 DU/AC	R-1	0	0					Zone D	CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
609113009	CVAG6B-CORRECTLY ZONED S	0.261	MDR		2-5 DU/AC	R-1	1	0					Zone D	CWWD
609103019	CVAG6B-CORRECTLY ZONED S	0.294	MDR		2-5 DU/AC	R-1	1	0					Zone D	CWWD
665141004	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CWWD
650222013	CVAG6B-CORRECTLY ZONED S	0.295	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
657333020	CVAG6B-CORRECTLY ZONED S	0.208	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657402005	CVAG6B-CORRECTLY ZONED S	0.228	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665132003	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669660038	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657311012	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
657423016	CVAG6B-CORRECTLY ZONED S	0.273	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
665162008	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
665153026	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
669203001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
661192026	CVAG6B-CORRECTLY ZONED S	0.283	MDR		2-5 DU/AC	R-1	1	0	COUNTY					CWWD
723074008	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
665153025	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650191002	CVAG6B-CORRECTLY ZONED S	0.267	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CWWD
723113005	CVAG6B-CORRECTLY ZONED S	0.308	MDR		2-5 DU/AC	R-1	1	0	COUNTY					CWWD
723315002	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
723325006	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CWWD
721223020	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					CWWD
721185004	CVAG6B-CORRECTLY ZONED S	0.246	MDR		2-5 DU/AC	R-1	0	0						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723103018	CVAG6B-CORRECTLY ZONED S	0.273	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723333005	CVAG6B-CORRECTLY ZONED S	0.205	MDR		2-5 DU/AC	R-1	0	0						CVWD
721271037	CVAG6B-CORRECTLY ZONED S	0.187	MDR		2-5 DU/AC	R-3	0	0						CVWD
721213007	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
723315015	CVAG6B-CORRECTLY ZONED S	0.202	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650282013	CVAG6B-CORRECTLY ZONED S	0.645	MDR		2-5 DU/AC	R-1	1	1						CVWD
654150010	CVAG6B-CORRECTLY ZONED S	1.994	MDR		2-5 DU/AC	R-1	4	3						CVWD
522310035	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320004	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
607294005	CVAG6B-CORRECTLY ZONED S	0.304	MDR		2-5 DU/AC	R-2-8000	1	0						CVWD
608320083	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
661182011	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
657334002	CVAG6B-CORRECTLY ZONED S	0.219	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650033011	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670022	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657313014	CVAG6B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670023	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665131010	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669204017	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665153009	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657401013	CVAG6B-CORRECTLY ZONED S	0.420	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
665142024	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669202005	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-2A	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670007	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665132032	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723304008	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
683054029	CVAG66B-CORRECTLY ZONED S	0.015	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721241035	CVAG66B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE					CVWD
723311023	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723064009	CVAG66B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721231008	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD
721261013	CVAG66B-CORRECTLY ZONED S	0.183	MDR		2-5 DU/AC	R-1	0	0						CVWD
723123005	CVAG66B-CORRECTLY ZONED S	0.278	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
723331015	CVAG66B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
723074001	CVAG66B-CORRECTLY ZONED S	0.188	MDR		2-5 DU/AC	R-2	0	0	COUNTY FAULT ZONE					CVWD
723114007	CVAG66B-CORRECTLY ZONED S	0.314	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					CVWD
723041002	CVAG66B-CORRECTLY ZONED S	0.339	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
52224017	CVAG66B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
522212007	CVAG66B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0						CVWD
657371006	CVAG66B-CORRECTLY ZONED S	0.251	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
665162004	CVAG66B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC			0		AREAS OF FLOODING SENSITIVITY				CVWD
650252014	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650262018	CVAG66B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-2-6000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669670027	CVAG66B-CORRECTLY ZONED S	0.156	MDR		2-5 DU/AC	R-1	0	0						CVWD
721194011	CVAG66B-CORRECTLY ZONED S	0.227	MDR		2-5 DU/AC	R-1	0	0						CVWD
723072021	CVAG66B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-1	0	0						CVWD
721204021	CVAG66B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
721194003	CVAG66B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					CVWD
723293008	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
721235012	CVAG66B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
721232003	CVAG66B-CORRECTLY ZONED S	0.189	MDR		2-5 DU/AC	R-1	0	0						CVWD
721234005	CVAG66B-CORRECTLY ZONED S	0.158	MDR		2-5 DU/AC	R-1	0	0						CVWD
721242017	CVAG66B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
723303038	CVAG66B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
721224021	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723931005	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2.5 DU/JAC	R-1	0	0	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
727152045	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2.5 DU/JAC	R-1	0	0						CVWD
609273001	CVAG6B-CORRECTLY ZONED S	0.264	MDR		2.5 DU/JAC	R-1	1	0					Zone D	CVWD
650171028	CVAG6B-CORRECTLY ZONED S	0.338	MDR		2.5 DU/JAC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650051014	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2.5 DU/JAC	R-1	0	0						CVWD
723133007	CVAG6B-CORRECTLY ZONED S	0.401	MDR		2.5 DU/JAC	R-1	1	1						CVWD
607300014	CVAG6B-CORRECTLY ZONED S	8.256	MDR		2.5 DU/JAC	R-1	17	13					Zone A	CVWD
522211003	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2.5 DU/JAC	R-1	0	0						CVWD
522280058	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2.5 DU/JAC	R-1	0	0						CVWD
607300005	CVAG6B-CORRECTLY ZONED S	1.712	MDR		2.5 DU/JAC	R-1	3	3		AREAS OF FLOODING SENSITIVITY			Zone B2	CVWD
657381011	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2.5 DU/JAC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
650044022	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669660037	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661111004	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665161005	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669181004	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650043019	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657394006	CVAG6B-CORRECTLY ZONED S	0.394	MDR		2.5 DU/JAC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
650191024	CVAG6B-CORRECTLY ZONED S	0.288	MDR		2.5 DU/JAC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657381013	CVAG6B-CORRECTLY ZONED S	0.268	MDR		2.5 DU/JAC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
657383002	CVAG6B-CORRECTLY ZONED S	0.240	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669183006	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669174005	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2.5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723092003	CVAG6B-CORRECTLY ZONED S	0.311	MDR		2.5 DU/JAC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723101003	CVAG6B-CORRECTLY ZONED S	0.272	MDR		2.5 DU/JAC	R-1	1	0	SAN ANDREAS FAULT ZONE					CVWD
721233007	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/JAC	R-1	0	0						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723295003	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CVWD
723295038	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CVWD
723109008	CVAG6B-CORRECTLY ZONED S	0.281	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS 0 FAULT ZONE					CVWD
723334034	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					CVWD
721242011	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
723309020	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
721203008	CVAG6B-CORRECTLY ZONED S	0.165	MDR		2-5 DU/AC	R-1	0	0						CVWD
721242002	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS 0 FAULT ZONE					CVWD
721235019	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0						CVWD
723295008	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
693101012	CVAG6B-CORRECTLY ZONED S	0.139	MDR		2-5 DU/AC	R-T	0	0						CVWD
721211006	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
723104013	CVAG6B-CORRECTLY ZONED S	0.290	MDR		2-5 DU/AC	R-1	1	0	SAN ANDREAS 0 FAULT ZONE					CVWD
657372001	CVAG6B-CORRECTLY ZONED S	0.268	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
522290047	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300020	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2-5 DU/AC	R-1	0	0						CVWD
522320012	CVAG6B-CORRECTLY ZONED S	0.157	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280036	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
606050023	CVAG6B-CORRECTLY ZONED S	0.238	MDR		2-5 DU/AC	R-2-8000	0	0					Zone D	CVWD
608320005	CVAG6B-CORRECTLY ZONED S	0.181	MDR		2-5 DU/AC	R-2-8000	0	0					Zone E	CVWD
609314011	CVAG6B-CORRECTLY ZONED S	0.021	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
650032015	CVAG6B-CORRECTLY ZONED S	0.151	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657314007	CVAG6B-CORRECTLY ZONED S	0.223	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669570018	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
665143036	CVAG6B-CORRECTLY ZONED S	0.161	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650034015	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650202028	CVAG6B-CORRECTLY ZONED S	0.229	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665164010	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721223022	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723064014	CVAG6B-CORRECTLY ZONED S	0.185	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723311017	CVAG6B-CORRECTLY ZONED S	0.205	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
661072009	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
721204005	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723113011	CVAG6B-CORRECTLY ZONED S	0.315	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
721242004	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2.5 DU/AC	R-1	0	0	SAN ANDREAS COUNTY FAULT ZONE					CVWD
723317001	CVAG6B-CORRECTLY ZONED S	0.216	MDR		2.5 DU/AC	R-1	0	0						CVWD
723312016	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC	R-1	0	0						CVWD
723312013	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC	R-1	0	0						CVWD
723041016	CVAG6B-CORRECTLY ZONED S	0.195	MDR		2.5 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522270020	CVAG6B-CORRECTLY ZONED S	0.188	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522211007	CVAG6B-CORRECTLY ZONED S	0.159	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522280002	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
522200023	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
607182002	CVAG6B-CORRECTLY ZONED S	0.258	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
650072035	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665133035	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657383012	CVAG6B-CORRECTLY ZONED S	0.231	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650261018	CVAG6B-CORRECTLY ZONED S	0.172	MDR		2.5 DU/AC	R-2-5000	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665151002	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2.5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657413009	CVAG6B-CORRECTLY ZONED S	0.248	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
650192024	CVAG6B-CORRECTLY ZONED S	0.312	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
650142032	CVAG6B-CORRECTLY ZONED S	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
665161017	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY				CVWD
723091011	CVAG6B-CORRECTLY ZONED S	0.285	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
650072014	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
665152005	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC		0	0		FLOODING SENSITIVITY				CVWD
72315008	CVAG6B-CORRECTLY ZONED S	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
711212005	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-1	0	0	0	FAULT ZONE				CVWD
723312015	CVAG6B-CORRECTLY ZONED S	0.206	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
723153009	CVAG6B-CORRECTLY ZONED S	0.382	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS					CVWD
721222012	CVAG6B-CORRECTLY ZONED S	0.226	MDR		2-5 DU/AC	R-1	0	0	1	FAULT ZONE				CVWD
723304009	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0	0					CVWD
723071020	CVAG6B-CORRECTLY ZONED S	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
654230034	CVAG6B-CORRECTLY ZONED S	0.257	MDR		2-5 DU/AC	R-2-8000	1	0		FLOODING SENSITIVITY AREAS OF				CVWD
723085001	CVAG6B-CORRECTLY ZONED S	0.248	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS	FLOODING SENSITIVITY				CVWD
522290037	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	0	FAULT ZONE				CVWD
522224006	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
522224016	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0						CVWD
522300018	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-1	0	0						CVWD
608330023	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0					Zone E	CVWD
609213006	CVAG6B-CORRECTLY ZONED S	0.252	MDR		2-5 DU/AC	R-1	1	0					Zone D	CVWD
665142035	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC		0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669660028	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CVWD
650192021	CVAG6B-CORRECTLY ZONED S	0.338	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
650191007	CVAG6B-CORRECTLY ZONED S	0.265	MDR		2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY				CVWD
661082007	CVAG6B-CORRECTLY ZONED S	0.221	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723172010	CVAG6B-CORRECTLY ZONED S	0.286	MDR		2-5 DU/AC	R-1	1	1	SAN ANDREAS	0				CVWD

Housing Element Appendix A – Housing Inventory List

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721201001	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0						CVWD
723132002	CVAG6B-CORRECTLY ZONED S	0.321	MDR		2-5 DU/AC	R-1	1	1						CVWD
723340007	CVAG6B-CORRECTLY ZONED S	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
669670001	CVAG6B-CORRECTLY ZONED S	0.236	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD
727112019	CVAG6B-CORRECTLY ZONED S	9.723	MDR		2-5 DU/AC	R-1	19	16						CVWD
721324019	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0						CVWD
522270008	CVAG6B-CORRECTLY ZONED S	0.166	MDR		2-5 DU/AC	R-1	0	0						CVWD
522280054	CVAG6B-CORRECTLY ZONED S	0.163	MDR		2-5 DU/AC	R-1	0	0						CVWD
657322022	CVAG6B-CORRECTLY ZONED S	0.218	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
665149013	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669187005	CVAG6B-CORRECTLY ZONED S	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
669172006	CVAG6B-CORRECTLY ZONED S	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
657391007	CVAG6B-CORRECTLY ZONED S	0.305	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
721223015	CVAG6B-CORRECTLY ZONED S	0.164	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723304012	CVAG6B-CORRECTLY ZONED S	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY					CVWD
665131006	CVAG6B-CORRECTLY ZONED S	0.173	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
669205006	CVAG6B-CORRECTLY ZONED S	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		CVWD
657413008	CVAG6B-CORRECTLY ZONED S	0.261	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
723062013	CVAG6B-CORRECTLY ZONED S	0.190	MDR		2-5 DU/AC	R-1	0	0	SAN ANDREAS	FLOODING SENSITIVITY				CVWD
723033004	CVAG6B-CORRECTLY ZONED S	0.184	MDR		2-5 DU/AC	R-2A	0	0	0 FAULT ZONE					CVWD
721194006	CVAG6B-CORRECTLY ZONED S	0.225	MDR		2-5 DU/AC	R-1	0	0						CVWD
693273011	CVAG6B-CORRECTLY ZONED S	0.116	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
694110068	CVAG6B-CORRECTLY ZONED S	0.150	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
723061011	CVAG6B-CORRECTLY ZONED S	0.191	MDR		2-5 DU/AC	R-2	0	0	SAN ANDREAS	FLOODING SENSITIVITY				CVWD
721214005	CVAG6B-CORRECTLY ZONED S	0.167	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
727391001	CVAG6B-CORRECTLY ZONED S	0.174	MDR		2-5 DU/AC	R-1	0	0						CWWD
727391002	CVAG6B-CORRECTLY ZONED S	0.126	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391003	CVAG6B-CORRECTLY ZONED S	0.137	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391004	CVAG6B-CORRECTLY ZONED S	0.123	MDR		2-5 DU/AC	R-5	0	0						CWWD
727391005	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391006	CVAG6B-CORRECTLY ZONED S	0.135	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391007	CVAG6B-CORRECTLY ZONED S	0.127	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391008	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391009	CVAG6B-CORRECTLY ZONED S	0.103	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391010	CVAG6B-CORRECTLY ZONED S	0.410	MDR		2-5 DU/AC	R-1	1	1					Zone D	CWWD
727391011	CVAG6B-CORRECTLY ZONED S	0.137	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391012	CVAG6B-CORRECTLY ZONED S	0.118	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391013	CVAG6B-CORRECTLY ZONED S	0.168	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391014	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391015	CVAG6B-CORRECTLY ZONED S	0.252	MDR		2-5 DU/AC	R-6	1	0						CWWD
727391016	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391017	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391018	CVAG6B-CORRECTLY ZONED S	0.153	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391019	CVAG6B-CORRECTLY ZONED S	0.126	MDR		2-5 DU/AC	R-6	0	0						CWWD
648150033	CVAG6B-CORRECTLY ZONED S	39.898	MDR		2-5 DU/AC	R-A	80	64		AREAS OF FLOODING SENSITIVITY		Thousand Palms Conservation Area		CWWD
72721042	CVAG6B-CORRECTLY ZONED S	0.114	MDR		2-5 DU/AC	R-3	0	0						CWWD
727391029	CVAG6B-CORRECTLY ZONED S	0.121	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391025	CVAG6B-CORRECTLY ZONED S	0.132	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391012	CVAG6B-CORRECTLY ZONED S	0.116	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391001	CVAG6B-CORRECTLY ZONED S	0.148	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391014	CVAG6B-CORRECTLY ZONED S	0.116	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391020	CVAG6B-CORRECTLY ZONED S	0.112	MDR		2-5 DU/AC	R-6	0	0						CWWD
727392004	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0		AREAS OF FLOODING SENSITIVITY				CWWD
650300018	CVAG6B-CORRECTLY ZONED S	29.434	MDR		2-5 DU/AC	R-1	59	47						CWWD
727391027	CVAG6B-CORRECTLY ZONED S	0.122	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391019	CVAG6B-CORRECTLY ZONED S	0.115	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391024	CVAG6B-CORRECTLY ZONED S	0.129	MDR		2-5 DU/AC	R-6	0	0						CWWD
727392007	CVAG6B-CORRECTLY ZONED S	0.119	MDR		2-5 DU/AC	R-6	0	0						CWWD
757070053	CVAG6B-CORRECTLY ZONED S	0.162	MDR		2-5 DU/AC	R-A-20	0	0					Zone D	CWWD
727392003	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727392001	CVAG6B-CORRECTLY ZONED S	0.127	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391013	CVAG6B-CORRECTLY ZONED S	0.116	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391028	CVAG6B-CORRECTLY ZONED S	0.118	MDR		2-5 DU/AC	R-6	0	0						CWWD
69061022	CVAG6B-CORRECTLY ZONED S	2.759	MDR		2-5 DU/AC	R-1-12000	6	4					Zone E	CWWD
60799013	CVAG6B-CORRECTLY ZONED S	0.319	MDR		2-5 DU/AC	R-1	1	1					Zone A	CWWD
727391017	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391011	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391008	CVAG6B-CORRECTLY ZONED S	0.236	MDR		2-5 DU/AC	R-6	0	0						CWWD
727371020	CVAG6B-CORRECTLY ZONED S	0.139	MDR		2-5 DU/AC	R-6	0	0						CWWD
727391016	CVAG6B-CORRECTLY ZONED S	0.132	MDR		2-5 DU/AC	R-6	0	0						CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
727391004	CVAG6B-CORRECTLY ZONED S	0.127	MDR		2.5 DU/AC	R-6	0	0						CVWD
727391018	CVAG6B-CORRECTLY ZONED S	0.113	MDR		2.5 DU/AC	R-6	0	0						CVWD
727392002	CVAG6B-CORRECTLY ZONED S	0.117	MDR		2.5 DU/AC	R-6	0	0						CVWD
727392006	CVAG6B-CORRECTLY ZONED S	0.119	MDR		2.5 DU/AC	R-6	0	0						CVWD
727391009	CVAG6B-CORRECTLY ZONED S	0.140	MDR		2.5 DU/AC	R-6	0	0						CVWD
727371021	CVAG6B-CORRECTLY ZONED S	0.139	MDR		2.5 DU/AC	R-6	0	0						CVWD
727201051	CVAG6B-CORRECTLY ZONED S	0.160	MDR		2.5 DU/AC	R-1	0	0						CVWD
727392012	CVAG6B-CORRECTLY ZONED S	0.126	MDR		2.5 DU/AC	R-6	0	0						CVWD
727391022	CVAG6B-CORRECTLY ZONED S	0.131	MDR		2.5 DU/AC	R-6	0	0						CVWD
528065008	OTHER6B-CORRECTLY ZONED	0.183	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528043003	OTHER6B-CORRECTLY ZONED	0.191	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526142012	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093005	OTHER6B-CORRECTLY ZONED	0.184	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528062007	OTHER6B-CORRECTLY ZONED	0.106	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
519291015	OTHER6B-CORRECTLY ZONED	0.144	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519293006	OTHER6B-CORRECTLY ZONED	0.152	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292007	OTHER6B-CORRECTLY ZONED	0.154	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526121012	OTHER6B-CORRECTLY ZONED	0.238	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528084011	OTHER6B-CORRECTLY ZONED	0.180	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528161001	OTHER6B-CORRECTLY ZONED	0.222	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872243010	OTHER6B-CORRECTLY ZONED	0.206	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528091034	OTHER6B-CORRECTLY ZONED	0.150	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528082016	OTHER6B-CORRECTLY ZONED	0.180	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528072014	OTHER6B-CORRECTLY ZONED	0.182	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528093017	OTHER6B-CORRECTLY ZONED	0.181	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528043015	OTHER6B-CORRECTLY ZONED	0.198	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
526191038	OTHER6B-CORRECTLY ZONED	0.175	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526141009	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528092025	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528089014	OTHER6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092023	OTHER6B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872904014	OTHER6B-CORRECTLY ZONED	0.155	MDR		2-5 DU/AC	R-1	0	0						PVID
519291001	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528052005	OTHER6B-CORRECTLY ZONED	0.106	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091011	OTHER6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528091032	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526141012	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526121004	OTHER6B-CORRECTLY ZONED	0.158	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528091023	OTHER6B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143013	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528091030	OTHER6B-CORRECTLY ZONED	0.220	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143001	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526143012	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526143024	OTHER6B-CORRECTLY ZONED	0.606	MDR	CCO	2-5 DU/AC	R-1	1	1						SGPWA
519299010	OTHER6B-CORRECTLY ZONED	0.157	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
526201077	OTHER6B-CORRECTLY ZONED	0.178	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528043001	OTHER6B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872291022	OTHER6B-CORRECTLY ZONED	0.143	MDR		2-5 DU/AC	R-1	0	0						PVID
528083008	OTHER6B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092012	OTHER6B-CORRECTLY ZONED	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
526142029	OTHER68-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092016	OTHER68-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201031	OTHER68-CORRECTLY ZONED	0.185	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528043008	OTHER68-CORRECTLY ZONED	0.221	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872292014	OTHER68-CORRECTLY ZONED	0.600	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				PVID
528093004	OTHER68-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872273026	OTHER68-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
526191026	OTHER68-CORRECTLY ZONED	0.174	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092004	OTHER68-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092036	OTHER68-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092031	OTHER68-CORRECTLY ZONED	0.213	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872273024	OTHER68-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
526191024	OTHER68-CORRECTLY ZONED	0.169	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092015	OTHER68-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292004	OTHER68-CORRECTLY ZONED	0.153	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291018	OTHER68-CORRECTLY ZONED	0.144	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528083012	OTHER68-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528062008	OTHER68-CORRECTLY ZONED	0.107	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
872293031	OTHER68-CORRECTLY ZONED	0.155	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528082020	OTHER68-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143006	OTHER68-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872273023	OTHER68-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
526193016	OTHER68-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526191006	OTHER68-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092035	OTHER68-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528083016	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292016	OTHER6B-CORRECTLY ZONED	0.149	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526202032	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528043014	OTHER6B-CORRECTLY ZONED	0.193	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519292009	OTHER6B-CORRECTLY ZONED	0.159	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526131004	OTHER6B-CORRECTLY ZONED	4.807	MDR	CCO	2-5 DU/AC	R-6	10	8						SGPWA
872291024	OTHER6B-CORRECTLY ZONED	0.144	MDR		2-5 DU/AC	R-1	0	0						PVID
526101005	OTHER6B-CORRECTLY ZONED	0.244	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528072023	OTHER6B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526191028	OTHER6B-CORRECTLY ZONED	0.175	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528072021	OTHER6B-CORRECTLY ZONED	0.190	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528043028	OTHER6B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0						SGPWA
519291009	OTHER6B-CORRECTLY ZONED	0.155	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
872273039	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0						PVID
526142014	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
519292014	OTHER6B-CORRECTLY ZONED	0.149	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526141005	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528054010	OTHER6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528043011	OTHER6B-CORRECTLY ZONED	0.200	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526142011	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528065012	OTHER6B-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201004	OTHER6B-CORRECTLY ZONED	0.160	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
519292010	OTHER6B-CORRECTLY ZONED	0.164	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528162033	OTHER6B-CORRECTLY ZONED	0.669	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
528084010	OTHER6B-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0						SGPWA
528091018	OTHER6B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519292020	OTHER6B-CORRECTLY ZONED	0.154	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
872304010	OTHER6B-CORRECTLY ZONED	1.110	MDR		2-5 DU/AC	R-1	2	2						PVID
519292005	OTHER6B-CORRECTLY ZONED	0.155	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA

Housing Element Appendix A - Housing Inventory List

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528064021	OTHER6B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528092011	OTHER6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201030	OTHER6B-CORRECTLY ZONED	0.179	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528054011	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528062010	OTHER6B-CORRECTLY ZONED	0.105	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528091035	OTHER6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528043002	OTHER6B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528053006	OTHER6B-CORRECTLY ZONED	0.105	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526191012	OTHER6B-CORRECTLY ZONED	0.180	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201028	OTHER6B-CORRECTLY ZONED	0.172	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526122018	OTHER6B-CORRECTLY ZONED	0.161	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143010	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526193019	OTHER6B-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526202013	OTHER6B-CORRECTLY ZONED	0.168	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093007	OTHER6B-CORRECTLY ZONED	0.215	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528072002	OTHER6B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292001	OTHER6B-CORRECTLY ZONED	0.159	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526101022	OTHER6B-CORRECTLY ZONED	0.277	MDR	CCO	2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093011	OTHER6B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093010	OTHER6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872242019	OTHER6B-CORRECTLY ZONED	0.154	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528091021	OTHER6B-CORRECTLY ZONED	0.193	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143014	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528061003	OTHER6B-CORRECTLY ZONED	0.104	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528092029	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528051005	OTHER6B-CORRECTLY ZONED	0.102	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291017	OTHER6B-CORRECTLY ZONED	0.147	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526141015	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201017	OTHER6B-CORRECTLY ZONED	0.157	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093014	OTHER6B-CORRECTLY ZONED	0.181	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872291015	OTHER6B-CORRECTLY ZONED	0.145	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
519291012	OTHER6B-CORRECTLY ZONED	0.148	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526191016	OTHER6B-CORRECTLY ZONED	0.170	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872244005	OTHER6B-CORRECTLY ZONED	0.822	MDR	CCO	2-5 DU/AC	R-1	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
519293093	OTHER6B-CORRECTLY ZONED	0.148	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292012	OTHER6B-CORRECTLY ZONED	0.152	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526141007	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528064002	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
526142015	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092028	OTHER6B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091029	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528061011	OTHER6B-CORRECTLY ZONED	0.111	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528093006	OTHER6B-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872273038	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092013	OTHER6B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528093015	OTHER6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528063007	OTHER6B-CORRECTLY ZONED	0.106	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
87292025	OTHER6B-CORRECTLY ZONED	0.173	MDR		2-5 DU/JAC	R-1	0	0						PVID
87292026	OTHER6B-CORRECTLY ZONED	0.144	MDR		2-5 DU/JAC	R-1	0	0						PVID
519291002	OTHER6B-CORRECTLY ZONED	0.156	MDR	CCO	2-5 DU/JAC	R-1	0	0				Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528065009	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526192016	OTHER6B-CORRECTLY ZONED	0.170	MDR	CCO	2-5 DU/JAC	R-1	0	0						SGPWA
526141014	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/JAC	R-1	0	0						SGPWA
528083019	OTHER6B-CORRECTLY ZONED	0.207	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091019	OTHER6B-CORRECTLY ZONED	0.198	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528072010	OTHER6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/JAC	R-1	0	0						SGPWA
872273037	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/JAC	R-1	0	0						PVID
526122005	OTHER6B-CORRECTLY ZONED	0.087	MDR	CCO	2-5 DU/JAC	R-1	0	0				Cabazon Conservation Area		SGPWA
519293001	OTHER6B-CORRECTLY ZONED	0.151	MDR	CCO	2-5 DU/JAC	R-1	0	0						SGPWA
526102009	OTHER6B-CORRECTLY ZONED	0.283	MDR	CCO	2-5 DU/JAC	R-1	1	0						SGPWA
528091003	OTHER6B-CORRECTLY ZONED	0.195	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291005	OTHER6B-CORRECTLY ZONED	0.159	MDR	CCO	2-5 DU/JAC	R-1	0	0						SGPWA
872273034	OTHER6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/JAC	R-1	0	0						PVID
526202027	OTHER6B-CORRECTLY ZONED	0.171	MDR	CCO	2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528083010	OTHER6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528161002	OTHER6B-CORRECTLY ZONED	0.166	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519293004	OTHER6B-CORRECTLY ZONED	0.148	MDR	CCO	2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528082023	OTHER6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/JAC	R-1	0	0						SGPWA
528092026	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292017	OTHER6B-CORRECTLY ZONED	0.147	MDR	CCO	2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528043012	OTHER6B-CORRECTLY ZONED	0.193	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526122003	OTHER6B-CORRECTLY ZONED	0.315	MDR	CCO	2-5 DU/JAC	R-1	1	1				Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
526201025	OTHER6B-CORRECTLY ZONED	0.174	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528051006	OTHER6B-CORRECTLY ZONED	0.206	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528043016	OTHER6B-CORRECTLY ZONED	0.198	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Calabon Conservation Area		SGPWA
872808019	OTHER6B-CORRECTLY ZONED	0.494	MDR		2-5 DU/AC	R-1	1	1						PVID
526292019	OTHER6B-CORRECTLY ZONED	0.266	MDR		2-5 DU/AC	R-1	1	1						PVID
5266191041	OTHER6B-CORRECTLY ZONED	0.178	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528092018	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092007	OTHER6B-CORRECTLY ZONED	0.219	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528049004	OTHER6B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Calabon Conservation Area		SGPWA
528043038	OTHER6B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Calabon Conservation Area		SGPWA
528092010	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143005	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092032	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092008	OTHER6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872242015	OTHER6B-CORRECTLY ZONED	0.774	MDR		2-5 DU/AC	R-1	2	1						PVID
519292008	OTHER6B-CORRECTLY ZONED	0.157	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526122016	OTHER6B-CORRECTLY ZONED	0.178	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
519292019	OTHER6B-CORRECTLY ZONED	0.149	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526101012	OTHER6B-CORRECTLY ZONED	0.237	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
872241040	OTHER6B-CORRECTLY ZONED	0.157	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528061008	OTHER6B-CORRECTLY ZONED	0.107	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143009	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526201015	OTHER6B-CORRECTLY ZONED	0.159	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526202011	OTHER6B-CORRECTLY ZONED	0.163	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528091028	OTHER6B-CORRECTLY ZONED	0.198	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292018	OTHER6B-CORRECTLY ZONED	0.147	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
519292006	OTHER6B-CORRECTLY ZONED	0.155	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA



Housing Element Appendix A - Housing Inventory List

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528093018	OTHER6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092014	OTHER6B-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526170005	OTHER6B-CORRECTLY ZONED	0.480	MDR	CCO	2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY				SGPWA
526141008	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528084009	OTHER6B-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0						SGPWA
872273031	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0						SGPWA
519291019	OTHER6B-CORRECTLY ZONED	0.147	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526102005	OTHER6B-CORRECTLY ZONED	0.281	MDR	CCO	2-5 DU/AC	R-1	1	0						SGPWA
528093009	OTHER6B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0						SGPWA
528051004	OTHER6B-CORRECTLY ZONED	0.103	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091027	OTHER6B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092022	OTHER6B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528082021	OTHER6B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201032	OTHER6B-CORRECTLY ZONED	0.170	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
872242017	OTHER6B-CORRECTLY ZONED	0.155	MDR		2-5 DU/AC	R-1	0	0						SGPWA
872244008	OTHER6B-CORRECTLY ZONED	1.487	MDR		2-5 DU/AC	R-1	3	2						PVID
528084012	OTHER6B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291020	OTHER6B-CORRECTLY ZONED	0.153	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526141006	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526201022	OTHER6B-CORRECTLY ZONED	0.198	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528093016	OTHER6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528161040	OTHER6B-CORRECTLY ZONED	0.666	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528083018	OTHER6B-CORRECTLY ZONED	0.213	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143008	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528082018	OTHER68-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528082014	OTHER68-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142094	OTHER68-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528083009	OTHER68-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872242016	OTHER68-CORRECTLY ZONED	0.308	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				PVID
528054009	OTHER68-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872291025	OTHER68-CORRECTLY ZONED	0.144	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				PVID
528162037	OTHER68-CORRECTLY ZONED	0.163	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092021	OTHER68-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142040	OTHER68-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				SGPWA
528092027	OTHER68-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872292023	OTHER68-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				PVID
528043023	OTHER68-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526102096	OTHER68-CORRECTLY ZONED	0.282	MDR	CCO	2-5 DU/AC	R-1	1	0		FLOODING SENSITIVITY				SGPWA
519293007	OTHER68-CORRECTLY ZONED	0.152	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526202005	OTHER68-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				SGPWA
872273033	OTHER68-CORRECTLY ZONED	0.184	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872291007	OTHER68-CORRECTLY ZONED	0.142	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				PVID
872303024	OTHER68-CORRECTLY ZONED	0.157	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528091024	OTHER68-CORRECTLY ZONED	0.194	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142007	OTHER68-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				SGPWA
526142032	OTHER68-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526143015	OTHER68-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				SGPWA
528093015	OTHER68-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528082024	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528065010	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
872271004	OTHER6B-CORRECTLY ZONED	2.198	MDR		2-5 DU/AC	R-1	4	4						PVID
872293032	OTHER6B-CORRECTLY ZONED	0.153	MDR		2-5 DU/AC	R-1	0	0						PVID
872291017	OTHER6B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0						PVID
526201040	OTHER6B-CORRECTLY ZONED	0.176	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528064024	OTHER6B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
519293008	OTHER6B-CORRECTLY ZONED	0.149	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				SGPWA
872293025	OTHER6B-CORRECTLY ZONED	0.157	MDR	CCO	2-5 DU/AC	R-1	0	0						PVID
872243017	OTHER6B-CORRECTLY ZONED	0.155	MDR		2-5 DU/AC	R-1	0	0						PVID
528088011	OTHER6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526101010	OTHER6B-CORRECTLY ZONED	0.236	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528092006	OTHER6B-CORRECTLY ZONED	0.211	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872291012	OTHER6B-CORRECTLY ZONED	0.145	MDR		2-5 DU/AC	R-1	0	0						PVID
872242020	OTHER6B-CORRECTLY ZONED	0.472	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				PVID
528092030	OTHER6B-CORRECTLY ZONED	0.222	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142013	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526192004	OTHER6B-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526193015	OTHER6B-CORRECTLY ZONED	0.163	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528065016	OTHER6B-CORRECTLY ZONED	0.103	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528095002	OTHER6B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519293005	OTHER6B-CORRECTLY ZONED	0.150	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528091033	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091035	OTHER6B-CORRECTLY ZONED	0.194	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872304012	OTHER6B-CORRECTLY ZONED	0.617	MDR		2-5 DU/AC	R-1	1	1						PVID
872302005	OTHER6B-CORRECTLY ZONED	0.143	MDR		2-5 DU/AC	R-1	0	0						PVID
872302035	OTHER6B-CORRECTLY ZONED	0.155	MDR		2-5 DU/AC	R-1	0	0						PVID
526131002	OTHER6B-CORRECTLY ZONED	4.459	MDR	CCO	2-5 DU/AC	R-6	5	7						SGPWA
526201039	OTHER6B-CORRECTLY ZONED	0.175	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
519292003	OTHER6B-CORRECTLY ZONED	0.152	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526191003	OTHER6B-CORRECTLY ZONED	0.169	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528082019	OTHER6B-CORRECTLY ZONED	0.207	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528083005	OTHER6B-CORRECTLY ZONED	0.205	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528083005	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528083013	OTHER6B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092024	OTHER6B-CORRECTLY ZONED	0.191	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142036	OTHER6B-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528063019	OTHER6B-CORRECTLY ZONED	0.105	MDR		2-5 DU/AC	R-T	0	0				Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
872303022	OTHER6B-CORRECTLY ZONED	0.157	MDR		2-5 DU/AC	R-1	0	0						PVID
526202034	OTHER6B-CORRECTLY ZONED	0.178	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528072011	OTHER6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0						SGPWA
526142005	OTHER6B-CORRECTLY ZONED	0.168	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
872241038	OTHER6B-CORRECTLY ZONED	0.156	MDR		2-5 DU/AC	R-1	0	0						PVID
872241045	OTHER6B-CORRECTLY ZONED	0.077	MDR		2-5 DU/AC	R-1	0	0						PVID
872243012	OTHER6B-CORRECTLY ZONED	1.400	MDR		2-5 DU/AC	R-1	3	2						PVID
528092034	OTHER6B-CORRECTLY ZONED	0.190	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291008	OTHER6B-CORRECTLY ZONED	0.160	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528082007	OTHER6B-CORRECTLY ZONED	0.221	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
519292015	OTHER6B-CORRECTLY ZONED	0.150	MDR	CCO	2-5 DU/AC	R-1	0	0				San Jacinto Mountains Conservation Area		SGPWA
528082008	OTHER6B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
526101013	OTHER6B-CORRECTLY ZONED	0.236	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526191034	OTHER6B-CORRECTLY ZONED	0.180	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528082017	OTHER6B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091026	OTHER6B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142031	OTHER6B-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526141010	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526142006	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Calabazón Conservation Area		SGPWA
528043027	OTHER6B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092033	OTHER6B-CORRECTLY ZONED	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872502033	OTHER6B-CORRECTLY ZONED	0.156	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528091020	OTHER6B-CORRECTLY ZONED	0.191	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528054012	OTHER6B-CORRECTLY ZONED	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Calabazón Conservation Area		SGPWA
528082013	OTHER6B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142003	OTHER6B-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872273035	OTHER6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
872244006	OTHER6B-CORRECTLY ZONED	0.154	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528092020	OTHER6B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142038	OTHER6B-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872273032	OTHER6B-CORRECTLY ZONED	0.371	MDR		2-5 DU/AC	R-1	1	1						PVID
872293028	OTHER6B-CORRECTLY ZONED	0.156	MDR		2-5 DU/AC	R-1	0	0						PVID
519291004	OTHER6B-CORRECTLY ZONED	0.156	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526202012	OTHER6B-CORRECTLY ZONED	0.171	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526203037	OTHER6B-CORRECTLY ZONED	0.171	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
526191017	OTHER6B-CORRECTLY ZONED	0.173	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LAND/USE	GENERAL PLAN LAND/USE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528065011	OTHER68-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528092013	OTHER68-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0						SGPWA
519421003	OTHER68-CORRECTLY ZONED	0.146	MDR	CCO	2-5 DU/AC	R-1	0	0				Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528064022	OTHER68-CORRECTLY ZONED	0.169	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093001	OTHER68-CORRECTLY ZONED	0.190	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093003	OTHER68-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292013	OTHER68-CORRECTLY ZONED	0.148	MDR	CCO	2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				SGPWA
526101023	OTHER68-CORRECTLY ZONED	0.453	MDR	CCO	2-5 DU/AC	R-1	1	1						SGPWA
526142037	OTHER68-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528092009	OTHER68-CORRECTLY ZONED	0.190	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091022	OTHER68-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526170008	OTHER68-CORRECTLY ZONED	0.663	MDR	CCO	2-5 DU/AC	R-1	1	1		FLOODING SENSITIVITY		Calabazón Conservation Area		SGPWA
526191020	OTHER68-CORRECTLY ZONED	0.165	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528082010	OTHER68-CORRECTLY ZONED	0.190	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872242018	OTHER68-CORRECTLY ZONED	0.135	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				PVID
872291027	OTHER68-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0						PVID
526143007	OTHER68-CORRECTLY ZONED	0.166	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528092019	OTHER68-CORRECTLY ZONED	0.191	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872304013	OTHER68-CORRECTLY ZONED	0.344	MDR		2-5 DU/AC	R-1	1	1						PVID
519291014	OTHER68-CORRECTLY ZONED	0.144	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA
528083017	OTHER68-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091025	OTHER68-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291006	OTHER68-CORRECTLY ZONED	0.153	MDR	CCO	2-5 DU/AC	R-1	0	0						SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
519293009	OTHER68-CORRECTLY ZONED	0.155	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528093008	OTHER68-CORRECTLY ZONED	0.181	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528091010	OTHER68-CORRECTLY ZONED	0.188	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291003	OTHER68-CORRECTLY ZONED	0.153	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528072007	OTHER68-CORRECTLY ZONED	0.216	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528082022	OTHER68-CORRECTLY ZONED	0.181	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
519291011	OTHER68-CORRECTLY ZONED	0.157	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526191008	OTHER68-CORRECTLY ZONED	0.165	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528084008	OTHER68-CORRECTLY ZONED	0.177	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872292024	OTHER68-CORRECTLY ZONED	0.173	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
528043032	OTHER68-CORRECTLY ZONED	0.211	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526101008	OTHER68-CORRECTLY ZONED	0.237	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526201013	OTHER68-CORRECTLY ZONED	0.163	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
872241039	OTHER68-CORRECTLY ZONED	0.311	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				PVID
872244007	OTHER68-CORRECTLY ZONED	0.499	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				PVID
526121005	OTHER68-CORRECTLY ZONED	0.158	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528083007	OTHER68-CORRECTLY ZONED	0.213	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291016	OTHER68-CORRECTLY ZONED	0.148	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526191005	OTHER68-CORRECTLY ZONED	0.171	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519291007	OTHER68-CORRECTLY ZONED	0.151	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
519292002	OTHER68-CORRECTLY ZONED	0.154	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528072019	OTHER68-CORRECTLY ZONED	0.193	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528072009	OTHER68-CORRECTLY ZONED	0.187	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872243015	OTHER68-CORRECTLY ZONED	0.310	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				PVID
872273036	OTHER68-CORRECTLY ZONED	0.184	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				PVID
519291013	OTHER68-CORRECTLY ZONED	0.150	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
526142030	OTHER68-CORRECTLY ZONED	0.167	MDR	CCO	2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
528061004	OTHER68-CORRECTLY ZONED	0.107	MDR		2.5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528065007	OTHER68-CORRECTLY ZONED	0.216	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528064001	OTHER68-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
526201038	OTHER68-CORRECTLY ZONED	0.178	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528082015	OTHER68-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528083012	OTHER68-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
519292011	OTHER68-CORRECTLY ZONED	0.155	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
519293002	OTHER68-CORRECTLY ZONED	0.148	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528063004	OTHER68-CORRECTLY ZONED	0.107	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528162036	OTHER68-CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
519291010	OTHER68-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528064003	OTHER68-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
526142028	OTHER68-CORRECTLY ZONED	0.167	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528082001	OTHER68-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528061012	OTHER68-CORRECTLY ZONED	0.450	MDR		2-5 DU/AC	R-T	1	1		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
526193017	OTHER68-CORRECTLY ZONED	0.164	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
872243014	OTHER68-CORRECTLY ZONED	0.154	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		PVID
872292020	OTHER68-CORRECTLY ZONED	0.020	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		PVID
528082002	OTHER68-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
526201029	OTHER68-CORRECTLY ZONED	0.178	MDR	CCO	2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
872291050	OTHER68-CORRECTLY ZONED	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		PVID
526202044	OTHER68-CORRECTLY ZONED	0.341	MDR	CCO	2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
135551001	WRCOG6B-CORRECTLY ZONEI	0.348	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
135550002	WRCOG6B-CORRECTLY ZONEI	0.521	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
327451024	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327452008	WRCOG6B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
371252010	WRCOG6B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-1	0	0	COUNTY OF FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386203006	WRCOG6B-CORRECTLY ZONEI	0.216	MDR		2-5 DU/AC	R-1	0	0	COUNTY OF FAULT ZONE					WMWD
383102019	WRCOG6B-CORRECTLY ZONEI	0.021	MDR		2-5 DU/AC	R-1	0	0	COUNTY OF FAULT ZONE					EMWD
386151001	WRCOG6B-CORRECTLY ZONEI	0.147	MDR		2-5 DU/AC	R-1	0	0	COUNTY OF FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
383201034	WRCOG6B-CORRECTLY ZONEI	0.197	MDR		2-5 DU/AC	R-3	0	0	COUNTY OF FAULT ZONE					EMWD
386153016	WRCOG6B-CORRECTLY ZONEI	0.086	MDR		2-5 DU/AC	R-1	0	0	COUNTY OF FAULT ZONE					WMWD
383042026	WRCOG6B-CORRECTLY ZONEI	0.131	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
386200002	WRCOG6B-CORRECTLY ZONEI	0.223	MDR		2-5 DU/AC	R-1	0	0						WMWD
426101003	WRCOG6B-CORRECTLY ZONEI	1.521	MDR		2-5 DU/AC	R-1	3	2						SGPWA
408060010	WRCOG6B-CORRECTLY ZONEI	4.951	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				SGPWA
462210005	WRCOG6B-CORRECTLY ZONEI	0.437	MDR		2-5 DU/AC	R-1	1	1						SGPWA
462202015	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462192010	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0						SGPWA
466991024	WRCOG6B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0			YES			SGPWA
458370005	WRCOG6B-CORRECTLY ZONEI	0.819	MDR		2-5 DU/AC	R-5	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561151005	WRCOG6B-CORRECTLY ZONEI	0.589	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563062029	WRCOG6B-CORRECTLY ZONEI	0.342	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563272014	WRCOG6B-CORRECTLY ZONEI	0.010	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561151028	WRCOG6B-CORRECTLY ZONEI	0.239	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561093018	WRCOG6B-CORRECTLY ZONEI	0.198	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563071001	WRCOG6B-CORRECTLY ZONEI	0.326	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565252030	WRCOG6B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561064005	WRCOG6B-CORRECTLY ZONEI	0.324	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564203003	WRCOG6B-CORRECTLY ZONEI	0.478	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563172008	WRCOG6B-CORRECTLY ZONEI	0.126	MDR		2-5 DU/AC	R-3A	0	0						SGPWA
561092002	WRCOG6B-CORRECTLY ZONEI	0.218	MDR		2-5 DU/AC	R-1A-9000	0	0			YES			WMWD
308160006	WRCOG6B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
462213011	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1	0	0						SGPWA
563250031	WRCOG6B-CORRECTLY ZONEI	0.897	MDR		2-5 DU/AC	R-3A	2	1	ELSNORE					SGPWA
402083016	WRCOG6B-CORRECTLY ZONEI	0.239	MDR		2-5 DU/AC	R-1	0	0	OF FAULT ZONE					WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
144691010	WRICOG66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMWD
247092024	WRICOG66B-CORRECTLY ZONED	0.107	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451028	WRICOG66B-CORRECTLY ZONED	0.191	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386192006	WRICOG66B-CORRECTLY ZONED	0.220	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
382022031	WRICOG66B-CORRECTLY ZONED	0.090	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382042003	WRICOG66B-CORRECTLY ZONED	0.047	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382042017	WRICOG66B-CORRECTLY ZONED	0.091	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
388081034	WRICOG66B-CORRECTLY ZONED	0.352	MDR		2-5 DU/AC	R-1	1	1	COUNTY					WMWD
386152014	WRICOG66B-CORRECTLY ZONED	0.144	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
458340006	WRICOG66B-CORRECTLY ZONED	0.338	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565045020	WRICOG66B-CORRECTLY ZONED	0.138	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
567091011	WRICOG66B-CORRECTLY ZONED	0.786	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563213006	WRICOG66B-CORRECTLY ZONED	0.370	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
559051024	WRICOG66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
561065004	WRICOG66B-CORRECTLY ZONED	0.314	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564095024	WRICOG66B-CORRECTLY ZONED	0.036	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564103004	WRICOG66B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559061009	WRICOG66B-CORRECTLY ZONED	0.142	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
564051011	WRICOG66B-CORRECTLY ZONED	0.283	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
567112011	WRICOG66B-CORRECTLY ZONED	2.527	MDR		2-5 DU/AC	R-1A-9000	5	4						SGPWA
115233015	WRICOG66B-CORRECTLY ZONED	0.221	MDR		2-5 DU/AC	R-2	0	0						WMWD
115261024	WRICOG66B-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0						WMWD
563141031	WRICOG66B-CORRECTLY ZONED	1.540	MDR		2-5 DU/AC	R-1A-9000	3	2						SGPWA
563153005	WRICOG66B-CORRECTLY ZONED	0.389	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
144501003	WRICOG66B-CORRECTLY ZONED	0.178	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMWD
140951017	WRICOG66B-CORRECTLY ZONED	0.204	MDR		2-5 DU/AC	R-1	0	0						WMWD
247044018	WRICOG66B-CORRECTLY ZONED	0.110	MDR		2-5 DU/AC	R-1	0	0						WMWD
256072002	WRICOG66B-CORRECTLY ZONED	0.232	MDR		2-5 DU/AC	R-1	0	0						WMWD
308180002	WRICOG66B-CORRECTLY ZONED	0.178	MDR		2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
308180014	WRICOG66B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
3027462009	WRICOG66B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0						WMWD
308170013	WRICOG66B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					EMWD
381266006	WRICOG66B-CORRECTLY ZONED	0.135	MDR		2-5 DU/AC	R-3	0	0	COUNTY					WMWD
383042015	WRICOG66B-CORRECTLY ZONED	0.151	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

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386190010	WRCOG6B-CORRECTLY ZONE	0.177	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
402361030	WRCOG6B-CORRECTLY ZONE	0.038	MDR		2-5 DU/AC	R-T	0	0	COUNTY FAULT ZONE					SGPWA
383101001	WRCOG6B-CORRECTLY ZONE	0.079	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
381248029	WRCOG6B-CORRECTLY ZONE	0.081	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
386208005	WRCOG6B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
462199002	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					SGPWA
462202016	WRCOG6B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					SGPWA
462193013	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					SGPWA
466931035	WRCOG6B-CORRECTLY ZONE	0.215	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	YES				SGPWA
458350002	WRCOG6B-CORRECTLY ZONE	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					SGPWA
563123002	WRCOG6B-CORRECTLY ZONE	0.348	MDR		2-5 DU/AC	R-3A	1	1	COUNTY FAULT ZONE					SGPWA
565191031	WRCOG6B-CORRECTLY ZONE	0.185	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE					SGPWA
565202007	WRCOG6B-CORRECTLY ZONE	0.150	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE					SGPWA
565242016	WRCOG6B-CORRECTLY ZONE	0.311	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY FAULT ZONE					SGPWA
382050016	WRCOG6B-CORRECTLY ZONE	0.601	MDR		2-5 DU/AC	R-1A	1	1	COUNTY FAULT ZONE					EMWD
566420028	WRCOG6B-CORRECTLY ZONE	0.146	MDR		2-5 DU/AC	R-1-18000	0	0	ELSI NORE FAULT ZONE					EMWD
102083018	WRCOG6B-CORRECTLY ZONE	0.258	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					WMWD
966880009	WRCOG6B-CORRECTLY ZONE	19.096	MDR		2-5 DU/AC	R-1	38	31	COUNTY FAULT ZONE					EMWD
308170004	WRCOG6B-CORRECTLY ZONE	0.186	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY FAULT ZONE	YES				WMWD
382060046	WRCOG6B-CORRECTLY ZONE	0.409	MDR		2-5 DU/AC	R-1A	1	1	COUNTY FAULT ZONE					WMWD
381062005	WRCOG6B-CORRECTLY ZONE	0.068	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					WMWD
382022026	WRCOG6B-CORRECTLY ZONE	0.095	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
383093028	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
386210009	WRCOG6B-CORRECTLY ZONE	0.366	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					EMWD
381080006	WRCOG6B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
386193004	WRCOG6B-CORRECTLY ZONE	0.231	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
386151030	WRCOG6B-CORRECTLY ZONE	0.141	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
381282028	WRCOG6B-CORRECTLY ZONE	0.069	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					WMWD
383103010	WRCOG6B-CORRECTLY ZONE	0.097	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
386154013	WRCOG6B-CORRECTLY ZONE	0.231	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
387212018	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD
462190004	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					WMWD SGPWA

Housing Element Appendix A - Housing Inventory List

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462202018	WRCO66B-CORRECTLY ZONE	0.268	MDR		2-5 DU/AC	R-1	1	0						SGPWA
462218026	WRCO66B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0						SGPWA
447150007	WRCO66B-CORRECTLY ZONE	0.225	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
457911001	WRCO66B-CORRECTLY ZONE	0.225	MDR		2-5 DU/AC	R-1	0	0						SGPWA
557220005	WRCO66B-CORRECTLY ZONE	0.325	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563141006	WRCO66B-CORRECTLY ZONE	0.257	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
564071095	WRCO66B-CORRECTLY ZONE	0.219	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565080044	WRCO66B-CORRECTLY ZONE	0.473	MDR		2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
564182010	WRCO66B-CORRECTLY ZONE	0.224	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
549145012	WRCO66B-CORRECTLY ZONE	0.339	MDR		2-5 DU/AC	R-2	1	1						SGPWA
565242012	WRCO66B-CORRECTLY ZONE	0.210	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564140007	WRCO66B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
458351011	WRCO66B-CORRECTLY ZONE	0.502	MDR		2-5 DU/AC	R-1-20000	1	1						SGPWA
966390002	WRCO66B-CORRECTLY ZONE	4.214	MDR		2-5 DU/AC	R-1	8	7						EMWD
115273009	WRCO66B-CORRECTLY ZONE	0.219	MDR		2-5 DU/AC	R-1	0	0						WMWD
438230037	WRCO66B-CORRECTLY ZONE	1.605	MDR		2-5 DU/AC	R-3	3	3						SGPWA
136410050	WRCO66B-CORRECTLY ZONE	0.107	MDR		2-5 DU/AC	R-1-8000	0	0						WMWD
247045004	WRCO66B-CORRECTLY ZONE	0.120	MDR		2-5 DU/AC	R-1	0	0						WMWD
283271015	WRCO66B-CORRECTLY ZONE	0.712	MDR		2-5 DU/AC	R-1	1	1						WMWD
327451022	WRCO66B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327452014	WRCO66B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
387072016	WRCO66B-CORRECTLY ZONE	0.031	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381242024	WRCO66B-CORRECTLY ZONE	0.090	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383183010	WRCO66B-CORRECTLY ZONE	0.112	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381223038	WRCO66B-CORRECTLY ZONE	0.233	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386152002	WRCO66B-CORRECTLY ZONE	0.137	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387212061	WRCO66B-CORRECTLY ZONE	0.112	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462212003	WRCO66B-CORRECTLY ZONE	0.173	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462201001	WRCO66B-CORRECTLY ZONE	0.241	MDR		2-5 DU/AC	R-1	0	0	COUNTY					SGPWA
386151023	WRCO66B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
458352002	WRCO66B-CORRECTLY ZONE	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
447121036	WRCO66B-CORRECTLY ZONE	0.259	MDR		2-5 DU/AC	R-1	1	0						SGPWA
458372015	WRCO66B-CORRECTLY ZONE	0.181	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561181024	WRCO66B-CORRECTLY ZONE	0.002	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
552020077	WRCO66B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561102017	WRCO66B-CORRECTLY ZONE	0.032	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565041021	WRCO66B-CORRECTLY ZONE	0.155	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
567123039	WRCO66B-CORRECTLY ZONE	0.313	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA



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567102008	WRCOG66B-CORRECTLY ZONE	0.211	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561123002	WRCOG66B-CORRECTLY ZONE	0.138	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564095001	WRCOG66B-CORRECTLY ZONE	0.254	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
289321007	WRCOG66B-CORRECTLY ZONE	0.553	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563139006	WRCOG66B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563131003	WRCOG66B-CORRECTLY ZONE	0.370	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
966380007	WRCOG66B-CORRECTLY ZONE	17.011	MDR		2-5 DU/AC	R-1	34	27	COUNTY FAULT ZONE		YES			EMWD
270350059	WRCOG66B-CORRECTLY ZONE	0.408	MDR		2-5 DU/AC	R-1	1	1						WMWD
256102005	WRCOG66B-CORRECTLY ZONE	0.336	MDR		2-5 DU/AC	R-1	1	1						WMWD
290241051	WRCOG66B-CORRECTLY ZONE	0.225	MDR		2-5 DU/AC	R-1	0	0						WMWD
308170005	WRCOG66B-CORRECTLY ZONE	0.199	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
327460001	WRCOG66B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
383042038	WRCOG66B-CORRECTLY ZONE	0.141	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
383123001	WRCOG66B-CORRECTLY ZONE	0.085	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
388370002	WRCOG66B-CORRECTLY ZONE	0.253	MDR		2-5 DU/AC	R-1	1	0						EMWD
387211007	WRCOG66B-CORRECTLY ZONE	0.213	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383183016	WRCOG66B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387060027	WRCOG66B-CORRECTLY ZONE	0.253	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					EMWD
462192002	WRCOG66B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462191008	WRCOG66B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-1	0	0						SGPWA
480060041	WRCOG66B-CORRECTLY ZONE	0.150	MDR		2-5 DU/AC	R-1	0	0						SGPWA
565172020	WRCOG66B-CORRECTLY ZONE	0.230	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561172007	WRCOG66B-CORRECTLY ZONE	0.194	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565251006	WRCOG66B-CORRECTLY ZONE	0.243	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563212026	WRCOG66B-CORRECTLY ZONE	0.161	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
567091018	WRCOG66B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565223003	WRCOG66B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563153007	WRCOG66B-CORRECTLY ZONE	0.237	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565171010	WRCOG66B-CORRECTLY ZONE	0.425	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565124001	WRCOG66B-CORRECTLY ZONE	1.264	MDR		2-5 DU/AC	R-1A-9000	3	2						SGPWA
382050057	WRCOG66B-CORRECTLY ZONE	0.520	MDR		2-5 DU/AC	R-1A	1	1						WMWD
563131002	WRCOG66B-CORRECTLY ZONE	0.388	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
140360015	WRCOG66B-CORRECTLY ZONE	0.303	MDR		2-5 DU/AC	R-1	1	0	COUNTY					WMWD
386193022	WRCOG66B-CORRECTLY ZONE	0.260	MDR		2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					EMWD
386153003	WRCOG66B-CORRECTLY ZONE	0.139	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383182003	WRCOG66B-CORRECTLY ZONE	0.200	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
379045017	WRCOG66B-CORRECTLY ZONE	0.107	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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450153022	WRCOG66B-CORRECTLY ZONE	0.013	MDR		2-5 DU/AC	R-1	0	0						SGPWA
426106018	WRCOG66B-CORRECTLY ZONE	0.435	MDR		2-5 DU/AC	R-1	1	1						SGPWA
462191012	WRCOG66B-CORRECTLY ZONE	0.169	MDR		2-5 DU/AC	R-1	0	0						SGPWA
466391005	WRCOG66B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0			YES			SGPWA
458362027	WRCOG66B-CORRECTLY ZONE	0.218	MDR		2-5 DU/AC	R-1	0	0						SGPWA
565171019	WRCOG66B-CORRECTLY ZONE	0.428	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564051006	WRCOG66B-CORRECTLY ZONE	0.419	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561121093	WRCOG66B-CORRECTLY ZONE	0.106	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561155005	WRCOG66B-CORRECTLY ZONE	0.485	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
551264009	WRCOG66B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-2-4000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567081025	WRCOG66B-CORRECTLY ZONE	0.260	MDR		2-5 DU/AC	R-1A-9000	1	1		FLOODING SENSITIVITY				SGPWA
318292022	WRCOG66B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451045	WRCOG66B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
387180007	WRCOG66B-CORRECTLY ZONE	0.207	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
382033021	WRCOG66B-CORRECTLY ZONE	0.091	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386193029	WRCOG66B-CORRECTLY ZONE	0.223	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
408060009	WRCOG66B-CORRECTLY ZONE	9.919	MDR		2-5 DU/AC	R-T	20	16	COUNTY					SGPWA
387212010	WRCOG66B-CORRECTLY ZONE	0.180	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386152018	WRCOG66B-CORRECTLY ZONE	0.140	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386201020	WRCOG66B-CORRECTLY ZONE	0.232	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387162022	WRCOG66B-CORRECTLY ZONE	0.038	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
564182012	WRCOG66B-CORRECTLY ZONE	0.037	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
565152001	WRCOG66B-CORRECTLY ZONE	0.864	MDR		2-5 DU/AC	R-1A-9000	2	1						SGPWA
565162022	WRCOG66B-CORRECTLY ZONE	0.457	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565172024	WRCOG66B-CORRECTLY ZONE	0.456	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563165016	WRCOG66B-CORRECTLY ZONE	0.217	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
563151006	WRCOG66B-CORRECTLY ZONE	0.463	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
140351015	WRCOG66B-CORRECTLY ZONE	0.323	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
140360014	WRCOG66B-CORRECTLY ZONE	0.323	MDR		2-5 DU/AC	R-1	1	1						WMWD
247032009	WRCOG66B-CORRECTLY ZONE	0.349	MDR		2-5 DU/AC	R-1	1	1						WMWD
308170017	WRCOG66B-CORRECTLY ZONE	0.342	MDR		2-5 DU/AC	R-1	1	1						WMWD
308170008	WRCOG66B-CORRECTLY ZONE	0.197	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
386151006	WRCOG66B-CORRECTLY ZONE	0.193	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WMWD
386151034	WRCOG66B-CORRECTLY ZONE	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151034	WRCOG66B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151012	WRCOG66B-CORRECTLY ZONE	0.148	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A – Housing Inventory List

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387060018	WRCOG6B-CORRECTLY ZONE	0.232	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
383114009	WRCOG6B-CORRECTLY ZONE	0.098	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
382827008	WRCOG6B-CORRECTLY ZONE	0.177	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
387255012	WRCOG6B-CORRECTLY ZONE	0.078	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
383182009	WRCOG6B-CORRECTLY ZONE	0.238	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
462192018	WRCOG6B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
462191016	WRCOG6B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
458852009	WRCOG6B-CORRECTLY ZONE	0.176	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
458370003	WRCOG6B-CORRECTLY ZONE	0.221	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
447280037	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
462213006	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
466591003	WRCOG6B-CORRECTLY ZONE	0.186	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY	YES				SGPWA
458340044	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
438362007	WRCOG6B-CORRECTLY ZONE	0.162	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					SGPWA
561112003	WRCOG6B-CORRECTLY ZONE	0.434	MDR		2-5 DU/AC	R-1A-9000	1	1	0 FAULT ZONE COUNTY					SGPWA
564152016	WRCOG6B-CORRECTLY ZONE	0.117	MDR		2-5 DU/AC	R-3A	0	0	0 FAULT ZONE COUNTY					SGPWA
563241014	WRCOG6B-CORRECTLY ZONE	0.491	MDR		2-5 DU/AC	R-1A-9000	1	1	0 FAULT ZONE COUNTY					SGPWA
567123042	WRCOG6B-CORRECTLY ZONE	0.199	MDR		2-5 DU/AC	R-1A-9000	0	0	0 FAULT ZONE COUNTY					SGPWA
567091002	WRCOG6B-CORRECTLY ZONE	0.630	MDR		2-5 DU/AC	R-1A-9000	1	1	0 FAULT ZONE COUNTY					SGPWA
563204019	WRCOG6B-CORRECTLY ZONE	0.485	MDR		2-5 DU/AC	R-1A-9000	1	1	0 FAULT ZONE COUNTY					SGPWA
565227014	WRCOG6B-CORRECTLY ZONE	0.142	MDR		2-5 DU/AC	R-1A-9000	0	0	0 FAULT ZONE COUNTY					SGPWA
565227014	WRCOG6B-CORRECTLY ZONE	0.195	MDR		2-5 DU/AC	R-1A-9000	0	0	0 FAULT ZONE COUNTY					SGPWA
381262039	WRCOG6B-CORRECTLY ZONE	0.139	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE COUNTY					EMWD
966420008	WRCOG6B-CORRECTLY ZONE	0.279	MDR		2-5 DU/AC	R-1-12000	1	0	0 FAULT ZONE COUNTY	AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
476270010	WRCOG6B-CORRECTLY ZONE	2.300	MDR		2-5 DU/AC	R-A-2 1/2	5	4	0 FAULT ZONE COUNTY					SGPWA
966070031	WRCOG6B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
140351028	WRCOG6B-CORRECTLY ZONE	0.301	MDR		2-5 DU/AC	R-1	1	0	0 FAULT ZONE COUNTY					WMWD
135540004	WRCOG6B-CORRECTLY ZONE	0.422	MDR		2-5 DU/AC	R-1-10000	1	1	0 FAULT ZONE COUNTY					WMWD
327450005	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					WMWD
327451013	WRCOG6B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					WMWD
327469010	WRCOG6B-CORRECTLY ZONE	2.401	MDR		2-5 DU/AC	R-1	5	4	0 FAULT ZONE COUNTY					WMWD
387212014	WRCOG6B-CORRECTLY ZONE	0.191	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
381062024	WRCOG6B-CORRECTLY ZONE	0.067	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE COUNTY					EMWD
383052006	WRCOG6B-CORRECTLY ZONE	0.147	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
383173005	WRCOG6B-CORRECTLY ZONE	0.221	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE COUNTY					EMWD
381290035	WRCOG6B-CORRECTLY ZONE	0.428	MDR		2-5 DU/AC	R-3	1	1	0 FAULT ZONE COUNTY					EMWD
386140009	WRCOG6B-CORRECTLY ZONE	0.956	MDR		2-5 DU/AC	R-1	2	2	0 FAULT ZONE COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

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387159020	WRCO66B-CORRECTLY ZONED	0.020	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462202009	WRCO66B-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					SGPWA
465020003	WRCO66B-CORRECTLY ZONED	3.053	MDR		2-5 DU/AC	R-A	6	5		AREAS OF FLOODING SENSITIVITY	YES			SGPWA
564162010	WRCO66B-CORRECTLY ZONED	0.491	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565180011	WRCO66B-CORRECTLY ZONED	0.292	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
552090005	WRCO66B-CORRECTLY ZONED	0.102	MDR		2-5 DU/AC	R-1	0	0	SAN JACINTO					SGPWA
564112026	WRCO66B-CORRECTLY ZONED	0.198	MDR		2-5 DU/AC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
557230043	WRCO66B-CORRECTLY ZONED	0.198	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561201010	WRCO66B-CORRECTLY ZONED	1.052	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
462213018	WRCO66B-CORRECTLY ZONED	0.243	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
476270006	WRCO66B-CORRECTLY ZONED	1.899	MDR		2-5 DU/AC	R-A-2 1/2	4	3		AREAS OF FLOODING SENSITIVITY			Zone E	SGPWA
383042061	WRCO66B-CORRECTLY ZONED	0.142	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
383102016	WRCO66B-CORRECTLY ZONED	0.093	MDR		2-5 DU/AC	R-2	0	0	COUNTY					EMWD
387212022	WRCO66B-CORRECTLY ZONED	0.093	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386201005	WRCO66B-CORRECTLY ZONED	0.273	MDR		2-5 DU/AC	R-1	1	0	COUNTY					EMWD
381091009	WRCO66B-CORRECTLY ZONED	0.008	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
381248036	WRCO66B-CORRECTLY ZONED	0.115	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386151028	WRCO66B-CORRECTLY ZONED	0.145	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386202001	WRCO66B-CORRECTLY ZONED	0.234	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
449191029	WRCO66B-CORRECTLY ZONED	0.073	MDR		2-5 DU/AC	R-1	0	0						SGPWA
408071023	WRCO66B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
447150006	WRCO66B-CORRECTLY ZONED	0.653	MDR		2-5 DU/AC	R-3	1	1						SGPWA
462201005	WRCO66B-CORRECTLY ZONED	0.203	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462201002	WRCO66B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0						SGPWA
564091009	WRCO66B-CORRECTLY ZONED	0.533	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564240010	WRCO66B-CORRECTLY ZONED	0.089	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565180005	WRCO66B-CORRECTLY ZONED	0.512	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565111037	WRCO66B-CORRECTLY ZONED	0.100	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561092009	WRCO66B-CORRECTLY ZONED	0.249	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
552052024	WRCO66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0						SGPWA

Housing Element Appendix A - Housing Inventory List

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247045013	WRCOG68-CORRECTLY ZONEI	0.417	MDR		2.5 DU/AC	R-1	1	1						WMWD
563042007	WRCOG68-CORRECTLY ZONEI	0.285	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
140360022	WRCOG68-CORRECTLY ZONEI	0.254	MDR		2.5 DU/AC	R-1	1	0						WMWD
459351019	WRCOG68-CORRECTLY ZONEI	0.497	MDR		2.5 DU/AC	R-1-20000	1	1					Zone D	SGPWA
144733012	WRCOG68-CORRECTLY ZONEI	0.212	MDR		2.5 DU/AC	R-1	0	0						WMWD
135050026	WRCOG68-CORRECTLY ZONEI	0.851	MDR		2.5 DU/AC	R-1	2	1						WMWD
135050020	WRCOG68-CORRECTLY ZONEI	0.008	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
387202011	WRCOG68-CORRECTLY ZONEI	0.176	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
388081040	WRCOG68-CORRECTLY ZONEI	0.193	MDR		2.5 DU/AC	R-1	0	0						EMWD
383193018	WRCOG68-CORRECTLY ZONEI	0.136	MDR		2.5 DU/AC	R-1	0	0						EMWD
402030018	WRCOG68-CORRECTLY ZONEI	0.599	MDR		2.5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					WMWD
383201033	WRCOG68-CORRECTLY ZONEI	0.167	MDR		2.5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
385203010	WRCOG68-CORRECTLY ZONEI	0.233	MDR		2.5 DU/AC	R-1	0	0						EMWD
381272034	WRCOG68-CORRECTLY ZONEI	0.098	MDR		2.5 DU/AC	R-3	0	0						EMWD
447260006	WRCOG68-CORRECTLY ZONEI	3.645	MDR		2.5 DU/AC	R-1	7	6						SGPWA
428606006	WRCOG68-CORRECTLY ZONEI	4.840	MDR		2.5 DU/AC	R-1	10	8						SGPWA
458341011	WRCOG68-CORRECTLY ZONEI	0.170	MDR		2.5 DU/AC	R-1	0	0						SGPWA
462193014	WRCOG68-CORRECTLY ZONEI	0.192	MDR		2.5 DU/AC	R-1	0	0						SGPWA
56511038	WRCOG68-CORRECTLY ZONEI	0.220	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
549501039	WRCOG68-CORRECTLY ZONEI	0.040	MDR		2.5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
548060008	WRCOG68-CORRECTLY ZONEI	0.875	MDR		2.5 DU/AC	R-A	2	1						SGPWA
561121011	WRCOG68-CORRECTLY ZONEI	0.136	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
135550005	WRCOG68-CORRECTLY ZONEI	0.658	MDR		2.5 DU/AC	R-1-10000	1	1						WMWD
140561014	WRCOG68-CORRECTLY ZONEI	0.285	MDR		2.5 DU/AC	R-1	1	0						WMWD
308180015	WRCOG68-CORRECTLY ZONEI	0.177	MDR		2.5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
318292027	WRCOG68-CORRECTLY ZONEI	0.337	MDR		2.5 DU/AC	R-1	1	1						WMWD
327451010	WRCOG68-CORRECTLY ZONEI	0.172	MDR		2.5 DU/AC	R-1	0	0						WMWD
387080025	WRCOG68-CORRECTLY ZONEI	0.268	MDR		2.5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					WMWD
383202004	WRCOG68-CORRECTLY ZONEI	0.139	MDR		2.5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
387213016	WRCOG68-CORRECTLY ZONEI	0.277	MDR		2.5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					WMWD
383194010	WRCOG68-CORRECTLY ZONEI	0.224	MDR		2.5 DU/AC	R-1	0	0						WMWD
388081038	WRCOG68-CORRECTLY ZONEI	0.187	MDR		2.5 DU/AC	R-1	0	0						WMWD
383091007	WRCOG68-CORRECTLY ZONEI	0.064	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
386201011	WRCOG68-CORRECTLY ZONEI	0.291	MDR		2.5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					WMWD
381071018	WRCOG68-CORRECTLY ZONEI	0.079	MDR		2.5 DU/AC	R-3	0	0	AREAS OF FLOODING SENSITIVITY					WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
449250012	WRCOG6B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462210015	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0						SGPWA
458340043	WRCOG6B-CORRECTLY ZONEI	0.282	MDR		2-5 DU/AC	R-1	1	0						SGPWA
458372002	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-1	0	0						SGPWA
458352012	WRCOG6B-CORRECTLY ZONEI	0.233	MDR		2-5 DU/AC	R-1	0	0						SGPWA
564051004	WRCOG6B-CORRECTLY ZONEI	0.575	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
567092029	WRCOG6B-CORRECTLY ZONEI	0.215	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565080020	WRCOG6B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-3A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
557212018	WRCOG6B-CORRECTLY ZONEI	0.477	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
567121018	WRCOG6B-CORRECTLY ZONEI	0.201	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
564112002	WRCOG6B-CORRECTLY ZONEI	0.328	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
549251010	WRCOG6B-CORRECTLY ZONEI	0.180	MDR		2-5 DU/AC	R-T	0	0						SGPWA
383073011	WRCOG6B-CORRECTLY ZONEI	0.090	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
140351006	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
247160056	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
308140005	WRCOG6B-CORRECTLY ZONEI	92.579	MDR		2-5 DU/AC	R-A-5	185	148	COUNTY	AREAS OF FLOODING SENSITIVITY	YES			WMWD
387202020	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					WMWD
386200013	WRCOG6B-CORRECTLY ZONEI	0.248	MDR		2-5 DU/AC	R-1	0	0						WMWD
387213022	WRCOG6B-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
387212076	WRCOG6B-CORRECTLY ZONEI	0.200	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386082007	WRCOG6B-CORRECTLY ZONEI	0.007	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					WMWD
386152022	WRCOG6B-CORRECTLY ZONEI	0.140	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
408050019	WRCOG6B-CORRECTLY ZONEI	4.925	MDR		2-5 DU/AC	R-T	10	8		AREAS OF FLOODING SENSITIVITY				SGPWA
408060007	WRCOG6B-CORRECTLY ZONEI	11.140	MDR		2-5 DU/AC	R-T	22	18		AREAS OF FLOODING SENSITIVITY				SGPWA
383183012	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462202039	WRCOG6B-CORRECTLY ZONEI	0.312	MDR		2-5 DU/AC	R-1	1	0						EMWD
462212011	WRCOG6B-CORRECTLY ZONEI	0.165	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462212006	WRCOG6B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0						SGPWA
458341016	WRCOG6B-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0						SGPWA
450080024	WRCOG6B-CORRECTLY ZONEI	0.416	MDR		2-5 DU/AC	R-1	1	1						SGPWA
547110002	WRCOG6B-CORRECTLY ZONEI	0.426	MDR		2-5 DU/AC	R-1	1	1						SGPWA
565242021	WRCOG6B-CORRECTLY ZONEI	0.384	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563183017	WRCOG6B-CORRECTLY ZONEI	0.255	MDR		2-5 DU/AC	R-3A	1	0						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
56080014	WRCOG6B-CORRECTLY ZONE	0.538	MDR		2-5 DU/AC	R-3A-20000	1	1						SGPWA
561101019	WRCOG6B-CORRECTLY ZONE	0.393	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565101005	WRCOG6B-CORRECTLY ZONE	0.385	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
564095006	WRCOG6B-CORRECTLY ZONE	0.211	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561171016	WRCOG6B-CORRECTLY ZONE	0.148	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
247072012	WRCOG6B-CORRECTLY ZONE	0.614	MDR		2-5 DU/AC	R-1	1	1						WMWD
318292032	WRCOG6B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451020	WRCOG6B-CORRECTLY ZONE	0.196	MDR		2-5 DU/AC	R-1	0	0						WMWD
382043009	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386190012	WRCOG6B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
382043016	WRCOG6B-CORRECTLY ZONE	0.106	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
383105024	WRCOG6B-CORRECTLY ZONE	0.097	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
402150018	WRCOG6B-CORRECTLY ZONE	0.266	MDR		2-5 DU/AC	R-T	1	0						SGPWA
462202003	WRCOG6B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-1	0	0						SGPWA
462211009	WRCOG6B-CORRECTLY ZONE	0.185	MDR		2-5 DU/AC	R-1	0	0						SGPWA
480450021	WRCOG6B-CORRECTLY ZONE	0.027	MDR		2-5 DU/AC	R-1	0	0					Zone E	SGPWA
458362002	WRCOG6B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-1	0	0						SGPWA
458362034	WRCOG6B-CORRECTLY ZONE	0.215	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561142022	WRCOG6B-CORRECTLY ZONE	0.248	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559158009	WRCOG6B-CORRECTLY ZONE	0.025	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563250017	WRCOG6B-CORRECTLY ZONE	1.287	MDR		2-5 DU/AC	R-3A	3	2						SGPWA
564140037	WRCOG6B-CORRECTLY ZONE	0.357	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565161020	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561072017	WRCOG6B-CORRECTLY ZONE	0.357	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561191020	WRCOG6B-CORRECTLY ZONE	0.276	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
458360003	WRCOG6B-CORRECTLY ZONE	0.309	MDR		2-5 DU/AC	R-1	1	0						SGPWA
164611042	WRCOG6B-CORRECTLY ZONE	0.184	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
144751002	WRCOG6B-CORRECTLY ZONE	0.165	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMWD
387162023	WRCOG6B-CORRECTLY ZONE	0.045	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
140351025	WRCOG6B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0						WMWD
140361018	WRCOG6B-CORRECTLY ZONE	0.191	MDR		2-5 DU/AC	R-1	0	0						WMWD
247043003	WRCOG6B-CORRECTLY ZONE	0.197	MDR		2-5 DU/AC	R-1	0	0						WMWD
297041016	WRCOG6B-CORRECTLY ZONE	0.232	MDR		2-5 DU/AC	R-A	0	0						WMWD
308180005	WRCOG6B-CORRECTLY ZONE	0.201	MDR		2-5 DU/AC	R-4-5	0	0						WMWD
309290035	WRCOG6B-CORRECTLY ZONE	14.032	MDR		2-5 DU/AC	R-1	28	22	COUNTY FAULT ZONE					WMWD
386193014	WRCOG6B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
387202019	WRCOG6B-CORRECTLY ZONE	0.121	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386198027	WRCOG6B-CORRECTLY ZONE	0.213	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386193024	WRCOG6B-CORRECTLY ZONE	0.720	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
387202003	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383042055	WRCOG6B-CORRECTLY ZONE	0.146	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383102006	WRCOG6B-CORRECTLY ZONE	0.043	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383182008	WRCOG6B-CORRECTLY ZONE	0.223	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386154001	WRCOG6B-CORRECTLY ZONE	0.298	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
381272017	WRCOG6B-CORRECTLY ZONE	0.062	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
383101007	WRCOG6B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
449290030	WRCOG6B-CORRECTLY ZONE	0.108	MDR		2-5 DU/AC	R-1-12000	0	0	COUNTY					SGPWA
449280036	WRCOG6B-CORRECTLY ZONE	0.080	MDR		2-5 DU/AC	R-A	0	0	COUNTY					SGPWA
462020005	WRCOG6B-CORRECTLY ZONE	38.095	MDR		2-5 DU/AC	R-1	76	61	COUNTY					SGPWA
462214002	WRCOG6B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY					SGPWA
565180015	WRCOG6B-CORRECTLY ZONE	0.724	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
555460008	WRCOG6B-CORRECTLY ZONE	1.236	MDR		2-5 DU/AC	R-A-20000	2	2	COUNTY					SGPWA
565250004	WRCOG6B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
458351014	WRCOG6B-CORRECTLY ZONE	0.212	MDR		2-5 DU/AC	R-1	0	0	COUNTY					SGPWA
564195004	WRCOG6B-CORRECTLY ZONE	0.191	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
557230025	WRCOG6B-CORRECTLY ZONE	0.200	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
561151006	WRCOG6B-CORRECTLY ZONE	0.503	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
552033015	WRCOG6B-CORRECTLY ZONE	0.195	MDR		2-5 DU/AC	R-1	0	0	COUNTY					SGPWA
552283028	WRCOG6B-CORRECTLY ZONE	0.161	MDR		2-5 DU/AC	R-1	0	0	COUNTY					SGPWA
564051008	WRCOG6B-CORRECTLY ZONE	0.184	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
563075009	WRCOG6B-CORRECTLY ZONE	0.428	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
563282004	WRCOG6B-CORRECTLY ZONE	0.622	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
290611001	WRCOG6B-CORRECTLY ZONE	0.193	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
144440026	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-1	0	0	COUNTY				Zone D	WMWD
140320015	WRCOG6B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
135590006	WRCOG6B-CORRECTLY ZONE	0.009	MDR		2-5 DU/AC	R-1-10000	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				WMWD
247160055	WRCOG6B-CORRECTLY ZONE	0.662	MDR		2-5 DU/AC	R-1	1	1	COUNTY					WMWD
256062008	WRCOG6B-CORRECTLY ZONE	0.153	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
255250008	WRCOG6B-CORRECTLY ZONE	1.006	MDR		2-5 DU/AC	R-1	2	2	COUNTY					WMWD
387212016	WRCOG6B-CORRECTLY ZONE	0.187	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382044018	WRCOG6B-CORRECTLY ZONE	0.097	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383182002	WRCOG6B-CORRECTLY ZONE	0.213	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
381290015	WRCOG6B-CORRECTLY ZONEI	0.415	MDR		2-5 DU/AC	R-3	1	1						EMWD
383162012	WRCOG6B-CORRECTLY ZONEI	0.128	MDR		2-5 DU/AC	R-1	0	0						EMWD
388363011	WRCOG6B-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1	0	0						EMWD
448260018	WRCOG6B-CORRECTLY ZONEI	0.885	MDR		2-5 DU/AC	R-1	2	2						SGPWA
422606005	WRCOG6B-CORRECTLY ZONEI	10.524	MDR		2-5 DU/AC	R-1	21	17		AREAS OF FLOODING SENSITIVITY				SGPWA
462080009	WRCOG6B-CORRECTLY ZONEI	8.749	MDR		2-5 DU/AC	R-1	17	14		AREAS OF FLOODING SENSITIVITY				SGPWA
458352005	WRCOG6B-CORRECTLY ZONEI	0.197	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY	YES			SGPWA
463160015	WRCOG6B-CORRECTLY ZONEI	2.982	MDR		2-5 DU/AC	R-1	6	5						SGPWA
458341012	WRCOG6B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561131042	WRCOG6B-CORRECTLY ZONEI	0.128	MDR		2-5 DU/AC	R-3A	0	0						SGPWA
560162006	WRCOG6B-CORRECTLY ZONEI	0.042	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
564140034	WRCOG6B-CORRECTLY ZONEI	0.085	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
462200006	WRCOG6B-CORRECTLY ZONEI	0.165	MDR		2-5 DU/AC	R-1	0	0						SGPWA
469160011	WRCOG6B-CORRECTLY ZONEI	5.015	MDR		2-5 DU/AC	R-1-20000	18	14						SGPWA
144420002	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMWD
144450004	WRCOG6B-CORRECTLY ZONEI	0.197	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMWD
140360017	WRCOG6B-CORRECTLY ZONEI	0.363	MDR		2-5 DU/AC	R-1	1	1						WMWD
135530013	WRCOG6B-CORRECTLY ZONEI	0.249	MDR		2-5 DU/AC	R-1-10000	0	0						WMWD
135551005	WRCOG6B-CORRECTLY ZONEI	0.420	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
318292023	WRCOG6B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-1	0	0						WMWD
327450004	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383202006	WRCOG6B-CORRECTLY ZONEI	0.158	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
386193025	WRCOG6B-CORRECTLY ZONEI	0.250	MDR		2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					EMWD
383033005	WRCOG6B-CORRECTLY ZONEI	0.224	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462190010	WRCOG6B-CORRECTLY ZONEI	0.251	MDR		2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					SGPWA
457310021	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
459121060	WRCOG6B-CORRECTLY ZONEI	0.008	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
462213027	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
466591006	WRCOG6B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY	YES			SGPWA
457350008	WRCOG6B-CORRECTLY ZONEI	4.413	MDR		2-5 DU/AC	R-1	9	7						SGPWA
564187004	WRCOG6B-CORRECTLY ZONEI	0.341	MDR		2-5 DU/AC	R-1A-8000	1	1						SGPWA
565113010	WRCOG6B-CORRECTLY ZONEI	1.023	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
561152004	WRCOG6B-CORRECTLY ZONEI	0.498	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564222006	WRCOG6B-CORRECTLY ZONEI	0.277	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
567082006	WRCOG6B-CORRECTLY ZONEI	0.116	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561152002	WRCOG6B-CORRECTLY ZONEI	0.340	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
567102006	WRCOG6B-CORRECTLY ZONEI	0.255	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
565225018	WRCOG6B-CORRECTLY ZONED	0.203	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
560133002	WRCOG6B-CORRECTLY ZONED	0.377	MDR		2-5 DU/JAC	R-3A-20000	1	1	COUNTY					SGPWA
564071032	WRCOG6B-CORRECTLY ZONED	0.416	MDR		2-5 DU/JAC	R-1A-9000	1	1	COUNTY					SGPWA
566390004	WRCOG6B-CORRECTLY ZONED	4.307	MDR		2-5 DU/JAC	R-1	9	7	COUNTY					EMWD
462200005	WRCOG6B-CORRECTLY ZONED	0.165	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					SGPWA
567112010	WRCOG6B-CORRECTLY ZONED	0.961	MDR		2-5 DU/JAC	R-1A-9000	2	2	COUNTY					SGPWA
563274002	WRCOG6B-CORRECTLY ZONED	0.360	MDR		2-5 DU/JAC	R-1A-9000	1	1	COUNTY					SGPWA
308170016	WRCOG6B-CORRECTLY ZONED	0.195	MDR		2-5 DU/JAC	R-4-5	0	0	COUNTY					WMWD
327451032	WRCOG6B-CORRECTLY ZONED	0.175	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					WMWD
386151027	WRCOG6B-CORRECTLY ZONED	0.137	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
387252019	WRCOG6B-CORRECTLY ZONED	0.174	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
383115035	WRCOG6B-CORRECTLY ZONED	0.093	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
426060007	WRCOG6B-CORRECTLY ZONED	2.179	MDR		2-5 DU/JAC	R-1	4	3	COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
386151002	WRCOG6B-CORRECTLY ZONED	0.149	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
434260019	WRCOG6B-CORRECTLY ZONED	2.263	MDR		2-5 DU/JAC	R-3	5	4	COUNTY					SGPWA
462190008	WRCOG6B-CORRECTLY ZONED	0.228	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					SGPWA
462214004	WRCOG6B-CORRECTLY ZONED	0.166	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					SGPWA
462202022	WRCOG6B-CORRECTLY ZONED	0.178	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					SGPWA
458562004	WRCOG6B-CORRECTLY ZONED	0.190	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					SGPWA
561093006	WRCOG6B-CORRECTLY ZONED	0.205	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
559181011	WRCOG6B-CORRECTLY ZONED	0.504	MDR		2-5 DU/JAC	R-3A-20000	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
564240002	WRCOG6B-CORRECTLY ZONED	0.226	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
559158008	WRCOG6B-CORRECTLY ZONED	0.175	MDR		2-5 DU/JAC	R-3A-20000	0	0	COUNTY					SGPWA
561112011	WRCOG6B-CORRECTLY ZONED	0.501	MDR		2-5 DU/JAC	R-1A-9000	1	1	COUNTY					SGPWA
565124003	WRCOG6B-CORRECTLY ZONED	1.374	MDR		2-5 DU/JAC	R-1A-9000	3	2	COUNTY					SGPWA
308168004	WRCOG6B-CORRECTLY ZONED	0.120	MDR		2-5 DU/JAC	R-4-5	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY	YES			WMWD
383072032	WRCOG6B-CORRECTLY ZONED	0.173	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					WMWD
555460020	WRCOG6B-CORRECTLY ZONED	4.293	MDR		2-5 DU/JAC	R-1-20000	9	7	COUNTY					SGPWA
136400035	WRCOG6B-CORRECTLY ZONED	1.162	MDR		2-5 DU/JAC	R-1-8000	2	2	COUNTY					WMWD
135550004	WRCOG6B-CORRECTLY ZONED	0.326	MDR		2-5 DU/JAC	R-1-10000	1	1	COUNTY					WMWD
308170002	WRCOG6B-CORRECTLY ZONED	0.193	MDR		2-5 DU/JAC	R-4-5	0	0	COUNTY		YES			WMWD
327462007	WRCOG6B-CORRECTLY ZONED	0.172	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					WMWD
386195017	WRCOG6B-CORRECTLY ZONED	0.200	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386153001	WRCOG6B-CORRECTLY ZONED	0.131	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386153017	WRCOG6B-CORRECTLY ZONED	0.148	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386153007	WRCOG6B-CORRECTLY ZONED	0.149	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386153013	WRCOG6B-CORRECTLY ZONED	0.067	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

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383114020	WRCOG66B-CORRECTLY ZONEI	0.097 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386152017	WRCOG66B-CORRECTLY ZONEI	0.076 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387213017	WRCOG66B-CORRECTLY ZONEI	0.131 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
402040028	WRCOG66B-CORRECTLY ZONEI	2.028 MDR			2-5 DU/AC	R-1	4	4	3 FAULT ZONE					SGPWA
450080048	WRCOG66B-CORRECTLY ZONEI	5.298 MDR			2-5 DU/AC	R-1-10000	11	8	8					SGPWA
458362012	WRCOG66B-CORRECTLY ZONEI	0.182 MDR			2-5 DU/AC	R-1	0	0						SGPWA
450223039	WRCOG66B-CORRECTLY ZONEI	0.007 MDR			2-5 DU/AC	R-1	0	0						SGPWA
462202031	WRCOG66B-CORRECTLY ZONEI	0.212 MDR			2-5 DU/AC	R-1	0	0						SGPWA
463160014	WRCOG66B-CORRECTLY ZONEI	4.779 MDR			2-5 DU/AC	R-1	10	8		YES				SGPWA
462212004	WRCOG66B-CORRECTLY ZONEI	0.165 MDR			2-5 DU/AC	R-1	0	0						SGPWA
458362008	WRCOG66B-CORRECTLY ZONEI	0.183 MDR			2-5 DU/AC	R-1	0	0						SGPWA
563062012	WRCOG66B-CORRECTLY ZONEI	0.228 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563300004	WRCOG66B-CORRECTLY ZONEI	0.508 MDR			2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563213010	WRCOG66B-CORRECTLY ZONEI	0.049 MDR			2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567081009	WRCOG66B-CORRECTLY ZONEI	0.879 MDR			2-5 DU/AC	R-1A-9000	2	1						SGPWA
462213013	WRCOG66B-CORRECTLY ZONEI	0.215 MDR			2-5 DU/AC	R-1	0	0						SGPWA
965440008	WRCOG66B-CORRECTLY ZONEI	2.319 MDR			2-5 DU/AC	R-A-2 1/2	5	4						EMWD
382050032	WRCOG66B-CORRECTLY ZONEI	0.307 MDR			2-5 DU/AC	R-1A	1	0						EMWD
327451055	WRCOG66B-CORRECTLY ZONEI	0.174 MDR			2-5 DU/AC	R-1	0	0						WMWD
917260036	WRCOG66B-CORRECTLY ZONEI	1.911 MDR			2-5 DU/AC	R-1	4	3						EMWD
135540003	WRCOG66B-CORRECTLY ZONEI	0.753 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
140320016	WRCOG66B-CORRECTLY ZONEI	0.165 MDR			2-5 DU/AC	R-1	0	0						WMWD
255062017	WRCOG66B-CORRECTLY ZONEI	0.414 MDR			2-5 DU/AC	R-1	1	1						WMWD
255031018	WRCOG66B-CORRECTLY ZONEI	4.645 MDR			2-5 DU/AC	R-1	9	7						WMWD
327451003	WRCOG66B-CORRECTLY ZONEI	0.172 MDR			2-5 DU/AC	R-1	0	0						WMWD
318292030	WRCOG66B-CORRECTLY ZONEI	0.228 MDR			2-5 DU/AC	R-1	0	0						WMWD
327452007	WRCOG66B-CORRECTLY ZONEI	0.168 MDR			2-5 DU/AC	R-1	0	0	COUNTY					WMWD
371150005	WRCOG66B-CORRECTLY ZONEI	0.448 MDR			2-5 DU/AC	R-3	1	1	1 FAULT ZONE COUNTY					WMWD
386153022	WRCOG66B-CORRECTLY ZONEI	0.149 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383161010	WRCOG66B-CORRECTLY ZONEI	0.158 MDR			2-5 DU/AC	R-1	0	0						EMWD
386192010	WRCOG66B-CORRECTLY ZONEI	0.235 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387202004	WRCOG66B-CORRECTLY ZONEI	0.194 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386152020	WRCOG66B-CORRECTLY ZONEI	0.063 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387060004	WRCOG66B-CORRECTLY ZONEI	0.237 MDR			2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
408060005	WRCOG66B-CORRECTLY ZONEI	3.415 MDR			2-5 DU/AC	R-T	7	5		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

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462192003	WRCOG66B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-1	0	0						SGPWA
459362016	WRCOG66B-CORRECTLY ZONE	0.170	MDR		2-5 DU/AC	R-1	0	0						SGPWA
480060039	WRCOG66B-CORRECTLY ZONE	0.246	MDR		2-5 DU/AC	R-1	0	0						SGPWA
466391004	WRCOG66B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0			YES			SGPWA
549501038	WRCOG66B-CORRECTLY ZONE	0.053	MDR		2-5 DU/AC	R-1	0	0						SGPWA
565043019	WRCOG66B-CORRECTLY ZONE	0.048	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563082002	WRCOG66B-CORRECTLY ZONE	0.429	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
560133006	WRCOG66B-CORRECTLY ZONE	0.341	MDR		2-5 DU/AC	R-3A-20000	1	1						SGPWA
565242003	WRCOG66B-CORRECTLY ZONE	0.246	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
458372004	WRCOG66B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0						SGPWA
327451051	WRCOG66B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0						WMMWD
253260002	WRCOG66B-CORRECTLY ZONE	2.315	MDR		2-5 DU/AC	R-1	5	4						WMMWD
144501021	WRCOG66B-CORRECTLY ZONE	0.173	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMMWD
130740010	WRCOG66B-CORRECTLY ZONE	0.302	MDR		2-5 DU/AC	R-1	1	0						WMMWD
135530009	WRCOG66B-CORRECTLY ZONE	0.289	MDR		2-5 DU/AC	R-1-10000	1	0						WMMWD
327452013	WRCOG66B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0						WMMWD
327462010	WRCOG66B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0						WMMWD
318292033	WRCOG66B-CORRECTLY ZONE	0.201	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMMWD
386154011	WRCOG66B-CORRECTLY ZONE	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387180006	WRCOG66B-CORRECTLY ZONE	0.271	MDR		2-5 DU/AC	R-1	1	0	COUNTY					EMWD
381290004	WRCOG66B-CORRECTLY ZONE	5.801	MDR		2-5 DU/AC	R-3	12	9	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386201001	WRCOG66B-CORRECTLY ZONE	0.217	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383081040	WRCOG66B-CORRECTLY ZONE	0.252	MDR		2-5 DU/AC	R-1	1	0	COUNTY					EMWD
383162003	WRCOG66B-CORRECTLY ZONE	0.130	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
447091042	WRCOG66B-CORRECTLY ZONE	0.039	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383033016	WRCOG66B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY					SGPWA
466391039	WRCOG66B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY		YES			EMWD
466391028	WRCOG66B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY		YES			SGPWA
466591029	WRCOG66B-CORRECTLY ZONE	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY		YES			SGPWA
447280047	WRCOG66B-CORRECTLY ZONE	3.512	MDR		2-5 DU/AC	R-1	7	6	COUNTY		YES			SGPWA
457220039	WRCOG66B-CORRECTLY ZONE	0.302	MDR		2-5 DU/AC	R-1	1	0	COUNTY					SGPWA
466391034	WRCOG66B-CORRECTLY ZONE	0.348	MDR		2-5 DU/AC	R-1	1	1	COUNTY		YES			SGPWA
537203001	WRCOG66B-CORRECTLY ZONE	0.376	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
561062002	WRCOG66B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
563075004	WRCOG66B-CORRECTLY ZONE	0.409	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
565242002	WRCOG66B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
563242011	WRCOG66B-CORRECTLY ZONE	0.325	MDR		2-5 DU/AC	R-3A	1	1	COUNTY					SGPWA
561220008	WRCOG66B-CORRECTLY ZONE	0.457	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
565252014	WRCOG66B-CORRECTLY ZONE	0.204	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
548131004	WRCOG66B-CORRECTLY ZONE	0.916	MDR		2-5 DU/AC	R-D	2	1	COUNTY					SGPWA
561121038	WRCOG66B-CORRECTLY ZONE	0.130	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA

Housing Element Appendix A - Housing Inventory List

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386160004	WRCOG6B-CORRECTLY ZONE	73.655 MDR			2-5 DU/AC	R-1	147	118	FAULT ZONE					EMWD
557201015	WRCOG6B-CORRECTLY ZONE	0.539 MDR			2-5 DU/AC	R-1A-9000	1	1	FAULT ZONE					SGPWA
115243013	WRCOG6B-CORRECTLY ZONE	0.201 MDR			2-5 DU/AC	R-2	0	0						WMWD
563044006	WRCOG6B-CORRECTLY ZONE	0.061 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
136030011	WRCOG6B-CORRECTLY ZONE	0.045 MDR			2-5 DU/AC	R-1	0	0						WMWD
383072022	WRCOG6B-CORRECTLY ZONE	0.090 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
144600053	WRCOG6B-CORRECTLY ZONE	0.183 MDR			2-5 DU/AC	R-1	0	0					Zone D	WMWD
140360002	WRCOG6B-CORRECTLY ZONE	0.236 MDR			2-5 DU/AC	R-1	0	0						WMWD
135204005	WRCOG6B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0						WMWD
297034013	WRCOG6B-CORRECTLY ZONE	0.186 MDR			2-5 DU/AC	R-A	0	0						WMWD
382022024	WRCOG6B-CORRECTLY ZONE	0.097 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383115034	WRCOG6B-CORRECTLY ZONE	0.092 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383125032	WRCOG6B-CORRECTLY ZONE	0.098 MDR			2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
381071040	WRCOG6B-CORRECTLY ZONE	0.080 MDR			2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
383183024	WRCOG6B-CORRECTLY ZONE	0.193 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
408070009	WRCOG6B-CORRECTLY ZONE	0.083 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
383103004	WRCOG6B-CORRECTLY ZONE	0.089 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
465020004	WRCOG6B-CORRECTLY ZONE	10.542 MDR			2-5 DU/AC	R-T-20000	21	17						EMWD
447121002	WRCOG6B-CORRECTLY ZONE	0.029 MDR			2-5 DU/AC	R-1	0	0						EMWD
462020010	WRCOG6B-CORRECTLY ZONE	39.865 MDR			2-5 DU/AC	R-1	80	64		AREAS OF FLOODING SENSITIVITY				EMWD
466383001	WRCOG6B-CORRECTLY ZONE	1.476 MDR			2-5 DU/AC	R-1	3	2						EMWD
458350003	WRCOG6B-CORRECTLY ZONE	0.204 MDR			2-5 DU/AC	R-1	0	0						EMWD
462211007	WRCOG6B-CORRECTLY ZONE	0.225 MDR			2-5 DU/AC	R-1	0	0						EMWD
462191017	WRCOG6B-CORRECTLY ZONE	1.015 MDR			2-5 DU/AC	R-1	2	2						EMWD
462213009	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0						EMWD
561161003	WRCOG6B-CORRECTLY ZONE	0.155 MDR			2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565051015	WRCOG6B-CORRECTLY ZONE	0.543 MDR			2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
567092005	WRCOG6B-CORRECTLY ZONE	0.227 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563241017	WRCOG6B-CORRECTLY ZONE	1.222 MDR			2-5 DU/AC	R-1A-9000	2	2						SGPWA
308160009	WRCOG6B-CORRECTLY ZONE	0.073 MDR			2-5 DU/AC	R-A-5	0	0			YES			WMWD
383076013	WRCOG6B-CORRECTLY ZONE	0.113 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383072018	WRCOG6B-CORRECTLY ZONE	0.095 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
327451050	WRCOG6B-CORRECTLY ZONE	0.175 MDR			2-5 DU/AC	R-1	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

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144450008	WRCO66B-CORRECTLY ZONED	0.193	MDR		2-5 DU/JAC	R-1	0	0	COUNTY				Zone D	WMWD
386191007	WRCO66B-CORRECTLY ZONED	0.202	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					EMWD
386202003	WRCO66B-CORRECTLY ZONED	0.221	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					EMWD
386201016	WRCO66B-CORRECTLY ZONED	0.215	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386150019	WRCO66B-CORRECTLY ZONED	0.163	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					EMWD
383162008	WRCO66B-CORRECTLY ZONED	0.129	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					EMWD
386210005	WRCO66B-CORRECTLY ZONED	0.211	MDR		2-5 DU/JAC	R-1	0	0						EMWD
459200020	WRCO66B-CORRECTLY ZONED	0.898	MDR		2-5 DU/JAC	R-1	2	1						EMWD
462202019	WRCO66B-CORRECTLY ZONED	0.186	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458352003	WRCO66B-CORRECTLY ZONED	0.174	MDR		2-5 DU/JAC	R-1	0	0						EMWD
462202026	WRCO66B-CORRECTLY ZONED	0.210	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458352012	WRCO66B-CORRECTLY ZONED	0.211	MDR		2-5 DU/JAC	R-1	0	0						EMWD
561112019	WRCO66B-CORRECTLY ZONED	0.523	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
565034003	WRCO66B-CORRECTLY ZONED	1.186	MDR		2-5 DU/JAC	R-1A-9000	2	2						SGPWA
565052003	WRCO66B-CORRECTLY ZONED	0.201	MDR		2-5 DU/JAC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561102010	WRCO66B-CORRECTLY ZONED	0.458	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
564161005	WRCO66B-CORRECTLY ZONED	0.607	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
561204002	WRCO66B-CORRECTLY ZONED	0.256	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
560162003	WRCO66B-CORRECTLY ZONED	0.342	MDR		2-5 DU/JAC	R-3A-20000	1	1						SGPWA
564111024	WRCO66B-CORRECTLY ZONED	0.479	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
327451046	WRCO66B-CORRECTLY ZONED	0.175	MDR		2-5 DU/JAC	R-1	0	0						WMWD
135050033	WRCO66B-CORRECTLY ZONED	0.142	MDR		2-5 DU/JAC	R-1	0	0						WMWD
387060047	WRCO66B-CORRECTLY ZONED	0.391	MDR		2-5 DU/JAC	R-1	1	1	COUNTY					EMWD
381064023	WRCO66B-CORRECTLY ZONED	0.046	MDR		2-5 DU/JAC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
386192013	WRCO66B-CORRECTLY ZONED	0.244	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
383115018	WRCO66B-CORRECTLY ZONED	0.095	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386193018	WRCO66B-CORRECTLY ZONED	0.207	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
449203005	WRCO66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					EMWD
458341006	WRCO66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
466391013	WRCO66B-CORRECTLY ZONED	0.214	MDR		2-5 DU/JAC	R-1	0	0			YES			EMWD
462214008	WRCO66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/JAC	R-1	0	0						EMWD
561151036	WRCO66B-CORRECTLY ZONED	0.081	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
563172006	WRCO66B-CORRECTLY ZONED	0.149	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
561122018	WRCO66B-CORRECTLY ZONED	0.149	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
561123016	WRCO66B-CORRECTLY ZONED	0.140	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
564112016	WRCO66B-CORRECTLY ZONED	0.191	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
564201007	WRCO66B-CORRECTLY ZONED	0.575	MDR		2-5 DU/AC	R-1A-9000	1	1		FLOODING SENSITIVITY				SGPWA
561092013	WRCO66B-CORRECTLY ZONED	0.240	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565231010	WRCO66B-CORRECTLY ZONED	0.146	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
308140003	WRCO66B-CORRECTLY ZONED	15.054	MDR		2-5 DU/AC	R-A-5	30	24			YES			WMWD
462213010	WRCO66B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
383210016	WRCO66B-CORRECTLY ZONED	0.319	MDR		2-5 DU/AC	R-3	1	1	COUNTY FAULT ZONE					EMWD
270320078	WRCO66B-CORRECTLY ZONED	0.640	MDR		2-5 DU/AC	R-1	1	1						WMWD
140560016	WRCO66B-CORRECTLY ZONED	0.281	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
247160051	WRCO66B-CORRECTLY ZONED	0.012	MDR		2-5 DU/AC	R-1	0	0						WMWD
247072006	WRCO66B-CORRECTLY ZONED	0.217	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				WMWD
309290039	WRCO66B-CORRECTLY ZONED	4.896	MDR		2-5 DU/AC	R-1	10	8						WMWD
307120002	WRCO66B-CORRECTLY ZONED	72.815	MDR		2-5 DU/AC	R-A-5	146	117						WMWD
318292008	WRCO66B-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0						WMWD
386190009	WRCO66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381282012	WRCO66B-CORRECTLY ZONED	0.151	MDR		2-5 DU/AC	R-3	0	0						EMWD
381290012	WRCO66B-CORRECTLY ZONED	0.404	MDR		2-5 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
383081009	WRCO66B-CORRECTLY ZONED	0.076	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381248001	WRCO66B-CORRECTLY ZONED	0.103	MDR		2-5 DU/AC	R-3	0	0		FLOODING SENSITIVITY				EMWD
466930033	WRCO66B-CORRECTLY ZONED	0.314	MDR		2-5 DU/AC	R-1	1	1			YES			EMWD
463160010	WRCO66B-CORRECTLY ZONED	4.765	MDR		2-5 DU/AC	R-1	10	8						EMWD
462060017	WRCO66B-CORRECTLY ZONED	16.824	MDR		2-5 DU/AC	R-1	34	27		AREAS OF FLOODING SENSITIVITY	YES			EMWD
458350010	WRCO66B-CORRECTLY ZONED	0.251	MDR		2-5 DU/AC	R-1	1	0						EMWD
458351004	WRCO66B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1	0	0						EMWD
458352013	WRCO66B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD
458372018	WRCO66B-CORRECTLY ZONED	0.222	MDR		2-5 DU/AC	R-1	0	0						EMWD
565043011	WRCO66B-CORRECTLY ZONED	0.279	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
564202004	WRCO66B-CORRECTLY ZONED	0.517	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561141013	WRCO66B-CORRECTLY ZONED	0.107	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
549400005	WRCO66B-CORRECTLY ZONED	0.201	MDR		2-5 DU/AC	R-1	0	0						SGPWA
563122015	WRCO66B-CORRECTLY ZONED	0.132	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
966430010	WRCO66B-CORRECTLY ZONED	0.279	MDR		2-5 DU/AC	R-1A-9000	1	1			YES			EMWD
560150032	WRCO66B-CORRECTLY ZONED	0.219	MDR		2-5 DU/AC	R-3A-20000	0	0						WMWD

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383075004	WRCO66B-CORRECTLY ZONE	0.166	MDR		2-5 DU/JAC	R-1	0	0						EMWD
383072023	WRCO66B-CORRECTLY ZONE	0.090	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
469160010	WRCO66B-CORRECTLY ZONE	14.342	MDR		2-5 DU/JAC	R-1-20000	29	23		AREAS OF FLOODING SENSITIVITY				EMWD
115252027	WRCO66B-CORRECTLY ZONE	0.219	MDR		2-5 DU/JAC	R-1	0	0						WMWD
140361003	WRCO66B-CORRECTLY ZONE	2.60	MDR		2-5 DU/JAC	R-1	1	1						WMWD
283310043	WRCO66B-CORRECTLY ZONE	2.942	MDR		2-5 DU/JAC	R-1	6	5						WMWD
308170012	WRCO66B-CORRECTLY ZONE	0.192	MDR		2-5 DU/JAC	R-A-5	0	0						WMWD
327465002	WRCO66B-CORRECTLY ZONE	0.174	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					WMWD
387252004	WRCO66B-CORRECTLY ZONE	0.036	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
386193011	WRCO66B-CORRECTLY ZONE	0.170	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
388290020	WRCO66B-CORRECTLY ZONE	0.718	MDR		2-5 DU/JAC	R-1	1	1	0 FAULT ZONE					EMWD
402040023	WRCO66B-CORRECTLY ZONE	1.397	MDR		2-5 DU/JAC	R-1	3	2	COUNTY					EMWD
462020036	WRCO66B-CORRECTLY ZONE	4.995	MDR		2-5 DU/JAC	R-1	10	8	2 FAULT ZONE					EMWD
458341003	WRCO66B-CORRECTLY ZONE	0.171	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458340051	WRCO66B-CORRECTLY ZONE	0.120	MDR		2-5 DU/JAC	R-5	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
548132003	WRCO66B-CORRECTLY ZONE	0.195	MDR		2-5 DU/JAC	R-D	0	0		FLOODING SENSITIVITY				EMWD
564061004	WRCO66B-CORRECTLY ZONE	0.167	MDR		2-5 DU/JAC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567082011	WRCO66B-CORRECTLY ZONE	0.274	MDR		2-5 DU/JAC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
56323016	WRCO66B-CORRECTLY ZONE	0.280	MDR		2-5 DU/JAC	R-3A	1	0		FLOODING SENSITIVITY				SGPWA
561201008	WRCO66B-CORRECTLY ZONE	0.853	MDR		2-5 DU/JAC	R-1A-9000	2	1						SGPWA
567092003	WRCO66B-CORRECTLY ZONE	0.106	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
560135003	WRCO66B-CORRECTLY ZONE	0.286	MDR		2-5 DU/JAC	R-3A-20000	1	0						SGPWA
164600010	WRCO66B-CORRECTLY ZONE	0.180	MDR		2-5 DU/JAC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
144381003	WRCO66B-CORRECTLY ZONE	0.352	MDR		2-5 DU/JAC	R-4	1	1					Zone D	WMWD
567112018	WRCO66B-CORRECTLY ZONE	0.287	MDR		2-5 DU/JAC	R-1A-8000	1	0						WMWD
135530006	WRCO66B-CORRECTLY ZONE	0.269	MDR		2-5 DU/JAC	R-1-10000	1	0						SGPWA
327451004	WRCO66B-CORRECTLY ZONE	0.172	MDR		2-5 DU/JAC	R-1	0	0						WMWD
386190007	WRCO66B-CORRECTLY ZONE	0.167	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
386151033	WRCO66B-CORRECTLY ZONE	0.143	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
327461005	WRCO66B-CORRECTLY ZONE	0.177	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					WMWD
386193023	WRCO66B-CORRECTLY ZONE	0.339	MDR		2-5 DU/JAC	R-1	1	1	COUNTY					EMWD
381063010	WRCO66B-CORRECTLY ZONE	0.069	MDR		2-5 DU/JAC	R-3	0	0	1 FAULT ZONE					EMWD
381071014	WRCO66B-CORRECTLY ZONE	0.079	MDR		2-5 DU/JAC	R-3	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

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383063005	WRCOG6B-CORRECTLY ZONE	0.167	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
3830641025	WRCOG6B-CORRECTLY ZONE	0.145	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
387221003	WRCOG6B-CORRECTLY ZONE	0.133	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
387180001	WRCOG6B-CORRECTLY ZONE	13.644	MDR		2.5 DU/AC	R-1	27	22	FAULT ZONE					EMWD
402030025	WRCOG6B-CORRECTLY ZONE	0.199	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
408050017	WRCOG6B-CORRECTLY ZONE	4.942	MDR		2.5 DU/AC	R-T	10	8		AREAS OF FLOODING SENSITIVITY				EMWD
408050005	WRCOG6B-CORRECTLY ZONE	0.229	MDR		2.5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462190001	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
465040013	WRCOG6B-CORRECTLY ZONE	29.076	MDR		2.5 DU/AC	R-1-20000	58	47		AREAS OF FLOODING SENSITIVITY	YES			EMWD
553190007	WRCOG6B-CORRECTLY ZONE	0.284	MDR		2.5 DU/AC	R-1	1	0						SGPWA
458352001	WRCOG6B-CORRECTLY ZONE	0.185	MDR		2.5 DU/AC	R-1	0	0						EMWD
565034022	WRCOG6B-CORRECTLY ZONE	0.415	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565091003	WRCOG6B-CORRECTLY ZONE	0.422	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563191003	WRCOG6B-CORRECTLY ZONE	0.274	MDR		2.5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
548070028	WRCOG6B-CORRECTLY ZONE	5.906	MDR		2.5 DU/AC	R-T	12	9		AREAS OF FLOODING SENSITIVITY				SGPWA
561162004	WRCOG6B-CORRECTLY ZONE	0.216	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564171003	WRCOG6B-CORRECTLY ZONE	0.348	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
562320004	WRCOG6B-CORRECTLY ZONE	0.478	MDR		2.5 DU/AC	R-3A	1	1						SGPWA
136120013	WRCOG6B-CORRECTLY ZONE	2.350	MDR		2.5 DU/AC	R-1-20000	5	4						WMWD
318281026	WRCOG6B-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY	YES			WMWD
327452005	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2.5 DU/AC	R-1	0	0						WMWD
308170019	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2.5 DU/AC	R-A-5	0	0						WMWD
327451023	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2.5 DU/AC	R-1	0	0						WMWD
371250014	WRCOG6B-CORRECTLY ZONE	0.184	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
388371012	WRCOG6B-CORRECTLY ZONE	0.253	MDR		2.5 DU/AC	R-1	1	0	FAULT ZONE					EMWD
386202006	WRCOG6B-CORRECTLY ZONE	0.368	MDR		2.5 DU/AC	R-1	1	1	COUNTY					EMWD
386203001	WRCOG6B-CORRECTLY ZONE	0.288	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381152022	WRCOG6B-CORRECTLY ZONE	0.092	MDR		2.5 DU/AC	R-3	0	0						EMWD
383182011	WRCOG6B-CORRECTLY ZONE	0.274	MDR		2.5 DU/AC	R-1	1	0	COUNTY					EMWD
386173002	WRCOG6B-CORRECTLY ZONE	0.194	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD

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383091001	WRCOG6B-CORRECTLY ZONEI	0.105	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462210004	WRCOG6B-CORRECTLY ZONEI	0.241	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458350009	WRCOG6B-CORRECTLY ZONEI	0.245	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
560101015	WRCOG6B-CORRECTLY ZONEI	0.462	MDR		2-5 DU/AC	R-3A-20000	1	1	1	AREAS OF FLOODING SENSITIVITY				SGPWA
561122011	WRCOG6B-CORRECTLY ZONEI	0.152	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
559162004	WRCOG6B-CORRECTLY ZONEI	0.207	MDR		2-5 DU/AC	R-3A-20000	0	0	0					SGPWA
557230010	WRCOG6B-CORRECTLY ZONEI	0.219	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
560150036	WRCOG6B-CORRECTLY ZONEI	0.395	MDR		2-5 DU/AC	R-3A-20000	1	1	1					SGPWA
327451031	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
102083015	WRCOG6B-CORRECTLY ZONEI	0.373	MDR		2-5 DU/AC	R-1	1	1	1	ELSNORE				WMWD
247052003	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
383103006	WRCOG6B-CORRECTLY ZONEI	0.099	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
386151038	WRCOG6B-CORRECTLY ZONEI	0.071	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
387213018	WRCOG6B-CORRECTLY ZONEI	0.056	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
386151025	WRCOG6B-CORRECTLY ZONEI	0.139	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
402060016	WRCOG6B-CORRECTLY ZONEI	0.044	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
371250035	WRCOG6B-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
386192008	WRCOG6B-CORRECTLY ZONEI	0.234	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
386192018	WRCOG6B-CORRECTLY ZONEI	0.239	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
383173012	WRCOG6B-CORRECTLY ZONEI	0.188	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
457311017	WRCOG6B-CORRECTLY ZONEI	0.230	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
466931026	WRCOG6B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
449221014	WRCOG6B-CORRECTLY ZONEI	0.207	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY	YES			EMWD
447220064	WRCOG6B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462191009	WRCOG6B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
457310017	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
458360009	WRCOG6B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458362018	WRCOG6B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458372010	WRCOG6B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD

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563250006	WRCOG68B-CORRECTLY ZONE	0.232	MDR		2.5 DU/AC	R-3A	0	0						SGPWA
565044014	WRCOG68B-CORRECTLY ZONE	0.068	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
565192001	WRCOG68B-CORRECTLY ZONE	0.573	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
561121032	WRCOG68B-CORRECTLY ZONE	0.181	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
563282002	WRCOG68B-CORRECTLY ZONE	0.496	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
559159011	WRCOG68B-CORRECTLY ZONE	0.192	MDR		2.5 DU/AC	R-3A-20000	0	0						SGPWA
565180018	WRCOG68B-CORRECTLY ZONE	0.667	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
565041011	WRCOG68B-CORRECTLY ZONE	0.120	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
327451006	WRCOG68B-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
386199020	WRCOG68B-CORRECTLY ZONE	0.215	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
403042021	WRCOG68B-CORRECTLY ZONE	0.043	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
381290010	WRCOG68B-CORRECTLY ZONE	0.450	MDR		2.5 DU/AC	R-3	1	1	COUNTY					EMWD
381272013	WRCOG68B-CORRECTLY ZONE	0.096	MDR		2.5 DU/AC	R-3	0	0	COUNTY					EMWD
383105031	WRCOG68B-CORRECTLY ZONE	0.098	MDR		2.5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386143021	WRCOG68B-CORRECTLY ZONE	0.155	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
383193026	WRCOG68B-CORRECTLY ZONE	0.089	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
386151013	WRCOG68B-CORRECTLY ZONE	0.149	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
383105027	WRCOG68B-CORRECTLY ZONE	0.182	MDR		2.5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
462213022	WRCOG68B-CORRECTLY ZONE	0.304	MDR		2.5 DU/AC	R-1	1	1	COUNTY					EMWD
458562013	WRCOG68B-CORRECTLY ZONE	0.184	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
462192014	WRCOG68B-CORRECTLY ZONE	0.168	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
466391002	WRCOG68B-CORRECTLY ZONE	0.189	MDR		2.5 DU/AC	R-1	0	0	COUNTY		YES			EMWD
458351003	WRCOG68B-CORRECTLY ZONE	0.182	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
561191022	WRCOG68B-CORRECTLY ZONE	0.364	MDR		2.5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
563232008	WRCOG68B-CORRECTLY ZONE	0.279	MDR		2.5 DU/AC	R-3A	1	1	COUNTY					SGPWA
561093016	WRCOG68B-CORRECTLY ZONE	0.164	MDR		2.5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
555080019	WRCOG68B-CORRECTLY ZONE	1.441	MDR		2.5 DU/AC	R-1	3	2	COUNTY					SGPWA
564062015	WRCOG68B-CORRECTLY ZONE	1.256	MDR		2.5 DU/AC	R-1A-9000	3	2	COUNTY					SGPWA
564140017	WRCOG68B-CORRECTLY ZONE	0.240	MDR		2.5 DU/AC	R-1A-9000	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				SGPWA
383071013	WRCOG68B-CORRECTLY ZONE	0.186	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
563131012	WRCOG68B-CORRECTLY ZONE	0.403	MDR		2.5 DU/AC	R-1A-9000	1	1	COUNTY					SGPWA
563100009	WRCOG68B-CORRECTLY ZONE	0.597	MDR		2.5 DU/AC	R-3A	1	1	COUNTY					SGPWA
135050019	WRCOG68B-CORRECTLY ZONE	0.080	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
256110024	WRCOG68B-CORRECTLY ZONE	0.369	MDR		2.5 DU/AC	R-1	1	1	COUNTY					WMWD
256072005	WRCOG68B-CORRECTLY ZONE	0.400	MDR		2.5 DU/AC	R-1	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				WMWD
383091025	WRCOG68B-CORRECTLY ZONE	0.068	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

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386195001	WRCOG6B-CORRECTLY ZONED	0.233	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386203009	WRCOG6B-CORRECTLY ZONED	0.302	MDR		2.5 DU/AC	R-1	1	0	0 FAULT ZONE					EMWD
386200005	WRCOG6B-CORRECTLY ZONED	0.228	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
387212008	WRCOG6B-CORRECTLY ZONED	0.192	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386210030	WRCOG6B-CORRECTLY ZONED	0.238	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
382041001	WRCOG6B-CORRECTLY ZONED	0.067	MDR		2.5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
386192016	WRCOG6B-CORRECTLY ZONED	0.244	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
387202022	WRCOG6B-CORRECTLY ZONED	0.120	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
381282020	WRCOG6B-CORRECTLY ZONED	0.285	MDR		2.5 DU/AC	R-3	1	0	0 FAULT ZONE					EMWD
462210014	WRCOG6B-CORRECTLY ZONED	0.201	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
476090005	WRCOG6B-CORRECTLY ZONED	3.893	MDR		2.5 DU/AC	R-5	8	6		AREAS OF FLOODING SENSITIVITY				EMWD
458350004	WRCOG6B-CORRECTLY ZONED	0.206	MDR		2.5 DU/AC	R-1	0	0						EMWD
458350005	WRCOG6B-CORRECTLY ZONED	0.463	MDR		2.5 DU/AC	R-1-20000	1	1						EMWD
462192005	WRCOG6B-CORRECTLY ZONED	0.210	MDR		2.5 DU/AC	R-1	0	0						EMWD
563062019	WRCOG6B-CORRECTLY ZONED	0.006	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
565022003	WRCOG6B-CORRECTLY ZONED	0.388	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
561142031	WRCOG6B-CORRECTLY ZONED	0.207	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
565233026	WRCOG6B-CORRECTLY ZONED	0.607	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
560150037	WRCOG6B-CORRECTLY ZONED	0.219	MDR		2.5 DU/AC	R-3A-20000	0	0						SGPWA
382050025	WRCOG6B-CORRECTLY ZONED	0.526	MDR		2.5 DU/AC	R-1A	1	1						EMWD
458351020	WRCOG6B-CORRECTLY ZONED	0.466	MDR		2.5 DU/AC	R-1-20000	1	1						EMWD
327451054	WRCOG6B-CORRECTLY ZONED	0.174	MDR		2.5 DU/AC	R-1	0	0						EMWD
555470005	WRCOG6B-CORRECTLY ZONED	4.136	MDR		2.5 DU/AC	R-1-20000	8	7						SGPWA
563235009	WRCOG6B-CORRECTLY ZONED	0.268	MDR		2.5 DU/AC	R-3A	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
164621020	WRCOG6B-CORRECTLY ZONED	0.165	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
130730012	WRCOG6B-CORRECTLY ZONED	0.167	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
476270013	WRCOG6B-CORRECTLY ZONED	2.029	MDR		2.5 DU/AC	R-A-2 1/2	4	3		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
140351024	WRCOG6B-CORRECTLY ZONED	0.201	MDR		2.5 DU/AC	R-1	0	0						WMWD
327462006	WRCOG6B-CORRECTLY ZONED	0.172	MDR		2.5 DU/AC	R-1	0	0						WMWD
386191006	WRCOG6B-CORRECTLY ZONED	0.272	MDR		2.5 DU/AC	R-1	1	0	COUNTY					EMWD
387092034	WRCOG6B-CORRECTLY ZONED	0.073	MDR		2.5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
386153017	WRCOG6B-CORRECTLY ZONED	0.154	MDR		2.5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
381174015	WRCOG6B-CORRECTLY ZONED	0.032	MDR		2.5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
387212078	WRCOG6B-CORRECTLY ZONED	0.327	MDR		2.5 DU/AC	R-1	1	1	0 FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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447290063	WRCOG6B-CORRECTLY ZONE	0.056	MDR		2.5 DU/AC	R-1	0	0						EMWD
462202041	WRCOG6B-CORRECTLY ZONE	0.254	MDR		2.5 DU/AC	R-1	1	0						EMWD
462192013	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462050010	WRCOG6B-CORRECTLY ZONE	4.564	MDR		2.5 DU/AC	R-1	9	7		AREAS OF FLOODING SENSITIVITY	YES			EMWD
462202010	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2.5 DU/AC	R-1	0	0						EMWD
466590001	WRCOG6B-CORRECTLY ZONE	0.174	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
457350012	WRCOG6B-CORRECTLY ZONE	0.484	MDR		2.5 DU/AC	R-1	1	1						EMWD
462202047	WRCOG6B-CORRECTLY ZONE	0.171	MDR		2.5 DU/AC	R-1	0	0						EMWD
449323019	WRCOG6B-CORRECTLY ZONE	4.151	MDR		2.5 DU/AC	R-1	8	7		AREAS OF FLOODING SENSITIVITY				EMWD
563122011	WRCOG6B-CORRECTLY ZONE	0.161	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564103011	WRCOG6B-CORRECTLY ZONE	0.112	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
565045011	WRCOG6B-CORRECTLY ZONE	0.377	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
562249013	WRCOG6B-CORRECTLY ZONE	0.043	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564051007	WRCOG6B-CORRECTLY ZONE	0.192	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564093020	WRCOG6B-CORRECTLY ZONE	0.225	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
557290026	WRCOG6B-CORRECTLY ZONE	0.199	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564020004	WRCOG6B-CORRECTLY ZONE	0.370	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
565162003	WRCOG6B-CORRECTLY ZONE	0.411	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
564162004	WRCOG6B-CORRECTLY ZONE	0.420	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
565162015	WRCOG6B-CORRECTLY ZONE	0.246	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
383074002	WRCOG6B-CORRECTLY ZONE	0.136	MDR		2.5 DU/AC	R-1	0	0						EMWD
458351010	WRCOG6B-CORRECTLY ZONE	0.481	MDR		2.5 DU/AC	R-1-20000	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
383093023	WRCOG6B-CORRECTLY ZONE	0.249	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
144731007	WRCOG6B-CORRECTLY ZONE	0.288	MDR		2.5 DU/AC	R-1	1	0					Zone D	WMWD
144752007	WRCOG6B-CORRECTLY ZONE	0.165	MDR		2.5 DU/AC	R-1	0	0					Zone D	WMWD
476270016	WRCOG6B-CORRECTLY ZONE	2.244	MDR		2.5 DU/AC	R-A-2 1/2	4	4		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
140351013	WRCOG6B-CORRECTLY ZONE	0.305	MDR		2.5 DU/AC	R-1	1	0						WMWD
283310001	WRCOG6B-CORRECTLY ZONE	0.688	MDR		2.5 DU/AC	R-1	1	1						EMWD
270350066	WRCOG6B-CORRECTLY ZONE	0.013	MDR		2.5 DU/AC	R-1	0	0						WMWD
308150003	WRCOG6B-CORRECTLY ZONE	5.139	MDR		2.5 DU/AC	R-A-5	10	8		AREAS OF FLOODING SENSITIVITY	YES			WMWD
383194005	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381282023	WRCOG6B-CORRECTLY ZONE	0.077	MDR		2.5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
381271007	WRCOG6B-CORRECTLY ZONE	0.079	MDR		2.5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
402412036	WRCOG6B-CORRECTLY ZONE	0.832	MDR		2.5 DU/AC	R-T	2	1		AREAS OF FLOODING SENSITIVITY				EMWD



Housing Element Appendix A - Housing Inventory List

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386190013	WRCOG68-CORRECTLY ZONEI	0.230	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
387193010	WRCOG68-CORRECTLY ZONEI	0.207	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
386152019	WRCOG68-CORRECTLY ZONEI	0.143	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
462193003	WRCOG68-CORRECTLY ZONEI	0.169	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
585122004	WRCOG68-CORRECTLY ZONEI	0.159	MDR		2-5 DU/JAC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
559157001	WRCOG68-CORRECTLY ZONEI	0.146	MDR		2-5 DU/JAC	R-3A-20000	0	0	0 FAULT ZONE					SGPWA
561181023	WRCOG68-CORRECTLY ZONEI	0.036	MDR		2-5 DU/JAC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
564104008	WRCOG68-CORRECTLY ZONEI	0.189	MDR		2-5 DU/JAC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
585241009	WRCOG68-CORRECTLY ZONEI	0.350	MDR		2-5 DU/JAC	R-1A-9000	1	1	0 FAULT ZONE					SGPWA
561122013	WRCOG68-CORRECTLY ZONEI	0.241	MDR		2-5 DU/JAC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
583221001	WRCOG68-CORRECTLY ZONEI	0.611	MDR		2-5 DU/JAC	R-3A	1	1	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564071043	WRCOG68-CORRECTLY ZONEI	0.313	MDR		2-5 DU/JAC	R-1A-9000	1	1	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
164611050	WRCOG68-CORRECTLY ZONEI	0.175	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					WMWD
144600078	WRCOG68-CORRECTLY ZONEI	0.188	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE				Zone D	WMWD
135540002	WRCOG68-CORRECTLY ZONEI	0.629	MDR		2-5 DU/JAC	R-1-10000	1	1	0 FAULT ZONE					WMWD
256072013	WRCOG68-CORRECTLY ZONEI	0.294	MDR		2-5 DU/JAC	R-1	1	1	0 FAULT ZONE					WMWD
308190006	WRCOG68-CORRECTLY ZONEI	0.160	MDR		2-5 DU/JAC	R-A-5	0	0	0 FAULT ZONE	YES				WMWD
327451040	WRCOG68-CORRECTLY ZONEI	0.185	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					WMWD
327451047	WRCOG68-CORRECTLY ZONEI	0.175	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					WMWD
318292029	WRCOG68-CORRECTLY ZONEI	0.480	MDR		2-5 DU/JAC	R-1	1	1	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
386151040	WRCOG68-CORRECTLY ZONEI	0.068	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
386193009	WRCOG68-CORRECTLY ZONEI	0.188	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
386200004	WRCOG68-CORRECTLY ZONEI	0.247	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
386192007	WRCOG68-CORRECTLY ZONEI	0.227	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
459140007	WRCOG68-CORRECTLY ZONEI	0.062	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
581171033	WRCOG68-CORRECTLY ZONEI	0.038	MDR		2-5 DU/JAC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
561111021	WRCOG68-CORRECTLY ZONEI	0.457	MDR		2-5 DU/JAC	R-1A-9000	1	1	0 FAULT ZONE					SGPWA
565192018	WRCOG68-CORRECTLY ZONEI	0.229	MDR		2-5 DU/JAC	R-1A-9000	0	0	0 FAULT ZONE					SGPWA
561181034	WRCOG68-CORRECTLY ZONEI	0.771	MDR		2-5 DU/JAC	R-1A-9000	2	2	0 FAULT ZONE					SGPWA
387140006	WRCOG68-CORRECTLY ZONEI	1.302	MDR		2-5 DU/JAC	R-1	3	3	2 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
308140007	WRCOG68-CORRECTLY ZONEI	16.825	MDR		2-5 DU/JAC	R-A-5	34	27	0 FAULT ZONE					WMWD
308110006	WRCOG68-CORRECTLY ZONEI	1.887	MDR		2-5 DU/JAC	R-A-5	4	3	0 FAULT ZONE					WMWD
327451017	WRCOG68-CORRECTLY ZONEI	0.276	MDR		2-5 DU/JAC	R-1	1	0	0 FAULT ZONE					WMWD
386193003	WRCOG68-CORRECTLY ZONEI	0.241	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD
382022014	WRCOG68-CORRECTLY ZONEI	0.145	MDR		2-5 DU/JAC	R-1	0	0	0 FAULT ZONE					EMWD

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383093008	WRCOG66B-CORRECTLY ZONEE	0.150	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383042059	WRCOG66B-CORRECTLY ZONEE	0.151	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383125030	WRCOG66B-CORRECTLY ZONEE	0.091	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383091002	WRCOG66B-CORRECTLY ZONEE	0.088	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
447260001	WRCOG66B-CORRECTLY ZONEE	0.267	MDR		2-5 DU/AC	R-1	1	1	0					EMWD
458352005	WRCOG66B-CORRECTLY ZONEE	0.201	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462193008	WRCOG66B-CORRECTLY ZONEE	0.203	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
457311008	WRCOG66B-CORRECTLY ZONEE	0.252	MDR		2-5 DU/AC	R-1	1	1	0					EMWD
565045002	WRCOG66B-CORRECTLY ZONEE	0.178	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
561041004	WRCOG66B-CORRECTLY ZONEE	0.427	MDR		2-5 DU/AC	R-3A	1	1	1					SGPWA
557230011	WRCOG66B-CORRECTLY ZONEE	0.280	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
557230012	WRCOG66B-CORRECTLY ZONEE	1.877	MDR		2-5 DU/AC	R-1A-9000	4	3	3					SGPWA
547110005	WRCOG66B-CORRECTLY ZONEE	0.116	MDR		2-5 DU/AC	R-1	0	0	0					SGPWA
634260029	WRCOG66B-CORRECTLY ZONEE	0.427	MDR		2-5 DU/AC	R-3	1	1	1					EMWD
144501016	WRCOG66B-CORRECTLY ZONEE	0.181	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458360004	WRCOG66B-CORRECTLY ZONEE	0.382	MDR		2-5 DU/AC	R-1	1	1	1					EMWD
135451053	WRCOG66B-CORRECTLY ZONEE	0.577	MDR		2-5 DU/AC	R-4	1	1	1					EMWD
135550001	WRCOG66B-CORRECTLY ZONEE	0.575	MDR		2-5 DU/AC	R-1	1	1	1					EMWD
135530011	WRCOG66B-CORRECTLY ZONEE	0.317	MDR		2-5 DU/AC	R-1-10000	1	1	1					EMWD
327451014	WRCOG66B-CORRECTLY ZONEE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381223025	WRCOG66B-CORRECTLY ZONEE	0.118	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
386210005	WRCOG66B-CORRECTLY ZONEE	0.206	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
4023461001	WRCOG66B-CORRECTLY ZONEE	0.247	MDR		2-5 DU/AC	R-T	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381281024	WRCOG66B-CORRECTLY ZONEE	0.152	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
382050015	WRCOG66B-CORRECTLY ZONEE	0.095	MDR		2-5 DU/AC	R-1A	0	0	COUNTY					EMWD
383210013	WRCOG66B-CORRECTLY ZONEE	0.428	MDR		2-5 DU/AC	R-3	1	1	COUNTY					EMWD
462213008	WRCOG66B-CORRECTLY ZONEE	0.202	MDR		2-5 DU/AC	R-1	0	0	1 FAULT ZONE					EMWD
462202046	WRCOG66B-CORRECTLY ZONEE	0.170	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462192009	WRCOG66B-CORRECTLY ZONEE	0.166	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
563062005	WRCOG66B-CORRECTLY ZONEE	0.236	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565080030	WRCOG66B-CORRECTLY ZONEE	0.352	MDR		2-5 DU/AC	R-3A	1	1	1					SGPWA
559171006	WRCOG66B-CORRECTLY ZONEE	0.283	MDR		2-5 DU/AC	R-3A-20000	1	0	0					SGPWA
563212007	WRCOG66B-CORRECTLY ZONEE	0.446	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
563082011	WRCOG66B-CORRECTLY ZONEE	0.522	MDR		2-5 DU/AC	R-3A	1	1	1					SGPWA
434260026	WRCOG66B-CORRECTLY ZONEE	0.353	MDR		2-5 DU/AC	R-3	1	1	1					EMWD

Housing Element Appendix A - Housing Inventory List

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458362024	WRCOG6B-CORRECTLY ZONE	0.219	MDR	2-5 DU/AC	R-1	0	0						EMWD
486040027	WRCOG6B-CORRECTLY ZONE	9.163	MDR	2-5 DU/AC	R-1	18	15	ELSHORE				Zone E	EMWD
283140027	WRCOG6B-CORRECTLY ZONE	0.435	MDR	2-5 DU/AC	R-1	1	1	FAULT ZONE					WMWD
155550007	WRCOG6B-CORRECTLY ZONE	0.393	MDR	2-5 DU/AC	R-1-10000	1	1						WMWD
140320024	WRCOG6B-CORRECTLY ZONE	0.182	MDR	2-5 DU/AC	R-1	0	0						WMWD
318292024	WRCOG6B-CORRECTLY ZONE	0.171	MDR	2-5 DU/AC	R-1	0	0						WMWD
327451035	WRCOG6B-CORRECTLY ZONE	0.175	MDR	2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386190011	WRCOG6B-CORRECTLY ZONE	0.178	MDR	2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
387162006	WRCOG6B-CORRECTLY ZONE	0.120	MDR	2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
383114007	WRCOG6B-CORRECTLY ZONE	0.096	MDR	2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383042039	WRCOG6B-CORRECTLY ZONE	0.137	MDR	2-5 DU/AC	R-3	0	0	COUNTY					EMWD
381140001	WRCOG6B-CORRECTLY ZONE	1.282	MDR	2-5 DU/AC	R-3	3	2	AREAS OF FLOODING SENSITIVITY					EMWD
383203010	WRCOG6B-CORRECTLY ZONE	0.138	MDR	2-5 DU/AC	R-3	0	0	COUNTY					EMWD
438210011	WRCOG6B-CORRECTLY ZONE	0.368	MDR	2-5 DU/AC	R-2	2	2	AREAS OF FLOODING SENSITIVITY					EMWD
466391012	WRCOG6B-CORRECTLY ZONE	0.280	MDR	2-5 DU/AC	R-1	1	1		YES				EMWD
450020009	WRCOG6B-CORRECTLY ZONE	2.528	MDR	2-5 DU/AC	R-1	5	4						EMWD
462213005	WRCOG6B-CORRECTLY ZONE	0.168	MDR	2-5 DU/AC	R-1	0	0						EMWD
462202029	WRCOG6B-CORRECTLY ZONE	0.208	MDR	2-5 DU/AC	R-1	0	0						EMWD
462193010	WRCOG6B-CORRECTLY ZONE	0.172	MDR	2-5 DU/AC	R-1	0	0						EMWD
462193010	WRCOG6B-CORRECTLY ZONE	0.172	MDR	2-5 DU/AC	R-1	0	0						EMWD
466391020	WRCOG6B-CORRECTLY ZONE	0.185	MDR	2-5 DU/AC	R-1	0	0		YES				EMWD
458340004	WRCOG6B-CORRECTLY ZONE	0.236	MDR	2-5 DU/AC	R-1	0	0	AREAS OF FLOODING SENSITIVITY					EMWD
563062011	WRCOG6B-CORRECTLY ZONE	0.141	MDR	2-5 DU/AC	R-1A-9000	0	0						SGPWA
564181002	WRCOG6B-CORRECTLY ZONE	0.301	MDR	2-5 DU/AC	R-1A-9000	1	0						SGPWA
564182005	WRCOG6B-CORRECTLY ZONE	0.238	MDR	2-5 DU/AC	R-1A-9000	0	0						SGPWA
564140004	WRCOG6B-CORRECTLY ZONE	0.187	MDR	2-5 DU/AC	R-1A-9000	0	0						SGPWA
383071012	WRCOG6B-CORRECTLY ZONE	0.089	MDR	2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387164011	WRCOG6B-CORRECTLY ZONE	0.156	MDR	2-5 DU/AC	R-1	0	0	COUNTY					EMWD
135551003	WRCOG6B-CORRECTLY ZONE	0.411	MDR	2-5 DU/AC	R-1-10000	1	1	FAULT ZONE					WMWD
136030022	WRCOG6B-CORRECTLY ZONE	0.189	MDR	2-5 DU/AC	R-1	0	0						WMWD
140360010	WRCOG6B-CORRECTLY ZONE	0.406	MDR	2-5 DU/AC	R-1	1	1						WMWD
247103001	WRCOG6B-CORRECTLY ZONE	0.107	MDR	2-5 DU/AC	R-1	0	0						WMWD
256081004	WRCOG6B-CORRECTLY ZONE	0.383	MDR	2-5 DU/AC	R-1	1	1						WMWD
307240060	WRCOG6B-CORRECTLY ZONE	9.789	MDR	2-5 DU/AC	R-1	20	16						WMWD
327451038	WRCOG6B-CORRECTLY ZONE	0.202	MDR	2-5 DU/AC	R-1	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

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386190003	WRCOG6B-CORRECTLY ZONE	0.439	MDR		2-5 DU/AC	R-1	1	1	COUNTY 1 FAULT ZONE					EMWD
386172023	WRCOG6B-CORRECTLY ZONE	0.270	MDR		2-5 DU/AC	R-1	1	0	COUNTY 0 FAULT ZONE					EMWD
386140010	WRCOG6B-CORRECTLY ZONE	1.001	MDR		2-5 DU/AC	R-1	2	2	COUNTY 2 FAULT ZONE					EMWD
386192001	WRCOG6B-CORRECTLY ZONE	0.187	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387102016	WRCOG6B-CORRECTLY ZONE	0.163	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE					EMWD
381290023	WRCOG6B-CORRECTLY ZONE	0.413	MDR		2-5 DU/AC	R-3	1	1	COUNTY 1 FAULT ZONE					EMWD
381272018	WRCOG6B-CORRECTLY ZONE	0.098	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE					EMWD
381281020	WRCOG6B-CORRECTLY ZONE	0.141	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE					EMWD
386191002	WRCOG6B-CORRECTLY ZONE	0.198	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383104017	WRCOG6B-CORRECTLY ZONE	0.105	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383194004	WRCOG6B-CORRECTLY ZONE	0.214	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386200001	WRCOG6B-CORRECTLY ZONE	0.226	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
447260028	WRCOG6B-CORRECTLY ZONE	1.078	MDR		2-5 DU/AC	R-1	2	2	COUNTY 2 FAULT ZONE					EMWD
462211011	WRCOG6B-CORRECTLY ZONE	0.198	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
561165007	WRCOG6B-CORRECTLY ZONE	0.075	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY 0 FAULT ZONE					EMWD
563281011	WRCOG6B-CORRECTLY ZONE	0.220	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY 0 FAULT ZONE					EMWD
561131029	WRCOG6B-CORRECTLY ZONE	0.129	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY 0 FAULT ZONE					EMWD
563212027	WRCOG6B-CORRECTLY ZONE	0.283	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY 1 FAULT ZONE					EMWD
563051007	WRCOG6B-CORRECTLY ZONE	0.522	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY 1 FAULT ZONE					EMWD
480433051	WRCOG6B-CORRECTLY ZONE	0.004	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE		YES		Zone E	EMWD
140360004	WRCOG6B-CORRECTLY ZONE	5.322	MDR		2-5 DU/AC	R-T	11	9	COUNTY 9 FAULT ZONE					EMWD
256092016	WRCOG6B-CORRECTLY ZONE	0.319	MDR		2-5 DU/AC	R-1	1	1	COUNTY 1 FAULT ZONE					EMWD
256092016	WRCOG6B-CORRECTLY ZONE	0.465	MDR		2-5 DU/AC	R-2-80	1	1	COUNTY 1 FAULT ZONE					EMWD
256081015	WRCOG6B-CORRECTLY ZONE	0.378	MDR		2-5 DU/AC	R-1	1	1	COUNTY 1 FAULT ZONE					EMWD
282542014	WRCOG6B-CORRECTLY ZONE	0.161	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
308190009	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			EMWD
308190012	WRCOG6B-CORRECTLY ZONE	0.617	MDR		2-5 DU/AC	R-A-5	1	1	COUNTY 1 FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			EMWD
327451021	WRCOG6B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
382027014	WRCOG6B-CORRECTLY ZONE	0.363	MDR		2-5 DU/AC	R-1	1	1	COUNTY 1 FAULT ZONE					EMWD
386200007	WRCOG6B-CORRECTLY ZONE	0.214	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383042020	WRCOG6B-CORRECTLY ZONE	0.077	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462212012	WRCOG6B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
462191002	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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458350012	WRCOG6B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/JAC	R-1	0	0						WMWD
458372022	WRCOG6B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/JAC	R-1	0	0						WMWD
565226003	WRCOG6B-CORRECTLY ZONEI	0.195	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
564187012	WRCOG6B-CORRECTLY ZONEI	0.115	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
560162004	WRCOG6B-CORRECTLY ZONEI	0.302	MDR		2-5 DU/JAC	R-3A-20000	1	0						SGPWA
565243008	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
480071007	WRCOG6B-CORRECTLY ZONEI	0.136	MDR		2-5 DU/JAC	R-1A-9000	0	0						ENMWD
377462008	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/JAC	R-1	0	0						WMWD
115231008	WRCOG6B-CORRECTLY ZONEI	0.213	MDR		2-5 DU/JAC	R-2	0	0						WMWD
115233011	WRCOG6B-CORRECTLY ZONEI	0.218	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					WMWD
387170006	WRCOG6B-CORRECTLY ZONEI	23.261	MDR		2-5 DU/JAC	R-1	47	37	COUNTY					ENMWD
256062018	WRCOG6B-CORRECTLY ZONEI	0.210	MDR		2-5 DU/JAC	R-1	0	0	37 FAULT ZONE					WMWD
308190003	WRCOG6B-CORRECTLY ZONEI	0.177	MDR		2-5 DU/JAC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY	YES			WMWD
381223035	WRCOG6B-CORRECTLY ZONEI	0.118	MDR		2-5 DU/JAC	R-3	0	0	COUNTY					ENMWD
381272032	WRCOG6B-CORRECTLY ZONEI	0.129	MDR		2-5 DU/JAC	R-3	0	0	COUNTY					ENMWD
383033001	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					ENMWD
383194013	WRCOG6B-CORRECTLY ZONEI	0.269	MDR		2-5 DU/JAC	R-1	1	0	COUNTY					ENMWD
388081037	WRCOG6B-CORRECTLY ZONEI	0.187	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					ENMWD
462192001	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					ENMWD
458351005	WRCOG6B-CORRECTLY ZONEI	0.177	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					ENMWD
458362015	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					ENMWD
559162002	WRCOG6B-CORRECTLY ZONEI	0.213	MDR		2-5 DU/JAC	R-3A-20000	0	0	COUNTY					SGPWA
564154011	WRCOG6B-CORRECTLY ZONEI	0.162	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
565222001	WRCOG6B-CORRECTLY ZONEI	0.208	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
561131005	WRCOG6B-CORRECTLY ZONEI	0.136	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
561171028	WRCOG6B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/JAC	R-1A-9000	0	0	COUNTY					SGPWA
318281031	WRCOG6B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/JAC	R-1	0	0	COUNTY		YES			SGPWA
563192001	WRCOG6B-CORRECTLY ZONEI	1.389	MDR		2-5 DU/JAC	R-3A	2	2	ELSI NORE					SGPWA
102083019	WRCOG6B-CORRECTLY ZONEI	0.437	MDR		2-5 DU/JAC	R-1	1	1	FAULT ZONE					WMWD
140320017	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					WMWD
140150044	WRCOG6B-CORRECTLY ZONEI	2.280	MDR		2-5 DU/JAC	R-4	5	4			YES			WMWD
308180001	WRCOG6B-CORRECTLY ZONEI	0.360	MDR		2-5 DU/JAC	R-A-5	1	1						WMWD
308170024	WRCOG6B-CORRECTLY ZONEI	0.197	MDR		2-5 DU/JAC	R-A-5	0	0						WMWD
318292012	WRCOG6B-CORRECTLY ZONEI	0.244	MDR		2-5 DU/JAC	R-1	0	0						WMWD
327452002	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/JAC	R-1	0	0						WMWD
318292034	WRCOG6B-CORRECTLY ZONEI	0.200	MDR		2-5 DU/JAC	R-1	0	0						WMWD
370180024	WRCOG6B-CORRECTLY ZONEI	2.113	MDR		2-5 DU/JAC	R-1	4	3	COUNTY					WMWD
386154005	WRCOG6B-CORRECTLY ZONEI	0.157	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					ENMWD
386152007	WRCOG6B-CORRECTLY ZONEI	0.146	MDR		2-5 DU/JAC	R-1	0	0	COUNTY					ENMWD
383162009	WRCOG6B-CORRECTLY ZONEI	0.110	MDR		2-5 DU/JAC	R-1	0	0	FAULT ZONE					ENMWD

Housing Element Appendix A - Housing Inventory List

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386201005	WRCOG68B-CORRECTLY ZONE	0.259	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE					EMWD
4276102005	WRCOG68B-CORRECTLY ZONE	1.499	MDR		2-5 DU/AC	R-1	3	2						EMWD
462211002	WRCOG68B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
457340006	WRCOG68B-CORRECTLY ZONE	2.012	MDR		2-5 DU/AC	R-1-1	4	3		AREAS OF FLOODING SENSITIVITY	YES			EMWD
457082014	WRCOG68B-CORRECTLY ZONE	4.616	MDR		2-5 DU/AC	R-T	9	7						EMWD
447052011	WRCOG68B-CORRECTLY ZONE	0.918	MDR		2-5 DU/AC	R-3	2	1						EMWD
462213007	WRCOG68B-CORRECTLY ZONE	0.156	MDR		2-5 DU/AC	R-1	0	0						EMWD
457310023	WRCOG68B-CORRECTLY ZONE	0.245	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
463160023	WRCOG68B-CORRECTLY ZONE	4.781	MDR		2-5 DU/AC	R-1	10	8			YES			EMWD
557220022	WRCOG68B-CORRECTLY ZONE	0.421	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
4588352014	WRCOG68B-CORRECTLY ZONE	0.155	MDR		2-5 DU/AC	R-1	0	0						EMWD
565191005	WRCOG68B-CORRECTLY ZONE	0.441	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
555320020	WRCOG68B-CORRECTLY ZONE	0.279	MDR		2-5 DU/AC	R-1	1	0						SGPWA
547110037	WRCOG68B-CORRECTLY ZONE	0.449	MDR		2-5 DU/AC	R-1	1	1	SAN JACINTO COUNTY FAULT ZONE					SGPWA
552043027	WRCOG68B-CORRECTLY ZONE	0.873	MDR		2-5 DU/AC	R-1	2	1						SGPWA
564110216	WRCOG68B-CORRECTLY ZONE	0.271	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
458351023	WRCOG68B-CORRECTLY ZONE	0.500	MDR		2-5 DU/AC	R-1-20000	1	1						EMWD
563100020	WRCOG68B-CORRECTLY ZONE	0.449	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
1408462020	WRCOG68B-CORRECTLY ZONE	0.243	MDR		2-5 DU/AC	R-1	0	0						WMWD
908170020	WRCOG68B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
307120001	WRCOG68B-CORRECTLY ZONE	3.592	MDR		2-5 DU/AC	R-A-5	7	6						WMWD
307120003	WRCOG68B-CORRECTLY ZONE	9.712	MDR		2-5 DU/AC	R-A-5	19	16						WMWD
327452012	WRCOG68B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451034	WRCOG68B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
383201015	WRCOG68B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
388090024	WRCOG68B-CORRECTLY ZONE	0.007	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
386201002	WRCOG68B-CORRECTLY ZONE	0.216	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
381244004	WRCOG68B-CORRECTLY ZONE	0.042	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
458362023	WRCOG68B-CORRECTLY ZONE	0.204	MDR		2-5 DU/AC	R-1	0	0						EMWD
447091036	WRCOG68B-CORRECTLY ZONE	0.069	MDR		2-5 DU/AC	R-1	0	0						EMWD
434221002	WRCOG68B-CORRECTLY ZONE	1.545	MDR		2-5 DU/AC	R-A	3	2						EMWD
462202011	WRCOG68B-CORRECTLY ZONE	0.300	MDR		2-5 DU/AC	R-1	1	0						EMWD
458362031	WRCOG68B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0						EMWD
561201009	WRCOG68B-CORRECTLY ZONE	1.005	MDR		2-5 DU/AC	R-1A-9000	2	2		AREAS OF FLOODING SENSITIVITY				SGPWA
565080026	WRCOG68B-CORRECTLY ZONE	0.246	MDR		2-5 DU/AC	R-3A	0	0						SGPWA
563172003	WRCOG68B-CORRECTLY ZONE	0.293	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
561171018	WRCOG6B-CORRECTLY ZONE	0.040	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565041012	WRCOG6B-CORRECTLY ZONE	0.191	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559161001	WRCOG6B-CORRECTLY ZONE	0.224	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563082005	WRCOG6B-CORRECTLY ZONE	0.391	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
560150033	WRCOG6B-CORRECTLY ZONE	0.306	MDR		2-5 DU/AC	R-3A-20000	1	1	COUNTY					SGPWA
387170004	WRCOG6B-CORRECTLY ZONE	0.141	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
283140028	WRCOG6B-CORRECTLY ZONE	29.975	MDR		2-5 DU/AC	R-1	60	48	ELSNORE					WMWD
309290040	WRCOG6B-CORRECTLY ZONE	4.823	MDR		2-5 DU/AC	R-1	10	8	FAULT ZONE					WMWD
371260019	WRCOG6B-CORRECTLY ZONE	0.087	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383091010	WRCOG6B-CORRECTLY ZONE	0.066	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151003	WRCOG6B-CORRECTLY ZONE	0.148	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
381281023	WRCOG6B-CORRECTLY ZONE	0.146	MDR		2-5 DU/AC	R-3	0	0	FAULT ZONE					EMWD
381061032	WRCOG6B-CORRECTLY ZONE	0.063	MDR		2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151039	WRCOG6B-CORRECTLY ZONE	0.077	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
387212045	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
405091007	WRCOG6B-CORRECTLY ZONE	0.173	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
447140023	WRCOG6B-CORRECTLY ZONE	0.371	MDR		2-5 DU/AC	R-3	1	1						EMWD
462202021	WRCOG6B-CORRECTLY ZONE	0.201	MDR		2-5 DU/AC	R-1	0	0						EMWD
457311005	WRCOG6B-CORRECTLY ZONE	0.261	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
458370001	WRCOG6B-CORRECTLY ZONE	0.225	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458341014	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
565229018	WRCOG6B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0						EMWD
559154004	WRCOG6B-CORRECTLY ZONE	0.165	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563044005	WRCOG6B-CORRECTLY ZONE	0.117	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
156193020	WRCOG6B-CORRECTLY ZONE	0.294	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
140361005	WRCOG6B-CORRECTLY ZONE	0.305	MDR		2-5 DU/AC	R-1	1	1						WMWD
318282028	WRCOG6B-CORRECTLY ZONE	0.194	MDR		2-5 DU/AC	R-1	0	0			YES			WMWD
386190008	WRCOG6B-CORRECTLY ZONE	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382031022	WRCOG6B-CORRECTLY ZONE	0.072	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
383042023	WRCOG6B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD



Housing Element Appendix A - Housing Inventory List

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402412037	WRCOG6B-CORRECTLY ZONEI	0.027 MDR			2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY				EMWD
447290056	WRCOG6B-CORRECTLY ZONEI	0.025 MDR			2-5 DU/AC	R-1	0	0						EMWD
447321045	WRCOG6B-CORRECTLY ZONEI	0.037 MDR			2-5 DU/AC	R-1	0	0						EMWD
447247007	WRCOG6B-CORRECTLY ZONEI	0.267 MDR			2-5 DU/AC	R-1	1	0						EMWD
565041004	WRCOG6B-CORRECTLY ZONEI	0.145 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565171014	WRCOG6B-CORRECTLY ZONEI	0.202 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
309290038	WRCOG6B-CORRECTLY ZONEI	0.473 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
136292032	WRCOG6B-CORRECTLY ZONEI	4.693 MDR			2-5 DU/AC	R-1	9	8						WMWD
555460006	WRCOG6B-CORRECTLY ZONEI	0.066 MDR			2-5 DU/AC	R-1	0	0						WMWD
308170001	WRCOG6B-CORRECTLY ZONEI	0.966 MDR			2-5 DU/AC	R-A-20000	2	2						SGPWA
383114042	WRCOG6B-CORRECTLY ZONEI	0.323 MDR			2-5 DU/AC	R-A-5	1	1	COUNTY		YES			WMWD
387212017	WRCOG6B-CORRECTLY ZONEI	0.080 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381284013	WRCOG6B-CORRECTLY ZONEI	0.184 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381069017	WRCOG6B-CORRECTLY ZONEI	0.051 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
383194007	WRCOG6B-CORRECTLY ZONEI	0.089 MDR			2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
408050020	WRCOG6B-CORRECTLY ZONEI	0.239 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
426109004	WRCOG6B-CORRECTLY ZONEI	4.912 MDR			2-5 DU/AC	R-T	10	8						EMWD
462202045	WRCOG6B-CORRECTLY ZONEI	1.488 MDR			2-5 DU/AC	R-1	3	2						EMWD
462192004	WRCOG6B-CORRECTLY ZONEI	0.170 MDR			2-5 DU/AC	R-1	0	0						EMWD
450131030	WRCOG6B-CORRECTLY ZONEI	0.171 MDR			2-5 DU/AC	R-1	0	0						EMWD
462212008	WRCOG6B-CORRECTLY ZONEI	0.194 MDR			2-5 DU/AC	R-1-12000	0	0						EMWD
466391019	WRCOG6B-CORRECTLY ZONEI	0.154 MDR			2-5 DU/AC	R-1	0	0						EMWD
458362038	WRCOG6B-CORRECTLY ZONEI	0.194 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
563205007	WRCOG6B-CORRECTLY ZONEI	0.175 MDR			2-5 DU/AC	R-1	0	0						EMWD
557212017	WRCOG6B-CORRECTLY ZONEI	0.281 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
561092014	WRCOG6B-CORRECTLY ZONEI	0.176 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
569073003	WRCOG6B-CORRECTLY ZONEI	0.239 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565252012	WRCOG6B-CORRECTLY ZONEI	0.480 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
164640005	WRCOG6B-CORRECTLY ZONEI	0.202 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
476270015	WRCOG6B-CORRECTLY ZONEI	0.174 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	WMWD
135141027	WRCOG6B-CORRECTLY ZONEI	2.232 MDR			2-5 DU/AC	R-A-2-172	4	4					Zone E	EMWD
386193021	WRCOG6B-CORRECTLY ZONEI	3.642 MDR			2-5 DU/AC	R-3	7	6	COUNTY					WMWD
386193021	WRCOG6B-CORRECTLY ZONEI	0.249 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386193021	WRCOG6B-CORRECTLY ZONEI	0.210 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383103020	WRCOG6B-CORRECTLY ZONEI	0.091 MDR			2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

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383202005	WRCOG6B-CORRECTLY ZONEE	0.134	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE					EMWD
383042004	WRCOG6B-CORRECTLY ZONEE	0.156	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383102001	WRCOG6B-CORRECTLY ZONEE	0.099	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387211006	WRCOG6B-CORRECTLY ZONEE	0.222	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386151021	WRCOG6B-CORRECTLY ZONEE	0.208	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386152009	WRCOG6B-CORRECTLY ZONEE	0.139	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
382027002	WRCOG6B-CORRECTLY ZONEE	0.037	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
449080015	WRCOG6B-CORRECTLY ZONEE	4.427	MDR		2-5 DU/AC	R-1	9	7	SAN JACINTO 7 FAULT ZONE					EMWD
462202013	WRCOG6B-CORRECTLY ZONEE	0.191	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458370002	WRCOG6B-CORRECTLY ZONEE	0.212	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
476090011	WRCOG6B-CORRECTLY ZONEE	3.950	MDR		2-5 DU/AC	R-1	8	6						EMWD
450021017	WRCOG6B-CORRECTLY ZONEE	0.232	MDR		2-5 DU/AC	R-1	0	0						EMWD
561093019	WRCOG6B-CORRECTLY ZONEE	0.242	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557230028	WRCOG6B-CORRECTLY ZONEE	0.202	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565180014	WRCOG6B-CORRECTLY ZONEE	0.562	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563272009	WRCOG6B-CORRECTLY ZONEE	0.358	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
564093014	WRCOG6B-CORRECTLY ZONEE	0.288	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
563062014	WRCOG6B-CORRECTLY ZONEE	0.167	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
462200008	WRCOG6B-CORRECTLY ZONEE	0.167	MDR		2-5 DU/AC	R-1	0	0						EMWD
476270008	WRCOG6B-CORRECTLY ZONEE	2.286	MDR		2-5 DU/AC	R-2 1/2	5	4					Zone E	EMWD
140360018	WRCOG6B-CORRECTLY ZONEE	0.232	MDR		2-5 DU/AC	R-1	0	0						WMWD
256102011	WRCOG6B-CORRECTLY ZONEE	0.216	MDR		2-5 DU/AC	R-1	0	0						WMWD
309401021	WRCOG6B-CORRECTLY ZONEE	1.500	MDR		2-5 DU/AC	R-1	3	2	COUNTY 0 FAULT ZONE					WMWD
386193016	WRCOG6B-CORRECTLY ZONEE	0.162	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386152004	WRCOG6B-CORRECTLY ZONEE	0.134	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383091009	WRCOG6B-CORRECTLY ZONEE	0.074	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387202021	WRCOG6B-CORRECTLY ZONEE	0.142	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386154014	WRCOG6B-CORRECTLY ZONEE	0.233	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383194011	WRCOG6B-CORRECTLY ZONEE	0.209	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD

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381140009	WRCOG6B-CORRECTLY ZONE	0.045	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386193010	WRCOG6B-CORRECTLY ZONE	0.181	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386151009	WRCOG6B-CORRECTLY ZONE	0.076	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381290033	WRCOG6B-CORRECTLY ZONE	1.739	MDR		2-5 DU/AC	R-3	3	3	COUNTY FAULT ZONE					EMWD
382043008	WRCOG6B-CORRECTLY ZONE	0.155	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462202023	WRCOG6B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
449340035	WRCOG6B-CORRECTLY ZONE	0.189	MDR		2-5 DU/AC	R-1-8000	0	0						EMWD
458372011	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462202023	WRCOG6B-CORRECTLY ZONE	0.187	MDR		2-5 DU/AC	R-1	0	0						EMWD
482080021	WRCOG6B-CORRECTLY ZONE	0.141	MDR		2-5 DU/AC	R-1	0	0						EMWD
458372009	WRCOG6B-CORRECTLY ZONE	0.177	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
565032005	WRCOG6B-CORRECTLY ZONE	0.090	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563162012	WRCOG6B-CORRECTLY ZONE	0.352	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564187007	WRCOG6B-CORRECTLY ZONE	0.271	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563254012	WRCOG6B-CORRECTLY ZONE	0.766	MDR		2-5 DU/AC	R-3A	2	2						SGPWA
564102006	WRCOG6B-CORRECTLY ZONE	0.747	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564154013	WRCOG6B-CORRECTLY ZONE	0.313	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
408070011	WRCOG6B-CORRECTLY ZONE	0.177	MDR		2-5 DU/AC	R-1	0	0						EMWD
383075024	WRCOG6B-CORRECTLY ZONE	0.317	MDR		2-5 DU/AC	R-1	1	1						EMWD
387140021	WRCOG6B-CORRECTLY ZONE	0.107	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
140351022	WRCOG6B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451016	WRCOG6B-CORRECTLY ZONE	0.233	MDR		2-5 DU/AC	R-1	0	0						WMWD
370180022	WRCOG6B-CORRECTLY ZONE	2.288	MDR		2-5 DU/AC	R-1	5	4						EMWD
382041005	WRCOG6B-CORRECTLY ZONE	0.147	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
382026003	WRCOG6B-CORRECTLY ZONE	0.115	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386154012	WRCOG6B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383093014	WRCOG6B-CORRECTLY ZONE	0.083	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462190005	WRCOG6B-CORRECTLY ZONE	0.205	MDR		2-5 DU/AC	R-1	0	0						EMWD
462202032	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1	0	0						EMWD
458372013	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD

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457310018	WRCOG68-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458360008	WRCOG68-CORRECTLY ZONE	0.193	MDR		2.5 DU/AC	R-1	0	0						EMWD
462202014	WRCOG68-CORRECTLY ZONE	0.193	MDR		2.5 DU/AC	R-1	0	0						EMWD
557212020	WRCOG68-CORRECTLY ZONE	0.421	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
549432014	WRCOG68-CORRECTLY ZONE	0.213	MDR		2.5 DU/AC	R-1	0	0						SGPWA
561093013	WRCOG68-CORRECTLY ZONE	0.202	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
561080025	WRCOG68-CORRECTLY ZONE	0.835	MDR		2.5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561192004	WRCOG68-CORRECTLY ZONE	0.467	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
564162009	WRCOG68-CORRECTLY ZONE	0.442	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
567123011	WRCOG68-CORRECTLY ZONE	0.136	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564051002	WRCOG68-CORRECTLY ZONE	0.848	MDR		2.5 DU/AC	R-1A-9000	2	1						SGPWA
564103021	WRCOG68-CORRECTLY ZONE	0.211	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
450131036	WRCOG68-CORRECTLY ZONE	0.974	MDR		2.5 DU/AC	R-1	2	2						EMWD
563142001	WRCOG68-CORRECTLY ZONE	0.405	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563133018	WRCOG68-CORRECTLY ZONE	0.116	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
270320045	WRCOG68-CORRECTLY ZONE	0.185	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
308140008	WRCOG68-CORRECTLY ZONE	2.259	MDR		2.5 DU/AC	R-A-5	5	4	COUNTY					WMWD
386153024	WRCOG68-CORRECTLY ZONE	0.158	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE COUNTY					EMWD
386193007	WRCOG68-CORRECTLY ZONE	0.180	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE COUNTY					EMWD
386191005	WRCOG68-CORRECTLY ZONE	0.209	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE COUNTY					EMWD
382022009	WRCOG68-CORRECTLY ZONE	0.046	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE COUNTY					EMWD
387206004	WRCOG68-CORRECTLY ZONE	0.289	MDR		2.5 DU/AC	R-1	1	1	FAULT ZONE COUNTY					EMWD
383192005	WRCOG68-CORRECTLY ZONE	0.192	MDR		2.5 DU/AC	R-1	0	0						EMWD
462192006	WRCOG68-CORRECTLY ZONE	0.177	MDR		2.5 DU/AC	R-1	0	0						EMWD
472210002	WRCOG68-CORRECTLY ZONE	12.221	MDR		2.5 DU/AC	R-1	24	20		AREAS OF FLOODING SENSITIVITY				EMWD
447052015	WRCOG68-CORRECTLY ZONE	0.480	MDR		2.5 DU/AC	R-3	1	1						EMWD
458341004	WRCOG68-CORRECTLY ZONE	0.168	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
561131016	WRCOG68-CORRECTLY ZONE	0.136	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
557212011	WRCOG68-CORRECTLY ZONE	0.366	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
548191002	WRCOG68-CORRECTLY ZONE	1.305	MDR		2.5 DU/AC	R-D	3	2		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

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565222003	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563213021	WRCOG6B-CORRECTLY ZONE	0.387	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563141003	WRCOG6B-CORRECTLY ZONE	0.284	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
144701006	WRCOG6B-CORRECTLY ZONE	0.181	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	WMWD
140360019	WRCOG6B-CORRECTLY ZONE	0.206	MDR		2-5 DU/AC	R-1	0	0						WMWD
140360005	WRCOG6B-CORRECTLY ZONE	0.310	MDR		2-5 DU/AC	R-1	1	1						WMWD
140351027	WRCOG6B-CORRECTLY ZONE	0.205	MDR		2-5 DU/AC	R-2	0	0						WMWD
140351005	WRCOG6B-CORRECTLY ZONE	0.224	MDR		2-5 DU/AC	R-1	0	0						WMWD
247044006	WRCOG6B-CORRECTLY ZONE	0.105	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
247160070	WRCOG6B-CORRECTLY ZONE	0.020	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
327451012	WRCOG6B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386158010	WRCOG6B-CORRECTLY ZONE	0.144	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387251011	WRCOG6B-CORRECTLY ZONE	0.057	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387212043	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383183014	WRCOG6B-CORRECTLY ZONE	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383033049	WRCOG6B-CORRECTLY ZONE	1.808	MDR		2-5 DU/AC	R-1	4	3	COUNTY					EMWD
449222003	WRCOG6B-CORRECTLY ZONE	0.094	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
387212041	WRCOG6B-CORRECTLY ZONE	0.090	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362033	WRCOG6B-CORRECTLY ZONE	0.199	MDR		2-5 DU/AC	R-1	0	0						EMWD
480052005	WRCOG6B-CORRECTLY ZONE	0.086	MDR		2-5 DU/AC	R-1	0	0						EMWD
557220018	WRCOG6B-CORRECTLY ZONE	0.414	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564175020	WRCOG6B-CORRECTLY ZONE	0.163	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559172004	WRCOG6B-CORRECTLY ZONE	0.078	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563172024	WRCOG6B-CORRECTLY ZONE	0.265	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
560132003	WRCOG6B-CORRECTLY ZONE	0.448	MDR		2-5 DU/AC	R-3A-20000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
557211001	WRCOG6B-CORRECTLY ZONE	0.409	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565172019	WRCOG6B-CORRECTLY ZONE	0.358	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
564240011	WRCOG6B-CORRECTLY ZONE	0.380	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
555310006	WRCOG6B-CORRECTLY ZONE	4.191	MDR		2-5 DU/AC	R-1	8	7						SGPWA
565191004	WRCOG6B-CORRECTLY ZONE	0.390	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564192002	WRCOG6B-CORRECTLY ZONE	0.267	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563044013	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
917260040	WRCOG6B-CORRECTLY ZONE	0.019	MDR		2-5 DU/AC	R-1	0	0						EMWD
140351004	WRCOG6B-CORRECTLY ZONE	0.244	MDR		2-5 DU/AC	R-1	0	0						WMWD
140320011	WRCOG6B-CORRECTLY ZONE	0.275	MDR		2-5 DU/AC	R-1	1	1						WMWD

Housing Element Appendix A - Housing Inventory List

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308170021	WRCOG66B-CORRECTLY ZONEI	0.187	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WMWD
386152015	WRCOG66B-CORRECTLY ZONEI	0.147	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386192012	WRCOG66B-CORRECTLY ZONEI	0.256	MDR		2-5 DU/AC	R-1	1	0	COUNTY					EMWD
387091005	WRCOG66B-CORRECTLY ZONEI	0.350	MDR		2-5 DU/AC	R-3	1	1	1 FAULT ZONE					EMWD
3883125016	WRCOG66B-CORRECTLY ZONEI	0.091	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
387213019	WRCOG66B-CORRECTLY ZONEI	0.063	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383194012	WRCOG66B-CORRECTLY ZONEI	0.426	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
426102004	WRCOG66B-CORRECTLY ZONEI	1.014	MDR		2-5 DU/AC	R-1	2	2						EMWD
462202024	WRCOG66B-CORRECTLY ZONEI	0.220	MDR		2-5 DU/AC	R-1	0	0						EMWD
458852007	WRCOG66B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-1	0	0						EMWD
458340047	WRCOG66B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0						EMWD
462202028	WRCOG66B-CORRECTLY ZONEI	0.235	MDR		2-5 DU/AC	R-1	0	0						EMWD
458841013	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						EMWD
567103010	WRCOG66B-CORRECTLY ZONEI	0.201	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565041014	WRCOG66B-CORRECTLY ZONEI	0.326	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
549251003	WRCOG66B-CORRECTLY ZONEI	0.184	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561141012	WRCOG66B-CORRECTLY ZONEI	0.096	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564140010	WRCOG66B-CORRECTLY ZONEI	0.188	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565162021	WRCOG66B-CORRECTLY ZONEI	0.688	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565290008	WRCOG66B-CORRECTLY ZONEI	0.282	MDR		2-5 DU/AC	R-1A-15000	1	0						SGPWA
561172014	WRCOG66B-CORRECTLY ZONEI	0.255	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
560162042	WRCOG66B-CORRECTLY ZONEI	0.377	MDR		2-5 DU/AC	R-3A-20000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
383210032	WRCOG66B-CORRECTLY ZONEI	0.817	MDR		2-5 DU/AC	R-3	2	2	COUNTY					EMWD
136410052	WRCOG66B-CORRECTLY ZONEI	0.722	MDR		2-5 DU/AC	R-1-8000	1	1	1 FAULT ZONE					WMWD
563044002	WRCOG66B-CORRECTLY ZONEI	0.127	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
140361016	WRCOG66B-CORRECTLY ZONEI	0.214	MDR		2-5 DU/AC	R-1	0	0						WMWD
135431054	WRCOG66B-CORRECTLY ZONEI	0.097	MDR		2-5 DU/AC	R-4	0	0						WMWD
507240008	WRCOG66B-CORRECTLY ZONEI	9.295	MDR		2-5 DU/AC	R-1	19	15						WMWD
308170022	WRCOG66B-CORRECTLY ZONEI	0.188	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
383052007	WRCOG66B-CORRECTLY ZONEI	0.016	MDR		2-5 DU/AC	R-1	0	0						EMWD
447260014	WRCOG66B-CORRECTLY ZONEI	0.513	MDR		2-5 DU/AC	R-1	1	1						EMWD
462195012	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						EMWD
463160012	WRCOG66B-CORRECTLY ZONEI	4.268	MDR		2-5 DU/AC	R-1	9	7		YES				EMWD
480080020	WRCOG66B-CORRECTLY ZONEI	0.314	MDR		2-5 DU/AC	R-1	1	1						EMWD
458362017	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						EMWD
449260029	WRCOG66B-CORRECTLY ZONEI	0.350	MDR		2-5 DU/AC	R-1	1	1						EMWD
426060008	WRCOG66B-CORRECTLY ZONEI	0.777	MDR		2-5 DU/AC	R-1	2	1						EMWD
463160009	WRCOG66B-CORRECTLY ZONEI	4.703	MDR		2-5 DU/AC	R-1	9	8						EMWD
551571015	WRCOG66B-CORRECTLY ZONEI	0.295	MDR		2-5 DU/AC	R-1-7200	1	0		YES				SGPWA
561123007	WRCOG66B-CORRECTLY ZONEI	0.138	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557220023	WRCOG66B-CORRECTLY ZONEI	0.417	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565222004	WRCOG66B-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA

Housing Element Appendix A - Housing Inventory List

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565242015	WRCOG66B-CORRECTLY ZONEI	0.343	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
552020004	WRCOG66B-CORRECTLY ZONEI	0.210	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561151012	WRCOG66B-CORRECTLY ZONEI	0.530	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563082007	WRCOG66B-CORRECTLY ZONEI	0.291	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
563205009	WRCOG66B-CORRECTLY ZONEI	0.155	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564222019	WRCOG66B-CORRECTLY ZONEI	0.218	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561093014	WRCOG66B-CORRECTLY ZONEI	0.207	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564132003	WRCOG66B-CORRECTLY ZONEI	0.142	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
327452016	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
383161007	WRCOG66B-CORRECTLY ZONEI	0.075	MDR		2-5 DU/AC	R-1	0	0						EMWD
383162011	WRCOG66B-CORRECTLY ZONEI	0.239	MDR		2-5 DU/AC	R-1	0	0						EMWD
465020006	WRCOG66B-CORRECTLY ZONEI	5.301	MDR		2-5 DU/AC	R-7-20000	11	8		AREAS OF FLOODING SENSITIVITY	YES			EMWD
561220023	WRCOG66B-CORRECTLY ZONEI	0.265	MDR		2-5 DU/AC	R-1A-9000	1	0						WMWD
565042005	WRCOG66B-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
551120022	WRCOG66B-CORRECTLY ZONEI	0.904	MDR		2-5 DU/AC	R-1	2	1						SGPWA
565224001	WRCOG66B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071016	WRCOG66B-CORRECTLY ZONEI	0.192	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559158005	WRCOG66B-CORRECTLY ZONEI	0.220	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
564071036	WRCOG66B-CORRECTLY ZONEI	0.250	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
466591010	WRCOG66B-CORRECTLY ZONEI	0.247	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
327461008	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383071008	WRCOG66B-CORRECTLY ZONEI	0.088	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
102081012	WRCOG66B-CORRECTLY ZONEI	0.296	MDR		2-5 DU/AC	R-1	1	0						WMWD
140351008	WRCOG66B-CORRECTLY ZONEI	0.442	MDR		2-5 DU/AC	R-1	1	1						WMWD
308180003	WRCOG66B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WMWD
386151007	WRCOG66B-CORRECTLY ZONEI	0.147	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381249002	WRCOG66B-CORRECTLY ZONEI	0.116	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381290020	WRCOG66B-CORRECTLY ZONEI	0.443	MDR		2-5 DU/AC	R-3	1	1	COUNTY FAULT ZONE					EMWD
386154002	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382021025	WRCOG66B-CORRECTLY ZONEI	0.089	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386200003	WRCOG66B-CORRECTLY ZONEI	0.215	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391011	WRCOG66B-CORRECTLY ZONEI	0.221	MDR		2-5 DU/AC	R-1	0	0		YES				EMWD
458372016	WRCOG66B-CORRECTLY ZONEI	0.180	MDR		2-5 DU/AC	R-1	0	0						EMWD
462191001	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350011	WRCOG66B-CORRECTLY ZONEI	0.250	MDR		2-5 DU/AC	R-1	1	0						EMWD
462211012	WRCOG66B-CORRECTLY ZONEI	0.247	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
567102007	WRCOG66B-CORRECTLY ZONEI	0.246	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561155003	WRCOG66B-CORRECTLY ZONEI	0.442	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564072010	WRCOG66B-CORRECTLY ZONEI	0.199	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565205006	WRCOG66B-CORRECTLY ZONEI	0.161	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA



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564092026	WRCOG6B-CORRECTLY ZONED	0.256	MDR		2-5 DU/AC	R-1A-9000	1	0								SGPWA
196910051	WRCOG6B-CORRECTLY ZONED	0.228	MDR		2-5 DU/AC	R-1-8000	0	0								WMWD
115232021	WRCOG6B-CORRECTLY ZONED	0.251	MDR		2-5 DU/AC	R-2	1	0								WMWD
247052007	WRCOG6B-CORRECTLY ZONED	0.214	MDR		2-5 DU/AC	R-1	0	0								WMWD
386151032	WRCOG6B-CORRECTLY ZONED	0.141	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE						EMWD
381242041	WRCOG6B-CORRECTLY ZONED	0.085	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY					EMWD
383091015	WRCOG6B-CORRECTLY ZONED	0.075	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY					EMWD
387060007	WRCOG6B-CORRECTLY ZONED	2.773	MDR		2-5 DU/AC	R-1	6	4		COUNTY FAULT ZONE						EMWD
386154008	WRCOG6B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY					EMWD
383081027	WRCOG6B-CORRECTLY ZONED	0.100	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY					EMWD
387212033	WRCOG6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE						EMWD
466391018	WRCOG6B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-1	0	0		COUNTY FAULT ZONE						EMWD
563000023	WRCOG6B-CORRECTLY ZONED	0.231	MDR		2-5 DU/AC	R-3A	0	0				YES				SGPWA
563121004	WRCOG6B-CORRECTLY ZONED	0.247	MDR		2-5 DU/AC	R-1A-9000	0	0								SGPWA
557212022	WRCOG6B-CORRECTLY ZONED	0.515	MDR		2-5 DU/AC	R-1A-9000	1	1								SGPWA
552052020	WRCOG6B-CORRECTLY ZONED	0.158	MDR		2-5 DU/AC	R-1	0	0								SGPWA
557200021	WRCOG6B-CORRECTLY ZONED	0.266	MDR		2-5 DU/AC	R-1A-9000	1	0								SGPWA
563201005	WRCOG6B-CORRECTLY ZONED	0.385	MDR		2-5 DU/AC	R-1A-9000	1	1								SGPWA
567102016	WRCOG6B-CORRECTLY ZONED	0.031	MDR		2-5 DU/AC	R-1A-9000	0	0			AREAS OF FLOODING SENSITIVITY					SGPWA
564104009	WRCOG6B-CORRECTLY ZONED	0.265	MDR		2-5 DU/AC	R-1A-9000	1	0								SGPWA
564051017	WRCOG6B-CORRECTLY ZONED	0.286	MDR		2-5 DU/AC	R-1A-9000	1	0								SGPWA
480450008	WRCOG6B-CORRECTLY ZONED	0.212	MDR		2-5 DU/AC	R-1	0	0						Zone E		EMWD
462215015	WRCOG6B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0								EMWD
458360002	WRCOG6B-CORRECTLY ZONED	0.527	MDR		2-5 DU/AC	R-1-20000	1	1								EMWD
382050034	WRCOG6B-CORRECTLY ZONED	0.322	MDR		2-5 DU/AC	R-1A	1	1								EMWD
458372019	WRCOG6B-CORRECTLY ZONED	0.302	MDR		2-5 DU/AC	R-1	1	0								EMWD
383073005	WRCOG6B-CORRECTLY ZONED	0.119	MDR		2-5 DU/AC	R-1	0	0			AREAS OF FLOODING SENSITIVITY					EMWD
102083024	WRCOG6B-CORRECTLY ZONED	0.309	MDR		2-5 DU/AC	R-1	1	0		ELSNORE FAULT ZONE						WMWD
327451049	WRCOG6B-CORRECTLY ZONED	0.199	MDR		2-5 DU/AC	R-1	0	0								WMWD
563133009	WRCOG6B-CORRECTLY ZONED	0.243	MDR		2-5 DU/AC	R-1A-9000	0	0			AREAS OF FLOODING SENSITIVITY					SGPWA
140351009	WRCOG6B-CORRECTLY ZONED	0.333	MDR		2-5 DU/AC	R-1	1	1								WMWD
255070013	WRCOG6B-CORRECTLY ZONED	7.784	MDR		2-5 DU/AC	R-3	16	16								WMWD
270320043	WRCOG6B-CORRECTLY ZONED	0.169	MDR		2-5 DU/AC	R-1	0	0								WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
383123002	WRCOG6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386210007	WRCOG6B-CORRECTLY ZONED	0.380	MDR		2-5 DU/AC	R-1	1	1	0 FAULT ZONE					EMWD
382041009	WRCOG6B-CORRECTLY ZONED	0.075	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386200012	WRCOG6B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386152011	WRCOG6B-CORRECTLY ZONED	0.138	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383103011	WRCOG6B-CORRECTLY ZONED	0.093	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
381279017	WRCOG6B-CORRECTLY ZONED	0.122	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
381272037	WRCOG6B-CORRECTLY ZONED	0.096	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
383173008	WRCOG6B-CORRECTLY ZONED	0.264	MDR		2-5 DU/AC	R-1	1	1	0					EMWD
458351015	WRCOG6B-CORRECTLY ZONED	0.208	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
457311007	WRCOG6B-CORRECTLY ZONED	0.240	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458352011	WRCOG6B-CORRECTLY ZONED	0.199	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
565034008	WRCOG6B-CORRECTLY ZONED	0.875	MDR		2-5 DU/AC	R-1A-9000	2	1	0					SGPWA
561093017	WRCOG6B-CORRECTLY ZONED	0.181	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
561142005	WRCOG6B-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-3A	0	0	0					SGPWA
563054003	WRCOG6B-CORRECTLY ZONED	0.389	MDR		2-5 DU/AC	R-1A-9000	1	1	0	AREAS OF FLOODING SENSITIVITY				SGPWA
557211007	WRCOG6B-CORRECTLY ZONED	0.474	MDR		2-5 DU/AC	R-1A-9000	1	1	0	AREAS OF FLOODING SENSITIVITY				SGPWA
561164031	WRCOG6B-CORRECTLY ZONED	0.352	MDR		2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
247160058	WRCOG6B-CORRECTLY ZONED	2.752	MDR		2-5 DU/AC	R-1	6	4	0	AREAS OF FLOODING SENSITIVITY				WMWD
383072021	WRCOG6B-CORRECTLY ZONED	0.089	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
115233002	WRCOG6B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-2	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
563133007	WRCOG6B-CORRECTLY ZONED	0.349	MDR		2-5 DU/AC	R-1A-9000	1	1	0	AREAS OF FLOODING SENSITIVITY				SGPWA
327451011	WRCOG6B-CORRECTLY ZONED	0.183	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY	YES			WMWD
318292026	WRCOG6B-CORRECTLY ZONED	0.244	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
308190002	WRCOG6B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-A-5	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
327451011	WRCOG6B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
382060013	WRCOG6B-CORRECTLY ZONED	0.057	MDR		2-5 DU/AC	R-1A	0	0	0					EMWD
387162009	WRCOG6B-CORRECTLY ZONED	0.126	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387202023	WRCOG6B-CORRECTLY ZONED	0.146	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
383173010	WRCOG6B-CORRECTLY ZONE	0.405	MDR		2-5 DU/AC	R-1	1	0	1					EMWD
386154003	WRCOG6B-CORRECTLY ZONE	0.157	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386153006	WRCOG6B-CORRECTLY ZONE	0.137	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386153005	WRCOG6B-CORRECTLY ZONE	0.140	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387254053	WRCOG6B-CORRECTLY ZONE	0.135	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383194009	WRCOG6B-CORRECTLY ZONE	0.255	MDR		2-5 DU/AC	R-1	1	0	0					EMWD
426094001	WRCOG6B-CORRECTLY ZONE	0.285	MDR		2-5 DU/AC	R-1	1	0	0					EMWD
462212013	WRCOG6B-CORRECTLY ZONE	0.165	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462197016	WRCOG6B-CORRECTLY ZONE	0.227	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462202030	WRCOG6B-CORRECTLY ZONE	0.189	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462202006	WRCOG6B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462213030	WRCOG6B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458340050	WRCOG6B-CORRECTLY ZONE	2.401	MDR		2-5 DU/AC	R-5	5	4		AREAS OF FLOODING SENSITIVITY				EMWD
458341015	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
466391014	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0	0	YES				EMWD
458362014	WRCOG6B-CORRECTLY ZONE	0.184	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458362036	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458362019	WRCOG6B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
567103018	WRCOG6B-CORRECTLY ZONE	0.272	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
564104071	WRCOG6B-CORRECTLY ZONE	0.187	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
387050065	WRCOG6B-CORRECTLY ZONE	0.139	MDR		2-5 DU/AC	R-1A	0	0	COUNTY					EMWD
563030011	WRCOG6B-CORRECTLY ZONE	0.149	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
563233006	WRCOG6B-CORRECTLY ZONE	0.404	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
476270007	WRCOG6B-CORRECTLY ZONE	2.330	MDR		2-5 DU/AC	R-A-2 1/2	5	4					Zone E	EMWD
135032006	WRCOG6B-CORRECTLY ZONE	0.132	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
140320019	WRCOG6B-CORRECTLY ZONE	0.156	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
308180016	WRCOG6B-CORRECTLY ZONE	0.177	MDR		2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
370180001	WRCOG6B-CORRECTLY ZONE	1.207	MDR		2-5 DU/AC	R-1	2	2	COUNTY					EMWD
386151014	WRCOG6B-CORRECTLY ZONE	0.148	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
383093011	WRCOG6B-CORRECTLY ZONE	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386190006	WRCOG6B-CORRECTLY ZONE	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151018	WRCOG6B-CORRECTLY ZONE	0.147	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
386151016	WRCOG6B-CORRECTLY ZONE	0.154	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383192006	WRCOG6B-CORRECTLY ZONE	0.130	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
447201034	WRCOG6B-CORRECTLY ZONE	0.319	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
457311002	WRCOG6B-CORRECTLY ZONEI	0.231	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458340048	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1	0	0						EMWD
466891037	WRCOG6B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
462211010	WRCOG6B-CORRECTLY ZONEI	0.193	MDR		2-5 DU/AC	R-1	0	0						EMWD
462199005	WRCOG6B-CORRECTLY ZONEI	0.197	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350014	WRCOG6B-CORRECTLY ZONEI	0.231	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
563219029	WRCOG6B-CORRECTLY ZONEI	0.429	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565044002	WRCOG6B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565130010	WRCOG6B-CORRECTLY ZONEI	1.015	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
547110024	WRCOG6B-CORRECTLY ZONEI	0.520	MDR		2-5 DU/AC	R-1	1	1						SGPWA
565420214	WRCOG6B-CORRECTLY ZONEI	0.190	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564140028	WRCOG6B-CORRECTLY ZONEI	0.224	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
557122008	WRCOG6B-CORRECTLY ZONEI	0.391	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
434260028	WRCOG6B-CORRECTLY ZONEI	0.394	MDR		2-5 DU/AC	R-3	1	1						EMWD
383071017	WRCOG6B-CORRECTLY ZONEI	0.086	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
563142003	WRCOG6B-CORRECTLY ZONEI	0.251	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
480431016	WRCOG6B-CORRECTLY ZONEI	0.004	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY	YES		Zone E	EMWD
476270011	WRCOG6B-CORRECTLY ZONEI	2.306	MDR		2-5 DU/AC	R-A-2 1/2	5	4		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
140320020	WRCOG6B-CORRECTLY ZONEI	0.163	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451001	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						WMWD
308340012	WRCOG6B-CORRECTLY ZONEI	1.034	MDR		2-5 DU/AC	R-A-5	2	2		AREAS OF FLOODING SENSITIVITY				WMWD
327469001	WRCOG6B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386199002	WRCOG6B-CORRECTLY ZONEI	0.212	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386191004	WRCOG6B-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386192004	WRCOG6B-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386159002	WRCOG6B-CORRECTLY ZONEI	0.141	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381151017	WRCOG6B-CORRECTLY ZONEI	0.095	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
381248032	WRCOG6B-CORRECTLY ZONEI	0.082	MDR		2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386209011	WRCOG6B-CORRECTLY ZONEI	0.285	MDR		2-5 DU/AC	R-1	1	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

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381072023	WRCOG6B-CORRECTLY ZONED	0.079	MDR		2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
387101008	WRCOG6B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
447290076	WRCOG6B-CORRECTLY ZONED	0.093	MDR		2-5 DU/AC	R-1	0	0						EMWD
462210007	WRCOG6B-CORRECTLY ZONED	0.178	MDR		2-5 DU/AC	R-1	0	0						EMWD
462202038	WRCOG6B-CORRECTLY ZONED	0.296	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				EMWD
462060012	WRCOG6B-CORRECTLY ZONED	8.768	MDR		2-5 DU/AC	R-1	18	14						EMWD
458351018	WRCOG6B-CORRECTLY ZONED	0.254	MDR		2-5 DU/AC	R-1	1	0						EMWD
459020039	WRCOG6B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462210001	WRCOG6B-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0						EMWD
565042011	WRCOG6B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565043006	WRCOG6B-CORRECTLY ZONED	0.140	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071030	WRCOG6B-CORRECTLY ZONED	0.266	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
564112028	WRCOG6B-CORRECTLY ZONED	0.328	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565151003	WRCOG6B-CORRECTLY ZONED	0.220	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559154002	WRCOG6B-CORRECTLY ZONED	0.234	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563082008	WRCOG6B-CORRECTLY ZONED	0.399	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
549003073	WRCOG6B-CORRECTLY ZONED	4.744	MDR		2-5 DU/AC	R-T	9	8						SGPWA
383071010	WRCOG6B-CORRECTLY ZONED	0.087	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
459020027	WRCOG6B-CORRECTLY ZONED	21.855	MDR		2-5 DU/AC	R-T	44	35		AREAS OF FLOODING SENSITIVITY				EMWD
140351012	WRCOG6B-CORRECTLY ZONED	0.255	MDR		2-5 DU/AC	R-1	1	0						EMWD
327451042	WRCOG6B-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327461006	WRCOG6B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
386192015	WRCOG6B-CORRECTLY ZONED	0.242	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381174002	WRCOG6B-CORRECTLY ZONED	0.074	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386201017	WRCOG6B-CORRECTLY ZONED	0.216	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
387212066	WRCOG6B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-1	0	0						EMWD
403042034	WRCOG6B-CORRECTLY ZONED	0.230	MDR		2-5 DU/AC	R-1	0	0						EMWD
383123004	WRCOG6B-CORRECTLY ZONED	0.086	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386192002	WRCOG6B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387212053	WRCOG6B-CORRECTLY ZONED	0.040	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
426101004	WRCOG6B-CORRECTLY ZONED	1.110	MDR		2-5 DU/AC	R-1	2	2						EMWD
466591040	WRCOG6B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
462213028	WRCOG6B-CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
466591009	WRCOG6B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
458841009	WRCOG6B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
476090009	WRCOG6B-CORRECTLY ZONED	3.007	MDR		2-5 DU/AC	R-1	6	5		AREAS OF FLOODING SENSITIVITY				EMWD
561151007	WRCOG6B-CORRECTLY ZONED	0.490	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563183025	WRCOG6B-CORRECTLY ZONED	0.077	MDR		2-5 DU/AC	R-3A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565101018	WRCOG6B-CORRECTLY ZONED	0.557	MDR		2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
567081017	WRCOG6B-CORRECTLY ZONED	0.162	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561192012	WRCOG6B-CORRECTLY ZONED	0.597	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565233025	WRCOG6B-CORRECTLY ZONED	0.994	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
561181014	WRCOG6B-CORRECTLY ZONED	0.954	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
565192038	WRCOG6B-CORRECTLY ZONED	0.242	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564051020	WRCOG6B-CORRECTLY ZONED	1.897	MDR		2-5 DU/AC	R-1A-9000	4	3		AREAS OF FLOODING SENSITIVITY				SGPWA
381174001	WRCOG6B-CORRECTLY ZONED	0.107	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
327451056	WRCOG6B-CORRECTLY ZONED	0.174	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
115221032	WRCOG6B-CORRECTLY ZONED	0.218	MDR		2-5 DU/AC	R-2	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
563141002	WRCOG6B-CORRECTLY ZONED	0.254	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
140961015	WRCOG6B-CORRECTLY ZONED	0.220	MDR		2-5 DU/AC	R-1	0	0						WMWD
135530004	WRCOG6B-CORRECTLY ZONED	0.229	MDR		2-5 DU/AC	R-1-10000	0	0						WMWD
140320021	WRCOG6B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-1	0	0						WMWD
255250011	WRCOG6B-CORRECTLY ZONED	0.102	MDR		2-5 DU/AC	R-1	0	0						WMWD
307260037	WRCOG6B-CORRECTLY ZONED	15.482	MDR		2-5 DU/AC	R-1	31	25						WMWD
290745002	WRCOG6B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-1	0	0						WMWD
383033033	WRCOG6B-CORRECTLY ZONED	0.151	MDR		2-5 DU/AC	R-1	0	0						EMWD
381062018	WRCOG6B-CORRECTLY ZONED	0.035	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
383104014	WRCOG6B-CORRECTLY ZONED	0.087	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
388081033	WRCOG6B-CORRECTLY ZONED	0.231	MDR		2-5 DU/AC	R-2	0	0						EMWD
386203002	WRCOG6B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0						EMWD
383192001	WRCOG6B-CORRECTLY ZONED	0.212	MDR		2-5 DU/AC	R-1	0	0						EMWD
383033047	WRCOG6B-CORRECTLY ZONED	0.137	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381284030	WRCOG6B-CORRECTLY ZONED	0.231	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
449090006	WRCOG6B-CORRECTLY ZONED	0.600	MDR		2-5 DU/AC	R-1	1	1	SAN JACINTO FAULT ZONE					EMWD
462200001	WRCOG6B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0						EMWD
561121042	WRCOG6B-CORRECTLY ZONED	0.127	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563074004	WRCOG6B-CORRECTLY ZONED	0.430	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
559163007	WRCOG6B-CORRECTLY ZONED	0.276	MDR		2-5 DU/AC	R-3A-20000	1	0						SGPWA
564140021	WRCOG6B-CORRECTLY ZONED	0.194	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA

Housing Element Appendix A - Housing Inventory List

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564051001	WRCOG6B-CORRECTLY ZONEI	0.209	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565162025	WRCOG6B-CORRECTLY ZONEI	1.707	MDR		2-5 DU/AC	R-1A-9000	3	3						SGPWA
381262054	WRCOG6B-CORRECTLY ZONEI	0.011	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
247124020	WRCOG6B-CORRECTLY ZONEI	0.090	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					WMWD
383075014	WRCOG6B-CORRECTLY ZONEI	0.109	MDR		2-5 DU/AC	R-1	0	0						EMWD
458360001	WRCOG6B-CORRECTLY ZONEI	0.499	MDR		2-5 DU/AC	R-1-20000	1	1						EMWD
136120012	WRCOG6B-CORRECTLY ZONEI	0.804	MDR		2-5 DU/AC	R-1	2	1						WMWD
1409161011	WRCOG6B-CORRECTLY ZONEI	0.358	MDR		2-5 DU/AC	R-1	1	1	COUNTY					WMWD
282542024	WRCOG6B-CORRECTLY ZONEI	0.284	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
308180013	WRCOG6B-CORRECTLY ZONEI	0.177	MDR		2-5 DU/AC	R-4-5	0	0						WMWD
327462005	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						WMWD
386151010	WRCOG6B-CORRECTLY ZONEI	0.071	MDR		2-5 DU/AC	R-1	0	0						EMWD
462201004	WRCOG6B-CORRECTLY ZONEI	0.199	MDR		2-5 DU/AC	R-1	0	0						EMWD
386150005	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
408060004	WRCOG6B-CORRECTLY ZONEI	1.840	MDR		2-5 DU/AC	R-T	4	3						EMWD
462191003	WRCOG6B-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1	0	0						EMWD
449090010	WRCOG6B-CORRECTLY ZONEI	0.484	MDR		2-5 DU/AC	R-1	1	1	SAN JACINTO					SGPWA
462201003	WRCOG6B-CORRECTLY ZONEI	0.204	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					SGPWA
462211008	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1	0	0						EMWD
447091015	WRCOG6B-CORRECTLY ZONEI	0.047	MDR		2-5 DU/AC	R-1	0	0						EMWD
462050004	WRCOG6B-CORRECTLY ZONEI	9.648	MDR		2-5 DU/AC	R-1	19	15		AREAS OF FLOODING SENSITIVITY	YES			EMWD
567092009	WRCOG6B-CORRECTLY ZONEI	0.318	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565122009	WRCOG6B-CORRECTLY ZONEI	0.199	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564222015	WRCOG6B-CORRECTLY ZONEI	0.151	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
567123043	WRCOG6B-CORRECTLY ZONEI	0.146	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
458350020	WRCOG6B-CORRECTLY ZONEI	0.096	MDR		2-5 DU/AC	R-1-20000	0	0						EMWD
327452010	WRCOG6B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
383076011	WRCOG6B-CORRECTLY ZONEI	0.115	MDR		2-5 DU/AC	R-1	0	0						EMWD
458862010	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						EMWD
567111008	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
102203004	WRCOG6B-CORRECTLY ZONEI	2.207	MDR		2-5 DU/AC	R-1	4	4		AREAS OF FLOODING SENSITIVITY				WMWD
565070020	WRCOG6B-CORRECTLY ZONEI	2.342	MDR		2-5 DU/AC	R-3A	5	4		FLOODING SENSITIVITY				SGPWA
966060037	WRCOG6B-CORRECTLY ZONEI	0.154	MDR		2-5 DU/AC	R-1	0	0						EMWD
138590003	WRCOG6B-CORRECTLY ZONEI	11.631	MDR		2-5 DU/AC	R-1-10000	23	19						WMWD
966880008	WRCOG6B-CORRECTLY ZONEI	17.476	MDR		2-5 DU/AC	R-1	35	28	COUNTY					EMWD



Housing Element Appendix A - Housing Inventory List

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327451015	WRCOG66B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451039	WRCOG66B-CORRECTLY ZONEI	0.207	MDR		2-5 DU/AC	R-1	0	0						WMWD
381290036	WRCOG66B-CORRECTLY ZONEI	0.429	MDR		2-5 DU/AC	R-3	1	1	COUNTY 1 FAULT ZONE					EMWD
386202005	WRCOG66B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0						EMWD
426095008	WRCOG66B-CORRECTLY ZONEI	0.233	MDR		2-5 DU/AC	R-1	0	0						EMWD
447052012	WRCOG66B-CORRECTLY ZONEI	0.444	MDR		2-5 DU/AC	R-3	1	1						EMWD
46591008	WRCOG66B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
449230042	WRCOG66B-CORRECTLY ZONEI	0.169	MDR		2-5 DU/AC	R-1	0	0						EMWD
462202008	WRCOG66B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1	0	0						EMWD
561122002	WRCOG66B-CORRECTLY ZONEI	0.160	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563183015	WRCOG66B-CORRECTLY ZONEI	0.186	MDR		2-5 DU/AC	R-3A	0	0						SGPWA
548132002	WRCOG66B-CORRECTLY ZONEI	0.360	MDR		2-5 DU/AC	R-D	1	1						SGPWA
555500074	WRCOG66B-CORRECTLY ZONEI	0.744	MDR		2-5 DU/AC	R-1	1	1						SGPWA
256042006	WRCOG66B-CORRECTLY ZONEI	0.269	MDR		2-5 DU/AC	R-1	1	1						WMWD
164641015	WRCOG66B-CORRECTLY ZONEI	0.165	MDR		2-5 DU/AC	R-1	0	0					Zone D	WMWD
140360007	WRCOG66B-CORRECTLY ZONEI	0.376	MDR		2-5 DU/AC	R-1	1	1						WMWD
140360003	WRCOG66B-CORRECTLY ZONEI	0.303	MDR		2-5 DU/AC	R-1	0	0						WMWD
140320013	WRCOG66B-CORRECTLY ZONEI	0.296	MDR		2-5 DU/AC	R-1	1	1						WMWD
140360006	WRCOG66B-CORRECTLY ZONEI	0.335	MDR		2-5 DU/AC	R-1	1	1						WMWD
256083009	WRCOG66B-CORRECTLY ZONEI	0.290	MDR		2-5 DU/AC	R-1	1	0	COUNTY					WMWD
383033035	WRCOG66B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383173004	WRCOG66B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383111006	WRCOG66B-CORRECTLY ZONEI	0.108	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383091021	WRCOG66B-CORRECTLY ZONEI	0.071	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
387060020	WRCOG66B-CORRECTLY ZONEI	0.258	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
383173037	WRCOG66B-CORRECTLY ZONEI	0.327	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
462212005	WRCOG66B-CORRECTLY ZONEI	0.163	MDR		2-5 DU/AC	R-1	0	0						EMWD
458340042	WRCOG66B-CORRECTLY ZONEI	0.459	MDR		2-5 DU/AC	R-1-20000	1	1						SGPWA
457310024	WRCOG66B-CORRECTLY ZONEI	0.498	MDR		2-5 DU/AC	R-1	1	1						SGPWA
458341017	WRCOG66B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-1	0	0						SGPWA
561201007	WRCOG66B-CORRECTLY ZONEI	0.727	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565043008	WRCOG66B-CORRECTLY ZONEI	0.151	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565192019	WRCOG66B-CORRECTLY ZONEI	0.251	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564222017	WRCOG66B-CORRECTLY ZONEI	0.231	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
567103015	WRCOG66B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
135530008	WRCOG66B-CORRECTLY ZONEI	0.291	MDR		2-5 DU/AC	R-1-10000	1	1						SGPWA
140360009	WRCOG66B-CORRECTLY ZONEI	0.525	MDR		2-5 DU/AC	R-1	1	1						WMWD
256075001	WRCOG66B-CORRECTLY ZONEI	0.414	MDR		2-5 DU/AC	R-1	1	1						WMWD
308180004	WRCOG66B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
381061007	WRCOG66B-CORRECTLY ZONEI	0.065	MDR		2-5 DU/AC	R-3	0	0						EMWD
387213014	WRCOG66B-CORRECTLY ZONEI	0.103	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

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408060003	WRCOG66B-CORRECTLY ZONE	4.237	MDR		2-5 DU/AC	R-T	8	7	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383042048	WRCOG66B-CORRECTLY ZONE	0.153	MDR		2-5 DU/AC	R-1	0	0						EMWD
386203003	WRCOG66B-CORRECTLY ZONE	0.233	MDR		2-5 DU/AC	R-1	0	0						EMWD
449112048	WRCOG66B-CORRECTLY ZONE	0.867	MDR		2-5 DU/AC	R-1	2	1						EMWD
434221006	WRCOG66B-CORRECTLY ZONE	0.928	MDR		2-5 DU/AC	R-A	2	1						EMWD
449203014	WRCOG66B-CORRECTLY ZONE	0.198	MDR		2-5 DU/AC	R-1	0	0						EMWD
548211028	WRCOG66B-CORRECTLY ZONE	0.169	MDR		2-5 DU/AC	R-T	0	0						SGPWA
561092013	WRCOG66B-CORRECTLY ZONE	0.267	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
563272011	WRCOG66B-CORRECTLY ZONE	0.825	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565041005	WRCOG66B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563030001	WRCOG66B-CORRECTLY ZONE	0.718	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561181036	WRCOG66B-CORRECTLY ZONE	1.008	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
382050007	WRCOG66B-CORRECTLY ZONE	0.473	MDR		2-5 DU/AC	R-1A	1	1						EMWD
563043002	WRCOG66B-CORRECTLY ZONE	0.208	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563133001	WRCOG66B-CORRECTLY ZONE	0.192	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
133260019	WRCOG66B-CORRECTLY ZONE	0.492	MDR		2-5 DU/AC	R-1	1	1						WMWD
246123009	WRCOG66B-CORRECTLY ZONE	0.008	MDR		2-5 DU/AC	R-1	0	0						WMWD
140320012	WRCOG66B-CORRECTLY ZONE	0.262	MDR		2-5 DU/AC	R-1	1	0						WMWD
290241049	WRCOG66B-CORRECTLY ZONE	0.237	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
308150004	WRCOG66B-CORRECTLY ZONE	2.002	MDR		2-5 DU/AC	R-A-5	4	3		AREAS OF FLOODING SENSITIVITY	YES			WMWD
381174014	WRCOG66B-CORRECTLY ZONE	0.138	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386151011	WRCOG66B-CORRECTLY ZONE	0.146	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383041002	WRCOG66B-CORRECTLY ZONE	0.148	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386210011	WRCOG66B-CORRECTLY ZONE	0.255	MDR		2-5 DU/AC	R-1	1	0						EMWD
462190005	WRCOG66B-CORRECTLY ZONE	0.180	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391016	WRCOG66B-CORRECTLY ZONE	0.186	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
480450020	WRCOG66B-CORRECTLY ZONE	0.859	MDR		2-5 DU/AC	R-1	2	1		AREAS OF FLOODING SENSITIVITY				EMWD
5651151029	WRCOG66B-CORRECTLY ZONE	0.237	MDR		2-5 DU/AC	R-1A-9000	0	0					Zone E	EMWD
563121008	WRCOG66B-CORRECTLY ZONE	0.204	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564112005	WRCOG66B-CORRECTLY ZONE	1.009	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
563122034	WRCOG66B-CORRECTLY ZONE	0.116	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
560120033	WRCOG66B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563212022	WRCOG66B-CORRECTLY ZONE	0.510	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561141006	WRCOG66B-CORRECTLY ZONE	0.292	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA

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458851024	WRCOG6B-CORRECTLY ZONE1	0.323	MDR		2-5 DU/JAC	R-1-20000	1	1						EMWD
290610014	WRCOG6B-CORRECTLY ZONE1	0.156	MDR		2-5 DU/JAC	R-1	0	0						WMWD
327451029	WRCOG6B-CORRECTLY ZONE1	0.199	MDR		2-5 DU/JAC	R-1	0	0						WMWD
382050003	WRCOG6B-CORRECTLY ZONE1	0.524	MDR		2-5 DU/JAC	R-1A	1	1	COUNTY FAULT ZONE					EMWD
386201010	WRCOG6B-CORRECTLY ZONE1	0.260	MDR		2-5 DU/JAC	R-1	1	0	FAULT ZONE					EMWD
408040008	WRCOG6B-CORRECTLY ZONE1	4.844	MDR		2-5 DU/JAC	R-T	10	8	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
382032007	WRCOG6B-CORRECTLY ZONE1	0.095	MDR		2-5 DU/JAC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462210012	WRCOG6B-CORRECTLY ZONE1	0.186	MDR		2-5 DU/JAC	R-1	0	0						EMWD
466391023	WRCOG6B-CORRECTLY ZONE1	0.173	MDR		2-5 DU/JAC	R-1	0	0			YES			EMWD
458372023	WRCOG6B-CORRECTLY ZONE1	0.174	MDR		2-5 DU/JAC	R-1	0	0						EMWD
462192007	WRCOG6B-CORRECTLY ZONE1	0.166	MDR		2-5 DU/JAC	R-1	0	0						EMWD
466391030	WRCOG6B-CORRECTLY ZONE1	0.173	MDR		2-5 DU/JAC	R-1	0	0			YES			EMWD
457310020	WRCOG6B-CORRECTLY ZONE1	0.224	MDR		2-5 DU/JAC	R-1	0	0						EMWD
449340065	WRCOG6B-CORRECTLY ZONE1	0.649	MDR		2-5 DU/JAC	R-1	1	1						EMWD
549400016	WRCOG6B-CORRECTLY ZONE1	0.209	MDR		2-5 DU/JAC	R-T	0	0						SGPWA
557201005	WRCOG6B-CORRECTLY ZONE1	0.425	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
561101022	WRCOG6B-CORRECTLY ZONE1	0.306	MDR		2-5 DU/JAC	R-1A-9000	1	0						SGPWA
565043015	WRCOG6B-CORRECTLY ZONE1	0.186	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
563242014	WRCOG6B-CORRECTLY ZONE1	0.468	MDR		2-5 DU/JAC	R-3A	1	1						SGPWA
563201003	WRCOG6B-CORRECTLY ZONE1	0.236	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
563072005	WRCOG6B-CORRECTLY ZONE1	0.341	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
561093015	WRCOG6B-CORRECTLY ZONE1	0.171	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
549271019	WRCOG6B-CORRECTLY ZONE1	0.168	MDR		2-5 DU/JAC	R-T	0	0	SAN JACINTO FAULT ZONE					SGPWA
565252019	WRCOG6B-CORRECTLY ZONE1	0.100	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
318292010	WRCOG6B-CORRECTLY ZONE1	0.191	MDR		2-5 DU/JAC	R-1	0	0						WMWD
255150001	WRCOG6B-CORRECTLY ZONE1	8.999	MDR		2-5 DU/JAC	R-1	18	14						WMWD
247160018	WRCOG6B-CORRECTLY ZONE1	0.146	MDR		2-5 DU/JAC	R-1	0	0						WMWD
308160008	WRCOG6B-CORRECTLY ZONE1	0.195	MDR		2-5 DU/JAC	R-A-5	0	0			YES			WMWD
308180008	WRCOG6B-CORRECTLY ZONE1	0.205	MDR		2-5 DU/JAC	R-A-5	0	0						WMWD
386192017	WRCOG6B-CORRECTLY ZONE1	0.243	MDR		2-5 DU/JAC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381272033	WRCOG6B-CORRECTLY ZONE1	0.102	MDR		2-5 DU/JAC	R-3	0	0						EMWD
383182013	WRCOG6B-CORRECTLY ZONE1	0.233	MDR		2-5 DU/JAC	R-1	0	0						EMWD
383201032	WRCOG6B-CORRECTLY ZONE1	0.161	MDR		2-5 DU/JAC	R-3	0	0	COUNTY FAULT ZONE					EMWD
381290005	WRCOG6B-CORRECTLY ZONE1	5.699	MDR		2-5 DU/JAC	R-3	11	9	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
458351006	WRCOG6B-CORRECTLY ZONE1	0.173	MDR		2-5 DU/JAC	R-1	0	0						WMWD
462213003	WRCOG6B-CORRECTLY ZONE1	0.166	MDR		2-5 DU/JAC	R-1	0	0						WMWD
462202001	WRCOG6B-CORRECTLY ZONE1	0.175	MDR		2-5 DU/JAC	R-1	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
462193006	WRCOG66B-CORRECTLY ZONEI	0.183	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
557201001	WRCOG66B-CORRECTLY ZONEI	0.368	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
565225005	WRCOG66B-CORRECTLY ZONEI	0.201	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
567123037	WRCOG66B-CORRECTLY ZONEI	0.144	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
557230045	WRCOG66B-CORRECTLY ZONEI	0.116	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564071014	WRCOG66B-CORRECTLY ZONEI	0.233	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564183007	WRCOG66B-CORRECTLY ZONEI	0.169	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
283150041	WRCOG66B-CORRECTLY ZONEI	10.506	MDR		2.5 DU/AC	R-1	21	17						WMWD
563042009	WRCOG66B-CORRECTLY ZONEI	0.407	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
476270001	WRCOG66B-CORRECTLY ZONEI	2.359	MDR		2.5 DU/AC	R-A-2 1/2	5	4		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
966050065	WRCOG66B-CORRECTLY ZONEI	0.391	MDR		2.5 DU/AC	R-1	1	1						EMWD
140290040	WRCOG66B-CORRECTLY ZONEI	5.481	MDR		2.5 DU/AC	R-4	11	9			YES			WMWD
140360021	WRCOG66B-CORRECTLY ZONEI	0.222	MDR		2.5 DU/AC	R-1	0	0						WMWD
255060008	WRCOG66B-CORRECTLY ZONEI	7.873	MDR		2.5 DU/AC	R-1	16	13						WMWD
166271020	WRCOG66B-CORRECTLY ZONEI	0.462	MDR		2.5 DU/AC	R-1	1	1						WMWD
327451025	WRCOG66B-CORRECTLY ZONEI	0.175	MDR		2.5 DU/AC	R-1	0	0						WMWD
327451036	WRCOG66B-CORRECTLY ZONEI	0.166	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
386199028	WRCOG66B-CORRECTLY ZONEI	0.235	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386152013	WRCOG66B-CORRECTLY ZONEI	0.148	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
386153018	WRCOG66B-CORRECTLY ZONEI	0.154	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
386151035	WRCOG66B-CORRECTLY ZONEI	0.143	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
382033019	WRCOG66B-CORRECTLY ZONEI	0.093	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386201012	WRCOG66B-CORRECTLY ZONEI	0.285	MDR		2.5 DU/AC	R-1	1	0	COUNTY					EMWD
447260023	WRCOG66B-CORRECTLY ZONEI	1.055	MDR		2.5 DU/AC	R-1	2	2	FAULT ZONE					EMWD
447290060	WRCOG66B-CORRECTLY ZONEI	0.055	MDR		2.5 DU/AC	R-1	0	0						EMWD
466591017	WRCOG66B-CORRECTLY ZONEI	0.193	MDR		2.5 DU/AC	R-1	0	0			YES			EMWD
457350007	WRCOG66B-CORRECTLY ZONEI	4.477	MDR		2.5 DU/AC	R-1-20000	9	7		AREAS OF FLOODING SENSITIVITY	YES			EMWD
449060004	WRCOG66B-CORRECTLY ZONEI	8.379	MDR		2.5 DU/AC	R-1-9000	17	13	SAN JACINTO					EMWD
462213023	WRCOG66B-CORRECTLY ZONEI	0.269	MDR		2.5 DU/AC	R-1	1	0	FAULT ZONE					EMWD
458351009	WRCOG66B-CORRECTLY ZONEI	0.170	MDR		2.5 DU/AC	R-1	0	0						EMWD
458360007	WRCOG66B-CORRECTLY ZONEI	0.199	MDR		2.5 DU/AC	R-1	0	0						EMWD
447270037	WRCOG66B-CORRECTLY ZONEI	8.333	MDR		2.5 DU/AC	R-1	17	13						EMWD
557092006	WRCOG66B-CORRECTLY ZONEI	0.384	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
552360013	WRCOG66B-CORRECTLY ZONEI	0.262	MDR		2.5 DU/AC	R-1	1	0	SAN JACINTO					SGPWA
561123017	WRCOG66B-CORRECTLY ZONEI	0.134	MDR		2.5 DU/AC	R-1A-9000	0	0	FAULT ZONE					SGPWA
561220025	WRCOG66B-CORRECTLY ZONEI	0.455	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
561121036	WRCOG66B-CORRECTLY ZONEI	0.131	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	C/VAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
564112009	WRCOG66B-CORRECTLY ZONED	0.201	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
462113014	WRCOG66B-CORRECTLY ZONED	0.206	MDR		2-5 DU/AC	R-1	0	0						EMWD
308160003	WRCOG66B-CORRECTLY ZONED	0.083	MDR		2-5 DU/AC	R-A-5	0	0			YES			WMWD
327451052	WRCOG66B-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451057	WRCOG66B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
563135021	WRCOG66B-CORRECTLY ZONED	0.224	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
140351010	WRCOG66B-CORRECTLY ZONED	0.205	MDR		2-5 DU/AC	R-1	0	0						WMWD
140360008	WRCOG66B-CORRECTLY ZONED	0.489	MDR		2-5 DU/AC	R-1	1	1						WMWD
135050031	WRCOG66B-CORRECTLY ZONED	3.168	MDR		2-5 DU/AC	R-1	6	5						WMWD
256103014	WRCOG66B-CORRECTLY ZONED	0.016	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
383115014	WRCOG66B-CORRECTLY ZONED	0.092	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387091007	WRCOG66B-CORRECTLY ZONED	0.922	MDR		2-5 DU/AC	R-3	2	1	COUNTY FAULT ZONE					EMWD
386151024	WRCOG66B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381140020	WRCOG66B-CORRECTLY ZONED	0.091	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
402050016	WRCOG66B-CORRECTLY ZONED	4.779	MDR		2-5 DU/AC	R-A-20000	10	8	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
408050007	WRCOG66B-CORRECTLY ZONED	0.248	MDR		2-5 DU/AC	R-T	0	0	COUNTY	FLOODING SENSITIVITY				EMWD
386201008	WRCOG66B-CORRECTLY ZONED	0.243	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462190011	WRCOG66B-CORRECTLY ZONED	0.261	MDR		2-5 DU/AC	R-1	1	0						EMWD
480440057	WRCOG66B-CORRECTLY ZONED	0.027	MDR		2-5 DU/AC	R-1	0	0					Zone E	EMWD
458340002	WRCOG66B-CORRECTLY ZONED	0.232	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
551210054	WRCOG66B-CORRECTLY ZONED	0.501	MDR		2-5 DU/AC	R-1	1	1						SGPWA
551311004	WRCOG66B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-T-7200	0	0	SAN JACINTO FAULT ZONE					SGPWA
563204005	WRCOG66B-CORRECTLY ZONED	0.137	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
559062004	WRCOG66B-CORRECTLY ZONED	0.257	MDR		2-5 DU/AC	R-3A-20000	1	0						SGPWA
559161002	WRCOG66B-CORRECTLY ZONED	0.211	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
283150026	WRCOG66B-CORRECTLY ZONED	0.559	MDR		2-5 DU/AC	R-1	1	1						WMWD
140351003	WRCOG66B-CORRECTLY ZONED	0.300	MDR		2-5 DU/AC	R-1	1	0						WMWD
135530010	WRCOG66B-CORRECTLY ZONED	0.323	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
246123012	WRCOG66B-CORRECTLY ZONED	0.082	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383201016	WRCOG66B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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381290031	WRCOG6B-CORRECTLY ZONE	1.774	MDR		2-5 DU/AC	R-3	4	3	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
447140024	WRCOG6B-CORRECTLY ZONE	0.431	MDR		2-5 DU/AC	R-3	1	1						EMWD
462212001	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0						EMWD
462193007	WRCOG6B-CORRECTLY ZONE	0.230	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350007	WRCOG6B-CORRECTLY ZONE	0.463	MDR		2-5 DU/AC	R-1-20000	1	1						EMWD
458372017	WRCOG6B-CORRECTLY ZONE	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
459121042	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-T	0	0		FLOODING SENSITIVITY				EMWD
564104007	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
560101014	WRCOG6B-CORRECTLY ZONE	4.259	MDR		2-5 DU/AC	R-1A-20000	9	7		AREAS OF FLOODING SENSITIVITY				SGPWA
565101017	WRCOG6B-CORRECTLY ZONE	0.684	MDR		2-5 DU/AC	R-3A	1	1		FLOODING SENSITIVITY				SGPWA
565180006	WRCOG6B-CORRECTLY ZONE	0.757	MDR		2-5 DU/AC	R-1A-9000	2	1						SGPWA
563153014	WRCOG6B-CORRECTLY ZONE	0.417	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
480450019	WRCOG6B-CORRECTLY ZONE	0.512	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
382050023	WRCOG6B-CORRECTLY ZONE	1.468	MDR		2-5 DU/AC	R-1A	3	2						EMWD
476270014	WRCOG6B-CORRECTLY ZONE	2.271	MDR		2-5 DU/AC	R-A-2 1/2	5	4		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
381152018	WRCOG6B-CORRECTLY ZONE	0.221	MDR		2-5 DU/AC	R-3	0	0		FLOODING SENSITIVITY				EMWD
386193012	WRCOG6B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
370180023	WRCOG6B-CORRECTLY ZONE	2.137	MDR		2-5 DU/AC	R-1	4	3						EMWD
386152001	WRCOG6B-CORRECTLY ZONE	0.134	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386191003	WRCOG6B-CORRECTLY ZONE	0.197	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383192004	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0						EMWD
383093009	WRCOG6B-CORRECTLY ZONE	0.087	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
387251016	WRCOG6B-CORRECTLY ZONE	0.088	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
387212081	WRCOG6B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
426106021	WRCOG6B-CORRECTLY ZONE	0.198	MDR		2-5 DU/AC	R-1	0	0						EMWD
388371005	WRCOG6B-CORRECTLY ZONE	0.313	MDR		2-5 DU/AC	R-1	1	1						EMWD
462210013	WRCOG6B-CORRECTLY ZONE	0.199	MDR		2-5 DU/AC	R-1	0	0						EMWD
458372003	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD

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45837004	WRCOG6B-CORRECTLY ZONE	6.905	MDR		2-5 DU/AC	R-5	14	11		AREAS OF FLOODING SENSITIVITY				EMWD
45835103	WRCOG6B-CORRECTLY ZONE	0.214	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
457911016	WRCOG6B-CORRECTLY ZONE	0.232	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
559061012	WRCOG6B-CORRECTLY ZONE	0.152	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
557220015	WRCOG6B-CORRECTLY ZONE	0.239	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559120032	WRCOG6B-CORRECTLY ZONE	0.139	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563241007	WRCOG6B-CORRECTLY ZONE	0.555	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561101014	WRCOG6B-CORRECTLY ZONE	0.392	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
552281021	WRCOG6B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-1	0	0						SGPWA
554062002	WRCOG6B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
247062014	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
297034024	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-A	0	0						WMWD
327462003	WRCOG6B-CORRECTLY ZONE	0.163	MDR		2-5 DU/AC	R-1	0	0						WMWD
327452004	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383091017	WRCOG6B-CORRECTLY ZONE	0.086	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387060005	WRCOG6B-CORRECTLY ZONE	0.381	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					EMWD
386152010	WRCOG6B-CORRECTLY ZONE	0.144	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387223002	WRCOG6B-CORRECTLY ZONE	0.222	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
38207009	WRCOG6B-CORRECTLY ZONE	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386210013	WRCOG6B-CORRECTLY ZONE	0.297	MDR		2-5 DU/AC	R-1	1	0						EMWD
383182012	WRCOG6B-CORRECTLY ZONE	0.251	MDR		2-5 DU/AC	R-1	1	0						EMWD
426102005	WRCOG6B-CORRECTLY ZONE	0.087	MDR		2-5 DU/AC	R-1	0	0						EMWD
387212040	WRCOG6B-CORRECTLY ZONE	0.083	MDR		2-5 DU/AC	R-1	0	0						EMWD
447052043	WRCOG6B-CORRECTLY ZONE	0.939	MDR		2-5 DU/AC	R-3	2	2						EMWD
458352006	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462060015	WRCOG6B-CORRECTLY ZONE	9.736	MDR		2-5 DU/AC	R-1	19	16		AREAS OF FLOODING SENSITIVITY	YES			EMWD
561220017	WRCOG6B-CORRECTLY ZONE	0.271	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
565240006	WRCOG6B-CORRECTLY ZONE	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563121003	WRCOG6B-CORRECTLY ZONE	0.502	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564051019	WRCOG6B-CORRECTLY ZONE	1.328	MDR		2-5 DU/AC	R-1A-9000	3	2						SGPWA
565162012	WRCOG6B-CORRECTLY ZONE	0.277	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563222003	WRCOG6B-CORRECTLY ZONE	0.608	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561181029	WRCOG6B-CORRECTLY ZONE	0.144	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564140001	WRCOG6B-CORRECTLY ZONE	0.319	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
458372005	WRCOG6B-CORRECTLY ZONE	0.313	MDR		2-5 DU/AC	R-1	1	1						EMWD
565123001	WRCOG6B-CORRECTLY ZONE	0.354	MDR		2-5 DU/AC	R-3A	1	1						SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
387162021	WRCOG6B-CORRECTLY ZONE	0.048 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
140351011	WRCOG6B-CORRECTLY ZONE	0.256 MDR			2-5 DU/AC	R-1	1	0	0 FAULT ZONE					WMWD
259200016	WRCOG6B-CORRECTLY ZONE	5.771 MDR			2-5 DU/AC	R-1	12	9	0					WMWD
308110010	WRCOG6B-CORRECTLY ZONE	1.512 MDR			2-5 DU/AC	R-A-5	3	2	0					WMWD
327462001	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-1	0	0	COUNTY					WMWD
387169015	WRCOG6B-CORRECTLY ZONE	0.140 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383081001	WRCOG6B-CORRECTLY ZONE	0.143 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386190001	WRCOG6B-CORRECTLY ZONE	0.289 MDR			2-5 DU/AC	R-1	1	0	COUNTY					EMWD
387191005	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383033019	WRCOG6B-CORRECTLY ZONE	0.187 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
388100007	WRCOG6B-CORRECTLY ZONE	0.009 MDR			2-5 DU/AC	R-1	0	0	0					EMWD
457311018	WRCOG6B-CORRECTLY ZONE	0.201 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458350018	WRCOG6B-CORRECTLY ZONE	0.236 MDR			2-5 DU/AC	R-1	0	0	0					EMWD
458340003	WRCOG6B-CORRECTLY ZONE	0.236 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
561110105	WRCOG6B-CORRECTLY ZONE	0.313 MDR			2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
563141007	WRCOG6B-CORRECTLY ZONE	0.280 MDR			2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
563059008	WRCOG6B-CORRECTLY ZONE	0.644 MDR			2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
559163001	WRCOG6B-CORRECTLY ZONE	0.190 MDR			2-5 DU/AC	R-3A-20000	0	0	0					SGPWA
563162001	WRCOG6B-CORRECTLY ZONE	0.267 MDR			2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
567060007	WRCOG6B-CORRECTLY ZONE	1.470 MDR			2-5 DU/AC	R-1A-9000	3	2	0					SGPWA
561112024	WRCOG6B-CORRECTLY ZONE	0.238 MDR			2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
383076014	WRCOG6B-CORRECTLY ZONE	0.114 MDR			2-5 DU/AC	R-1	0	0	0					SGPWA
458351001	WRCOG6B-CORRECTLY ZONE	0.490 MDR			2-5 DU/AC	R-1-20000	1	1	0					EMWD
562265002	WRCOG6B-CORRECTLY ZONE	0.272 MDR			2-5 DU/AC	R-3A	1	0	0					SGPWA
552052018	WRCOG6B-CORRECTLY ZONE	0.182 MDR			2-5 DU/AC	R-1	0	0	0					SGPWA
140361001	WRCOG6B-CORRECTLY ZONE	0.282 MDR			2-5 DU/AC	R-1	1	0	0					WMWD
290233005	WRCOG6B-CORRECTLY ZONE	1.346 MDR			2-5 DU/AC	R-1	3	2	0					WMWD
270350067	WRCOG6B-CORRECTLY ZONE	0.010 MDR			2-5 DU/AC	R-1	0	0	0					WMWD
309290029	WRCOG6B-CORRECTLY ZONE	5.089 MDR			2-5 DU/AC	R-1	10	8	0					WMWD
387092011	WRCOG6B-CORRECTLY ZONE	0.073 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
387213015	WRCOG6B-CORRECTLY ZONE	0.192 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383033037	WRCOG6B-CORRECTLY ZONE	0.145 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386201021	WRCOG6B-CORRECTLY ZONE	0.216 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
381212007	WRCOG6B-CORRECTLY ZONE	0.089 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
387213003	WRCOG6B-CORRECTLY ZONE	0.141 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
462202027	WRCO66B-CORRECTLY ZONED	0.204	MDR		2-5 DU/AC	R-1	0	0						EMWD
462191006	WRCO66B-CORRECTLY ZONED	0.164	MDR		2-5 DU/AC	R-1	0	0						EMWD
462210010	WRCO66B-CORRECTLY ZONED	0.169	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391001	WRCO66B-CORRECTLY ZONED	0.207	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
458356005	WRCO66B-CORRECTLY ZONED	0.276	MDR		2-5 DU/AC	R-1	1	0						EMWD
466391038	WRCO66B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
458362022	WRCO66B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
476090008	WRCO66B-CORRECTLY ZONED	3.294	MDR		2-5 DU/AC	R-1	7	5						EMWD
463160021	WRCO66B-CORRECTLY ZONED	1.717	MDR		2-5 DU/AC	R-1	3	3			YES			EMWD
567122008	WRCO66B-CORRECTLY ZONED	0.212	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565180013	WRCO66B-CORRECTLY ZONED	0.965	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
565180021	WRCO66B-CORRECTLY ZONED	0.186	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
290611018	WRCO66B-CORRECTLY ZONED	0.084	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
966380004	WRCO66B-CORRECTLY ZONED	10.976	MDR		2-5 DU/AC	R-A-5	22	18	FAULT ZONE		YES			EMWD
135390027	WRCO66B-CORRECTLY ZONED	0.046	MDR		2-5 DU/AC	R-4	0	0						WMWD
135550003	WRCO66B-CORRECTLY ZONED	0.550	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
256072014	WRCO66B-CORRECTLY ZONED	0.269	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
308180011	WRCO66B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
327451018	WRCO66B-CORRECTLY ZONED	0.277	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
383105035	WRCO66B-CORRECTLY ZONED	0.027	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151005	WRCO66B-CORRECTLY ZONED	0.068	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386154004	WRCO66B-CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382027005	WRCO66B-CORRECTLY ZONED	0.125	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383091037	WRCO66B-CORRECTLY ZONED	0.063	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151026	WRCO66B-CORRECTLY ZONED	0.146	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387213020	WRCO66B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
402030012	WRCO66B-CORRECTLY ZONED	0.477	MDR		2-5 DU/AC	R-1	1	1	FAULT ZONE					EMWD
426108011	WRCO66B-CORRECTLY ZONED	0.267	MDR		2-5 DU/AC	R-1	1	0						EMWD
462212009	WRCO66B-CORRECTLY ZONED	0.164	MDR		2-5 DU/AC	R-1	0	0						EMWD
462211003	WRCO66B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0						EMWD
581063007	WRCO66B-CORRECTLY ZONED	0.068	MDR		2-5 DU/AC	R-3	0	0						EMWD
462202046	WRCO66B-CORRECTLY ZONED	0.364	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
463160017	WRCO66B-CORRECTLY ZONED	4.391	MDR		2-5 DU/AC	R-1	9	7			YES			EMWD
458362039	WRCO66B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0						EMWD
563300043	WRCO66B-CORRECTLY ZONED	0.364	MDR		2-5 DU/AC	R-3A	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
561064009	WRCOG66B-CORRECTLY ZONE	0.156 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
561164011	WRCOG66B-CORRECTLY ZONE	0.218 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564093007	WRCOG66B-CORRECTLY ZONE	0.224 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
381251023	WRCOG66B-CORRECTLY ZONE	0.547 MDR			2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
480040025	WRCOG66B-CORRECTLY ZONE	4.358 MDR			2-5 DU/AC	R-1	9	7	1 FAULT ZONE				Zone E	EMWD
563042015	WRCOG66B-CORRECTLY ZONE	0.171 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
140361012	WRCOG66B-CORRECTLY ZONE	0.250 MDR			2-5 DU/AC	R-1	0	0						WMWD
270310006	WRCOG66B-CORRECTLY ZONE	0.226 MDR			2-5 DU/AC	R-1	0	0						WMWD
318292013	WRCOG66B-CORRECTLY ZONE	0.197 MDR			2-5 DU/AC	R-1	0	0						WMWD
327451037	WRCOG66B-CORRECTLY ZONE	0.184 MDR			2-5 DU/AC	R-1	0	0						WMWD
327451027	WRCOG66B-CORRECTLY ZONE	0.175 MDR			2-5 DU/AC	R-1	0	0						WMWD
327451001	WRCOG66B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						WMWD
383033003	WRCOG66B-CORRECTLY ZONE	0.178 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386193006	WRCOG66B-CORRECTLY ZONE	0.189 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382022025	WRCOG66B-CORRECTLY ZONE	0.091 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383173009	WRCOG66B-CORRECTLY ZONE	0.327 MDR			2-5 DU/AC	R-1	1	1	0 FAULT ZONE					EMWD
383184002	WRCOG66B-CORRECTLY ZONE	0.161 MDR			2-5 DU/AC	R-1	0	0						EMWD
434260020	WRCOG66B-CORRECTLY ZONE	0.740 MDR			2-5 DU/AC	R-3	1	1						EMWD
462193011	WRCOG66B-CORRECTLY ZONE	0.172 MDR			2-5 DU/AC	R-1	0	0						EMWD
466391022	WRCOG66B-CORRECTLY ZONE	0.217 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
462210011	WRCOG66B-CORRECTLY ZONE	0.176 MDR			2-5 DU/AC	R-1	0	0						EMWD
462210003	WRCOG66B-CORRECTLY ZONE	0.197 MDR			2-5 DU/AC	R-1	0	0						EMWD
547110023	WRCOG66B-CORRECTLY ZONE	0.770 MDR			2-5 DU/AC	R-1	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565091016	WRCOG66B-CORRECTLY ZONE	0.623 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563261007	WRCOG66B-CORRECTLY ZONE	0.331 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
564080022	WRCOG66B-CORRECTLY ZONE	0.157 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565281001	WRCOG66B-CORRECTLY ZONE	0.358 MDR			2-5 DU/AC	R-1A-15000	1	1						SGPWA
561064008	WRCOG66B-CORRECTLY ZONE	0.162 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
458351022	WRCOG66B-CORRECTLY ZONE	0.496 MDR			2-5 DU/AC	R-1-20000	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
383071025	WRCOG66B-CORRECTLY ZONE	0.132 MDR			2-5 DU/AC	R-1	0	0						EMWD
563100006	WRCOG66B-CORRECTLY ZONE	0.720 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
253260003	WRCOG66B-CORRECTLY ZONE	0.137 MDR			2-5 DU/AC	R-1	0	0						WMWD
308170005	WRCOG66B-CORRECTLY ZONE	0.187 MDR			2-5 DU/AC	R-A-5	0	0			YES			WMWD
386152003	WRCOG66B-CORRECTLY ZONE	0.137 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382033014	WRCOG66B-CORRECTLY ZONE	0.188 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383162007	WRCOG66B-CORRECTLY ZONE	0.112 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
434272001	WRCOG66B-CORRECTLY ZONE	0.146 MDR			2-5 DU/AC	R-1	0	0						EMWD
458340045	WRCOG66B-CORRECTLY ZONE	0.202 MDR			2-5 DU/AC	R-1	0	0						EMWD
462210015	WRCOG66B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSER- VATION AREA	AIRPORT COMPATIB- LITY ZONE	MAJOR WATER DISTRICTS
457910019	WRCO66B-CORRECTLY ZONED	0.267	MDR		2-5 DU/AC	R-1	1	0						EMWD
557202003	WRCO66B-CORRECTLY ZONED	0.461	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
557220017	WRCO66B-CORRECTLY ZONED	0.031	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557220005	WRCO66B-CORRECTLY ZONED	0.829	MDR		2-5 DU/AC	R-1A-9000	2	1						SGPWA
559061010	WRCO66B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
565111015	WRCO66B-CORRECTLY ZONED	0.058	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557220020	WRCO66B-CORRECTLY ZONED	0.396	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565041002	WRCO66B-CORRECTLY ZONED	0.143	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563121024	WRCO66B-CORRECTLY ZONED	0.537	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564072001	WRCO66B-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565043010	WRCO66B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561062015	WRCO66B-CORRECTLY ZONED	0.211	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567121003	WRCO66B-CORRECTLY ZONED	0.206	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564092019	WRCO66B-CORRECTLY ZONED	0.367	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564174020	WRCO66B-CORRECTLY ZONED	0.373	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
548120005	WRCO66B-CORRECTLY ZONED	7.136	MDR		2-5 DU/AC	R-2-4000	14	11						SGPWA
247092021	WRCO66B-CORRECTLY ZONED	0.159	MDR		2-5 DU/AC	R-1	0	0						WMWD
458372020	WRCO66B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0						EMWD
966021058	WRCO66B-CORRECTLY ZONED	0.342	MDR		2-5 DU/AC	R-1	0	0						EMWD
140361002	WRCO66B-CORRECTLY ZONED	0.308	MDR		2-5 DU/AC	R-1	1	0						WMWD
258051014	WRCO66B-CORRECTLY ZONED	0.199	MDR		2-5 DU/AC	R-1	0	0						WMWD
255150012	WRCO66B-CORRECTLY ZONED	8.000	MDR		2-5 DU/AC	R-1	16	13	COUNTY					WMWD
383033002	WRCO66B-CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386192009	WRCO66B-CORRECTLY ZONED	0.236	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
327450002	WRCO66B-CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	R-1	0	0						WMWD
388362007	WRCO66B-CORRECTLY ZONED	0.197	MDR		2-5 DU/AC	R-1	0	0						EMWD
383115020	WRCO66B-CORRECTLY ZONED	0.089	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386153009	WRCO66B-CORRECTLY ZONED	0.077	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386200011	WRCO66B-CORRECTLY ZONED	0.222	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386200006	WRCO66B-CORRECTLY ZONED	0.214	MDR		2-5 DU/AC	R-1	0	0						EMWD
386192003	WRCO66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381151023	WRCO66B-CORRECTLY ZONED	0.087	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
447071032	WRCO66B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391015	WRCO66B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
447101006	WRCO66B-CORRECTLY ZONED	0.339	MDR		2-5 DU/AC	R-1	1	1						EMWD
458362032	WRCO66B-CORRECTLY ZONED	0.187	MDR		2-5 DU/AC	R-1	0	0						EMWD
462202020	WRCO66B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD
449222004	WRCO66B-CORRECTLY ZONED	0.094	MDR		2-5 DU/AC	R-1	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION/AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
462210002	WRCOG68-CORRECTLY ZONED	0.184 MDR	LANDUSE		2-5 DU/JAC	R-1	0	0						EMWD
462192017	WRCOG68-CORRECTLY ZONED	0.175 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458350013	WRCOG68-CORRECTLY ZONED	0.178 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
563062003	WRCOG68-CORRECTLY ZONED	0.173 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
557220019	WRCOG68-CORRECTLY ZONED	0.335 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
565224007	WRCOG68-CORRECTLY ZONED	0.197 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
565213005	WRCOG68-CORRECTLY ZONED	0.461 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
563292007	WRCOG68-CORRECTLY ZONED	0.021 MDR	MDR		2-5 DU/JAC	R-3A	0	0						SGPWA
462213020	WRCOG68-CORRECTLY ZONED	0.267 MDR	MDR		2-5 DU/JAC	R-1	1	0						EMWD
565122017	WRCOG68-CORRECTLY ZONED	0.128 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
458351021	WRCOG68-CORRECTLY ZONED	0.473 MDR	MDR		2-5 DU/JAC	R-1-20000	1	1						EMWD
136120015	WRCOG68-CORRECTLY ZONED	3.125 MDR	MDR		2-5 DU/JAC	R-1-20000	6	5						WMWD
565460010	WRCOG68-CORRECTLY ZONED	1.515 MDR	MDR		2-5 DU/JAC	R-A-20000	3	2						SGPWA
557220007	WRCOG68-CORRECTLY ZONED	0.514 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
140350012	WRCOG68-CORRECTLY ZONED	0.977 MDR	MDR		2-5 DU/JAC	R-1	2	2						WMWD
140351007	WRCOG68-CORRECTLY ZONED	0.209 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
140360020	WRCOG68-CORRECTLY ZONED	0.227 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
308130008	WRCOG68-CORRECTLY ZONED	19.080 MDR	MDR		2-5 DU/JAC	R-A-5	38	31			YES			WMWD
327451009	WRCOG68-CORRECTLY ZONED	0.172 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
382042031	WRCOG68-CORRECTLY ZONED	0.091 MDR	MDR		2-5 DU/JAC	R-1	0	0	COUNTY FAULT ZONE					EMWD
379352026	WRCOG68-CORRECTLY ZONED	5.100 MDR	MDR		2-5 DU/JAC	R-1-18000	10	8						EMWD
403042024	WRCOG68-CORRECTLY ZONED	0.160 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
381290034	WRCOG68-CORRECTLY ZONED	1.736 MDR	MDR		2-5 DU/JAC	R-3	3	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381282021	WRCOG68-CORRECTLY ZONED	0.150 MDR	MDR		2-5 DU/JAC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
447211021	WRCOG68-CORRECTLY ZONED	0.525 MDR	MDR		2-5 DU/JAC	R-1	1	1						EMWD
408050018	WRCOG68-CORRECTLY ZONED	4.938 MDR	MDR		2-5 DU/JAC	R-1	10	8						EMWD
462211006	WRCOG68-CORRECTLY ZONED	0.212 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458372001	WRCOG68-CORRECTLY ZONED	0.186 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458372006	WRCOG68-CORRECTLY ZONED	0.174 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
555494010	WRCOG68-CORRECTLY ZONED	1.240 MDR	MDR		2-5 DU/JAC	R-A-20000	2	2						SGPWA
561101023	WRCOG68-CORRECTLY ZONED	0.136 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
567092033	WRCOG68-CORRECTLY ZONED	0.573 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
564173004	WRCOG68-CORRECTLY ZONED	0.119 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
565180008	WRCOG68-CORRECTLY ZONED	0.543 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
564222013	WRCOG68-CORRECTLY ZONED	0.163 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
561154004	WRCOG68-CORRECTLY ZONED	0.434 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
381300009	WRCOG68-CORRECTLY ZONED	1.653 MDR	MDR		2-5 DU/JAC	R-3	3	3						EMWD
563100015	WRCOG68-CORRECTLY ZONED	0.113 MDR	MDR		2-5 DU/JAC	R-3A	0	0						SGPWA
565151008	WRCOG68-CORRECTLY ZONED	1.064 MDR	MDR		2-5 DU/JAC	R-1A-9000	2	2						SGPWA
140361013	WRCOG68-CORRECTLY ZONED	0.313 MDR	MDR		2-5 DU/JAC	R-1	1	1						WMWD
256062012	WRCOG68-CORRECTLY ZONED	0.220 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
270320039	WRCOG68-CORRECTLY ZONED	0.204 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
318292025	WRCOG68-CORRECTLY ZONED	0.171 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
318292031	WRCOG68-CORRECTLY ZONED	0.235 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD

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308150012	WRCOG66B-CORRECTLY ZONEI	6.005	MDR		2-5 DU/AC	R-A-5	12	10	COUNTY 0 FAULT ZONE					WMWD
381231030	WRCOG66B-CORRECTLY ZONEI	0.073	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE					EMWD
386151020	WRCOG66B-CORRECTLY ZONEI	0.147	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
466891032	WRCOG66B-CORRECTLY ZONEI	0.280	MDR		2-5 DU/AC	R-1	1	0			YES			EMWD
458362026	WRCOG66B-CORRECTLY ZONEI	0.223	MDR		2-5 DU/AC	R-1	0	0						EMWD
449112019	WRCOG66B-CORRECTLY ZONEI	0.272	MDR		2-5 DU/AC	R-1	1	0						EMWD
563213003	WRCOG66B-CORRECTLY ZONEI	0.064	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
564195007	WRCOG66B-CORRECTLY ZONEI	0.154	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557203003	WRCOG66B-CORRECTLY ZONEI	0.372	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
559158001	WRCOG66B-CORRECTLY ZONEI	0.192	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
559162010	WRCOG66B-CORRECTLY ZONEI	0.157	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
561094006	WRCOG66B-CORRECTLY ZONEI	0.425	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
318292035	WRCOG66B-CORRECTLY ZONEI	0.290	MDR		2-5 DU/AC	R-1	1	0						WMWD
247124071	WRCOG66B-CORRECTLY ZONEI	0.089	MDR		2-5 DU/AC	R-1	0	0						WMWD
563221007	WRCOG66B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563100010	WRCOG66B-CORRECTLY ZONEI	1.630	MDR		2-5 DU/AC	R-3A	3	3						SGPWA
135451023	WRCOG66B-CORRECTLY ZONEI	0.687	MDR		2-5 DU/AC	R-4	1	1						WMWD
140351029	WRCOG66B-CORRECTLY ZONEI	0.155	MDR		2-5 DU/AC	R-1	0	0						WMWD
307320013	WRCOG66B-CORRECTLY ZONEI	0.390	MDR		2-5 DU/AC	R-1	1	1						WMWD
327462002	WRCOG66B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0						WMWD
308180007	WRCOG66B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
382025011	WRCOG66B-CORRECTLY ZONEI	0.089	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386152021	WRCOG66B-CORRECTLY ZONEI	0.075	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387212042	WRCOG66B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383173006	WRCOG66B-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386151015	WRCOG66B-CORRECTLY ZONEI	0.146	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387212009	WRCOG66B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
458372021	WRCOG66B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
466891041	WRCOG66B-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
467202034	WRCOG66B-CORRECTLY ZONEI	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD
462192012	WRCOG66B-CORRECTLY ZONEI	0.165	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350016	WRCOG66B-CORRECTLY ZONEI	0.225	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350005	WRCOG66B-CORRECTLY ZONEI	0.208	MDR		2-5 DU/AC	R-1	0	0						EMWD
458341007	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						EMWD
462191010	WRCOG66B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0						EMWD
462214007	WRCOG66B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0						EMWD
567092023	WRCOG66B-CORRECTLY ZONEI	0.291	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
549050007	WRCOG66B-CORRECTLY ZONEI	9.354	MDR		2-5 DU/AC	R-T	19	15						SGPWA

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565042010	WRCOG6B-CORRECTLY ZONEI	0.142	MDR		2-5 DUJ/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561061007	WRCOG6B-CORRECTLY ZONEI	0.354	MDR		2-5 DUJ/AC	R-1A-9000	1	1						SGPWA
564093018	WRCOG6B-CORRECTLY ZONEI	0.246	MDR		2-5 DUJ/AC	R-1A-9000	0	0						SGPWA
560090034	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DUJ/AC	R-3A-20000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
115239001	WRCOG6B-CORRECTLY ZONEI	0.281	MDR		2-5 DUJ/AC	R-2	1	0						WMWD
307240007	WRCOG6B-CORRECTLY ZONEI	9.559	MDR		2-5 DUJ/AC	R-1	19	15						WMWD
309262015	WRCOG6B-CORRECTLY ZONEI	0.163	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
327451008	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
327450003	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
308170018	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DUJ/AC	R-A-5	0	0						WMWD
383182018	WRCOG6B-CORRECTLY ZONEI	0.459	MDR		2-5 DUJ/AC	R-1	1	1	COUNTY					EMWD
386159008	WRCOG6B-CORRECTLY ZONEI	0.142	MDR		2-5 DUJ/AC	R-1	0	0	FAULT ZONE					EMWD
381272038	WRCOG6B-CORRECTLY ZONEI	0.099	MDR		2-5 DUJ/AC	R-3	0	0						EMWD
382041008	WRCOG6B-CORRECTLY ZONEI	0.075	MDR		2-5 DUJ/AC	R-3	0	0	COUNTY					EMWD
383210022	WRCOG6B-CORRECTLY ZONEI	0.186	MDR		2-5 DUJ/AC	R-3	0	0	COUNTY					EMWD
462202022	WRCOG6B-CORRECTLY ZONEI	0.200	MDR		2-5 DUJ/AC	R-1	0	0	FAULT ZONE					EMWD
462202025	WRCOG6B-CORRECTLY ZONEI	0.216	MDR		2-5 DUJ/AC	R-1	0	0						EMWD
462191004	WRCOG6B-CORRECTLY ZONEI	0.184	MDR		2-5 DUJ/AC	R-1	0	0						EMWD
447211024	WRCOG6B-CORRECTLY ZONEI	0.695	MDR		2-5 DUJ/AC	R-1	1	1						EMWD
457311003	WRCOG6B-CORRECTLY ZONEI	0.232	MDR		2-5 DUJ/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458362020	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DUJ/AC	R-1	0	0						EMWD
567122013	WRCOG6B-CORRECTLY ZONEI	0.177	MDR		2-5 DUJ/AC	R-1A-9000	0	0						EMWD
565122003	WRCOG6B-CORRECTLY ZONEI	0.589	MDR		2-5 DUJ/AC	R-1A-9000	1	1						SGPWA
563221004	WRCOG6B-CORRECTLY ZONEI	0.049	MDR		2-5 DUJ/AC	R-3A	0	0						SGPWA
561080020	WRCOG6B-CORRECTLY ZONEI	0.455	MDR		2-5 DUJ/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561181012	WRCOG6B-CORRECTLY ZONEI	0.072	MDR		2-5 DUJ/AC	R-1A-9000	0	0						SGPWA
567070022	WRCOG6B-CORRECTLY ZONEI	2.709	MDR		2-5 DUJ/AC	R-1A-9000	5	4		AREAS OF FLOODING SENSITIVITY				SGPWA
561042015	WRCOG6B-CORRECTLY ZONEI	0.506	MDR		2-5 DUJ/AC	R-3A	1	1						SGPWA
560139001	WRCOG6B-CORRECTLY ZONEI	0.443	MDR		2-5 DUJ/AC	R-3A-20000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561220018	WRCOG6B-CORRECTLY ZONEI	0.274	MDR		2-5 DUJ/AC	R-1A-9000	1	0						SGPWA
308160005	WRCOG6B-CORRECTLY ZONEI	0.163	MDR		2-5 DUJ/AC	R-A-5	0	0			YES			SGPWA
247124019	WRCOG6B-CORRECTLY ZONEI	0.182	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
383071006	WRCOG6B-CORRECTLY ZONEI	0.162	MDR		2-5 DUJ/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
966040042	WRCOG6B-CORRECTLY ZONEI	0.438	MDR		2-5 DUJ/AC	R-1	1	1						EMWD



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1403620013	WRCOG68-CORRECTLY ZONE	0.333 MDR			2-5 DU/JAC	R-1	1	1						WMWD
135460077	WRCOG68-CORRECTLY ZONE	0.499 MDR			2-5 DU/JAC	R-4	1	1						WMWD
140361019	WRCOG68-CORRECTLY ZONE	0.189 MDR			2-5 DU/JAC	R-1	0	0						WMWD
308170009	WRCOG68-CORRECTLY ZONE	0.192 MDR			2-5 DU/JAC	R-A-5	0	0						WMWD
317210023	WRCOG68-CORRECTLY ZONE	0.425 MDR			2-5 DU/JAC	R-1	1	1						WMWD
383162005	WRCOG68-CORRECTLY ZONE	0.119 MDR			2-5 DU/JAC	R-1	0	0						WMWD
327452011	WRCOG68-CORRECTLY ZONE	0.168 MDR			2-5 DU/JAC	R-1	0	0						WMWD
381282022	WRCOG68-CORRECTLY ZONE	0.073 MDR			2-5 DU/JAC	R-3	0	0	COUNTY					EMWD
381062023	WRCOG68-CORRECTLY ZONE	0.065 MDR			2-5 DU/JAC	R-3	0	0	FAULT ZONE					EMWD
383194002	WRCOG68-CORRECTLY ZONE	0.108 MDR			2-5 DU/JAC	R-1	0	0						EMWD
386151029	WRCOG68-CORRECTLY ZONE	0.142 MDR			2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
383104029	WRCOG68-CORRECTLY ZONE	0.188 MDR			2-5 DU/JAC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
382042002	WRCOG68-CORRECTLY ZONE	0.094 MDR			2-5 DU/JAC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
408050006	WRCOG68-CORRECTLY ZONE	2.050 MDR			2-5 DU/JAC	R-T	4	3						EMWD
462212007	WRCOG68-CORRECTLY ZONE	0.167 MDR			2-5 DU/JAC	R-1	0	0						EMWD
462193001	WRCOG68-CORRECTLY ZONE	0.188 MDR			2-5 DU/JAC	R-1	0	0						EMWD
450021006	WRCOG68-CORRECTLY ZONE	0.215 MDR			2-5 DU/JAC	R-1	0	0						EMWD
462202042	WRCOG68-CORRECTLY ZONE	0.168 MDR			2-5 DU/JAC	R-1	0	0						EMWD
458572014	WRCOG68-CORRECTLY ZONE	0.176 MDR			2-5 DU/JAC	R-1	0	0						EMWD
555310007	WRCOG68-CORRECTLY ZONE	2.969 MDR			2-5 DU/JAC	R-1	6	5						SGPWA
563292013	WRCOG68-CORRECTLY ZONE	1.439 MDR			2-5 DU/JAC	R-3A	3	2						SGPWA
140351014	WRCOG68-CORRECTLY ZONE	0.347 MDR			2-5 DU/JAC	R-1	1	1						WMWD
308170015	WRCOG68-CORRECTLY ZONE	0.244 MDR			2-5 DU/JAC	R-A-5	0	0						WMWD
308170031	WRCOG68-CORRECTLY ZONE	0.187 MDR			2-5 DU/JAC	R-A-5	0	0						WMWD
383161002	WRCOG68-CORRECTLY ZONE	0.085 MDR			2-5 DU/JAC	R-1	0	0						EMWD
381248035	WRCOG68-CORRECTLY ZONE	0.103 MDR			2-5 DU/JAC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386203004	WRCOG68-CORRECTLY ZONE	0.340 MDR			2-5 DU/JAC	R-1	1	1						EMWD
402333066	WRCOG68-CORRECTLY ZONE	0.056 MDR			2-5 DU/JAC	R-T	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386210004	WRCOG68-CORRECTLY ZONE	0.206 MDR			2-5 DU/JAC	R-1	0	0						EMWD
386151004	WRCOG68-CORRECTLY ZONE	0.077 MDR			2-5 DU/JAC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
388300026	WRCOG68-CORRECTLY ZONE	5.881 MDR			2-5 DU/JAC	R-1	12	9						EMWD
386153004	WRCOG68-CORRECTLY ZONE	0.137 MDR			2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
381064011	WRCOG68-CORRECTLY ZONE	0.070 MDR			2-5 DU/JAC	R-3	0	0	FAULT ZONE					EMWD
386201009	WRCOG68-CORRECTLY ZONE	0.249 MDR			2-5 DU/JAC	R-1	0	0	COUNTY					EMWD

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387080003	WRCOG6B-CORRECTLY ZONEI	6.926	MDR		2-5 DU/AC	R-1	14	0	COUNTY					EMWD
434272005	WRCOG6B-CORRECTLY ZONEI	0.144	MDR		2-5 DU/AC	R-1	0	0	11 FAULT ZONE					EMWD
408050003	WRCOG6B-CORRECTLY ZONEI	0.813	MDR		2-5 DU/AC	R-T	2	0		AREAS OF FLOODING SENSITIVITY				EMWD
447260027	WRCOG6B-CORRECTLY ZONEI	1.533	MDR		2-5 DU/AC	R-1	3	0						EMWD
462214005	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
462190007	WRCOG6B-CORRECTLY ZONEI	0.244	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362030	WRCOG6B-CORRECTLY ZONEI	0.362	MDR		2-5 DU/AC	R-1	1	1						EMWD
563242017	WRCOG6B-CORRECTLY ZONEI	0.381	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
563210015	WRCOG6B-CORRECTLY ZONEI	5.256	MDR		2-5 DU/AC	R-1A-5	11	8						SGPWA
565091014	WRCOG6B-CORRECTLY ZONEI	0.395	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
559162007	WRCOG6B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
559157008	WRCOG6B-CORRECTLY ZONEI	0.112	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563082001	WRCOG6B-CORRECTLY ZONEI	0.326	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564072003	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
308110011	WRCOG6B-CORRECTLY ZONEI	10.213	MDR		2-5 DU/AC	R-A-5	20	16						EMWD
308263015	WRCOG6B-CORRECTLY ZONEI	0.162	MDR		2-5 DU/AC	R-T	0	0						EMWD
563132001	WRCOG6B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563222009	WRCOG6B-CORRECTLY ZONEI	0.282	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
476270004	WRCOG6B-CORRECTLY ZONEI	2.020	MDR		2-5 DU/AC	R-A-21/2	4	3		FLOODING SENSITIVITY			Zone E	EMWD
135050035	WRCOG6B-CORRECTLY ZONEI	0.108	MDR		2-5 DU/AC	R-1	0	0						WMWD
140320014	WRCOG6B-CORRECTLY ZONEI	0.264	MDR		2-5 DU/AC	R-1	1	0						WMWD
256061006	WRCOG6B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1	0	0						WMWD
383091022	WRCOG6B-CORRECTLY ZONEI	0.079	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383033041	WRCOG6B-CORRECTLY ZONEI	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY				EMWD
386151036	WRCOG6B-CORRECTLY ZONEI	0.141	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383112002	WRCOG6B-CORRECTLY ZONEI	0.087	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383033035	WRCOG6B-CORRECTLY ZONEI	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
385203007	WRCOG6B-CORRECTLY ZONEI	0.219	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
387253006	WRCOG6B-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462211001	WRCOG6B-CORRECTLY ZONEI	0.189	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
462202004	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
462214003	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462212010	WRCOG6B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
462214006	WRCOG6B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
458341010	WRCOG66B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1	0	0						EMWD
458360006	WRCOG66B-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-2	0	0						EMWD
450131031	WRCOG66B-CORRECTLY ZONEI	0.475	MDR		2-5 DU/AC	R-2	1	1						EMWD
549180035	WRCOG66B-CORRECTLY ZONEI	0.257	MDR		2-5 DU/AC	R-2	1	0						EMWD
458367035	WRCOG66B-CORRECTLY ZONEI	0.193	MDR		2-5 DU/AC	R-1	0	0						EMWD
549511024	WRCOG66B-CORRECTLY ZONEI	0.038	MDR		2-5 DU/AC	R-7	0	0						SGPWA
565242043	WRCOG66B-CORRECTLY ZONEI	0.190	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563212006	WRCOG66B-CORRECTLY ZONEI	0.452	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565252006	WRCOG66B-CORRECTLY ZONEI	0.198	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
408060011	WRCOG66B-CORRECTLY ZONEI	4.938	MDR		2-5 DU/AC	R-T	10	8		AREAS OF FLOODING SENSITIVITY				EMWD
563044001	WRCOG66B-CORRECTLY ZONEI	0.114	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
140361010	WRCOG66B-CORRECTLY ZONEI	0.409	MDR		2-5 DU/AC	R-1	1	1						WMWD
256301084	WRCOG66B-CORRECTLY ZONEI	0.060	MDR		2-5 DU/AC	R-1	0	0						WMWD
308190001	WRCOG66B-CORRECTLY ZONEI	0.075	MDR		2-5 DU/AC	R-A-5	0	0			YES			WMWD
327451019	WRCOG66B-CORRECTLY ZONEI	0.201	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451026	WRCOG66B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
386154006	WRCOG66B-CORRECTLY ZONEI	0.158	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
388072032	WRCOG66B-CORRECTLY ZONEI	0.007	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
381061011	WRCOG66B-CORRECTLY ZONEI	0.067	MDR		2-5 DU/AC	R-3	0	0						EMWD
381247004	WRCOG66B-CORRECTLY ZONEI	0.119	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386200008	WRCOG66B-CORRECTLY ZONEI	0.225	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
402060015	WRCOG66B-CORRECTLY ZONEI	0.578	MDR		2-5 DU/AC	R-1	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
458341002	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
565243002	WRCOG66B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565222025	WRCOG66B-CORRECTLY ZONEI	0.235	MDR		2-5 DU/AC	R-3A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565111017	WRCOG66B-CORRECTLY ZONEI	0.229	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564072007	WRCOG66B-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565244005	WRCOG66B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071034	WRCOG66B-CORRECTLY ZONEI	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565171016	WRCOG66B-CORRECTLY ZONEI	0.207	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564191003	WRCOG66B-CORRECTLY ZONEI	0.518	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
480433052	WRCOG66B-CORRECTLY ZONEI	0.004	MDR		2-5 DU/AC	R-1	0	0					Zone E	EMWD
135541001	WRCOG66B-CORRECTLY ZONEI	1.747	MDR		2-5 DU/AC	R-1-10000	3	3			YES			EMWD
135041018	WRCOG66B-CORRECTLY ZONEI	0.190	MDR		2-5 DU/AC	R-1	0	0						WMWD
140360012	WRCOG66B-CORRECTLY ZONEI	0.343	MDR		2-5 DU/AC	R-1	1	1						WMWD
327451048	WRCOG66B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1	0	0						WMWD
327462004	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
381064026	WRCOG66B-CORRECTLY ZONEI	0.068	MDR		2-5 DU/AC	R-3	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

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383112010	WRCOG6B-CORRECTLY ZONE	0.091	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386200009	WRCOG6B-CORRECTLY ZONE	0.220	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381182009	WRCOG6B-CORRECTLY ZONE	0.149	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386201003	WRCOG6B-CORRECTLY ZONE	0.207	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386140004	WRCOG6B-CORRECTLY ZONE	6.944	MDR		2-5 DU/AC	R-1	14	11	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
387222030	WRCOG6B-CORRECTLY ZONE	0.210	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
402320033	WRCOG6B-CORRECTLY ZONE	1.853	MDR		2-5 DU/AC	R-T	4	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			EMWD
386201007	WRCOG6B-CORRECTLY ZONE	0.240	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462214001	WRCOG6B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462202007	WRCOG6B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
463160016	WRCOG6B-CORRECTLY ZONE	1.941	MDR		2-5 DU/AC	R-1	4	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			EMWD
459362028	WRCOG6B-CORRECTLY ZONE	0.295	MDR		2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
561131040	WRCOG6B-CORRECTLY ZONE	0.131	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564072004	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
561032002	WRCOG6B-CORRECTLY ZONE	0.374	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
559162006	WRCOG6B-CORRECTLY ZONE	0.250	MDR		2-5 DU/AC	R-3A-20000	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
565032006	WRCOG6B-CORRECTLY ZONE	0.281	MDR		2-5 DU/AC	R-1A-9000	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564080016	WRCOG6B-CORRECTLY ZONE	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
561202002	WRCOG6B-CORRECTLY ZONE	0.445	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564140018	WRCOG6B-CORRECTLY ZONE	0.229	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
562133010	WRCOG6B-CORRECTLY ZONE	0.260	MDR		2-5 DU/AC	R-1A-9000	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
462202048	WRCOG6B-CORRECTLY ZONE	0.180	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
256081013	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
256083016	WRCOG6B-CORRECTLY ZONE	0.096	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
308150005	WRCOG6B-CORRECTLY ZONE	3.601	MDR		2-5 DU/AC	R-A-5	7	6	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			WMWD
387071011	WRCOG6B-CORRECTLY ZONE	0.137	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386152016	WRCOG6B-CORRECTLY ZONE	0.075	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386152008	WRCOG6B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381284005	WRCOG6B-CORRECTLY ZONE	0.016	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462213001	WRCOG6B-CORRECTLY ZONE	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462060013	WRCOG6B-CORRECTLY ZONE	8.451	MDR		2-5 DU/AC	R-1	17	14	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

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468391027	WRCOG68B-CORRECTLY ZONE	0.168	MDR		2.5 DU/AC	R-1	0	0			YES			EMWD
449340053	WRCOG68B-CORRECTLY ZONE	0.173	MDR		2.5 DU/AC	R-1	0	0						EMWD
462191005	WRCOG68B-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0						EMWD
462210008	WRCOG68B-CORRECTLY ZONE	0.167	MDR		2.5 DU/AC	R-1	0	0						EMWD
457311004	WRCOG68B-CORRECTLY ZONE	0.264	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				EMWD
458351016	WRCOG68B-CORRECTLY ZONE	0.196	MDR		2.5 DU/AC	R-1	0	0						EMWD
463160011	WRCOG68B-CORRECTLY ZONE	4.353	MDR		2.5 DU/AC	R-1	9	7			YES			EMWD
563180012	WRCOG68B-CORRECTLY ZONE	0.415	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
551358028	WRCOG68B-CORRECTLY ZONE	0.135	MDR		2.5 DU/AC	R-1	0	0						SGPWA
561064011	WRCOG68B-CORRECTLY ZONE	0.193	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
567081008	WRCOG68B-CORRECTLY ZONE	0.748	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
560090031	WRCOG68B-CORRECTLY ZONE	0.434	MDR		2.5 DU/AC	R-3A-20000	1	1						SGPWA
563033003	WRCOG68B-CORRECTLY ZONE	0.279	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
458362011	WRCOG68B-CORRECTLY ZONE	0.190	MDR		2.5 DU/AC	R-1	0	0						EMWD
327462028	WRCOG68B-CORRECTLY ZONE	4.019	MDR		2.5 DU/AC	R-1	8	6						WMWD
563041002	WRCOG68B-CORRECTLY ZONE	0.295	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
563133019	WRCOG68B-CORRECTLY ZONE	0.218	MDR		2.5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
469160009	WRCOG68B-CORRECTLY ZONE	25.202	MDR		2.5 DU/AC	R-3	50	40		AREAS OF FLOODING SENSITIVITY				SGPWA
135531007	WRCOG68B-CORRECTLY ZONE	2.292	MDR		2.5 DU/AC	R-1-10000	5	4						WMWD
135530002	WRCOG68B-CORRECTLY ZONE	0.228	MDR		2.5 DU/AC	R-1-10000	0	0						WMWD
308140006	WRCOG68B-CORRECTLY ZONE	28.492	MDR		2.5 DU/AC	R-A-5	57	46		AREAS OF FLOODING SENSITIVITY				WMWD
308180005	WRCOG68B-CORRECTLY ZONE	0.211	MDR		2.5 DU/AC	R-A-5	0	0						WMWD
327451007	WRCOG68B-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
386193008	WRCOG68B-CORRECTLY ZONE	0.176	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386151031	WRCOG68B-CORRECTLY ZONE	0.139	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
386210012	WRCOG68B-CORRECTLY ZONE	0.273	MDR		2.5 DU/AC	R-1	1	0	FAULT ZONE					EMWD
381248028	WRCOG68B-CORRECTLY ZONE	0.084	MDR		2.5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
387060026	WRCOG68B-CORRECTLY ZONE	0.509	MDR		2.5 DU/AC	R-1	1	1	FAULT ZONE					EMWD
408060001	WRCOG68B-CORRECTLY ZONE	4.447	MDR		2.5 DU/AC	R-T	9	7		AREAS OF FLOODING SENSITIVITY				EMWD
386192019	WRCOG68B-CORRECTLY ZONE	0.230	MDR		2.5 DU/AC	R-1	0	0						EMWD
408060005	WRCOG68B-CORRECTLY ZONE	1.696	MDR		2.5 DU/AC	R-T	3	3		AREAS OF FLOODING SENSITIVITY				EMWD

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387212060	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
466391025	WRCOG6B-CORRECTLY ZONE	0.176 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE		YES			EMWD
451290027	WRCOG6B-CORRECTLY ZONE	9.284 MDR			2-5 DU/AC	R-1	19	15						EMWD
462213002	WRCOG6B-CORRECTLY ZONE	0.165 MDR			2-5 DU/AC	R-1	0	0						EMWD
453362003	WRCOG6B-CORRECTLY ZONE	0.166 MDR			2-5 DU/AC	R-1	0	0						EMWD
565265014	WRCOG6B-CORRECTLY ZONE	0.457 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
565224004	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564093019	WRCOG6B-CORRECTLY ZONE	0.251 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
462213017	WRCOG6B-CORRECTLY ZONE	0.211 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
308190007	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-A-5	0	0			YES			WMWD
135050027	WRCOG6B-CORRECTLY ZONE	0.002 MDR			2-5 DU/AC	R-1	0	0						WMWD
140351023	WRCOG6B-CORRECTLY ZONE	0.205 MDR			2-5 DU/AC	R-1	0	0						WMWD
140320622	WRCOG6B-CORRECTLY ZONE	0.182 MDR			2-5 DU/AC	R-1	0	0						WMWD
308180012	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
327452006	WRCOG6B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
381080014	WRCOG6B-CORRECTLY ZONE	0.022 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
382033001	WRCOG6B-CORRECTLY ZONE	0.104 MDR			2-5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
381130010	WRCOG6B-CORRECTLY ZONE	0.458 MDR			2-5 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
388363008	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0						EMWD
383161001	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						EMWD
386202002	WRCOG6B-CORRECTLY ZONE	0.254 MDR			2-5 DU/AC	R-1	1	0						EMWD
381290021	WRCOG6B-CORRECTLY ZONE	0.440 MDR			2-5 DU/AC	R-3	1	1	COUNTY					EMWD
383041043	WRCOG6B-CORRECTLY ZONE	0.153 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
408050021	WRCOG6B-CORRECTLY ZONE	4.915 MDR			2-5 DU/AC	R-T	10	8	SAN ANDREAS FAULT ZONE					EMWD
426106019	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
465020026	WRCOG6B-CORRECTLY ZONE	28.850 MDR			2-5 DU/AC	R-T-20000	58	46		AREAS OF FLOODING SENSITIVITY	YES			EMWD
458351017	WRCOG6B-CORRECTLY ZONE	0.186 MDR			2-5 DU/AC	R-1	0	0						EMWD
458372007	WRCOG6B-CORRECTLY ZONE	0.182 MDR			2-5 DU/AC	R-1	0	0						EMWD
458340205	WRCOG6B-CORRECTLY ZONE	0.235 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462060016	WRCOG6B-CORRECTLY ZONE	9.714 MDR			2-5 DU/AC	R-1	19	16		AREAS OF FLOODING SENSITIVITY				EMWD
565192023	WRCOG6B-CORRECTLY ZONE	0.226 MDR			2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY	YES			EMWD
561064013	WRCOG6B-CORRECTLY ZONE	0.331 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
548070022	WRCOG6B-CORRECTLY ZONE	4.817	MDR		2-5 DU/AC	R-T	10	8		AREAS OF FLOODING SENSITIVITY				SGPWA
564051018	WRCOG6B-CORRECTLY ZONE	1.964	MDR		2-5 DU/AC	R-1A-9000	4	3		AREAS OF FLOODING SENSITIVITY				SEPWA
564201002	WRCOG6B-CORRECTLY ZONE	0.352	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
453820001	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
476270002	WRCOG6B-CORRECTLY ZONE	2.200	MDR		2-5 DU/AC	R-A-2 1/2	4	4		AREAS OF FLOODING SENSITIVITY				EMWD
140361004	WRCOG6B-CORRECTLY ZONE	0.323	MDR		2-5 DU/AC	R-1	1	1	COUNTY				Zone E	WMWD
282542023	WRCOG6B-CORRECTLY ZONE	0.066	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
308170023	WRCOG6B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WMWD
308170007	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WMWD
383114028	WRCOG6B-CORRECTLY ZONE	0.091	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381152021	WRCOG6B-CORRECTLY ZONE	0.435	MDR		2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386153025	WRCOG6B-CORRECTLY ZONE	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386153020	WRCOG6B-CORRECTLY ZONE	0.151	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381281025	WRCOG6B-CORRECTLY ZONE	0.147	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
438130049	WRCOG6B-CORRECTLY ZONE	1.812	MDR		2-5 DU/AC	R-1	4	3	SAN JACINTO					EMWD
462210006	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
462211004	WRCOG6B-CORRECTLY ZONE	0.184	MDR		2-5 DU/AC	R-1	0	0						EMWD
457094011	WRCOG6B-CORRECTLY ZONE	4.319	MDR		2-5 DU/AC	R-T	9	7						EMWD
462202044	WRCOG6B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
449170006	WRCOG6B-CORRECTLY ZONE	0.785	MDR		2-5 DU/AC	R-1	2	1						EMWD
480053009	WRCOG6B-CORRECTLY ZONE	0.118	MDR		2-5 DU/AC	R-1	0	0						EMWD
480070011	WRCOG6B-CORRECTLY ZONE	0.247	MDR		2-5 DU/AC	R-1	0	0						EMWD
559162008	WRCOG6B-CORRECTLY ZONE	0.142	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
549061012	WRCOG6B-CORRECTLY ZONE	0.186	MDR		2-5 DU/AC	R-T	0	0						SGPWA
561121043	WRCOG6B-CORRECTLY ZONE	0.122	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
548120004	WRCOG6B-CORRECTLY ZONE	6.409	MDR		2-5 DU/AC	R-2-4000	13	10						SGPWA
565111013	WRCOG6B-CORRECTLY ZONE	0.015	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565121002	WRCOG6B-CORRECTLY ZONE	0.626	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563030009	WRCOG6B-CORRECTLY ZONE	0.324	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
401210007	WRCOG6B-CORRECTLY ZONE	7.512	MDR		2-5 DU/AC	R-T	15	12	ELSIKORE					EMWD
102083027	WRCOG6B-CORRECTLY ZONE	0.306	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE					WMWD
307240004	WRCOG6B-CORRECTLY ZONE	9.606	MDR		2-5 DU/AC	R-1	19	15						WMWD



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307120004	WRCO66B-CORRECTLY ZONED	138.106	MDR		2-5 DU/AC	R-A-5	276	221		AREAS OF FLOODING SENSITIVITY				WMWD
308180010	WRCO66B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
327459009	WRCO66B-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
381223032	WRCO66B-CORRECTLY ZONED	0.113	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
383183011	WRCO66B-CORRECTLY ZONED	0.777	MDR		2-5 DU/AC	R-1	2	1	0					EMWD
427049004	WRCO66B-CORRECTLY ZONED	0.248	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
383201025	WRCO66B-CORRECTLY ZONED	0.727	MDR		2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
426440008	WRCO66B-CORRECTLY ZONED	3.806	MDR		2-5 DU/AC	R-1	8	6	1	AREAS OF FLOODING SENSITIVITY				EMWD
462202005	WRCO66B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-1	0	0						EMWD
462213004	WRCO66B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362037	WRCO66B-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0						EMWD
463160013	WRCO66B-CORRECTLY ZONED	3.968	MDR		2-5 DU/AC	R-1	8	6			YES			EMWD
547110014	WRCO66B-CORRECTLY ZONED	0.680	MDR		2-5 DU/AC	R-1	1	1	SAN JACINTO					SGPWA
557212010	WRCO66B-CORRECTLY ZONED	0.365	MDR		2-5 DU/AC	R-1A-9000	1	1	1	AREAS OF FLOODING SENSITIVITY				SGPWA
561111011	WRCO66B-CORRECTLY ZONED	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563075002	WRCO66B-CORRECTLY ZONED	0.331	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563220006	WRCO66B-CORRECTLY ZONED	0.191	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564209001	WRCO66B-CORRECTLY ZONED	0.415	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561111005	WRCO66B-CORRECTLY ZONED	0.453	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
140360001	WRCO66B-CORRECTLY ZONED	0.215	MDR		2-5 DU/AC	R-1	0	0						WMWD
135431053	WRCO66B-CORRECTLY ZONED	0.103	MDR		2-5 DU/AC	R-4	0	0						WMWD
135550007	WRCO66B-CORRECTLY ZONED	0.319	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
247122016	WRCO66B-CORRECTLY ZONED	0.141	MDR		2-5 DU/AC	R-1	0	0						WMWD
255031012	WRCO66B-CORRECTLY ZONED	0.234	MDR		2-5 DU/AC	R-1	0	0						WMWD
309290032	WRCO66B-CORRECTLY ZONED	14.665	MDR		2-5 DU/AC	R-1	29	23						WMWD
327451043	WRCO66B-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
381151025	WRCO66B-CORRECTLY ZONED	0.100	MDR		2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				WMWD
386152005	WRCO66B-CORRECTLY ZONED	0.137	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386152023	WRCO66B-CORRECTLY ZONED	0.142	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383109028	WRCO66B-CORRECTLY ZONED	0.189	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
565045008	WRCO66B-CORRECTLY ZONED	0.154	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
563300019	WRCO66B-CORRECTLY ZONED	0.256	MDR		2-5 DU/AC	R-3A	1	0						SGPWA
561141009	WRCO66B-CORRECTLY ZONED	0.304	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
552057013	WRCO66B-CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	R-1	0	0						SGPWA
563282006	WRCO66B-CORRECTLY ZONED	0.582	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA

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561169002	WRCOG66B-CORRECTLY ZONED	0.362	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564071029	WRCOG66B-CORRECTLY ZONED	0.286	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
565232004	WRCOG66B-CORRECTLY ZONED	0.414	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
584051012	WRCOG66B-CORRECTLY ZONED	0.231	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
449510039	WRCOG66B-CORRECTLY ZONED	0.221	MDR		2-5 DU/AC	R-1	0	0						EMWD
564139007	WRCOG66B-CORRECTLY ZONED	0.275	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
115241018	WRCOG66B-CORRECTLY ZONED	0.217	MDR		2-5 DU/AC	R-1	0	0						WMWD
290241050	WRCOG66B-CORRECTLY ZONED	0.143	MDR		2-5 DU/AC	R-1	0	0						WMWD
102083021	WRCOG66B-CORRECTLY ZONED	0.372	MDR		2-5 DU/AC	R-1	1	1	ELSNORE					WMWD
573111005	WRCOG66B-CORRECTLY ZONED	0.343	MDR		2-5 DU/AC	R-1A-9000	1	1	1 FAULT ZONE					SGPWA
476770009	WRCOG66B-CORRECTLY ZONED	2.506	MDR		2-5 DU/AC	R-A-2 1/2	5	4					Zone E	EMWD
140360011	WRCOG66B-CORRECTLY ZONED	0.332	MDR		2-5 DU/AC	R-1	1	1						WMWD
135032018	WRCOG66B-CORRECTLY ZONED	0.197	MDR		2-5 DU/AC	R-1	0	0						WMWD
308140009	WRCOG66B-CORRECTLY ZONED	0.411	MDR		2-5 DU/AC	R-A-5	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
386190002	WRCOG66B-CORRECTLY ZONED	0.264	MDR		2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					EMWD
381282029	WRCOG66B-CORRECTLY ZONED	0.081	MDR		2-5 DU/AC	R-3	0	0						EMWD
383194003	WRCOG66B-CORRECTLY ZONED	0.093	MDR		2-5 DU/AC	R-1	0	0						EMWD
386201015	WRCOG66B-CORRECTLY ZONED	0.216	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
450032007	WRCOG66B-CORRECTLY ZONED	0.274	MDR		2-5 DU/AC	R-1	1	0						EMWD
46591021	WRCOG66B-CORRECTLY ZONED	0.180	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
457311009	WRCOG66B-CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
557220011	WRCOG66B-CORRECTLY ZONED	0.496	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561151008	WRCOG66B-CORRECTLY ZONED	0.456	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561132011	WRCOG66B-CORRECTLY ZONED	0.143	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
56402020	WRCOG66B-CORRECTLY ZONED	0.395	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
559154001	WRCOG66B-CORRECTLY ZONED	0.200	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
564093009	WRCOG66B-CORRECTLY ZONED	0.217	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071021	WRCOG66B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
247091056	WRCOG66B-CORRECTLY ZONED	0.552	MDR		2-5 DU/AC	R-1	1	1						WMWD
135551002	WRCOG66B-CORRECTLY ZONED	0.314	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
135540001	WRCOG66B-CORRECTLY ZONED	0.360	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
308170010	WRCOG66B-CORRECTLY ZONED	0.191	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
308190010	WRCOG66B-CORRECTLY ZONED	0.178	MDR		2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
318282027	WRCOG66B-CORRECTLY ZONED	0.193	MDR		2-5 DU/AC	R-1	0	0		YES				WMWD
307320010	WRCOG66B-CORRECTLY ZONED	3.873	MDR		2-5 DU/AC	R-1	8	6		YES				WMWD
297072002	WRCOG66B-CORRECTLY ZONED	0.920	MDR		2-5 DU/AC	R-A-1	2	1						WMWD
386153012	WRCOG66B-CORRECTLY ZONED	0.072	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387221001	WRCOG66B-CORRECTLY ZONED	0.140	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383102008	WRCOG66B-CORRECTLY ZONED	0.043	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD

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389124011	WRCOG6B-CORRECTLY ZONE	0.088 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386202004	WRCOG6B-CORRECTLY ZONE	0.207 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386193015	WRCOG6B-CORRECTLY ZONE	0.163 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383173036	WRCOG6B-CORRECTLY ZONE	0.237 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383094005	WRCOG6B-CORRECTLY ZONE	0.148 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387212019	WRCOG6B-CORRECTLY ZONE	0.205 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383143013	WRCOG6B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
465240033	WRCOG6B-CORRECTLY ZONE	0.507 MDR			2-5 DU/AC	R-T	1	1		AREAS OF FLOODING SENSITIVITY	YES			EMWD
462202017	WRCOG6B-CORRECTLY ZONE	0.252 MDR			2-5 DU/AC	R-1	1	1	0					EMWD
458351007	WRCOG6B-CORRECTLY ZONE	0.170 MDR			2-5 DU/AC	R-1	0	0	0					EMWD
462070010	WRCOG6B-CORRECTLY ZONE	6.287 MDR			2-5 DU/AC	R-1	13	10						EMWD
458351008	WRCOG6B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0						SGPWA
548132025	WRCOG6B-CORRECTLY ZONE	0.294 MDR			2-5 DU/AC	R-D	1	0						SGPWA
557212013	WRCOG6B-CORRECTLY ZONE	3.352 MDR			2-5 DU/AC	R-1A-9000	7	5						SGPWA
561092010	WRCOG6B-CORRECTLY ZONE	0.204 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565123003	WRCOG6B-CORRECTLY ZONE	0.342 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564103009	WRCOG6B-CORRECTLY ZONE	0.242 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563172023	WRCOG6B-CORRECTLY ZONE	0.029 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563110004	WRCOG6B-CORRECTLY ZONE	1.374 MDR			2-5 DU/AC	R-1A-9000	3	2						EMWD
381300008	WRCOG6B-CORRECTLY ZONE	1.526 MDR			2-5 DU/AC	R-3	3	2						EMWD
382050050	WRCOG6B-CORRECTLY ZONE	0.217 MDR			2-5 DU/AC	R-1A	0	0						SGPWA
563141001	WRCOG6B-CORRECTLY ZONE	0.302 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
135530005	WRCOG6B-CORRECTLY ZONE	0.302 MDR			2-5 DU/AC	R-1-10000	1	0						WMWD
135530012	WRCOG6B-CORRECTLY ZONE	0.250 MDR			2-5 DU/AC	R-1-10000	1	0						WMWD
135204006	WRCOG6B-CORRECTLY ZONE	0.389 MDR			2-5 DU/AC	R-1	1	1						WMWD
140320023	WRCOG6B-CORRECTLY ZONE	0.201 MDR			2-5 DU/AC	R-1	0	0						WMWD
318292028	WRCOG6B-CORRECTLY ZONE	0.301 MDR			2-5 DU/AC	R-1	1	0						WMWD
383105034	WRCOG6B-CORRECTLY ZONE	0.071 MDR			2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383093013	WRCOG6B-CORRECTLY ZONE	0.105 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
379045018	WRCOG6B-CORRECTLY ZONE	0.335 MDR			2-5 DU/AC	R-1	1	1	COUNTY					EMWD
386193013	WRCOG6B-CORRECTLY ZONE	0.188 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
387222001	WRCOG6B-CORRECTLY ZONE	0.054 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381174016	WRCOG6B-CORRECTLY ZONE	0.014 MDR			2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383105026	WRCOG6B-CORRECTLY ZONE	0.098 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
383203015	WRCOG66B-CORRECTLY ZONED	0.069	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
452050001	WRCOG66B-CORRECTLY ZONED	9.619	MDR		2-5 DU/AC	R-1	19	15	0					EMWD
462191011	WRCOG66B-CORRECTLY ZONED	0.164	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458352008	WRCOG66B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458352004	WRCOG66B-CORRECTLY ZONED	0.199	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458350015	WRCOG66B-CORRECTLY ZONED	0.216	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
567123005	WRCOG66B-CORRECTLY ZONED	0.330	MDR		2-5 DU/AC	R-1A-9000	1	1	0	AREAS OF FLOODING SENSITIVITY				SGPWA
565052002	WRCOG66B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565242041	WRCOG66B-CORRECTLY ZONED	0.160	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
563062010	WRCOG66B-CORRECTLY ZONED	0.257	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
565043012	WRCOG66B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
567123002	WRCOG66B-CORRECTLY ZONED	0.293	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
565032002	WRCOG66B-CORRECTLY ZONED	0.421	MDR		2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
561110008	WRCOG66B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
564102011	WRCOG66B-CORRECTLY ZONED	0.879	MDR		2-5 DU/AC	R-1A-9000	2	1	0					SGPWA
462213012	WRCOG66B-CORRECTLY ZONED	1.164	MDR		2-5 DU/AC	R-1	2	2	0					SGPWA
462213021	WRCOG66B-CORRECTLY ZONED	0.217	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
383163001	WRCOG66B-CORRECTLY ZONED	0.129	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
383075015	WRCOG66B-CORRECTLY ZONED	0.106	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
567112008	WRCOG66B-CORRECTLY ZONED	0.331	MDR		2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
567092016	WRCOG66B-CORRECTLY ZONED	0.260	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
135500003	WRCOG66B-CORRECTLY ZONED	0.226	MDR		2-5 DU/AC	R-1-10000	0	0	0					WMWD
256085011	WRCOG66B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
283310002	WRCOG66B-CORRECTLY ZONED	0.607	MDR		2-5 DU/AC	R-1	1	1	0					WMWD
327451002	WRCOG66B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
383104009	WRCOG66B-CORRECTLY ZONED	0.092	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
386140014	WRCOG66B-CORRECTLY ZONED	6.090	MDR		2-5 DU/AC	R-1	12	10	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
383095029	WRCOG66B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
383093012	WRCOG66B-CORRECTLY ZONED	0.073	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
387112039	WRCOG66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
381069020	WRCOG66B-CORRECTLY ZONED	0.070	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
387060033	WRCOG66B-CORRECTLY ZONED	0.932	MDR		2-5 DU/AC	R-1	2	1	COUNTY FAULT ZONE					EMWD
386210008	WRCOG66B-CORRECTLY ZONED	0.303	MDR		2-5 DU/AC	R-1	1	0	0					EMWD
383194001	WRCOG66B-CORRECTLY ZONED	0.120	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462210009	WRCOG66B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
561147030	WRCOG66B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-3A	0	0	0					SGPWA
555000068	WRCOG66B-CORRECTLY ZONED	0.046	MDR		2-5 DU/AC	R-1-20000	0	0	0					SGPWA
564071031	WRCOG66B-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA

Housing Element Appendix A - Housing Inventory List

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561131022	WRCOG6B-CORRECTLY ZONEI	0.139	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559062002	WRCOG6B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
391080014	WRCOG6B-CORRECTLY ZONEI	33.672	MDR		2-5 DU/AC	R-4	67	54	COUNTY FAULT ZONE					EMWD
318292021	WRCOG6B-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0						EMWD
555470027	WRCOG6B-CORRECTLY ZONEI	5.657	MDR		2-5 DU/AC	R-A-20000	11	9						SGPWA
102083017	WRCOG6B-CORRECTLY ZONEI	0.299	MDR		2-5 DU/AC	R-1	1	0	ELSNORE FAULT ZONE					WMWD
327451005	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451059	WRCOG6B-CORRECTLY ZONEI	1.068	MDR		2-5 DU/AC	R-1	2	2						WMWD
327461007	WRCOG6B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451033	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386151008	WRCOG6B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386192005	WRCOG6B-CORRECTLY ZONEI	0.247	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381162007	WRCOG6B-CORRECTLY ZONEI	0.117	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386203010	WRCOG6B-CORRECTLY ZONEI	0.221	MDR		2-5 DU/AC	R-1	0	0						EMWD
386201022	WRCOG6B-CORRECTLY ZONEI	0.263	MDR		2-5 DU/AC	R-1	1	0						EMWD
447290026	WRCOG6B-CORRECTLY ZONEI	0.296	MDR		2-5 DU/AC	R-1	1	0						EMWD
405092036	WRCOG6B-CORRECTLY ZONEI	0.395	MDR		2-5 DU/AC	R-1	1	1						EMWD
462191007	WRCOG6B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391053	WRCOG6B-CORRECTLY ZONEI	0.528	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY	YES			EMWD
458340001	WRCOG6B-CORRECTLY ZONEI	0.223	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
463160019	WRCOG6B-CORRECTLY ZONEI	2.516	MDR		2-5 DU/AC	R-1	5	4		AREAS OF FLOODING SENSITIVITY	YES			EMWD
462213016	WRCOG6B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-1	0	0						EMWD
563171012	WRCOG6B-CORRECTLY ZONEI	0.189	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
458341008	WRCOG6B-CORRECTLY ZONEI	0.169	MDR		2-5 DU/AC	R-1	0	0						EMWD
557220024	WRCOG6B-CORRECTLY ZONEI	0.476	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
557220012	WRCOG6B-CORRECTLY ZONEI	1.098	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
552260005	WRCOG6B-CORRECTLY ZONEI	2.350	MDR		2-5 DU/AC	R-1	5	4						SGPWA
563264010	WRCOG6B-CORRECTLY ZONEI	0.458	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
557211006	WRCOG6B-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561121037	WRCOG6B-CORRECTLY ZONEI	0.131	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559161004	WRCOG6B-CORRECTLY ZONEI	0.115	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
565244003	WRCOG6B-CORRECTLY ZONEI	0.193	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
480180026	WRCOG6B-CORRECTLY ZONEI	0.107	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Zone E		EMWD
308140010	WRCOG6B-CORRECTLY ZONEI	3.509	MDR		2-5 DU/AC	R-A-5	7	6		AREAS OF FLOODING SENSITIVITY				WMWD
308150007	WRCOG6B-CORRECTLY ZONEI	68.345	MDR		2-5 DU/AC	R-A-5	137	109		AREAS OF FLOODING SENSITIVITY	YES			WMWD

Housing Element Appendix A - Housing Inventory List

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381071009	WRCO66B-CORRECTLY ZONE	0.077	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
40806002	WRCO66B-CORRECTLY ZONE	0.029	MDR		2-5 DU/AC	R-T	0	0						EMWD
386199019	WRCO66B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383091026	WRCO66B-CORRECTLY ZONE	0.078	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387213021	WRCO66B-CORRECTLY ZONE	0.119	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383184003	WRCO66B-CORRECTLY ZONE	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383162006	WRCO66B-CORRECTLY ZONE	0.126	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387213002	WRCO66B-CORRECTLY ZONE	0.071	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383183009	WRCO66B-CORRECTLY ZONE	0.131	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462050002	WRCO66B-CORRECTLY ZONE	39.917	MDR		2-5 DU/AC	R-1	80	64		AREAS OF FLOODING SENSITIVITY				EMWD
458350017	WRCO66B-CORRECTLY ZONE	0.241	MDR		2-5 DU/AC	R-1	0	0						EMWD
462213025	WRCO66B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458341005	WRCO66B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
561181035	WRCO66B-CORRECTLY ZONE	0.570	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
557212003	WRCO66B-CORRECTLY ZONE	0.619	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561151025	WRCO66B-CORRECTLY ZONE	0.478	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563222011	WRCO66B-CORRECTLY ZONE	0.043	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563300012	WRCO66B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-3A	0	0						SGPWA
563263012	WRCO66B-CORRECTLY ZONE	0.468	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
563121009	WRCO66B-CORRECTLY ZONE	0.203	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559162019	WRCO66B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
561151009	WRCO66B-CORRECTLY ZONE	0.474	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
567082018	WRCO66B-CORRECTLY ZONE	0.481	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564095008	WRCO66B-CORRECTLY ZONE	0.193	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
382050056	WRCO66B-CORRECTLY ZONE	0.417	MDR		2-5 DU/AC	R-1A	1	1	COUNTY FAULT ZONE					EMWD
462200007	WRCO66B-CORRECTLY ZONE	0.165	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362025	WRCO66B-CORRECTLY ZONE	0.219	MDR		2-5 DU/AC	R-1	0	0						EMWD
255150016	WRCO66B-CORRECTLY ZONE	9.765	MDR		2-5 DU/AC	R-1	20	16						WAWWD
308160007	WRCO66B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-A-5	0	0			YES			WAWWD
386190004	WRCO66B-CORRECTLY ZONE	0.159	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386201013	WRCO66B-CORRECTLY ZONE	0.263	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					EMWD
383182001	WRCO66B-CORRECTLY ZONE	0.200	MDR		2-5 DU/AC	R-1	0	0						EMWD
383187010	WRCO66B-CORRECTLY ZONE	0.259	MDR		2-5 DU/AC	R-1	1	1						EMWD

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434272004	WRCOG6B-CORRECTLY ZONE	0.295 MDR			2-5 DU/AC	R-1	1	0						EMWD
383192003	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-1	0	0						EMWD
462213029	WRCOG6B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0						EMWD
450133008	WRCOG6B-CORRECTLY ZONE	0.554 MDR			2-5 DU/AC	R-1	1	1						EMWD
462202037	WRCOG6B-CORRECTLY ZONE	0.183 MDR			2-5 DU/AC	R-1	0	0						EMWD
426060022	WRCOG6B-CORRECTLY ZONE	29.989 MDR			2-5 DU/AC	R-1	60	48			YES			EMWD
462193009	WRCOG6B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0						EMWD
466591036	WRCOG6B-CORRECTLY ZONE	0.187 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
462192011	WRCOG6B-CORRECTLY ZONE	0.184 MDR			2-5 DU/AC	R-1	0	0						EMWD
462202002	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1	0	0						EMWD
463160018	WRCOG6B-CORRECTLY ZONE	2.505 MDR			2-5 DU/AC	R-1	5	4		AREAS OF FLOODING SENSITIVITY	YES			EMWD
563191004	WRCOG6B-CORRECTLY ZONE	0.236 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
561069001	WRCOG6B-CORRECTLY ZONE	0.279 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
564112021	WRCOG6B-CORRECTLY ZONE	0.170 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564051010	WRCOG6B-CORRECTLY ZONE	0.232 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565102030	WRCOG6B-CORRECTLY ZONE	0.399 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563062030	WRCOG6B-CORRECTLY ZONE	0.138 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565130017	WRCOG6B-CORRECTLY ZONE	1.086 MDR			2-5 DU/AC	R-1A-9000	2	2						SGPWA
563171010	WRCOG6B-CORRECTLY ZONE	0.161 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564092001	WRCOG6B-CORRECTLY ZONE	0.408 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564091008	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564093010	WRCOG6B-CORRECTLY ZONE	0.221 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563123003	WRCOG6B-CORRECTLY ZONE	0.456 MDR			2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
966390003	WRCOG6B-CORRECTLY ZONE	4.388 MDR			2-5 DU/AC	R-1	9	7						CVWD
256073001	WRCOG6B-CORRECTLY ZONE	0.221 MDR			2-5 DU/AC	R-1	0	0						WMWD
386153011	WRCOG6B-CORRECTLY ZONE	0.067 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382041010	WRCOG6B-CORRECTLY ZONE	0.074 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386201018	WRCOG6B-CORRECTLY ZONE	0.219 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151041	WRCOG6B-CORRECTLY ZONE	0.143 MDR			2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151022	WRCOG6B-CORRECTLY ZONE	0.145 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387180008	WRCOG6B-CORRECTLY ZONE	0.256 MDR			2-5 DU/AC	R-1	1	1	COUNTY					EMWD
383182017	WRCOG6B-CORRECTLY ZONE	0.439 MDR			2-5 DU/AC	R-1	1	1	COUNTY					EMWD
462190009	WRCOG6B-CORRECTLY ZONE	0.196 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
438210012	WRCOG6B-CORRECTLY ZONE	0.985 MDR			2-5 DU/AC	R-2	2	2						EMWD
462202035	WRCOG6B-CORRECTLY ZONE	0.174 MDR			2-5 DU/AC	R-1	0	0						EMWD
447041006	WRCOG6B-CORRECTLY ZONE	0.125 MDR			2-5 DU/AC	R-1	0	0						EMWD
462192019	WRCOG6B-CORRECTLY ZONE	0.172 MDR			2-5 DU/AC	R-1	0	0						EMWD
462213019	WRCOG6B-CORRECTLY ZONE	0.219 MDR			2-5 DU/AC	R-1	0	0						EMWD
463160020	WRCOG6B-CORRECTLY ZONE	4.343 MDR			2-5 DU/AC	R-1	9	7		AREAS OF FLOODING SENSITIVITY	YES			EMWD



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458352010	WRCOG6B-CORRECTLY ZONEI	0.198	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
567121006	WRCOG6B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561151014	WRCOG6B-CORRECTLY ZONEI	0.204	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565231001	WRCOG6B-CORRECTLY ZONEI	0.468	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564062006	WRCOG6B-CORRECTLY ZONEI	0.249	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
568221002	WRCOG6B-CORRECTLY ZONEI	0.356	MDR		2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563193005	WRCOG6B-CORRECTLY ZONEI	2.695	MDR		2-5 DU/AC	R-1A-9000	5	4						SGPWA
561151038	WRCOG6B-CORRECTLY ZONEI	0.508	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565231011	WRCOG6B-CORRECTLY ZONEI	0.590	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561142009	WRCOG6B-CORRECTLY ZONEI	0.094	MDR		2-5 DU/AC	R-1A	0	0						SGPWA
567102004	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567081002	WRCOG6B-CORRECTLY ZONEI	0.762	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
555310008	WRCOG6B-CORRECTLY ZONEI	1.442	MDR		2-5 DU/AC	R-1	3	2						SGPWA
564071027	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564195001	WRCOG6B-CORRECTLY ZONEI	0.156	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
327451053	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WNAWD
567112020	WRCOG6B-CORRECTLY ZONEI	0.244	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
476270012	WRCOG6B-CORRECTLY ZONEI	2.086	MDR		2-5 DU/AC	R-A-2 1/2	4	3		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
256083012	WRCOG6B-CORRECTLY ZONEI	0.402	MDR		2-5 DU/AC	R-1	1	1						WNAWD
308170003	WRCOG6B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-A-5	0	0		YES				WNAWD
327463008	WRCOG6B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1	0	0						WNAWD
318292009	WRCOG6B-CORRECTLY ZONEI	0.235	MDR		2-5 DU/AC	R-1	0	0						WNAWD
387092054	WRCOG6B-CORRECTLY ZONEI	0.062	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
383041028	WRCOG6B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383042012	WRCOG6B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381281030	WRCOG6B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
402382014	WRCOG6B-CORRECTLY ZONEI	0.111	MDR		2-5 DU/AC	R-T	0	0	COUNTY FAULT ZONE					EMWD
458341001	WRCOG6B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
447312016	WRCOG6B-CORRECTLY ZONEI	0.337	MDR		2-5 DU/AC	R-1	1	1						EMWD
462210017	WRCOG6B-CORRECTLY ZONEI	0.177	MDR		2-5 DU/AC	R-1	0	0						EMWD
462213031	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362040	WRCOG6B-CORRECTLY ZONEI	0.184	MDR		2-5 DU/AC	R-1	0	0						EMWD
458335008	WRCOG6B-CORRECTLY ZONEI	0.502	MDR		2-5 DU/AC	R-1-20000	1	1						EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
567102015	WRCOG6B-CORRECTLY ZONE	0.216 MDR			2-5 DU/AC	R-1A-9000	0	0		FLOODING AREAS OF SENSITIVITY				SGPWA
565281002	WRCOG6B-CORRECTLY ZONE	0.328 MDR			2-5 DU/AC	R-1A-15000	1	1						SGPWA
561203005	WRCOG6B-CORRECTLY ZONE	0.483 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563231016	WRCOG6B-CORRECTLY ZONE	0.358 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564186010	WRCOG6B-CORRECTLY ZONE	0.360 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
565233008	WRCOG6B-CORRECTLY ZONE	0.191 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565191015	WRCOG6B-CORRECTLY ZONE	1.526 MDR			2-5 DU/AC	R-1A-9000	3	2						SGPWA
564140041	WRCOG6B-CORRECTLY ZONE	0.232 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071015	WRCOG6B-CORRECTLY ZONE	0.251 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
553150040	WRCOG6B-CORRECTLY ZONE	0.060 MDR			2-5 DU/AC	R-1-20000	0	0						SGPWA
564104022	WRCOG6B-CORRECTLY ZONE	0.188 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
382050033	WRCOG6B-CORRECTLY ZONE	0.076 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
561041005	WRCOG6B-CORRECTLY ZONE	0.275 MDR			2-5 DU/AC	R-3A	1	0						EMWD
563233010	WRCOG6B-CORRECTLY ZONE	0.348 MDR			2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
383073006	WRCOG6B-CORRECTLY ZONE	0.086 MDR			2-5 DU/AC	R-1	0	0						EMWD
565243001	WRCOG6B-CORRECTLY ZONE	0.171 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
135551004	WRCOG6B-CORRECTLY ZONE	0.351 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
247044003	WRCOG6B-CORRECTLY ZONE	0.108 MDR			2-5 DU/AC	R-1	0	0						WMWD
246107009	WRCOG6B-CORRECTLY ZONE	0.381 MDR			2-5 DU/AC	R-1	1	1						WMWD
290241015	WRCOG6B-CORRECTLY ZONE	0.228 MDR			2-5 DU/AC	R-1	0	0						WMWD
317210018	WRCOG6B-CORRECTLY ZONE	34.420 MDR			2-5 DU/AC	R-1	69	55						WMWD
317210022	WRCOG6B-CORRECTLY ZONE	1.092 MDR			2-5 DU/AC	R-1	2	2						WMWD
327451058	WRCOG6B-CORRECTLY ZONE	0.202 MDR			2-5 DU/AC	R-1	0	0						WMWD
327452003	WRCOG6B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0						WMWD
387162027	WRCOG6B-CORRECTLY ZONE	0.176 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387180003	WRCOG6B-CORRECTLY ZONE	0.758 MDR			2-5 DU/AC	R-1	2	1	COUNTY FAULT ZONE					EMWD
386203008	WRCOG6B-CORRECTLY ZONE	0.479 MDR			2-5 DU/AC	R-1	1	1						EMWD
381272035	WRCOG6B-CORRECTLY ZONE	0.098 MDR			2-5 DU/AC	R-3	0	0						EMWD
405092035	WRCOG6B-CORRECTLY ZONE	0.393 MDR			2-5 DU/AC	R-1	1	1						EMWD
381281026	WRCOG6B-CORRECTLY ZONE	0.148 MDR			2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
449280040	WRCOG6B-CORRECTLY ZONE	0.098 MDR			2-5 DU/AC	R-1-12000	0	0						EMWD
462212002	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						EMWD
426103003	WRCOG6B-CORRECTLY ZONE	1.498 MDR			2-5 DU/AC	R-1	3	2						EMWD
458372012	WRCOG6B-CORRECTLY ZONE	0.178 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
459110018	WRCOG6B-CORRECTLY ZONE	0.166 MDR			2-5 DU/AC	R-T	0	0		FLOODING AREAS OF SENSITIVITY				EMWD
561191008	WRCOG6B-CORRECTLY ZONE	0.198 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564111006	WRCOG6B-CORRECTLY ZONE	0.361 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564221003	WRCOG6B-CORRECTLY ZONE	0.313 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

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563212013	WRCOG6B-CORRECTLY ZONE	0.533	MDR		2.5 DU/AC	R-1A-9000	1	1		FLOODING SENSITIVITY				SGPWA
552080002	WRCOG6B-CORRECTLY ZONE	4.708	MDR		2.5 DU/AC	R-1	9	8						SGPWA
565192009	WRCOG6B-CORRECTLY ZONE	0.271	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
565227015	WRCOG6B-CORRECTLY ZONE	0.198	MDR		2.5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
383073012	WRCOG6B-CORRECTLY ZONE	0.091	MDR		2.5 DU/AC	R-1	0	0						EMWD
247053013	WRCOG6B-CORRECTLY ZONE	0.095	MDR		2.5 DU/AC	R-1	0	0						WMWD
247045010	WRCOG6B-CORRECTLY ZONE	0.214	MDR		2.5 DU/AC	R-1	0	0						WMWD
327451030	WRCOG6B-CORRECTLY ZONE	0.175	MDR		2.5 DU/AC	R-1	0	0						WMWD
386151037	WRCOG6B-CORRECTLY ZONE	0.072	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
382026004	WRCOG6B-CORRECTLY ZONE	0.118	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381064018	WRCOG6B-CORRECTLY ZONE	0.070	MDR		2.5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
387212062	WRCOG6B-CORRECTLY ZONE	0.106	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
447260015	WRCOG6B-CORRECTLY ZONE	0.591	MDR		2.5 DU/AC	R-1	1	1						EMWD
462060006	WRCOG6B-CORRECTLY ZONE	10.007	MDR		2.5 DU/AC	R-1	20	16		AREAS OF FLOODING SENSITIVITY				EMWD
462192008	WRCOG6B-CORRECTLY ZONE	0.166	MDR		2.5 DU/AC	R-1	0	0						EMWD
565042002	WRCOG6B-CORRECTLY ZONE	0.121	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
563062018	WRCOG6B-CORRECTLY ZONE	0.152	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
563264004	WRCOG6B-CORRECTLY ZONE	0.464	MDR		2.5 DU/AC	R-3A	1	1						SGPWA
561166014	WRCOG6B-CORRECTLY ZONE	0.447	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
559158006	WRCOG6B-CORRECTLY ZONE	0.147	MDR		2.5 DU/AC	R-3A-20000	0	0						SGPWA
565242018	WRCOG6B-CORRECTLY ZONE	0.187	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564192004	WRCOG6B-CORRECTLY ZONE	0.993	MDR		2.5 DU/AC	R-3A-20000	2	2						SGPWA
434260011	WRCOG6B-CORRECTLY ZONE	0.832	MDR		2.5 DU/AC	R-3	2	1						SGPWA
557220025	WRCOG6B-CORRECTLY ZONE	0.983	MDR		2.5 DU/AC	R-3	2	2						EMWD
563192002	WRCOG6B-CORRECTLY ZONE	0.089	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
	WRCOG6B-CORRECTLY ZONE	0.278	MDR		2.5 DU/AC	R-3A	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
308190004	WRCOG6B-CORRECTLY ZONE	0.176	MDR		2.5 DU/AC	R-A-5	0	0			YES			WMWD
309290036	WRCOG6B-CORRECTLY ZONE	4.457	MDR		2.5 DU/AC	R-1	9	7						WMWD
386193005	WRCOG6B-CORRECTLY ZONE	0.195	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387252018	WRCOG6B-CORRECTLY ZONE	0.115	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383202008	WRCOG6B-CORRECTLY ZONE	0.133	MDR		2.5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386193026	WRCOG6B-CORRECTLY ZONE	0.211	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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387162024	WRCOG68-CORRECTLY ZONEI	0.125	MDR		2-5 DU/AC	R-1	0	0	0	FAULT ZONE				EMWD
38830027	WRCOG68-CORRECTLY ZONEI	0.009	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
447211013	WRCOG68-CORRECTLY ZONEI	1.918	MDR		2-5 DU/AC	R-1	4	3	3					EMWD
458350001	WRCOG68-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458340046	WRCOG68-CORRECTLY ZONEI	0.201	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
457311006	WRCOG68-CORRECTLY ZONEI	0.241	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
458351002	WRCOG68-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
561094004	WRCOG68-CORRECTLY ZONEI	0.433	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
561142021	WRCOG68-CORRECTLY ZONEI	0.263	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
561151010	WRCOG68-CORRECTLY ZONEI	0.402	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
564103008	WRCOG68-CORRECTLY ZONEI	0.402	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
563187002	WRCOG68-CORRECTLY ZONEI	0.508	MDR		2-5 DU/AC	R-3A	1	1	1					SGPWA
557201008	WRCOG68-CORRECTLY ZONEI	0.413	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
561203003	WRCOG68-CORRECTLY ZONEI	0.386	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
565232003	WRCOG68-CORRECTLY ZONEI	0.389	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
564104016	WRCOG68-CORRECTLY ZONEI	0.005	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
561155007	WRCOG68-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565161027	WRCOG68-CORRECTLY ZONEI	0.323	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
434260027	WRCOG68-CORRECTLY ZONEI	0.490	MDR		2-5 DU/AC	R-3	1	1	1					EMWD
383076012	WRCOG68-CORRECTLY ZONEI	0.115	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
309290037	WRCOG68-CORRECTLY ZONEI	4.974	MDR		2-5 DU/AC	R-1	10	8	8					WMWD
140150043	WRCOG68-CORRECTLY ZONEI	1.020	MDR		2-5 DU/AC	R-4	2	2	2	YES				WMWD
135530001	WRCOG68-CORRECTLY ZONEI	0.234	MDR		2-5 DU/AC	R-1-10000	0	0	0					WMWD
140351026	WRCOG68-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
247044007	WRCOG68-CORRECTLY ZONEI	0.114	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
308150006	WRCOG68-CORRECTLY ZONEI	20.008	MDR		2-5 DU/AC	R-4-5	40	32	32					WMWD
388362003	WRCOG68-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
381063004	WRCOG68-CORRECTLY ZONEI	0.099	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
381272036	WRCOG68-CORRECTLY ZONEI	0.101	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
458362021	WRCOG68-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462213021	WRCOG68-CORRECTLY ZONEI	0.216	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458372006	WRCOG68-CORRECTLY ZONEI	0.221	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
450020008	WRCOG68-CORRECTLY ZONEI	3.654	MDR		2-5 DU/AC	R-1	7	6	6					EMWD
549501037	WRCOG68-CORRECTLY ZONEI	0.007	MDR		2-5 DU/AC	R-T	0	0	0					SGPWA
561123009	WRCOG68-CORRECTLY ZONEI	0.061	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565290006	WRCOG68-CORRECTLY ZONEI	0.338	MDR		2-5 DU/AC	R-1A-15000	1	1	1					SGPWA
565041023	WRCOG68-CORRECTLY ZONEI	0.154	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
564140023	WRCOG68-CORRECTLY ZONEI	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
561072014	WRCOG68-CORRECTLY ZONEI	0.388	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
558158007	WRCOG68-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-3A-20000	0	0	0					SGPWA
561043005	WRCOG68-CORRECTLY ZONEI	0.056	MDR		2-5 DU/AC	R-1A-9000	0	0	0	COUNTY				SGPWA
382050067	WRCOG68-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1A	0	0	0					EMWD
247160024	WRCOG68-CORRECTLY ZONEI	0.142	MDR		2-5 DU/AC	R-1	0	0	0					WMWD

Housing Element Appendix A - Housing Inventory List

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308180009	WRCOG6B-CORRECTLY ZONEI	0.249	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
327451044	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451041	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386152012	WRCOG6B-CORRECTLY ZONEI	0.143	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386153023	WRCOG6B-CORRECTLY ZONEI	0.157	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381281022	WRCOG6B-CORRECTLY ZONEI	0.139	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
408050012	WRCOG6B-CORRECTLY ZONEI	0.015	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
383033007	WRCOG6B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1	0	0						EMWD
386210104	WRCOG6B-CORRECTLY ZONEI	0.389	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
387222031	WRCOG6B-CORRECTLY ZONEI	0.229	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383194008	WRCOG6B-CORRECTLY ZONEI	0.499	MDR		2-5 DU/AC	R-1	1	1	0 FAULT ZONE					EMWD
388072031	WRCOG6B-CORRECTLY ZONEI	0.809	MDR		2-5 DU/AC	R-1	2	2	COUNTY		YES			EMWD
387212044	WRCOG6B-CORRECTLY ZONEI	0.180	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
462190002	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
447280019	WRCOG6B-CORRECTLY ZONEI	0.017	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362029	WRCOG6B-CORRECTLY ZONEI	0.312	MDR		2-5 DU/AC	R-1	1	0						EMWD
466391007	WRCOG6B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
476090010	WRCOG6B-CORRECTLY ZONEI	5.008	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				EMWD
462213024	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
567123025	WRCOG6B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557230015	WRCOG6B-CORRECTLY ZONEI	1.902	MDR		2-5 DU/AC	R-1A-9000	4	3						SGPWA
561103017	WRCOG6B-CORRECTLY ZONEI	0.437	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565225031	WRCOG6B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567102020	WRCOG6B-CORRECTLY ZONEI	0.230	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
548120006	WRCOG6B-CORRECTLY ZONEI	4.324	MDR		2-5 DU/AC	R-1	9	7						SGPWA
564071020	WRCOG6B-CORRECTLY ZONEI	0.215	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563181004	WRCOG6B-CORRECTLY ZONEI	2.719	MDR		2-5 DU/AC	R-3A	5	4						SGPWA
567102009	WRCOG6B-CORRECTLY ZONEI	0.192	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564132005	WRCOG6B-CORRECTLY ZONEI	0.142	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563051006	WRCOG6B-CORRECTLY ZONEI	0.360	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
318292011	WRCOG6B-CORRECTLY ZONEI	0.289	MDR		2-5 DU/AC	R-1	1	0						WMWD
458340049	WRCOG6B-CORRECTLY ZONEI	0.129	MDR		2-5 DU/AC	R-1-20000	0	0						EMWD
563043003	WRCOG6B-CORRECTLY ZONEI	0.405	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
476270005	WRCOG6B-CORRECTLY ZONEE	2.262	MDR		2-5 DU/AC	R-A-2.1/2	5	4		FLOODING SENSITIVITY			Zone E	EMWD
140320018	WRCOG6B-CORRECTLY ZONEE	0.178	MDR		2-5 DU/AC	R-1	0	0						WMWD
140351016	WRCOG6B-CORRECTLY ZONEE	0.348	MDR		2-5 DU/AC	R-1	1	1						WMWD
308190008	WRCOG6B-CORRECTLY ZONEE	0.178	MDR		2-5 DU/AC	R-A-5	0	0		FLOODING SENSITIVITY	YES			WMWD
318785007	WRCOG6B-CORRECTLY ZONEE	0.185	MDR		2-5 DU/AC	R-1	0	0	COUNTY		YES			WMWD
386152024	WRCOG6B-CORRECTLY ZONEE	0.138	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386191001	WRCOG6B-CORRECTLY ZONEE	0.220	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381062026	WRCOG6B-CORRECTLY ZONEE	0.066	MDR		2-5 DU/AC	R-3	0	0	0	FLOODING SENSITIVITY				EMWD
381064012	WRCOG6B-CORRECTLY ZONEE	0.068	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
438220013	WRCOG6B-CORRECTLY ZONEE	3.945	MDR		2-5 DU/AC	R-2	8	6						EMWD
434221004	WRCOG6B-CORRECTLY ZONEE	2.316	MDR		2-5 DU/AC	R-A	5	4						EMWD
462202033	WRCOG6B-CORRECTLY ZONEE	0.180	MDR		2-5 DU/AC	R-1	0	0						EMWD
447140011	WRCOG6B-CORRECTLY ZONEE	0.137	MDR		2-5 DU/AC	R-3	0	0						EMWD
462211005	WRCOG6B-CORRECTLY ZONEE	0.183	MDR		2-5 DU/AC	R-1	0	0						EMWD
447312021	WRCOG6B-CORRECTLY ZONEE	0.346	MDR		2-5 DU/AC	R-1	1	1						EMWD
565281004	WRCOG6B-CORRECTLY ZONEE	0.347	MDR		2-5 DU/AC	R-1A-15000	1	1						EMWD
561041007	WRCOG6B-CORRECTLY ZONEE	0.268	MDR		2-5 DU/AC	R-3A	1	1						EMWD
555500065	WRCOG6B-CORRECTLY ZONEE	0.248	MDR		2-5 DU/AC	R-1-20000	0	0						SGPWA
563074003	WRCOG6B-CORRECTLY ZONEE	0.349	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
567112002	WRCOG6B-CORRECTLY ZONEE	0.225	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
476010045	WRCOG6B-CORRECTLY ZONEE	1.515	MDR		2-5 DU/AC	R-A-2.1/2	3	2						EMWD
135050007	WRCOG6B-CORRECTLY ZONEE	0.908	MDR		2-5 DU/AC	R-1	2	1		AREAS OF FLOODING SENSITIVITY	YES			WMWD
308190011	WRCOG6B-CORRECTLY ZONEE	0.178	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
327452015	WRCOG6B-CORRECTLY ZONEE	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
371252009	WRCOG6B-CORRECTLY ZONEE	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY				EMWD
386192014	WRCOG6B-CORRECTLY ZONEE	0.242	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386154009	WRCOG6B-CORRECTLY ZONEE	0.234	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383201010	WRCOG6B-CORRECTLY ZONEE	2.062	MDR		2-5 DU/AC	R-3	4	3	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
381290016	WRCOG6B-CORRECTLY ZONEE	0.419	MDR		2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
381232033	WRCOG6B-CORRECTLY ZONEE	0.107	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386152006	WRCOG6B-CORRECTLY ZONEE	0.136	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151019	WRCOG6B-CORRECTLY ZONEE	0.152	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
408050010	WRCOG6B-CORRECTLY ZONE	2.087 MDR			2-5 DU/AC	R-T	4	3		AREAS OF FLOODING SENSITIVITY				EMWD
434260013	WRCOG6B-CORRECTLY ZONE	0.493 MDR			2-5 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
402361028	WRCOG6B-CORRECTLY ZONE	0.080 MDR			2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
450091007	WRCOG6B-CORRECTLY ZONE	0.117 MDR			2-5 DU/AC	R-1	0	0						EMWD
462192015	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0						EMWD
457310022	WRCOG6B-CORRECTLY ZONE	0.247 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462199004	WRCOG6B-CORRECTLY ZONE	0.185 MDR			2-5 DU/AC	R-1	0	0						EMWD
458362009	WRCOG6B-CORRECTLY ZONE	0.179 MDR			2-5 DU/AC	R-1	0	0						EMWD
564093011	WRCOG6B-CORRECTLY ZONE	0.178 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565042012	WRCOG6B-CORRECTLY ZONE	0.136 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565180017	WRCOG6B-CORRECTLY ZONE	0.219 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563191006	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-3A	0	0						SGPWA
552032008	WRCOG6B-CORRECTLY ZONE	0.169 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
564181004	WRCOG6B-CORRECTLY ZONE	0.245 MDR			2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
566252002	WRCOG6B-CORRECTLY ZONE	0.201 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563191001	WRCOG6B-CORRECTLY ZONE	0.208 MDR			2-5 DU/AC	R-3A	0	0						SGPWA
564140011	WRCOG6B-CORRECTLY ZONE	0.849 MDR			2-5 DU/AC	R-1A-9000	2	1						SGPWA
565043005	WRCOG6B-CORRECTLY ZONE	0.193 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
476270003	WRCOG6B-CORRECTLY ZONE	2.139 MDR			2-5 DU/AC	R-4-2 1/2	4	3		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
135541002	WRCOG6B-CORRECTLY ZONE	0.339 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
270350060	WRCOG6B-CORRECTLY ZONE	0.562 MDR			2-5 DU/AC	R-1	1	1			YES			WMWD
327461004	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						WMWD
381281021	WRCOG6B-CORRECTLY ZONE	0.131 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386201019	WRCOG6B-CORRECTLY ZONE	0.214 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386201014	WRCOG6B-CORRECTLY ZONE	0.275 MDR			2-5 DU/AC	R-1	1	0	COUNTY					EMWD
408050004	WRCOG6B-CORRECTLY ZONE	3.630 MDR			2-5 DU/AC	R-T	7	6		AREAS OF FLOODING SENSITIVITY				EMWD
383192002	WRCOG6B-CORRECTLY ZONE	0.215 MDR			2-5 DU/AC	R-1	0	0						EMWD
383194006	WRCOG6B-CORRECTLY ZONE	0.192 MDR			2-5 DU/AC	R-1	0	0						EMWD
466391031	WRCOG6B-CORRECTLY ZONE	0.173 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
458350019	WRCOG6B-CORRECTLY ZONE	0.504 MDR			2-5 DU/AC	R-1-20000	1	1						EMWD
458362006	WRCOG6B-CORRECTLY ZONE	0.164 MDR			2-5 DU/AC	R-1	0	0						EMWD
462190003	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1	0	0						EMWD
462202036	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
563282003	WRCOG6B-CORRECTLY ZONE	0.528 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
559161003	WRCOG6B-CORRECTLY ZONE	0.109 MDR			2-5 DU/AC	R-3A-20000	0	0						SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
567103014	WRCOG66B-CORRECTLY ZONED	0.213	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563231014	WRCOG66B-CORRECTLY ZONED	0.592	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
458360010	WRCOG66B-CORRECTLY ZONED	0.119	MDR		2-5 DU/AC	R-1-20000	0	0						EMWD
966420030	WRCOG66B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-5	0	0						EMWD
553331008	WRCOG66B-CORRECTLY ZONED	0.362	MDR		2-5 DU/AC	R-1	1	1						SGPWA
564140050	WRCOG66B-CORRECTLY ZONED	0.359	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
553330007	WRCOG66B-CORRECTLY ZONED	0.365	MDR		2-5 DU/AC	R-1	1	1						SGPWA
561220033	WRCOG66B-CORRECTLY ZONED	0.540	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
553330003	WRCOG66B-CORRECTLY ZONED	0.316	MDR		2-5 DU/AC	R-1	1	1	COUNTY					SGPWA
381300019	WRCOG66B-CORRECTLY ZONED	0.595	MDR		2-5 DU/AC	R-3	1	1	FAULT ZONE					EMWD
461210030	WRCOG66B-CORRECTLY ZONED	23.754	MDR		2-5 DU/AC	SP ZONE	48	38		YES				EMWD
451260042	WRCOG66B-CORRECTLY ZONED	0.200	MDR		2-5 DU/AC	R-1	0	0						EMWD
966420031	WRCOG66B-CORRECTLY ZONED	0.055	MDR		2-5 DU/AC	R-5	0	0						EMWD
563213042	WRCOG66B-CORRECTLY ZONED	0.902	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
553330011	WRCOG66B-CORRECTLY ZONED	0.301	MDR		2-5 DU/AC	R-1	1	0						SGPWA
451260046	WRCOG66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260033	WRCOG66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260034	WRCOG66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
553330008	WRCOG66B-CORRECTLY ZONED	0.367	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563222055	WRCOG66B-CORRECTLY ZONED	0.919	MDR		2-5 DU/AC	R-3A	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
553330002	WRCOG66B-CORRECTLY ZONED	0.316	MDR		2-5 DU/AC	R-1	1	1						SGPWA
451260047	WRCOG66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0						EMWD
381300017	WRCOG66B-CORRECTLY ZONED	0.851	MDR		2-5 DU/AC	R-3	2	1	COUNTY					EMWD
449323024	WRCOG66B-CORRECTLY ZONED	4.229	MDR		2-5 DU/AC	R-A-1	8	7		AREAS OF FLOODING SENSITIVITY				EMWD
251590028	WRCOG66B-CORRECTLY ZONED	0.401	MDR		2-5 DU/AC	R-A-20000	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
480020027	WRCOG66B-CORRECTLY ZONED	34.978	MDR		2-5 DU/AC	R-1	70	56						EMWD
461210030	WRCOG66B-CORRECTLY ZONED	15.728	MDR		2-5 DU/AC	SP ZONE	31	25		YES			Zone E	EMWD
553331001	WRCOG66B-CORRECTLY ZONED	0.350	MDR		2-5 DU/AC	R-1	1	1						SGPWA
451260032	WRCOG66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260040	WRCOG66B-CORRECTLY ZONED	0.270	MDR		2-5 DU/AC	R-1	1	0						EMWD
480020027	WRCOG66B-CORRECTLY ZONED	4.656	MDR		2-5 DU/AC	R-1	9	7					Zone E	EMWD
553331006	WRCOG66B-CORRECTLY ZONED	0.303	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563222057	WRCOG66B-CORRECTLY ZONED	0.215	MDR		2-5 DU/AC	R-3A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
383210049	WRCOG66B-CORRECTLY ZONED	0.213	MDR		2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
567120022	WRCOG66B-CORRECTLY ZONED	0.859	MDR		2-5 DU/AC	R-1A-9000	2	1						SGPWA
553330013	WRCOG66B-CORRECTLY ZONED	0.360	MDR		2-5 DU/AC	R-1	1	1						SGPWA
461210032	WRCOG66B-CORRECTLY ZONED	1.504	MDR		2-5 DU/AC	R-1	3	2			YES			EMWD
451260037	WRCOG66B-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260035	WRCOG66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

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383210048	WRCOG66B-CORRECTLY ZONE1	0.202 MDR			2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
553331007	WRCOG66B-CORRECTLY ZONE1	0.303 MDR			2-5 DU/AC	R-1	1	0						SGPWA
553330010	WRCOG66B-CORRECTLY ZONE1	0.299 MDR			2-5 DU/AC	R-1	1	0						SGPWA
563121014	WRCOG66B-CORRECTLY ZONE1	0.730 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
383210050	WRCOG66B-CORRECTLY ZONE1	0.214 MDR			2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
451260038	WRCOG66B-CORRECTLY ZONE1	0.239 MDR			2-5 DU/AC	R-1	0	0						EMWD
480020027	WRCOG66B-CORRECTLY ZONE1	0.095 MDR			2-5 DU/AC	R-1	0	0					Zone E	EMWD
451260039	WRCOG66B-CORRECTLY ZONE1	0.202 MDR			2-5 DU/AC	R-1	0	0						EMWD
553331004	WRCOG66B-CORRECTLY ZONE1	0.292 MDR			2-5 DU/AC	R-1	1	1						SGPWA
553330006	WRCOG66B-CORRECTLY ZONE1	0.375 MDR			2-5 DU/AC	R-1	1	1						SGPWA
451260043	WRCOG66B-CORRECTLY ZONE1	0.165 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
563222055	WRCOG66B-CORRECTLY ZONE1	0.905 MDR			2-5 DU/AC	R-3A	2	1						SGPWA
562231019	WRCOG66B-CORRECTLY ZONE1	1.239 MDR			2-5 DU/AC	R-3A	2	2						SGPWA
451260044	WRCOG66B-CORRECTLY ZONE1	0.171 MDR			2-5 DU/AC	R-1	0	0						EMWD
557220028	WRCOG66B-CORRECTLY ZONE1	0.434 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
553330001	WRCOG66B-CORRECTLY ZONE1	0.374 MDR			2-5 DU/AC	R-1	1	1						SGPWA
566420032	WRCOG66B-CORRECTLY ZONE1	1.092 MDR			2-5 DU/AC	R-5	2	2						EMWD
451260045	WRCOG66B-CORRECTLY ZONE1	0.171 MDR			2-5 DU/AC	R-1	0	0						EMWD
553330012	WRCOG66B-CORRECTLY ZONE1	0.301 MDR			2-5 DU/AC	R-1	1	0						SGPWA
553331005	WRCOG66B-CORRECTLY ZONE1	0.300 MDR			2-5 DU/AC	R-1	1	0						SGPWA
480020030	WRCOG66B-CORRECTLY ZONE1	9.780 MDR			2-5 DU/AC	R-4	20	16					Zone E	EMWD
553330005	WRCOG66B-CORRECTLY ZONE1	0.480 MDR			2-5 DU/AC	R-1	1	1						EMWD
451260036	WRCOG66B-CORRECTLY ZONE1	0.171 MDR			2-5 DU/AC	R-1	0	0						EMWD
480020030	WRCOG66B-CORRECTLY ZONE1	0.434 MDR			2-5 DU/AC	R-1	1	1					Zone E	EMWD
383075025	WRCOG66B-CORRECTLY ZONE1	0.448 MDR			2-5 DU/AC	R-1	1	1						EMWD
553330009	WRCOG66B-CORRECTLY ZONE1	0.260 MDR			2-5 DU/AC	R-1	1	0						SGPWA
553330004	WRCOG66B-CORRECTLY ZONE1	0.314 MDR			2-5 DU/AC	R-1	1	1						EMWD
553331003	WRCOG66B-CORRECTLY ZONE1	0.293 MDR			2-5 DU/AC	R-1	1	1						SGPWA
451260041	WRCOG66B-CORRECTLY ZONE1	0.208 MDR			2-5 DU/AC	R-1	0	0						EMWD
553331002	WRCOG66B-CORRECTLY ZONE1	0.293 MDR			2-5 DU/AC	R-1	1	0						EMWD
566420029	WRCOG66B-CORRECTLY ZONE1	5.384 MDR			2-5 DU/AC	R-5	11	9						SGPWA
Not Zoned Correctly		4474					8947	7145						EMWD
326250037	WRCOG66A-NOT CORRECTLY Z	4.250 MDR			2-5 DU/AC	R-R							Zone E	WMAWD
872233022	OTHER6A-NOT CORRECTLY ZC	0.077 MDR			2-5 DU/AC	W-2-M								PVID
872284026	OTHER6A-NOT CORRECTLY ZC	0.153 MDR			2-5 DU/AC	W-2-M								PVID
528102044	OTHER6A-NOT CORRECTLY ZC	0.108 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
529101008	OTHER6A-NOT CORRECTLY ZC	0.299 MDR			2-5 DU/AC	R-R								SGPWA
872281027	OTHER6A-NOT CORRECTLY ZC	0.092 MDR			2-5 DU/AC	C-1/C-P								PVID
87234004	OTHER6A-NOT CORRECTLY ZC	1.561 MDR			2-5 DU/AC	W-2-M								PVID
872281022	OTHER6A-NOT CORRECTLY ZC	0.091 MDR			2-5 DU/AC	C-1/C-P								PVID
519142009	OTHER6A-NOT CORRECTLY ZC	0.245 MDR			2-5 DU/AC	W-2								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
519121005	OTHER6A-NOT CORRECTLY ZC	0.264	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528035028	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121002	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872304009	OTHER6A-NOT CORRECTLY ZC	0.169	MDR		2-5 DU/AC	W-2-M								PVID
872312003	OTHER6A-NOT CORRECTLY ZC	1.538	MDR		2-5 DU/AC	W-2-M								PVID
519151012	OTHER6A-NOT CORRECTLY ZC	0.318	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				SGPWA
833092009	OTHER6A-NOT CORRECTLY ZC	0.350	MDR		2-5 DU/AC	R-R								PVID
519121014	OTHER6A-NOT CORRECTLY ZC	0.250	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
528101021	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
52803004	OTHER6A-NOT CORRECTLY ZC	0.129	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872294015	OTHER6A-NOT CORRECTLY ZC	0.462	MDR		2-5 DU/AC	C-1/C-P								SGPWA
519122004	OTHER6A-NOT CORRECTLY ZC	0.279	MDR		2-5 DU/AC	W-2								PVID
528032033	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519151002	OTHER6A-NOT CORRECTLY ZC	0.589	MDR		2-5 DU/AC	W-2								SGPWA
872301023	OTHER6A-NOT CORRECTLY ZC	0.639	MDR		2-5 DU/AC	C-1/C-P								PVID
528121001	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121003	OTHER6A-NOT CORRECTLY ZC	0.642	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
519132004	OTHER6A-NOT CORRECTLY ZC	0.270	MDR		2-5 DU/AC	W-2								SGPWA
519131010	OTHER6A-NOT CORRECTLY ZC	0.254	MDR		2-5 DU/AC	W-2								SGPWA
520101006	OTHER6A-NOT CORRECTLY ZC	0.301	MDR		2-5 DU/AC	R-R								SGPWA
528102040	OTHER6A-NOT CORRECTLY ZC	0.106	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
833081026	OTHER6A-NOT CORRECTLY ZC	0.459	MDR		2-5 DU/AC	R-R								PVID
519121007	OTHER6A-NOT CORRECTLY ZC	0.258	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872281025	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2-5 DU/AC	C-1/C-P								PVID
528031008	OTHER6A-NOT CORRECTLY ZC	0.347	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
5283102046	OTHER6A-NOT CORRECTLY ZC	0.096	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121015	OTHER6A-NOT CORRECTLY ZC	0.266	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528034002	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528111011	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519122001	OTHER6A-NOT CORRECTLY ZC	0.257	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528104008	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528041001	OTHER6A-NOT CORRECTLY ZC	0.166	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031010	OTHER6A-NOT CORRECTLY ZC	0.165	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122038	OTHER6A-NOT CORRECTLY ZC	0.570	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122001	OTHER6A-NOT CORRECTLY ZC	0.412	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519131001	OTHER6A-NOT CORRECTLY ZC	1.217	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033027	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
883081025	OTHER6A-NOT CORRECTLY ZC	0.376	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142043	OTHER6A-NOT CORRECTLY ZC	0.163	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872233030	OTHER6A-NOT CORRECTLY ZC	0.311	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283005	OTHER6A-NOT CORRECTLY ZC	0.434	MDR		2-5 DU/AC	W-2-M								PVID
872283004	OTHER6A-NOT CORRECTLY ZC	0.087	MDR		2-5 DU/AC	C-1/C-P								PVID
872282014	OTHER6A-NOT CORRECTLY ZC	0.349	MDR		2-5 DU/AC	W-2-M								PVID
872314018	OTHER6A-NOT CORRECTLY ZC	2.611	MDR		2-5 DU/AC	W-2-M								PVID
528102028	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121005	OTHER6A-NOT CORRECTLY ZC	0.120	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872272028	OTHER6A-NOT CORRECTLY ZC	0.275	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528032013	OTHER6A-NOT CORRECTLY ZC	0.120	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519122003	OTHER6A-NOT CORRECTLY ZC	0.280	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528033034	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528111003	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042039	OTHER6A-NOT CORRECTLY ZC	0.228	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031004	OTHER6A-NOT CORRECTLY ZC	0.313	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283031	OTHER6A-NOT CORRECTLY ZC	0.173	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528102041	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283009	OTHER6A-NOT CORRECTLY ZC	0.258	MDR		2-5 DU/AC	C-3/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872283007	OTHER6A-NOT CORRECTLY ZC	1.018	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528111002	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872284028	OTHER6A-NOT CORRECTLY ZC	0.152	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528101013	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102023	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872274035	OTHER6A-NOT CORRECTLY ZC	0.165	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528112022	OTHER6A-NOT CORRECTLY ZC	0.108	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132022	OTHER6A-NOT CORRECTLY ZC	0.275	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104013	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104007	OTHER6A-NOT CORRECTLY ZC	0.122	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872304008	OTHER6A-NOT CORRECTLY ZC	0.173	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
519122007	OTHER6A-NOT CORRECTLY ZC	0.280	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872100014	OTHER6A-NOT CORRECTLY ZC	0.352	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872283016	OTHER6A-NOT CORRECTLY ZC	0.171	MDR		2-5 DU/AC	C-3/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872274029	OTHER6A-NOT CORRECTLY ZC	0.183	MDR		2-5 DU/AC	C-3/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528034026	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042016	OTHER6A-NOT CORRECTLY ZC	0.131 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528032028	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520101007	OTHER6A-NOT CORRECTLY ZC	0.287 MDR			2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121008	OTHER6A-NOT CORRECTLY ZC	0.831 MDR			2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528102012	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872304007	OTHER6A-NOT CORRECTLY ZC	0.507 MDR			2.5 DU/AC	W-2-M								SGPWA
872311007	OTHER6A-NOT CORRECTLY ZC	0.463 MDR			2.5 DU/AC	W-2-M								PVID
519151013	OTHER6A-NOT CORRECTLY ZC	0.359 MDR			2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101018	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042033	OTHER6A-NOT CORRECTLY ZC	0.117 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112023	OTHER6A-NOT CORRECTLY ZC	0.108 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519122002	OTHER6A-NOT CORRECTLY ZC	0.276 MDR			2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528032032	OTHER6A-NOT CORRECTLY ZC	0.123 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872233019	OTHER6A-NOT CORRECTLY ZC	0.385 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528102038	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031007	OTHER6A-NOT CORRECTLY ZC	0.311 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872301015	OTHER6A-NOT CORRECTLY ZC	0.617 MDR			2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872274027	OTHER6A-NOT CORRECTLY ZC	0.185 MDR			2.5 DU/AC	W-2-M								PVID
519131003	OTHER6A-NOT CORRECTLY ZC	0.437 MDR			2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042051	OTHER6A-NOT CORRECTLY ZC	0.116 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528034027	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528103029	OTHER6A-NOT CORRECTLY ZC	0.122	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520093006	OTHER6A-NOT CORRECTLY ZC	0.299	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101010	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122034	OTHER6A-NOT CORRECTLY ZC	0.412	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121019	OTHER6A-NOT CORRECTLY ZC	0.576	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132001	OTHER6A-NOT CORRECTLY ZC	0.436	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872282018	OTHER6A-NOT CORRECTLY ZC	0.169	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872281029	OTHER6A-NOT CORRECTLY ZC	0.456	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872274030	OTHER6A-NOT CORRECTLY ZC	0.183	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
833091013	OTHER6A-NOT CORRECTLY ZC	0.353	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
833092032	OTHER6A-NOT CORRECTLY ZC	0.931	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872281026	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
519121011	OTHER6A-NOT CORRECTLY ZC	0.267	MDR		2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
519121018	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2.5 DU/AC	W-2								SGPWA
528112005	OTHER6A-NOT CORRECTLY ZC	0.103	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033020	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526170011	OTHER6A-NOT CORRECTLY ZC	0.241	MDR	CCO	2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132017	OTHER6A-NOT CORRECTLY ZC	0.278	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042019	OTHER6A-NOT CORRECTLY ZC	0.125	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872333011	OTHER6A-NOT CORRECTLY ZC	1.050	MDR		2.5 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528104036	OTHER6A-NOT CORRECTLY ZC	0.122	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121001	OTHER6A-NOT CORRECTLY ZC	0.459	MDR		2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872322003	OTHER6A-NOT CORRECTLY ZC	1.555	MDR		2.5 DU/AC	W-2-M								PVID
872274023	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2.5 DU/AC	C-1/C-P								PVID
519152009	OTHER6A-NOT CORRECTLY ZC	0.410	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033006	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872294012	OTHER6A-NOT CORRECTLY ZC	0.395	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DUJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528113004	OTHER66A-NOT CORRECTLY ZC	0.125	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031001	OTHER66A-NOT CORRECTLY ZC	0.313	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102027	OTHER66A-NOT CORRECTLY ZC	0.104	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104003	OTHER66A-NOT CORRECTLY ZC	0.123	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872233026	OTHER66A-NOT CORRECTLY ZC	0.078	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
519142006	OTHER66A-NOT CORRECTLY ZC	0.291	MDR		2-5 DUJ/AC	W-2								SGPWA
872282007	OTHER66A-NOT CORRECTLY ZC	0.172	MDR		2-5 DUJ/AC	W-2-M								PVID
872324003	OTHER66A-NOT CORRECTLY ZC	1.543	MDR		2-5 DUJ/AC	W-2-M								PVID
872323008	OTHER66A-NOT CORRECTLY ZC	1.569	MDR		2-5 DUJ/AC	W-2-M								PVID
872303018	OTHER66A-NOT CORRECTLY ZC	0.170	MDR		2-5 DUJ/AC	W-2-M								PVID
528033016	OTHER66A-NOT CORRECTLY ZC	0.127	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519152007	OTHER66A-NOT CORRECTLY ZC	0.404	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042026	OTHER66A-NOT CORRECTLY ZC	0.114	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872294027	OTHER66A-NOT CORRECTLY ZC	0.188	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528032022	OTHER66A-NOT CORRECTLY ZC	0.123	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121010	OTHER66A-NOT CORRECTLY ZC	0.315	MDR		2-5 DUJ/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528034004	OTHER66A-NOT CORRECTLY ZC	0.129	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042035	OTHER66A-NOT CORRECTLY ZC	0.120	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872321004	OTHER66A-NOT CORRECTLY ZC	1.565	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872272026	OTHER66A-NOT CORRECTLY ZC	0.092	MDR		2-5 DUJ/AC	C-3/C-P								PVID
528034020	OTHER66A-NOT CORRECTLY ZC	0.120	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132021	OTHER66A-NOT CORRECTLY ZC	0.277	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528032017	OTHER66A-NOT CORRECTLY ZC	0.125	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132005	OTHER66A-NOT CORRECTLY ZC	0.273	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031002	OTHER66A-NOT CORRECTLY ZC	0.315	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
872288014	OTHER6A-NOT CORRECTLY ZC	0.345	MDR	2-5 DU/AC	C-1/C-P								PVID
519122005	OTHER6A-NOT CORRECTLY ZC	0.276	MDR	2-5 DU/AC	W-2								SGPWA
833081020	OTHER6A-NOT CORRECTLY ZC	0.349	MDR	2-5 DU/AC	R-R								PVID
528122037	OTHER6A-NOT CORRECTLY ZC	0.456	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519142012	OTHER6A-NOT CORRECTLY ZC	0.331	MDR	2-5 DU/AC	W-2								SGPWA
872293024	OTHER6A-NOT CORRECTLY ZC	0.157	MDR	2-5 DU/AC	W-2-M								SGPWA
519142004	OTHER6A-NOT CORRECTLY ZC	0.332	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112007	OTHER6A-NOT CORRECTLY ZC	0.102	MDR	2-5 DU/AC	W-2-M								SGPWA
519132020	OTHER6A-NOT CORRECTLY ZC	0.279	MDR	2-5 DU/AC	W-2								SGPWA
528033025	OTHER6A-NOT CORRECTLY ZC	0.128	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033029	OTHER6A-NOT CORRECTLY ZC	0.124	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142002	OTHER6A-NOT CORRECTLY ZC	0.162	MDR	2-5 DU/AC	W-2-M								SGPWA
519142005	OTHER6A-NOT CORRECTLY ZC	0.313	MDR	2-5 DU/AC	W-2								SGPWA
528101017	OTHER6A-NOT CORRECTLY ZC	0.099	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520092005	OTHER6A-NOT CORRECTLY ZC	0.302	MDR	2-5 DU/AC	R-R								SGPWA
872332001	OTHER6A-NOT CORRECTLY ZC	6.889	MDR	2-5 DU/AC	A-1								PVID
528033033	OTHER6A-NOT CORRECTLY ZC	0.129	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121009	OTHER6A-NOT CORRECTLY ZC	1.180	MDR	2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872233021	OTHER6A-NOT CORRECTLY ZC	0.155	MDR	2-5 DU/AC	W-2-M								PVID
872109007	OTHER6A-NOT CORRECTLY ZC	0.429	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528101019	OTHER6A-NOT CORRECTLY ZC	0.098	MDR	2-5 DU/AC	W-2-M								SGPWA
519151011	OTHER6A-NOT CORRECTLY ZC	0.273	MDR	2-5 DU/AC	W-2								SGPWA
528042036	OTHER6A-NOT CORRECTLY ZC	0.118	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121044	OTHER6A-NOT CORRECTLY ZC	0.126	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104029	OTHER6A-NOT CORRECTLY ZC	0.120	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528101012	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042029	OTHER6A-NOT CORRECTLY ZC	0.112	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121004	OTHER6A-NOT CORRECTLY ZC	0.440	MDR		2-5 DU/JAC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528042027	OTHER6A-NOT CORRECTLY ZC	0.115	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112009	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872272023	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2-5 DU/JAC	C-1/CP								SGPWA
872100013	OTHER6A-NOT CORRECTLY ZC	0.073	MDR		2-5 DU/JAC	W-2-M								PVID
528042025	OTHER6A-NOT CORRECTLY ZC	0.115	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113027	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520101010	OTHER6A-NOT CORRECTLY ZC	0.298	MDR		2-5 DU/JAC	R-R								SGPWA
872232006	OTHER6A-NOT CORRECTLY ZC	0.391	MDR		2-5 DU/JAC	W-2-M								SGPWA
872232005	OTHER6A-NOT CORRECTLY ZC	1.570	MDR		2-5 DU/JAC	W-2-M								PVID
872284006	OTHER6A-NOT CORRECTLY ZC	0.340	MDR		2-5 DU/JAC	W-2-M								PVID
872311008	OTHER6A-NOT CORRECTLY ZC	0.156	MDR		2-5 DU/JAC	W-2-M								PVID
519121013	OTHER6A-NOT CORRECTLY ZC	0.260	MDR		2-5 DU/JAC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528102020	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101020	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121016	OTHER6A-NOT CORRECTLY ZC	0.266	MDR		2-5 DU/JAC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
519131018	OTHER6A-NOT CORRECTLY ZC	0.271	MDR		2-5 DU/JAC	W-2								SGPWA
528042006	OTHER6A-NOT CORRECTLY ZC	0.127	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102039	OTHER6A-NOT CORRECTLY ZC	0.103	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132003	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101004	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
872293019	OTHER6A-NOT CORRECTLY ZC	0.159	MDR		2.5 DU/AC	W-2-M								PVID
872283021	OTHER6A-NOT CORRECTLY ZC	0.173	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528033009	OTHER6A-NOT CORRECTLY ZC	0.127	MDR		2.5 DU/AC	W-2-M								SGPWA
872274025	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2.5 DU/AC	C-1/C-P								PVID
872281024	OTHER6A-NOT CORRECTLY ZC	0.090	MDR		2.5 DU/AC	C-1/C-P								PVID
872100005	OTHER6A-NOT CORRECTLY ZC	2.774	MDR		2.5 DU/AC	W-2-M								PVID
519131017	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2.5 DU/AC	W-2								SGPWA
519142014	OTHER6A-NOT CORRECTLY ZC	0.386	MDR		2.5 DU/AC	W-2								SGPWA
872292004	OTHER6A-NOT CORRECTLY ZC	1.527	MDR		2.5 DU/AC	W-2-M								PVID
872294021	OTHER6A-NOT CORRECTLY ZC	0.482	MDR		2.5 DU/AC	C-1/C-P								PVID
519151014	OTHER6A-NOT CORRECTLY ZC	0.556	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528111009	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M								SGPWA
872233020	OTHER6A-NOT CORRECTLY ZC	0.155	MDR		2.5 DU/AC	W-2-M								PVID
872312004	OTHER6A-NOT CORRECTLY ZC	1.541	MDR		2.5 DU/AC	W-2-M								PVID
5266170017	OTHER6A-NOT CORRECTLY ZC	0.275	MDR	CCO	2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				SGPWA
528102032	OTHER6A-NOT CORRECTLY ZC	0.105	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102014	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519131019	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112026	OTHER6A-NOT CORRECTLY ZC	0.108	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872301022	OTHER6A-NOT CORRECTLY ZC	0.220	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528102026	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033007	OTHER6A-NOT CORRECTLY ZC	0.128	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
833081022	OTHER6A-NOT CORRECTLY ZC	0.384	MDR		2.5 DU/AC	R-R				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872281028	OTHER6A-NOT CORRECTLY ZC	0.089	MDR		2.5 DU/AC	C-1/C-P								PVID
872293020	OTHER6A-NOT CORRECTLY ZC	0.433	MDR		2.5 DU/AC	W-2-M								PVID
528042032	OTHER6A-NOT CORRECTLY ZC	0.115	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113028	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528103028	OTHER6A-NOT CORRECTLY ZC	0.121	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528121043	OTHER6A-NOT CORRECTLY ZC	0.119	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872283002	OTHER6A-NOT CORRECTLY ZC	3.811	MDR		2.5 DU/AC	A-1-5						Conservation Area		PVID
528031003	OTHER6A-NOT CORRECTLY ZC	0.316	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
519122006	OTHER6A-NOT CORRECTLY ZC	0.300	MDR		2.5 DU/AC	W-2						Conservation Area		SGPWA
528111019	OTHER6A-NOT CORRECTLY ZC	0.204	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872283003	OTHER6A-NOT CORRECTLY ZC	0.170	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
872274022	OTHER6A-NOT CORRECTLY ZC	0.369	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
872293013	OTHER6A-NOT CORRECTLY ZC	0.434	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
528034021	OTHER6A-NOT CORRECTLY ZC	0.122	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528034025	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
519121022	OTHER6A-NOT CORRECTLY ZC	0.399	MDR		2.5 DU/AC	W-2						Conservation Area		SGPWA
519132002	OTHER6A-NOT CORRECTLY ZC	0.249	MDR		2.5 DU/AC	W-2						Conservation Area		SGPWA
528033002	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528111001	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872282008	OTHER6A-NOT CORRECTLY ZC	0.170	MDR		2.5 DU/AC	W-2-M						Conservation Area		PVID
528102036	OTHER6A-NOT CORRECTLY ZC	0.103	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528104050	OTHER6A-NOT CORRECTLY ZC	0.120	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872283006	OTHER6A-NOT CORRECTLY ZC	0.258	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
528033019	OTHER6A-NOT CORRECTLY ZC	0.141	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872282016	OTHER6A-NOT CORRECTLY ZC	0.341	MDR		2.5 DU/AC	W-2-M						Conservation Area		PVID
528121035	OTHER6A-NOT CORRECTLY ZC	0.117	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872311010	OTHER6A-NOT CORRECTLY ZC	1.536	MDR		2.5 DU/AC	W-2-M						Conservation Area		PVID
833091016	OTHER6A-NOT CORRECTLY ZC	0.341	MDR		2.5 DU/AC	R-R						Conservation Area		PVID
528032011	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528121004	OTHER6A-NOT CORRECTLY ZC	0.118	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528104049	OTHER6A-NOT CORRECTLY ZC	0.126 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
833082004	OTHER6A-NOT CORRECTLY ZC	0.368 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				PVID
872232008	OTHER6A-NOT CORRECTLY ZC	0.156 MDR			2-5 DU/AC	W-2-M								PVID
528113001	OTHER6A-NOT CORRECTLY ZC	0.127 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528111010	OTHER6A-NOT CORRECTLY ZC	0.102 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872109015	OTHER6A-NOT CORRECTLY ZC	0.588 MDR			2-5 DU/AC	W-2-M						Conservation Area		PVID
833081016	OTHER6A-NOT CORRECTLY ZC	0.353 MDR			2-5 DU/AC	R-R						Conservation Area		PVID
872299029	OTHER6A-NOT CORRECTLY ZC	0.157 MDR			2-5 DU/AC	W-2-M						Conservation Area		PVID
872313004	OTHER6A-NOT CORRECTLY ZC	1.570 MDR			2-5 DU/AC	W-2-M						Conservation Area		PVID
528102019	OTHER6A-NOT CORRECTLY ZC	0.100 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872272024	OTHER6A-NOT CORRECTLY ZC	0.091 MDR			2-5 DU/AC	C-1/C-P						Conservation Area		PVID
872282015	OTHER6A-NOT CORRECTLY ZC	0.179 MDR			2-5 DU/AC	W-2-M						Conservation Area		PVID
872109002	OTHER6A-NOT CORRECTLY ZC	0.940 MDR			2-5 DU/AC	W-2-M						Conservation Area		PVID
528109003	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528109084	OTHER6A-NOT CORRECTLY ZC	0.122 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121006	OTHER6A-NOT CORRECTLY ZC	0.288 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872283015	OTHER6A-NOT CORRECTLY ZC	0.085 MDR			2-5 DU/AC	W-2-M								PVID
872323007	OTHER6A-NOT CORRECTLY ZC	1.545 MDR			2-5 DU/AC	W-2-M								PVID
519121012	OTHER6A-NOT CORRECTLY ZC	0.271 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528042034	OTHER6A-NOT CORRECTLY ZC	0.119 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121002	OTHER6A-NOT CORRECTLY ZC	0.545 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528102018	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
833091020	OTHER6A-NOT CORRECTLY ZC	0.388 MDR			2-5 DU/AC	R-R						Conservation Area		PVID
872301019	OTHER6A-NOT CORRECTLY ZC	0.154 MDR			2-5 DU/AC	C-1/C-P						Conservation Area		PVID
872313007	OTHER6A-NOT CORRECTLY ZC	1.547 MDR			2-5 DU/AC	W-2-M						Conservation Area		PVID
872231003	OTHER6A-NOT CORRECTLY ZC	1.633 MDR			2-5 DU/AC	A-1						Conservation Area		PVID

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528112006	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121017	OTHER6A-NOT CORRECTLY ZC	0.268 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE			Conservation Area		SGPWA
528031006	OTHER6A-NOT CORRECTLY ZC	0.313 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872283012	OTHER6A-NOT CORRECTLY ZC	0.173 MDR			2-5 DU/AC	C-1/C-P								SGPWA
528102015	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528031005	OTHER6A-NOT CORRECTLY ZC	0.313 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872302022	OTHER6A-NOT CORRECTLY ZC	0.341 MDR			2-5 DU/AC	C-1/C-P								PVID
872311009	OTHER6A-NOT CORRECTLY ZC	0.617 MDR			2-5 DU/AC	W-2-M								PVID
519121023	OTHER6A-NOT CORRECTLY ZC	0.402 MDR			2-5 DU/AC	W-2								SGPWA
872281023	OTHER6A-NOT CORRECTLY ZC	0.277 MDR			2-5 DU/AC	C-1/C-P								PVID
872311011	OTHER6A-NOT CORRECTLY ZC	0.155 MDR			2-5 DU/AC	W-2-M								PVID
872100093	OTHER6A-NOT CORRECTLY ZC	0.507 MDR			2-5 DU/AC	W-2-M								PVID
517190025	CVAG6A-NOT CORRECTLY ZON	0.233 MDR			2-5 DU/AC	R-R								SGPWA
517161011	CVAG6A-NOT CORRECTLY ZON	0.220 MDR			2-5 DU/AC	R-R								SGPWA
517161022	CVAG6A-NOT CORRECTLY ZON	0.252 MDR			2-5 DU/AC	R-R								SGPWA
517055014	CVAG6A-NOT CORRECTLY ZON	0.243 MDR			2-5 DU/AC	R-R								SGPWA
517063002	CVAG6A-NOT CORRECTLY ZON	0.256 MDR			2-5 DU/AC	R-R								SGPWA
517310002	CVAG6A-NOT CORRECTLY ZON	0.184 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517062019	CVAG6A-NOT CORRECTLY ZON	0.257 MDR			2-5 DU/AC	R-R								SGPWA
517082001	CVAG6A-NOT CORRECTLY ZON	0.300 MDR			2-5 DU/AC	R-R								SGPWA
657032017	CVAG6A-NOT CORRECTLY ZON	0.180 MDR			2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
669194012	CVAG6A-NOT CORRECTLY ZON	0.158 MDR			2-5 DU/AC	C-P-5								CVWD
657022018	CVAG6A-NOT CORRECTLY ZON	0.179 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656212024	CVAG6A-NOT CORRECTLY ZON	0.161 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669195012	CVAG6A-NOT CORRECTLY ZON	0.208 MDR			2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
669194006	CVAG6A-NOT CORRECTLY ZON	0.170 MDR			2-5 DU/AC	C-P-5								CVWD
657022017	CVAG6A-NOT CORRECTLY ZON	0.178 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
669182002	CVAG6A-NOT CORRECTLY ZON	0.259 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
72325024	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
723255018	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
723269016	CVAG6A-NOT CORRECTLY ZON	0.130	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663190012	CVAG6A-NOT CORRECTLY ZON	0.083	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663081004	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
517222013	CVAG6A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF				SGPWA
517260020	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517072003	CVAG6A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517271006	CVAG6A-NOT CORRECTLY ZON	0.272	MDR		2-5 DU/AC	R-R								SGPWA
656232022	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656242022	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657202010	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656112033	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657152029	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656202017	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657031032	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656264014	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
753080002	CVAG6A-NOT CORRECTLY ZON	17.511	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663090021	CVAG6A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663090076	CVAG6A-NOT CORRECTLY ZON	0.194	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517250003	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517111008	CVAG6A-NOT CORRECTLY ZON	0.211	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517274010	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
607300013	CVAG6A-NOT CORRECTLY ZON	1.101	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY			Zone A	CYWD
517102005	CVAG6A-NOT CORRECTLY ZON	0.425	MDR		2-5 DU/AC	R-R								SGPWA
517072023	CVAG6A-NOT CORRECTLY ZON	0.325	MDR		2-5 DU/AC	R-R								SGPWA
657021009	CVAG6A-NOT CORRECTLY ZON	0.221	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657021016	CVAG6A-NOT CORRECTLY ZON	0.213	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
656232024	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663202012	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657182035	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657173018	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
723263011	CVAG6A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
670230006	CVAG6A-NOT CORRECTLY ZON	79.249	MDR		2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY			Zone E	CYWD
663152007	CVAG6A-NOT CORRECTLY ZON	0.362	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663190001	CVAG6A-NOT CORRECTLY ZON	1.030	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CYWD
517085002	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517141006	CVAG6A-NOT CORRECTLY ZON	0.211	MDR		2-5 DU/AC	R-R								SGPWA
517084004	CVAG6A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	R-R								SGPWA
517084005	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	R-R								SGPWA
517121004	CVAG6A-NOT CORRECTLY ZON	0.223	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657021022	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC									CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
6556213003	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
657071002	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
663183006	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
656242009	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
656213009	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
657122017	CVAG6A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
663031005	CVAG6A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
723255017	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
665165022	CVAG6A-NOT CORRECTLY ZON	0.193	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
665154009	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
663081045	CVAG6A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
517103006	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				SGPWA
517112003	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				SGPWA
517084006	CVAG6A-NOT CORRECTLY ZON	0.265	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				SGPWA
520094004	CVAG6A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				SGPWA
517274011	CVAG6A-NOT CORRECTLY ZON	0.341	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517161020	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517260009	CVAG6A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
657171032	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
657031002	CVAG6A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD
657152010	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669171013	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/JAC	W-2								CYWD
656211003	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/JAC	W-2								CYWD
657020030	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CYWD
657201026	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663172005	CVAG6A-NOT CORRECTLY ZON	0.292	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663182016	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657022001	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CYWD
723264019	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
669194017	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/JAC	C-P-S				AREAS OF FLOODING SENSITIVITY				CYWD
663172004	CVAG6A-NOT CORRECTLY ZON	0.347	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663201004	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
51741007	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517094005	CVAG6A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517091007	CVAG6A-NOT CORRECTLY ZON	0.321	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242021	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517105010	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	R-R								SGPWA
520102005	CVAG6A-NOT CORRECTLY ZON	0.342	MDR		2-5 DU/JAC	R-R								SGPWA
517085004	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/JAC	R-R								SGPWA
517051005	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
657021004	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CYWD
656111035	CVAG6A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/JAC	W-2								CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657201020	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181012	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663162011	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210019	CVAG6A-NOT CORRECTLY ZON	2.531	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663183014	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657102004	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203007	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657171002	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663182008	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264014	CVAG6A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262020	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663190017	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517105002	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R								SGPWA
517285010	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517171008	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520110088	CVAG6A-NOT CORRECTLY ZON	0.453	MDR		2-5 DU/AC	R-R								SGPWA
517162006	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R								SGPWA
517091004	CVAG6A-NOT CORRECTLY ZON	0.604	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517161003	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517283003	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	C/VAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
564112009	WRCOG66B-CORRECTLY ZONED	0.201	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
462113014	WRCOG66B-CORRECTLY ZONED	0.206	MDR		2-5 DU/AC	R-1	0	0						EMWD
308160003	WRCOG66B-CORRECTLY ZONED	0.083	MDR		2-5 DU/AC	R-A-5	0	0			YES			WMWD
327451052	WRCOG66B-CORRECTLY ZONED	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451057	WRCOG66B-CORRECTLY ZONED	0.182	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
563135021	WRCOG66B-CORRECTLY ZONED	0.224	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
140351010	WRCOG66B-CORRECTLY ZONED	0.205	MDR		2-5 DU/AC	R-1	0	0						WMWD
140360008	WRCOG66B-CORRECTLY ZONED	0.489	MDR		2-5 DU/AC	R-1	1	1						WMWD
135050031	WRCOG66B-CORRECTLY ZONED	3.168	MDR		2-5 DU/AC	R-1	6	5						WMWD
256103014	WRCOG66B-CORRECTLY ZONED	0.016	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
383115014	WRCOG66B-CORRECTLY ZONED	0.092	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387091007	WRCOG66B-CORRECTLY ZONED	0.922	MDR		2-5 DU/AC	R-3	2	1	COUNTY FAULT ZONE					EMWD
386151024	WRCOG66B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381140020	WRCOG66B-CORRECTLY ZONED	0.091	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
402050016	WRCOG66B-CORRECTLY ZONED	4.779	MDR		2-5 DU/AC	R-A-20000	10	8	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
408050007	WRCOG66B-CORRECTLY ZONED	0.248	MDR		2-5 DU/AC	R-T	0	0	COUNTY	FLOODING SENSITIVITY				EMWD
386201008	WRCOG66B-CORRECTLY ZONED	0.243	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462190011	WRCOG66B-CORRECTLY ZONED	0.261	MDR		2-5 DU/AC	R-1	1	0						EMWD
480440057	WRCOG66B-CORRECTLY ZONED	0.027	MDR		2-5 DU/AC	R-1	0	0					Zone E	EMWD
458340002	WRCOG66B-CORRECTLY ZONED	0.232	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
551210054	WRCOG66B-CORRECTLY ZONED	0.501	MDR		2-5 DU/AC	R-1	1	1						SGPWA
551311004	WRCOG66B-CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	R-T-7200	0	0	SAN JACINTO FAULT ZONE					SGPWA
563204005	WRCOG66B-CORRECTLY ZONED	0.137	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
559062004	WRCOG66B-CORRECTLY ZONED	0.257	MDR		2-5 DU/AC	R-3A-20000	1	0						SGPWA
559161002	WRCOG66B-CORRECTLY ZONED	0.211	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
283150026	WRCOG66B-CORRECTLY ZONED	0.559	MDR		2-5 DU/AC	R-1	1	1						WMWD
140351003	WRCOG66B-CORRECTLY ZONED	0.300	MDR		2-5 DU/AC	R-1	1	0						WMWD
135530010	WRCOG66B-CORRECTLY ZONED	0.323	MDR		2-5 DU/AC	R-1-10000	1	1						WMWD
246123012	WRCOG66B-CORRECTLY ZONED	0.082	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383201016	WRCOG66B-CORRECTLY ZONED	0.136	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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381290031	WRCO66B-CORRECTLY ZONE	1.774	MDR		2-5 DU/AC	R-3	4	3	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
447140024	WRCO66B-CORRECTLY ZONE	0.431	MDR		2-5 DU/AC	R-3	1	1						EMWD
462212001	WRCO66B-CORRECTLY ZONE	0.175	MDR		2-5 DU/AC	R-1	0	0						EMWD
462193007	WRCO66B-CORRECTLY ZONE	0.230	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350007	WRCO66B-CORRECTLY ZONE	0.463	MDR		2-5 DU/AC	R-1-20000	1	1						EMWD
458372017	WRCO66B-CORRECTLY ZONE	0.185	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
459121042	WRCO66B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
564104007	WRCO66B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
560101014	WRCO66B-CORRECTLY ZONE	4.259	MDR		2-5 DU/AC	R-1A-20000	9	7		AREAS OF FLOODING SENSITIVITY				SGPWA
565101017	WRCO66B-CORRECTLY ZONE	0.684	MDR		2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565180006	WRCO66B-CORRECTLY ZONE	0.757	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563153014	WRCO66B-CORRECTLY ZONE	0.417	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
480450019	WRCO66B-CORRECTLY ZONE	0.512	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
382050023	WRCO66B-CORRECTLY ZONE	1.468	MDR		2-5 DU/AC	R-1A	3	2		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
476270014	WRCO66B-CORRECTLY ZONE	2.271	MDR		2-5 DU/AC	R-A-2 1/2	5	4		AREAS OF FLOODING SENSITIVITY				EMWD
381152018	WRCO66B-CORRECTLY ZONE	0.221	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
386193012	WRCO66B-CORRECTLY ZONE	0.172	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
370180023	WRCO66B-CORRECTLY ZONE	2.137	MDR		2-5 DU/AC	R-1	4	3						EMWD
386152001	WRCO66B-CORRECTLY ZONE	0.134	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386191003	WRCO66B-CORRECTLY ZONE	0.197	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383192004	WRCO66B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383093009	WRCO66B-CORRECTLY ZONE	0.087	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
387251016	WRCO66B-CORRECTLY ZONE	0.088	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
387212081	WRCO66B-CORRECTLY ZONE	0.182	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
426106021	WRCO66B-CORRECTLY ZONE	0.198	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
388371005	WRCO66B-CORRECTLY ZONE	0.313	MDR		2-5 DU/AC	R-1	1	1						EMWD
462210013	WRCO66B-CORRECTLY ZONE	0.199	MDR		2-5 DU/AC	R-1	0	0						EMWD
458372003	WRCO66B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD



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45837004	WRCOG6B-CORRECTLY ZONE	6.905	MDR		2-5 DU/AC	R-5	14	11		AREAS OF FLOODING SENSITIVITY				EMWD
45835103	WRCOG6B-CORRECTLY ZONE	0.214	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
457911016	WRCOG6B-CORRECTLY ZONE	0.232	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
559061012	WRCOG6B-CORRECTLY ZONE	0.152	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
557220015	WRCOG6B-CORRECTLY ZONE	0.239	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559120032	WRCOG6B-CORRECTLY ZONE	0.139	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563241007	WRCOG6B-CORRECTLY ZONE	0.555	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561101014	WRCOG6B-CORRECTLY ZONE	0.392	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
552281021	WRCOG6B-CORRECTLY ZONE	0.164	MDR		2-5 DU/AC	R-1	0	0						SGPWA
564062002	WRCOG6B-CORRECTLY ZONE	0.209	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
247062014	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
297034024	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-A	0	0						WMWD
327462003	WRCOG6B-CORRECTLY ZONE	0.163	MDR		2-5 DU/AC	R-1	0	0						WMWD
327452004	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
383091017	WRCOG6B-CORRECTLY ZONE	0.086	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
387060005	WRCOG6B-CORRECTLY ZONE	0.381	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					EMWD
386152010	WRCOG6B-CORRECTLY ZONE	0.144	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387223002	WRCOG6B-CORRECTLY ZONE	0.222	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
38207009	WRCOG6B-CORRECTLY ZONE	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386210013	WRCOG6B-CORRECTLY ZONE	0.297	MDR		2-5 DU/AC	R-1	1	0						EMWD
383182012	WRCOG6B-CORRECTLY ZONE	0.251	MDR		2-5 DU/AC	R-1	1	0						EMWD
426102005	WRCOG6B-CORRECTLY ZONE	0.087	MDR		2-5 DU/AC	R-1	0	0						EMWD
387212040	WRCOG6B-CORRECTLY ZONE	0.083	MDR		2-5 DU/AC	R-1	0	0						EMWD
447052043	WRCOG6B-CORRECTLY ZONE	0.939	MDR		2-5 DU/AC	R-3	2	2						EMWD
458352006	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462060015	WRCOG6B-CORRECTLY ZONE	9.736	MDR		2-5 DU/AC	R-1	19	16		AREAS OF FLOODING SENSITIVITY	YES			EMWD
561220017	WRCOG6B-CORRECTLY ZONE	0.271	MDR		2-5 DU/AC	R-1A-9000	1	0						SGPWA
565240006	WRCOG6B-CORRECTLY ZONE	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563121003	WRCOG6B-CORRECTLY ZONE	0.502	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564051019	WRCOG6B-CORRECTLY ZONE	1.328	MDR		2-5 DU/AC	R-1A-9000	3	2						SGPWA
565162012	WRCOG6B-CORRECTLY ZONE	0.277	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563222003	WRCOG6B-CORRECTLY ZONE	0.608	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561181029	WRCOG6B-CORRECTLY ZONE	0.144	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564140001	WRCOG6B-CORRECTLY ZONE	0.319	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
458372005	WRCOG6B-CORRECTLY ZONE	0.313	MDR		2-5 DU/AC	R-1	1	1						EMWD
565123001	WRCOG6B-CORRECTLY ZONE	0.354	MDR		2-5 DU/AC	R-3A	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

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387162021	WRCOG6B-CORRECTLY ZONE	0.048 MDR				2-5 DU/AC	R-1	0	0	COUNTY					EMWD
140351011	WRCOG6B-CORRECTLY ZONE	0.256 MDR				2-5 DU/AC	R-1	1	0	0 FAULT ZONE					WMWD
258210016	WRCOG6B-CORRECTLY ZONE	5.771 MDR				2-5 DU/AC	R-1	12	9	0					WMWD
308110010	WRCOG6B-CORRECTLY ZONE	1.512 MDR				2-5 DU/AC	R-A-5	3	2	0					WMWD
327462001	WRCOG6B-CORRECTLY ZONE	0.210 MDR				2-5 DU/AC	R-1	0	0	COUNTY					WMWD
387169015	WRCOG6B-CORRECTLY ZONE	0.140 MDR				2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383081001	WRCOG6B-CORRECTLY ZONE	0.143 MDR				2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386190001	WRCOG6B-CORRECTLY ZONE	0.289 MDR				2-5 DU/AC	R-1	1	0	COUNTY					EMWD
387191005	WRCOG6B-CORRECTLY ZONE	0.167 MDR				2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383033019	WRCOG6B-CORRECTLY ZONE	0.187 MDR				2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
388100007	WRCOG6B-CORRECTLY ZONE	0.009 MDR				2-5 DU/AC	R-1	0	0	0					EMWD
457311018	WRCOG6B-CORRECTLY ZONE	0.201 MDR				2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458350018	WRCOG6B-CORRECTLY ZONE	0.236 MDR				2-5 DU/AC	R-1	0	0	0					EMWD
458340003	WRCOG6B-CORRECTLY ZONE	0.236 MDR				2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
561110105	WRCOG6B-CORRECTLY ZONE	0.313 MDR				2-5 DU/AC	R-1A-9000	1	1	0					EMWD
563141007	WRCOG6B-CORRECTLY ZONE	0.280 MDR				2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
563059008	WRCOG6B-CORRECTLY ZONE	0.644 MDR				2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
559163001	WRCOG6B-CORRECTLY ZONE	0.190 MDR				2-5 DU/AC	R-3A-20000	0	0	0					SGPWA
563162001	WRCOG6B-CORRECTLY ZONE	0.267 MDR				2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
567060007	WRCOG6B-CORRECTLY ZONE	1.470 MDR				2-5 DU/AC	R-1A-9000	3	2	0					SGPWA
561112024	WRCOG6B-CORRECTLY ZONE	0.238 MDR				2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
383076014	WRCOG6B-CORRECTLY ZONE	0.114 MDR				2-5 DU/AC	R-1	0	0	0					SGPWA
458351001	WRCOG6B-CORRECTLY ZONE	0.490 MDR				2-5 DU/AC	R-1-20000	1	1	0					EMWD
562265002	WRCOG6B-CORRECTLY ZONE	0.272 MDR				2-5 DU/AC	R-3A	1	0	0					SGPWA
552052018	WRCOG6B-CORRECTLY ZONE	0.182 MDR				2-5 DU/AC	R-1	0	0	0					SGPWA
140361001	WRCOG6B-CORRECTLY ZONE	0.282 MDR				2-5 DU/AC	R-1	1	0	0					WMWD
290233005	WRCOG6B-CORRECTLY ZONE	1.346 MDR				2-5 DU/AC	R-1	3	2	0					WMWD
270350067	WRCOG6B-CORRECTLY ZONE	0.010 MDR				2-5 DU/AC	R-1	0	0	0					WMWD
309290029	WRCOG6B-CORRECTLY ZONE	5.089 MDR				2-5 DU/AC	R-1	10	8	0					WMWD
387092011	WRCOG6B-CORRECTLY ZONE	0.073 MDR				2-5 DU/AC	R-3	0	0	COUNTY					EMWD
387213015	WRCOG6B-CORRECTLY ZONE	0.192 MDR				2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383033037	WRCOG6B-CORRECTLY ZONE	0.145 MDR				2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386201021	WRCOG6B-CORRECTLY ZONE	0.216 MDR				2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
381221007	WRCOG6B-CORRECTLY ZONE	0.089 MDR				2-5 DU/AC	R-3	0	0	COUNTY					EMWD
387213003	WRCOG6B-CORRECTLY ZONE	0.141 MDR				2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD

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462202027	WR066B-CORRECTLY ZONED	0.204	MDR		2.5 DU/AC	R-1	0	0						EMWD
462191006	WR066B-CORRECTLY ZONED	0.164	MDR		2.5 DU/AC	R-1	0	0						EMWD
462210010	WR066B-CORRECTLY ZONED	0.169	MDR		2.5 DU/AC	R-1	0	0						EMWD
466391001	WR066B-CORRECTLY ZONED	0.207	MDR		2.5 DU/AC	R-1	0	0			YES			EMWD
458356005	WR066B-CORRECTLY ZONED	0.276	MDR		2.5 DU/AC	R-1	1	0						EMWD
466391038	WR066B-CORRECTLY ZONED	0.187	MDR		2.5 DU/AC	R-1	0	0			YES			EMWD
458362022	WR066B-CORRECTLY ZONED	0.187	MDR		2.5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
476090008	WR066B-CORRECTLY ZONED	3.294	MDR		2.5 DU/AC	R-1	7	5						EMWD
463160021	WR066B-CORRECTLY ZONED	1.717	MDR		2.5 DU/AC	R-1	3	3			YES			EMWD
567122008	WR066B-CORRECTLY ZONED	0.212	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
565180013	WR066B-CORRECTLY ZONED	0.965	MDR		2.5 DU/AC	R-1A-9000	2	2						SGPWA
565180021	WR066B-CORRECTLY ZONED	0.186	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
290611018	WR066B-CORRECTLY ZONED	0.084	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
966380004	WR066B-CORRECTLY ZONED	10.976	MDR		2.5 DU/AC	R-A-5	22	18	FAULT ZONE		YES			EMWD
135390027	WR066B-CORRECTLY ZONED	0.046	MDR		2.5 DU/AC	R-4	0	0						WMWD
135550003	WR066B-CORRECTLY ZONED	0.550	MDR		2.5 DU/AC	R-1-10000	1	1						WMWD
256072014	WR066B-CORRECTLY ZONED	0.269	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
308180011	WR066B-CORRECTLY ZONED	0.177	MDR		2.5 DU/AC	R-A-5	0	0						WMWD
327451018	WR066B-CORRECTLY ZONED	0.277	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
383105035	WR066B-CORRECTLY ZONED	0.027	MDR		2.5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151005	WR066B-CORRECTLY ZONED	0.068	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
386154004	WR066B-CORRECTLY ZONED	0.166	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
382027005	WR066B-CORRECTLY ZONED	0.125	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
383091037	WR066B-CORRECTLY ZONED	0.063	MDR		2.5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151026	WR066B-CORRECTLY ZONED	0.146	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
387213020	WR066B-CORRECTLY ZONED	0.136	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
402030012	WR066B-CORRECTLY ZONED	0.477	MDR		2.5 DU/AC	R-1	1	1	FAULT ZONE					EMWD
426108011	WR066B-CORRECTLY ZONED	0.267	MDR		2.5 DU/AC	R-1	1	0						EMWD
462212009	WR066B-CORRECTLY ZONED	0.164	MDR		2.5 DU/AC	R-1	0	0						EMWD
462211003	WR066B-CORRECTLY ZONED	0.184	MDR		2.5 DU/AC	R-1	0	0						EMWD
581063007	WR066B-CORRECTLY ZONED	0.068	MDR		2.5 DU/AC	R-3	0	0						EMWD
462202046	WR066B-CORRECTLY ZONED	0.364	MDR		2.5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
463160017	WR066B-CORRECTLY ZONED	4.391	MDR		2.5 DU/AC	R-1	9	7			YES			EMWD
458362039	WR066B-CORRECTLY ZONED	0.172	MDR		2.5 DU/AC	R-1	0	0						EMWD
563300043	WR066B-CORRECTLY ZONED	0.364	MDR		2.5 DU/AC	R-3A	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
561064009	WRCOG66B-CORRECTLY ZONE	0.156 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
561164011	WRCOG66B-CORRECTLY ZONE	0.218 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564093007	WRCOG66B-CORRECTLY ZONE	0.224 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
381251023	WRCOG66B-CORRECTLY ZONE	0.547 MDR			2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
480040025	WRCOG66B-CORRECTLY ZONE	4.358 MDR			2-5 DU/AC	R-1	9	7	1 FAULT ZONE				Zone E	EMWD
563042015	WRCOG66B-CORRECTLY ZONE	0.171 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
140361012	WRCOG66B-CORRECTLY ZONE	0.250 MDR			2-5 DU/AC	R-1	0	0						WMWD
270310006	WRCOG66B-CORRECTLY ZONE	0.226 MDR			2-5 DU/AC	R-1	0	0						WMWD
318292013	WRCOG66B-CORRECTLY ZONE	0.197 MDR			2-5 DU/AC	R-1	0	0						WMWD
327451037	WRCOG66B-CORRECTLY ZONE	0.184 MDR			2-5 DU/AC	R-1	0	0						WMWD
327451027	WRCOG66B-CORRECTLY ZONE	0.175 MDR			2-5 DU/AC	R-1	0	0						WMWD
327451001	WRCOG66B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						WMWD
383033003	WRCOG66B-CORRECTLY ZONE	0.178 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386193006	WRCOG66B-CORRECTLY ZONE	0.189 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382022025	WRCOG66B-CORRECTLY ZONE	0.091 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383173009	WRCOG66B-CORRECTLY ZONE	0.327 MDR			2-5 DU/AC	R-1	1	1	0 FAULT ZONE					EMWD
383184002	WRCOG66B-CORRECTLY ZONE	0.161 MDR			2-5 DU/AC	R-1	0	0						EMWD
434260020	WRCOG66B-CORRECTLY ZONE	0.740 MDR			2-5 DU/AC	R-3	1	1						EMWD
462193011	WRCOG66B-CORRECTLY ZONE	0.172 MDR			2-5 DU/AC	R-1	0	0						EMWD
466391022	WRCOG66B-CORRECTLY ZONE	0.217 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
462210011	WRCOG66B-CORRECTLY ZONE	0.176 MDR			2-5 DU/AC	R-1	0	0						EMWD
462210003	WRCOG66B-CORRECTLY ZONE	0.197 MDR			2-5 DU/AC	R-1	0	0						EMWD
547110023	WRCOG66B-CORRECTLY ZONE	0.770 MDR			2-5 DU/AC	R-1	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
565091016	WRCOG66B-CORRECTLY ZONE	0.623 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563261007	WRCOG66B-CORRECTLY ZONE	0.331 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
564080022	WRCOG66B-CORRECTLY ZONE	0.157 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565281001	WRCOG66B-CORRECTLY ZONE	0.358 MDR			2-5 DU/AC	R-1A-15000	1	1						SGPWA
561064008	WRCOG66B-CORRECTLY ZONE	0.162 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
458351022	WRCOG66B-CORRECTLY ZONE	0.496 MDR			2-5 DU/AC	R-1-20000	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
383071025	WRCOG66B-CORRECTLY ZONE	0.132 MDR			2-5 DU/AC	R-1	0	0						EMWD
563100006	WRCOG66B-CORRECTLY ZONE	0.720 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
253260003	WRCOG66B-CORRECTLY ZONE	0.137 MDR			2-5 DU/AC	R-1	0	0						WMWD
308170005	WRCOG66B-CORRECTLY ZONE	0.187 MDR			2-5 DU/AC	R-A-5	0	0			YES			WMWD
386152003	WRCOG66B-CORRECTLY ZONE	0.137 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382033014	WRCOG66B-CORRECTLY ZONE	0.188 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383162007	WRCOG66B-CORRECTLY ZONE	0.112 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
434272001	WRCOG66B-CORRECTLY ZONE	0.146 MDR			2-5 DU/AC	R-1	0	0						EMWD
458340045	WRCOG66B-CORRECTLY ZONE	0.202 MDR			2-5 DU/AC	R-1	0	0						EMWD
462210015	WRCOG66B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSER- VATION AREA	AIRPORT COMPATIB- LITY ZONE	MAJOR WATER DISTRICTS
457910019	WRCOG6B-CORRECTLY ZONE	0.267	MDR		2-5 DU/AC	R-1	1	0						EMWD
557202003	WRCOG6B-CORRECTLY ZONE	0.461	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
557220017	WRCOG6B-CORRECTLY ZONE	0.031	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557220005	WRCOG6B-CORRECTLY ZONE	0.829	MDR		2-5 DU/AC	R-1A-9000	2	1						SGPWA
559061010	WRCOG6B-CORRECTLY ZONE	0.136	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
565111015	WRCOG6B-CORRECTLY ZONE	0.058	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557220020	WRCOG6B-CORRECTLY ZONE	0.396	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565041002	WRCOG6B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563121024	WRCOG6B-CORRECTLY ZONE	0.537	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564072001	WRCOG6B-CORRECTLY ZONE	0.173	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565043010	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561062015	WRCOG6B-CORRECTLY ZONE	0.211	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567121003	WRCOG6B-CORRECTLY ZONE	0.206	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564092019	WRCOG6B-CORRECTLY ZONE	0.367	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564174020	WRCOG6B-CORRECTLY ZONE	0.373	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
548120005	WRCOG6B-CORRECTLY ZONE	7.136	MDR		2-5 DU/AC	R-2-4000	14	11						SGPWA
247092021	WRCOG6B-CORRECTLY ZONE	0.159	MDR		2-5 DU/AC	R-1	0	0						WMWD
458372020	WRCOG6B-CORRECTLY ZONE	0.189	MDR		2-5 DU/AC	R-1	0	0						EMWD
966021058	WRCOG6B-CORRECTLY ZONE	0.342	MDR		2-5 DU/AC	R-1	0	0						EMWD
140361002	WRCOG6B-CORRECTLY ZONE	0.308	MDR		2-5 DU/AC	R-1	1	0						WMWD
258051014	WRCOG6B-CORRECTLY ZONE	0.199	MDR		2-5 DU/AC	R-1	0	0						WMWD
255150012	WRCOG6B-CORRECTLY ZONE	8.000	MDR		2-5 DU/AC	R-1	16	13	COUNTY					WMWD
383033002	WRCOG6B-CORRECTLY ZONE	0.177	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386192009	WRCOG6B-CORRECTLY ZONE	0.236	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
327450002	WRCOG6B-CORRECTLY ZONE	0.166	MDR		2-5 DU/AC	R-1	0	0						WMWD
388362007	WRCOG6B-CORRECTLY ZONE	0.197	MDR		2-5 DU/AC	R-1	0	0						EMWD
383115020	WRCOG6B-CORRECTLY ZONE	0.089	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386153009	WRCOG6B-CORRECTLY ZONE	0.077	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386200011	WRCOG6B-CORRECTLY ZONE	0.222	MDR		2-5 DU/AC	R-1	0	0						EMWD
386200006	WRCOG6B-CORRECTLY ZONE	0.214	MDR		2-5 DU/AC	R-1	0	0						EMWD
386192003	WRCOG6B-CORRECTLY ZONE	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381151023	WRCOG6B-CORRECTLY ZONE	0.087	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
447071032	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391015	WRCOG6B-CORRECTLY ZONE	0.192	MDR		2-5 DU/AC	R-1	0	0		YES				EMWD
447101006	WRCOG6B-CORRECTLY ZONE	0.339	MDR		2-5 DU/AC	R-1	1	1						EMWD
458362032	WRCOG6B-CORRECTLY ZONE	0.187	MDR		2-5 DU/AC	R-1	0	0						EMWD
462202020	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD
449222004	WRCOG6B-CORRECTLY ZONE	0.094	MDR		2-5 DU/AC	R-1	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION/AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
462210002	WRCOG68-CORRECTLY ZONED	0.184 MDR	LANDUSE		2-5 DU/JAC	R-1	0	0						EMWD
462192017	WRCOG68-CORRECTLY ZONED	0.175 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458350013	WRCOG68-CORRECTLY ZONED	0.178 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
563062003	WRCOG68-CORRECTLY ZONED	0.173 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
557220019	WRCOG68-CORRECTLY ZONED	0.335 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
565224007	WRCOG68-CORRECTLY ZONED	0.197 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
565213005	WRCOG68-CORRECTLY ZONED	0.461 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
563292007	WRCOG68-CORRECTLY ZONED	0.021 MDR	MDR		2-5 DU/JAC	R-3A	0	0						SGPWA
462213020	WRCOG68-CORRECTLY ZONED	0.267 MDR	MDR		2-5 DU/JAC	R-1	1	0						EMWD
565122017	WRCOG68-CORRECTLY ZONED	0.128 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
458351021	WRCOG68-CORRECTLY ZONED	0.473 MDR	MDR		2-5 DU/JAC	R-1-20000	1	1						EMWD
136120015	WRCOG68-CORRECTLY ZONED	3.125 MDR	MDR		2-5 DU/JAC	R-1-20000	6	5						WMWD
565460010	WRCOG68-CORRECTLY ZONED	1.515 MDR	MDR		2-5 DU/JAC	R-A-20000	3	2						SGPWA
557220007	WRCOG68-CORRECTLY ZONED	0.514 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
140350012	WRCOG68-CORRECTLY ZONED	0.977 MDR	MDR		2-5 DU/JAC	R-1	2	2						WMWD
140351007	WRCOG68-CORRECTLY ZONED	0.200 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
140360020	WRCOG68-CORRECTLY ZONED	0.227 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
308130008	WRCOG68-CORRECTLY ZONED	19.080 MDR	MDR		2-5 DU/JAC	R-A-5	38	31			YES			WMWD
327451009	WRCOG68-CORRECTLY ZONED	0.172 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
382042031	WRCOG68-CORRECTLY ZONED	0.091 MDR	MDR		2-5 DU/JAC	R-1	0	0	COUNTY FAULT ZONE					EMWD
379352026	WRCOG68-CORRECTLY ZONED	5.100 MDR	MDR		2-5 DU/JAC	R-1-18000	10	8						EMWD
403042024	WRCOG68-CORRECTLY ZONED	0.160 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
381290034	WRCOG68-CORRECTLY ZONED	1.736 MDR	MDR		2-5 DU/JAC	R-3	3	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381282021	WRCOG68-CORRECTLY ZONED	0.150 MDR	MDR		2-5 DU/JAC	R-3	0	0	COUNTY FAULT ZONE					EMWD
447211021	WRCOG68-CORRECTLY ZONED	0.525 MDR	MDR		2-5 DU/JAC	R-1	1	1						EMWD
408050018	WRCOG68-CORRECTLY ZONED	4.938 MDR	MDR		2-5 DU/JAC	R-1	10	8						EMWD
462211006	WRCOG68-CORRECTLY ZONED	0.212 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458372001	WRCOG68-CORRECTLY ZONED	0.186 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
458372006	WRCOG68-CORRECTLY ZONED	0.174 MDR	MDR		2-5 DU/JAC	R-1	0	0						EMWD
555494010	WRCOG68-CORRECTLY ZONED	1.240 MDR	MDR		2-5 DU/JAC	R-A-20000	2	2						SGPWA
561101023	WRCOG68-CORRECTLY ZONED	0.136 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
567092033	WRCOG68-CORRECTLY ZONED	0.573 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
564173004	WRCOG68-CORRECTLY ZONED	0.119 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	0						SGPWA
565180008	WRCOG68-CORRECTLY ZONED	0.543 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
564222013	WRCOG68-CORRECTLY ZONED	0.163 MDR	MDR		2-5 DU/JAC	R-1A-9000	0	0						SGPWA
561154004	WRCOG68-CORRECTLY ZONED	0.434 MDR	MDR		2-5 DU/JAC	R-1A-9000	1	1						SGPWA
381300009	WRCOG68-CORRECTLY ZONED	1.653 MDR	MDR		2-5 DU/JAC	R-3	3	3						EMWD
563100015	WRCOG68-CORRECTLY ZONED	0.113 MDR	MDR		2-5 DU/JAC	R-3A	0	0						SGPWA
565151008	WRCOG68-CORRECTLY ZONED	1.064 MDR	MDR		2-5 DU/JAC	R-1A-9000	2	2						SGPWA
140361013	WRCOG68-CORRECTLY ZONED	0.313 MDR	MDR		2-5 DU/JAC	R-1	1	1						WMWD
256062012	WRCOG68-CORRECTLY ZONED	0.220 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
270320039	WRCOG68-CORRECTLY ZONED	0.204 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
318292025	WRCOG68-CORRECTLY ZONED	0.171 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD
318292031	WRCOG68-CORRECTLY ZONED	0.235 MDR	MDR		2-5 DU/JAC	R-1	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
308150012	WRCOG66B-CORRECTLY ZONEI	6.005	MDR		2-5 DU/AC	R-A-5	12	10	COUNTY 0 FAULT ZONE					WMWD
381231030	WRCOG66B-CORRECTLY ZONEI	0.073	MDR		2-5 DU/AC	R-3	0	0	COUNTY 0 FAULT ZONE					EMWD
386151020	WRCOG66B-CORRECTLY ZONEI	0.147	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
466891032	WRCOG66B-CORRECTLY ZONEI	0.280	MDR		2-5 DU/AC	R-1	1	0			YES			EMWD
458362026	WRCOG66B-CORRECTLY ZONEI	0.223	MDR		2-5 DU/AC	R-1	0	0						EMWD
449112019	WRCOG66B-CORRECTLY ZONEI	0.272	MDR		2-5 DU/AC	R-1	1	0						EMWD
563213003	WRCOG66B-CORRECTLY ZONEI	0.064	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
564195007	WRCOG66B-CORRECTLY ZONEI	0.154	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557203003	WRCOG66B-CORRECTLY ZONEI	0.372	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
559158001	WRCOG66B-CORRECTLY ZONEI	0.192	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
559162010	WRCOG66B-CORRECTLY ZONEI	0.157	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
561094006	WRCOG66B-CORRECTLY ZONEI	0.425	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
318292035	WRCOG66B-CORRECTLY ZONEI	0.290	MDR		2-5 DU/AC	R-1	1	0						WMWD
247124071	WRCOG66B-CORRECTLY ZONEI	0.089	MDR		2-5 DU/AC	R-1	0	0						WMWD
563221007	WRCOG66B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563100010	WRCOG66B-CORRECTLY ZONEI	1.630	MDR		2-5 DU/AC	R-3A	3	3						SGPWA
135451023	WRCOG66B-CORRECTLY ZONEI	0.687	MDR		2-5 DU/AC	R-4	1	1						WMWD
140351029	WRCOG66B-CORRECTLY ZONEI	0.155	MDR		2-5 DU/AC	R-1	0	0						WMWD
307320013	WRCOG66B-CORRECTLY ZONEI	0.390	MDR		2-5 DU/AC	R-1	1	1						WMWD
327462002	WRCOG66B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1	0	0						WMWD
308180007	WRCOG66B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
382025011	WRCOG66B-CORRECTLY ZONEI	0.089	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
386152021	WRCOG66B-CORRECTLY ZONEI	0.075	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387212042	WRCOG66B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
383173006	WRCOG66B-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-1	0	0						EMWD
386151015	WRCOG66B-CORRECTLY ZONEI	0.146	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
387212009	WRCOG66B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY 0 FAULT ZONE					EMWD
458372021	WRCOG66B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
466891041	WRCOG66B-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
467202034	WRCOG66B-CORRECTLY ZONEI	0.179	MDR		2-5 DU/AC	R-1	0	0						EMWD
462192012	WRCOG66B-CORRECTLY ZONEI	0.165	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350016	WRCOG66B-CORRECTLY ZONEI	0.225	MDR		2-5 DU/AC	R-1	0	0						EMWD
458350005	WRCOG66B-CORRECTLY ZONEI	0.208	MDR		2-5 DU/AC	R-1	0	0						EMWD
458341007	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						EMWD
462191010	WRCOG66B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0						EMWD
462214007	WRCOG66B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0						EMWD
567092023	WRCOG66B-CORRECTLY ZONEI	0.291	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
549050007	WRCOG66B-CORRECTLY ZONEI	9.354	MDR		2-5 DU/AC	R-T	19	15						SGPWA



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565042010	WRCOG6B-CORRECTLY ZONEI	0.142	MDR		2-5 DUJ/AC	R-1A-9000	0	0						SGPWA
561061007	WRCOG6B-CORRECTLY ZONEI	0.354	MDR		2-5 DUJ/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
564093018	WRCOG6B-CORRECTLY ZONEI	0.246	MDR		2-5 DUJ/AC	R-1A-9000	0	0						SGPWA
560090034	WRCOG6B-CORRECTLY ZONEI	0.181	MDR		2-5 DUJ/AC	R-3A-20000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
115239001	WRCOG6B-CORRECTLY ZONEI	0.281	MDR		2-5 DUJ/AC	R-2	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
307240007	WRCOG6B-CORRECTLY ZONEI	9.559	MDR		2-5 DUJ/AC	R-1	19	15						WMWD
309262015	WRCOG6B-CORRECTLY ZONEI	0.163	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
327451008	WRCOG6B-CORRECTLY ZONEI	0.172	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
327450003	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
308170018	WRCOG6B-CORRECTLY ZONEI	0.191	MDR		2-5 DUJ/AC	R-A-5	0	0						WMWD
383182018	WRCOG6B-CORRECTLY ZONEI	0.459	MDR		2-5 DUJ/AC	R-1	1	1	COUNTY					EMWD
386159008	WRCOG6B-CORRECTLY ZONEI	0.142	MDR		2-5 DUJ/AC	R-1	0	0	FAULT ZONE					EMWD
381272038	WRCOG6B-CORRECTLY ZONEI	0.099	MDR		2-5 DUJ/AC	R-3	0	0						EMWD
382041008	WRCOG6B-CORRECTLY ZONEI	0.075	MDR		2-5 DUJ/AC	R-3	0	0	COUNTY					EMWD
383210022	WRCOG6B-CORRECTLY ZONEI	0.186	MDR		2-5 DUJ/AC	R-3	0	0	COUNTY					EMWD
462202022	WRCOG6B-CORRECTLY ZONEI	0.200	MDR		2-5 DUJ/AC	R-1	0	0	FAULT ZONE					EMWD
462202025	WRCOG6B-CORRECTLY ZONEI	0.216	MDR		2-5 DUJ/AC	R-1	0	0						EMWD
462191004	WRCOG6B-CORRECTLY ZONEI	0.184	MDR		2-5 DUJ/AC	R-1	0	0						EMWD
447211024	WRCOG6B-CORRECTLY ZONEI	0.695	MDR		2-5 DUJ/AC	R-1	1	1						EMWD
457311003	WRCOG6B-CORRECTLY ZONEI	0.232	MDR		2-5 DUJ/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458362020	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DUJ/AC	R-1	0	0						EMWD
567122013	WRCOG6B-CORRECTLY ZONEI	0.177	MDR		2-5 DUJ/AC	R-1A-9000	0	0						EMWD
565122003	WRCOG6B-CORRECTLY ZONEI	0.589	MDR		2-5 DUJ/AC	R-1A-9000	1	1						SGPWA
563221004	WRCOG6B-CORRECTLY ZONEI	0.049	MDR		2-5 DUJ/AC	R-3A	0	0						SGPWA
561080020	WRCOG6B-CORRECTLY ZONEI	0.455	MDR		2-5 DUJ/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561181012	WRCOG6B-CORRECTLY ZONEI	0.072	MDR		2-5 DUJ/AC	R-1A-9000	0	0						SGPWA
567070022	WRCOG6B-CORRECTLY ZONEI	2.709	MDR		2-5 DUJ/AC	R-1A-9000	5	4		AREAS OF FLOODING SENSITIVITY				SGPWA
561042015	WRCOG6B-CORRECTLY ZONEI	0.506	MDR		2-5 DUJ/AC	R-3A	1	1						SGPWA
560139001	WRCOG6B-CORRECTLY ZONEI	0.443	MDR		2-5 DUJ/AC	R-3A-20000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561220018	WRCOG6B-CORRECTLY ZONEI	0.274	MDR		2-5 DUJ/AC	R-1A-9000	1	0						SGPWA
308160005	WRCOG6B-CORRECTLY ZONEI	0.163	MDR		2-5 DUJ/AC	R-A-5	0	0			YES			SGPWA
247124019	WRCOG6B-CORRECTLY ZONEI	0.182	MDR		2-5 DUJ/AC	R-1	0	0						WMWD
383071006	WRCOG6B-CORRECTLY ZONEI	0.162	MDR		2-5 DUJ/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
966040042	WRCOG6B-CORRECTLY ZONEI	0.438	MDR		2-5 DUJ/AC	R-1	1	1						EMWD

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1403620013	WRCOG68-CORRECTLY ZONE	0.333 MDR			2-5 DU/JAC	R-1	1	1						WMWD
135460077	WRCOG68-CORRECTLY ZONE	0.499 MDR			2-5 DU/JAC	R-4	1	1						WMWD
140361019	WRCOG68-CORRECTLY ZONE	0.189 MDR			2-5 DU/JAC	R-1	0	0						WMWD
308170009	WRCOG68-CORRECTLY ZONE	0.192 MDR			2-5 DU/JAC	R-A-5	0	0						WMWD
317210023	WRCOG68-CORRECTLY ZONE	0.425 MDR			2-5 DU/JAC	R-1	1	1						WMWD
383162005	WRCOG68-CORRECTLY ZONE	0.119 MDR			2-5 DU/JAC	R-1	0	0						WMWD
327452011	WRCOG68-CORRECTLY ZONE	0.168 MDR			2-5 DU/JAC	R-1	0	0						WMWD
381282022	WRCOG68-CORRECTLY ZONE	0.073 MDR			2-5 DU/JAC	R-3	0	0	COUNTY					EMWD
381062023	WRCOG68-CORRECTLY ZONE	0.065 MDR			2-5 DU/JAC	R-3	0	0	FAULT ZONE					EMWD
383194002	WRCOG68-CORRECTLY ZONE	0.108 MDR			2-5 DU/JAC	R-1	0	0						EMWD
386151029	WRCOG68-CORRECTLY ZONE	0.142 MDR			2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
383104029	WRCOG68-CORRECTLY ZONE	0.188 MDR			2-5 DU/JAC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
382042002	WRCOG68-CORRECTLY ZONE	0.094 MDR			2-5 DU/JAC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
408050006	WRCOG68-CORRECTLY ZONE	2.050 MDR			2-5 DU/JAC	R-T	4	3						EMWD
462212007	WRCOG68-CORRECTLY ZONE	0.167 MDR			2-5 DU/JAC	R-1	0	0						EMWD
462193001	WRCOG68-CORRECTLY ZONE	0.188 MDR			2-5 DU/JAC	R-1	0	0						EMWD
450021006	WRCOG68-CORRECTLY ZONE	0.215 MDR			2-5 DU/JAC	R-1	0	0						EMWD
462202042	WRCOG68-CORRECTLY ZONE	0.168 MDR			2-5 DU/JAC	R-1	0	0						EMWD
458572014	WRCOG68-CORRECTLY ZONE	0.176 MDR			2-5 DU/JAC	R-1	0	0						EMWD
555310007	WRCOG68-CORRECTLY ZONE	2.969 MDR			2-5 DU/JAC	R-1	6	5						SGPWA
563292013	WRCOG68-CORRECTLY ZONE	1.439 MDR			2-5 DU/JAC	R-3A	3	2						SGPWA
140351014	WRCOG68-CORRECTLY ZONE	0.347 MDR			2-5 DU/JAC	R-1	1	1						WMWD
308170015	WRCOG68-CORRECTLY ZONE	0.244 MDR			2-5 DU/JAC	R-A-5	0	0						WMWD
308170031	WRCOG68-CORRECTLY ZONE	0.187 MDR			2-5 DU/JAC	R-A-5	0	0						WMWD
383161002	WRCOG68-CORRECTLY ZONE	0.085 MDR			2-5 DU/JAC	R-1	0	0						EMWD
381248035	WRCOG68-CORRECTLY ZONE	0.103 MDR			2-5 DU/JAC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386203004	WRCOG68-CORRECTLY ZONE	0.340 MDR			2-5 DU/JAC	R-1	1	1						EMWD
402333066	WRCOG68-CORRECTLY ZONE	0.056 MDR			2-5 DU/JAC	R-T	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386210004	WRCOG68-CORRECTLY ZONE	0.206 MDR			2-5 DU/JAC	R-1	0	0						EMWD
386151004	WRCOG68-CORRECTLY ZONE	0.077 MDR			2-5 DU/JAC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
388300026	WRCOG68-CORRECTLY ZONE	5.881 MDR			2-5 DU/JAC	R-1	12	9						EMWD
386153004	WRCOG68-CORRECTLY ZONE	0.137 MDR			2-5 DU/JAC	R-1	0	0	COUNTY					EMWD
381064011	WRCOG68-CORRECTLY ZONE	0.070 MDR			2-5 DU/JAC	R-3	0	0	FAULT ZONE					EMWD
386201009	WRCOG68-CORRECTLY ZONE	0.249 MDR			2-5 DU/JAC	R-1	0	0	COUNTY					EMWD

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387080003	WRCOG6B-CORRECTLY ZONEI	6.926	MDR		2-5 DU/AC	R-1	14	0	COUNTY					EMWD
434272005	WRCOG6B-CORRECTLY ZONEI	0.144	MDR		2-5 DU/AC	R-1	0	0	11 FAULT ZONE					EMWD
408050003	WRCOG6B-CORRECTLY ZONEI	0.813	MDR		2-5 DU/AC	R-T	2	0		AREAS OF FLOODING SENSITIVITY				EMWD
447260027	WRCOG6B-CORRECTLY ZONEI	1.533	MDR		2-5 DU/AC	R-1	3	0						EMWD
462214005	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
462190007	WRCOG6B-CORRECTLY ZONEI	0.244	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362030	WRCOG6B-CORRECTLY ZONEI	0.362	MDR		2-5 DU/AC	R-1	1	1						EMWD
563242017	WRCOG6B-CORRECTLY ZONEI	0.381	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
563210015	WRCOG6B-CORRECTLY ZONEI	5.256	MDR		2-5 DU/AC	R-1A-5	11	8						SGPWA
565091014	WRCOG6B-CORRECTLY ZONEI	0.395	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
559162007	WRCOG6B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
559157008	WRCOG6B-CORRECTLY ZONEI	0.112	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
563082001	WRCOG6B-CORRECTLY ZONEI	0.326	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564072003	WRCOG6B-CORRECTLY ZONEI	0.183	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
308110011	WRCOG6B-CORRECTLY ZONEI	10.213	MDR		2-5 DU/AC	R-A-5	20	16						EMWD
308263015	WRCOG6B-CORRECTLY ZONEI	0.162	MDR		2-5 DU/AC	R-T	0	0						EMWD
563132001	WRCOG6B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563222009	WRCOG6B-CORRECTLY ZONEI	0.282	MDR		2-5 DU/AC	R-1A-9000	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
476270004	WRCOG6B-CORRECTLY ZONEI	2.020	MDR		2-5 DU/AC	R-A-21/2	4	3		FLOODING SENSITIVITY			Zone E	EMWD
135050035	WRCOG6B-CORRECTLY ZONEI	0.108	MDR		2-5 DU/AC	R-1	0	0						WMWD
140320014	WRCOG6B-CORRECTLY ZONEI	0.264	MDR		2-5 DU/AC	R-1	1	0						WMWD
256061006	WRCOG6B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1	0	0						WMWD
383091022	WRCOG6B-CORRECTLY ZONEI	0.079	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383033041	WRCOG6B-CORRECTLY ZONEI	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151036	WRCOG6B-CORRECTLY ZONEI	0.141	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383112002	WRCOG6B-CORRECTLY ZONEI	0.087	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383033035	WRCOG6B-CORRECTLY ZONEI	0.145	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
385203007	WRCOG6B-CORRECTLY ZONEI	0.219	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
387253006	WRCOG6B-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462211001	WRCOG6B-CORRECTLY ZONEI	0.189	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
462202004	WRCOG6B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
462214003	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
462212010	WRCOG6B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
462214006	WRCOG6B-CORRECTLY ZONEI	0.178	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD

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458341010	WRCOG66B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1	0	0						EMWD
458360006	WRCOG66B-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-2	0	0						EMWD
450131031	WRCOG66B-CORRECTLY ZONEI	0.475	MDR		2-5 DU/AC	R-2	1	1						EMWD
549180035	WRCOG66B-CORRECTLY ZONEI	0.257	MDR		2-5 DU/AC	R-2	1	0						EMWD
458367035	WRCOG66B-CORRECTLY ZONEI	0.193	MDR		2-5 DU/AC	R-1	0	0						EMWD
549511024	WRCOG66B-CORRECTLY ZONEI	0.038	MDR		2-5 DU/AC	R-7	0	0						SGPWA
565242043	WRCOG66B-CORRECTLY ZONEI	0.190	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563212006	WRCOG66B-CORRECTLY ZONEI	0.452	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565252006	WRCOG66B-CORRECTLY ZONEI	0.198	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
408060011	WRCOG66B-CORRECTLY ZONEI	4.938	MDR		2-5 DU/AC	R-T	10	8		AREAS OF FLOODING SENSITIVITY				EMWD
563044001	WRCOG66B-CORRECTLY ZONEI	0.114	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
140361010	WRCOG66B-CORRECTLY ZONEI	0.409	MDR		2-5 DU/AC	R-1	1	1						WMWD
256301084	WRCOG66B-CORRECTLY ZONEI	0.060	MDR		2-5 DU/AC	R-1	0	0						WMWD
308190001	WRCOG66B-CORRECTLY ZONEI	0.075	MDR		2-5 DU/AC	R-A-5	0	0			YES			WMWD
327451019	WRCOG66B-CORRECTLY ZONEI	0.201	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451036	WRCOG66B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
386154006	WRCOG66B-CORRECTLY ZONEI	0.158	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
388072032	WRCOG66B-CORRECTLY ZONEI	0.007	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
381061011	WRCOG66B-CORRECTLY ZONEI	0.067	MDR		2-5 DU/AC	R-3	0	0						EMWD
381247004	WRCOG66B-CORRECTLY ZONEI	0.119	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386200008	WRCOG66B-CORRECTLY ZONEI	0.225	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
402060015	WRCOG66B-CORRECTLY ZONEI	0.578	MDR		2-5 DU/AC	R-1	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
458341002	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
565243002	WRCOG66B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565222025	WRCOG66B-CORRECTLY ZONEI	0.235	MDR		2-5 DU/AC	R-3A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
565111017	WRCOG66B-CORRECTLY ZONEI	0.229	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564072007	WRCOG66B-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565244005	WRCOG66B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071034	WRCOG66B-CORRECTLY ZONEI	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565171016	WRCOG66B-CORRECTLY ZONEI	0.207	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564191003	WRCOG66B-CORRECTLY ZONEI	0.518	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
480433052	WRCOG66B-CORRECTLY ZONEI	0.004	MDR		2-5 DU/AC	R-1	0	0					Zone E	EMWD
135541001	WRCOG66B-CORRECTLY ZONEI	1.747	MDR		2-5 DU/AC	R-1-10000	3	3			YES			EMWD
135041018	WRCOG66B-CORRECTLY ZONEI	0.190	MDR		2-5 DU/AC	R-1	0	0						WMWD
140360012	WRCOG66B-CORRECTLY ZONEI	0.343	MDR		2-5 DU/AC	R-1	1	1						WMWD
327451048	WRCOG66B-CORRECTLY ZONEI	0.191	MDR		2-5 DU/AC	R-1	0	0						WMWD
327462004	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
381064026	WRCOG66B-CORRECTLY ZONEI	0.068	MDR		2-5 DU/AC	R-3	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
383112010	WRCOG6B-CORRECTLY ZONE	0.091	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386200009	WRCOG6B-CORRECTLY ZONE	0.220	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381182009	WRCOG6B-CORRECTLY ZONE	0.149	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386201003	WRCOG6B-CORRECTLY ZONE	0.207	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386140004	WRCOG6B-CORRECTLY ZONE	6.944	MDR		2-5 DU/AC	R-1	14	11	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
387222030	WRCOG6B-CORRECTLY ZONE	0.210	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
402320033	WRCOG6B-CORRECTLY ZONE	1.853	MDR		2-5 DU/AC	R-T	4	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			EMWD
386201007	WRCOG6B-CORRECTLY ZONE	0.240	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462214001	WRCOG6B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462202007	WRCOG6B-CORRECTLY ZONE	0.167	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
463160016	WRCOG6B-CORRECTLY ZONE	1.941	MDR		2-5 DU/AC	R-1	4	3	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			EMWD
459362028	WRCOG6B-CORRECTLY ZONE	0.295	MDR		2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
561131040	WRCOG6B-CORRECTLY ZONE	0.131	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564072004	WRCOG6B-CORRECTLY ZONE	0.188	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
561032002	WRCOG6B-CORRECTLY ZONE	0.374	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
559162006	WRCOG6B-CORRECTLY ZONE	0.250	MDR		2-5 DU/AC	R-3A-20000	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
565032006	WRCOG6B-CORRECTLY ZONE	0.281	MDR		2-5 DU/AC	R-1A-9000	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564080016	WRCOG6B-CORRECTLY ZONE	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
561202002	WRCOG6B-CORRECTLY ZONE	0.445	MDR		2-5 DU/AC	R-1A-9000	1	1	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
564140018	WRCOG6B-CORRECTLY ZONE	0.229	MDR		2-5 DU/AC	R-1A-9000	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
562133010	WRCOG6B-CORRECTLY ZONE	0.260	MDR		2-5 DU/AC	R-1A-9000	1	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
462202048	WRCOG6B-CORRECTLY ZONE	0.180	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
256081013	WRCOG6B-CORRECTLY ZONE	0.168	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
256083016	WRCOG6B-CORRECTLY ZONE	0.096	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
308150005	WRCOG6B-CORRECTLY ZONE	3.601	MDR		2-5 DU/AC	R-A-5	7	6	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY	YES			WMWD
387071011	WRCOG6B-CORRECTLY ZONE	0.137	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386152016	WRCOG6B-CORRECTLY ZONE	0.075	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386152008	WRCOG6B-CORRECTLY ZONE	0.143	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381284005	WRCOG6B-CORRECTLY ZONE	0.016	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462213001	WRCOG6B-CORRECTLY ZONE	0.176	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
462060013	WRCOG6B-CORRECTLY ZONE	8.451	MDR		2-5 DU/AC	R-1	17	14	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CYAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
468391027	WRCOG68B-CORRECTLY ZONE	0.168	MDR		2.5 DU/AC	R-1	0	0			YES			EMWD
449340053	WRCOG68B-CORRECTLY ZONE	0.173	MDR		2.5 DU/AC	R-1	0	0						EMWD
462191005	WRCOG68B-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0						EMWD
462210008	WRCOG68B-CORRECTLY ZONE	0.167	MDR		2.5 DU/AC	R-1	0	0						EMWD
457311004	WRCOG68B-CORRECTLY ZONE	0.264	MDR		2.5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				EMWD
458351016	WRCOG68B-CORRECTLY ZONE	0.196	MDR		2.5 DU/AC	R-1	0	0						EMWD
463160011	WRCOG68B-CORRECTLY ZONE	4.353	MDR		2.5 DU/AC	R-1	9	7			YES			EMWD
563180012	WRCOG68B-CORRECTLY ZONE	0.415	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
551358028	WRCOG68B-CORRECTLY ZONE	0.135	MDR		2.5 DU/AC	R-1	0	0						SGPWA
561064011	WRCOG68B-CORRECTLY ZONE	0.193	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
567081008	WRCOG68B-CORRECTLY ZONE	0.748	MDR		2.5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
560090031	WRCOG68B-CORRECTLY ZONE	0.434	MDR		2.5 DU/AC	R-3A-20000	1	1						SGPWA
563033003	WRCOG68B-CORRECTLY ZONE	0.279	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
458362011	WRCOG68B-CORRECTLY ZONE	0.190	MDR		2.5 DU/AC	R-1	0	0						EMWD
327462028	WRCOG68B-CORRECTLY ZONE	4.019	MDR		2.5 DU/AC	R-1	8	6						WMWD
563041002	WRCOG68B-CORRECTLY ZONE	0.295	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
563133019	WRCOG68B-CORRECTLY ZONE	0.218	MDR		2.5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
469160009	WRCOG68B-CORRECTLY ZONE	25.202	MDR		2.5 DU/AC	R-3	50	40		AREAS OF FLOODING SENSITIVITY				SGPWA
135531007	WRCOG68B-CORRECTLY ZONE	2.292	MDR		2.5 DU/AC	R-1-10000	5	4						WMWD
135530002	WRCOG68B-CORRECTLY ZONE	0.228	MDR		2.5 DU/AC	R-1-10000	0	0						WMWD
308140006	WRCOG68B-CORRECTLY ZONE	28.492	MDR		2.5 DU/AC	R-A-5	57	46		AREAS OF FLOODING SENSITIVITY				WMWD
308180005	WRCOG68B-CORRECTLY ZONE	0.211	MDR		2.5 DU/AC	R-A-5	0	0						WMWD
327451007	WRCOG68B-CORRECTLY ZONE	0.172	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
386193008	WRCOG68B-CORRECTLY ZONE	0.176	MDR		2.5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386151031	WRCOG68B-CORRECTLY ZONE	0.139	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
386210012	WRCOG68B-CORRECTLY ZONE	0.273	MDR		2.5 DU/AC	R-1	1	0	FAULT ZONE					EMWD
381248028	WRCOG68B-CORRECTLY ZONE	0.084	MDR		2.5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
387060026	WRCOG68B-CORRECTLY ZONE	0.509	MDR		2.5 DU/AC	R-1	1	1	FAULT ZONE					EMWD
408060001	WRCOG68B-CORRECTLY ZONE	4.447	MDR		2.5 DU/AC	R-T	9	7		AREAS OF FLOODING SENSITIVITY				EMWD
386192019	WRCOG68B-CORRECTLY ZONE	0.230	MDR		2.5 DU/AC	R-1	0	0						EMWD
408060005	WRCOG68B-CORRECTLY ZONE	1.696	MDR		2.5 DU/AC	R-T	3	3		AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

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387212060	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
466391025	WRCOG6B-CORRECTLY ZONE	0.176 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE		YES			EMWD
451290027	WRCOG6B-CORRECTLY ZONE	9.284 MDR			2-5 DU/AC	R-1	19	15						EMWD
462213002	WRCOG6B-CORRECTLY ZONE	0.165 MDR			2-5 DU/AC	R-1	0	0						EMWD
453362003	WRCOG6B-CORRECTLY ZONE	0.166 MDR			2-5 DU/AC	R-1	0	0						EMWD
565265014	WRCOG6B-CORRECTLY ZONE	0.457 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
565224004	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564093019	WRCOG6B-CORRECTLY ZONE	0.251 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
462213017	WRCOG6B-CORRECTLY ZONE	0.211 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
308190007	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY	YES			WMWD
135050027	WRCOG6B-CORRECTLY ZONE	0.002 MDR			2-5 DU/AC	R-1	0	0						WMWD
140351023	WRCOG6B-CORRECTLY ZONE	0.205 MDR			2-5 DU/AC	R-1	0	0						WMWD
140320622	WRCOG6B-CORRECTLY ZONE	0.182 MDR			2-5 DU/AC	R-1	0	0						WMWD
308180012	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
327452006	WRCOG6B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
381080014	WRCOG6B-CORRECTLY ZONE	0.022 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
382033001	WRCOG6B-CORRECTLY ZONE	0.104 MDR			2-5 DU/AC	R-3	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
381130010	WRCOG6B-CORRECTLY ZONE	0.458 MDR			2-5 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
383633008	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0						EMWD
383161001	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						EMWD
386202002	WRCOG6B-CORRECTLY ZONE	0.254 MDR			2-5 DU/AC	R-1	1	0						EMWD
381290021	WRCOG6B-CORRECTLY ZONE	0.440 MDR			2-5 DU/AC	R-3	1	1	COUNTY					EMWD
383041043	WRCOG6B-CORRECTLY ZONE	0.153 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
408050021	WRCOG6B-CORRECTLY ZONE	4.915 MDR			2-5 DU/AC	R-T	10	8	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
426106019	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
465020026	WRCOG6B-CORRECTLY ZONE	28.850 MDR			2-5 DU/AC	R-T-20000	58	46		AREAS OF FLOODING SENSITIVITY	YES			EMWD
458351017	WRCOG6B-CORRECTLY ZONE	0.186 MDR			2-5 DU/AC	R-1	0	0						EMWD
458372007	WRCOG6B-CORRECTLY ZONE	0.182 MDR			2-5 DU/AC	R-1	0	0						EMWD
458340205	WRCOG6B-CORRECTLY ZONE	0.235 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462060016	WRCOG6B-CORRECTLY ZONE	9.714 MDR			2-5 DU/AC	R-1	19	16		AREAS OF FLOODING SENSITIVITY				EMWD
565192023	WRCOG6B-CORRECTLY ZONE	0.226 MDR			2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY	YES			EMWD
561064013	WRCOG6B-CORRECTLY ZONE	0.331 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA



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548070022	WRCOG6B-CORRECTLY ZONE	4.817	MDR		2-5 DU/AC	R-T	10	8		AREAS OF FLOODING SENSITIVITY				SGPWA
564051018	WRCOG6B-CORRECTLY ZONE	1.964	MDR		2-5 DU/AC	R-1A-9000	4	3		AREAS OF FLOODING SENSITIVITY				SEPWA
564201002	WRCOG6B-CORRECTLY ZONE	0.352	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
453820001	WRCOG6B-CORRECTLY ZONE	0.178	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
476270002	WRCOG6B-CORRECTLY ZONE	2.200	MDR		2-5 DU/AC	R-A-2 1/2	4	4		AREAS OF FLOODING SENSITIVITY				EMWD
140361004	WRCOG6B-CORRECTLY ZONE	0.323	MDR		2-5 DU/AC	R-1	1	1	COUNTY				Zone E	WINWD
282542023	WRCOG6B-CORRECTLY ZONE	0.066	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WINWD
308170023	WRCOG6B-CORRECTLY ZONE	0.190	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WINWD
308170007	WRCOG6B-CORRECTLY ZONE	0.183	MDR		2-5 DU/AC	R-A-5	0	0	COUNTY					WINWD
383114028	WRCOG6B-CORRECTLY ZONE	0.091	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381152021	WRCOG6B-CORRECTLY ZONE	0.435	MDR		2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386153025	WRCOG6B-CORRECTLY ZONE	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386153020	WRCOG6B-CORRECTLY ZONE	0.151	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381281025	WRCOG6B-CORRECTLY ZONE	0.147	MDR		2-5 DU/AC	R-3	0	0	COUNTY					EMWD
438130049	WRCOG6B-CORRECTLY ZONE	1.812	MDR		2-5 DU/AC	R-1	4	3	SAN JACINTO					EMWD
462210006	WRCOG6B-CORRECTLY ZONE	0.179	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
462211004	WRCOG6B-CORRECTLY ZONE	0.184	MDR		2-5 DU/AC	R-1	0	0						EMWD
457094011	WRCOG6B-CORRECTLY ZONE	4.319	MDR		2-5 DU/AC	R-T	9	7						EMWD
462202044	WRCOG6B-CORRECTLY ZONE	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
449170006	WRCOG6B-CORRECTLY ZONE	0.785	MDR		2-5 DU/AC	R-1	2	1						EMWD
480053009	WRCOG6B-CORRECTLY ZONE	0.118	MDR		2-5 DU/AC	R-1	0	0						EMWD
480070011	WRCOG6B-CORRECTLY ZONE	0.247	MDR		2-5 DU/AC	R-1	0	0						EMWD
559162008	WRCOG6B-CORRECTLY ZONE	0.142	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
549061012	WRCOG6B-CORRECTLY ZONE	0.186	MDR		2-5 DU/AC	R-T	0	0						SGPWA
561121043	WRCOG6B-CORRECTLY ZONE	0.122	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
548120004	WRCOG6B-CORRECTLY ZONE	6.409	MDR		2-5 DU/AC	R-2-4000	13	10						SGPWA
565111013	WRCOG6B-CORRECTLY ZONE	0.015	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565121002	WRCOG6B-CORRECTLY ZONE	0.626	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
563030009	WRCOG6B-CORRECTLY ZONE	0.324	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
401210007	WRCOG6B-CORRECTLY ZONE	7.512	MDR		2-5 DU/AC	R-T	15	12	ELSIgnore					EMWD
102083027	WRCOG6B-CORRECTLY ZONE	0.306	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE					WINWD
307240004	WRCOG6B-CORRECTLY ZONE	9.606	MDR		2-5 DU/AC	R-1	19	15						WINWD

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307120004	WRCO66B-CORRECTLY ZONED	138.106 MDR			2-5 DU/AC	R-A-5	276	221		AREAS OF FLOODING SENSITIVITY				WMWD
308180010	WRCO66B-CORRECTLY ZONED	0.192 MDR			2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
327459009	WRCO66B-CORRECTLY ZONED	0.180 MDR			2-5 DU/AC	R-1	0	0	COUNTY					WMWD
381223032	WRCO66B-CORRECTLY ZONED	0.113 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
383183011	WRCO66B-CORRECTLY ZONED	0.777 MDR			2-5 DU/AC	R-1	2	1	0					EMWD
427049004	WRCO66B-CORRECTLY ZONED	0.248 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
383201025	WRCO66B-CORRECTLY ZONED	0.727 MDR			2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
426440008	WRCO66B-CORRECTLY ZONED	3.806 MDR			2-5 DU/AC	R-1	8	6	1	AREAS OF FLOODING SENSITIVITY				EMWD
462202005	WRCO66B-CORRECTLY ZONED	0.167 MDR			2-5 DU/AC	R-1	0	0						EMWD
462213004	WRCO66B-CORRECTLY ZONED	0.167 MDR			2-5 DU/AC	R-1	0	0						EMWD
458362037	WRCO66B-CORRECTLY ZONED	0.175 MDR			2-5 DU/AC	R-1	0	0						EMWD
463160013	WRCO66B-CORRECTLY ZONED	3.968 MDR			2-5 DU/AC	R-1	8	6			YES			EMWD
547110014	WRCO66B-CORRECTLY ZONED	0.680 MDR			2-5 DU/AC	R-1	1	1	SAN JACINTO					SGPWA
557212010	WRCO66B-CORRECTLY ZONED	0.365 MDR			2-5 DU/AC	R-1A-9000	1	1	1	AREAS OF FLOODING SENSITIVITY				SGPWA
561111011	WRCO66B-CORRECTLY ZONED	0.226 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563075002	WRCO66B-CORRECTLY ZONED	0.331 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563220006	WRCO66B-CORRECTLY ZONED	0.191 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564209001	WRCO66B-CORRECTLY ZONED	0.415 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
561111005	WRCO66B-CORRECTLY ZONED	0.453 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
140360001	WRCO66B-CORRECTLY ZONED	0.215 MDR			2-5 DU/AC	R-1	0	0						WMWD
135431053	WRCO66B-CORRECTLY ZONED	0.103 MDR			2-5 DU/AC	R-4	0	0						WMWD
135550007	WRCO66B-CORRECTLY ZONED	0.319 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
247122016	WRCO66B-CORRECTLY ZONED	0.141 MDR			2-5 DU/AC	R-1	0	0						WMWD
255031012	WRCO66B-CORRECTLY ZONED	0.234 MDR			2-5 DU/AC	R-1	0	0						WMWD
309290032	WRCO66B-CORRECTLY ZONED	14.665 MDR			2-5 DU/AC	R-1	29	23						WMWD
327451043	WRCO66B-CORRECTLY ZONED	0.175 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
381151025	WRCO66B-CORRECTLY ZONED	0.100 MDR			2-5 DU/AC	R-3	0	0	COUNTY					WMWD
386152005	WRCO66B-CORRECTLY ZONED	0.137 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386152023	WRCO66B-CORRECTLY ZONED	0.142 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383109028	WRCO66B-CORRECTLY ZONED	0.189 MDR			2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
565045008	WRCO66B-CORRECTLY ZONED	0.154 MDR			2-5 DU/AC	R-1A-9000	0	0	COUNTY					SGPWA
563300019	WRCO66B-CORRECTLY ZONED	0.256 MDR			2-5 DU/AC	R-3A	1	0						SGPWA
561141009	WRCO66B-CORRECTLY ZONED	0.304 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
552057013	WRCO66B-CORRECTLY ZONED	0.165 MDR			2-5 DU/AC	R-1	0	0						SGPWA
563282006	WRCO66B-CORRECTLY ZONED	0.582 MDR			2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CYAC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
561169002	WRCOG66B-CORRECTLY ZONED	0.362 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564071029	WRCOG66B-CORRECTLY ZONED	0.286 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
565232004	WRCOG66B-CORRECTLY ZONED	0.414 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
584051012	WRCOG66B-CORRECTLY ZONED	0.231 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
449510039	WRCOG66B-CORRECTLY ZONED	0.221 MDR			2-5 DU/AC	R-1	0	0						EMWD
564139007	WRCOG66B-CORRECTLY ZONED	0.275 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
115241018	WRCOG66B-CORRECTLY ZONED	0.217 MDR			2-5 DU/AC	R-1	0	0						WMWD
290241050	WRCOG66B-CORRECTLY ZONED	0.143 MDR			2-5 DU/AC	R-1	0	0						WMWD
102083021	WRCOG66B-CORRECTLY ZONED	0.372 MDR			2-5 DU/AC	R-1	1	1	ELSNORE					WMWD
567111005	WRCOG66B-CORRECTLY ZONED	0.343 MDR			2-5 DU/AC	R-1A-9000	1	1	1 FAULT ZONE					SGPWA
476770009	WRCOG66B-CORRECTLY ZONED	2.506 MDR			2-5 DU/AC	R-A-2 1/2	5	4					Zone E	EMWD
140360011	WRCOG66B-CORRECTLY ZONED	0.332 MDR			2-5 DU/AC	R-1	1	1						WMWD
135032018	WRCOG66B-CORRECTLY ZONED	0.197 MDR			2-5 DU/AC	R-1	0	0						WMWD
308140009	WRCOG66B-CORRECTLY ZONED	0.411 MDR			2-5 DU/AC	R-A-5	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
386190002	WRCOG66B-CORRECTLY ZONED	0.264 MDR			2-5 DU/AC	R-1	1	0	COUNTY FAULT ZONE					EMWD
381282029	WRCOG66B-CORRECTLY ZONED	0.081 MDR			2-5 DU/AC	R-3	0	0						EMWD
383194003	WRCOG66B-CORRECTLY ZONED	0.093 MDR			2-5 DU/AC	R-1	0	0						EMWD
386201015	WRCOG66B-CORRECTLY ZONED	0.216 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
450032007	WRCOG66B-CORRECTLY ZONED	0.274 MDR			2-5 DU/AC	R-1	1	0						EMWD
46591021	WRCOG66B-CORRECTLY ZONED	0.180 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
457311009	WRCOG66B-CORRECTLY ZONED	0.166 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
557220011	WRCOG66B-CORRECTLY ZONED	0.496 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
561151008	WRCOG66B-CORRECTLY ZONED	0.456 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
561132011	WRCOG66B-CORRECTLY ZONED	0.143 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
56402020	WRCOG66B-CORRECTLY ZONED	0.395 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
559154001	WRCOG66B-CORRECTLY ZONED	0.200 MDR			2-5 DU/AC	R-3A-20000	0	0						SGPWA
564093009	WRCOG66B-CORRECTLY ZONED	0.217 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071021	WRCOG66B-CORRECTLY ZONED	0.223 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
247091056	WRCOG66B-CORRECTLY ZONED	0.552 MDR			2-5 DU/AC	R-1	1	1						WMWD
135551002	WRCOG66B-CORRECTLY ZONED	0.314 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
135540001	WRCOG66B-CORRECTLY ZONED	0.360 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
308170010	WRCOG66B-CORRECTLY ZONED	0.191 MDR			2-5 DU/AC	R-A-5	0	0						WMWD
308190010	WRCOG66B-CORRECTLY ZONED	0.178 MDR			2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
318282027	WRCOG66B-CORRECTLY ZONED	0.193 MDR			2-5 DU/AC	R-1	0	0			YES			WMWD
307320010	WRCOG66B-CORRECTLY ZONED	3.873 MDR			2-5 DU/AC	R-1	8	6			YES			WMWD
297072002	WRCOG66B-CORRECTLY ZONED	0.920 MDR			2-5 DU/AC	R-A-1	2	1						WMWD
386153012	WRCOG66B-CORRECTLY ZONED	0.072 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387221001	WRCOG66B-CORRECTLY ZONED	0.140 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383102008	WRCOG66B-CORRECTLY ZONED	0.043 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

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389124011	WRCOG66B-CORRECTLY ZONE	0.088 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386202004	WRCOG66B-CORRECTLY ZONE	0.207 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386193015	WRCOG66B-CORRECTLY ZONE	0.163 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383173036	WRCOG66B-CORRECTLY ZONE	0.237 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
383094005	WRCOG66B-CORRECTLY ZONE	0.148 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387212019	WRCOG66B-CORRECTLY ZONE	0.205 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383143013	WRCOG66B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
465240033	WRCOG66B-CORRECTLY ZONE	0.507 MDR			2-5 DU/AC	R-T	1	1		AREAS OF FLOODING SENSITIVITY	YES			EMWD
462202017	WRCOG66B-CORRECTLY ZONE	0.252 MDR			2-5 DU/AC	R-1	1	1	0					EMWD
458351007	WRCOG66B-CORRECTLY ZONE	0.170 MDR			2-5 DU/AC	R-1	0	0	0					EMWD
462070010	WRCOG66B-CORRECTLY ZONE	6.287 MDR			2-5 DU/AC	R-1	13	10						EMWD
458351008	WRCOG66B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0						SGPWA
548132025	WRCOG66B-CORRECTLY ZONE	0.294 MDR			2-5 DU/AC	R-D	1	0						SGPWA
557212013	WRCOG66B-CORRECTLY ZONE	3.352 MDR			2-5 DU/AC	R-1A-9000	7	5						SGPWA
561092010	WRCOG66B-CORRECTLY ZONE	0.204 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565123003	WRCOG66B-CORRECTLY ZONE	0.342 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564103009	WRCOG66B-CORRECTLY ZONE	0.242 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563172023	WRCOG66B-CORRECTLY ZONE	0.029 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563110004	WRCOG66B-CORRECTLY ZONE	1.374 MDR			2-5 DU/AC	R-1A-9000	3	2						EMWD
381300008	WRCOG66B-CORRECTLY ZONE	1.526 MDR			2-5 DU/AC	R-3	3	2						EMWD
382050050	WRCOG66B-CORRECTLY ZONE	0.217 MDR			2-5 DU/AC	R-1A	0	0						SGPWA
563141001	WRCOG66B-CORRECTLY ZONE	0.302 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
135530005	WRCOG66B-CORRECTLY ZONE	0.302 MDR			2-5 DU/AC	R-1-10000	1	0						WMWD
135530012	WRCOG66B-CORRECTLY ZONE	0.250 MDR			2-5 DU/AC	R-1-10000	1	0						WMWD
135204006	WRCOG66B-CORRECTLY ZONE	0.389 MDR			2-5 DU/AC	R-1	1	1						WMWD
140320023	WRCOG66B-CORRECTLY ZONE	0.201 MDR			2-5 DU/AC	R-1	0	0						WMWD
318292028	WRCOG66B-CORRECTLY ZONE	0.301 MDR			2-5 DU/AC	R-1	1	0						WMWD
383105034	WRCOG66B-CORRECTLY ZONE	0.071 MDR			2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383093013	WRCOG66B-CORRECTLY ZONE	0.105 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
379045018	WRCOG66B-CORRECTLY ZONE	0.335 MDR			2-5 DU/AC	R-1	1	1	COUNTY					EMWD
386193013	WRCOG66B-CORRECTLY ZONE	0.188 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
387222001	WRCOG66B-CORRECTLY ZONE	0.054 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381174016	WRCOG66B-CORRECTLY ZONE	0.014 MDR			2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
383105026	WRCOG66B-CORRECTLY ZONE	0.098 MDR			2-5 DU/AC	R-1	0	0	0 FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

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383203015	WRCOG66B-CORRECTLY ZONED	0.069	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
452050001	WRCOG66B-CORRECTLY ZONED	9.619	MDR		2-5 DU/AC	R-1	19	15	0					EMWD
462191011	WRCOG66B-CORRECTLY ZONED	0.164	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458352008	WRCOG66B-CORRECTLY ZONED	0.179	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458352004	WRCOG66B-CORRECTLY ZONED	0.199	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458350015	WRCOG66B-CORRECTLY ZONED	0.216	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
567123005	WRCOG66B-CORRECTLY ZONED	0.330	MDR		2-5 DU/AC	R-1A-9000	1	1	0	AREAS OF FLOODING SENSITIVITY				SGPWA
565052002	WRCOG66B-CORRECTLY ZONED	0.195	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565242041	WRCOG66B-CORRECTLY ZONED	0.160	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
563062010	WRCOG66B-CORRECTLY ZONED	0.257	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
565043012	WRCOG66B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
567123002	WRCOG66B-CORRECTLY ZONED	0.293	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
565032002	WRCOG66B-CORRECTLY ZONED	0.421	MDR		2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
561110008	WRCOG66B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
564102011	WRCOG66B-CORRECTLY ZONED	0.879	MDR		2-5 DU/AC	R-1A-9000	2	1	0					SGPWA
462213012	WRCOG66B-CORRECTLY ZONED	1.164	MDR		2-5 DU/AC	R-1	2	2	0					SGPWA
462213021	WRCOG66B-CORRECTLY ZONED	0.217	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
383163001	WRCOG66B-CORRECTLY ZONED	0.129	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
383075015	WRCOG66B-CORRECTLY ZONED	0.106	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
567112008	WRCOG66B-CORRECTLY ZONED	0.331	MDR		2-5 DU/AC	R-1A-9000	1	1	0					SGPWA
567092016	WRCOG66B-CORRECTLY ZONED	0.260	MDR		2-5 DU/AC	R-1A-9000	1	0	0					SGPWA
135500003	WRCOG66B-CORRECTLY ZONED	0.226	MDR		2-5 DU/AC	R-1-10000	0	0	0					WMWD
256085011	WRCOG66B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
283310002	WRCOG66B-CORRECTLY ZONED	0.607	MDR		2-5 DU/AC	R-1	1	1	0					WMWD
327451002	WRCOG66B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
383104009	WRCOG66B-CORRECTLY ZONED	0.092	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
386140014	WRCOG66B-CORRECTLY ZONED	6.090	MDR		2-5 DU/AC	R-1	12	10	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
383095029	WRCOG66B-CORRECTLY ZONED	0.184	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
383093012	WRCOG66B-CORRECTLY ZONED	0.073	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
387112039	WRCOG66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
381069020	WRCOG66B-CORRECTLY ZONED	0.070	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
387060033	WRCOG66B-CORRECTLY ZONED	0.932	MDR		2-5 DU/AC	R-1	2	1	COUNTY FAULT ZONE					EMWD
386210008	WRCOG66B-CORRECTLY ZONED	0.303	MDR		2-5 DU/AC	R-1	1	0	0					EMWD
383194001	WRCOG66B-CORRECTLY ZONED	0.120	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462210009	WRCOG66B-CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
561147030	WRCOG66B-CORRECTLY ZONED	0.223	MDR		2-5 DU/AC	R-3A	0	0	0					SGPWA
555000068	WRCOG66B-CORRECTLY ZONED	0.046	MDR		2-5 DU/AC	R-1-20000	0	0	0					SGPWA
564071031	WRCOG66B-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA

Housing Element Appendix A - Housing Inventory List

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561131022	WRCOG66B-CORRECTLY ZONEI	0.139	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559062002	WRCOG66B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
391080014	WRCOG66B-CORRECTLY ZONEI	33.672	MDR		2-5 DU/AC	R-4	67	54	COUNTY FAULT ZONE					EMWD
318292021	WRCOG66B-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0						EMWD
555470027	WRCOG66B-CORRECTLY ZONEI	5.657	MDR		2-5 DU/AC	R-A-20000	11	9	ELSNORE					SGPWA
102083017	WRCOG66B-CORRECTLY ZONEI	0.299	MDR		2-5 DU/AC	R-1	1	0	FAULT ZONE					WMWD
327451005	WRCOG66B-CORRECTLY ZONEI	0.172	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451059	WRCOG66B-CORRECTLY ZONEI	1.068	MDR		2-5 DU/AC	R-1	2	2						WMWD
327461007	WRCOG66B-CORRECTLY ZONEI	0.168	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451033	WRCOG66B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386151008	WRCOG66B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386192005	WRCOG66B-CORRECTLY ZONEI	0.247	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381162007	WRCOG66B-CORRECTLY ZONEI	0.117	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386203010	WRCOG66B-CORRECTLY ZONEI	0.221	MDR		2-5 DU/AC	R-1	0	0						EMWD
386201022	WRCOG66B-CORRECTLY ZONEI	0.263	MDR		2-5 DU/AC	R-1	1	0						EMWD
447290026	WRCOG66B-CORRECTLY ZONEI	0.296	MDR		2-5 DU/AC	R-1	1	0						EMWD
405092036	WRCOG66B-CORRECTLY ZONEI	0.395	MDR		2-5 DU/AC	R-1	1	1						EMWD
462191007	WRCOG66B-CORRECTLY ZONEI	0.164	MDR		2-5 DU/AC	R-1	0	0						EMWD
466391053	WRCOG66B-CORRECTLY ZONEI	0.528	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY	YES			EMWD
458340001	WRCOG66B-CORRECTLY ZONEI	0.223	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
463160019	WRCOG66B-CORRECTLY ZONEI	2.516	MDR		2-5 DU/AC	R-1	5	4		AREAS OF FLOODING SENSITIVITY				EMWD
462213016	WRCOG66B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-1	0	0		FLOODING SENSITIVITY	YES			EMWD
563171012	WRCOG66B-CORRECTLY ZONEI	0.189	MDR		2-5 DU/AC	R-1A-9000	0	0						EMWD
458341008	WRCOG66B-CORRECTLY ZONEI	0.169	MDR		2-5 DU/AC	R-1	0	0						SGPWA
557220024	WRCOG66B-CORRECTLY ZONEI	0.476	MDR		2-5 DU/AC	R-1A-9000	1	1						EMWD
557220012	WRCOG66B-CORRECTLY ZONEI	1.098	MDR		2-5 DU/AC	R-1A-9000	2	2						SGPWA
552260005	WRCOG66B-CORRECTLY ZONEI	2.350	MDR		2-5 DU/AC	R-1	5	4						SGPWA
563264010	WRCOG66B-CORRECTLY ZONEI	0.458	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
557211006	WRCOG66B-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
561121037	WRCOG66B-CORRECTLY ZONEI	0.131	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559161004	WRCOG66B-CORRECTLY ZONEI	0.115	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
565244003	WRCOG66B-CORRECTLY ZONEI	0.193	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
480180026	WRCOG66B-CORRECTLY ZONEI	0.107	MDR		2-5 DU/AC	R-1	0	0					Zone E	EMWD
308140010	WRCOG66B-CORRECTLY ZONEI	3.509	MDR		2-5 DU/AC	R-A-5	7	6		AREAS OF FLOODING SENSITIVITY				WMWD
308150007	WRCOG66B-CORRECTLY ZONEI	68.345	MDR		2-5 DU/AC	R-A-5	137	109		AREAS OF FLOODING SENSITIVITY	YES			WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
381071009	WRCO66B-CORRECTLY ZONED	0.077	MDR		2-5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
40806002	WRCO66B-CORRECTLY ZONED	0.029	MDR		2-5 DU/AC	R-T	0	0						EMWD
386199019	WRCO66B-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
383091026	WRCO66B-CORRECTLY ZONED	0.078	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
387213021	WRCO66B-CORRECTLY ZONED	0.119	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383184003	WRCO66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383162006	WRCO66B-CORRECTLY ZONED	0.126	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387213002	WRCO66B-CORRECTLY ZONED	0.071	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383183009	WRCO66B-CORRECTLY ZONED	0.131	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
462050002	WRCO66B-CORRECTLY ZONED	39.917	MDR		2-5 DU/AC	R-1	80	64		AREAS OF FLOODING SENSITIVITY				EMWD
458350017	WRCO66B-CORRECTLY ZONED	0.241	MDR		2-5 DU/AC	R-1	0	0						EMWD
462213025	WRCO66B-CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
458341005	WRCO66B-CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	R-1	0	0						EMWD
561181035	WRCO66B-CORRECTLY ZONED	0.570	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
557212003	WRCO66B-CORRECTLY ZONED	0.619	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
561151025	WRCO66B-CORRECTLY ZONED	0.478	MDR		2-5 DU/AC	R-1A-9000	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563222011	WRCO66B-CORRECTLY ZONED	0.043	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563300012	WRCO66B-CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-3A	0	0						SGPWA
563263012	WRCO66B-CORRECTLY ZONED	0.468	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
563121009	WRCO66B-CORRECTLY ZONED	0.203	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
559162019	WRCO66B-CORRECTLY ZONED	0.164	MDR		2-5 DU/AC	R-3A-20000	0	0						SGPWA
561151009	WRCO66B-CORRECTLY ZONED	0.474	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
567082018	WRCO66B-CORRECTLY ZONED	0.481	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564095008	WRCO66B-CORRECTLY ZONED	0.193	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
382050056	WRCO66B-CORRECTLY ZONED	0.417	MDR		2-5 DU/AC	R-1A	1	1	COUNTY FAULT ZONE					EMWD
462200007	WRCO66B-CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362025	WRCO66B-CORRECTLY ZONED	0.219	MDR		2-5 DU/AC	R-1	0	0						EMWD
255150016	WRCO66B-CORRECTLY ZONED	9.765	MDR		2-5 DU/AC	R-1	20	16						WAWWD
308160007	WRCO66B-CORRECTLY ZONED	0.188	MDR		2-5 DU/AC	R-A-5	0	0			YES			WAWWD
386190004	WRCO66B-CORRECTLY ZONED	0.159	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
386201013	WRCO66B-CORRECTLY ZONED	0.263	MDR		2-5 DU/AC	R-1	1	1	COUNTY FAULT ZONE					EMWD
383182001	WRCO66B-CORRECTLY ZONED	0.200	MDR		2-5 DU/AC	R-1	0	0						EMWD
383187010	WRCO66B-CORRECTLY ZONED	0.259	MDR		2-5 DU/AC	R-1	1	1						EMWD



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434272004	WRCOG6B-CORRECTLY ZONE	0.295 MDR			2-5 DU/AC	R-1	1	0						EMWD
383192003	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-1	0	0						EMWD
462213029	WRCOG6B-CORRECTLY ZONE	0.168 MDR			2-5 DU/AC	R-1	0	0						EMWD
450133008	WRCOG6B-CORRECTLY ZONE	0.554 MDR			2-5 DU/AC	R-1	1	1						EMWD
462202037	WRCOG6B-CORRECTLY ZONE	0.183 MDR			2-5 DU/AC	R-1	0	0						EMWD
426060022	WRCOG6B-CORRECTLY ZONE	29.989 MDR			2-5 DU/AC	R-1	60	48			YES			EMWD
462193009	WRCOG6B-CORRECTLY ZONE	0.180 MDR			2-5 DU/AC	R-1	0	0						EMWD
466991036	WRCOG6B-CORRECTLY ZONE	0.187 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
462192011	WRCOG6B-CORRECTLY ZONE	0.184 MDR			2-5 DU/AC	R-1	0	0						EMWD
462202002	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1	0	0						EMWD
463160018	WRCOG6B-CORRECTLY ZONE	2.505 MDR			2-5 DU/AC	R-1	5	4		AREAS OF FLOODING SENSITIVITY	YES			EMWD
563191004	WRCOG6B-CORRECTLY ZONE	0.236 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
561069001	WRCOG6B-CORRECTLY ZONE	0.279 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
564112021	WRCOG6B-CORRECTLY ZONE	0.170 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564051010	WRCOG6B-CORRECTLY ZONE	0.232 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565102030	WRCOG6B-CORRECTLY ZONE	0.399 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563062030	WRCOG6B-CORRECTLY ZONE	0.138 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565130017	WRCOG6B-CORRECTLY ZONE	1.086 MDR			2-5 DU/AC	R-1A-9000	2	2						SGPWA
563171010	WRCOG6B-CORRECTLY ZONE	0.161 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564092001	WRCOG6B-CORRECTLY ZONE	0.408 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564091008	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564093010	WRCOG6B-CORRECTLY ZONE	0.221 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563123003	WRCOG6B-CORRECTLY ZONE	0.456 MDR			2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
966390003	WRCOG6B-CORRECTLY ZONE	4.388 MDR			2-5 DU/AC	R-1	9	7						CVWD
256073001	WRCOG6B-CORRECTLY ZONE	0.221 MDR			2-5 DU/AC	R-1	0	0						WMWD
386153011	WRCOG6B-CORRECTLY ZONE	0.067 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
382041010	WRCOG6B-CORRECTLY ZONE	0.074 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386201018	WRCOG6B-CORRECTLY ZONE	0.219 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151041	WRCOG6B-CORRECTLY ZONE	0.143 MDR			2-5 DU/AC	R-1	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
386151022	WRCOG6B-CORRECTLY ZONE	0.145 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
387180008	WRCOG6B-CORRECTLY ZONE	0.256 MDR			2-5 DU/AC	R-1	1	1	COUNTY					EMWD
383182017	WRCOG6B-CORRECTLY ZONE	0.439 MDR			2-5 DU/AC	R-1	1	1	COUNTY					EMWD
462190009	WRCOG6B-CORRECTLY ZONE	0.196 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
438210012	WRCOG6B-CORRECTLY ZONE	0.985 MDR			2-5 DU/AC	R-2	2	2						EMWD
462202035	WRCOG6B-CORRECTLY ZONE	0.174 MDR			2-5 DU/AC	R-1	0	0						EMWD
447041006	WRCOG6B-CORRECTLY ZONE	0.125 MDR			2-5 DU/AC	R-1	0	0						EMWD
462192019	WRCOG6B-CORRECTLY ZONE	0.172 MDR			2-5 DU/AC	R-1	0	0						EMWD
462213019	WRCOG6B-CORRECTLY ZONE	0.219 MDR			2-5 DU/AC	R-1	0	0						EMWD
463160020	WRCOG6B-CORRECTLY ZONE	4.343 MDR			2-5 DU/AC	R-1	9	7		AREAS OF FLOODING SENSITIVITY	YES			EMWD

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458352010	WRCOG66B-CORRECTLY ZONEI	0.198	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
567121006	WRCOG66B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
561151014	WRCOG66B-CORRECTLY ZONEI	0.204	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
565231001	WRCOG66B-CORRECTLY ZONEI	0.468	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
564062006	WRCOG66B-CORRECTLY ZONEI	0.249	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
568221002	WRCOG66B-CORRECTLY ZONEI	0.356	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
563193005	WRCOG66B-CORRECTLY ZONEI	2.695	MDR		2-5 DU/AC	R-1A-9000	5	4						SGPWA
561151038	WRCOG66B-CORRECTLY ZONEI	0.508	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565231011	WRCOG66B-CORRECTLY ZONEI	0.590	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
561142009	WRCOG66B-CORRECTLY ZONEI	0.094	MDR		2-5 DU/AC	R-1A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567102004	WRCOG66B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567081002	WRCOG66B-CORRECTLY ZONEI	0.762	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
555310008	WRCOG66B-CORRECTLY ZONEI	1.442	MDR		2-5 DU/AC	R-1	3	2						SGPWA
564071027	WRCOG66B-CORRECTLY ZONEI	0.167	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
564195001	WRCOG66B-CORRECTLY ZONEI	0.156	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
327451053	WRCOG66B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WNAWD
567112020	WRCOG66B-CORRECTLY ZONEI	0.244	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
476270012	WRCOG66B-CORRECTLY ZONEI	2.086	MDR		2-5 DU/AC	R-A-2 1/2	4	3		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
256083012	WRCOG66B-CORRECTLY ZONEI	0.402	MDR		2-5 DU/AC	R-1	1	1						WNAWD
308170003	WRCOG66B-CORRECTLY ZONEI	0.194	MDR		2-5 DU/AC	R-A-5	0	0		YES				WNAWD
327463008	WRCOG66B-CORRECTLY ZONEI	0.173	MDR		2-5 DU/AC	R-1	0	0						WNAWD
318292009	WRCOG66B-CORRECTLY ZONEI	0.235	MDR		2-5 DU/AC	R-1	0	0						WNAWD
387092054	WRCOG66B-CORRECTLY ZONEI	0.062	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
383041028	WRCOG66B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383042012	WRCOG66B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381281030	WRCOG66B-CORRECTLY ZONEI	0.149	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
402382014	WRCOG66B-CORRECTLY ZONEI	0.111	MDR		2-5 DU/AC	R-T	0	0	COUNTY FAULT ZONE					EMWD
458341001	WRCOG66B-CORRECTLY ZONEI	0.176	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
447312016	WRCOG66B-CORRECTLY ZONEI	0.337	MDR		2-5 DU/AC	R-1	1	1						EMWD
462210017	WRCOG66B-CORRECTLY ZONEI	0.177	MDR		2-5 DU/AC	R-1	0	0						EMWD
462213031	WRCOG66B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362040	WRCOG66B-CORRECTLY ZONEI	0.184	MDR		2-5 DU/AC	R-1	0	0						EMWD
458335008	WRCOG66B-CORRECTLY ZONEI	0.502	MDR		2-5 DU/AC	R-1-20000	1	1						EMWD

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567102015	WR066B-CORRECTLY ZONED	0.216 MDR			2-5 DU/AC	R-1A-9000	0	0		FLOODING AREAS OF SENSITIVITY				SGPWA
565281002	WR066B-CORRECTLY ZONED	0.328 MDR			2-5 DU/AC	R-1A-15000	1	1						SGPWA
561203005	WR066B-CORRECTLY ZONED	0.483 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
563231016	WR066B-CORRECTLY ZONED	0.358 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564186010	WR066B-CORRECTLY ZONED	0.360 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
565233008	WR066B-CORRECTLY ZONED	0.191 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565191015	WR066B-CORRECTLY ZONED	1.526 MDR			2-5 DU/AC	R-1A-9000	3	2						SGPWA
564140041	WR066B-CORRECTLY ZONED	0.232 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564071015	WR066B-CORRECTLY ZONED	0.251 MDR			2-5 DU/AC	R-1A-9000	1	0						SGPWA
553150040	WR066B-CORRECTLY ZONED	0.060 MDR			2-5 DU/AC	R-1-20000	0	0						SGPWA
564104022	WR066B-CORRECTLY ZONED	0.188 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
382050033	WR066B-CORRECTLY ZONED	0.076 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
561041005	WR066B-CORRECTLY ZONED	0.275 MDR			2-5 DU/AC	R-3A	1	0						EMWD
563233010	WR066B-CORRECTLY ZONED	0.348 MDR			2-5 DU/AC	R-3A	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
383073006	WR066B-CORRECTLY ZONED	0.086 MDR			2-5 DU/AC	R-1	0	0						EMWD
565243001	WR066B-CORRECTLY ZONED	0.171 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
135551004	WR066B-CORRECTLY ZONED	0.351 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
247044003	WR066B-CORRECTLY ZONED	0.108 MDR			2-5 DU/AC	R-1	0	0						WMWD
246107009	WR066B-CORRECTLY ZONED	0.381 MDR			2-5 DU/AC	R-1	1	1						WMWD
290241015	WR066B-CORRECTLY ZONED	0.228 MDR			2-5 DU/AC	R-1	0	0						WMWD
317210018	WR066B-CORRECTLY ZONED	34.420 MDR			2-5 DU/AC	R-1	69	55						WMWD
317210022	WR066B-CORRECTLY ZONED	1.092 MDR			2-5 DU/AC	R-1	2	2						WMWD
327451058	WR066B-CORRECTLY ZONED	0.202 MDR			2-5 DU/AC	R-1	0	0						WMWD
327452003	WR066B-CORRECTLY ZONED	0.168 MDR			2-5 DU/AC	R-1	0	0						WMWD
387162027	WR066B-CORRECTLY ZONED	0.176 MDR			2-5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387180003	WR066B-CORRECTLY ZONED	0.758 MDR			2-5 DU/AC	R-1	2	1	COUNTY FAULT ZONE					EMWD
386203008	WR066B-CORRECTLY ZONED	0.479 MDR			2-5 DU/AC	R-1	1	1						EMWD
381272035	WR066B-CORRECTLY ZONED	0.098 MDR			2-5 DU/AC	R-3	0	0						EMWD
405092035	WR066B-CORRECTLY ZONED	0.393 MDR			2-5 DU/AC	R-1	1	1						EMWD
381281026	WR066B-CORRECTLY ZONED	0.148 MDR			2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE					EMWD
449280040	WR066B-CORRECTLY ZONED	0.098 MDR			2-5 DU/AC	R-1-12000	0	0						EMWD
462212002	WR066B-CORRECTLY ZONED	0.177 MDR			2-5 DU/AC	R-1	0	0						EMWD
426103003	WR066B-CORRECTLY ZONED	1.498 MDR			2-5 DU/AC	R-1	3	2						EMWD
458372012	WR066B-CORRECTLY ZONED	0.178 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
459110018	WR066B-CORRECTLY ZONED	0.166 MDR			2-5 DU/AC	R-T	0	0		FLOODING AREAS OF SENSITIVITY				EMWD
561191008	WR066B-CORRECTLY ZONED	0.198 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
564111006	WR066B-CORRECTLY ZONED	0.361 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
564221003	WR066B-CORRECTLY ZONED	0.313 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CYAC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
563212013	WRCOG66B-CORRECTLY ZONE	0.533	MDR		2.5 DU/AC	R-1A-9000	1	1		FLOODING SENSITIVITY				SGPWA
552080002	WRCOG66B-CORRECTLY ZONE	4.708	MDR		2.5 DU/AC	R-1	9	8						SGPWA
565192009	WRCOG66B-CORRECTLY ZONE	0.271	MDR		2.5 DU/AC	R-1A-9000	1	0						SGPWA
565227015	WRCOG66B-CORRECTLY ZONE	0.198	MDR		2.5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
383073012	WRCOG66B-CORRECTLY ZONE	0.091	MDR		2.5 DU/AC	R-1	0	0						EMWD
247053013	WRCOG66B-CORRECTLY ZONE	0.095	MDR		2.5 DU/AC	R-1	0	0						WMWD
247045010	WRCOG66B-CORRECTLY ZONE	0.214	MDR		2.5 DU/AC	R-1	0	0						WMWD
327451030	WRCOG66B-CORRECTLY ZONE	0.175	MDR		2.5 DU/AC	R-1	0	0	COUNTY					WMWD
386151037	WRCOG66B-CORRECTLY ZONE	0.072	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
382026004	WRCOG66B-CORRECTLY ZONE	0.118	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
381064018	WRCOG66B-CORRECTLY ZONE	0.070	MDR		2.5 DU/AC	R-3	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
387212062	WRCOG66B-CORRECTLY ZONE	0.106	MDR		2.5 DU/AC	R-1	0	0	COUNTY					EMWD
447260015	WRCOG66B-CORRECTLY ZONE	0.591	MDR		2.5 DU/AC	R-1	1	1						EMWD
462060006	WRCOG66B-CORRECTLY ZONE	10.007	MDR		2.5 DU/AC	R-1	20	16		AREAS OF FLOODING SENSITIVITY				EMWD
462192008	WRCOG66B-CORRECTLY ZONE	0.166	MDR		2.5 DU/AC	R-1	0	0						EMWD
565042002	WRCOG66B-CORRECTLY ZONE	0.121	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
563062018	WRCOG66B-CORRECTLY ZONE	0.152	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
563264004	WRCOG66B-CORRECTLY ZONE	0.464	MDR		2.5 DU/AC	R-3A	1	1						SGPWA
561166014	WRCOG66B-CORRECTLY ZONE	0.447	MDR		2.5 DU/AC	R-1A-9000	1	1						SGPWA
559158006	WRCOG66B-CORRECTLY ZONE	0.147	MDR		2.5 DU/AC	R-3A-20000	0	0						SGPWA
565242018	WRCOG66B-CORRECTLY ZONE	0.187	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
564192004	WRCOG66B-CORRECTLY ZONE	0.993	MDR		2.5 DU/AC	R-3A-20000	2	2						SGPWA
434260011	WRCOG66B-CORRECTLY ZONE	0.832	MDR		2.5 DU/AC	R-3	2	1						SGPWA
557220025	WRCOG66B-CORRECTLY ZONE	0.983	MDR		2.5 DU/AC	R-3	2	2						EMWD
563192002	WRCOG66B-CORRECTLY ZONE	0.089	MDR		2.5 DU/AC	R-1A-9000	0	0						SGPWA
	WRCOG66B-CORRECTLY ZONE	0.278	MDR		2.5 DU/AC	R-3A	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
308190004	WRCOG66B-CORRECTLY ZONE	0.176	MDR		2.5 DU/AC	R-A-5	0	0			YES			WMWD
309290036	WRCOG66B-CORRECTLY ZONE	4.457	MDR		2.5 DU/AC	R-1	9	7						WMWD
386193005	WRCOG66B-CORRECTLY ZONE	0.195	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
387252018	WRCOG66B-CORRECTLY ZONE	0.115	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD
383202008	WRCOG66B-CORRECTLY ZONE	0.133	MDR		2.5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
386193026	WRCOG66B-CORRECTLY ZONE	0.211	MDR		2.5 DU/AC	R-1	0	0	COUNTY FAULT ZONE					EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE COUNTY	FLOOD	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
387162024	WRCOG68-CORRECTLY ZONEI	0.125	MDR		2-5 DU/AC	R-1	0	0	0	FAULT ZONE				EMWD
38830027	WRCOG68-CORRECTLY ZONEI	0.009	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
447211013	WRCOG68-CORRECTLY ZONEI	1.918	MDR		2-5 DU/AC	R-1	4	3	3					EMWD
458350001	WRCOG68-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458340046	WRCOG68-CORRECTLY ZONEI	0.201	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
457311006	WRCOG68-CORRECTLY ZONEI	0.241	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				EMWD
458351002	WRCOG68-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
561094004	WRCOG68-CORRECTLY ZONEI	0.433	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
561142021	WRCOG68-CORRECTLY ZONEI	0.263	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
561151010	WRCOG68-CORRECTLY ZONEI	0.402	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
564103008	WRCOG68-CORRECTLY ZONEI	0.402	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
563187002	WRCOG68-CORRECTLY ZONEI	0.508	MDR		2-5 DU/AC	R-3A	1	1	1					SGPWA
557201008	WRCOG68-CORRECTLY ZONEI	0.413	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
561203003	WRCOG68-CORRECTLY ZONEI	0.386	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
565232003	WRCOG68-CORRECTLY ZONEI	0.389	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
564104016	WRCOG68-CORRECTLY ZONEI	0.005	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
561155007	WRCOG68-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565161027	WRCOG68-CORRECTLY ZONEI	0.323	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
434260027	WRCOG68-CORRECTLY ZONEI	0.490	MDR		2-5 DU/AC	R-3	1	1	1					EMWD
383076012	WRCOG68-CORRECTLY ZONEI	0.115	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
309290037	WRCOG68-CORRECTLY ZONEI	4.974	MDR		2-5 DU/AC	R-1	10	8	8					WMWD
140150043	WRCOG68-CORRECTLY ZONEI	1.020	MDR		2-5 DU/AC	R-4	2	2	2	YES				WMWD
135530001	WRCOG68-CORRECTLY ZONEI	0.234	MDR		2-5 DU/AC	R-1-10000	0	0	0					WMWD
140351026	WRCOG68-CORRECTLY ZONEI	0.227	MDR		2-5 DU/AC	R-1	0	0	0					WMWD
247044007	WRCOG68-CORRECTLY ZONEI	0.114	MDR		2-5 DU/AC	R-1	0	0	0	AREAS OF FLOODING SENSITIVITY				WMWD
308150006	WRCOG68-CORRECTLY ZONEI	20.008	MDR		2-5 DU/AC	R-A-5	40	32	32					WMWD
388362003	WRCOG68-CORRECTLY ZONEI	0.182	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
381063004	WRCOG68-CORRECTLY ZONEI	0.099	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
381272036	WRCOG68-CORRECTLY ZONEI	0.101	MDR		2-5 DU/AC	R-3	0	0	0					EMWD
458362021	WRCOG68-CORRECTLY ZONEI	0.174	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
462213021	WRCOG68-CORRECTLY ZONEI	0.216	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
458372006	WRCOG68-CORRECTLY ZONEI	0.221	MDR		2-5 DU/AC	R-1	0	0	0					EMWD
450020008	WRCOG68-CORRECTLY ZONEI	3.654	MDR		2-5 DU/AC	R-1	7	6	6					EMWD
549501037	WRCOG68-CORRECTLY ZONEI	0.007	MDR		2-5 DU/AC	R-T	0	0	0					SGPWA
561123009	WRCOG68-CORRECTLY ZONEI	0.061	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
565290006	WRCOG68-CORRECTLY ZONEI	0.338	MDR		2-5 DU/AC	R-1A-15000	1	1	1					SGPWA
565041023	WRCOG68-CORRECTLY ZONEI	0.154	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
564140023	WRCOG68-CORRECTLY ZONEI	0.196	MDR		2-5 DU/AC	R-1A-9000	0	0	0					SGPWA
561072014	WRCOG68-CORRECTLY ZONEI	0.388	MDR		2-5 DU/AC	R-1A-9000	1	1	1					SGPWA
558158007	WRCOG68-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-3A-20000	0	0	0					SGPWA
561043005	WRCOG68-CORRECTLY ZONEI	0.056	MDR		2-5 DU/AC	R-1A-9000	0	0	0	COUNTY				SGPWA
382050067	WRCOG68-CORRECTLY ZONEI	0.133	MDR		2-5 DU/AC	R-1A	0	0	0					EMWD
247160024	WRCOG68-CORRECTLY ZONEI	0.142	MDR		2-5 DU/AC	R-1	0	0	0					WMWD

Housing Element Appendix A - Housing Inventory List

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308180009	WRCOG6B-CORRECTLY ZONEI	0.249	MDR		2-5 DU/AC	R-A-5	0	0						WMWD
327451044	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0						WMWD
327451041	WRCOG6B-CORRECTLY ZONEI	0.175	MDR		2-5 DU/AC	R-1	0	0	COUNTY					WMWD
386152012	WRCOG6B-CORRECTLY ZONEI	0.143	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
386153023	WRCOG6B-CORRECTLY ZONEI	0.157	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381281022	WRCOG6B-CORRECTLY ZONEI	0.139	MDR		2-5 DU/AC	R-3	0	0	0 FAULT ZONE					EMWD
408050012	WRCOG6B-CORRECTLY ZONEI	0.015	MDR		2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
383033007	WRCOG6B-CORRECTLY ZONEI	0.226	MDR		2-5 DU/AC	R-1	0	0						EMWD
386210104	WRCOG6B-CORRECTLY ZONEI	0.389	MDR		2-5 DU/AC	R-1	1	1	COUNTY					EMWD
387222031	WRCOG6B-CORRECTLY ZONEI	0.229	MDR		2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383194008	WRCOG6B-CORRECTLY ZONEI	0.499	MDR		2-5 DU/AC	R-1	1	1	0 FAULT ZONE					EMWD
388072031	WRCOG6B-CORRECTLY ZONEI	0.809	MDR		2-5 DU/AC	R-1	2	2	COUNTY		YES			EMWD
387212044	WRCOG6B-CORRECTLY ZONEI	0.180	MDR		2-5 DU/AC	R-1	0	0	0 FAULT ZONE					EMWD
462190002	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
447280019	WRCOG6B-CORRECTLY ZONEI	0.017	MDR		2-5 DU/AC	R-1	0	0						EMWD
458362029	WRCOG6B-CORRECTLY ZONEI	0.312	MDR		2-5 DU/AC	R-1	1	0						EMWD
466391007	WRCOG6B-CORRECTLY ZONEI	0.170	MDR		2-5 DU/AC	R-1	0	0			YES			EMWD
476090010	WRCOG6B-CORRECTLY ZONEI	5.008	MDR		2-5 DU/AC	R-1	10	8		AREAS OF FLOODING SENSITIVITY				EMWD
462213024	WRCOG6B-CORRECTLY ZONEI	0.166	MDR		2-5 DU/AC	R-1	0	0						EMWD
567123025	WRCOG6B-CORRECTLY ZONEI	0.148	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
557230015	WRCOG6B-CORRECTLY ZONEI	1.902	MDR		2-5 DU/AC	R-1A-9000	4	3						SGPWA
561103017	WRCOG6B-CORRECTLY ZONEI	0.437	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
565225031	WRCOG6B-CORRECTLY ZONEI	0.185	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
567102020	WRCOG6B-CORRECTLY ZONEI	0.230	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
548120006	WRCOG6B-CORRECTLY ZONEI	4.324	MDR		2-5 DU/AC	R-1	9	7						SGPWA
564071020	WRCOG6B-CORRECTLY ZONEI	0.215	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563181004	WRCOG6B-CORRECTLY ZONEI	2.719	MDR		2-5 DU/AC	R-3A	5	4						SGPWA
567102009	WRCOG6B-CORRECTLY ZONEI	0.192	MDR		2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
564132005	WRCOG6B-CORRECTLY ZONEI	0.142	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563051006	WRCOG6B-CORRECTLY ZONEI	0.360	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
318292011	WRCOG6B-CORRECTLY ZONEI	0.289	MDR		2-5 DU/AC	R-1	1	0						WMWD
458340049	WRCOG6B-CORRECTLY ZONEI	0.129	MDR		2-5 DU/AC	R-1-20000	0	0						EMWD
563043003	WRCOG6B-CORRECTLY ZONEI	0.405	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA

Housing Element Appendix A - Housing Inventory List

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476270005	WRCOG6B-CORRECTLY ZONEE	2.262 MDR			2-5 DU/AC	R-A-2.1/2	5	4		FLOODING SENSITIVITY			Zone E	EMWD
140320018	WRCOG6B-CORRECTLY ZONEE	0.178 MDR			2-5 DU/AC	R-1	0	0						WMWD
140351016	WRCOG6B-CORRECTLY ZONEE	0.348 MDR			2-5 DU/AC	R-1	1	1						WMWD
308190008	WRCOG6B-CORRECTLY ZONEE	0.178 MDR			2-5 DU/AC	R-A-5	0	0		AREAS OF FLOODING SENSITIVITY	YES			WMWD
318785007	WRCOG6B-CORRECTLY ZONEE	0.185 MDR			2-5 DU/AC	R-1	0	0	COUNTY		YES			WMWD
386152024	WRCOG6B-CORRECTLY ZONEE	0.138 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386191001	WRCOG6B-CORRECTLY ZONEE	0.220 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
381062026	WRCOG6B-CORRECTLY ZONEE	0.066 MDR			2-5 DU/AC	R-3	0	0	0	FLOODING SENSITIVITY				EMWD
381064012	WRCOG6B-CORRECTLY ZONEE	0.068 MDR			2-5 DU/AC	R-3	0	0	0					EMWD
438220013	WRCOG6B-CORRECTLY ZONEE	3.945 MDR			2-5 DU/AC	R-2	8	6						EMWD
434221004	WRCOG6B-CORRECTLY ZONEE	2.316 MDR			2-5 DU/AC	R-A	5	4						EMWD
462202033	WRCOG6B-CORRECTLY ZONEE	0.180 MDR			2-5 DU/AC	R-1	0	0						EMWD
447140011	WRCOG6B-CORRECTLY ZONEE	0.137 MDR			2-5 DU/AC	R-3	0	0						EMWD
462211005	WRCOG6B-CORRECTLY ZONEE	0.183 MDR			2-5 DU/AC	R-1	0	0						EMWD
447312021	WRCOG6B-CORRECTLY ZONEE	0.346 MDR			2-5 DU/AC	R-1	1	1						EMWD
565281004	WRCOG6B-CORRECTLY ZONEE	0.347 MDR			2-5 DU/AC	R-1A-15000	1	1						EMWD
561041007	WRCOG6B-CORRECTLY ZONEE	0.268 MDR			2-5 DU/AC	R-3A	1	1						SGPWA
555500065	WRCOG6B-CORRECTLY ZONEE	0.248 MDR			2-5 DU/AC	R-1-20000	0	0						SGPWA
563074003	WRCOG6B-CORRECTLY ZONEE	0.349 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
567112002	WRCOG6B-CORRECTLY ZONEE	0.225 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
476010045	WRCOG6B-CORRECTLY ZONEE	1.515 MDR			2-5 DU/AC	R-A-2.1/2	3	2						EMWD
135050007	WRCOG6B-CORRECTLY ZONEE	0.908 MDR			2-5 DU/AC	R-1	2	1		AREAS OF FLOODING SENSITIVITY	YES			WMWD
308190011	WRCOG6B-CORRECTLY ZONEE	0.178 MDR			2-5 DU/AC	R-A-5	0	0						WMWD
327452015	WRCOG6B-CORRECTLY ZONEE	0.168 MDR			2-5 DU/AC	R-1	0	0						WMWD
371252009	WRCOG6B-CORRECTLY ZONEE	0.168 MDR			2-5 DU/AC	R-1	0	0	COUNTY	FLOODING SENSITIVITY				EMWD
386192014	WRCOG6B-CORRECTLY ZONEE	0.242 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386154009	WRCOG6B-CORRECTLY ZONEE	0.234 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
383201010	WRCOG6B-CORRECTLY ZONEE	2.062 MDR			2-5 DU/AC	R-3	4	3	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
381290016	WRCOG6B-CORRECTLY ZONEE	0.419 MDR			2-5 DU/AC	R-3	1	1	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
381232033	WRCOG6B-CORRECTLY ZONEE	0.107 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386152006	WRCOG6B-CORRECTLY ZONEE	0.136 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD
386151019	WRCOG6B-CORRECTLY ZONEE	0.152 MDR			2-5 DU/AC	R-1	0	0	COUNTY					EMWD



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408050010	WRCOG6B-CORRECTLY ZONE	2.087 MDR			2-5 DU/AC	R-T	4	3		AREAS OF FLOODING SENSITIVITY				EMWD
434260013	WRCOG6B-CORRECTLY ZONE	0.493 MDR			2-5 DU/AC	R-3	1	1		AREAS OF FLOODING SENSITIVITY				EMWD
402361028	WRCOG6B-CORRECTLY ZONE	0.080 MDR			2-5 DU/AC	R-T	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
450091007	WRCOG6B-CORRECTLY ZONE	0.117 MDR			2-5 DU/AC	R-1	0	0						EMWD
462192015	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0						EMWD
457310022	WRCOG6B-CORRECTLY ZONE	0.247 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
462199004	WRCOG6B-CORRECTLY ZONE	0.185 MDR			2-5 DU/AC	R-1	0	0						EMWD
458362009	WRCOG6B-CORRECTLY ZONE	0.179 MDR			2-5 DU/AC	R-1	0	0						EMWD
564093011	WRCOG6B-CORRECTLY ZONE	0.178 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565042012	WRCOG6B-CORRECTLY ZONE	0.136 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
565180017	WRCOG6B-CORRECTLY ZONE	0.219 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563191006	WRCOG6B-CORRECTLY ZONE	0.210 MDR			2-5 DU/AC	R-3A	0	0						SGPWA
552032008	WRCOG6B-CORRECTLY ZONE	0.169 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
564181004	WRCOG6B-CORRECTLY ZONE	0.245 MDR			2-5 DU/AC	R-1A-9000	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
566252002	WRCOG6B-CORRECTLY ZONE	0.201 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
563191001	WRCOG6B-CORRECTLY ZONE	0.208 MDR			2-5 DU/AC	R-3A	0	0						SGPWA
564140011	WRCOG6B-CORRECTLY ZONE	0.849 MDR			2-5 DU/AC	R-1A-9000	2	1						SGPWA
565043005	WRCOG6B-CORRECTLY ZONE	0.193 MDR			2-5 DU/AC	R-1A-9000	0	0						SGPWA
476270003	WRCOG6B-CORRECTLY ZONE	2.139 MDR			2-5 DU/AC	R-4-2 1/2	4	3		AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
135541002	WRCOG6B-CORRECTLY ZONE	0.339 MDR			2-5 DU/AC	R-1-10000	1	1						WMWD
270350060	WRCOG6B-CORRECTLY ZONE	0.562 MDR			2-5 DU/AC	R-1	1	1			YES			WMWD
327461004	WRCOG6B-CORRECTLY ZONE	0.177 MDR			2-5 DU/AC	R-1	0	0						WMWD
381281021	WRCOG6B-CORRECTLY ZONE	0.131 MDR			2-5 DU/AC	R-3	0	0	COUNTY					EMWD
386201019	WRCOG6B-CORRECTLY ZONE	0.214 MDR			2-5 DU/AC	R-1	0	0	FAULT ZONE					EMWD
386201014	WRCOG6B-CORRECTLY ZONE	0.275 MDR			2-5 DU/AC	R-1	1	0	COUNTY					EMWD
408050004	WRCOG6B-CORRECTLY ZONE	3.630 MDR			2-5 DU/AC	R-T	7	6		AREAS OF FLOODING SENSITIVITY				EMWD
383192002	WRCOG6B-CORRECTLY ZONE	0.215 MDR			2-5 DU/AC	R-1	0	0						EMWD
383194006	WRCOG6B-CORRECTLY ZONE	0.192 MDR			2-5 DU/AC	R-1	0	0						EMWD
466391031	WRCOG6B-CORRECTLY ZONE	0.173 MDR			2-5 DU/AC	R-1	0	0			YES			EMWD
458350019	WRCOG6B-CORRECTLY ZONE	0.504 MDR			2-5 DU/AC	R-1-20000	1	1						EMWD
458362006	WRCOG6B-CORRECTLY ZONE	0.164 MDR			2-5 DU/AC	R-1	0	0						EMWD
462190003	WRCOG6B-CORRECTLY ZONE	0.167 MDR			2-5 DU/AC	R-1	0	0						EMWD
462202036	WRCOG6B-CORRECTLY ZONE	0.181 MDR			2-5 DU/AC	R-1	0	0		AREAS OF FLOODING SENSITIVITY				EMWD
563282003	WRCOG6B-CORRECTLY ZONE	0.528 MDR			2-5 DU/AC	R-1A-9000	1	1						SGPWA
559161003	WRCOG6B-CORRECTLY ZONE	0.109 MDR			2-5 DU/AC	R-3A-20000	0	0						SGPWA

Housing Element Appendix A - Housing Inventory List

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567103014	WRCOG66B-CORRECTLY ZONED	0.213	MDR		2-5 DU/AC	R-1A-9000	0	0						SGPWA
563231014	WRCOG66B-CORRECTLY ZONED	0.592	MDR		2-5 DU/AC	R-3A	1	1						SGPWA
458360010	WRCOG66B-CORRECTLY ZONED	0.119	MDR		2-5 DU/AC	R-1-20000	0	0						EMWD
966420030	WRCOG66B-CORRECTLY ZONED	0.192	MDR		2-5 DU/AC	R-5	0	0						EMWD
553331008	WRCOG66B-CORRECTLY ZONED	0.362	MDR		2-5 DU/AC	R-1	1	1						SGPWA
564140050	WRCOG66B-CORRECTLY ZONED	0.359	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
553330007	WRCOG66B-CORRECTLY ZONED	0.365	MDR		2-5 DU/AC	R-1	1	1						SGPWA
561220033	WRCOG66B-CORRECTLY ZONED	0.540	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
553330003	WRCOG66B-CORRECTLY ZONED	0.316	MDR		2-5 DU/AC	R-1	1	1	COUNTY					SGPWA
381300019	WRCOG66B-CORRECTLY ZONED	0.595	MDR		2-5 DU/AC	R-3	1	1	FAULT ZONE					EMWD
461210030	WRCOG66B-CORRECTLY ZONED	23.754	MDR		2-5 DU/AC	SP ZONE	48	38		YES				EMWD
451260042	WRCOG66B-CORRECTLY ZONED	0.200	MDR		2-5 DU/AC	R-1	0	0						EMWD
966420031	WRCOG66B-CORRECTLY ZONED	0.055	MDR		2-5 DU/AC	R-5	0	0						EMWD
563213042	WRCOG66B-CORRECTLY ZONED	0.902	MDR		2-5 DU/AC	R-1A-9000	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
553330011	WRCOG66B-CORRECTLY ZONED	0.301	MDR		2-5 DU/AC	R-1	1	0						SGPWA
451260046	WRCOG66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260033	WRCOG66B-CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260034	WRCOG66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
553330008	WRCOG66B-CORRECTLY ZONED	0.367	MDR		2-5 DU/AC	R-1	1	1		AREAS OF FLOODING SENSITIVITY				SGPWA
563222055	WRCOG66B-CORRECTLY ZONED	0.919	MDR		2-5 DU/AC	R-3A	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
553330002	WRCOG66B-CORRECTLY ZONED	0.316	MDR		2-5 DU/AC	R-1	1	1						SGPWA
451260047	WRCOG66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0						EMWD
381300017	WRCOG66B-CORRECTLY ZONED	0.851	MDR		2-5 DU/AC	R-3	2	1	COUNTY					EMWD
449323024	WRCOG66B-CORRECTLY ZONED	4.229	MDR		2-5 DU/AC	R-A-1	8	7		AREAS OF FLOODING SENSITIVITY				EMWD
251590028	WRCOG66B-CORRECTLY ZONED	0.401	MDR		2-5 DU/AC	R-A-20000	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
480020027	WRCOG66B-CORRECTLY ZONED	34.978	MDR		2-5 DU/AC	R-1	70	56					Zone E	EMWD
461210030	WRCOG66B-CORRECTLY ZONED	15.728	MDR		2-5 DU/AC	SP ZONE	31	25		YES				EMWD
553331001	WRCOG66B-CORRECTLY ZONED	0.350	MDR		2-5 DU/AC	R-1	1	1						SGPWA
451260032	WRCOG66B-CORRECTLY ZONED	0.176	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260040	WRCOG66B-CORRECTLY ZONED	0.270	MDR		2-5 DU/AC	R-1	1	0						EMWD
480020027	WRCOG66B-CORRECTLY ZONED	4.656	MDR		2-5 DU/AC	R-1	9	7					Zone E	EMWD
553331006	WRCOG66B-CORRECTLY ZONED	0.303	MDR		2-5 DU/AC	R-1	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
563222057	WRCOG66B-CORRECTLY ZONED	0.215	MDR		2-5 DU/AC	R-3A	0	0		AREAS OF FLOODING SENSITIVITY				SGPWA
383210049	WRCOG66B-CORRECTLY ZONED	0.213	MDR		2-5 DU/AC	R-3	0	0	COUNTY	AREAS OF FLOODING SENSITIVITY				EMWD
567120022	WRCOG66B-CORRECTLY ZONED	0.859	MDR		2-5 DU/AC	R-1A-9000	2	1						SGPWA
553330013	WRCOG66B-CORRECTLY ZONED	0.360	MDR		2-5 DU/AC	R-1	1	1						SGPWA
461210032	WRCOG66B-CORRECTLY ZONED	1.504	MDR		2-5 DU/AC	R-1	3	2			YES			EMWD
451260037	WRCOG66B-CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	R-1	0	0						EMWD
451260035	WRCOG66B-CORRECTLY ZONED	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD

Housing Element Appendix A - Housing Inventory List

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383210048	WRCOG66B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	FLOODING SENSITIVITY				EMWD
553331007	WRCOG66B-CORRECTLY ZONEI	0.303	MDR		2-5 DU/AC	R-1	1	0						SGPWA
553330010	WRCOG66B-CORRECTLY ZONEI	0.299	MDR		2-5 DU/AC	R-1	1	0						SGPWA
563121014	WRCOG66B-CORRECTLY ZONEI	0.730	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
383210050	WRCOG66B-CORRECTLY ZONEI	0.214	MDR		2-5 DU/AC	R-3	0	0	COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
451260038	WRCOG66B-CORRECTLY ZONEI	0.239	MDR		2-5 DU/AC	R-1	0	0						EMWD
480020027	WRCOG66B-CORRECTLY ZONEI	0.095	MDR		2-5 DU/AC	R-1	0	0					Zone E	EMWD
451260039	WRCOG66B-CORRECTLY ZONEI	0.202	MDR		2-5 DU/AC	R-1	0	0						EMWD
553331004	WRCOG66B-CORRECTLY ZONEI	0.292	MDR		2-5 DU/AC	R-1	1	1						SGPWA
553330006	WRCOG66B-CORRECTLY ZONEI	0.375	MDR		2-5 DU/AC	R-1	1	1						SGPWA
451260043	WRCOG66B-CORRECTLY ZONEI	0.165	MDR		2-5 DU/AC	R-1	0	0						EMWD
563222055	WRCOG66B-CORRECTLY ZONEI	0.905	MDR		2-5 DU/AC	R-3A	2	1		AREAS OF FLOODING SENSITIVITY				SGPWA
562231019	WRCOG66B-CORRECTLY ZONEI	1.239	MDR		2-5 DU/AC	R-3A	2	2						SGPWA
451260044	WRCOG66B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
557220028	WRCOG66B-CORRECTLY ZONEI	0.434	MDR		2-5 DU/AC	R-1A-9000	1	1						SGPWA
553330001	WRCOG66B-CORRECTLY ZONEI	0.374	MDR		2-5 DU/AC	R-1	1	1						SGPWA
966420032	WRCOG66B-CORRECTLY ZONEI	1.092	MDR		2-5 DU/AC	R-5	2	2						EMWD
451260045	WRCOG66B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
553330012	WRCOG66B-CORRECTLY ZONEI	0.301	MDR		2-5 DU/AC	R-1	1	0						SGPWA
553331005	WRCOG66B-CORRECTLY ZONEI	0.300	MDR		2-5 DU/AC	R-1	1	0						SGPWA
480020030	WRCOG66B-CORRECTLY ZONEI	9.780	MDR		2-5 DU/AC	R-4	20	16					Zone E	EMWD
553330005	WRCOG66B-CORRECTLY ZONEI	0.480	MDR		2-5 DU/AC	R-1	1	1						EMWD
451260036	WRCOG66B-CORRECTLY ZONEI	0.171	MDR		2-5 DU/AC	R-1	0	0						EMWD
480020030	WRCOG66B-CORRECTLY ZONEI	0.434	MDR		2-5 DU/AC	R-1	1	1					Zone E	EMWD
383075025	WRCOG66B-CORRECTLY ZONEI	0.448	MDR		2-5 DU/AC	R-1	1	1						SGPWA
553330009	WRCOG66B-CORRECTLY ZONEI	0.260	MDR		2-5 DU/AC	R-1	1	0						EMWD
553330004	WRCOG66B-CORRECTLY ZONEI	0.314	MDR		2-5 DU/AC	R-1	1	1						EMWD
553331003	WRCOG66B-CORRECTLY ZONEI	0.293	MDR		2-5 DU/AC	R-1	1	1						SGPWA
451260041	WRCOG66B-CORRECTLY ZONEI	0.208	MDR		2-5 DU/AC	R-1	0	0						EMWD
553331002	WRCOG66B-CORRECTLY ZONEI	0.293	MDR		2-5 DU/AC	R-1	1	0						EMWD
966420029	WRCOG66B-CORRECTLY ZONEI	5.384	MDR		2-5 DU/AC	R-5	11	9						SGPWA
Not Zoned Correctly		4474					8947	7145						
326250037	WRCOG66A-NOT CORRECTLY Z	4.250	MDR		2-5 DU/AC	R-R							Zone E	WMAWD
872233022	OTHER66A-NOT CORRECTLY ZC	0.077	MDR		2-5 DU/AC	W-2-M								PVID
872284026	OTHER66A-NOT CORRECTLY ZC	0.153	MDR		2-5 DU/AC	W-2-M								PVID
528102044	OTHER66A-NOT CORRECTLY ZC	0.108	MDR		2-5 DU/AC	W-2-M						Cabazon Conservation Area		SGPWA
529101008	OTHER66A-NOT CORRECTLY ZC	0.299	MDR		2-5 DU/AC	R-R								SGPWA
872281027	OTHER66A-NOT CORRECTLY ZC	0.092	MDR		2-5 DU/AC	C-1/C-P								PVID
87234004	OTHER66A-NOT CORRECTLY ZC	1.561	MDR		2-5 DU/AC	W-2-M								PVID
872281022	OTHER66A-NOT CORRECTLY ZC	0.091	MDR		2-5 DU/AC	C-1/C-P								PVID
519142009	OTHER66A-NOT CORRECTLY ZC	0.245	MDR		2-5 DU/AC	W-2								SGPWA

Housing Element Appendix A - Housing Inventory List

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519121005	OTHER6A-NOT CORRECTLY ZC	0.264	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528035028	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121002	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872304009	OTHER6A-NOT CORRECTLY ZC	0.169	MDR		2-5 DU/AC	W-2-M								PVID
872312003	OTHER6A-NOT CORRECTLY ZC	1.538	MDR		2-5 DU/AC	W-2-M								PVID
519151012	OTHER6A-NOT CORRECTLY ZC	0.318	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				SGPWA
833092009	OTHER6A-NOT CORRECTLY ZC	0.350	MDR		2-5 DU/AC	R-R								PVID
519121014	OTHER6A-NOT CORRECTLY ZC	0.250	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
528101021	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
52803004	OTHER6A-NOT CORRECTLY ZC	0.129	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872294015	OTHER6A-NOT CORRECTLY ZC	0.462	MDR		2-5 DU/AC	C-1/C-P								SGPWA
519122004	OTHER6A-NOT CORRECTLY ZC	0.279	MDR		2-5 DU/AC	W-2								PVID
528032033	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519151002	OTHER6A-NOT CORRECTLY ZC	0.589	MDR		2-5 DU/AC	W-2								SGPWA
872301023	OTHER6A-NOT CORRECTLY ZC	0.639	MDR		2-5 DU/AC	C-1/C-P								PVID
528121001	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121003	OTHER6A-NOT CORRECTLY ZC	0.642	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
519132004	OTHER6A-NOT CORRECTLY ZC	0.270	MDR		2-5 DU/AC	W-2								SGPWA
519131010	OTHER6A-NOT CORRECTLY ZC	0.254	MDR		2-5 DU/AC	W-2								SGPWA
520101006	OTHER6A-NOT CORRECTLY ZC	0.301	MDR		2-5 DU/AC	R-R								SGPWA
528102040	OTHER6A-NOT CORRECTLY ZC	0.106	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
833081026	OTHER6A-NOT CORRECTLY ZC	0.439	MDR		2-5 DU/AC	R-R								PVID
519121007	OTHER6A-NOT CORRECTLY ZC	0.258	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872281025	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2-5 DU/AC	C-1/C-P								PVID
528031008	OTHER6A-NOT CORRECTLY ZC	0.347	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

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5283102046	OTHER6A-NOT CORRECTLY ZC	0.096	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121015	OTHER6A-NOT CORRECTLY ZC	0.266	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528034002	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528111011	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519122001	OTHER6A-NOT CORRECTLY ZC	0.257	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528104008	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528041001	OTHER6A-NOT CORRECTLY ZC	0.166	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031010	OTHER6A-NOT CORRECTLY ZC	0.165	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122038	OTHER6A-NOT CORRECTLY ZC	0.570	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122001	OTHER6A-NOT CORRECTLY ZC	0.412	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519131001	OTHER6A-NOT CORRECTLY ZC	1.217	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033027	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
883081025	OTHER6A-NOT CORRECTLY ZC	0.376	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142043	OTHER6A-NOT CORRECTLY ZC	0.163	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872233030	OTHER6A-NOT CORRECTLY ZC	0.311	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283005	OTHER6A-NOT CORRECTLY ZC	0.434	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283004	OTHER6A-NOT CORRECTLY ZC	0.087	MDR		2-5 DU/AC	C-1/C-P								PVID
872282014	OTHER6A-NOT CORRECTLY ZC	0.349	MDR		2-5 DU/AC	W-2-M								PVID
872314018	OTHER6A-NOT CORRECTLY ZC	2.611	MDR		2-5 DU/AC	W-2-M								PVID
528102028	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121005	OTHER6A-NOT CORRECTLY ZC	0.120	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872272028	OTHER6A-NOT CORRECTLY ZC	0.275	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528032013	OTHER6A-NOT CORRECTLY ZC	0.120	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519122003	OTHER6A-NOT CORRECTLY ZC	0.280	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528033034	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528111003	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042039	OTHER6A-NOT CORRECTLY ZC	0.228	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031004	OTHER6A-NOT CORRECTLY ZC	0.313	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283031	OTHER6A-NOT CORRECTLY ZC	0.173	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528102041	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872283009	OTHER6A-NOT CORRECTLY ZC	0.258	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872283007	OTHER6A-NOT CORRECTLY ZC	1.018	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528111002	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872284028	OTHER6A-NOT CORRECTLY ZC	0.152	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528101013	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102023	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872274035	OTHER6A-NOT CORRECTLY ZC	0.165	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528112022	OTHER6A-NOT CORRECTLY ZC	0.108	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132022	OTHER6A-NOT CORRECTLY ZC	0.275	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104013	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104007	OTHER6A-NOT CORRECTLY ZC	0.122	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872304008	OTHER6A-NOT CORRECTLY ZC	0.173	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
519122007	OTHER6A-NOT CORRECTLY ZC	0.280	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872100014	OTHER6A-NOT CORRECTLY ZC	0.352	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872283016	OTHER6A-NOT CORRECTLY ZC	0.171	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
872274029	OTHER6A-NOT CORRECTLY ZC	0.183	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528034026	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042016	OTHER6A-NOT CORRECTLY ZC	0.131 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528032028	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520101007	OTHER6A-NOT CORRECTLY ZC	0.287 MDR			2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121008	OTHER6A-NOT CORRECTLY ZC	0.831 MDR			2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528102012	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872304007	OTHER6A-NOT CORRECTLY ZC	0.507 MDR			2.5 DU/AC	W-2-M								SGPWA
872311007	OTHER6A-NOT CORRECTLY ZC	0.463 MDR			2.5 DU/AC	W-2-M								PVID
519151013	OTHER6A-NOT CORRECTLY ZC	0.359 MDR			2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101018	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042033	OTHER6A-NOT CORRECTLY ZC	0.117 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112023	OTHER6A-NOT CORRECTLY ZC	0.108 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519122002	OTHER6A-NOT CORRECTLY ZC	0.276 MDR			2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528032032	OTHER6A-NOT CORRECTLY ZC	0.123 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872233019	OTHER6A-NOT CORRECTLY ZC	0.385 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528102038	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528031007	OTHER6A-NOT CORRECTLY ZC	0.311 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872301015	OTHER6A-NOT CORRECTLY ZC	0.617 MDR			2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872274027	OTHER6A-NOT CORRECTLY ZC	0.185 MDR			2.5 DU/AC	W-2-M								PVID
519131003	OTHER6A-NOT CORRECTLY ZC	0.437 MDR			2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042051	OTHER6A-NOT CORRECTLY ZC	0.116 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528034027	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528103029	OTHER6A-NOT CORRECTLY ZC	0.122 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520095006	OTHER6A-NOT CORRECTLY ZC	0.299 MDR			2.5 DU/AC	R-R						Cabazon Conservation Area		SGPWA
528101010	OTHER6A-NOT CORRECTLY ZC	0.102 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122034	OTHER6A-NOT CORRECTLY ZC	0.412 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121019	OTHER6A-NOT CORRECTLY ZC	0.576 MDR			2.5 DU/AC	W-2						Cabazon Conservation Area		SGPWA
519132001	OTHER6A-NOT CORRECTLY ZC	0.436 MDR			2.5 DU/AC	W-2						Cabazon Conservation Area		SGPWA
872282018	OTHER6A-NOT CORRECTLY ZC	0.169 MDR			2.5 DU/AC	W-2-M								PVID
872281029	OTHER6A-NOT CORRECTLY ZC	0.456 MDR			2.5 DU/AC	C-1/C-P								PVID
872274030	OTHER6A-NOT CORRECTLY ZC	0.183 MDR			2.5 DU/AC	C-1/C-P								PVID
833091013	OTHER6A-NOT CORRECTLY ZC	0.353 MDR			2.5 DU/AC	R-R								PVID
833092032	OTHER6A-NOT CORRECTLY ZC	0.931 MDR			2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				PVID
872281026	OTHER6A-NOT CORRECTLY ZC	0.092 MDR			2.5 DU/AC	C-1/C-P								PVID
519121011	OTHER6A-NOT CORRECTLY ZC	0.267 MDR			2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
519121018	OTHER6A-NOT CORRECTLY ZC	0.265 MDR			2.5 DU/AC	W-2								SGPWA
528112005	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033020	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526170011	OTHER6A-NOT CORRECTLY ZC	0.241 MDR		CCO	2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132017	OTHER6A-NOT CORRECTLY ZC	0.278 MDR			2.5 DU/AC	W-2						Cabazon Conservation Area		SGPWA
528042019	OTHER6A-NOT CORRECTLY ZC	0.125 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872333011	OTHER6A-NOT CORRECTLY ZC	1.050 MDR			2.5 DU/AC	A-1-5						Cabazon Conservation Area		PVID
528104036	OTHER6A-NOT CORRECTLY ZC	0.122 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121001	OTHER6A-NOT CORRECTLY ZC	0.459 MDR			2.5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872322003	OTHER6A-NOT CORRECTLY ZC	1.555 MDR			2.5 DU/AC	W-2-M								PVID
872274023	OTHER6A-NOT CORRECTLY ZC	0.092 MDR			2.5 DU/AC	C-1/C-P								PVID
519152009	OTHER6A-NOT CORRECTLY ZC	0.410 MDR			2.5 DU/AC	W-2								SGPWA
528033006	OTHER6A-NOT CORRECTLY ZC	0.126 MDR			2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872294012	OTHER6A-NOT CORRECTLY ZC	0.395 MDR			2.5 DU/AC	C-1/C-P								PVID

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DUJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528113004	OTHER66A-NOT CORRECTLY ZC	0.125	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528031001	OTHER66A-NOT CORRECTLY ZC	0.313	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528102027	OTHER66A-NOT CORRECTLY ZC	0.104	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528104003	OTHER66A-NOT CORRECTLY ZC	0.123	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872233026	OTHER66A-NOT CORRECTLY ZC	0.078	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
519142006	OTHER66A-NOT CORRECTLY ZC	0.291	MDR		2-5 DUJ/AC	W-2								SGPWA
872282007	OTHER66A-NOT CORRECTLY ZC	0.172	MDR		2-5 DUJ/AC	W-2-M								PVID
872324003	OTHER66A-NOT CORRECTLY ZC	1.543	MDR		2-5 DUJ/AC	W-2-M								PVID
872323008	OTHER66A-NOT CORRECTLY ZC	1.569	MDR		2-5 DUJ/AC	W-2-M								PVID
872303018	OTHER66A-NOT CORRECTLY ZC	0.170	MDR		2-5 DUJ/AC	W-2-M								PVID
528033016	OTHER66A-NOT CORRECTLY ZC	0.127	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519152007	OTHER66A-NOT CORRECTLY ZC	0.404	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528042026	OTHER66A-NOT CORRECTLY ZC	0.114	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872294027	OTHER66A-NOT CORRECTLY ZC	0.188	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
528032022	OTHER66A-NOT CORRECTLY ZC	0.123	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121010	OTHER66A-NOT CORRECTLY ZC	0.315	MDR		2-5 DUJ/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528034004	OTHER66A-NOT CORRECTLY ZC	0.129	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528042035	OTHER66A-NOT CORRECTLY ZC	0.120	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872321004	OTHER66A-NOT CORRECTLY ZC	1.565	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872272026	OTHER66A-NOT CORRECTLY ZC	0.092	MDR		2-5 DUJ/AC	C-3/C-P								PVID
528034020	OTHER66A-NOT CORRECTLY ZC	0.120	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519132021	OTHER66A-NOT CORRECTLY ZC	0.277	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528032017	OTHER66A-NOT CORRECTLY ZC	0.125	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519132005	OTHER66A-NOT CORRECTLY ZC	0.273	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528031002	OTHER66A-NOT CORRECTLY ZC	0.315	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
872288014	OTHER6A-NOT CORRECTLY ZC	0.345	MDR	2-5 DU/AC	C-1/C-P								PVID
519122005	OTHER6A-NOT CORRECTLY ZC	0.276	MDR	2-5 DU/AC	W-2								SGPWA
833081020	OTHER6A-NOT CORRECTLY ZC	0.349	MDR	2-5 DU/AC	R-R								PVID
528122037	OTHER6A-NOT CORRECTLY ZC	0.456	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519142012	OTHER6A-NOT CORRECTLY ZC	0.331	MDR	2-5 DU/AC	W-2								SGPWA
872293024	OTHER6A-NOT CORRECTLY ZC	0.157	MDR	2-5 DU/AC	W-2-M								SGPWA
519142004	OTHER6A-NOT CORRECTLY ZC	0.332	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112007	OTHER6A-NOT CORRECTLY ZC	0.102	MDR	2-5 DU/AC	W-2-M								SGPWA
519132020	OTHER6A-NOT CORRECTLY ZC	0.279	MDR	2-5 DU/AC	W-2								SGPWA
528033025	OTHER6A-NOT CORRECTLY ZC	0.128	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033029	OTHER6A-NOT CORRECTLY ZC	0.124	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142002	OTHER6A-NOT CORRECTLY ZC	0.162	MDR	2-5 DU/AC	W-2-M								SGPWA
519142005	OTHER6A-NOT CORRECTLY ZC	0.313	MDR	2-5 DU/AC	W-2								SGPWA
528101017	OTHER6A-NOT CORRECTLY ZC	0.099	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520092005	OTHER6A-NOT CORRECTLY ZC	0.302	MDR	2-5 DU/AC	R-R								SGPWA
872332001	OTHER6A-NOT CORRECTLY ZC	6.889	MDR	2-5 DU/AC	A-1								PVID
528033033	OTHER6A-NOT CORRECTLY ZC	0.129	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121009	OTHER6A-NOT CORRECTLY ZC	1.180	MDR	2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872233021	OTHER6A-NOT CORRECTLY ZC	0.155	MDR	2-5 DU/AC	W-2-M								PVID
872109007	OTHER6A-NOT CORRECTLY ZC	0.429	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528101019	OTHER6A-NOT CORRECTLY ZC	0.098	MDR	2-5 DU/AC	W-2-M								SGPWA
519151011	OTHER6A-NOT CORRECTLY ZC	0.273	MDR	2-5 DU/AC	W-2								SGPWA
528042036	OTHER6A-NOT CORRECTLY ZC	0.118	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121044	OTHER6A-NOT CORRECTLY ZC	0.126	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104029	OTHER6A-NOT CORRECTLY ZC	0.120	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528101012	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528042029	OTHER6A-NOT CORRECTLY ZC	0.112	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121004	OTHER6A-NOT CORRECTLY ZC	0.440	MDR		2-5 DU/JAC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528042027	OTHER6A-NOT CORRECTLY ZC	0.115	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112009	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872272023	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2-5 DU/JAC	C-1/CP								SGPWA
872100013	OTHER6A-NOT CORRECTLY ZC	0.073	MDR		2-5 DU/JAC	W-2-M								PVID
528042025	OTHER6A-NOT CORRECTLY ZC	0.115	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113027	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
520101010	OTHER6A-NOT CORRECTLY ZC	0.298	MDR		2-5 DU/JAC	R-R								SGPWA
872232006	OTHER6A-NOT CORRECTLY ZC	0.391	MDR		2-5 DU/JAC	W-2-M								SGPWA
872232005	OTHER6A-NOT CORRECTLY ZC	1.570	MDR		2-5 DU/JAC	W-2-M								PVID
872284006	OTHER6A-NOT CORRECTLY ZC	0.340	MDR		2-5 DU/JAC	W-2-M								PVID
872311008	OTHER6A-NOT CORRECTLY ZC	0.156	MDR		2-5 DU/JAC	W-2-M								PVID
519121013	OTHER6A-NOT CORRECTLY ZC	0.260	MDR		2-5 DU/JAC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528102020	OTHER6A-NOT CORRECTLY ZC	0.104	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101020	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519121016	OTHER6A-NOT CORRECTLY ZC	0.266	MDR		2-5 DU/JAC	W-2								SGPWA
519131018	OTHER6A-NOT CORRECTLY ZC	0.271	MDR		2-5 DU/JAC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528042006	OTHER6A-NOT CORRECTLY ZC	0.127	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102039	OTHER6A-NOT CORRECTLY ZC	0.103	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519132003	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101004	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
872293019	OTHER6A-NOT CORRECTLY ZC	0.159	MDR		2.5 DU/AC	W-2-M								PVID
872283021	OTHER6A-NOT CORRECTLY ZC	0.173	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528033009	OTHER6A-NOT CORRECTLY ZC	0.127	MDR		2.5 DU/AC	W-2-M								SGPWA
872274025	OTHER6A-NOT CORRECTLY ZC	0.092	MDR		2.5 DU/AC	C-1/C-P								PVID
872281024	OTHER6A-NOT CORRECTLY ZC	0.090	MDR		2.5 DU/AC	C-1/C-P								PVID
872100005	OTHER6A-NOT CORRECTLY ZC	2.774	MDR		2.5 DU/AC	W-2-M								PVID
519131017	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2.5 DU/AC	W-2								SGPWA
519142014	OTHER6A-NOT CORRECTLY ZC	0.386	MDR		2.5 DU/AC	W-2								SGPWA
872292004	OTHER6A-NOT CORRECTLY ZC	1.527	MDR		2.5 DU/AC	W-2-M								PVID
872294021	OTHER6A-NOT CORRECTLY ZC	0.482	MDR		2.5 DU/AC	C-1/C-P								PVID
519151014	OTHER6A-NOT CORRECTLY ZC	0.556	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528111009	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M								SGPWA
872233020	OTHER6A-NOT CORRECTLY ZC	0.155	MDR		2.5 DU/AC	W-2-M								PVID
872312004	OTHER6A-NOT CORRECTLY ZC	1.541	MDR		2.5 DU/AC	W-2-M								PVID
5266170017	OTHER6A-NOT CORRECTLY ZC	0.275	MDR	CCO	2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				SGPWA
528102032	OTHER6A-NOT CORRECTLY ZC	0.105	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528102014	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519131019	OTHER6A-NOT CORRECTLY ZC	0.265	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528112026	OTHER6A-NOT CORRECTLY ZC	0.108	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872301022	OTHER6A-NOT CORRECTLY ZC	0.220	MDR		2.5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		PVID
528102026	OTHER6A-NOT CORRECTLY ZC	0.101	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528033007	OTHER6A-NOT CORRECTLY ZC	0.128	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
833081022	OTHER6A-NOT CORRECTLY ZC	0.384	MDR		2.5 DU/AC	R-R				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
872281028	OTHER6A-NOT CORRECTLY ZC	0.089	MDR		2.5 DU/AC	C-1/C-P								PVID
872293020	OTHER6A-NOT CORRECTLY ZC	0.433	MDR		2.5 DU/AC	W-2-M								PVID
528042032	OTHER6A-NOT CORRECTLY ZC	0.115	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113028	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528103028	OTHER6A-NOT CORRECTLY ZC	0.121	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528121043	OTHER6A-NOT CORRECTLY ZC	0.119	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872283002	OTHER6A-NOT CORRECTLY ZC	3.811	MDR		2.5 DU/AC	A-1-5						Conservation Area		PVID
528031003	OTHER6A-NOT CORRECTLY ZC	0.316	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
519122006	OTHER6A-NOT CORRECTLY ZC	0.300	MDR		2.5 DU/AC	W-2						Conservation Area		SGPWA
528111019	OTHER6A-NOT CORRECTLY ZC	0.204	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872283003	OTHER6A-NOT CORRECTLY ZC	0.170	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
872274022	OTHER6A-NOT CORRECTLY ZC	0.369	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
872293013	OTHER6A-NOT CORRECTLY ZC	0.434	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
528034021	OTHER6A-NOT CORRECTLY ZC	0.122	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528034025	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
519121022	OTHER6A-NOT CORRECTLY ZC	0.399	MDR		2.5 DU/AC	W-2						Conservation Area		SGPWA
519132002	OTHER6A-NOT CORRECTLY ZC	0.249	MDR		2.5 DU/AC	W-2						Conservation Area		SGPWA
528033002	OTHER6A-NOT CORRECTLY ZC	0.126	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528111001	OTHER6A-NOT CORRECTLY ZC	0.102	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872282008	OTHER6A-NOT CORRECTLY ZC	0.170	MDR		2.5 DU/AC	W-2-M						Conservation Area		PVID
528102036	OTHER6A-NOT CORRECTLY ZC	0.103	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528104050	OTHER6A-NOT CORRECTLY ZC	0.120	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872283006	OTHER6A-NOT CORRECTLY ZC	0.258	MDR		2.5 DU/AC	C-1/CP						Conservation Area		PVID
528033019	OTHER6A-NOT CORRECTLY ZC	0.141	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872282016	OTHER6A-NOT CORRECTLY ZC	0.341	MDR		2.5 DU/AC	W-2-M						Conservation Area		PVID
528121035	OTHER6A-NOT CORRECTLY ZC	0.117	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
872311010	OTHER6A-NOT CORRECTLY ZC	1.536	MDR		2.5 DU/AC	W-2-M						Conservation Area		PVID
833091016	OTHER6A-NOT CORRECTLY ZC	0.341	MDR		2.5 DU/AC	R-R						Conservation Area		PVID
528032011	OTHER6A-NOT CORRECTLY ZC	0.124	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528121004	OTHER6A-NOT CORRECTLY ZC	0.118	MDR		2.5 DU/AC	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528104049	OTHER6A-NOT CORRECTLY ZC	0.126 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
833082004	OTHER6A-NOT CORRECTLY ZC	0.368 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				PVID
872232008	OTHER6A-NOT CORRECTLY ZC	0.156 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				PVID
528113001	OTHER6A-NOT CORRECTLY ZC	0.127 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528111010	OTHER6A-NOT CORRECTLY ZC	0.102 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872109015	OTHER6A-NOT CORRECTLY ZC	0.588 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
833081016	OTHER6A-NOT CORRECTLY ZC	0.353 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872299029	OTHER6A-NOT CORRECTLY ZC	0.157 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872313004	OTHER6A-NOT CORRECTLY ZC	1.570 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
528102019	OTHER6A-NOT CORRECTLY ZC	0.100 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872272024	OTHER6A-NOT CORRECTLY ZC	0.091 MDR			2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872282015	OTHER6A-NOT CORRECTLY ZC	0.179 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872109002	OTHER6A-NOT CORRECTLY ZC	0.940 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
528109003	OTHER6A-NOT CORRECTLY ZC	0.124 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528109084	OTHER6A-NOT CORRECTLY ZC	0.122 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121006	OTHER6A-NOT CORRECTLY ZC	0.288 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
872283015	OTHER6A-NOT CORRECTLY ZC	0.085 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872323007	OTHER6A-NOT CORRECTLY ZC	1.545 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
519121012	OTHER6A-NOT CORRECTLY ZC	0.271 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528042034	OTHER6A-NOT CORRECTLY ZC	0.119 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121002	OTHER6A-NOT CORRECTLY ZC	0.545 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528102018	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
833091020	OTHER6A-NOT CORRECTLY ZC	0.388 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872301019	OTHER6A-NOT CORRECTLY ZC	0.154 MDR			2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872313007	OTHER6A-NOT CORRECTLY ZC	1.547 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID
872231003	OTHER6A-NOT CORRECTLY ZC	1.633 MDR			2-5 DU/AC	A-1				AREAS OF FLOODING SENSITIVITY		Conservation Area		PVID



Housing Element Appendix A - Housing Inventory List

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528112006	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519121017	OTHER6A-NOT CORRECTLY ZC	0.268 MDR			2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					SGPWA
528031006	OTHER6A-NOT CORRECTLY ZC	0.313 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872283012	OTHER6A-NOT CORRECTLY ZC	0.173 MDR			2-5 DU/AC	C-1/C-P								SGPWA
528102015	OTHER6A-NOT CORRECTLY ZC	0.103 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528031005	OTHER6A-NOT CORRECTLY ZC	0.313 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
872302022	OTHER6A-NOT CORRECTLY ZC	0.341 MDR			2-5 DU/AC	C-1/C-P								PVID
872311009	OTHER6A-NOT CORRECTLY ZC	0.617 MDR			2-5 DU/AC	W-2-M								PVID
519121023	OTHER6A-NOT CORRECTLY ZC	0.402 MDR			2-5 DU/AC	W-2								SGPWA
872281023	OTHER6A-NOT CORRECTLY ZC	0.277 MDR			2-5 DU/AC	C-1/C-P								PVID
872311011	OTHER6A-NOT CORRECTLY ZC	0.155 MDR			2-5 DU/AC	W-2-M								PVID
872100093	OTHER6A-NOT CORRECTLY ZC	0.507 MDR			2-5 DU/AC	W-2-M								PVID
517190025	CVAG6A-NOT CORRECTLY ZON	0.233 MDR			2-5 DU/AC	R-R								SGPWA
517161011	CVAG6A-NOT CORRECTLY ZON	0.220 MDR			2-5 DU/AC	R-R								SGPWA
517161022	CVAG6A-NOT CORRECTLY ZON	0.252 MDR			2-5 DU/AC	R-R								SGPWA
517055014	CVAG6A-NOT CORRECTLY ZON	0.243 MDR			2-5 DU/AC	R-R								SGPWA
517063002	CVAG6A-NOT CORRECTLY ZON	0.256 MDR			2-5 DU/AC	R-R								SGPWA
517310002	CVAG6A-NOT CORRECTLY ZON	0.184 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517062019	CVAG6A-NOT CORRECTLY ZON	0.257 MDR			2-5 DU/AC	R-R								SGPWA
517082001	CVAG6A-NOT CORRECTLY ZON	0.300 MDR			2-5 DU/AC	R-R								SGPWA
657032017	CVAG6A-NOT CORRECTLY ZON	0.180 MDR			2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
669194012	CVAG6A-NOT CORRECTLY ZON	0.158 MDR			2-5 DU/AC	C-P-5								CVWD
657022018	CVAG6A-NOT CORRECTLY ZON	0.179 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656212024	CVAG6A-NOT CORRECTLY ZON	0.161 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669195012	CVAG6A-NOT CORRECTLY ZON	0.208 MDR			2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
669194006	CVAG6A-NOT CORRECTLY ZON	0.170 MDR			2-5 DU/AC	C-P-5								CVWD
657022017	CVAG6A-NOT CORRECTLY ZON	0.178 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
669182002	CVAG6A-NOT CORRECTLY ZON	0.259 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
72325024	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
723255018	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
723269016	CVAG6A-NOT CORRECTLY ZON	0.130	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663190012	CVAG6A-NOT CORRECTLY ZON	0.083	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663081004	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
517222013	CVAG6A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF				SGPWA
517260020	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517072003	CVAG6A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517271006	CVAG6A-NOT CORRECTLY ZON	0.272	MDR		2-5 DU/AC	R-R								SGPWA
656232022	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656242022	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657202010	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656112033	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657152029	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656202017	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657031032	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
656264014	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
753080002	CVAG6A-NOT CORRECTLY ZON	17.511	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663090021	CVAG6A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
663090076	CVAG6A-NOT CORRECTLY ZON	0.194	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517250003	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517111008	CVAG6A-NOT CORRECTLY ZON	0.211	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517274010	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
607300013	CVAG6A-NOT CORRECTLY ZON	1.101	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY			Zone A	CYWD
517102005	CVAG6A-NOT CORRECTLY ZON	0.425	MDR		2-5 DU/AC	R-R								SGPWA
517072023	CVAG6A-NOT CORRECTLY ZON	0.325	MDR		2-5 DU/AC	R-R								SGPWA
657021009	CVAG6A-NOT CORRECTLY ZON	0.221	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657021016	CVAG6A-NOT CORRECTLY ZON	0.213	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
656232024	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663202012	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657182035	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657173018	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
723263011	CVAG6A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
670230006	CVAG6A-NOT CORRECTLY ZON	79.249	MDR		2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY			Zone E	CYWD
663152007	CVAG6A-NOT CORRECTLY ZON	0.362	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663190001	CVAG6A-NOT CORRECTLY ZON	1.030	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CYWD
517085002	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517141006	CVAG6A-NOT CORRECTLY ZON	0.211	MDR		2-5 DU/AC	R-R								SGPWA
517084004	CVAG6A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	R-R								SGPWA
517084005	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	R-R								SGPWA
517121004	CVAG6A-NOT CORRECTLY ZON	0.223	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657021022	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC									CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
6556213003	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657071002	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663183006	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656242009	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656213009	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657122017	CVAG6A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663031005	CVAG6A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
723255017	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
665165022	CVAG6A-NOT CORRECTLY ZON	0.193	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
665154009	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
663081045	CVAG6A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
517103006	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517112003	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517084006	CVAG6A-NOT CORRECTLY ZON	0.265	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
520094004	CVAG6A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517274011	CVAG6A-NOT CORRECTLY ZON	0.341	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				SGPWA
517161020	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				SGPWA
517260009	CVAG6A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				SGPWA
657171032	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657031002	CVAG6A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
657152010	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669171013	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/JAC	W-2								CYWD
656211003	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/JAC	W-2								CYWD
657020030	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CYWD
657201026	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663172005	CVAG6A-NOT CORRECTLY ZON	0.292	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663182016	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657022001	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CYWD
723264019	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
669194017	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/JAC	C-P-S				AREAS OF FLOODING SENSITIVITY				CYWD
663172004	CVAG6A-NOT CORRECTLY ZON	0.347	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663201004	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
517141007	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517094005	CVAG6A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517091007	CVAG6A-NOT CORRECTLY ZON	0.321	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242021	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517105010	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	R-R								SGPWA
520102005	CVAG6A-NOT CORRECTLY ZON	0.342	MDR		2-5 DU/JAC	R-R								SGPWA
517085004	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/JAC	R-R								SGPWA
517051005	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
657021004	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CYWD
656111035	CVAG6A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/JAC	W-2								CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657201020	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181012	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663162011	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210019	CVAG6A-NOT CORRECTLY ZON	2.531	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663183014	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657102004	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203007	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657171002	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663182008	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264014	CVAG6A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262020	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663190017	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517105002	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R								SGPWA
517285010	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517171008	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520110088	CVAG6A-NOT CORRECTLY ZON	0.453	MDR		2-5 DU/AC	R-R								SGPWA
517162006	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517091004	CVAG6A-NOT CORRECTLY ZON	0.604	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517161003	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517283003	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
667183002	CVAG6A-NOT CORRECTLY ZON	0.368	MDR		2-5 DU/JAC	W-2								CVWD
667183006	CVAG6A-NOT CORRECTLY ZON	0.358	MDR		2-5 DU/JAC	W-2								CVWD
656232001	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657160020	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667173008	CVAG6A-NOT CORRECTLY ZON	0.430	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663172002	CVAG6A-NOT CORRECTLY ZON	0.398	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663052014	CVAG6A-NOT CORRECTLY ZON	1.566	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210003	CVAG6A-NOT CORRECTLY ZON	2.511	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031022	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657202064	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657202013	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657032003	CVAG6A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261003	CVAG6A-NOT CORRECTLY ZON	0.119	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723254002	CVAG6A-NOT CORRECTLY ZON	0.112	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657414010	CVAG6A-NOT CORRECTLY ZON	2.440	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663210006	CVAG6A-NOT CORRECTLY ZON	1.291	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665166010	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657351034	CVAG6A-NOT CORRECTLY ZON	0.041	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517230011	CVAG6A-NOT CORRECTLY ZON	0.157	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517040024	CVAG6A-NOT CORRECTLY ZON	0.207	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517200033	CVAG6A-NOT CORRECTLY ZON	0.329	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517241007	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517071004	CVAG6A-NOT CORRECTLY ZON	0.288	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cottonwood Canyons Conservation Area		SGPWA
517040012	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657181017	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657152004	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663062004	CVAG6A-NOT CORRECTLY ZON	1.009	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656111016	CVAG6A-NOT CORRECTLY ZON	0.275	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031029	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656232021	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663163004	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663223003	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723251005	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656232025	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517133012	CVAG6A-NOT CORRECTLY ZON	0.268	MDR		2-5 DU/AC	R-R								SGPWA
517230009	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	R-R								SGPWA
517260010	CVAG6A-NOT CORRECTLY ZON	0.275	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520110002	CVAG6A-NOT CORRECTLY ZON	0.495	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517091002	CVAG6A-NOT CORRECTLY ZON	0.368	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE			Cottonwood Canyons Conservation Area		SGPWA
656191004	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657142010	CVAG6A-NOT CORRECTLY ZON	0.413	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657091014	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CVWD
656263004	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663051009	CVAG6A-NOT CORRECTLY ZON	1.036	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663181006	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663224005	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663120011	CVAG6A-NOT CORRECTLY ZON	1.237	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517109004	CVAG6A-NOT CORRECTLY ZON	0.317	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY				CVWD
520099007	CVAG6A-NOT CORRECTLY ZON	0.297	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY				SGPWA
517105007	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/JAC	R-R								SGPWA
517190051	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/JAC	R-R								SGPWA
517111014	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/JAC	R-R								SGPWA
657142005	CVAG6A-NOT CORRECTLY ZON	0.427	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657152023	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663244012	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663042014	CVAG6A-NOT CORRECTLY ZON	0.944	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663204012	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657160010	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656091012	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663162003	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657031010	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CWWD
657022008	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CWWD
657213016	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
723252002	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657171015	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663162015	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663196021	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
517174001	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517075010	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517176001	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
657151027	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657201013	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657074006	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656232017	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
723255012	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663221001	CVAG6A-NOT CORRECTLY ZON	1.032	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF		Upper Mission Creek/Big Morongo Canyon Conservation Area		CWWD
665155019	CVAG6A-NOT CORRECTLY ZON	0.208	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CWWD
663070046	CVAG6A-NOT CORRECTLY ZON	0.208	MDR		2-5 DU/JAC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
517282006	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517242001	CVAG66A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517290015	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520092004	CVAG66A-NOT CORRECTLY ZON	0.305	MDR		2-5 DU/AC	R-R								SGPWA
517152003	CVAG66A-NOT CORRECTLY ZON	0.275	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657171001	CVAG66A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2								CVWD
657031024	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC									CVWD
656122034	CVAG66A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2								CVWD
657152036	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2								CVWD
656182034	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2								CVWD
656191022	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2								CVWD
663031004	CVAG66A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC	W-2								CVWD
663151015	CVAG66A-NOT CORRECTLY ZON	0.391	MDR		2-5 DU/AC	W-2								CVWD
723264017	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2								CVWD
723259009	CVAG66A-NOT CORRECTLY ZON	0.130	MDR		2-5 DU/AC	W-2								CVWD
663210005	CVAG66A-NOT CORRECTLY ZON	1.394	MDR		2-5 DU/AC	W-2								CVWD
517154014	CVAG66A-NOT CORRECTLY ZON	0.315	MDR		2-5 DU/AC	R-R								SGPWA
517073008	CVAG66A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	R-R								SGPWA
517084014	CVAG66A-NOT CORRECTLY ZON	0.352	MDR		2-5 DU/AC	R-R								SGPWA
657172004	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2								CVWD
657121002	CVAG66A-NOT CORRECTLY ZON	0.206	MDR		2-5 DU/AC	W-2								CVWD
667174003	CVAG66A-NOT CORRECTLY ZON	0.285	MDR		2-5 DU/AC	W-2								CVWD
667183013	CVAG66A-NOT CORRECTLY ZON	0.362	MDR		2-5 DU/AC	W-2								CVWD
656122024	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2								CVWD
669660042	CVAG66A-NOT CORRECTLY ZON	4.798	MDR		2-5 DU/AC	R-5								CVWD
669194002	CVAG66A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	C-P-5								CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656172034	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723253015	CVAG66A-NOT CORRECTLY ZON	0.131	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723263014	CVAG66A-NOT CORRECTLY ZON	0.124	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663151016	CVAG66A-NOT CORRECTLY ZON	0.939	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663152001	CVAG66A-NOT CORRECTLY ZON	0.605	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663171008	CVAG66A-NOT CORRECTLY ZON	1.092	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517190052	CVAG66A-NOT CORRECTLY ZON	0.272	MDR		2-5 DU/AC	R-R								SGPWA
517165002	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R								SGPWA
517095004	CVAG66A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517271001	CVAG66A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517052008	CVAG66A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R								SGPWA
517040018	CVAG66A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R								SGPWA
517161018	CVAG66A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517065008	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R								SGPWA
517161008	CVAG66A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC	R-R								SGPWA
517330008	CVAG66A-NOT CORRECTLY ZON	0.255	MDR		2-5 DU/AC	R-R								SGPWA
517275003	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517052018	CVAG66A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	R-R								SGPWA
520110006	CVAG66A-NOT CORRECTLY ZON	0.950	MDR		2-5 DU/AC	R-R								SGPWA
517062012	CVAG66A-NOT CORRECTLY ZON	0.323	MDR		2-5 DU/AC	R-R								SGPWA
657202006	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656211006	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022013	CVAG66A-NOT CORRECTLY ZON	0.213	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657083011	CVAG66A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657182025	CVAG66A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669195001	CVAG66A-NOT CORRECTLY ZON	0.205	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
656243009	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022023	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656121031	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657173008	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669171014	CVAG66A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265019	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517211012	CVAG66A-NOT CORRECTLY ZON	0.702	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517111012	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517071003	CVAG66A-NOT CORRECTLY ZON	0.283	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517040030	CVAG66A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbe and Cottonwood Canyons Conservation Area		SGPWA
51713007	CVAG66A-NOT CORRECTLY ZON	0.255	MDR		2-5 DU/AC	R-R								SGPWA
517141004	CVAG66A-NOT CORRECTLY ZON	0.223	MDR		2-5 DU/AC	R-R								SGPWA
517250006	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517051004	CVAG66A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbe and Cottonwood Canyons Conservation Area		SGPWA
657031027	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
657160011	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656222020	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656243004	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656242002	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657182027	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657182017	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
667183012	CVAG66A-NOT CORRECTLY ZON	0.357	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657123010	CVAG66A-NOT CORRECTLY ZON	0.429	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657213018	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723265001	CVAG66A-NOT CORRECTLY ZON	0.111	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723252013	CVAG66A-NOT CORRECTLY ZON	0.112	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656091027	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
654230029	CVAG66A-NOT CORRECTLY ZON	1.827	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723251001	CVAG66A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663151009	CVAG66A-NOT CORRECTLY ZON	1.121	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF		Upper Mission Creek/Big Marango Canyon Conservation Area		CVWD
517242022	CVAG66A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517113019	CVAG66A-NOT CORRECTLY ZON	0.333	MDR		2-5 DU/AC	R-R								SGPWA
517241011	CVAG66A-NOT CORRECTLY ZON	0.311	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517250004	CVAG66A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA



Housing Element Appendix A - Housing Inventory List

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517260018	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517300008	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R								SGPWA
517272007	CVAG66A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657071001	CVAG66A-NOT CORRECTLY ZON	0.219	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657212016	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656182020	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669660044	CVAG66A-NOT CORRECTLY ZON	1.667	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CWWD
657032029	CVAG66A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
669310022	CVAG66A-NOT CORRECTLY ZON	0.280	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
669304017	CVAG66A-NOT CORRECTLY ZON	0.295	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723254001	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669680017	CVAG66A-NOT CORRECTLY ZON	3.777	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CWWD
517180003	CVAG66A-NOT CORRECTLY ZON	1.948	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517121009	CVAG66A-NOT CORRECTLY ZON	0.311	MDR		2-5 DU/AC	R-R								SGPWA
517272008	CVAG66A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520106013	CVAG66A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/AC	R-R								SGPWA
517113016	CVAG66A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/AC	R-R								SGPWA
517300012	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	R-R								SGPWA
517300019	CVAG66A-NOT CORRECTLY ZON	6.381	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242013	CVAG66A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517230020	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A -- Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
6566171040	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022033	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
663203016	CVAG66A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663222009	CVAG66A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022011	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657032027	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
663161013	CVAG66A-NOT CORRECTLY ZON	0.995	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723251004	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723252018	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663181014	CVAG66A-NOT CORRECTLY ZON	1.003	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663190018	CVAG66A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723264010	CVAG66A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
520102003	CVAG66A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	R-R								CWWD
517190067	CVAG66A-NOT CORRECTLY ZON	0.738	MDR		2-5 DU/AC	R-R								SGPWA
517212007	CVAG66A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R								SGPWA
517211015	CVAG66A-NOT CORRECTLY ZON	0.455	MDR		2-5 DU/AC	R-R								SGPWA
517084012	CVAG66A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	R-R								SGPWA
517072022	CVAG66A-NOT CORRECTLY ZON	0.327	MDR		2-5 DU/AC	R-R								SGPWA
517250007	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517104002	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517040006	CVAG66A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
522180005	CVAG6A-NOT CORRECTLY ZON	3.116	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
570106010	CVAG6A-NOT CORRECTLY ZON	0.419	MDR		2-5 DU/AC	R-R								SGPWA
656122038	CVAG6A-NOT CORRECTLY ZON	0.208	MDR		2-5 DU/AC	W-2								CVWD
657099014	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2								CVWD
656243010	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2								CVWD
663052008	CVAG6A-NOT CORRECTLY ZON	1.124	MDR		2-5 DU/AC	W-2								CVWD
663223007	CVAG6A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC	W-2								CVWD
657021017	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/AC	W-2								CVWD
656253006	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	W-2								CVWD
657021015	CVAG6A-NOT CORRECTLY ZON	0.211	MDR		2-5 DU/AC	W-2								CVWD
663041001	CVAG6A-NOT CORRECTLY ZON	0.983	MDR		2-5 DU/AC	W-2								CVWD
663182013	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2								CVWD
657074017	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2								CVWD
663152002	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	W-2								CVWD
663100004	CVAG6A-NOT CORRECTLY ZON	0.308	MDR		2-5 DU/AC	W-2-M								CVWD
522180003	CVAG6A-NOT CORRECTLY ZON	0.418	MDR		2-5 DU/AC	C-P-S								SGPWA
517250027	CVAG6A-NOT CORRECTLY ZON	8.428	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517072002	CVAG6A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	R-R								SGPWA
517104006	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	R-R								SGPWA
517282008	CVAG6A-NOT CORRECTLY ZON	0.298	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517061011	CVAG66A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cottonwood Canyons Conservation Area		SGPWA
517284008	CVAG66A-NOT CORRECTLY ZON	0.329	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
65711004	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657123005	CVAG66A-NOT CORRECTLY ZON	0.352	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663203010	CVAG66A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657123012	CVAG66A-NOT CORRECTLY ZON	0.433	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657032033	CVAG66A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657083016	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022006	CVAG66A-NOT CORRECTLY ZON	0.186	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657202023	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
65711001	CVAG66A-NOT CORRECTLY ZON	0.434	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
65711002	CVAG66A-NOT CORRECTLY ZON	0.436	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663183001	CVAG66A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657102012	CVAG66A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657071023	CVAG66A-NOT CORRECTLY ZON	0.415	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CWWD
657172033	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
66714001	CVAG66A-NOT CORRECTLY ZON	0.456	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657204022	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APH	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657032015	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656122032	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255005	CVAG6A-NOT CORRECTLY ZON	0.058	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
753080010	CVAG6A-NOT CORRECTLY ZON	4.920	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
655165021	CVAG6A-NOT CORRECTLY ZON	0.194	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663210001	CVAG6A-NOT CORRECTLY ZON	1.294	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517200047	CVAG6A-NOT CORRECTLY ZON	0.476	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517221003	CVAG6A-NOT CORRECTLY ZON	0.390	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517122004	CVAG6A-NOT CORRECTLY ZON	0.212	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517330007	CVAG6A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517340003	CVAG6A-NOT CORRECTLY ZON	1.190	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517040021	CVAG6A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517174012	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R								SGPWA
669131007	CVAG6A-NOT CORRECTLY ZON	0.338	MDR		2-5 DU/AC	W-2								CVWD
669195010	CVAG6A-NOT CORRECTLY ZON	0.189	MDR		2-5 DU/AC	C-P-5								CVWD
663204004	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656172032	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181025	CVAG6A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656265002	CVAG6A-NOT CORRECTLY ZON	0.823	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667172003	CVAG6A-NOT CORRECTLY ZON	0.374	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667171011	CVAG6A-NOT CORRECTLY ZON	0.219	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663162002	CVAG6A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669194003	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
657084005	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663100015	CVAG6A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517112001	CVAG6A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
517242007	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
51730014	CVAG6A-NOT CORRECTLY ZON	0.154	MDR		2-5 DU/AC	R-R								SGPWA
517051008	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA
517053004	CVAG6A-NOT CORRECTLY ZON	0.272	MDR		2-5 DU/AC	R-R								SGPWA
517272013	CVAG6A-NOT CORRECTLY ZON	0.214	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657201004	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657172003	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657202018	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669110023	CVAG6A-NOT CORRECTLY ZON	0.255	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
656262008	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657201024	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202005	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657081017	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669210012	CVAG6A-NOT CORRECTLY ZON	7.883	MDR		2-5 DU/AC	W-2						Santa Rosa and San Jacinto Mountains Conservation Area		CVWD
657021014	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663062008	CVAG6A-NOT CORRECTLY ZON	1.031	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161006	CVAG6A-NOT CORRECTLY ZON	0.253	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663140029	CVAG6A-NOT CORRECTLY ZON	0.316	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
669191004	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CVWD
663151003	CVAG6A-NOT CORRECTLY ZON	1.133	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
665165018	CVAG6A-NOT CORRECTLY ZON	0.196	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517113015	CVAG6A-NOT CORRECTLY ZON	0.304	MDR		2-5 DU/AC	R-R								SGPWA
517161009	CVAG6A-NOT CORRECTLY ZON	0.306	MDR		2-5 DU/AC	R-R								SGPWA
517091005	CVAG6A-NOT CORRECTLY ZON	0.392	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520091005	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R								SGPWA
517242009	CVAG6A-NOT CORRECTLY ZON	0.290	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517310014	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517062006	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517285001	CVAG6A-NOT CORRECTLY ZON	0.194	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517177003	CVAG6A-NOT CORRECTLY ZON	0.317	MDR		2-5 DU/AC	R-R								SGPWA
65611019	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/AC	W-2						Stubble and Cottonwood Canyons Conservation Area		SGPWA
663162006	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657082007	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181014	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
670250005	CVAG6A-NOT CORRECTLY ZON	1.266	MDR		2-5 DU/AC	W-2-20				AREAS OF FLOODING SENSITIVITY				CVWD
656211008	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656192019	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667173009	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265006	CVAG6A-NOT CORRECTLY ZON	0.129	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255013	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252004	CVAG6A-NOT CORRECTLY ZON	0.123	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723263020	CVAG6A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517279016	CVAG6A-NOT CORRECTLY ZON	0.217	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517142009	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	R-R								SGPWA
517053005	CVAG6A-NOT CORRECTLY ZON	0.271	MDR		2-5 DU/AC	R-R								SGPWA
657160006	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656121008	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2								CVWD
656192010	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2								CVWD
653204008	CVAG6A-NOT CORRECTLY ZON	0.276	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021021	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657072011	CVAG6A-NOT CORRECTLY ZON	0.202	MDR		2-5 DU/AC	W-2								CVWD
669194010	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC	C-P-S								CVWD
664210016	CVAG6A-NOT CORRECTLY ZON	2.462	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255012	CVAG6A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210001	CVAG6A-NOT CORRECTLY ZON	2.498	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656213008	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252009	CVAG6A-NOT CORRECTLY ZON	0.120	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255007	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663171010	CVAG6A-NOT CORRECTLY ZON	0.675	MDR		2-5 DU/AC	W-2						Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517161036	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R								SGPWA
517162019	CVAG6A-NOT CORRECTLY ZON	0.352	MDR		2-5 DU/AC	R-R								SGPWA
517289005	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R								SGPWA
517151003	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	R-R								SGPWA
657172010	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657021012	CVAG6A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
657211027	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663052005	CVAG6A-NOT CORRECTLY ZON	1.027	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663090071	CVAG6A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
657111005	CVAG6A-NOT CORRECTLY ZON	0.403	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664210013	CVAG6A-NOT CORRECTLY ZON	2.482	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
666212018	CVAG6A-NOT CORRECTLY ZON	0.387	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
657022003	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
663032002	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657021037	CVAG6A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
723262002	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656231007	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723265014	CVAG6A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656265016	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723254029	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
517222002	CVAG6A-NOT CORRECTLY ZON	0.444	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				CVWD SGPWA
517104004	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517282007	CVAG6A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517154009	CVAG6A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517111009	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
522200017	CVAG6A-NOT CORRECTLY ZON	3.561	MDR		2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
517085003	CVAG6A-NOT CORRECTLY ZON	0.223	MDR		2-5 DU/AC	R-R								SGPWA
517082007	CVAG6A-NOT CORRECTLY ZON	0.435	MDR		2-5 DU/AC	R-R								SGPWA
517283007	CVAG6A-NOT CORRECTLY ZON	0.307	MDR		2-5 DU/AC	R-R								SGPWA
657122014	CVAG6A-NOT CORRECTLY ZON	0.477	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656102004	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2								CVWD
664210007	CVAG6A-NOT CORRECTLY ZON	2.513	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669194007	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	C-P-S								CVWD
657143013	CVAG6A-NOT CORRECTLY ZON	0.449	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663204016	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663031008	CVAG6A-NOT CORRECTLY ZON	0.383	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265023	CVAG6A-NOT CORRECTLY ZON	0.121	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181026	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663222003	CVAG6A-NOT CORRECTLY ZON	0.607	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723253013	CVAG6A-NOT CORRECTLY ZON	0.128	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723254011	CVAG6A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657425001	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657351046	CVAG6A-NOT CORRECTLY ZON	0.504	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517104003	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517104001	CVAG6A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	R-R								SGPWA
517230021	CVAG6A-NOT CORRECTLY ZON	3.977	MDR		2-5 DU/AC	R-R								SGPWA
517104009	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517260022	CVAG6A-NOT CORRECTLY ZON	0.164	MDR	2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520102007	CVAG6A-NOT CORRECTLY ZON	0.299	MDR	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657181005	CVAG6A-NOT CORRECTLY ZON	0.168	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657202019	CVAG6A-NOT CORRECTLY ZON	0.167	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656248007	CVAG6A-NOT CORRECTLY ZON	0.165	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656171037	CVAG6A-NOT CORRECTLY ZON	0.163	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657151038	CVAG6A-NOT CORRECTLY ZON	0.162	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656201017	CVAG6A-NOT CORRECTLY ZON	0.243	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663151014	CVAG6A-NOT CORRECTLY ZON	0.269	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657160009	CVAG6A-NOT CORRECTLY ZON	0.171	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656112024	CVAG6A-NOT CORRECTLY ZON	0.159	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663042003	CVAG6A-NOT CORRECTLY ZON	0.871	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669198003	CVAG6A-NOT CORRECTLY ZON	0.173	MDR	2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CWWD
663051012	CVAG6A-NOT CORRECTLY ZON	1.029	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657171020	CVAG6A-NOT CORRECTLY ZON	0.173	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723261006	CVAG6A-NOT CORRECTLY ZON	0.237	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663061008	CVAG6A-NOT CORRECTLY ZON	1.063	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663190009	CVAG6A-NOT CORRECTLY ZON	1.063	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CWWD
663100014	CVAG6A-NOT CORRECTLY ZON	0.256	MDR	2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663120007	CVAG6A-NOT CORRECTLY ZON	1.072	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Merongo Canyon Conservation Area		CVWD
517190022	CVAG6A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	R-R								SGPWA
517063005	CVAG6A-NOT CORRECTLY ZON	0.308	MDR		2-5 DU/AC	R-R								SGPWA
520091011	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517190033	CVAG6A-NOT CORRECTLY ZON	0.534	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517061009	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R								SGPWA
517113017	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R								SGPWA
517250009	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517300009	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	R-R								SGPWA
517274006	CVAG6A-NOT CORRECTLY ZON	0.286	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
6563101019	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE					CVWD
656233006	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022004	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657202002	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657212017	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667174004	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663181008	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669171007	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723765004	CVAG6A-NOT CORRECTLY ZON	0.111	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656222018	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181039	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663182010	CVAG66A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
753110003	CVAG66A-NOT CORRECTLY ZON	157.503	MDR		2-5 DU/AC	R-5				FLOODING AREAS OF SENSITIVITY			Zone E	CVWD
517132009	CVAG66A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	R-R								SGPWA
517162011	CVAG66A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	R-R								SGPWA
517094005	CVAG66A-NOT CORRECTLY ZON	0.305	MDR		2-5 DU/AC	R-R								SGPWA
520123001	CVAG66A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	R-R				FLOODING AREAS OF SENSITIVITY				SGPWA
517174003	CVAG66A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	R-R								SGPWA
517084010	CVAG66A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/AC	R-R								SGPWA
517072017	CVAG66A-NOT CORRECTLY ZON	0.321	MDR		2-5 DU/AC	R-R								SGPWA
517046031	CVAG66A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657203013	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
657071005	CVAG66A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
663172006	CVAG66A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
657022021	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					FLOODING AREAS OF SENSITIVITY				CVWD
657172002	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
723265018	CVAG66A-NOT CORRECTLY ZON	0.128	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
656233012	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
657171012	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
723252001	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				FLOODING AREAS OF SENSITIVITY				CVWD
663090065	CVAG66A-NOT CORRECTLY ZON	0.999	MDR		2-5 DU/AC	W-2-M				FLOODING AREAS OF SENSITIVITY				CVWD
517221004	CVAG66A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC	R-R				FLOODING AREAS OF SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517040017	CVAG6A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					CVWD
517200034	CVAG6A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC	R-R								CVWD
517040028	CVAG6A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					CVWD
663202011	CVAG6A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656171004	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2								CVWD
657152012	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2								CVWD
664210029	CVAG6A-NOT CORRECTLY ZON	10.215	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203009	CVAG6A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656213001	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2								CVWD
657152018	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2								CVWD
663110003	CVAG6A-NOT CORRECTLY ZON	0.292	MDR		2-5 DU/AC	W-2-M								CVWD
656112021	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2								CVWD
657021035	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657032025	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656243008	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663169016	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252008	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2								CVWD
751040011	CVAG6A-NOT CORRECTLY ZON	4.661	MDR		2-5 DU/AC	SP ZONE							Zone C	CVWD
663190011	CVAG6A-NOT CORRECTLY ZON	0.370	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264009	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665154011	CVAG6A-NOT CORRECTLY ZON	0.195	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517310007	CVAG66A-NOT CORRECTLY ZON	0.214	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517190018	CVAG66A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517121001	CVAG66A-NOT CORRECTLY ZON	0.200	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517040007	CVAG66A-NOT CORRECTLY ZON	0.207	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517241002	CVAG66A-NOT CORRECTLY ZON	0.211	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517094007	CVAG66A-NOT CORRECTLY ZON	0.278	MDR		2-5 DU/AC	R-R								SGPWA
657022031	CVAG66A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
667182001	CVAG66A-NOT CORRECTLY ZON	1.112	MDR		2-5 DU/AC	W-2								CVWD
669222007	CVAG66A-NOT CORRECTLY ZON	0.288	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669051011	CVAG66A-NOT CORRECTLY ZON	1.052	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657212029	CVAG66A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657213010	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663032009	CVAG66A-NOT CORRECTLY ZON	1.033	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723254010	CVAG66A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264021	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657151006	CVAG66A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663190015	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665165016	CVAG66A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517152005	CVAG66A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
517141002	CVAG66A-NOT CORRECTLY ZON	0.493	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517250020	CVAG6A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517122002	CVAG6A-NOT CORRECTLY ZON	0.209 MDR			2-5 DU/AC	R-R								SGPWA
520091010	CVAG6A-NOT CORRECTLY ZON	0.265 MDR			2-5 DU/AC	R-R								SGPWA
517221002	CVAG6A-NOT CORRECTLY ZON	0.264 MDR			2-5 DU/AC	R-R								SGPWA
520104006	CVAG6A-NOT CORRECTLY ZON	0.295 MDR			2-5 DU/AC	R-R								SGPWA
517271010	CVAG6A-NOT CORRECTLY ZON	0.287 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517072005	CVAG6A-NOT CORRECTLY ZON	0.248 MDR			2-5 DU/AC	R-R								SGPWA
657021010	CVAG6A-NOT CORRECTLY ZON	0.212 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657071010	CVAG6A-NOT CORRECTLY ZON	0.258 MDR			2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CWWD
657081005	CVAG6A-NOT CORRECTLY ZON	0.217 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656232011	CVAG6A-NOT CORRECTLY ZON	0.164 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663041009	CVAG6A-NOT CORRECTLY ZON	1.098 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663031011	CVAG6A-NOT CORRECTLY ZON	0.749 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663183003	CVAG6A-NOT CORRECTLY ZON	0.236 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656213007	CVAG6A-NOT CORRECTLY ZON	0.167 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656242012	CVAG6A-NOT CORRECTLY ZON	0.162 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723263003	CVAG6A-NOT CORRECTLY ZON	0.129 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656191001	CVAG6A-NOT CORRECTLY ZON	0.212 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723253014	CVAG6A-NOT CORRECTLY ZON	0.131 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723251002	CVAG6A-NOT CORRECTLY ZON	0.113 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663070004	CVAG6A-NOT CORRECTLY ZON	0.296 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663070032	CVAG6A-NOT CORRECTLY ZON	0.414	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CWWD
517260001	CVAG6A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	R-R								SGPWA
517140004	CVAG6A-NOT CORRECTLY ZON	0.295	MDR		2-5 DU/AC	R-R								SGPWA
517153003	CVAG6A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	R-R								SGPWA
517040020	CVAG6A-NOT CORRECTLY ZON	0.365	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517105008	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	R-R								SGPWA
517143002	CVAG6A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R								SGPWA
517242018	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517082004	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	R-R								SGPWA
657172028	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657112004	CVAG6A-NOT CORRECTLY ZON	0.408	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656182039	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663204010	CVAG6A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
664210014	CVAG6A-NOT CORRECTLY ZON	2.541	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657230004	CVAG6A-NOT CORRECTLY ZON	311.732	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656172031	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663051002	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669160022	CVAG6A-NOT CORRECTLY ZON	1.900	MDR		2-5 DU/AC	W-2						Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
657101020	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2						Whitewater Floodplain Conservation Area		CWWD
669680024	CVAG6A-NOT CORRECTLY ZON	0.560	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657032020	CVAG6A-NOT CORRECTLY ZON	0.188	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
729261002	CVAG6A-NOT CORRECTLY ZON	0.120	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657122018	CVAG6A-NOT CORRECTLY ZON	0.415	MDR		2-5 DU/AC	C-1/C-P				FLOODING SENSITIVITY				CWWD
656182003	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
667173014	CVAG6A-NOT CORRECTLY ZON	0.361	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY		Stubble and Cottonwood Canyons Conservation Area		CWWD
517132008	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubble and Cottonwood Canyons Conservation Area		SGPWA
517040005	CVAG6A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Cottonwood Canyons Conservation Area		SGPWA
517154013	CVAG6A-NOT CORRECTLY ZON	0.280	MDR		2-5 DU/AC	R-R								SGPWA
517154002	CVAG6A-NOT CORRECTLY ZON	0.320	MDR		2-5 DU/AC	R-R								SGPWA
520110004	CVAG6A-NOT CORRECTLY ZON	0.360	MDR		2-5 DU/AC	R-R								SGPWA
517105001	CVAG6A-NOT CORRECTLY ZON	0.248	MDR		2-5 DU/AC	R-R								SGPWA
517230014	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	R-R								SGPWA
517310001	CVAG6A-NOT CORRECTLY ZON	0.207	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
657021005	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CWWD
657031025	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
656232003	CVAG6A-NOT CORRECTLY ZON	0.159	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663031018	CVAG6A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657160032	CVAG6A-NOT CORRECTLY ZON	0.152	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663204003	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657182022	CVAG6A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656213006	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657160002	CVAG6A-NOT CORRECTLY ZON	0.159	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
723262017	CVAG6A-NOT CORRECTLY ZON	0.112	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657022013	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CWWD
663051005	CVAG6A-NOT CORRECTLY ZON	1.052	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657031026	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CWWD
723255014	CVAG6A-NOT CORRECTLY ZON	0.120	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
669670030	CVAG6A-NOT CORRECTLY ZON	4.387	MDR		2-5 DU/JAC	R-5				FLOODING SENSITIVITY AREAS OF				CWWD
665165023	CVAG6A-NOT CORRECTLY ZON	0.197	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CWWD
654230032	CVAG6A-NOT CORRECTLY ZON	0.987	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663140009	CVAG6A-NOT CORRECTLY ZON	1.284	MDR		2-5 DU/JAC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
663140024	CVAG6A-NOT CORRECTLY ZON	1.147	MDR		2-5 DU/JAC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
517281010	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517153011	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517161012	CVAG6A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517162015	CVAG6A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517211007	CVAG6A-NOT CORRECTLY ZON	0.681	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517250011	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517062009	CVAG6A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/JAC	R-R								SGPWA
517282001	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517071005	CVAG6A-NOT CORRECTLY ZON	0.282	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY		Stibbe and Cottonwood Canyons Conservation Area		SGPWA
669196015	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/JAC	C-P-S								CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663204007	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657202026	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663181015	CVAG6A-NOT CORRECTLY ZON	0.719	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657181022	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657132001	CVAG6A-NOT CORRECTLY ZON	0.408	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723251011	CVAG6A-NOT CORRECTLY ZON	0.111	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
759090003	CVAG6A-NOT CORRECTLY ZON	34.466	MDR	CD	2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY			Zone E	CWWD
663090022	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
669160002	CVAG6A-NOT CORRECTLY ZON	8.224	MDR		2-5 DU/AC	W-2						San Jacinto Mountains Conservation Area		
520091005	CVAG6A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	R-R								CWWD
517052011	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA
667183001	CVAG6A-NOT CORRECTLY ZON	0.369	MDR		2-5 DU/AC	W-2								SGPWA
657032035	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656264011	CVAG6A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657081013	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663203005	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657172001	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723261014	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
759080008	CVAG6A-NOT CORRECTLY ZON	33.979	MDR	CD	2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY			Zone E	CWWD
517241010	CVAG6A-NOT CORRECTLY ZON	0.314	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CWWD
517190063	CVAG6A-NOT CORRECTLY ZON	0.213	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
									SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517040093	CVAG66A-NOT CORRECTLY ZON	0.219	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Cottonwood Canyons Conservation Area		SGPWA
517132007	CVAG66A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517242023	CVAG66A-NOT CORRECTLY ZON	4.100	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517103002	CVAG66A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517061012	CVAG66A-NOT CORRECTLY ZON	0.343	MDR		2-5 DU/AC	R-R						Stubbs and Cottonwood Canyons Conservation Area		SGPWA
657171030	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021023	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657182036	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657201007	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657212027	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657204002	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203014	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656243025	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264006	CVAG66A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723263013	CVAG66A-NOT CORRECTLY ZON	0.131	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667182011	CVAG66A-NOT CORRECTLY ZON	0.362	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656242013	CVAG66A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723255011	CVAG66A-NOT CORRECTLY ZON	0.108	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723263002	CVAG66A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
753080009	CVAG66A-NOT CORRECTLY ZON	7.925	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
663100022	CVAG66A-NOT CORRECTLY ZON	1.328	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
517330011	CVAG66A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517282003	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517084011	CVAG66A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517172003	CVAG66A-NOT CORRECTLY ZON	0.302	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517250005	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517250015	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517062004	CVAG66A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R								SGPWA
517242017	CVAG66A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517062007	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R								SGPWA
520101005	CVAG66A-NOT CORRECTLY ZON	0.301	MDR		2-5 DU/AC	R-R								SGPWA
65817036	CVAG66A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657031018	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657181036	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657201003	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663171028	CVAG66A-NOT CORRECTLY ZON	1.051	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656222026	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663183012	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656111007	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2								CVWD
656121013	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2								CVWD
663204002	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656232015	CVAG66A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663110019	CVAG66A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657022027	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517104005	CVAG66A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517103005	CVAG66A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517051003	CVAG66A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbbe and Cottonwood Canyons Conservation Area		SGPWA
517073012	CVAG66A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC	R-R								SGPWA
517310015	CVAG66A-NOT CORRECTLY ZON	0.197	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162003	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517153008	CVAG66A-NOT CORRECTLY ZON	0.212	MDR		2-5 DU/AC	R-R								SGPWA
517250021	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242008	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657122002	CVAG66A-NOT CORRECTLY ZON	0.435	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				CVWD
656263008	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2								CVWD
657031005	CVAG66A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657182030	CVAG66A-NOT CORRECTLY ZON	0.159	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669680018	CVAG6A-NOT CORRECTLY ZON	1.933	MDR		2-5 DU/AC	R-5				FLOODING SENSITIVITY AREAS OF				CYWD
656182018	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
656111025	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
657173009	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
664210002	CVAG6A-NOT CORRECTLY ZON	2.462	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
663190023	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
517109003	CVAG6A-NOT CORRECTLY ZON	0.325	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517113030	CVAG6A-NOT CORRECTLY ZON	0.388	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517073009	CVAG6A-NOT CORRECTLY ZON	0.219	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517162028	CVAG6A-NOT CORRECTLY ZON	0.307	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517054001	CVAG6A-NOT CORRECTLY ZON	0.318	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517285003	CVAG6A-NOT CORRECTLY ZON	0.208	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
607312020	CVAG6A-NOT CORRECTLY ZON	0.304	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF			Zone D	CYWD
517062020	CVAG6A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517082003	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
520104004	CVAG6A-NOT CORRECTLY ZON	0.434	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
656171039	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
656172023	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
657032002	CVAG6A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CYWD
657113001	CVAG6A-NOT CORRECTLY ZON	0.441	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
657213011	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
656102032	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
656211013	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
667174007	CVAG6A-NOT CORRECTLY ZON	0.358	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CYWD
666212001	CVAG6A-NOT CORRECTLY ZON	0.188	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657032036	CVAG66A-NOT CORRECTLY ZON	0.182 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
723262003	CVAG66A-NOT CORRECTLY ZON	0.114 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656102039	CVAG66A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	W-2						Santa Rosa and San Jacinto Mountains Conservation Area		CVWD
753080006	CVAG66A-NOT CORRECTLY ZON	7.884 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663130015	CVAG66A-NOT CORRECTLY ZON	1.408 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
522200022	CVAG66A-NOT CORRECTLY ZON	1.936 MDR			2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				SGPWA
517900018	CVAG66A-NOT CORRECTLY ZON	0.180 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517271008	CVAG66A-NOT CORRECTLY ZON	0.275 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517142003	CVAG66A-NOT CORRECTLY ZON	0.314 MDR			2-5 DU/AC	R-R								SGPWA
517284010	CVAG66A-NOT CORRECTLY ZON	0.238 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162008	CVAG66A-NOT CORRECTLY ZON	0.221 MDR			2-5 DU/AC	R-R								SGPWA
520110014	CVAG66A-NOT CORRECTLY ZON	0.339 MDR			2-5 DU/AC	R-R								SGPWA
517162012	CVAG66A-NOT CORRECTLY ZON	0.277 MDR			2-5 DU/AC	R-R								SGPWA
517284002	CVAG66A-NOT CORRECTLY ZON	0.240 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657142014	CVAG66A-NOT CORRECTLY ZON	0.469 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181028	CVAG66A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657032028	CVAG66A-NOT CORRECTLY ZON	0.185 MDR			2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656242001	CVAG66A-NOT CORRECTLY ZON	0.183 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161014	CVAG66A-NOT CORRECTLY ZON	1.022 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656222005	CVAG66A-NOT CORRECTLY ZON	0.167 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656232007	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657181006	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
664210018	CVAG6A-NOT CORRECTLY ZON	2.483	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657032032	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CVWD
657072006	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723263017	CVAG6A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657351042	CVAG6A-NOT CORRECTLY ZON	0.045	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
517040010	CVAG6A-NOT CORRECTLY ZON	0.308	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517174002	CVAG6A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/JAC	R-R								SGPWA
517281005	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/JAC	R-R								SGPWA
517211004	CVAG6A-NOT CORRECTLY ZON	0.670	MDR		2-5 DU/JAC	R-R								SGPWA
517242010	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517092002	CVAG6A-NOT CORRECTLY ZON	0.255	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517063001	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657021034	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY AREAS OF				CVWD
657031012	CVAG6A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CVWD
657032006	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/JAC					FLOODING SENSITIVITY AREAS OF				CVWD
657082014	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663042011	CVAG6A-NOT CORRECTLY ZON	0.993	MDR		2-5 DU/JAC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663171011	CVAG66A-NOT CORRECTLY ZON	0.271	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657171016	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
7232161005	CVAG66A-NOT CORRECTLY ZON	0.119	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
753070004	CVAG66A-NOT CORRECTLY ZON	8.330	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656255003	CVAG66A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663110017	CVAG66A-NOT CORRECTLY ZON	0.466	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
663221004	CVAG66A-NOT CORRECTLY ZON	0.469	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CWWD
663120012	CVAG66A-NOT CORRECTLY ZON	1.346	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
517040011	CVAG66A-NOT CORRECTLY ZON	0.314	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517230022	CVAG66A-NOT CORRECTLY ZON	0.157	MDR		2-5 DU/AC	R-R								SGPWA
517131006	CVAG66A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	R-R								SGPWA
517113025	CVAG66A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/AC	R-R								SGPWA
656182004	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022010	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657021036	CVAG66A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657171005	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
659171020	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657204018	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723252014	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
723264007	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663090072	CVAG6A-NOT CORRECTLY ZON	0.285	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663120001	CVAG6A-NOT CORRECTLY ZON	1.277	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663110025	CVAG6A-NOT CORRECTLY ZON	1.181	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517073006	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R								SGPWA
517162017	CVAG6A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	R-R								SGPWA
520110005	CVAG6A-NOT CORRECTLY ZON	0.326	MDR		2-5 DU/AC	R-R								SGPWA
517121004	CVAG6A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R								SGPWA
517133004	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R								SGPWA
517081002	CVAG6A-NOT CORRECTLY ZON	0.280	MDR		2-5 DU/AC	R-R								SGPWA
517310006	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517200054	CVAG6A-NOT CORRECTLY ZON	0.684	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517040008	CVAG6A-NOT CORRECTLY ZON	0.291	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517084003	CVAG6A-NOT CORRECTLY ZON	0.268	MDR		2-5 DU/AC	R-R								SGPWA
663130003	CVAG6A-NOT CORRECTLY ZON	1.238	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657022029	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
669680020	CVAG6A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY		Whitewater Floodplain Conservation Area		CVWD
657031023	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656122030	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657123014	CVAG6A-NOT CORRECTLY ZON	0.431	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264012	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663070010	CVAG6A-NOT CORRECTLY ZON	1.223	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
663070005	CVAG6A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
517113014	CVAG6A-NOT CORRECTLY ZON	0.367	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517101010	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517095006	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517104008	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF		Stubble and Cottonwood Canyons Conservation Area		SGPWA
517091001	CVAG6A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517222002	CVAG6A-NOT CORRECTLY ZON	0.224	MDR		2-5 DU/AC	R-R								SGPWA
517281007	CVAG6A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R								SGPWA
517132006	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R								SGPWA
517132005	CVAG6A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	R-R								SGPWA
517285004	CVAG6A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY AREAS OF				SGPWA
656232029	CVAG6A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663224011	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657031007	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656233004	CVAG6A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657121003	CVAG6A-NOT CORRECTLY ZON	0.417	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657021019	CVAG6A-NOT CORRECTLY ZON	0.311	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657132011	CVAG6A-NOT CORRECTLY ZON	0.409	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663032005	CVAG6A-NOT CORRECTLY ZON	1.598	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657022025	CVAG6A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663152009	CVAG6A-NOT CORRECTLY ZON	0.282	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669210018	CVAG6A-NOT CORRECTLY ZON	5.021	MDR		2-5 DU/AC	W-2						San Jacinto Mountains Conservation Area		CVWD
669171008	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161015	CVAG6A-NOT CORRECTLY ZON	0.842	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667173005	CVAG6A-NOT CORRECTLY ZON	0.285	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723254021	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252016	CVAG6A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
753070003	CVAG6A-NOT CORRECTLY ZON	15.072	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265007	CVAG6A-NOT CORRECTLY ZON	0.131	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
751160015	CVAG6A-NOT CORRECTLY ZON	0.009	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663201003	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663140027	CVAG6A-NOT CORRECTLY ZON	1.451	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663130016	CVAG6A-NOT CORRECTLY ZON	1.161	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663140011	CVAG6A-NOT CORRECTLY ZON	0.414	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
522260002	CVAG6A-NOT CORRECTLY ZON	1.271	MDR		2-5 DU/AC	R-5								SGPWA
517072009	CVAG6A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	R-R								SGPWA
517072010	CVAG6A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	R-R								SGPWA
517200046	CVAG6A-NOT CORRECTLY ZON	0.693	MDR		2-5 DU/AC	R-R								SGPWA
517190070	CVAG6A-NOT CORRECTLY ZON	0.708	MDR		2-5 DU/AC	R-R								SGPWA
657095012	CVAG6A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC	W-2								CVWD
663042012	CVAG6A-NOT CORRECTLY ZON	1.139	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663162005	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656212019	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663169015	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657351003	CVAG66A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657151026	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657113005	CVAG66A-NOT CORRECTLY ZON	0.401	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
666214001	CVAG66A-NOT CORRECTLY ZON	0.217	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
656091020	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
667183016	CVAG66A-NOT CORRECTLY ZON	0.366	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657181004	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657031037	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
663110018	CVAG66A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
664270002	CVAG66A-NOT CORRECTLY ZON	40.161	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
753080008	CVAG66A-NOT CORRECTLY ZON	22.508	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
665155015	CVAG66A-NOT CORRECTLY ZON	0.202	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
663221005	CVAG66A-NOT CORRECTLY ZON	0.590	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663070011	CVAG66A-NOT CORRECTLY ZON	0.531	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
517260007	CVAG66A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517190019	CVAG66A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA Stubbs and Cottonwood Canyons Conservation Area	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517040004	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Cottonwood Canyons Conservation Area		SGPWA
517161010	CVAG66A-NOT CORRECTLY ZON	0.354	MDR		2-5 DU/AC	R-R								SGPWA
517072004	CVAG66A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	R-R								SGPWA
517072015	CVAG66A-NOT CORRECTLY ZON	0.284	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657031030	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656091026	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161009	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657213012	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
668195006	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CVWD
656263006	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663224014	CVAG66A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656102009	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656192002	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663183002	CVAG66A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663171005	CVAG66A-NOT CORRECTLY ZON	1.260	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663020013	CVAG66A-NOT CORRECTLY ZON	32.876	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663090008	CVAG66A-NOT CORRECTLY ZON	0.305	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517161014	CVAG66A-NOT CORRECTLY ZON	0.187	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517172004	CVAG66A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517272017	CVAG66A-NOT CORRECTLY ZON	0.313	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517061008	CVAG6A-NOT CORRECTLY ZON	0.272	MDR		2-5 DU/AC	R-R						Cottonwood Canyons Conservation Area		SGPWA
517211023	CVAG6A-NOT CORRECTLY ZON	0.502	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517040002	CVAG6A-NOT CORRECTLY ZON	0.285	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517101008	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517283006	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657021001	CVAG6A-NOT CORRECTLY ZON	0.297	MDR		2-5 DU/AC									CWWD
657152003	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2								CWWD
670250004	CVAG6A-NOT CORRECTLY ZON	104.330	MDR		2-5 DU/AC	W-2-20				AREAS OF FLOODING SENSITIVITY				CWWD
663183011	CVAG6A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	W-2								CWWD
656264015	CVAG6A-NOT CORRECTLY ZON	0.111	MDR		2-5 DU/AC	W-2								CWWD
663042005	CVAG6A-NOT CORRECTLY ZON	0.527	MDR		2-5 DU/AC	W-2								CWWD
656172013	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2								CWWD
657021018	CVAG6A-NOT CORRECTLY ZON	0.212	MDR		2-5 DU/AC									CWWD
669195002	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	C-P-S								CWWD
656221025	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2								CWWD
657142006	CVAG6A-NOT CORRECTLY ZON	0.430	MDR		2-5 DU/AC	W-2								CWWD
656111026	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2								CWWD
657151035	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2								CWWD
656112025	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2								CWWD
663140020	CVAG6A-NOT CORRECTLY ZON	0.326	MDR		2-5 DU/AC	W-2-M								CWWD
665155017	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/AC									CWWD
663140016	CVAG6A-NOT CORRECTLY ZON	1.264	MDR		2-5 DU/AC	W-2-M								CWWD
517161021	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R								CWWD SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517154011	CVAG6A-NOT CORRECTLY ZON	0.262 MDR	2-5 DU/JAC	R-R									SGPWA
517230001	CVAG6A-NOT CORRECTLY ZON	0.222 MDR	2-5 DU/JAC	R-R									SGPWA
517062018	CVAG6A-NOT CORRECTLY ZON	0.253 MDR	2-5 DU/JAC	R-R									SGPWA
517051001	CVAG6A-NOT CORRECTLY ZON	0.341 MDR	2-5 DU/JAC	R-R				SAN ANDREAS FAULT ZONE					SGPWA
517272011	CVAG6A-NOT CORRECTLY ZON	0.241 MDR	2-5 DU/JAC	R-R				SAN ANDREAS FAULT ZONE					SGPWA
657181029	CVAG6A-NOT CORRECTLY ZON	0.165 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
656215002	CVAG6A-NOT CORRECTLY ZON	0.171 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
657182014	CVAG6A-NOT CORRECTLY ZON	0.166 MDR	2-5 DU/JAC	W-2				FLOODING SENSITIVITY					CVWD
669194014	CVAG6A-NOT CORRECTLY ZON	0.154 MDR	2-5 DU/JAC	C-P-5				AREAS OF FLOODING SENSITIVITY					CVWD
657211007	CVAG6A-NOT CORRECTLY ZON	0.165 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
723255011	CVAG6A-NOT CORRECTLY ZON	0.127 MDR	2-5 DU/JAC	W-2				FLOODING SENSITIVITY					CVWD
723254020	CVAG6A-NOT CORRECTLY ZON	0.116 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
657204016	CVAG6A-NOT CORRECTLY ZON	0.169 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
723262016	CVAG6A-NOT CORRECTLY ZON	0.116 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
663110013	CVAG6A-NOT CORRECTLY ZON	0.241 MDR	2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY					CVWD
663201005	CVAG6A-NOT CORRECTLY ZON	0.239 MDR	2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY					CVWD
663090019	CVAG6A-NOT CORRECTLY ZON	0.273 MDR	2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY					CVWD
517113027	CVAG6A-NOT CORRECTLY ZON	0.231 MDR	2-5 DU/JAC	R-R				FLOODING SENSITIVITY					SGPWA
517084007	CVAG6A-NOT CORRECTLY ZON	0.278 MDR	2-5 DU/JAC	R-R									SGPWA
517281006	CVAG6A-NOT CORRECTLY ZON	0.247 MDR	2-5 DU/JAC	R-R									SGPWA
517250023	CVAG6A-NOT CORRECTLY ZON	0.159 MDR	2-5 DU/JAC	R-R				SAN ANDREAS FAULT ZONE					SGPWA
517290013	CVAG6A-NOT CORRECTLY ZON	0.312 MDR	2-5 DU/JAC	R-R									SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517040013	CVAG66A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
663162009	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657209008	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021033	CVAG66A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657022037	CVAG66A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663183009	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667184002	CVAG66A-NOT CORRECTLY ZON	0.365	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663162016	CVAG66A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663130007	CVAG66A-NOT CORRECTLY ZON	1.284	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663140005	CVAG66A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517222016	CVAG66A-NOT CORRECTLY ZON	0.411	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD SGPWA
517040023	CVAG66A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517113005	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R								SGPWA
517133003	CVAG66A-NOT CORRECTLY ZON	0.253	MDR		2-5 DU/AC	R-R								SGPWA
517094011	CVAG66A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	R-R								SGPWA
517161004	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517190076	CVAG66A-NOT CORRECTLY ZON	0.366	MDR		2-5 DU/AC	R-R								SGPWA
517053002	CVAG66A-NOT CORRECTLY ZON	0.415	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657104004	CVAG66A-NOT CORRECTLY ZON	0.159	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663110002	CVAG66A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657171014	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656243002	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663202014	CVAG66A-NOT CORRECTLY ZON	1.390	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161016	CVAG66A-NOT CORRECTLY ZON	0.844	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657072007	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657211020	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667183004	CVAG66A-NOT CORRECTLY ZON	0.368	MDR		2-5 DU/AC	W-2								CVWD
657073002	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2								CVWD
667184006	CVAG66A-NOT CORRECTLY ZON	0.357	MDR		2-5 DU/AC	W-2								CVWD
656220206	CVAG66A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210025	CVAG66A-NOT CORRECTLY ZON	2.519	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656212012	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261010	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031001	CVAG66A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656192018	CVAG66A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC	W-2								CVWD
667184003	CVAG66A-NOT CORRECTLY ZON	0.356	MDR		2-5 DU/AC	W-2								CVWD
723261012	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723240002	CVAG66A-NOT CORRECTLY ZON	4.714	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663100001	CVAG66A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663140017	CVAG66A-NOT CORRECTLY ZON	1.261	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517131003	CVAG66A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	R-R								SGPWA
520121005	CVAG66A-NOT CORRECTLY ZON	0.353	MDR		2-5 DU/AC	R-R								SGPWA
522200016	CVAG66A-NOT CORRECTLY ZON	1.711	MDR		2-5 DU/AC	W-1						Sanja Rosa and San Jacinto Mountains Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517103004	CVAG6A-NOT CORRECTLY ZON	0.248	MDR		2-5 DU/AC	R-R								SGPWA
517222018	CVAG6A-NOT CORRECTLY ZON	0.265	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
607912021	CVAG6A-NOT CORRECTLY ZON	0.131	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
657071009	CVAG6A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	C-P-5								CVWD
6699171015	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657204015	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2								CVWD
657123017	CVAG6A-NOT CORRECTLY ZON	0.465	MDR		2-5 DU/AC	W-2								CVWD
663181013	CVAG6A-NOT CORRECTLY ZON	1.092	MDR		2-5 DU/AC	W-2								CVWD
6570931013	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC									CVWD
656121004	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2								CVWD
663181010	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2								CVWD
656233016	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	W-2								CVWD
656222015	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2								CVWD
657071019	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2								CVWD
723265007	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2								CVWD
665166007	CVAG6A-NOT CORRECTLY ZON	0.205	MDR		2-5 DU/AC									CVWD
665165020	CVAG6A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC									CVWD
751280015	CVAG6A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	A-1-10								CVWD
517095003	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R								SGPWA
517271003	CVAG6A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517273015	CVAG6A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517190064	CVAG6A-NOT CORRECTLY ZON	0.145	MDR		2-5 DU/AC	R-R								SGPWA
517200055	CVAG6A-NOT CORRECTLY ZON	0.693	MDR		2-5 DU/AC	R-R								SGPWA
517290010	CVAG6A-NOT CORRECTLY ZON	0.155	MDR		2-5 DU/AC	R-R								SGPWA
517272010	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
669195005	CVAG6A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC	C-P-S								CVWD
657021006	CVAG6A-NOT CORRECTLY ZON	0.221	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657022024	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656182040	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657071014	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656211016	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663051001	CVAG6A-NOT CORRECTLY ZON	0.792	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203004	CVAG6A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
753080005	CVAG6A-NOT CORRECTLY ZON	44.122	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261007	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663130021	CVAG6A-NOT CORRECTLY ZON	1.256	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663110006	CVAG6A-NOT CORRECTLY ZON	1.295	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517190021	CVAG6A-NOT CORRECTLY ZON	0.293	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517153007	CVAG6A-NOT CORRECTLY ZON	0.204	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517330006	CVAG6A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R								SGPWA
517283008	CVAG6A-NOT CORRECTLY ZON	0.324	MDR		2-5 DU/AC	R-R								SGPWA
517083005	CVAG6A-NOT CORRECTLY ZON	0.290	MDR		2-5 DU/AC	R-R								SGPWA
517162020	CVAG6A-NOT CORRECTLY ZON	0.305	MDR		2-5 DU/AC	R-R								SGPWA
657132003	CVAG6A-NOT CORRECTLY ZON	0.411	MDR		2-5 DU/AC	W-2								SGPWA
657074011	CVAG6A-NOT CORRECTLY ZON	0.198	MDR		2-5 DU/AC	W-2								CVWD
657032031	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657101008	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/AC	W-2								CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657181001	CVAG66A-NOT CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657113002	CVAG66A-NOT CORRECTLY ZONED	0.434	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663070033	CVAG66A-NOT CORRECTLY ZONED	0.291	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
657182012	CVAG66A-NOT CORRECTLY ZONED	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657021031	CVAG66A-NOT CORRECTLY ZONED	0.181	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
723251009	CVAG66A-NOT CORRECTLY ZONED	0.111	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663182006	CVAG66A-NOT CORRECTLY ZONED	0.240	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656112016	CVAG66A-NOT CORRECTLY ZONED	0.285	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
665166009	CVAG66A-NOT CORRECTLY ZONED	0.208	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
517102004	CVAG66A-NOT CORRECTLY ZONED	0.252	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517084009	CVAG66A-NOT CORRECTLY ZONED	0.258	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517284014	CVAG66A-NOT CORRECTLY ZONED	0.231	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				SGPWA
520104001	CVAG66A-NOT CORRECTLY ZONED	0.250	MDR		2-5 DU/AC	R-R								SGPWA
517082002	CVAG66A-NOT CORRECTLY ZONED	0.243	MDR		2-5 DU/AC	R-R								SGPWA
517211013	CVAG66A-NOT CORRECTLY ZONED	0.688	MDR		2-5 DU/AC	R-R								SGPWA
657202009	CVAG66A-NOT CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657021020	CVAG66A-NOT CORRECTLY ZONED	0.259	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
663161007	CVAG66A-NOT CORRECTLY ZONED	0.250	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656242018	CVAG66A-NOT CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF		Whitewater Floodplain Conservation Area		CVWD
659680025	CVAG66A-NOT CORRECTLY ZONED	0.328	MDR		2-5 DU/AC	R-5				FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
65712027	CVAG66A-NOT CORRECTLY ZON	0.159	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210011	CVAG66A-NOT CORRECTLY ZON	2.579	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663182012	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663061005	CVAG66A-NOT CORRECTLY ZON	0.321	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665154012	CVAG66A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517162004	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517330013	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	R-R								SGPWA
517104010	CVAG66A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R								SGPWA
517242003	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520123013	CVAG66A-NOT CORRECTLY ZON	0.357	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517260004	CVAG66A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517051002	CVAG66A-NOT CORRECTLY ZON	0.295	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517250028	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657204004	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210005	CVAG66A-NOT CORRECTLY ZON	2.477	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665062002	CVAG66A-NOT CORRECTLY ZON	1.027	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657384006	CVAG66A-NOT CORRECTLY ZON	1.325	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517151002	CVAG66A-NOT CORRECTLY ZON	0.310	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517200040	CVAG66A-NOT CORRECTLY ZON	0.201 MDR			2-5 DU/AC	R-R								SGPWA
517052015	CVAG66A-NOT CORRECTLY ZON	0.237 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242016	CVAG66A-NOT CORRECTLY ZON	0.175 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY				SGPWA
656202038	CVAG66A-NOT CORRECTLY ZON	0.229 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657095011	CVAG66A-NOT CORRECTLY ZON	0.151 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657202025	CVAG66A-NOT CORRECTLY ZON	0.169 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657204008	CVAG66A-NOT CORRECTLY ZON	0.170 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203011	CVAG66A-NOT CORRECTLY ZON	0.235 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663032007	CVAG66A-NOT CORRECTLY ZON	1.045 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252019	CVAG66A-NOT CORRECTLY ZON	0.114 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663130005	CVAG66A-NOT CORRECTLY ZON	0.580 MDR			2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517113021	CVAG66A-NOT CORRECTLY ZON	0.230 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517102002	CVAG66A-NOT CORRECTLY ZON	0.239 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517113026	CVAG66A-NOT CORRECTLY ZON	0.240 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517271007	CVAG66A-NOT CORRECTLY ZON	0.275 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517133007	CVAG66A-NOT CORRECTLY ZON	0.247 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657133005	CVAG66A-NOT CORRECTLY ZON	0.167 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657131004	CVAG66A-NOT CORRECTLY ZON	0.427 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657132010	CVAG66A-NOT CORRECTLY ZON	0.413 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656191037	CVAG66A-NOT CORRECTLY ZON	0.175 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657122003	CVAG66A-NOT CORRECTLY ZON	0.428 MDR			2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				CVWD
657092004	CVAG66A-NOT CORRECTLY ZON	0.170 MDR			2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656230230	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
663052003	CVAG6A-NOT CORRECTLY ZON	0.486	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657032034	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CVWD
657212010	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
656112029	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657203009	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657181007	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
755251009	CVAG6A-NOT CORRECTLY ZON	1.482	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
663171002	CVAG6A-NOT CORRECTLY ZON	1.209	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517084013	CVAG6A-NOT CORRECTLY ZON	0.268	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517175003	CVAG6A-NOT CORRECTLY ZON	0.252	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517284009	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517122003	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517211024	CVAG6A-NOT CORRECTLY ZON	0.510	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517173005	CVAG6A-NOT CORRECTLY ZON	0.303	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517131002	CVAG6A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517154005	CVAG6A-NOT CORRECTLY ZON	0.307	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517061007	CVAG6A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY		Stubbs and Cottonwood Canyons Conservation Area		SGPWA
517290001	CVAG6A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
657172037	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
669680024	CVAG6A-NOT CORRECTLY ZONED	4.425	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657094009	CVAG6A-NOT CORRECTLY ZONED	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022016	CVAG6A-NOT CORRECTLY ZONED	0.176	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
664210017	CVAG6A-NOT CORRECTLY ZONED	2.501	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210012	CVAG6A-NOT CORRECTLY ZONED	2.548	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264020	CVAG6A-NOT CORRECTLY ZONED	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261004	CVAG6A-NOT CORRECTLY ZONED	0.119	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656102005	CVAG6A-NOT CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
755251010	CVAG6A-NOT CORRECTLY ZONED	4.793	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
727271005	CVAG6A-NOT CORRECTLY ZONED	3.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663020014	CVAG6A-NOT CORRECTLY ZONED	64.455	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517171007	CVAG6A-NOT CORRECTLY ZONED	0.263	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517300006	CVAG6A-NOT CORRECTLY ZONED	0.159	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162029	CVAG6A-NOT CORRECTLY ZONED	0.250	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517260013	CVAG6A-NOT CORRECTLY ZONED	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
656092039	CVAG6A-NOT CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669680019	CVAG6A-NOT CORRECTLY ZONED	0.003	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CVWD
657181035	CVAG6A-NOT CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181018	CVAG6A-NOT CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657425003	CVAG6A-NOT CORRECTLY ZONED	0.251	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657182015	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656121006	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022009	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
669171019	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667174002	CVAG6A-NOT CORRECTLY ZON	0.274	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262014	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663171029	CVAG6A-NOT CORRECTLY ZON	1.056	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252005	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723269023	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663151008	CVAG6A-NOT CORRECTLY ZON	1.378	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663090023	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517113022	CVAG6A-NOT CORRECTLY ZON	0.206	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517260005	CVAG6A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517113003	CVAG6A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	R-R								SGPWA
517274005	CVAG6A-NOT CORRECTLY ZON	0.285	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517141001	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R								SGPWA
657074020	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031016	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657172031	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663202005	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657204017	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663151005	CVAG66A-NOT CORRECTLY ZON	0.605	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657071020	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657112028	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656121017	CVAG66A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656192001	CVAG66A-NOT CORRECTLY ZON	0.210	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656121010	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664210023	CVAG66A-NOT CORRECTLY ZON	2.490	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657123007	CVAG66A-NOT CORRECTLY ZON	0.422	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
723255002	CVAG66A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
723265010	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657351044	CVAG66A-NOT CORRECTLY ZON	0.066	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663130011	CVAG66A-NOT CORRECTLY ZON	1.298	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
657351026	CVAG66A-NOT CORRECTLY ZON	0.024	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
665166011	CVAG66A-NOT CORRECTLY ZON	0.201	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
517072018	CVAG66A-NOT CORRECTLY ZON	0.393	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517190032	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517310016	CVAG66A-NOT CORRECTLY ZON	1.969	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				SGPWA
517081001	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
656171011	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663223015	CVAG66A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
65702080	CVAG6A-NOT CORRECTLY ZON	0.182 MDR			2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
66309014	CVAG6A-NOT CORRECTLY ZON	0.255 MDR			2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
66919016	CVAG6A-NOT CORRECTLY ZON	0.165 MDR			2-5 DU/AC	C-P-5								CWWD
65619209	CVAG6A-NOT CORRECTLY ZON	0.164 MDR			2-5 DU/AC	W-2								CWWD
657081011	CVAG6A-NOT CORRECTLY ZON	0.303 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664210010	CVAG6A-NOT CORRECTLY ZON	2.531 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657151025	CVAG6A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
755251008	CVAG6A-NOT CORRECTLY ZON	0.409 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
663081031	CVAG6A-NOT CORRECTLY ZON	1.098 MDR			2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
663109020	CVAG6A-NOT CORRECTLY ZON	1.211 MDR			2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
522350021	CVAG6A-NOT CORRECTLY ZON	2.359 MDR			2-5 DU/AC	R-5				FLOODING SENSITIVITY AREAS OF				SGPWA
517040015	CVAG6A-NOT CORRECTLY ZON	0.227 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517052009	CVAG6A-NOT CORRECTLY ZON	0.249 MDR			2-5 DU/AC	R-R								SGPWA
609280016	CVAG6A-NOT CORRECTLY ZON	0.049 MDR			2-5 DU/AC	R-5							Zone D	CWWD
657211016	CVAG6A-NOT CORRECTLY ZON	0.165 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657092016	CVAG6A-NOT CORRECTLY ZON	0.169 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657131005	CVAG6A-NOT CORRECTLY ZON	0.429 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657230001	CVAG6A-NOT CORRECTLY ZON	4.696 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656263009	CVAG6A-NOT CORRECTLY ZON	0.116 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
666211010	CVAG6A-NOT CORRECTLY ZON	0.181 MDR			2-5 DU/AC	W-2-M			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CWWD
656211004	CVAG6A-NOT CORRECTLY ZON	0.195 MDR			2-5 DU/AC	W-2								CWWD
517073005	CVAG6A-NOT CORRECTLY ZON	0.248 MDR			2-5 DU/AC	R-R								SGPWA
517040026	CVAG6A-NOT CORRECTLY ZON	0.203 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517273006	CVAG6A-NOT CORRECTLY ZON	0.242 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517130018	CVAG6A-NOT CORRECTLY ZON	0.395 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517310008	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
557142001	CVAG66A-NOT CORRECTLY ZON	0.429	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669324015	CVAG66A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657160024	CVAG66A-NOT CORRECTLY ZON	0.152	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031017	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
659160019	CVAG66A-NOT CORRECTLY ZON	11.428	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161010	CVAG66A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656233003	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657092017	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669196002	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
657204013	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656171018	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669196012	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
751170016	CVAG66A-NOT CORRECTLY ZON	3.551	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517121003	CVAG66A-NOT CORRECTLY ZON	0.204	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517085006	CVAG66A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517109001	CVAG66A-NOT CORRECTLY ZON	0.348	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517063004	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517154006	CVAG66A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
656222010	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657211005	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657083006	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161002	CVAG66A-NOT CORRECTLY ZON	1.008	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656192027	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656231009	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656091015	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657021007	CVAG6A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
657032018	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
657212014	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656213004	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656191018	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
667181005	CVAG6A-NOT CORRECTLY ZON	0.344	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
665213005	CVAG6A-NOT CORRECTLY ZON	0.201	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
733265020	CVAG6A-NOT CORRECTLY ZON	0.120	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663190016	CVAG6A-NOT CORRECTLY ZON	0.214	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
665154008	CVAG6A-NOT CORRECTLY ZON	0.206	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
663190014	CVAG6A-NOT CORRECTLY ZON	0.329	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
665165019	CVAG6A-NOT CORRECTLY ZON	0.199	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
517230019	CVAG6A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				CVWD
517112005	CVAG6A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517271011	CVAG6A-NOT CORRECTLY ZON	0.255	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520123008	CVAG6A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/AC	R-R								SGPWA
520094001	CVAG6A-NOT CORRECTLY ZON	0.295	MDR		2-5 DU/AC	R-R								SGPWA
517094009	CVAG6A-NOT CORRECTLY ZON	0.284	MDR		2-5 DU/AC	R-R								SGPWA
663162012	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657152006	CVAG6A-NOT CORRECTLY ZON	0.159	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657031008	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CVWD
669194009	CVAG6A-NOT CORRECTLY ZON	0.198	MDR		2-5 DU/AC	C-P-5				FLOODING SENSITIVITY AREAS OF				CVWD
657204001	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656201004	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
667172005	CVAG6A-NOT CORRECTLY ZON	0.286	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
723263012	CVAG6A-NOT CORRECTLY ZON	0.126	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657081036	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CVWD
723264015	CVAG6A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
723265001	CVAG6A-NOT CORRECTLY ZON	0.128	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
665140023	CVAG6A-NOT CORRECTLY ZON	1.334	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CVWD
517260023	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517072021	CVAG6A-NOT CORRECTLY ZON	0.350	MDR		2-5 DU/AC	R-R								SGPWA
517040016	CVAG6A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520101004	CVAG6A-NOT CORRECTLY ZON	0.298	MDR		2-5 DU/AC	R-R								SGPWA
517072006	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/AC	R-R								SGPWA
522200015	CVAG6A-NOT CORRECTLY ZON	3.275	MDR		2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
517052005	CVAG6A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517061005	CVAG6A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R								SGPWA
517055006	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	R-R								SGPWA
609450013	CVAG6A-NOT CORRECTLY ZON	0.743	MDR		2-5 DU/AC	R-5							Zone E	CVWD
663204013	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657081007	CVAG6A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663204001	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656242024	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657122012	CVAG66A-NOT CORRECTLY ZON	0.348	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
667173012	CVAG66A-NOT CORRECTLY ZON	0.286	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
669222005	CVAG66A-NOT CORRECTLY ZON	0.268	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656172030	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657384002	CVAG66A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
723251010	CVAG66A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663070019	CVAG66A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
663081015	CVAG66A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
517085005	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				CVWD
517260024	CVAG66A-NOT CORRECTLY ZON	4.667	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517282004	CVAG66A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA
520122004	CVAG66A-NOT CORRECTLY ZON	0.337	MDR		2-5 DU/AC	R-R								SGPWA
663151004	CVAG66A-NOT CORRECTLY ZON	0.995	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657133008	CVAG66A-NOT CORRECTLY ZON	0.422	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663061010	CVAG66A-NOT CORRECTLY ZON	1.033	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657213013	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657160022	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663201001	CVAG66A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663051010	CVAG66A-NOT CORRECTLY ZON	1.036	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
669171021	CVAG66A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657123002	CVAG66A-NOT CORRECTLY ZON	0.396	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656233011	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663181009	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669194013	CVAG66A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				CWWD
657171033	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
666214006	CVAG66A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CWWD
723264016	CVAG66A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669196011	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				CWWD
663130010	CVAG66A-NOT CORRECTLY ZON	1.270	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CWWD
723253022	CVAG66A-NOT CORRECTLY ZON	0.255	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663190019	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
665154010	CVAG66A-NOT CORRECTLY ZON	0.194	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CWWD
663100021	CVAG66A-NOT CORRECTLY ZON	1.345	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CWWD
520110010	CVAG66A-NOT CORRECTLY ZON	0.310	MDR		2-5 DU/AC	R-R								SGPWA
517161015	CVAG66A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	R-R								SGPWA
517152006	CVAG66A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	R-R								SGPWA
520122002	CVAG66A-NOT CORRECTLY ZON	0.359	MDR		2-5 DU/AC	R-R								SGPWA
517151005	CVAG66A-NOT CORRECTLY ZON	0.275	MDR		2-5 DU/AC	R-R								SGPWA
517171009	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517250016	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
656232023	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657204020	CVAG66A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021003	CVAG66A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657204019	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262004	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723254009	CVAG66A-NOT CORRECTLY ZON	0.119	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
759080012	CVAG66A-NOT CORRECTLY ZON	2.827	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517152002	CVAG66A-NOT CORRECTLY ZON	0.271	MDR		2-5 DU/AC	R-R								SGPWA
517281011	CVAG66A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	R-R								SGPWA
517040025	CVAG66A-NOT CORRECTLY ZON	0.189	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517061001	CVAG66A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R								SGPWA
517159009	CVAG66A-NOT CORRECTLY ZON	0.352	MDR		2-5 DU/AC	R-R								SGPWA
517241006	CVAG66A-NOT CORRECTLY ZON	0.274	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517174007	CVAG66A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517083004	CVAG66A-NOT CORRECTLY ZON	0.202	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517242011	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520084005	CVAG66A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
663151005	CVAG66A-NOT CORRECTLY ZON	0.572	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656091018	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657212022	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A -- Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656231008	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656242030	CVAG66A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
663140033	CVAG66A-NOT CORRECTLY ZON	0.328	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
657173014	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657071006	CVAG66A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC	C-P-S				FLOODING SENSITIVITY AREAS OF				CVWD
656232018	CVAG66A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656243019	CVAG66A-NOT CORRECTLY ZON	0.157	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656242020	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656201014	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657182037	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657213008	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
656232009	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
657031034	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
666203010	CVAG66A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CVWD
657084008	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CVWD
694010095	CVAG66A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	R-5				FLOODING SENSITIVITY AREAS OF				CVWD
517162030	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				CVWD SGPWA
517093001	CVAG66A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LAND USE	GENERAL PLAN LAND USE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517092003	CVAG6A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520091012	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R								SGPWA
522180002	CVAG6A-NOT CORRECTLY ZON	13.878	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
517330015	CVAG6A-NOT CORRECTLY ZON	0.127	MDR		2-5 DU/AC	R-R								SGPWA
517094013	CVAG6A-NOT CORRECTLY ZON	0.271	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
556172014	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2								CWWD
657021032	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657212025	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657212015	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022020	CVAG6A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022002	CVAG6A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
666213014	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
657081002	CVAG6A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657071003	CVAG6A-NOT CORRECTLY ZON	0.219	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
665165013	CVAG6A-NOT CORRECTLY ZON	0.201	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
665100019	CVAG6A-NOT CORRECTLY ZON	1.218	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
517102001	CVAG6A-NOT CORRECTLY ZON	0.307	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162026	CVAG6A-NOT CORRECTLY ZON	0.293	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520106004	CVAG6A-NOT CORRECTLY ZON	0.268	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656202016	CVAG66A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663161004	CVAG66A-NOT CORRECTLY ZON	1.000	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669196014	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CVWD
663169001	CVAG66A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657151040	CVAG66A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663031003	CVAG66A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657074002	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181034	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657204014	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667182006	CVAG66A-NOT CORRECTLY ZON	0.354	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657204012	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255008	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723263001	CVAG66A-NOT CORRECTLY ZON	0.377	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663152005	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663190004	CVAG66A-NOT CORRECTLY ZON	1.336	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663090028	CVAG66A-NOT CORRECTLY ZON	1.290	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663120009	CVAG66A-NOT CORRECTLY ZON	1.220	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517062010	CVAG66A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
522260005	CVAG66A-NOT CORRECTLY ZON	1.073	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				SGPWA
517154010	CVAG66A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517190077	CVAG66A-NOT CORRECTLY ZON	0.614	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APH	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517052003	CVAG66A-NOT CORRECTLY ZON	0.252	MDR		2-5 DU/AC	R-R								SGPWA
517040022	CVAG66A-NOT CORRECTLY ZON	0.302	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520105008	CVAG66A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	R-R								SGPWA
517094008	CVAG66A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	R-R								SGPWA
517052001	CVAG66A-NOT CORRECTLY ZON	0.521	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubble and Cottonwood Canyons Conservation Area		SGPWA
517040009	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517930019	CVAG66A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	R-R								SGPWA
520123004	CVAG66A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	R-R								SGPWA
656263014	CVAG66A-NOT CORRECTLY ZON	0.117	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657032011	CVAG66A-NOT CORRECTLY ZON	0.186	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663031006	CVAG66A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656242019	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657182038	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665182015	CVAG66A-NOT CORRECTLY ZON	0.293	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022022	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663110005	CVAG66A-NOT CORRECTLY ZON	1.293	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
665155013	CVAG66A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
520105001	CVAG66A-NOT CORRECTLY ZON	0.292	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
517193006	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517200053	CVAG66A-NOT CORRECTLY ZON	0.704	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517172002	CVAG66A-NOT CORRECTLY ZON	0.316	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517085007	CVAG66A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162027	CVAG66A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517260014	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517061010	CVAG6A-NOT CORRECTLY ZON	0.306	MDR		2.5 DU/AC	R-R								
657094008	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2.5 DU/AC	W-2								SGPWA
657151037	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2.5 DU/AC	W-2								CVWD
663162007	CVAG6A-NOT CORRECTLY ZON	0.243	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663151011	CVAG6A-NOT CORRECTLY ZON	1.374	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656263001	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
666212015	CVAG6A-NOT CORRECTLY ZON	0.194	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657021002	CVAG6A-NOT CORRECTLY ZON	0.222	MDR		2.5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663203012	CVAG6A-NOT CORRECTLY ZON	0.235	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665154007	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2.5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663110001	CVAG6A-NOT CORRECTLY ZON	0.408	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663224007	CVAG6A-NOT CORRECTLY ZON	0.292	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517274001	CVAG6A-NOT CORRECTLY ZON	0.336	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517190020	CVAG6A-NOT CORRECTLY ZON	0.255	MDR		2.5 DU/AC	R-R								SGPWA
517700039	CVAG6A-NOT CORRECTLY ZON	0.395	MDR		2.5 DU/AC	R-R								SGPWA
517073013	CVAG6A-NOT CORRECTLY ZON	0.158	MDR		2.5 DU/AC	R-R								SGPWA
517190069	CVAG6A-NOT CORRECTLY ZON	0.729	MDR		2.5 DU/AC	R-R								SGPWA
517092001	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE			Stubbe and Cottonwood Canyons Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517061006	CVAG6A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	R-R						Cottonwood Canyons Conservation Area		SGPWA
517200058	CVAG6A-NOT CORRECTLY ZON	0.579	MDR		2-5 DU/AC	R-R								SGPWA
517144010	CVAG6A-NOT CORRECTLY ZON	0.271	MDR		2-5 DU/AC	R-R								SGPWA
517073004	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R								SGPWA
517122010	CVAG6A-NOT CORRECTLY ZON	0.224	MDR		2-5 DU/AC	R-R								SGPWA
517053008	CVAG6A-NOT CORRECTLY ZON	0.197	MDR		2-5 DU/AC	R-R								SGPWA
656192004	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657171018	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2								CVWD
657083003	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2								CVWD
657021008	CVAG6A-NOT CORRECTLY ZON	0.216	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657122009	CVAG6A-NOT CORRECTLY ZON	0.408	MDR		2-5 DU/AC	C-1/CP								CVWD
657021027	CVAG6A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657022007	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657101012	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2								CVWD
656182017	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657152009	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2								CVWD
663182011	CVAG6A-NOT CORRECTLY ZON	0.236	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265022	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252020	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255009	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665165024	CVAG6A-NOT CORRECTLY ZON	0.199	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517131005	CVAG6A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	R-R								CVWD
517062005	CVAG6A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	R-R								SGPWA
517072019	CVAG6A-NOT CORRECTLY ZON	0.486	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517242015	CVAG66A-NOT CORRECTLY ZON	0.185	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
517099003	CVAG66A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
656212022	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657211011	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663203003	CVAG66A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657081012	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663162008	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663042010	CVAG66A-NOT CORRECTLY ZON	1.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663041003	CVAG66A-NOT CORRECTLY ZON	1.034	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657172015	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
656092032	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657201025	CVAG66A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
723252012	CVAG66A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
517073002	CVAG66A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517084008	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517122005	CVAG66A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517122001	CVAG66A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517072008	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517083001	CVAG66A-NOT CORRECTLY ZON	0.294	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520102006	CVAG66A-NOT CORRECTLY ZON	0.302	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517073011	CVAG66A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657204003	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
656262007	CVAG66A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663204009	CVAG66A-NOT CORRECTLY ZON	0.284	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657021029	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CWWD
663172001	CVAG66A-NOT CORRECTLY ZON	0.872	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657081003	CVAG66A-NOT CORRECTLY ZON	0.218	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657414007	CVAG66A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657173003	CVAG66A-NOT CORRECTLY ZON	0.186	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663182009	CVAG66A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
664210009	CVAG66A-NOT CORRECTLY ZON	2.550	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656243001	CVAG66A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669194016	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	C-P-5				FLOODING SENSITIVITY				CWWD
656221024	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
753080001	CVAG66A-NOT CORRECTLY ZON	21.766	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
723262007	CVAG66A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
723251007	CVAG66A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663190022	CVAG66A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CWWD
663190010	CVAG66A-NOT CORRECTLY ZON	0.348	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
517132004	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				CWWD SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517082006	CVAG66A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	R-R								SGPWA
517073003	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R								SGPWA
517113013	CVAG66A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	R-R								SGPWA
520110013	CVAG66A-NOT CORRECTLY ZON	0.991	MDR		2-5 DU/AC	R-R								SGPWA
667181002	CVAG66A-NOT CORRECTLY ZON	1.046	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657082009	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667183011	CVAG66A-NOT CORRECTLY ZON	0.351	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021024	CVAG66A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663061009	CVAG66A-NOT CORRECTLY ZON	1.040	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022034	CVAG66A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657032012	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657032037	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657174005	CVAG66A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022033	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656232005	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264011	CVAG66A-NOT CORRECTLY ZON	0.112	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262006	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657033001	CVAG66A-NOT CORRECTLY ZON	0.491	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY		Willow Hole Conservation Area		CVWD
663120003	CVAG66A-NOT CORRECTLY ZON	1.612	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517113001	CVAG66A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	R-R								SGPWA
517111010	CVAG66A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	R-R								SGPWA
517250010	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517300004	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	R-R								SGPWA
520122003	CVAG6A-NOT CORRECTLY ZON	0.324	MDR		2-5 DU/AC	R-R								SGPWA
517211029	CVAG6A-NOT CORRECTLY ZON	0.653	MDR		2-5 DU/AC	R-R								SGPWA
517085001	CVAG6A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	R-R								SGPWA
517081003	CVAG6A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC	R-R								SGPWA
669680022	CVAG6A-NOT CORRECTLY ZON	0.030	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CVWD
657032008	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
669680023	CVAG6A-NOT CORRECTLY ZON	0.132	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667182003	CVAG6A-NOT CORRECTLY ZON	0.731	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210022	CVAG6A-NOT CORRECTLY ZON	2.567	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657152033	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
656212023	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657143003	CVAG6A-NOT CORRECTLY ZON	0.467	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
663161005	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031009	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656242031	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663163005	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202004	CVAG6A-NOT CORRECTLY ZON	0.158	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657213015	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261015	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264008	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
727260014	CVAG66A-NOT CORRECTLY ZON	22.390	MDR		2-5 DU/AC	W-2						Coachella Valley Stormwater Channel and Delta Conservation Area		CVWD
663171004	CVAG66A-NOT CORRECTLY ZON	1.110	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663108006	CVAG66A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657375005	CVAG66A-NOT CORRECTLY ZON	0.277	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517174008	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162024	CVAG66A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517330001	CVAG66A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162025	CVAG66A-NOT CORRECTLY ZON	0.290	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517330002	CVAG66A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517161005	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517274015	CVAG66A-NOT CORRECTLY ZON	0.329	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
663182004	CVAG66A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663163008	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656121036	CVAG66A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656243018	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656192003	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252011	CVAG66A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667182005	CVAG66A-NOT CORRECTLY ZON	0.350	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656232008	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
6663110004	CVAG66A-NOT CORRECTLY ZON	0.291	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CYWD
6665155023	CVAG66A-NOT CORRECTLY ZON	0.196	MDR		2-5 DU/AC					FLOODING SENSITIVITY				
5171161007	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				CYWD SGPWA
517104007	CVAG66A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517176004	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
657201018	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
663061002	CVAG66A-NOT CORRECTLY ZON	1.046	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
657212026	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
663183013	CVAG66A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
669194015	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				CYWD
656160016	CVAG66A-NOT CORRECTLY ZON	15.310	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
663244002	CVAG66A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
657414005	CVAG66A-NOT CORRECTLY ZON	0.294	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
663182007	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
657123016	CVAG66A-NOT CORRECTLY ZON	0.431	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
657022028	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
657112001	CVAG66A-NOT CORRECTLY ZON	0.204	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663162013	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657081008	CVAG6A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657084010	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663224013	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723261017	CVAG6A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
517130013	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CWWD
517221012	CVAG6A-NOT CORRECTLY ZON	0.584	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517171005	CVAG6A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517113033	CVAG6A-NOT CORRECTLY ZON	0.285	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517099005	CVAG6A-NOT CORRECTLY ZON	0.224	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162021	CVAG6A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657032005	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CWWD
669195009	CVAG6A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CWWD
657022015	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657112010	CVAG6A-NOT CORRECTLY ZON	0.417	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663222004	CVAG6A-NOT CORRECTLY ZON	0.531	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656092010	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663051006	CVAG6A-NOT CORRECTLY ZON	1.059	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657172036	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669150008	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CWWD
657072016	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723255010	CVAG6A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663171006	CVAG66A-NOT CORRECTLY ZON	1.145	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517330004	CVAG66A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	R-R								SGPWA
517273008	CVAG66A-NOT CORRECTLY ZON	0.283	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517230008	CVAG66A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC	R-R								SGPWA
517171004	CVAG66A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517052012	CVAG66A-NOT CORRECTLY ZON	0.253	MDR		2-5 DU/AC	R-R								SGPWA
517122001	CVAG66A-NOT CORRECTLY ZON	0.195	MDR		2-5 DU/AC	R-R								SGPWA
517131004	CVAG66A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	R-R								SGPWA
609280020	CVAG66A-NOT CORRECTLY ZON	0.341	MDR		2-5 DU/AC	R-5							Zone D	SGPWA
656122009	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2								CVWD
657032024	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657031038	CVAG66A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657203011	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181003	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663031007	CVAG66A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656221015	CVAG66A-NOT CORRECTLY ZON	0.156	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031019	CVAG66A-NOT CORRECTLY ZON	0.261	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
665166008	CVAG66A-NOT CORRECTLY ZON	0.206	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
666061007	CVAG66A-NOT CORRECTLY ZON	0.399	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517111006	CVAG66A-NOT CORRECTLY ZON	0.237	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
517300003	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517281014	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517260025	CVAG6A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
656172038	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2								CVWD
663110021	CVAG6A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
656232028	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657123006	CVAG6A-NOT CORRECTLY ZON	0.421	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657204007	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202014	CVAG6A-NOT CORRECTLY ZON	0.188	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667184007	CVAG6A-NOT CORRECTLY ZON	0.365	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723255001	CVAG6A-NOT CORRECTLY ZON	0.102	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723269005	CVAG6A-NOT CORRECTLY ZON	0.125	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723253005	CVAG6A-NOT CORRECTLY ZON	0.130	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663110038	CVAG6A-NOT CORRECTLY ZON	0.645	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
723264023	CVAG6A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663152011	CVAG6A-NOT CORRECTLY ZON	1.018	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657375006	CVAG6A-NOT CORRECTLY ZON	1.348	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657160034	CVAG6A-NOT CORRECTLY ZON	14.040	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
51702016	CVAG6A-NOT CORRECTLY ZON	0.283	MDR		2-5 DU/AC	R-R								SGPWA
517190075	CVAG6A-NOT CORRECTLY ZON	0.326	MDR		2-5 DU/AC	R-R								SGPWA
517094012	CVAG6A-NOT CORRECTLY ZON	0.278	MDR		2-5 DU/AC	R-R								SGPWA
517211026	CVAG6A-NOT CORRECTLY ZON	0.632	MDR		2-5 DU/AC	R-R								SGPWA
517175004	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517111007	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R								SGPWA
517283002	CVAG6A-NOT CORRECTLY ZON	0.248	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
520102008	CVAG6A-NOT CORRECTLY ZON	0.298	MDR		2-5 DU/JAC	R-R								SGPWA
656172012	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022019	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2-5 DU/JAC									CVWD
669194008	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/JAC	C-P-S								CVWD
656101002	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663222008	CVAG6A-NOT CORRECTLY ZON	0.253	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663182005	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265015	CVAG6A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723254012	CVAG6A-NOT CORRECTLY ZON	0.107	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669160007	CVAG6A-NOT CORRECTLY ZON	1.716	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		CVWD
665155016	CVAG6A-NOT CORRECTLY ZON	0.198	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CVWD
663140010	CVAG6A-NOT CORRECTLY ZON	1.507	MDR		2-5 DU/JAC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517241004	CVAG6A-NOT CORRECTLY ZON	0.209	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517222008	CVAG6A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517040001	CVAG6A-NOT CORRECTLY ZON	0.425	MDR		2-5 DU/JAC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
657151036	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657211028	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/JAC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669194004	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/JAC	C-P-S								CVWD
656171019	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/JAC	W-2								CVWD
657104009	CVAG6A-NOT CORRECTLY ZON	0.200	MDR		2-5 DU/JAC	W-2								CVWD
657032021	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/JAC					AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657171031	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
666204008	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
723265002	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663204014	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657097002	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656221018	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663070003	CVAG6A-NOT CORRECTLY ZON	0.305	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663100007	CVAG6A-NOT CORRECTLY ZON	0.276	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663210003	CVAG6A-NOT CORRECTLY ZON	1.259	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
517122005	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517177002	CVAG6A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517061004	CVAG6A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
520121004	CVAG6A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517052016	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
656265007	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
657032013	CVAG6A-NOT CORRECTLY ZON	0.185	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656201005	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657122013	CVAG66A-NOT CORRECTLY ZON	0.425	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
668169002	CVAG66A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723264018	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
665165017	CVAG66A-NOT CORRECTLY ZON	0.195	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
517113036	CVAG66A-NOT CORRECTLY ZON	0.312	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517171003	CVAG66A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517260021	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517161001	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517162014	CVAG66A-NOT CORRECTLY ZON	0.235	MDR		2-5 DU/AC	R-R								SGPWA
517241009	CVAG66A-NOT CORRECTLY ZON	0.335	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517211014	CVAG66A-NOT CORRECTLY ZON	0.878	MDR		2-5 DU/AC	R-R								SGPWA
517190071	CVAG66A-NOT CORRECTLY ZON	0.710	MDR		2-5 DU/AC	R-R								SGPWA
517260019	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517162022	CVAG66A-NOT CORRECTLY ZON	0.283	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517171002	CVAG66A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	R-R								SGPWA
517040027	CVAG66A-NOT CORRECTLY ZON	0.209	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242014	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
607312024	CVAG66A-NOT CORRECTLY ZON	3.503	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE				Zone D	SGPWA
657151028	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2								CWWD
657101001	CVAG66A-NOT CORRECTLY ZON	0.193	MDR		2-5 DU/AC	W-2								CWWD
669202003	CVAG66A-NOT CORRECTLY ZON	0.900	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657204021	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669670029	CVAG66A-NOT CORRECTLY ZON	4.008	MDR		2-5 DU/AC	R-5								CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
66323006	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657084007	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2								CWWD
656224001	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2								CWWD
657022005	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657102017	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2								CWWD
669171001	CVAG6A-NOT CORRECTLY ZON	0.189	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
666202015	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
723265013	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2								CWWD
663190002	CVAG6A-NOT CORRECTLY ZON	1.269	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CWWD
663190003	CVAG6A-NOT CORRECTLY ZON	1.203	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663140022	CVAG6A-NOT CORRECTLY ZON	1.291	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
663130001	CVAG6A-NOT CORRECTLY ZON	1.457	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
663152010	CVAG6A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
517153010	CVAG6A-NOT CORRECTLY ZON	0.325	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CWWD
517241005	CVAG6A-NOT CORRECTLY ZON	0.215	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
517200052	CVAG6A-NOT CORRECTLY ZON	0.663	MDR		2-5 DU/AC	R-R								SGPWA
517094004	CVAG6A-NOT CORRECTLY ZON	0.290	MDR		2-5 DU/AC	R-R								SGPWA
5171241005	CVAG6A-NOT CORRECTLY ZON	0.232	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517111015	CVAG6A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	R-R								SGPWA
517281008	CVAG6A-NOT CORRECTLY ZON	0.270	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517242004	CVAG6A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DUJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517131007	CVAG66A-NOT CORRECTLY ZON	0.282	MDR		2-5 DUJ/AC	R-R				AREAS OF FLOODING SENSITIVITY		Cottonwood Canyons Conservation Area		SGPWA
657182003	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657123013	CVAG66A-NOT CORRECTLY ZON	0.431	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656262010	CVAG66A-NOT CORRECTLY ZON	0.228	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656172039	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657172029	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656211018	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669052007	CVAG66A-NOT CORRECTLY ZON	1.032	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669196006	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DUJ/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CWWD
663163006	CVAG66A-NOT CORRECTLY ZON	0.231	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663130018	CVAG66A-NOT CORRECTLY ZON	0.234	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
656192011	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657160031	CVAG66A-NOT CORRECTLY ZON	0.152	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669042001	CVAG66A-NOT CORRECTLY ZON	0.920	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723264013	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723261011	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723265012	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663221005	CVAG66A-NOT CORRECTLY ZON	0.408	MDR		2-5 DUJ/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663140026	CVAG66A-NOT CORRECTLY ZON	1.138	MDR		2-5 DUJ/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
517283004	CVAG66A-NOT CORRECTLY ZON	0.249	MDR		2-5 DUJ/AC	R-R				AREAS OF FLOODING SENSITIVITY				CWWD
51721009	CVAG66A-NOT CORRECTLY ZON	0.721	MDR		2-5 DUJ/AC	R-R				AREAS OF FLOODING SENSITIVITY				CWWD
														SGPWA
														SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517176005	CVAG6A-NOT CORRECTLY ZONED	0.315	MDR		2-5 DU/AC	R-R								SGPWA
517144012	CVAG6A-NOT CORRECTLY ZONED	0.266	MDR		2-5 DU/AC	R-R								SGPWA
517260003	CVAG6A-NOT CORRECTLY ZONED	0.210	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517082005	CVAG6A-NOT CORRECTLY ZONED	0.234	MDR		2-5 DU/AC	R-R								SGPWA
520080001	CVAG6A-NOT CORRECTLY ZONED	2.415	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
656201008	CVAG6A-NOT CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657182018	CVAG6A-NOT CORRECTLY ZONED	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663140021	CVAG6A-NOT CORRECTLY ZONED	0.327	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663140004	CVAG6A-NOT CORRECTLY ZONED	0.256	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657160003	CVAG6A-NOT CORRECTLY ZONED	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022032	CVAG6A-NOT CORRECTLY ZONED	0.177	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656222024	CVAG6A-NOT CORRECTLY ZONED	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
666214010	CVAG6A-NOT CORRECTLY ZONED	0.202	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
657142007	CVAG6A-NOT CORRECTLY ZONED	0.438	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723284022	CVAG6A-NOT CORRECTLY ZONED	0.118	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
665152006	CVAG6A-NOT CORRECTLY ZONED	1.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517142004	CVAG6A-NOT CORRECTLY ZONED	0.344	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162009	CVAG6A-NOT CORRECTLY ZONED	0.275	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517233001	CVAG6A-NOT CORRECTLY ZONED	0.228	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517073007	CVAG6A-NOT CORRECTLY ZONED	0.260	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517284004	CVAG6A-NOT CORRECTLY ZONED	0.250	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517059003	CVAG66A-NOT CORRECTLY ZON	0.321	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517162005	CVAG66A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517113037	CVAG66A-NOT CORRECTLY ZON	0.363	MDR		2-5 DU/AC	R-R								SGPWA
517271004	CVAG66A-NOT CORRECTLY ZON	0.282	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
607191011	CVAG66A-NOT CORRECTLY ZON	0.538	MDR		2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
669660045	CVAG66A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY				CVWD
657113011	CVAG66A-NOT CORRECTLY ZON	0.437	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657093006	CVAG66A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656172029	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657173004	CVAG66A-NOT CORRECTLY ZON	0.189	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669191002	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CVWD
657022014	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
723255005	CVAG66A-NOT CORRECTLY ZON	0.110	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
753070005	CVAG66A-NOT CORRECTLY ZON	3.074	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252022	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657171024	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663151002	CVAG66A-NOT CORRECTLY ZON	1.290	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517072007	CVAG66A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
517113034	CVAG66A-NOT CORRECTLY ZON	0.280	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162010	CVAG66A-NOT CORRECTLY ZON	0.282	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517153001	CVAG66A-NOT CORRECTLY ZON	0.217	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517290008	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520123011	CVAG66A-NOT CORRECTLY ZON	0.383	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517052013	CVAG66A-NOT CORRECTLY ZON	0.265	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
517052017	CVAG6A-NOT CORRECTLY ZON	0.327	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
657031003	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
657031031	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
669195003	CVAG6A-NOT CORRECTLY ZON	0.357	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CWWD
656235007	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
666051004	CVAG6A-NOT CORRECTLY ZON	1.061	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657133003	CVAG6A-NOT CORRECTLY ZON	0.433	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657123009	CVAG6A-NOT CORRECTLY ZON	0.425	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723255004	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723252017	CVAG6A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723253008	CVAG6A-NOT CORRECTLY ZON	0.129	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669210801	CVAG6A-NOT CORRECTLY ZON	13.033	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
666081010	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
517113009	CVAG6A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R								SGPWA
517095007	CVAG6A-NOT CORRECTLY ZON	0.239	MDR		2-5 DU/AC	R-R								SGPWA
517095002	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R								SGPWA
517162016	CVAG6A-NOT CORRECTLY ZON	0.470	MDR		2-5 DU/AC	R-R								SGPWA
517094001	CVAG6A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517211005	CVAG6A-NOT CORRECTLY ZON	0.691	MDR		2-5 DU/AC	R-R								SGPWA
656221019	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657031015	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC									CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657082010	CVAG66A-NOT CORRECTLY ZON	0.180 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657032019	CVAG66A-NOT CORRECTLY ZON	0.185 MDR			2-5 DU/AC					FLOODING SENSITIVITY				CWWD
657073020	CVAG66A-NOT CORRECTLY ZON	0.169 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657142002	CVAG66A-NOT CORRECTLY ZON	0.426 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657172022	CVAG66A-NOT CORRECTLY ZON	0.162 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657160019	CVAG66A-NOT CORRECTLY ZON	0.173 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669191001	CVAG66A-NOT CORRECTLY ZON	0.162 MDR			2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				CWWD
656121003	CVAG66A-NOT CORRECTLY ZON	0.165 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656232027	CVAG66A-NOT CORRECTLY ZON	0.163 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657071004	CVAG66A-NOT CORRECTLY ZON	0.216 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657032014	CVAG66A-NOT CORRECTLY ZON	0.180 MDR			2-5 DU/AC					FLOODING SENSITIVITY				CWWD
669194005	CVAG66A-NOT CORRECTLY ZON	0.167 MDR			2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				CWWD
723255016	CVAG66A-NOT CORRECTLY ZON	0.120 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
663120006	CVAG66A-NOT CORRECTLY ZON	0.792 MDR			2-5 DU/AC	W-2-M				FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CWWD
665165014	CVAG66A-NOT CORRECTLY ZON	0.192 MDR			2-5 DU/AC					FLOODING SENSITIVITY				CWWD
517154001	CVAG66A-NOT CORRECTLY ZON	0.225 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517273013	CVAG66A-NOT CORRECTLY ZON	0.223 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
517242002	CVAG66A-NOT CORRECTLY ZON	0.160 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
517272014	CVAG66A-NOT CORRECTLY ZON	0.245 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663152003	CVAG6A-NOT CORRECTLY ZON	0.257	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657143014	CVAG6A-NOT CORRECTLY ZON	0.446	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657032004	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656172021	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663152008	CVAG6A-NOT CORRECTLY ZON	0.334	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663052004	CVAG6A-NOT CORRECTLY ZON	1.028	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667181010	CVAG6A-NOT CORRECTLY ZON	1.081	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657081001	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202035	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663182003	CVAG6A-NOT CORRECTLY ZON	0.241	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657022026	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656092031	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723264005	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667172004	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723263008	CVAG6A-NOT CORRECTLY ZON	0.125	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663110034	CVAG6A-NOT CORRECTLY ZON	0.614	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663130012	CVAG6A-NOT CORRECTLY ZON	1.285	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517242020	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
517072024	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
517281013	CVAG6A-NOT CORRECTLY ZON	0.238	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
517242005	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				SGPWA
656171016	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657213009	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656221003	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210024	CVAG6A-NOT CORRECTLY ZON	2.490	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261019	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663221002	CVAG6A-NOT CORRECTLY ZON	1.147	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Marongo Canyon Conservation Area		CVWD
663140001	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
694010093	CVAG6A-NOT CORRECTLY ZON	0.607	MDR		2.5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CVWD
517152007	CVAG6A-NOT CORRECTLY ZON	0.280	MDR		2.5 DU/AC	R-R								SGPWA
517083002	CVAG6A-NOT CORRECTLY ZON	0.278	MDR		2.5 DU/AC	R-R								SGPWA
520110016	CVAG6A-NOT CORRECTLY ZON	0.299	MDR		2.5 DU/AC	R-R								SGPWA
517272012	CVAG6A-NOT CORRECTLY ZON	0.254	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517040019	CVAG6A-NOT CORRECTLY ZON	0.270	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517310004	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517073001	CVAG6A-NOT CORRECTLY ZON	0.234	MDR		2.5 DU/AC	R-R								SGPWA
517094010	CVAG6A-NOT CORRECTLY ZON	0.274	MDR		2.5 DU/AC	R-R								SGPWA
517310005	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517142007	CVAG6A-NOT CORRECTLY ZON	0.258	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520105002	CVAG6A-NOT CORRECTLY ZON	0.273	MDR		2.5 DU/AC	R-R								SGPWA
657181013	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657193012	CVAG6A-NOT CORRECTLY ZON	0.435	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663163010	CVAG6A-NOT CORRECTLY ZON	0.237	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LAND USE	GENERAL PLAN LAND USE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
655241005	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663201006	CVAG6A-NOT CORRECTLY ZON	0.226	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262018	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723261013	CVAG6A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
751140002	CVAG6A-NOT CORRECTLY ZON	9.741	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663070018	CVAG6A-NOT CORRECTLY ZON	0.267	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663172003	CVAG6A-NOT CORRECTLY ZON	0.347	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663070009	CVAG6A-NOT CORRECTLY ZON	1.227	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517190027	CVAG6A-NOT CORRECTLY ZON	0.139	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517113020	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517154004	CVAG6A-NOT CORRECTLY ZON	0.357	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517162013	CVAG6A-NOT CORRECTLY ZON	0.275	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
520110017	CVAG6A-NOT CORRECTLY ZON	0.402	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
607500018	CVAG6A-NOT CORRECTLY ZON	1.342	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
517052010	CVAG6A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				CVWD
517250001	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520104003	CVAG6A-NOT CORRECTLY ZON	0.330	MDR		2-5 DU/AC	R-R								SGPWA
657203003	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031033	CVAG6A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
656102034	CVAG6A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663203002	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657081016	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
656182043	CVAG6A-NOT CORRECTLY ZON	0.346	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
664210005	CVAG6A-NOT CORRECTLY ZON	2.511	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
654210015	CVAG6A-NOT CORRECTLY ZON	2.469	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
656262029	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657032023	CVAG6A-NOT CORRECTLY ZON	0.182	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
663120004	CVAG6A-NOT CORRECTLY ZON	0.643	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
663062003	CVAG6A-NOT CORRECTLY ZON	1.033	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
657181024	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
666202016	CVAG6A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY AREAS OF				CWWD
723262001	CVAG6A-NOT CORRECTLY ZON	0.113	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY AREAS OF				CWWD
665165015	CVAG6A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC					FLOODING SENSITIVITY AREAS OF				CWWD
517103006	CVAG6A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517113002	CVAG6A-NOT CORRECTLY ZON	0.200	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517283009	CVAG6A-NOT CORRECTLY ZON	0.245	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY AREAS OF				SGPWA
517273007	CVAG6A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517281004	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R								SGPWA
517091003	CVAG6A-NOT CORRECTLY ZON	0.131	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517121008	CVAG6A-NOT CORRECTLY ZON	0.279	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517242019	CVAG6A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
517084001	CVAG6A-NOT CORRECTLY ZON	0.366	MDR		2-5 DU/AC	R-R								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657204005	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657021011	CVAG6A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CWWD
669171005	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657021026	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CWWD
657203015	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657182028	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669183010	CVAG6A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656182005	CVAG6A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657351006	CVAG6A-NOT CORRECTLY ZON	0.240	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669210017	CVAG6A-NOT CORRECTLY ZON	5.051	MDR		2-5 DU/AC	W-2						Santa Rosa and San Jacinto Mountains Conservation Area		CWWD
657103016	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/AC	W-2								CWWD
657113009	CVAG6A-NOT CORRECTLY ZON	0.479	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657201022	CVAG6A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669171010	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656242029	CVAG6A-NOT CORRECTLY ZON	0.212	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656171042	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
664210021	CVAG6A-NOT CORRECTLY ZON	2.504	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669196010	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	C-P-5								CWWD
656121035	CVAG6A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
669183015	CVAG6A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
66312002	CVAG66A-NOT CORRECTLY ZONED	1.385	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663070043	CVAG66A-NOT CORRECTLY ZONED	0.254	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517285005	CVAG66A-NOT CORRECTLY ZONED	0.210	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
51713011	CVAG66A-NOT CORRECTLY ZONED	0.252	MDR		2-5 DU/AC	R-R								SGPWA
517151013	CVAG66A-NOT CORRECTLY ZONED	0.222	MDR		2-5 DU/AC	R-R								SGPWA
517062021	CVAG66A-NOT CORRECTLY ZONED	0.259	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
51717001	CVAG66A-NOT CORRECTLY ZONED	0.299	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517142002	CVAG66A-NOT CORRECTLY ZONED	0.332	MDR		2-5 DU/AC	R-R								SGPWA
520123002	CVAG66A-NOT CORRECTLY ZONED	0.264	MDR		2-5 DU/AC	R-R								SGPWA
517062011	CVAG66A-NOT CORRECTLY ZONED	0.209	MDR		2-5 DU/AC	R-R								SGPWA
517274002	CVAG66A-NOT CORRECTLY ZONED	0.343	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
657201027	CVAG66A-NOT CORRECTLY ZONED	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656243013	CVAG66A-NOT CORRECTLY ZONED	0.225	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202015	CVAG66A-NOT CORRECTLY ZONED	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656191023	CVAG66A-NOT CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	W-2								CVWD
657131003	CVAG66A-NOT CORRECTLY ZONED	0.429	MDR		2-5 DU/AC	W-2								CVWD
656264003	CVAG66A-NOT CORRECTLY ZONED	0.230	MDR		2-5 DU/AC	W-2								CVWD
656122019	CVAG66A-NOT CORRECTLY ZONED	0.205	MDR		2-5 DU/AC	W-2								CVWD
663181012	CVAG66A-NOT CORRECTLY ZONED	0.990	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181023	CVAG66A-NOT CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656182019	CVAG66A-NOT CORRECTLY ZONED	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663182001	CVAG66A-NOT CORRECTLY ZONED	0.244	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657021028	CVAG66A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
753080003	CVAG66A-NOT CORRECTLY ZON	6.802	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663190005	CVAG66A-NOT CORRECTLY ZON	0.863	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663190020	CVAG66A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
665150020	CVAG66A-NOT CORRECTLY ZON	0.190	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517161019	CVAG66A-NOT CORRECTLY ZON	0.251	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517250002	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517173006	CVAG66A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517173001	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517141005	CVAG66A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517211021	CVAG66A-NOT CORRECTLY ZON	0.507	MDR		2-5 DU/AC	R-R								SGPWA
517071001	CVAG66A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517300005	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517211005	CVAG66A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R								SGPWA
520094002	CVAG66A-NOT CORRECTLY ZON	0.298	MDR		2-5 DU/AC	R-R								SGPWA
667183003	CVAG66A-NOT CORRECTLY ZON	0.358	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021025	CVAG66A-NOT CORRECTLY ZON	0.184	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657072002	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657022096	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
656242032	CVAG66A-NOT CORRECTLY ZON	0.204	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657022012	CVAG66A-NOT CORRECTLY ZON	0.183	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
723269004	CVAG66A-NOT CORRECTLY ZON	0.130	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723253006	CVAG66A-NOT CORRECTLY ZON	0.127	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723255003	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
517095001	CVAG66A-NOT CORRECTLY ZON	0.274	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
51723010	CVAG66A-NOT CORRECTLY ZON	0.330	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
51713023	CVAG66A-NOT CORRECTLY ZON	0.347	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517084002	CVAG66A-NOT CORRECTLY ZON	0.278	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517242005	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
656181013	CVAG66A-NOT CORRECTLY ZON	0.157	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657142009	CVAG66A-NOT CORRECTLY ZON	0.404	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657160021	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657032009	CVAG66A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
656248028	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657104017	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663062005	CVAG66A-NOT CORRECTLY ZON	1.024	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656212013	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
665151012	CVAG66A-NOT CORRECTLY ZON	0.391	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663070006	CVAG66A-NOT CORRECTLY ZON	0.462	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
663041011	CVAG66A-NOT CORRECTLY ZON	0.897	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
664210008	CVAG66A-NOT CORRECTLY ZON	2.499	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
666214008	CVAG66A-NOT CORRECTLY ZON	0.225	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
723262005	CVAG66A-NOT CORRECTLY ZON	0.114	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663090030	CVAG66A-NOT CORRECTLY ZON	1.307	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
665155014	CVAG66A-NOT CORRECTLY ZON	0.201	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
517122009	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CVWD
517147008	CVAG66A-NOT CORRECTLY ZON	0.208	MDR		2-5 DU/AC	R-R								SGPWA
517105009	CVAG66A-NOT CORRECTLY ZON	0.234	MDR		2-5 DU/AC	R-R								SGPWA
517190073	CVAG66A-NOT CORRECTLY ZON	0.872	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517063003	CVAG66A-NOT CORRECTLY ZON	0.264	MDR		2-5 DU/AC	R-R								SGPWA
520093001	CVAG66A-NOT CORRECTLY ZON	0.300	MDR		2-5 DU/AC	R-R								SGPWA
517061003	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2-5 DU/AC	R-R						Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517233009	CVAG66A-NOT CORRECTLY ZON	0.467	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517062003	CVAG66A-NOT CORRECTLY ZON	0.260	MDR		2-5 DU/AC	R-R								SGPWA
517300007	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R								SGPWA
517083006	CVAG66A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	R-R								SGPWA
517091009	CVAG66A-NOT CORRECTLY ZON	0.276	MDR		2-5 DU/AC	R-R								SGPWA
517093004	CVAG66A-NOT CORRECTLY ZON	0.209	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
567172008	CVAG66A-NOT CORRECTLY ZON	0.297	MDR		2-5 DU/AC	W-2								SGPWA
656233001	CVAG66A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
556121027	CVAG66A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2								CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657122020	CVAG6A-NOT CORRECTLY ZON	0.403 MDR			2-5 DU/AC	C-1/C-P				FLOODING SENSITIVITY				CWWD
657132006	CVAG6A-NOT CORRECTLY ZON	0.388 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
656182015	CVAG6A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657022035	CVAG6A-NOT CORRECTLY ZON	0.178 MDR			2-5 DU/AC					FLOODING SENSITIVITY				CWWD
657072009	CVAG6A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
664210020	CVAG6A-NOT CORRECTLY ZON	2.490 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
657142008	CVAG6A-NOT CORRECTLY ZON	0.442 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
723251003	CVAG6A-NOT CORRECTLY ZON	0.122 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
723261018	CVAG6A-NOT CORRECTLY ZON	0.115 MDR			2-5 DU/AC	W-2				FLOODING SENSITIVITY				CWWD
665160012	CVAG6A-NOT CORRECTLY ZON	0.202 MDR			2-5 DU/AC					FLOODING SENSITIVITY				CWWD
517122008	CVAG6A-NOT CORRECTLY ZON	0.249 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
522180006	CVAG6A-NOT CORRECTLY ZON	1.228 MDR			2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				SGPWA
517131001	CVAG6A-NOT CORRECTLY ZON	0.351 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517910009	CVAG6A-NOT CORRECTLY ZON	0.166 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
520092002	CVAG6A-NOT CORRECTLY ZON	0.305 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517051007	CVAG6A-NOT CORRECTLY ZON	0.249 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
520102002	CVAG6A-NOT CORRECTLY ZON	0.297 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517171001	CVAG6A-NOT CORRECTLY ZON	0.255 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517062022	CVAG6A-NOT CORRECTLY ZON	0.301 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517062014	CVAG6A-NOT CORRECTLY ZON	0.371 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517290014	CVAG6A-NOT CORRECTLY ZON	0.310 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517161002	CVAG6A-NOT CORRECTLY ZON	0.230 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517102003	CVAG6A-NOT CORRECTLY ZON	0.378 MDR			2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
520310001	CVAG6A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657031021	CVAG6A-NOT CORRECTLY ZON	0.177	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657111006	CVAG6A-NOT CORRECTLY ZON	0.390	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CVWD
663061006	CVAG6A-NOT CORRECTLY ZON	0.327	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656211009	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202037	CVAG6A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667171032	CVAG6A-NOT CORRECTLY ZON	0.662	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656122025	CVAG6A-NOT CORRECTLY ZON	0.172	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252027	CVAG6A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723265006	CVAG6A-NOT CORRECTLY ZON	0.120	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663140019	CVAG6A-NOT CORRECTLY ZON	0.667	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
665155022	CVAG6A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
663081032	CVAG6A-NOT CORRECTLY ZON	1.113	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517102006	CVAG6A-NOT CORRECTLY ZON	0.370	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517162007	CVAG6A-NOT CORRECTLY ZON	0.224	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517093002	CVAG6A-NOT CORRECTLY ZON	0.212	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517053001	CVAG6A-NOT CORRECTLY ZON	0.271	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517222012	CVAG6A-NOT CORRECTLY ZON	0.503	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520103007	CVAG6A-NOT CORRECTLY ZON	0.294	MDR		2-5 DU/AC	R-R								SGPWA
517154003	CVAG6A-NOT CORRECTLY ZON	0.388	MDR		2-5 DU/AC	R-R								SGPWA
517260016	CVAG6A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517094003	CVAG6A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
609450014	CVAG6A-NOT CORRECTLY ZON	1.214	MDR		2-5 DU/AC	R-S			SAN ANDREAS FAULT ZONE				Zone E	CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657031028	CVAG66A-NOT CORRECTLY ZON	0.179	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
667181005	CVAG66A-NOT CORRECTLY ZON	0.354	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657032022	CVAG66A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657123008	CVAG66A-NOT CORRECTLY ZON	0.416	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657123005	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657032010	CVAG66A-NOT CORRECTLY ZON	0.181	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657031004	CVAG66A-NOT CORRECTLY ZON	0.176	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657123030	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
723252023	CVAG66A-NOT CORRECTLY ZON	0.112	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
665090069	CVAG66A-NOT CORRECTLY ZON	0.405	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CYWD
517260015	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517113028	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	R-R								SGPWA
517052006	CVAG66A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R								SGPWA
517062017	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R								SGPWA
517290016	CVAG66A-NOT CORRECTLY ZON	2.572	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
663062006	CVAG66A-NOT CORRECTLY ZON	1.048	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657212011	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
656182012	CVAG66A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
669194001	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				CYWD
656264002	CVAG66A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
669660041	CVAG66A-NOT CORRECTLY ZON	1.582	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663161001	CVAG6A-NOT CORRECTLY ZON	1.019	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656201007	CVAG6A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657102016	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656232004	CVAG6A-NOT CORRECTLY ZON	0.171	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657203004	CVAG6A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663032001	CVAG6A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663061001	CVAG6A-NOT CORRECTLY ZON	1.044	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663130002	CVAG6A-NOT CORRECTLY ZON	1.235	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
663181007	CVAG6A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663151013	CVAG6A-NOT CORRECTLY ZON	0.197	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
517222014	CVAG6A-NOT CORRECTLY ZON	0.289	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520106005	CVAG6A-NOT CORRECTLY ZON	0.316	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517093006	CVAG6A-NOT CORRECTLY ZON	0.229	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517330012	CVAG6A-NOT CORRECTLY ZON	0.196	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517052004	CVAG6A-NOT CORRECTLY ZON	0.247	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517161017	CVAG6A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517052002	CVAG6A-NOT CORRECTLY ZON	0.281	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520106003	CVAG6A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
657181040	CVAG6A-NOT CORRECTLY ZON	0.173	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
66960040	CVAG6A-NOT CORRECTLY ZON	0.497	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CWWD
667181003	CVAG6A-NOT CORRECTLY ZON	1.028	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656264010	CVAG6A-NOT CORRECTLY ZON	0.116	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
667183005	CVAG6A-NOT CORRECTLY ZON	0.363	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
656213005	CVAG6A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
669194018	CVAG6A-NOT CORRECTLY ZON	0.167	MDR		2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

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656110024	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2.5 DU/AC	W-2								CWWD
656191014	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
664210004	CVAG66A-NOT CORRECTLY ZON	2.478	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663100005	CVAG66A-NOT CORRECTLY ZON	0.273	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
663110007	CVAG66A-NOT CORRECTLY ZON	1.308	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
723262021	CVAG66A-NOT CORRECTLY ZON	0.227	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663100016	CVAG66A-NOT CORRECTLY ZON	0.256	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
663100017	CVAG66A-NOT CORRECTLY ZON	4.702	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
517230016	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				CWWD
517340004	CVAG66A-NOT CORRECTLY ZON	0.081	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517211001	CVAG66A-NOT CORRECTLY ZON	0.695	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517094002	CVAG66A-NOT CORRECTLY ZON	0.294	MDR		2.5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517051006	CVAG66A-NOT CORRECTLY ZON	0.291	MDR		2.5 DU/AC	R-R								SGPWA
517283011	CVAG66A-NOT CORRECTLY ZON	0.251	MDR		2.5 DU/AC	R-R								SGPWA
517054003	CVAG66A-NOT CORRECTLY ZON	0.255	MDR		2.5 DU/AC	R-R								SGPWA
657143008	CVAG66A-NOT CORRECTLY ZON	0.412	MDR		2.5 DU/AC	W-2								CWWD
669171003	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2.5 DU/AC	W-2								CWWD
657113008	CVAG66A-NOT CORRECTLY ZON	0.407	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
663110026	CVAG66A-NOT CORRECTLY ZON	1.218	MDR		2.5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CWWD
669560043	CVAG66A-NOT CORRECTLY ZON	0.468	MDR		2.5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				CWWD
723263019	CVAG66A-NOT CORRECTLY ZON	0.132	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
657032026	CVAG66A-NOT CORRECTLY ZON	0.185	MDR		2.5 DU/AC					AREAS OF FLOODING SENSITIVITY				CWWD
665042002	CVAG66A-NOT CORRECTLY ZON	0.751	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD
723261016	CVAG66A-NOT CORRECTLY ZON	0.113	MDR		2.5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CWWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663120008	CVAG66A-NOT CORRECTLY ZON	1.437	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CYWD
517241008	CVAG66A-NOT CORRECTLY ZON	0.448	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		Cottonwood Canyons Conservation Area		SGPWA
517174006	CVAG66A-NOT CORRECTLY ZON	0.223	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
517198085	CVAG66A-NOT CORRECTLY ZON	0.709	MDR		2-5 DU/AC	R-R								SGPWA
517222003	CVAG66A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	R-R								SGPWA
517054004	CVAG66A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC	R-R								SGPWA
607291018	CVAG66A-NOT CORRECTLY ZON	0.779	MDR		2-5 DU/AC	W-1								CYWD
520092001	CVAG66A-NOT CORRECTLY ZON	0.302	MDR		2-5 DU/AC	R-R								SGPWA
517101009	CVAG66A-NOT CORRECTLY ZON	0.254	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
657082001	CVAG66A-NOT CORRECTLY ZON	0.196	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
663161003	CVAG66A-NOT CORRECTLY ZON	1.025	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657202019	CVAG66A-NOT CORRECTLY ZON	0.165	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663062007	CVAG66A-NOT CORRECTLY ZON	1.036	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657122004	CVAG66A-NOT CORRECTLY ZON	0.433	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				CYWD
656261002	CVAG66A-NOT CORRECTLY ZON	0.233	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657031020	CVAG66A-NOT CORRECTLY ZON	0.263	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657031035	CVAG66A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CYWD
657160007	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
656121033	CVAG66A-NOT CORRECTLY ZON	0.174	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
723262022	CVAG66A-NOT CORRECTLY ZON	0.341	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663110024	CVAG66A-NOT CORRECTLY ZON	0.489	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CYWD
663172007	CVAG66A-NOT CORRECTLY ZON	0.320	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CYWD
517121002	CVAG66A-NOT CORRECTLY ZON	0.209	MDR		2-5 DU/AC	R-R								SGPWA
517122011	CVAG66A-NOT CORRECTLY ZON	0.243	MDR		2-5 DU/AC	R-R								SGPWA
517154012	CVAG66A-NOT CORRECTLY ZON	0.291	MDR		2-5 DU/AC	R-R								SGPWA
520093005	CVAG66A-NOT CORRECTLY ZON	0.299	MDR		2-5 DU/AC	R-R								SGPWA
517221007	CVAG66A-NOT CORRECTLY ZON	0.287	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
520103003	CVAG66A-NOT CORRECTLY ZON	0.296	MDR		2-5 DU/AC	R-R								SGPWA
657081014	CVAG66A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663202006	CVAG66A-NOT CORRECTLY ZON	0.246	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
656182021	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657181009	CVAG66A-NOT CORRECTLY ZON	0.164	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657081004	CVAG66A-NOT CORRECTLY ZON	0.221	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657123011	CVAG66A-NOT CORRECTLY ZON	0.435	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657122021	CVAG66A-NOT CORRECTLY ZON	0.413	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				CYWD
663051003	CVAG66A-NOT CORRECTLY ZON	1.059	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657021038	CVAG66A-NOT CORRECTLY ZON	0.249	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657132002	CVAG66A-NOT CORRECTLY ZON	0.404	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
656242025	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
657351005	CVAG66A-NOT CORRECTLY ZON	0.252	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD
663181001	CVAG66A-NOT CORRECTLY ZON	1.035	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CYWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663210007	CVAG6A-NOT CORRECTLY ZON	2.595	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY		Upper Mission Creek/Big Morongo Canyon Conservation Area		CVWD
663224010	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663100018	CVAG6A-NOT CORRECTLY ZON	5.411	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517330003	CVAG6A-NOT CORRECTLY ZON	0.230	MDR		2-5 DU/AC	R-R								SGPWA
517113024	CVAG6A-NOT CORRECTLY ZON	0.430	MDR		2-5 DU/AC	R-R								SGPWA
517113095	CVAG6A-NOT CORRECTLY ZON	0.242	MDR		2-5 DU/AC	R-R								SGPWA
517062001	CVAG6A-NOT CORRECTLY ZON	0.266	MDR		2-5 DU/AC	R-R								SGPWA
517040029	CVAG6A-NOT CORRECTLY ZON	0.227	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517152001	CVAG6A-NOT CORRECTLY ZON	0.262	MDR		2-5 DU/AC	R-R								SGPWA
517072014	CVAG6A-NOT CORRECTLY ZON	0.286	MDR		2-5 DU/AC	R-R								SGPWA
517228012	CVAG6A-NOT CORRECTLY ZON	0.244	MDR		2-5 DU/AC	R-R								SGPWA
517242012	CVAG6A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				SGPWA
657142015	CVAG6A-NOT CORRECTLY ZON	0.401	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657032016	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657213014	CVAG6A-NOT CORRECTLY ZON	0.163	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031011	CVAG6A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657172014	CVAG6A-NOT CORRECTLY ZON	0.162	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657032007	CVAG6A-NOT CORRECTLY ZON	0.180	MDR		2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657414002	CVAG6A-NOT CORRECTLY ZON	0.278	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663204011	CVAG6A-NOT CORRECTLY ZON	0.231	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
669190017	CVAG6A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/AC	C-P-5								CVWD
656121014	CVAG6A-NOT CORRECTLY ZON	0.175	MDR		2-5 DU/AC	W-2								CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
663222011	CVAG66A-NOT CORRECTLY ZON	0.276	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656233002	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667184004	CVAG66A-NOT CORRECTLY ZON	0.366	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723252010	CVAG66A-NOT CORRECTLY ZON	0.118	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
723262019	CVAG66A-NOT CORRECTLY ZON	0.115	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663090005	CVAG66A-NOT CORRECTLY ZON	0.203	MDR		2-5 DU/AC	W-2-M				AREAS OF FLOODING SENSITIVITY				CVWD
517072001	CVAG66A-NOT CORRECTLY ZON	0.298	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517133002	CVAG66A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517171006	CVAG66A-NOT CORRECTLY ZON	0.259	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517211031	CVAG66A-NOT CORRECTLY ZON	0.489	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517061002	CVAG66A-NOT CORRECTLY ZON	0.250	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
520123014	CVAG66A-NOT CORRECTLY ZON	0.269	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
517030004	CVAG66A-NOT CORRECTLY ZON	0.342	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY		Stubbe and Cottonwood Canyons Conservation Area		SGPWA
657203010	CVAG66A-NOT CORRECTLY ZON	0.169	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656181012	CVAG66A-NOT CORRECTLY ZON	0.160	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657081006	CVAG66A-NOT CORRECTLY ZON	0.222	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657091010	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517174011	CVAG66A-NOT CORRECTLY ZON	0.220	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517121006	CVAG66A-NOT CORRECTLY ZON	0.253	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517152004	CVAG66A-NOT CORRECTLY ZON	0.228	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517095005	CVAG66A-NOT CORRECTLY ZON	0.248	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
51713008	CVAG66A-NOT CORRECTLY ZONED	0.244	MDR	2-5 DU/AC	R-R								SGPWA
51713005	CVAG66A-NOT CORRECTLY ZONED	0.250	MDR	2-5 DU/AC	R-R								SGPWA
517330017	CVAG66A-NOT CORRECTLY ZONED	0.107	MDR	2-5 DU/AC	R-R								SGPWA
517300016	CVAG66A-NOT CORRECTLY ZONED	0.169	MDR	2-5 DU/AC	R-R			SAN ANDREAS FAULT ZONE					SGPWA
517151001	CVAG66A-NOT CORRECTLY ZONED	0.251	MDR	2-5 DU/AC	R-R								SGPWA
517053007	CVAG66A-NOT CORRECTLY ZONED	0.246	MDR	2-5 DU/AC	R-R								SGPWA
664210027	CVAG66A-NOT CORRECTLY ZONED	2.552	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656101018	CVAG66A-NOT CORRECTLY ZONED	0.168	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663031012	CVAG66A-NOT CORRECTLY ZONED	0.533	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657031006	CVAG66A-NOT CORRECTLY ZONED	0.186	MDR	2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
657141004	CVAG66A-NOT CORRECTLY ZONED	0.411	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657181027	CVAG66A-NOT CORRECTLY ZONED	0.160	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
657021030	CVAG66A-NOT CORRECTLY ZONED	0.181	MDR	2-5 DU/AC					AREAS OF FLOODING SENSITIVITY				CVWD
667172002	CVAG66A-NOT CORRECTLY ZONED	0.891	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656202003	CVAG66A-NOT CORRECTLY ZONED	0.170	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663031017	CVAG66A-NOT CORRECTLY ZONED	1.865	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
656243012	CVAG66A-NOT CORRECTLY ZONED	0.167	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
663222002	CVAG66A-NOT CORRECTLY ZONED	0.641	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
751040006	CVAG66A-NOT CORRECTLY ZONED	4.799	MDR	2-5 DU/AC	SP ZONE				AREAS OF FLOODING SENSITIVITY			Zone C	CVWD
723254013	CVAG66A-NOT CORRECTLY ZONED	0.112	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
667184008	CVAG66A-NOT CORRECTLY ZONED	0.367	MDR	2-5 DU/AC	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
517190072	CVAG66A-NOT CORRECTLY ZONED	0.694	MDR	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
517062015	CVAG66A-NOT CORRECTLY ZONED	0.288	MDR	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
520104005	CVAG66A-NOT CORRECTLY ZONED	0.329	MDR	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
657213003	CVAG66A-NOT CORRECTLY ZON	0.170	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
655212007	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657160088	CVAG66A-NOT CORRECTLY ZON	0.168	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
657151015	CVAG66A-NOT CORRECTLY ZON	0.166	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
656121034	CVAG66A-NOT CORRECTLY ZON	0.178	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
656242028	CVAG66A-NOT CORRECTLY ZON	0.161	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
669194011	CVAG66A-NOT CORRECTLY ZON	0.157	MDR		2-5 DU/AC	C-P-S				FLOODING SENSITIVITY				CVWD
663110020	CVAG66A-NOT CORRECTLY ZON	0.273	MDR		2-5 DU/AC	W-2-M				FLOODING SENSITIVITY				CVWD
663210002	CVAG66A-NOT CORRECTLY ZON	1.162	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
665155018	CVAG66A-NOT CORRECTLY ZON	0.197	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CVWD
665155024	CVAG66A-NOT CORRECTLY ZON	0.191	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CVWD
665155021	CVAG66A-NOT CORRECTLY ZON	0.192	MDR		2-5 DU/AC					FLOODING SENSITIVITY				CVWD
654200061	CVAG66A-NOT CORRECTLY ZON	0.135	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
659040016	CVAG66A-NOT CORRECTLY ZON	9.515	MDR		2-5 DU/AC	W-2			SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
654200062	CVAG66A-NOT CORRECTLY ZON	0.899	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
654200063	CVAG66A-NOT CORRECTLY ZON	1.684	MDR		2-5 DU/AC	W-2				FLOODING SENSITIVITY				CVWD
345031011	WRCOG66A-NOT CORRECTLY Z	0.039	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				CVWD
434266004	WRCOG66A-NOT CORRECTLY Z	0.125	MDR		2-5 DU/AC	A-1-5								EMWD
455220007	WRCOG66A-NOT CORRECTLY Z	0.746	MDR		2-5 DU/AC	R-R					YES			EMWD
455190035	WRCOG66A-NOT CORRECTLY Z	0.353	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
463157035	WRCOG66A-NOT CORRECTLY Z	0.243	MDR	CCO	2-5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
462120032	WRCOG6A-NOT CORRECTLY Z	0.858 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549164011	WRCOG6A-NOT CORRECTLY Z	0.080 MDR			2-5 DU/AC	R-R								SGPWA
342067017	WRCOG6A-NOT CORRECTLY Z	0.318 MDR	RVSA		2-5 DU/AC	R-R								WMWD
343264010	WRCOG6A-NOT CORRECTLY Z	0.104 MDR			2-5 DU/AC	R-R								WMWD
462172001	WRCOG6A-NOT CORRECTLY Z	0.089 MDR	CCO		2-5 DU/AC	R-R								EMWD
343263014	WRCOG6A-NOT CORRECTLY Z	0.338 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
307190011	WRCOG6A-NOT CORRECTLY Z	10.052 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
309370009	WRCOG6A-NOT CORRECTLY Z	4.747 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
343253002	WRCOG6A-NOT CORRECTLY Z	0.116 MDR			2-5 DU/AC	R-R								WMWD
459176003	WRCOG6A-NOT CORRECTLY Z	0.023 MDR			2-5 DU/AC	R-R					YES			EMWD
552250013	WRCOG6A-NOT CORRECTLY Z	0.500 MDR			2-5 DU/AC	A-1-1				AREAS OF FLOODING SENSITIVITY				SGPWA
310230030	WRCOG6A-NOT CORRECTLY Z	9.662 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345092010	WRCOG6A-NOT CORRECTLY Z	0.098 MDR			2-5 DU/AC	R-R								WMWD
458361006	WRCOG6A-NOT CORRECTLY Z	0.212 MDR			2-5 DU/AC	R-1								EMWD
463158018	WRCOG6A-NOT CORRECTLY Z	0.241 MDR	CCO		2-5 DU/AC	R-R					YES			EMWD
465140015	WRCOG6A-NOT CORRECTLY Z	12.982 MDR			2-5 DU/AC	A-2-10				AREAS OF FLOODING SENSITIVITY				EMWD
966050066	WRCOG6A-NOT CORRECTLY Z	1.532 MDR			2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				EMWD
457120042	WRCOG6A-NOT CORRECTLY Z	2.416 MDR			2-5 DU/AC	R-R								EMWD
466310015	WRCOG6A-NOT CORRECTLY Z	9.531 MDR			2-5 DU/AC	R-R								EMWD
458361012	WRCOG6A-NOT CORRECTLY Z	0.183 MDR			2-5 DU/AC	R-1								EMWD
552250019	WRCOG6A-NOT CORRECTLY Z	1.699 MDR			2-5 DU/AC	A-1-1								SGPWA
476010040	WRCOG6A-NOT CORRECTLY Z	7.114 MDR			2-5 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				EMWD
307200001	WRCOG6A-NOT CORRECTLY Z	9.655 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
343265013	WRCOG6A-NOT CORRECTLY Z	0.101 MDR			2-5 DU/AC	R-R								WMWD
343252023	WRCOG6A-NOT CORRECTLY Z	0.189 MDR			2-5 DU/AC	R-R								WMWD
455320021	WRCOG6A-NOT CORRECTLY Z	1.465 MDR			2-5 DU/AC	R-R					YES			EMWD
465170007	WRCOG6A-NOT CORRECTLY Z	10.087 MDR			2-5 DU/AC	A-2-10				AREAS OF FLOODING SENSITIVITY	YES			EMWD
549162030	WRCOG6A-NOT CORRECTLY Z	0.173 MDR			2-5 DU/AC	R-R								SGPWA
343263019	WRCOG6A-NOT CORRECTLY Z	0.229 MDR			2-5 DU/AC	R-R								WMWD
342052040	WRCOG6A-NOT CORRECTLY Z	0.307 MDR	RVSA		2-5 DU/AC	R-R								WMWD
307260032	WRCOG6A-NOT CORRECTLY Z	5.170 MDR			2-5 DU/AC	R-R								WMWD
343265016	WRCOG6A-NOT CORRECTLY Z	0.182 MDR			2-5 DU/AC	R-R								WMWD
434240016	WRCOG6A-NOT CORRECTLY Z	0.962 MDR			2-5 DU/AC	A-1-5								WMWD
463060004	WRCOG6A-NOT CORRECTLY Z	0.928 MDR	CCO		2-5 DU/AC	R-R								EMWD
326240037	WRCOG6A-NOT CORRECTLY Z	0.286 MDR			2-5 DU/AC	R-R							Zone E	WMWD
343253005	WRCOG6A-NOT CORRECTLY Z	0.118 MDR			2-5 DU/AC	R-R								WMWD
343252011	WRCOG6A-NOT CORRECTLY Z	0.097 MDR			2-5 DU/AC	R-R								WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
343252009	WRCOG66A-NOT CORRECTLY Z	0.092	MDR		2-5 DU/AC	R-R								WMWD
462181006	WRCOG66A-NOT CORRECTLY Z	0.168	MDR	CCO	2-5 DU/AC	R-R								EMWD
466320039	WRCOG66A-NOT CORRECTLY Z	4.471	MDR		2-5 DU/AC	R-R								EMWD
345031001	WRCOG66A-NOT CORRECTLY Z	0.083	MDR		2-5 DU/AC	R-R								WMWD
310240005	WRCOG66A-NOT CORRECTLY Z	4.774	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
309360033	WRCOG66A-NOT CORRECTLY Z	1.172	MDR		2-5 DU/AC	R-R								WMWD
342052032	WRCOG66A-NOT CORRECTLY Z	0.313	MDR	RVSA	2-5 DU/AC	R-R								WMWD
472170001	WRCOG66A-NOT CORRECTLY Z	83.313	MDR		2-5 DU/AC	A-1-10								EMWD
463160022	WRCOG66A-NOT CORRECTLY Z	2.454	MDR		2-5 DU/AC	R-R					YES			EMWD
549142016	WRCOG66A-NOT CORRECTLY Z	0.174	MDR		2-5 DU/AC	R-R								SGPWA
548140010	WRCOG66A-NOT CORRECTLY Z	0.481	MDR		2-5 DU/AC	C-P-S								SGPWA
457120037	WRCOG66A-NOT CORRECTLY Z	8.038	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
466310024	WRCOG66A-NOT CORRECTLY Z	9.010	MDR		2-5 DU/AC	R-R								EMWD
463118010	WRCOG66A-NOT CORRECTLY Z	0.084	MDR	CCO	2-5 DU/AC	R-R								EMWD
463060026	WRCOG66A-NOT CORRECTLY Z	1.009	MDR	CCO	2-5 DU/AC	R-R								EMWD
552080008	WRCOG66A-NOT CORRECTLY Z	4.640	MDR		2-5 DU/AC	A-1-5								SGPWA
309360009	WRCOG66A-NOT CORRECTLY Z	1.061	MDR		2-5 DU/AC	R-R								WMWD
345036005	WRCOG66A-NOT CORRECTLY Z	0.076	MDR		2-5 DU/AC	R-R								WMWD
463143022	WRCOG66A-NOT CORRECTLY Z	0.171	MDR	CCO	2-5 DU/AC	R-R								EMWD
549200056	WRCOG66A-NOT CORRECTLY Z	0.204	MDR		2-5 DU/AC	R-R								SGPWA
309380014	WRCOG66A-NOT CORRECTLY Z	0.907	MDR		2-5 DU/AC	R-R								WMWD
343204006	WRCOG66A-NOT CORRECTLY Z	0.167	MDR		2-5 DU/AC	R-R								WMWD
462080010	WRCOG66A-NOT CORRECTLY Z	8.329	MDR		2-5 DU/AC	A-1-10				AREAS OF FLOODING SENSITIVITY				EMWD
462110005	WRCOG66A-NOT CORRECTLY Z	2.689	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
426440002	WRCOG66A-NOT CORRECTLY Z	2.509	MDR		2-5 DU/AC	R-R								EMWD
457160010	WRCOG66A-NOT CORRECTLY Z	0.338	MDR		2-5 DU/AC	R-R								EMWD
462172004	WRCOG66A-NOT CORRECTLY Z	0.354	MDR	CCO	2-5 DU/AC	R-R								EMWD
462050012	WRCOG66A-NOT CORRECTLY Z	1.196	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
310240009	WRCOG66A-NOT CORRECTLY Z	133.337	MDR		2-5 DU/AC	A-1-20								WMWD
343263015	WRCOG66A-NOT CORRECTLY Z	0.119	MDR		2-5 DU/AC	R-R								WMWD
345031012	WRCOG66A-NOT CORRECTLY Z	0.100	MDR		2-5 DU/AC	R-R								WMWD
457120068	WRCOG66A-NOT CORRECTLY Z	1.958	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CY/AG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
549080054	WRCOG6A-NOT CORRECTLY Z	0.960	MDR		2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
509360018	WRCOG6A-NOT CORRECTLY Z	4.846	MDR		2-5 DU/AC	R-R								WMWD
343254005	WRCOG6A-NOT CORRECTLY Z	0.105	MDR		2-5 DU/AC	R-R								WMWD
457160025	WRCOG6A-NOT CORRECTLY Z	3.218	MDR		2-5 DU/AC	R-R								EMWD
457160021	WRCOG6A-NOT CORRECTLY Z	7.728	MDR		2-5 DU/AC	R-R					YES			EMWD
465170012	WRCOG6A-NOT CORRECTLY Z	9.894	MDR		2-5 DU/AC	A-2-10					YES			EMWD
463077010	WRCOG6A-NOT CORRECTLY Z	0.185	MDR	CCO	2-5 DU/AC	R-R								EMWD
463077017	WRCOG6A-NOT CORRECTLY Z	0.253	MDR	CCO	2-5 DU/AC	R-R								EMWD
552230019	WRCOG6A-NOT CORRECTLY Z	1.202	MDR		2-5 DU/AC	A-1-1								SGPWA
326270050	WRCOG6A-NOT CORRECTLY Z	0.661	MDR		2-5 DU/AC	R-R								WMWD
457151017	WRCOG6A-NOT CORRECTLY Z	0.246	MDR		2-5 DU/AC	R-R								EMWD
343233012	WRCOG6A-NOT CORRECTLY Z	0.101	MDR		2-5 DU/AC	R-R								WMWD
462080005	WRCOG6A-NOT CORRECTLY Z	5.177	MDR		2-5 DU/AC	R-R								EMWD
465140034	WRCOG6A-NOT CORRECTLY Z	7.825	MDR		2-5 DU/AC	A-2-10					YES			EMWD
966020019	WRCOG6A-NOT CORRECTLY Z	0.155	MDR		2-5 DU/AC	R-1								EMWD
917310037	WRCOG6A-NOT CORRECTLY Z	0.825	MDR		2-5 DU/AC	R-R								EMWD
509360020	WRCOG6A-NOT CORRECTLY Z	4.852	MDR		2-5 DU/AC	R-R								WMWD
343252008	WRCOG6A-NOT CORRECTLY Z	0.100	MDR		2-5 DU/AC	R-R								WMWD
343263018	WRCOG6A-NOT CORRECTLY Z	0.115	MDR		2-5 DU/AC	R-R								WMWD
345033002	WRCOG6A-NOT CORRECTLY Z	0.091	MDR		2-5 DU/AC	R-R								WMWD
462080008	WRCOG6A-NOT CORRECTLY Z	8.634	MDR		2-5 DU/AC	A-1-10								EMWD
549130011	WRCOG6A-NOT CORRECTLY Z	2.988	MDR		2-5 DU/AC	R-R								SGPWA
461160017	WRCOG6A-NOT CORRECTLY Z	4.396	MDR		2-5 DU/AC	R-R								EMWD
457120076	WRCOG6A-NOT CORRECTLY Z	9.608	MDR		2-5 DU/AC	R-R								WMWD
307250016	WRCOG6A-NOT CORRECTLY Z	1.536	MDR		2-5 DU/AC	R-R					YES			WMWD
326250031	WRCOG6A-NOT CORRECTLY Z	1.015	MDR		2-5 DU/AC	R-R								WMWD
342062013	WRCOG6A-NOT CORRECTLY Z	0.315	MDR	RVSA	2-5 DU/AC	R-R								WMWD
462182004	WRCOG6A-NOT CORRECTLY Z	0.170	MDR	CCO	2-5 DU/AC	R-R								EMWD
462162005	WRCOG6A-NOT CORRECTLY Z	0.170	MDR	CCO	2-5 DU/AC	R-R								EMWD
552043038	WRCOG6A-NOT CORRECTLY Z	1.481	MDR		2-5 DU/AC	A-1-1								SGPWA
966380002	WRCOG6A-NOT CORRECTLY Z	0.228	MDR		2-5 DU/AC	R-5					YES			EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
462161005	WRCOG66A-NOT CORRECTLY Z	0.174	MDR	CCO	2.5 DU/AC	R-R								WMWD
462164007	WRCOG66A-NOT CORRECTLY Z	0.177	MDR	CCO	2.5 DU/AC	R-R								EMWD
462120002	WRCOG66A-NOT CORRECTLY Z	4.914	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457120057	WRCOG66A-NOT CORRECTLY Z	1.873	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
480020007	WRCOG66A-NOT CORRECTLY Z	19.326	MDR		2.5 DU/AC	R-5								EMWD
548200014	WRCOG66A-NOT CORRECTLY Z	0.721	MDR		2.5 DU/AC	R-R							Zone E	EMWD
917310004	WRCOG66A-NOT CORRECTLY Z	27.844	MDR		2.5 DU/AC	R-R								SGPWA
														EMWD
307110005	WRCOG66A-NOT CORRECTLY Z	4.590	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345035009	WRCOG66A-NOT CORRECTLY Z	0.095	MDR		2.5 DU/AC	R-R								WMWD
466320037	WRCOG66A-NOT CORRECTLY Z	4.351	MDR		2.5 DU/AC	R-R								EMWD
462120054	WRCOG66A-NOT CORRECTLY Z	1.702	MDR	CCO	2.5 DU/AC	R-R								EMWD
462120005	WRCOG66A-NOT CORRECTLY Z	3.557	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
310230013	WRCOG66A-NOT CORRECTLY Z	0.073	MDR		2.5 DU/AC	A-1-20				AREAS OF FLOODING SENSITIVITY				WMWD
343263001	WRCOG66A-NOT CORRECTLY Z	0.112	MDR		2.5 DU/AC	R-R								WMWD
462020020	WRCOG66A-NOT CORRECTLY Z	9.082	MDR		2.5 DU/AC	A-1-10								EMWD
462152020	WRCOG66A-NOT CORRECTLY Z	0.175	MDR	CCO	2.5 DU/AC	R-R								EMWD
462120004	WRCOG66A-NOT CORRECTLY Z	4.990	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
135520001	WRCOG66A-NOT CORRECTLY Z	0.361	MDR		2.5 DU/AC	R-1-10000								WMWD
310230040	WRCOG66A-NOT CORRECTLY Z	26.076	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345032011	WRCOG66A-NOT CORRECTLY Z	0.092	MDR		2.5 DU/AC	R-R								WMWD
462110002	WRCOG66A-NOT CORRECTLY Z	1.851	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549070023	WRCOG66A-NOT CORRECTLY Z	0.318	MDR		2.5 DU/AC	A-1-5			SAN JACINTO FAULT ZONE					SGPWA
307220015	WRCOG66A-NOT CORRECTLY Z	125.350	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
465143004	WRCOG66A-NOT CORRECTLY Z	0.170	MDR	CCO	2.5 DU/AC	R-R								EMWD
462120003	WRCOG66A-NOT CORRECTLY Z	2.738	MDR		2.5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
458250013	WRCOG66A-NOT CORRECTLY Z	0.322	MDR		2.5 DU/AC	A-1-10				AREAS OF FLOODING SENSITIVITY				EMWD
466310022	WRCOG66A-NOT CORRECTLY Z	8.957	MDR		2.5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE COUNTY	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
391080005	WRCOG66A-NOT CORRECTLY Z	67.217	MDR		2-5 DU/AC	R-R			FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
102091005	WRCOG66A-NOT CORRECTLY Z	0.123	MDR		2-5 DU/AC	C-1/C-P								WAWWD
343253025	WRCOG66A-NOT CORRECTLY Z	0.112	MDR		2-5 DU/AC	R-R								WAWWD
457120069	WRCOG66A-NOT CORRECTLY Z	8.257	MDR		2-5 DU/AC	R-R					YES			EMWD
466310020	WRCOG66A-NOT CORRECTLY Z	8.497	MDR		2-5 DU/AC	R-1								EMWD
548080009	WRCOG66A-NOT CORRECTLY Z	0.176	MDR		2-5 DU/AC	R-R								SGPWA
549152063	WRCOG66A-NOT CORRECTLY Z	0.244	MDR		2-5 DU/AC	R-R								SGPWA
342072030	WRCOG66A-NOT CORRECTLY Z	0.168	MDR	RVSA	2-5 DU/AC	R-R							Zone E	SGPWA
345035005	WRCOG66A-NOT CORRECTLY Z	0.090	MDR		2-5 DU/AC	R-R								WAWWD
345033004	WRCOG66A-NOT CORRECTLY Z	0.091	MDR		2-5 DU/AC	R-R								WAWWD
345033009	WRCOG66A-NOT CORRECTLY Z	0.085	MDR		2-5 DU/AC	R-R								WAWWD
343264009	WRCOG66A-NOT CORRECTLY Z	0.104	MDR		2-5 DU/AC	R-R								WAWWD
462080015	WRCOG66A-NOT CORRECTLY Z	0.194	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
466350007	WRCOG66A-NOT CORRECTLY Z	8.877	MDR		2-5 DU/AC	R-R								EMWD
549130013	WRCOG66A-NOT CORRECTLY Z	0.125	MDR		2-5 DU/AC	R-R								WAWWD
565450003	WRCOG66A-NOT CORRECTLY Z	16.955	MDR		2-5 DU/AC	R-R								WAWWD
307270003	WRCOG66A-NOT CORRECTLY Z	2.388	MDR		2-5 DU/AC	R-R								EMWD
342062011	WRCOG66A-NOT CORRECTLY Z	2.368	MDR	RVSA	2-5 DU/AC	R-R								WAWWD
426440003	WRCOG66A-NOT CORRECTLY Z	0.356	MDR		2-5 DU/AC	R-R								WAWWD
458561005	WRCOG66A-NOT CORRECTLY Z	2.200	MDR		2-5 DU/AC	R-1								EMWD
307240006	WRCOG66A-NOT CORRECTLY Z	0.215	MDR		2-5 DU/AC	R-1								EMWD
345032012	WRCOG66A-NOT CORRECTLY Z	9.268	MDR		2-5 DU/AC	R-R								WAWWD
463118027	WRCOG66A-NOT CORRECTLY Z	0.092	MDR	CCO	2-5 DU/AC	R-R								WAWWD
463118027	WRCOG66A-NOT CORRECTLY Z	0.319	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462110001	WRCOG66A-NOT CORRECTLY Z	2.719	MDR		2-5 DU/AC	R-R								EMWD
461190053	WRCOG66A-NOT CORRECTLY Z	2.580	MDR		2-5 DU/AC	R-R					YES			EMWD
458361013	WRCOG66A-NOT CORRECTLY Z	0.518	MDR		2-5 DU/AC	R-1								EMWD
549164010	WRCOG66A-NOT CORRECTLY Z	0.080	MDR		2-5 DU/AC	R-R								SGPWA
282563006	WRCOG66A-NOT CORRECTLY Z	2.202	MDR		2-5 DU/AC	R-5			COUNTY FAULT ZONE					WAWWD
343265018	WRCOG66A-NOT CORRECTLY Z	0.128	MDR		2-5 DU/AC	R-R								WAWWD
438220010	WRCOG66A-NOT CORRECTLY Z	0.225	MDR		2-5 DU/AC	A-1-5								EMWD
451190004	WRCOG66A-NOT CORRECTLY Z	4.216	MDR		2-5 DU/AC	A-1-1				AREAS OF FLOODING SENSITIVITY				EMWD
476300002	WRCOG66A-NOT CORRECTLY Z	1.809	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
342051021	WRCOG66A-NOT CORRECTLY Z	0.284	MDR	RVSA	2-5 DU/AC	R-R					YES			EMWD
457120044	WRCOG66A-NOT CORRECTLY Z	2.559	MDR		2-5 DU/AC	R-R								WAWWD
466350015	WRCOG66A-NOT CORRECTLY Z	9.688	MDR		2-5 DU/AC	R-R								EMWD
466320013	WRCOG66A-NOT CORRECTLY Z	5.120	MDR		2-5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
465170025	WRCOG6A-NOT CORRECTLY Z	9.940 MDR			2-5 DU/AC	A-2-10				AREAS OF FLOODING SENSITIVITY	YES			EMWD
565214004	WRCOG6A-NOT CORRECTLY Z	0.093 MDR			2-5 DU/AC	R-5								SGPWA
917310039	WRCOG6A-NOT CORRECTLY Z	8.714 MDR			2-5 DU/AC	R-5								EMWD
307240013	WRCOG6A-NOT CORRECTLY Z	2.402 MDR			2-5 DU/AC	R-R								EMWD
326270054	WRCOG6A-NOT CORRECTLY Z	0.541 MDR			2-5 DU/AC	R-R								EMWD
343251002	WRCOG6A-NOT CORRECTLY Z	0.115 MDR			2-5 DU/AC	R-R								EMWD
381064027	WRCOG6A-NOT CORRECTLY Z	0.068 MDR			2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY				EMWD
462100021	WRCOG6A-NOT CORRECTLY Z	1.961 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549080051	WRCOG6A-NOT CORRECTLY Z	1.650 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
552250002	WRCOG6A-NOT CORRECTLY Z	4.834 MDR			2-5 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				SGPWA
345036001	WRCOG6A-NOT CORRECTLY Z	0.063 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
480060040	WRCOG6A-NOT CORRECTLY Z	3.240 MDR			2-5 DU/AC	R-5			COUNTY					EMWD
381252003	WRCOG6A-NOT CORRECTLY Z	6.280 MDR			2-5 DU/AC	C-1/C-P			FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
307220005	WRCOG6A-NOT CORRECTLY Z	75.147 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
345050011	WRCOG6A-NOT CORRECTLY Z	0.094 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462100037	WRCOG6A-NOT CORRECTLY Z	0.591 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
463180031	WRCOG6A-NOT CORRECTLY Z	4.857 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462110003	WRCOG6A-NOT CORRECTLY Z	4.268 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
552230025	WRCOG6A-NOT CORRECTLY Z	1.020 MDR			2-5 DU/AC	A-1-1				AREAS OF FLOODING SENSITIVITY				SGPWA
462100027	WRCOG6A-NOT CORRECTLY Z	2.284 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459140037	WRCOG6A-NOT CORRECTLY Z	0.191 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462171005	WRCOG6A-NOT CORRECTLY Z	0.171 MDR		CCO	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
548150004	WRCOG6A-NOT CORRECTLY Z	0.465 MDR			2-5 DU/AC	C-P-5				AREAS OF FLOODING SENSITIVITY				SGPWA
343263002	WRCOG6A-NOT CORRECTLY Z	0.116 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
255150017	WRCOG6A-NOT CORRECTLY Z	9.053 MDR			2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
309020041	WRCOG6A-NOT CORRECTLY Z	55.057 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
343293023	WRCOG6A-NOT CORRECTLY Z	0.290 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462110013	WRCOG6A-NOT CORRECTLY Z	4.329 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457120046	WRCOG6A-NOT CORRECTLY Z	5.326 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
466320040	WRCOG6A-NOT CORRECTLY Z	19.058 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
466320042	WRCOG6A-NOT CORRECTLY Z	4.452 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549080045	WRCOG6A-NOT CORRECTLY Z	1.916 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
309360034	WRCOG6A-NOT CORRECTLY Z	1.110 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
310240012	WRCOG6A-NOT CORRECTLY Z	0.385	MDR		2-5 DU/AC	A-1-20				FLOODING SENSITIVITY				WMWD
345036002	WRCOG6A-NOT CORRECTLY Z	0.081	MDR		2-5 DU/AC	R-R								WMWD
342061014	WRCOG6A-NOT CORRECTLY Z	0.286	MDR	RVSA	2-5 DU/AC	R-R								WMWD
343261016	WRCOG6A-NOT CORRECTLY Z	0.110	MDR		2-5 DU/AC	R-R								WMWD
343245008	WRCOG6A-NOT CORRECTLY Z	0.090	MDR		2-5 DU/AC	R-R								WMWD
345035001	WRCOG6A-NOT CORRECTLY Z	0.075	MDR		2-5 DU/AC	R-R								WMWD
457130017	WRCOG6A-NOT CORRECTLY Z	4.621	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
462080014	WRCOG6A-NOT CORRECTLY Z	0.180	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
463118008	WRCOG6A-NOT CORRECTLY Z	0.084	MDR	CCO	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457181029	WRCOG6A-NOT CORRECTLY Z	0.247	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462152019	WRCOG6A-NOT CORRECTLY Z	0.174	MDR	CCO	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457182020	WRCOG6A-NOT CORRECTLY Z	0.096	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
345035003	WRCOG6A-NOT CORRECTLY Z	0.089	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345036006	WRCOG6A-NOT CORRECTLY Z	0.076	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
462080004	WRCOG6A-NOT CORRECTLY Z	5.147	MDR		2-5 DU/AC	R-R			SAN JACINTO FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
552080003	WRCOG6A-NOT CORRECTLY Z	4.729	MDR		2-5 DU/AC	A-1-5								SGPWA
343259004	WRCOG6A-NOT CORRECTLY Z	0.117	MDR		2-5 DU/AC	R-R								WMWD
343255006	WRCOG6A-NOT CORRECTLY Z	0.095	MDR		2-5 DU/AC	R-R								WMWD
345035015	WRCOG6A-NOT CORRECTLY Z	0.094	MDR		2-5 DU/AC	R-R								WMWD
462020021	WRCOG6A-NOT CORRECTLY Z	9.650	MDR		2-5 DU/AC	A-1-10								EMWD
463060022	WRCOG6A-NOT CORRECTLY Z	1.009	MDR	CCO	2-5 DU/AC	R-R								EMWD
466310014	WRCOG6A-NOT CORRECTLY Z	9.686	MDR		2-5 DU/AC	R-R								EMWD
549152088	WRCOG6A-NOT CORRECTLY Z	0.046	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
549161009	WRCOG6A-NOT CORRECTLY Z	0.167	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345031005	WRCOG6A-NOT CORRECTLY Z	0.090	MDR		2-5 DU/AC	R-R								WMWD
342072028	WRCOG6A-NOT CORRECTLY Z	0.247	MDR	RVSA	2-5 DU/AC	R-R								WMWD
459155010	WRCOG6A-NOT CORRECTLY Z	8.680	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
466350006	WRCOG6A-NOT CORRECTLY Z	9.161	MDR		2-5 DU/AC	R-R								EMWD
555310003	WRCOG6A-NOT CORRECTLY Z	0.006	MDR		2-5 DU/AC	A-1-5								SGPWA
565214009	WRCOG6A-NOT CORRECTLY Z	0.094	MDR		2-5 DU/AC	R-5								SGPWA
552070012	WRCOG6A-NOT CORRECTLY Z	3.858	MDR		2-5 DU/AC	A-1-5								SGPWA
459175001	WRCOG6A-NOT CORRECTLY Z	0.123	MDR		2-5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
307110006	WRCOG66A-NOT CORRECTLY Z	16.568 MDR			2-5 DU/AC	R-R								WMWD
307240052	WRCOG66A-NOT CORRECTLY Z	3.013 MDR			2-5 DU/AC	R-R								WMWD
345032007	WRCOG66A-NOT CORRECTLY Z	0.099 MDR			2-5 DU/AC	R-R								WMWD
457191003	WRCOG66A-NOT CORRECTLY Z	0.092 MDR			2-5 DU/AC	R-R								EMWD
463158021	WRCOG66A-NOT CORRECTLY Z	0.166 MDR	CCO		2-5 DU/AC	R-R								EMWD
463077002	WRCOG66A-NOT CORRECTLY Z	0.970 MDR	CCO		2-5 DU/AC	R-R								EMWD
552260002	WRCOG66A-NOT CORRECTLY Z	4.735 MDR			2-5 DU/AC	A-1-5								SGPWA
297080001	WRCOG66A-NOT CORRECTLY Z	4.606 MDR			2-5 DU/AC	W-2								WMWD
462070009	WRCOG66A-NOT CORRECTLY Z	6.111 MDR			2-5 DU/AC	R-R								EMWD
552220045	WRCOG66A-NOT CORRECTLY Z	5.294 MDR			2-5 DU/AC	A-1-1			SAN JACINTO FAULT ZONE					WMWD
461160030	WRCOG66A-NOT CORRECTLY Z	58.455 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
966080002	WRCOG66A-NOT CORRECTLY Z	7.774 MDR			2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				EMWD
309370008	WRCOG66A-NOT CORRECTLY Z	19.200 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
343204007	WRCOG66A-NOT CORRECTLY Z	0.168 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
342062016	WRCOG66A-NOT CORRECTLY Z	0.293 MDR	RVSA		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
463170020	WRCOG66A-NOT CORRECTLY Z	4.155 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549130008	WRCOG66A-NOT CORRECTLY Z	2.592 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
548200047	WRCOG66A-NOT CORRECTLY Z	1.037 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
966030050	WRCOG66A-NOT CORRECTLY Z	8.652 MDR			2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
309360019	WRCOG66A-NOT CORRECTLY Z	4.881 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
310230039	WRCOG66A-NOT CORRECTLY Z	35.424 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
462020022	WRCOG66A-NOT CORRECTLY Z	9.949 MDR			2-5 DU/AC	A-1-10				AREAS OF FLOODING SENSITIVITY				EMWD
463118007	WRCOG66A-NOT CORRECTLY Z	0.235 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
458361004	WRCOG66A-NOT CORRECTLY Z	0.215 MDR			2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
463060018	WRCOG66A-NOT CORRECTLY Z	0.553 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549200012	WRCOG66A-NOT CORRECTLY Z	0.485 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
461160037	WRCOG66A-NOT CORRECTLY Z	22.572 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
391100033	WRCOG66A-NOT CORRECTLY Z	2.522 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
326052001	WRCOG66A-NOT CORRECTLY Z	0.130 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345033013	WRCOG66A-NOT CORRECTLY Z	0.095 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
451270019	WRCOG66A-NOT CORRECTLY Z	1.005 MDR			2-5 DU/AC	A-2-1				AREAS OF FLOODING SENSITIVITY				WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
465040014	WRCOG66A-NOT CORRECTLY Z	0.855 MDR			2-5 DU/AC	A-2-10				FLOODING SENSITIVITY	YES			EMWD
466350023	WRCOG66A-NOT CORRECTLY Z	9.388 MDR			2-5 DU/AC	R-R								EMWD
465140014	WRCOG66A-NOT CORRECTLY Z	12.132 MDR			2-5 DU/AC	A-2-10				FLOODING SENSITIVITY	YES			EMWD
342065002	WRCOG66A-NOT CORRECTLY Z	2.300 MDR			2-5 DU/AC	R-R								WMWD
3135500012	WRCOG66A-NOT CORRECTLY Z	0.234 MDR	RVSA		2-5 DU/AC	R-5								WMWD
343265019	WRCOG66A-NOT CORRECTLY Z	0.124 MDR			2-5 DU/AC	R-R								WMWD
345031005	WRCOG66A-NOT CORRECTLY Z	0.091 MDR			2-5 DU/AC	R-R								WMWD
466520041	WRCOG66A-NOT CORRECTLY Z	4.450 MDR			2-5 DU/AC	R-R								EMWD
466520038	WRCOG66A-NOT CORRECTLY Z	4.495 MDR			2-5 DU/AC	R-R								EMWD
463130008	WRCOG66A-NOT CORRECTLY Z	4.316 MDR	CCO		2-5 DU/AC	R-R				FLOODING SENSITIVITY	YES			EMWD
549180027	WRCOG66A-NOT CORRECTLY Z	0.003 MDR			2-5 DU/AC	R-R								WMWD
310230009	WRCOG66A-NOT CORRECTLY Z	59.160 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				WMWD
309360022	WRCOG66A-NOT CORRECTLY Z	4.833 MDR			2-5 DU/AC	R-R								WMWD
450110005	WRCOG66A-NOT CORRECTLY Z	1.770 MDR			2-5 DU/AC	A-1-5								EMWD
450060030	WRCOG66A-NOT CORRECTLY Z	0.512 MDR			2-5 DU/AC	A-1				FLOODING SENSITIVITY				EMWD
466250034	WRCOG66A-NOT CORRECTLY Z	18.345 MDR			2-5 DU/AC	R-R								EMWD
549165004	WRCOG66A-NOT CORRECTLY Z	0.157 MDR			2-5 DU/AC	R-R								SGPWA
462110004	WRCOG66A-NOT CORRECTLY Z	4.744 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
343204001	WRCOG66A-NOT CORRECTLY Z	0.120 MDR			2-5 DU/AC	R-R								EMWD
345031004	WRCOG66A-NOT CORRECTLY Z	0.091 MDR			2-5 DU/AC	R-R								EMWD
426420007	WRCOG66A-NOT CORRECTLY Z	0.139 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
462182007	WRCOG66A-NOT CORRECTLY Z	0.170 MDR	CCO		2-5 DU/AC	R-R								EMWD
345033001	WRCOG66A-NOT CORRECTLY Z	0.076 MDR			2-5 DU/AC	R-R								EMWD
343261020	WRCOG66A-NOT CORRECTLY Z	0.120 MDR			2-5 DU/AC	R-R								EMWD
343252015	WRCOG66A-NOT CORRECTLY Z	0.103 MDR			2-5 DU/AC	R-R								EMWD
465118012	WRCOG66A-NOT CORRECTLY Z	0.652 MDR	CCO		2-5 DU/AC	R-R								EMWD
462080013	WRCOG66A-NOT CORRECTLY Z	0.178 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
565244002	WRCOG66A-NOT CORRECTLY Z	0.088 MDR			2-5 DU/AC	R-5								SGPWA
917260081	WRCOG66A-NOT CORRECTLY Z	2.189 MDR			2-5 DU/AC	R-R								EMWD
309380002	WRCOG66A-NOT CORRECTLY Z	0.951 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				WMWD
343252010	WRCOG66A-NOT CORRECTLY Z	0.096 MDR			2-5 DU/AC	R-R								WMWD
450221011	WRCOG66A-NOT CORRECTLY Z	0.168 MDR			2-5 DU/AC	A-1-1								WMWD
458371001	WRCOG66A-NOT CORRECTLY Z	0.173 MDR			2-5 DU/AC	R-1								WMWD



Housing Element Appendix A - Housing Inventory List

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552060008	WRCOG66A-NOT CORRECTLY Z	3.722	MDR		2-5 DU/AC	A-1-5			SAN JACINTO					SGPWA
342071013	WRCOG66A-NOT CORRECTLY Z	0.444	MDR	RVSA	2-5 DU/AC	R-R			FAULT ZONE					WMWWD
381064003	WRCOG66A-NOT CORRECTLY Z	0.077	MDR		2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY				EMWD
462080007	WRCOG66A-NOT CORRECTLY Z	9.531	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462181001	WRCOG66A-NOT CORRECTLY Z	1.823	MDR	CCO	2-5 DU/AC	R-R								EMWD
458871009	WRCOG66A-NOT CORRECTLY Z	0.186	MDR		2-5 DU/AC	R-1								EMWD
327180006	WRCOG66A-NOT CORRECTLY Z	0.735	MDR		2-5 DU/AC	R-R								WMWWD
342064028	WRCOG66A-NOT CORRECTLY Z	0.298	MDR	RVSA	2-5 DU/AC	R-R								WMWWD
345035012	WRCOG66A-NOT CORRECTLY Z	0.092	MDR		2-5 DU/AC	R-R								WMWWD
549195007	WRCOG66A-NOT CORRECTLY Z	0.179	MDR		2-5 DU/AC	R-R								WMWWD
548040003	WRCOG66A-NOT CORRECTLY Z	0.315	MDR		2-5 DU/AC	R-R								SGPWA
307240012	WRCOG66A-NOT CORRECTLY Z	2.423	MDR		2-5 DU/AC	A-2-10								SGPWA
326250029	WRCOG66A-NOT CORRECTLY Z	1.288	MDR		2-5 DU/AC	R-R							Zone E	WMWWD
343262027	WRCOG66A-NOT CORRECTLY Z	0.152	MDR		2-5 DU/AC	R-R								WMWWD
465170006	WRCOG66A-NOT CORRECTLY Z	9.085	MDR		2-5 DU/AC	A-2-10				AREAS OF FLOODING SENSITIVITY				EMWD
458361008	WRCOG66A-NOT CORRECTLY Z	0.205	MDR		2-5 DU/AC	R-1					YES			EMWD
458361001	WRCOG66A-NOT CORRECTLY Z	0.233	MDR		2-5 DU/AC	R-1								EMWD
462120016	WRCOG66A-NOT CORRECTLY Z	4.320	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
552060006	WRCOG66A-NOT CORRECTLY Z	4.805	MDR		2-5 DU/AC	A-1-5			SAN JACINTO					SGPWA
549161027	WRCOG66A-NOT CORRECTLY Z	0.326	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
345035010	WRCOG66A-NOT CORRECTLY Z	0.097	MDR		2-5 DU/AC	R-R								WMWWD
342062014	WRCOG66A-NOT CORRECTLY Z	0.319	MDR	RVSA	2-5 DU/AC	R-R								WMWWD
462080012	WRCOG66A-NOT CORRECTLY Z	8.358	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462080006	WRCOG66A-NOT CORRECTLY Z	9.637	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
548160004	WRCOG66A-NOT CORRECTLY Z	9.176	MDR		2-5 DU/AC	R-R								EMWD
434260006	WRCOG66A-NOT CORRECTLY Z	3.024	MDR		2-5 DU/AC	A-1-5								SGPWA
135500009	WRCOG66A-NOT CORRECTLY Z	0.195	MDR		2-5 DU/AC	R-5								EMWD
345262025	WRCOG66A-NOT CORRECTLY Z	0.096	MDR		2-5 DU/AC	R-R								WMWWD
345034002	WRCOG66A-NOT CORRECTLY Z	0.092	MDR		2-5 DU/AC	R-R								WMWWD
466370024	WRCOG66A-NOT CORRECTLY Z	0.179	MDR		2-5 DU/AC	A-1-5								WMWWD
455820019	WRCOG66A-NOT CORRECTLY Z	18.715	MDR		2-5 DU/AC	R-R					YES			EMWD
455190005	WRCOG66A-NOT CORRECTLY Z	0.803	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457120041	WRCOG66A-NOT CORRECTLY Z	2.089	MDR		2-5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

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343263017	WRCOG6A-NOT CORRECTLY Z	0.228	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
966080004	WRCOG6A-NOT CORRECTLY Z	21.204	MDR		2-5 DU/AC	R-R								EMWD
135560011	WRCOG6A-NOT CORRECTLY Z	0.301	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				WMWD
457171023	WRCOG6A-NOT CORRECTLY Z	0.034	MDR		2-5 DU/AC	R-R								EMWD
345033014	WRCOG6A-NOT CORRECTLY Z	0.092	MDR		2-5 DU/AC	R-R								EMWD
342064026	WRCOG6A-NOT CORRECTLY Z	0.303	MDR	RVSA	2-5 DU/AC	R-R								EMWD
466320043	WRCOG6A-NOT CORRECTLY Z	4.449	MDR		2-5 DU/AC	R-R								EMWD
342072031	WRCOG6A-NOT CORRECTLY Z	0.280	MDR	RVSA	2-5 DU/AC	R-R								EMWD
309380004	WRCOG6A-NOT CORRECTLY Z	4.893	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
345095004	WRCOG6A-NOT CORRECTLY Z	0.079	MDR		2-5 DU/AC	R-R								EMWD
451270018	WRCOG6A-NOT CORRECTLY Z	1.674	MDR		2-5 DU/AC	A-2-1				AREAS OF FLOODING SENSITIVITY				EMWD
463117028	WRCOG6A-NOT CORRECTLY Z	0.172	MDR	CCO	2-5 DU/AC	R-R								EMWD
461160040	WRCOG6A-NOT CORRECTLY Z	0.101	MDR		2-5 DU/AC	R-R					YES			EMWD
457130016	WRCOG6A-NOT CORRECTLY Z	4.586	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462020023	WRCOG6A-NOT CORRECTLY Z	9.706	MDR		2-5 DU/AC	A-1-10					YES			EMWD
463120013	WRCOG6A-NOT CORRECTLY Z	4.291	MDR	CCO	2-5 DU/AC	R-R					YES			EMWD
548140008	WRCOG6A-NOT CORRECTLY Z	0.191	MDR		2-5 DU/AC	C-P-5								SGPWA
549200009	WRCOG6A-NOT CORRECTLY Z	0.709	MDR		2-5 DU/AC	R-R								SGPWA
548140014	WRCOG6A-NOT CORRECTLY Z	1.306	MDR		2-5 DU/AC	C-P-5								SGPWA
549192011	WRCOG6A-NOT CORRECTLY Z	2.509	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
102091004	WRCOG6A-NOT CORRECTLY Z	0.193	MDR		2-5 DU/AC	C-1/C-P				AREAS OF FLOODING SENSITIVITY				WMWD
343204005	WRCOG6A-NOT CORRECTLY Z	0.169	MDR		2-5 DU/AC	R-R								EMWD
309360032	WRCOG6A-NOT CORRECTLY Z	1.094	MDR		2-5 DU/AC	R-R								WMWD
345035014	WRCOG6A-NOT CORRECTLY Z	0.093	MDR		2-5 DU/AC	R-R								WMWD
466350004	WRCOG6A-NOT CORRECTLY Z	9.853	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
463170031	WRCOG6A-NOT CORRECTLY Z	31.359	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
326230001	WRCOG6A-NOT CORRECTLY Z	4.772	MDR		2-5 DU/AC	R-R							Zone E	WMWD
326270052	WRCOG6A-NOT CORRECTLY Z	0.585	MDR		2-5 DU/AC	R-R								WMWD
342061018	WRCOG6A-NOT CORRECTLY Z	0.288	MDR	RVSA	2-5 DU/AC	R-R								WMWD
309360008	WRCOG6A-NOT CORRECTLY Z	1.070	MDR		2-5 DU/AC	R-R								WMWD
310230007	WRCOG6A-NOT CORRECTLY Z	30.411	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
326240077	WRCOG6A-NOT CORRECTLY Z	2.705	MDR		2-5 DU/AC	R-R							Zone E	WMWD
345033007	WRCOG6A-NOT CORRECTLY Z	0.095	MDR		2-5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
466310021	WRCOG6A-NOT CORRECTLY Z	8.318	MDR		2-5 DU/AC	R-1								EMWD
4621165005	WRCOG6A-NOT CORRECTLY Z	0.712	MDR	CCO	2-5 DU/AC	R-R								EMWD
463060003	WRCOG6A-NOT CORRECTLY Z	0.939	MDR	CCO	2-5 DU/AC	R-R								EMWD
548140003	WRCOG6A-NOT CORRECTLY Z	4.112	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				SGPWA
309380005	WRCOG6A-NOT CORRECTLY Z	4.901	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345031002	WRCOG6A-NOT CORRECTLY Z	0.094	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
381064006	WRCOG6A-NOT CORRECTLY Z	0.066	MDR		2-5 DU/AC	W-1				AREAS OF FLOODING SENSITIVITY				EMWD
463118009	WRCOG6A-NOT CORRECTLY Z	0.084	MDR	CCO	2-5 DU/AC	R-R								EMWD
463077006	WRCOG6A-NOT CORRECTLY Z	0.183	MDR	CCO	2-5 DU/AC	R-R								EMWD
466310025	WRCOG6A-NOT CORRECTLY Z	36.260	MDR		2-5 DU/AC	R-R								EMWD
342051022	WRCOG6A-NOT CORRECTLY Z	0.322	MDR	RVSA	2-5 DU/AC	R-R								EMWD
342071019	WRCOG6A-NOT CORRECTLY Z	0.604	MDR	RVSA	2-5 DU/AC	R-R								EMWD
459361002	WRCOG6A-NOT CORRECTLY Z	0.225	MDR		2-5 DU/AC	R-1								EMWD
463117030	WRCOG6A-NOT CORRECTLY Z	0.172	MDR	CCO	2-5 DU/AC	R-R								EMWD
548160008	WRCOG6A-NOT CORRECTLY Z	4.637	MDR		2-5 DU/AC	R-R								EMWD
549123004	WRCOG6A-NOT CORRECTLY Z	0.169	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
310240010	WRCOG6A-NOT CORRECTLY Z	73.183	MDR		2-5 DU/AC	A-1-20								WMWD
345031009	WRCOG6A-NOT CORRECTLY Z	0.101	MDR		2-5 DU/AC	R-R								EMWD
462110006	WRCOG6A-NOT CORRECTLY Z	0.896	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462080016	WRCOG6A-NOT CORRECTLY Z	0.176	MDR		2-5 DU/AC	R-R								EMWD
462100062	WRCOG6A-NOT CORRECTLY Z	0.955	MDR		2-5 DU/AC	R-R								EMWD
466310023	WRCOG6A-NOT CORRECTLY Z	9.090	MDR		2-5 DU/AC	R-R								EMWD
345036003	WRCOG6A-NOT CORRECTLY Z	0.071	MDR		2-5 DU/AC	R-R								EMWD
462070013	WRCOG6A-NOT CORRECTLY Z	5.228	MDR		2-5 DU/AC	R-R								EMWD
457120036	WRCOG6A-NOT CORRECTLY Z	7.164	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
463118030	WRCOG6A-NOT CORRECTLY Z	1.750	MDR	CCO	2-5 DU/AC	R-R								EMWD
310230029	WRCOG6A-NOT CORRECTLY Z	10.071	MDR		2-5 DU/AC	R-R								EMWD
343265014	WRCOG6A-NOT CORRECTLY Z	0.101	MDR		2-5 DU/AC	R-R								WMWD
548150002	WRCOG6A-NOT CORRECTLY Z	3.404	MDR		2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY				SGPWA
462120038	WRCOG6A-NOT CORRECTLY Z	0.339	MDR		2-5 DU/AC	R-R								EMWD
345034007	WRCOG6A-NOT CORRECTLY Z	0.096	MDR		2-5 DU/AC	R-R								WMWD
342064024	WRCOG6A-NOT CORRECTLY Z	0.295	MDR	RVSA	2-5 DU/AC	R-R								WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE COUNTY	FLOOD	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
371110009	WRCOG66A-NOT CORRECTLY Z	8.603 MDR			2-5 DU/AC	R-R			FAULT ZONE COUNTY					EMWD
449040041	WRCOG66A-NOT CORRECTLY Z	4.377 MDR			2-5 DU/AC	A-1-5			SAN JACINTO FAULT ZONE					EMWD
451162027	WRCOG66A-NOT CORRECTLY Z	2.945 MDR			2-5 DU/AC	A-1-5								EMWD
317210010	WRCOG66A-NOT CORRECTLY Z	1.992 MDR			2-5 DU/AC	R-R-1							Zone E	WMWD
326250038	WRCOG66A-NOT CORRECTLY Z	1.856 MDR			2-5 DU/AC	R-R								WMWD
326250032	WRCOG66A-NOT CORRECTLY Z	0.759 MDR			2-5 DU/AC	R-R								WMWD
345033016	WRCOG66A-NOT CORRECTLY Z	0.081 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
307220004	WRCOG66A-NOT CORRECTLY Z	1.191 MDR			2-5 DU/AC	R-R								WMWD
345032003	WRCOG66A-NOT CORRECTLY Z	0.094 MDR			2-5 DU/AC	R-R								WMWD
462181003	WRCOG66A-NOT CORRECTLY Z	0.172 MDR	CCO		2-5 DU/AC	R-R								EMWD
455190059	WRCOG66A-NOT CORRECTLY Z	0.243 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457181023	WRCOG66A-NOT CORRECTLY Z	0.084 MDR			2-5 DU/AC	R-R								EMWD
342072037	WRCOG66A-NOT CORRECTLY Z	0.211 MDR	RVSA		2-5 DU/AC	R-R					YES			EMWD
309360031	WRCOG66A-NOT CORRECTLY Z	1.092 MDR			2-5 DU/AC	R-R								EMWD
290970019	WRCOG66A-NOT CORRECTLY Z	2.679 MDR			2-5 DU/AC	N-A								WMWD
342052034	WRCOG66A-NOT CORRECTLY Z	0.317 MDR	RVSA		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
465170033	WRCOG66A-NOT CORRECTLY Z	6.772 MDR			2-5 DU/AC	A-1-5								EMWD
466320010	WRCOG66A-NOT CORRECTLY Z	4.265 MDR			2-5 DU/AC	R-R								EMWD
270360040	WRCOG66A-NOT CORRECTLY Z	1.461 MDR			2-5 DU/AC	A-1-10								WMWD
326250028	WRCOG66A-NOT CORRECTLY Z	1.009 MDR			2-5 DU/AC	R-R			COUNTY FAULT ZONE				Zone E	WMWD
391080012	WRCOG66A-NOT CORRECTLY Z	2.481 MDR			2-5 DU/AC	R-R								EMWD
463117027	WRCOG66A-NOT CORRECTLY Z	0.172 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462050014	WRCOG66A-NOT CORRECTLY Z	1.194 MDR			2-5 DU/AC	R-R								EMWD
552060025	WRCOG66A-NOT CORRECTLY Z	3.049 MDR			2-5 DU/AC	A-1-1			SAN JACINTO FAULT ZONE					SGPWA
457160001	WRCOG66A-NOT CORRECTLY Z	8.656 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
342052039	WRCOG66A-NOT CORRECTLY Z	0.315 MDR	RVSA		2-5 DU/AC	R-R								EMWD
457191020	WRCOG66A-NOT CORRECTLY Z	0.220 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
465170008	WRCOG66A-NOT CORRECTLY Z	9.765 MDR			2-5 DU/AC	A-2-10					YES			EMWD
549173040	WRCOG66A-NOT CORRECTLY Z	0.204 MDR			2-5 DU/AC	R-R								SGPWA
326240061	WRCOG66A-NOT CORRECTLY Z	2.198 MDR			2-5 DU/AC	R-R							Zone E	WMWD
965450004	WRCOG66A-NOT CORRECTLY Z	9.024 MDR			2-5 DU/AC	R-R								EMWD
310230028	WRCOG66A-NOT CORRECTLY Z	9.556 MDR			2-5 DU/AC	R-R								EMWD
345034004	WRCOG66A-NOT CORRECTLY Z	0.092 MDR			2-5 DU/AC	R-R								WMWD

Housing Element Appendix A - Housing Inventory List

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463076024	WRCOG6A-NOT CORRECTLY Z	0.170	MDR	CCO	2-5 DU/AC	R-R								EMWD
454028007	WRCOG6A-NOT CORRECTLY Z	0.138	MDR		2-5 DU/AC	A-1-10								EMWD
458361003	WRCOG6A-NOT CORRECTLY Z	0.221	MDR		2-5 DU/AC	R-1								EMWD
552260010	WRCOG6A-NOT CORRECTLY Z	1.156	MDR		2-5 DU/AC	A-1-1								SGPWA
549123020	WRCOG6A-NOT CORRECTLY Z	0.174	MDR		2-5 DU/AC	R-R								SGPWA
459176001	WRCOG6A-NOT CORRECTLY Z	0.953	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
307110004	WRCOG6A-NOT CORRECTLY Z	25.124	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
342052035	WRCOG6A-NOT CORRECTLY Z	1.246	MDR	RVSA	2-5 DU/AC	R-R								EMWD
136120011	WRCOG6A-NOT CORRECTLY Z	1.009	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				WMWD
966070030	WRCOG6A-NOT CORRECTLY Z	4.693	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				EMWD
457120064	WRCOG6A-NOT CORRECTLY Z	26.072	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
309380009	WRCOG6A-NOT CORRECTLY Z	4.779	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
371260018	WRCOG6A-NOT CORRECTLY Z	4.599	MDR		2-5 DU/AC	R-5			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
434260002	WRCOG6A-NOT CORRECTLY Z	0.157	MDR		2-5 DU/AC	A-1-5								EMWD
462182008	WRCOG6A-NOT CORRECTLY Z	0.176	MDR	CCO	2-5 DU/AC	R-R								EMWD
465350002	WRCOG6A-NOT CORRECTLY Z	8.738	MDR		2-5 DU/AC	R-R								EMWD
462090001	WRCOG6A-NOT CORRECTLY Z	155.701	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
307240038	WRCOG6A-NOT CORRECTLY Z	1.186	MDR		2-5 DU/AC	R-R								WMWD
343203008	WRCOG6A-NOT CORRECTLY Z	0.134	MDR		2-5 DU/AC	R-R								EMWD
548070017	WRCOG6A-NOT CORRECTLY Z	4.062	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
343263004	WRCOG6A-NOT CORRECTLY Z	0.118	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
450060029	WRCOG6A-NOT CORRECTLY Z	0.421	MDR		2-5 DU/AC	A-1				AREAS OF FLOODING SENSITIVITY				EMWD
462161003	WRCOG6A-NOT CORRECTLY Z	0.171	MDR	CCO	2-5 DU/AC	R-R								EMWD
549200021	WRCOG6A-NOT CORRECTLY Z	0.371	MDR		2-5 DU/AC	R-R								SGPWA
342072032	WRCOG6A-NOT CORRECTLY Z	0.242	MDR	RVSA	2-5 DU/AC	R-R								WMWD
402310017	WRCOG6A-NOT CORRECTLY Z	0.839	MDR		2-5 DU/AC	A-1-1				AREAS OF FLOODING SENSITIVITY				EMWD
46212003	WRCOG6A-NOT CORRECTLY Z	0.626	MDR	CCO	2-5 DU/AC	R-R								EMWD
462152021	WRCOG6A-NOT CORRECTLY Z	0.172	MDR	CCO	2-5 DU/AC	R-R								EMWD
309380007	WRCOG6A-NOT CORRECTLY Z	4.819	MDR		2-5 DU/AC	R-R								WMWD
345034008	WRCOG6A-NOT CORRECTLY Z	0.092	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
451270020	WRCOG6A-NOT CORRECTLY Z	1.007	MDR		2-5 DU/AC	A-2-1				AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CY/AG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
457172028	WRCOG66A-NOT CORRECTLY Z	0.006 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
549165006	WRCOG66A-NOT CORRECTLY Z	0.165 MDR			2-5 DU/AC	R-R								SGPWA
462020042	WRCOG66A-NOT CORRECTLY Z	9.752 MDR			2-5 DU/AC	A-1-10							Zone E	EMWD
326250011	WRCOG66A-NOT CORRECTLY Z	9.956 MDR			2-5 DU/AC	R-R								EMWD
343252028	WRCOG66A-NOT CORRECTLY Z	0.112 MDR			2-5 DU/AC	R-R								EMWD
343252002	WRCOG66A-NOT CORRECTLY Z	0.096 MDR			2-5 DU/AC	R-R								EMWD
458361010	WRCOG66A-NOT CORRECTLY Z	0.174 MDR			2-5 DU/AC	R-1								EMWD
458371006	WRCOG66A-NOT CORRECTLY Z	0.260 MDR			2-5 DU/AC	R-1								EMWD
480020006	WRCOG66A-NOT CORRECTLY Z	19.722 MDR			2-5 DU/AC	R-5							Zone E	EMWD
462120015	WRCOG66A-NOT CORRECTLY Z	1.804 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
549152030	WRCOG66A-NOT CORRECTLY Z	0.437 MDR			2-5 DU/AC	R-R								SGPWA
345033015	WRCOG66A-NOT CORRECTLY Z	0.095 MDR			2-5 DU/AC	R-R								EMWD
463118011	WRCOG66A-NOT CORRECTLY Z	0.156 MDR	CCO		2-5 DU/AC	R-R								EMWD
463145032	WRCOG66A-NOT CORRECTLY Z	0.171 MDR	CCO		2-5 DU/AC	R-R								EMWD
476090006	WRCOG66A-NOT CORRECTLY Z	5.093 MDR			2-5 DU/AC	R-1				FLOODING SENSITIVITY				EMWD
548140009	WRCOG66A-NOT CORRECTLY Z	0.188 MDR			2-5 DU/AC	C-P-S								SGPWA
549151010	WRCOG66A-NOT CORRECTLY Z	0.584 MDR			2-5 DU/AC	R-R								SGPWA
309380013	WRCOG66A-NOT CORRECTLY Z	0.697 MDR			2-5 DU/AC	R-R								EMWD
342265012	WRCOG66A-NOT CORRECTLY Z	0.101 MDR			2-5 DU/AC	R-R								EMWD
342051019	WRCOG66A-NOT CORRECTLY Z	0.286 MDR	RVSA		2-5 DU/AC	R-R								EMWD
463142006	WRCOG66A-NOT CORRECTLY Z	0.716 MDR	CCO		2-5 DU/AC	R-R								EMWD
457120040	WRCOG66A-NOT CORRECTLY Z	2.329 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				EMWD
465170036	WRCOG66A-NOT CORRECTLY Z	10.717 MDR			2-5 DU/AC	A-P				FLOODING SENSITIVITY	YES			EMWD
463142007	WRCOG66A-NOT CORRECTLY Z	1.109 MDR	CCO		2-5 DU/AC	R-R								EMWD
549080031	WRCOG66A-NOT CORRECTLY Z	1.015 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
480020008	WRCOG66A-NOT CORRECTLY Z	19.125 MDR			2-5 DU/AC	R-5							Zone E	EMWD
307220010	WRCOG66A-NOT CORRECTLY Z	10.240 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				WMWD
345031003	WRCOG66A-NOT CORRECTLY Z	0.089 MDR			2-5 DU/AC	R-R								EMWD
466320044	WRCOG66A-NOT CORRECTLY Z	4.433 MDR			2-5 DU/AC	R-R								EMWD
463130007	WRCOG66A-NOT CORRECTLY Z	2.047 MDR	CCO		2-5 DU/AC	R-R				FLOODING SENSITIVITY	YES			EMWD
549162032	WRCOG66A-NOT CORRECTLY Z	0.184 MDR			2-5 DU/AC	R-R				FLOODING SENSITIVITY				SGPWA
547180036	WRCOG66A-NOT CORRECTLY Z	0.333 MDR			2-5 DU/AC	R-R								SGPWA
135500010	WRCOG66A-NOT CORRECTLY Z	0.230 MDR			2-5 DU/AC	R-5								WMWD

Housing Element Appendix A - Housing Inventory List

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345032005	WRCOG66A-NOT CORRECTLY Z	0.093 MDR			2-5 DU/AC	R-R								EMWD
343265015	WRCOG66A-NOT CORRECTLY Z	0.138 MDR			2-5 DU/AC	R-R								EMWD
345034001	WRCOG66A-NOT CORRECTLY Z	0.076 MDR			2-5 DU/AC	R-R								EMWD
457160028	WRCOG66A-NOT CORRECTLY Z	6.950 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
462110007	WRCOG66A-NOT CORRECTLY Z	0.879 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
455220013	WRCOG66A-NOT CORRECTLY Z	0.655 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
462050013	WRCOG66A-NOT CORRECTLY Z	1.188 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462164001	WRCOG66A-NOT CORRECTLY Z	2.749 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549130010	WRCOG66A-NOT CORRECTLY Z	1.771 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
255110012	WRCOG66A-NOT CORRECTLY Z	1.392 MDR			2-5 DU/AC	A-1-2 1/2				AREAS OF FLOODING SENSITIVITY				WMWD
345033006	WRCOG66A-NOT CORRECTLY Z	0.087 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462174001	WRCOG66A-NOT CORRECTLY Z	3.184 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
455332009	WRCOG66A-NOT CORRECTLY Z	1.999 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
457172039	WRCOG66A-NOT CORRECTLY Z	0.250 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
433040052	WRCOG66A-NOT CORRECTLY Z	7.024 MDR			2-5 DU/AC	W-2-10				AREAS OF FLOODING SENSITIVITY				EMWD
457140013	WRCOG66A-NOT CORRECTLY Z	2.215 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
457130003	WRCOG66A-NOT CORRECTLY Z	39.329 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
457130015	WRCOG66A-NOT CORRECTLY Z	3.948 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
457171028	WRCOG66A-NOT CORRECTLY Z	0.037 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
462050011	WRCOG66A-NOT CORRECTLY Z	1.082 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
465060024	WRCOG66A-NOT CORRECTLY Z	0.502 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
965440010	WRCOG66A-NOT CORRECTLY Z	4.977 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
343233027	WRCOG66A-NOT CORRECTLY Z	0.116 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
345035016	WRCOG66A-NOT CORRECTLY Z	0.077 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462161011	WRCOG66A-NOT CORRECTLY Z	0.250 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549153003	WRCOG66A-NOT CORRECTLY Z	0.162 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
309360005	WRCOG66A-NOT CORRECTLY Z	1.080 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
310230012	WRCOG66A-NOT CORRECTLY Z	8.814 MDR			2-5 DU/AC	A-P				AREAS OF FLOODING SENSITIVITY				WMWD
342051020	WRCOG66A-NOT CORRECTLY Z	0.289 MDR	RVSA		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
547180009	WRCOG66A-NOT CORRECTLY Z	0.170 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
310240012	WRCOG66A-NOT CORRECTLY Z	47.807 MDR			2-5 DU/AC	A-1-20				AREAS OF FLOODING SENSITIVITY				WMWD
307260001	WRCOG66A-NOT CORRECTLY Z	0.406 MDR			2-5 DU/AC	R-R								WMWD
345031017	WRCOG66A-NOT CORRECTLY Z	0.190 MDR			2-5 DU/AC	R-R								WMWD
463145054	WRCOG66A-NOT CORRECTLY Z	0.170 MDR	CCO		2-5 DU/AC	R-R								EMWD
463060005	WRCOG66A-NOT CORRECTLY Z	0.899 MDR	CCO		2-5 DU/AC	R-R								EMWD
549161005	WRCOG66A-NOT CORRECTLY Z	0.542 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
307260002	WRCOG66A-NOT CORRECTLY Z	0.245 MDR			2-5 DU/AC	R-R								WMWD
342052038	WRCOG66A-NOT CORRECTLY Z	0.305 MDR	RVSA		2-5 DU/AC	R-R								WMWD
463170022	WRCOG66A-NOT CORRECTLY Z	4.613 MDR			2-5 DU/AC	R-R								EMWD
548150003	WRCOG66A-NOT CORRECTLY Z	0.289 MDR			2-5 DU/AC	C-P-S				AREAS OF FLOODING SENSITIVITY YES				SGPWA
342052037	WRCOG66A-NOT CORRECTLY Z	0.286 MDR	RVSA		2-5 DU/AC	R-R								EMWD
345031010	WRCOG66A-NOT CORRECTLY Z	0.108 MDR			2-5 DU/AC	R-R								EMWD
549130012	WRCOG66A-NOT CORRECTLY Z	5.586 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
549080032	WRCOG66A-NOT CORRECTLY Z	0.911 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
548190001	WRCOG66A-NOT CORRECTLY Z	2.902 MDR			2-5 DU/AC	R-R								SGPWA
342061010	WRCOG66A-NOT CORRECTLY Z	0.271 MDR	RVSA		2-5 DU/AC	R-R								EMWD
965400002	WRCOG66A-NOT CORRECTLY Z	20.537 MDR			2-5 DU/AC	R-R								EMWD
135500008	WRCOG66A-NOT CORRECTLY Z	0.184 MDR			2-5 DU/AC	R-5								WMWD
434240018	WRCOG66A-NOT CORRECTLY Z	0.960 MDR			2-5 DU/AC	A-1-5								EMWD
458361009	WRCOG66A-NOT CORRECTLY Z	0.185 MDR			2-5 DU/AC	R-1								EMWD
309860021	WRCOG66A-NOT CORRECTLY Z	4.864 MDR			2-5 DU/AC	R-R								WMWD
307260034	WRCOG66A-NOT CORRECTLY Z	8.319 MDR			2-5 DU/AC	R-R								WMWD
345033010	WRCOG66A-NOT CORRECTLY Z	0.101 MDR			2-5 DU/AC	R-R								WMWD
343264008	WRCOG66A-NOT CORRECTLY Z	0.140 MDR			2-5 DU/AC	R-R								WMWD
345035005	WRCOG66A-NOT CORRECTLY Z	0.091 MDR			2-5 DU/AC	R-R								WMWD
342064025	WRCOG66A-NOT CORRECTLY Z	0.289 MDR	RVSA		2-5 DU/AC	R-R								WMWD
462181007	WRCOG66A-NOT CORRECTLY Z	0.513 MDR	CCO		2-5 DU/AC	R-R								EMWD
912760087	WRCOG66A-NOT CORRECTLY Z	0.178 MDR			2-5 DU/AC	R-R							Zone E	EMWD
326240030	WRCOG66A-NOT CORRECTLY Z	1.116 MDR			2-5 DU/AC	R-R								WMWD
342072027	WRCOG66A-NOT CORRECTLY Z	0.261 MDR	RVSA		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
457120066	WRCOG66A-NOT CORRECTLY Z	1.845 MDR			2-5 DU/AC	R-R								EMWD
463143019	WRCOG66A-NOT CORRECTLY Z	0.181 MDR	CCO		2-5 DU/AC	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
450091019	WRCOG6A-NOT CORRECTLY Z	0.218 MDR			2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
462120006	WRCOG6A-NOT CORRECTLY Z	0.922 MDR			2-5 DU/AC	R-R								EMWD
962051019	WRCOG6A-NOT CORRECTLY Z	0.206 MDR			2-5 DU/AC	R-R								EMWD
343261018	WRCOG6A-NOT CORRECTLY Z	0.115 MDR			2-5 DU/AC	R-R								WMAWD
466320035	WRCOG6A-NOT CORRECTLY Z	18.775 MDR			2-5 DU/AC	R-R								EMWD
462164003	WRCOG6A-NOT CORRECTLY Z	0.162 MDR	CCO		2-5 DU/AC	R-R								EMWD
552220056	WRCOG6A-NOT CORRECTLY Z	2.631 MDR			2-5 DU/AC	A-1-5								SGPWA
345034021	WRCOG6A-NOT CORRECTLY Z	0.148 MDR			2-5 DU/AC	R-R								EMWD
343255012	WRCOG6A-NOT CORRECTLY Z	0.091 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
457120025	WRCOG6A-NOT CORRECTLY Z	9.865 MDR			2-5 DU/AC	R-R								EMWD
458363001	WRCOG6A-NOT CORRECTLY Z	0.898 MDR			2-5 DU/AC	R-5								EMWD
307220003	WRCOG6A-NOT CORRECTLY Z	6.870 MDR			2-5 DU/AC	R-R								WMAWD
345035005	WRCOG6A-NOT CORRECTLY Z	0.090 MDR			2-5 DU/AC	R-R								WMAWD
345035011	WRCOG6A-NOT CORRECTLY Z	0.092 MDR			2-5 DU/AC	R-R								WMAWD
342072034	WRCOG6A-NOT CORRECTLY Z	0.215 MDR	RVSA		2-5 DU/AC	R-R								WMAWD
343263003	WRCOG6A-NOT CORRECTLY Z	0.111 MDR			2-5 DU/AC	R-R								WMAWD
343265001	WRCOG6A-NOT CORRECTLY Z	1.526 MDR			2-5 DU/AC	R-R								WMAWD
462161008	WRCOG6A-NOT CORRECTLY Z	0.178 MDR	CCO		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			WMAWD
457130018	WRCOG6A-NOT CORRECTLY Z	3.854 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
457160003	WRCOG6A-NOT CORRECTLY Z	7.398 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
457182028	WRCOG6A-NOT CORRECTLY Z	0.234 MDR			2-5 DU/AC	R-R								EMWD
466320036	WRCOG6A-NOT CORRECTLY Z	4.313 MDR			2-5 DU/AC	R-R								EMWD
345035004	WRCOG6A-NOT CORRECTLY Z	0.093 MDR			2-5 DU/AC	R-R								EMWD
451180016	WRCOG6A-NOT CORRECTLY Z	0.570 MDR			2-5 DU/AC	A-1-5								EMWD
462100052	WRCOG6A-NOT CORRECTLY Z	1.035 MDR			2-5 DU/AC	R-R								EMWD
305040008	WRCOG6A-NOT CORRECTLY Z	37.771 MDR			2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMAWD
345035008	WRCOG6A-NOT CORRECTLY Z	0.091 MDR			2-5 DU/AC	R-R								EMWD
345035013	WRCOG6A-NOT CORRECTLY Z	0.096 MDR			2-5 DU/AC	R-R								EMWD
457160027	WRCOG6A-NOT CORRECTLY Z	7.551 MDR			2-5 DU/AC	R-R					YES			EMWD
451290035	WRCOG6A-NOT CORRECTLY Z	1.620 MDR			2-5 DU/AC	A-1								EMWD
462140021	WRCOG6A-NOT CORRECTLY Z	0.993 MDR	CCO		2-5 DU/AC	R-R								EMWD
463060002	WRCOG6A-NOT CORRECTLY Z	2.982 MDR	CCO		2-5 DU/AC	R-R								EMWD
565214010	WRCOG6A-NOT CORRECTLY Z	0.027 MDR			2-5 DU/AC	R-5								WMAWD
549165007	WRCOG6A-NOT CORRECTLY Z	0.163 MDR			2-5 DU/AC	R-R								WMAWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
309370010	WRCOG66A-NOT CORRECTLY Z	4.902	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
343252018	WRCOG66A-NOT CORRECTLY Z	0.097	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
426420008	WRCOG66A-NOT CORRECTLY Z	7.712	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
458371002	WRCOG66A-NOT CORRECTLY Z	0.171	MDR		2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
462120001	WRCOG66A-NOT CORRECTLY Z	1.774	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549200008	WRCOG66A-NOT CORRECTLY Z	0.851	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
548190021	WRCOG66A-NOT CORRECTLY Z	0.647	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGRWA
549122008	WRCOG66A-NOT CORRECTLY Z	0.198	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
307220002	WRCOG66A-NOT CORRECTLY Z	42.144	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
458020016	WRCOG66A-NOT CORRECTLY Z	0.569	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
466310013	WRCOG66A-NOT CORRECTLY Z	9.619	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
451321002	WRCOG66A-NOT CORRECTLY Z	4.082	MDR		2-5 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				EMWD
549153002	WRCOG66A-NOT CORRECTLY Z	0.160	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
343253026	WRCOG66A-NOT CORRECTLY Z	0.118	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
343255015	WRCOG66A-NOT CORRECTLY Z	0.091	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
463170021	WRCOG66A-NOT CORRECTLY Z	4.691	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
466310019	WRCOG66A-NOT CORRECTLY Z	9.310	MDR		2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
472180001	WRCOG66A-NOT CORRECTLY Z	120.255	MDR		2-5 DU/AC	A-1-10				AREAS OF FLOODING SENSITIVITY				EMWD
309370011	WRCOG66A-NOT CORRECTLY Z	4.590	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
327180005	WRCOG66A-NOT CORRECTLY Z	37.294	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
326240080	WRCOG66A-NOT CORRECTLY Z	0.840	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY			Zone E	WMWD
345033003	WRCOG66A-NOT CORRECTLY Z	0.087	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
434240009	WRCOG66A-NOT CORRECTLY Z	1.182	MDR		2-5 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				EMWD
458371004	WRCOG66A-NOT CORRECTLY Z	0.186	MDR		2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
345035002	WRCOG66A-NOT CORRECTLY Z	0.091	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
343263005	WRCOG66A-NOT CORRECTLY Z	0.116	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
463142002	WRCOG66A-NOT CORRECTLY Z	0.096	MDR	CCO	2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
549070024	WRCOG66A-NOT CORRECTLY Z	0.884	MDR		2-5 DU/AC	A-1-5				AREAS OF FLOODING SENSITIVITY				EMWD
449080001	WRCOG66A-NOT CORRECTLY Z	6.218	MDR		2-5 DU/AC	W-1			SAN JACINTO FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
466310016	WRCOG66A-NOT CORRECTLY Z	10.761	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
461160039	WRCOG66A-NOT CORRECTLY Z	20.728	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
966380003	WRCOG66A-NOT CORRECTLY Z	0.320	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY	YES			EMWD
307240056	WRCOG66A-NOT CORRECTLY Z	2.941	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
343265017	WRCOG66A-NOT CORRECTLY Z	0.132	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
345033012	WRCOG66A-NOT CORRECTLY Z	0.096	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
326250027	WRCOG66A-NOT CORRECTLY Z	1.003	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY			Zone E	EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
309380003	WRCOG6A-NOT CORRECTLY Z	5.052	MDR		2-5 DU/JAC	R-R				FLOODING SENSITIVITY				WMWD
345032008	WRCOG6A-NOT CORRECTLY Z	0.095	MDR		2-5 DU/JAC	R-R								WMWD
462161014	WRCOG6A-NOT CORRECTLY Z	1.185	MDR	CCO	2-5 DU/JAC	R-R								EMWD
462182009	WRCOG6A-NOT CORRECTLY Z	0.174	MDR	CCO	2-5 DU/JAC	R-R								EMWD
458871003	WRCOG6A-NOT CORRECTLY Z	0.173	MDR		2-5 DU/JAC	R-1				AREAS OF FLOODING SENSITIVITY				EMWD
462120014	WRCOG6A-NOT CORRECTLY Z	0.562	MDR		2-5 DU/JAC	R-R								EMWD
391080011	WRCOG6A-NOT CORRECTLY Z	0.655	MDR		2-5 DU/JAC	R-R			COUNTY FAULT ZONE					WMWD
466260007	WRCOG6A-NOT CORRECTLY Z	178.581	MDR		2-5 DU/JAC	A-1-1D				AREAS OF FLOODING SENSITIVITY	YES			EMWD
917310036	WRCOG6A-NOT CORRECTLY Z	16.281	MDR		2-5 DU/JAC	R-R								EMWD
135500007	WRCOG6A-NOT CORRECTLY Z	0.211	MDR		2-5 DU/JAC	R-5								WMWD
457120043	WRCOG6A-NOT CORRECTLY Z	2.329	MDR		2-5 DU/JAC	R-R								EMWD
463142005	WRCOG6A-NOT CORRECTLY Z	0.090	MDR	CCO	2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
549161026	WRCOG6A-NOT CORRECTLY Z	0.056	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				SGPWA
309570012	WRCOG6A-NOT CORRECTLY Z	1.024	MDR		2-5 DU/JAC	R-R								WMWD
345034003	WRCOG6A-NOT CORRECTLY Z	0.090	MDR		2-5 DU/JAC	R-R								WMWD
343252013	WRCOG6A-NOT CORRECTLY Z	0.099	MDR		2-5 DU/JAC	R-R								WMWD
381064005	WRCOG6A-NOT CORRECTLY Z	0.062	MDR		2-5 DU/JAC	W-1				AREAS OF FLOODING SENSITIVITY				EMWD
461050012	WRCOG6A-NOT CORRECTLY Z	1.400	MDR		2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
451300001	WRCOG6A-NOT CORRECTLY Z	4.435	MDR		2-5 DU/JAC	A-1-5				AREAS OF FLOODING SENSITIVITY				EMWD
438364007	WRCOG6A-NOT CORRECTLY Z	0.225	MDR		2-5 DU/JAC	R-1								EMWD
463077001	WRCOG6A-NOT CORRECTLY Z	0.269	MDR	CCO	2-5 DU/JAC	M-5C								EMWD
449290038	WRCOG6A-NOT CORRECTLY Z	0.345	MDR		2-5 DU/JAC	A-1								EMWD
458561011	WRCOG6A-NOT CORRECTLY Z	0.169	MDR		2-5 DU/JAC	R-1								EMWD
327180013	WRCOG6A-NOT CORRECTLY Z	1.206	MDR		2-5 DU/JAC	R-R								EMWD
480040026	WRCOG6A-NOT CORRECTLY Z	4.647	MDR		2-5 DU/JAC	R-R							Zone E	EMWD
480020028	WRCOG6A-NOT CORRECTLY Z	1.623	MDR		2-5 DU/JAC	R-1							Zone E	EMWD
462184011	WRCOG6A-NOT CORRECTLY Z	0.153	MDR	CCO	2-5 DU/JAC	R-R								EMWD
966380039	WRCOG6A-NOT CORRECTLY Z	0.297	MDR		2-5 DU/JAC	R-5					YES			EMWD
462184009	WRCOG6A-NOT CORRECTLY Z	0.156	MDR	CCO	2-5 DU/JAC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
307210025	WRCOG6A-NOT CORRECTLY Z	1.048	MDR		2-5 DU/JAC	R-R								WMWD
462184010	WRCOG6A-NOT CORRECTLY Z	0.625	MDR	CCO	2-5 DU/JAC	R-R								EMWD
480020031	WRCOG6A-NOT CORRECTLY Z	18.899	MDR		2-5 DU/JAC	R-5							Zone E	EMWD
345031018	WRCOG6A-NOT CORRECTLY Z	0.199	MDR		2-5 DU/JAC	R-R								EMWD
966380040	WRCOG6A-NOT CORRECTLY Z	0.082	MDR		2-5 DU/JAC	R-5								EMWD

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APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
480040045	WRCOG66A-NOT CORRECTLY Z	8.275	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
966420035	WRCOG66A-NOT CORRECTLY Z	0.317	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				EMWD
307210023	WRCOG66A-NOT CORRECTLY Z	95.745	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
480020028	WRCOG66A-NOT CORRECTLY Z	11.392	MDR		2-5 DU/AC	R-1							Zone E	EMWD
462100068	WRCOG66A-NOT CORRECTLY Z	1.584	MDR		2-5 DU/AC	R-R								EMWD
462184008	WRCOG66A-NOT CORRECTLY Z	0.216	MDR	CCO	2-5 DU/AC	R-R								EMWD
966380041	WRCOG66A-NOT CORRECTLY Z	1.775	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY	YES			EMWD
144850030	WRCOG66A-NOT CORRECTLY Z	0.292	MDR	CCO	2-5 DU/AC	R-1							Zone D	WMWD
345031019	WRCOG66A-NOT CORRECTLY Z	0.192	MDR		2-5 DU/AC	R-R								WMWD
345032018	WRCOG66A-NOT CORRECTLY Z	0.185	MDR		2-5 DU/AC	R-R								WMWD
345032019	WRCOG66A-NOT CORRECTLY Z	0.173	MDR		2-5 DU/AC	R-R								WMWD
480020028	WRCOG66A-NOT CORRECTLY Z	0.027	MDR		2-5 DU/AC	R-1				AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
462100067	WRCOG66A-NOT CORRECTLY Z	2.153	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
307210024	WRCOG66A-NOT CORRECTLY Z	1.405	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
326270072	WRCOG66A-NOT CORRECTLY Z	0.531	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
966420034	WRCOG66A-NOT CORRECTLY Z	0.089	MDR		2-5 DU/AC	R-5				AREAS OF FLOODING SENSITIVITY				EMWD
480040044	WRCOG66A-NOT CORRECTLY Z	15.769	MDR		2-5 DU/AC	R-R				AREAS OF FLOODING SENSITIVITY			Zone E	EMWD
342052041	WRCOG66A-NOT CORRECTLY Z	0.309	MDR	RVSA	2-5 DU/AC	R-R								EMWD
966420033	WRCOG66A-NOT CORRECTLY Z	1.016	MDR		2-5 DU/AC	R-5								EMWD
966380038	WRCOG66A-NOT CORRECTLY Z	4.615	MDR		2-5 DU/AC	R-5					YES			EMWD
343262030	WRCOG66A-NOT CORRECTLY Z	0.415	MDR		2-5 DU/AC	R-R								WMWD
667202019	CVAG66B-CORRECTLY ZONED S	1.169	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667202049	CVAG66B-CORRECTLY ZONED S	1.092	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211040	CVAG66B-CORRECTLY ZONED S	1.262	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667202038	CVAG66B-CORRECTLY ZONED S	1.680	LDR		1/2 AC Min.	R-1	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211023	CVAG66B-CORRECTLY ZONED S	1.023	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211018	CVAG66B-CORRECTLY ZONED S	0.999	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211011	CVAG66B-CORRECTLY ZONED S	0.351	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667202026	CVAG66B-CORRECTLY ZONED S	0.291	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
667211055	CVAG6B-CORRECTLY ZONED S	1.032	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667202041	CVAG6B-CORRECTLY ZONED S	0.521	LDR		1/2 AC Min.	R-1	1	0		FLOODING AREAS OF SENSITIVITY				CWWD
667202045	CVAG6B-CORRECTLY ZONED S	0.175	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
667211027	CVAG6B-CORRECTLY ZONED S	1.026	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667211012	CVAG6B-CORRECTLY ZONED S	0.975	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
607170025	CVAG6B-CORRECTLY ZONED S	0.074	LDR		1/2 AC Min.	R-1-12000	0	0		FLOODING AREAS OF SENSITIVITY			Zone D	CWWD
667202039	CVAG6B-CORRECTLY ZONED S	1.346	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667202056	CVAG6B-CORRECTLY ZONED S	0.222	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
667202022	CVAG6B-CORRECTLY ZONED S	1.276	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667202054	CVAG6B-CORRECTLY ZONED S	1.117	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667202042	CVAG6B-CORRECTLY ZONED S	0.177	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
667202029	CVAG6B-CORRECTLY ZONED S	0.289	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
667211054	CVAG6B-CORRECTLY ZONED S	1.056	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667202025	CVAG6B-CORRECTLY ZONED S	1.070	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667202027	CVAG6B-CORRECTLY ZONED S	0.258	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY				CWWD
667202032	CVAG6B-CORRECTLY ZONED S	1.244	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667211037	CVAG6B-CORRECTLY ZONED S	0.969	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD
667211038	CVAG6B-CORRECTLY ZONED S	1.008	LDR		1/2 AC Min.	R-1	1	1		FLOODING AREAS OF SENSITIVITY				CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
667202050	CVAG6B-CORRECTLY ZONED S	0.293	LDR		1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
667202040	CVAG6B-CORRECTLY ZONED S	0.303	LDR		1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
667202052	CVAG6B-CORRECTLY ZONED S	0.272	LDR		1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
667202058	CVAG6B-CORRECTLY ZONED S	0.481	LDR		1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
667211021	CVAG6B-CORRECTLY ZONED S	1.048	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211029	CVAG6B-CORRECTLY ZONED S	1.037	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211033	CVAG6B-CORRECTLY ZONED S	1.021	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
607160009	CVAG6B-CORRECTLY ZONED S	2.219	LDR		1/2 AC Min.	R-1-12000	2	2		FLOODING SENSITIVITY AREAS OF			Zone C	CWWD
667211007	CVAG6B-CORRECTLY ZONED S	0.965	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211042	CVAG6B-CORRECTLY ZONED S	1.194	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667202028	CVAG6B-CORRECTLY ZONED S	0.265	LDR		1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
667211048	CVAG6B-CORRECTLY ZONED S	1.553	LDR		1/2 AC Min.	R-1	2	2		FLOODING SENSITIVITY AREAS OF				CWWD
607160010	CVAG6B-CORRECTLY ZONED S	2.351	LDR		1/2 AC Min.	R-1-12000	2	2		FLOODING SENSITIVITY AREAS OF			Zone C	CWWD
667211025	CVAG6B-CORRECTLY ZONED S	1.054	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667170024	CVAG6B-CORRECTLY ZONED S	0.479	LDR		1/2 AC Min.	R-1-12000	0	0		FLOODING SENSITIVITY AREAS OF			Zone D	CWWD
667211044	CVAG6B-CORRECTLY ZONED S	1.256	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211046	CVAG6B-CORRECTLY ZONED S	1.181	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211036	CVAG6B-CORRECTLY ZONED S	0.951	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211043	CVAG6B-CORRECTLY ZONED S	1.195	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
667211019	CVAG6B-CORRECTLY ZONED S	1.792	LDR		1/2 AC Min.	R-1	2	2		FLOODING SENSITIVITY AREAS OF				CWWD
667211020	CVAG6B-CORRECTLY ZONED S	1.033	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LAND USE	GENERAL PLAN LAND USE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
667202047	CVAG6B-CORRECTLY ZONED S	0.174	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667202036	CVAG6B-CORRECTLY ZONED S	1.134	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211047	CVAG6B-CORRECTLY ZONED S	1.150	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211016	CVAG6B-CORRECTLY ZONED S	0.164	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667202043	CVAG6B-CORRECTLY ZONED S	0.173	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667211053	CVAG6B-CORRECTLY ZONED S	0.986	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667202033	CVAG6B-CORRECTLY ZONED S	1.062	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667202034	CVAG6B-CORRECTLY ZONED S	1.035	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211030	CVAG6B-CORRECTLY ZONED S	1.193	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211010	CVAG6B-CORRECTLY ZONED S	0.289	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667211009	CVAG6B-CORRECTLY ZONED S	0.165	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667202030	CVAG6B-CORRECTLY ZONED S	1.045	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667202051	CVAG6B-CORRECTLY ZONED S	1.054	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211031	CVAG6B-CORRECTLY ZONED S	1.082	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
607100032	CVAG6B-CORRECTLY ZONED S	0.066	LDR		1/2 AC Min.	R-1-12000	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
667211039	CVAG6B-CORRECTLY ZONED S	0.994	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211041	CVAG6B-CORRECTLY ZONED S	1.225	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211045	CVAG6B-CORRECTLY ZONED S	1.301	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211050	CVAG6B-CORRECTLY ZONED S	0.860	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
667202044	CVAG6B-CORRECTLY ZONED S	0.188 LDR			1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
667202035	CVAG6B-CORRECTLY ZONED S	1.122 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211024	CVAG6B-CORRECTLY ZONED S	1.021 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
607170026	CVAG6B-CORRECTLY ZONED S	0.088 LDR			1/2 AC Min.	R-1-12000	0	0		FLOODING SENSITIVITY AREAS OF			Zone D	CVWD
667202023	CVAG6B-CORRECTLY ZONED S	0.999 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211014	CVAG6B-CORRECTLY ZONED S	0.486 LDR			1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
667202048	CVAG6B-CORRECTLY ZONED S	0.166 LDR			1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
667211051	CVAG6B-CORRECTLY ZONED S	1.466 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667202020	CVAG6B-CORRECTLY ZONED S	1.052 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211022	CVAG6B-CORRECTLY ZONED S	1.491 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211032	CVAG6B-CORRECTLY ZONED S	1.091 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211015	CVAG6B-CORRECTLY ZONED S	0.199 LDR			1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
667211028	CVAG6B-CORRECTLY ZONED S	1.009 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211035	CVAG6B-CORRECTLY ZONED S	1.318 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667202017	CVAG6B-CORRECTLY ZONED S	0.974 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667202057	CVAG6B-CORRECTLY ZONED S	0.229 LDR			1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
667211034	CVAG6B-CORRECTLY ZONED S	1.041 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211017	CVAG6B-CORRECTLY ZONED S	0.171 LDR			1/2 AC Min.	R-1	0	0		FLOODING SENSITIVITY AREAS OF				CVWD
667211052	CVAG6B-CORRECTLY ZONED S	1.212 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD
667211026	CVAG6B-CORRECTLY ZONED S	1.042 LDR			1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY AREAS OF				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
667202021	CVAG6B-CORRECTLY ZONED S	1.079	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667202024	CVAG6B-CORRECTLY ZONED S	0.989	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY				CVWD
667202051	CVAG6B-CORRECTLY ZONED S	0.284	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667202046	CVAG6B-CORRECTLY ZONED S	0.595	LDR		1/2 AC Min.	R-1	1	0		AREAS OF FLOODING SENSITIVITY				CVWD
667202037	CVAG6B-CORRECTLY ZONED S	1.300	LDR		1/2 AC Min.	R-1	1	1		FLOODING SENSITIVITY				CVWD
667202018	CVAG6B-CORRECTLY ZONED S	1.394	LDR		1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				CVWD
667211008	CVAG6B-CORRECTLY ZONED S	0.177	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
667211049	CVAG6B-CORRECTLY ZONED S	1.656	LDR		1/2 AC Min.	R-1	2	1		FLOODING SENSITIVITY				CVWD
667202055	CVAG6B-CORRECTLY ZONED S	0.223	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY				CVWD
607170052	CVAG6B-CORRECTLY ZONED S	0.582	LDR		1/2 AC Min.	R-1-12000	1	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
607170058	CVAG6B-CORRECTLY ZONED S	0.273	LDR		1/2 AC Min.	R-1-12000	0	0		AREAS OF FLOODING SENSITIVITY			Zone D	CVWD
525080014	OTHER6B-CORRECTLY ZONED	0.590	LDR	CCO	1/2 AC Min.	R-A	1	0		AREAS OF FLOODING SENSITIVITY				SGPWA
525160001	OTHER6B-CORRECTLY ZONED	9.678	LDR	CCO	1/2 AC Min.	R-A	10	8		AREAS OF FLOODING SENSITIVITY				SGPWA
525110011	OTHER6B-CORRECTLY ZONED	4.619	LDR	CCO	1/2 AC Min.	R-A	5	4		AREAS OF FLOODING SENSITIVITY				SGPWA
528161012	OTHER6B-CORRECTLY ZONED	0.215	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526132002	OTHER6B-CORRECTLY ZONED	0.354	LDR	CCO	1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528161010	OTHER6B-CORRECTLY ZONED	0.169	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528161006	OTHER6B-CORRECTLY ZONED	0.170	LDR		1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
525140006	OTHER6B-CORRECTLY ZONED	9.743	LDR	CCO	1/2 AC Min.	R-A	10	8		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
525160004	OTHER6B-CORRECTLY ZONED	1.854	LDR	CCO	1/2 AC Min.	R-A	2	1		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526132025	OTHER6B-CORRECTLY ZONED	1.503	LDR	CCO	1/2 AC Min.	R-A	2	1		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
525140012	OTHER6B-CORRECTLY ZONED	3.387	LDR	CCO	1/2 AC Min.	R-A	3	3		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
525160003	OTHER6B-CORRECTLY ZONED	9.146	LDR	CCO	1/2 AC Min.	R-A	9	7		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528162004	OTHER6B-CORRECTLY ZONED	0.164	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161004	OTHER6B-CORRECTLY ZONED	0.167	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526150001	OTHER6B-CORRECTLY ZONED	9.698	LDR	CCO	1/2 AC Min.	R-A	10	8		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161005	OTHER6B-CORRECTLY ZONED	0.169	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161007	OTHER6B-CORRECTLY ZONED	0.167	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528162005	OTHER6B-CORRECTLY ZONED	0.165	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528162007	OTHER6B-CORRECTLY ZONED	0.166	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161034	OTHER6B-CORRECTLY ZONED	0.170	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526160009	OTHER6B-CORRECTLY ZONED	4.376	LDR	CCO	1/2 AC Min.	R-A	4	4		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526132021	OTHER6B-CORRECTLY ZONED	0.444	LDR	CCO	1/2 AC Min.	R-A	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528162008	OTHER6B-CORRECTLY ZONED	0.164	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526150010	OTHER6B-CORRECTLY ZONED	4.852	LDR	CCO	1/2 AC Min.	R-A	5	4		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528162006	OTHER6B-CORRECTLY ZONED	0.166	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161035	OTHER6B-CORRECTLY ZONED	0.167	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161013	OTHER6B-CORRECTLY ZONED	0.208	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
525140002	OTHER6B-CORRECTLY ZONED	3.673	LDR	CCO	1/2 AC Min.	R-A	4	3		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161038	OTHER6B-CORRECTLY ZONED	0.167	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
525140001	OTHER6B-CORRECTLY ZONED	9.616	LDR	CCO	1/2 AC Min.	R-A	10	8		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528161037	OTHER6B-CORRECTLY ZONED	0.168	LDR		1/2 AC Min.	R-1	0	0		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526132003	OTHER6B-CORRECTLY ZONED	1.036	LDR	CCO	1/2 AC Min.	R-A	1	1		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526132022	OTHER6B-CORRECTLY ZONED	2.808	LDR	CCO	1/2 AC Min.	R-A	3	2		FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528161033	OTHER6B-CORRECTLY ZONED	0.215 LDR			1/2 AC Min.	R-2	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
525160002	OTHER6B-CORRECTLY ZONED	9.671 LDR	CCO		1/2 AC Min.	R-A	10	8		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA SGPWA
528161009	OTHER6B-CORRECTLY ZONED	0.167 LDR			1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526230012	OTHER6B-CORRECTLY ZONED	9.300 LDR	CCO		1/2 AC Min.	R-A	9	7		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528161011	OTHER6B-CORRECTLY ZONED	0.167 LDR			1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526130020	OTHER6B-CORRECTLY ZONED	0.184 LDR	CCO		1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526150011	OTHER6B-CORRECTLY ZONED	2.334 LDR	CCO		1/2 AC Min.	R-A	2	2		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528161036	OTHER6B-CORRECTLY ZONED	0.167 LDR			1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526180003	OTHER6B-CORRECTLY ZONED	9.300 LDR	CCO		1/2 AC Min.	R-A	9	7		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
525140007	OTHER6B-CORRECTLY ZONED	9.611 LDR	CCO		1/2 AC Min.	R-A	10	8		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528161008	OTHER6B-CORRECTLY ZONED	0.168 LDR			1/2 AC Min.	R-1	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519280004	OTHER6B-CORRECTLY ZONED	8.678 LDR			1/2 AC Min.	W-2	9	7		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
269440002	WR0G6B-CORRECTLY ZONED	0.515 LDR	CCO		1/2 AC Min.	R-A	1	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA WMWD
269401011	WR0G6B-CORRECTLY ZONED	0.461 LDR			1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		WMWD
469110033	WR0G6B-CORRECTLY ZONED	2.285 LDR			1/2 AC Min.	R-A-2 1/2	2	2		AREAS OF FLOODING SENSITIVITY				EMWD
387542004	WR0G6B-CORRECTLY ZONED	0.532 LDR			1/2 AC Min.	R-A-20000	1	0	COUNTY					EMWD
917260055	WR0G6B-CORRECTLY ZONED	8.372 LDR			1/2 AC Min.	R-1	8	7	FAULT ZONE		YES			EMWD
269440003	WR0G6B-CORRECTLY ZONED	0.482 LDR			1/2 AC Min.	R-A	0	0						WMWD
269431011	WR0G6B-CORRECTLY ZONED	0.346 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
136470003	WR0G6B-CORRECTLY ZONED	0.343 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
136470002	WR0G6B-CORRECTLY ZONED	0.355 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269411005	WR0G6B-CORRECTLY ZONED	0.477 LDR			1/2 AC Min.	R-A	0	0						WMWD
140070025	WR0G6B-CORRECTLY ZONED	0.324 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269460015	WR0G6B-CORRECTLY ZONED	0.462 LDR			1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
561030005	WR0G6B-CORRECTLY ZONED	0.410 LDR			1/2 AC Min.	R-3A	0	0						WMWD SGPWA
269391007	WR0G6B-CORRECTLY ZONED	0.475 LDR			1/2 AC Min.	R-A	0	0						WMWD
136350004	WR0G6B-CORRECTLY ZONED	0.508 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD
136460039	WR0G6B-CORRECTLY ZONED	0.061 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269391011	WR0G6B-CORRECTLY ZONED	0.480 LDR			1/2 AC Min.	R-A	0	0						WMWD
136421001	WR0G6B-CORRECTLY ZONED	0.480 LDR			1/2 AC Min.	R-A	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CYAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
136460012	WRCOG66B-CORRECTLY ZONE	0.374 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269410005	WRCOG66B-CORRECTLY ZONE	0.531 LDR			1/2 AC Min.	R-A	1	0						WMWD
136570003	WRCOG66B-CORRECTLY ZONE	0.462 LDR			1/2 AC Min.	R-A	0	0						WMWD
269412010	WRCOG66B-CORRECTLY ZONE	0.503 LDR			1/2 AC Min.	R-A	1	0						WMWD
136470004	WRCOG66B-CORRECTLY ZONE	0.311 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
136060022	WRCOG66B-CORRECTLY ZONE	0.724 LDR			1/2 AC Min.	R-A-20000	1	1			YES			WMWD
140050028	WRCOG66B-CORRECTLY ZONE	0.511 LDR			1/2 AC Min.	R-1-15000	1	0						WMWD
269452006	WRCOG66B-CORRECTLY ZONE	0.549 LDR			1/2 AC Min.	R-A	1	0						WMWD
269591006	WRCOG66B-CORRECTLY ZONE	0.516 LDR			1/2 AC Min.	R-A	1	0						WMWD
269302026	WRCOG66B-CORRECTLY ZONE	0.380 LDR			1/2 AC Min.	R-A	0	0						WMWD
552401001	WRCOG66B-CORRECTLY ZONE	0.510 LDR			1/2 AC Min.	R-A-20000	1	0	SAN JACINTO					SGPWA
136460013	WRCOG66B-CORRECTLY ZONE	0.346 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
136530008	WRCOG66B-CORRECTLY ZONE	0.727 LDR			1/2 AC Min.	R-A	1	1						WMWD
136460038	WRCOG66B-CORRECTLY ZONE	0.021 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269410001	WRCOG66B-CORRECTLY ZONE	0.773 LDR			1/2 AC Min.	R-A	1	1						WMWD
269452008	WRCOG66B-CORRECTLY ZONE	0.463 LDR			1/2 AC Min.	R-A	0	0						WMWD
136571006	WRCOG66B-CORRECTLY ZONE	0.651 LDR			1/2 AC Min.	R-A	1	1						WMWD
269432012	WRCOG66B-CORRECTLY ZONE	0.453 LDR			1/2 AC Min.	R-A	0	0						WMWD
269442005	WRCOG66B-CORRECTLY ZONE	0.460 LDR			1/2 AC Min.	R-A	0	0						WMWD
269403010	WRCOG66B-CORRECTLY ZONE	0.529 LDR			1/2 AC Min.	R-A	1	0						WMWD
454390012	WRCOG66B-CORRECTLY ZONE	0.478 LDR			1/2 AC Min.	R-A	0	0						WMWD
136460022	WRCOG66B-CORRECTLY ZONE	4.935 LDR			1/2 AC Min.	R-A-2	5	4						EMWD
269411001	WRCOG66B-CORRECTLY ZONE	0.346 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269411001	WRCOG66B-CORRECTLY ZONE	0.678 LDR			1/2 AC Min.	R-A	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
269460009	WRCOG66B-CORRECTLY ZONE	1.072 LDR			1/2 AC Min.	R-A	1	1						WMWD
269390003	WRCOG66B-CORRECTLY ZONE	0.468 LDR			1/2 AC Min.	R-A	0	0						WMWD
136080015	WRCOG66B-CORRECTLY ZONE	0.176 LDR			1/2 AC Min.	R-A-1	0	0						WMWD
140070023	WRCOG66B-CORRECTLY ZONE	0.557 LDR			1/2 AC Min.	R-1-15000	1	0						WMWD
269421006	WRCOG66B-CORRECTLY ZONE	0.499 LDR			1/2 AC Min.	R-A	0	0						WMWD
136470001	WRCOG66B-CORRECTLY ZONE	0.366 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269430001	WRCOG66B-CORRECTLY ZONE	0.343 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451001	WRCOG66B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269442001	WRCOG66B-CORRECTLY ZONE	0.725 LDR			1/2 AC Min.	R-A	1	1						WMWD
269390007	WRCOG66B-CORRECTLY ZONE	0.616 LDR			1/2 AC Min.	R-A	1	0						WMWD
269421008	WRCOG66B-CORRECTLY ZONE	0.473 LDR			1/2 AC Min.	R-A	0	0						WMWD
269390012	WRCOG66B-CORRECTLY ZONE	0.763 LDR			1/2 AC Min.	R-A	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
269410008	WRCOG66B-CORRECTLY ZONE	0.451 LDR			1/2 AC Min.	R-A	0	0						WMWD
269410104	WRCOG66B-CORRECTLY ZONE	0.626 LDR			1/2 AC Min.	R-A	1	1						WMWD
269450001	WRCOG66B-CORRECTLY ZONE	0.463 LDR			1/2 AC Min.	R-A	0	0						WMWD
140371014	WRCOG66B-CORRECTLY ZONE	4.398 LDR			1/2 AC Min.	R-1-15000	4	4						WMWD
269442006	WRCOG66B-CORRECTLY ZONE	0.500 LDR			1/2 AC Min.	R-A	0	0						WMWD
269432009	WRCOG66B-CORRECTLY ZONE	0.347 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269441001	WRCOG66B-CORRECTLY ZONE	0.465 LDR			1/2 AC Min.	R-A	0	0						WMWD
136110025	WRCOG66B-CORRECTLY ZONE	0.104 LDR			1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY				WMWD

Housing Element Appendix A - Housing Inventory List

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140381016	WRCOG6B-CORRECTLY ZONEI	0.007	LDR		1/2 AC Min.	R-1-15000	0	0						WMWD
269390005	WRCOG6B-CORRECTLY ZONEI	0.822	LDR		1/2 AC Min.	R-A	1	1						WMWD
269460017	WRCOG6B-CORRECTLY ZONEI	0.838	LDR		1/2 AC Min.	R-A	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
269400012	WRCOG6B-CORRECTLY ZONEI	0.465	LDR		1/2 AC Min.	R-A	0	0						WMWD
269432017	WRCOG6B-CORRECTLY ZONEI	0.609	LDR		1/2 AC Min.	R-A	1	1						WMWD
269400003	WRCOG6B-CORRECTLY ZONEI	0.461	LDR		1/2 AC Min.	R-A	0	0						WMWD
269452003	WRCOG6B-CORRECTLY ZONEI	0.467	LDR		1/2 AC Min.	R-A	0	0						WMWD
269432014	WRCOG6B-CORRECTLY ZONEI	0.676	LDR		1/2 AC Min.	R-A	1	1						WMWD
136110005	WRCOG6B-CORRECTLY ZONEI	8.023	LDR		1/2 AC Min.	R-A	8	6		AREAS OF FLOODING SENSITIVITY				WMWD
136522013	WRCOG6B-CORRECTLY ZONEI	0.163	LDR		1/2 AC Min.	R-A	0	0						WMWD
269412001	WRCOG6B-CORRECTLY ZONEI	0.582	LDR		1/2 AC Min.	R-A	1	0						WMWD
269460014	WRCOG6B-CORRECTLY ZONEI	0.484	LDR		1/2 AC Min.	R-A	0	0						WMWD
269420013	WRCOG6B-CORRECTLY ZONEI	4.225	LDR		1/2 AC Min.	R-A	4	3						WMWD
269440005	WRCOG6B-CORRECTLY ZONEI	0.462	LDR		1/2 AC Min.	R-A	0	0						WMWD
269411005	WRCOG6B-CORRECTLY ZONEI	0.472	LDR		1/2 AC Min.	R-A	0	0						WMWD
269401006	WRCOG6B-CORRECTLY ZONEI	0.751	LDR		1/2 AC Min.	R-A	1	1						WMWD
269390015	WRCOG6B-CORRECTLY ZONEI	0.525	LDR		1/2 AC Min.	R-A	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
269412006	WRCOG6B-CORRECTLY ZONEI	0.608	LDR		1/2 AC Min.	R-A	1	0						WMWD
136110026	WRCOG6B-CORRECTLY ZONEI	0.536	LDR		1/2 AC Min.	R-A	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
140381015	WRCOG6B-CORRECTLY ZONEI	0.349	LDR		1/2 AC Min.	R-1-15000	0	0						WMWD
269390008	WRCOG6B-CORRECTLY ZONEI	0.725	LDR		1/2 AC Min.	R-A	1	1						WMWD
136470009	WRCOG6B-CORRECTLY ZONEI	0.347	LDR		1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269430004	WRCOG6B-CORRECTLY ZONEI	0.149	LDR		1/2 AC Min.	R-A	0	0						WMWD
255170011	WRCOG6B-CORRECTLY ZONEI	5.021	LDR		1/2 AC Min.	R-1-20000	5	4						WMWD
140070024	WRCOG6B-CORRECTLY ZONEI	2.412	LDR		1/2 AC Min.	R-A	2	2						WMWD
136890004	WRCOG6B-CORRECTLY ZONEI	0.172	LDR		1/2 AC Min.	R-A	0	0						WMWD
269291025	WRCOG6B-CORRECTLY ZONEI	0.380	LDR		1/2 AC Min.	R-1-15000	0	0						WMWD
255381022	WRCOG6B-CORRECTLY ZONEI	1.603	LDR		1/2 AC Min.	R-A	0	0						WMWD
269460001	WRCOG6B-CORRECTLY ZONEI	0.348	LDR		1/2 AC Min.	R-1-20000	2	1						WMWD
136090014	WRCOG6B-CORRECTLY ZONEI	2.016	LDR		1/2 AC Min.	R-1-15000	0	0						WMWD
136530007	WRCOG6B-CORRECTLY ZONEI	0.450	LDR		1/2 AC Min.	R-A	2	2			YES			WMWD
269432016	WRCOG6B-CORRECTLY ZONEI	0.610	LDR		1/2 AC Min.	R-A	0	0						WMWD
269442008	WRCOG6B-CORRECTLY ZONEI	0.830	LDR		1/2 AC Min.	R-A	1	0						WMWD
269403001	WRCOG6B-CORRECTLY ZONEI	0.484	LDR		1/2 AC Min.	R-A	1	1						WMWD
269421002	WRCOG6B-CORRECTLY ZONEI	0.468	LDR		1/2 AC Min.	R-A	0	0						WMWD
269411005	WRCOG6B-CORRECTLY ZONEI	0.463	LDR		1/2 AC Min.	R-A	0	0						WMWD
269420004	WRCOG6B-CORRECTLY ZONEI	0.475	LDR		1/2 AC Min.	R-A	0	0						WMWD
269060011	WRCOG6B-CORRECTLY ZONEI	6.993	LDR		1/2 AC Min.	R-A	7	6						WMWD
136460016	WRCOG6B-CORRECTLY ZONEI	0.317	LDR		1/2 AC Min.	R-1-15000	0	0			YES			WMWD
136080005	WRCOG6B-CORRECTLY ZONEI	0.291	LDR		1/2 AC Min.	R-A-1	0	0						WMWD
140070022	WRCOG6B-CORRECTLY ZONEI	0.070	LDR		1/2 AC Min.	R-1-15000	0	0						WMWD



Housing Element Appendix A - Housing Inventory List

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269410004	WRCOG6B-CORRECTLY ZONE	0.586 LDR			1/2 AC Min.	R-A	1	0						WMWD
269450005	WRCOG6B-CORRECTLY ZONE	0.582 LDR			1/2 AC Min.	R-A	1	0			YES			WMWD
136470011	WRCOG6B-CORRECTLY ZONE	0.372 LDR			1/2 AC Min.	R-1-15000	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
136522012	WRCOG6B-CORRECTLY ZONE	1.106 LDR			1/2 AC Min.	R-A	1	1						WMWD
140050029	WRCOG6B-CORRECTLY ZONE	1.098 LDR			1/2 AC Min.	R-1-15000	1	1						WMWD
136060026	WRCOG6B-CORRECTLY ZONE	0.520 LDR			1/2 AC Min.	R-A-20000	1	0						WMWD
136530013	WRCOG6B-CORRECTLY ZONE	0.424 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
239100008	WRCOG6B-CORRECTLY ZONE	0.191 LDR			1/2 AC Min.	R-A	0	0						WMWD
136350007	WRCOG6B-CORRECTLY ZONE	0.704 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD
269450003	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269390006	WRCOG6B-CORRECTLY ZONE	0.637 LDR			1/2 AC Min.	R-A	1	1						WMWD
269411007	WRCOG6B-CORRECTLY ZONE	1.353 LDR			1/2 AC Min.	R-A	1	1						WMWD
136530010	WRCOG6B-CORRECTLY ZONE	0.344 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
136470010	WRCOG6B-CORRECTLY ZONE	0.378 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269420012	WRCOG6B-CORRECTLY ZONE	1.111 LDR			1/2 AC Min.	R-A	1	1						WMWD
269431007	WRCOG6B-CORRECTLY ZONE	0.346 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
136080002	WRCOG6B-CORRECTLY ZONE	0.124 LDR			1/2 AC Min.	R-A-1	0	0						WMWD
136100009	WRCOG6B-CORRECTLY ZONE	3.458 LDR			1/2 AC Min.	R-A	3	3						WMWD
136530016	WRCOG6B-CORRECTLY ZONE	0.335 LDR			1/2 AC Min.	R-1-15000	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
269460016	WRCOG6B-CORRECTLY ZONE	2.582 LDR			1/2 AC Min.	R-A	3	2						WMWD
269400010	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269452007	WRCOG6B-CORRECTLY ZONE	0.470 LDR			1/2 AC Min.	R-A	0	0						WMWD
454330011	WRCOG6B-CORRECTLY ZONE	5.682 LDR			1/2 AC Min.	R-A-2	6	5						EMWD
300010003	WRCOG6B-CORRECTLY ZONE	4.747 LDR			1/2 AC Min.	R-1-1	5	4						WMWD
269421004	WRCOG6B-CORRECTLY ZONE	0.463 LDR			1/2 AC Min.	R-A	0	0						WMWD
136350003	WRCOG6B-CORRECTLY ZONE	0.613 LDR			1/2 AC Min.	R-A	1	0		AREAS OF FLOODING SENSITIVITY	YES			WMWD
136110021	WRCOG6B-CORRECTLY ZONE	1.003 LDR			1/2 AC Min.	R-A	1	1						WMWD
136350009	WRCOG6B-CORRECTLY ZONE	0.607 LDR			1/2 AC Min.	R-A	1	0			YES			WMWD
269451003	WRCOG6B-CORRECTLY ZONE	0.475 LDR			1/2 AC Min.	R-A	0	0						WMWD
269452002	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
136060001	WRCOG6B-CORRECTLY ZONE	1.040 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD
255150014	WRCOG6B-CORRECTLY ZONE	0.781 LDR			1/2 AC Min.	R-1-20000	1	1						WMWD
269411002	WRCOG6B-CORRECTLY ZONE	0.484 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451007	WRCOG6B-CORRECTLY ZONE	0.462 LDR			1/2 AC Min.	R-A	0	0						WMWD
463090001	WRCOG6B-CORRECTLY ZONE	10.866 LDR			1/2 AC Min.	R-1-R-2 1/2	11	9		AREAS OF FLOODING SENSITIVITY				EMWD
269460013	WRCOG6B-CORRECTLY ZONE	0.853 LDR			1/2 AC Min.	R-A	1	1						WMWD
269432006	WRCOG6B-CORRECTLY ZONE	0.357 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269390010	WRCOG6B-CORRECTLY ZONE	0.614 LDR			1/2 AC Min.	R-A	1	0						WMWD
269441012	WRCOG6B-CORRECTLY ZONE	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
136120004	WRCOG6B-CORRECTLY ZONE	5.514 LDR			1/2 AC Min.	R-A-1	6	4						WMWD
140951030	WRCOG6B-CORRECTLY ZONE	2.955 LDR			1/2 AC Min.	R-1-15000	3	2						WMWD
136182011	WRCOG6B-CORRECTLY ZONE	0.002 LDR			1/2 AC Min.	R-1-20000	0	0			YES			WMWD
255170012	WRCOG6B-CORRECTLY ZONE	0.560 LDR			1/2 AC Min.	R-1-20000	1	0						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL LAND/USE	GENERAL PLAN LAND/USE	GENERAL PLAN LAND/USE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
269442004	WRCOG66B-CORRECTLY ZONE	0.550 LDR			1/2 AC Min.	R-A	1	0						WMWD
917260067	WRCOG66B-CORRECTLY ZONE	2.687 LDR			1/2 AC Min.	R-1	3	2			YES			EMWD
136060010	WRCOG66B-CORRECTLY ZONE	3.769 LDR			1/2 AC Min.	R-A-1	4	3			YES			WMWD
269391010	WRCOG66B-CORRECTLY ZONE	0.470 LDR			1/2 AC Min.	R-A	0	0						WMWD
269431006	WRCOG66B-CORRECTLY ZONE	0.384 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
136530012	WRCOG66B-CORRECTLY ZONE	0.513 LDR			1/2 AC Min.	R-1-15000	1	0						WMWD
269401009	WRCOG66B-CORRECTLY ZONE	0.585 LDR			1/2 AC Min.	R-A	1	0						WMWD
269460010	WRCOG66B-CORRECTLY ZONE	1.324 LDR			1/2 AC Min.	R-A	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
269390001	WRCOG66B-CORRECTLY ZONE	0.464 LDR			1/2 AC Min.	R-A	0	0						WMWD
455090023	WRCOG66B-CORRECTLY ZONE	5.597 LDR			3/2 AC Min.	W-2	6	4		AREAS OF FLOODING SENSITIVITY				EMWD
480030044	WRCOG66B-CORRECTLY ZONE	2.377 LDR			1/2 AC Min.	R-1-15000	2	2		AREAS OF FLOODING SENSITIVITY				EMWD
136110022	WRCOG66B-CORRECTLY ZONE	0.584 LDR			1/2 AC Min.	R-A	1	0		AREAS OF FLOODING SENSITIVITY				WMWD
269390004	WRCOG66B-CORRECTLY ZONE	0.611 LDR			1/2 AC Min.	R-A	1	0						WMWD
269460007	WRCOG66B-CORRECTLY ZONE	0.381 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269361025	WRCOG66B-CORRECTLY ZONE	0.054 LDR			1/2 AC Min.	R-A-20000	0	0						WMWD
269430002	WRCOG66B-CORRECTLY ZONE	0.464 LDR			1/2 AC Min.	R-A	0	0						WMWD
136460021	WRCOG66B-CORRECTLY ZONE	0.341 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
269412004	WRCOG66B-CORRECTLY ZONE	0.494 LDR			1/2 AC Min.	R-A	0	0						WMWD
269450002	WRCOG66B-CORRECTLY ZONE	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
140341014	WRCOG66B-CORRECTLY ZONE	0.294 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
140070020	WRCOG66B-CORRECTLY ZONE	0.121 LDR			1/2 AC Min.	R-1-15000	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
544020003	WRCOG66B-CORRECTLY ZONE	160.446 LDR			1/2 AC Min.	R-A	160	128						SGPWA
140382007	WRCOG66B-CORRECTLY ZONE	0.094 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269432013	WRCOG66B-CORRECTLY ZONE	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
269410003	WRCOG66B-CORRECTLY ZONE	0.432 LDR			1/2 AC Min.	R-A	0	0						WMWD
165540018	WRCOG66B-CORRECTLY ZONE	0.322 LDR			1/2 AC Min.	R-1	0	0						WMWD
136080029	WRCOG66B-CORRECTLY ZONE	1.001 LDR			1/2 AC Min.	R-A-1	1	1						WMWD
140070027	WRCOG66B-CORRECTLY ZONE	1.659 LDR			1/2 AC Min.	R-1-15000	2	1						WMWD
269441007	WRCOG66B-CORRECTLY ZONE	0.462 LDR			1/2 AC Min.	R-A	0	0						WMWD
136350001	WRCOG66B-CORRECTLY ZONE	0.577 LDR			1/2 AC Min.	R-A	1	0			YES			WMWD
140070021	WRCOG66B-CORRECTLY ZONE	0.463 LDR			1/2 AC Min.	R-1-15000	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
136110004	WRCOG66B-CORRECTLY ZONE	1.372 LDR			1/2 AC Min.	R-A	1	1						WMWD
269420003	WRCOG66B-CORRECTLY ZONE	0.480 LDR			1/2 AC Min.	R-A	0	0						WMWD
269440004	WRCOG66B-CORRECTLY ZONE	0.473 LDR			1/2 AC Min.	R-A	0	0						WMWD
269441004	WRCOG66B-CORRECTLY ZONE	0.462 LDR			1/2 AC Min.	R-A	0	0						WMWD
136372007	WRCOG66B-CORRECTLY ZONE	0.451 LDR			1/2 AC Min.	R-A	0	0		COUNTY				WMWD
917260054	WRCOG66B-CORRECTLY ZONE	13.194 LDR			1/2 AC Min.	R-1	13	11		FAULT ZONE	YES			EMWD
269431008	WRCOG66B-CORRECTLY ZONE	0.345 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269452004	WRCOG66B-CORRECTLY ZONE	0.483 LDR			1/2 AC Min.	R-A	0	0						WMWD
269392001	WRCOG66B-CORRECTLY ZONE	0.465 LDR			1/2 AC Min.	R-A	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
269401005	WRCO66B-CORRECTLY ZONEI	0.654 LDR			1/2 AC Min.	R-A	1	1						WMWD
26942009	WRCO66B-CORRECTLY ZONEI	0.789 LDR			1/2 AC Min.	R-A	1	1						WMWD
269431005	WRCO66B-CORRECTLY ZONEI	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
26942001	WRCO66B-CORRECTLY ZONEI	0.480 LDR			1/2 AC Min.	R-A	0	0						WMWD
391220030	WRCO66B-CORRECTLY ZONEI	0.118 LDR			1/2 AC Min.	R-A-10	0	0	ELSINORE					EMWD
917260068	WRCO66B-CORRECTLY ZONEI	2.367 LDR			1/2 AC Min.	R-1	2	2	FAULT ZONE		YES			EMWD
136182010	WRCO66B-CORRECTLY ZONEI	0.005 LDR			1/2 AC Min.	R-1-20000	0	0			YES			WMWD
269431004	WRCO66B-CORRECTLY ZONEI	0.465 LDR			1/2 AC Min.	R-A	0	0						WMWD
269391005	WRCO66B-CORRECTLY ZONEI	0.465 LDR			1/2 AC Min.	R-A	0	0						WMWD
269421003	WRCO66B-CORRECTLY ZONEI	0.468 LDR			1/2 AC Min.	R-A	0	0						WMWD
269390002	WRCO66B-CORRECTLY ZONEI	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269401003	WRCO66B-CORRECTLY ZONEI	0.491 LDR			1/2 AC Min.	R-A	0	0			YES			WMWD
136470023	WRCO66B-CORRECTLY ZONEI	0.019 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
136470008	WRCO66B-CORRECTLY ZONEI	0.356 LDR			1/2 AC Min.	R-A	0	0			YES			WMWD
269402022	WRCO66B-CORRECTLY ZONEI	0.016 LDR			1/2 AC Min.	R-A	0	0						WMWD
269400002	WRCO66B-CORRECTLY ZONEI	0.467 LDR			1/2 AC Min.	R-A	0	0						WMWD
269060012	WRCO66B-CORRECTLY ZONEI	14.076 LDR			1/2 AC Min.	R-A	14	11						WMWD
136606023	WRCO66B-CORRECTLY ZONEI	0.971 LDR			1/2 AC Min.	R-A-20000	1	1						WMWD
269441013	WRCO66B-CORRECTLY ZONEI	0.524 LDR			1/2 AC Min.	R-A	1	1						WMWD
269412005	WRCO66B-CORRECTLY ZONEI	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
1402340001	WRCO66B-CORRECTLY ZONEI	0.342 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
26942002	WRCO66B-CORRECTLY ZONEI	0.512 LDR			1/2 AC Min.	R-A	1	1						WMWD
269400011	WRCO66B-CORRECTLY ZONEI	0.460 LDR			1/2 AC Min.	R-A	0	0						WMWD
454330005	WRCO66B-CORRECTLY ZONEI	9.793 LDR			1/2 AC Min.	R-A-2	10	8						WMWD
136090001	WRCO66B-CORRECTLY ZONEI	0.379 LDR			1/2 AC Min.	R-A	0	0			YES			EMWD
269401007	WRCO66B-CORRECTLY ZONEI	0.858 LDR			1/2 AC Min.	R-A	1	1						WMWD
269422005	WRCO66B-CORRECTLY ZONEI	1.416 LDR			1/2 AC Min.	R-A	1	1						WMWD
269401012	WRCO66B-CORRECTLY ZONEI	0.684 LDR			1/2 AC Min.	R-A	1	1						WMWD
140381010	WRCO66B-CORRECTLY ZONEI	0.991 LDR			1/2 AC Min.	R-1-15000	1	1						WMWD
269420005	WRCO66B-CORRECTLY ZONEI	0.477 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451002	WRCO66B-CORRECTLY ZONEI	0.468 LDR			1/2 AC Min.	R-A	0	0						WMWD
426350009	WRCO66B-CORRECTLY ZONEI	3.299 LDR			1/2 AC Min.	SP ZONE	3	3						EMWD
269412003	WRCO66B-CORRECTLY ZONEI	0.474 LDR			1/2 AC Min.	R-A	0	0						WMWD
136080026	WRCO66B-CORRECTLY ZONEI	0.424 LDR			1/2 AC Min.	R-A-1	0	0						WMWD
269391002	WRCO66B-CORRECTLY ZONEI	0.455 LDR			1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
269390013	WRCO66B-CORRECTLY ZONEI	0.583 LDR			1/2 AC Min.	R-A	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
136034005	WRCO66B-CORRECTLY ZONEI	2.810 LDR			1/2 AC Min.	R-1-20000	3	2						WMWD
136460023	WRCO66B-CORRECTLY ZONEI	0.526 LDR			1/2 AC Min.	R-1-15000	1	1			YES			WMWD
269460006	WRCO66B-CORRECTLY ZONEI	0.380 LDR			1/2 AC Min.	R-1-15000	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
269411003	WRCO66B-CORRECTLY ZONEI	0.465 LDR			1/2 AC Min.	R-A	0	0						WMWD
136460014	WRCO66B-CORRECTLY ZONEI	0.452 LDR			1/2 AC Min.	R-1-15000	0	0			YES			WMWD
102050012	WRCO66B-CORRECTLY ZONEI	1.068 LDR			1/2 AC Min.	R-1	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
269441011	WRCO66B-CORRECTLY ZONEI	0.464 LDR			1/2 AC Min.	R-A	0	0						WMWD
269432007	WRCO66B-CORRECTLY ZONEI	0.351 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
45430013	WRCOG6B-CORRECTLY ZONEI	3.740 LDR			1/2 AC Min.	R-A-2	4	3						EMWD
269222021	WRCOG6B-CORRECTLY ZONEI	0.177 LDR			1/2 AC Min.	R-A	0	0						WMWD
269020014	WRCOG6B-CORRECTLY ZONEI	2.202 LDR			1/2 AC Min.	R-A	2	2						WMWD
480030017	WRCOG6B-CORRECTLY ZONEI	8.827 LDR			1/2 AC Min.	R-1	9	7						EMWD
136500002	WRCOG6B-CORRECTLY ZONEI	0.629 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD
269432008	WRCOG6B-CORRECTLY ZONEI	0.346 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269412007	WRCOG6B-CORRECTLY ZONEI	0.452 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451004	WRCOG6B-CORRECTLY ZONEI	0.555 LDR			1/2 AC Min.	R-A	1	0						WMWD
269391009	WRCOG6B-CORRECTLY ZONEI	0.450 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451006	WRCOG6B-CORRECTLY ZONEI	0.462 LDR			1/2 AC Min.	R-A	0	0						WMWD
136050024	WRCOG6B-CORRECTLY ZONEI	0.745 LDR			1/2 AC Min.	R-A-20000	1	1						WMWD
140390005	WRCOG6B-CORRECTLY ZONEI	0.067 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269401013	WRCOG6B-CORRECTLY ZONEI	0.580 LDR			1/2 AC Min.	R-A	1	0						WMWD
269432010	WRCOG6B-CORRECTLY ZONEI	0.350 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269412002	WRCOG6B-CORRECTLY ZONEI	0.476 LDR			1/2 AC Min.	R-A	0	0			YES			WMWD
136120006	WRCOG6B-CORRECTLY ZONEI	15.864 LDR			1/2 AC Min.	R-1-20000	16	13						WMWD
269401004	WRCOG6B-CORRECTLY ZONEI	0.576 LDR			1/2 AC Min.	R-A	1	0						WMWD
136530009	WRCOG6B-CORRECTLY ZONEI	0.397 LDR			1/2 AC Min.	R-A	0	0						WMWD
269412008	WRCOG6B-CORRECTLY ZONEI	0.564 LDR			1/2 AC Min.	R-A	1	0	ELSMORE					WMWD
391120030	WRCOG6B-CORRECTLY ZONEI	0.490 LDR			1/2 AC Min.	R-A-10	0	0	FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
454160002	WRCOG6B-CORRECTLY ZONEI	73.815 LDR			1/2 AC Min.	R-A-2 1/2	74	59						EMWD
140070028	WRCOG6B-CORRECTLY ZONEI	0.003 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269450004	WRCOG6B-CORRECTLY ZONEI	0.466 LDR			1/2 AC Min.	R-A	0	0						WMWD
269421007	WRCOG6B-CORRECTLY ZONEI	0.451 LDR			1/2 AC Min.	R-A	0	0						WMWD
269420002	WRCOG6B-CORRECTLY ZONEI	0.485 LDR			1/2 AC Min.	R-A	0	0						WMWD
269390014	WRCOG6B-CORRECTLY ZONEI	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
140040001	WRCOG6B-CORRECTLY ZONEI	1.007 LDR			1/2 AC Min.	R-A-1	1	1						WMWD
269432011	WRCOG6B-CORRECTLY ZONEI	0.377 LDR			1/2 AC Min.	R-1-15000	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
269460011	WRCOG6B-CORRECTLY ZONEI	1.045 LDR			1/2 AC Min.	R-A	1	1						WMWD
136090002	WRCOG6B-CORRECTLY ZONEI	2.237 LDR			1/2 AC Min.	R-A	2	2			YES			WMWD
269390009	WRCOG6B-CORRECTLY ZONEI	0.884 LDR			1/2 AC Min.	R-A	1	1						WMWD
269421001	WRCOG6B-CORRECTLY ZONEI	0.481 LDR			1/2 AC Min.	R-A	0	0						WMWD
269401014	WRCOG6B-CORRECTLY ZONEI	0.641 LDR			1/2 AC Min.	R-A	1	1						WMWD
269431001	WRCOG6B-CORRECTLY ZONEI	0.472 LDR			1/2 AC Min.	R-A	0	0						WMWD
136060027	WRCOG6B-CORRECTLY ZONEI	1.191 LDR			1/2 AC Min.	R-A-20000	1	1		AREAS OF FLOODING SENSITIVITY				WMWD
136110008	WRCOG6B-CORRECTLY ZONEI	0.768 LDR			1/2 AC Min.	R-A	1	1						WMWD
140381014	WRCOG6B-CORRECTLY ZONEI	0.017 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269401008	WRCOG6B-CORRECTLY ZONEI	0.986 LDR			1/2 AC Min.	R-A	1	1						WMWD
269391003	WRCOG6B-CORRECTLY ZONEI	0.458 LDR			1/2 AC Min.	R-A	0	0						WMWD
136060021	WRCOG6B-CORRECTLY ZONEI	0.617 LDR			1/2 AC Min.	R-A-20000	1	0			YES			WMWD
269460012	WRCOG6B-CORRECTLY ZONEI	1.138 LDR			1/2 AC Min.	R-A	1	1						WMWD
136120007	WRCOG6B-CORRECTLY ZONEI	1.272 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
269421005	WRCOG6B-CORRECTLY ZONE	0.794 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD
136090005	WRCOG6B-CORRECTLY ZONE	0.277 LDR			1/2 AC Min.	R-A	0	0						WMWD
269412009	WRCOG6B-CORRECTLY ZONE	0.582 LDR			1/2 AC Min.	R-A	1	1						WMWD
269432015	WRCOG6B-CORRECTLY ZONE	0.518 LDR			1/2 AC Min.	R-A	1	1						WMWD
269452001	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
136060011	WRCOG6B-CORRECTLY ZONE	6.449 LDR			1/2 AC Min.	R-A-1	6	5			YES			WMWD
269411006	WRCOG6B-CORRECTLY ZONE	0.463 LDR			1/2 AC Min.	R-A	0	0						WMWD
26941010	WRCOG6B-CORRECTLY ZONE	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
269391008	WRCOG6B-CORRECTLY ZONE	0.444 LDR			1/2 AC Min.	R-A	0	0						WMWD
269431002	WRCOG6B-CORRECTLY ZONE	0.466 LDR			1/2 AC Min.	R-A	0	0						WMWD
269411009	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451005	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0		AREAS OF FLOODING SENSITIVITY				WMWD
283060020	WRCOG6B-CORRECTLY ZONE	1.248 LDR			1/2 AC Min.	R-A-1	1	1						WMWD
136530004	WRCOG6B-CORRECTLY ZONE	0.437 LDR			1/2 AC Min.	R-A	0	0						WMWD
917280066	WRCOG6B-CORRECTLY ZONE	8.503 LDR			1/2 AC Min.	R-1	9	7			YES			EMWD
140070026	WRCOG6B-CORRECTLY ZONE	0.465 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269422003	WRCOG6B-CORRECTLY ZONE	0.526 LDR			1/2 AC Min.	R-A	1	0						WMWD
136060012	WRCOG6B-CORRECTLY ZONE	7.220 LDR			1/2 AC Min.	R-A-1	7	6			YES			WMWD
136980028	WRCOG6B-CORRECTLY ZONE	0.551 LDR			1/2 AC Min.	R-A-1	1	0						WMWD
269401002	WRCOG6B-CORRECTLY ZONE	0.492 LDR			1/2 AC Min.	R-A	0	0						WMWD
269451009	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269452005	WRCOG6B-CORRECTLY ZONE	0.764 LDR			1/2 AC Min.	R-A	1	1						WMWD
269431003	WRCOG6B-CORRECTLY ZONE	0.466 LDR			1/2 AC Min.	R-A	0	0						WMWD
454330010	WRCOG6B-CORRECTLY ZONE	4.196 LDR			1/2 AC Min.	R-A-2	4	3		AREAS OF FLOODING SENSITIVITY				EMWD
269390011	WRCOG6B-CORRECTLY ZONE	0.637 LDR			1/2 AC Min.	R-A	1	1						WMWD
454190027	WRCOG6B-CORRECTLY ZONE	4.662 LDR			1/2 AC Min.	R-A-2	5	4						EMWD
136512009	WRCOG6B-CORRECTLY ZONE	0.792 LDR			1/2 AC Min.	R-A	1	1						WMWD
136421002	WRCOG6B-CORRECTLY ZONE	0.477 LDR			1/2 AC Min.	R-A	0	0			YES			WMWD
269440001	WRCOG6B-CORRECTLY ZONE	0.697 LDR			1/2 AC Min.	R-A	1	1						WMWD
140331008	WRCOG6B-CORRECTLY ZONE	0.819 LDR			1/2 AC Min.	R-1-15000	1	1						WMWD
269431010	WRCOG6B-CORRECTLY ZONE	0.345 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269240007	WRCOG6B-CORRECTLY ZONE	0.249 LDR			1/2 AC Min.	R-A	0	0						WMWD
136460015	WRCOG6B-CORRECTLY ZONE	0.381 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
255150018	WRCOG6B-CORRECTLY ZONE	0.873 LDR			1/2 AC Min.	R-1-20000	1	1			YES			WMWD
269411004	WRCOG6B-CORRECTLY ZONE	0.464 LDR			1/2 AC Min.	R-A	0	0						WMWD
26941002	WRCOG6B-CORRECTLY ZONE	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
269431009	WRCOG6B-CORRECTLY ZONE	0.345 LDR			1/2 AC Min.	R-1-15000	0	0						WMWD
269391004	WRCOG6B-CORRECTLY ZONE	0.461 LDR			1/2 AC Min.	R-A	0	0						WMWD
269442007	WRCOG6B-CORRECTLY ZONE	0.565 LDR			1/2 AC Min.	R-A	1	1						WMWD
480030018	WRCOG6B-CORRECTLY ZONE	8.956 LDR			1/2 AC Min.	R-1	9	7						EMWD
136060025	WRCOG6B-CORRECTLY ZONE	1.072 LDR			1/2 AC Min.	R-A-20000	1	1						WMWD
269450005	WRCOG6B-CORRECTLY ZONE	0.459 LDR			1/2 AC Min.	R-A	0	0						WMWD
269410002	WRCOG6B-CORRECTLY ZONE	0.576 LDR			1/2 AC Min.	R-A	1	1						WMWD
269261009	WRCOG6B-CORRECTLY ZONE	0.236 LDR			1/2 AC Min.	R-A-1	0	0			YES			WMWD
255170014	WRCOG6B-CORRECTLY ZONE	8.929 LDR			1/2 AC Min.	R-1-20000	9	7						WMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DUI/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
136120016	WR066B-CORRECTLY ZONED	8.733 LDR			1/2 AC Min.	R-A	9	7			YES			WMWD
136350024	WR066B-CORRECTLY ZONED	1.166 LDR			1/2 AC Min.	R-A	1	1			YES			WMWD
	Not Zoned Correctly	829					829	683						
668360040	CVAG66A-NOT CORRECTLY ZONED	1.913 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
749300018	CVAG66A-NOT CORRECTLY ZONED	0.461 LDR			1/2 AC Min.	A-1-1			FAULT ZONE				Zone E	CVWD
668390064	CVAG66A-NOT CORRECTLY ZONED	0.480 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668380013	CVAG66A-NOT CORRECTLY ZONED	2.542 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668390019	CVAG66A-NOT CORRECTLY ZONED	0.209 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668390066	CVAG66A-NOT CORRECTLY ZONED	0.313 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668360007	CVAG66A-NOT CORRECTLY ZONED	0.285 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668390058	CVAG66A-NOT CORRECTLY ZONED	0.342 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668390062	CVAG66A-NOT CORRECTLY ZONED	0.670 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
667190011	CVAG66A-NOT CORRECTLY ZONED	4.263 LDR			1/2 AC Min.	W-2			FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
668390041	CVAG66A-NOT CORRECTLY ZONED	0.062 LDR			1/2 AC Min.	W-2								CVWD
668380023	CVAG66A-NOT CORRECTLY ZONED	2.353 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668360005	CVAG66A-NOT CORRECTLY ZONED	0.518 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668370016	CVAG66A-NOT CORRECTLY ZONED	1.551 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668360030	CVAG66A-NOT CORRECTLY ZONED	2.559 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668390080	CVAG66A-NOT CORRECTLY ZONED	0.379 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668390007	CVAG66A-NOT CORRECTLY ZONED	1.437 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668360036	CVAG66A-NOT CORRECTLY ZONED	0.177 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668360031	CVAG66A-NOT CORRECTLY ZONED	1.648 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668390081	CVAG66A-NOT CORRECTLY ZONED	0.346 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
667211006	CVAG66A-NOT CORRECTLY ZONED	1.631 LDR			1/2 AC Min.	W-2			FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
668390079	CVAG66A-NOT CORRECTLY ZONED	0.376 LDR			1/2 AC Min.	W-2								CVWD
749300015	CVAG66A-NOT CORRECTLY ZONED	0.515 LDR			1/2 AC Min.	A-1-1			COUNTY				Zone E	CVWD
668350006	CVAG66A-NOT CORRECTLY ZONED	7.904 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668360024	CVAG66A-NOT CORRECTLY ZONED	0.157 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668360041	CVAG66A-NOT CORRECTLY ZONED	0.420 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD
668350009	CVAG66A-NOT CORRECTLY ZONED	0.963 LDR			1/2 AC Min.	W-2			COUNTY					CVWD
668390039	CVAG66A-NOT CORRECTLY ZONED	0.196 LDR			1/2 AC Min.	W-2			FAULT ZONE					CVWD

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
668390035	CVAG66A-NOT CORRECTLY ZON	0.223 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360008	CVAG66A-NOT CORRECTLY ZON	0.337 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390060	CVAG66A-NOT CORRECTLY ZON	1.191 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390008	CVAG66A-NOT CORRECTLY ZON	0.240 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390076	CVAG66A-NOT CORRECTLY ZON	1.880 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668370012	CVAG66A-NOT CORRECTLY ZON	0.057 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
667211003	CVAG66A-NOT CORRECTLY ZON	0.317 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
668390063	CVAG66A-NOT CORRECTLY ZON	0.218 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
667211002	CVAG66A-NOT CORRECTLY ZON	4.229 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
668360014	CVAG66A-NOT CORRECTLY ZON	0.485 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390018	CVAG66A-NOT CORRECTLY ZON	0.211 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390078	CVAG66A-NOT CORRECTLY ZON	0.805 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
749300001	CVAG66A-NOT CORRECTLY ZON	7.030 LDR			1/2 AC Min.	A-1-10			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
668380010	CVAG66A-NOT CORRECTLY ZON	0.516 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668370014	CVAG66A-NOT CORRECTLY ZON	3.632 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
749300007	CVAG66A-NOT CORRECTLY ZON	0.620 LDR			1/2 AC Min.	A-1-10			COUNTY FAULT ZONE				Zone E	CVWD
668380011	CVAG66A-NOT CORRECTLY ZON	0.629 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
749300020	CVAG66A-NOT CORRECTLY ZON	0.467 LDR			1/2 AC Min.	A-1-1			COUNTY FAULT ZONE				Zone E	CVWD
668380015	CVAG66A-NOT CORRECTLY ZON	0.238 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668380014	CVAG66A-NOT CORRECTLY ZON	0.243 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
749300017	CVAG66A-NOT CORRECTLY ZON	0.498 LDR			1/2 AC Min.	A-1-1			COUNTY FAULT ZONE				Zone E	CVWD
749300005	CVAG66A-NOT CORRECTLY ZON	5.924 LDR			1/2 AC Min.	A-1-10			COUNTY FAULT ZONE				Zone E	CVWD
668370001	CVAG66A-NOT CORRECTLY ZON	1.731 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE				Zone E	CVWD
749300021	CVAG66A-NOT CORRECTLY ZON	8.854 LDR			1/2 AC Min.	A-1-5			COUNTY FAULT ZONE				Zone E	CVWD
668370002	CVAG66A-NOT CORRECTLY ZON	0.428 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668350007	CVAG66A-NOT CORRECTLY ZON	7.589 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668370005	CVAG66A-NOT CORRECTLY ZON	0.196 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390002	CVAG66A-NOT CORRECTLY ZON	0.188 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668380012	CVAG66A-NOT CORRECTLY ZON	1.995 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360032	CVAG66A-NOT CORRECTLY ZON	0.906 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
749300003	CVAG66A-NOT CORRECTLY ZON	9.613 LDR			1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY			Zone E	CVWD
667211004	CVAG66A-NOT CORRECTLY ZON	6.505 LDR			1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				CVWD
668390089	CVAG66A-NOT CORRECTLY ZON	0.416 LDR			1/2 AC Min.	W-2								CVWD
668390082	CVAG66A-NOT CORRECTLY ZON	0.338 LDR			1/2 AC Min.	W-2								CVWD
668390034	CVAG66A-NOT CORRECTLY ZON	0.048 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668350008	CVAG66A-NOT CORRECTLY ZON	0.714 LDR			1/2 AC Min.	W-2								CVWD
668380024	CVAG66A-NOT CORRECTLY ZON	0.798 LDR			1/2 AC Min.	W-2								CVWD
668390068	CVAG66A-NOT CORRECTLY ZON	0.115 LDR			1/2 AC Min.	W-2								CVWD
749300008	CVAG66A-NOT CORRECTLY ZON	0.026 LDR			1/2 AC Min.	A-1-1			COUNTY FAULT ZONE				Zone E	CVWD
668380022	CVAG66A-NOT CORRECTLY ZON	1.881 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
667190009	CVAG66A-NOT CORRECTLY ZON	0.739 LDR			1/2 AC Min.	W-2								CVWD
668390010	CVAG66A-NOT CORRECTLY ZON	0.666 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360013	CVAG66A-NOT CORRECTLY ZON	0.079 LDR			1/2 AC Min.	W-2								CVWD
668370008	CVAG66A-NOT CORRECTLY ZON	0.038 LDR			1/2 AC Min.	W-2								CVWD
668360028	CVAG66A-NOT CORRECTLY ZON	0.215 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360001	CVAG66A-NOT CORRECTLY ZON	1.279 LDR			1/2 AC Min.	W-2								CVWD
668360022	CVAG66A-NOT CORRECTLY ZON	0.996 LDR			1/2 AC Min.	W-2								CVWD
668390020	CVAG66A-NOT CORRECTLY ZON	0.205 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668380020	CVAG66A-NOT CORRECTLY ZON	2.310 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360038	CVAG66A-NOT CORRECTLY ZON	0.926 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360026	CVAG66A-NOT CORRECTLY ZON	0.059 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360033	CVAG66A-NOT CORRECTLY ZON	0.376 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668370007	CVAG66A-NOT CORRECTLY ZON	0.709 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390077	CVAG66A-NOT CORRECTLY ZON	0.838 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668370015	CVAG66A-NOT CORRECTLY ZON	1.553 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668360023	CVAG66A-NOT CORRECTLY ZON	0.153 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE					CVWD
668390083	CVAG66A-NOT CORRECTLY ZON	0.031 LDR			1/2 AC Min.	W-2								CVWD
749300011	CVAG66A-NOT CORRECTLY ZON	0.968 LDR			1/2 AC Min.	A-1-1							Zone E	CVWD
668380026	CVAG66A-NOT CORRECTLY ZON	0.093 LDR			1/2 AC Min.	W-2								CVWD
668360025	CVAG66A-NOT CORRECTLY ZON	0.161 LDR			1/2 AC Min.	W-2								CVWD
749300006	CVAG66A-NOT CORRECTLY ZON	3.278 LDR			1/2 AC Min.	A-1-10							Zone E	CVWD
270190005	WRCOG66A-NOT CORRECTLY Z	2.588 LDR			1/2 AC Min.	W-2			COUNTY FAULT ZONE		YES			WVWD
371231010	WRCOG66A-NOT CORRECTLY Z	1.830 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					WVWD
459711008	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
4588329007	WRCOG66A-NOT CORRECTLY Z	0.442 LDR			1/2 AC Min.	R-R								EMWD
300010018	WRCOG66A-NOT CORRECTLY Z	1.216 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					WMWD
371160023	WRCOG66A-NOT CORRECTLY Z	0.612 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
458050003	WRCOG66A-NOT CORRECTLY Z	2.510 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459133003	WRCOG66A-NOT CORRECTLY Z	0.227 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
480010019	WRCOG66A-NOT CORRECTLY Z	8.622 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
300020009	WRCOG66A-NOT CORRECTLY Z	2.108 LDR			1/2 AC Min.	R-R								WMWD
459193018	WRCOG66A-NOT CORRECTLY Z	0.337 LDR			1/2 AC Min.	R-R								EMWD
102340024	WRCOG66A-NOT CORRECTLY Z	0.032 LDR			1/2 AC Min.	A-1			ELSINORE FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
327340022	WRCOG66A-NOT CORRECTLY Z	1.087 LDR			1/2 AC Min.	R-R								EMWD
480030045	WRCOG66A-NOT CORRECTLY Z	2.085 LDR			1/2 AC Min.	R-R								EMWD
465040004	WRCOG66A-NOT CORRECTLY Z	9.654 LDR			1/2 AC Min.	W-2					YES			EMWD
4588329006	WRCOG66A-NOT CORRECTLY Z	0.232 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
537120028	WRCOG66A-NOT CORRECTLY Z	19.892 LDR			1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY				SGPWA
300020011	WRCOG66A-NOT CORRECTLY Z	2.171 LDR			1/2 AC Min.	R-R								WMWD
480030041	WRCOG66A-NOT CORRECTLY Z	10.275 LDR			1/2 AC Min.	R-R								EMWD
371221052	WRCOG66A-NOT CORRECTLY Z	0.163 LDR			1/2 AC Min.	R-R								WMWD
459202017	WRCOG66A-NOT CORRECTLY Z	0.435 LDR			1/2 AC Min.	R-R					YES			EMWD
270200034	WRCOG66A-NOT CORRECTLY Z	1.754 LDR			1/2 AC Min.	W-2								WMWD
459211025	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
459178006	WRCOG66A-NOT CORRECTLY Z	0.115 LDR			1/2 AC Min.	R-R								EMWD
458020046	WRCOG66A-NOT CORRECTLY Z	1.008 LDR			1/2 AC Min.	R-R					YES			EMWD
458020023	WRCOG66A-NOT CORRECTLY Z	1.767 LDR			1/2 AC Min.	R-R								EMWD
468021002	WRCOG66A-NOT CORRECTLY Z	2.205 LDR			1/2 AC Min.	M-SC								EMWD
327340018	WRCOG66A-NOT CORRECTLY Z	22.528 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
459093016	WRCOG66A-NOT CORRECTLY Z	0.229 LDR			1/2 AC Min.	R-R								EMWD
300060011	WRCOG66A-NOT CORRECTLY Z	1.066 LDR			1/2 AC Min.	R-R								WMWD
327340002	WRCOG66A-NOT CORRECTLY Z	4.528 LDR			1/2 AC Min.	R-R								WMWD
371221053	WRCOG66A-NOT CORRECTLY Z	0.164 LDR			1/2 AC Min.	R-R								EMWD
458040037	WRCOG66A-NOT CORRECTLY Z	4.643 LDR			1/2 AC Min.	R-R								EMWD
300020006	WRCOG66A-NOT CORRECTLY Z	0.324 LDR			1/2 AC Min.	R-R								WMWD
102340004	WRCOG66A-NOT CORRECTLY Z	0.699 LDR			1/2 AC Min.	A-1			ELSINORE FAULT ZONE					WMWD
300050010	WRCOG66A-NOT CORRECTLY Z	0.981 LDR			1/2 AC Min.	R-R								WMWD
459221010	WRCOG66A-NOT CORRECTLY Z	0.232 LDR			1/2 AC Min.	R-R								EMWD
459104001	WRCOG66A-NOT CORRECTLY Z	0.229 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
300010007	WRCOG66A-NOT CORRECTLY Z	1.076 LDR			1/2 AC Min.	R-R								EMWD
370150052	WRCOG66A-NOT CORRECTLY Z	0.952 LDR			1/2 AC Min.	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
371160033	WRCOG66A-NOT CORRECTLY Z	1.248 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
458040035	WRCOG66A-NOT CORRECTLY Z	0.705 LDR			1/2 AC Min.	R-R					YES			EMWD
459212024	WRCOG66A-NOT CORRECTLY Z	0.195 LDR			1/2 AC Min.	R-R					YES			EMWD
465040001	WRCOG66A-NOT CORRECTLY Z	13.249 LDR			1/2 AC Min.	W-2					YES			EMWD
459212011	WRCOG66A-NOT CORRECTLY Z	0.458 LDR			1/2 AC Min.	R-R								EMWD
370300030	WRCOG66A-NOT CORRECTLY Z	0.946 LDR			1/2 AC Min.	R-R								EMWD
459202008	WRCOG66A-NOT CORRECTLY Z	0.437 LDR			1/2 AC Min.	R-R								EMWD
458040009	WRCOG66A-NOT CORRECTLY Z	0.225 LDR			1/2 AC Min.	R-R								EMWD
459211018	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
455090009	WRCOG66A-NOT CORRECTLY Z	10.298 LDR			1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
476910017	WRCOG66A-NOT CORRECTLY Z	2.093 LDR			1/2 AC Min.	R-R					YES			EMWD
459104005	WRCOG66A-NOT CORRECTLY Z	0.459 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459312011	WRCOG66A-NOT CORRECTLY Z	0.319 LDR			1/2 AC Min.	R-R								EMWD
458020045	WRCOG66A-NOT CORRECTLY Z	1.935 LDR			1/2 AC Min.	R-R					YES			EMWD
480030034	WRCOG66A-NOT CORRECTLY Z	2.302 LDR			1/2 AC Min.	R-R								EMWD
469030017	WRCOG66A-NOT CORRECTLY Z	0.003 LDR			1/2 AC Min.	R-R								EMWD
459222016	WRCOG66A-NOT CORRECTLY Z	0.461 LDR			1/2 AC Min.	R-R								EMWD
459211019	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
463022004	WRCOG66A-NOT CORRECTLY Z	0.128 LDR			1/2 AC Min.	R-R								EMWD
459222012	WRCOG66A-NOT CORRECTLY Z	0.453 LDR			1/2 AC Min.	R-R								EMWD
459212023	WRCOG66A-NOT CORRECTLY Z	0.195 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
455090051	WRCOG66A-NOT CORRECTLY Z	29.017 LDR			1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
480010015	WRCOG66A-NOT CORRECTLY Z	10.107 LDR			1/2 AC Min.	A-2-10							Zone E	EMWD
459178007	WRCOG66A-NOT CORRECTLY Z	0.230 LDR			1/2 AC Min.	R-R					YES			EMWD
458020033	WRCOG66A-NOT CORRECTLY Z	0.803 LDR			1/2 AC Min.	R-R					YES			EMWD
537120034	WRCOG66A-NOT CORRECTLY Z	21.122 LDR			1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY				SGPWA
459202004	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
459177004	WRCOG66A-NOT CORRECTLY Z	0.457 LDR			1/2 AC Min.	R-R					YES			EMWD
371221051	WRCOG66A-NOT CORRECTLY Z	0.170 LDR			1/2 AC Min.	R-R								EMWD
458040018	WRCOG66A-NOT CORRECTLY Z	0.331 LDR			1/2 AC Min.	R-R					YES			EMWD
459193017	WRCOG66A-NOT CORRECTLY Z	0.676 LDR			1/2 AC Min.	R-R								EMWD
459177001	WRCOG66A-NOT CORRECTLY Z	0.145 LDR			1/2 AC Min.	R-R					YES			EMWD
537120035	WRCOG66A-NOT CORRECTLY Z	46.252 LDR			1/2 AC Min.	A-1-10								SGPWA
371160024	WRCOG66A-NOT CORRECTLY Z	1.746 LDR			1/2 AC Min.	R-R								EMWD
370300024	WRCOG66A-NOT CORRECTLY Z	1.076 LDR			1/2 AC Min.	R-R								EMWD
102340015	WRCOG66A-NOT CORRECTLY Z	0.968 LDR			1/2 AC Min.	A-1			ELSI/ORE FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
370150056	WRCOG66A-NOT CORRECTLY Z	0.936 LDR			1/2 AC Min.	R-R								EMWD
458260002	WRCOG66A-NOT CORRECTLY Z	4.215 LDR			1/2 AC Min.	R-R					YES			EMWD
458040016	WRCOG66A-NOT CORRECTLY Z	0.323 LDR			1/2 AC Min.	R-R					YES			EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
453030011	WRCOG6A-NOT CORRECTLY Z	0.985 LDR			1/2 AC Min.	R-R					YES			EMWD
458323003	WRCOG6A-NOT CORRECTLY Z	0.245 LDR			1/2 AC Min.	R-R								EMWD
300020010	WRCOG6A-NOT CORRECTLY Z	2.083 LDR			1/2 AC Min.	R-R								WMWD
327340020	WRCOG6A-NOT CORRECTLY Z	1.087 LDR			1/2 AC Min.	R-R								WMWD
371110002	WRCOG6A-NOT CORRECTLY Z	0.871 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
459202007	WRCOG6A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
463090010	WRCOG6A-NOT CORRECTLY Z	15.480 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
458312005	WRCOG6A-NOT CORRECTLY Z	0.298 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
300110016	WRCOG6A-NOT CORRECTLY Z	4.945 LDR			1/2 AC Min.	R-R								WMWD
371222012	WRCOG6A-NOT CORRECTLY Z	0.165 LDR			1/2 AC Min.	R-R								EMWD
371110007	WRCOG6A-NOT CORRECTLY Z	0.362 LDR			1/2 AC Min.	R-R								EMWD
458323004	WRCOG6A-NOT CORRECTLY Z	0.224 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE		YES			EMWD
300030042	WRCOG6A-NOT CORRECTLY Z	0.931 LDR			1/2 AC Min.	R-R								WMWD
300120006	WRCOG6A-NOT CORRECTLY Z	3.936 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
459211020	WRCOG6A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
459211025	WRCOG6A-NOT CORRECTLY Z	0.195 LDR			1/2 AC Min.	R-R								EMWD
371110001	WRCOG6A-NOT CORRECTLY Z	1.872 LDR			1/2 AC Min.	R-R								EMWD
458040013	WRCOG6A-NOT CORRECTLY Z	0.460 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
480030043	WRCOG6A-NOT CORRECTLY Z	2.061 LDR			1/2 AC Min.	R-R								EMWD
459184017	WRCOG6A-NOT CORRECTLY Z	0.457 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
463090007	WRCOG6A-NOT CORRECTLY Z	19.999 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
459164003	WRCOG6A-NOT CORRECTLY Z	0.687 LDR			1/2 AC Min.	R-R				FLOODING SENSITIVITY				EMWD
463080009	WRCOG6A-NOT CORRECTLY Z	2.735 LDR			1/2 AC Min.	R-R								EMWD
465310015	WRCOG6A-NOT CORRECTLY Z	3.100 LDR			1/2 AC Min.	R-R								EMWD
371110003	WRCOG6A-NOT CORRECTLY Z	0.970 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
463080024	WRCOG6A-NOT CORRECTLY Z	0.948 LDR			1/2 AC Min.	R-R								EMWD
459222014	WRCOG6A-NOT CORRECTLY Z	0.443 LDR			1/2 AC Min.	R-R								EMWD
458050005	WRCOG6A-NOT CORRECTLY Z	2.528 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
537120013	WRCOG6A-NOT CORRECTLY Z	19.700 LDR			1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY				SGPWA
458080001	WRCOG6A-NOT CORRECTLY Z	50.396 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
458050035	WRCOG6A-NOT CORRECTLY Z	2.684	LDR		1/2 AC Min.	R-R					YES			EMWD
459211001	WRCOG6A-NOT CORRECTLY Z	0.437	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
455090025	WRCOG6A-NOT CORRECTLY Z	56.747	LDR		1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
463080023	WRCOG6A-NOT CORRECTLY Z	0.964	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459193001	WRCOG6A-NOT CORRECTLY Z	0.228	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
537120033	WRCOG6A-NOT CORRECTLY Z	20.087	LDR		1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY				SGPWA
102340023	WRCOG6A-NOT CORRECTLY Z	0.130	LDR		1/2 AC Min.	A-1				AREAS OF FLOODING SENSITIVITY				WMWD
480030036	WRCOG6A-NOT CORRECTLY Z	2.292	LDR		1/2 AC Min.	R-R				ELSIKORE FAULT ZONE				EMWD
463080011	WRCOG6A-NOT CORRECTLY Z	0.694	LDR		1/2 AC Min.	R-R								EMWD
3712131011	WRCOG6A-NOT CORRECTLY Z	1.565	LDR		1/2 AC Min.	R-R								EMWD
459222008	WRCOG6A-NOT CORRECTLY Z	0.230	LDR		1/2 AC Min.	R-R								EMWD
459311002	WRCOG6A-NOT CORRECTLY Z	0.295	LDR		1/2 AC Min.	R-R					YES			EMWD
459230010	WRCOG6A-NOT CORRECTLY Z	0.458	LDR		1/2 AC Min.	R-R								EMWD
458020017	WRCOG6A-NOT CORRECTLY Z	0.467	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
371110002	WRCOG6A-NOT CORRECTLY Z	34.988	LDR		1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
370300018	WRCOG6A-NOT CORRECTLY Z	1.005	LDR		1/2 AC Min.	R-R								EMWD
459323010	WRCOG6A-NOT CORRECTLY Z	0.228	LDR		1/2 AC Min.	R-R								EMWD
459211021	WRCOG6A-NOT CORRECTLY Z	0.218	LDR		1/2 AC Min.	R-R								EMWD
537120030	WRCOG6A-NOT CORRECTLY Z	18.465	LDR		1/2 AC Min.	A-1-10								SGPWA
370150055	WRCOG6A-NOT CORRECTLY Z	1.293	LDR		1/2 AC Min.	R-R								EMWD
459210108	WRCOG6A-NOT CORRECTLY Z	0.427	LDR		1/2 AC Min.	R-R								EMWD
463100003	WRCOG6A-NOT CORRECTLY Z	4.595	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
458050032	WRCOG6A-NOT CORRECTLY Z	3.914	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
370300031	WRCOG6A-NOT CORRECTLY Z	1.082	LDR		1/2 AC Min.	R-R								EMWD
462130018	WRCOG6A-NOT CORRECTLY Z	0.275	LDR		1/2 AC Min.	R-R								EMWD
459179006	WRCOG6A-NOT CORRECTLY Z	0.687	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
300020012	WRCOG6A-NOT CORRECTLY Z	1.853	LDR		1/2 AC Min.	R-R								EMWD
458311007	WRCOG6A-NOT CORRECTLY Z	0.323	LDR		1/2 AC Min.	R-R								WMWD
458020018	WRCOG6A-NOT CORRECTLY Z	0.833	LDR		1/2 AC Min.	R-R					YES			EMWD
480030046	WRCOG6A-NOT CORRECTLY Z	19.315	LDR		1/2 AC Min.	R-R								EMWD
300020027	WRCOG6A-NOT CORRECTLY Z	4.344	LDR		1/2 AC Min.	R-R								WMWD
462130017	WRCOG6A-NOT CORRECTLY Z	0.195	LDR		1/2 AC Min.	R-R								EMWD
462130045	WRCOG6A-NOT CORRECTLY Z	1.026	LDR		1/2 AC Min.	R-R								EMWD
458040017	WRCOG6A-NOT CORRECTLY Z	0.327	LDR		1/2 AC Min.	R-R					YES			EMWD
480010020	WRCOG6A-NOT CORRECTLY Z	8.178	LDR		1/2 AC Min.	R-R					YES			EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
476010017	WRCOG66A-NOT CORRECTLY Z	1.121 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
327340025	WRCOG66A-NOT CORRECTLY Z	1.104 LDR			1/2 AC Min.	R-R								WAWWD
371190002	WRCOG66A-NOT CORRECTLY Z	9.996 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
459104009	WRCOG66A-NOT CORRECTLY Z	0.011 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
371160010	WRCOG66A-NOT CORRECTLY Z	0.798 LDR			1/2 AC Min.	R-R								EMWD
459193015	WRCOG66A-NOT CORRECTLY Z	0.282 LDR			1/2 AC Min.	R-R								EMWD
327340027	WRCOG66A-NOT CORRECTLY Z	1.197 LDR			1/2 AC Min.	R-R								EMWD
370280013	WRCOG66A-NOT CORRECTLY Z	1.996 LDR			1/2 AC Min.	R-R								EMWD
459223009	WRCOG66A-NOT CORRECTLY Z	0.229 LDR			1/2 AC Min.	R-R								EMWD
459093017	WRCOG66A-NOT CORRECTLY Z	0.229 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY	YES			EMWD
465050006	WRCOG66A-NOT CORRECTLY Z	132.412 LDR			1/2 AC Min.	A-2-10								EMWD
459183015	WRCOG66A-NOT CORRECTLY Z	0.281 LDR			1/2 AC Min.	R-R								EMWD
463100002	WRCOG66A-NOT CORRECTLY Z	4.672 LDR			1/2 AC Min.	R-R								EMWD
459212006	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
459183002	WRCOG66A-NOT CORRECTLY Z	0.562 LDR			1/2 AC Min.	R-R								EMWD
459222015	WRCOG66A-NOT CORRECTLY Z	0.459 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459195005	WRCOG66A-NOT CORRECTLY Z	0.298 LDR			1/2 AC Min.	R-R								EMWD
459223014	WRCOG66A-NOT CORRECTLY Z	0.931 LDR			1/2 AC Min.	R-R								EMWD
455090041	WRCOG66A-NOT CORRECTLY Z	6.854 LDR			1/2 AC Min.	W-2								EMWD
371221050	WRCOG66A-NOT CORRECTLY Z	0.162 LDR			1/2 AC Min.	R-R								EMWD
459201006	WRCOG66A-NOT CORRECTLY Z	0.230 LDR			1/2 AC Min.	R-R								EMWD
459183017	WRCOG66A-NOT CORRECTLY Z	0.282 LDR			1/2 AC Min.	R-R								EMWD
458311012	WRCOG66A-NOT CORRECTLY Z	0.306 LDR			1/2 AC Min.	R-R								EMWD
459192009	WRCOG66A-NOT CORRECTLY Z	0.566 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
300020007	WRCOG66A-NOT CORRECTLY Z	5.077 LDR			1/2 AC Min.	R-R								EMWD
458020019	WRCOG66A-NOT CORRECTLY Z	1.202 LDR			1/2 AC Min.	R-R					YES			EMWD
458020035	WRCOG66A-NOT CORRECTLY Z	1.149 LDR			1/2 AC Min.	R-R					YES			EMWD
300120011	WRCOG66A-NOT CORRECTLY Z	1.931 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				WAWWD
459221011	WRCOG66A-NOT CORRECTLY Z	0.233 LDR			1/2 AC Min.	R-R								EMWD
458040008	WRCOG66A-NOT CORRECTLY Z	0.224 LDR			1/2 AC Min.	R-R								EMWD
391700015	WRCOG66A-NOT CORRECTLY Z	0.399 LDR			1/2 AC Min.	R-5			ELSI NORE					EMWD
459222021	WRCOG66A-NOT CORRECTLY Z	0.194 LDR			1/2 AC Min.	R-R			FAULT ZONE					EMWD
463030016	WRCOG66A-NOT CORRECTLY Z	0.024 LDR			1/2 AC Min.	R-R								EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DJ/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
300920001	WRCOG66A-NOT CORRECTLY Z	9.953 LDR			1/2 AC Min.	R-R								WMWD
300020008	WRCOG66A-NOT CORRECTLY Z	9.257 LDR			1/2 AC Min.	R-R								WMWD
459211022	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								EMWD
458040019	WRCOG66A-NOT CORRECTLY Z	0.336 LDR			1/2 AC Min.	R-R					YES			EMWD
463022007	WRCOG66A-NOT CORRECTLY Z	1.440 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459179003	WRCOG66A-NOT CORRECTLY Z	0.344 LDR			1/2 AC Min.	R-R								EMWD
480030033	WRCOG66A-NOT CORRECTLY Z	2.096 LDR			1/2 AC Min.	R-R								EMWD
370300032	WRCOG66A-NOT CORRECTLY Z	1.024 LDR			1/2 AC Min.	R-R								EMWD
458311003	WRCOG66A-NOT CORRECTLY Z	0.229 LDR			1/2 AC Min.	R-R								EMWD
463040009	WRCOG66A-NOT CORRECTLY Z	6.816 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
455090051	WRCOG66A-NOT CORRECTLY Z	6.091 LDR			1/2 AC Min.	W-2								EMWD
458020021	WRCOG66A-NOT CORRECTLY Z	1.701 LDR			1/2 AC Min.	R-R					YES			EMWD
371160025	WRCOG66A-NOT CORRECTLY Z	2.660 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
327340017	WRCOG66A-NOT CORRECTLY Z	16.414 LDR			1/2 AC Min.	R-R								EMWD
459183016	WRCOG66A-NOT CORRECTLY Z	0.281 LDR			1/2 AC Min.	R-R								EMWD
458040012	WRCOG66A-NOT CORRECTLY Z	0.457 LDR			1/2 AC Min.	R-R								EMWD
270200039	WRCOG66A-NOT CORRECTLY Z	0.311 LDR			1/2 AC Min.	W-2					YES			WMWD
371222038	WRCOG66A-NOT CORRECTLY Z	0.168 LDR			1/2 AC Min.	R-R								EMWD
455090029	WRCOG66A-NOT CORRECTLY Z	5.929 LDR			1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
463022010	WRCOG66A-NOT CORRECTLY Z	0.556 LDR			1/2 AC Min.	R-R								EMWD
300030044	WRCOG66A-NOT CORRECTLY Z	0.917 LDR			1/2 AC Min.	R-R								WMWD
371110004	WRCOG66A-NOT CORRECTLY Z	6.569 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
459202009	WRCOG66A-NOT CORRECTLY Z	0.437 LDR			1/2 AC Min.	R-R								EMWD
459195008	WRCOG66A-NOT CORRECTLY Z	0.298 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
462130012	WRCOG66A-NOT CORRECTLY Z	0.230 LDR			1/2 AC Min.	R-R								EMWD
458050009	WRCOG66A-NOT CORRECTLY Z	4.378 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
300110025	WRCOG66A-NOT CORRECTLY Z	4.188 LDR			1/2 AC Min.	R-R					YES			EMWD
300010020	WRCOG66A-NOT CORRECTLY Z	0.972 LDR			1/2 AC Min.	R-R								WMWD
327340003	WRCOG66A-NOT CORRECTLY Z	5.055 LDR			1/2 AC Min.	R-R								WMWD
458050037	WRCOG66A-NOT CORRECTLY Z	0.547 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
102340022	WRCOG66A-NOT CORRECTLY Z	0.049 LDR			1/2 AC Min.	A-1			ELSIKORE FAULT ZONE					WMWD
455170008	WRCOG66A-NOT CORRECTLY Z	15.569 LDR			1/2 AC Min.	R-R					YES			EMWD



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APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
371090011	WRCOG6A-NOT CORRECTLY Z	3.461	LDR		1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
459177003	WRCOG6A-NOT CORRECTLY Z	0.463	LDR		1/2 AC Min.	R-R					YES			EMWD
270200036	WRCOG6A-NOT CORRECTLY Z	2.080	LDR		1/2 AC Min.	W-2					YES			EMWD
371231013	WRCOG6A-NOT CORRECTLY Z	1.015	LDR		1/2 AC Min.	R-R					YES			EMWD
459185001	WRCOG6A-NOT CORRECTLY Z	0.403	LDR		1/2 AC Min.	R-R					YES			EMWD
463022005	WRCOG6A-NOT CORRECTLY Z	0.049	LDR		1/2 AC Min.	R-R								EMWD
463030010	WRCOG6A-NOT CORRECTLY Z	1.618	LDR		1/2 AC Min.	R-R								EMWD
300010006	WRCOG6A-NOT CORRECTLY Z	0.949	LDR		1/2 AC Min.	R-R								WMWD
537120032	WRCOG6A-NOT CORRECTLY Z	20.007	LDR		1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY				SGPWA
463040013	WRCOG6A-NOT CORRECTLY Z	1.778	LDR		1/2 AC Min.	R-R								EMWD
102130006	WRCOG6A-NOT CORRECTLY Z	0.171	LDR		1/2 AC Min.	W-2			ELSINORE FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
370140029	WRCOG6A-NOT CORRECTLY Z	1.045	LDR		1/2 AC Min.	R-R								EMWD
459184001	WRCOG6A-NOT CORRECTLY Z	0.230	LDR		1/2 AC Min.	R-R								EMWD
917260086	WRCOG6A-NOT CORRECTLY Z	2.562	LDR		1/2 AC Min.	R-5								EMWD
300030008	WRCOG6A-NOT CORRECTLY Z	0.922	LDR		1/2 AC Min.	R-R								WMWD
463030009	WRCOG6A-NOT CORRECTLY Z	2.627	LDR		1/2 AC Min.	R-R								EMWD
121050032	WRCOG6A-NOT CORRECTLY Z	0.203	LDR		1/2 AC Min.	A-2				AREAS OF FLOODING SENSITIVITY				WMWD
455080021	WRCOG6A-NOT CORRECTLY Z	74.833	LDR		1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
458040027	WRCOG6A-NOT CORRECTLY Z	7.673	LDR		1/2 AC Min.	R-R					YES			EMWD
537120035	WRCOG6A-NOT CORRECTLY Z	19.713	LDR		1/2 AC Min.	A-1-10				AREAS OF FLOODING SENSITIVITY				SGPWA
300120010	WRCOG6A-NOT CORRECTLY Z	1.969	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
459193005	WRCOG6A-NOT CORRECTLY Z	0.337	LDR		1/2 AC Min.	R-R								EMWD
480030024	WRCOG6A-NOT CORRECTLY Z	8.768	LDR		1/2 AC Min.	R-R								EMWD
102340014	WRCOG6A-NOT CORRECTLY Z	0.770	LDR		1/2 AC Min.	A-1			ELSINORE FAULT ZONE	AREAS OF FLOODING SENSITIVITY				WMWD
300020026	WRCOG6A-NOT CORRECTLY Z	1.011	LDR		1/2 AC Min.	R-R								WMWD
455090037	WRCOG6A-NOT CORRECTLY Z	0.944	LDR		1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
458040015	WRCOG6A-NOT CORRECTLY Z	0.304	LDR		1/2 AC Min.	R-R					YES			EMWD
459311005	WRCOG6A-NOT CORRECTLY Z	0.182	LDR		1/2 AC Min.	R-R								EMWD
459322010	WRCOG6A-NOT CORRECTLY Z	1.913	LDR		1/2 AC Min.	R-R								EMWD
463080003	WRCOG6A-NOT CORRECTLY Z	2.404	LDR		1/2 AC Min.	R-R								EMWD
458020020	WRCOG6A-NOT CORRECTLY Z	1.516	LDR		1/2 AC Min.	R-R					YES			EMWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
459133014	WRCOG6A-NOT CORRECTLY Z	0.228	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
459212027	WRCOG6A-NOT CORRECTLY Z	0.195	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
455090031	WRCOG6A-NOT CORRECTLY Z	0.881	LDR		1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
327340019	WRCOG6A-NOT CORRECTLY Z	1.090	LDR		1/2 AC Min.	R-R								EMWD
459323011	WRCOG6A-NOT CORRECTLY Z	0.226	LDR		1/2 AC Min.	R-R								EMWD
459211023	WRCOG6A-NOT CORRECTLY Z	0.218	LDR		1/2 AC Min.	R-R								EMWD
300070009	WRCOG6A-NOT CORRECTLY Z	0.926	LDR		1/2 AC Min.	R-R								EMWD
371231012	WRCOG6A-NOT CORRECTLY Z	0.991	LDR		1/2 AC Min.	R-R								EMWD
459322006	WRCOG6A-NOT CORRECTLY Z	1.009	LDR		1/2 AC Min.	R-R					YES			EMWD
459322009	WRCOG6A-NOT CORRECTLY Z	0.587	LDR		1/2 AC Min.	R-R								EMWD
459212018	WRCOG6A-NOT CORRECTLY Z	0.196	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
458050020	WRCOG6A-NOT CORRECTLY Z	0.744	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
480030035	WRCOG6A-NOT CORRECTLY Z	2.081	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
300110017	WRCOG6A-NOT CORRECTLY Z	4.983	LDR		1/2 AC Min.	R-R								WMWD
300060008	WRCOG6A-NOT CORRECTLY Z	1.062	LDR		1/2 AC Min.	R-R								WMWD
327340001	WRCOG6A-NOT CORRECTLY Z	9.170	LDR		1/2 AC Min.	R-R								WMWD
459323012	WRCOG6A-NOT CORRECTLY Z	0.227	LDR		1/2 AC Min.	R-R								EMWD
459211009	WRCOG6A-NOT CORRECTLY Z	0.437	LDR		1/2 AC Min.	R-R								EMWD
537120031	WRCOG6A-NOT CORRECTLY Z	19.846	LDR		1/2 AC Min.	A-1-10								SGPWA
459221013	WRCOG6A-NOT CORRECTLY Z	0.233	LDR		1/2 AC Min.	R-R								EMWD
459202005	WRCOG6A-NOT CORRECTLY Z	0.218	LDR		1/2 AC Min.	R-R								EMWD
459212022	WRCOG6A-NOT CORRECTLY Z	0.195	LDR		1/2 AC Min.	R-R								EMWD
917260086	WRCOG6A-NOT CORRECTLY Z	0.261	LDR		1/2 AC Min.	R-5								EMWD
459323008	WRCOG6A-NOT CORRECTLY Z	0.225	LDR		1/2 AC Min.	R-R								EMWD
300120012	WRCOG6A-NOT CORRECTLY Z	2.129	LDR		1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
371090010	WRCOG6A-NOT CORRECTLY Z	2.902	LDR		1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD
455090027	WRCOG6A-NOT CORRECTLY Z	17.673	LDR		1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY				EMWD
270200038	WRCOG6A-NOT CORRECTLY Z	2.619	LDR		1/2 AC Min.	W-2								EMWD
469300012	WRCOG6A-NOT CORRECTLY Z	2.790	LDR		1/2 AC Min.	R-R								EMWD
270190017	WRCOG6A-NOT CORRECTLY Z	8.215	LDR		1/2 AC Min.	W-2					YES			WMWD
465040003	WRCOG6A-NOT CORRECTLY Z	1.772	LDR		1/2 AC Min.	W-2					YES			EMWD
459211002	WRCOG6A-NOT CORRECTLY Z	0.437	LDR		1/2 AC Min.	R-R								EMWD
459323001	WRCOG6A-NOT CORRECTLY Z	0.465	LDR		1/2 AC Min.	R-R					YES			EMWD
455170004	WRCOG6A-NOT CORRECTLY Z	17.542	LDR		1/2 AC Min.	R-R					YES			EMWD
371160027	WRCOG6A-NOT CORRECTLY Z	1.031	LDR		1/2 AC Min.	R-R			COUNTY FAULT ZONE	AREAS OF FLOODING SENSITIVITY				EMWD

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAE CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
121030004	WRCOG66A-NOT CORRECTLY Z	0.039 LDR			1/2 AC Min.	A-2				FLOODING SENSITIVITY				WMWD
270200037	WRCOG66A-NOT CORRECTLY Z	2.195 LDR			1/2 AC Min.	W-2								WMWD
459212019	WRCOG66A-NOT CORRECTLY Z	0.383 LDR			1/2 AC Min.	R-R								EMWD
458040014	WRCOG66A-NOT CORRECTLY Z	0.450 LDR			1/2 AC Min.	R-R								EMWD
459177002	WRCOG66A-NOT CORRECTLY Z	0.440 LDR			1/2 AC Min.	R-R					YES			EMWD
476010017	WRCOG66A-NOT CORRECTLY Z	0.522 LDR			1/2 AC Min.	R-R								EMWD
300020025	WRCOG66A-NOT CORRECTLY Z	8.066 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				WMWD
455090038	WRCOG66A-NOT CORRECTLY Z	0.201 LDR			1/2 AC Min.	W-2								EMWD
458080002	WRCOG66A-NOT CORRECTLY Z	0.661 LDR			1/2 AC Min.	R-R								EMWD
463022011	WRCOG66A-NOT CORRECTLY Z	0.529 LDR			1/2 AC Min.	R-R								EMWD
152030006	WRCOG66A-NOT CORRECTLY Z	4.217 LDR			1/2 AC Min.	A-2-5				AREAS OF FLOODING SENSITIVITY				WMWD
459223012	WRCOG66A-NOT CORRECTLY Z	0.458 LDR			1/2 AC Min.	R-R								EMWD
458040011	WRCOG66A-NOT CORRECTLY Z	0.454 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
371221055	WRCOG66A-NOT CORRECTLY Z	0.147 LDR			1/2 AC Min.	R-R								EMWD
459202018	WRCOG66A-NOT CORRECTLY Z	0.435 LDR			1/2 AC Min.	R-R								EMWD
458312013	WRCOG66A-NOT CORRECTLY Z	0.569 LDR			1/2 AC Min.	R-R					YES			EMWD
300030015	WRCOG66A-NOT CORRECTLY Z	1.050 LDR			1/2 AC Min.	R-R								WMWD
422210005	WRCOG66A-NOT CORRECTLY Z	94.779 LDR			1/2 AC Min.	W-2-20								EMWD
459193007	WRCOG66A-NOT CORRECTLY Z	0.337 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
371160013	WRCOG66A-NOT CORRECTLY Z	0.278 LDR			1/2 AC Min.	R-R			COUNTY FAULT ZONE					EMWD
458040020	WRCOG66A-NOT CORRECTLY Z	0.340 LDR			1/2 AC Min.	R-R								EMWD
459222013	WRCOG66A-NOT CORRECTLY Z	0.431 LDR			1/2 AC Min.	R-R					YES			EMWD
459193002	WRCOG66A-NOT CORRECTLY Z	0.172 LDR			1/2 AC Min.	R-R								EMWD
537120029	WRCOG66A-NOT CORRECTLY Z	18.396 LDR			1/2 AC Min.	A-1-10								EMWD
459211024	WRCOG66A-NOT CORRECTLY Z	0.218 LDR			1/2 AC Min.	R-R								SGPWA
458020052	WRCOG66A-NOT CORRECTLY Z	2.095 LDR			1/2 AC Min.	R-R								EMWD
459164016	WRCOG66A-NOT CORRECTLY Z	0.700 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
458050039	WRCOG66A-NOT CORRECTLY Z	1.117 LDR			1/2 AC Min.	R-R					YES			EMWD
455080024	WRCOG66A-NOT CORRECTLY Z	10.080 LDR			1/2 AC Min.	W-2								EMWD
458050040	WRCOG66A-NOT CORRECTLY Z	1.000 LDR			1/2 AC Min.	R-R				AREAS OF FLOODING SENSITIVITY				EMWD
528122018	OTHER6A-NOT CORRECTLY Z	0.166 LDR			1/2 AC Min.	W-2M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528182026	OTHER6A-NOT CORRECTLY Z	0.117 LDR			1/2 AC Min.	W-2M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528205016	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192002	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	C-P-S				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528211004	OTHER6A-NOT CORRECTLY ZC	0.154	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122017	OTHER6A-NOT CORRECTLY ZC	0.162	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
519360027	OTHER6A-NOT CORRECTLY ZC	0.969	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182033	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528114026	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528206009	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204010	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142021	OTHER6A-NOT CORRECTLY ZC	0.163	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182023	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528206004	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122044	OTHER6A-NOT CORRECTLY ZC	0.171	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131013	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
519360025	OTHER6A-NOT CORRECTLY ZC	0.965	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528183002	OTHER6A-NOT CORRECTLY ZC	0.131	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115017	OTHER6A-NOT CORRECTLY ZC	0.132	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214022	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528201004	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528193005	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528230011	OTHER6A-NOT CORRECTLY ZC	9.297	LDR	CCO	1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528115013	OTHER6A-NOT CORRECTLY ZC	0.194	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528197003	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528195012	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528192005	OTHER6A-NOT CORRECTLY ZC	0.101	LDR		1/2 AC Min.	C-P-S				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528195014	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528194002	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528191010	OTHER6A-NOT CORRECTLY ZC	0.093	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528223020	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528142013	OTHER6A-NOT CORRECTLY ZC	0.211	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528116008	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528115006	OTHER6A-NOT CORRECTLY ZC	0.154	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528215029	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528176004	OTHER6A-NOT CORRECTLY ZC	0.109	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528161016	OTHER6A-NOT CORRECTLY ZC	0.164	LDR		1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215023	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192019	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196023	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182051	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195008	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134019	OTHER6A-NOT CORRECTLY ZC	0.174	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142036	OTHER6A-NOT CORRECTLY ZC	0.169	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528194016	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131010	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216014	OTHER6A-NOT CORRECTLY ZC	0.131	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528136002	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528197010	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528172001	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214013	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528201006	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	C/VAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528160008	OTHER6A-NOT CORRECTLY ZC	9.735 LDR		CCO	1/2 AC Min.	W-2-S				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214025	OTHER6A-NOT CORRECTLY ZC	0.137 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196018	OTHER6A-NOT CORRECTLY ZC	0.099 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528112014	OTHER6A-NOT CORRECTLY ZC	0.111 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142028	OTHER6A-NOT CORRECTLY ZC	0.167 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142031	OTHER6A-NOT CORRECTLY ZC	0.163 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216010	OTHER6A-NOT CORRECTLY ZC	0.127 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131026	OTHER6A-NOT CORRECTLY ZC	0.133 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142030	OTHER6A-NOT CORRECTLY ZC	0.169 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142017	OTHER6A-NOT CORRECTLY ZC	0.166 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528116002	OTHER6A-NOT CORRECTLY ZC	0.102 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134008	OTHER6A-NOT CORRECTLY ZC	0.157 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134007	OTHER6A-NOT CORRECTLY ZC	0.161 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204001	OTHER6A-NOT CORRECTLY ZC	0.096 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528194003	OTHER6A-NOT CORRECTLY ZC	0.056 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122026	OTHER6A-NOT CORRECTLY ZC	0.214 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528153029	OTHER6A-NOT CORRECTLY ZC	0.320	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134027	OTHER6A-NOT CORRECTLY ZC	0.214	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528194023	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195009	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182008	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528121046	OTHER6A-NOT CORRECTLY ZC	0.008	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205004	OTHER6A-NOT CORRECTLY ZC	0.103	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528154008	OTHER6A-NOT CORRECTLY ZC	0.153	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192004	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	C-P-S				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528114018	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528114019	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528114016	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115001	OTHER6A-NOT CORRECTLY ZC	0.155	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528222026	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115009	OTHER6A-NOT CORRECTLY ZC	0.150	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142026	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
526230016	OTHER6A-NOT CORRECTLY ZC	9.301	LDR	CCO	1/2 AC Min.	W-2-5				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528182022	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528215031	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528136001	OTHER6A-NOT CORRECTLY ZC	0.133	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528194021	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528202017	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528118002	OTHER6A-NOT CORRECTLY ZC	0.105	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528142016	OTHER6A-NOT CORRECTLY ZC	0.168	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528117003	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528131008	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528196021	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528215009	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528182027	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528202008	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528131004	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528205012	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
5281202009	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528202007	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528154014	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194012	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528115003	OTHER6A-NOT CORRECTLY ZC	0.146	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122014	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194013	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528214019	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528114024	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528134013	OTHER6A-NOT CORRECTLY ZC	0.157	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528152009	OTHER6A-NOT CORRECTLY ZC	0.158	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194019	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528192021	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528192026	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	C-P-5				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528176007	OTHER6A-NOT CORRECTLY ZC	0.110	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142037	OTHER6A-NOT CORRECTLY ZC	0.166	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528215011	OTHER6A-NOT CORRECTLY ZC	0.116 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528182021	OTHER6A-NOT CORRECTLY ZC	0.123 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528202018	OTHER6A-NOT CORRECTLY ZC	0.099 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528183001	OTHER6A-NOT CORRECTLY ZC	0.135 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528114017	OTHER6A-NOT CORRECTLY ZC	0.126 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528161032	OTHER6A-NOT CORRECTLY ZC	0.209 LDR			1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528131017	OTHER6A-NOT CORRECTLY ZC	0.138 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528134009	OTHER6A-NOT CORRECTLY ZC	0.159 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528081004	OTHER6A-NOT CORRECTLY ZC	0.740 LDR			1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
526101029	OTHER6A-NOT CORRECTLY ZC	0.586 LDR		CCO	1/2 AC Min.	W-2-M						San Jacinto Mountains Conservation Area		SGPWA
528132007	OTHER6A-NOT CORRECTLY ZC	0.128 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528176005	OTHER6A-NOT CORRECTLY ZC	0.108 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528214011	OTHER6A-NOT CORRECTLY ZC	0.122 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528182009	OTHER6A-NOT CORRECTLY ZC	0.113 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142039	OTHER6A-NOT CORRECTLY ZC	0.167 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142020	OTHER6A-NOT CORRECTLY ZC	0.166 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528195021	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528135003	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195023	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131011	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182001	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193009	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216002	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528136004	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134025	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134022	OTHER6A-NOT CORRECTLY ZC	0.172	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213005	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195019	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131034	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191006	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528132006	OTHER6A-NOT CORRECTLY ZC	0.129	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115002	OTHER6A-NOT CORRECTLY ZC	0.145	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528193007	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192024	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	C-P-S				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192003	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	C-P-S				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182004	OTHER6A-NOT CORRECTLY ZC	0.117 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528116007	OTHER6A-NOT CORRECTLY ZC	0.101 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528197008	OTHER6A-NOT CORRECTLY ZC	0.095 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204006	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195020	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142042	OTHER6A-NOT CORRECTLY ZC	0.166 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195022	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195026	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
519280003	OTHER6A-NOT CORRECTLY ZC	1.037 LDR		CCO	1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528223005	OTHER6A-NOT CORRECTLY ZC	0.123 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205007	OTHER6A-NOT CORRECTLY ZC	0.095 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528117001	OTHER6A-NOT CORRECTLY ZC	0.163 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202001	OTHER6A-NOT CORRECTLY ZC	0.096 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION/AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528116004	OTHER6A-NOT CORRECTLY ZC	0.104 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528206002	OTHER6A-NOT CORRECTLY ZC	0.099 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528101027	OTHER6A-NOT CORRECTLY ZC	0.383 LDR		CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528115005	OTHER6A-NOT CORRECTLY ZC	0.147 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
519560013	OTHER6A-NOT CORRECTLY ZC	4.367 LDR		CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528216015	OTHER6A-NOT CORRECTLY ZC	0.135 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528182005	OTHER6A-NOT CORRECTLY ZC	0.114 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
519560026	OTHER6A-NOT CORRECTLY ZC	0.968 LDR		CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528203001	OTHER6A-NOT CORRECTLY ZC	0.098 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528204007	OTHER6A-NOT CORRECTLY ZC	0.100 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528203005	OTHER6A-NOT CORRECTLY ZC	0.100 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528211092	OTHER6A-NOT CORRECTLY ZC	0.133 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528182041	OTHER6A-NOT CORRECTLY ZC	0.118 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528194001	OTHER6A-NOT CORRECTLY ZC	0.095 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528131019	OTHER6A-NOT CORRECTLY ZC	0.138 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528205003	OTHER6A-NOT CORRECTLY ZC	0.098 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528182044	OTHER6A-NOT CORRECTLY ZC	0.122 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528182047	OTHER6A-NOT CORRECTLY ZC	0.122 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528195014	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528223003	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182002	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528132001	OTHER6A-NOT CORRECTLY ZC	0.153	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202013	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
519270005	OTHER6A-NOT CORRECTLY ZC	0.328	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214018	OTHER6A-NOT CORRECTLY ZC	0.116	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213001	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134034	OTHER6A-NOT CORRECTLY ZC	0.172	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195016	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205001	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216012	OTHER6A-NOT CORRECTLY ZC	0.181	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192016	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528203018	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182013	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196004	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528117006	OTHER6A-NOT CORRECTLY ZC	0.134	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A – Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528182036	OTHER6A-NOT CORRECTLY ZC	0.117	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528134010	OTHER6A-NOT CORRECTLY ZC	0.158	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528122008	OTHER6A-NOT CORRECTLY ZC	0.217	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528204013	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528213009	OTHER6A-NOT CORRECTLY ZC	0.145	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528197012	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528182038	OTHER6A-NOT CORRECTLY ZC	0.117	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528135008	OTHER6A-NOT CORRECTLY ZC	0.117	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528214021	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528114021	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528131005	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528132002	OTHER6A-NOT CORRECTLY ZC	0.153	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528134012	OTHER6A-NOT CORRECTLY ZC	0.155	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528134023	OTHER6A-NOT CORRECTLY ZC	0.171	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528182042	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528192006	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528206005	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528153008	OTHER6A-NOT CORRECTLY ZC	0.169	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113015	OTHER6A-NOT CORRECTLY ZC	0.143	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528202005	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528197004	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113006	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528203013	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528222027	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528181003	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528181006	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528215030	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528196002	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528214024	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194017	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528191002	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528203006	OTHER6A-NOT CORRECTLY ZC	0.101	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APH	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528199011	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528223008	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182046	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153023	OTHER6A-NOT CORRECTLY ZC	0.171	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142005	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528132008	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115004	OTHER6A-NOT CORRECTLY ZC	0.152	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528139002	OTHER6A-NOT CORRECTLY ZC	0.104	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142022	OTHER6A-NOT CORRECTLY ZC	0.165	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528175005	OTHER6A-NOT CORRECTLY ZC	0.120	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182039	OTHER6A-NOT CORRECTLY ZC	0.117	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528197001	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195018	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528222025	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134018	OTHER6A-NOT CORRECTLY ZC	0.178	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153001	OTHER6A-NOT CORRECTLY ZC	0.149	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528182032	OTHER6A-NOT CORRECTLY ZC	0.116	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528216003	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528211003	OTHER6A-NOT CORRECTLY ZC	0.140	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528116009	OTHER6A-NOT CORRECTLY ZC	0.110	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528207003	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528223025	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528222030	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528182015	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528131021	OTHER6A-NOT CORRECTLY ZC	0.133	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528216009	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528153002	OTHER6A-NOT CORRECTLY ZC	0.212	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528215027	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528114008	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528192018	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528202002	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528191008	OTHER6A-NOT CORRECTLY ZC	0.093	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528201005	OTHER6A-NOT CORRECTLY ZC	0.101	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528192017	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528110009	OTHER6A-NOT CORRECTLY ZC	1.019	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528113012	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528201007	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528196009	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528180004	OTHER6A-NOT CORRECTLY ZC	9.693	LDR	CCO	1/2 AC Min.	W-2				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528215018	OTHER6A-NOT CORRECTLY ZC	0.141	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528194020	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528132005	OTHER6A-NOT CORRECTLY ZC	0.134	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528193018	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528135010	OTHER6A-NOT CORRECTLY ZC	0.141	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528222031	OTHER6A-NOT CORRECTLY ZC	0.105	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528117005	OTHER6A-NOT CORRECTLY ZC	0.128	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528170012	OTHER6A-NOT CORRECTLY ZC	0.964	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528122046	OTHER6A-NOT CORRECTLY ZC	0.510	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528195013	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528114015	OTHER6A-NOT CORRECTLY ZC	0.139	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528201002	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153016	OTHER6A-NOT CORRECTLY ZC	0.178	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528176003	OTHER6A-NOT CORRECTLY ZC	0.109	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196024	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
519270008	OTHER6A-NOT CORRECTLY ZC	3.267	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528222001	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214001	OTHER6A-NOT CORRECTLY ZC	0.134	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214023	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213004	OTHER6A-NOT CORRECTLY ZC	0.152	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528203002	OTHER6A-NOT CORRECTLY ZC	0.102	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528222003	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142040	OTHER6A-NOT CORRECTLY ZC	0.169	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153014	OTHER6A-NOT CORRECTLY ZC	0.173	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215032	OTHER6A-NOT CORRECTLY ZC	0.135	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193012	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528205002	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528131020	OTHER6A-NOT CORRECTLY ZC	0.137	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528194009	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528214017	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528205014	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528195005	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528203012	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528194010	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528216004	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528192025	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	C-P-S				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
519424003	OTHER6A-NOT CORRECTLY ZC	2.848	LDR	CCO	1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528121029	OTHER6A-NOT CORRECTLY ZC	0.120	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528142015	OTHER6A-NOT CORRECTLY ZC	0.169	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528223024	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528182030	OTHER6A-NOT CORRECTLY ZC	0.117	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528194024	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528112036	OTHER6A-NOT CORRECTLY ZC	0.110	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528213013	OTHER6A-NOT CORRECTLY ZC	0.154	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528215013	OTHER6A-NOT CORRECTLY ZC	0.153	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528154011	OTHER6A-NOT CORRECTLY ZC	0.141	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528215004	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528182045	OTHER6A-NOT CORRECTLY ZC	0.118	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528131012	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
519310005	OTHER6A-NOT CORRECTLY ZC	4.445	LDR	CCO	1/2 AC Min.	W-2-M-2 1/2				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528201001	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528196025	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528215010	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528222015	OTHER6A-NOT CORRECTLY ZC	0.134	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528182024	OTHER6A-NOT CORRECTLY ZC	0.204	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528194007	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528195017	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CYAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528197006	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528196013	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528181002	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528134017	OTHER6A-NOT CORRECTLY ZC	0.176	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528209016	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528153010	OTHER6A-NOT CORRECTLY ZC	0.158	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528131024	OTHER6A-NOT CORRECTLY ZC	0.132	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528194011	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528131015	OTHER6A-NOT CORRECTLY ZC	0.101	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528142035	OTHER6A-NOT CORRECTLY ZC	0.171	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528142011	OTHER6A-NOT CORRECTLY ZC	0.166	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528223022	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Santa Rosa and San Jacinto Mountains Conservation Area		SGPWA
528115011	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528121018	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528194022	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528195011	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CIVIC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528196020	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528216016	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528172002	OTHER6A-NOT CORRECTLY ZC	0.173	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194005	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528203008	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528206001	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528114012	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528204004	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528197011	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
526101002	OTHER6A-NOT CORRECTLY ZC	0.351	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528154012	OTHER6A-NOT CORRECTLY ZC	0.144	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528195024	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528201009	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528176006	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121023	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528196006	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528131029	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115008	OTHER6A-NOT CORRECTLY ZC	0.150	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182005	OTHER6A-NOT CORRECTLY ZC	0.118	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204012	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153015	OTHER6A-NOT CORRECTLY ZC	0.194	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122020	OTHER6A-NOT CORRECTLY ZC	0.171	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115007	OTHER6A-NOT CORRECTLY ZC	0.149	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191001	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528223007	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142034	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122021	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205013	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192013	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191004	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528197009	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193005	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528132004	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528203007	OTHER6A-NOT CORRECTLY ZC	0.101	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528181009	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528195015	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528195003	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528196010	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528113017	OTHER6A-NOT CORRECTLY ZC	0.130	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528207001	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528142007	OTHER6A-NOT CORRECTLY ZC	0.169	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528192001	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	C-P-S				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528182028	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528116005	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528216006	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		San Jacinto Mountains Conservation Area		SGPWA
528182020	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528122005	OTHER6A-NOT CORRECTLY ZC	0.173	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA
528193015	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528183003	OTHER6A-NOT CORRECTLY ZC	0.131	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196019	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192012	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528194004	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528212003	OTHER6A-NOT CORRECTLY ZC	0.142	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196012	OTHER6A-NOT CORRECTLY ZC	0.101	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182012	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528201008	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213010	OTHER6A-NOT CORRECTLY ZC	0.143	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131014	OTHER6A-NOT CORRECTLY ZC	0.090	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153020	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196015	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528101028	OTHER6A-NOT CORRECTLY ZC	1.649	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528160008	OTHER6A-NOT CORRECTLY ZC	9.273	LDR	CCO	1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528294014	OTHER6A-NOT CORRECTLY ZC	0.093	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202015	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528113013	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528195003	OTHER6A-NOT CORRECTLY ZC	0.096 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528133001	OTHER6A-NOT CORRECTLY ZC	0.104 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528118003	OTHER6A-NOT CORRECTLY ZC	0.105 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528225023	OTHER6A-NOT CORRECTLY ZC	0.117 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528121032	OTHER6A-NOT CORRECTLY ZC	0.118 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195004	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196008	OTHER6A-NOT CORRECTLY ZC	0.100 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202006	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215028	OTHER6A-NOT CORRECTLY ZC	0.114 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215003	OTHER6A-NOT CORRECTLY ZC	0.113 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195021	OTHER6A-NOT CORRECTLY ZC	0.102 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214012	OTHER6A-NOT CORRECTLY ZC	0.114 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202012	OTHER6A-NOT CORRECTLY ZC	0.099 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182043	OTHER6A-NOT CORRECTLY ZC	0.121 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528181001	OTHER6A-NOT CORRECTLY ZC	0.137 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528194008	OTHER6A-NOT CORRECTLY ZC	0.096 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528215008	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528222002	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528205005	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528181008	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528222028	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528195010	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528153027	OTHER6A-NOT CORRECTLY ZC	0.215	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519280005	OTHER6A-NOT CORRECTLY ZC	0.069	LDR	CCO	1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528104025	OTHER6A-NOT CORRECTLY ZC	0.120	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528202003	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528216005	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528153022	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528192015	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528113014	OTHER6A-NOT CORRECTLY ZC	0.133	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528192014	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528215002	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528192011	OTHER6A-NOT CORRECTLY ZC	0.089	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122027	OTHER6A-NOT CORRECTLY ZC	0.219	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213015	OTHER6A-NOT CORRECTLY ZC	0.123	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528116003	OTHER6A-NOT CORRECTLY ZC	0.103	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192010	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528194015	OTHER6A-NOT CORRECTLY ZC	0.151	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528181005	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115015	OTHER6A-NOT CORRECTLY ZC	0.135	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153021	OTHER6A-NOT CORRECTLY ZC	0.177	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215017	OTHER6A-NOT CORRECTLY ZC	0.116	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528176002	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182007	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202014	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196005	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131023	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193023	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528182035	OTHER6A-NOT CORRECTLY ZC	0.139	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528122016	OTHER6A-NOT CORRECTLY ZC	0.166	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528154010	OTHER6A-NOT CORRECTLY ZC	0.142	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528195020	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528175006	OTHER6A-NOT CORRECTLY ZC	0.118	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528172004	OTHER6A-NOT CORRECTLY ZC	0.151	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
526160002	OTHER6A-NOT CORRECTLY ZC	4.857	LDR	CCO	1/2 AC Min.	W-2				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528214020	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528204005	OTHER6A-NOT CORRECTLY ZC	0.089	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528197013	OTHER6A-NOT CORRECTLY ZC	0.093	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528193025	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528196015	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528172005	OTHER6A-NOT CORRECTLY ZC	0.137	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528116001	OTHER6A-NOT CORRECTLY ZC	0.110	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528197007	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528203017	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528213012	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528142027	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528212004	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528197005	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528199013	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193006	OTHER6A-NOT CORRECTLY ZC	0.161	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215007	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215021	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153005	OTHER6A-NOT CORRECTLY ZC	0.165	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528135001	OTHER6A-NOT CORRECTLY ZC	0.140	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195001	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192020	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213002	OTHER6A-NOT CORRECTLY ZC	0.165	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528209014	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213008	OTHER6A-NOT CORRECTLY ZC	0.152	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182017	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134026	OTHER6A-NOT CORRECTLY ZC	0.172	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528114009	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131018	OTHER6A-NOT CORRECTLY ZC	0.136	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191013	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196026	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528229004	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214006	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196003	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528117004	OTHER6A-NOT CORRECTLY ZC	0.129	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195014	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205015	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191011	OTHER6A-NOT CORRECTLY ZC	0.093	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216007	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528134016	OTHER6A-NOT CORRECTLY ZC	0.175	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215025	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205011	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528176008	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CYAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528182037	OTHER6A-NOT CORRECTLY ZC	0.115	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528212001	OTHER6A-NOT CORRECTLY ZC	0.161	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528131009	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142041	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215012	OTHER6A-NOT CORRECTLY ZC	0.135	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205005	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193002	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215024	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528161014	OTHER6A-NOT CORRECTLY ZC	0.166	LDR		1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528132003	OTHER6A-NOT CORRECTLY ZC	0.154	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528104023	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528133004	OTHER6A-NOT CORRECTLY ZC	0.118	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205007	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182003	OTHER6A-NOT CORRECTLY ZC	0.116	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214005	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182016	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528204003	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528199019	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528207002	OTHER6A-NOT CORRECTLY ZC	0.100	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182040	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528183050	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192007	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528203003	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215015	OTHER6A-NOT CORRECTLY ZC	0.141	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202004	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195002	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528197002	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193004	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182048	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191007	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213011	OTHER6A-NOT CORRECTLY ZC	0.141	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204009	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACRES	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528202011	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122015	OTHER6A-NOT CORRECTLY ZC	0.169	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528214002	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528115014	OTHER6A-NOT CORRECTLY ZC	0.130	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528134021	OTHER6A-NOT CORRECTLY ZC	0.174	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
518210012	OTHER6A-NOT CORRECTLY ZC	0.565	LDR		1/2 AC Min.	W-2				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142008	OTHER6A-NOT CORRECTLY ZC	0.165	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528203015	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528223019	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528221009	OTHER6A-NOT CORRECTLY ZC	0.135	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528203009	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528223009	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528134006	OTHER6A-NOT CORRECTLY ZC	0.158	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528101030	OTHER6A-NOT CORRECTLY ZC	0.845	LDR	CCO	1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528196011	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528212002	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOODING AREAS OF SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528153007	OTHER6A-NOT CORRECTLY ZC	0.161	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528115016	OTHER6A-NOT CORRECTLY ZC	0.131	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528192009	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528172003	OTHER6A-NOT CORRECTLY ZC	0.179	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528215019	OTHER6A-NOT CORRECTLY ZC	0.131	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528211001	OTHER6A-NOT CORRECTLY ZC	0.127	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528194018	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528195022	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528192023	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	C-P-5				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528131001	OTHER6A-NOT CORRECTLY ZC	0.132	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528214007	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528154013	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528134020	OTHER6A-NOT CORRECTLY ZC	0.176	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528193024	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528115012	OTHER6A-NOT CORRECTLY ZC	0.128	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA
528206006	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING AREAS OF SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULT ZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528205004	OTHER6A-NOT CORRECTLY ZC	0.098 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528115010	OTHER6A-NOT CORRECTLY ZC	0.126 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528117002	OTHER6A-NOT CORRECTLY ZC	0.156 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528104024	OTHER6A-NOT CORRECTLY ZC	0.120 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528181004	OTHER6A-NOT CORRECTLY ZC	0.127 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214010	OTHER6A-NOT CORRECTLY ZC	0.151 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213014	OTHER6A-NOT CORRECTLY ZC	0.118 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192022	OTHER6A-NOT CORRECTLY ZC	0.101 LDR			1/2 AC Min.	C-P-S				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142010	OTHER6A-NOT CORRECTLY ZC	0.169 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528192026	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528223021	OTHER6A-NOT CORRECTLY ZC	0.121 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142018	OTHER6A-NOT CORRECTLY ZC	0.168 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
526160003	OTHER6A-NOT CORRECTLY ZC	9.658 LDR		CCO	1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214003	OTHER6A-NOT CORRECTLY ZC	0.113 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528113007	OTHER6A-NOT CORRECTLY ZC	0.124 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
519260006	OTHER6A-NOT CORRECTLY ZC	2.346 LDR		CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CYAC CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528182034	OTHER6A-NOT CORRECTLY ZC	0.117 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528202016	OTHER6A-NOT CORRECTLY ZC	0.098 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214004	OTHER6A-NOT CORRECTLY ZC	0.112 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528153028	OTHER6A-NOT CORRECTLY ZC	0.150 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182031	OTHER6A-NOT CORRECTLY ZC	0.113 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528199010	OTHER6A-NOT CORRECTLY ZC	0.095 LDR			1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205010	OTHER6A-NOT CORRECTLY ZC	0.100 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		San Jacinto Mountains Conservation Area		SGPWA
528215001	OTHER6A-NOT CORRECTLY ZC	0.133 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528201003	OTHER6A-NOT CORRECTLY ZC	0.097 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528142012	OTHER6A-NOT CORRECTLY ZC	0.215 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528153004	OTHER6A-NOT CORRECTLY ZC	0.163 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528216001	OTHER6A-NOT CORRECTLY ZC	0.120 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528192008	OTHER6A-NOT CORRECTLY ZC	0.099 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528222029	OTHER6A-NOT CORRECTLY ZC	0.112 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528102035	OTHER6A-NOT CORRECTLY ZC	0.745 LDR	CCO		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA
528122009	OTHER6A-NOT CORRECTLY ZC	0.214 LDR			1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528134030	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528213006	OTHER6A-NOT CORRECTLY ZC	0.173	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193008	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196022	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204011	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528135009	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182019	OTHER6A-NOT CORRECTLY ZC	0.124	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216008	OTHER6A-NOT CORRECTLY ZC	0.117	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195007	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528204002	OTHER6A-NOT CORRECTLY ZC	0.099	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142024	OTHER6A-NOT CORRECTLY ZC	0.165	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528161015	OTHER6A-NOT CORRECTLY ZC	0.170	LDR		1/2 AC Min.	W-2				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216013	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191005	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
52814028	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191012	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528131016	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214009	OTHER6A-NOT CORRECTLY ZC	0.161	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214008	OTHER6A-NOT CORRECTLY ZC	0.140	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182029	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182014	OTHER6A-NOT CORRECTLY ZC	0.145	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182018	OTHER6A-NOT CORRECTLY ZC	0.120	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528121024	OTHER6A-NOT CORRECTLY ZC	0.120	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142009	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528222004	OTHER6A-NOT CORRECTLY ZC	0.113	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142032	OTHER6A-NOT CORRECTLY ZC	0.212	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142025	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196017	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
526110001	OTHER6A-NOT CORRECTLY ZC	2.005	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528203010	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528122013	OTHER6A-NOT CORRECTLY ZC	0.164	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528214015	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528196001	OTHER6A-NOT CORRECTLY ZC	0.095	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528115018	OTHER6A-NOT CORRECTLY ZC	0.144	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528203011	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528214016	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528193016	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528193001	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528221010	OTHER6A-NOT CORRECTLY ZC	0.132	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528202010	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142038	OTHER6A-NOT CORRECTLY ZC	0.171	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194026	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528213007	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528191003	OTHER6A-NOT CORRECTLY ZC	0.094	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528122022	OTHER6A-NOT CORRECTLY ZC	0.168	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528196003	OTHER6A-NOT CORRECTLY ZC	0.112	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528121017	OTHER6A-NOT CORRECTLY ZC	0.120	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528114022	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528134028	OTHER6A-NOT CORRECTLY ZC	0.216	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528175007	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528154009	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528110002	OTHER6A-NOT CORRECTLY ZC	1.019	LDR	CCO	1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528194015	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528159018	OTHER6A-NOT CORRECTLY ZC	0.176	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528114020	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528142006	OTHER6A-NOT CORRECTLY ZC	0.165	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528154007	OTHER6A-NOT CORRECTLY ZC	0.153	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528113016	OTHER6A-NOT CORRECTLY ZC	0.130	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528116006	OTHER6A-NOT CORRECTLY ZC	0.102	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528131022	OTHER6A-NOT CORRECTLY ZC	0.135	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528194005	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528215005	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528215006	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528159019	OTHER6A-NOT CORRECTLY ZC	0.174	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA
528142023	OTHER6A-NOT CORRECTLY ZC	0.166	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528142014	OTHER6A-NOT CORRECTLY ZC	0.162	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528214014	OTHER6A-NOT CORRECTLY ZC	0.138	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528215020	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528195002	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528222014	OTHER6A-NOT CORRECTLY ZC	0.134	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194014	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528118001	OTHER6A-NOT CORRECTLY ZC	0.110	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528194025	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
519260007	OTHER6A-NOT CORRECTLY ZC	4.878	LDR	CCO	1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528204008	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528223005	OTHER6A-NOT CORRECTLY ZC	0.121	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142033	OTHER6A-NOT CORRECTLY ZC	0.217	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528134029	OTHER6A-NOT CORRECTLY ZC	0.172	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528181007	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528135004	OTHER6A-NOT CORRECTLY ZC	0.126	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528114007	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAS CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528195006	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215016	OTHER6A-NOT CORRECTLY ZC	0.139	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215026	OTHER6A-NOT CORRECTLY ZC	0.111	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528215014	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528133003	OTHER6A-NOT CORRECTLY ZC	0.110	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528142019	OTHER6A-NOT CORRECTLY ZC	0.167	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528196007	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528113011	OTHER6A-NOT CORRECTLY ZC	0.122	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528195025	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528205008	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528216011	OTHER6A-NOT CORRECTLY ZC	0.129	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528206008	OTHER6A-NOT CORRECTLY ZC	0.096	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528114025	OTHER6A-NOT CORRECTLY ZC	0.125	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528191009	OTHER6A-NOT CORRECTLY ZC	0.098	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528182010	OTHER6A-NOT CORRECTLY ZC	0.119	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA
528193017	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				FLOODING SENSITIVITY AREAS OF		Conservation Area		SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL AREA	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
528134014	OTHER6A-NOT CORRECTLY ZC	0.156	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528215022	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528142029	OTHER6A-NOT CORRECTLY ZC	0.168	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528182011	OTHER6A-NOT CORRECTLY ZC	0.116	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528213003	OTHER6A-NOT CORRECTLY ZC	0.147	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528153013	OTHER6A-NOT CORRECTLY ZC	0.158	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528206003	OTHER6A-NOT CORRECTLY ZC	0.097	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528153017	OTHER6A-NOT CORRECTLY ZC	0.176	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
528135007	OTHER6A-NOT CORRECTLY ZC	0.114	LDR		1/2 AC Min.	W-2-M				AREAS OF FLOODING SENSITIVITY		Cabazon Conservation Area		SGPWA
664220003	CVAG6B-CORRECTLY ZONED S	2.500	EDR		2 AC Min.	W-2	2	2		AREAS OF FLOODING SENSITIVITY				CVWD
664220005	CVAG6B-CORRECTLY ZONED S	2.525	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
664230004	CVAG6B-CORRECTLY ZONED S	2.495	EDR		2 AC Min.	W-2	2	2		AREAS OF FLOODING SENSITIVITY				CVWD
767160004	CVAG6B-CORRECTLY ZONED S	1.595	EDR		2 AC Min.	A-1	2	1		AREAS OF FLOODING SENSITIVITY				CVWD
664230007	CVAG6B-CORRECTLY ZONED S	2.547	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
664220019	CVAG6B-CORRECTLY ZONED S	2.497	EDR		2 AC Min.	W-2	2	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CVWD
664230023	CVAG6B-CORRECTLY ZONED S	2.505	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CVWD
767130021	CVAG6B-CORRECTLY ZONED S	3.567	EDR		2 AC Min.	A-1	4	3		AREAS OF FLOODING SENSITIVITY				CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
664230031	CVAG6B-CORRECTLY ZONED S	2.494 EDR			2 AC Min.	W-2		2		FLOODING SENSITIVITY				CWWD
607020095	CVAG6B-CORRECTLY ZONED S	2.357 EDR			2 AC Min.	R-1-12000		2		AREAS OF FLOODING SENSITIVITY			Zone B1	CWWD
664220011	CVAG6B-CORRECTLY ZONED S	2.514 EDR			2 AC Min.	W-2		3		FLOODING SENSITIVITY				CWWD
767160014	CVAG6B-CORRECTLY ZONED S	5.151 EDR			2 AC Min.	A-1		5		FLOODING SENSITIVITY				CWWD
607040064	CVAG6B-CORRECTLY ZONED S	1.182 EDR			2 AC Min.	R-1-12000		1		AREAS OF FLOODING SENSITIVITY			Zone C	CWWD
664270004	CVAG6B-CORRECTLY ZONED S	79.348 EDR			2 AC Min.	W-2-2 1/2		79		FLOODING SENSITIVITY				CWWD
764120015	CVAG6B-CORRECTLY ZONED S	2.133 EDR	CD		2 AC Min.	A-1-2 1/2		2		AREAS OF FLOODING SENSITIVITY				CWWD
664220016	CVAG6B-CORRECTLY ZONED S	2.513 EDR			2 AC Min.	W-2		3		FLOODING SENSITIVITY				CWWD
767160014	CVAG6B-CORRECTLY ZONED S	1.156 EDR			2 AC Min.	A-1		1		FLOODING SENSITIVITY				CWWD
767130003	CVAG6B-CORRECTLY ZONED S	5.115 EDR			2 AC Min.	A-1		5		FLOODING SENSITIVITY				CWWD
601300005	CVAG6B-CORRECTLY ZONED S	10.807 EDR			2 AC Min.	W-2-10		11	SAN ANDREAS FAULT ZONE			East Indio Hills Conservation Area		CWWD
664220031	CVAG6B-CORRECTLY ZONED S	2.515 EDR			2 AC Min.	W-2		3		AREAS OF FLOODING SENSITIVITY				CWWD
664230029	CVAG6B-CORRECTLY ZONED S	2.518 EDR			2 AC Min.	W-2		3		AREAS OF FLOODING SENSITIVITY				CWWD
767160021	CVAG6B-CORRECTLY ZONED S	0.863 EDR			2 AC Min.	A-1		1		FLOODING SENSITIVITY				CWWD
664220033	CVAG6B-CORRECTLY ZONED S	2.501 EDR			2 AC Min.	W-2		3		AREAS OF FLOODING SENSITIVITY				CWWD
767160018	CVAG6B-CORRECTLY ZONED S	1.206 EDR			2 AC Min.	A-1		1		FLOODING SENSITIVITY				CWWD
664230016	CVAG6B-CORRECTLY ZONED S	2.504 EDR			2 AC Min.	W-2		3		AREAS OF FLOODING SENSITIVITY				CWWD
607050028	CVAG6B-CORRECTLY ZONED S	2.323 EDR			2 AC Min.	R-1-12000		2		FLOODING SENSITIVITY			Zone B1	CWWD
767160002	CVAG6B-CORRECTLY ZONED S	6.735 EDR			2 AC Min.	A-1		7		AREAS OF FLOODING SENSITIVITY				CWWD
664270005	CVAG6B-CORRECTLY ZONED S	39.778 EDR			2 AC Min.	W-2-2 1/2		40		AREAS OF FLOODING SENSITIVITY				CWWD
664270005	CVAG6B-CORRECTLY ZONED S	39.815 EDR			2 AC Min.	W-2-2 1/2		40		AREAS OF FLOODING SENSITIVITY				CWWD
666040009	CVAG6B-CORRECTLY ZONED S	5.067 EDR			2 AC Min.	W-2		5		AREAS OF FLOODING SENSITIVITY				CWWD
664220009	CVAG6B-CORRECTLY ZONED S	2.581 EDR			2 AC Min.	W-2		3		AREAS OF FLOODING SENSITIVITY				CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DJ/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF FLOODING SENSITIVITY	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
664220005	CVAG6B-CORRECTLY ZONED S	2.513	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
664220018	CVAG6B-CORRECTLY ZONED S	2.511	EDR		2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
764120013	CVAG6B-CORRECTLY ZONED S	2.083	EDR	CD	2 AC Min.	A-1-2 1/2	2	2						CWWD
764120014	CVAG6B-CORRECTLY ZONED S	2.099	EDR	CD	2 AC Min.	A-1-2 1/2	2	2						CWWD
664220009	CVAG6B-CORRECTLY ZONED S	2.538	EDR		2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY				CWWD
666040010	CVAG6B-CORRECTLY ZONED S	31.086	EDR		2 AC Min.	W-2	31	25		AREAS OF FLOODING SENSITIVITY				CWWD
607050027	CVAG6B-CORRECTLY ZONED S	2.518	EDR		2 AC Min.	R-1-12000	3	2		AREAS OF FLOODING SENSITIVITY			Zone B1	CWWD
664220012	CVAG6B-CORRECTLY ZONED S	2.508	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
767160007	CVAG6B-CORRECTLY ZONED S	3.718	EDR		2 AC Min.	A-1	4	3		AREAS OF FLOODING SENSITIVITY				CWWD
664220021	CVAG6B-CORRECTLY ZONED S	1.374	EDR		2 AC Min.	W-2	1	1		AREAS OF FLOODING SENSITIVITY				CWWD
664220008	CVAG6B-CORRECTLY ZONED S	2.523	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
767160004	CVAG6B-CORRECTLY ZONED S	5.126	EDR		2 AC Min.	A-1	5	4		AREAS OF FLOODING SENSITIVITY				CWWD
664220021	CVAG6B-CORRECTLY ZONED S	2.533	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
664220024	CVAG6B-CORRECTLY ZONED S	2.522	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
664220026	CVAG6B-CORRECTLY ZONED S	2.519	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
664220029	CVAG6B-CORRECTLY ZONED S	2.485	EDR		2 AC Min.	W-2	2	2		AREAS OF FLOODING SENSITIVITY				CWWD
664220002	CVAG6B-CORRECTLY ZONED S	2.518	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
607280001	CVAG6B-CORRECTLY ZONED S	5.790	EDR		2 AC Min.	W-2	6	5		AREAS OF FLOODING SENSITIVITY			Zone B1	CWWD
664220017	CVAG6B-CORRECTLY ZONED S	2.548	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
767170014	CVAG6B-CORRECTLY ZONED S	4.649	EDR		2 AC Min.	A-1	5	4		AREAS OF FLOODING SENSITIVITY				CWWD
767160025	CVAG6B-CORRECTLY ZONED S	5.983	EDR		2 AC Min.	A-1	6	5		AREAS OF FLOODING SENSITIVITY				CWWD
664220032	CVAG6B-CORRECTLY ZONED S	2.533	EDR		2 AC Min.	W-2	3	2		AREAS OF FLOODING SENSITIVITY				CWWD
607092013	CVAG6B-CORRECTLY ZONED S	2.595	EDR		2 AC Min.	R-1-12000	3	2		AREAS OF FLOODING SENSITIVITY			Zone B1	CWWD



Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/JAC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
664230003	CVAG6B-CORRECTLY ZONED S	2.518 EDR			2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
664220027	CVAG6B-CORRECTLY ZONED S	5.072 EDR			2 AC Min.	W-2	5	4	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
607020011	CVAG6B-CORRECTLY ZONED S	2.370 EDR			2 AC Min.	R-1-12000	2	2					Zone B1	CVWD
767160006	CVAG6B-CORRECTLY ZONED S	0.607 EDR			2 AC Min.	A-1	1	0						CVWD
664220010	CVAG6B-CORRECTLY ZONED S	2.594 EDR			2 AC Min.	W-2	3	2						CVWD
607020030	CVAG6B-CORRECTLY ZONED S	2.405 EDR			2 AC Min.	R-1-12000	2	2					Zone B1	CVWD
664220025	CVAG6B-CORRECTLY ZONED S	2.553 EDR			2 AC Min.	W-2	3	2						CVWD
666040008	CVAG6B-CORRECTLY ZONED S	5.119 EDR			2 AC Min.	W-2	5	4						CVWD
767130001	CVAG6B-CORRECTLY ZONED S	17.757 EDR			2 AC Min.	A-1	18	14						CVWD
664220004	CVAG6B-CORRECTLY ZONED S	2.501 EDR			2 AC Min.	W-2	3	2						CVWD
664220014	CVAG6B-CORRECTLY ZONED S	2.524 EDR			2 AC Min.	W-2	3	2						CVWD
664220028	CVAG6B-CORRECTLY ZONED S	2.503 EDR			2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
664230025	CVAG6B-CORRECTLY ZONED S	2.567 EDR			2 AC Min.	W-2	3	2						CVWD
607040022	CVAG6B-CORRECTLY ZONED S	2.305 EDR			2 AC Min.	R-1-12000	2	2					Zone C	CVWD
664230013	CVAG6B-CORRECTLY ZONED S	2.521 EDR			2 AC Min.	W-2	3	2						CVWD
664230002	CVAG6B-CORRECTLY ZONED S	2.543 EDR			2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY				CVWD
767120019	CVAG6B-CORRECTLY ZONED S	0.092 EDR			2 AC Min.	A-1	0	0						CVWD
666040011	CVAG6B-CORRECTLY ZONED S	37.647 EDR			2 AC Min.	W-2	38	30						CVWD
664220015	CVAG6B-CORRECTLY ZONED S	2.559 EDR			2 AC Min.	W-2	3	2						CVWD
664220013	CVAG6B-CORRECTLY ZONED S	2.531 EDR			2 AC Min.	W-2	3	2						CVWD
664230015	CVAG6B-CORRECTLY ZONED S	2.507 EDR			2 AC Min.	W-2	3	2						CVWD

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD AREAS OF	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
664230005	CVAG6B-CORRECTLY ZONED S	2.523 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
666040004	CVAG6B-CORRECTLY ZONED S	24.211 EDR			2 AC Min.	W-2	24	19		FLOODING SENSITIVITY AREAS OF				CWWD
767160003	CVAG6B-CORRECTLY ZONED S	0.059 EDR			2 AC Min.	A-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
764120012	CVAG6B-CORRECTLY ZONED S	2.086 EDR	CD		2 AC Min.	A-1-2 1/2	2	2		FLOODING SENSITIVITY AREAS OF			Zone E	CWWD
767160020	CVAG6B-CORRECTLY ZONED S	1.856 EDR			2 AC Min.	A-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
607040021	CVAG6B-CORRECTLY ZONED S	2.290 EDR			2 AC Min.	R-1-12000	2	2		FLOODING SENSITIVITY AREAS OF			Zone C	CWWD
664230022	CVAG6B-CORRECTLY ZONED S	2.521 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
767160016	CVAG6B-CORRECTLY ZONED S	7.173 EDR			2 AC Min.	A-1	7	7		FLOODING SENSITIVITY AREAS OF				CWWD
607280007	CVAG6B-CORRECTLY ZONED S	0.628 EDR			2 AC Min.	W-2	1	1		FLOODING SENSITIVITY AREAS OF			Zone A	CWWD
664220030	CVAG6B-CORRECTLY ZONED S	2.510 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
767160022	CVAG6B-CORRECTLY ZONED S	1.223 EDR			2 AC Min.	A-1	1	1		FLOODING SENSITIVITY AREAS OF				CWWD
607030015	CVAG6B-CORRECTLY ZONED S	2.582 EDR			2 AC Min.	R-1-12000	3	2		FLOODING SENSITIVITY AREAS OF			Zone B1	CWWD
664220017	CVAG6B-CORRECTLY ZONED S	2.544 EDR			2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CWWD
767160005	CVAG6B-CORRECTLY ZONED S	0.404 EDR			2 AC Min.	A-1	0	0		FLOODING SENSITIVITY AREAS OF				CWWD
664230001	CVAG6B-CORRECTLY ZONED S	5.070 EDR			2 AC Min.	W-2	5	4	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CWWD
664220008	CVAG6B-CORRECTLY ZONED S	2.506 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
664220001	CVAG6B-CORRECTLY ZONED S	2.572 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
664230012	CVAG6B-CORRECTLY ZONED S	2.500 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
607160024	CVAG6B-CORRECTLY ZONED S	1.859 EDR			2 AC Min.	R-1-12000	2	1		FLOODING SENSITIVITY AREAS OF			Zone C	CWWD
767120023	CVAG6B-CORRECTLY ZONED S	4.727 EDR			2 AC Min.	A-1	5	4		FLOODING SENSITIVITY AREAS OF				CWWD
664230024	CVAG6B-CORRECTLY ZONED S	2.517 EDR			2 AC Min.	W-2	3	2	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CWWD
664230030	CVAG6B-CORRECTLY ZONED S	2.500 EDR			2 AC Min.	W-2	3	2		FLOODING SENSITIVITY AREAS OF				CWWD
664220020	CVAG6B-CORRECTLY ZONED S	1.115 EDR			2 AC Min.	W-2	1	1	SAN ANDREAS FAULT ZONE	FLOODING SENSITIVITY AREAS OF				CWWD
607040077	CVAG6B-CORRECTLY ZONED S	0.236 EDR			2 AC Min.	R-1-12000	0	0		FLOODING SENSITIVITY AREAS OF			Zone C	CWWD
607040073	CVAG6B-CORRECTLY ZONED S	1.235 EDR			2 AC Min.	R-1-12000	1	1		FLOODING SENSITIVITY AREAS OF			Zone C	CWWD
557150001	WRCS6B-CORRECTLY ZONED S	1.651 EDR			2 AC Min.	R-1A-2 1/2	2	1		FLOODING SENSITIVITY AREAS OF				SGPWA
565144007	WRCS6B-CORRECTLY ZONED S	0.751 EDR			2 AC Min.	R-1A-2 1/2	1	1		FLOODING SENSITIVITY AREAS OF				SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
557161008	WRCOG6B-CORRECTLY ZONED	1.054 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
565130015	WRCOG6B-CORRECTLY ZONED	1.714 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
466120017	WRCOG6B-CORRECTLY ZONED	0.036 EDR			2 AC Min.	R-R	0								EMWD
565192007	WRCOG6B-CORRECTLY ZONED	2.013 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
565290013	WRCOG6B-CORRECTLY ZONED	0.457 EDR			2 AC Min.	R-1A-2 1/2	0								SGPWA
565130016	WRCOG6B-CORRECTLY ZONED	1.517 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
565142002	WRCOG6B-CORRECTLY ZONED	2.183 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
135280001	WRCOG6B-CORRECTLY ZONED	13.472 EDR			2 AC Min.	R-A-2	13								EMWD
557170007	WRCOG6B-CORRECTLY ZONED	1.413 EDR			2 AC Min.	R-1A	1								SGPWA
565130014	WRCOG6B-CORRECTLY ZONED	1.543 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
557150003	WRCOG6B-CORRECTLY ZONED	2.187 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
557170011	WRCOG6B-CORRECTLY ZONED	1.208 EDR			2 AC Min.	W-2	1								SGPWA
557161014	WRCOG6B-CORRECTLY ZONED	1.003 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
557161001	WRCOG6B-CORRECTLY ZONED	2.315 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
557162008	WRCOG6B-CORRECTLY ZONED	0.397 EDR			2 AC Min.	R-1A	0								SGPWA
135204007	WRCOG6B-CORRECTLY ZONED	0.719 EDR			2 AC Min.	R-1A	1								EMWD
557170024	WRCOG6B-CORRECTLY ZONED	0.735 EDR			2 AC Min.	R-A-2	1								SGPWA
565281017	WRCOG6B-CORRECTLY ZONED	2.766 EDR			2 AC Min.	R-1A-2 1/2	3								EMWD
557190001	WRCOG6B-CORRECTLY ZONED	0.296 EDR			2 AC Min.	R-1A-15000	0								SGPWA
565290017	WRCOG6B-CORRECTLY ZONED	0.667 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
466120002	WRCOG6B-CORRECTLY ZONED	1.309 EDR			2 AC Min.	R-1A-2 1/2	1					YES			SGPWA
557162002	WRCOG6B-CORRECTLY ZONED	79.774 EDR			2 AC Min.	A-1-5	80	64							EMWD
557162003	WRCOG6B-CORRECTLY ZONED	1.005 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
557162008	WRCOG6B-CORRECTLY ZONED	0.789 EDR			2 AC Min.	R-1A	1								SGPWA
557161003	WRCOG6B-CORRECTLY ZONED	1.716 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
557190007	WRCOG6B-CORRECTLY ZONED	1.270 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
557170017	WRCOG6B-CORRECTLY ZONED	0.228 EDR			2 AC Min.	R-1A	0								SGPWA
565130005	WRCOG6B-CORRECTLY ZONED	1.464 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
466120015	WRCOG6B-CORRECTLY ZONED	0.044 EDR			2 AC Min.	R-R	0								EMWD
557161004	WRCOG6B-CORRECTLY ZONED	1.924 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
557170008	WRCOG6B-CORRECTLY ZONED	1.931 EDR			2 AC Min.	W-2	2								SGPWA
557162001	WRCOG6B-CORRECTLY ZONED	1.122 EDR			2 AC Min.	R-1A	1								SGPWA
557190001	WRCOG6B-CORRECTLY ZONED	1.103 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
557150013	WRCOG6B-CORRECTLY ZONED	1.898 EDR			2 AC Min.	R-1A-2 1/2	2								SGPWA
557170016	WRCOG6B-CORRECTLY ZONED	0.576 EDR			2 AC Min.	R-1A	1								SGPWA
557170006	WRCOG6B-CORRECTLY ZONED	0.288 EDR			2 AC Min.	R-1A	0								SGPWA
565290028	WRCOG6B-CORRECTLY ZONED	0.615 EDR			2 AC Min.	R-1A	1								SGPWA
466120016	WRCOG6B-CORRECTLY ZONED	3.215 EDR			2 AC Min.	R-1A-2 1/2	3								SGPWA
557162005	WRCOG6B-CORRECTLY ZONED	0.102 EDR			2 AC Min.	R-R	0								EMWD
565144005	WRCOG6B-CORRECTLY ZONED	0.195 EDR			2 AC Min.	R-1A	0								SGPWA
557170015	WRCOG6B-CORRECTLY ZONED	0.460 EDR			2 AC Min.	R-1A-2 1/2	0								SGPWA
565290015	WRCOG6B-CORRECTLY ZONED	0.245 EDR			2 AC Min.	W-2	0								SGPWA
565144003	WRCOG6B-CORRECTLY ZONED	0.040 EDR			2 AC Min.	R-1A-2 1/2	0								SGPWA
557190012	WRCOG6B-CORRECTLY ZONED	0.816 EDR			2 AC Min.	R-1A-2 1/2	0								SGPWA
557190011	WRCOG6B-CORRECTLY ZONED	0.707 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
557170012	WRCOG6B-CORRECTLY ZONED	1.177 EDR			2 AC Min.	R-1A-2 1/2	1								SGPWA
557180005	WRCOG6B-CORRECTLY ZONED	2.884 EDR			2 AC Min.	W-2	1								SGPWA
557190004	WRCOG6B-CORRECTLY ZONED	1.705 EDR			2 AC Min.	R-1A-2 1/2	3								SGPWA
466120019	WRCOG6B-CORRECTLY ZONED	76.706 EDR			2 AC Min.	R-1A-2 1/2	2					YES			EMWD
557170022	WRCOG6B-CORRECTLY ZONED	1.961 EDR			2 AC Min.	A-1-5	77	61							SGPWA
565190003	WRCOG6B-CORRECTLY ZONED	0.232 EDR			2 AC Min.	R-1A-2 1/2	0								SGPWA

Housing Element Appendix A - Housing Inventory List

APN	PARCEL LIST CLASSIFICATION	PARCEL ACREAGE	GENERAL PLAN LANDUSE	GENERAL PLAN LANDUSE OVERLAY	DU/AC	ZONING	100% Capacity	85% Capacity	FAULTZONE	FLOOD	CETAP	CVAG CONSERVATION AREA	AIRPORT COMPATIBILITY ZONE	MAJOR WATER DISTRICTS
557150004	WRCOG6B-CORRECTLY ZONED	1.745	EDR		2 AC Min.	R-1A-2 1/2	2	1						SGPWA
557190014	WRCOG6B-CORRECTLY ZONED	1.024	EDR		2 AC Min.	R-1A-2 1/2	1	1						SGPWA
557161015	WRCOG6B-CORRECTLY ZONED	1.011	EDR		2 AC Min.	R-1A-2 1/2	1	1						SGPWA
557162006	WRCOG6B-CORRECTLY ZONED	0.205	EDR		2 AC Min.	R-1A	0	0						SGPWA
565142003	WRCOG6B-CORRECTLY ZONED	2.260	EDR		2 AC Min.	R-1A-2 1/2	2	2						SGPWA
557150012	WRCOG6B-CORRECTLY ZONED	0.522	EDR		2 AC Min.	R-1A	1	0						SGPWA
565142001	WRCOG6B-CORRECTLY ZONED	1.003	EDR		2 AC Min.	R-1A-2 1/2	1	1						SGPWA
557170014	WRCOG6B-CORRECTLY ZONED	0.292	EDR		2 AC Min.	W-2	0	0						SGPWA
557161010	WRCOG6B-CORRECTLY ZONED	1.573	EDR		2 AC Min.	R-1A-2 1/2	2	1						SGPWA
565152004	WRCOG6B-CORRECTLY ZONED	1.277	EDR		2 AC Min.	R-1A-2 1/2	1	1						SGPWA
	Not Zoned Correctly	761					761	609						
601160004	CVAG6A-NOT CORRECTLY ZONED	18.784	EDR		2 AC Min.	W-1			SAN ANDREAS FAULT ZONE	AREAS OF FLOODING SENSITIVITY		East Indio Hills Conservation Area		CVWD
601170007	CVAG6A-NOT CORRECTLY ZONED	3.304	EDR		2 AC Min.	W-1						East Indio Hills Conservation Area		CVWD
601170003	CVAG6A-NOT CORRECTLY ZONED	4.636	EDR		2 AC Min.	W-1			SAN ANDREAS FAULT ZONE			East Indio Hills Conservation Area		CVWD
601170006	CVAG6A-NOT CORRECTLY ZONED	0.032	EDR		2 AC Min.	W-1						East Indio Hills Conservation Area		CVWD
601170028	CVAG6A-NOT CORRECTLY ZONED	205.678	EDR		2 AC Min.	W-1			SAN ANDREAS FAULT ZONE			East Indio Hills Conservation Area		CVWD
135412037	WRCOG6A-NOT CORRECTLY ZONED	0.550	EDR		2 AC Min.	R-4								WMWD
MARCH JPA														
295020004		10.000	MARCH											EMWD
295020010		24.780	MARCH											EMWD

23784.39502

Housing Element Appendix B1 - Sites for Rezone\_HDR to HHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	CAPACITY
603074019	0.3	Western Coachella Valley	HDR	HHDR	8
461280011	7.9	Harvest Valley / Winchester	HDR	HHDR	189
723021002	0.3	Eastern Coachella Valley	HDR	HHDR	7
723162012	0.3	Eastern Coachella Valley	HDR	HHDR	8
723281029	0.3	Eastern Coachella Valley	HDR	HHDR	6
723212014	0.3	Eastern Coachella Valley	HDR	HHDR	7
465040008	9.8	Harvest Valley / Winchester	HDR	HHDR	234
603072019	0.3	Western Coachella Valley	HDR	HHDR	8
650390004	3.5	Western Coachella Valley	HDR	HHDR	85
654200041	0.4	Western Coachella Valley	HDR	HHDR	10
723163024	0.3	Eastern Coachella Valley	HDR	HHDR	8
723031005	0.3	Eastern Coachella Valley	HDR	HHDR	7
815282007	25.4	Palo Verde Valley	HDR	HHDR	610
654200060	0.4	Western Coachella Valley	HDR	HHDR	10
723223002	0.3	Eastern Coachella Valley	HDR	HHDR	8
549090036	6.2	San Jacinto Valley	HDR	HHDR	149
723212010	0.3	Eastern Coachella Valley	HDR	HHDR	7
115210033	0.4	Temescal Canyon	HDR	HHDR	10
727030038	60.8	Eastern Coachella Valley	HDR	HHDR	1458
255200050	2.7	Highgrove	HDR	HHDR	64
723031011	0.3	Eastern Coachella Valley	HDR	HHDR	7
381071004	0.5	Elsinore	HDR	HHDR	11
723021004	0.3	Eastern Coachella Valley	HDR	HHDR	8
654210002	1.3	Western Coachella Valley	HDR	HHDR	30
717270008	20.0	Eastern Coachella Valley	HDR	HHDR	480
255200049	7.5	Highgrove	HDR	HHDR	180
650020030	19.3	Western Coachella Valley	HDR	HHDR	462
727112002	40.4	Eastern Coachella Valley	HDR	HHDR	970
447150030	0.5	San Jacinto Valley	HDR	HHDR	12
723225015	0.4	Eastern Coachella Valley	HDR	HHDR	9
723031006	0.3	Eastern Coachella Valley	HDR	HHDR	7
723023017	0.4	Eastern Coachella Valley	HDR	HHDR	9
694120005	2.2	Western Coachella Valley	HDR	HHDR	53
723021003	0.3	Eastern Coachella Valley	HDR	HHDR	7
723225007	0.3	Eastern Coachella Valley	HDR	HHDR	8
654210015	1.1	Western Coachella Valley	HDR	HHDR	27
723223001	0.3	Eastern Coachella Valley	HDR	HHDR	8
694050006	41.1	Western Coachella Valley	HDR	HHDR	987
461280006	0.6	Harvest Valley / Winchester	HDR	HHDR	13
723162011	0.3	Eastern Coachella Valley	HDR	HHDR	7
461280007	5.8	Harvest Valley / Winchester	HDR	HHDR	138
723021006	0.3	Eastern Coachella Valley	HDR	HHDR	7
461280008	8.0	Harvest Valley / Winchester	HDR	HHDR	192
723163023	0.3	Eastern Coachella Valley	HDR	HHDR	7
717270007	20.0	Eastern Coachella Valley	HDR	HHDR	480
461190076	2.7	Harvest Valley / Winchester	HDR	HHDR	65
723223005	0.3	Eastern Coachella Valley	HDR	HHDR	8

Housing Element Appendix B1 - Sites for Rezone\_HDR to HHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	CAPACITY
603073010	0.3	Western Coachella Valley	HDR	HHDR	7
694050002	13.9	Western Coachella Valley	HDR	HHDR	333
626130003	9.9	Western Coachella Valley	HDR	HHDR	238
723031010	0.3	Eastern Coachella Valley	HDR	HHDR	7
247092013	0.8	Highgrove	HDR	HHDR	18
465040009	10.0	Harvest Valley / Winchester	HDR	HHDR	239
815282002	1.0	Palo Verde Valley	HDR	HHDR	24
694120002	4.8	Western Coachella Valley	HDR	HHDR	115
694050003	6.2	Western Coachella Valley	HDR	HHDR	150
723021005	0.3	Eastern Coachella Valley	HDR	HHDR	7
447150029	0.5	San Jacinto Valley	HDR	HHDR	11
723031007	0.3	Eastern Coachella Valley	HDR	HHDR	7
723023001	0.3	Eastern Coachella Valley	HDR	HHDR	8
461190072	23.5	Harvest Valley / Winchester	HDR	HHDR	564
461280013	3.9	Harvest Valley / Winchester	HDR	HHDR	92
659020028	18.7	Western Coachella Valley	HDR	HHDR	448
654210023	2.0	Western Coachella Valley	HDR	HHDR	48
290670001	25.1	Temescal Canyon	HDR	HHDR	603
461280015	1.1	Harvest Valley / Winchester	HDR	HHDR	26
405130017	0.6	The Pass	HDR	HHDR	15
654220028	1.2	Western Coachella Valley	HDR	HHDR	28
n	0.4	Western Coachella Valley	HDR	HHDR	9
650390001	12.6	Western Coachella Valley	HDR	HHDR	301
461280005	6.8	Harvest Valley / Winchester	HDR	HHDR	163
727112024	38.6	Eastern Coachella Valley	HDR	HHDR	927
723031008	0.3	Eastern Coachella Valley	HDR	HHDR	7
650390003	11.3	Western Coachella Valley	HDR	HHDR	272
723225003	0.3	Eastern Coachella Valley	HDR	HHDR	8
727112011	38.6	Eastern Coachella Valley	HDR	HHDR	926
723031028	0.4	Eastern Coachella Valley	HDR	HHDR	9
465040010	9.6	Harvest Valley / Winchester	HDR	HHDR	230
	<b>538.5</b>				<b>12,925</b>

Housing Element Appendix B2 - Sites for Rezone\_MHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	MAJOR WATER DISTRICT	CAPACITY
650101016	0.60	Western Coachella Valley	MHDR	H'HDR	CVWD	14
461200042	13.65	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	328
140273011	0.80	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	19
408050001	3.11	The Pass	MHDR	H'HDR	EMWD	75
466240003	79.50	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	1908
664200004	2.23	Western Coachella Valley	MHDR	H'HDR	CVWD	54
135580011	2.72	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	65
654190030	2.17	Western Coachella Valley	MHDR	H'HDR	CVWD	52
727331070	2.00	Eastern Coachella Valley	MHDR	H'HDR	CVWD	48
307100004	29.76	Lakeview / Nuevo	MHDR	H'HDR	WMWD	714
664200034	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
290460048	0.34	Temescal Canyon	MHDR	H'HDR	WMWD	8
307410007	76.73	Lakeview / Nuevo	MHDR	H'HDR	WMWD	1842
461280014	3.14	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	75
461200045	16.80	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	403
461150006	71.98	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	1728
695100008	7.31	Western Coachella Valley	MHDR	H'HDR	CVWD	175
721262039	0.18	Eastern Coachella Valley	MHDR	H'HDR	CVWD	4
727331068	0.76	Eastern Coachella Valley	MHDR	H'HDR	CVWD	18
548040037	35.21	San Jacinto Valley	MHDR	H'HDR	SGPWA	845
694120011	8.37	Western Coachella Valley	MHDR	H'HDR	CVWD	201
140275009	1.77	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	42
664200023	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
918140015	14.29	Southwest Area	MHDR	H'HDR	EMWD	343
371150010	2.07	Elsinore	MHDR	H'HDR	EMWD	50
135422002	1.21	Temescal Canyon	MHDR	H'HDR	WMWD	29
135580007	0.64	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	15
650020027	19.39	Western Coachella Valley	MHDR	H'HDR	CVWD	465
135580014	9.44	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	227
664200016	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
694050011	27.92	Western Coachella Valley	MHDR	H'HDR	CVWD	670
408050009	2.75	The Pass	MHDR	H'HDR	EMWD	66
664200024	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
694071017	1.18	Western Coachella Valley	MHDR	H'HDR	CVWD	28
833070009	1.53	Palo Verde Valley	MHDR	H'HDR	PVID	37



Housing Element Appendix B2 - Sites for Rezone\_MHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	MAJOR WATER DISTRICT	CAPACITY
727030032	0.56	Eastern Coachella Valley	MHDR	H'HDR	CVWD	13
461280001	5.58	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	134
869090051	4.77	Palo Verde Valley	MHDR	H'HDR	PVID	114
140260035	9.40	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	226
466340019	18.31	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	439
135380080	0.71	Temescal Canyon	MHDR	H'HDR	WMWD	17
371150016	2.23	Elsinore	MHDR	H'HDR	EMWD	54
461280004	1.74	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	42
664200020	2.54	Western Coachella Valley	MHDR	H'HDR	CVWD	61
461280003	4.30	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	103
727145008	1.37	Eastern Coachella Valley	MHDR	H'HDR	CVWD	33
664200015	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
650020016	5.19	Western Coachella Valley	MHDR	H'HDR	CVWD	125
290452022	0.52	Temescal Canyon	MHDR	H'HDR	WMWD	12
651140007	4.89	Western Coachella Valley	MHDR	H'HDR	CVWD	117
727350026	4.44	Eastern Coachella Valley	MHDR	H'HDR	CVWD	107
694072011	0.65	Western Coachella Valley	MHDR	H'HDR	CVWD	16
466340007	19.23	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	462
650300013	5.00	Western Coachella Valley	MHDR	H'HDR	CVWD	120
664270001	40.00	Western Coachella Valley	MHDR	H'HDR	CVWD	960
140170014	3.67	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	88
918140014	16.35	Southwest Area	MHDR	H'HDR	EMWD	392
461280020	3.26	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	78
664200002	2.23	Western Coachella Valley	MHDR	H'HDR	CVWD	54
371160007	3.44	Elsinore	MHDR	H'HDR	EMWD	83
650300011	2.31	Western Coachella Valley	MHDR	H'HDR	CVWD	55
408050002	0.65	The Pass	MHDR	H'HDR	EMWD	16
729050002	25.00	Eastern Coachella Valley	MHDR	H'HDR	CVWD	600
650102027	1.21	Western Coachella Valley	MHDR	H'HDR	CVWD	29
727205020	0.72	Eastern Coachella Valley	MHDR	H'HDR	CVWD	17
664200003	2.23	Western Coachella Valley	MHDR	H'HDR	CVWD	54
695030010	33.50	Western Coachella Valley	MHDR	H'HDR	CVWD	804
426430001	31.69	Lakeview / Nuevo	MHDR	H'HDR	EMWD	761
650020028	9.70	Western Coachella Valley	MHDR	H'HDR	CVWD	233
650290002	4.71	Western Coachella Valley	MHDR	H'HDR	CVWD	113

Housing Element Appendix B2 - Sites for Rezone\_MHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	MAJOR WATER DISTRICT	CAPACITY
664200036	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
461250013	0.15	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	4
476150027	0.19	Southwest Area	MHDR	H'HDR	EMWD	5
461260016	0.16	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	4
549191014	1.38	San Jacinto Valley	MHDR	H'HDR	SGPWA	33
654190031	4.69	Western Coachella Valley	MHDR	H'HDR	CVWD	113
694050007	22.60	Western Coachella Valley	MHDR	H'HDR	CVWD	542
869090048	2.12	Palo Verde Valley	MHDR	H'HDR	PVID	51
466350018	156.12	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	3747
664200030	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
755262005	0.78	Eastern Coachella Valley	MHDR	H'HDR	CVWD	19
654190029	4.86	Western Coachella Valley	MHDR	H'HDR	CVWD	117
466340018	18.92	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	454
727211045	0.46	Eastern Coachella Valley	MHDR	H'HDR	CVWD	11
135412026	0.00	Temescal Canyon	MHDR	H'HDR	WMWD	0
461260005	0.15	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	4
476111015	0.18	Southwest Area	MHDR	H'HDR	EMWD	4
727361043	0.69	Eastern Coachella Valley	MHDR	H'HDR	CVWD	17
290200032	2.90	Temescal Canyon	MHDR	H'HDR	WMWD	70
664200001	2.23	Western Coachella Valley	MHDR	H'HDR	CVWD	54
664200025	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
461200045	16.80	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	403
651140008	2.00	Western Coachella Valley	MHDR	H'HDR	CVWD	48
461251040	0.16	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	4
664240002	39.39	Western Coachella Valley	MHDR	H'HDR	CVWD	945
664200028	2.54	Western Coachella Valley	MHDR	H'HDR	CVWD	61
664200017	2.54	Western Coachella Valley	MHDR	H'HDR	CVWD	61
664200011	2.24	Western Coachella Valley	MHDR	H'HDR	CVWD	54
135580010	0.83	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	20
650020018	5.60	Western Coachella Valley	MHDR	H'HDR	CVWD	134
651140005	14.77	Western Coachella Valley	MHDR	H'HDR	CVWD	354
664200018	1.27	Western Coachella Valley	MHDR	H'HDR	CVWD	30
694050001	40.00	Western Coachella Valley	MHDR	H'HDR	CVWD	960
461280028	0.77	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	18

Housing Element Appendix B2 - Sites for Rezone\_MHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	MAJOR WATER DISTRICT	CAPACITY
650290001	4.71	Western Coachella Valley	MHDR	H'HDR	CVWD	113
664200026	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
307110003	27.68	Lakeview / Nuevo	MHDR	H'HDR	WMWD	664
755252001	4.25	Eastern Coachella Valley	MHDR	H'HDR	EMWD	102
140100043	2.20	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	53
466320031	18.92	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	454
247082015	0.89	Highgrove	MHDR	H'HDR	WMWD	21
307070003	40.09	Lakeview / Nuevo	MHDR	H'HDR	WMWD	962
290452023	0.66	Temescal Canyon	MHDR	H'HDR	EMWD	16
140272010	0.53	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	13
651140006	20.23	Western Coachella Valley	MHDR	H'HDR	CVWD	486
694071018	0.81	Western Coachella Valley	MHDR	H'HDR	CVWD	19
140275001	4.20	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	101
290212049	2.96	Temescal Canyon	MHDR	H'HDR	WMWD	71
135571027	0.93	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	22
751130019	7.58	Eastern Coachella Valley	MHDR	H'HDR	CVWD	182
694060023	40.75	Western Coachella Valley	MHDR	H'HDR	CVWD	978
371150002	2.26	Elsinore	MHDR	H'HDR	EMWD	54
370310012	4.53	Elsinore	MHDR	H'HDR	EMWD	109
664200012	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
664200014	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
307220001	13.50	Lakeview / Nuevo	MHDR	H'HDR	WMWD	324
140311011	2.57	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	62
135580009	2.66	Lake Mathews / Woodcrest	MHDR	H'HDR	WMWD	64
664200005	2.23	Western Coachella Valley	MHDR	H'HDR	CVWD	54
664200022	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
664200032	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
466320032	17.63	Harvest Valley / Winchester	MHDR	H'HDR	CVWD	61
727111009	38.71	Eastern Coachella Valley	MHDR	H'HDR	CVWD	423
650102026	0.56	Western Coachella Valley	MHDR	H'HDR	CVWD	929
717270003	9.65	Eastern Coachella Valley	MHDR	H'HDR	CVWD	13
135561007	0.54	Lake Mathews / Woodcrest	MHDR	H'HDR	CVWD	232
664200013	2.53	Western Coachella Valley	MHDR	H'HDR	WMWD	13
664200027	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
918140013	25.56	Southwest Area	MHDR	H'HDR	EMWD	613

Housing Element Appendix B2 - Sites for Rezone\_MHDR

APN	ACRES	AREA PLAN	LAND USE_EXISTING	LAND USE_PROPOSED	MAJOR WATER DISTRICT	CAPACITY
408050011	4.76	The Pass	MHDR	H'HDR	EMWD	114
461280010	5.35	Harvest Valley / Winchester	MHDR	H'HDR	EMWD	128
664200031	2.53	Western Coachella Valley	MHDR	H'HDR	CVWD	61
650020014	9.81	Western Coachella Valley	MHDR	H'HDR	CVWD	235
650101034	2.96	Western Coachella Valley	MHDR	H'HDR	CVWD	71
	<b>1687.32</b>					<b>40,496</b>

Planning Commission

County of Riverside

**RESOLUTION  
RECOMMENDING ADOPTION OF  
GENERAL PLAN AMENDMENT NO. 1122**

**WHEREAS**, pursuant to the provisions of Government Code Section(s) 65350/65450 et. seq., a public hearing was held before the Riverside County Planning Commission in Riverside, California on January 15, 2014 to consider the above-referenced matter; and,

**WHEREAS**, all the procedures of the California Environmental Quality Act have been met and the environmental document prepared or relied on is sufficiently detailed so that all the potentially significant effects of the project on the environment and measures necessary to avoid or substantially lessen such effects have been evaluated in accordance with the above-referenced; and,

**WHEREAS**, the matter was discussed fully with testimony and documentation presented by the public and affected government agencies; now, therefore,

**BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED** by the Planning Commission of the County of Riverside, in regular session assembled on January 15, 2014, that it has reviewed and considered the environmental document prepared or relied on and recommends the following based on the staff report and the findings and conclusions stated therein:

**ADOPTION/CERTIFICATION** of the environmental document, and **ADOPTION** of General Plan Amendment No. 1122.